

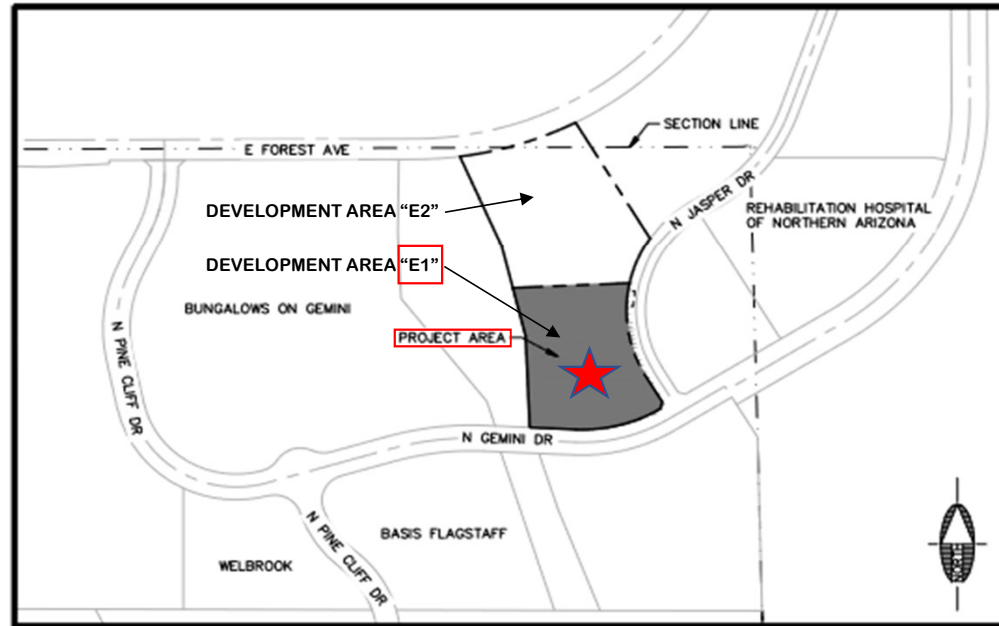
Zoning Map Amendment and Specific Plan Amendment Request PZ-18-00061-03

March 27, 2019



VICINITY MAP

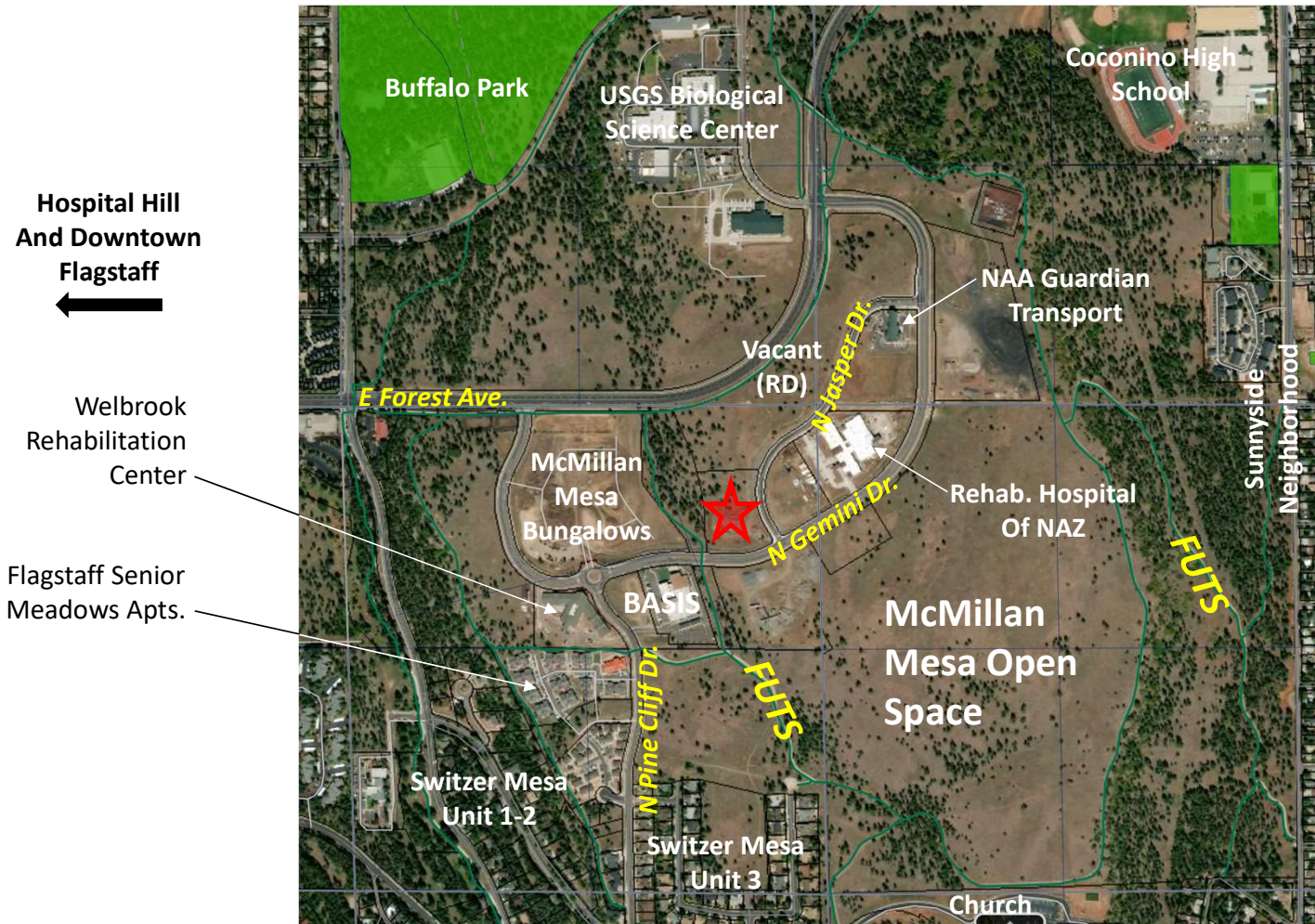
LOCATED IN THE NE ¼ OF SECTION 15, TOWNSHIP 21
NORTH, RANGE 7 EAST, GILA AND SALT BASE AND
MERIDIAN, COCONINO COUNTY, FLAGSTAFF,
ARIZONA



Highgate Senior Living Facility

VICINITY MAP
N.T.S.

LOCATION & SURROUNDING USES



Hospital Hill
And Downtown
Flagstaff
←

Welbrook
Rehabilitation
Center
Flagstaff Senior
Meadows Apts.

↑
NORTH

McMillan Mesa Development



- FOR SALE
- IN ESCROW
- PREVIOUSLY SOLD
- COMPLETED/ IN DEVELOPMENT

Request:



Buron, Inc. requests the following:

- A **Direct to Ordinance Zoning Map Amendment** changing parcel APN 101-46-012A zoning from Research and Development (RD) to Community Commercial (CC).

Zoning Map Amendment:

- If approved, the Zoning Map Amendment will change 3.34 acres from the (RD) zone to the (CC) zone to allow development of a Congregate Care Facility.

- A **McMillan Mesa Village Specific Plan Amendment** allowing changes to the development options for the same parcel referenced above, located in the Specific Plan Development Area “E”.

McMillan Mesa Specific Plan Amendment:

- If approved, the McMillan Mesa Specific Plan Amendment will change the following development options for the subject parcel:
 - Allow development of a Congregate Care facility within Development Area “E1”.
 - Define the allowable FAR for the subject parcel as 0.61 (61%) specific to the approved Site Plan proposal.

FLAGSTAFF REGIONAL PLAN 2030



Why approve the Zoning Map and McMillan Mesa Village Specific Plan Amendments?

Will this approval support and enhance the Regional Plan

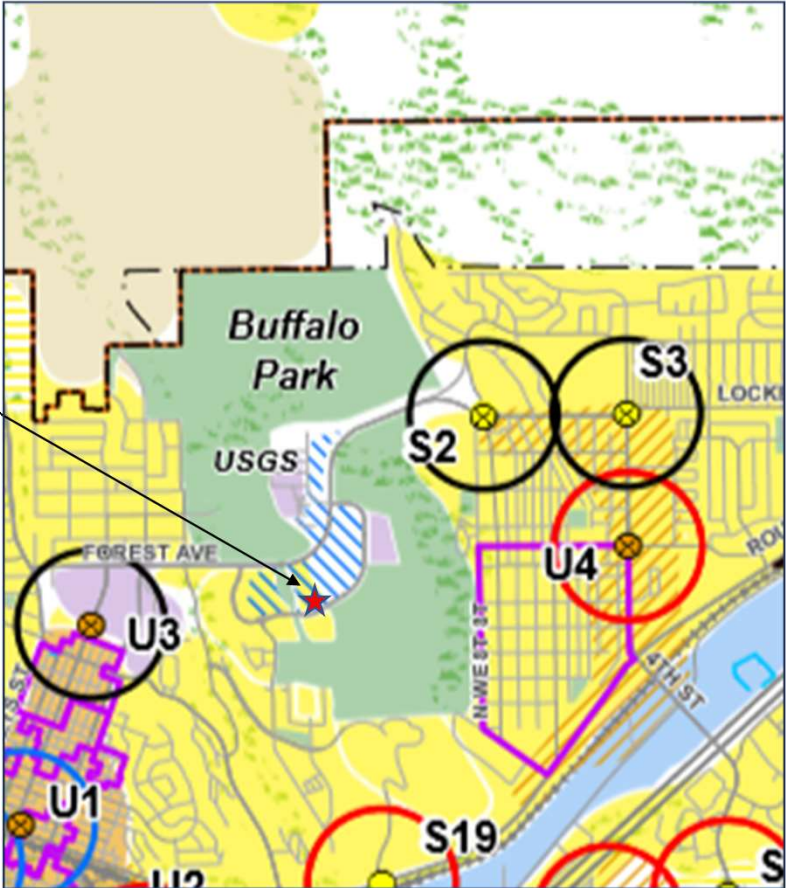
- Area Type?
- Characteristics and goals?



FLAGSTAFF REGIONAL PLAN 2030 – Future Growth Illustration Map



- Regional Plan Area Type:**
- *Future Employment*
 - *Suburban Existing*



**Map 22:
FUTURE GROWTH ILLUSTRATION**

- Urban Growth Boundary
- City of Flagstaff
- Activity Centers**
 - Suburban Activity Center (S1)
 - symbol identifies existing center
 - Urban Activity Center (U1)
 - symbol identifies existing center
 - Rural Activity Center
- Regional Scale Pedestrian Shed
- Neighborhood Scale Pedestrian Shed
- Historic Pedestrian Shed
- Rural Pedestrian Shed
- Area Types**
 - Rural - Existing
 - Rural - Future
 - Suburban - Existing
 - Suburban - Future
 - Urban - Existing
 - Urban - Future
 - Special Planning Area
 - Existing Employment
 - Future Employment
- Areas in white retain their existing entitlements
- Historic District
- Park/Open Space
- Concentration of Natural Resources (see Figure 9)
- RTP Future Road Network
- Fly Zone

As amended November 15, 2018

Future growth illustrations and plans do not preclude private development entitlements. Please see www.flagstaffmatters.com for an interactive GIS map.

FLAGSTAFF REGIONAL PLAN VISION 2030: PLACE MATTERS

FLAGSTAFF REGIONAL PLAN 2030 CONFORMANCE



An **Employment Area**:

- Provides continued growth of skilled employment opportunities including medical offices and research and development that utilizes education and skills existing within the city's population.
- Accommodates density and land use transitions while requiring wholistic neighborhood character design.
- Encourages a mix of land uses and workplaces to develop community variety and economic vitality.

FLAGSTAFF REGIONAL PLAN 2030 CONFORMANCE



A Suburban Area:

- Segregated into isolated single family, multi family, strip commercial and big box stores.
- Non-compact with space between uses, open space recreation, parks and trails.
- **A vision for Suburban areas** – Provide **traditional suburban neighborhood** design with **enhanced sustainability** through **reduced vehicle travel, walkable neighborhoods, bike and transit** availability.

FLAGSTAFF REGIONAL PLAN 2030 CONFORMANCE



Comprehensive Planning and Current Planning staff and the Applicant analyzed the following goal and policy topics:

- Growth Areas & Land Uses
- Transportation
- Environmental Planning/Community Character
- Neighborhoods, Housing & Urban Conservation
- Economic Development
- Recreation

FLAGSTAFF REGIONAL PLAN 2030



Policy Analysis – Key points and community benefits supporting (+) proposed amendments are listed below:

- (+) New development within the Urban Growth Boundary readily able to be provided with facilities & services by the City.
- (+) Congregate care facilities provide low employee to resident ratios and employment opportunities requiring high skill levels.
- (+) The project adds density through its residential nature and is situated so that it utilizes existing resources protected on adjacent parcels as a buffer between Employment area uses and adjacent suburban area uses.

FLAGSTAFF REGIONAL PLAN 2030



Policy Analysis Cont'd (SUPPORTING factors) +

- (+) The project correlates patterns of development and design found on adjacent suburban and employment focused areas.
- (+) Considerate of existing view sheds, open space availability, FUTS, bike and public transit available, the project offers connectivity advantageous to the suburban and employment goals of the mesa.
- (+) Providing a variety of commercial and residential uses near a suburban community reduces resource consumption as less miles may be traveled for goods, work and to natural areas for recreation.
- (+) The facility can provide residents the option to age within their own community, a valuable resource for neighborhood character.

FLAGSTAFF REGIONAL PLAN 2030



Policy Analysis Cont'd (NOT SUPPORTING factors) –

- (-) The project provides specialized employment opportunities, but the quantity of positions is limited due to number of residents.
- (-) The project continues development of medical facilities within the environs but does not provide diverse, new industry or business to the area.

FLAGSTAFF REGIONAL PLAN 2030



Why approve the Zoning Map and McMillan Mesa Village Specific Plan Amendments?

Will this approval support and enhance the Regional Plan

- Area Type?
- Characteristics and goals?

Will this approval support and enhance the Specific Plan

- Development Area District?
- District options?



McMillan Mesa Village Specific Plan



A Business Park:

- Business Park provides for development of a mix of office, research, production.
- Promote open space, and landscape buffers in areas adjacent to non-business development.

McMillan Mesa Specific Plan Policy Analysis:

- (+) Provides transitional design between residential and employment areas
- (+) Provides residential density and increased wage and job skill opportunities
- (+) Is easily appropriated within the existing community and commercial character of the McMillan Mesa Village

Congregate Care - Zoning Options?



Congregate Care Facility:

- Residential in nature and are listed in the Zoning code under residential land use.
- Considered, reviewed, approved and constructed as commercial developments.

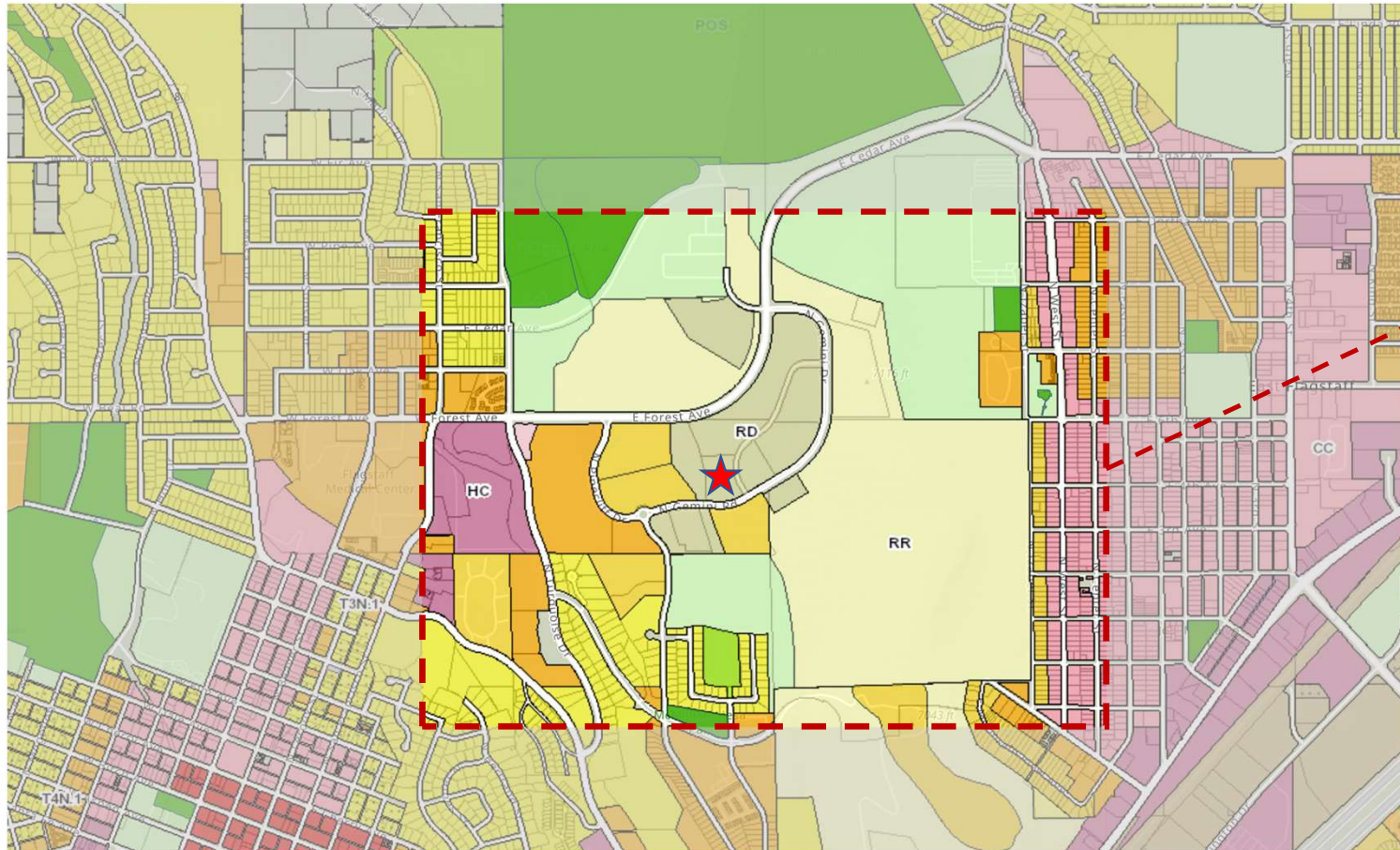
Medium Density Residential (MR):

- Allows congregate care facilities but does not permit height standards.
- Intended to provide a variety of housing types and related higher density.
- Does not facilitate Employment area /Business Park goals for the parcel.

Community Commercial (CC):

- Permits by right congregate care facilities, meets height limits of the specific plan.
- Seeks community focused commercial development compatible with adjacent non-commercial development.
- Fits goals of an Employment area and Regional Plan vision for suburban areas, conforms to the intentions of Specific Plan community.

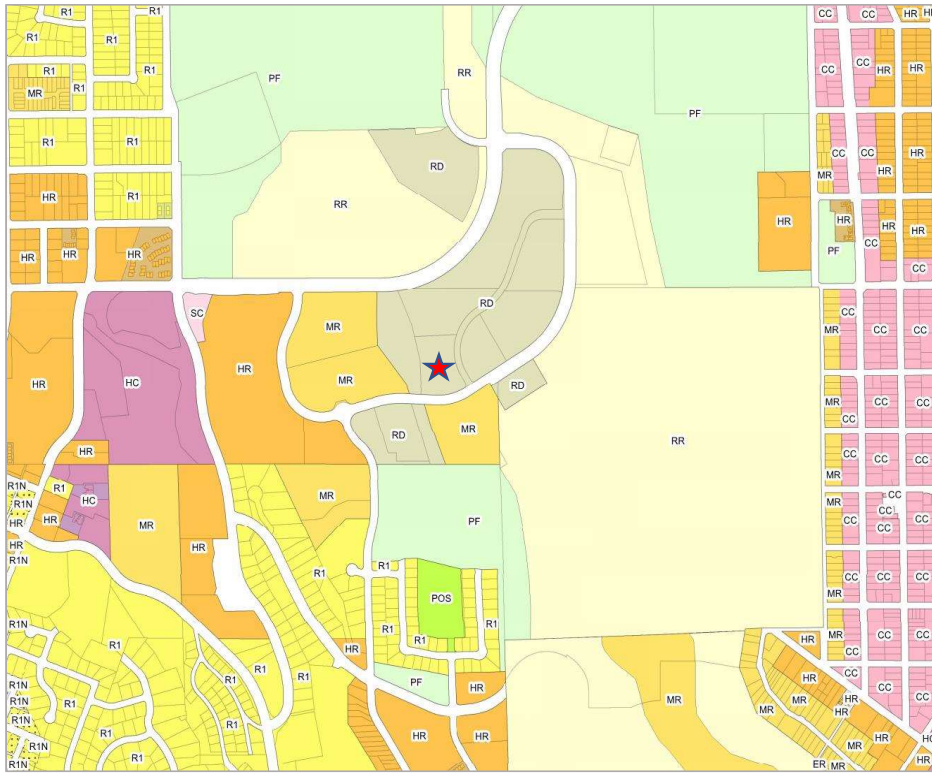
ZONING EXHIBIT – Does CC Fit?



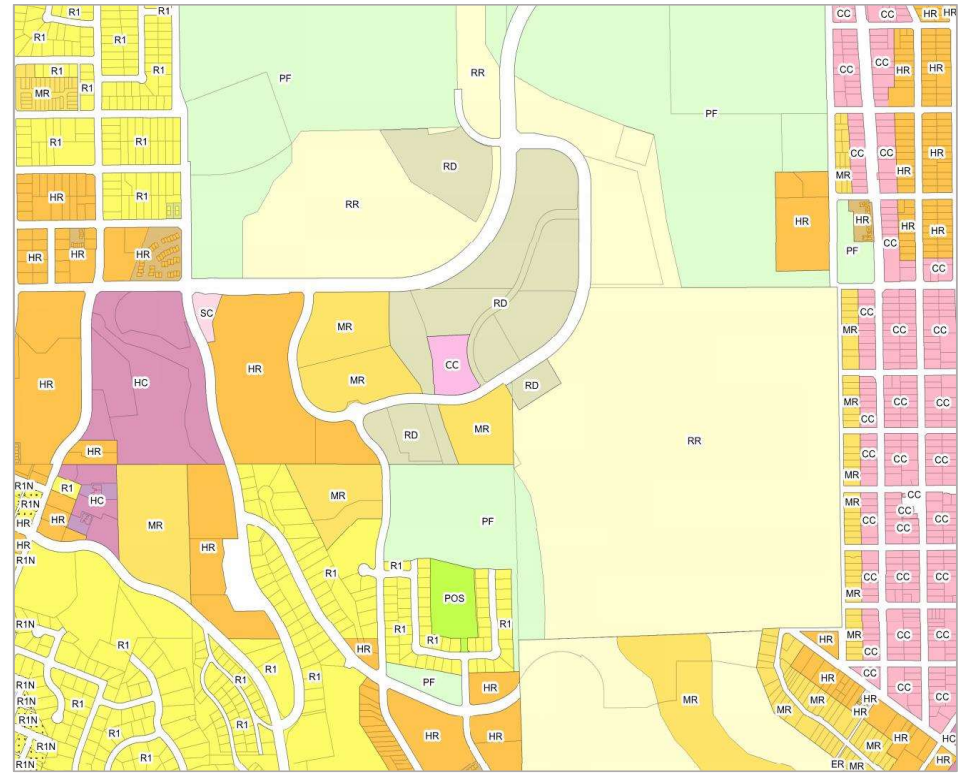
AREA OF ENLARGMENT

EXISTING AND ADJACENT ZONING

ZONING EXHIBIT



EXISTING ZONING



PROPOSED ZONING

ZONING CODE AND SPECIFIC PLAN STANDARDS - COMPARISON



Zoning Code

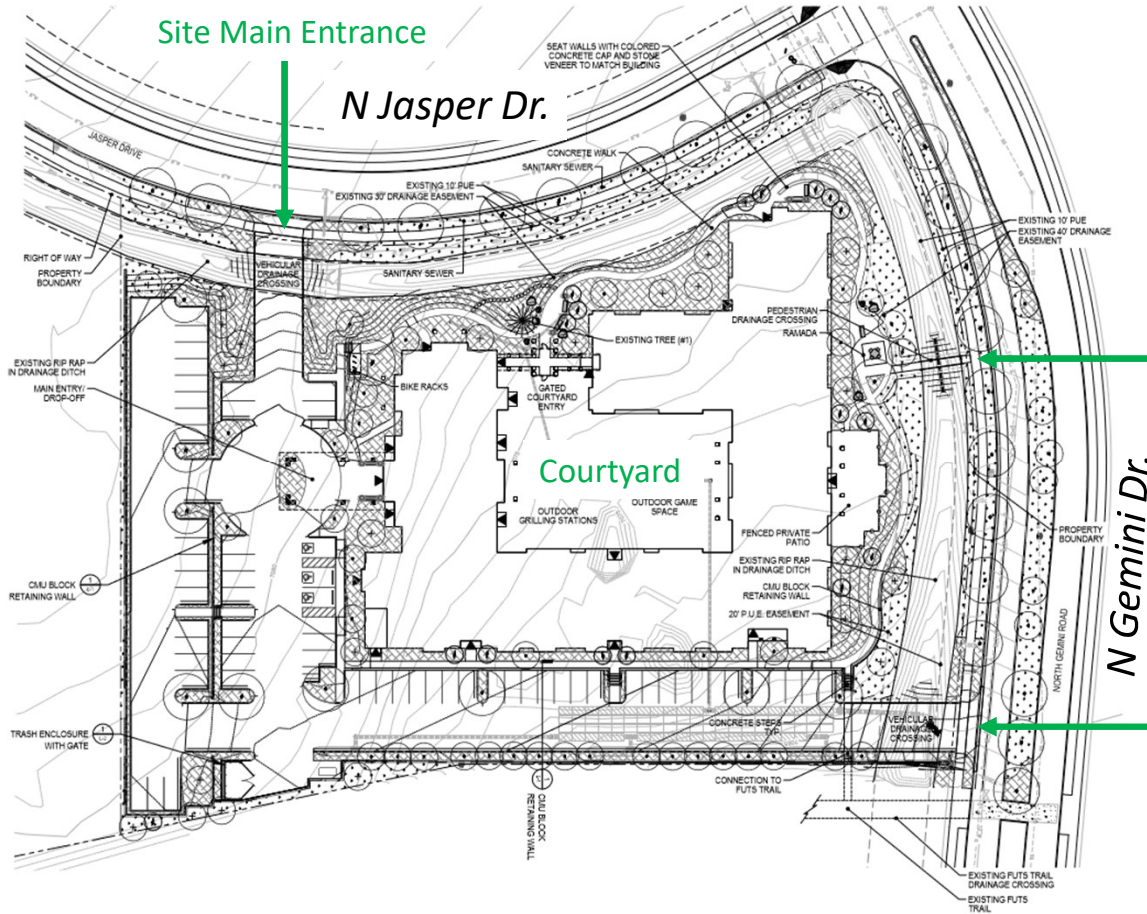
STANDARDS	EXISTING ZONE (RD)	PROPOSED ZONE (CC)	PROPOSED PROJECT
Land Use – Congregate Care		PERMITTED	Congregate Care Use
Maximum Building Height		60'	39'-2"*
Floor Area Ratio (Total Building Square Feet/Site Area)		50% coverage**	0.61 FAR/23% coverage**

*Height limit 40'-0" per McMillan Village Specific Plan Development Area "E1", **Residential uses in (CC) zone are subject to High Density Res (HR) standards

McMillan Mesa Village Specific Plan

STANDARDS	DEVELOPMENT AREA E	AMENDED DEV. AREA "E1"	PROPOSED PROJECT
Land Use		CONGREGATE CARE	Congregate Care
Maximum FAR		- 0.61 MAX FAR	- 0.61
Maximum Building Height		40'*	39'-2"
Minimum Density (units/acre) Maximum Density (units/acre)		Min. 10 units/ac Max. 22 units/ac**	- 18 units/acre

PROPOSED SITE PLAN



Site Main Entrance

N Jasper Dr.

Courtyard

N Gemini Dr.

Pedestrian Crossing at Drainage Easement

Site Secondary Entrance



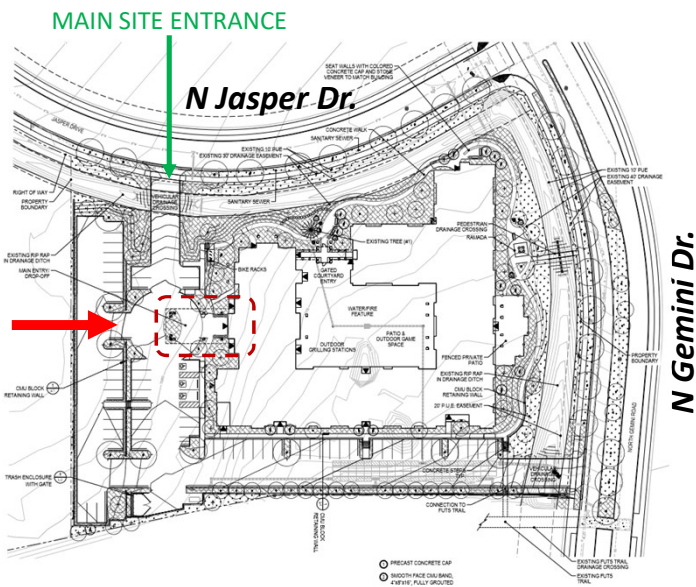
ARCHITECTURAL ELEVATIONS

NORTH BUILDING ELEVATION



CELEBRATE SITE ARRIVAL

Main Entry



2 NORTH ELEVATION SKETCH
1/8" = 1'-0"



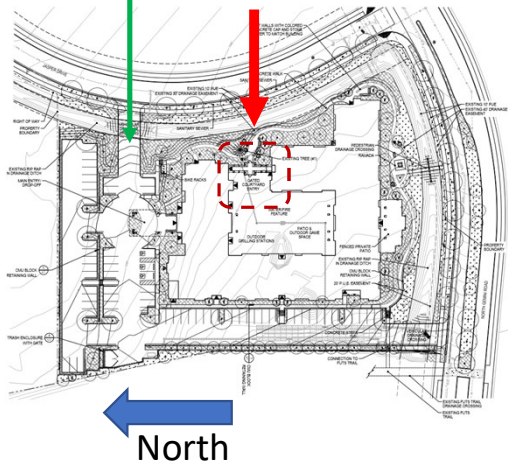
Proposed Materials and Color Scheme

ARCHITECTURAL ELEVATIONS

EAST BUILDING ELEVATION



MAIN SITE ENTRANCE



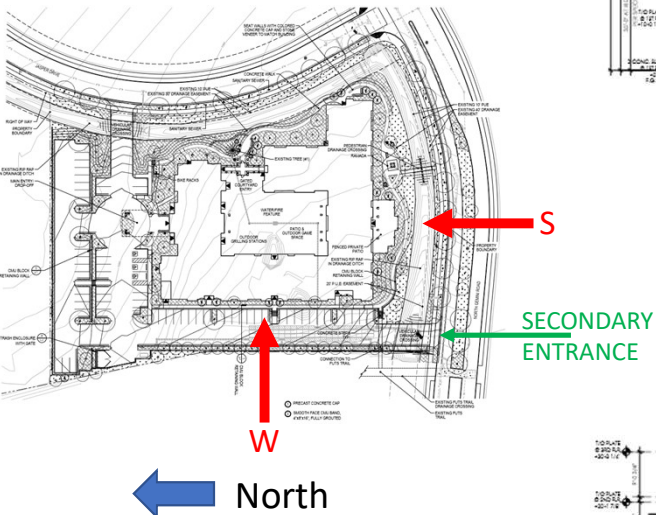
INSIDE/OUTSIDE Integral Bridge





ARCHITECTURAL ELEVATIONS

SOUTH AND WEST BUILDING ELEVATIONS



SOUTH ELEVATION

TRANSITIONAL DESIGN
Suburban and Employment



WEST ELEVATION

DEFERRED SUBMITTALS



Landscaping:

Though not required in conjunction with a Direct to Ordinance Zoning Map Amendment, the applicant has provided a Preliminary Landscape Plan meeting all required standards. A final Landscape Plan will be reviewed at the time of civil plan submittal.

Outdoor Lighting:

Outdoor lighting plans are also not required with Direct Ordinance Zoning request. The subject property is within Lighting Zone II and is allowed 50,000 lumens/acre. The applicant has committed to meeting or exceeding the City's outdoor lighting standards. A plan will be reviewed at the time of building permit submittal.

PUBLIC SYSTEMS IMPACT ANALYSIS



Traffic and Access: As a part of the McMillan Mesa Village Specific Plan, a traffic analysis was completed on May 20, 1992. The analysis contemplated the impact to the full specific plan area.

- The proposed project will not impact traffic or access to the development adversely.

Water & Sewer: A Water & Sewer Impact Analysis conducted July 2006. It was determined that

- Adequate capacity exists and that no off-site water or sewer improvements will be required because of these amendments.
- Developer must design and construct all on-site and connecting infrastructure per the COF's Engineering Standards.

Stormwater: As a part of the McMillan Mesa Village Specific Plan, a Drainage Impact Analysis was completed on May 21, 1991. The analysis contemplated the impact to the full specific plan area.

- The development will have no impact on the regional storage facility located at Forest Ave and Pine Cliff Dr.
- No construction, other than site access drives and a walkway are designed to affect the existing on-site drainage basins and easements.

CITIZEN PARTICIPATION



In accordance with State Statute:

- Public Hearing Notices were mailed to all property owners within 1,000 feet of subject property (exceeding the min. 300 feet)
- Advertisement appeared in AZ Daily Sun
- Signs posted on the property

Applicant held one Neighborhood Meetings at Flagstaff NACET (2225 N Gemini Rd.):

- November 14, 2018 (4 individuals attended)
- The second Neighborhood Meeting was waived due to low attendance at the first meeting and because the first meeting generated little to no negative comments.
- Comment topics from public included current site zoning, traffic impacts, heights/materials of proposed buildings, parking requirements, existing trees, project schedule, staff travel hours, and project entry locations.
- No communication from the public have been received regarding this project.

FINDINGS:

Direct to Ordinance Zoning Map Amendments



- (1) The proposed Zoning Map Amendment is consistent with and conforms to the goals and policies of the General Plan.
- (2) The proposed amendment to the McMillan Mesa Village Specific Plan is consistent with and conforms to the goals and policies of the McMillan Mesa Village specific plan;
- (3) The proposed amendment will not be detrimental to the public interest, health, safety, convenience, or welfare of the City of Flagstaff (the “City”), and will add to the public good as described in the General Plan;
- (4) The affected site is physically suitable in terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle access, public services, and utilities to ensure that the requested zone designation and the proposed or anticipated uses and/or development will not endanger, jeopardize, or otherwise constitute a hazard to the property or improvements in the vicinity in which the property is located.

STAFF RECOMMENDATION



Staff recommends the Planning & Zoning Commission, in accordance with the findings presented in the staff report, forward the Direct to Ordinance Zoning Map Amendment to the City Council with a recommendation approving PZ-18-00061-03 subject to following conditions of approval:

- The subject property must be developed in accordance with the approved site plan and the conditions of approval dated February 26, 2019. Modifications (other than minor modifications) to the approved site plan will require an amendment to this Direct to Ordinance Zoning Map Amendment request.
- The McMillan Mesa Specific Plan will be amended to allow the Community Commercial zone specifically for congregate care facility and revised development standards for Floor Area Ratio from .30 to .61 for the 3.337-acre portion of Development Area E as described in the applicant's narrative (Exhibit A and Planning Exhibit for Development Areas E1 and E2).
- All other requirements of the Zoning Code and other City codes, ordinances and regulations, shall be met by the proposed development.
- All other terms, conditions, and restrictions detailed within the "McMillan Mesa Specific Plan Development Agreement" must be fully satisfied.

NEXT STEPS



City Council Meeting (1 st Read of Ordinance)	Apr. 16, 2019
City Council Meeting (2 nd Read of Ordinance)	May 07, 2019
Ordinance effective 30 days after 2 nd Read	June 6, 2019