

# Guardian Storage El Mirage

Conditional Use Permit and Site Plan Review



WITHEY  
MORRIS  
BAUGH

# Development Team

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**Guardian Storage Centers, LLC**

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**Traffic Engineer:**

**United Civil Group**

Keith Winney

2803 N. 7<sup>th</sup> Avenue  
Phoenix, Arizona 85210

## A. Introduction and Project Overview

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Withey Morris Baugh, PLC represents Guardian Storage Centers, LLC (Guardian) regarding the property located approximately 325 feet east of the southeast corner of 127th Avenue and Thunderbird Road and otherwise commonly known as Maricopa County Assessor’s Parcel Numbers (APNs) 501-37-948 and 501-37-949B (the “Property”). See **Tab 1, Site Aerial Map**. Guardian proposes a phased development of the Property with a high-quality self-storage project and multiple retail pads along the Thunderbird Road frontage.

## B. Request

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In order to accommodate the proposed development, this application requests the following:

1. Site Plan Review for a self-storage facility and related improvements.
2. Conditional Use Permit for self-storage in the Urban Corridor district
3. Conditional Use Permit for building configuration deviations in the Thunderbird Road Overlay District.

## C. Location and Site Conditions

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The Property is approximately 8.1 acres and is currently undeveloped.

The Property fronts Thunderbird Road on its northern perimeter, across which is a residential neighborhood zoned Suburban Neighborhood (SN). To the west and east are vacant parcels zoned Urban Corridor (UC). The parcel to the east features a large wash and is owned by the City of El Mirage. To the south is a residential neighborhood zoned SN.

## D. General Plan and Zoning

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The Property has a General Plan designation of Thunderbird Core (TC). See **Tab 2, General Plan Map**. The Property is zoned Urban Corridor, which permits retail and restaurants, including drive-through facilities, by right and self-storage facilities with a conditional use permit. See **Tab 3, Zoning Map**. The Property is also located within the Thunderbird Road Overlay District (TROD), which includes certain design standards and requirements related to site layout. However, the TROD allows for alternative building configurations with a conditional use permit.

## E. Project Vision

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Taking into consideration the scale of the Property, Guardian proposes development of a gated self-storage facility located in the southern portion of the Property with four retail pads in the northern portion oriented on the Thunderbird Road frontage.

In furtherance of the goals of the TROD, the Property’s Thunderbird Road frontage will be reserved for retail development. Though no users have yet been secured, the project proposes four retail parcels, including two (2) drive-through restaurants. However, at this point, the site

design of the retail parcels is conceptual and final site design will be contingent upon the ultimate user. Considering its location at the western edge of the TROD and the surrounding context of the Property, some deviations from the TROD design standards are appropriate to accommodate the proposed development and align the retail product with market demand.

This proposed development and the accompanying site and infrastructure improvements will create a more attractive offering for retail developers. As currently constituted, the Property's size and configuration makes it ill-suited to be fully utilized for commercial retail; it is too small for an anchored retail center and too large for individual retail pads. The proposed self-storage component will not only provide a buffer between the existing residential to the south and more active commercial uses along Thunderbird Road, but it allows for the creation of more efficient, appropriately sized parcels for retail-focused users. The onsite and offsite work that will accompany this project will also reduce complexity and risk for the ultimate developers of the retail parcels, vastly increasing the probability of development. With El Mirage's limited ability to expand its borders, it is imperative to achieve maximum utility and efficiency with its developable land.

### **Site Layout and Operation**

The proposed self-storage facility includes six (6) buildings totaling approximately 118,891 square feet. The site layout was designed with attention paid to the existing Buenavida neighborhood to the south. All buildings are one story, with the exception of Storage Building B, which will be two stories and is adjacent the commercial retail parcels. Notably, all buildings bordering the existing residential are single-story. Additionally, a 10-foot setback is provided along the southern perimeter, which will be landscaped with mesquite and elm trees to provide additional screening.

A 1,200 square-foot sales and administration office will be located in Storage Building A and will be publicly accessible outside of the security gates. Publicly accessible parking spaces are also located outside the security gates on the north side of Storage Building A.

The site will be managed on a daily basis by two on-site employees. Site security will be accomplished using secure keypad access to gates and buildings. Additionally, security cameras will be installed throughout the site. Operating hours for the office will be 9 AM – 7:00 PM with gate access for existing customers available from 6 AM until 10 PM.

### **Access and Circulation**

The site will be accessed via three (3) proposed driveways on Thunderbird Road. Access A, as detailed in the accompanying Traffic Impact Study, is an existing right-in, right-out driveway that is planned to be shared with the property to the west. Access B is an existing right-in, right-out driveway located approximately 280 feet east of Access A and is planned to be utilized once the commercial retail component of the site is operational. Access C is proposed to be a full access point at the existing median opening aligned with 126<sup>th</sup> Avenue. Based on the results of the Traffic Impact Study, a traffic signal is recommended at the intersection of 126<sup>th</sup> Avenue and Thunderbird Rd.

Per City of El Mirage *Standard Detail EM-259 Driveway Criteria*, a maximum of two driveways are permitted for a site having a frontage of up to 800 feet. A request for Design Exception has been submitted under separate cover to permit the proposed new full movement driveway. This design exception is supported by the following:

1. The site will keep the existing driveways the City has previously installed in their current location and current right-in, right-out function.
2. The existing western driveway will be shared with the property to the west.
3. The proposed east full access driveway will be aligned at the 126th Avenue median break and will potentially ultimately be signalized as was the preferred location by the City.
4. The full movement access will make the subject site viable for commercial uses.

The self-storage component will be accessed via Access A and Access C, which will be gated at the entrances to the self-storage units. The commercial retail component will be accessed directly by Access B as well as via internal drives connecting to Access A and Access C.

### **Parking**

Parking is provided for the self-storage facility at ratio of one space per 5,000 square feet for a total of 24 spaces in conformance with Table P of the El Mirage Zoning Code §154.104(G).

### **Drainage**

The proposed development will retain all runoff volume from the 100-year, 1-hour storm event per the City of El Mirage Design and Development standards manual. All onsite drainage will ultimately be conveyed to proposed underground storage tanks. Storm Capture Vaults will be placed at the southern end of the project site underneath the drive aisle. The flow will be conveyed to the underground storage tanks via catch basins and storm drain pipes. The underground storage tanks will be designed to retain at a minimum the volume related to the 100-year, 1 hour design storm event. During the initial phase of development of the storage facility, the four (4) pads located along Thunderbird Road will be graded to self-retain in shallow percolation ponds and temporary basins will be designed to capture half street runoff as required until final development of those pads.

## **F. Phasing**

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The first phase of development will include construction of the self-storage facility and installation of all utility and roadway improvements. This initial work will make the retail parcels far more attractive and marketable to retail developers. Guardian intends to actively market the retail parcels during the first phase of development.

## G. Conditional Use Permit Criteria

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### 1. SELF-STORAGE IN URBAN CORRIDOR DISTRICT

#### A. The site is adequate in size and topography for the proposed use.

The Property size and topography is ideally suited for the proposed use. Guardian can orient the self-storage use in the rear of the site, reserving the street frontage for retail while providing a low traffic and low intensity buffer between the commercial activity and the existing single-family residential south of the Property. This has the added benefit of creating more efficiently sized retail pads that will be more conducive to retail development, in furtherance of the goals of the Urban Corridor district.

#### B. The site relates to adequate streets for the proposed use.

Thunderbird Road is identified in the El Mirage General Plan as a Major Arterial and can adequately accommodate the proposed use. The proposed development will provide additional dedications and improvements to Thunderbird Road, including deceleration lanes, and will ultimately facilitate the installation of a traffic signal at the intersection of Thunderbird Road and 126<sup>th</sup> Avenue.

#### C. Proposed use will have no adverse impact on abutting property.

The Property is already zoned UC and commercial uses are anticipated on the site. The proposed self-storage use will not adversely affect the abutting property. Rather, it will serve as a quiet, low-intensity buffer between the existing residential and the anticipated retail uses on the street frontage. Along the south property line, the project proposes single story buildings and a 10-foot landscape setback with trees for additional screening. The infrastructure improvements and commercial activity will also create additional value for the parcel to the west, which is also zoned UC. Abutting the Property to the east is a large wash owned by the City of El Mirage.

#### D. Proposed use is in conformance with the general plan.

The proposed use is in conformance with the General Plan. Self-storage is a conditionally permitted use in the UC district, which is the predominant zoning district of the Thunderbird Core land use designation. Additionally, the proposed use furthers a number of General Plan goals and policies, including:

- i. **Goal: Manage the use of land so growth, development, and redevelopment occur in an orderly and balanced manner that considers social, economic, natural, and imposed constraints.**

*Policy LU-1.1: Promote the sustainable use of limited land resources by encouraging mixed-use and compact development along major transportation corridors and in areas outside the of the 65 LDN.*

- As discussed above, the proposed development allows for efficient and productive use of what has otherwise been a challenging parcel to develop. By organizing the uses on the site as proposed with this application, it enables economical development of retail uses along the street frontage while providing appropriate land use transitions and extracting maximum utility from the site.

*Policy LU-1.5: Tailor building height and scale to be sensitive to surrounding single-family uses.*

- The site layout was designed with attention paid to the existing Buenavida neighborhood to the south. All buildings bordering the existing residential are single-story and none of the buildings exceed 24'4" in height. Additionally, a 10-foot setback is provided along the southern perimeter, which will be landscaped with mesquite and elm trees to provide additional screening.

## **2. BUILDING ORIENTATION IN THUNDERBIRD ROAD OVERLAY DISTRICT**

### **A. The site is adequate in size and topography for the proposed use.**

The site has sufficient size to support the proposed layout of the retail buildings, which are the dominant feature on the street frontage. Though the Property is located within the Thunderbird Road Overlay District, it is in the far western edge of the overlay in an area of Thunderbird Road not conducive to pedestrian focused retail activity. The depth of the Property makes it a challenge to economically develop for retail. Orienting the self-storage at the rear of the Property allows for more efficient utilization.

### **B. The site relates to adequate streets for the proposed use.**

Thunderbird Road is identified in the El Mirage General Plan as a Major Arterial and can adequately accommodate the proposed use. The proposed development will provide additional dedications and improvements to Thunderbird Road, including deceleration lanes, and will ultimately facilitate the installation of a traffic signal at the intersection of Thunderbird Road and 126<sup>th</sup> Avenue.

### **C. Proposed use will have no adverse impact on abutting property.**

As discussed above, the Property is already zoned UC and commercial uses are anticipated on the site. The proposed site layout is consistent and compatible with development in the area and will not have any adverse impacts on abutting property. Moreover, orienting the low-intensity use in the rear of the Property adjacent to the existing residential will provide an appropriate transition from the street and the more active commercial uses.

**D. Proposed use is in conformance with the general plan.**

The proposed use is in conformance with the General Plan. Allowing practical accommodations from the building configuration requirements of the TROD will actually further the goals of the Thunderbird Core land use category by enabling in-demand commercial development. Specifically, the proposed use furthers the following General Plan goals and policies:

**i. Goal: Continue to support current revitalization efforts along Thunderbird Road**

*Policy LU-4.1: Provide flexibility in building form and site design requirements to encourage development that supports experience-oriented uses and activities, entrepreneurship, and small businesses.*

- As discussed above, though the Property is located within the TROD, it is in the far western edge of the overlay in an area of Thunderbird Road not conducive to pedestrian focused retail activity. As a result, placing buildings on the front property line is not consistent with the character of the area and presents challenges for development. Allowing flexibility in site design, as is specifically permitted with a CUP in the TROD, will encourage retail development and create new opportunities for small businesses and employers.

**ii. Goal: Manage the use of land so growth, development, and redevelopment occur in an orderly and balanced manner that considers social, economic, natural, and imposed constraints.**

*Policy LU-1.1: Promote the sustainable use of limited land resources by encouraging mixed-use and compact development along major transportation corridors and in areas outside the of the 65 LDN.*

- As discussed above, the proposed development allows for efficient and productive use of what has otherwise been a challenging parcel to develop. By organizing the uses on the site as proposed with this application, it enables economical development of retail uses along the street frontage while providing appropriate land use transitions and extracting maximum utility from the site.

## H. Conclusion

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The proposed project will provide in-demand services for residents in the surrounding area in a context appropriate setting and create new commercial activity in the TROD. The proposed use is permitted under the Property's zoning, either by right or with a conditional use permit, and is compatible with the surrounding uses. Moreover, the first phase of the development will improve the Property to make it more efficient and appropriate for retail development along Thunderbird Road in furtherance of the City's goals.

**TAB 1**

# Aerial Map

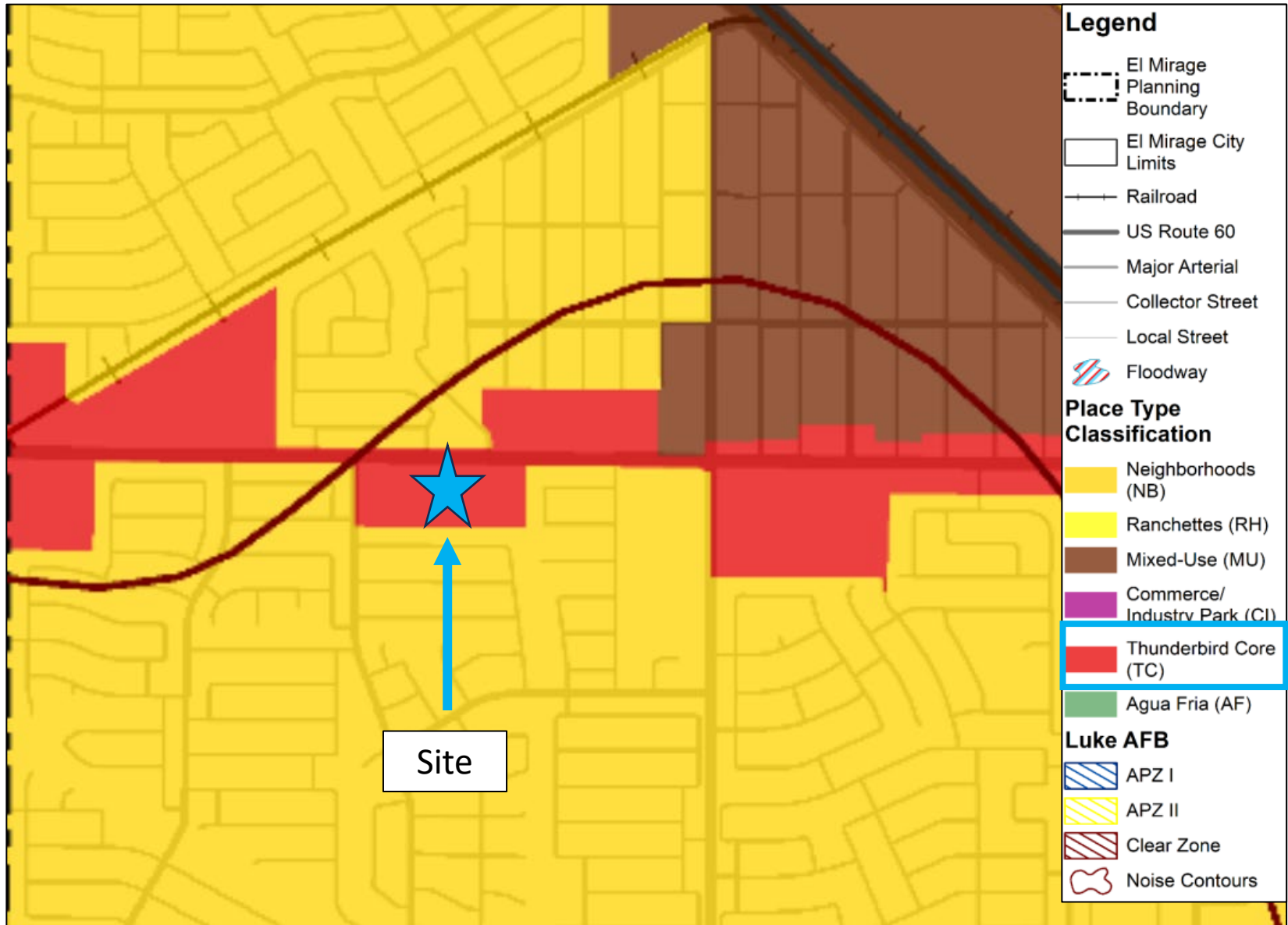


E/SEC 127<sup>th</sup> Ave and Thunderbird Rd, El Mirage



**TAB 2**

# General Plan Map

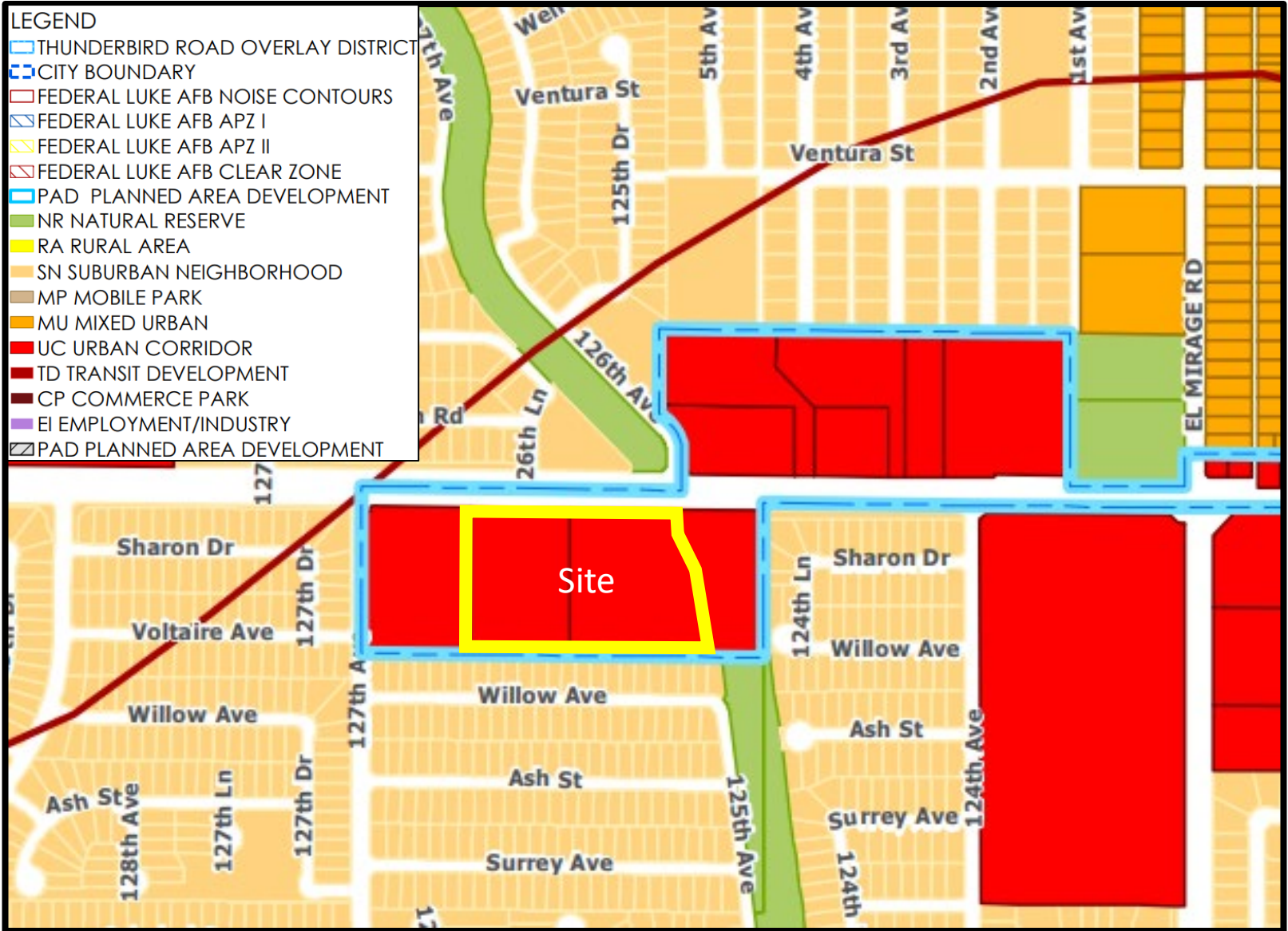


E/SEC 127<sup>th</sup> Ave and Thunderbird Rd, El Mirage



**TAB 3**

# Zoning Map



E/SEC 127<sup>th</sup> Ave and Thunderbird Rd, El Mirage

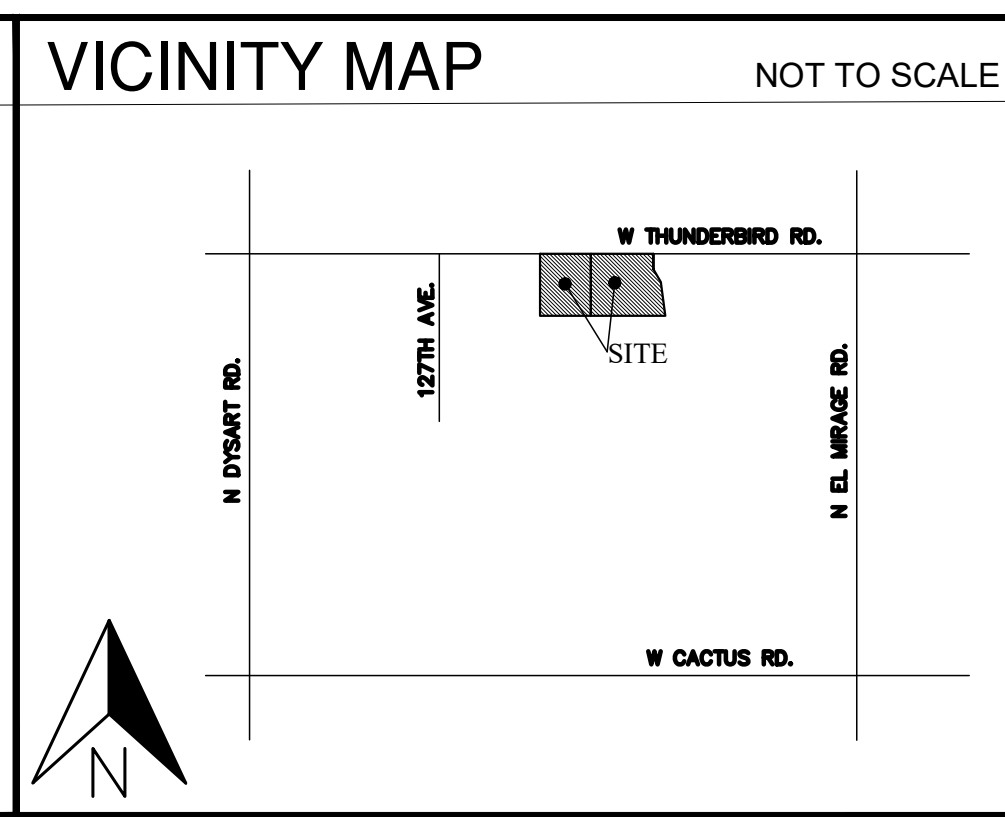


SITE ZONING TABLE	
APN	509-08-285 & -949B
ADDRESS	NOT YET ASSIGNED
ENTIRE PARCEL GROSS ACREAGE	145,463 SF (3.339 ACRES) 207,610 SF (4.766 ACRES) 353,073 SF (8.105 ACRES)
THIS PROJECT PARCEL GROSS ACREAGE	SHOWN ON PROPOSED SITE PLAN AS PAD 'E' = 180,148 SF (4.17 ACRES)
EXISTING ZONING	UC (URBAN CORRIDOR)
EXISTING LAND USE	VACANT
PROPOSED LAND USE REQUEST:	SELF STORAGE FACILITY SITE PLAN APPROVAL FOR A NEW SELF STORAGE FACILITY

PROJECT DATA	
BUILDING AREAS:	BUILDING A: 25,891 GSF BUILDING B: 31,085 GSF GROUND FLOOR: 31,085 GSF SECOND FLOOR: 31,273 GSF
BUILDING C:	5,575 GSF
BUILDING D:	1,328 GSF
BUILDING E:	11,735 GSF
BUILDING F:	6,002 GSF
BUILDING G:	6,002 GSF
TOTAL AREA:	118,891 GSF
LOT COVERAGE:	87,618 SF / 180,148 SF = 48.6%
MAX. LOT COVERAGE ALLOWED:	90%

- KEY NOTES: #**
- NEW SHARED COMMERCIAL ACCESS DRIVE
  - 1,078 SF SALES OFFICE
  - ACCESS KEY PAD
  - 24' WIDE STEEL GATE W/ KNOX BOX FOR FIRE ACCESS
  - 6' HIGH SECURITY SCREEN WALL
  - 10' X 20' PARKING SPACES
  - 10' X 22' PARALLEL PARKING SPACE
  - ADA PARKING SPACE WITH UNLOADING AREA
  - 11' X 25' UNLOADING SPACES
  - REFUSE ENCLOSURE- FOR OFFICE PERSONNEL USE ONLY
  - 20' WIDE FIRE ACCESS (35' INNER WHEEL & 55' OUTER WHEEL TURNING RADIUS)
  - ADA RAMP
  - 5' WIDE PEDESTRIAN PATH TO ROW
  - PROPOSED FIRE HYDRANT
  - 5' WIDE STRIPED ASPHALT CROSSWALK
  - FIRE RISER ROOM
  - SHARED ASPHALT ACCESS DRIVEWAY
  - RESTROOM
  - SERVICE ENTRANCE SECTION

PROJECT TEAM	
LAND OWNER:	DESTINY MINISTRIES INC. PO BOX 6986 GLENDALE, ARIZONA 85312
DEVELOPER:	GUARDIAN STORAGE CENTERS 4915 E BASELINE ROAD, STE 5 CHILBERT, ARIZONA 85234 contact: JOHN HARTMAN p. 480-510-5984 john@landmark.net
ATTORNEY:	WHITNEY MORRIS contact: ALEX HAYES, ESQ. p. 602-230-0600
ARCHITECT:	ON POINT ARCHITECTURE, LLC 1152 E GREENWAY ST., STE. 5 MESA, ARIZONA 85203 contact: NICOLE POSTEN, RA p. 480-227-5239 nicole@onpointarchitecture.com

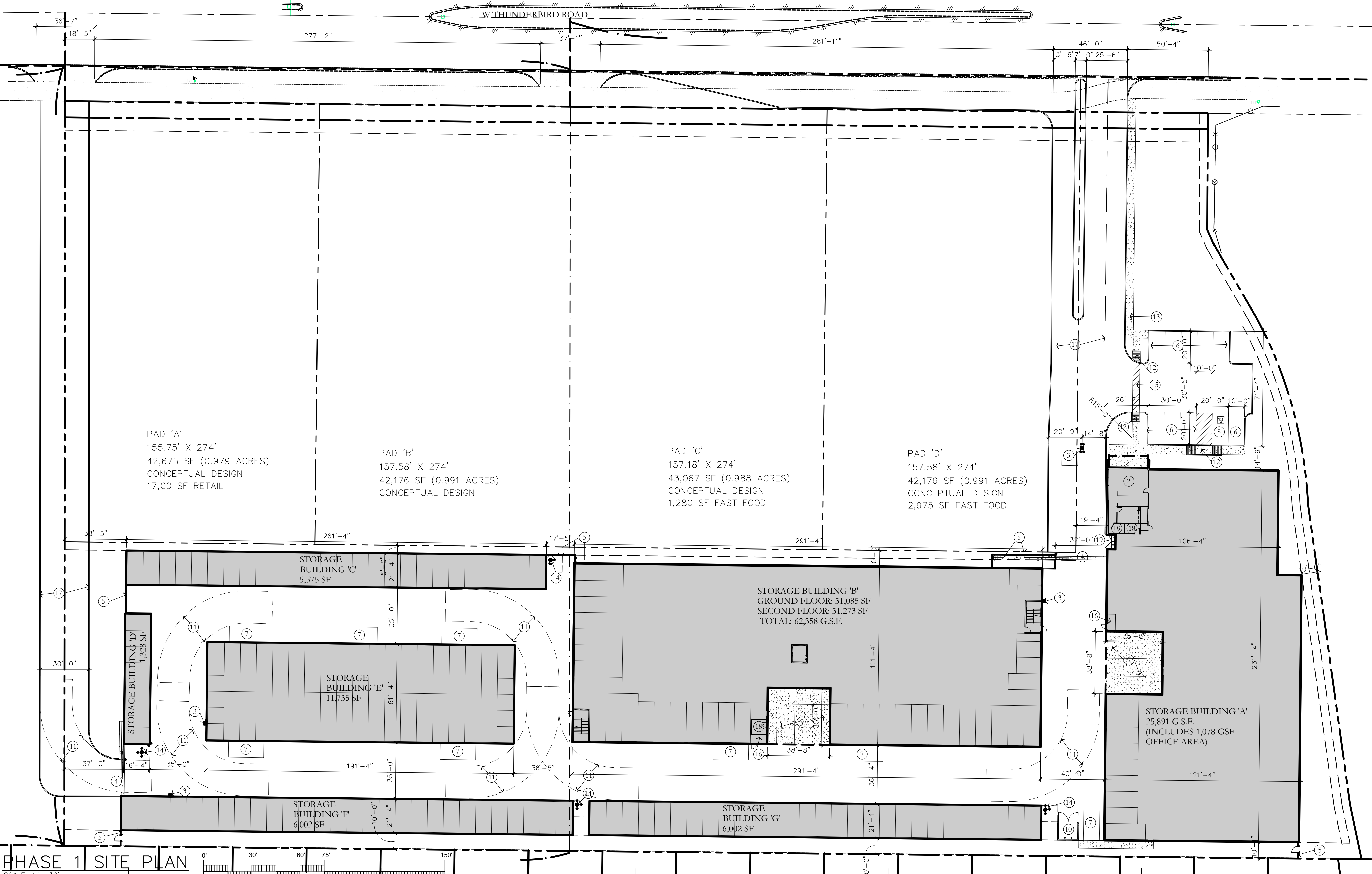


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JOB NO: 2401

NEW SELF STORAGE  
for  
GUARDIAN STORAGE CENTERS  
APN 501-37-948 & -949B  
EL MIRAGE, ARIZONA



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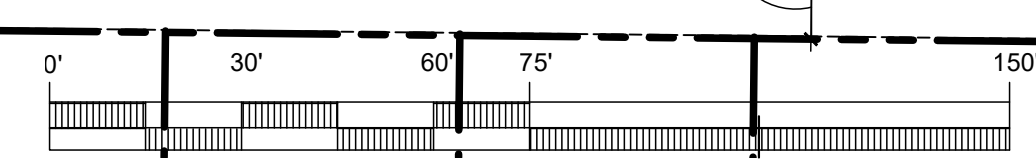
DATE	ITEM
01/08/24	PRE-APP SITE PLAN
06/20/24	OWNER REVIEW

PROPOSED PHASE 1 SITE PLAN

DWG NO:

**A1.2**

PHASE 1 SITE PLAN  
SCALE: 1" = 30'





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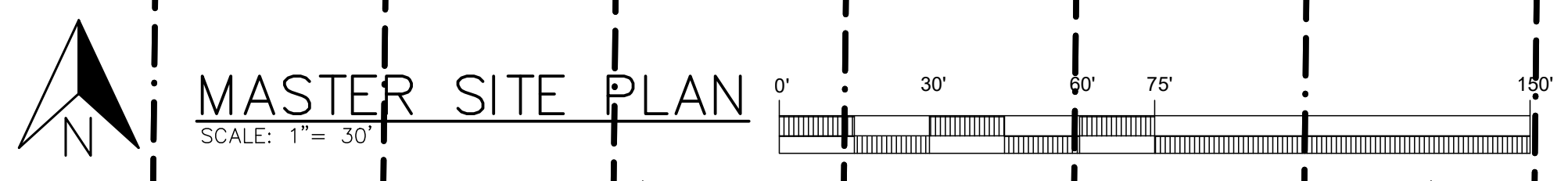
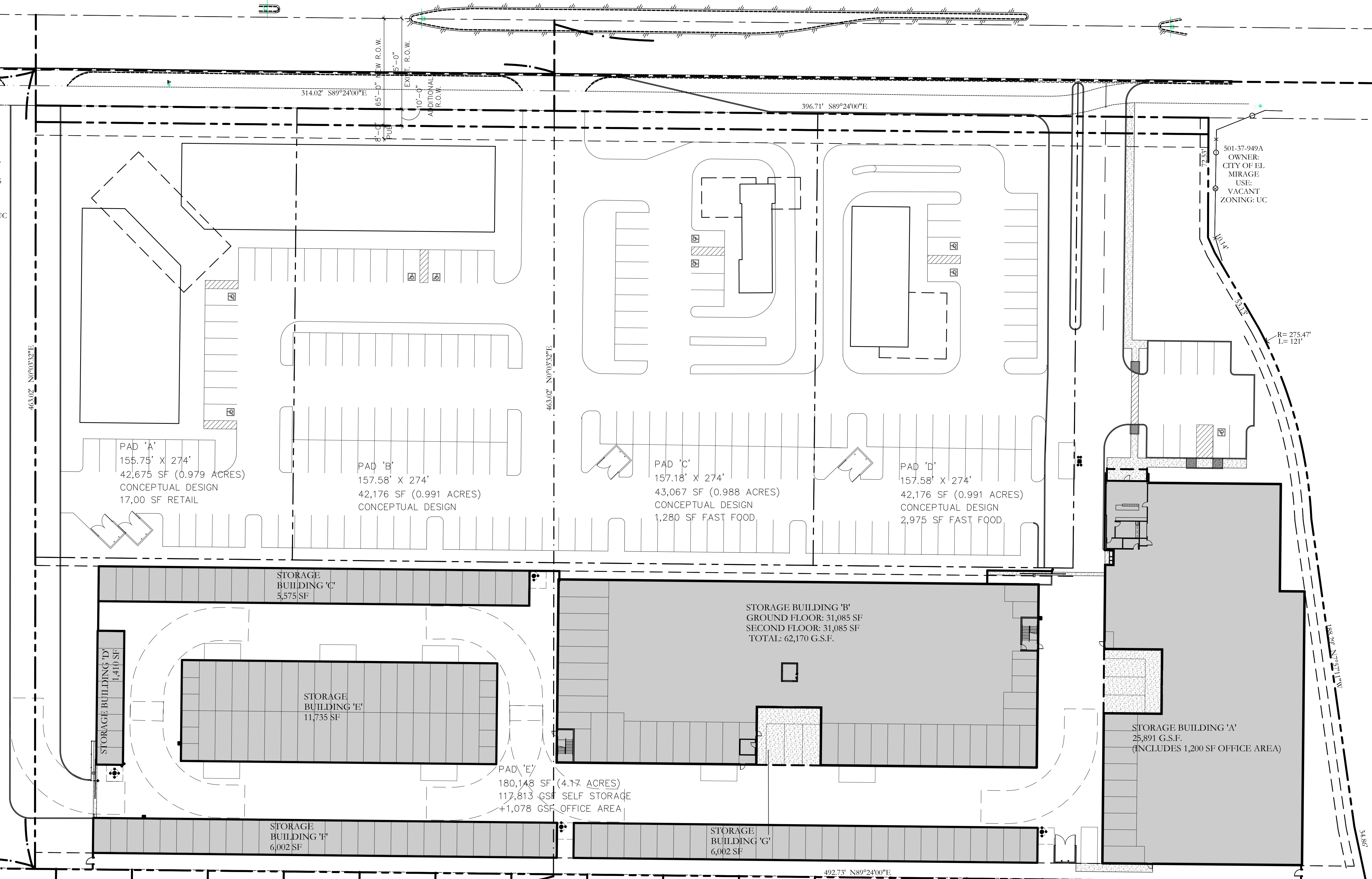
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01/08/24	PRE-APP SITE PLAN
06/20/24	OWNER REVIEW

PROPOSED MASTER SITE PLAN

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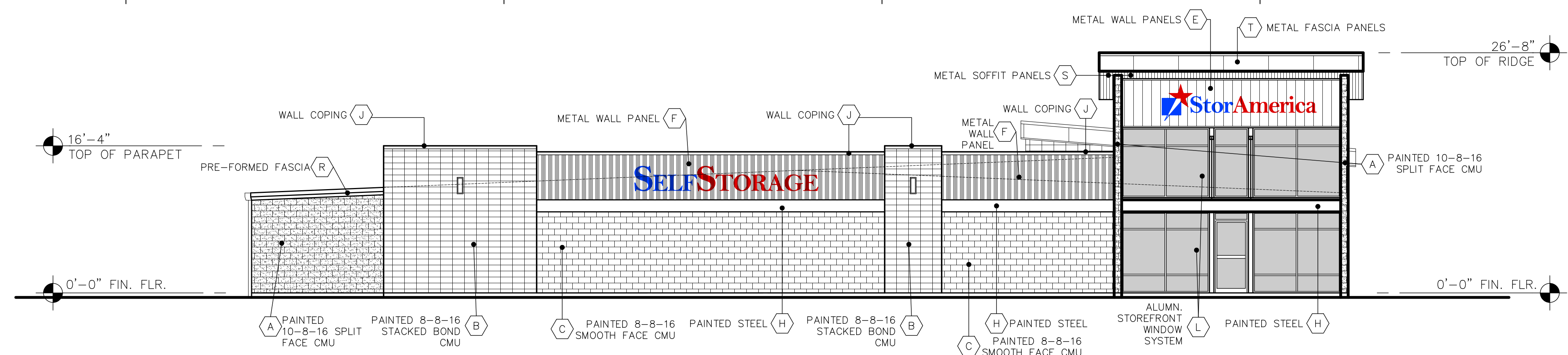
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501-37-947  
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 RABBANS  
 LLC  
 USE:  
 VACANT  
 ZONING: UC

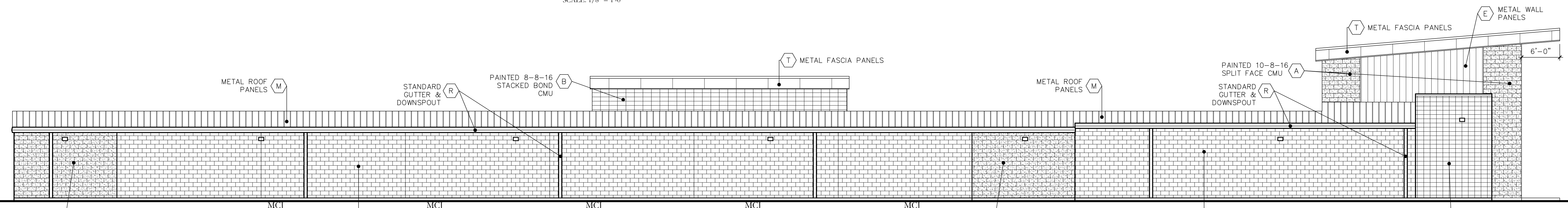


MASTER SITE PLAN

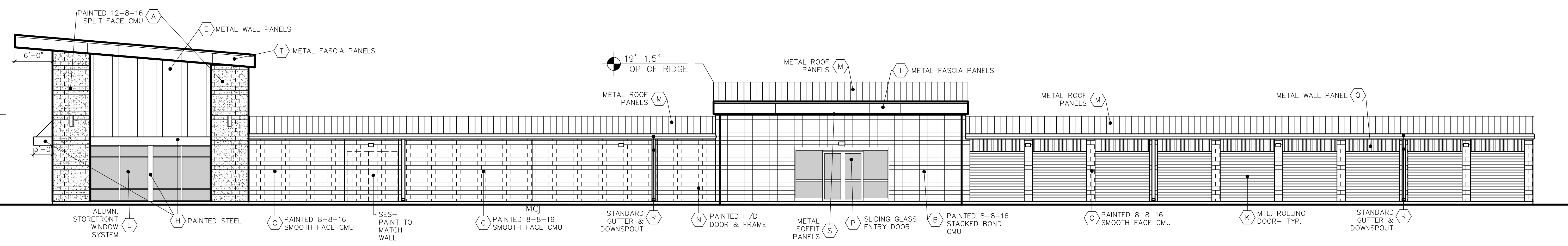
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(C) PAINTED 8-8-16 CMU	SMOOTH FACE- DET618 INDUSTRIAL AGE BY DUNN EDWARDS
(D) PAINTED STUCCO	SMOOTH TEXTURE- DFW382 FADED GRAY BY DUNN EDWARDS
(E) METAL WALL PANELS	FW-12040 BY MBGI -COLOR: SOLAR METALLIC
(F) METAL WALL PANELS	PRU BY MBGI -COLOR: CRIMSON RED
(G) METAL ROOF PANELS & TRIM	ULTRADEK 24 BY MBGI -COLOR: SOLAR METALLIC
(H) PAINTED STEEL	DEA139 NAUTICAL BY DUNN EDWARDS
(I) WALL COPING	CHARCOAL GRAY BY MBGI
(J) ROLLING STL DOORS	PATRIOT RED BY JANUS INTERNATIONAL GROUP
(L) ALUMINUM WINDOW FRAMES	KAWNEER COLOR: CLEAR ANODIZED
(M) METAL ROOF PANELS	ULTRADEK 24 BY MBGI -COLOR: GALVALUME
(N) PAINTED H/D DOOR & FRAME	DET631 COCOA POWDER BY DUNN EDWARDS
(O) SLIDING GLASS ENTRY DOOR	DOUBLE ACTING- CLEAR ANODIZED
(Q) METAL WALL PANELS	PRU BY MBGI -COLOR: CHARCOAL GRAY
(R) FASCIA, GUTTER & DOWNSPOUTS	STANDARD BY MBGI -COLOR: CHARCOAL GRAY
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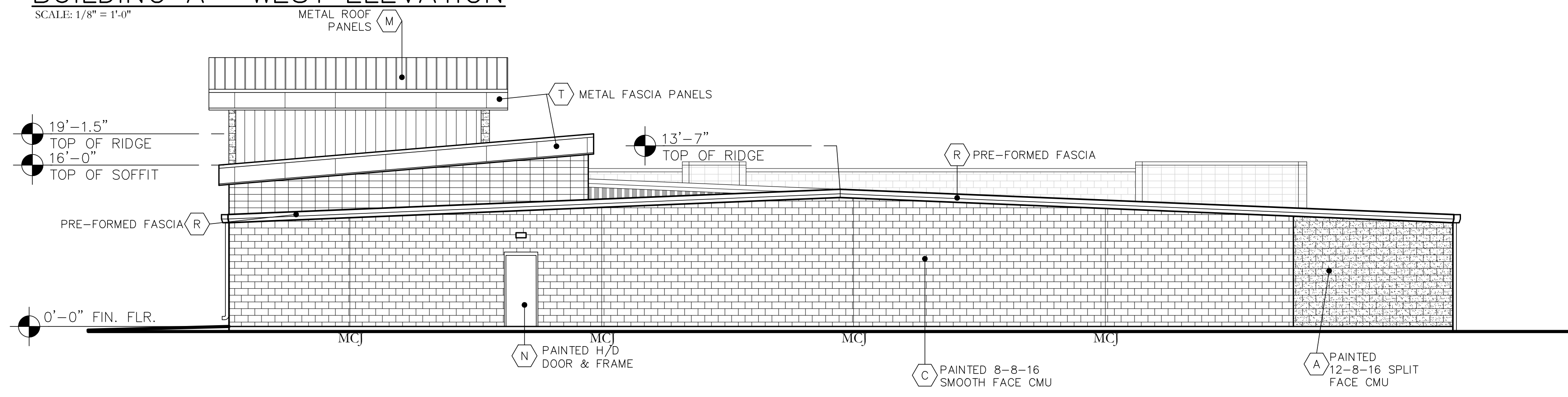
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**BUILDING A- EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



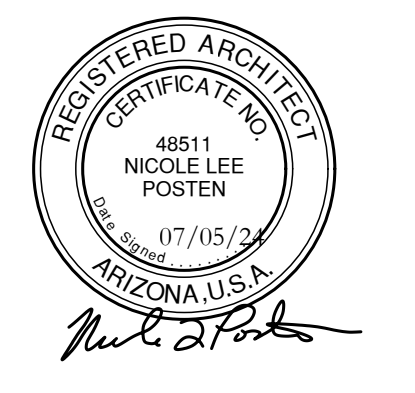
**BUILDING A- WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**BUILDING A- SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



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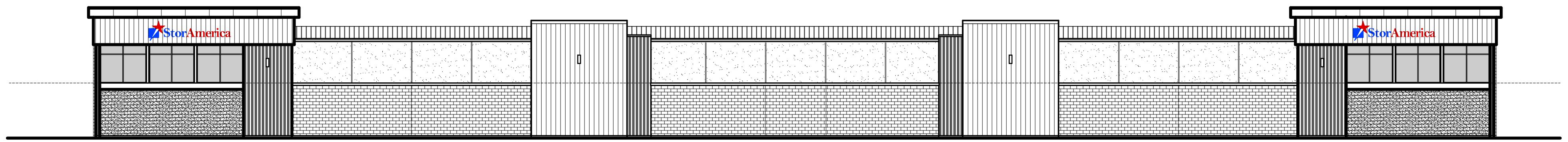
DATE	ITEM
06/23/24	OWNER REVIEW
07/05/24	OWNER REVIEW

BUILDING 'A'  
ELEVATIONS

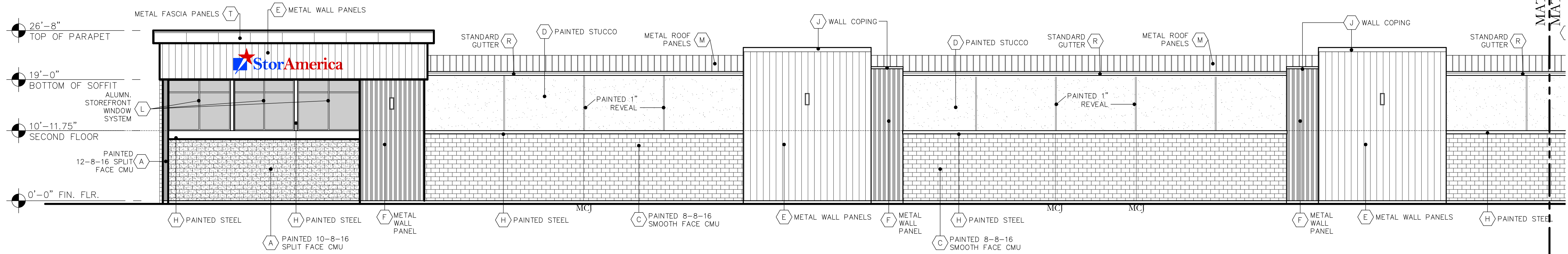
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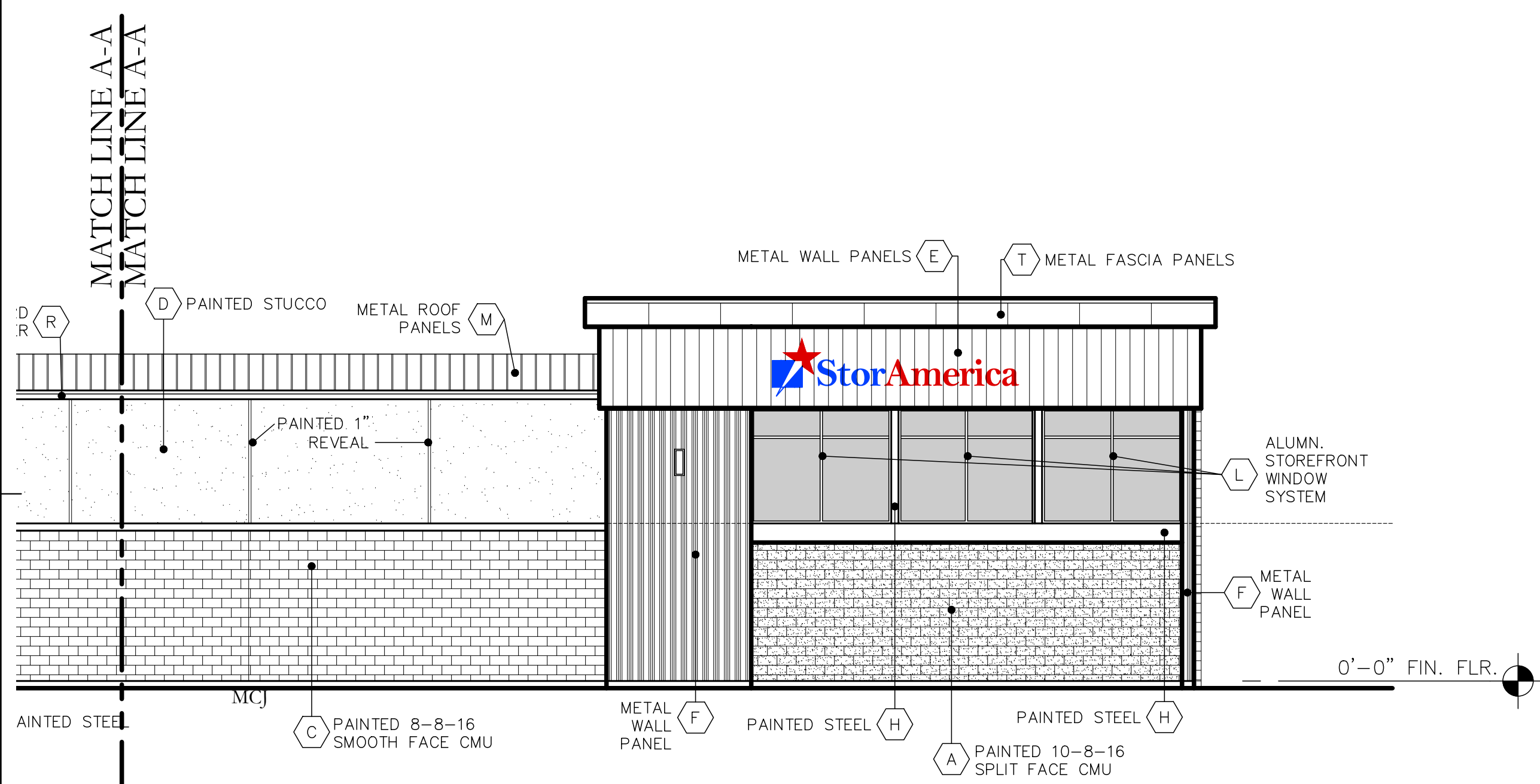
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(Q) SOFFIT	FW-120-0 BY MBCL- COLOR: CORAL BLUE
(R) METAL FASCIA PANELS & TRIM	FW-120-0 BY MBCL- COLOR: SOLAR METALLIC



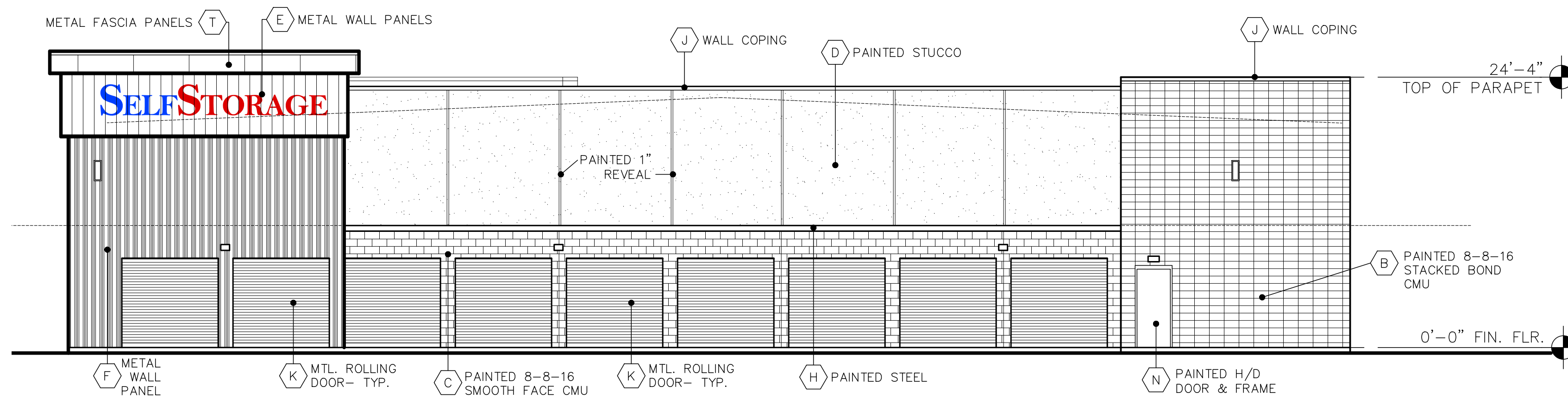
**BUILDING B- OVERALL NORTH ELEVATION**  
SCALE: 1/16" = 1'-0"



**BUILDING B- NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**BUILDING B- NORTH ELEVATION- cont.**  
SCALE: 1/8" = 1'-0"



**BUILDING B- WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



JOB NO: 2401

NEW SELF STORAGE  
for  
**GUARDIAN STORAGE CENTERS**  
APN 501-37-948 & -949B  
EL MIRAGE, ARIZONA

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DATE	ITEM
06/20/24	OWNER REVIEW
07/05/24	OWNER REVIEW

BUILDING 'B'  
ELEVATIONS

DWG NO:

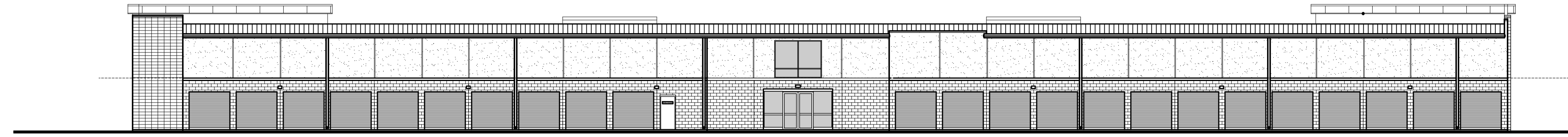
**A3.2**



JOB NO: 2401

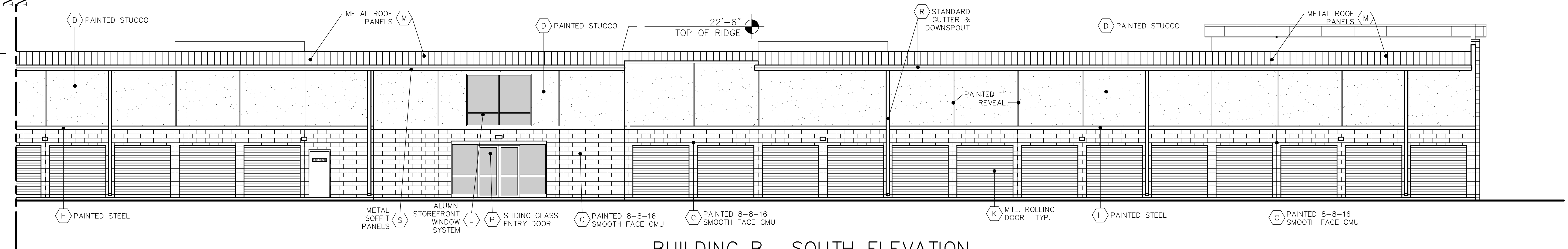
NEW SELF STORAGE  
 for  
 GUARDIAN STORAGE CENTERS  
 APN 501-37-948 & -949B  
 EL MIRAGE, ARIZONA

MATERIAL KEY	
(A) PAINTED 10-8-16 CMU	SPLIT FACE- DET631 COCOA POWDER BY DUNN EDWARDS
(B) PAINTED 8-8-16 CMU	SMOOTH FACE- STACKED BOND- DE6377 BOAT ANCHOR BY DUNN EDWARDS
(C) PAINTED 8-8-16 CMU	SMOOTH FACE- DET618 INDUSTRIAL AGE BY DUNN EDWARDS
(D) PAINTED STUCCO	SMOOTH TEXTURE- DEW382 FADED GRAY BY DUNN EDWARDS
(E) METAL WALL PANELS	FW-120-0 BY MBCI - COLOR: SOLAR METALLIC
(F) METAL WALL PANELS	PBU BY MBCI - COLOR: CRIMSON RED
(G) METAL ROOF PANELS & TRIM	ULTRADEK 24 BY MBCI - COLOR: SOLAR METALLIC
(H) PAINTED STEEL	DEA139 NAUTICAL BY DUNN EDWARDS
(I) WALL COPING	CHARCOAL GRAY BY MBCI
(J) ROLLING STL DOORS	PATRIOT RED BY JANUS INTERNATIONAL GROUP
(K) ALUMINUM WINDOW FRAMES	KAWNEER COLOR: CLEAR ANODIZED
(L) METAL ROOF PANELS	ULTRADEK 24 BY MBCI - COLOR: GALVALLUME
(M) PAINTED H/M DOOR & FRAME	DET631 COCOA POWDER BY DUNN EDWARDS
(N) SLIDING GLASS ENTRY DOOR	DOUBLE ACTING- CLEAR ANODIZED
(O) METAL WALL PANELS	PBU BY MBCI - COLOR: CHARCOAL GRAY
(P) FASCIA, GUTTER & DOWNSPOUTS	STANDARD BY MBCI - COLOR: CHARCOAL GRAY
(Q) SOFFIT	FW-120-0 BY MBCI - COLOR: COBALT BLUE
(R) METAL FASCIA PANELS & TRIM	FW-120-0 BY MBCI - COLOR: SOLAR METALLIC



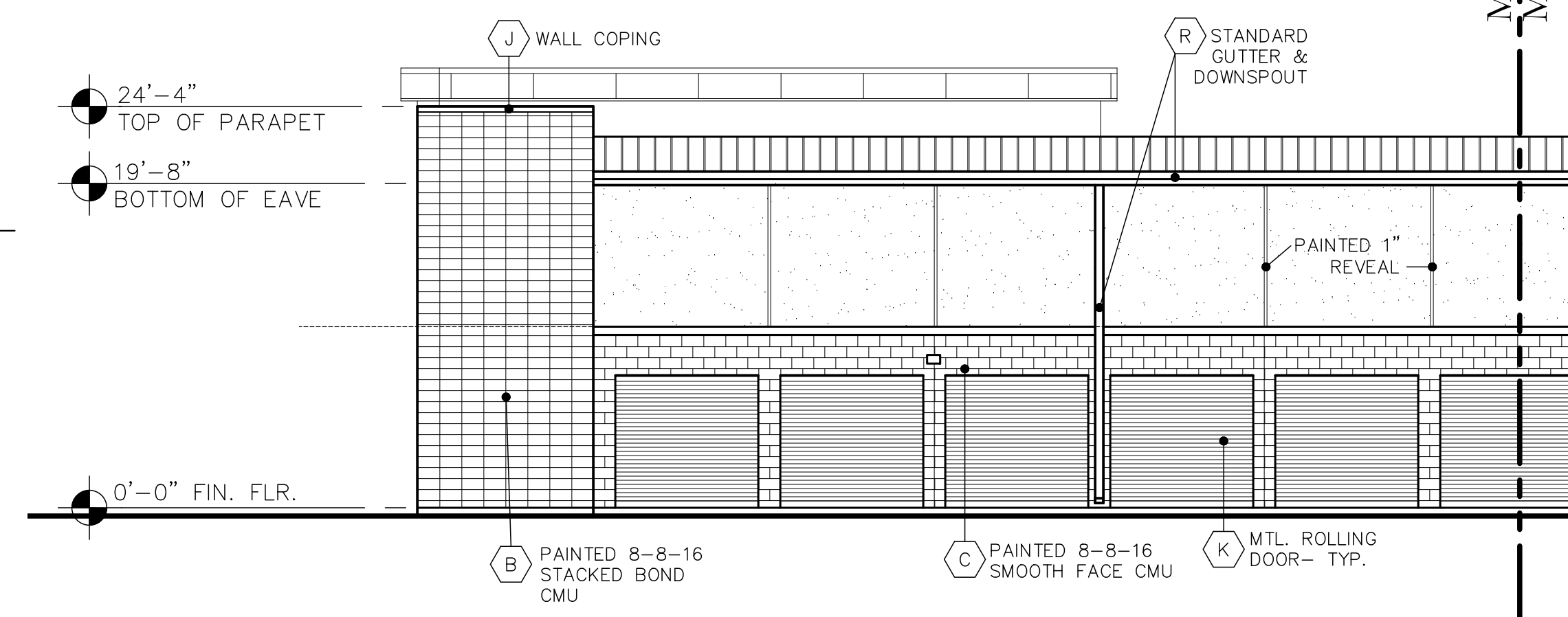
**BUILDING B- OVERALL SOUTH ELEVATION**  
 SCALE: 1/16" = 1'-0"

MATCH LINE B-B  
MATCH LINE B-B

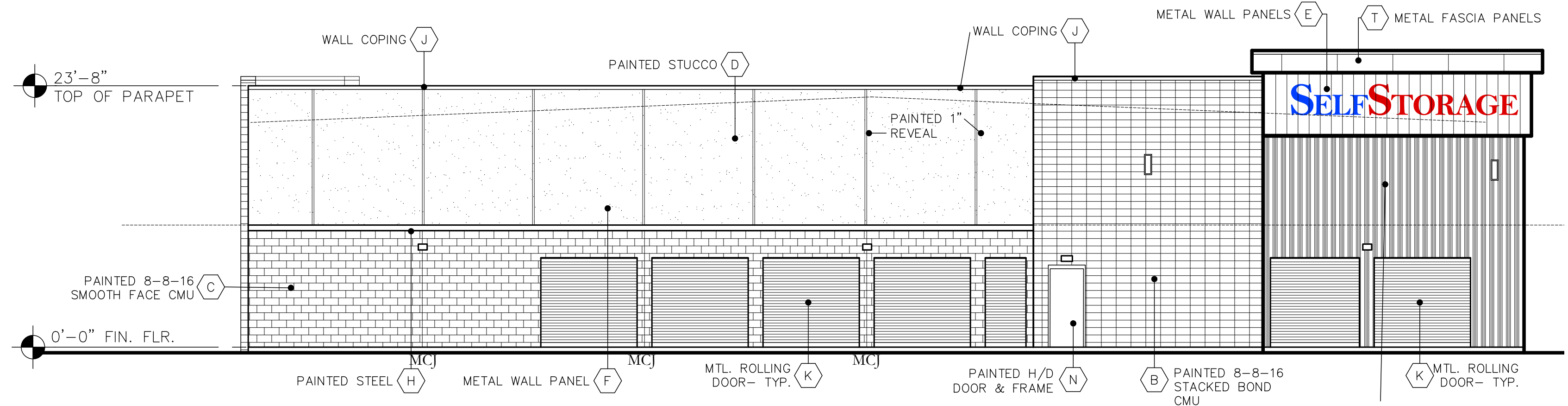


**BUILDING B- SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

MATCH LINE B-B  
MATCH LINE B-B



**BUILDING B- SOUTH ELEVATION- cont**  
 SCALE: 1/8" = 1'-0"



**BUILDING B- EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"

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DATE	ITEM
06/20/24	OWNER REVIEW
07/05/24	OWNER REVIEW

BUILDING 'B' ELEVATIONS

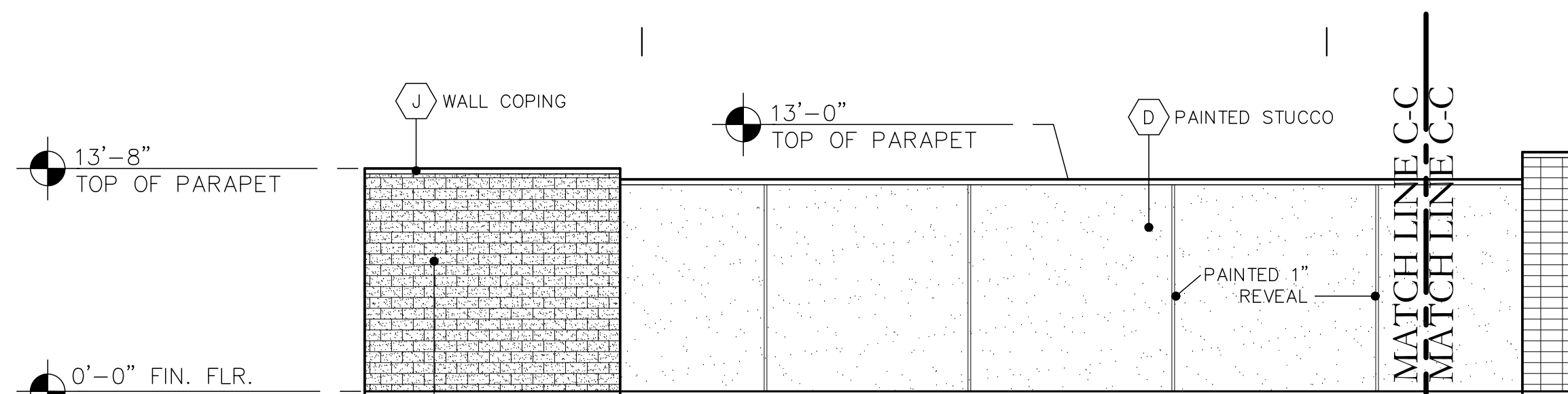
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# A3.3

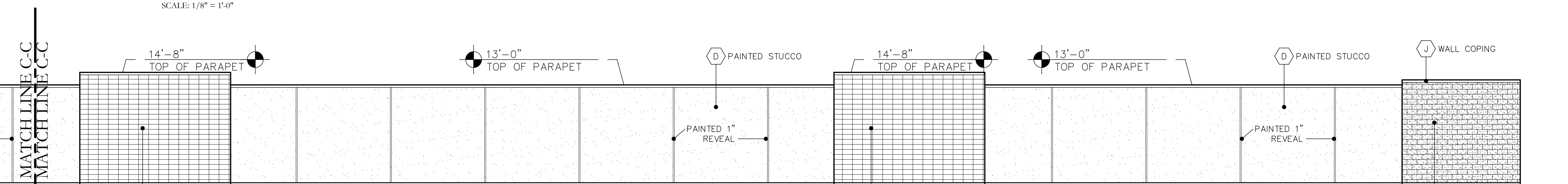


JOB NO: 2401

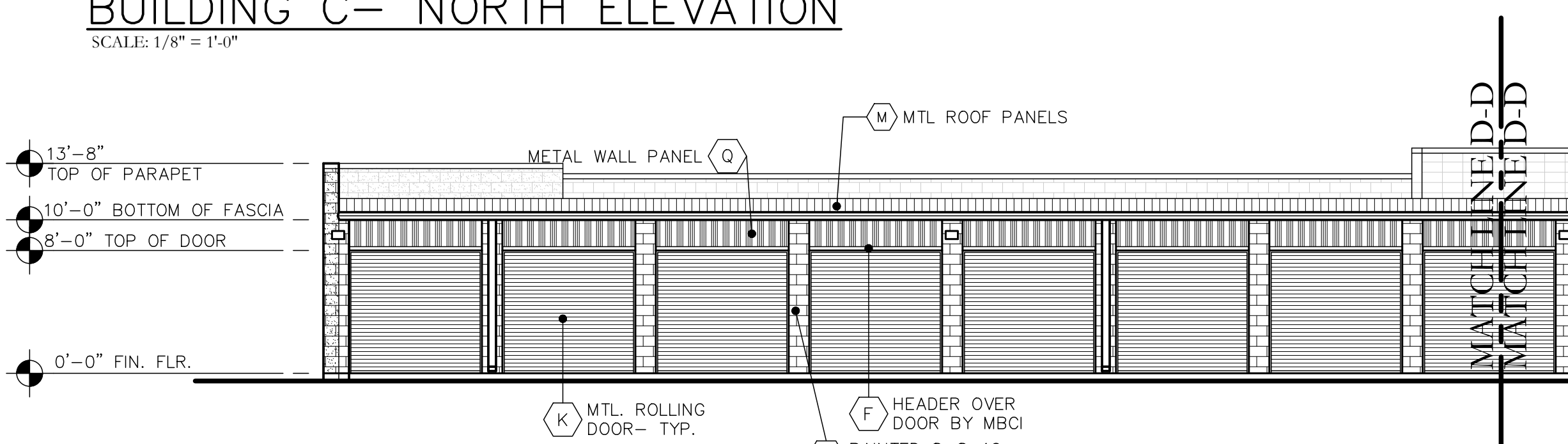
NEW SELF STORAGE  
for  
GUARDIAN STORAGE CENTERS  
APN 501-37-948 & -949B  
EL MIRAGE, ARIZONA



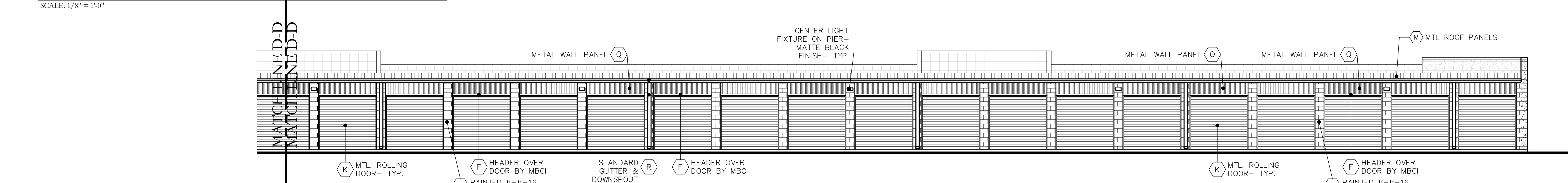
BUILDING C- NORTH ELEVATION- cont.  
SCALE: 1/8" = 1'-0"



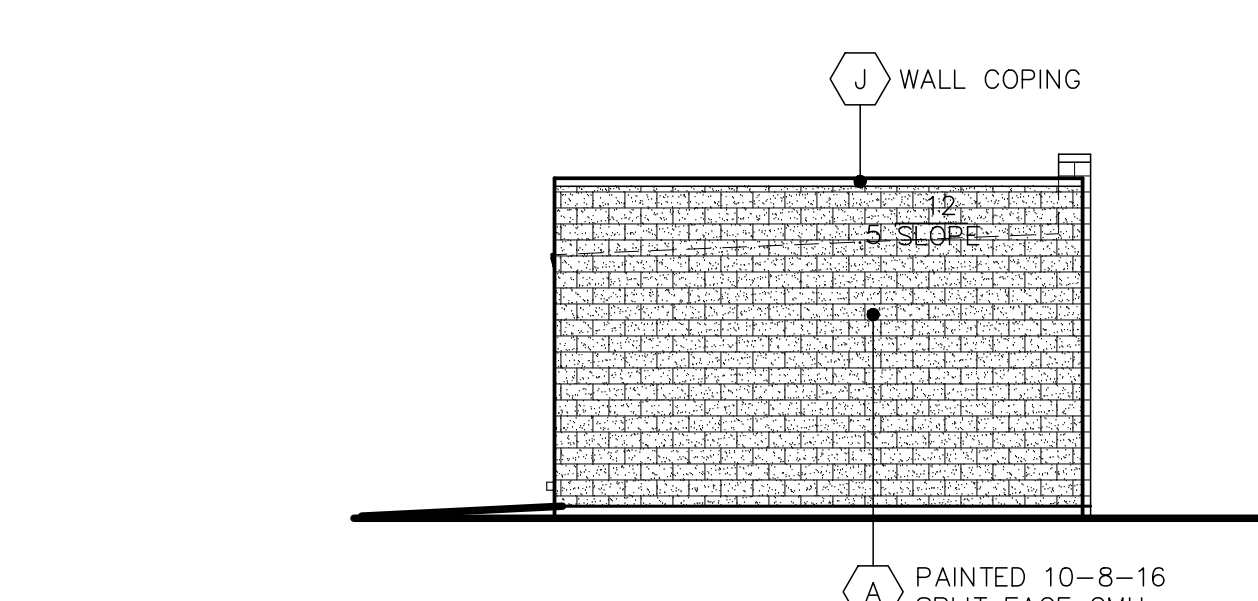
BUILDING C- NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



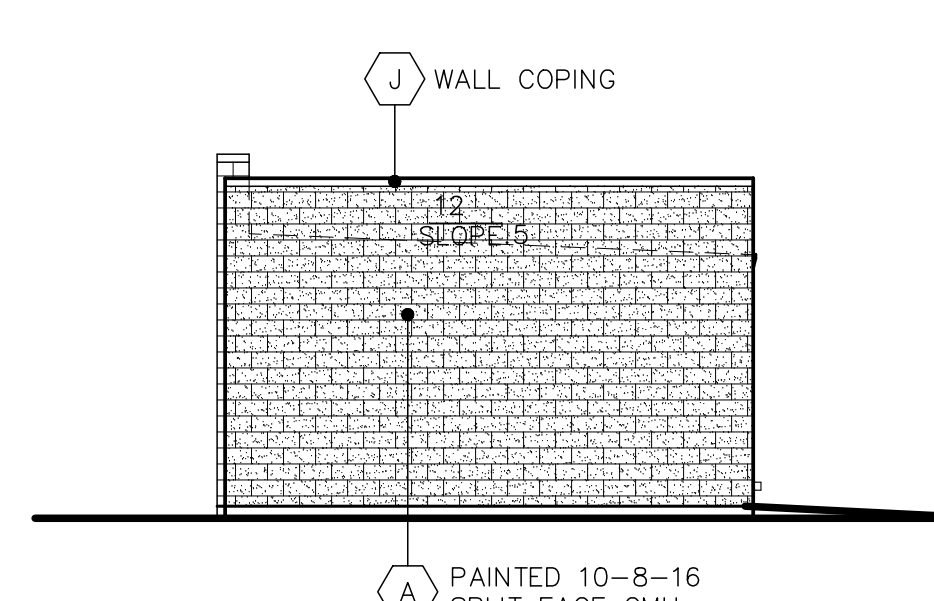
BUILDING C- SOUTH ELEVATION- cont.  
SCALE: 1/8" = 1'-0"



BUILDING C- SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



BUILDING C- EAST ELEVATION  
SCALE: 1/8" = 1'-0"



BUILDING C- WEST ELEVATION  
SCALE: 1/8" = 1'-0"

BUILDING C-OVERALL NORTH ELEVATION  
SCALE: 1/16" = 1'-0"

BUILDING C-OVERALL SOUTH ELEVATION  
SCALE: 1/16" = 1'-0"

MATERIAL KEY	
(A) PAINTED 10-8-16 CMU:	SPLIT FACE- DET631 COCOA POWDER BY DUNN EDWARDS
(B) PAINTED 8-8-16 CMU:	SMOOTH FACE- STACKED BOND- DE6377 BOAT ANCHOR BY DUNN EDWARDS
(C) PAINTED 8-8-16 CMU:	SMOOTH FACE- DET618 INDUSTRIAL AGE BY DUNN EDWARDS
(D) PAINTED STUCCO:	SMOOTH TEXTURE- DEW382 FADED GRAY BY DUNN EDWARDS
(E) METAL WALL PANELS:	FW-1200 BY MBCL- COLOR: SOLAR METALLIC
(F) METAL WALL PANELS:	PRU BY MBCL- COLOR: CRIMSON RED
(G) METAL ROOF PANELS & TRIM:	ULTRADK 24 BY MBCL- COLOR: SOLAR METALLIC
(H) PAINTED STEEL:	DEA139 NAUTICAL BY DUNN EDWARDS
(J) WALL COPING:	CHARCOAL GRAY BY MBCL
(K) ROLLING STL DOORS:	PATRIOT RED BY JANUS INTERNATIONAL GROUP
(L) ALUMINUM WINDOW FRAMES:	KAWNEER COLOR: CLEAR ANODIZED
(M) METAL ROOF PANELS:	ULTRADK 24 BY MBCL- COLOR: GALVALUME
(N) PAINTED H/M DOOR & FRAME:	DET631 COCOA POWDER BY DUNN EDWARDS
(P) SLIDING GLASS ENTRY DOOR:	DOUBLE ACTING- CLEAR ANODIZED
(Q) METAL WALL PANELS:	PRU BY MBCL- COLOR: CHARCOAL GRAY
(R) FASCIA, GUTTER & DOWNSPOUTS:	STANDARD BY MBCL- COLOR: CHARCOAL GRAY
(S) SOFFIT:	FW-1200 BY MBCL- COLOR: COBALT BLUE
(T) METAL FASCIA PANELS & TRIM:	FW-1200 BY MBCL- COLOR: SOLAR METALLIC

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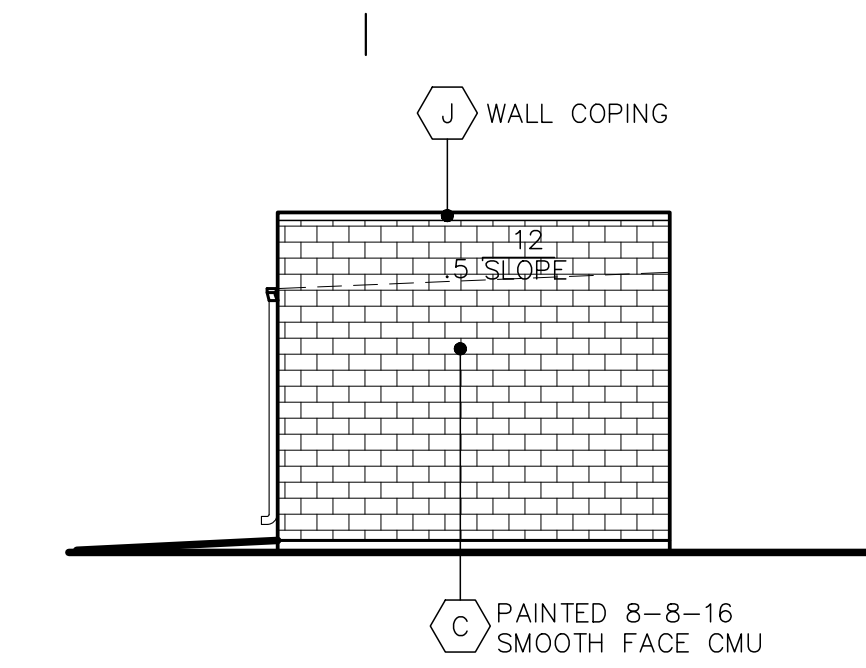
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DATE	ITEM
06/20/24	OWNER REVIEW
07/05/24	OWNER REVIEW

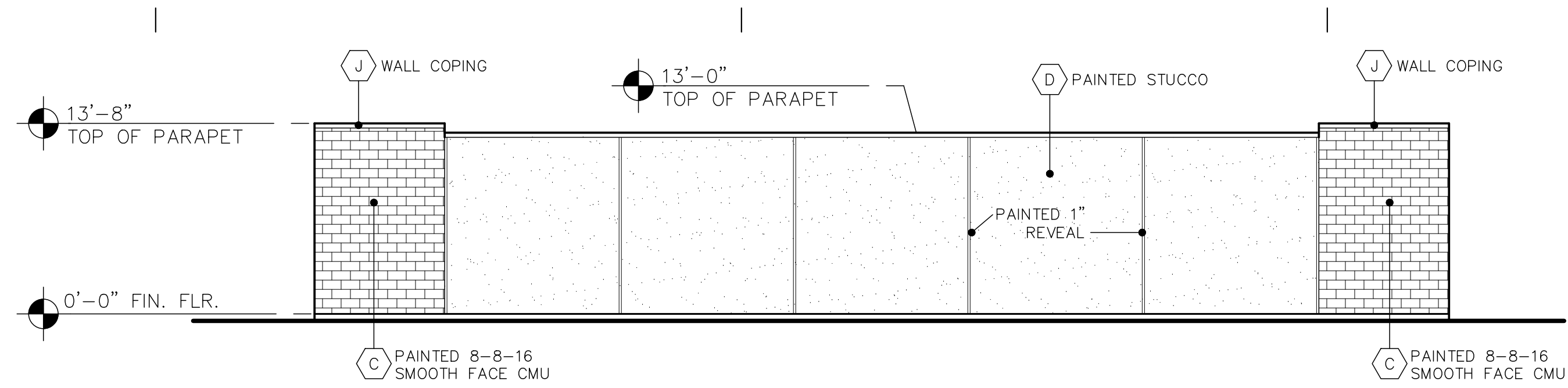
BUILDING 'C'  
ELEVATIONS

DWG NO:

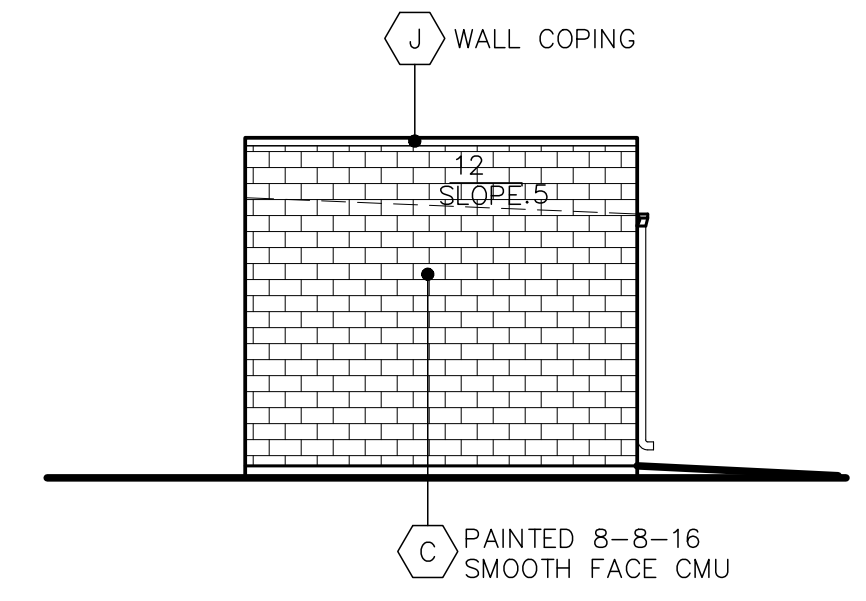
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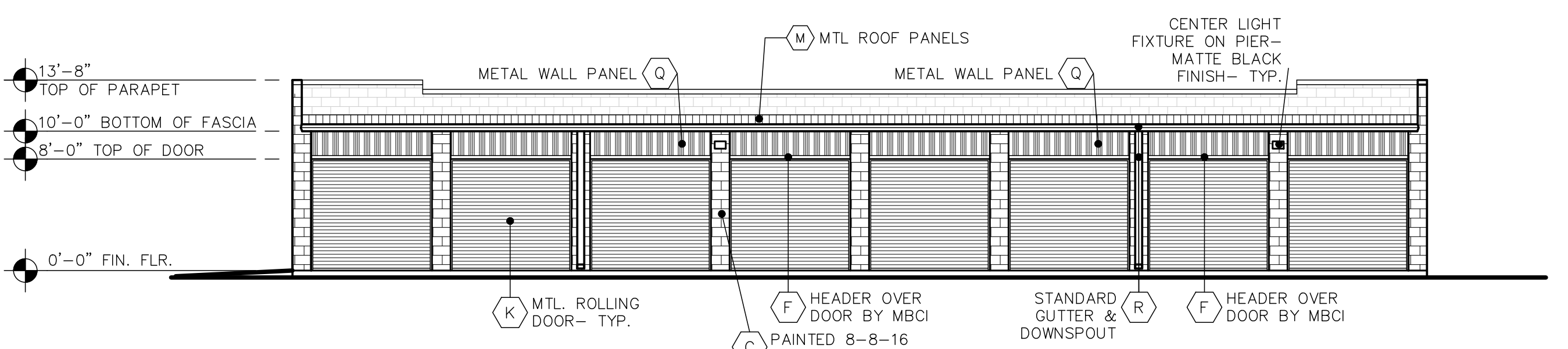
**BUILDING D- NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**BUILDING D- WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

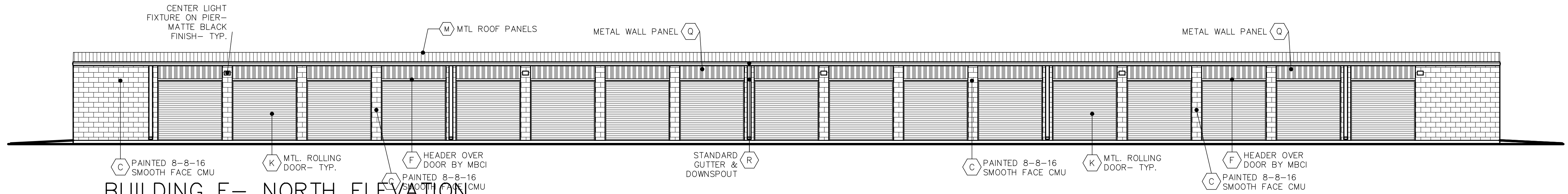


**BUILDING D- SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

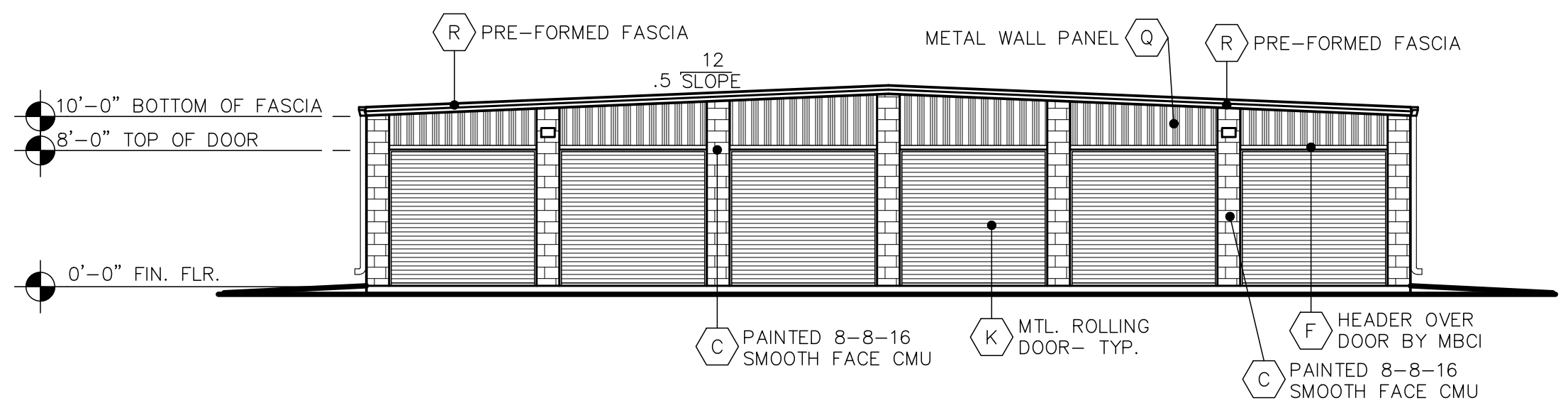


**BUILDING D- EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

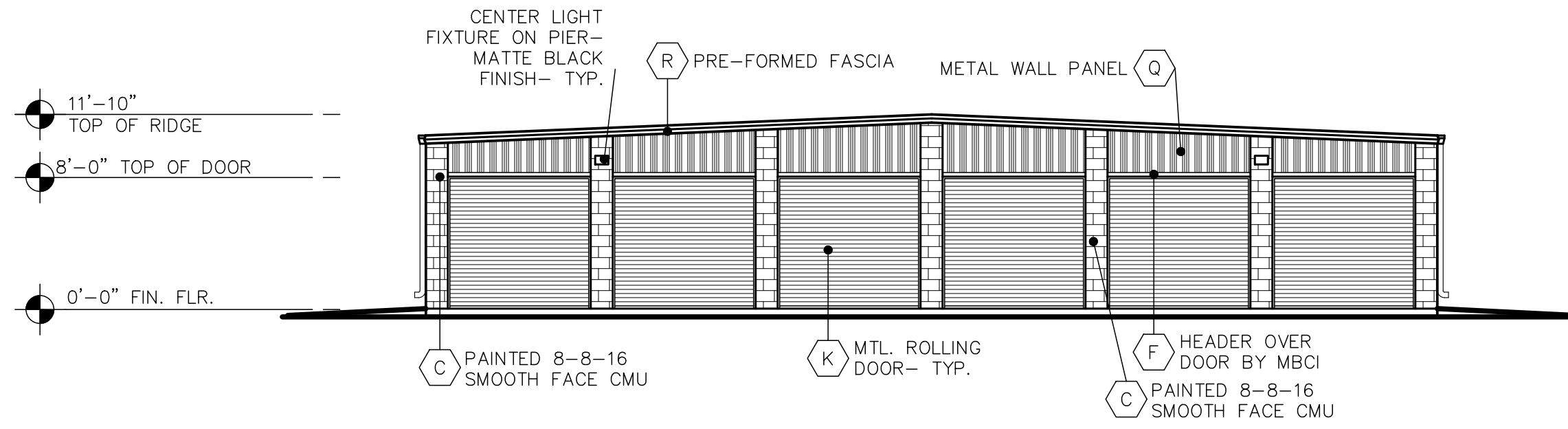
MATERIAL KEY	
(A) PAINTED 10-8-16 CMU:	SPLIT FACE- DET631 COCOA POWDER BY DUNN EDWARDS
(B) PAINTED 8-8-16 CMU:	SMOOTH FACE- STAGGED BOND- DE6377 BOAT ANCHOR BY DUNN EDWARDS
(C) PAINTED 8-8-16 CMU:	SMOOTH FACE- DET618 INDUSTRIAL AGE BY DUNN EDWARDS
(D) PAINTED STUCCO:	SMOOTH TEXTURE- DW382 FADING GRAY BY DUNN EDWARDS
(E) METAL WALL PANELS:	FW-1200 BY MBCI- COLOR: SOLAR METALLIC
(F) METAL WALL PANELS:	PRU BY MBCI- COLOR: CRIMSON RED
(G) METAL ROOF PANELS & TRIM:	ULTRADERK 24 BY MBCI- COLOR: SOLAR METALLIC
(H) PAINTED STEEL:	DEA139 NAUTICAL BY DUNN EDWARDS
(J) WALL COPING:	CHARCOAL GRAY BY MBCI
(K) ROLLING STL DOORS:	PATRIOT RED BY JANUS INTERNATIONAL GROUP
(L) ALUMINUM WINDOW FRAMES:	KAWNEER COLOR: CLEAR ANODIZED
(M) METAL ROOF PANELS:	ULTRADERK 24 BY MBCI- COLOR: GALV ALUMINE
(N) PAINTED H/MD DOOR & FRAME:	DET631 COCOA POWDER BY DUNN EDWARDS
(O) SLIDING GLASS ENTRY DOOR:	DOUBLE ACTING- CLEAR ANODIZED
(P) METAL WALL PANELS:	PRU BY MBCI- COLOR: CHARCOAL GRAY
(Q) FASCIA, GUTTER & DOWNSPOUTS:	STANDARD BY MBCI- COLOR: CHARCOAL GRAY
(S) SOFFIT:	FW-1200 BY MBCI- COLOR: COBALT BLUE
(T) METAL FASCIA PANELS & TRIM:	FW-1200 BY MBCI- COLOR: SOLAR METALLIC



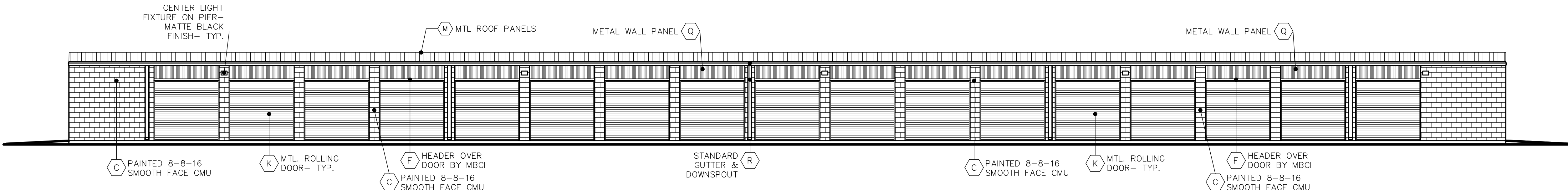
**BUILDING E- NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**BUILDING E- EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**BUILDING E- WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**BUILDING E- SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



1152 E. GREENWAY ST. SUITE 5  
MESA, ARIZONA 85203  
WWW.ONPOINTARCHITECTURE.COM  
PHONE: (480) 227-5259



JOB NO: 2401

NEW SELF STORAGE  
for  
GUARDIAN STORAGE CENTERS  
APN 501-37-948 & -949B  
EL MIRAGE, ARIZONA

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DATE	ITEM
06/20/24	OWNER REVIEW
07/05/24	OWNER REVIEW

BUILDINGS 'D' & 'E' ELEVATIONS

DWG NO:

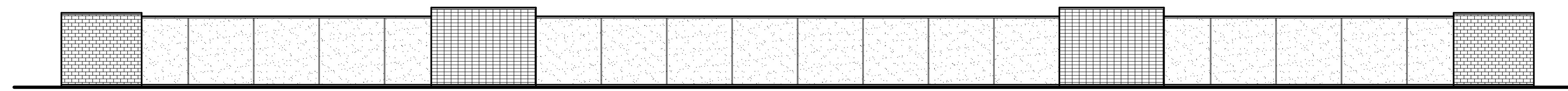
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JOB NO: 2401

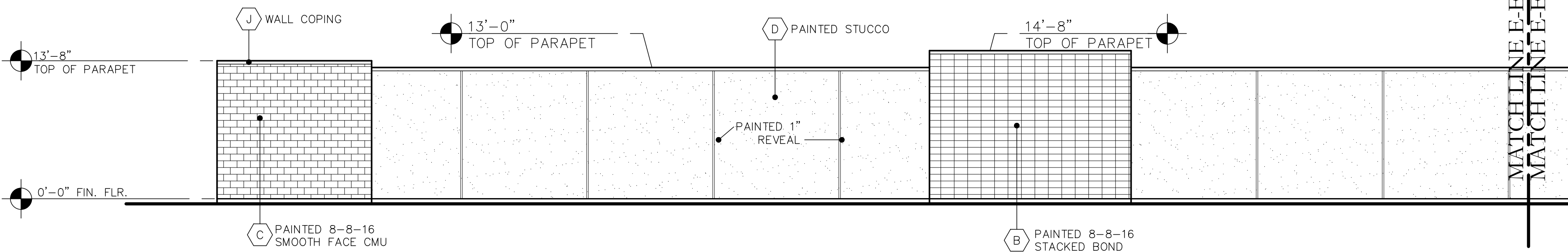
NEW SELF STORAGE  
 for  
 GUARDIAN STORAGE CENTERS  
 APN 501-37-948 & -949B  
 EL MIRAGE, ARIZONA

MATERIAL KEY	
(A) PAINTED 10-8-16 CMU	SPLIT FACE- DET631 COCOA POWDER BY DUNN EDWARDS
(B) PAINTED 8-8-16 CMU	SMOOTH FACE- STACKED BOND- DE6377 BOAT ANCHOR BY DUNN EDWARDS
(C) PAINTED 8-8-16 CMU	SMOOTH FACE- DET618 INDUSTRIAL AGE BY DUNN EDWARDS
(D) PAINTED STUCCO	SMOOTH TEXTURE- DIW382 FADING GRAY BY DUNN EDWARDS
(E) METAL WALL PANELS	FW-1200 BY MBCI -COLOR: SOLAR METALLIC
(F) METAL WALL PANELS	FRU BY MBCI -COLOR: CRIMSON RED
(G) METAL ROOF PANELS & TRIM	ULTRADEK 24 BY MBCI -COLOR: SOLAR METALLIC
(H) PAINTED STEEL	DEA139 NAUTICAL BY DUNN EDWARDS
(I) WALL COPING	CHARCOAL GRAY BY MBCI
(J) ROLLING STL DOORS	PATRIOT RED BY JANUS INTERNATIONAL GROUP
(K) ALUMINUM WINDOW FRAMES	KAWNEER -COLOR: CLEAR ANODIZED
(L) METAL ROOF PANELS	ULTRADEK 24 BY MBCI -COLOR: GALV ALUMI
(M) PAINTED H/MD DOOR & FRAME	DET631 COCOA POWDER BY DUNN EDWARDS
(N) SLIDING GLASS ENTRY DOOR	DOUBLE ACTING- CLEAR ANODIZED
(O) METAL WALL PANELS	FRU BY MBCI -COLOR: CHARCOAL GRAY
(P) FASCIA, GUTTER & DOWNSPOUTS	STANDARD BY MBCI -COLOR: CHARCOAL GRAY
(Q) SOFFIT	FW-1200 BY MBCI -COLOR: COBALT BLUE
(R) METAL FASCIA PANELS & TRIM	FW-1200 BY MBCI -COLOR: SOLAR METALLIC



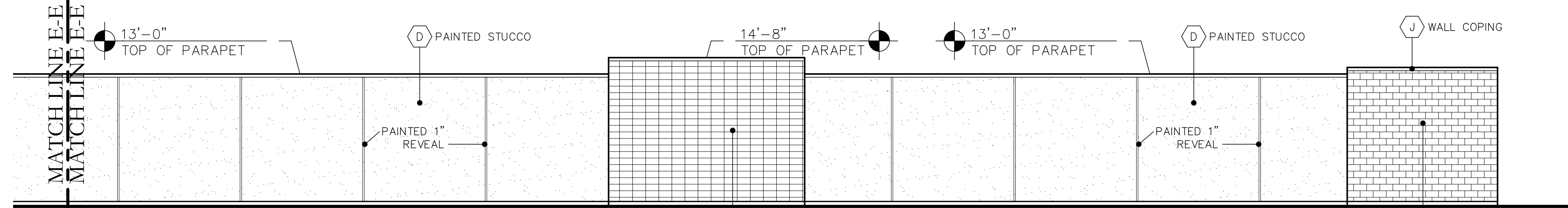
**BUILDINGS F & G- OVERALL SOUTH ELEVATION**

SCALE: 1/16" = 1'-0"



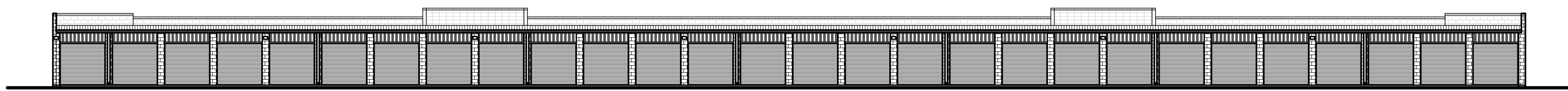
**BUILDINGS F & G- SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



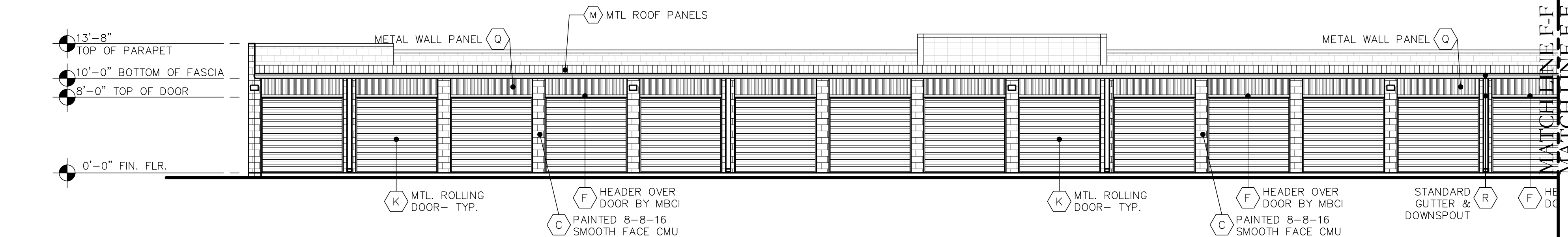
**BUILDINGS F & G- SOUTH ELEVATION- cont.**

SCALE: 1/8" = 1'-0"



**BUILDINGS F & G- OVERALL NORTH ELEVATION**

SCALE: 1/16" = 1'-0"



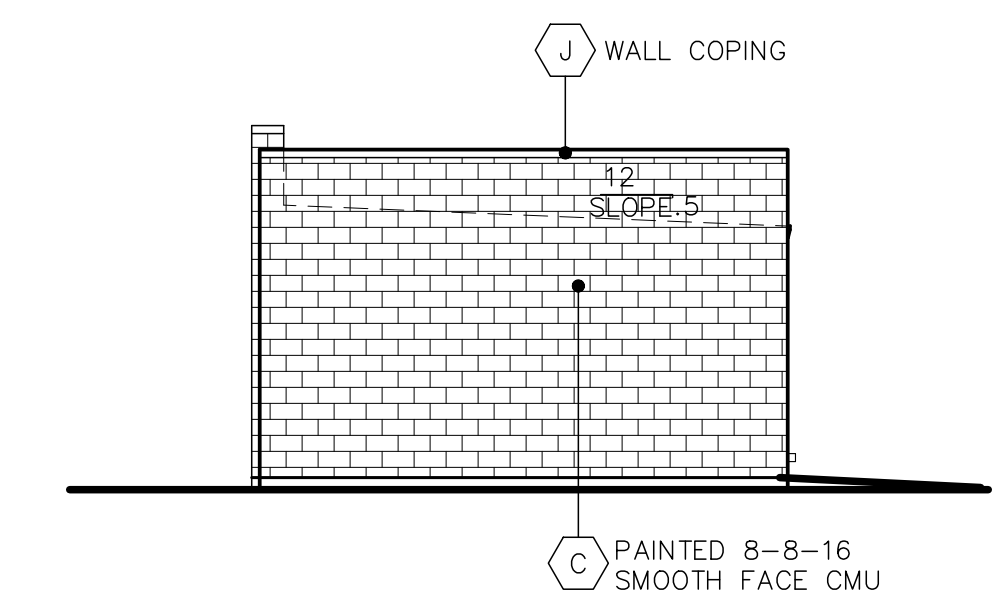
**BUILDINGS F & G- NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



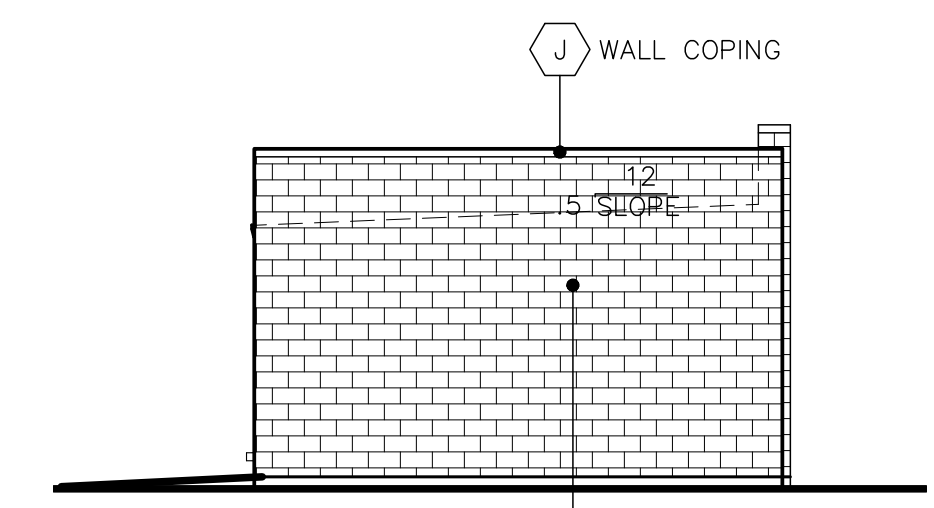
**BUILDINGS F & G- NORTH ELEVATION- cont.**

SCALE: 1/8" = 1'-0"



**BUILDINGS F & G- EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**BUILDINGS F & G- WEST ELEVATION**

SCALE: 1/8" = 1'-0"

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DATE	ITEM
06/20/24	OWNER REVIEW
07/05/24	OWNER REVIEW

BUILDINGS 'F' & 'G' ELEVATIONS

DWG NO:

# A3.6



3D RENDERING— BUILDING A OFFICE  
NOT TO SCALE



3D RENDERING— BUILDING B  
NOT TO SCALE



NEW SELF STORAGE  
for  
GUARDIAN STORAGE CENTERS  
APN 501-37-948 & -949B  
EL MIRAGE, ARIZONA

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DATE	ITEM
07/30/24	OWNER REVIEW

3D RENDERINGS

DWG NO:

**A3.0**

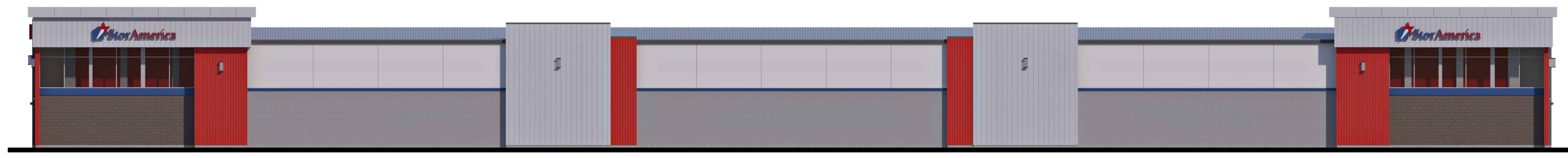




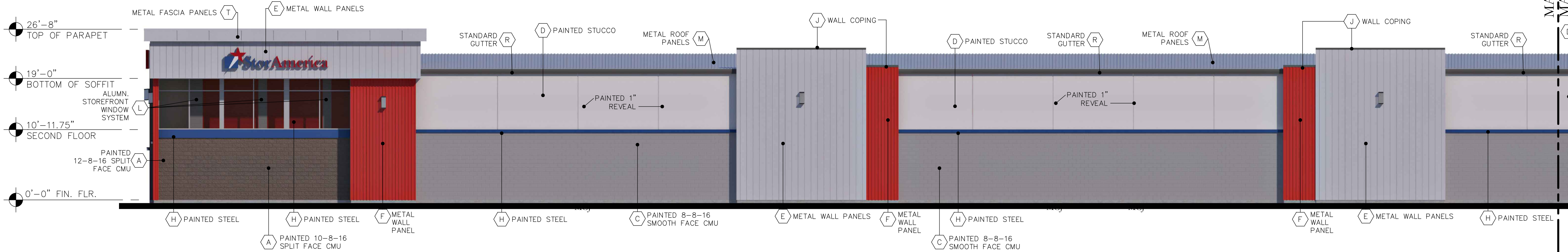
JOB NO: 2401

NEW SELF STORAGE  
 for  
 GUARDIAN STORAGE CENTERS  
 APN 501-37-948 & -949B  
 EL MIRAGE, ARIZONA

MATERIAL KEY	
(A) PAINTED 10-8-16 CMU	SPLIT FACE- DET631 COCOA POWDER BY DUNN EDWARDS
(B) PAINTED 8-8-16 CMU	SMOOTH FACE- STACKED BOND- DE6377 ROAT ANCHOR BY DUNN EDWARDS
(C) PAINTED 8-8-16 CMU	SMOOTH FACE- DET618 INDUSTRIAL AGE BY DUNN EDWARDS
(D) PAINTED STUCCO	SMOOTH TEXTURE- DEW382 FADED GRAY BY DUNN EDWARDS
(E) METAL WALL PANELS	FW-120-0 BY MBCL- COLOR: SOLAR METALLIC
(F) METAL WALL PANELS	PBU BY MBCL- COLOR: CRIMSON RED
(G) METAL ROOF PANELS & TRIM	ULTRADEK 24 BY MBCL- COLOR: SOLAR METALLIC
(H) PAINTED STEEL	DE119 NAUTICAL BY DUNN EDWARDS
(I) WALL COPING	CHARCOAL GRAY BY MBCL
(J) ROLLING STL DOORS	PATRIOT RED BY JANUS INTERNATIONAL GROUP
(K) ALUMINUM WINDOW FRAMES	KAWNEER COLOR: CLEAR ANODIZED
(L) METAL ROOF PANELS	ULTRADEK 24 BY MBCL- COLOR: GALVALUME
(M) PAINTED H/M DOOR & FRAME	DET631 COCOA POWDER BY DUNN EDWARDS
(N) SLIDING GLASS ENTRY DOOR	DOUBLE ACTING- CLEAR ANODIZED
(O) METAL WALL PANELS	PBU BY MBCL- COLOR: CHARCOAL GRAY
(P) FASCIA, GUTTER & DOWNSPOUTS	STANDARD BY MBCL- COLOR: CHARCOAL GRAY
(Q) SOFFIT	FW-120-0 BY MBCL- COLOR: CORAL BLUE
(R) METAL FASCIA PANELS & TRIM	FW-120-0 BY MBCL- COLOR: SOLAR METALLIC



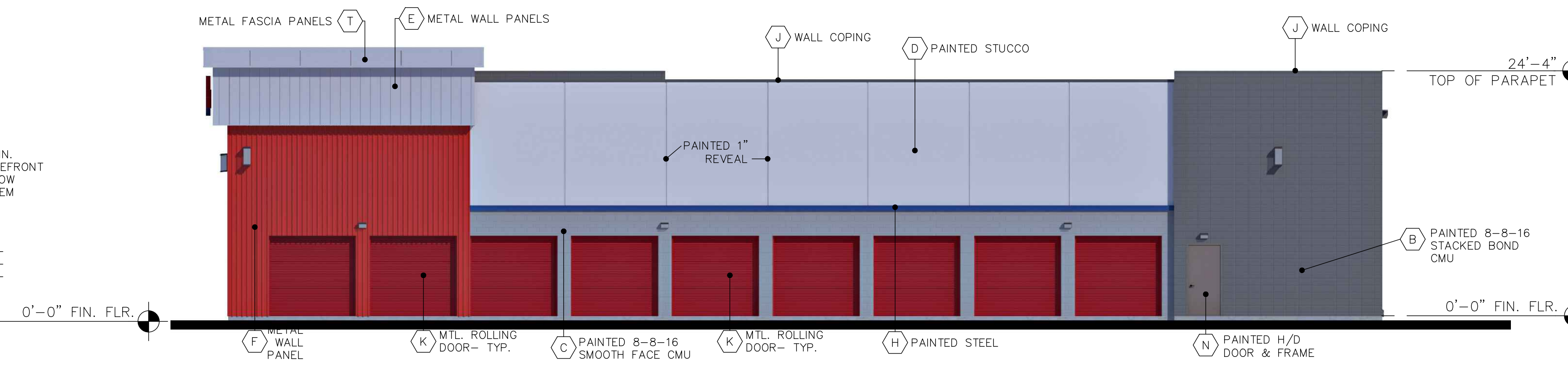
**BUILDING B- OVERALL NORTH ELEVATION**  
 SCALE: 1/16" = 1'-0"



**BUILDING B- NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**BUILDING B- NORTH ELEVATION- cont.**  
 SCALE: 1/8" = 1'-0"



**BUILDING B- WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"

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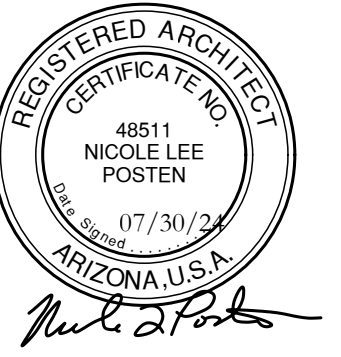
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DATE	ITEM
06/20/24	OWNER REVIEW
07/05/24	OWNER REVIEW
07/30/24	OWNER REVIEW

BUILDING 'B' ELEVATIONS IN COLOR

DWG NO:

**A3.8**



JOB NO: 2401

NEW SELF STORAGE  
 for  
 GUARDIAN STORAGE CENTERS  
 APN 501-37-948 & -949B  
 EL MIRAGE, ARIZONA

MATERIAL KEY	
(A) PAINTED 10-8-16 CMU	SPLIT FACE- DET631 COCOA POWDER BY DUNN EDWARDS
(B) PAINTED 8-8-16 CMU	SMOOTH FACE- STACKED BOND- DE6377 BOAT ANCHOR BY DUNN EDWARDS
(C) PAINTED 8-8-16 CMU	SMOOTH FACE- DET618 INDUSTRIAL AGE BY DUNN EDWARDS
(D) PAINTED STUCCO	SMOOTH TEXTURE- DEW382 FADED GRAY BY DUNN EDWARDS
(E) METAL WALL PANELS	FW-120-0 BY MBCI - COLOR: SOLAR METALLIC
(F) METAL WALL PANELS	PBU BY MBCI - COLOR: CRIMSON RED
(G) METAL ROOF PANELS & TRIM	ULTRADEK 24 BY MBCI - COLOR: SOLAR METALLIC
(H) PAINTED STEEL	DEA139 NAUTICAL BY DUNN EDWARDS
(I) WALL COPING	CHARCOAL GRAY BY MBCI
(J) ROLLING STL DOORS	PATRIOT RED BY JANUS INTERNATIONAL GROUP
(K) ALUMINUM WINDOW FRAMES	KAWNEER - COLOR: CLEAR ANODIZED
(L) METAL ROOF PANELS	ULTRADEK 24 BY MBCI - COLOR: GALVALLUME
(M) PAINTED H/M DOOR & FRAME	DET631 COCOA POWDER BY DUNN EDWARDS
(N) SLIDING GLASS ENTRY DOOR	DOUBLE ACTING- CLEAR ANODIZED
(O) METAL WALL PANELS	PBU BY MBCI - COLOR: CHARCOAL GRAY
(P) FASCIA, GUTTER & DOWNSPOUTS	STANDARD BY MBCI - COLOR: CHARCOAL GRAY
(Q) SOFFIT	FW-120-0 BY MBCI - COLOR: COBALT BLUE
(R) METAL FASCIA PANELS & TRIM	FW-120-0 BY MBCI - COLOR: SOLAR METALLIC



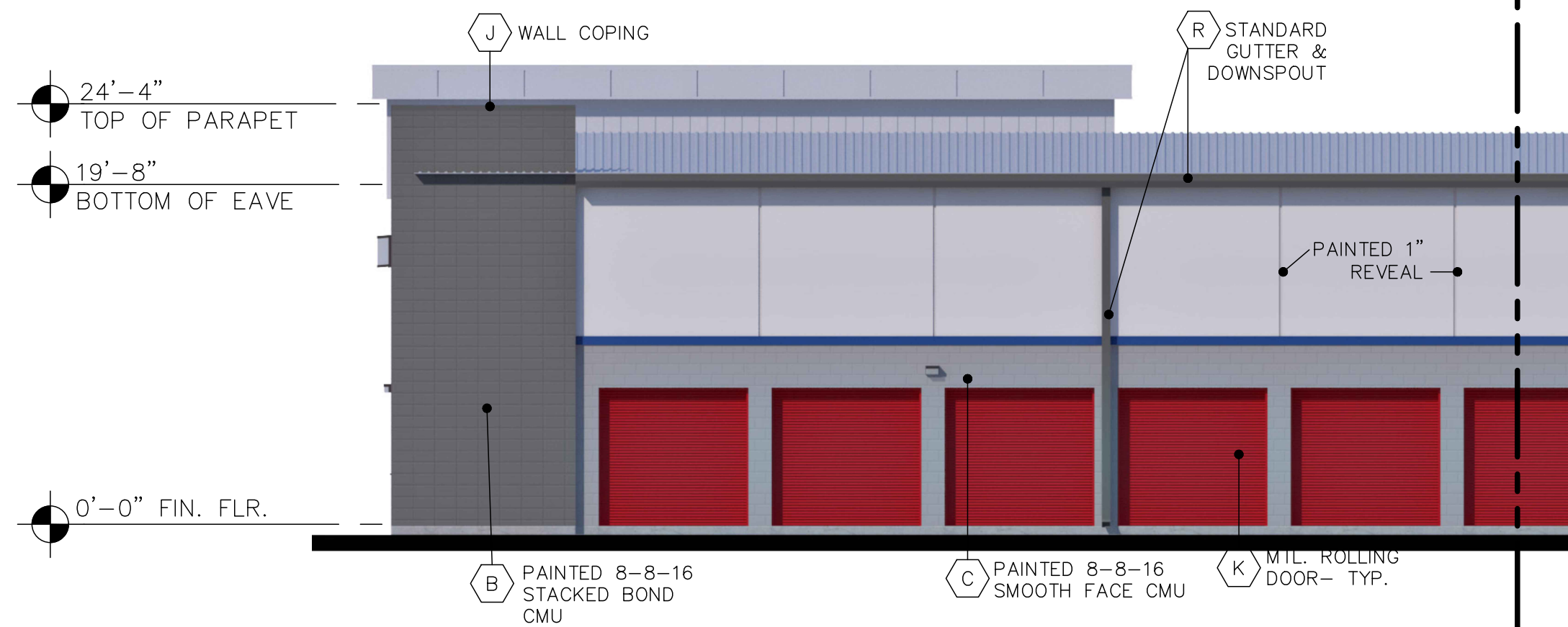
**BUILDING B- OVERALL SOUTH ELEVATION**  
 SCALE: 1/16" = 1'-0"

MATCH LINE B-B

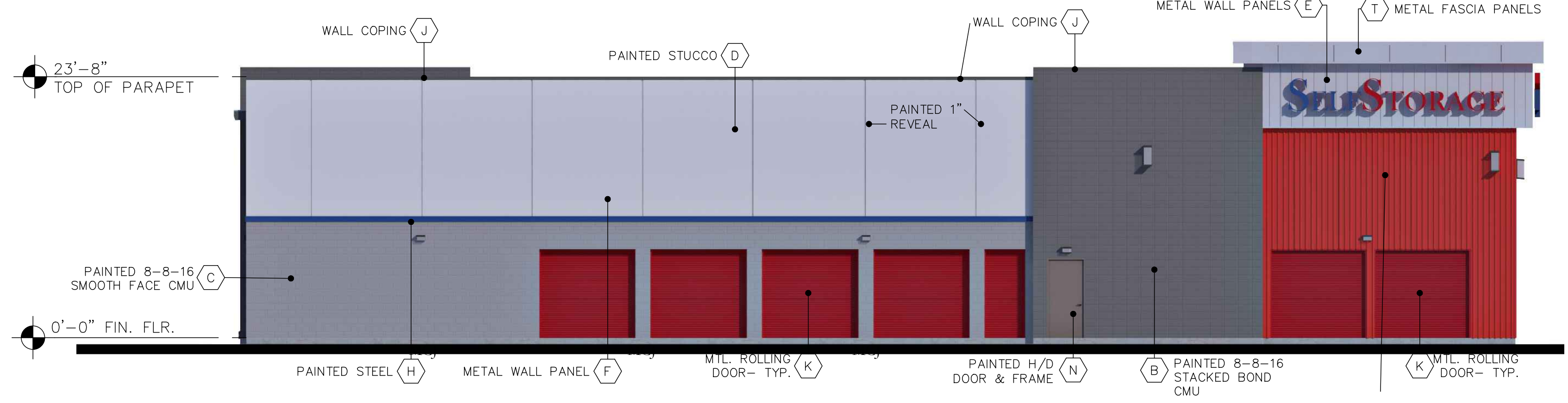


**BUILDING B- SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

MATCH LINE B-B



**BUILDING B- SOUTH ELEVATION- cont**  
 SCALE: 1/8" = 1'-0"



**BUILDING B- EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"

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DATE	ITEM
06/20/24	OWNER REVIEW
07/05/24	OWNER REVIEW
07/30/24	OWNER REVIEW

BUILDING 'B'  
 ELEVATIONS  
 IN COLOR

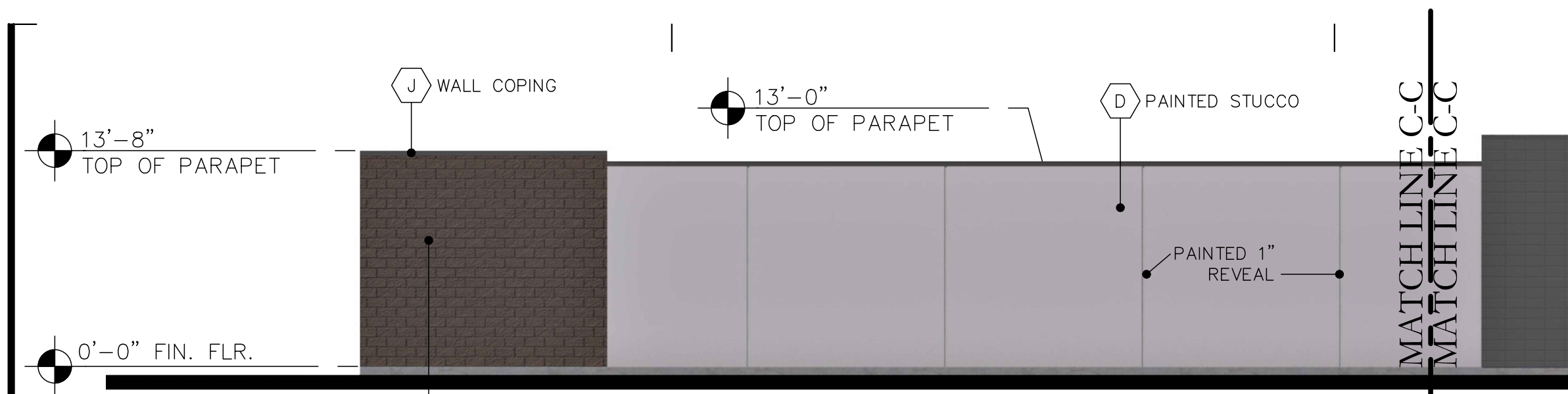
DWG NO:

# A3.9

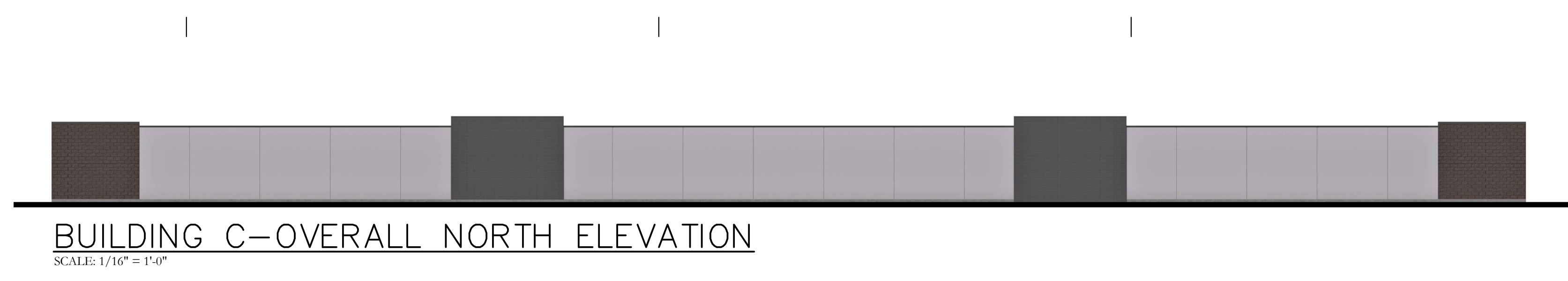


JOB NO: 2401

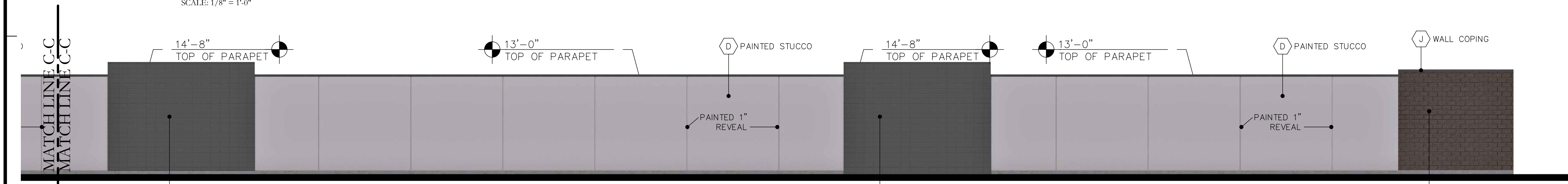
NEW SELF STORAGE  
for  
GUARDIAN STORAGE CENTERS  
APN 501-37-948 & -949B  
EL MIRAGE, ARIZONA



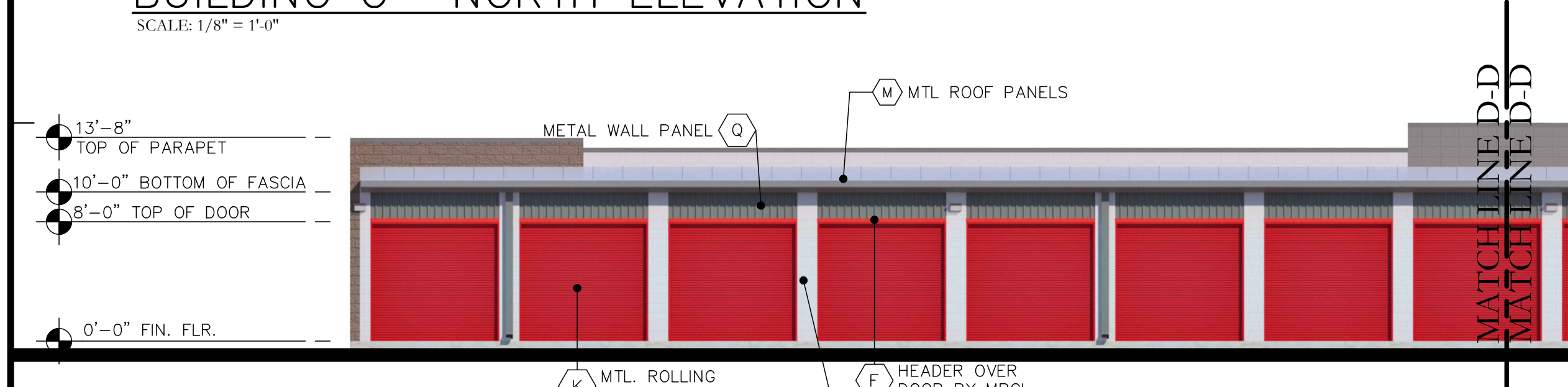
**BUILDING C- NORTH ELEVATION- cont.**  
SCALE: 1/8" = 1'-0"



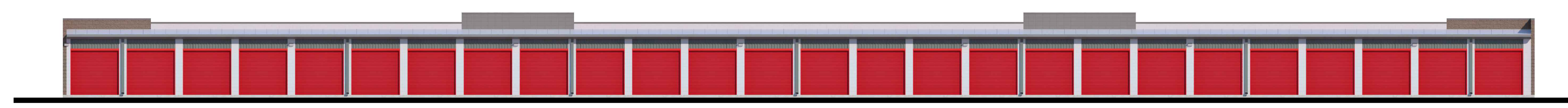
**BUILDING C-OVERALL NORTH ELEVATION**  
SCALE: 1/16" = 1'-0"



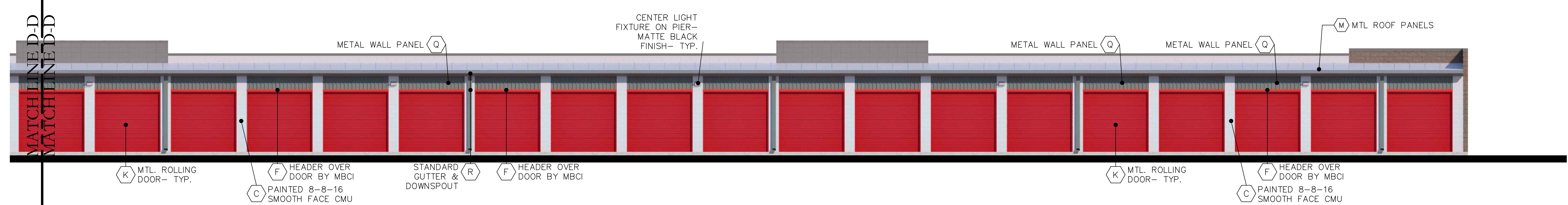
**BUILDING C- NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



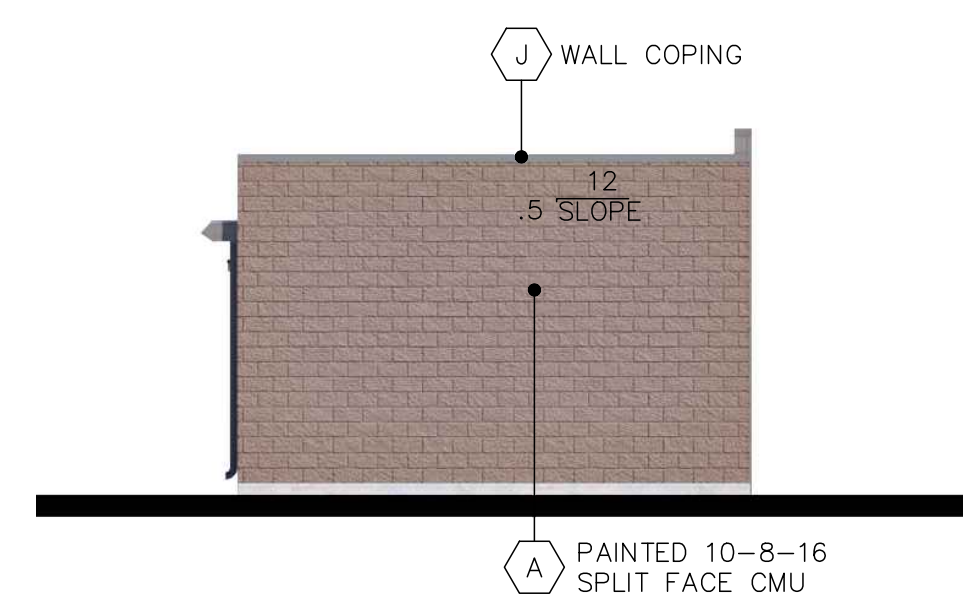
**BUILDING C- SOUTH ELEVATION- cont.**  
SCALE: 1/8" = 1'-0"



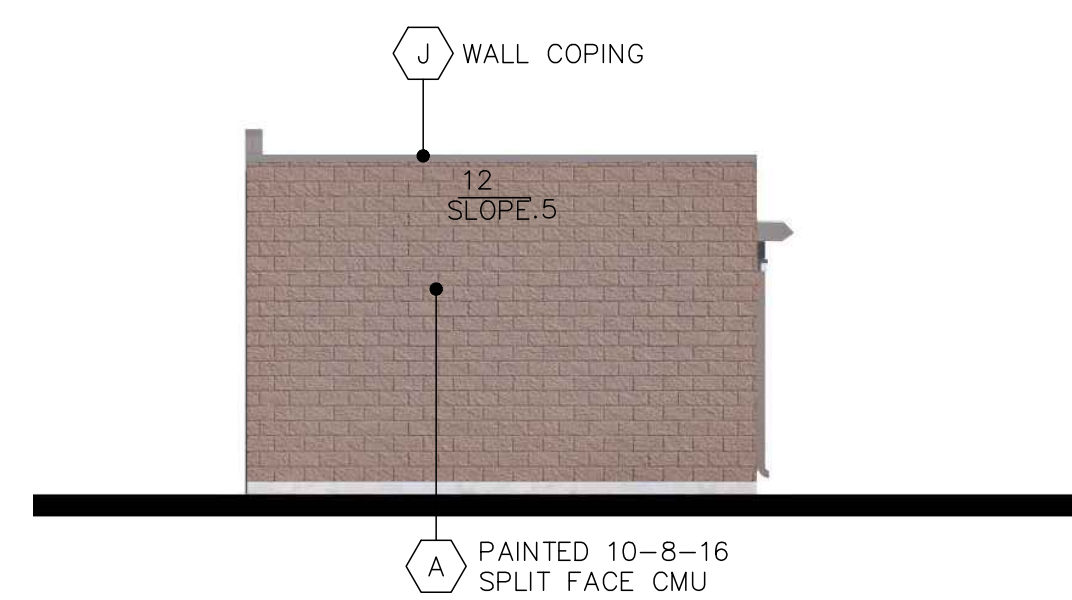
**BUILDING C-OVERALL SOUTH ELEVATION**  
SCALE: 1/16" = 1'-0"



**BUILDING C- SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**BUILDING C- EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**BUILDING C- WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

MATERIAL KEY	
(A) PAINTED 10-8-16 CMU:	SPLIT FACE- DET631 COCOA POWDER BY DUNN EDWARDS
(B) PAINTED 8-8-16 CMU:	SMOOTH FACE- STACKED BOND- DE6377 BOAT ANCHOR BY DUNN EDWARDS
(C) PAINTED 8-8-16 CMU:	SMOOTH FACE- DET618 INDUSTRIAL AGE BY DUNN EDWARDS
(D) PAINTED STUCCO:	SMOOTH TEXTURE- DEW382 FADED GRAY BY DUNN EDWARDS
(E) METAL WALL PANELS:	FW-1200 BY MBCL- COLOR: SOLAR METALLIC
(F) METAL WALL PANELS:	PRU BY MBCL- COLOR: CRIMSON RED
(G) METAL ROOF PANELS & TRIM:	ULTRADK 24 BY MBCL- COLOR: SOLAR METALLIC
(H) PAINTED STEEL:	DEA139 NAUTICAL BY DUNN EDWARDS
(J) WALL COPING:	CHARCOAL GRAY BY MBCL
(K) ROLLING STL DOORS:	PATRIOT RED BY JANUS INTERNATIONAL GROUP
(L) ALUMINUM WINDOW FRAMES:	KAWNEER- COLOR: CLEAR ANODIZED
(M) METAL ROOF PANELS:	ULTRADK 24 BY MBCL- COLOR: GALVALUME
(N) PAINTED H/M DOOR & FRAME:	DET631 COCOA POWDER BY DUNN EDWARDS
(P) SLIDING GLASS ENTRY DOOR:	DOUBLE ACTING- CLEAR ANODIZED
(Q) METAL WALL PANELS:	PRU BY MBCL- COLOR: CHARCOAL GRAY
(R) FASCIA, GUTTER & DOWNSPOUTS:	STANDARD BY MBCL- COLOR: CHARCOAL GRAY
(S) SOFFIT:	FW-1200 BY MBCL- COLOR: COBALT BLUE
(T) METAL FASCIA PANELS & TRIM:	FW-1200 BY MBCL- COLOR: SOLAR METALLIC

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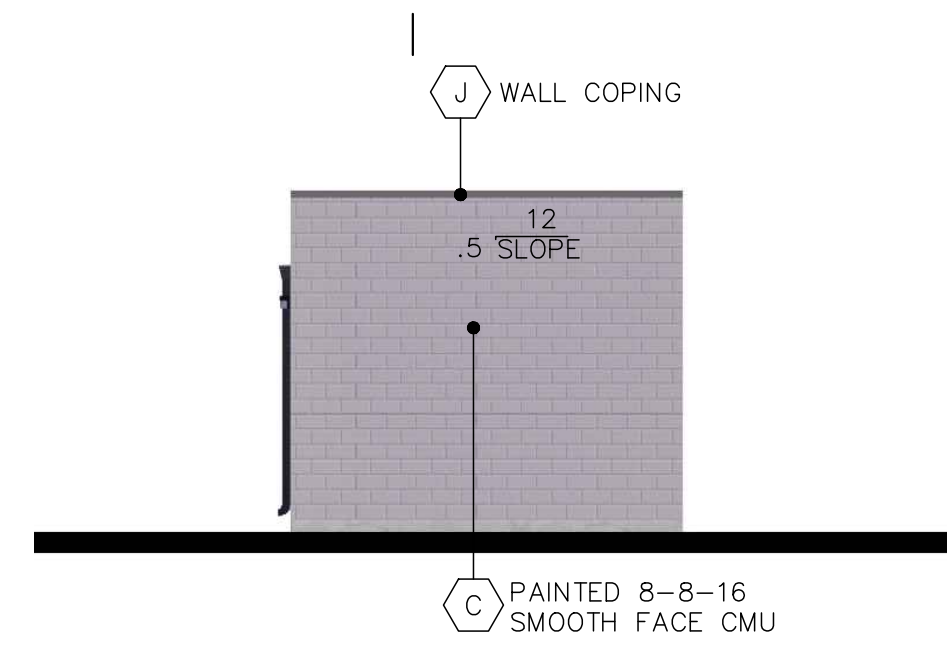
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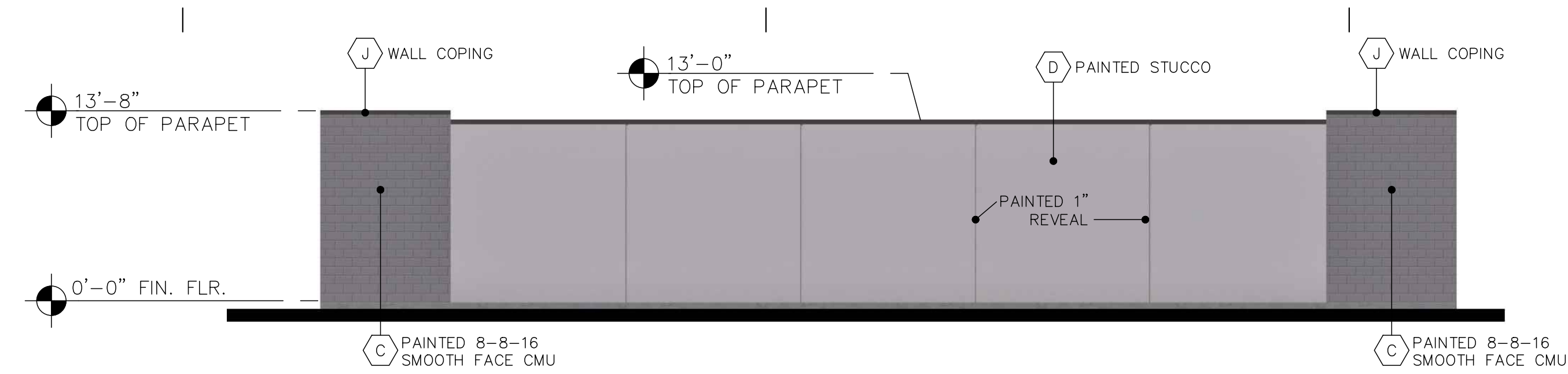
BUILDING 'C'  
ELEVATIONS  
IN COLOR

DWG NO:

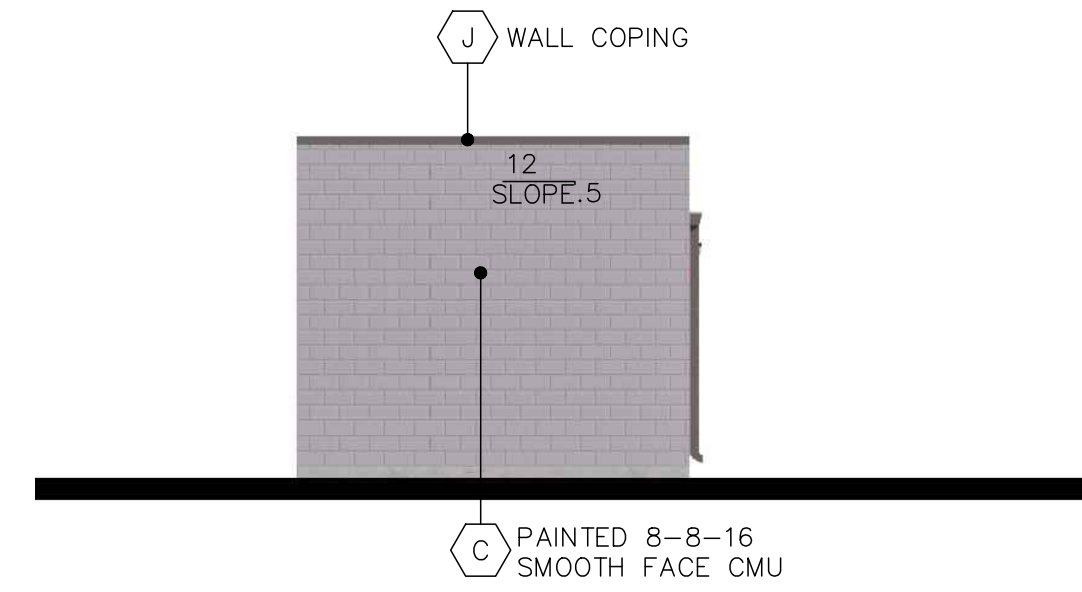
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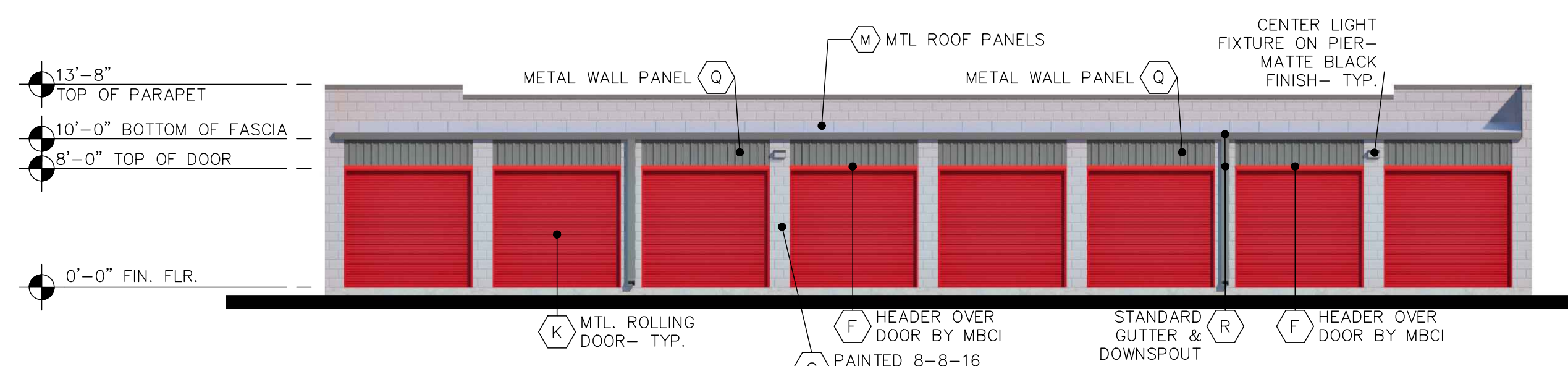
**BUILDING D— NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**BUILDING D— WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

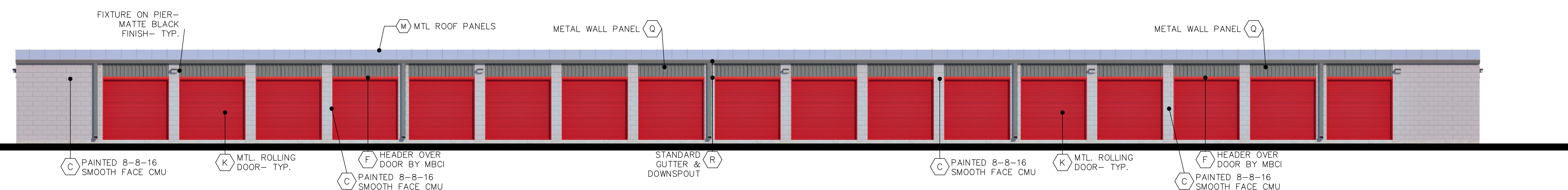


**BUILDING D— SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

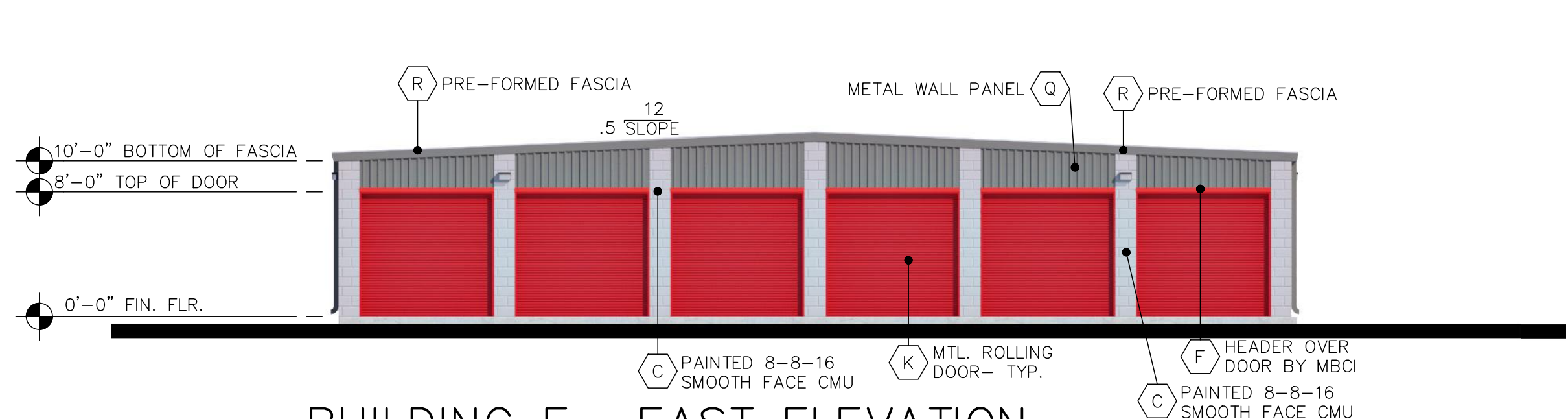


**BUILDING D— EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

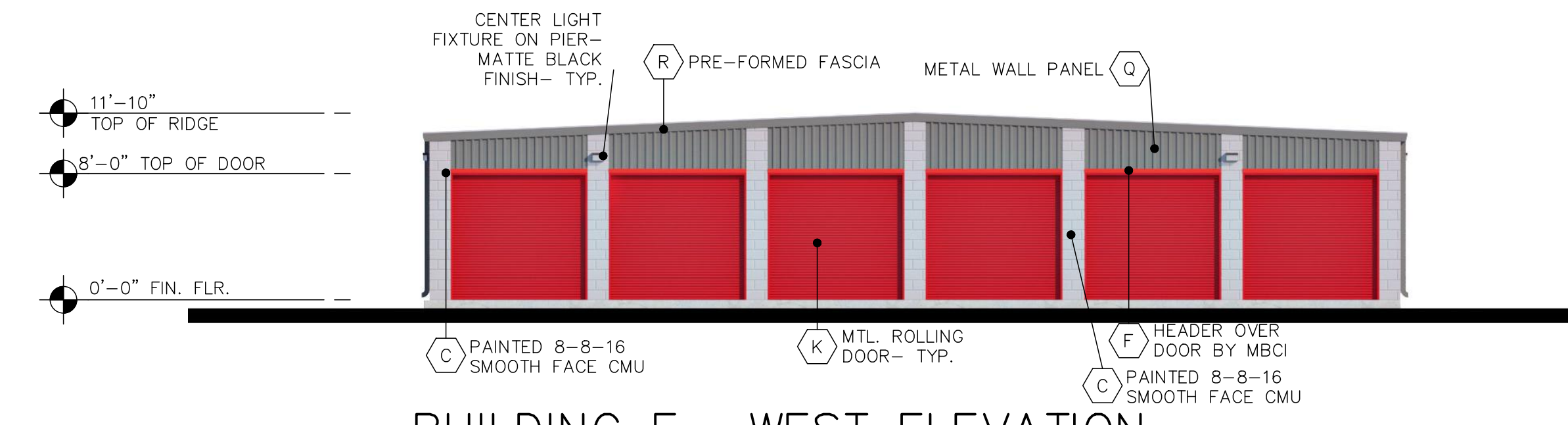
MATERIAL KEY	
(A) PAINTED 10-8-16 CMU:	SPLIT FACE- DET631 COCOA POWDER BY DUNN EDWARDS
(B) PAINTED 8-8-16 CMU:	SMOOTH FACE- STAGGED BOND- DE6377 BOAT ANCHOR BY DUNN EDWARDS
(C) PAINTED 8-8-16 CMU:	SMOOTH FACE- DET618 INDUSTRIAL AGE BY DUNN EDWARDS
(D) PAINTED STUCCO:	SMOOTH TEXTURE- DW382 FADING GRAY BY DUNN EDWARDS
(E) METAL WALL PANELS:	FW-1200 BY MBCI -COLOR: SOLAR METALLIC
(F) METAL WALL PANELS:	FRU BY MBCI -COLOR: CRIMSON RED
(G) METAL ROOF PANELS & TRIM:	ULTRADER 24 BY MBCI -COLOR: SOLAR METALLIC
(H) PAINTED STEEL:	DEA139 NAUTICAL BY DUNN EDWARDS
(J) WALL COPING:	CHARCOAL GRAY BY MBCI
(K) ROLLING STL DOORS:	PATRIOT RED BY JANUS INTERNATIONAL GROUP
(L) ALUMINUM WINDOW FRAMES:	KAWNEER -COLOR: CLEAR ANODIZED
(M) METAL ROOF PANELS:	ULTRADER 24 BY MBCI -COLOR: GALV ALUMI
(N) PAINTED H/M DOOR & FRAME:	DET631 COCOA POWDER BY DUNN EDWARDS
(P) SLIDING GLASS ENTRY DOOR:	DOUBLE ACTING- CLEAR ANODIZED
(Q) METAL WALL PANELS:	FRU BY MBCI -COLOR: CHARCOAL GRAY
(S) SOFFIT:	STANDARD BY MBCI -COLOR: CHARCOAL GRAY
(T) METAL FASCIA PANELS & TRIM:	FW-1200 BY MBCI -COLOR: COBALT BLUE
	FW-1200 BY MBCI -COLOR: SOLAR METALLIC



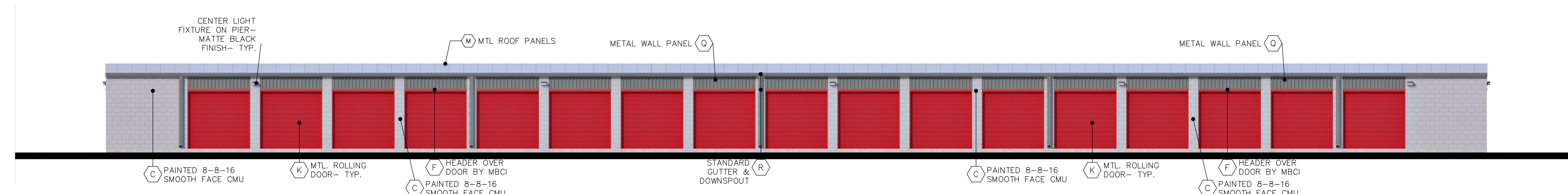
**BUILDING E— NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**BUILDING E— EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**BUILDING E— WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**BUILDING E— SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



1152 E. GREENWAY ST. SUITE 5  
MESA, ARIZONA 85203  
WWW.ONPOINTARCHITECTURE.COM  
PHONE: (480) 227-5259



JOB NO: 2401

NEW SELF STORAGE  
for  
GUARDIAN STORAGE CENTERS  
APN 501-37-948 & -949B  
EL MIRAGE, ARIZONA

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BUILDINGS 'D' & 'E' ELEVATIONS  
IN COLOR

DWG NO:

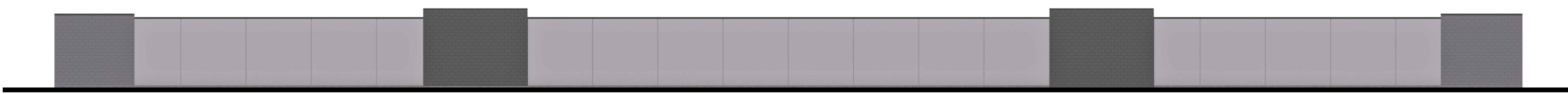
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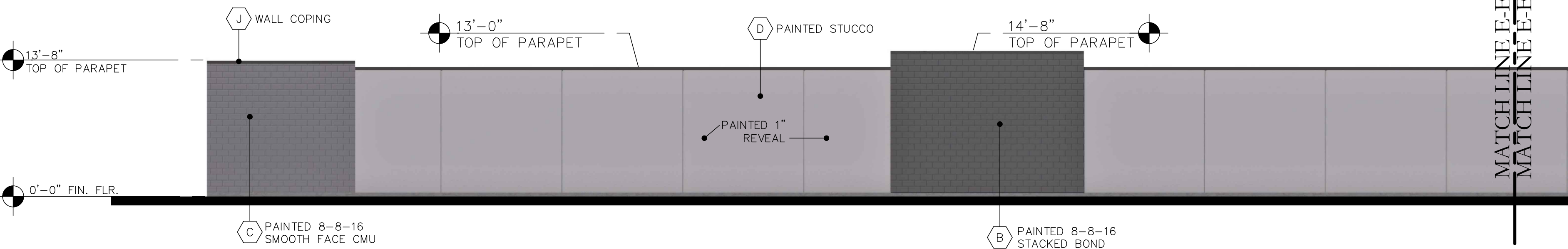
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 APN 501-37-948 & -949B  
 EL MIRAGE, ARIZONA

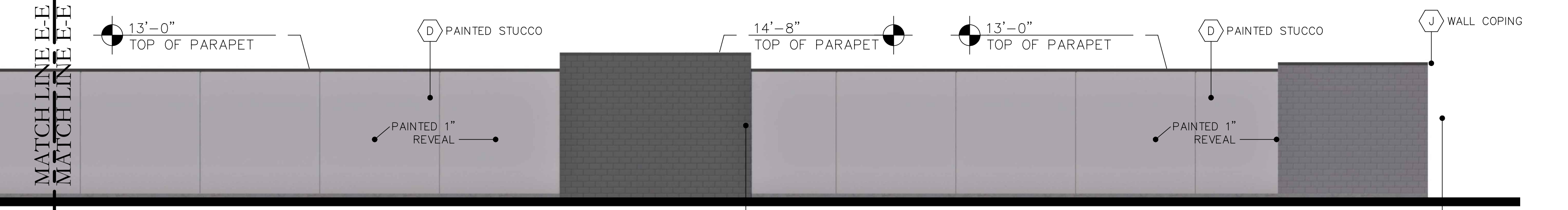
MATERIAL KEY	
(A) PAINTED 8-8-16 CMU	SPLIT FACE- DET631 COCOA POWDER BY DUNN EDWARDS
(B) PAINTED 8-8-16 CMU	SMOOTH FACE- STACKED BOND- DE6377 BOAT ANCHOR BY DUNN EDWARDS
(C) PAINTED 8-8-16 CMU	SMOOTH FACE- DET618 INDUSTRIAL AGE BY DUNN EDWARDS
(D) PAINTED STUCCO	SMOOTH TEXTURE- DIW382 FADING GRAY BY DUNN EDWARDS
(E) METAL WALL PANELS	FW-1200 BY MBCI -COLOR: SOLAR METALLIC
(F) METAL WALL PANELS	FRU BY MBCI -COLOR: CRIMSON RED
(G) METAL ROOF PANELS & TRIM	ULTRADEK 24 BY MBCI -COLOR: SOLAR METALLIC
(H) PAINTED STEEL	DEA139 NAUTICAL BY DUNN EDWARDS
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(K) ALUMINUM WINDOW FRAMES	KAWNEER -COLOR: CLEAR ANODIZED
(L) METAL ROOF PANELS	ULTRADEK 24 BY MBCI -COLOR: GALV ALUMINE
(M) PAINTED H/MD DOOR & FRAME	DET631 COCOA POWDER BY DUNN EDWARDS
(N) SLIDING GLASS ENTRY DOOR	DOUBLE ACTING- CLEAR ANODIZED
(O) METAL WALL PANELS	FRU BY MBCI -COLOR: CHARCOAL GRAY
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(Q) SOFFIT	FW-1200 BY MBCI -COLOR: COBALT BLUE
(R) METAL FASCIA PANELS & TRIM	FW-1200 BY MBCI -COLOR: SOLAR METALLIC



**BUILDINGS F & G—OVERALL SOUTH ELEVATION**  
 SCALE: 1/16" = 1'-0"



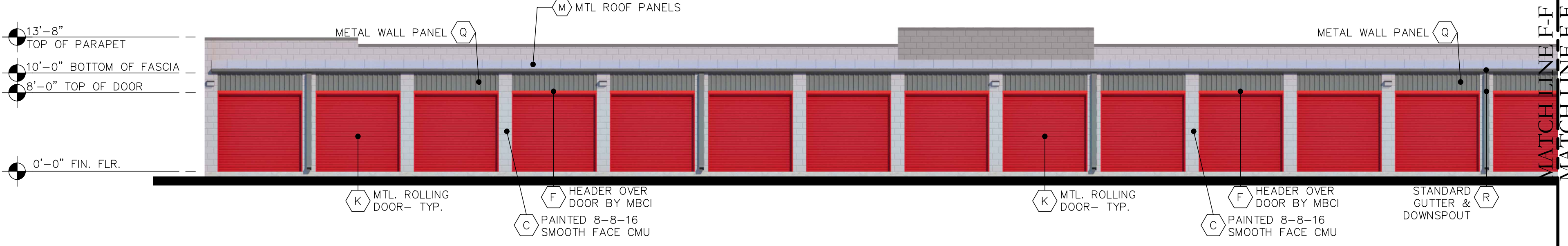
**BUILDINGS F & G— SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**BUILDINGS F & G— SOUTH ELEVATION— cont.**  
 SCALE: 1/8" = 1'-0"



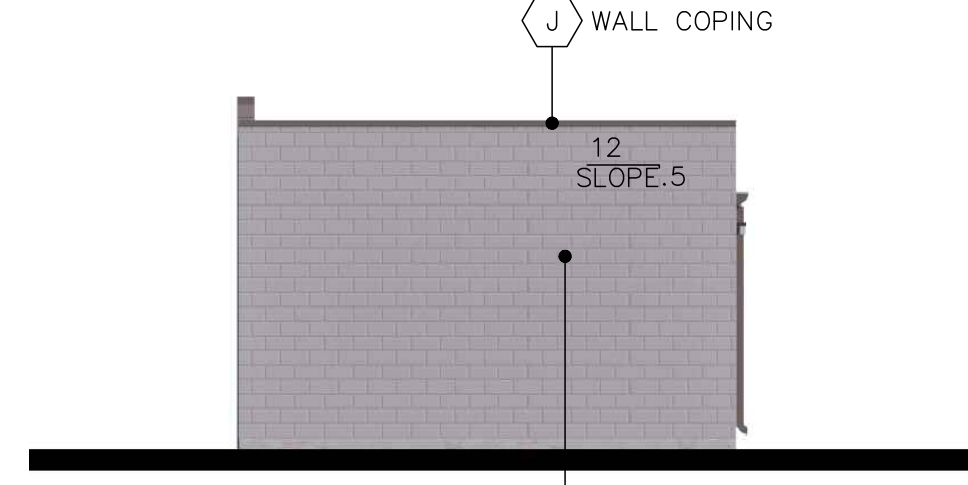
**BUILDINGS F & G—OVERALL NORTH ELEVATION**  
 SCALE: 1/16" = 1'-0"



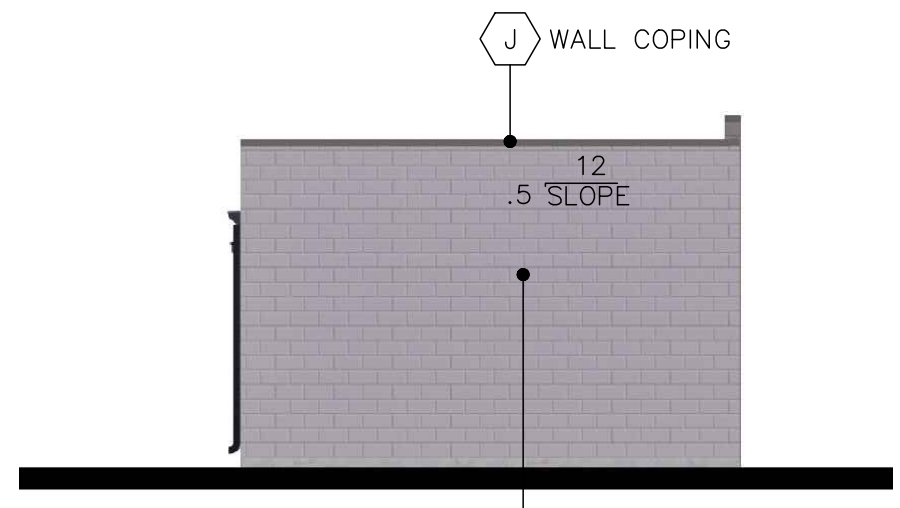
**BUILDINGS F & G— NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**BUILDINGS F & G— NORTH ELEVATION— cont.**  
 SCALE: 1/8" = 1'-0"



**BUILDINGS F & G— EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**BUILDINGS F & G— WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"

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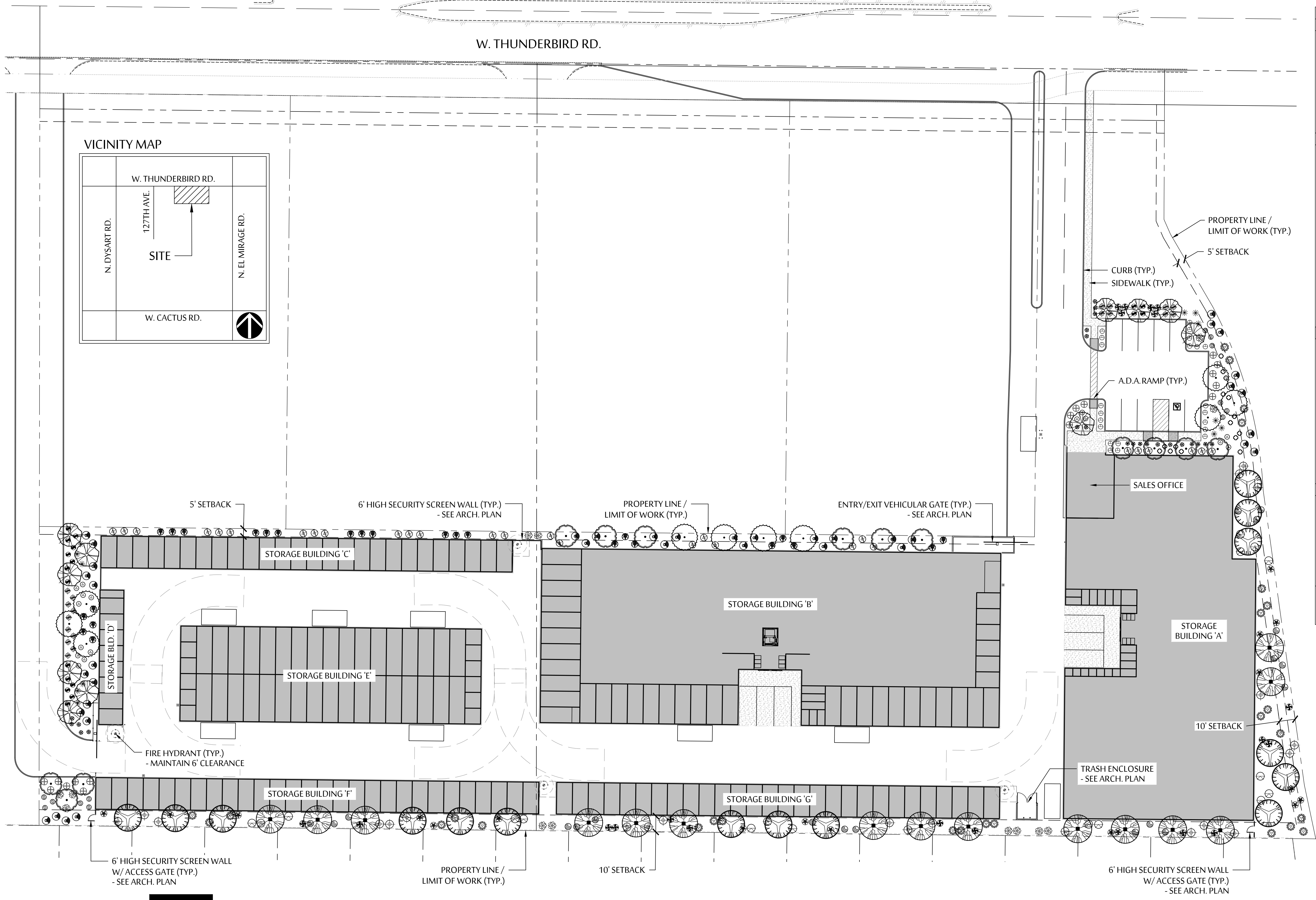
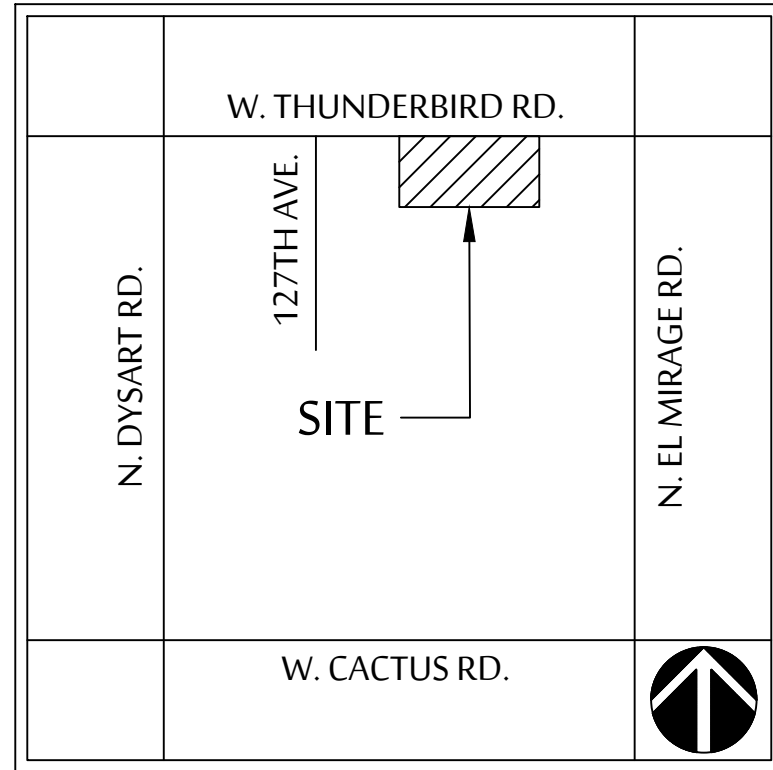
BUILDINGS 'F' & 'G' ELEVATIONS IN COLOR

DWG NO:

# A3.12

W. THUNDERBIRD RD.

VICINITY MAP



PLANT LEGEND

SYMBOL	BOTANICAL NAME - COMMON NAME
<b>TREES (24" BOX)</b>	
	ACACIA ANUERA - MULGA TREE
	PROSOPIS X PHOENIX - PHOENIX THORNLESS MESQUITE
	QUERCUS VIRGINIANA - SOUTHERN LIVE OAK
	ULMUS PARVIFOLIA - CHINESE ELM
	VITEX AGNUS-CASTUS - CHASTE TREE
<b>SHRUBS (5 GAL.)</b>	
	CAESALPINIA PULCHERRIMA - RED BIRD OF PARADISE
	CALLIANDRA CALIFORNICA - NATIVE FAIRY DUSTER
	CALLISTEMON VIMINALIS 'LITTLE JOHN' - DWARF BOTTLEBRUSH
	EREMOPHILA HYGROPHANA - BLUE BELLS
	LEUCOPHYLLUM X 'HEAVENLY CLOUD' - HEAVENLY CLOUD SAGE
	RUPELLIA PENINSULARIS - BAJA RUELLIA
	SENNA OLIOGOPHYLLA - OUTBACK CASSIA
	SIMMONDSIA CHINENSIS - JOJOBA
	TECOMA STANS - 'LYDIA' YELLOW BELLS
<b>ACCENTS (5 GAL.)</b>	
	AGAVE AMERICANA
	ALOE VERA - MEDICINAL ALOE
	DASYLIRION WHEELERI - DESERT SPOON
	HESPERALOE PARVIFLORA 'PERPA' - BRAKE LIGHTS RED YUCCA
	MUHLENBERGIA CAPILLARIS 'REGAL MIST' - REGAL MIST MUHLY
	BOUTELOUA GRACILIS - BLONDE AMBITION
	YUCCA RUPICOLA - TWISTLEAF YUCCA
<b>GROUND COVERS (5 GAL.)</b>	
	EREMOPHILA GLABRA - OUTBACK SUNRISE EMU
	LANTANA HYBRID - 'NEW GOLD'
	LANTANA MONTEVIDENSIS - PURPLE TRAILING
	WEDELIA TRILOBATA - YELLOW DOT
	DECOMPOSED GRANITE - 1" SCREENED COLOR: 'PALOMINO GOLD' BY KILLAUEA CRUSHERS. D.G. TO BE INSTALLED AT 2" DEPTH MIN.

NOTES:

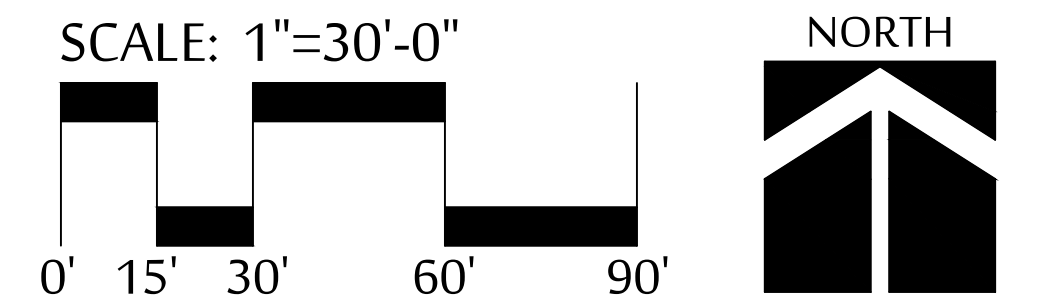
1. DUE TO PLANT MATERIAL AVAILABILITY, SUBSTITUTIONS FOR PLANT MATERIAL LISTED ABOVE MAY BE USED. ANY ALTERNATES OR SUBSTITUTIONS MUST BE ON THE ADWR LOW WATER USE PLANT LIST.
2. SUB-SPECIES OR HYBRIDS OF PLANT MATERIAL LISTED ABOVE MAY BE USED AS ALTERNATES/SUBSTITUTIONS.
3. ADDITIONAL PLANT MATERIAL MAY BE ADDED TO THE LIST ABOVE DUE TO UTILITY COMPANY OR H.O.A. REQUESTS AND/OR PLANTING RESTRICTIONS WITHIN UTILITY EASEMENTS.
4. NO TREES TO BE LOCATED WITHIN THE P.U.E. OR ANY OTHER NOTED ESMT.
5. FULL IRRIGATION PLANS TO BE PROVIDED WITH IMPROVEMENTS SET.
6. LANDSCAPING AND IRRIGATION MUST FOLLOW CITY DETAIL EM-101-4, FULL NOTES TO BE PROVIDED WITH IMPROVEMENTS SET.
7. THE MAINTENANCE FOR ALL LANDSCAPING AND IRRIGATION SHOWN ON THE PLANS WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.



GUARDIAN STORAGE CENTERS - EL MIRAGE  
PRELIMINARY LANDSCAPE PLAN

APN 501-37-948 & 949B - EL MIRAGE, ARIZONA  
JUNE 24, 2024

SHEET L1



Cocoa Powder

A N

Boat Anchor

B

Industrial Age

C

Faded Gray

D

Anodized Almn.

L P

Solar Metallic

E G T

Crimson Red

F

Nautical

H

Charcoal Gray

J Q R

Patriot Red

K

MATERIAL KEY

A	PAINTED 12-8-16 CMU:	SPLIT FACE- DET631 COCOA POWDER BY DUNN EDWARDS
B	PAINTED 8-8-16 CMU:	SMOOTH FACE- STACKED BOND- DE6377 BOAT ANCHOR BY DUNN EDWARDS
C	PAINTED 8-8-16 CMU:	SMOOTH FACE- DET618 INDUSTRIAL AGE BY DUNN EDWARDS
D	PAINTED STUCCO:	SMOOTH TEXTURE- DEW382 FADED GRAY BY DUNN EDWARDS
E	METAL WALL PANELS:	FW-120-0 BY MBCI -COLOR: SOLAR METALLIC
F	METAL WALL PANELS:	FBU BY MBCI- COLOR: CRIMSON RED
G	METAL ROOF PANELS & TRIM:	ULTRADEK 24 BY MBCI -COLOR: SOLAR METALLIC
H	PAINTED STEEL:	DEA139 NAUTICAL BY DUNN EDWARDS
J	WALL COPING:	CHARCOAL GRAY BY MBCI
K	ROLLING STL DOORS:	PATRIOT RED BY JANUS INTERNATIONAL GROUP
L	ALUMINUM WINDOW FRAMES:	KAWNEER COLOR: CLEAR ANODIZED
M	METAL ROOF PANELS:	ULTRADEK 24 BY MBCI -COLOR: GALVALUME
N	PAINTED H/M DOOR & FRAME	DET631 COCOA POWDER BY DUNN EDWARDS
P	SLIDING GLASS ENTRY DOOR	DOUBLE ACTING- CLEAR ANODIZED
Q	METAL WALL PANELS:	FBU BY MBCI- COLOR: CHARCOAL GRAY
R	FASCIA, GUTTER & DOWNSPOUTS:	STANDARD BY MBCI- COLOR: CHARCOAL GRAY
S	SOFFIT:	FW-120-0 BY MBCI -COLOR: COBALT BLUE
T	METAL FASCIA PANELS & TRIM:	FW-120-0 BY MBCI -COLOR: SOLAR METALLIC

Galvalume

M

Cobalt Blue

S

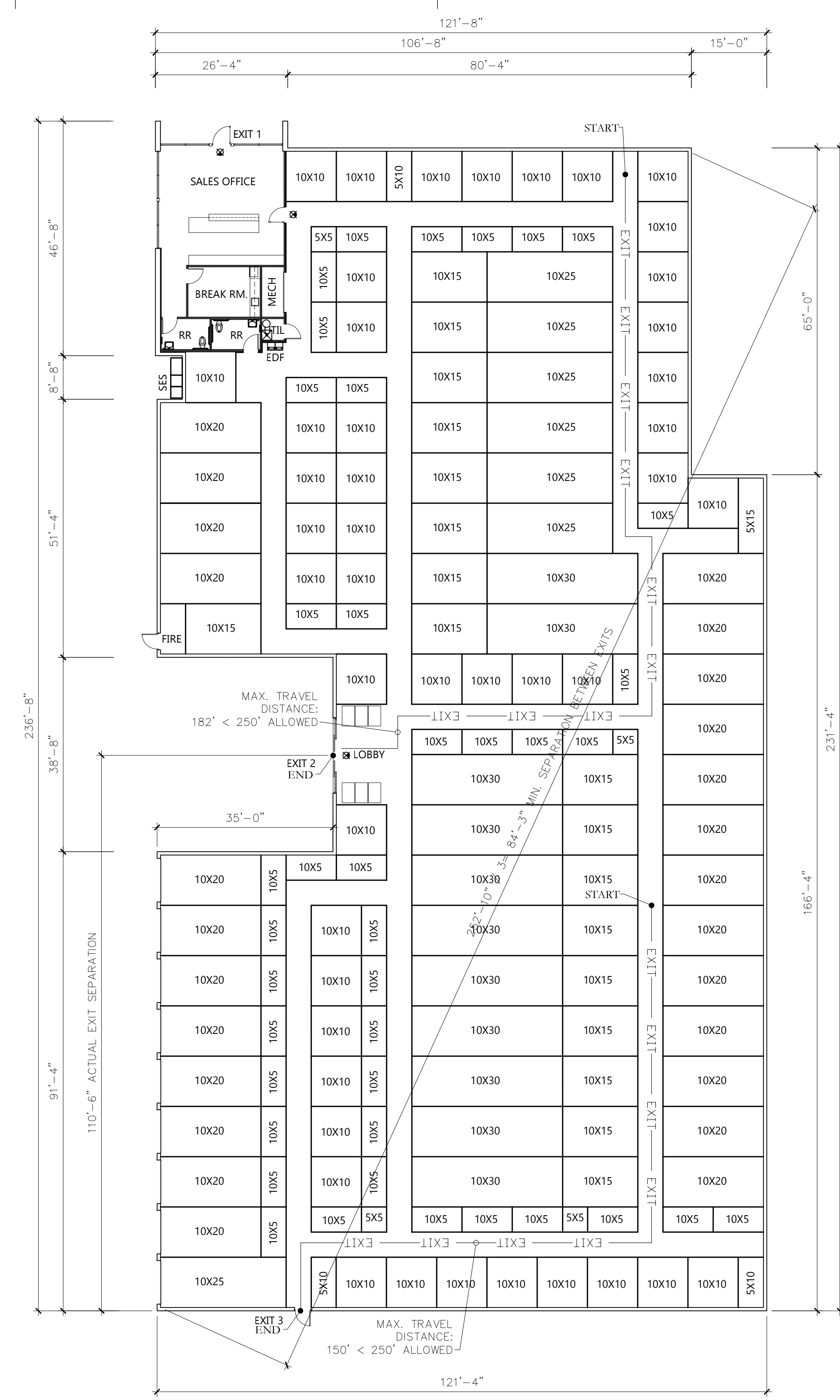
ON POINT  
ARCHITECTURE

NEW SELF STORAGE  
for  
GUARDIAN STORAGE CENTERS  
APN 501-37-948 & -949B  
EL MIRAGE, ARIZONA



Nicole Posten

Material  
Board



**BUILDING A FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"

**OCCUPANCY COUNT**

BUILDING A FLOOR AREA: 25,891 G.S.F.  
 OCCUPANCY:  
 SELF-STORAGE: 1 PER 500 S.F.  
 24,813 S.F./ 500= 50 OCCUPANTS  
 # OF EXITS REQUIRED: 2 EXITS  
 OFFICE AREA: 1 PER 150 SF  
 1,078/150= 8 OCCUPANTS  
 # OF EXITS REQUIRED: 1 EXIT

**BUILDING A UNIT COUNT**

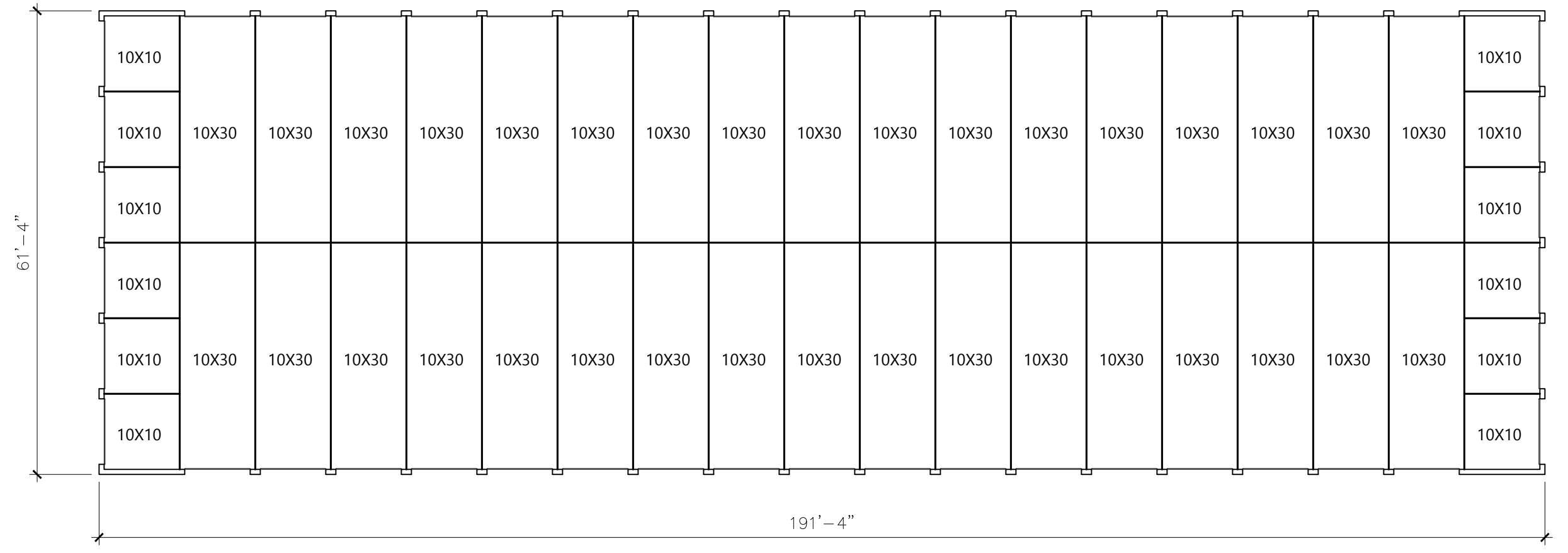
BUILDING A			
4	5	5	100
3	5	10	150
40	10	5	2,000
1	5	15	75
25	10	20	5,000
7	10	25	1,750
11	10	30	3,300
154			19,575

**BUILDING A EXIT CALCULATIONS**

EXIT 1= 8 OCCUPANTS= 42" OPENING WIDTH PROVIDED  
 EXIT 2= 25 OCCUPANTS= 36" OPENING WIDTH PROVIDED  
 EXIT 3= 25 OCCUPANTS= 36" OPENING WIDTH PROVIDED

**TOTAL SITE UNIT COUNT**

TOTALS					
NUMBER OF UNITS	WIDTH	LENGTH	AREA	% UNIT	%SF
23	5	5	575	3.4%	0.6%
22	5	10	1,100	3.2%	1.1%
75	10	5	3,750	11.1%	3.9%
4	5	15	300	0.6%	0.3%
222	10	10	22,200	32.7%	23.1%
99	10	15	14,850	14.6%	15.4%
151	10	20	30,200	22.3%	31.4%
27	10	25	6,750	4.0%	7.0%
55	10	30	16,500	8.1%	17.1%
678			96,225		



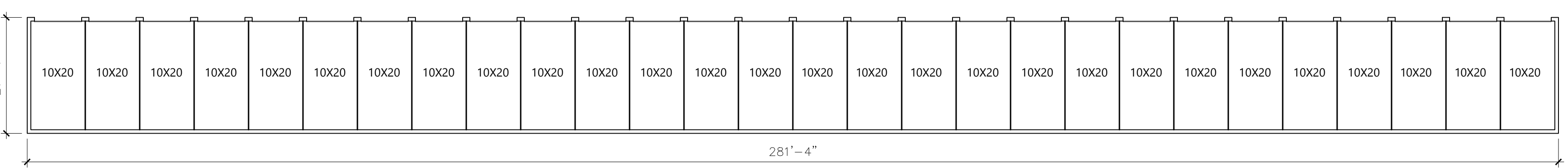
**BUILDING E FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"

**BUILDING E UNIT COUNT**

BUILDING E			
NUMBER	WIDTH	LENGTH	AREA
12	10	10	1,200
34	10	30	10,200
46			11,400

**OCCUPANCY COUNT**

BUILDING E FLOOR AREA: 11,735 G.S.F.  
 OCCUPANCY:  
 SELF-STORAGE: 1 PER 500 S.F.  
 1,328 S.F./ 500= 24 OCCUPANTS



**BUILDING G & F FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"

**BUILDING F UNIT COUNT**

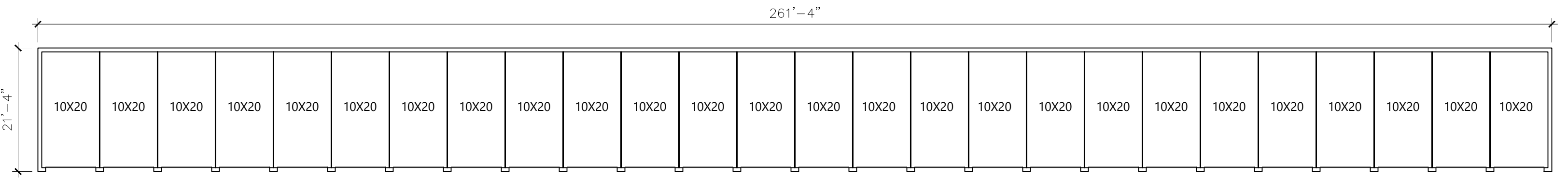
BUILDING F			
NUMBER OF UNITS	WIDTH	LENGTH	AREA
28	10	20	5,600
0	0	0	-
28			5,600

**BUILDING G UNIT COUNT**

BUILDING G			
NUMBER OF UNITS	WIDTH	LENGTH	AREA
28	10	20	5,600
0	0	0	-
28			5,600

**OCCUPANCY COUNT**

BUILDING F FLOOR AREA: 6,002 G.S.F.  
 BUILDING G FLOOR AREA: 6,002 G.S.F.  
 OCCUPANCY:  
 SELF-STORAGE: 1 PER 500 S.F.  
 12,004 G.S.F./ 500= 24 OCCUPANTS



**BUILDING C FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"

**BUILDING C UNIT COUNT**

BUILDING C			
NUMBER	WIDTH	LENGTH	AREA
26	10	20	5,200
0	0	0	-
26			5,200

**OCCUPANCY COUNT**

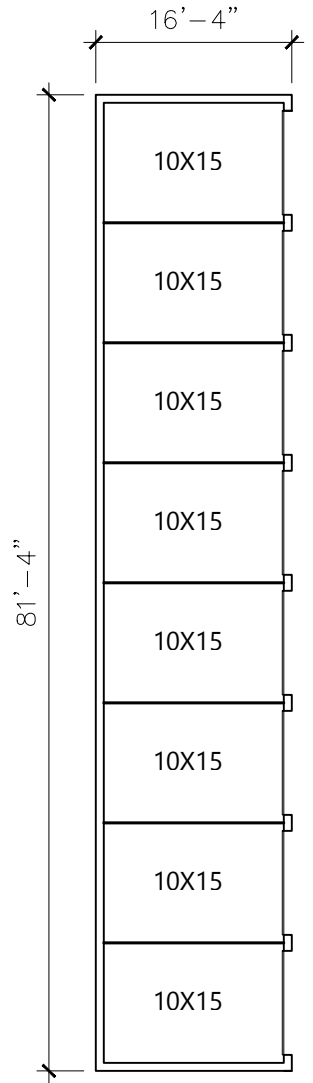
BUILDING C FLOOR AREA: 5,575 G.S.F.  
 OCCUPANCY:  
 SELF-STORAGE: 1 PER 500 S.F.  
 5,575 S.F./ 500= 12 OCCUPANTS

**BUILDING D UNIT COUNT**

BUILDING D			
NUMBER	WIDTH	LENGTH	AREA
8	10	15	1,200
8			1,200

**OCCUPANCY COUNT**

BUILDING D FLOOR AREA: 1,328 G.S.F.  
 OCCUPANCY:  
 SELF-STORAGE: 1 PER 500 S.F.  
 1,328 S.F./ 500= 3 OCCUPANTS



**BUILDING D FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"



