



#### **4. Project Summary:**

**Location:** 13801 N Palm St El Mirage 85335

**Summary:**

The project is located on a 13,729 SF corner lot with double frontage along N Palm St and W Thunderbird Rd. The site is zoned as Urban Corridor. The project consists of a two-suite commercial building that includes all the required parking for the site.

The project seeks review and approval of Site and Administrative Design Review. The subject application is a two-suite building.

Land use Designation & Applicable Plans/Guidelines

Zoning designation: UC

Comp. Plan Designation: Urban Corridor

**Project Description.**

The Project Site consists of approximately 13,729 square feet and will be supporting a new 2,916 square foot building in a vacant lot. The site is a rectangular shaped corner with frontage on N Palm St and W Thunderbird Rd.

The proposed project involves a new commercial building including two-suite. The design of a quality commercial building evaluated in the context of the surroundings neighborhood. The building consists of two 1,458 square foot suite areas. The project is designed with stucco sand finish.

All of the parking of the project is provided in site with a total of 6 spaces assigned per suite. The proposed parking meets City's requirements. The driveway is provided on N Palm St. Trash facilities for the project are located in the east-north corner of the lot with access through the alley.

Proposed landscaping includes the addition of plants and ground covering in the parking lot; planting of new trees, shrubs and accents plants.

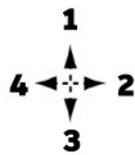
**Analysis**

Neighborhood Setting and character

The project site is a corner lot in the intersection of N Palm St and W Thunderbird Rd. There are multi-family residential developments located across the street. And vacant lots adjacent to all the other sides of the lot. Land uses on the surroundings are Multiple Residence Districts and Commercials.

Within the vicinity of the site, buildings are generally low, one to two-story buildings. The project proposes development that is consistent with the zoning code development standards.

Site Analysis Photos



SITE AERIAL PHOTOGRAPH  
N.S.

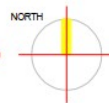




Image 1



Image 2



Image 3



Image 4



Image 5



Image 6



Image 7



Image 8

**LEGEND**

NOT ALL USED

- PROPERTY LINE.
- - - SET BACK LINE.
- - - - - CENTRAL LINE
- OVERHANG
- WL --- WATER LINE
- OHE --- OVERHANG ELECTRIC
- S.L. --- SEWER LINE
- P.U.E. PUBLIC UTILITY EASEMENT
- RW RIGHT OF WAY
- BSL BUILDING SETBACK LINE
- PROPOSED LANDSCAPE AREA
- PROPOSED PARKING AREA
- ACCESSIBLE ROUTE
- EXISTING CONCRETE

**NOTE:**

ANY CHANGE OF USE OR OCCUPANCY OF ANY BUILDING OR BUILDINGS, INCLUDING ADDITIONS THERETO REQUIRING MORE PARKING, SHALL NOT BE PERMITTED UNTIL SUCH ADDITIONAL PARKING SPACES AS REQUIRED BY THIS CHAPTER ARE FURNISHED.

ANY FIRE ACCESS ROAD SHALL BE DESIGNED TO HANDLE 75,000 LBS.

**PARKING CALCULATIONS**

PARKING CALCULATIONS  
154.104 OFF-STREET PARKING REQUIREMENT

EXTERIOR-AREA BUILDING DIMENSIONS:	NO. OF FLOORS
80'-0" X 35'-0"	1 FLOOR
	TOTAL: 2,800 SQ.FT.
	- 10% 2,520 SQ.FT.

TOTAL PARKING REQUIRED:  
2,520 SQ.FT. + 250 SQ.FT. = 10 TOTAL SPACES

TOTAL PARKING PROVIDED:  
SUITE 100 6  
SUITE 101 6

TOTAL PARKING PROVIDED: 12 TOTAL SPACES (INCLUDES 1 ACCESSIBLE)

COMPACT PARKING SPACES = 12 X 30X = 3.6 3 COMPACT PARKING SPACES

**PROJECT DESCRIPTION**

NEW TWO COMMERCIAL SUITE BUILDING

**OWNER**

SANCHEZ LUIS/MARIA V

**PROJECT INFORMATION**

PROJECT ADDRESS: 12128 W THUNDERBIRD RD, EL MIRAGE, AZ 85335, Suites 100 & 101  
EL MIRAGE  
SECTION T.R.: 12 3N 1W  
LOT.: 8-7  
PARCEL #: 501-27-008A-501-27-007A  
CONSTRUCTION YEAR: N/A  
ZONING: UC

**DEVELOPER:**

NAME: PROCADDESIGN  
PHONE NUMBER: 6026062885  
EMAIL ADDRESS: ANGELICA@PROCADDESIGN.COM  
ADDRESS: 3101 E WASHINGTON ST, PHOENIX, AZ, 85034

**KEYNOTES:**

1. DEVELOPMENT PROPERTY LINE
2. SETBACK LINE
3. NEW 11'X18' WIDE ADA PARKING SPACE
4. NEW PARKING SPACE 9'-0" WIDE X 18'-0"
5. NEW 5' WIDE ADA AISLE
6. ADA ACCESSIBLE RAMP 1:12 SLOPE
7. 10' X 20' VISIBILITY TRIANGLE, MAXIMUM MATURE PLANT MATERIAL HEIGHT IN VISIBILITY TRIANGLE IS 24"
8. PROPOSED TRASH ENCLOSURE PER CITY DETAIL EM-113, WITH MINIMUM 12' WIDTH AND 10' DEEP, A 3' PEDESTRIAN ACCESS GATE AND ALSO 4" SAFETY POSTS IN THE REAR OF THE TRASH BIN, AND CONCRETE SLAB.
9. EXISTING TREE
10. EXISTING SIDEWALK
11. EXISTING STREETLIGHT
12. EXISTING VERTICAL CURB
13. PROPOSED CONCRETE PAVED DRIVEWAY PER MAG OR CITY DETAILS
14. NEW 6FT HIGH MASONRY WALL
15. NEW BUILDING SUBJECT OF THIS PROJECT \*-17' TOP OF ROOF
16. 1'-0" VEHICULAR NON-ACCESS EASEMENT (VNAE)
17. NEW TREES SEPARATED 25FT FROM EACH OTHER
18. NEW POLE SIGN LOCATION
19. NEW COMPACT PARKING SPACES (30%) 8'-0" WIDE X 16'-0"
20. 3'H WALL TO SCREEN PARKING
21. 15' X 33" VISIBILITY TRIANGLE

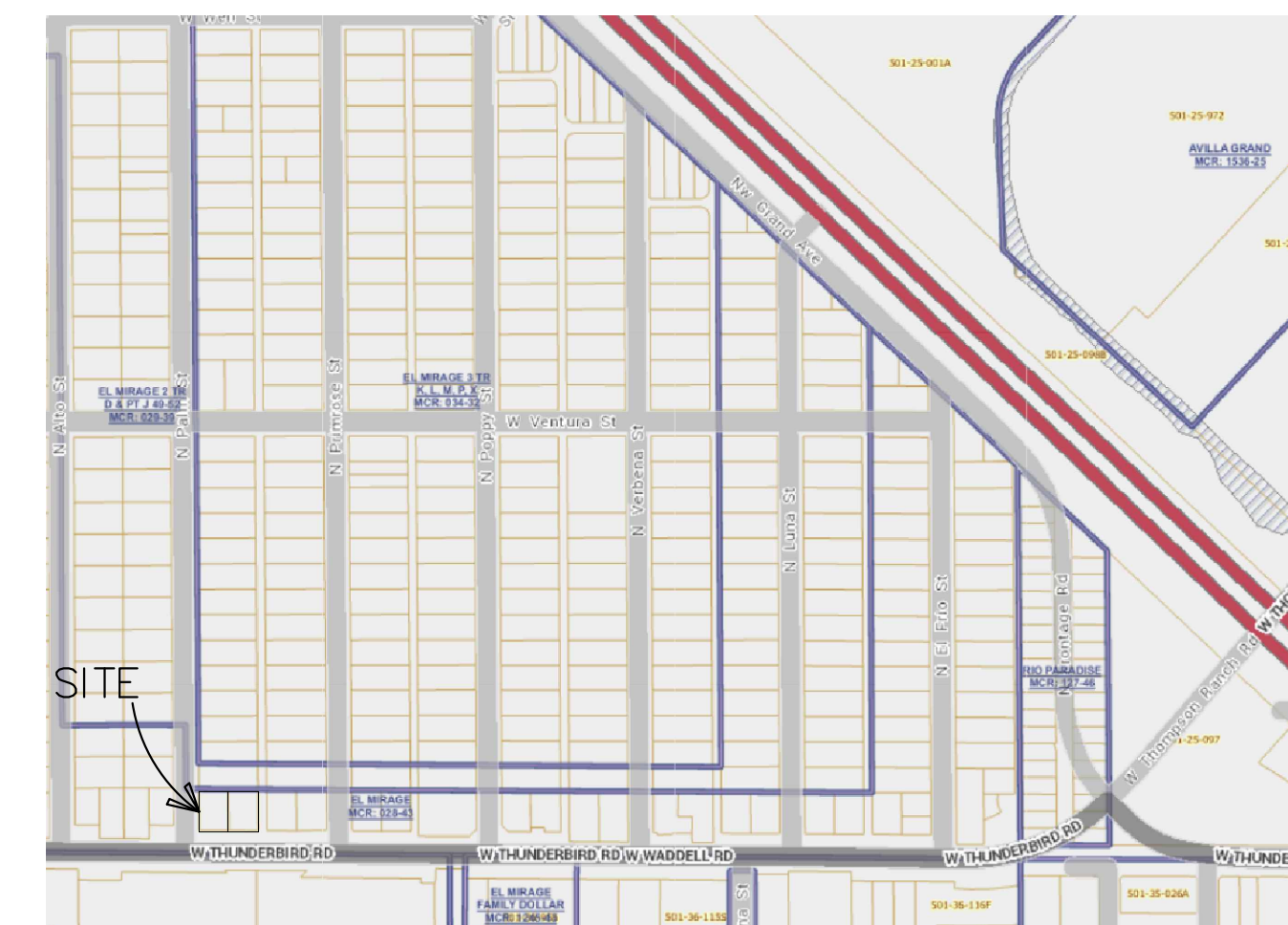
**LOT COVERAGE CALCULATIONS**

NET LOT COVERAGE ALLOWED:	90%
NET LOT COVERAGE PROVIDED:	21.24%
NEW BUILDING(17' HEIGHT):	2916 SF
TOTAL UNDER ROOF:	3302 SF
NET LOT COVERAGE:	24%

**KEY NOTES**

- (A) SUITE 100 - 1,458 SQ.FT. - CONSTRUCTION TYPE VB
- (B) SUITE 101 - 1,458 SQ.FT. - CONSTRUCTION TYPE VB

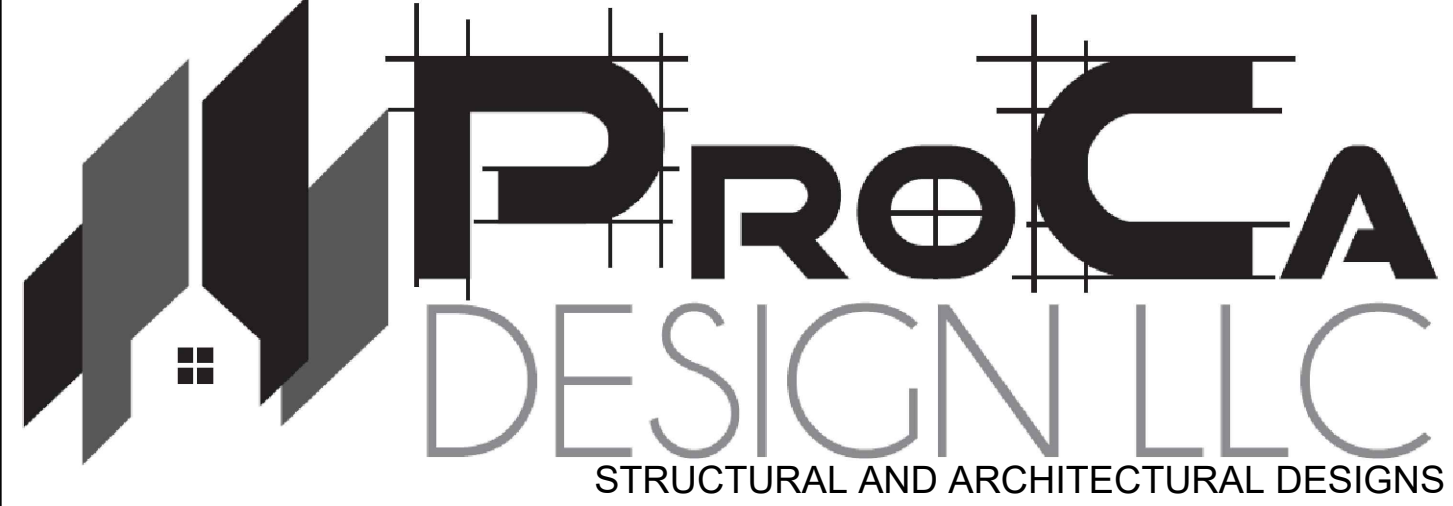
**VICINITY MAP:**



# THUNDERBIRD PROJECT

12128 W THUNDERBIRD RD, EL MIRAGE 85335

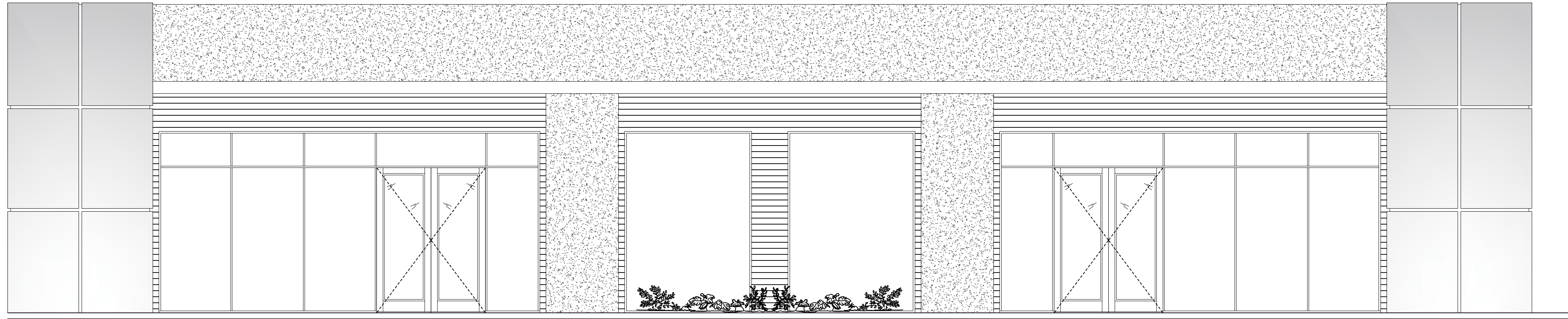
READ ALL SHEETS PRIOR TO CONSTRUCTION, ALL  
CONSTRUCTION  
MUST ADHERE TO CITY APPROVED CONSTRUCTION  
DOCUMENTS



**ProCa**  
DESIGN LLC  
STRUCTURAL AND ARCHITECTURAL DESIGNS

PHONE #: (602)-606-2885  
EMAIL: angelica@procadesign.com

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No.	Revisions	Date

## SUMMARY OF WORK

WHERE SPECIFIC INSTRUCTIONS IN THESE SPEC'S REQUIRE THAT A PARTICULAR PRODUCT AND/OR MATERIAL (S) BE INSTALLED AND/OR APPLIED BY AN APPR'VD APPLICATOR OF THE MANUFACTURER, IT SHALL BE THE SUBCONTRACTOR'S RESPONSIBILITY TO ENSURE THE WORK BE DONE BY AND APPROVED APPLICATOR.

DIMENSION NOTE: IN GENERAL, DIMENSIONS ON ARCHITECTURAL SHEETS SHALL BE CONSIDERED ROUGH (NOT FINISHED) AND NOMINAL (NOT ACTUAL). BUILDER SHALL BE RESPONSIBLE TO INTERPRET DIMENSIONING SO AS TO PROVIDED FOR CRITICAL FINISHED DIMENSIONS WHERE APPLICABLE, AND SHALL JUSTIFY PARTIAL DIMENSIONS STRINGS WITH OVERALL DIMENSION STRINGS.

ALL MATERIALS AND/OR SIZES ARE THOSE SPECIFIED BY EITHER THE BUILDER OR PROJECT ENGINEER. ALL DESIGNS, MATERIALS, & PROCEDURES ARE THOSE OF THE CLIENT AND OR BUILDER.  
MINIMUM MATERIAL SPECIFICATIONS PER ATTACHED SHEET (S)

ALL REFERENCES TO AND DRAWINGS OF "EXISTING CONSTRUCTION" ARE BASED ON DRAWINGS PROVIDED TO TECHNICAL DESIGN BY OWNER

INDIVIDUAL SUB-CONTRACTORS AND/OR ENGINEERS SHALL BE SOLELY RESPONSIBLE FOR THE ACCURACY & CONSISTENCY OF THEIR RESPECTIVE CONSTRUCTION DOCUMENTS INCLUDED IN THIS SET.

DETAILS ON THE STRUCTURAL DRAWINGS ARE TYPICAL. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.  
VERIFY ALL DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS.

## ABBREVIATIONS

ABV	ABOVE	FIN	FINISH (PICTURE)	PL	PLATE
ADJ	ADJUSTABLE / ADJACENT	FX	FIXED (PICTURE) WINDOW	PT	PRESSURE TREATED PLB PLUMBING
AC	AIR CONDITIONING	FR	FRENCH	PLY	PLYWOOD
ADDL	ADDITIONAL	FLR	FLOOR	PVC	POLYVINYL CHLORIDE
AFP	ABOVE FINISHED FLOOR	FD	FLOOR DRAIN	PRV	PRESSURE RELIEF VALV
ALT	ALTERNATE	FLDR	FLOOR DRAIN	PSF	POUNDS PER SQUARE FOOT
ANCH	ANCHOR BOLT	FLUR	FLOOR	PSI	POUNDS PER SQUARE INCH
ARCH	ARCHITECTURAL	FTG	FOOTING	PRP	PROPERTY LINE
AUTO	AUTOMATIC	FND	FOUNDATION	PR	PAIR
BLW	BELOW	FURR	FURRED (INO)	RAO	RADIUS
BM	BEAM	FOS	FACE OF STUD	REC	RECEPTACLE
BRG	BEARING	FG	FINISH GRADE	REF	REFRIGERATOR
BTWN	BETWEEN	FJ	FLOOR JOIST	RENF	REINFORCE (D) (ING)
BLK	BLOCK	GA	GAUGE	RA	RETURN AIR
BLKD	BLOCKING	GALV	GALVANIZED	RM	ROOM
BTM	BOTTOM	GC	GENERAL CONTRACTOR	RO	ROUGH OPENING
BTO	BOTTOM OF	GL	GLASS	R&S	ROD AND SHELF
BLDG	BUILDING	GL BLK	GLASS BLOCK	SCH	SCHEDULE
BBL	BUILDING SETBACK LINE	GYP BD	GYPSPUM BOARD	SECT	SECTION
CAB	CABINET	GYP	GYPSPUM	SDP	SLIDING GLASS DOOR
CFH	CUBIC FEET PER HOUR	GI	GALVANIZED IRON	SH	SINGLE HUNG WINDOW
CL	CENTER LINE	HDW	HARDWARE	SHWR	SHOWER
CLG	CEILING	HDR	HEADER	SHT	SHEET
CLG HT	CEILING HEIGHT	HVAC	HEATING / VENTING/AIR CONDITIONING	SM	SMILAR
CTR	CENTER	HC	HOLLOW CORE / HANDYCAP	SOF	SOFFIT
CLR	CLEAR (ANCE)	H	HIGH	SC	SOLID CORE
CLO	CLOSET	HT	HEIGHT	SPEC	SPECIFICATION
CM	CULTURED MARBLE	HR	HORIZONTAL	SQ	SQUARE
COL	COLUMN	HR	HOSE BIBB	STD	STANDARD
COMB	COMBUSTION	HR	HOUR	STL	STEEL
CONC	CONCRETE	IN	INCH	STRUC	STRUCTURAL
CPT	CARPET	INCL	INCLUDE (ED) (ING)	SYS	SYSTEM
CONJ	CONCRETE MASONRY UNIT	INSUL	INSULATE	SHDG	SHEATHING
CONST	CONSTRUCTION	INT	INTERIOR	TV	TELEVISION
CONT	CONTINUOUS OR CONTINUE	KITCHEN	KITCHEN	TEMP	TEMPERED /
CJ	CONTROL JOIN	LAV	LAVATORY	TEMP	TEMPERATURE
CT	CIRCLE TOP / FULL ARCH TOP WINDOW	LDR	LAUNDRY	THR	THICK (NESS)
DEEP	DEPTH	LN	LINE	THRES	THRESHOLD
DTL	DETAIL	LVR	LOUVER	T.R.	TO REMAIN
DWG	DRAWING	LTS	LIGHTING	T&G	TONGUE AND GROOVE
DIA	DIAMETER	MFR	MANUFACTURE (R)	T.O.	TOP OF
DM	DIMENSION	MAS	MASONRY	TYP	TYPICAL
DISP	DISPOSAL	MO	MASONRY OPENING	UNO	UNLESS NOTED OTHERWISE
DIV	DIVISION	MTL	MATERIAL / METAL	VER	VERTICAL
DWG	DRAWING	MAX	MAXIMUM	VEST	VESTIBULE
DR	DRAWING	MECH	MECHANICAL	VFR	VERIFY IN FIELD
DN	DOWN	MC	MEDICINE CABINET	VPR	VAPOR ROOF
ELECT	ELECTRIC (AL)	MIN	MINIMUM	VTR	VENT THROUGH ROOF
ELEV	ELEVATION	MISC	MISCELLANEOUS	WC	WATER CLOSET
EA	EACH	NTS	NOT TO SCALE	W/P	WATER PROOF (ING)
EB	EYE BROW / EYEBALL	OB	OBSCURE	W	WIDE / WIDTH
EJ	EXPANSION JOINT	OBS	OBSCURE	W	WITH
EQ	EQUAL	OPT	OPTION (AL)	WINDW	WINDOW
EQUIP	EQUIPMENT	CH	OVERHEAD	W/O	WITHOUT
EXH	EXHAUST	OPNG	OPENING	WD	WOOD
EXIT	EXITING	PNL	PANEL	WH	WATER HEATER
EXT	EXTERIOR	PBD	PARTICLE BOARD	WIN	HORIZONTAL SLIDING WINDOW
FAU	FORCED AIR UNIT	PH	TELEPHONE	X	X = OPERABLE, O = FIXED

## ARCHITECTURAL SYMBOLS

**SECTION INDICATOR**

**DETAIL REFERENCE**

**ELEVATION NODE**

**NOTE MARKER**

**OFFSET REFERENCE**

## BUILDING CODES

- 2018 INTERNATIONAL BUILDING CODE
- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- 2018 INTERNATIONAL RESIDENTIAL CODE
- 2018 INTERNATIONAL FIRE CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL FUEL GAS CODE
- 2018 INTERNATIONAL EXISTING BUILDING CODE
- 2018 INTERNATIONAL CODE COUNCIL PERFORMANCE CODE
- 2018 PHOENIX BUILDING CONSTRUCTION CODE- ADMINISTRATIVE PROVISIONS
- 2018 UNIFORM PLUMBING CODE OR 2018 INTERNATIONAL PLUMBING CODE\*\*
- 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE
- 2017 NATIONAL ELECTRICAL CODE / NFPA-70
- ASME A17.1-2016, SAFETY CODE FOR ELEVATORS AND ESCALATORS.
- ASME A17.3-2015, SAFETY CODE FOR EXISTING ELEVATORS AND ESCALATORS
- ASME A17.6-2010, SAFETY CODE FOR ELEVATORS AND ESCALATORS
- ASME A18.1-2014, SAFETY STANDARDS FOR PLATFORM LIFTS AND STAIRWAY CHAIRLIFTS
- ASME A17.7-2007, PERFORMANCE-BASED SAFETY CODE FOR ELEVATORS AND ESCALATORS.
- \*WITH THE CITY OF EL MIRAGE CODES AND AMENDMENTS

## SHEET INDEX:

CS:	COVER SHEET
A0:	SITE PLAN
A0.1:	CONTEXT PLAN
A1	FLOOR PLAN
A1.2	ELEVATIONS

THUNDERBIRD PROJECT

13801 N PALM ST  
EL MIRAGE 85335, SUITES 100 & 101

CONTACT #  
(602) 606 2885  
DRAWN BY:  
ProCaDesign  
DATE:  
09/19/2024  
SCALE:  
N.T.S.  
SHEET:

CS

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- (B) SUITE 101 - 1,458 SQ.FT. - CONSTRUCTION TYPE VB

**VICINITY MAP:**





No.	Revisions	Date

**GENERAL NOTES:**

- A. DIMENSION OF FLOOR PLAN ARE SHOWN TO FACE OF STUD TYPICALLY. CONTRACTOR TO VERIFY ROUGH OPENINGS REQUIREMENTS OF ALL DOOR AND WINDOWS UNITS PRIOR TO START OF CONSTRUCTION. CEILINGS AND WALLS SHALL BE ONE LAYER 1/2 INCH GYP BOARD, GARAGE WALLS TO SHALL BE 5/8 INCH GYP BOARD.
- B. ALL EXTERIOR AND ENTRY DOORS TO BE SOLID CORE 1 3/4 INCH THICK.
- C. ALL INTERIOR DOOR TO BE HOLLOW CORE 1 3/8 INCH THICK ( REFER PLAN FOR SIZE)
- D. ALL CEILING PER SECTION AND ELEVATION .
- E. ALL EXTERIOR WALLS AROUND LIVABLE FLOOR SPACE, WALL BETWEEN GARAGE AND LIVABLE FLOOR SPACE SHALL RECEIVE MINIMUM R-13 INSULATION IN 2X4 WALLS AND R-19 IN 2X6 WALLS.
- F. ALL DOORS AND WINDOWS GLAZING SHALL MEET THE REQUIREMENT OF THE 2012 IRC.
- G. SHOWER AREA WALL SHALL BE FINISHED WITH APPROVED 'CEMENT', FIBER-CEMENT, OR 'GLASS MAT GYPSUM'.
- H. COORDINATE CLOSET ROD AND SHELF WITH BUILDER.
- I. REFER TO GENERAL STRUCTURAL NOTES (PAGE GSN) FOR MATERIAL SPECIFICATIONS.
- J. REFER TO PLUMBING PLAN FOR PLUMBING FIXTURES CALCULATIONS.
- K. REFER TO ELECTRICAL PLAN FOR OUTLETS SWITCHES AND LIGHTS LOCATIONS.
- L. REFER TO MECHANICAL PLAN FOR ALL DUCT LOCATIONS AND SPECIFICATIONS OF A/C WORK.
- M. REFER TO ELEVATIONS AND SECTIONS PLAN FOR SOFFIT HEIGHTS HEADER HEIGHTS AND SLOPES.
- N. CENTER-LINE OF WATER CLOSET SHALL BE A MINIMUM OF 15" FROM ANY VERTICAL SURFACE OR FIXTURE.
- O. CONCRETE PAD TO SEAT MECHANIC EQUIPMENT
- P. FLAT ARCH SOFFIT SPRING POINT @ +85", TOP OF ARCH @ +97".
- Q. DRYER VENT V.T.R. TO COMPLY WITH CURRENT CODES.
- R. EMERGENCY & RESCUE OPENINGS AT SLEEPING AREAS: NET CLEAR OPENING: 5.7 SQ FT MIN; NET CLEAR OPENING HEIGHT: 24" MIN.; NET CLEAR OPENING WIDTH: 20" MIN.; WINDOW SILL HEIGHT 44" MAX. ABOVE THE FLOOR. (BASED ON R310.21-R310.2.2) .
- S. WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 200.
- T. WALL AND CEILING FINISHES SHALL HAVE A SMOKE-DEVELOPED INDEX OF NOT GREATER THAN 450.
- U. FLAME SPREAD INDEX SHALL NOT EXCEED 25 AND SMOKE DEVELOPED INDEX SHALL NOT EXCEED 450 FOR INSULATION
- V. M1305.1.3 APPLIANCES IN ATTICS. ATTICS CONTAINING APPLIANCES SHALL BE PROVIDED WITH AN OPENING AND A CLEAR AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE, BUT NOT LESS THAN 30 INCHES (762 HIGH AND 22 INCHES (559 MM) WIDE AND NOT MORE THAN 20 FEET (6096 MM) LONG MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5 NOT LESS THAN 24 INCHES (610 MM) A LEVEL SERVICE SPACE AT LEAST 30 INCHES (762 MM) DEEP AND 30 INCHES (762 MM) WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 20 INCHES BY 30 INCHES (508 MM BY 762 MM), AND LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE.

**AREAS**

SUITE	AREA	UNIT
SUITE 1	1,458	SQ. FT.
SUITE 2	1458	SQ. FT.
TOTAL	2,916	SQ. FT.

**LEGEND:**

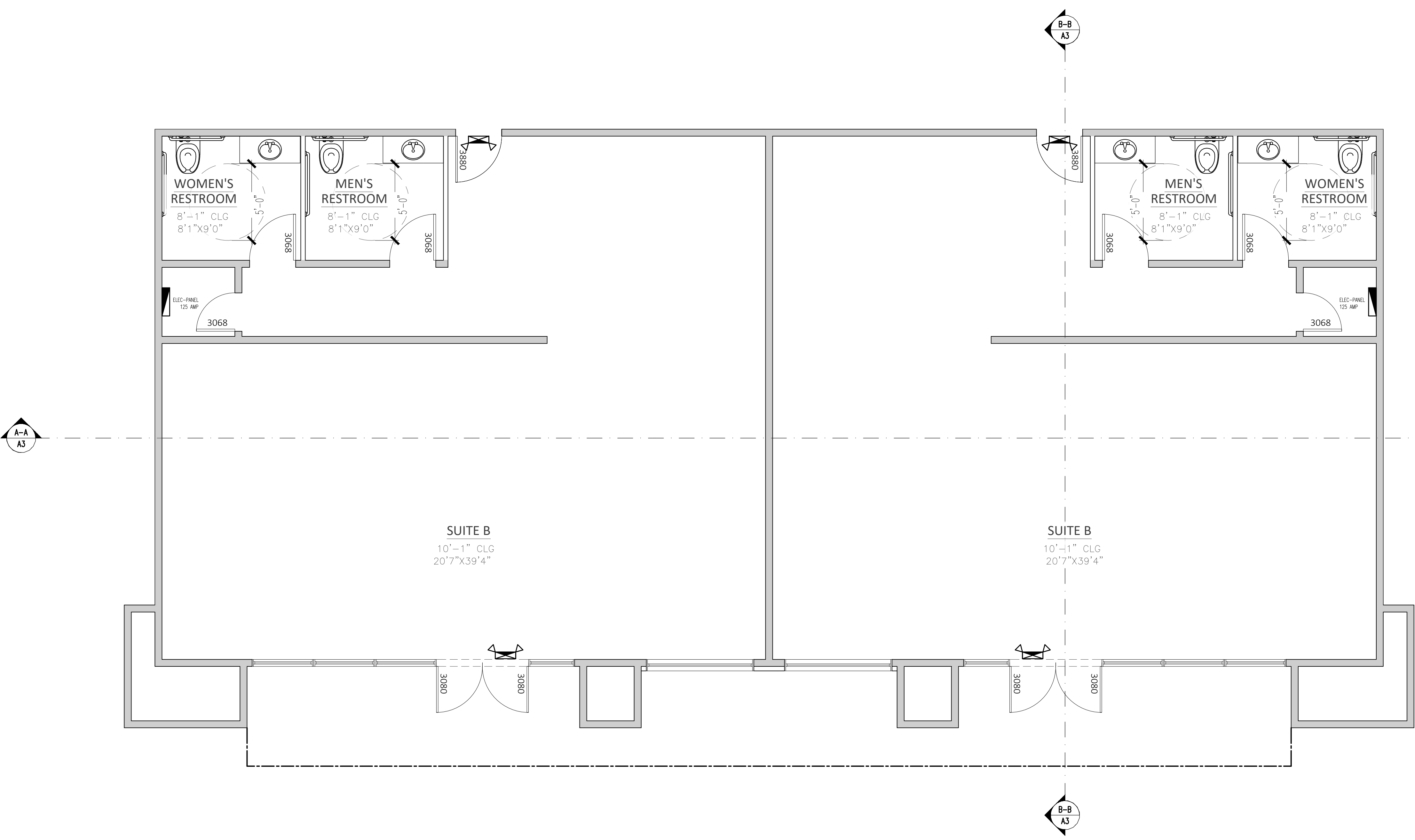
	SOFFIT
	2X6 WALL
	2X4 WALL

**ENERGY EFFICIENCY:**

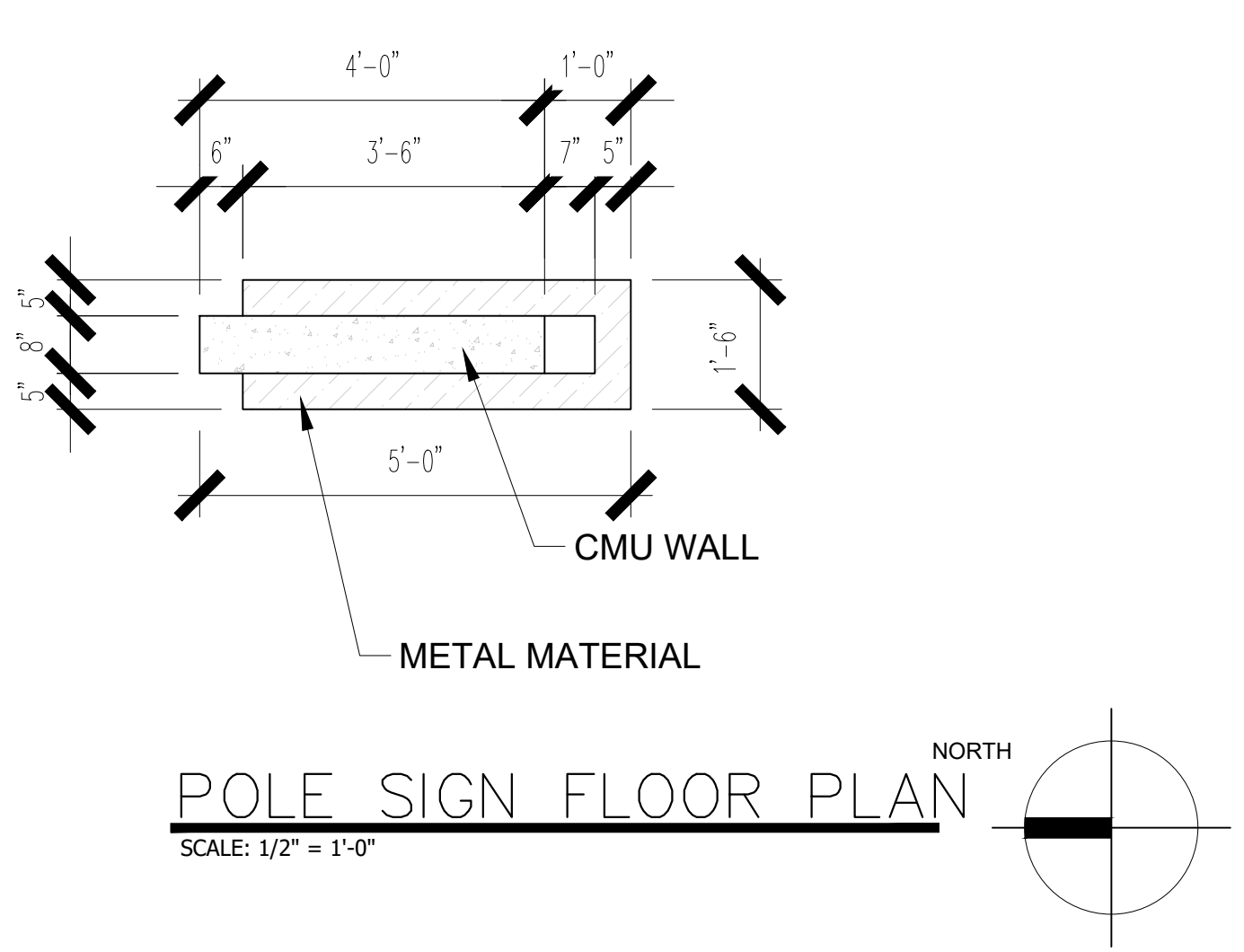
ENVELOPED AREAS SHALL COMPLY WITH THE FOLLOWINGS: FENCES=0.40 MAX U-FACTOR,0.25 MAX SHGC. MIN R-13 AT FRAME WALLS AND FLOORS R-6 @ MASS WALL, R-38 CEILINGS. DUCT INSULATION LOCATED OUTSIDE THE BUILDING ENVELOPE REQUIRES MINIMUM R-8 AND R-6 WHEN LOCATED IN FLOOR JOISTS. MINIMIZE AIR LEAKAGE.

**NOTES FOR STUDS & WALLS**

- 2X6 @ 16" O.C. EXTERIOR WALLS
- 2X4 @ 16" O.C. INTERIOR BEARING WALLS
- 2X4 @ 24" O.C. INTERIOR NON-BEARING WALLS
- 2X6 @ 24" O.C. INTERIOR PLUMBING WALLS
- 2X6 @ 16" O.C. EXTERIOR PLUMBING WALLS



**FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 NORTH

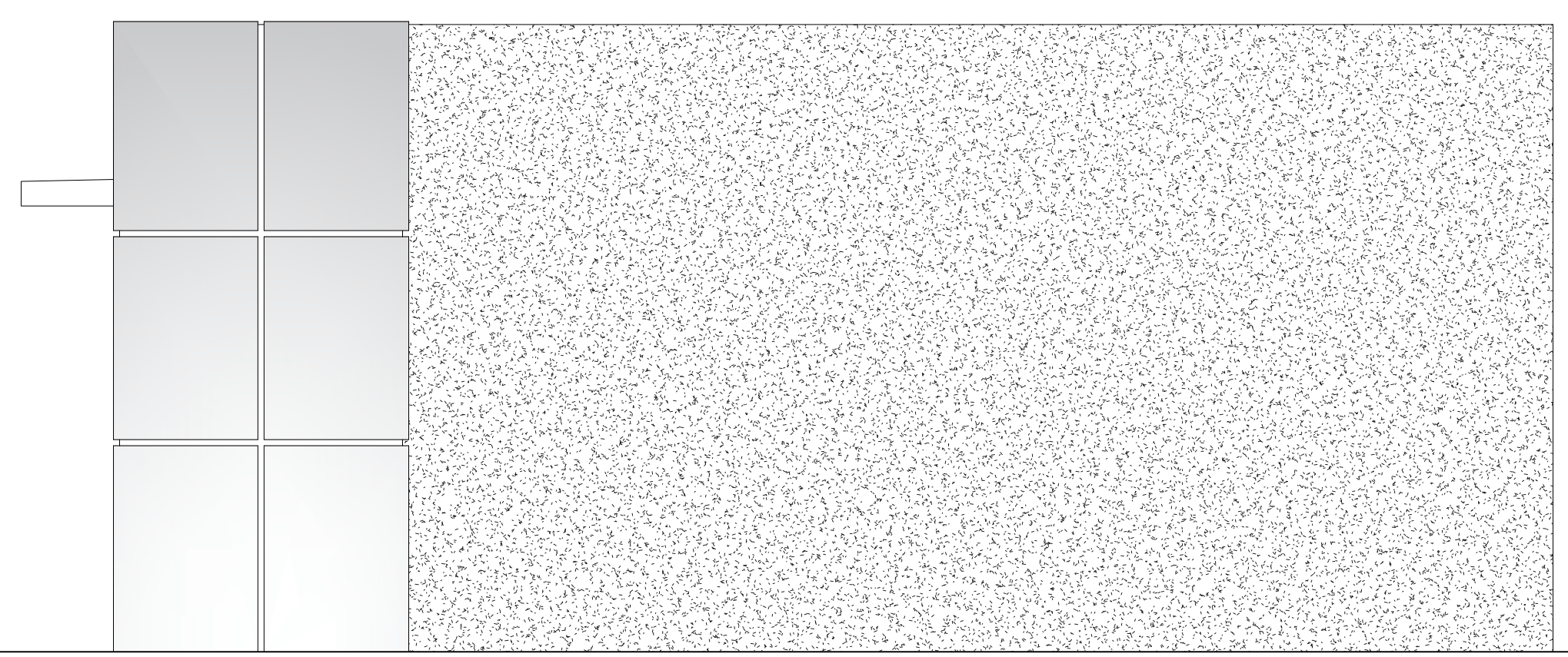


**POLE SIGN FLOOR PLAN**  
 SCALE: 1/2" = 1'-0"  
 NORTH



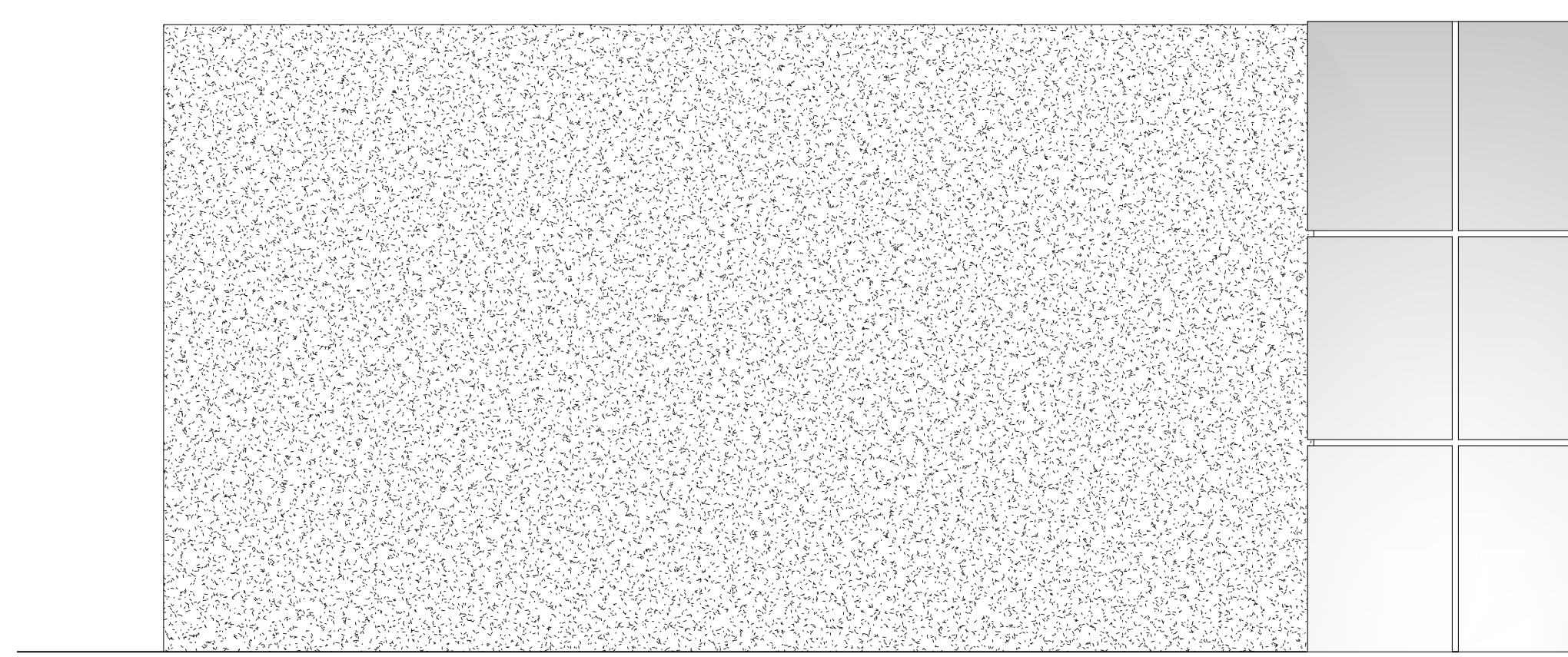
**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



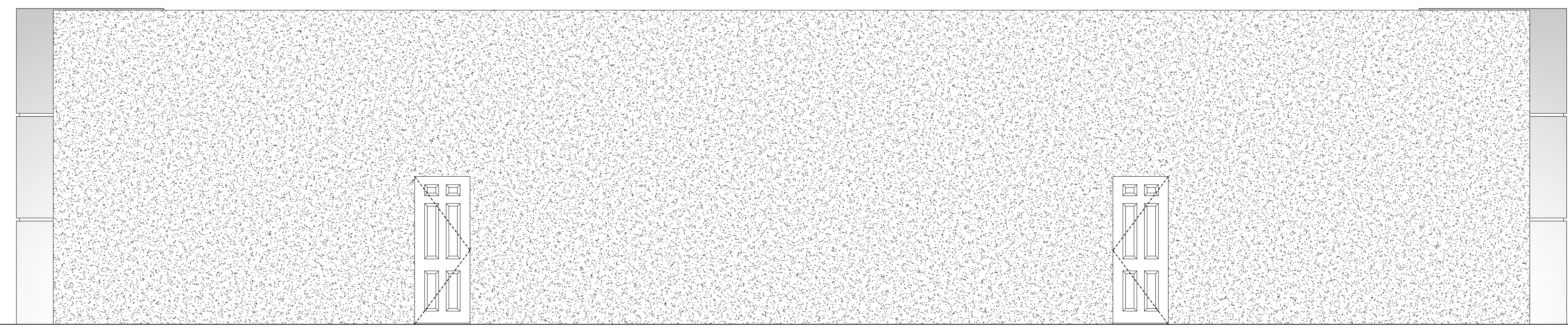
**RIGHT SIDE VIEW**

SCALE: 1/4" = 1'-0"



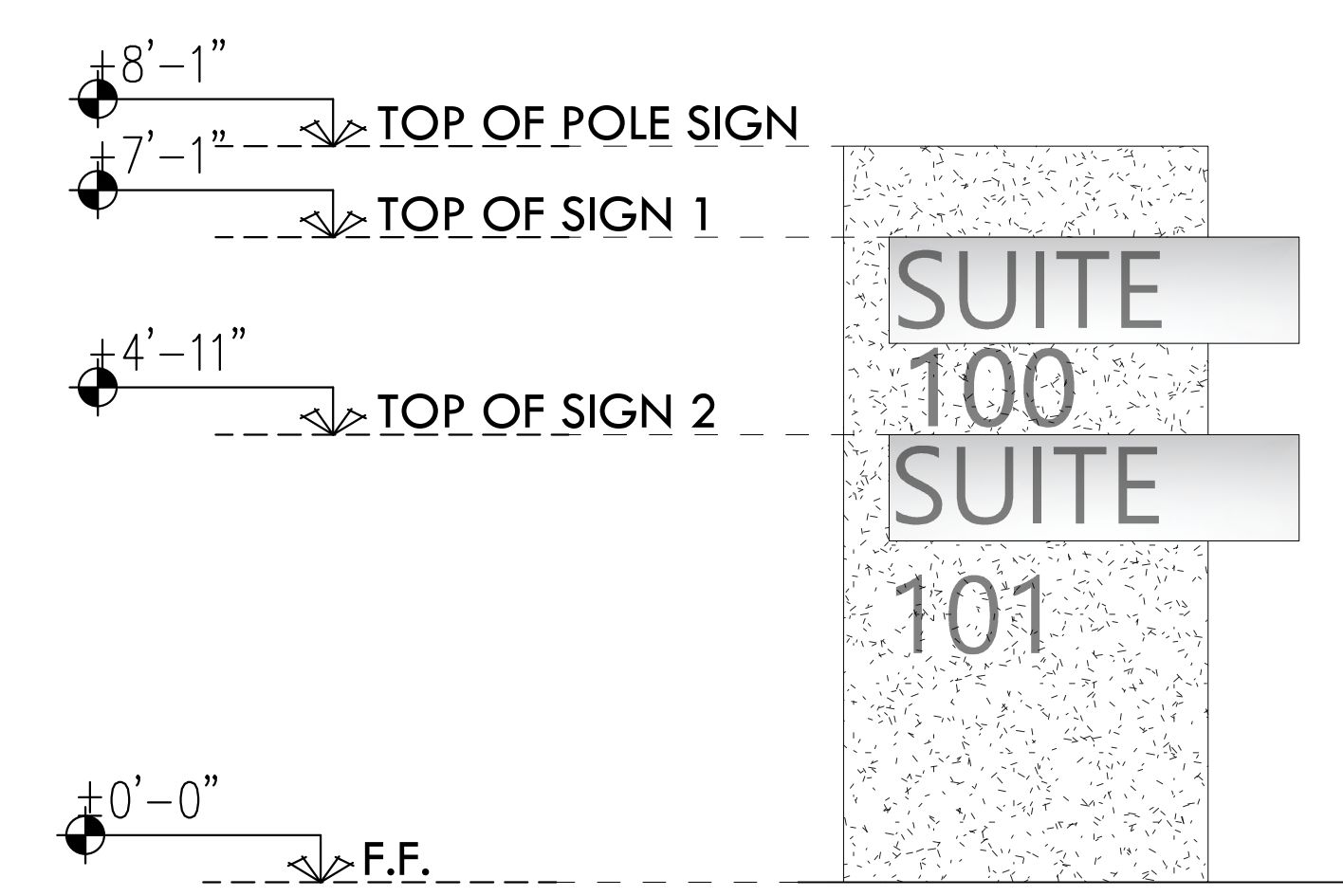
**LEFT ELEVATION**

SCALE: 1/4" = 1'-0"

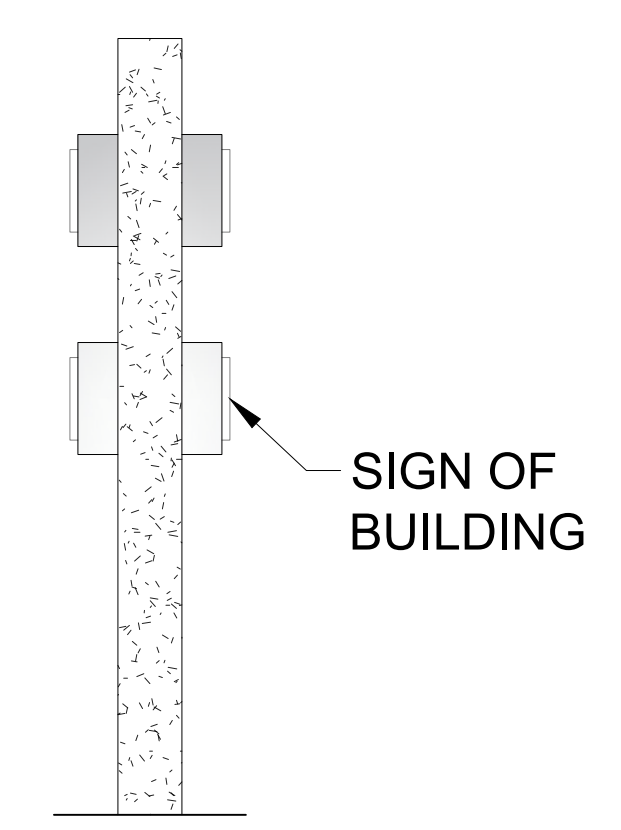


**REAR ELEVATION**

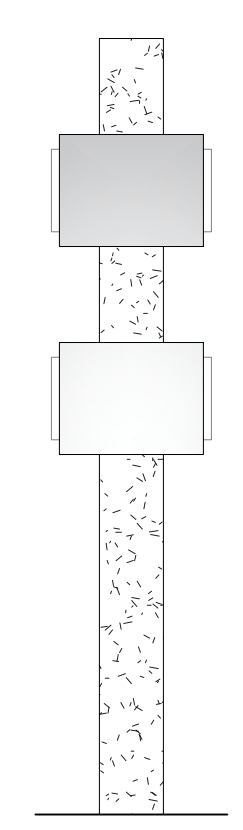
SCALE: 1/4" = 1'-0"



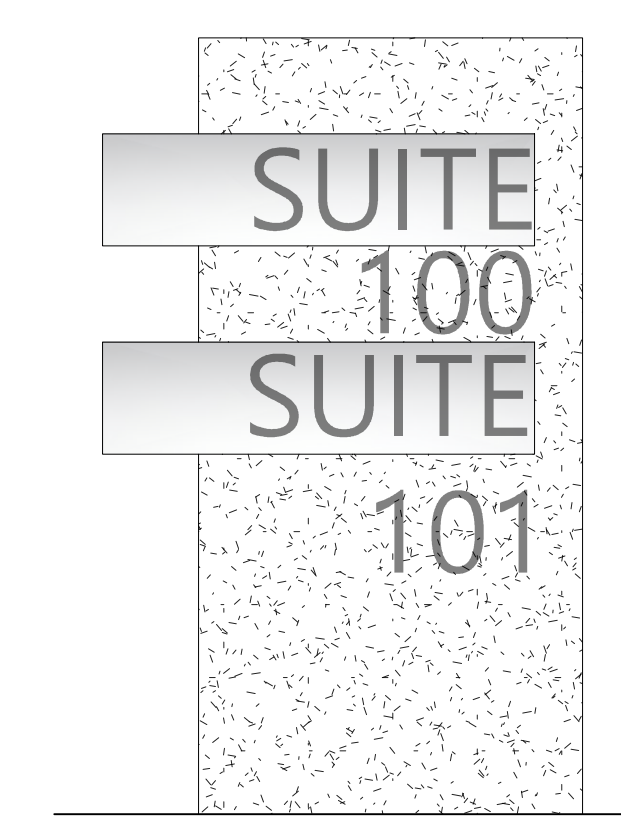
**FRONT**



**LEFT**



**RIGHT**



**REAR**

**POLE SIGN ELEVATIONS**

SCALE: 1/2" = 1'-0"

**GENERAL NOTES:**

- A. ONE(1) COAT STUCCO SYSTEM (ESR-1471) OVER 1" GA SELF-FURRED WOVEN WIRE FABRIC OVER 1" SUBSTRATE (AS LISTED BELOW) OVER 1-GRADE "D" BUILDING PAPER(U.N.O) SUBSTRATE:
  - 1) FROM TOP OF SLAB TO ROOF PLATE LINE 1" EXPANDED POLYSTYRENE
  - 2) ABOVE TOP PLATE:1" INSULATIONS FOAM BOARD,EXCEPTIONS:AT OPTIONAL CATHEDRAL INSULATION,1" EXPANDED POLYSTYRENE SHALL BE USED AT ALL CONDITIONED AREAS BELOW AND ABOVE TOP PLATE.
- B. MAG ONE-COAT STUCCO COMPLIANCE PROGRAM. ALL ONE-COAT STUCCO SYSTEMS SHALL BE APPLIED BY MANUFACTURERS APPROVED INSTALLERS. AN APPROVED WEATHER-RESISTIVE BARRIER SHALL BE INSTALLED OVER ALL FRAMING AND WOOD BASED SHEATHING.
- C. PROVIDE (2) LAYER 30# FELT FLASHING AT ALL HEADS, JAMBS, AND SILLS OF WINDOWS AND DOOR OPENINGS. REFER TO TYPICAL DETAIL OF WINDOW FLASHING
- D. PROVIDE CONTINUOUS SEALANT BEAD WHERE STUCCO ABUTS WINDOWS AND DOORS FRAME SO AS TO PROVIDE A WEATHER RESISTIVE BARRIER.REFER TO TYPICAL DETAIL OF WINDOW FLASHING.
- E. PROVIDE CONT. 26 GA. G.I. WEEP SCREED, WITH 3-1/2" VERTICAL NAILING FLANGE AT +4" ABOVE FINISH GRADE.
- F. SHINGLE ROOF SYSTEM PER ICC. ESR. 1475.
- G. MECHANICAL EQUIPMENT TO BE SCREENED BY WALL +1'-0" ABOVE HIGHEST MECHANICAL EQUIPMENT.
- H. FOAM ROOF PER IRC R905.14

**AREAS**

FRONT FACADE	1,435	SQ. FT.
WINDOWS/DOOR AREA	560	SQ. FT.
TOTAL OPENINGS	39	%

**LEGEND:**

- TRADITIONAL STUCCO PER OWNER CONTRACTOR
- SMOOTH STUCCO SYSTEM ESR1471

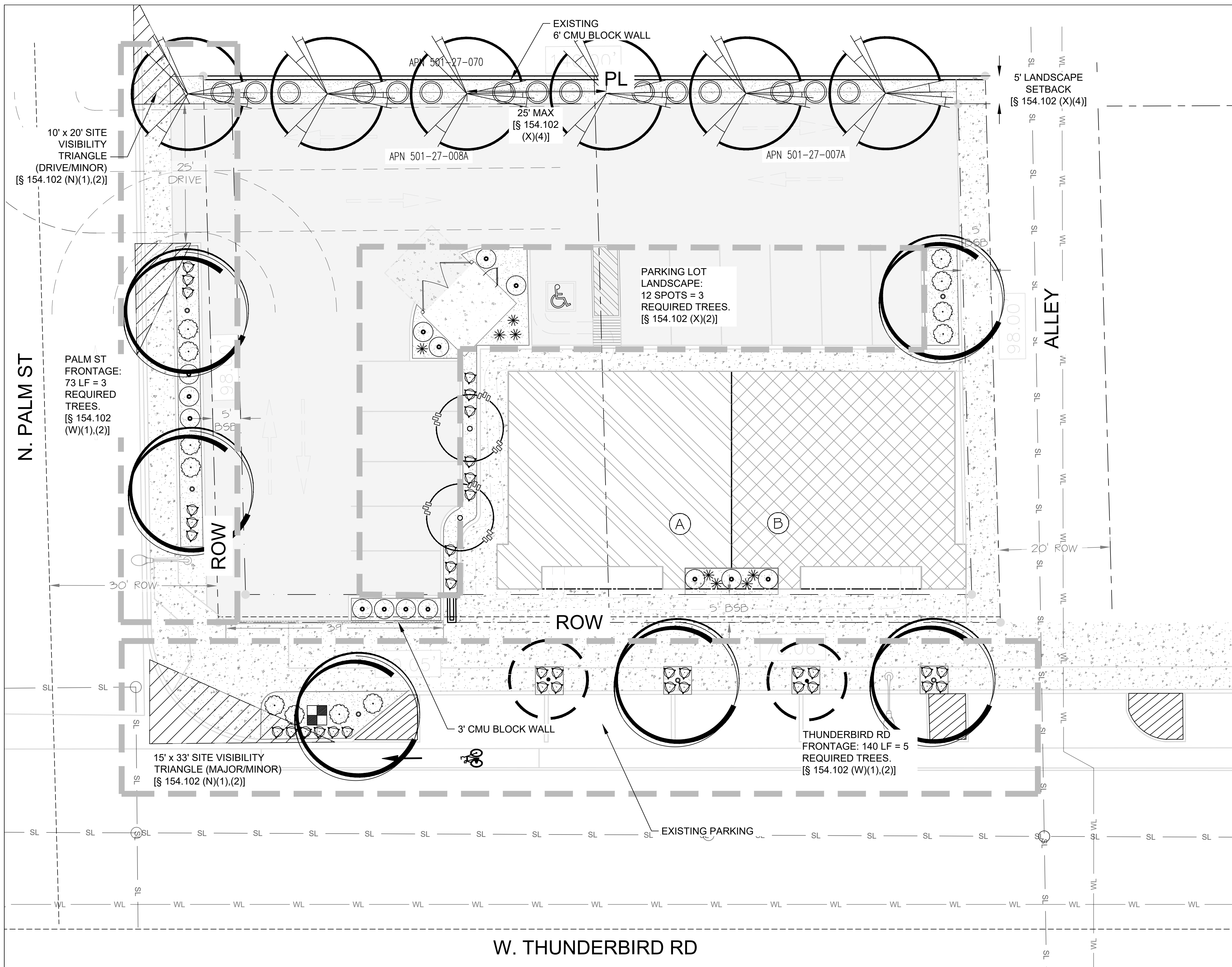
**PROCA DESIGN LLC**  
 The information contained on these drawings such as data, designs, and concepts, are property of ProCaDesign LLC. And shall not be used for any other purpose other than originally intended without written permission of the designer/consultant.

No.	Revisions	Date

**THUNDERBIRD PROJECT**  
 13801 N PALM ST  
 EL MIRAGE 85335, SUITES 100 & 101

CONTACT #	(602) 606 2885
DRAWN BY:	ProCaDesign
DATE:	09/19/2024
SCALE:	PER PLAN
SHEET:	

**A1.2**



### LANDSCAPE LEGEND

SYMBOL	NAME	SIZE	QTY.	NOTES
	Existing Tree Protect In Place	Existing	2	
	Eucalyptus papuana GHOST GUM	15 Gallon 8'h x 4'w x 1.25 caliper (per 154.02 (K)(1))	6	25' O.C.
	Mariosousa willardiana PALO BLANCO	24" Box 10'h x 4'w x 2.5 caliper (per 154.02 (K)(1))	2	
	Pistacia x 'Red Push' RED PUSH PISTACHE	24" Box 10'h x 4'w x 2.5 caliper (per 154.02 (K)(1))	6	Certificate of Authenticity Required
	Lantana x camara DALLAS RED	5 Gallon	14	
	Tecoma 'Red Hot' RED HOT TECOMA	5 Gallon	15	
	Vigiera deltoidea GOLDENEYE	5 Gallon	12	
	Botanical name COMMON NAME	5 Gallon	8	
	Chrysactinia mexicana DAMIANITA	5 Gallon	37	
	Decomposed Granite 1/2" Screened @ 2" Depth Color: Pleasant Gold		1,615 SF = 14 TON	

### PARKING CALCULATIONS

PARKING CALCULATIONS  
154.104 OFF-STREET PARKING REQUIREMENT

EXTERIOR-AREA BUILDING DIMENSIONS:	NO. OF FLOORS
80'-0" X 35'-0"	X 1 FLOOR
TOTAL:	2,800 SQ.FT.
- 10%	2,520 SQ.FT.

TOTAL PARKING REQUIRED:  
2,520 SQ.FT. ÷ 250 SQ.FT. = 10 TOTAL SPACES

TOTAL PARKING PROVIDED:	NO. OF SPACES
SUITE 100	6
SUITE 101	6
TOTAL PARKING PROVIDED:	12 TOTAL SPACES (INCLUDES 1 ACCESSIBLE)

COMPACT PARKING SPACES = 12 X 30% = 3.6 3 COMPACT PARKING SPACES

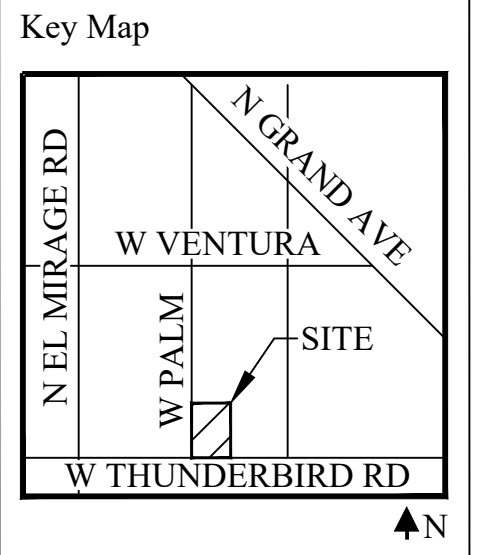
### Landscape Notes:

- Landscape areas are defined as all non paved areas disturbed by construction. Slight variations may exist between actual site conditions and drawings. Contractor shall adjust planting layout as required to maintain plant quantities and design intent. For areas over 100 s.f. contact landscape architect for revision to plant layout.
- The contractor shall not substitute any plant (in species, variety, or patent) for any plant that is specified in the legend. If availability is a problem, the contractor shall contact the Owner and the landscape architect to discuss acceptable options.
- Coordinate all necessary excavation areas with owner's representative.
- Landscape contractor is responsible for all landscape sleeving. Coordinate installation with general contractor. Verify any existing sleeves installed by other contractors.
- Irrigation and electrical sleeves to be Schedule 40 PVC. All sleeves to extend 6" beyond concrete structures and curbs. Allow at least 4" - 6" from end of sleeves to first fitting on irrigation lines. All sleeves to be 24" below grade and/or as per project details.
- Common sleeves may be used for lateral lines and mainlines. Contractor is responsible for adequate size sleeve so all pipes move freely within the sleeve. Contractor to 'As Built' all sleeve sizes and locations.
- Mark back of curbs at sleeve locations by notching the concrete with 1/2" "V" notch.
- Finished grade(s) noted on the landscape plan to be field verified/approved and modified as per architectural civil drawings.
- Granular top dressing shall extend under shrubs and be raked uniformly along curbs, sidewalks and walls at a consistent depth as specified.
- Landscape contractor to contact the owner's representative before each application of pre-emergent for verification. Minimum 2 applications are required, one just before spreading d.g. and one after D.G. has been fine raked and leveled. Applications shall be thoroughly watered in and prior to applying D.G.
- Retention basins shall be constructed solely from the approved civil plans. Any alteration of the approved design (additional fill, boulders, etc.) shall require additional final plans, staff review and approval.
- Refer to specifications for additional requirements not shown on drawings.
- The Landscape Contractor shall be responsible for the proper care and handling of trees and plants for delivery and placement in planting pit. Trees that are dropped from trucks or dropped into pits shall be rejected for replacement by the landscape contractor. If rootballs fall apart during the planting operation the plant shall not be planted. New plant materials shall be provided to replace those that rootballs fall apart.
- Plant containers shall be cut to remove rootballs that are tight in the container. The contractor shall not remove the plant from the container by the trunk. Rootbound plants and trees shall not be planted unless proper modifications can be made to the rootball.
- The Landscape Contractor shall warrant the trees and shrubs for one year from the date they are planted.

Net Lot Size: 13,729 SF (.32 acre)  
Landscape Required: 10% of Net Site Area (1,373 SF)  
Landscape Provided 11.8% of Net Site Area (1,615 SF)

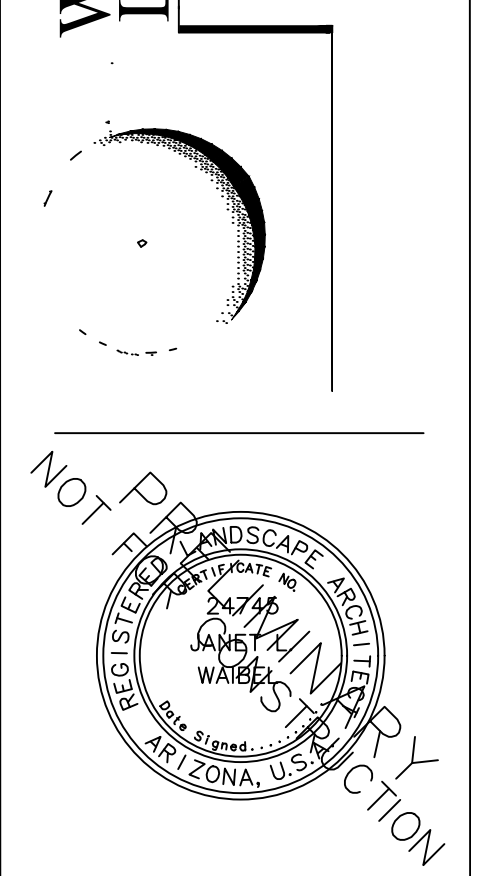


### Revisions

**Thunderbird Project**  
For: ProCaDesign / Luis Sanchez  
13801 W. Thunderbird Rd, Suite 100 & 101  
El Mirage, AZ 85335  
(602) 606-2865; angelica@procaesign.com

**Waibel & Associates Landscape Architecture**  
Landscape Architecture  
Member of Waibel & Associates  
13801 W. Thunderbird Rd, Suite 101 Tempe, AZ 85284  
Phone: 480-880-3849 Fax: 480-880-3846  
8611 S. Priest Drive, Suite 101 Tempe, AZ 85284  
Email: jane@waibel-la.com  
Website: www.waibel-la.com



PRELIMINARY  
LANDSCAPE  
PLAN

SHEET  
NUMBER

# Unofficial 20 Document

at the request of Pioneer Title Agency, Inc.

When recorded mail to

Luis Sanchez  
Maria V Sanchez

13501 N. Popray St  
El Mirage, AZ 85335  
71604236-A48

71  
yo

1/1

SPACE ABOVE THIS LINE FOR RECORDER'S USE

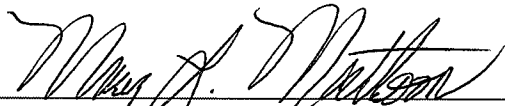
## WARRANTY DEED

For the consideration of Ten Dollars, and other valuable consideration, I or we,  
Mary L. Mattoon, An Unmarried Woman do/does hereby convey to  
Luis Sanchez and Maria V Sanchez, Husband and Wife  
the following real property situated in Maricopa County, Arizona:  
See Exhibit A attached hereto and made a part hereof.

SUBJECT TO: Current taxes and other assessments, reservations in patents and all easements, rights of way, encumbrances, liens, covenants, conditions, restrictions, obligations and liabilities as may appear of record.

The Grantor warrants the title against all persons whomsoever.

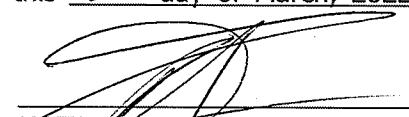
DATED: March 10, 2022

  
\_\_\_\_\_  
Mary L. Mattoon

State of Arizona        }  
                                  } ss.  
County of Maricopa    }

The foregoing instrument was acknowledged before me this 10 day of March, 2022, by Mary L. Mattoon.



  
\_\_\_\_\_  
NOTARY PUBLIC  
My commission expires: 3/24/25

## Exhibit A

## Parcel No. 1

Lot 7, Tract C, of EL MIRAGE, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 28 of Maps, Page 43;

EXCEPT that portion deeded to the City of El Mirage, an Arizona Municipal Corporation in Document No. 2014-796782, described as follows:

A parcel of land situated in the Southwest quarter of Section 12, Township 3 North, Range 1 West of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, more particularly described as follows:

COMMENCING at the Southwest corner of said Section 12, being marked by a brass cap in handhole at the intersection of Thunderbird Road and El Mirage Road, bearing North 89 degrees 22 minutes 06 seconds West, 2646.81 feet from the South quarter corner of said Section 12, being marked by a brass cap flush at the intersection of Thunderbird Road and 119<sup>th</sup> Avenue Alignment;

THENCE South 89 degrees 22 minutes 06 seconds East, along the South line of said Section 12, 764.20 feet;

THENCE departing said South line, North 00 degrees 09 minutes 36 seconds West, 33 feet to the Southwest corner of Lot 7, Tract "C", EL MIRAGE, per subdivision recorded in Book 28 of Maps, Page 43, official records of Maricopa County, Arizona and the POINT OF BEGINNING of the herein described parcel;

Unofficial Document

THENCE continuing along and with the West line of said Lot 7, North 00 degrees 09 minutes 36 seconds West, 22.00 feet;

THENCE departing said West line, South 89 degrees 22 minutes 06 seconds East, 70.06 feet to the East line of said Lot 7;

THENCE South 00 degrees 09 minutes 18 seconds East, along said East line, 22.00 feet to the Southeast corner thereof;

THENCE North 89 degrees 22 minutes 06 seconds West, along and with the South line of said Lot 7, 70.06 feet to the POINT OF BEGINNING.

## Parcel No. 2

Lot 8, Tract C, of EL MIRAGE, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 28 of Maps, Page 43;

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THENCE South 89 degrees 22 minutes 06 seconds East, along the South line of said Section 12, 649.15 feet;

THENCE departing said South line, North 00 degrees 09 minutes 09 seconds West, 33 feet to the Southwest corner of Lot 8, Tract "C", EL MIRAGE, per subdivision recorded in Book 28 of Maps, Page 43, official records of Maricopa County, Arizona and the POINT OF BEGINNING of the herein described parcel;

THENCE continuing along and with the West line of said Lot 8, North 00 degrees 09 minutes 09 seconds West, 22.00 feet;

THENCE departing said West line, South 89 degrees 22 minutes 06 seconds East, 70.05 feet to the East line of said Lot 8;

THENCE South 00 degrees 09 minutes 36 seconds East, along said East line, 22.00 feet to the Southeast corner thereof;

THENCE North 89 degrees 22 minutes 06 seconds West, along and with the South line of said Lot 8, 70.05 feet to the POINT OF BEGINNING.

Parcel No. 3

Unofficial Document

Lot 52, Tract J, of EL MIRAGE NO. 2, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 29 of Maps, Page 39.

Parcel No. 4

Lot 13, Tract O, of EL MIRAGE NO. 3, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, recorded in Book 34 of Maps, Page 32.

71604236-A48

ACCEPTANCE OF COMMUNITY PROPERTY  
WITH RIGHT OF SURVIVORSHIP  
(Deed)

Luis Sanchez and Maria V Sanchez, Husband and Wife, each being first duly sworn upon oath each for himself or herself and jointly but not one for the other deposes and says:

THAT I am one of the Grantees named in that certain Deed attached hereto and which is dated March 10, 2022 and executed by Mary L. Mattoon, An Unmarried Woman, as Grantors, to Luis Sanchez and Maria V Sanchez, Husband and Wife, as Grantees, and which conveys certain premises described as:

See Exhibit A attached hereto and made a part hereof.

to the Grantees named therein, not as Tenants in Common nor as a Community Property Estate nor as Joint Tenants with Right of Survivorship, but as Community Property with Right of Survivorship.

THAT each of us individually and jointly as Grantees hereby assert and affirm that it is our intention to accept said conveyance as Community Property with Right of Survivorship and to acquire any interest we may have in said premises under the terms of said Deed as Community Property with Right of Survivorship.

DATED: March 10, 2022

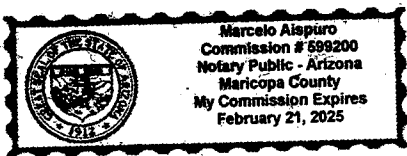
Luis Sanchez  
Luis Sanchez

Unofficial Document  
Maria V Sanchez  
Maria V Sanchez

State of Arizona        }  
                                      } ss.  
County of Maricopa    }

The foregoing instrument was acknowledged before me this 10 day of March, 2022, by Luis Sanchez and Maria V Sanchez.

Marcelo  
NOTARY PUBLIC  
My commission expires: 02/21/2025



## Exhibit A

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Unofficial Document

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THENCE North 89 degrees 22 minutes 06 seconds <sup>Unofficial Document</sup> West, along and with the South line of said Lot 8, 70.05 feet to the POINT OF BEGINNING.

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Parcel No. 4

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