

NOTICE AND AGENDA

**PLANNING & ZONING COMMISSION
WEDNESDAY
02/26/2020**

**COUNCIL CHAMBERS
211 WEST ASPEN AVENUE
4:00 P.M.**

1. **Call to Order**
2. **Roll Call**

NOTE: One or more Commission Members may be in attendance telephonically or by other technological means.

MARGO WHEELER, CHAIR
DAVID ZIMMERMAN, VICE CHAIR
MARIE JONES
CAROLE MANDINO

DR. ALEX MARTINEZ
ERIC NOLAN
GAYLENE SOPER

3. **Public Comment**

At this time, any member of the public may address the Commission on any subject within their jurisdiction that is not scheduled before the Commission on that day. Due to Open Meeting Laws, the Commission cannot discuss or act on items presented during this portion of the agenda. To address the Commission on an item that is on the agenda, please wait for the Chair to call for Public Comment at the time the item is heard.

4. **APPROVAL OF MINUTES**
From the regular meeting on Wednesday, February 12, 2020.

5. **PUBLIC HEARING**

A. PZ-19-00125 Updates to Zoning Code 2020 – Miscellaneous Part 1

This is a request for a Zoning Code Text Amendment (Case No.: PZ-19-00125) by the City to amend the Zoning Code to resolve conflicts, incorporate technical corrections and clarity, add and modify definitions, and add, delete and modify the Code's requirements. The proposed amendments affect, but are not limited to, these provisions of the Code: administration and procedures, general to all provisions, non-transect and overlay zones, supplemental to zones, building height, accessory buildings, equipment screening, landscape buffers, signs, specific to building types, and definitions.

STAFF RECOMMENDED ACTION:

Staff recommends the Planning and Zoning Commission, in accordance with the findings presented in this report, find that the required findings of the Zoning Code have been met, and make a recommendation to the City Council for approval of the Zoning Code Text Amendment.

B. Hwy 89 & Cummings PZ-19-00055-03

An annexation request of approximately .32 acres (13,939 sq. ft.) located at 4409 North Highway 89 by KFH Flagstaff Cummings II, LLC. The property is identified as Coconino County Assessor's Parcel Number 113-27-027B.

STAFF RECOMMENDED ACTION:

Staff recommends the Planning and Zoning Commission forward the annexation request to the City Council with a recommendation for approval in accordance with the recommended considerations.

6. GENERAL BUSINESS

- A. Discussion:** Case No. PZ-19-00124 Updates to Zoning Code 2019 - High Occupancy Housing Land Use Zoning Code Amendment. A work session with the Planning and Zoning Commission to discuss the City's concepts to amend the zoning code pertaining to the goals, policies, and implementation strategies of the High Occupancy Housing Specific Plan. Specifically, this work session is regarding the proposed modification to the Zoning Code's Compatible Development and additional Conditional Use Permit criteria.

STAFF RECOMMENDED ACTION:

No action of the Planning and Zoning Commission is required.

7. MISCELLANEOUS ITEMS TO/FROM COMMISSION MEMBERS

8. ADJOURNMENT

CERTIFICATE OF POSTING OF NOTICE

The undersigned hereby certifies that a copy of the foregoing notice was duly posted at Flagstaff City Hall on 2/21/2020, at 1:00 p.m. This notice has been posted on the City's website and can be downloaded at www.flagstaff.az.gov.

Dated this 21 day of February, 2020.

Tammy Bishop
Tammy Bishop, Administrative Specialist



Planning & Zoning Commission

5. A.

Meeting Date: 02/26/2020

From: Dan Symer, Zoning Code Manager

Information

TITLE:

PZ-19-00125 Updates to Zoning Code 2020 – Miscellaneous Part 1

This is a request for a Zoning Code Text Amendment (Case No.: PZ-19-00125) by the City to amend the Zoning Code to resolve conflicts, incorporate technical corrections and clarity, add and modify definitions, and add, delete and modify the Code's requirements. The proposed amendments affect, but are not limited to, these provisions of the Code: administration and procedures, general to all provisions, non-transect and overlay zones, supplemental to zones, building height, accessory buildings, equipment screening, landscape buffers, signs, specific to building types, and definitions.

STAFF RECOMMENDED ACTION:

Staff recommends the Planning and Zoning Commission, in accordance with the findings presented in this report, find that the required findings of the Zoning Code have been met, and make a recommendation to the City Council for approval of the Zoning Code Text Amendment.

Attachments

P&Z Commission Report

Attachment #1

Attachment #2

PLANNING AND DEVELOPMENT SERVICES REPORT
Zoning Code Text Amendment

PUBLIC HEARING
PZ-19-00125

DATE: January 27, 2020
MEETING DATE: February 12, 2020
REPORT BY: Dan Symer, AICP

REQUEST:

This request is for a Zoning Code Text Amendment (Case No.: PZ-19-00125) by the City to amend the zoning code to resolve conflicts, incorporate technical corrections and clarity, add and modify definitions, and to add, delete and modify the codes requirements. The proposed amendments affect, but are not limited to, the provisions of the code's: administration and procedures, general to all provisions, non-transect and overlay zones, supplemental to zones, building height, accessory buildings, equipment screening, landscape buffers, signs, specific to building types, and definitions.

STAFF RECOMMENDATION:

Staff recommends the Planning and Zoning Commission, in accordance with the findings presented in this report, find that the required findings of the Zoning Code have been met, and make a recommendation to the City Council for approval of the Zoning Code Text Amendment.

I. Project Introduction

A. Background

The Zoning Code was adopted by the City Council on November 1, 2011 to replace the former Land Development Code. Since 2011, the Zoning Code has been amended 14 times to address a variety of requirements and provisions. The most recent amendments to the Zoning Code were approved by the City Council in November 2019. These amendments modified a series of miscellaneous changes, and incorporated clarifications to the requirements of accessory dwelling units.

B. Proposed Amendment

The proposed amendment includes multiple changes to the Zoning Code to resolve conflicts, incorporate technical corrections, add clarity, and to simplify the existing requirements. New provisions are being added, and several sections of the reference divisions are being modified, relocated, or deleted.

The most significant of the modifications include:

- Clarifying when a Concept Plan application is required;
- Adding expiration time frames for Concept Plan and Site Plan applications and approvals;
- Clarifying when a property owner may submit a Zoning Map Amendment or Zoning Code Text Amendment;
- Allowing the Heritage Preservation Commission to approve less restrictive standards or exceptions to maintain the historic integrity of a historic property with transect zoning;
- Modifying the equipment screening requirements to require a parapet or roof feature be no shorter than the tallest object being screened, and to require wall-mounted equipment to be screened from surrounding properties, alleys and streets, or to be integrated into the architecture of the building;
- Clarifying and modify the landscape buffer requirements, including the addition of criteria to modify the required landscape street buffer; and
- Clarifying the location requirements of the transect private street frontage locations when these standards are used in the non-transect zones.

Summary of the Staff Revisions to the Zoning Code:

The proposed amendment includes:

1. **Concept Plan Review (Section 10-20.30.050):** The concept plan review submittal requirements have been limited to structural modifications. Also, expiration timeframes of Concept Plan applications have been incorporated.
2. **Minor Improvement Permits (Section 10-20.40.080):** Changes have been incorporated to exempt animal keeping shelters that are less than 50 square feet from the Minor Improvement Permit application process.
3. **Site Plan Review and Approval (Section 10-20.40.140):** Expiration timeframes for Site Plan Review applications and associated approvals have been incorporated.
4. **Initiation of Amendments (Section 10-20.50.030):** Changes have been incorporated clarifying when a property owner may submit a Zoning Map Amendment or Zoning Code Text Amendment.
5. **Public Improvements Defined (Section 10-30.50.030):** Changes have been incorporated for parkways to be included as a public improvement requirement.
6. **Open Spaces, Civic Spaces, and Outdoor Public Spaces (Section 10-30.60.090):** Clarification has been incorporated that the area requirements of open spaces, civic spaces, and outdoor public spaces are based on the defined term of Development Site Area.
7. **Commercial Zones (Section 10-40.30.040):** The land use Kennel, Animal Keeping has been added to the list of allowed uses in the Highway Commercial (HC) zone with a Conditional Use Permit.
8. **Building Form and Property Development Standards (Tables 10-40.30.030.C., 10-40.30.040.C., and 10-40.30.050.C.):** The building height allowances for pitched roofs, elevator and stairwell bulk heads, and architectural features have been incorporated into the property development standard tables. Currently, these provisions are in the section regarding the method of determining building height.
9. **Supplemental to Zones, Divisions (Chapter 10-50):** Division 10-50.25: Basements, Basement Garages, Building Stem Walls, Crawl Spaces, and Podium Parking Structure Walls, including sections therein, have been incorporated. Currently, these provisions are located in Section 10-50.30.030, How Building Height is Measured. Also, new provisions have been incorporated to accommodate floodplain requirements and walls of a podium parking structure. These provisions require the exterior of the podium parking structure wall to have an architectural finish that is consistent with the rest of the building's architectural finishes. Also, the changes allow for greater wall heights when they are needed to raise a residential first floor above the lowest floor requirement in a floodplain.
10. **Applicability (Section 10-50.20.020):** Clarification has been incorporated pertaining to building and structure elevations that are subject to Section 10-20.40.140, Site Plan Review and Approval. These elevations shall comply with Section 10-50.20 Architectural Design Standards.
11. **How Building Height Is Measured (Section 10-50.30.030):** The methodology to measure building height has been modified. Also, several standards of this section are being modified and relocated.
12. **General Fencing and Screening Standards (Section 10-50.50.040):** The equipment screening requirements have been modified to require a parapet or roof feature be no shorter than the tallest object being screened, and to require wall-mounted equipment to be screened from surrounding properties, alleys and streets, or to be integrated into the architecture of the building.
13. **Landscape Location Requirements (Section 10-50.60.040):** The landscape buffer requirements have been clarified and modified. The modifications include the addition of criteria to modify a required landscape street buffer, and that the parking area landscape standards apply to multiple-family residential and nonresidential developments.

14. **10-50.110 Specific to Building Types (Division 10-50.110):** The location requirements of the transect private street frontage locations have been clarified when the Commercial Block, Forecourt, Shopfront, Terrace Shopfront, and Gallery are used in the non-transect zones.
15. **Definition of Specialized Terms, Phrases, and Building Functions (Division 10-80.20)** This division includes modifications, deletions, and the addition of various definitions of the Zoning Code, including: Acreage, Gross; Acreage, Net; Density; Density, Gross; Development, Multiple-Family; Development Site; Development Site Area; Duplex, Finished Grade, Floor Area Ratio, Gross (GFAR); Industrial, Heavy – General; Key Lot; Micro-brewery or Micro-distillery; Natural Grade; Outdoor Storage or Display, and Yard, Railroad Shop.
16. **Additional Enforcement, Technical, Figure and Term Modifications (Division 10-50.110 and Sections: 10-20.40.090, 10-20.50.040, 10-40.30.030, 10-40.30.050, 10-40.50.030, 10-50.50.030, 10-50.60.010, 10-50.80.040, 10-50.100.050, 10-50.100.100, 10-50.90.060, and Appendix 2):** Various technical, enforcement, and cross reference corrections, clarifications, and modifications have been incorporated.

II. Zoning Code Text Amendment

An application for a Zoning Text Amendment shall be submitted to the Planning Director and shall be reviewed and a recommendation prepared. The Planning Director's recommendation shall be transmitted to the Planning and Zoning Commission in the form of a staff report prior to a scheduled public hearing. The recommendation shall include: an evaluation of the consistency and conformance of the proposed amendment with the goals and policies of the General Plan and any applicable specific plans; the grounds for the recommendation based on the standards and purposes of the zones set forth in Section 10-40.20 (Establishment of Zones) of the Zoning Code; and, whether the amendment should be granted, or denied.

A Zoning Code Text Amendment shall be evaluated based on the following findings:

A. Finding #1:

- **The proposed amendment is consistent with and conforms to the objectives and policies of the General Plan and any applicable specific plan;**

The proposed amendments are primarily to resolve conflicts, incorporate technical corrections, and add clarity to the Zoning Code. Mainly clerical in nature, the amendments do not substantively modify the existing provisions of the Zoning Code and maintain consistency and conformance with the objectives and policies of the Regional Plan (General Plan) and applicable specific plans.

In addition to the modifications summarized above, the proposed amendment includes adding the *Kennel, Animal Keeping* land use to the High Commercial (HC) zone as a Conditional Use Permit. The addition of the proposed land use is at the request of a local business owner to allow a café concept that would have pets living at the establishment. Any business with more than four dogs, cats, or other small animals that are kept, maintained, trained, or boarded is considered a *Kennel, Animal Keeping* land use. Due to the broad nature of the definition of Kennel, Animal Keeping and the accessory use provisions of the Zoning Code, some existing businesses in Highway Commercial (HC) would not be allowed (PetSmart, etc.).

Upon review of the land uses allowed in the High Commercial (HC) zone, and the zone's existing locations, it has been determined that the use could be allowed with reasonable restrictions. These restrictions include:

1. A maximum floor area size limit of 10,000 square feet. For reference purposes, the old Arizona Department of Transportation building located directly north of the intersection of South Milton Road and West University Avenue is approximately 10,000 square feet.
2. There shall be no outdoor activities allowed.
3. The walls and ceiling shall include reasonable sound transmission attenuation.

The proposed addition of the *Kennel, Animal Keeping* land use to the Highway Commercial (HC) zone is consistent and conforms to the objectives and policies of the Regional Plan (General Plan) and applicable specific plans. This

modification will incorporate additional variety and flexibility in the allowed mix of uses that are near neighborhoods and within commercial developments (RP Policies ED.4.2., LU.13.6., and LU.15.3.). Also, the addition of the *Kennel, Animal Keeping* land use to the Highway Commercial (HC) zone allows for additional locations of the use, which may assist in protecting industrial zoned properties from uses that would otherwise need to be located in an industrial zone (ED.3.8., and LU.16.1.).

B. Finding #2

- **The proposed amendment will not be detrimental to the public interest, health, safety, convenience or welfare of the City;**

The proposed amendments are not anticipated to be detrimental to the public interest, health, safety, convenience, or welfare of the City. These amendments are primarily to resolving conflicts, incorporate technical corrections, and add clarity to the Zoning Code.

C. Finding #3

- **The proposed amendment is internally consistent with other applicable provisions of this Zoning Code.**

The proposed amendments enhance the Zoning Code’s internal consistency by resolving conflicts, incorporating technical corrections, and adding clarity. Furthermore, the proposed amendments are intended to maintain the Zoning Code’s purpose as a comprehensive contemporary set of land uses and requirements that are straightforward, usable, and easily understood.

V. CITIZEN PARTICIPATION

In accordance with State Statute and the Zoning Code, the Planning and Zoning Commission work session and public hearing for this amendment was advertised in the Arizona Daily Sun on Dec 21, 2020. Also, persons of interest that are on file with the Planning and Development Services Department were notified of the work sessions and hearings via first class mail.

As of the date of this report, staff has received a set of public comments and considerations. These are included as, Attachment 2. To address these comments, several revisions to the proposed amendment have been incorporated. These include:

1. Clarification pertaining to the density allowance for commercially zoned properties in the Resource Protection Overlay and inside of a pedestrian shed of an activity center delineated on the General Plan was added to Section 14. (Table 10-40.30.040.C. Gross Density) of Attachment #1.
2. Clarification pertaining to the building height exceptions for stairwells and elevators was relocated from the method of measuring building height and added to Section 12 (Table 10-40.30.030.C., End Notes 8 and 9), Section 14 (Table 10-40.30.040.C., End Notes 9 and 10), and Section 16 (Table 10-40.30.050.C., End Notes 8 and 9) of Attachment #1.
3. A modification has been made in Section 24 (Section 10-50.25.020. A.) of Attachment #1 to change the maximum height of an exposed basement and basement garage wall from nine feet to ten feet. Ten feet allows for an eight-foot floor-to-ceiling height and a two-foot floor depth. Additional heights would be inconsistent with the Zoning Code’s Site and Architectural design guidelines that require a building to be stepped to follow the natural terrain.
4. A modification has been made in Section 24 (Section 10-50.25.020. A. and C.) of Attachment #1 to the provisions for materials and colors used on an exposed basement or basement garage wall and a podium parking structure exterior wall. The requirement for “consistent” materials and colors has been changed to allow the Planning Director to approve alternative materials and colors that are compatible with the design of the building, provided that the alternative materials and colors maintains a consistent design theme. This modification allows for additional flexibility in the designer’s choice of materials and colors near the grade to address weather and similar environmental considerations, while maintaining a consistent design theme.

5. Provisions that allow the Planning Director to approve additional stem wall and crawl space heights for residential building areas in a floodplain have been incorporated into Section 24 (Section 10-50.25.020. B.) of Attachment #1. In accordance with Title 12 Floodplains of the City Code, the lowest finished floor of a residential area is required to be elevated above the regulatory floodplain elevation. The addition of this provision will allow compliance with Title 12.

As it pertains to the comments received regarding the landscape buffer widths, with minimal exceptions adjacent to Route 66 in the Downtown, the staff opines that the proposed landscape buffer requirements are consistent with the suggested modifications. It is anticipated that the Zoning Code requirements pertaining to the Downtown, and adjacent to Route 66 will be reviewed as part of a future amendment.

Finally, the proposed modification to the triplex lot width and length requirement is in response to public comments that staff has received during the southside specific plan and the High Occupancy Housing text amendment public outreach meetings. Also, some members of the Planning and Zoning Commission and City Council have requested that the referenced requirements be reviewed.

The existing building type requirements for a triplex and duplex are the same. Due to having the same standards for different intensity developments, the general consensus among the public comments is that the existing provisions have resulted in developments that are inconsistent and out of scale with the existing development patterns. The proposed modification to the lot width (from 50 feet to 75 feet) and length (from 75 feet to 100 feet) will result in a lot area requirement that is consistent with other three-unit developments on a property with non-transect zoning. Based on public comments, the additional area would allow for a greater proportional lot width to height ratio that is perceived to be more compatible.

VI. PLANNING AND ZONING COMMISSION WORK SESSION

At the January 22, 2020 Planning and Zoning Commission Work Session, staff and the Commission reviewed the text amendment. There were no public comments. A majority of the Commission comments were editorial, including informational and clarification questions. More specific requests and modifications included the following requests:

1. Clarify that the building height includes any material added to raise the natural to a greater elevation;
2. Incorporate criteria for alternative screening of wall mounted equipment (Section 27, D.3.a.); and
3. As part of a future amendment, incorporate view corridor permeability considerations through parking lots.

Attachments:

1. Draft of Case No. PZ-19-00125 Updates to Zoning Code 2020 – Miscellaneous Part 1
2. Public Comments

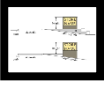
Case No. PZ-19-00125 Updates to Zoning Code 2020 – Miscellaneous Part 1
Amendment for Adoption in Flagstaff Zoning Code

HOW TO READ THIS DOCUMENT

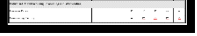
Unless otherwise stated, provisions that are being deleted are shown in bold red strikethrough text, like this: ~~Provisions that are being deleted are shown with a bold red strikethroughs text.~~

Provisions that are being added are shown in bold blue text, like this: **Provisions that are being added are shown in bold blue text.**

Graphics/Figures that are being deleted are indicated with an “X” over the graphic/figure.

Graphics/Figures that are being added are indicated with a border  around the graphic/figure.

Tables that are being deleted are indicated with an “X” over the Tables.

Tables that are being added are indicated with a thick border  around the Tables.

Section 1. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-20.30 Common Procedures, Section 10-20.30.050 Concept Plan Review, to add Subsection B. Applicability, as follows:

Section 10-20.30.050 Concept Plan Review

- B. Applicability. Concept plan review is required for the following:
1. All developments requiring site plan review and approval (Section 10-20.40.140);
 2. Any change of use that triggers an increase in required parking;
 3. A proposed duplex;
 4. ~~Nonstructural remodeling~~ **Structural modifications to** ~~of~~ an exterior façade **that is visible from a public way, including, but not limited to, public and private streets, public trails and paths, and alleys;** and
 5. A proposed single-family residence located on a parcel that is not part of a platted subdivision.

Section 2. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-20.30 Common Procedures, Section 10-20.30.050 Concept Plan Review, to add Subsection E Expiration., as follows:

Section 10-20.30.050 Concept Plan Review

- E. Expiration.**
1. **A concept plan application shall expire one year from the date of the application approval unless the Director has issued a written notice of authorization to the applicant allowing the submittal of a site plan review application, or an application for the next stage in the development review.**

2. The concept plan application shall expire one year from the date that the Director has issued written authorization to the applicant allowing for the submittal of a site plan review application, or an application for the next stage in the development review.
3. The Director may authorize a one-time extension of 90 days of a concept plan application approval. The applicant shall submit a written request for an extension to the Director at least 14 days prior to the date of concept plan expiration.

Section 3. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-20.40 Permits and Approvals, Section 10-20.40.080 Minor Improvement, subsection D. Exemptions., as follows:

10-20.40.080 Minor Improvement Permits

- D. Exemptions. Children’s play houses and tree houses less than 200 square feet in floor area **and animal keeping shelters less than 50 square feet** do not require the approval of an application for a Minor Improvement Permit.

Section 4. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-20.40 Permits and Approvals, Section 10-20.40.090 Minor Modifications to Development Standards, Table 10-20.40.090.A, Types of Minor Modifications Allowed, Types of Minor Modifications Allowed number 6, as follows:

Table 10-20.40.090.A Types of Minor Modifications Allowed	
Types of Minor Modifications Allowed	Maximum Modification
6. An increase in the floor area ratio (FAR) Gross Floor Area Ratio (GFAR) for commercial or industrial developments.	10%

Section 5. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-20.40 Permits and Approvals, Section 10-20.40.140 Site Plan Review and Approval, sub-section C. Application for Site Plan Review., paragraph 4. Expiration., as follows:

10-20.40.140 Site Plan Review and Approval

- C. ~~Application for~~ **Site Plan Review Application.**
4. ~~Expiration. An approved site plan shall be valid for a period of one year following the date upon which the final approval became effective. If, at the expiration of this period:~~
 - a. **A Site Plan Review application shall expire one year from the date that the application was submitted, unless the application has been approved. The Director may authorize a one-time 90 day extension beyond the original expiration date of an application that has**

not yet been approved or denied. The applicant shall submit a written request for an extension to the Director at least 14 days prior to the date of the Site Plan expiration.

- b. An approved Site Plan shall expire one year from the date the approval was issued if:
- ~~a. The subject property has not been improved for the development for which it was approved and construction permits have not been issued and construction commenced and diligently pursued toward completion of the site for which the site plan approval was originally granted; or~~
 - ~~b. A certificate of occupancy has not been issued for structure(s) which were the subject of the site plan approval; or~~
 - ~~c. The site has not actually been occupied for a permitted use if no building permit or certificate of occupancy is required;~~
 - i. A building or encroachment permit has not been issued for the improvements related to the site plan;
 - ii. The issued building or encroachment permit(s) has/have expired for site plan related improvement;
 - iii. A building or encroachment permit is not required, and the lot or parcel has not been used for purpose for which the site plan was approved; or
 - iv. The Director has not granted a request to extend the Site Plan approval.

~~Then the site plan approval shall expire, unless a request for an extension of time is made by the applicant to the Director at least 30 days prior to the date of the expiration of the original approval in accordance with established application submittal scheduling requirements. A site plan approval subject to expiration may be extended one time only for an additional one year by the Director; provided, that no revisions to the development are necessary to comply with amendments to the Zoning Code that may have taken effect since the time of the original approval. Upon the expiration of the original site plan approval, if no extension has been granted or no application for the same has been submitted, or a granted time extension has expired, then the original site plan approval shall be considered as expired, and a new site plan shall be submitted for approval in the same manner as an original application for site plan review and approval (Section 10-20.40.140).~~

The Director may authorize a one-time one-year, extension beyond the original expiration date of an approved site plan, provided that no revisions to the proposed development are necessary to comply with any amendments to the Zoning Code that may have taken effect since the time of the original approval. The applicant shall submit a written request for an extension to the Director at least 14 days prior to the date of the expiration.

Section 6. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-20.50 Amendments to the Zoning Code Text and the Zoning Map, Section 10-20.50.030 Initiation of Amendments, as follows:

10-20.50.030 Initiation of Amendments

A. Owner Initiation.

1. A property owner , or an agent authorized by the property owner in writing , may ~~apply for a Zoning Map or text amendment~~ submit:
 - a. a Zoning Map Amendment application for the owner’s property which is subject to the application; or
 - b. a Zoning Code Text Amendment to amend the zone and related provisions that directly regulate owner’s property.
2. In the event that a real property owner files an application for a Zoning Map amendment that includes property other than that owned by the applicant, the applicant shall file, on a form provided by the Director, a petition in favor of the request signed by the real property owners representing at least 75 percent of the land area to be included in the application. The petition shall bear the property owners’ signatures and addresses, the legal description and land area of each property represented on the petition, the total land area represented by the petition, and the total land area of individual properties included in the application.

B. **City Council.** The Director on behalf of the **City Council** may initiate ~~an amendment to the text of this a~~ Zoning Code **Text Amendment application or the a** Zoning Map **Amendment application.** ~~Applications for amendments~~ **An application** initiated by the **City Council** shall be signed by the Director.

C. **Withdrawal.** An applicant may withdraw **a Zoning Code Text Amendment application or a Zoning Map Amendment** ~~an application for an amendment to this Zoning Code or the Zoning Map~~ at any time. **On behalf of the City Council, the Director may withdraw an application initiated by the City Council.**

Section 7. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-20.50 Amendments to the Zoning Code Text and the Zoning Map, Section 10-20.50.040 Procedures, to add Subsection N. Conditions of Approval. Paragraph 2, subparagraph c. as follows:

10-20.50.040 Procedures

N. Conditions of Approval.

2. Such conditions of approval may include, but are not limited to:
 - c. Limitations on the height, setbacks, **FAR GFAR**, or other standards specific to the approved zone which are more restrictive than the applicable requirements of Division 10-40.30, Non-Transect Zones, or 10-40.40, Transect Zones;

Section 8. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-20.50 Amendments to the Zoning Code Text and the Zoning Map, Section 10-20.50.040 Procedures, to add Subsection N. Conditions of Approval. Paragraph 4, as follows:

10-20.50.040 Procedures

N. Conditions of Approval.

4. The concept zoning plan upon which the Zoning Map amendment may be approved establishes the development entitlement for the subject property. As the approval is based on a concept zoning plan, some flexibility in the layout of the property may therefore be approved by the Director; provided, that no additional external impacts to surrounding uses and infrastructure will result and there is no increase or decrease in ~~FAR~~ GFAR, lot coverage, number of dwelling units, or building height in excess of that permitted in Table 10-20.40.090.A (Types of Minor Modifications Allowed). As an example, if the concept zoning plan shows a building placed in close proximity to a street so that it has a strong relationship to the street and with parking behind it, the location and shape of the building may be adjusted; provided, that the same relationship to the street with the parking area in the rear is maintained. Similarly, internal circulation or parking areas may be adjusted; provided, that there is no impact to the location or design of access driveways or streets, and no additional impacts on adjoining City streets.

Section 9. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-30.50: Public Improvements, Section 10-30.50.030 Public Improvements Defined, as follows:

10-30.50.030 Public Improvements Defined

- A. Public improvements mean any right-of-way, easement, access right or physical improvement that is required to mitigate the impacts of new development, as determined by an appropriate impact study, and which, upon formal acceptance by the City, becomes the responsibility of the City for ownership, maintenance and repair, unless provided by others, including the maintenance of sidewalks and certain landscaping. (See City Code Chapter 8-01.) Such public improvements may include, but are not limited to, roadways and alley sections including pavement, base course, street lights, curbs and gutters, **parkway**, sidewalks or urban trails and FUTS trails, traffic control improvements, right-of-way landscaping and irrigation systems, drainage facilities, fire hydrants and utilities, including water, sewer, gas, electric power, telephone, and cable television, and all other improvements which, upon completion, are intended to be for the use and enjoyment of the public.

Section 10. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-30.60: Site Planning Design Standards, Section 10-30.60.090 Open Spaces, Civic Spaces, and Outdoor Public Spaces, subsection B. Applicable to Non-Transect Zones., as follows:

10-30.60.090 Open Spaces, Civic Spaces, and Outdoor Public Spaces

- B. **Applicable to Non-Transect Zones.** The following standards are additional standards that apply in non-transect zones.
 1. Civic or Public Space Requirement.
 - a. Nonresidential developments larger than 20,000 square feet in gross floor area shall provide a minimum of five percent of the **site Development Site Area** as an outdoor pedestrian amenity space that serves as a transition space between a parking area and the entrance(s)

to a building. This outdoor pedestrian amenity space may include a landscape oasis area as defined in Section 10-50.60.050(C), Oasis Allowance, structures providing protection from the weather, benches, tables, or other pedestrian friendly features.

- b. Residential developments with 50 or more dwelling units shall provide a minimum of five percent of the **site Development Site Area** in civic spaces that are either privately held and open to the public or publicly owned and set aside as a civic space. Appropriate civic types are established in Chapter 10-70, Specific to Civic Spaces.
- c. Development sites that provide civic spaces are allowed the following:
 - (1) A five percent reduction of on-site forest and/or slope resource protection standards as required by Division 10-50.90, Resource Protection Standards, is permitted when on-site design conforms to the Flagstaff Area Open Spaces and Greenways Plan and public non-motorized pedestrian and bicycle access is included when applicable.
 - (2) A **2.5 two-and-a-half** percent reduction of on-site forest or slope resource protection standards as required by Division 10-50.90, Resource Protection Standards, is permitted when resources are consolidated with adjacent properties and it can reasonably be determined that the resources on the adjacent property will be protected.
 - (3) A five percent reduction in required on-site landscaping as required by Division 10-50.60, Landscaping Standards, is permitted when public space is provided on-site.

Section 11. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-40.30 Non-Transect Zones, Section 10-40.30.030 Residential Zones, Table 10-40.30.030.C. Residential Zones – Building Form and Property Development Standards., Residential development subdivided by a plat that was recorded before December 5, 2011 , as follows:

Table 10-40.30.030.C. Residential Zones – Building Form and Property Development Standards							
	Residential Zones						
	RR	ER	R1	R1N	MR	HR	MH
Residential development subdivided by a plat that was recorded before December 5, 2011							
Lot sizes	(1) Lot sizes and setbacks shall be provided in accordance with the requirements delineated on the recorded plat. on the final plat approved by the City Council and recorded. When a recorded plat does not have setbacks delineated, the Building Placement Requirements of this table shall govern.						
Setbacks	(2) Any lot(s) created or reconfigured in accordance with the subdivision code on or after December 5, 2011, from a lot(s) platted before December 5, 2011, shall conform with the current requirements of the property's zone zone, unless alternate lot sizes and setbacks are approved by the City Council on a final plat that is recorded.						

Section 12. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-40.30 Non-Transect Zones, Section 10-40.30.030 Residential Zones, Table 10-40.30.030.C. Residential Zones – Building Form and Property Development Standards., Building Form Requirements, Building Height (max.), to add reference notes 7, 8 and 9, to add an End Notes 7, 8 and 9, and to modify Other Requirements, Open Space (% of Gross Lot Area)¹¹, as follows:

Table 10-40.30.030.C. Residential Zones – Building Form and Property Development Standards.							
	Residential Zones						
	RR	ER	R1	R1N	MR	HR	MH
Building Form Requirements							
Building Height (max.) Building Height (max.) ^{7, 8, and 9}	35'	35'	35'	35'	35'	60' ⁴	30'
Other Requirements							
Open Space (% of Gross Lot Area Development Site Area) ¹¹	--	--	--	--	See Table 10-40.30.030.A		
End Notes							
7. Primary structures, excluding accessory structures, with a roof pitch greater than 6:12 shall be allowed an additional five feet above the maximum building height.							
8. The elevator and stairwell bulkheads shall be architecturally integrated with the building. Elevator and stairwells bulkheads are allowed an additional 15 feet above the maximum building height. The Director may approve a height greater than 15 feet when the additional height is necessary to accommodate an elevator or stairwell bulkhead, related equipment, or the requirements of the Building or Fire Code.							
9. Steeples, solar collectors, towers and other unoccupied architectural features are allowed an additional height above the maximum building height equal to 20 percent multiplied by the maximum building height allowed for property's zone. The total area of the referenced allowances above the building height shall not exceed 20 percent of the total roof area.							

Section 13. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-40.30 Non-Transect Zones, 10-40.30.040 Commercial Zones, Table 10-40.30.040.B. Commercial Zones – Allowed Uses, Services, to add Kennel, Animal Boarding in alphabetical order, modify note 9, and add note 11, as follows:

Table 10-40.30.040.B. Commercial Zones – Allowed Uses						
	Specific Use Regulations	Commercial Zones				
		SC	CC	HC	CS	CB
Services						
Kennel, Animal Boarding	10-40.50.195	--	--	UP¹¹	--	--
End Notes						
9. Single-family and duplex land uses building types (see Division 10-50.110) are permitted by right on lots ≤9,000 sf and existing prior to November 1, 2011, subject to the building placement and building form requirements of the MR zone. A conditional use permit is required for all other building types and multifamily residential uses with three or more units regardless of the size of the lot or parcel.						
11. Outdoor kenneling of animals is prohibited.						

Section 14. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-40.30 Non-Transect Zones, 10-40.30.040 Commercial Zones, Table 10-40.30.040.C. Commercial Zones – Building Form and Property Development Standards., Building Form Requirements, Building Height (max.), amended reference note 6, and to add reference notes 8. 9 and 10, and to add an End Notes 8. 9 and 10, as follows:

Table 10-40.30.040.C. Commercial Zones – Building Form and Property Development Standards.					
	Commercial Zones				
	SC	CC	HC	CS	CB
Building Form Requirements					
Building Height (max.) Building Height (max.)^{8, 9 and 10}	35'	60 ^{14, 7}	60 ¹⁴	60 ¹⁴	60 ¹⁴
Density Requirements					
Gross Density (units/acre) (max.) (Not Applicable to Mixed Use)					
Areas of the City without the Resource Protection Overlay (RPO),	13	29			
Areas of the City inside of a pedestrian shed of an activity center delineated on the General Plan, with or without the RPO	13	29			

Table 10-40.30.040.C. Commercial Zones – Building Form and Property Development Standards.						
		Commercial Zones				
		SC	CC	HC	CS	CB
Areas of the City with RPO, excluding areas of the City inside of a pedestrian shed of an activity center delineated on the General Plan.		13	22			
Gross Density (units/acre) (max.) (Not Applicable to Mixed Use)		13	29			
End Notes						
6. Residential uses with more than two units are allowed as part of a mixed-use development located above or behind the commercial uses and uses, or as a planned residential development (Section 10-40.60.280).						
8. Primary structures, excluding accessory structures, with a roof pitch greater than 6:12 shall be allowed an additional five feet above the maximum building height.						
9. The elevator and stairwell bulkheads shall be architecturally integrated with the building. Elevator and stairwells bulkheads are allowed an additional 15 feet above the maximum building height. The Director may approve a height greater than 15 feet when the additional height is necessary to accommodate an elevator or stairwell bulkhead, related equipment, or the requirements of the Building or Fire Code.						
10. Steeples, solar collectors, towers and other unoccupied architectural features are allowed an additional height above the maximum building height equal to 20 percent multiplied by the maximum building height allowed for property's zone. The total area of the referenced allowances above the building height shall not exceed 20 percent of the total roof area.						

Section 15. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-40.30 Non-Transect Zones, 10-40.30.050 Industrial Zones, Table 10-40.30.050.B. Industrial Zones – Allowed Uses, End Note 7, as follows:

Table 10-40.30.050.B. Industrial Zones – Allowed Uses	
End Notes	
7. Allowed use with applied FAR GFAR standards (see Table 10-40.30.050.C).	

Section 16. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-40.30 Non-Transect Zones, 10-40.30.050 Industrial Zones, Table 10-40.30.050.C. Industrial Zones – Building Form and Property Development Standards, Building Form Requirements, to add notes reference 7, 8 and 9 to Building Height (max), delete FAR and add GFAR in the standards, to delete FAR and add GFAR in End Notes 3, 4, 5, and 6, and to add an End Notes 7, 8 and 9, as follows:

Table 10-40.30.050.C.			
Industrial Zones – Building Form and Property Development Standards			
	Industrial Zones		
	RD	LI/LI-O	HI/HI-O
Building Form Requirements			
Building Height (max.) Building Height (max.) ^{7, 8, 9}	60' ²	60' ²	60' ²
Gross FAR (max. area of all uses on a property)	0.50	1.50 ³	2.50 ³
Indoor Commercial Recreation (max. FAR GFAR area) ^{4, 5}	--	0.30	--
Heavy Retail/Service (max. FAR GFAR area) ^{4, 5}	--	0.30	0.30
Office/Lodging (max. FAR GFAR area) ^{4, 5}	----- 0.38 -----		
All other commercial uses that are allowed in a corresponding industrial zone with a FAR GFAR limitation. (max. FAR GFAR area) ^{4, 5}	--	0.25	--
Live/Work (max. FAR GFAR area) ^{4, 5}	End Note 6	End Note 6	--
End Notes			
3. Retail use allowed in these industrial zones are subject to the additional FAR GFAR standards. See Section 10-40.30.050(F), Miscellaneous Requirements – LI-O and HI-O Zones.			
4. Where a development includes more than one commercial use, the total commercial floor area shall not exceed the greater of the maximum FAR GFAR areas allowed. The maximum FAR GFAR of the commercial uses allowed is not cumulative. An individual use that has a maximum FAR restriction shall not exceed the FAR GFAR allowed for the use.			
<p>Example: A development is proposed with two commercial uses, the first use (Services) has a maximum FAR GFAR restriction of 0.30 and the second use (Office) has maximum FAR GFAR restriction of 0.38. The total maximum FAR GFAR for all commercial use in the development is 0.38 since it is the greater of the two commercial uses. If Service uses of the development are to have a FAR GFAR of 0.30, then the remaining 0.08 FAR GFAR may be used for the Office use. The total maximum FAR GFAR of both uses shall not exceed 0.38, and the Service use shall not exceed 0.30 since it is restricted to an FAR GFAR of 0.30.</p>			

**Table 10-40.30.050.C.
Industrial Zones – Building Form and Property Development Standards**

	Industrial Zones		
	RD	LI/LI-O	HI/HI-O
5.	The allowed commercial uses in the industrial zone that have a limitation on the max. FAR GFAR are specified in Table 10-40.30.050.B.		
6.	The total commercial floor area of a Live/Work development shall be limited to the corresponding commercial use and related max. FAR GFAR specified for the property’s corresponding zone.		
7.	Primary structures, excluding accessory structures, with a roof pitch greater than 6:12 shall be allowed an additional five feet above the maximum building height.		
8.	The elevator and stairwell bulkheads shall be architecturally integrated with the building. Elevator and stairwells bulkheads are allowed an additional 15 feet above the maximum building height. The Director may approve a height greater than 15 feet when the additional height is necessary to accommodate an elevator or stairwell bulkhead, related equipment, or the requirements of the Building or Fire Code.		
9.	Steeple, solar collectors, towers and other unoccupied architectural features are allowed an additional height above the maximum building height equal to 20 percent multiplied by the maximum building height allowed for property’s zone. The total area of the referenced allowances above the building height shall not exceed 20 percent of the total roof area.		

Section 17. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-40.30 Non-Transect Zones, Section 10-40.30.060 Public and Open Space Zones, subsection C. Public and Open Space Zones – Building Form Standards, Building Form Requirements, Building Height (max.), to add reference notes 3, 4 and 5, and to add an End Notes 3, 4 and 5, as follows:

C. Public and Open Space Zones – Building Form Standards

Building Form Requirements			
Building Height (max.)	60 ²	--	--
Building Height (max.)^{3, 4, 5}			

End Notes
3. Primary structures, excluding accessory structures, with a roof pitch greater than 6:12 shall be allowed an additional five feet above the maximum building height.
4. The elevator and stairwell bulkheads shall be architecturally integrated with the building. Elevator and stairwells bulkheads are allowed an additional 15 feet above the maximum building height. The Director may approve a height greater than 15 feet when the additional height is

necessary to accommodate an elevator or stairwell bulkhead, related equipment, or the requirements of the Building or Fire Code.

5. Steeples, solar collectors, towers and other unoccupied architectural features are allowed an additional height above the maximum building height equal to 20 percent multiplied by the maximum building height allowed for property's zone. The total area of the referenced allowances above the building height shall not exceed 20 percent of the total roof area.
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Section 18. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-40.40 Transect Zones, Section 10-40.40.020 Applicability, subsection D. Exemptions., as follows:

10-40.40.020 Applicability

- A. The requirements of this division shall apply to all proposed development within transect zones, and shall be considered in combination with any applicable standards in Division 10-40.50, Overlay Zones, and the standards for the applicable zone in Chapter 10-50, Supplemental to Zones.
- B. In transect zones where ~~a historic an~~ overlay ~~district zone~~ applies (See Section 10-40.50.030, Overlay Zones), the ~~historic district overlay~~ standards shall apply in addition to those applied through the transect zones. **If there is a conflict between transect standards and the overlay standards, the more restrictive standard shall govern, unless:**
- 1. The overlay zone requirements state that the overlay zone standards shall govern; or**
 - 2. The Heritage Preservation Commission determines that the less restrictive standard is necessary to maintain the historic nature or context of the property, structure, or area within the Historic Overlay Zone.**
- C. Based on the Zoning Map or an approved regulating plan, a parcel may be designated with both a non-transect and a transect zone designation. In this case, a property owner may apply either the standards of the non-transect zone or the transect zone, but in no case may the standards from both zones be applied at the same time. If a property owner decides to select a transect zone they must sign before a notary public a contractual agreement that runs with the land on a form prepared by the City and approved by the City Attorney's Office, stating that transect zone standards hold precedence over the non-transect zone standards when in conflict. The City shall record the contractual agreement.
- D. The Historic Preservation Officer may recommend, and the Historic Preservation Commission may approve an exemption from the transect frontage provisions if the commission finds that the:**
- 1. Exemption is necessary to maintain the historic nature of the structure or property; and**
 - 2. Property is eligible to be listed on the National Register of Historic Places.**
- If the Historic Preservation Commission approves an exemption, the Commission may require reasonable Conditionals of Approval to maintain the historic nature of the structure or property.**

Section 19. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-40.50: Overlay Zones, Section 10-40.50.030 Overlay Zones, subsection C. Building Form Standards., Density and Lot Size Requirements, to delete Net FAR, as follows:

10-40.50.030 Overlay Zones

C. Building Form Standards.

Building Form Standards	AO	DO	LO	RPO ¹	TO
Density and Lot Size Requirements					
Net FAR	----- Refer to underlying zoning -----				

Section 20. Amend Title 10 FLAGSTAFF ZONING CODE, Chapter 10-50: Supplemental to Zones, Division 10-40.60: Specific to Uses, to add section 10-40.60.195 Kennel, Animal Boarding, to the list of sections of the Division, in numerical order, as follows:

Division 10-40.60: Specific to Uses

10-40.60.195 Kennel, Animal Boarding

Section 21. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-40.60: Specific to Uses, to add section 10-40.60.195 Kennel, Animal Boarding, as follows:

10-40.60.195 Kennel, Animal Boarding

- A. An Animal Boarding Kennel in the Highway Commercial (HC) zone shall comply with the following:**
 - 1. Maximum Gross Floor Area: 10,000 square feet.**
 - 2. Prior to the issuance of a building permit, or occupancy of the building area if a building permit is not required, an Arizona Registrant shall certify that the perimeter walls and ceiling/roof of the Animal Boarding Kennel area will be, or have been (if a building permit is not required), constructed to comply with a sound transmission class of not less than 50, or an Arizona Registrant shall certify that the perimeter walls and ceiling/room of the Animal Boarding Kennel area were field tested and comply with a sound transmission class of not less than 45, in accordance with the American Standard Test Method publication ASTM E90 Standard Test Method for Laboratory Measurements of Airborne Sound Transmission Loss of Building Partitions and Elements, as amended; and**
 - 3. No outdoor activities shall be allowed.**

Section 22. Amend Title 10 FLAGSTAFF ZONING CODE, Chapter 10-40: Specific to Zones, to add Division 10-40.60 Specific to Uses, to add to the list of division of the Chapter, in numerical order, as follows:

**Chapter 10-50:
Supplemental to Zones**

Divisions:

- 10-50.10 Purpose**
- 10-50.20 Architectural Design Standards**
- 10-50.25 Basements, Basement Garages, Building Stem Walls, Crawl Spaces, and Podium Parking Structure Walls**
- 10-50.30 Building Height**
- 10-50.40 Encroachments**
- 10-50.50 Fences and Screening**
- 10-50.60 Landscaping Standards**
- 10-50.70 Outdoor Lighting Standards**
- 10-50.80 Parking Standards**
- 10-50.90 Resource Protection Standards**
- 10-50.100 Sign Standards**
- 10-50.110 Specific to Building Types**
- 10-50.120 Specific to Private Frontages**

Section 23. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-50.20: Architectural Design Standards, Section 10-50.20.020 Applicability, subsection A., as follows

10-50.20.020 Applicability

- A. The standards found within this division shall apply to all development within the City in accordance with the requirements and procedures established in Section 10-20.40.140, Site Plan Review and Approval, and as follows:
 - 1. Applications for site plan review or expansions involving commercial, **duplex**, multifamily ~~(duplex and greater)~~, business park, and institutional uses that:
 - a. Contain greater than 1,000 square feet of gross floor area; or
 - b. Include expansions greater than 25 percent of gross floor area. Building additions, either with a single addition or cumulative additions subsequent to February 1, 2002 (the effective date of the Design Review Guidelines adopted into the 1991 Land Development Code), will count towards the 25 percent expansion of gross floor area;
 - 2. Applications for conditional use permits;
 - 3. Applications involving facade changes to ~~street frontage~~ building **and structure** elevations **that are visible from a public way, including, but not limited to, public and private streets, public trails and paths, and alleys;** and
 - 4. Applications for new development in historic districts which shall comply with these standards as well as any design standards established for the district.

Section 24. Amend Title 10 FLAGSTAFF ZONING CODE, Chapter 10-50: Supplemental to Zones, Divisions:, to add Division 10-50.25 Crawl Spaces and Building Stem Walls, and subsection therein, in numerical order, as follows:

Chapter 10-50: Supplemental to Zones

10-50.25 Basements, Basement Garages, Building Stem Walls, Crawl Spaces, and Podium Parking Structure Walls

10-50.25.010 Applicability.

A. The standards found within this division shall apply to all development in the City of Flagstaff.

10-50.25.020 Development Standards.

A. Basements and Basement Garages. The portion of an exterior wall of a basement or basement garage that projects above grade and is visible from a public or private street, or a driveway, shall not exceed 10 feet in height, measured from the abutting finished grade to the finished floor of the first floor of the structure above the finished grade. The exterior of the walls shall be finished with architectural materials and colors consistent with the design of the building. The Director may approve alternative materials and color that are consistent with the design of the building, provided that the alternative materials and color maintains a consistent design theme.

B. Building stem walls and crawl spaces:

- 1. Shall not exceed five feet in height, except as allowed in subsection B.1.a. of this section, measured from the abutting finished grade to the first finished floor of the structure above the abutting finished grade.**
 - a. The Director may approve a taller stem wall or crawl space up to height no greater than one-foot above the minimum regulatory flood elevation of the first lowest floor elevation that is required to comply with Title 12 Floodplains of the City Code. This allowance may only be approved for residential habitable areas of a development.**
- 2. Of exterior the walls shall be finished with architectural materials and colors that consistent with the design of the building; and**
- 3. Shall be screened from a public or private street, or driveway, with landscaping when taller than three feet.**

C. Podium parking structure exterior walls shall be designed as a building element that is cohesively integrated into the remainder of building’s architectural design, including the consistent use of detailing, fenestrations, architectural materials and colors. The Director may approve alternative materials and color that are consistent with the design of the building, provided that the alternative materials and color maintains a consistent design theme.

Section 25. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-50.30 Building Height, Section 10-50.30.030 How Building Height Is Measured, as follows:

10-50.30.030 How Building and Structure Height Is Measured

~~This section provides the methodology used to measure the height of a building in terms of number of feet above grade and the number of floors. The methodology applies to primary and accessory buildings and structures. The maximum height of a building or structure is established in Chapter 10-40, Specific to Zones, and Section 10-40.60.020, Accessory Buildings and Structures.~~

~~A.—Applicable to All Zones.~~

~~1.—Building Height Plane.~~

~~a.—The building height plane defines the maximum height that a building may be built. The building height plane follows the natural grade of the site and shall be measured as follows:~~

~~(1) Shall be an imaginary plane parallel to the natural grade;~~

~~(2) Shall be measured vertically at the maximum height allowed in the a zone as established in Chapter 10-40, Specific to Zones, and Section 10-40.60.020, Accessory Buildings and Structures; and~~

~~(3) The Applicants shall be responsible for compliance with the height requirements of this division and verification of the field accuracy of contour data.~~

~~b.—Primary buildings with a roof pitch greater than 6:12 shall be allowed an additional five feet above the maximum building height in the zone. Accessory buildings and structures regardless of roof pitch shall not be allowed any additional building height.~~

~~2. Overall Building Height.~~

~~a.—Overall building height shall be measured vertically from the natural grade or finished grade adjacent to the building exterior to the highest point of any roof element, including the top of a parapet, the top of a mansard roof, or the highest point of the highest pitched roof, whichever yields the greatest height.~~

~~b.—Overall building height shall not exceed the building height plane, described in subsection (A)(1) of this section, except as follows:~~

~~(1) The following elements attached to a building shall be excluded from the height measurement with the limitation that the total area covered by such elements shall not exceed 20 percent of the roof area of the building:~~

~~(a) Chimneys;~~

~~(b) Stair and elevator towers;~~

~~(c) Mechanical equipment; and~~

~~(d) Steeples, towers and other unoccupied architectural features; provided, that such features may extend a maximum of 20 percent above the building height plane allowed for the zone.~~

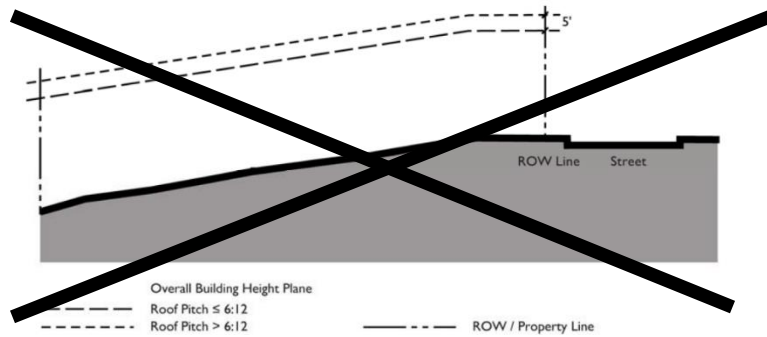
~~(2) The following elements attached to a building shall be excluded from the height measurement with no limitations on the roof area covered by such elements:~~

~~(a) Flagpoles; and~~

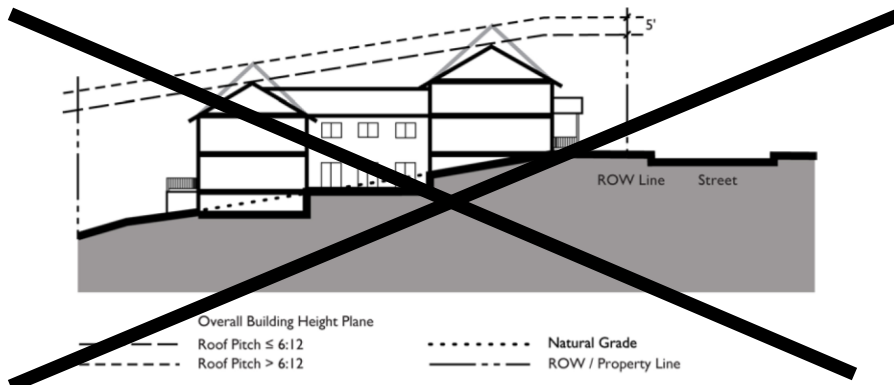
~~(b) Solar collectors.~~

~~(3) The height of flagpoles shall be limited to the allowable building height of the zone in which it is located. (Refer to the Building Form Standards tables in Chapter 10-40, Specific to Zones.)~~

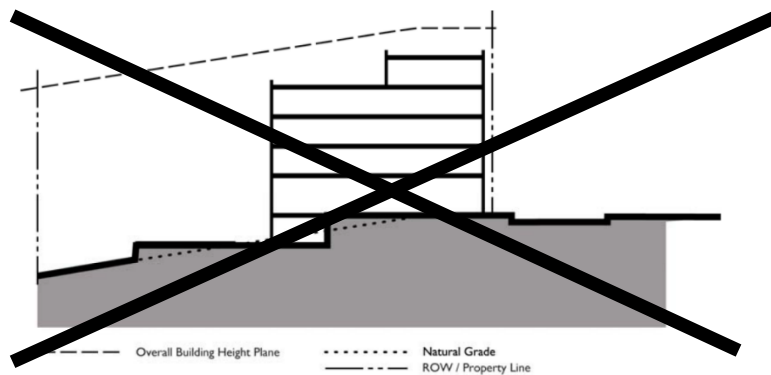
~~Figure 10-50.30.030A. Building height plane for an undeveloped site (not drawn to scale).~~



~~Figure 10-50.30.030B. Pitched roof building height measurements (not drawn to scale).~~



~~Figure 10-50.30.030C. Flat roof building height measurements (not drawn to scale).~~



~~3. Crawl Spaces.~~

- ~~a. Unfinished crawl spaces shall be included in the height calculation.~~
- ~~b. Unfinished crawl spaces taller than three feet shall be screened with landscaping from view of public streets or thoroughfares.~~
- ~~c. Unfinished crawl spaces shall not exceed five feet in height measured from the exterior finished grade to the finished floor of the floor above.~~

~~4. Basements/Basement Garages. Exterior walls of basements or basement garages visible from a street shall not exceed nine feet in height measured from the exterior finished grade to the finished floor of the floor above.~~

A. Purpose. This section provides the methodology used to measure the height of all structures.

B. Building and Structure Height.

1. The height of any building or structure shall be measure from the natural grade or finished grade in accordance with the following:

a. Natural Grade. The height shall be measured vertically from the top of any point of a structure or building element, including the top of a parapet, the top of a mansard roof, screen wall or pitched roof, to the natural grade directly beneath the point measured, unless the finished grade abutting the building or structure is below the natural grade. When a height is measured to natural grade, it includes any material used to raise the grade to a finished grade above the natural grade.

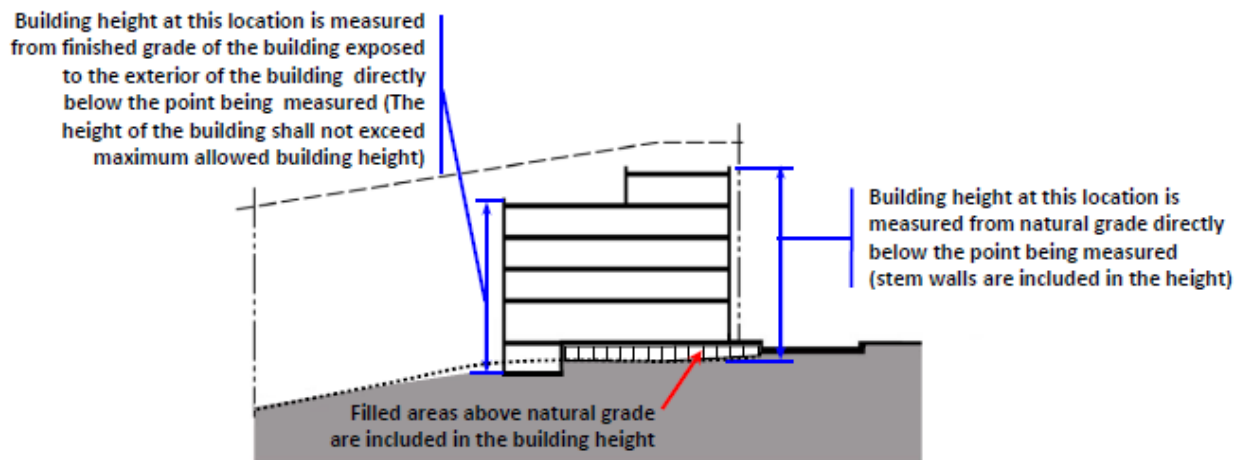
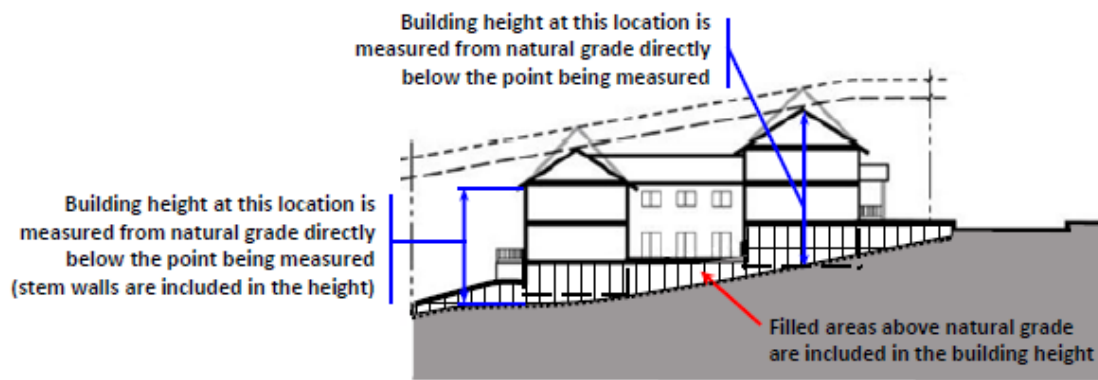
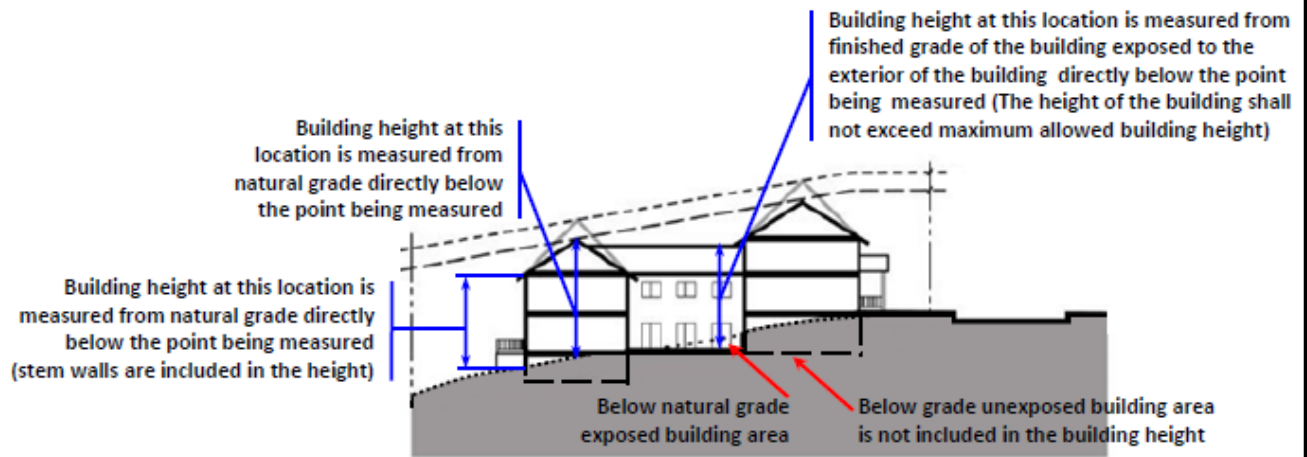
b. Finished Grade. When the finished grade abutting a building or structure is below the natural grade, the finished grade shall be used to measure the height.

(1) When the finished grade is used, the height shall be measured vertically from the top of any point of a structure or building element, including the top of a parapet, the top of a mansard roof, screen wall or pitched roof, to the lowest finished grade abutting the building or structure that is nearest to a point directly below the point measured. The finished grade outside of doors, landings, light wells, patios, stairways, windows, and similar below grade improvements that provide access or fenestrations to a below grade level are excluded from the building height, provide that the finished grade for these improvements does not extend more than eight feet horizontally from the building.

c. The height of all points a structure or building measured in accordance with applicable provisions of subsection B.1.a. or B.1.b. of this section, shall comply with the maximum allowed height of the property's zone.

2. Exposed crawl spaces, building stem walls (including stem walls of a basement) podium parking structure and building walls, shall be included in the height calculation.

3. Flagpoles and spires, including similar structures, shall not exceed the maximum allowed building height of the property's zone.



- | | |
|---|--|
| ----- Overall Building Height Plane | ----- Natural Grade |
| - - - - - Roof Pitch Less Than 6:12 | ----- Finished Grade |
| ----- 5 Foot Additional Height Allowance for Roof Pitches Equal to or Greater than 6:12 | ----- ROW/Property Line |
| | ----- Below Grade Building Cover by Soil, etc. and Not Visible |

Figure 10-50.30.030.B.
Method of Measuring Building Height

Section 26. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-50.50 Fences and Screening, 10-50.50.030 Siting and Building Standards, subsection C. Fences and Walls Between Different Land Uses., paragraph 2, as follows:

Section 10-50.50.030 Siting and Building Standards

C. Fences and Walls Between Different Land Uses.

2. Solid fences and walls between residential, recreation, education, public assembly, and retail uses may replace a portion of the required buffer requirements, as identified in Table 10-50.60.040.B, Buffer and Screening Requirements, with ~~vegetated fencing~~ **evergreen plant material** upon Director approval.

Section 27. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-50.50 Fences and Screening, , subsection D. Equipment Screening., as follows:

Section 10-50.50.040 General Fencing and Screening Standards

D. Equipment Screening.

1. In all zones, ~~rooftop mounted mechanical and electrical service equipment must be screened from public view to the height of the tallest equipment with materials architecturally compatible with the finishes and character of principal structures as shown in Figure 10-50.50.040B, Rooftop Equipment Screening.~~ **roof-mounted equipment, including communication dishes, and storage containers shall be:**
 - a. Centrally located on the roof to the maximum extent feasible; and
 - b. Screened by a parapet or roof feature on all sides that is no shorter than the tallest object being screened as shown in Figure 10-50.50.040.D., Rooftop.

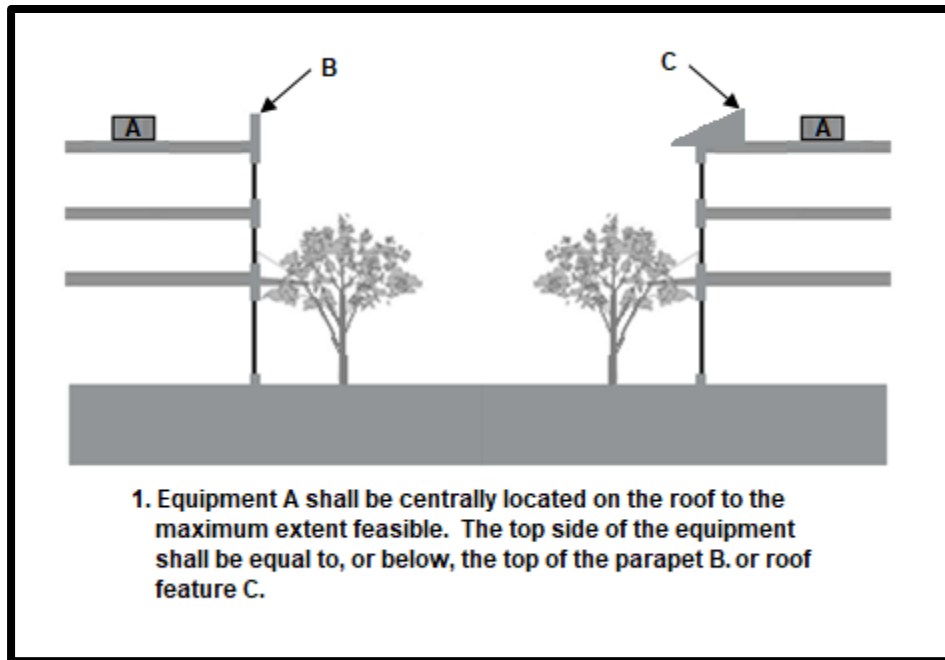
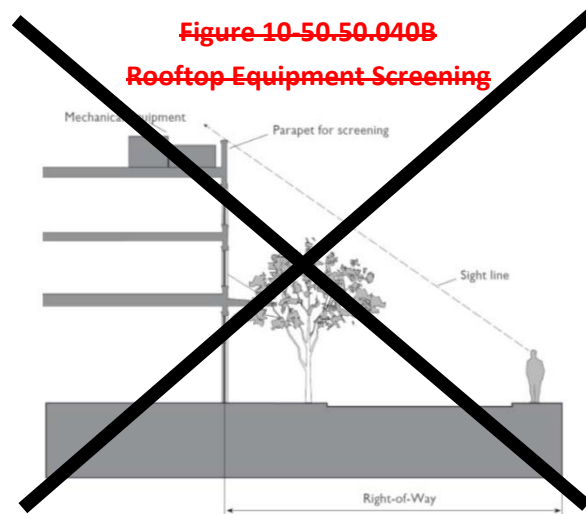


Figure 10-50.50.040.D.
Rooftop Equipment Screening

- In all zones, **ground-mounted-mechanical** ground-mounted, or elevated, mechanical, electrical service equipment, **satellite dishes, and utilities** must be screened from surrounding properties, **alleys** and streets, or enclosed within a building.



- Wall-mounted mechanical and electrical service equipment, satellite dishes, and utilities (hereafter the "Equipment") shall be screened from surrounding properties, alleys and streets.**

- a. As an alternative to screening the Equipment, the Director may approve a design that integrates the Equipment into the architecture of the building if any of the following apply:
 - i. the Equipment will not be visible from a surrounding property, alley or street at a location equal to, or less than, the height of the Equipment;
 - ii. The screening of the Equipment would prohibit wireless communication with the Equipment, and there is no other alternate location on the development site to place the Equipment;
 - iii. The screening would prohibit proper ventilation of the Equipment as required by the Building Code, Fire Code, or a public utility, and there is no other alternate location on the development site to place the Equipment; or
 - iv. Other similar condition as determined by the Director.

Section 28. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-50.60: Landscaping Standards, Section 10-50.60.010. Purpose and Benefits, Table 10-50.60.010.A: Benefits of Sustainable Landscaping, Screening, as follows:

10-50.60.010 Purpose and Benefits

Table 10-50.60.010.A: Benefits of Sustainable Landscaping

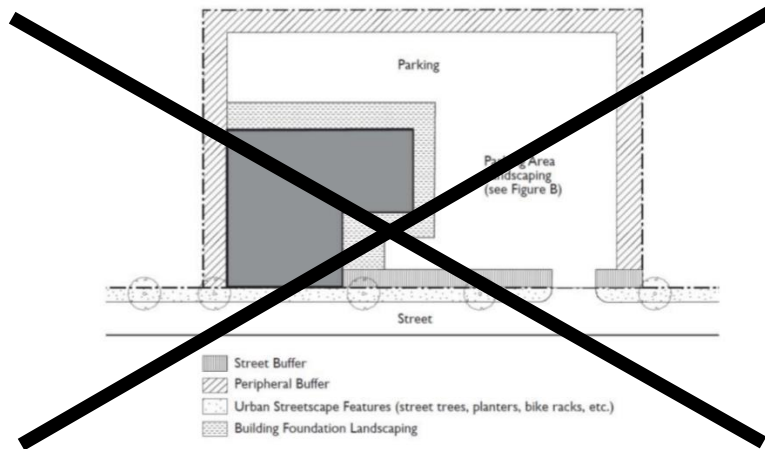
Screening	Plants can Evergreen plants may be used to screen incompatible adjacent uses or above ground and on-site utilities.
-----------	--

Section 29. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-50.60: Landscaping Standards, Section 10-50.60.040 Landscape Location Requirements, subsection B. Nonresidential Zone Buffers, as follows:

10-50.60.040 Landscape Location Requirements

~~B. Nonresidential Zone Buffers. Landscaping shall be applied through landscaping buffers in nonresidential zones. There are two types of nonresidential landscaping buffers: street buffers and peripheral buffers. Foundation landscaping (see subsection (C) of this section) is also required (see Figure 10-50.60.040A). These buffers shall be landscaped in compliance with Section 10-50.60.050, Landscaping Standards.~~

Figure 10-50.60.040A

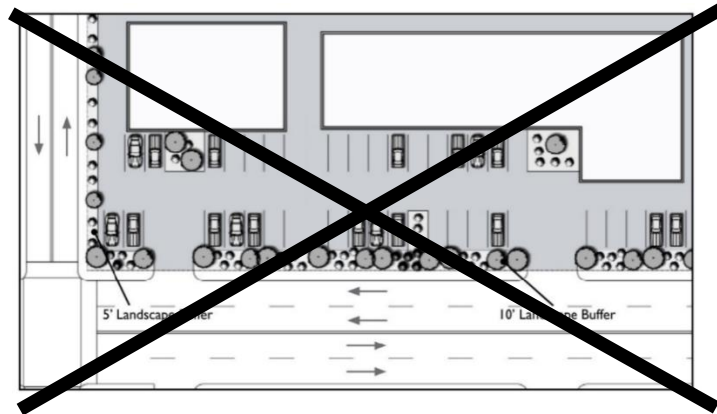


Location of Required Landscape Areas

- 1. ~~Street Buffers.~~ A landscaped street buffer with a minimum width of 10 feet is required along the street frontage of a site as measured from the street property line (see Figure 10-50.60.040B), except:**
 - a. ~~Street buffers fronting streets with two traffic lanes may be reduced to five feet. If the street buffer is reduced to five feet adjacent to industrial uses or heavy retail/services uses, a six-foot fence shall be located behind the buffer in compliance with Division 10-50.50, Fences and Screening.~~**
 - b. ~~The City Engineer may approve the placement of up to five feet of the required 10-foot width of required landscaping within the adjacent right-of-way.~~**
 - c. ~~In non-transect zones and transect zones T5 and T6, required street buffer landscaping along a frontage is not required where an urban form is proposed and buildings are located close to or at the back of the sidewalk or on a property line. However, consistent with the standards established for streets (thoroughfares) in Chapter 10-60, Specific to Thoroughfares, a wider sidewalk to accommodate active pedestrian uses and activities, sidewalk cafes, tree wells, planters, and the placement of such amenities as bike racks, potted plants, or benches is required.~~**

Figure 10-50.60.040B

Street Buffer



B. Nonresidential Zone Landscape Buffers. There are two types of landscaping buffers requirements. The landscape buffers are: street landscape buffers and peripheral landscape buffers. The landscape buffers shall be planted in accordance with Section 10-50.60.050, Landscaping Standards.

1. Street Landscape Buffers. The buffers shall be provided on the lot or parcel, and abutting the street property/easement line (see Figure 10-50.60.040.B.1.), unless the provisions of subsections B.2. or B.3. of this section, apply. The buffers shall conform with the following:

a. Transect and Non-Transect Zoned Properties Located Within the Area Delineated by the Downtown Regulating Plan.

(1) Minimum buffer width abutting a street with a total of four travel lanes, or greater: 10 feet, unless a smaller width is allowed in B.1.a.(3), below.

(2) Minimum buffer width abutting a street with a total of two travel lanes: 5 feet, unless a smaller width is allowed in B.1.a.(3), below.

(3) Properties that are zoned Main Street (T5) and T6 Downtown (T6) do not require street landscape buffer abutting a street, although additional width is required for pedestrian improvements in accordance with Chapter 10-60, Specific to Thoroughfares.

b. Properties with an Industrial Zone Designation.

(1) Minimum buffer width abutting a street with a total of four travel lanes: 10 feet.

(2) Minimum buffer width abutting a street with a total of two travel lanes: 10 feet, unless:

(a) The director may approve a buffer width equal to, or great than, five feet, and less than ten feet, when the following criteria have been met:

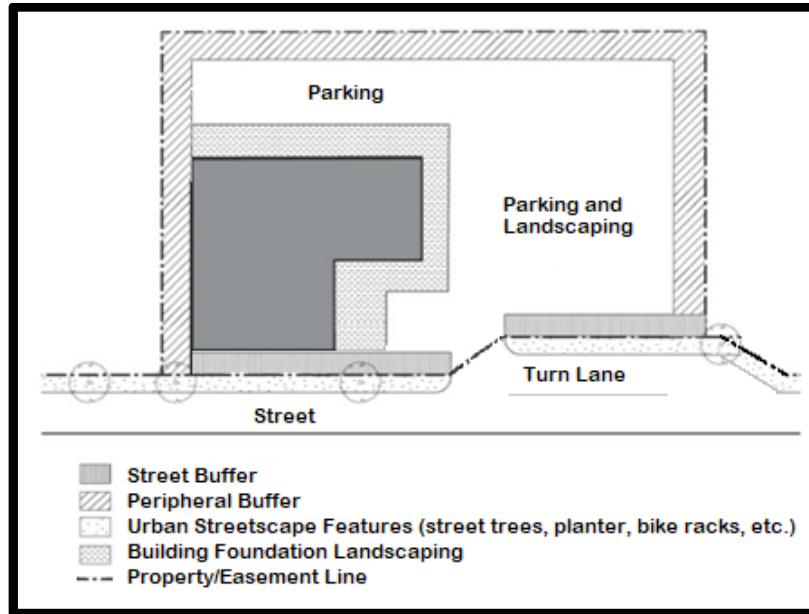
i. The lot or parcel is a corner lot or parcel that does not abut a Key Lot or an alley that abuts a Key Lot;

ii. The reduced buffer would abut a street adjacent to the street side yard of a corner lot or parcel; and

iii. A six-foot fence or wall shall be provide abutting the buffer in compliance with Division 10-50.50, Fences and Screening.

c. Street Landscape Buffers on All Other Properties.

(1) Minimum buffer width abutting a street: 10 feet.



Location of Required Landscape Areas

Figure 10-50.60.040.B.1.

2. When a public sidewalk or other public improvements are located within the property boundaries, the landscape buffer shall be measured from the interior edge of the sidewalk or improvements, whichever is nearer to the interior of the property.
3. Upon review of an applicant's separate written request to the Planning Director, the Planning Director in consultation with the City Engineer may approve the reduction of a required 10-foot wide landscape street buffer to no less than five feet adjacent to the street property line(s), after any required dedications. To approve a request, the Planning Director in consultation with the City Engineer, shall find that:
 - a. The existing site constraints of the property substantially limit the ability to provide the buffer on the property;
 - b. The right-of-way adjacent to the property is at least 10 feet wider than the minimum right-of-way width of the corresponding street cross section specified in Title 13 of the City Code and is not needed for future public sidewalk, street, trail, or other city transportation or infrastructure improvements; and
 - c. At no time shall the building be closer than 10 feet from the interior side of a sidewalk or similar right-of-way improvements, as measured from the point nearest to the interior of the property.

Section 30. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-50.60: Landscaping Standards, Section 10-50.60.040 Landscape Location Requirements, to modify the title of subsection D. Parking Area Landscape Standards, and modify paragraph 3. Screening Parking Areas., as follows:

10-50.60.040 Landscape Location Requirements

D. Parking Area Landscape Standards – Residential Multiple-Family Residential and Nonresidential-Nonresidential Development.

3. Screening Parking Areas.

- a. In addition to subsection (D)(1) of this section, planting and screening along the boundaries of parking areas that are adjacent to a street shall be used to break up continuous parking areas by providing color and interest through the use of appropriate landscape materials and through the preservation of existing vegetation.
- b. Landscape screening along the perimeter of parking areas shall be a minimum of three and one-half feet in height. One of the following methods of forming a screen along the full length of the parking area located adjacent to a street shall be used, except where breaks are needed to provide access for pedestrians, bicycles, vehicles, or a required clear view zone (Refer to Engineering Standards, Section 13-10-06-0002, Intersection Sight Triangles, Clear View Zones). Figure 10-50.60.040F illustrates the methods for screening parking.
 - (1) Solid fencing or wall meeting the requirements of Division 10-50.50, Fences and Screening.
 - (2) **Shrubs Evergreen shrubs** planted at sufficient density to form a significant screen within three years of initial planting. Refer to Table 10-50.60.050.B, Required Plant Quantities, and Table 10-50.60.050.C, Plant Sizes, for required plant size and quantities for parking lot screening.
 - (3) Any combination of the above.

Figure 10-50.60.040F
Screening of Parking Areas

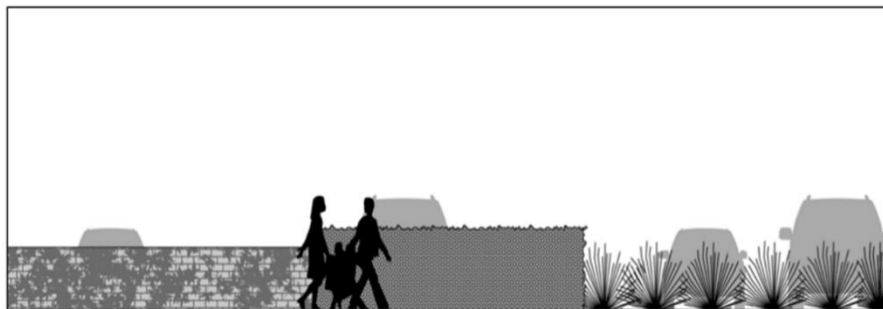


Figure 10-50.60.040F
Screening of Parking Areas

- (4) Landscaping Materials. Landscaping shall be a combination of ground cover, shrubs, and trees. (See Section 10-50.60.050, Landscaping Standards.)
- (5) Plant Protection. Landscape areas susceptible to damage by vehicular or pedestrian traffic must be protected by appropriate means, such as curbs, bollards or low walls provided they are not in conflict with applicable standards for intersection sight triangles as established in the Engineering Standards.

Section 31. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-50.80 Parking Standards, Section 10-50.80.040 Number of Motor Vehicle Parking Spaces Required, Table 10-50.80.040.A: Number of Motor Vehicle Parking Spaces Required, Retail Trade, to add: Tap Room, in alphabetical order, as follows:

10-50.80.040 Number of Motor Vehicle Parking Spaces Required

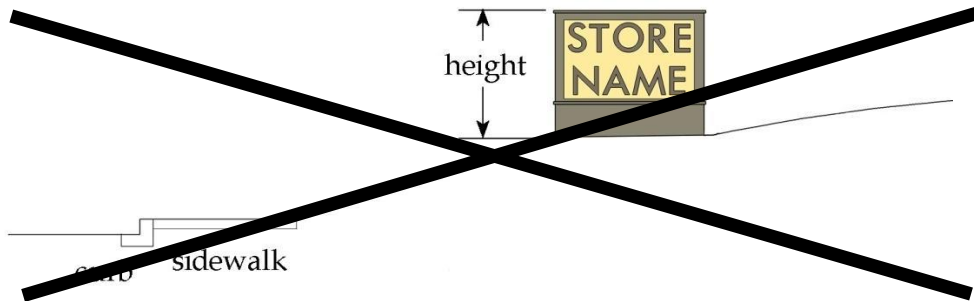
Table 10-50.80.040.A: Number of Motor Vehicle Parking Spaces Required

Use	Number of Required Spaces
Retail Trade	
Tap Room	1 per 300 gsf

Section 32. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-50.100 Sign Standards, Section 10-50.100.050 General Requirements for All Signs, Figure 10-50.100.050E, as follows:

10-50.100.050 General Requirements for All Signs

~~Figure 10-50.100.050E
Freestanding Sign Height—Signs Higher than the Grade of an Adjacent Road~~



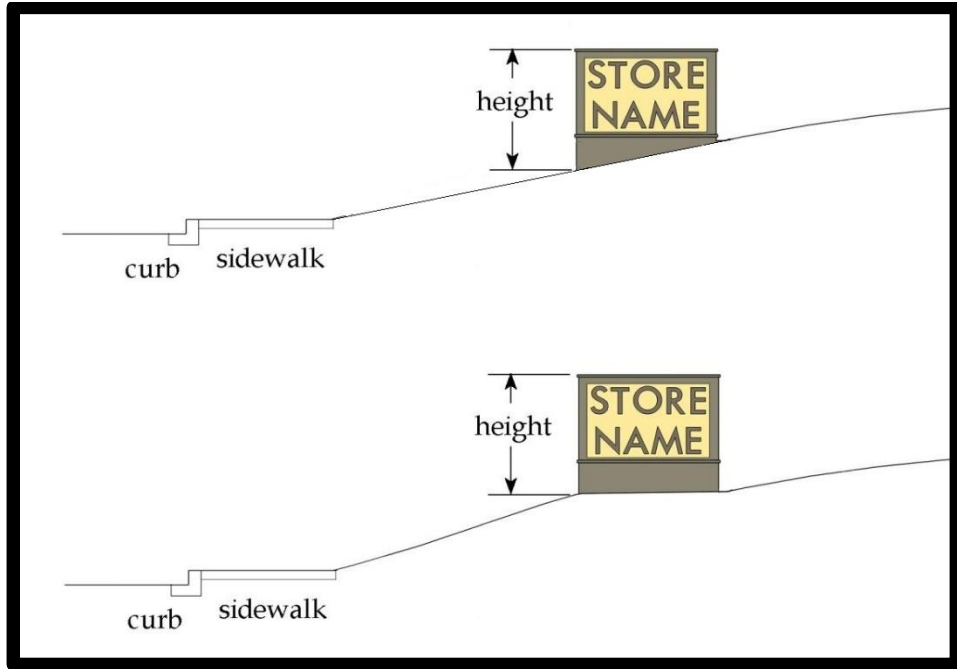


Figure 10-50.100.050E
Freestanding Sign Height – Signs Higher than the Grade of an Adjacent Road

Section 33. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-50.100 Sign Standards, Section 10-50.100.100 Sign Districts of Special Designation, Table 10-50.100.100.A: Local Examples of Signs Appropriately Designed for the Flagstaff Central District, as follows:

Section 10-50.100.100 Sign Districts of Special Designation

Figure 10-50.100.100A
Local Examples of Signs Appropriately Designed for the Flagstaff Central District





Figure 10-50.100.100A
Local Examples of Signs Appropriately Designed for the Flagstaff Central District

Section 34. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-50.100 Sign Standards, Section 10-50.100.100 Sign Districts of Special Designation, Figure 10-50.100.100A Standards for Building Mounted Signs in Flagstaff Central District, Individual Sign Area for Each Business, as follows – including adding gridlines and shading to the table:

Table 10-50.100.100.A: Standards for Building Mounted Signs in Flagstaff Central District	
Standard	Standard Allowance
Total Sign Area for a the Multi- and Single-Tenant Building	The greater of: (1) The number of building entries ¹ + 1 sign X 30 sq. ft. (e.g. if a building has 6 entries the Total Sign Area = 6 + 1 X 30 = 210 sq. ft.); or (2) 100 sq. ft. max.
Individual Sign Area for Each Business in a Multi-Tenant Building	The lesser of: (1) 1 sq. ft. to 1 linear ft. of the width of the business space served by an entrance ² ; or (2) 100 sq. ft. max. ; or (3) The total sign area for the building.
Number of Signs	Number of building entries entries ¹ + 1.

Table 10-50.100.100.A: Standards for Building Mounted Signs in Flagstaff Central District	
Standard	Standard Allowance
Sign Placement	<p>(1) No higher than the lesser of either:</p> <ul style="list-style-type: none"> (1) (a) The second story sill level; or (2) (b) On or above the expression line of any building; or (3) (c) Not above any visible roofing material on the building element; or (4) (d) Max. 25 feet. <p>(2) At least 1 sign shall be associated with the building entry zone¹ (may be wall mounted, projecting, awning, etc.).</p> <p>(3) Sign copy on awnings is only permitted on first story windows.</p> <p>(4) Where multiple businesses use a common entrance, a common sign shall be placed adjacent to the sidewalk level building entry³.</p>
Painted Building Mounted Signs	<p>(1) Shall comply with Table 10-50.100.060.C.</p> <p>(2) The requirement for three dimensional form required in the Findings for Signs Proposed in the Central District shall not apply.</p>
Illumination	See Section 10-50.100.050(C).
Permitting	Sign permit is required.
End Notes	
<p>¹ 1. Building entries in this context do not include service entries or separate doors for lodging rooms. A series of doors grouped together shall be considered one building entry.</p> <p>² 2. Where a building has multiple frontages (i.e., a corner building), the shortest frontage shall apply.</p> <p>³ 3. Two or more businesses served by a common entrance are considered one business for sign computation purposes.</p>	

Section 35. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-50.110: Specific to Building Types, as follows:

**Division 10-50.110:
Specific to Building Types**

Sections:

- 10-50.110.010 Purpose**
- 10-50.110.020 Applicability**
- 10-50.110.030 Building Types Overview**
- 10-50.110.040 Carriage House**
- 10-50.110.050 Single-Family Estate**
- 10-50.110.060 Single-Family House**
- 10-50.110.070 Single-Family Cottage**
- 10-50.110.080 Bungalow Court**
- 10-50.110.090 Duplex, Side-by-Side**
- 10-50.110.100 Duplex, Stacked**
- 10-50.110.110 Duplex, Front-and-Back**
- 10-50.110.120 Stacked Triplex**
- ~~10-50.110.120~~ **10-50.110.130 Townhouse**
- ~~10-50.110.130~~ **10-50.110.140 Apartment House**
- ~~10-50.110.140~~ **10-50.110.150 Courtyard Apartment**
- ~~10-50.110.150~~ **10-50.110.160 Live/Work**
- 10-50.110.170 Apartment Building**
- ~~10-50.110.160~~ **10-50.110.180 Commercial Block**

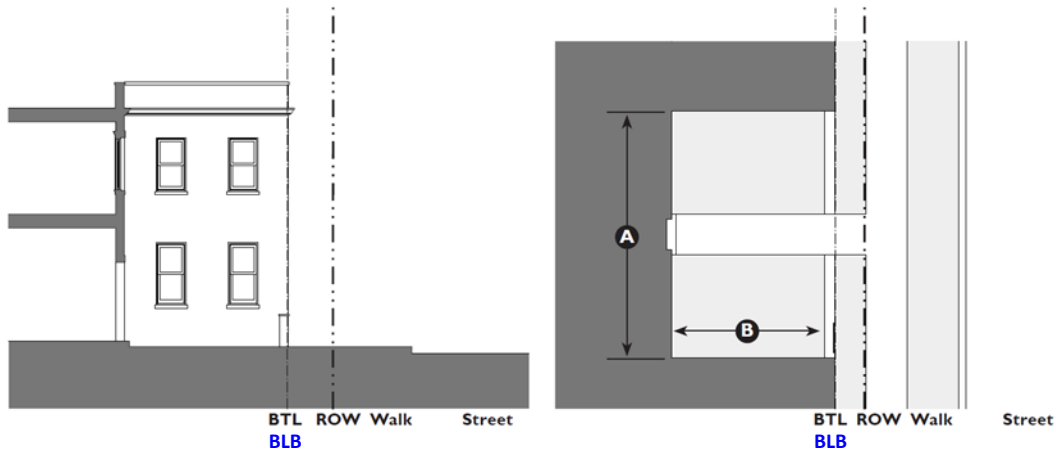
Section 36. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-50.110 Specific to Building Types, Section 10-50.110.120 Stacked Triplex, Subsection B. Lot, and delete End Note 1, as follows:

Section 10-50.110.120 Stacked Triplex

B. Lot	
Lot Size Size	
Width	50' min.; 75' max. 75' min.; 100' max.
Depth	100' min.; 150' max.
End Note	
¹Applies to newly created lots.	

Section 37. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-50.120 Specific to Private Frontages, Section 10-50.120.080 Forecourt, to amend graphic and the associated key, as follows – including adding gridlines and shading to the table:

10-50.120.080 Forecourt

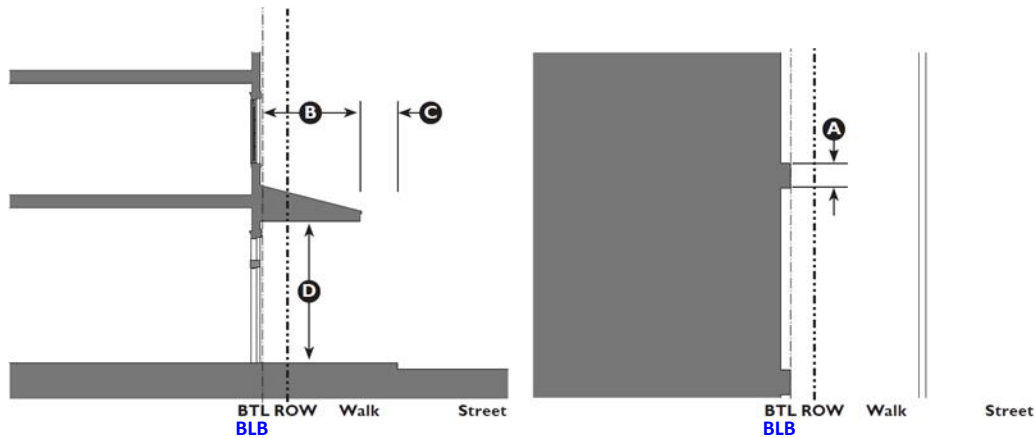


Key	
----	ROW/Property Line
----	Setback-Line
-----	BLT BTL - Build to Line (Transect Zones) BLB-Back of Landscape Buffer (Non-Transect Zones), which shall be measured from the property line/right-of-way line in all situations, including Planned Residential Developments.

Figure 10-50.120.080 Forecourt

Section 38. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-50.120 Specific to Private Frontages, 10-50.120.100 Shopfront, to amend the graphic and the associated key, as follows – including adding gridlines and shading to the table:

10-50.120.100 Shopfront

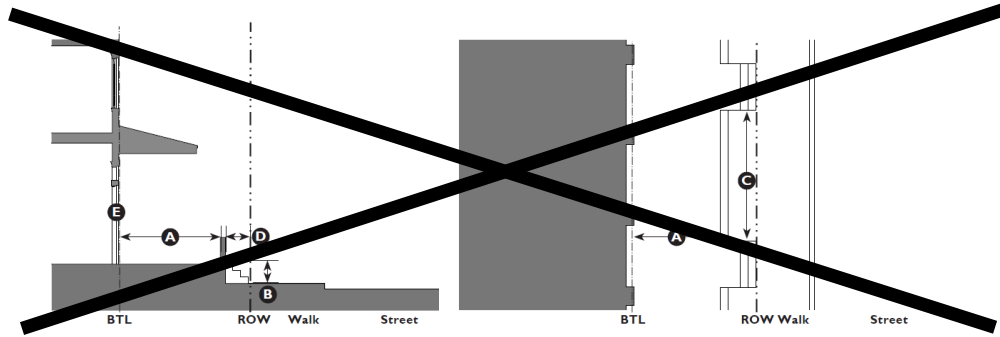


Key	
----	ROW/Property Line
----	Setback-Line
-----	BLT BTL - Build to Line (Transect Zones) BLB-Back of Landscape Buffer (Non-Transect Zones), which shall be measured from the right-of-way line in all situations, including Planned Residential Developments.

Figure 10-50.120.100 Shopfront

Section 39. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-50.120 Specific to Private Frontages, Section 10-50.120.110 Terrace Shopfront, to amend the graphic and the associated key, as follows – including adding gridlines and shading to the table:

10-50.120.110 Terrace Shopfront

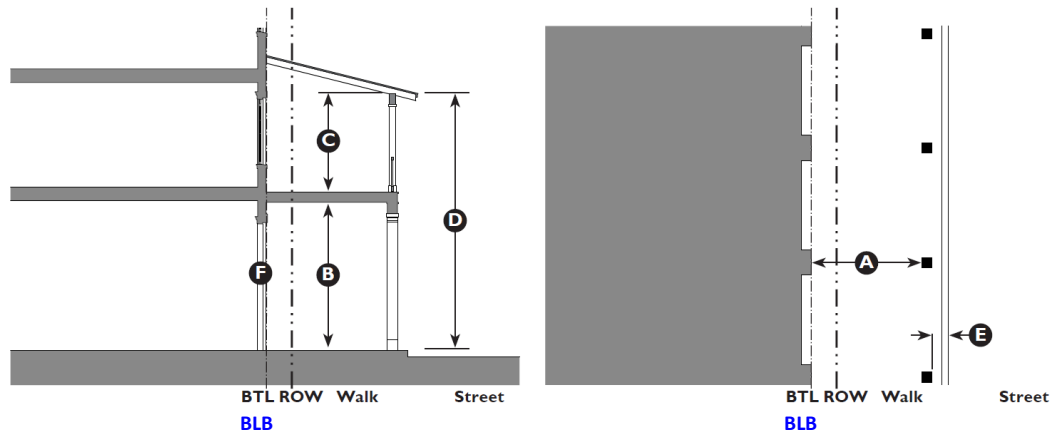


Key	
----	ROW/Property Line
---	Setback-Line
---	BLT BTL- Build to Line (Transect Zones), unless a greater setback is required by the sum of the distance of A and D.
----	BLB -Back of Landscape Buffer (Non-Transect Zones), which shall be measured from the right-of-way line in all situations, including Planned Residential Developments, unless a greater setback is required by the sum of the distance of A and D.

Figure 10-50.120.110 Terrace Shopfront

Section 40. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-50.120 Specific to Private Frontages, 10-50.120.120 Gallery, to amend the graphic and the associated key, as follows – including adding gridlines and shading to the table:

10-50.120.120 Gallery



Key	
----	ROW/Property Line
---	Setback Line
---	BLT BTL - Build to Line (Transect Zones)
----	BLB-Back of Landscape Buffer (Non-Transect Zones), which shall be measured from the right-of-way line in all situations, including Planned Residential Developments.

Figure 10-50.120.120 Gallery

Section 41. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-80.20: Definition of Specialized Terms, Phrases, and Building Functions, and Building Functions, 10-80.20.010 Definitions “A”, to delete the terms “Acreage, Gross”, and “Acreage, Net”, as follows:

~~**Acreage, Gross: Ground area, including all proposed and existing streets within a development or subdivision.**~~

~~**Acreage, Net: The remaining ground area after deleting all portions for proposed and existing streets within a development or subdivision**~~

Section 42. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-80.20: Definition of Specialized Terms, Phrases, and Building Functions, and Building Functions, 10-80.20.040 Definitions “D”, to delete the terms “Density”, modify “Development Site”, “Development, Multiple-Family”, and “Duplex”, and to add the terms “Density, Gross” and “Development Site Area” in alphabetical order, as follows:

~~Density: The number of dwelling units within a standard measure of land area, usually given as units per acre.~~

~~1.— Density, Gross (GD): The quotient of the total number of dwelling units divided by the base site area of a site.~~

~~2.— Density, Net (ND): The quotient of the total number of dwelling units divided by the net buildable site area on a site.~~

Density, Gross: is the number of dwelling units allowed on one acre of a development site. The density of a development is calculated by the total number of dwelling units divided by the total acreage of the Development Site Area.

Development - Multiple-Family: Is a development (including a residential condominium) consisting of any number of structures, or portion thereof, that contains a total of three or more dwelling units on a lot or parcel

Development Site: Any ~~is any plot lot~~ or parcel of land, or combination of contiguous lots or parcels of land, whether under common ownership or multiple ownership, which constitutes a site on which development is proposed, ~~under construction,~~ or exists.

Development Site Area: Is the total area of a development site, excluding all existing dedications for public rights-of-way or private street tract(s).

Duplex: A residential building designed to be occupied by two families living independently of each other with two attached **or detached** dwelling units on one lot or parcel. ~~Said~~ If **attached, the** units may be attached front-to-back **or** side-to-side **with a common or party wall**, or stacked one atop the other **with a common ceiling-floor separating the units.**

~~1.— Front to Back: An attached building type with two independent living units with one unit placed behind the other and sharing a common or party wall.~~

~~2.— Side by Side: An attached building type with two side-by-side independent living units sharing a common or party wall.~~

~~3.— Stacked: An attached building type with two independent living units stacked one on top of the other~~

Section 43. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-80.20: Definition of Specialized Terms, Phrases, and Building Functions, and Building Functions, Section 10-80.20.060 Definitions, “F”, pertaining to the terms “Finished Grade”, “Floor Area Ratio, Gross (GFAR)”, and delete “Floor Area Ratio, Net (FAR)”, as follows:

Finished Grade: Existing is the man-made topography of a site at the completion of construction grading.

Floor Area Ratio, Gross (GFAR): An intensity measured as a ratio derived by dividing the total floor area in square feet of a building or structure all buildings or structures on a development site by the base development site area in square feet (or lot area as modified for established development districts).

Floor Area Ratio, Net (FAR): An intensity measured as a ratio derived by dividing the total floor area of a building or structure by the net buildable site area.

Section 44. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-80.20: Definition of Specialized Terms, Phrases, and Building Functions, Section 10-80.20.090 Definitions, “I”, the term Industrial, Heavy – General, as follows:

Industrial, Heavy – General: Construction, manufacturing, transportation, and public utilities, and those uses which that may have severe potential for negative impact on any uses located relatively close to them. Differs from light industrial uses in that it includes uses that require unenclosed structures that are large, tall, and unsightly, such as concrete batching plants. These uses also have enormous the potential for generation of dust, noise, and odor and may involve large amounts of exterior storage. Because of their scale, they are likely to have a regional impact. This term specifically includes, but is not limited to, the following uses:

Chemicals and allied products (except drugs)	Primary metal industries
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Electrical distribution equipment	Processing of animal/fish oils and meat products
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Electrical industrial apparatus	Railroad transportation
---------------------------------	-------------------------

Heavy construction contractors	Rubber and miscellaneous plastics
--------------------------------	-----------------------------------

Leather tanning	Sawmills, planing mills and storage of logs, paper, pulp, or paperboard mills
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Manufacturing of alcoholic beverages	Stone, clay and glass products including concrete plants
Machinery	Transportation equipment
Petroleum and coal products	Utility, production or processing facilities, but not offices or transmission or distribution

Section 45. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-80.20: Definition of Specialized Terms, Phrases, and Building Functions, Section 10-80.20.110 Definitions “K”, to add the term “Key Lot” and the Figure 10-80.20.110. Key Lot., as follows:

Key Lot: is a lot or parcel that abuts a corner lot that has its side lot line in common with the rear lot line of the corner lot, or alley abutting rear lot line of the corner lot, and the lot fronts on to a street that forms the street side of the corner lot.

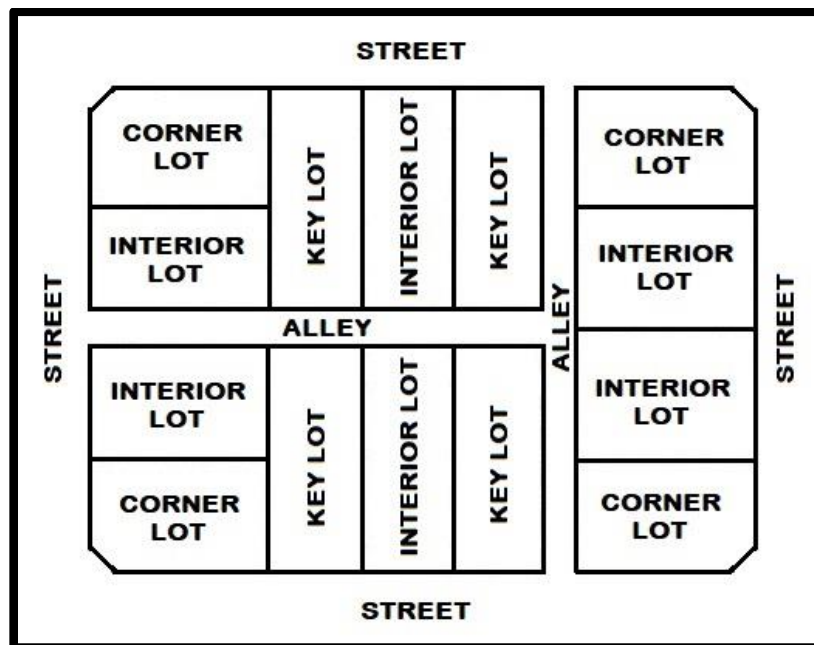


Figure 10-80.20.110. Key Lot.

Section 46. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-80.20: Definition of Specialized Terms, Phrases, and Building Functions, Section 10-80.20.130 Definitions, “M”, for the term “Micro-brewery or Micro-distillery”, as follows:

10-80.20.130 Definitions, “M”

Micro-brewery or Micro-distillery: A facility engaged in the production, bottling, and packaging of beer and other fermented ~~malt~~ beverages or spirituous beverages **that contain ethanol alcohol. ~~on-site that may include a taproom in which guests/customers may sample or purchase the product.~~ A taproom may be included in a Micro-brewery or Micro-distillery, subject to the requirements of the Zoning Code.**

Section 47. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-80.20: Definition of Specialized Terms, Phrases, and Building Functions, Section 10-80.20.140 Definitions, “N”, to add the term “Natural Grade”, as follows:

Natural Grade: is the natural terrain elevation of the land prior to any grading that disturbs the land.

Section 48. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-80.20: Definition of Specialized Terms, Phrases, and Building Functions, Section 10-80.20.150 Definitions, “O”, for the terms

Outdoor ~~Storage or~~ Display: The ~~storage or~~ display of any personal or business materials, products, or equipment outside of a building.

Section 49. Amend Title 10 FLAGSTAFF ZONING CODE, Division 10-80.20: Definition of Specialized Terms, Phrases, and Building Functions, Section 10-80.20.180 Definitions, “R”, to add the term “Railroad Shop”, as follows:

Railroad Shop: is a facility that builds new and/or repairs locomotives and railroad cars, including the fabrication of parts.

Section 50. Amend Title 10 FLAGSTAFF ZONING CODE, APPENDICES, to repeal Appendix 2.0 Planning Fee Schedule, and adopt Appendix 2.0 Planning Fee Schedule, as follows:

**Appendix 2
Planning Fee Schedule**

- A. By separate ordinance, the City Council shall adopt applicable fees for planning and related applications and/or services.**
- B. The applicable fees shall be available at the Community Development Division.**

Daniel Symer

From: David Carpenter <dc@hopeaz.com>
Sent: Friday, January 24, 2020 5:23 PM
To: Daniel Symer
Cc: Tiffany Antol
Subject: Zoning Code Revisions

Follow Up Flag: Follow up
Flag Status: Flagged

Dan-

I watched your P&Z presentation from the 22nd and I had a few comments and questions on the latest zoning code revisions:

- The new footnote in table 10-40.30.040.C seems to reduce the by right 29 units/acre to 22 for parcels that are outside of the ped shed in the general plan. Previously density is only reduced to 22 if the property was in the RPO, and I'm not aware of any reference to the general plan in that part of the code. But it also hard to read, so it's hard to tell if maybe you are trying to restrict density outside the ped shed, or to grant increased density in the RPO if you are also in the ped shed. This might need some clarification.
- In the new basement and crawl section 10-50.25.020
 - A. Creating a hard fast 9 foot rule seems like a no brainer on a flat lot but will be very hard to follow if the lot has any slope.
 - B. 1. Creating a hard fast 5 foot rule creates a catch 22 in the flood plain where a crawl space may need to be up to 6-7 feet to meet the FEMA rules
 - B.1. Creating a hard fast 5 foot rule will be very hard to comply on slopped lots. I've seen houses with crawl spaces that go from 3' to 15' over sometimes as little as 20 feet. Maybe you are trying to govern the amount of stem wall seen that is made out of concrete, but the stem walls would be OK if framed and had siding? Its hard to know what your intention is here but the outright banning of crawls spaces taller than 5' will create many issues in our highly topographic city.
 - B. 2. Craws spaces and stem walls are not traditionally building materials that are consistent with the design of a building (they are more complementary). For instance a building with all wood siding would not have wooden siding on the foundation walls. These walls should be block, concrete, stucco, or stone. Maybe list the appropriate materials you are trying to see more of... what are you trying to prevent here?
- In the section about building height in the last paragraph C Exceptions to the building height, you are changing the intent by combining stairwells and elevators in with the other elements that are subject to a 20% max height calculation. This will mean that only buildings that are 50' or greater will be able to exceed max height for a stairwell or elevator. This is because a stairwell or elevator is always going to be 10-15' tall to be able to serve the roof for a stairwell, or the top story in the case of an elevator. So, for instance if you have a 3 story building that is 35' tall, the way your draft is written now the stairwell or elevator can only be 7' tall. It is impossible to serve a rooftop with a 7' staircase and renders this section moot for anything less than 50'. Previously stairwells and elevators we allowed to exceed but limited to a % of the roof area not a height constraint.
- In 10-50.60.040 non-residential landscape requirements adding a min 10' from the back of sidewalk is a lot of land in an urban setting. This may make a lot of sense for a larger lot or in a suburban setting, but is there a way to waive this requirement when the parcel is urban in nature similar to the way T5 and T6 are waived? or

maybe reduce to a 5' minimum? A parkway, plus sidewalk, plus 10 feet just seems like a huge setback (and inconsistent with the actual setbacks) and inconsistent with the way the urban parts of the city look. Maybe parkway trees, planters, or street trees can take the place of this 10' buffer? There are thoughtful ways to get landscaping in an urban setting without pushing the building back an abnormal amount. I think a 5' minimum might be a good place to start.

- It does not make sense to require a 75' wide lot to build a triplex, we have proven that the triplex works fine on 50' x 130' lots (so long as there is an alley). All the lots in the urban part of the city are 50' wide, so you are effectively barring their construction and reducing density in the urban core of the city where we are trying to increase density. Maybe require alley loading parking as a new restriction to make them work better, but the 75' is really just a ban since the city lots are not that wide. You rational in justifying this change by saying that the triplex needs to have 2,500 SF per unit as noted in table/footnote 6 of the residential zone standards, does not make sense because the 2,500 SF requirement is for a residential building in a "non-transect" zone. There were always supposed to be advantages to switching to the transect zone built into the code on purpose. This increased density over the underlying zoning was the main incentive. What you get in trade off is 35' in height as apposed to 60' in the underlying HR zone.

If you could please respond and make my comments available to P&Z and council I would appreciate it.

Thank You,

David Carpenter



Hope Construction
495 S River Run Rd.
Suite 100
Flagstaff, AZ 86001

P 928-527-3159
F 928-527-0357
C 928-380-5808



Planning & Zoning Commission

5. B.

Meeting Date: 02/26/2020

From: Neil Gullickson, Planning Development Manager

Information

TITLE:

Hwy 89 & Cummings PZ-19-00055-03

An annexation request of approximately .32 acres (13,939 sq. ft.) located at 4409 North Highway 89 by KFH Flagstaff Cummings II, LLC. The property is identified as Coconino County Assessor's Parcel Number 113-27-027B.

STAFF RECOMMENDED ACTION:

Staff recommends the Planning and Zoning Commission forward the annexation request to the City Council with a recommendation for approval in accordance with the recommended considerations.

Executive Summary:

The subject site is currently developed with a single building that has most recently been used as an automobile repair garage and rental truck operation in the Heavy Commercial (CH-10,000) Coconino County zoning district. A new site plan has been developed and reviewed, a copy of the plan is attached to this report. The proposed development for this site includes a Chipotle restaurant including drive-thru service. This site is proposed, after annexation, to be combined with the adjacent property to form one development site that will include a Dunkin Donuts (drive-thru only) and a Verizon retail store. All city services will be available to this site if the annexation is approved. See the attached Planning and Zoning Commission Staff report for the annexation analysis.

Attachments

Staff Memo
application and narrative
Annex Map
Public Notice
Citizen Part Report
Development Site Plan

PLANNING AND DEVELOPMENT SERVICES DIVISION
ANNEXATION REPORT

PUBLIC HEARING
PZ-19-00055-03

DATE: January 28, 2020
MEETING DATE: February 26, 2020
REPORT BY: Neil Gullickson

REQUEST:

An annexation request by Amy McClaughry on behalf of KFH Route 66 & Cummings, LLC. to annex approximately .32 acres located at 4409 North Highway 89. The property is identified as Coconino County Assessor's Parcel Number 113-27-027B.

STAFF RECOMMENDATION:

Staff recommends in accordance with the findings presented in the staff report that the Planning and Zoning Commission forward the annexation request to the City Council with a recommendation for approval subject to conditions.

PRESENT LAND USE:

The subject site consists of a developed parcel of land in the CH-10,000 Commercial Heavy Zone under Coconino County jurisdiction.

PROPOSED LAND USE:

If this annexation is approved, the property will be designated with Highway Commercial (HC) zoning to facilitate the redevelopment of this site with a restaurant (Chipotle).

NEIGHBORHOOD DEVELOPMENT:

North: North Lynch Drive and single-family residential, Manufactured Housing (MH) Zone.
East: Existing Pizza Hut restaurant, Highway Commercial (HC) Zone.
South: Highway 89, Flagstaff Mall, Highway Commercial (HC) Zone.
West: Commercial uses, Highway Commercial (HC) Zone.

STAFF REVIEW:

INTRODUCTION/BACKGROUND:

The request by KFH Flagstaff to annex .32 acres at 4409 North Highway 89 is a portion of two (2) platted lots of the Winifred Lynch Ranch Subdivision. The parcel, Assessor's parcel number 113-27-027B, is surrounded on four sides by existing parcels or right-of-way, and the adjacent parcels and ROW all are within existing City jurisdiction, making this parcel a "County island." Several County islands exist within the City limits. These islands are serviced by varying degrees of City services. This site accesses directly onto City streets: Highway 89 to the south and Lynch Avenue to the north. Water is currently provided by the City Water Services Division; sewer access (tap) will be allowed if the annexation is approved. The tap will be provided by the developer with the new development. The existing septic system will be abandoned.

The site plan review for the development was approved on January 7, 2020. The approval was conditioned on approval of this proposed annexation by the City Council. The development proposal includes the adjacent parcel where a Pizza Hut restaurant currently operates. If annexed, this parcel and the adjacent property will be combined into a single parcel. The Pizza Hut building will be converted to a Verizon retail store, and a new

Dunkin Donuts (drive-thru only) restaurant will be constructed. The existing building on the parcel being annexed will be demolished, and a new Chipotle restaurant will be constructed in its place. Full access from North Lynch Avenue will be developed. A right-in right-out access from Highway 89 will also service this site.

The current application is being reviewed against the policies of the *Flagstaff Regional Plan 2030 (FRP 2030)*. The *FRP 2030* (Maps 21 and 22 on pages IX-27 through IX-29) designates this parcel as Existing Suburban. The proposed retail sales and restaurant uses fit the Suburban description which envisions commercial uses along commercial corridors and encourages future development that has greater connectivity for walking and biking. Further discussion of regional plan conformance can be found below.

ARIZONA STATE STATUTE COMPLIANCE:

State statutes require the City to adopt a zoning classification that permits densities and uses no greater than those permitted by the County immediately before the annexation. The current county zoning is CH-10,000 Commercial Heavy Zone that requires a 10,000 square foot minimum parcel size and allows auto repair use (most recent use at this site) by right. The closest City zoning classification is the Highway Commercial (HC) zone, which allows restaurant land uses by right with a 9,000 square foot minimum lot area. The maximum allowed Floor Area Ratio for the proposed city zoning is 3.0, which matches the current county zoning. Adoption of a similar zoning classification through annexation does not require a separate rezoning ordinance. Territory that is surrounded by the same city or town or that is bordered by the same city or town on a least three sides, as this request does, meets the “contiguous” requirement of state statute.

FLAGSTAFF REGIONAL PLAN 2030:

Policy/Analysis

All proposed annexations shall be evaluated as to whether the application is consistent with the policies of the General Plan. For clarification, the City’s General Plan is titled *Flagstaff Regional Plan 2030 (FRP 2030)*. The proposed annexation should not be detrimental to the majority of the persons or property in the surrounding area or the community in general (FRP 2030, pg. III-10). This report will provide information on how the proposed annexation will provide positive improvements to the surrounding area and community. Additionally, the City’s basic position regarding annexation is that the annexation must demonstrate a favorable benefit to the taxpayers of the City. The property is currently assessed property tax. The redeveloped, combined parcels will continue to be assessed property tax following annexation at the appropriate rate. It is important to distinguish between an annexation that does not require a rezoning and is located within the Urban Growth Boundary (UGB) versus an annexation that requires a rezoning and/or is located outside of the UGB. In the first instance, staff is not required to analyze all the FRP 2030 goals and policies—just the basic annexation policies as outlined here. The UGB includes all the lands and future land uses that have been included in the City’s Arizona Department of Water Resources (ADWR) 100-year adequate water supply designation. Other goals and policies only come into play if it is a change in the expected (not current) intensity and density or mix of uses, or the property is outside of the UGB. The following policies are considered by staff to be the most pertinent to the annexation:

FRP 2030

LU.7.2 (page IX-32) - Require unincorporated properties to be annexed prior to the provision of City services, or that a pre-annexation agreement is executed when deemed appropriate.

Policy WR.4.3 (page VI-13) - Development requiring public utility services will be located within the Urban Growth Boundary.

Summary of Regional Plan & Annexation Compliance

The proposed development, which will be located on the currently unincorporated parcel, will require new City sewer services and will continue to use the existing City water service on APN 113-27-027B. The subject parcel owner is requesting to be annexed prior to the provision of sewer services.

This parcel is located within the Urban Growth Boundary. The proposed annexation is consistent with the goals and policies of the *Flagstaff Regional Plan 2030*; furthermore, the application complies with all the requirements set forth in the Arizona Revised Statutes related to annexations.

PUBLIC FACILITIES AND SERVICE IMPACT ANALYSIS:

Section 10-20.90 Annexations: The purpose of this division is to provide procedures that comply with and implement A.R.S. subsection 9.471 et seq., the General Plan and other pertinent City policies and regulations for annexing real property to the City. The following sections discuss the require impact analysis reports and state statue requirements.

Traffic/Access/Pedestrian/Bicycle Impact:

Traffic Impact Analysis

The Traffic Impact Analysis (TIA) was required and has been reviewed by the City's Traffic Engineer. The analysis focused on the intersections at Highway 89 and Cummings Street and at Cummings Street and Lynch Avenue. The analysis determined that neither intersection will be adversely affected by the proposed development. However, a right turn lane is warranted for the access driveway from Highway 89 onto the site. A right-of-way dedication of 942 square feet from the parcel to be annexed will be required. The dedication will be finalized as part of the civil plan review for the greater site.

The development site includes two new buildings (Chipotle and Dunkin Donuts) and remodel of the existing Pizza Hut and is bounded on three sides by City ROW, Lynch Avenue, Cummings Street, and Highway 89. Sidewalk currently exists on Cummings Street. New sidewalk, curb/gutter, and parkway will be provided on Lynch Avenue, and new relocated sidewalk and parkway will be provided on Highway 89. A full access driveway will be provided to Lynch Avenue and a right-in right-out only drive on to Highway 89. Pedestrian and bicycle access to the site is provided at three locations from the public sidewalk.

Water and Sewer System Analysis:

The City of Flagstaff Water Services Division has waived the requirement of a Water and Sewer System Analysis for the proposed project. After reviewing the City water and sewer master model and previous impact studies conducted in this area, the City of Flagstaff Water Services Division concludes that the proposed project will have no significant impact to either the water or sewer infrastructure off-site as a result of this development. The land use and intensity proposed for this site is similar as that of the proposed development. There is adequate existing capacity and no additional analysis work will be required for this project. Water will be provided from an existing 8" water main located in Lynch Avenue. The City of Flagstaff will provide water and sewer service to this site upon acceptance and dedication of all required public improvements.

Stormwater:

As part of the Drainage Impact Analysis (DIA) scoping meeting of September 13, 2019, it was determined that the post development off-site stormwater flows would be less than the pre-development flows and that a DIA would not be required. The City requires on-site detention for any commercial development greater

than 1/4 acre in size. A waiver may be granted for developments with an increase in impervious area of less than 5,000 square feet. Due to the site being previously developed, there is less impervious area purposed in the post-development condition than in the pre-development condition. Post development flows are less than pre-development flows; therefore, additional onsite detention for the project is not required. LID is required for this site and will be located in impervious areas. Most of the runoff from the site will surface flow towards the southwest corner of the site and eventually enter the existing storm drain system located in Highway 89.

Schools:

The proposed development of the subject site will not affect the local school district.

Fire Protection:

According to Fire Department staff, the site will be served by Fire Station 3's district. Station 3 is located at 4500 Purina Avenue and is within the desired response time.

OTHER REQUIREMENTS:

Citizen Participation

Public hearings before the Planning and Zoning Commission and City Council are conducted in conjunction with requests for annexation. In accordance with State statute, notice of the public hearing was provided by placing an ad in the Arizona Daily Sun, posting notices on the property, and mailing a notice to all property owners within 300 feet of the site, all HOAs within 1000 feet, and to the City's "Registry of Persons and Groups" as provided by the City. Annexation notices were also provided to the Coconino County Recorder, County Assessor, County Community Development Department, and the Chair of the Board of Supervisors.

As part of the Neighborhood Meeting public notification process required for annexations, the applicant held a neighborhood meeting on January 6, 2020 in the Flagstaff Subaru Dealership conference room at 4910 East Marketplace Drive. The applicant has developed a list of questions and responses (attached) from the meeting. Additionally, staff received one response from a member of the public (copy attached).

RECOMMENDATION:

Staff recommends that if the Commission feels the findings have been addressed, that the Commission forward the annexation request to the City Council with a recommendation of approval with the following condition:

1. Development of the project shall substantially conform to the approved plans as follows:
 - a. Site Plans (Sheets AS 1.1 and AS 1.2) prepared by smith Architects Inc. dated October 29, 2019.
 - b. Building Elevations (Sheets A1.1, A1.2 & A1.4) prepared by smith Architects Inc. dated October 29, 2019.

ATTACHMENTS:

- Application and narrative from applicant
- Proposed Annexation Map (24" x 36")
- Public Hearing Legal Advertisement ("Notice of Public Hearing" includes location map)
- Neighborhood meeting report and comments
- Development Site Plan



City of Flagstaff

Community Development Division

211 W. Aspen Ave P: (928) 213-2618
 Flagstaff, AZ 86001 F: (928) 213-2609
 www.flagstaff.az.gov

ANX

RECEIVED
 Date Received
OCT 29 2019

Application for Annexation

File Number
P2-19-00055-03

Property Owner(s)	Title	Phone	Email
KFH Flagstaff Route 66 & Cummings LLC		480-516-3499	
Mailing Address	City, State, Zip		
2701 E. Camelback Road, #180	Phoenix, AZ 85018		
Applicant	Title	Phone	Email
Amy McClaughry		480-516-3499	amy@camelbackpartners.com
Mailing Address	City, State, Zip		
2701 E. Camelback Road, #180	Phoenix, AZ 85018		
Project Representative	Title	Phone	Email
Stephen Irwin		928-773-0354	sirwin@swiaz.com
Mailing Address	City, State, Zip		
110 West Dale Ave.	Flagstaff, AZ, 86001		

Site Address	Parcel number(s)	Subdivision, Tract & Lot Number
4409 N. Highway 89, Flagstaff, AZ, 86004	113-27-027B	Winifred Lynch Ranch, Lots 19 & 20
Existing Zoning District	Existing Regional Plan Land Use Category	
CH-10,000	Suburban	
Proposed Zoning District	Proposed Regional Plan Land Use Category	
Highway Commercial	Suburban	
Present Use	Proposed Use	
Sounds Good - Car Stereo Store	Chipote	

Summarize Reason for Request (Attach additional sheets if necessary):
 See the attached sheet for the reason for the request.

Note:
 Indicate how the annexation will not be detrimental to the majority of persons or properties in the surrounding area, or to the community in general. If a modification to the Regional Land Use and Transportation Plan or a Zoning Map Amendment is requested, clearly state the reasons for such changes (a separate application is required).

Property Owner Signature: *[Signature]* Date: **9/30/19**
 Applicant Signature: *[Signature]* Date: **9/30/19**

For City Use

Date Filed:	Fee Receipt Number:	Amount:	Date:
Type of Request:	<input type="checkbox"/> Annexation <input type="checkbox"/> Continued		
Publication and Posting Date(s):		File Number:	
Action by Planning and Zoning Commission:		Action by City Council	
Hearing Date:		Hearing Date:	
<input type="checkbox"/> Approved <input type="checkbox"/> Continued <input type="checkbox"/> Denied		<input type="checkbox"/> Approved <input type="checkbox"/> Continued <input type="checkbox"/> Denied	

Staff Assignments: Planning *Paul*, Engineering *James*, Fire *Kent*, Stormwater *Doney*, Utilities/PW *Stacy*



Shephard  Wesnitzer, Inc.

110 West Dale Avenue

Flagstaff, AZ 86001

928.773.0354

928.774.8934 fax

www.swiaz.com

Engineering an environment of excellence.

**PROJECT NARRATIVE
For
HWY 89 & CUMMINGS
ANNEXATION SUBMITTAL**

SWI Project #19051
C.O.F. #PZ-19-00055

Located in Sections 16, T 21 N, R 08 E, G&SRM
City of Flagstaff,
Coconino County, Arizona

Prepared for:
KFH Flagstaff Route 66 & Cummings LLC
2701 E. Camelback Road, #180
Phoenix, AZ 85016

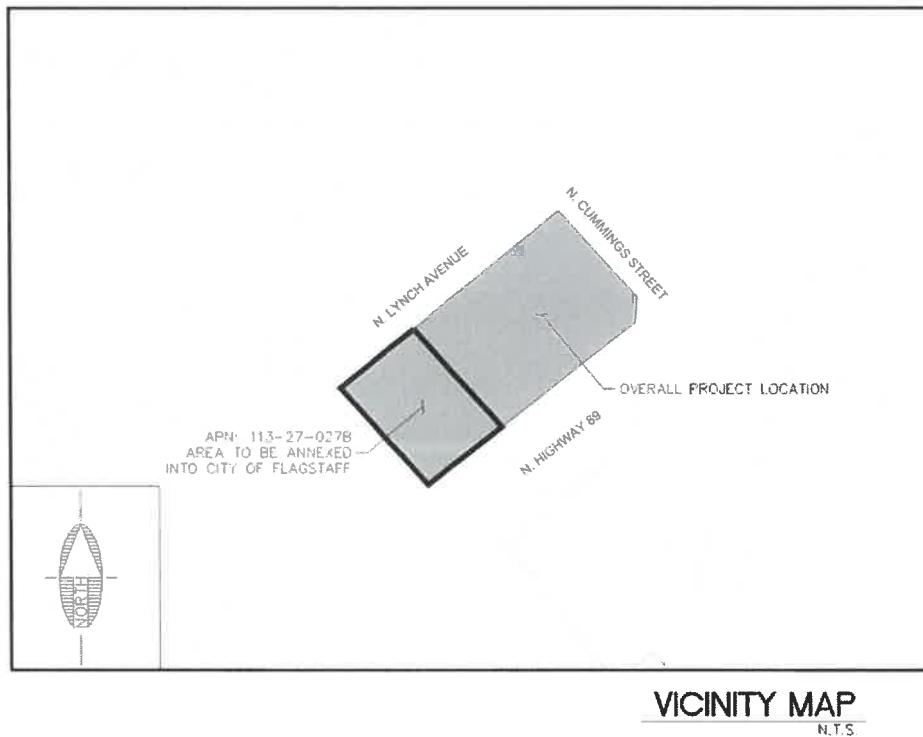
Prepared by:
Shephard-Wesnitzer, Inc.
110 W. Dale Avenue
Flagstaff, AZ 86001
(928) 773-0354

Revised: January 31, 2020
Originally Prepared: January 9, 2020

PROJECT SUMMARY

KFH Flagstaff Route 66 & Cummings LLC is proposing three commercial buildings that consist of a Chipotle, Dunkin Donuts, and Verizon store. The project is located on the northwest corner of the intersection of N. Highway 89 and N. Cummings Street, see the Vicinity Map below. The overall project is within two parcels APNs 113-27-027B and 113-27-029B. The project is positioned in Sections 16, Township 21 North, Range 08 East, of the Gila and Salt River Base Meridian, City of Flagstaff, Coconino County, Arizona.

The annexation application is specifically for APN 113-27-027B (±0.32 acres). KFH has the intention of building a restaurant on the subject property, which is currently located within Coconino County CH-10,000 zone. KFH would like to annex this county parcel into the City limits in order to construct the restaurant as part of an overall development that is already within City limits. The proposed city zoning district is Highway Commercial (HC).



LEGAL ANALYSIS

The parcel requested to be annexed adheres to ARS 9-471 subsection K. The subject parcel is surrounded by the City of Flagstaff on all four sides and is considered as a “county island”. Therefore, the parcel requested to be annexed complies with ARS 9-471. Refer to the Annexation Map in Appendix A for the parcel dimensions.

LEGAL DESCRIPTION

The ALTA for the parcel requested to be annexed is included in Appendix A.

ECONOMIC IMPACT ANALYSIS

The proposed development will have positive economic impacts to the City with the creation of new job positions and stimulation of commercial development. Chipotle will be located on the parcel requested to be annexed. The projected annual sales for Chipotle is approximately \$2.2M. The restaurant will employ three full-time and 20 part-time positions.

WATER/SEWER IMPACT ANALYSIS

There is an existing development, which is currently located on the parcel requested to be annexed, with an existing water connection off of the existing 8" AC water main located in N. Lynch Avenue. The proposed development will not significantly increase the water demand. Therefore, the City of Flagstaff did not require a Water and Sewer Impact Analysis (WSIA) during the Site Plan process. Water to the Chipotle building will be provided by a connection to an existing 8" AC water main located in N. Lynch Avenue on the north side of the site. Sewer for this new development will be provided by a connection to the existing 8" PVC sewer main.

DRAINAGE/STORMWATER IMPACT ANALYSIS

The City requires detention/LID for any commercial development greater than ¼ acre in size. A waiver may be granted for developments with an increase in impervious area of less than 5,000 square feet. Due to the site being currently developed, there is less impervious area proposed in post-development conditions than in pre-development conditions. According to the Drainage Statement provided on the Site Plan, post-development flows are less than pre-development flows; therefore, additional onsite detention for the project is not required. LID is required for this site and is provided by the reduction in post-development impervious area.

The site will be designed to provide positive drainage away from the proposed buildings while not negatively impacting drainage characteristics of the adjacent offsite properties. The majority of the runoff from the site will surface flow towards the southwest corner of the site and eventually enter the existing storm drain system located in N. Highway 89.

TRAFFIC IMPACT ANALYSIS

A Traffic Impact Analysis (TIA) was performed to satisfy the annexation requirements. The intersections at N. Highway 89/N. Cummings Street and N. Cummings Street/N. Lynch Avenue were analyzed with the proposed development. The analysis determined that both intersections were not adversely affected by the proposed development. However, a right turn lane is warranted for the driveway on N. Highway 89. The adjacent right-of-way is currently being administered by the City of Flagstaff and no new right-of-way is part of the annexation.

NATURAL RESOURCE PROTECTION PLAN




The project site does not fall within the resource protection overlay zone and does not require a Natural Resource Protection Plan (NRPP).

Appendix A





PLOTTED: Jan 27, 2020-10:42am

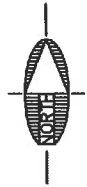
FILE: P:\2019\19051\DRAWINGS\SITE PLAN\19051-ANNEXATION MAP 8.5X11.DWG CPHAM

LEGEND

-  PROPOSED PARCEL 113-27-027B TO BE ANNEXED INTO CITY OF FLAGSTAFF
-  EXISTING PROPERTY LINE
-  EXISTING CITY LIMITS LINE

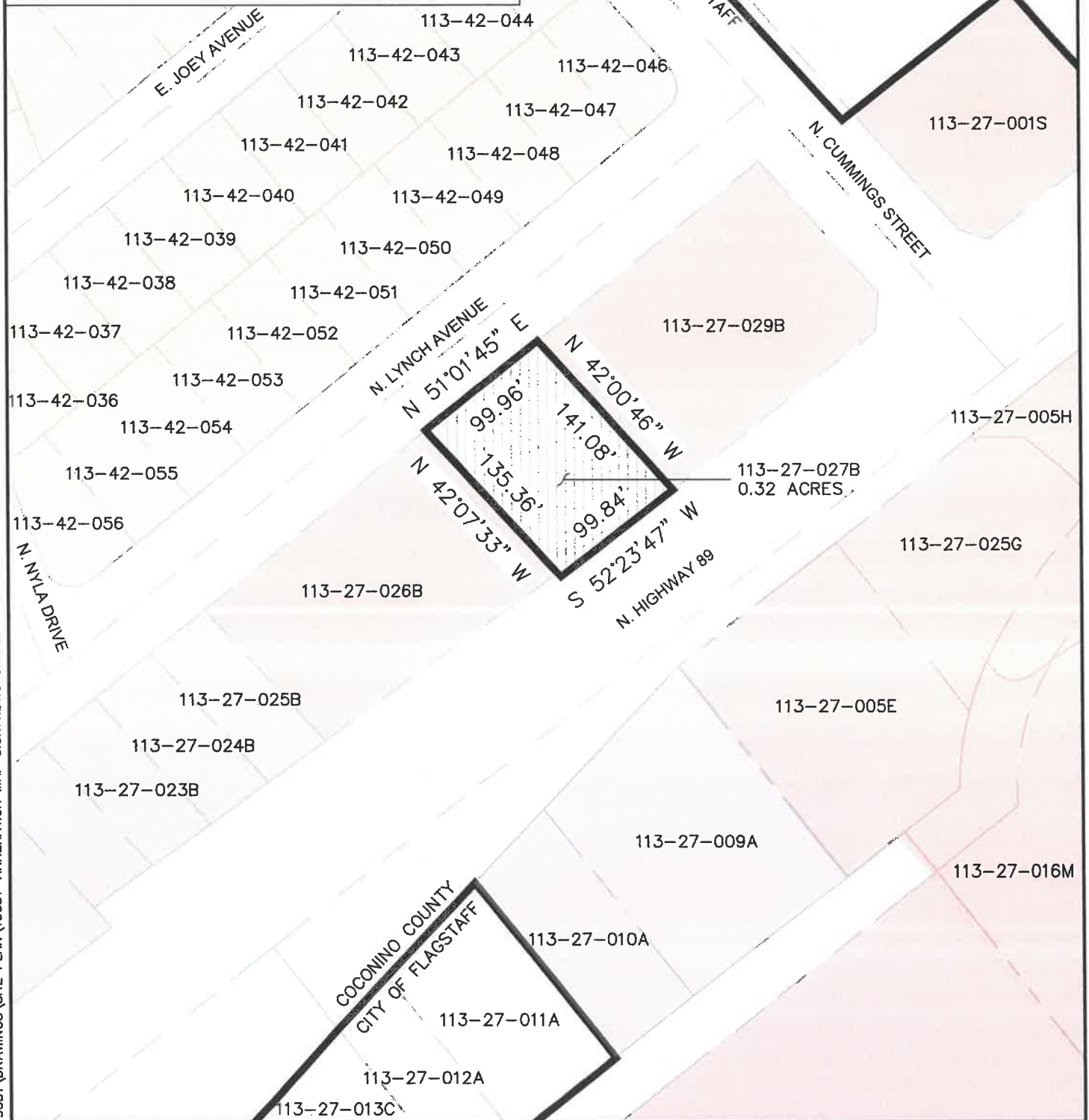
ZONE TERMS

-  MH MANUFACTURED HOUSING
-  PF PUBLIC FACILITY
-  HC HIGHWAY COMMERCIAL
-  CS COMMERCIAL SERVICE



NOTES:

1. ANNEXED PROPERTY APN 113-27-027B WILL BE COMBINED WITH PARCEL APN 113-27-029B AFTER ANNEXATION PROCESS IS COMPLETED.



Shephard Wesnitzer, Inc.

110 W. Dale Avenue
Flagstaff, AZ 86001
928.773.0354
928.774.8934 fax
www.swlaz.com

JOB NO.	19051
DATE	JAN 20
SCALE	1" = 100'
DRAWN	CNP
DESIGN	CNP
CHECKED	SCI

HWY 89 & CUMMINGS	FLAGSTAFF ARIZONA
ANNEXATION MAP	

SHEET	1
OF	1

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Flagstaff Planning and Zoning Commission will hold a Public Hearing on Wednesday, February 26 at 4:00 p.m. and the City Council will hold a Public Hearing on Tuesday, April 7 at 6:00 p.m. to consider the following:

A. Explanation of Matters to be Considered:

1. A proposed annexation of approximately .32 acres of land to the City of Flagstaff as described in Part B below. The annexation is requested in order to incorporate one parcel of land into the City limit.


B. General Description of the Affected Area:

Approximately .32 acres located at 4409 North Highway 89 County Assessor's Parcel Numbers 113-27-027B, located in section 7, T21N, R8E, of the G&SRM, Coconino County, Arizona, as shown on the adjacent map.

Interested parties may file comments in writing regarding the proposed annexation or may appear and be heard at the hearing date set forth above. Maps and information regarding the proposed annexation are available at the City of Flagstaff, Planning and Development Services Division, 211 West Aspen Avenue.

Unless otherwise posted, all Planning and Zoning Commission meetings are held in the Council Chambers of City Hall, 211 West Aspen Avenue, Flagstaff, Arizona. All City Council meetings are held in the Council Chambers of City Hall, 211 West Aspen Avenue, Flagstaff, Arizona.

PROPOSED ANNEXATION MAP



ADDRESS: 4409 North Highway 89
APNs: 113-27-027B
ACRES: Approximately .32 acres
Coconino County

For further information please contact:

Neil Gullickson
Planning Development Manager
Planning & Development Services Div.
211 West Aspen Avenue
Flagstaff, Arizona 86001

928-213-2614
Email: ngullickson@flagstaffaz.gov

Publish: February 8, 2020





Shephard ▲ Wesnitzer, Inc.

110 West Dale Avenue
Flagstaff, AZ 86001
928.773.0354
928.774.8934 fax
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CITIZEN PARTICIPATION REPORT For HIGHWAY 89 & CUMMINGS

SWI Project #19051
C.O.F. #PZ-19-00055-03

Section 07, T 21 N, R 08 E, G&SRM
City of Flagstaff,
Coconino County, Arizona

Prepared for:
KFH Flagstaff Route 66 & Cummings LLC
2701 E. Camelback Road, #180
Phoenix, AZ 85016

Prepared by:
Shephard-Wesnitzer, Inc.
110 W. Dale Avenue
Flagstaff, AZ 86001
(928) 773-0354

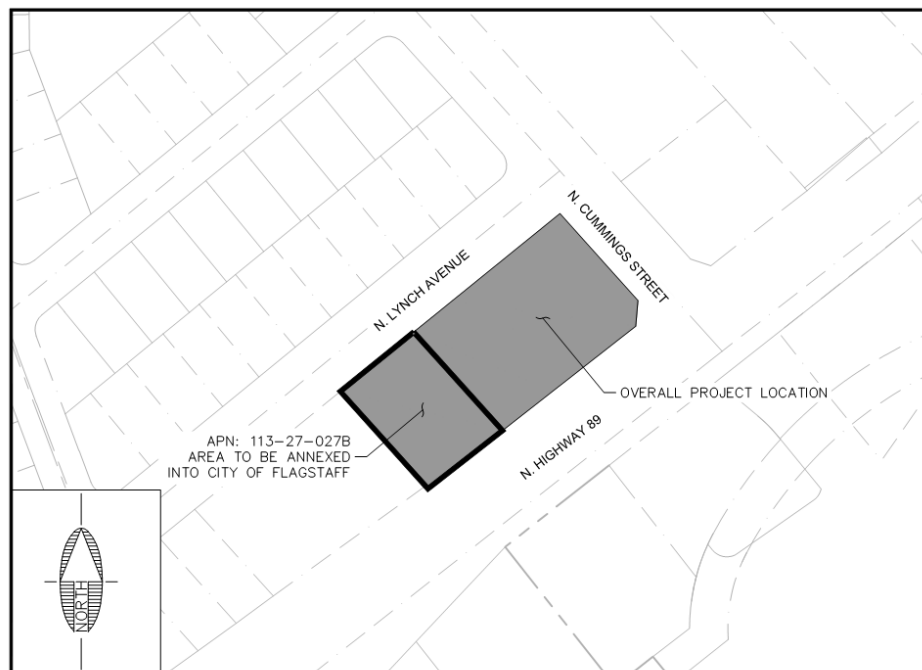
Revised: February 4, 2020
Originally Prepared: January 9, 2020

PROJECT SUMMARY

KFH Flagstaff Route 66 & Cummings LLC is proposing three commercial buildings that consist of a Chipotle, Dunkin Donuts, and Verizon store. The project is located on the northwest corner of the intersection of N. Highway 89 and N. Cummings Street, see the Vicinity Map below. The overall project is within two parcels APNs 113-27-027B and 113-27-029B.

The annexation application is specifically for APN 113-27-027B (± 0.32 acres). KFH has the intention of building a Chipotle on the subject property, which is currently located within Coconino County CH-10,000 zone. KFH would like to annex this county parcel into the City limits in order to construct the restaurant as part of an overall development that is already within City limits. The proposed city zoning district is Highway Commercial (HC).

The Site Plan reflect the limits of the overall project. The net acreage of the subject parcel to be annexed after right-of-way dedication to the City of Flagstaff for the future full-build out of N. Highway 89 is approximately 0.31 acres. Access to the site will be provided by a full access driveway and an exit driveway on N. Highway 89.



VICINITY MAP
N.T.S.

PROJECT LOCATION

The project is located on the northwest corner of the intersection of N. Highway 89 and N. Cummings Street at 4409 and 4429 N. Highway 89 in Flagstaff, Arizona. The project is within two parcels APNs 113-27-027B and 113-27-029B. The parcel requested to be annexed is located on APN 113-27-027B at 4409 N. Highway 89. The project is

positioned in Section 07, Township 21 North, Range 08 East, of the Gila and Salt River Base Meridian, City of Flagstaff, Coconino County, Arizona.

NEIGHBORHOOD OUTREACH

As part of the annexation, a “Citizen Participation Plan” is required in accordance with the Zoning Code. The main component of the plan is to hold a Neighborhood Meeting to introduce the project to surrounding property owners. We were required to send a letter to notify the neighbors of the upcoming request for the annexation and allow for time for feedback.

The first neighborhood meeting was held on January 6, 2020 at Flagstaff Subaru. The letters were mailed on December 13, 2019. The Neighborhood Outreach Letters were sent to all property owners, property owners’ associations (POA) within a 300-foot radius and homeowner’s associations (HOA) within a 1,000-foot radius. Letters were also sent to the City’s “Registry of Persons and Groups” as provided by the City. A copy of the notification letter and a 300-foot and 1,000-foot Mailing Buffer Exhibits are included in Appendices A and B, respectively. A copy of the mailing list is also included in Appendix B. In addition to the public outreach letters, signs were posted on December 18, 2019. The signs were posted at the entrance to the property on Highway 89 and Lynch Avenue. An image of the intended sign to be posted is included in Appendix C.

Appendix D includes the sign-in sheet and a summary of the concerns, issues, and problems that were expressed during the first neighborhood meeting. At this point in time, we have received one mailed response to the Neighborhood Outreach Letter, which is also included in Appendix D.

Due to the few responses that have been received as of January 9, 2020, low attendance and overall positive feedback at the first neighborhood meeting, the City of Flagstaff has approved the request to waive the requirement for the second neighborhood meeting.

PUBLIC HEARINGS

The public hearings before the City of Flagstaff Planning and Zoning Commission and City Council will be held on February 26, 2020 and April 7, 2020, respectively, at the Flagstaff City Hall Council Chambers. The Public Hearing Letters will be sent to the same mailing list used for the neighborhood meetings. In addition to the public hearing letters, signs will be posted by February 3rd, 2020.

APPENDIX A



Shephard ▲ Wesnitzer, Inc.

110 West Dale Avenue
Flagstaff, AZ 86001

928.773.0354
928.774.8934 fax

www.swiaz.com

Engineering an environment of excellence.

December 13, 2019

Dear Neighbor,

KFH Flagstaff Cummings II LLC (KFH) would like to invite the surrounding neighbors to a Neighborhood Meeting to discuss the annexation application that will be submitted for a parcel of land that is currently located within Coconino County at 4409 N. Highway 89, which is near the intersection of N. Cummings Street and Highway 89. The meeting and presentation will be held on **Monday, January 6, 2020 at 6 pm at Flagstaff Subaru**, 4910 E. Marketplace Drive, Flagstaff, AZ 86004 to discuss the annexation of this property.

The annexation application is specifically for APN 113-27-027B (± 0.32 acres). KFH has the intention of building a restaurant on the subject property, which is currently located within Coconino County CH-10,000 zone. KFH would like to annex this county parcel into the City limits in order to construct the restaurant as part of an overall development that is already within City limits. The proposed city zoning district is Highway Commercial (HC).

The plan sheets submitted in association with the Site Plan and attached herein reflect the limits of the overall project. The parcel to be annexed is a part of an overall project that is called Highway 89 & Cummings and will consist of three proposed commercial buildings. The net acreage of the project after right-of-way dedication to the City of Flagstaff for the future full-build out of N. Highway 89 is approximately 0.31 acres. Access to the site will be provided by a new full access driveway and an exit driveway on N. Highway 89.

Project material will be available for review starting at 6:00 pm with a presentation starting shortly after followed by a question and answer session. This will allow any neighborhood concerns to be identified and addressed prior to the project's public hearing before the City Planning and Zoning Commission. Concerns raised will be reported to the City Planning Department.

We hope to see you there. If you are unable to attend, please provide comments in the space below and mail to the developer's representative:

Mr. Stephen Irwin
Shephard-Wesnitzer, Inc.
110 West Dale Avenue
Flagstaff, AZ 86001
(928) 773-0354
sirwin@swiaz.com

Please see below for the City of Flagstaff representative contact information:

Mr. Neil Gullickson
Planning Development Manager
211 West Aspen Avenue
Flagstaff, AZ 86001
(928) 213-2614
NGullickson@flagstaff.gov

Sincerely,
Shephard – Wesnitzer, Inc.



Stephen C. Irwin, P.E.
Project Engineer

CIVIL SITE PLAN FOR HWY 89 & CUMMINGS FLAGSTAFF, ARIZONA

LOCATED IN SECTION 16, TOWNSHIP 21 NORTH,
RANGE 8 EAST, GILA AND SALT RIVER
MERIDIAN, CITY OF FLAGSTAFF, COCONINO
COUNTY, ARIZONA

PROJECT OWNER/DEVELOPER:

KFH FLAGSTAFF CUMMINGS II LLC
AMY MCCLAUGHRY
2701 E. CAMELBACK ROAD, #180
PHOENIX, AZ 85016
(480) 516-3499

PROJECT ENGINEER:

SHEPARD-WESNITZER, INC.
STEPHEN IRWIN
110 WEST DALE AVE
FLAGSTAFF, AZ 86001
(928) 773-0354

PROPERTY INFORMATION:

ADDRESSES: 4409 & 4429 N. HIGHWAY 89
APNS: 113-27-029B (0.63± ACRES)
113-27-027B (0.32± ACRES)
EXISTING ZONING: HIGHWAY COMMERCIAL &
CH-1000

PROJECT ARCHITECT:

SMITH ARCHITECTS, INC.
RYAN SMITH
1503 YALE STREET, SUITE 200
FLAGSTAFF, ARIZONA 86001
(928) 779-5993

CITY CONCEPT APPROVAL

THE CITY APPROVES THESE PLANS FOR CONCEPT ONLY.
ALL LIABILITY FOR ERRORS AND OMISSIONS IS THE
RESPONSIBILITY OF THE DESIGN ENGINEER.

CITY ENGINEER:

BY: _____ DATE: _____

CITY PUBLIC WORKS DIRECTOR

BY: _____ DATE: _____

WATER SERVICES DIRECTOR

BY: _____ DATE: _____

AUTHORIZATION TO CONSTRUCT:

THE SIGNATURES ABOVE ARE REQUIRED BEFORE THE
CONTRACTOR CAN COMMENCE. UNSIGNED, THESE PLANS
HAVE NOT BEEN COMPLETED WITH RESPECT TO AGENCY
REVIEW AND APPROVAL.

UTILITY COMPANY APPROVAL

ARIZONA PUBLIC SERVICE

BY: _____ DATE: _____

UNISOURCE ENERGY SERVICES

BY: _____ DATE: _____

CENTURYLINK

BY: _____ DATE: _____

ALTICE USA

BY: _____ DATE: _____

UTILITY COMPANY CONTACTS

APS CONTACT: RYAN WIESNER 2200 E. HUNTINGTON FLAGSTAFF, AZ 86004 RYAN.WIESNER@APS.COM PHONE: (928) 773-6447	CENTURYLINK CONTACT: MANUEL HERNANDEZ 112 NORTH BEAVER STREET FLAGSTAFF, AZ 86001 MANUEL.HERNANDEZ4@CENTURYLINK.COM PHONE: (928) 779-4935
--	--

UNISOURCE ENERGY SERVICES CONTACT: MARTIN CONBOY 2901 W SHAMRELL BLVD #110 FLAGSTAFF, AZ 86001 MCONBOY@UESAZ.COM PHONE: (928) 226-2269	ALTICE USA CONTACT: SANFORD YAZZIE 1601 SOUTH PLAZA WAY FLAGSTAFF, AZ 86001 SANFORD.YAZZIE@ALTICEUSA.COM PHONE: (928) 266-0672
---	---

IMPERVIOUS AREA SUMMARY

PRE-DEVELOPMENT IMPERVIOUS AREA = 38,001 SF
POST-DEVELOPMENT IMPERVIOUS AREA = 34,257 SF
LID IS REQUIRED FOR THIS SITE AND IS PROVIDED BY THE REDUCTION IN
POST-DEVELOPMENT IMPERVIOUS AREA. DETENTION IS WAIVED FOR THIS SITE
AS RUNOFF CAPTURE VOLUME IS ZERO.

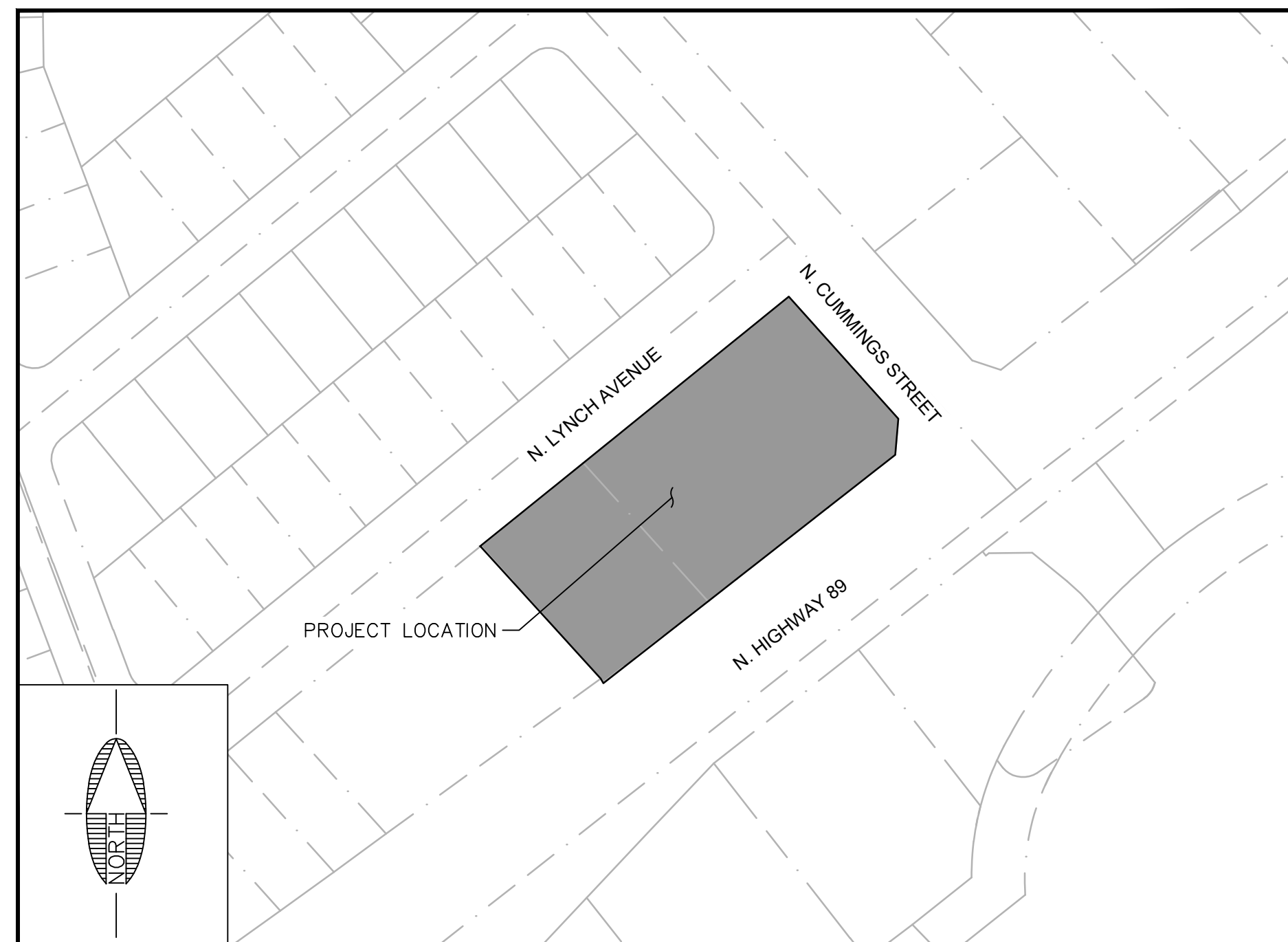
FEMA DESIGNATION:

THIS PROJECT IS LOCATED WITHIN ZONE X OF FEMA FIRM MAP #0400506827G,
EFFECTIVE SEPTEMBER 3, 2010. ZONE X IS DESCRIBED AS AREAS DETERMINED
TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

SOURCE OF PROJECT INFORMATION

TOPOGRAPHIC DATA WAS PROVIDED BY APEX LAND SURVEYS ON APRIL 30,
2019 AND SUPPLEMENTED WITH CITY OF FLAGSTAFF 2017 GIS.

BOUNDARY INFORMATION IS BASED ON AN ALTA FOR APN 113-27-029B
PREPARED BY ALLIANCE LAND SURVEYING, LLC ON JULY 12, 2017, AND AN
ALTA FOR APN 113-27-027B PREPARED BY APEX LAND SURVEYS ON AUGUST
14, 2019.



VICINITY MAP
N.T.S.

LEGEND			
---	ROAD CENTERLINE	---	EX. LOT LINE
---	LOT LINE	---	EX. EASEMENT
---	ROW	---	EX. 100-YR FLOODPLAIN
---	EASEMENT	---	EX. INTERMEDIATE CONTOUR
8"SS	GRAVITY SEWER LINE	6945	EX. INDEX CONTOUR
8"W	WATER LINE	W	EX. FENCE
---	STORM DRAIN PIPE	SS	EX. WATER LINE
---	FUTURE PRIVATE DRIVEWAY	G	EX. SEWER LINE
---	SUBDIVISION BOUNDARY	S	EX. GAS
⊕	FIRE HYDRANT	U	EX. STORM DRAIN
W	WATER METER	UHE	EX. UNDERGROUND UTIL.
⊙	STREET LIGHT	---	EX. OVERHEAD UTIL.
⊕	SEWER MANHOLE	---	SECTION LINE
⊕	STOP SIGN	---	EX. ROAD STRIPING
▨	CATCH BASIN	⊕	EX. WATER VALVE
➔	DRAINAGE ARROW	*	EX. STREET LIGHT

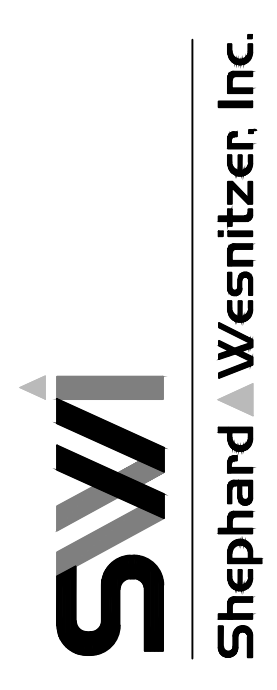
FLAGSTAFF
ARIZONA

 HWY 89 & CUMMINGS

 COVER SHEET

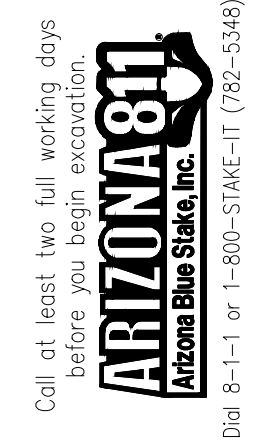
JOB NO:	19051
DATE:	OCT 19
SCALE:	N/A
DRAWN:	CNP
DESIGN:	CNP
CHECKED:	SCI

110 W. Dale Avenue
Flagstaff, AZ 86001
928.773.0354
928.774.8934 fax
www.swiaz.com



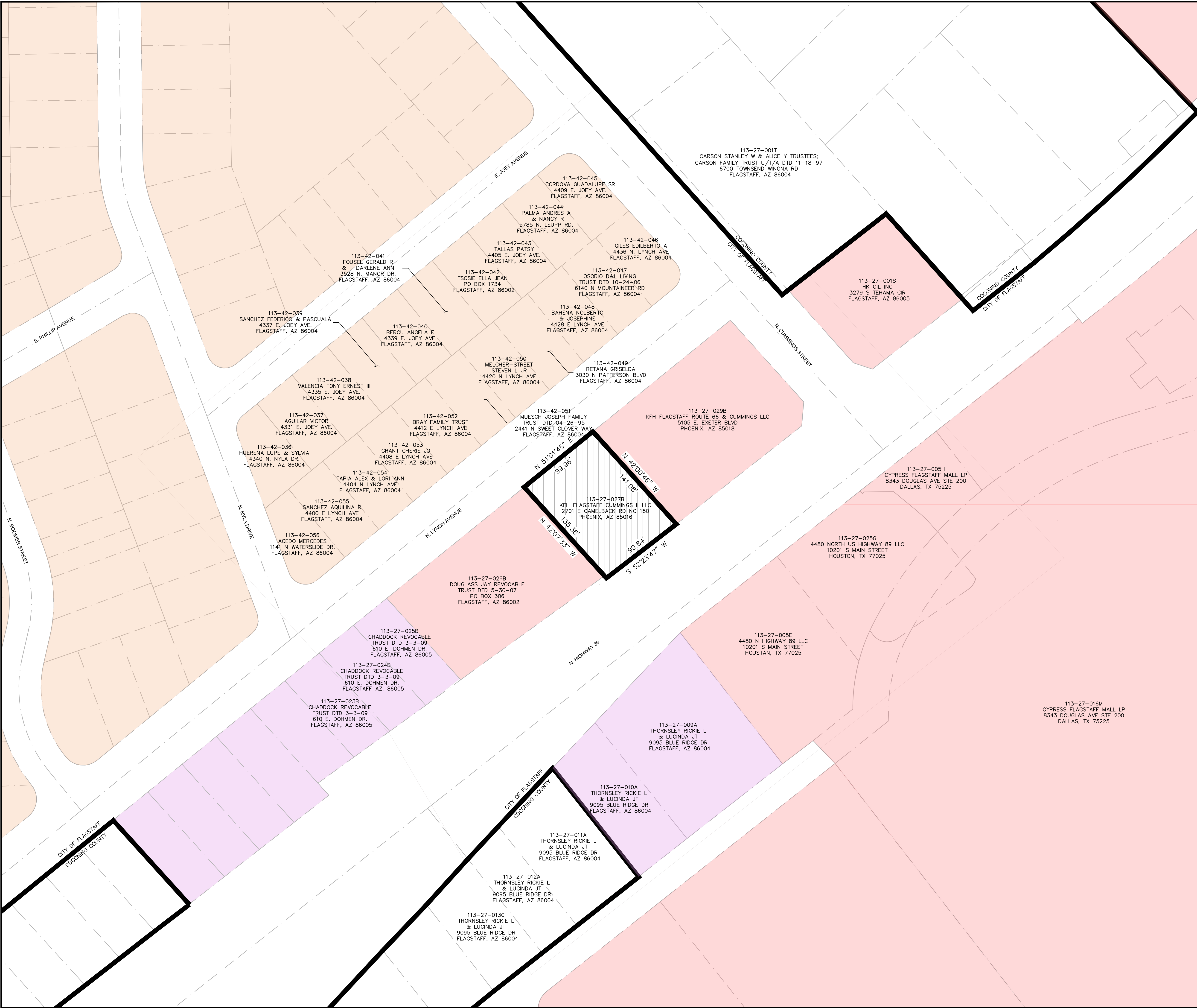
NO.	DESCRIPTION	DATE	BY

PRELIMINARY
 NOT FOR CONSTRUCTION,
 BIDDING OR RECORDING
 DRAWING NO.
CVR
 SHT NO. OF
 1 OF
 C.O.F. #PZ-19-00055



PLOTTED: Oct 28, 2019 - 9:10am

FILE: P:\2019\1905\DRAWINGS\SITE PLAN\19051-ANNEXATION MAP.DWG CPHAM

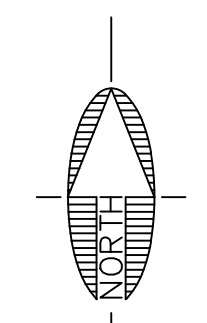


LEGEND

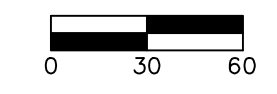
- PROPOSED PORTION OF PARCEL 112-01-001C TO BE ANNEXED INTO CITY OF FLAGSTAFF
 - EXISTING CITY LIMITS LINE
 - EXISTING PROPERTY LINE
- ZONE TERMS**
- MH MANUFACTURED HOUSING
 - PF PUBLIC FACILITY
 - HC HIGHWAY COMMERCIAL
 - CS COMMERCIAL SERVICE
 - "CITY" CITY OF FLAGSTAFF
 - "COUNTY" COCONINO COUNTY

NOTES:

- ANNEXED PROPERTY APN 113-27-027B WILL BE COMBINED WITH PARCEL APN 113-27-029B AFTER ANNEXATION PROCESS IS COMPLETED.



SCALE: 1" = 60'



PRELIMINARY

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C.O.F. #PZ-19-00055

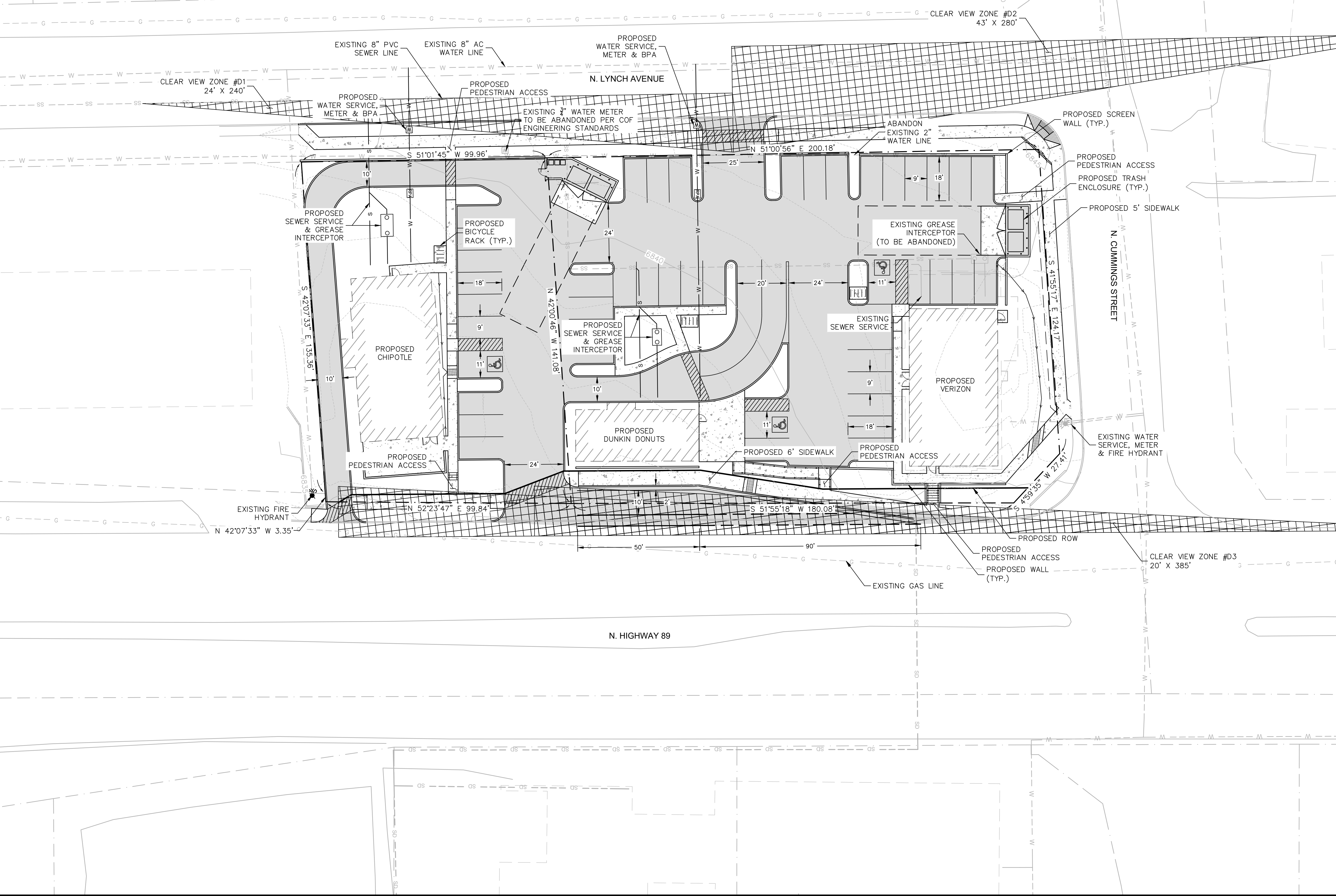
ANNEXATION MAP													
JOB NO: 19051 DATE: OCT 19 SCALE: AS SHOWN DRAWN: CNP DESIGN: CNP CHECKED: SCI	FLAGSTAFF ARIZONA HWY 89 & CUMMINGS 110 W. Dole Avenue Flagstaff, AZ 86001 928.773.0354 928.774.8934 fax www.swigaz.com												
Shephard Wesnitzer, Inc.													
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DESCRIPTION	DATE	BY									DRAWING NO. AM01 SHT NO. OF 2 OF 4
NO.	DESCRIPTION	DATE	BY										

Call out least two full working days before you begin excavation.

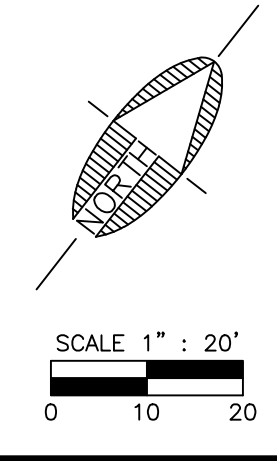
ARIZONA 811
Arizona Blue Stakes, Inc.
808 841-1111 or 1-800-514-1111 (TUE-FRI)

CLEAR VIEW ZONE CALCULATIONS											
ID #	MAJOR STREET	MANEUVER DIRECTION	DESIGN SPEED (VMAJOR)1	TIME GAP tg (unadjusted) d)2	GRADE ≤ 3%	ACTUAL GRADES	MULTIPLE LANE CROSSINGS	NO. OF LANES4	TIME GAP tg(adj)2	INTERSECTION SIGHT DISTANCE (ISD3)	STOPPING SIGHT DISTANCE (SSD)
D1	Lynch	Right	25	6.5	Yes	2%	No	1	6.5	240	155
D2	Lynch	Left	25	7.5	Yes	2%	No	1	7.5	280	155
D3	Hwy 89	Right	45	6.5	Yes	2%	No	1	6.5	385	155

- Notes:
- (1) The major road speed limits (VMAJOR in MPH) are based on existing conditions in the project vicinity.
 - (2) The time gap values, adjusted (tg (adjusted) in seconds) and unadjusted (tg (unadjusted) in seconds), are based on the current site plan and the AASHTO-Geometric Design of Highways and Streets Exhibits 9-54 and 9-57 for D1 and D2 and Exhibits 9-66 and 9-67 for M1. The first lane crossed does not warrant an adjustment to the time gap.
 - (3) The intersection site distance (ISD in feet) calculations are based on Equation 9-1 in the AASHTO-Geometric Design of Highways and Streets. Equation 9-1: $ISD=1.47 \cdot VMAJOR \cdot tg$
 - (4) The number of lanes crossed may include medians converted to equivalent lanes. The number of lanes provided in the table includes the first lane crossed.
 - (5) If the approach grade is greater than 3%, add 0.1 seconds for each percent grade.



- NOTES:
1. BIKE LANE STRIPING IS ONLY SHOWN TO DEMONSTRATE PROPOSED ROW IS WIDE ENOUGH TO ACCOMMODATE A FUTURE BIKE LANE.



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C.O.F. #PZ-19-00055

FLAGSTAFF ARIZONA

HWY 89 & CUMMINGS

CIVIL SITE PLAN

JOB NO: 19051 DATE: NOV 19 SCALE: AS SHOWN DRAWN: CNP DESIGN: CNP CHECKED: SCI

110 W. Dole Avenue
Flagstaff, AZ 86001
928.774.8934
928.774.8934 fax
www.swiqz.com

SWI
Shephard Wesnitzer, Inc.

NO.	DESCRIPTION	DATE	BY

REVISIONS

Call at least two full working days before you begin excavation.

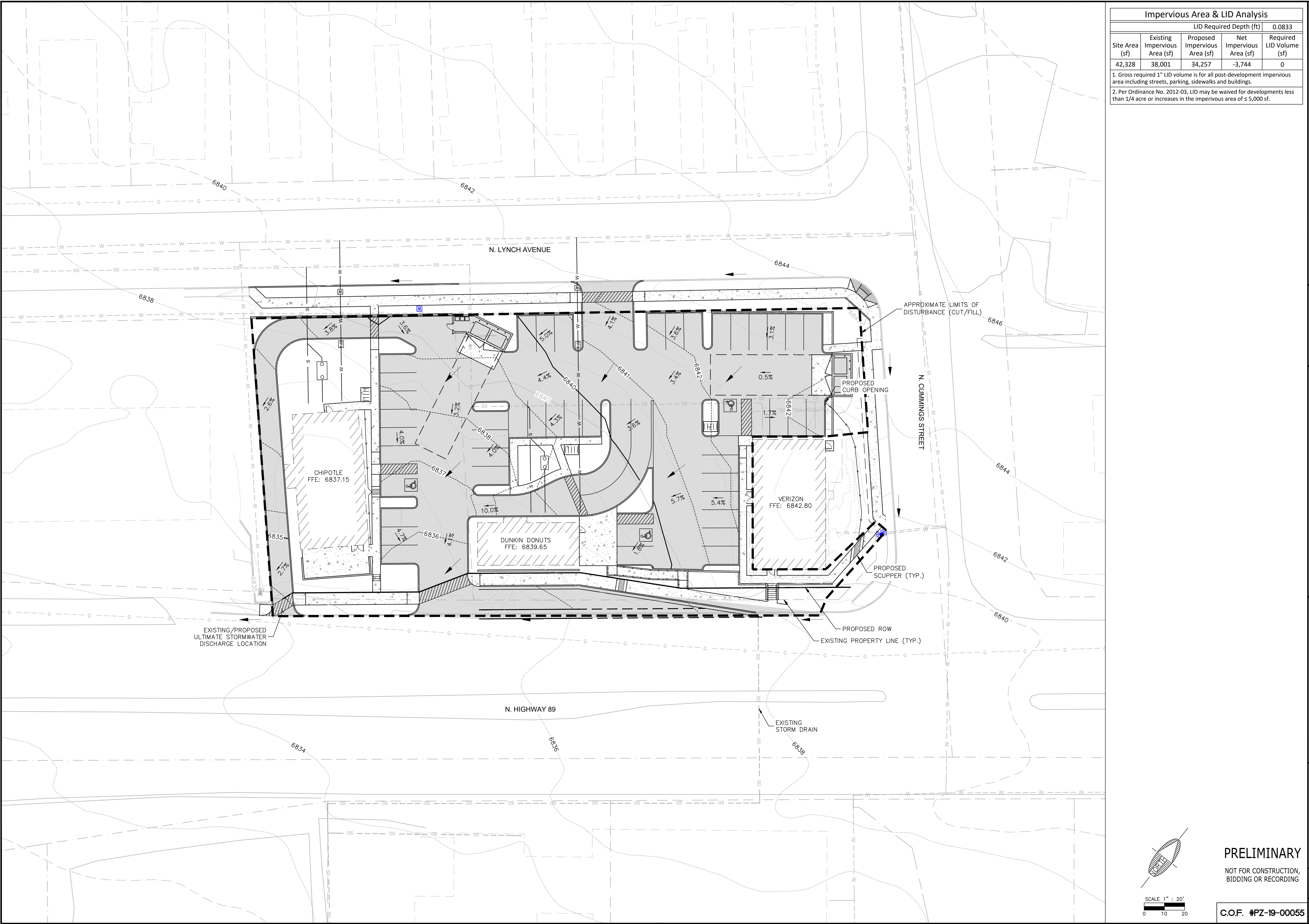
ARIZONA 811
Arizona Blue Stakes, Inc.
888-841-1111 or 1-800-514-1111 (AZ-5148)

DRAWING NO. **SP01**

SHT NO. 3 OF 4

PLOTTED: Nov 13, 2019 - 2:46pm

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Impervious Area & LID Analysis				
LID Required Depth (ft)				0.0833
Site Area (sf)	Existing Impervious Area (sf)	Proposed Impervious Area (sf)	Net Impervious Area (sf)	Required LID Volume (sf)
42,328	38,001	34,257	-3,744	0

1. Gross required 1" LID volume is for all post-development impervious area including streets, parking, sidewalks and buildings.
 2. Per Ordinance No. 2012-03, LID may be waived for developments less than 1/4 acre or increases in the impervious area of ≤ 5,000 sf.

FLAGSTAFF ARIZONA

HWY 89 & CUMMINGS

GRADING & DRAINAGE PLAN

JOB NO: 19051 DATE: NOV 19 SCALE: AS SHOWN DRAWN: CNP DESIGN: CNP CHECKED: SCI

110 W. Dole Avenue
Flagstaff, AZ 86001
928.774.8934
928.774.8934 fax
www.swi2.com

SWI
Shephard Wesnitzer, Inc.

NO.	DESCRIPTION	DATE	BY

REVISIONS

Call out least two full working days before you begin excavation.

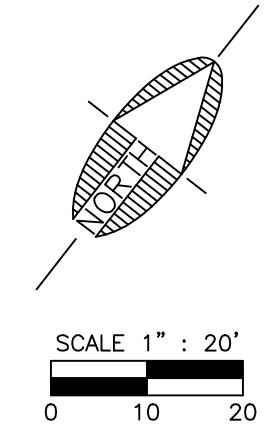
ARIZONA 811
Arizona Blue Stakes, Inc. (928-5348)
088 8-1-1 or 1-800-514E-11 (928-5348)

PRELIMINARY
NOT FOR CONSTRUCTION,
BIDDING OR RECORDING

DRAWING NO. **GD01**

SHT NO. 4 OF 4

C.O.F. #PZ-19-00055



APPENDIX B



LEGEND

PROPERTY TO BE ANNEXED

1000 FT BUFFER

EXISTING PROPERTY LINE

SCALE: 1" = 150'

PRELIMINARY
NOT FOR CONSTRUCTION,
BIDDING OR RECORDING

C.O.F. #PZ-19-00055

FLAGSTAFF
ARIZONA

HWY 89 & CUMMINGS

1000 FT BUFFER MAP

JOB NO:	19051
DATE:	JAN 20
SCALE:	AS SHOWN
DRAWN:	CNP
DESIGN:	CNP
CHECKED:	SCI

110 W. Dole Avenue
Flagstaff, AZ 86001
928.773.0354
928.774.8934 fax
www.swiagz.com

Shephard Wesnitzer, Inc.

NO.	DESCRIPTION	DATE	BY

Call at least two full working days before you begin excavation.


ARIZONA 811
Arizona Blue Stakes, Inc. (928-5348)

088 84-1 or 1-800-544-1111 (928-5348)

DRAWING NO.
BM02

SHT NO. OF
2 OF 3

APN	OWNER NAME	PARCEL ADDRESS	PARCEL CITY	PARCEL STATE	PARCEL ZIPCODE
11342037	AGUILAR VICTOR	4331 E JOEY AVE	FLAGSTAFF	AZ	86004
11342036	HUERENA LUPE & SYLVIA	4340 N NYLA DR	FLAGSTAFF	AZ	86004
11327009A	THORNSLEY RICKIE L & LUCINDA JT	9095 BLUE RIDGE DR	FLAGSTAFF	AZ	86004
11327010A	THORNSLEY RICKIE L & LUCINDA JT	9095 BLUE RIDGE DR	FLAGSTAFF	AZ	86004
11327011A	THORNSLEY RICKIE L & LUCINDA JT	9095 BLUE RIDGE DR	FLAGSTAFF	AZ	86004
11342039	SANCHEZ FEDERICO & PASCUALA	4337 E JOEY AVE	FLAGSTAFF	AZ	86004
11342038	VALENCIA TONY ERNEST III	4335 E JOEY AVE	FLAGSTAFF	AZ	86004
11342053	GRANT CHERIE JO	4408 E LYNCH AVE	FLAGSTAFF	AZ	86004
11342054	TAPIA ALEX & LORI ANN	4404 N LYNCH AVE	FLAGSTAFF	AZ	86004
11342055	SANCHEZ AQUILINA R	4400 N LYNCH AVE	FLAGSTAFF	AZ	86004
11342056	ACEDO MERCEDES	1141 N WATERSIDE DR	FLAGSTAFF	AZ	86004
11342041	FOUSEL GERALD R & DARLENE ANN	3528 N MANOR DR	FLAGSTAFF	AZ	86004
11342045	CORDOVA GUADALUPE SR	4409 E JOEY AVE	FLAGSTAFF	AZ	86004
11342046	GILES EDILBERTO A	4436 N LYNCH AVE	FLAGSTAFF	AZ	86004
11342043	TALLAS PATSY	4405 E JOEY AVE	FLAGSTAFF	AZ	86004
11342044	PALMA ANDRES A & NANCY R	5785 N LEUPP RD	FLAGSTAFF	AZ	86004
11342042	TSOSIE ELLA JEAN	PO BOX 1734	FLAGSTAFF	AZ	86002
11342040	BERCU ANGELA E	4339 E JOEY AVE	FLAGSTAFF	AZ	86004
11342047	OSORIO D & L LIVING TRUST DTD 10-24-06	6140 N MOUNTAINEER RD	FLAGSTAFF	AZ	86004
11342052	BRAY FAMILY TRUST	4412 E LYNCH AVE	FLAGSTAFF	AZ	86004
11342051	MUESCH JOSEPH FAMILY TRUST DTD 04-26-95	2441 N SWEET CLOVER WAY	FLAGSTAFF	AZ	86004
11342048	BAHENA NOLBERTO & JOSEPHINE	4428 E LYNCH AVE	FLAGSTAFF	AZ	86004
11342049	RETANA GRISELDA	3030 N PATTERSON BLVD	FLAGSTAFF	AZ	86004
11342050	MELCHER-STREET STEVEN L JR	4420 N LYNCH AVE	FLAGSTAFF	AZ	86004
11327026B	DOUGLASS JAY REVOCABLE TRUST DTD 5-30-07	PO BOX 306	FLAGSTAFF	AZ	86002
11327029B	KFH FLAGSTAFF ROUTE 66 & CUMMINGS LLC	5105 E EXETER BLVD	PHOENIX	AZ	85018
11327001S	HK OIL INC	3279 S TEHAMA CIR	FLAGSTAFF	AZ	86005
11327001T	CARSON STANLEY W & ALICE Y TRUSTEES ; CARSON FAMILY TRUST U/T/A DTD 11-18-97	6700 TOWNSEND WINONA RD	FLAGSTAFF	AZ	86004
11327023B	CHADDOCK REVOCABLE TRUST DTD 3-3-09	610 E DOHMEN DR	FLAGSTAFF	AZ	86005
11327024B	CHADDOCK REVOCABLE TRUST DTD 3-3-09	610 E DOHMEN DR	FLAGSTAFF	AZ	86005
11327025B	CHADDOCK REVOCABLE TRUST DTD 3-3-09	610 E DOHMEN DR	FLAGSTAFF	AZ	86005
11327027B	KFH FLAGSTAFF CUMMINGS II LLC	2701 E CAMELBACK RD NO 180	PHOENIX	AZ	85016
11327016M	CYPRESS FLAGSTAFF MALL LP	8343 DOUGLAS AVE STE 200	DALLAS	TX	75225
11327005E	4480 NORTH US HIGHWAY 89 LLC	ATTN: LEASE ADMINISTRATION 10201 S MAIN STREET	HOUSTON	TX	77025
11327005G	4480 NORTH US HIGHWAY 89 LLC	ATTN: LEASE ADMINISTRATION 10201 S MAIN STREET	HOUSTON	TX	77025
11327005H	CYPRESS FLAGSTAFF MALL LP	8343 DOUGLAS AVE STE 200	DALLAS	TX	75225
11327016J	4480 NORTH US HIGHWAY 89 LLC	ATTN: LEASE ADMINISTRATION 10201 S MAIN STREET	HOUSTON	TX	77025
REGISTRY OF PERSONS AND GROUPS					
OWNER/GROUP NAME	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIPCODE	
	FRIENDS OF FLAGSTAFF'S FUTURE	P.O. BOX 23462	FLAGSTAFF	AZ	86002
	NORTHERN ARIZONA BUILDING ASSOCIATION	1500 EAST CEDAR AVENUE, SUITE 86	FLAGSTAFF	AZ	86004
JEFFREY HERD	NORTHERN ARIZONA ASSOCIATION OF REALTORS	1515 EAST CEDAR AVENUE, SUITE C-4	FLAGSTAFF	AZ	86004
	TISH BOGAN-OZMUN	5271 MT. PLEASANT DRIVE	FLAGSTAFF	AZ	86004
	MARILYN WEISSMAN	1055 EAST APPLE WAY	FLAGSTAFF	AZ	86001
MAURY HERMAN	COAST AND MOUNTAIN PROPERTIES	3 NORTH LEROUX STREET	FLAGSTAFF	AZ	86001
	NAT WHITE	1120 NORTH ROCKRIDGE ROAD	FLAGSTAFF	AZ	86001
	CHARLIE SILVER	720 WEST ASPEN AVENUE	FLAGSTAFF	AZ	86001
	BETSY MCKELLAR	330 S ASH LANE	FLAGSTAFF	AZ	86004
	DAVID CARPENTER	1715 E TRADE WINDS COURT	FLAGSTAFF	AZ	86005
DOREANDA COLEMAN	ARIZONA ARMY NATIONAL GUARD, AZAA-FMO	5636 E MCDOWELL RD, M5330	PHOENIX	AZ	85008
MARY BETH DREUSIKE	US NAVY, INTERGOVERNMENTAL BRANCH	850 PACIFIC HIGHWAY, BUILDING 1 -- 5TH FLOOR, SUITE 513	SAN DIEGO	CA	92101
	CELIA BAROTZ	3354 N CREST STREET	FLAGSTAFF	AZ	86001
	NORM WALLEN	3716 N GRANDVIEW	FLAGSTAFF	AZ	86004
JAY CHRISTELMAN	COCONINO COUNTY COMMUNITY DEVELOPMENT	2500 N FORT VALLEY ROAD, BLDG 1	FLAGSTAFF	AZ	86001
JESS MCNEELY	COCONINO COUNTY COMMUNITY DEVELOPMENT	2500 N FORT VALLEY ROAD, BLDG 1	FLAGSTAFF	AZ	86001
STEVE FINCH	FLAGSTAFF LODGING, RESTAURANT & TOURISM ASSOCIATION	PO BOX 30622	FLAGSTAFF	AZ	86003
	ADRIAN SKABELUND	819 WEST GRAND CANYON AVENUE	FLAGSTAFF	AZ	86001
CITY OF FLAGSTAFF COMMUNITY DEVELOPMENT DIVISION	NEIL GULLICKSON	211 WEST ASPEN AVENUE	FLAGSTAFF	AZ	86001

JOB NO: 19051		DATE: JAN 20		SCALE: AS SHOWN		DRAWN: CNP		DESIGN: CNP		CHECKED: SCI	
<p>110 W. Dole Avenue Flagstaff, AZ 86001 928.773.0354 928.774.8934 fax www.swi.coz.com</p>											
<p>SWI Shephard Wesnitzer, Inc.</p>											
REVISIONS	NO.	DESCRIPTION	DATE	BY							
<p>Call out least two full working days before you begin excavation.  ARIZONA 811 Arizona Blue Stakes, Inc. 800 841-1111 or 1-800-STATE-11 (782-5348)</p>											
<p>PRELIMINARY NOT FOR CONSTRUCTION, BIDDING OR RECORDING</p>											
<p>DRAWING NO. LIST</p>											
<p>SHT NO. OF</p>											
<p>C.O.F. #PZ-19-00055 3 3</p>											

FLAGSTAFF ARIZONA
HWY 89 & CUMMINGS
MAILING LIST

APPENDIX C



ANNEXATION NEIGHBORHOOD MEETING

NEIGHBORHOOD MEETING: January 6, 2020 at 6 pm

LOCATION OF MEETING: Flagstaff Subaru Conference Room, 4910 East Marketplace Drive, Flagstaff, Arizona 86004

REQUEST: An Annexation for KFH Flagstaff Cummings II LLC to allow annexation of a commercial property located on a 0.32-acre parcel at 4409 North Highway 89 within Coconino County CH-10,000 zone. The proposed city zoning district is Highway Commercial (HC).

AREA TO BE ANNEXED: 4409 North Highway 89, Flagstaff, Arizona 86004 (APN 113-27-027B)

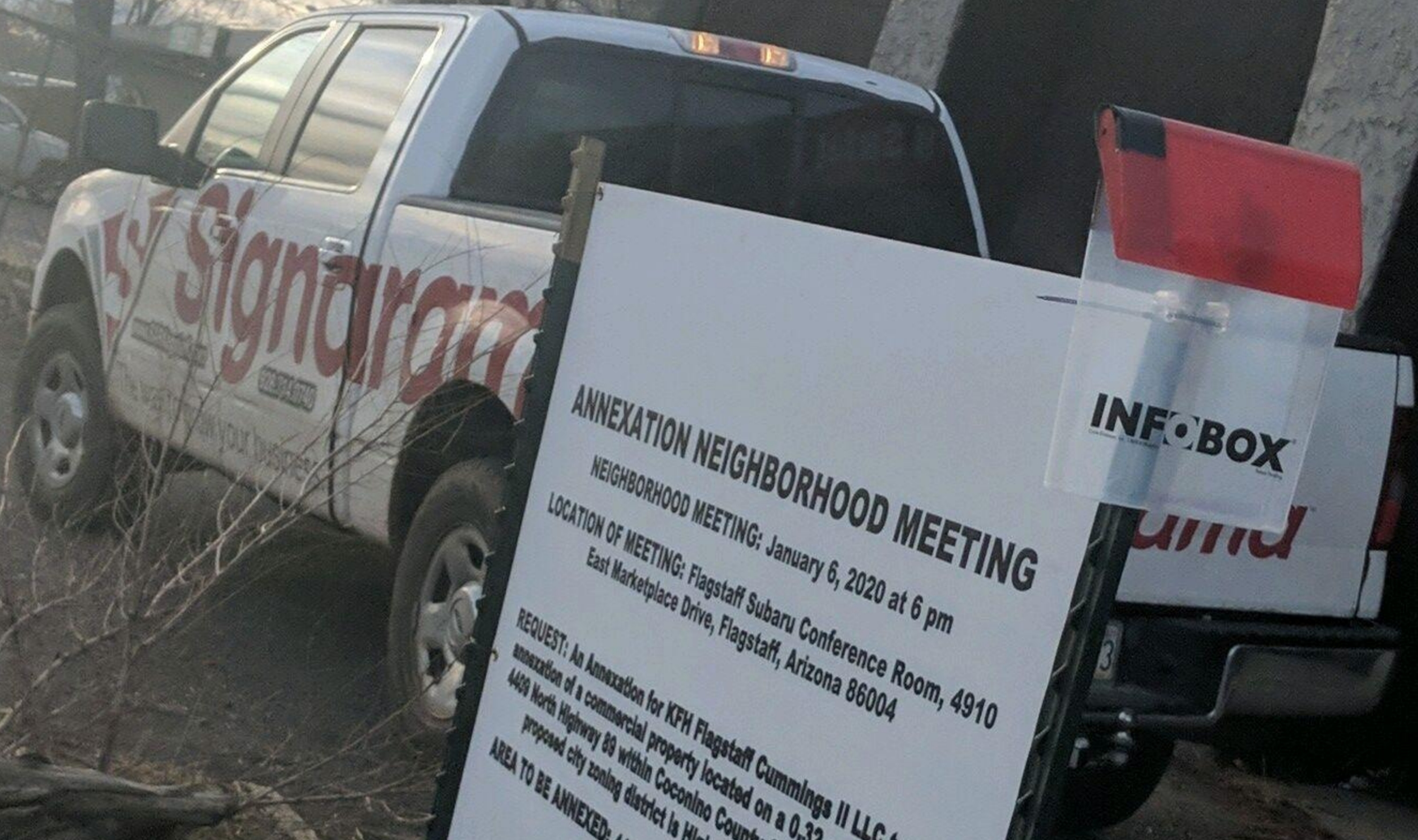
SIZE OF SITE: 0.32 Acres

CONTACT: Stephen Irwin, Shephard-Wesnitzer, Inc., 928-773-0354
or
Neil Gullickson, City of Flagstaff, 928-213-2614

Dec 18, 2019 4:01:53 PM
4420 North Lynch Avenue
Flagstaff
Coconino County
Arizona

ANNEXATION NEIGHBORHOOD MEETING
NEIGHBORHOOD MEETING: January 6, 2020 at 6 pm
LOCATION OF MEETING: Flagstaff Subaru Conference Room, 4910 East Marketplace Drive, Flagstaff, Arizona 86004
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SIZE OF SITE: 0.32 Acres
CONTACT: Stephen Irwin, Shepard-Weanitzer, Inc., 928-773-0354
or
Neil Gulickson, City of Flagstaff, 928-213-2814

INFOBOX



Dec 18, 2019 4:14:47 PM
4409 U.S. 89
Flagstaff
Coconino County
Arizona

APPENDIX D



Shephard ▲ Wesnitzer, Inc.
Engineering an environment of excellence

110 West Dale Avenue

Flagstaff, AZ 86001

928.773.0354

www.swiaz.com

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Highway 89 & Cummings – Annexation Neighborhood Meeting

January 6, 2020 at 6:00PM

Sign-In Sheet

Name	Address	Phone	Email
MIKE PATEL	4501 N. HWY 89	928-527-6972	
RICK THORNSLEY	9095 BLUE RIDGE FLAG	928-699-3055	
ROBERT E GRAY	4412 LYNCH AVE	928-699-2786	
Jim + Timi Brooks	5301 Tellis Trail	253-350-8400	
Douglas Miller	42182 N 105th St	612 710 8899	
DAVID SWAIN		928-600-4012	
Vinthe Danapalan		928 907 3267	

Highway 89 & Cummings
SWI Project #17113
Neighborhood Meeting Questions
Monday, January 6, 2020
Flagstaff Subaru

QUESTION/COMMENT	ANSWER
Presentation officially started at 6:00pm.	
What is the annexation procedure?	The annexation procedure requires to host two neighborhood meetings, prepare a citizen participation plan, submit to the City for review, and attend the P&Z and City Council meetings.
Why did the City not think there would be a large turnout for this first neighborhood meeting?	Us and the City did not anticipate a large turnout because this project does not involve affordable or student housing, which has been a popular subject among the community as of lately.
Is Highway 89 not owned by ADOT?	The City of Flagstaff maintains the roadway. Therefore, the plans will not need to be reviewed by ADOT. It will only be reviewed and approved through the City.
Is the City of Flagstaff ok with the driveways on Highway 89?	The plans have already gone through several design iterations and submittals to the City and currently meet code. There are currently three thru-lanes in both directions on Highway 89, and the proposed driveways do not interfere with the existing median.
Can you provide more explanation on the existing building on the parcel to be annexed?	There is an existing abandoned car stereo building on the subject parcel to be annexed.
What are the extents of the overall project?	The project limits are from the existing Pizza Hut at the intersection of Cummings and Highway 89 to the existing Sounds Good building. The project will terminate before the ADOT Motor Vehicle Service Center.
What are the existing utility connections to the building?	The existing building currently has a water connection to the City water main in Lynch.
What will be the new water connections?	The proposed Chipotle will have a new water connection off of the water main in Lynch.
Why is the water connection not grandfathered into this parcel?	Whenever there is a change in use, it requires a new water connection. Annexation of the parcel is required in order for the proposed development on this parcel to connect to the City utilities. This parcel is also part of a

	<p>holistic project with shared parking and access and would only work with an annexation. The parcel can remain as part of the County; however, it would be extremely difficult to develop.</p>
<p>What are the other buildings, and how are they affiliated with the Chipotle?</p>	<p>The overall project will also include a Dunkin Donuts, which will not have indoor seating, and a Verizon, which will utilize the existing Pizza Hut building. The project will have shared parking and access.</p>
<p>How many parking spots will be proposed? Will the parking for these proposed developments take over neighborhood parking?</p>	<p>There are 45 parking spaces proposed for this project. The number of spaces was calculated using the City of Flagstaff Zoning Code. The City also requires frontage edge improvements with this project; therefore, there is proposed parkway and sidewalk along the frontages of this project. The proposed edge improvement along Lynch will remove the existing parking along the edge of the roadway. This existing parking along Lynch is not technically legal. There is a lot of right-of-way on Lynch, and the roadway takes up only a portion of the right-of-way. People have taken advantage of this available space and parked their vehicles on the side of the roadway.</p>
<p>Will the Dunkin Donuts owner be the same owner of the Dunkin Donuts on Milton?</p>	<p>No, Aaron and his partner developed and have since sold the Dunkin Donuts on the Milton Road site. Another Dunkin Donuts franchisee will build and operate the one on US 89 & Cummings.</p>
<p>What is next in the process?</p>	<p>After this meeting, we will need to prepare a citizen participation plan that summarizes this meeting, submit the annexation package for the City’s review, host a second neighborhood meeting (if necessary), attend the P&Z and City Council meetings, annex the parcel, and proceed to construction plans.</p>
<p>Does a change in use not dictate a rezone or CUP?</p>	<p>State law dictates the requirements for the annexation process. A rezone happens in conjunction with the annexation process.</p>
<p>Is this parcel not subject to be annexed?</p>	<p>The City is in the process on cleaning up all “county islands”. As stated earlier, this parcel does not technically need to be annexed; however, it would be extremely difficult to develop if it was not annexed. Some projects</p>

	have a pre-annexation agreement if the parcel cannot be annexed.
Who purchased the J. Douglas property?	We do not know specifically who purchased the property. The only information we know is that the parcel was recently sold. KFH has discussed possible acquirement of the parcel; however, no action has been taken.
How quickly will construction begin?	We plan to go at-risk with construction documents and break ground in May 2020. We anticipate four months of construction. Dunkin Donuts will be responsible for the construction of their building and will be on a land lease.
Does KFH own any other businesses in town?	The Milton property has been sold and KFH does not own any other properties in Flagstaff.
This looks like a good project.	Thank you for your feedback.
Meeting adjourned at 7:00pm.	



Shephard ▲ Wesnitzer, Inc.

To City ✓ 2020

Lynch * Cummings
Hwy 89

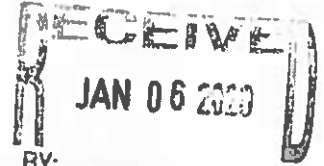
110 West Dale Avenue
Flagstaff, AZ 86001

928.773.0354

928.774.8934 fax

www.swiaz.com

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BY: _____
December 13, 2019

Dear Neighbor,

KFH Flagstaff Cummings II LLC (KFH) would like to invite the surrounding neighbors to a Neighborhood Meeting to discuss the annexation application that will be submitted for a parcel of land that is currently located within Coconino County at 4409 N. Highway 89, which is near the intersection of N. Cummings Street and Highway 89. The meeting and presentation will be held on **Monday, January 6, 2020 at 6 pm at Flagstaff Subaru, 4910 E. Marketplace Drive, Flagstaff, AZ 86004** to discuss the annexation of this property.

The annexation application is specifically for APN 113-27-027B (±0.32 acres). KFH has the intention of building a restaurant on the subject property, which is currently located within Coconino County CH-10,000 zone. KFH would like to annex this county parcel into the City limits in order to construct the restaurant as part of an overall development that is already within City limits. The proposed city zoning district is Highway Commercial (HC).

The plan sheets submitted in association with the Site Plan and attached herein reflect the limits of the overall project. The parcel to be annexed is a part of an overall project that is called Highway 89 & Cummings and will consist of three proposed commercial buildings. The net acreage of the project after right-of-way dedication to the City of Flagstaff for the future full-build out of N. Highway 89 is approximately 0.31 acres. Access to the site will be provided by a ~~new~~ full access driveway and an exit driveway on N. Highway 89.

Handwritten: -NO ✓

Project material will be available for review starting at 6:00 pm with a presentation starting shortly after followed by a question and answer session. This will allow any neighborhood concerns to be identified and addressed prior to the project's public hearing before the City Planning and Zoning Commission. Concerns raised will be reported to the City Planning Department.

Handwritten: No No No

We hope to see you there. If you are unable to attend, please provide comments in the space below and mail to the developer's representative:

Mr. Stephen Irwin
Shephard-Wesnitzer, Inc.
110 West Dale Avenue
Flagstaff, AZ 86001
(928) 773-0354
sirwin@swiaz.com

Please see below for the City of Flagstaff representative contact information:

Mr. Neil Gullickson
Planning Development Manager
211 West Aspen Avenue
Flagstaff, AZ 86001
(928) 213-2614
NGullickson@flagstaff.gov

Sincerely,
Shephard – Wesnitzer, Inc.



Stephen C. Irwin, P.E.
Project Engineer



Shephard ▲ Wesnitzer, Inc.

110 West Dale Avenue
Flagstaff, Arizona 86001

928.773.0354 ph
928.774.8934 fx

info@swiaz.com
www.swiaz.com

SEDONA

COTTONWOOD

FLAGSTAFF

PRESCOTT

REVISION:	DATE:
△ COF COMMENTS	12-23-19

GENERAL PROJECT DATA

PROJECT DESCRIPTION: THE PROPOSED DEVELOPMENT CONSISTS OF TWO (2) SEPARATE PARCELS. PARCEL 113-27-027B IS CURRENTLY A COUNTY ISLAND. THE PARCEL IS PROPOSED TO BE ANNEXED INTO THE C.O.F. AND WILL THEN BE COMBINED WITH PARCEL 113-27-029B TO CREATE ONE CONTIGUOUS PARCEL. PROPOSED NEW DEVELOPMENT WILL THEN CONSIST OF THE REMODEL OF THE EXISTING PIZZA HUT BUILDING TO BECOME A NEW VERIZON STORE. NEW CONSTRUCTION OF A DRIVE-THRU ONLY DUNKIN DONUTS, AND THE CONSTRUCTION OF A NEW CHIPOTLE RESTAURANT w/ A DRIVE-THRU.

SITE ADDRESS: 4409 & 4429 US HWY 89 FLAGSTAFF, AZ

PROPERTY OWNER: KFH FLAGSTAFF CUMMINGS II, LLC

ARCHITECT: SMITH ARCHITECTS, inc
1503 S. YALE ST., SUITE 200
FLAGSTAFF, AZ 86001
CONTACT: RYAN SMITH
PH: 928.779.5993

APN: 113-27-029B & 113-27-027B
(113-27-027B IS A COUNTY ISLAND THAT WILL PROCEED THROUGH THE ANNEXATION PROCESS)

ZONING DISTRICT: HC (HIGHWAY COMMERCIAL)

SITE AREA: 27,442 S.F. (113-27-029B)
+14,026 S.F. (113-27-027B)
41,468 S.F. (1.95 ACRES)

SETBACKS: FRONT: 0'-0"
SIDE (INTERIOR): 0'-0"
SIDE (EXTERIOR): 10'-0"
REAR: 0'-0"

GARBAGE COLLECTION: (2) NEW DOUBLE DUMPSTER ENCLOSURES

F.A.R.: 3.0: 3.0 x 41,468 S.F. = 124,404 S.F.

BUILDING HEIGHT: MAX. ALLOWED HEIGHT: 60'
MAX. PROPOSED HEIGHT: 18'

RE-DEVELOPMENT AT
HWY 89 & CUMMINGS
4409 N. US HWY 89
FLAGSTAFF, ARIZONA

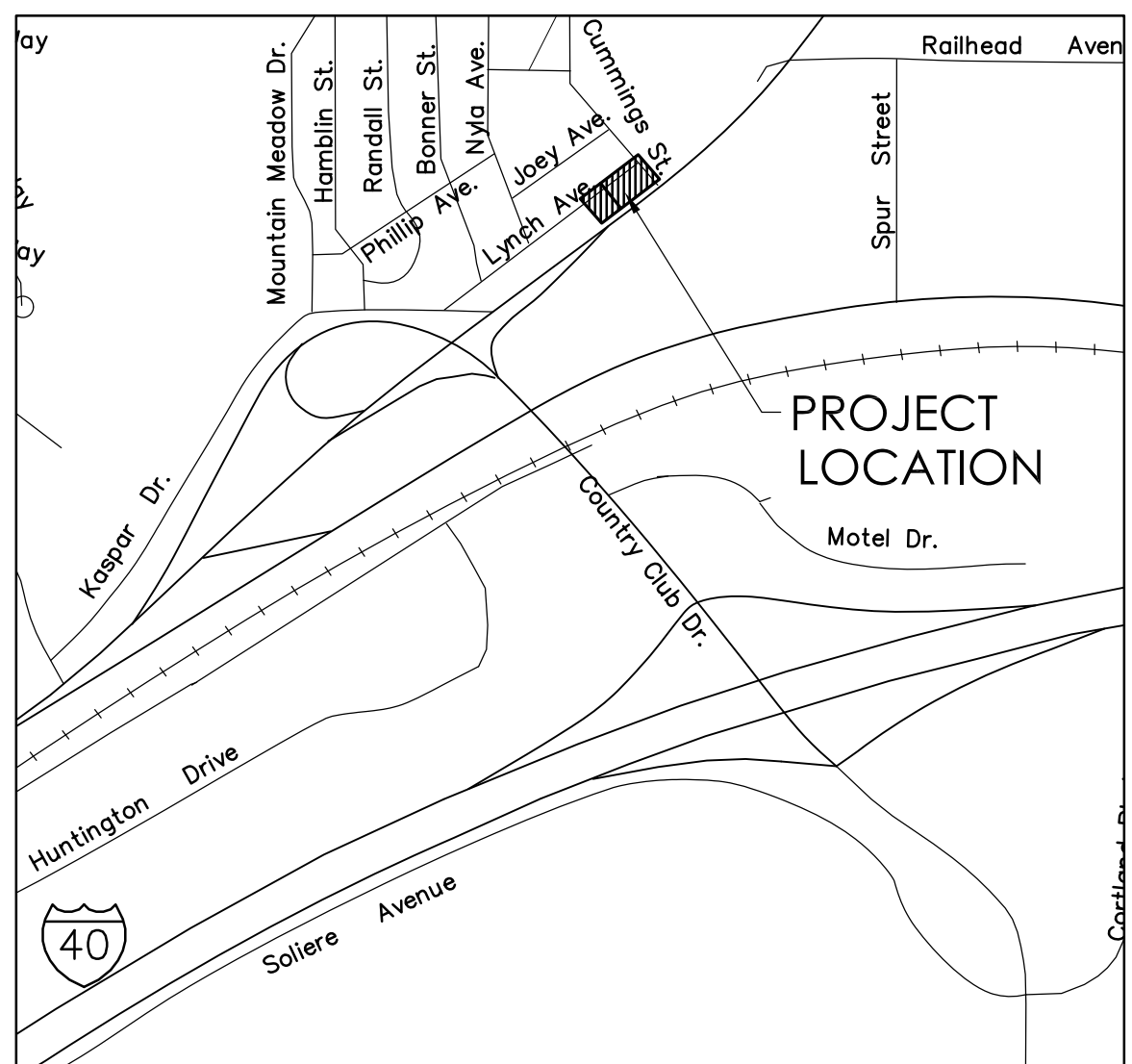
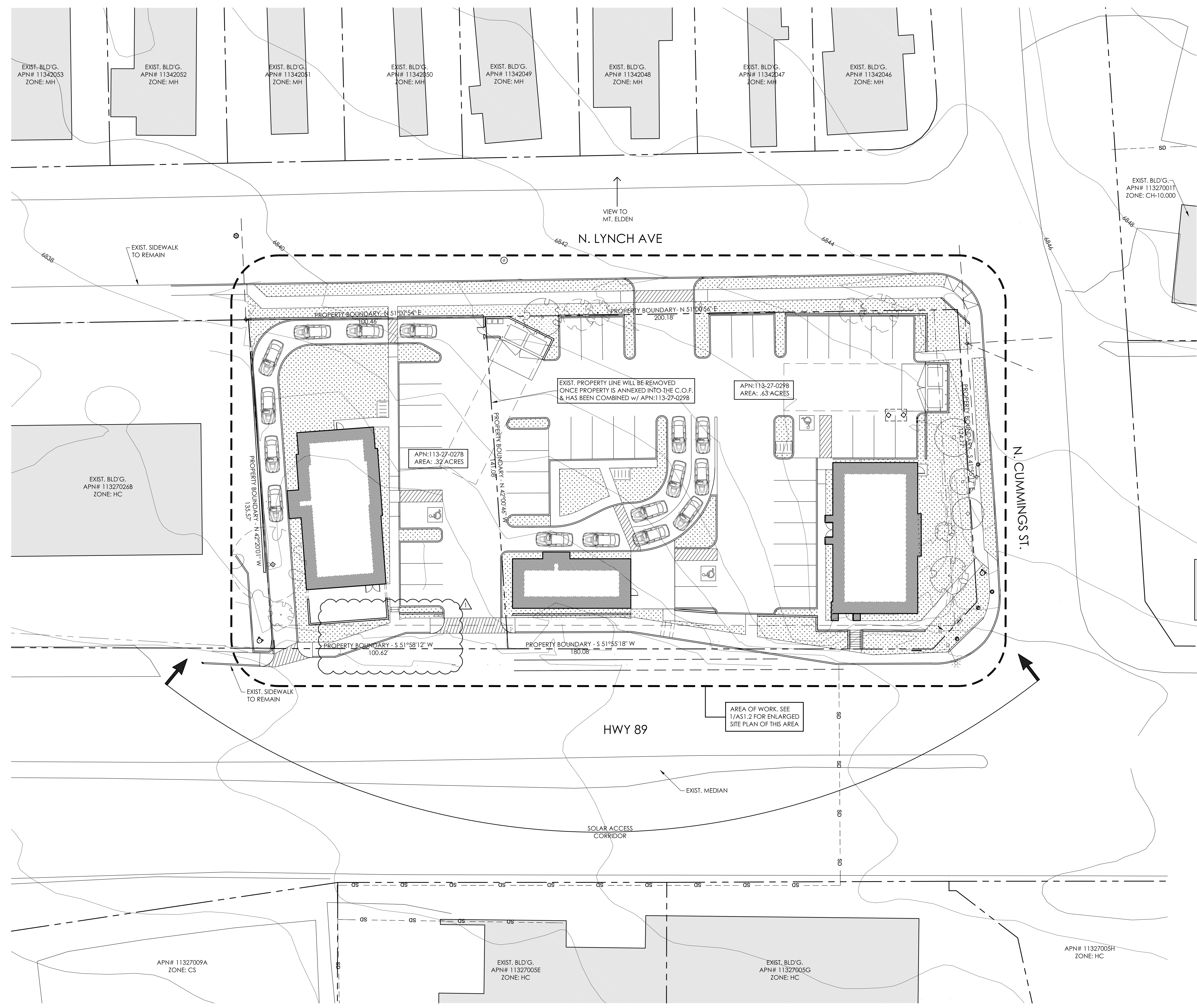
smith ARCHITECTS inc.
ARCHITECTURE | PLANNING | COLLABORATION
PH: 928.779.5993
www.smith-arc.com
1503 S. YALE STREET, SUITE 200
FLAGSTAFF, ARIZONA 86001

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DRAWN BY:	REVIEW BY:
K.CHILDERS	R.SMITH
PROJECT NO.:	
1907	
DATE:	
OCTOBER 29, 2019	
SHEET:	
AS1.1	

AS1.1
OVERALL SITE PLAN
N.T.S.



1 OVERALL SITE PLAN
AS1.1 SCALE: 1"=20'
NORTH

FILE: FILENAME.dwg LAST UPDATE: 10-29-19 LAST PLOT: 10-29-19

REVISION:	DATE:
△ COF COMMENTS	12-23-19

RE-DEVELOPMENT AT
HWY 89 & CUMMINGS
 4409 N. US HWY 89
 FLAGSTAFF, ARIZONA

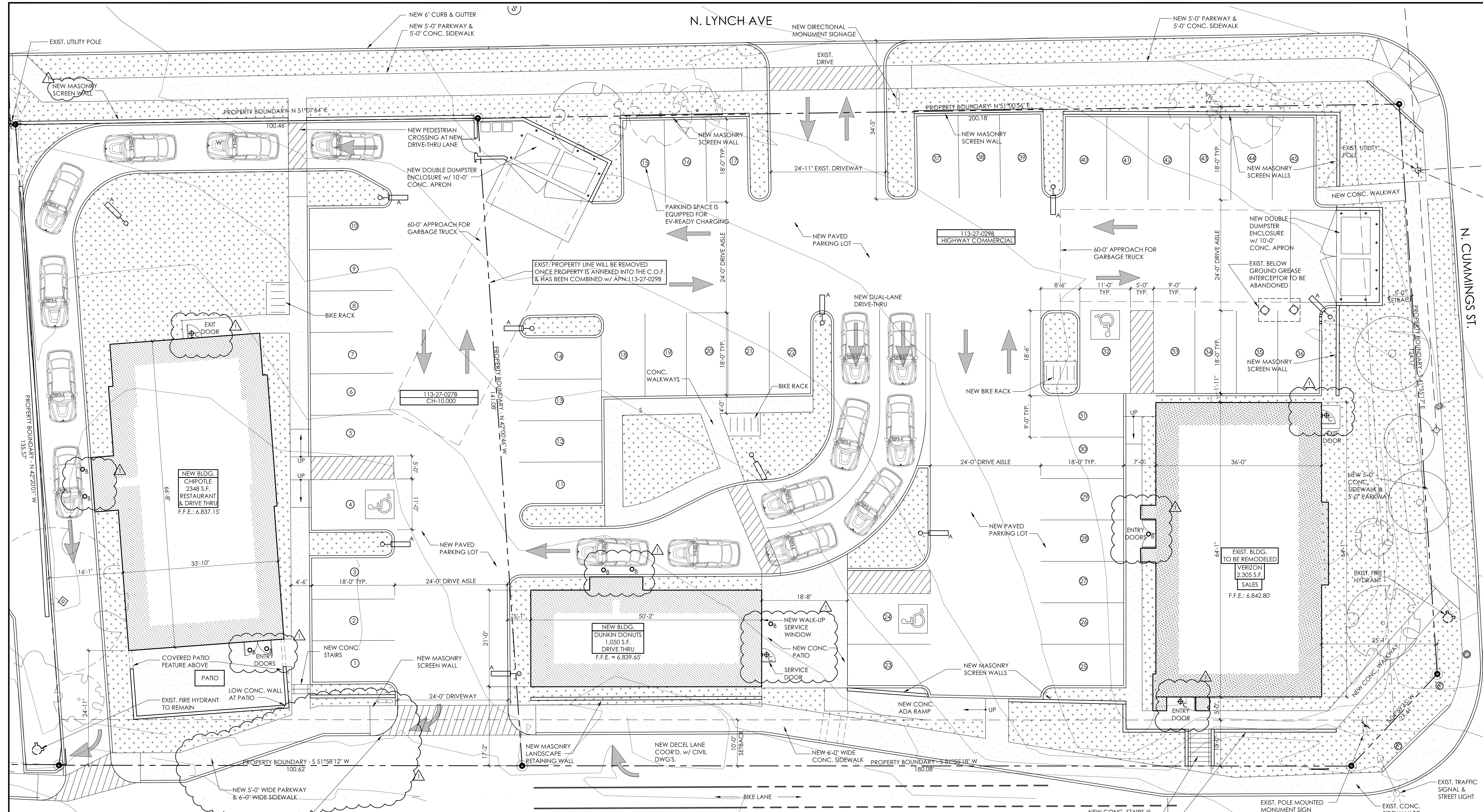
smith ARCHITECTS inc.
 ARCHITECTURE | PLANNING | COLLABORATION
 1503 S. YALE STREET, SUITE 200
 FLAGSTAFF, ARIZONA 86001
 PH: 928.779.5993
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DRAWN BY: K.CHILDERS
REVIEW BY: R.SMITH
PROJECT NO.: 1907
DATE: OCTOBER 29, 2019
SHEET:

AS1.2
 ENLARGED SITE PLAN



OUTDOOR LIGHTING LEGEND:

FIXTURE	SYMBOL	# UNITS	WATTS	LAMP	SHIELDING	FIXTURE TYPE
A	⊙	10	170	NSALED	FULL	POLE MOUNT PARKING LOT FIXTURE
B	⊙	8	12	LED	FULL	RECESSED CANISTER FIXTURE
C	⊙	4	22	NSALED	FULL	WALL MOUNT SECURITY FIXTURE

NOTE: REFER TO ATTACHED "APPLICATION FOR OUTDOOR LIGHTING PERMIT" FOR LUMEN CALCULATIONS

PARKING CALCULATIONS:

PARKING REQUIRED:	VERIZON: 2,305 S.F. RETAIL: 1 SPACE PER 300 SQ FT.:	8 SPACES
	DUNKIN DONUTS: 1,050 S.F. RESTAURANT: 1 SPACE PER 300 S.F.; DRIVE-THRU LANE QUEUING: 3 EMPLOYEES:	4 SPACES (9 VEHICLES) 3 SPACES
	CHIPOTLE: 2,348 S.F. RESTAURANT: 1 SPACE PER 100 SQ FT.; DRIVE-THRU LANE QUEUING: 6 EMPLOYEES:	23 SPACES (7 VEHICLES) 6 SPACES 44 SPACES
PARKING REDUCTIONS AVAILABLE:	BICYCLE: 12 BICYCLE SPACES PROVIDED MAX. 5% REDUCTION (44 x .05 = 2.2) (2) PARKING SPACE REDUCTION	
	TRANSIT: 10% WITHIN 1/4 MILE OF A BUS STOP (44 x .10 = 4.4) (4) PARKING SPACE REDUCTION	
	SPACE REDUCTION	44 SPACES - 6 SPACES TOTAL REQUIRED: 38 SPACES
PARKING PROPOSED:	STANDARD VEHICLE SPACES ACCESSIBLE VEHICLE SPACES TOTAL: BICYCLE:	42 SPACES 3 SPACES 45 SPACES 12 SPACES

SITE PLAN LEGEND:

	PERIMETER OF NEW BLD'G. FOOTPRINT
	NEW CONCRETE WALKWAYS OR SLABS
	NEW LANDSCAPE AREA, COORD. w/ LANDSCAPE DRAWINGS
	EXIST. TREE TO REMAIN
	EXIST. TREE TO REMAIN
	EXIST. TREE TO BE REMOVED

ENLARGED SITE PLAN
 AS1.2 SCALE: 1"=10'
 NORTH

SITE PLAN NOTES:

- REFER TO ATTACHED CIVIL ENGINEERING DRAWINGS FOR ALL UTILITY, GRADING & DRAINAGE, AND PUBLIC IMPROVEMENT INFORMATION.
- REFER TO ATTACHED LANDSCAPE ARCHITECTURAL DRAWINGS FOR ALL PROPOSED LANDSCAPING AND IRRIGATION INFORMATION.
- ALL PROPOSED EXISTING AND NEW SITE SIGNAGE WILL BE DESIGNED BY A SIGNAGE VENDOR AND PERMITTED SEPARATELY.

FILE: 1907_ASI_2.dwg LAST UPDATE: 12-23-19 LAST PLOT: 10-29-19

REVISION:	DATE:
△ COF COMMENTS	12-23-19

NEW BUILDING FOR
CHIPOTLE MEXICAN GRILL
 4429 N. HIGHWAY 89
 FLAGSTAFF, ARIZONA

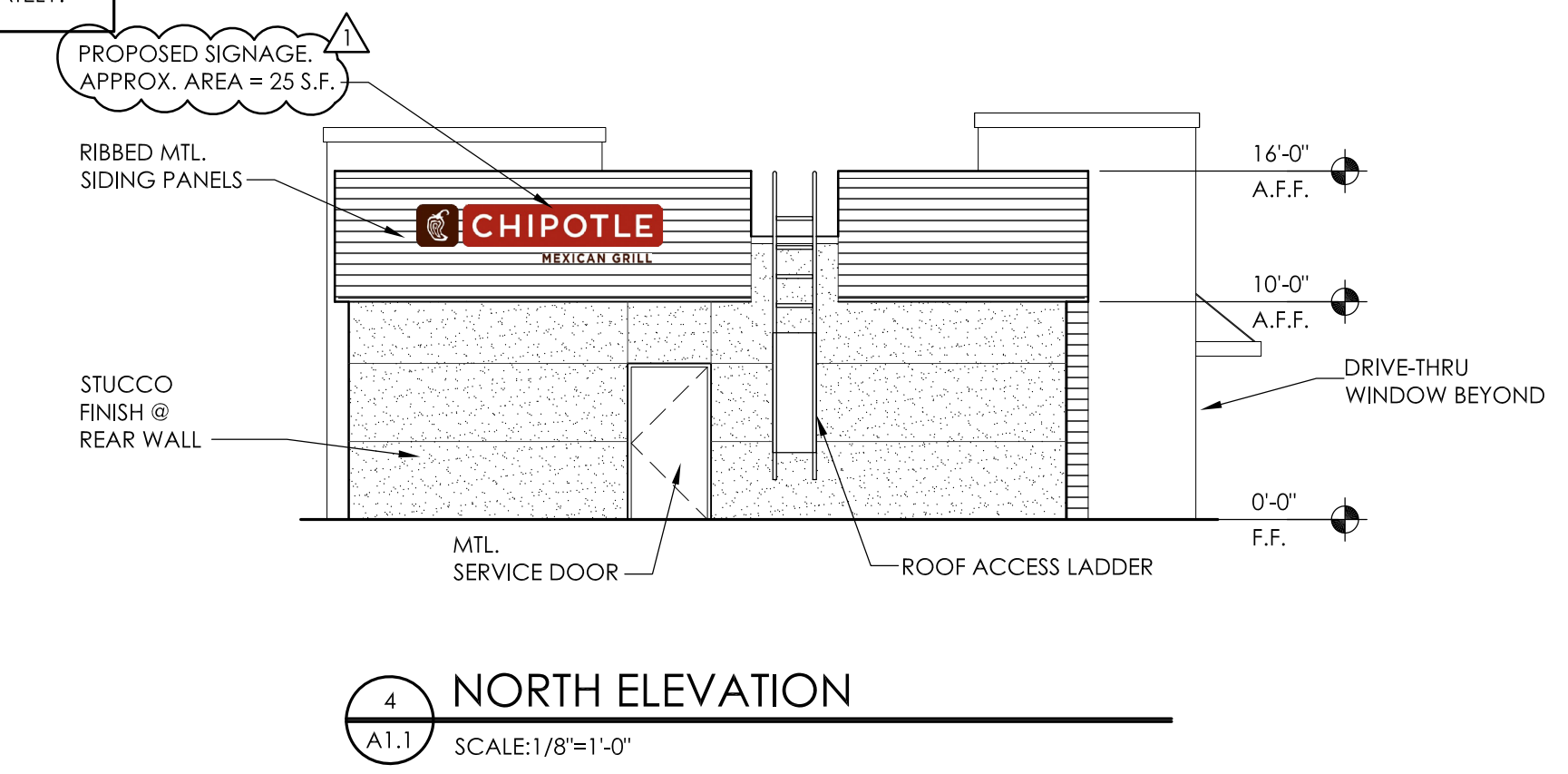
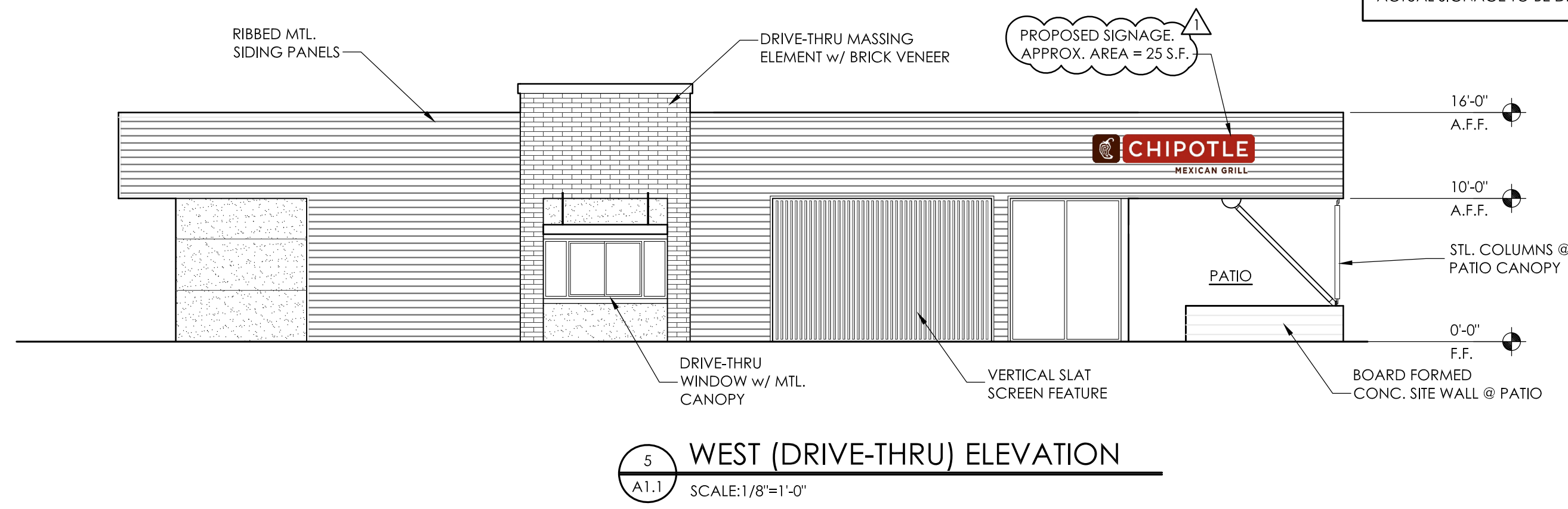
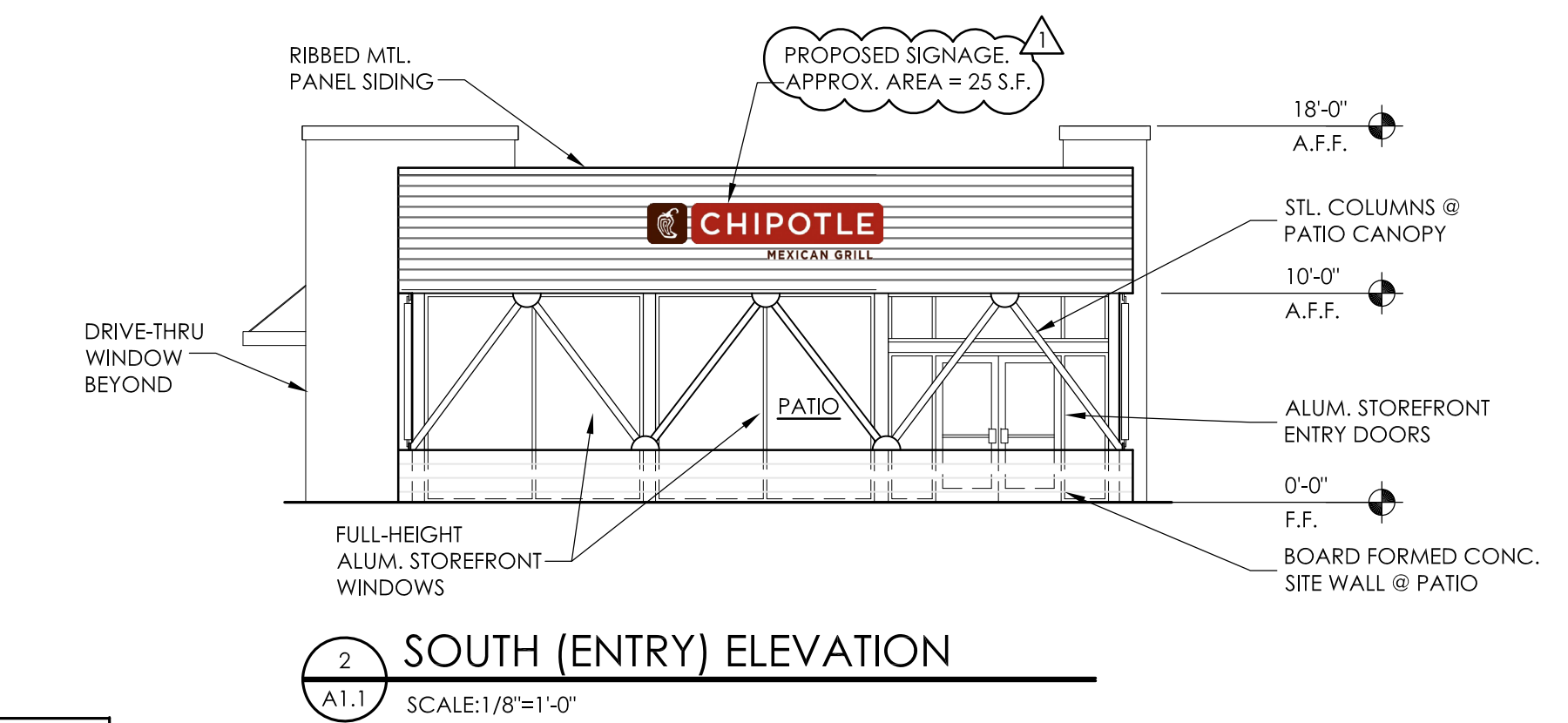
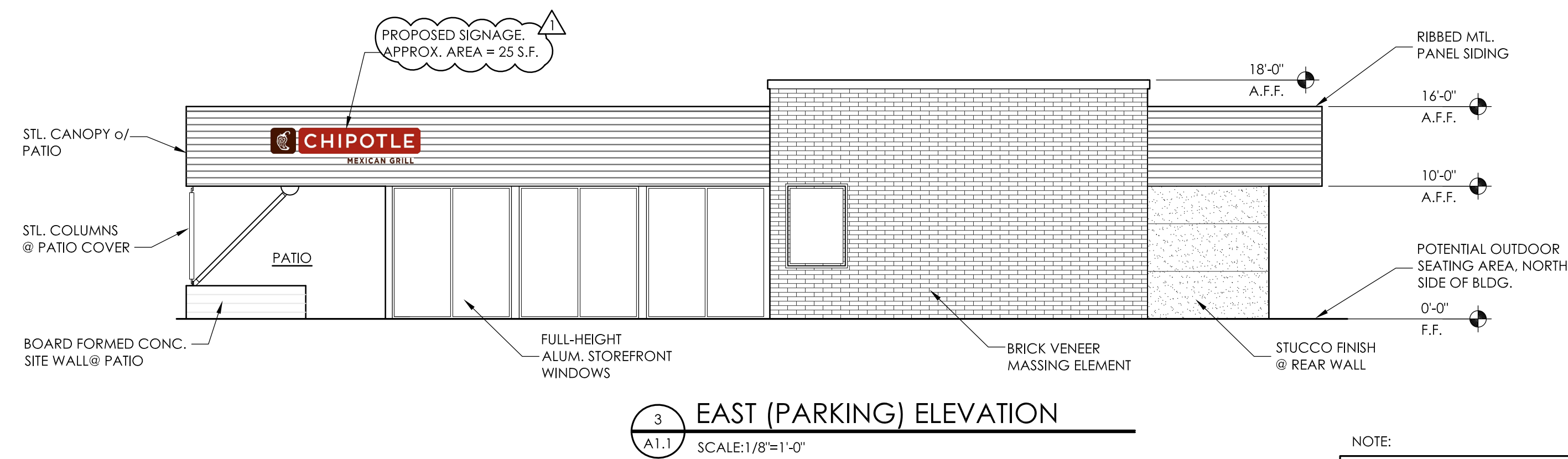
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 PH: 928.779.5993
 FX: 928.774.0785

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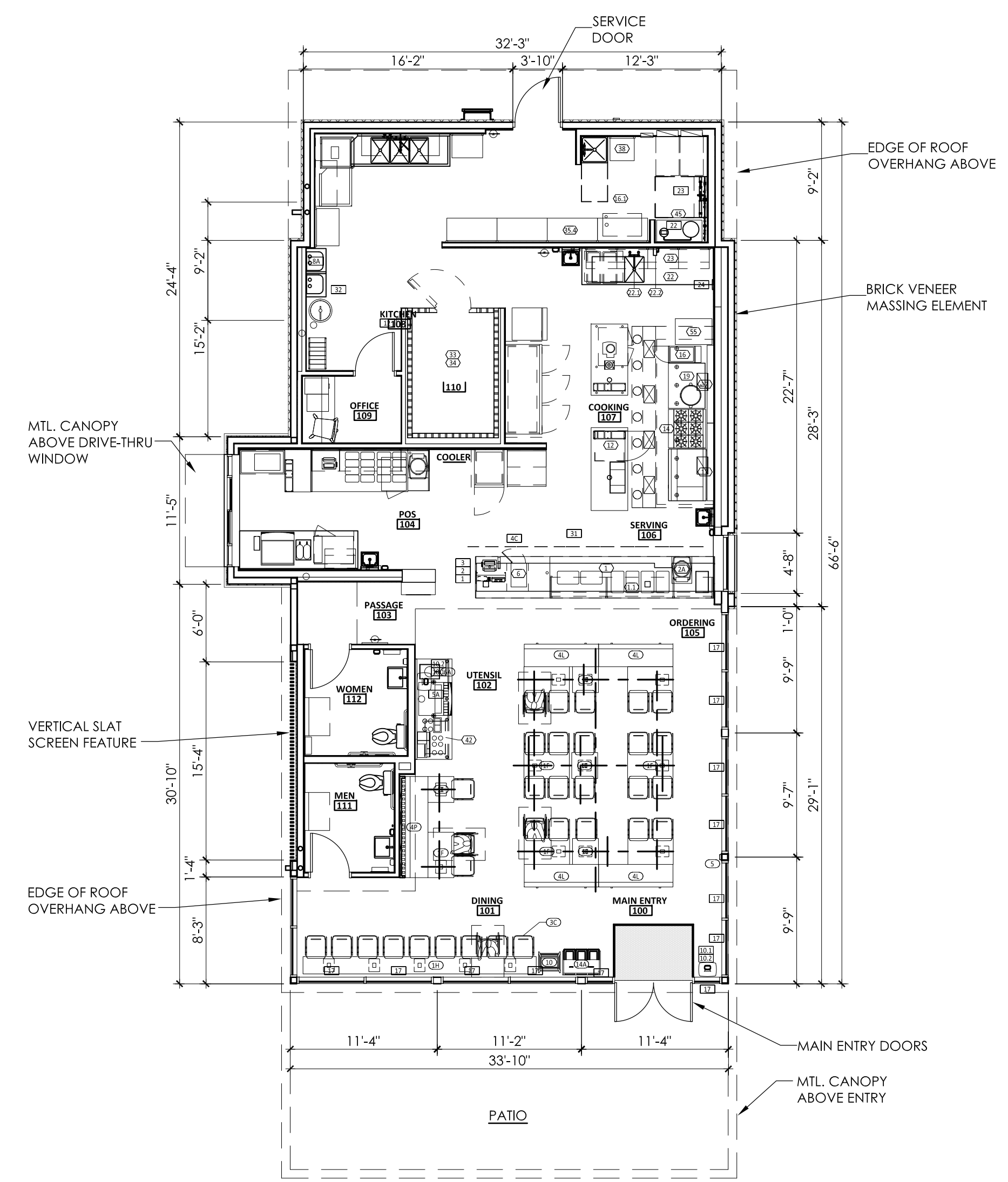
DRAWN BY: R.SMITH REVIEW BY: R.SMITH
 PROJECT NO.:
 1709
 DATE:
 OCTOBER 29, 2019
 SHEET:

A1.1
 CHIPOTLE
 PRELIMINARY ELEVATIONS
 PRELIMINARY FLOOR PLAN



NOTE:
 SIGNAGE SHOWN IS FOR REPRESENTATION PURPOSES ONLY.
 ACTUAL SIGNAGE TO BE DESIGNED & PERMITTED SEPARATELY.

EXTERIOR FINISH SCHEDULE	
MATERIAL	DESCRIPTION/ COLOR
	MFR: MBCT MASTERLINE 16 COLOR: "KNIGHT'S ARMOR" PPG 1001-6 LVR: 11
	MEDIUM TEXTURED FINISH - PRIMED FOR PAINT COLOR: "COVENTRY GRAY" BENJAMIN MOORE HC-169 LVR: 48.35
	MFR: "QUICK-BRIK" 2" BRICK VENEER SIZE: 4" x 16" COLOR: "WILKESBORO"
	WOOD COMPOSITE DECKING (TURNED ON SIDE) w/ 1" SPACING BETWEEN BOARDS MFR: "TREX" OR SIMILAR COLOR: "TREE HOUSE" - EARTH TONE COLLECTION
	CAST-IN-PLACE, BOARD FORMED CONCRETE NATURAL CONCRETE COLOR STEEL COLUMNS TO MATCH "KNIGHT'S ARMOR" PPG 1001-6
	FIBER CEMENT TRIM BOARD - PRIMED FOR PAINT COLOR: "FOG" PPG 1010-2 LVR: 67
	STEEL AWNING w/ ROD TIE-BACKS - PRIMED FOR PAINT COLOR: "KNIGHT'S ARMOR" PPG 1001-6 LVR: 11
	ALUMINUM STOREFRONT SYSTEM: "ARCADIA" OR SIMILAR COLOR: DARK BRONZE ANODIZED FINISH



FILE: 1907_A1.1.dwg LAST UPDATE: 12-23-19 LAST PLOT: 04-19-19

REVISION:	DATE:
△ COF COMMENTS	12-23-19

NEW BUILDING FOR
DUNKIN DONUTS
 4429 N. HIGHWAY 89
 FLAGSTAFF, ARIZONA

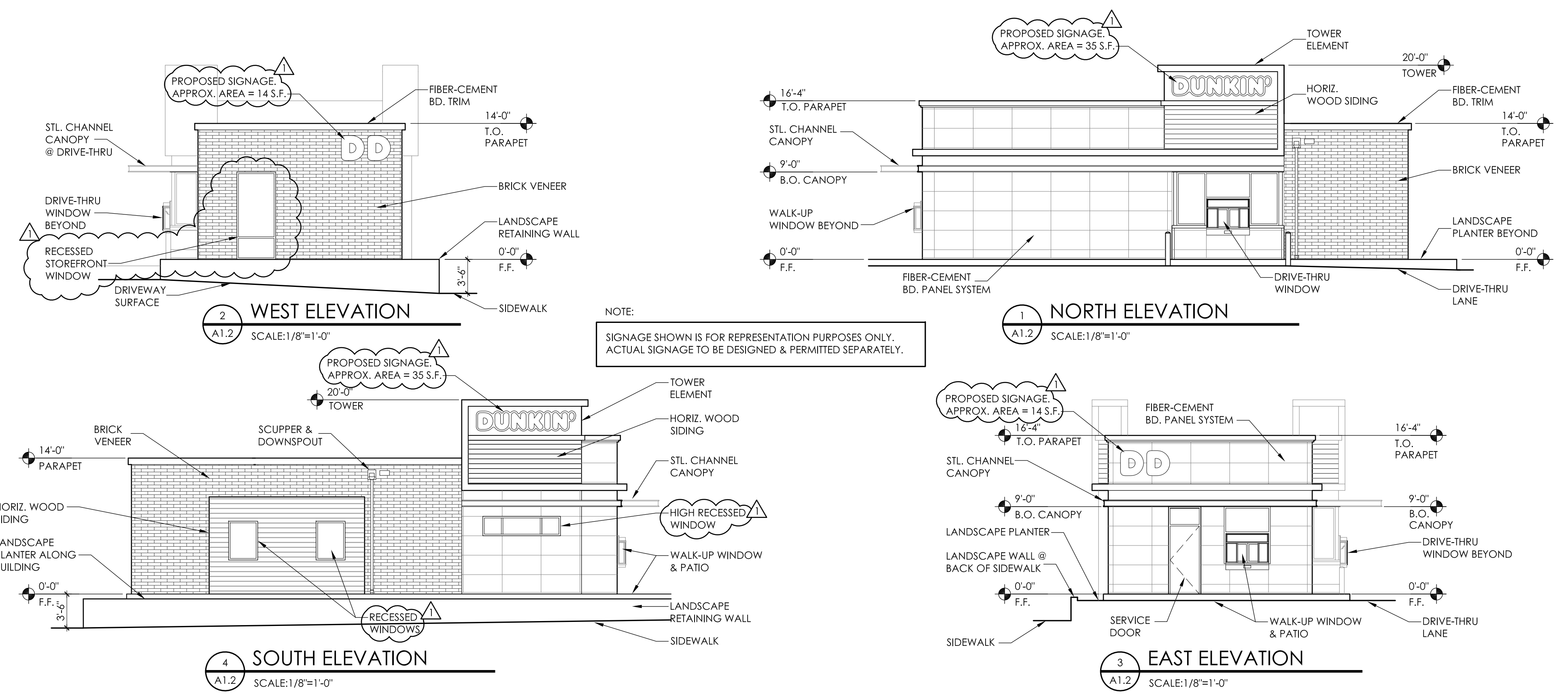
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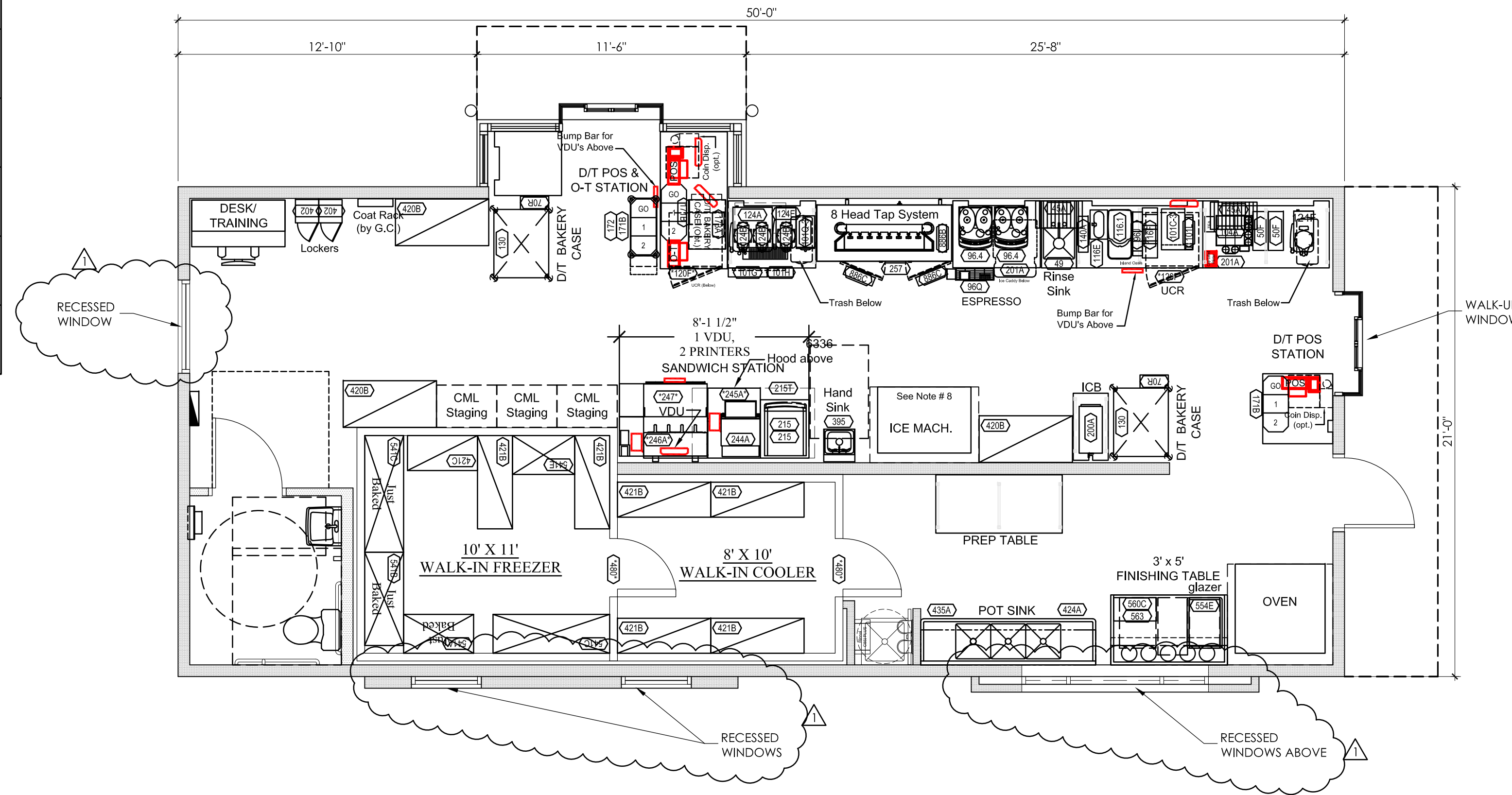
DRAWN BY:	REVIEW BY:
R.SMITH	R.SMITH
PROJECT NO.:	1709
DATE:	DECEMBER 16, 2019
SHEET:	A1.2

A1.2
 DUNKIN DONUTS
 PRELIMINARY ELEVATIONS
 PRELIMINARY FLOOR PLAN



EXTERIOR FINISH SCHEDULE

MATERIAL	DESCRIPTION/ COLOR
	MFR: ALLURA 2' x 4' FIBER CEMENT PANELS SMOOTH TEXTURE COLOR: "FOG" PPG 1010-2 LRV: 67
	MFR: QUIK-BRIK 2" BRICK VENEER SIZE: 4" x 16" COLOR: "WILKESBORO"
	WOOD COMPOSITE DECKING MFR: TREX OR SIMILAR COLOR: "TREE HOUSE" - EARTH TONE COLLECTION
	FIBER CEMENT TRIM BOARD - PRIMED FOR PAINT COLOR: "FOG" PPG 1010-2 LRV: 67
	MFR: MBCI OR SIMILAR COLOR: "BLACK MAGIC" PPG 1001-7 LRV: 4
	STEEL CHANNEL AWNING - PRIMED FOR PAINT COLOR: (DUNKIN' - ORANGE) PANTONE 165 LRV: 30
	ALUMINUM STOREFRONT SYSTEM: 'ARCADIA' OR SIMILAR COLOR: DARK BRONZE ANODIZED FINISH

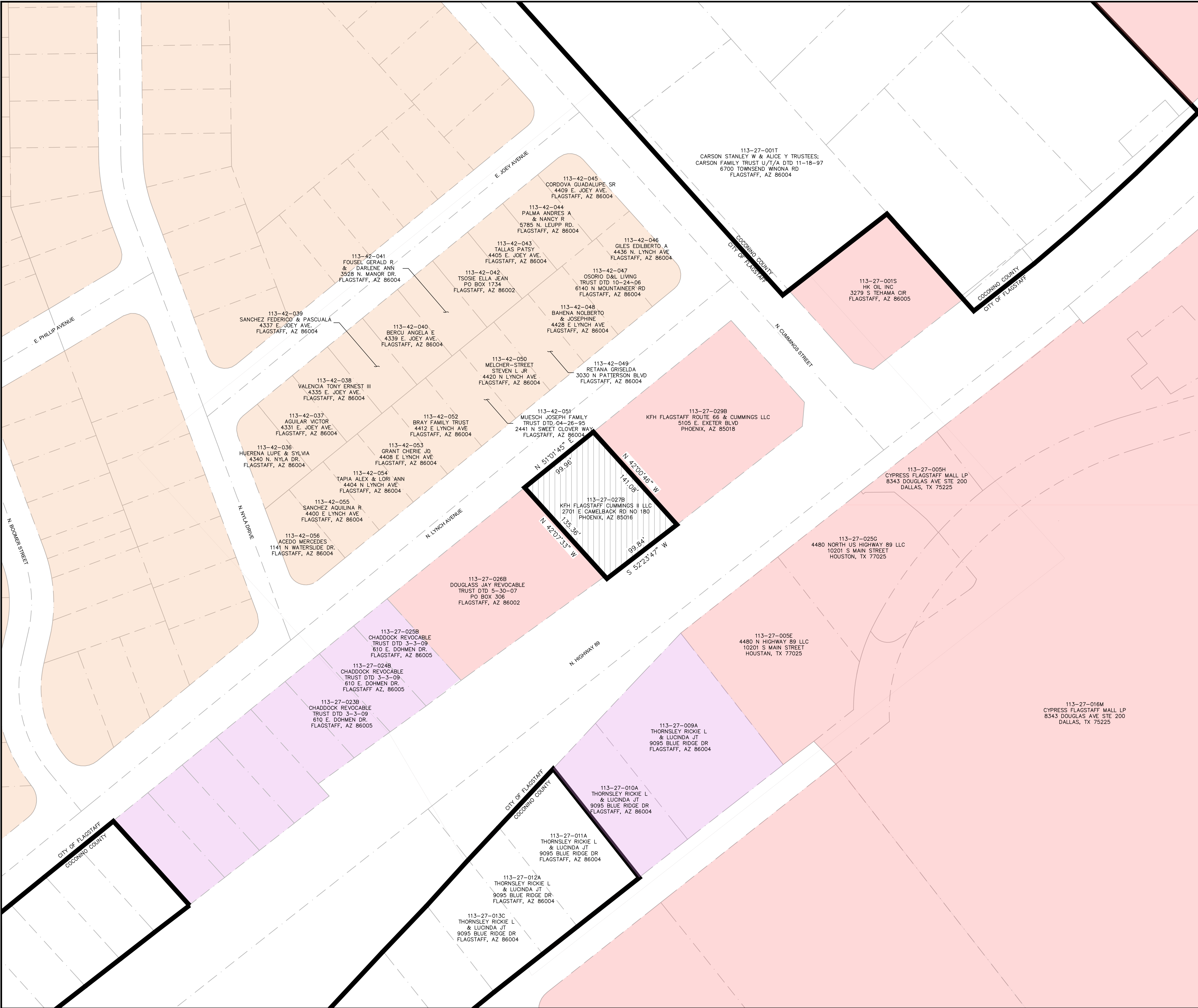


5 PRELIMINARY FLOOR PLAN
 SCALE: 1/4"=1'-0"
 NORTH

FILE: 1907_A1.1_DUNKINGWG LAST UPDATE: 12-23-19 LAST PLOT: 12-14-19

PLOTTED: Dec 20, 2019 - 2:44pm

FILE: P:\2019\1905\DRAWINGS\SITE PLAN\19051-ANNEXATION MAP.DWG CPHAM

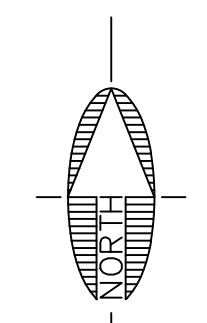


LEGEND

- PROPOSED PORTION OF PARCEL 112-01-001C TO BE ANNEXED INTO CITY OF FLAGSTAFF
 - EXISTING CITY LIMITS LINE
 - EXISTING PROPERTY LINE
- ZONE TERMS**
- MH MANUFACTURED HOUSING
 - PF PUBLIC FACILITY
 - HC HIGHWAY COMMERCIAL
 - CS COMMERCIAL SERVICE
 - "CITY" CITY OF FLAGSTAFF
 - "COUNTY" COCONINO COUNTY

NOTES:

1. ANNEXED PROPERTY APN 113-27-027B WILL BE COMBINED WITH PARCEL APN 113-27-029B AFTER ANNEXATION PROCESS IS COMPLETED.



SCALE: 1" = 60'



PRELIMINARY

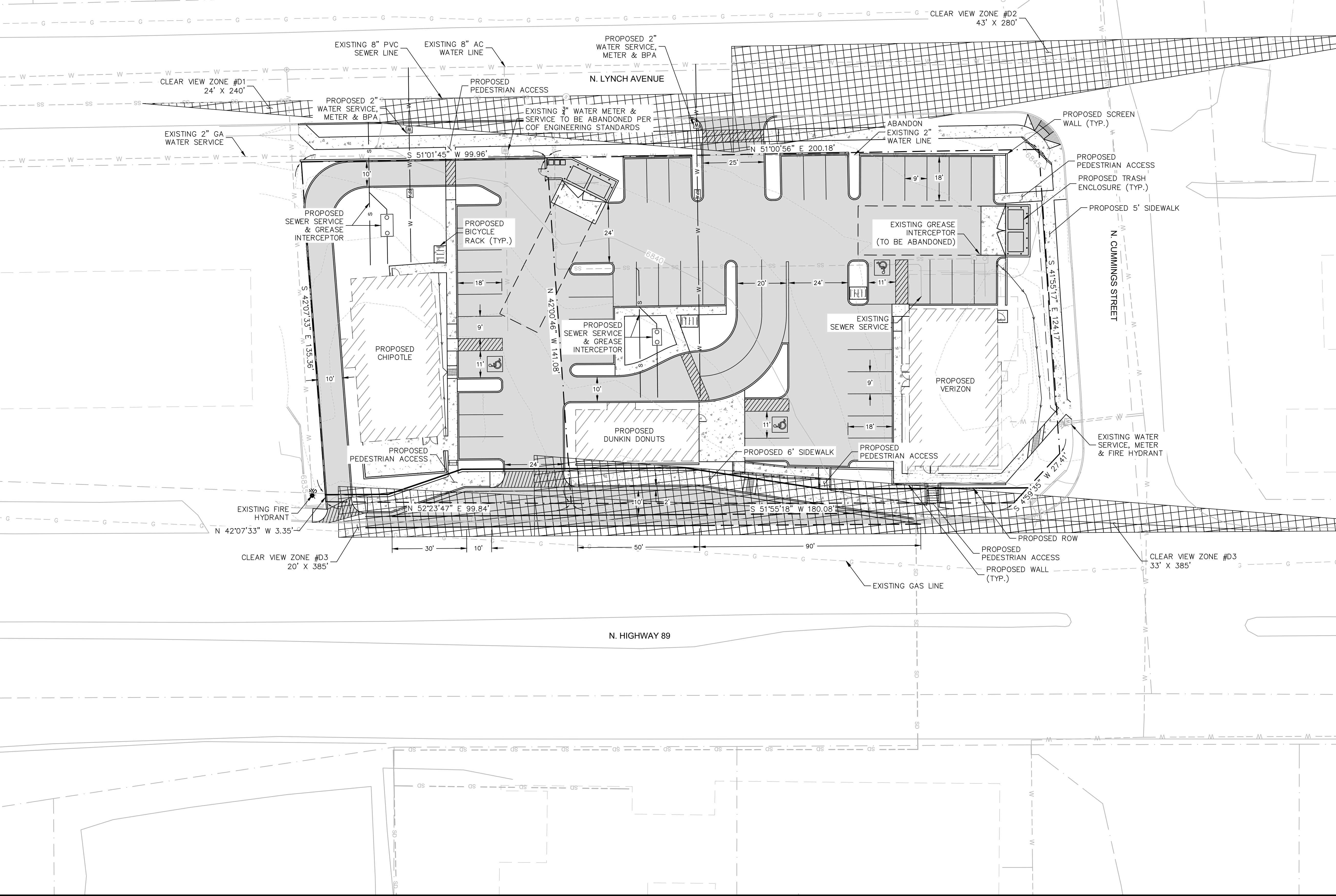
NOT FOR CONSTRUCTION, BIDDING OR RECORDING

C.O.F. #PZ-19-00055

ANNEXATION MAP													
JOB NO: 19051 DATE: DEC 19 SCALE: AS SHOWN DRAWN: CNP DESIGN: CNP CHECKED: SCI	110 W. Dole Avenue Flagstaff, AZ 86001 928.773.0354 928.774.8934 fax www.swigaz.com												
Shephard Wesnitzer, Inc.													
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DESCRIPTION	DATE	BY									DRAWING NO. AM01 SHT NO. OF 2 OF 5
NO.	DESCRIPTION	DATE	BY										

CLEAR VIEW ZONE CALCULATIONS											
ID #	MAJOR STREET	MANEUVER DIRECTION	DESIGN SPEED (VMAJOR)1	TIME GAP tg (unadjusted)2	GRADE ≤ 3%	ACTUAL GRADES	MULTIPLE LANE CROSSINGS	NO. OF LANES4	TIME GAP tg(adj)2	INTERSECTION SIGHT DISTANCE (ISD3)	STOPPING SIGHT DISTANCE (SSD)
D1	Lynch	Right	25	6.5	Yes	2%	No	1	6.5	240	155
D2	Lynch	Left	25	7.5	Yes	2%	No	1	7.5	280	155
D3	Hwy 89	Right	45	6.5	Yes	2%	No	1	6.5	385	155

- Notes:
- (1) The major road speed limits (VMAJOR in MPH) are based on existing conditions in the project vicinity.
 - (2) The time gap values, adjusted (tg (adjusted) in seconds) and unadjusted (tg (unadjusted) in seconds), are based on the current site plan and the AASHTO-Geometric Design of Highways and Streets Exhibits 9-54 and 9-57 for D1 and D2 and Exhibits 9-66 and 9-67 for M1. The first lane crossed does not warrant an adjustment to the time gap.
 - (3) The intersection site distance (ISD in feet) calculations are based on Equation 9-1 in the AASHTO-Geometric Design of Highways and Streets. Equation 9-1: $ISD=1.47 \cdot VMAJOR \cdot tg$
 - (4) The number of lanes crossed may include medians converted to equivalent lanes. The number of lanes provided in the table includes the first lane crossed.
 - (5) If the approach grade is greater than 3%, add 0.1 seconds for each percent grade.



- NOTES:
1. BIKE LANE STRIPING IS ONLY SHOWN TO DEMONSTRATE PROPOSED ROW IS WIDE ENOUGH TO ACCOMMODATE A FUTURE BIKE LANE.

FLAGSTAFF ARIZONA

HWY 89 & CUMMINGS

CIVIL SITE PLAN

JOB NO: 19051
 DATE: DEC 19
 SCALE: AS SHOWN
 DRAWN: CNP
 DESIGN: CNP
 CHECKED: SCI

110 W. Dole Avenue
 Flagstaff, AZ 86001
 928.773.0354
 928.774.8934 fax
 www.swi.coz.com

SWI
 Shephard Wesnitzer, Inc.

NO.	DESCRIPTION	DATE	BY

REVISIONS

Call out least two full working days before you begin excavation.

ARIZONA 811
 Arizona Blue Stakes, Inc.
 888 8-1-1 or 1-800-514-1111 (782-5348)

PRELIMINARY
 NOT FOR CONSTRUCTION,
 BIDDING OR RECORDING

DRAWING NO. SP01

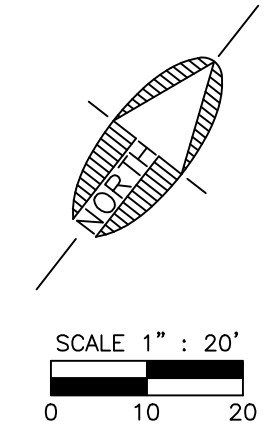
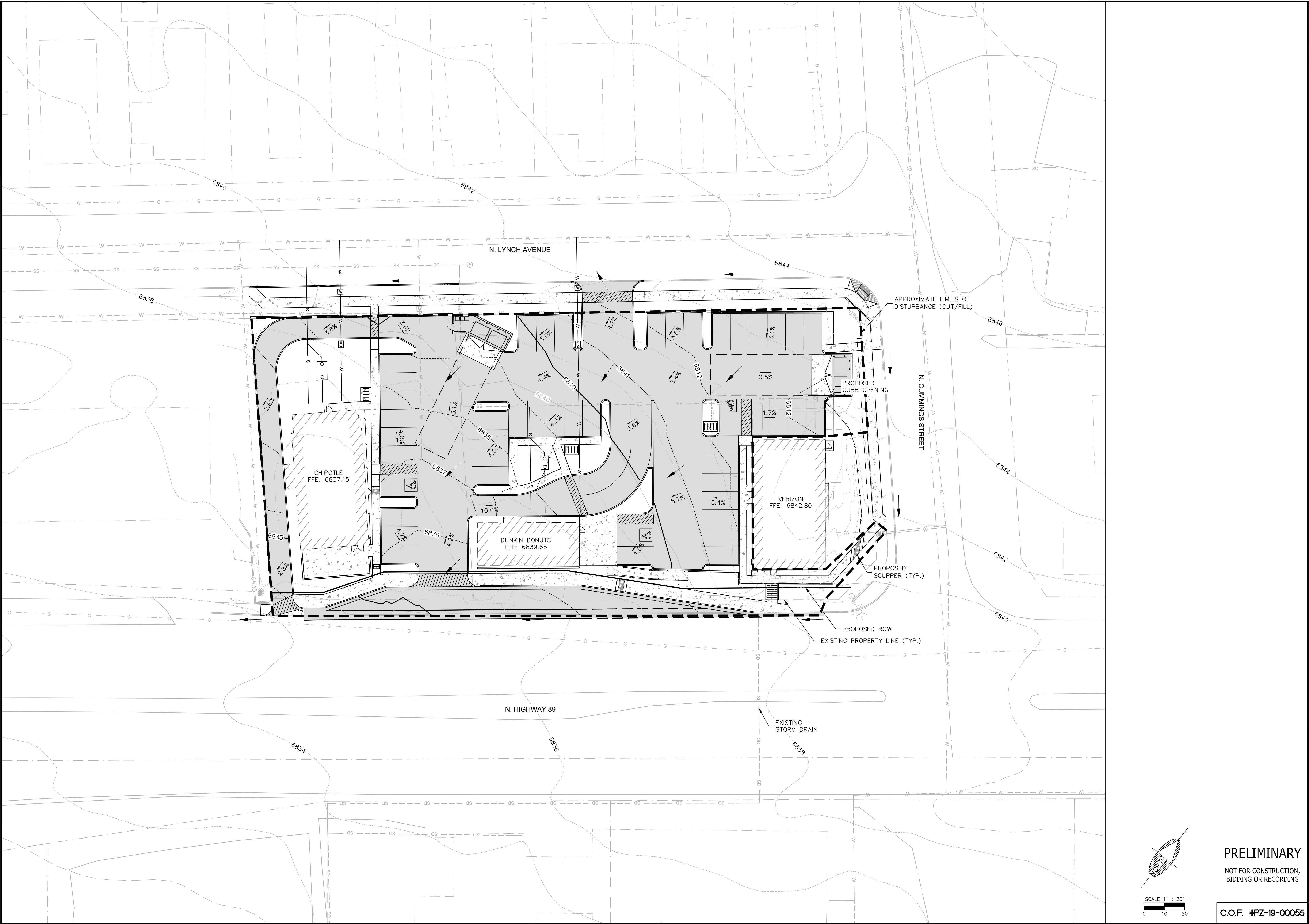
SHT NO. 3 OF 5

C.O.F. #PZ-19-00055

SCALE 1" = 20'



PLOTTED: Dec 20, 2019 - 2:45pm

FILE: P:\2019\1905\DRAWINGS\1905\1905-GRADING & DRAINAGE PLAN.DWG OPHAM



PRELIMINARY
 NOT FOR CONSTRUCTION,
 BIDDING OR RECORDING

C.O.F. #PZ-19-00055

JOB NO: 19051		DATE: DEC 19	SCALE: AS SHOWN	DESIGN: CNP	CHECKED: SCI
DATE: DEC 19		SCALE: AS SHOWN	DESIGN: CNP	CHECKED: SCI	
110 W. Dole Avenue Flagstaff, AZ 86001 928.774.8934 928.774.8934 fax www.swi2.com					
 Shephard Wesnitzer, Inc.					
REVISIONS	NO.	DESCRIPTION	DATE	BY	
Call out least two full working days before you begin excavation.  ARIZONA 811 Arizona One Stop 811 (928-5348) 808 811 or 1-800-544-1111 (928-5348)					
DRAWING NO. GD01					
SHT NO. 4		OF 5			

FLAGSTAFF
ARIZONA

HWY 89 & CUMMINGS

GRADING & DRAINAGE PLAN

PLOTTED: Dec 20, 2019 - 2:45pm

FILE: P:\2019\1905\DRAWINGS\SITE PLAN\19051 - DRAINAGE MAP.DWG (PHAM



Impervious Area & LID Analysis					
LID Required Depth (ft)					0.0833
Basin ID	Site Area (sf)	Existing Impervious Area (sf)	Proposed Impervious Area (sf)	Net Impervious Area (sf)	Required LID Volume (sf)
A1	41,328	38,001	32,775	-5,226	0
B1	39,636	36,387	31,774	-4,613	0
O1	4,657	4,083	2,000	-2,083	0
O2	6,465	4,228	3,947	-281	0

1. Drainage Basin A1 represents the gross parcel area, B1 represents the net parcel area, O1 represents the north offsite area, and O2 represents the south offsite area.
 2. Gross required 1" LID volume is for all post-development impervious area including streets, parking, sidewalks and buildings.
 3. Per Ordinance No. 2012-03, LID may be waived for developments less than 1/4 acre or increases in the impervious area of ≤ 5,000 sf.

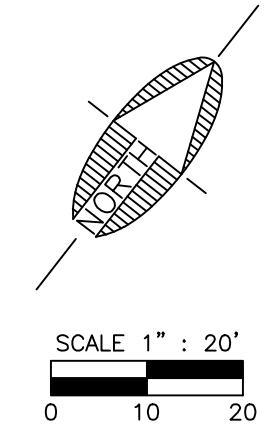
LEGEND

— DRAINAGE BASIN BOUNDARY

- - - DRAINAGE BASIN BOUNDARY (GROSS PARCEL AREA)

○ ID
○ A

ID = BASIN IDENTIFICATION
A = AREA IN ACRES



PRELIMINARY
 NOT FOR CONSTRUCTION,
 BIDDING OR RECORDING

C.O.F. #PZ-19-00055

FLAGSTAFF ARIZONA

HWY 89 & CUMMINGS

DRAINAGE MAP

JOB NO: 19051 DATE: DEC 19 SCALE: AS SHOWN DRAWN: CNP DESIGN: CNP CHECKED: SCI

110 W. Dole Avenue
 Flagstaff, AZ 86001
 928.773.0354
 928.774.8934 fax
 www.swigz.com

SWI
 Shephard Wesnitzer, Inc.

NO.	DESCRIPTION	DATE	BY

REVISIONS

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DRAWING NO. **DM01**

SHT NO. 5 OF 5



Planning & Zoning Commission

6. A.

Meeting Date: 02/26/2020

From: Dan Symer, Zoning Code Manager

Information

TITLE

Discussion: Case No. PZ-19-00124 Updates to Zoning Code 2019 - High Occupancy Housing Land Use Zoning Code Amendment. A work session with the Planning and Zoning Commission to discuss the City's concepts to amend the zoning code pertaining to the goals, policies, and implementation strategies of the High Occupancy Housing Specific Plan. Specifically, this work session is regarding the proposed modification to the Zoning Code's Compatible Development and additional Conditional Use Permit criteria.

STAFF RECOMMENDED ACTION:

No action of the Planning and Zoning Commission is required.

Attachments

Staff Memo

Attachment 1 to PZ-19-00124 Memo

Attachment 2 to PZ-19-00124 Memo



**Community Development Department
Planning and Development Services**

Date: February 10, 2020
TO: Planning and Zoning Commission
FROM: Dan Symer, AICP, Zoning Code Manager
Through: Alaxandra Pucciarelli, AICP, Current Planning Manager
RE: Planning and Zoning Commission Work Session

Request:

1. A work session with the Planning and Zoning Commission to discuss the City's concepts to amend the zoning code pertaining to the goals, policies, and implementation strategies of the High Occupancy Housing Specific Plan.

Purpose of the Work Session:

The purpose of the work session is to discuss and receive comments on the working draft of two of the concepts included. These concepts are:

- Section 10-30.60.050 Compatible Development; and
- Section 10-40.60.175 High Occupancy Housing Developments and Mixed-Use High Occupancy Housing Developments

Introduction:

In February 2018, the City Council adopted the citywide High Occupancy Housing Specific Plan (HOH Plan). The HOH plan was developed in response to the communities' dialogue pertaining to previously proposed high intensity, mid-rise developments near historic neighborhoods that primarily catered to college students. The plan is intended to provide direction in the form of goals and policies to accommodate a variety of housing options in areas of the city that can support infill, redevelopment, and mixed-use activities. In addition, the plans goals and policies address enhancing and maintaining the city's character and provide guidance for the future developments that would be considered High Occupancy Housing (HOH).

On August 21, 2019, the Planning and Zoning Commission provided comments regarding the proposed conceptual elements and concepts to amend the Zoning Code and implement the HOH Plan. During this discussion, the Commission had comments pertaining to the utilization of the existing compatibility section of the Zoning Code that is required to evaluate Conditional Use Permit and rezoning requests. In summary, the Commission felt that the existing provisions lacked specific guidance, are too broad and are overly subjective. Also, the Commission opined that the criteria did not address historic buildings and historic areas as it pertains to a HOH development.

To address the Commission's concerns regarding compatibility, staff is proposing the possibility of deleting the existing provisions and include a new methodology to evaluate if a proposal is compatible. Included as Attachment 1, the proposed methodology is a set of criteria that progresses downward from the broad

contextual area to the smaller elements of a development's colors and materials. Since compatibility is a broad subject, each element has a descriptive intent, and evaluation criteria.

Reflecting on the purpose of a Conditional Use Permit, the proposed criteria are too subjective for a use that is otherwise allowed. A Conditional Use Permit is intended to mitigate a use's impacts (such as noise, odor, or traffic) on adjacent properties. Conditional Use Permit criteria need to be achievable, without undue subjectivity. The compatibility criteria would be better suited as an evaluation consideration for a rezoning case.

Due to the subjectivity of the compatibility criteria of the Zoning Code as it relates to a Conditional Use Permit, staff recommends that the existing compatibility criteria remain unchanged, and consider incorporating modifications to the compatibility criteria as a separate Zoning Code Text Amendment in the future.

To address the Commission's concerns regarding a HOH development adjacent to a historic building or that is in a historic area, specific HOH development Conditional Use Permit criteria are being proposed (Attachment #2). These criteria require an evaluation of the HOH development by the Heritage Preservation Commission, or the City Historic Preservation Officer when applicable.

The proposed concepts are considered a working draft and are subject to be modified before a final draft is presented to the Commission. If the Commission has grammar or spelling corrections to the working draft, please provide these to me in a separate email, or a mark-up of the draft.

Attachments:

1. Section 10-30.60.050 Compatible Development
2. Parts A and B of the Proposed Section 10-40.60.175

Section 10-30.60.050 Compatible Development

HOW TO READ THIS DOCUMENT

Unless otherwise stated, provisions that are being deleted are shown in bold red strikethrough text, like this: ~~Provisions that are being deleted are shown with a bold red strikethroughs text.~~

Provisions that are being added are shown in bold blue text, like this: **Provisions that are being added are shown in bold blue text.**

10-30.60.050 ~~Compatibility~~ **Compatible Development**

~~Compatibility is important to ensure that the characteristics of different uses, activities or designs allow them to be located near or adjacent to each other in a harmonious manner. Compatibility does not mean “the same as”. Rather, it refers to how well a new development is sensitive to the character of existing development. The following basic design elements shall be considered when assessing the compatibility of a new development project which is subject to approval of a conditional use permit or for which a Zoning Map amendment is requested relative to adjacent existing development:~~

- A. **Purpose.** The purpose of compatible development is to enhance and positively contribute to, rather than detract from, the overall design continuity of a specific area and the City as a whole. Also, compatible development includes locating similar and complementary site uses and building forms near each other. Compatibility may be achieved through the parameters of context, design, and composition specified in this section. Together, these parameters contribute to maintaining and/or creating a sense of place in a specific area, neighborhood, and the City as a whole.
- B. **Context.** An appropriate compatible design of a new development is sensitive to the existing developments that positively contribute to the design context area^(a), and are abutting, adjacent to, on the same block as, across the street from, or near to the new development^(b). A successfully compatible design of a new development maintains a balanced uniqueness that is readily perceivable and enhances the overall design continuity of the context area in the immediate vicinity.
 - 1. *Incorporate a compatible development design that maintains a balanced uniqueness and enhances the overall design continuity of the context area.*

Notes:

- (a) Existing developments that positively contribute to the design context area are developments that substantially conform with the Zoning Code’s Site Planning and Architectural Design Standards and Guidelines, contributing historic developments, or establish a desirable architectural style that is used in the classification of the National Register of Historic Places.
 - (b) Existing developments that are abutting, adjacent to, on the same block as, across the street from, or near to a new development are hereafter referred to as developments “in the immediate vicinity”.
- C. **Design.** Design compatibility is location-specific, and is achieved through careful attention to the design characteristics of Site Patterns, Scale, and Composition of existing development in the

immediate vicinity of the new development. Also, it minimizes the replication of existing or using contrasting design solutions. A high-quality compatible and appropriate design for a new development is discernible, and it contributes and enhances, rather than detracts from, the overall character and composition of existing development in the immediate vicinity.

The design of a new development located in a historic district, on the same block as a historic building, or on the opposite side of a street from a historic building, shall be compatible with the historic building, and shall not visually diminish or overwhelm the character of the historic building or the historic context of the designated area. These criteria shall apply in addition to the provisions of Division 10-30.60: Site Planning Design Standards, Division 10-50.20: Architectural Design Standards, and Appendix 1.1: Design Guidelines of the Zoning Code.

New development located in an area with a limited or non-existent design context shall incorporate traditional building typology and the provisions of Division 10-30.60: Site Planning Design Standards, Division 10-50.20: Architectural Design Standards, and Appendix 1.1: Design Guidelines of the Zoning Code to establish a new design context for the area. To assist in establishing a new design context, new development may also incorporate design characteristics of a high-quality design solution of a similar development in another location of the city.

- A. 1. Site Patterns ~~of Development~~. Site Patterns ~~of development~~ include the characteristics ~~such as the~~ of streetscape, site relationships, ~~site development~~, ~~signage~~, and ~~landscape features~~ landscaping.

~~1.—Streetscape. The streetscape of a property includes the nature and character of the street, alleys, crossings, sidewalks, walls, fences, bicycle racks, street furniture, light fixtures, landscaping, signage, and other features. Neighborhoods often have similar and consistent streetscapes.~~

- a. Streetscape. Streetscape includes the natural and constructed improvements and uses contained in the space between the façades of the buildings, and/or open space areas, from one side of the street to the other, for the length of a street. The designs, features, and uses of the streetscape contribute to the visual continuity, quality of life, and sense of place within an area of the City. Often, specific areas of a city or a neighborhood will have similar and compatible design elements, features, and uses that comprise the public realm of a streetscape. Typical design elements and features include pavement, walls, fences, bicycle racks, street furniture, light fixtures, landscaping, and patios. Typical uses include restaurants patios, public art, open space plazas, and similar activities that promote public engagement.

- i. *Incorporate streetscape improvements and uses that are compatible with the existing or planned improvements and uses adjacent to the street on which the new development is located.*

~~2.—Site Relationships. This refers to the similarity of arrangement of structures relative to the street, each other and adjacent properties, including similar setbacks, distances between buildings, lot coverage, open space or yards parking and vehicle access patterns, and pedestrian access patterns.~~

- b. Site Relationships. Site Relationships assist in providing a rhythm and continuity to the development pattern of an area. This design parameter consists of the arrangement between compatible improvements on development sites, which include distances between buildings, open spaces, yards, parking, vehicle and pedestrian access locations,

locations of delivery and refuses enclosures, and outdoor lighting. Also, site relationships include the placement of buildings adjacent to a street in a manner that is similar and compatible to the setback locations of nearby buildings. The placement of compatible and non-compatible uses between development sites to minimize conflicts and maximize beneficial relationships is an important aspect of fostering compatible site relationships.

- i. Locate site improvements and uses in arrangements that are compatible with the rhythm and continuity of the pattern of existing development in the immediate vicinity of the new development.*
- c. Site Development. Site Development standards promote cohesion and compatibility among the basic design elements of an area. These design elements include the patterns, rhythms, heights and the area of materials, finishes, paving, walls, fences, lighting, lot coverage, open spaces, planters, yards, and other site improvement features.
 - i. Incorporate compatible site development design elements and features that contribute to the overall continuity between existing development in the immediate vicinity of the new development.*

~~3.—Signage. The quantity and appearance of all signs, including size, position, attachment, and the materials, textures, and colors used, shall be in keeping with the collective characteristics of the context area.~~

~~4.—Landscaping Features. Plantings and ornamental features shall continue that of the context and should not obscure or cover significant architectural details or features. The extent of landscaping shall be consistent with that of the context area.~~

- d. Landscaping. Landscape plant species, densities, and features provide visual continuity and a sense of place within an area of the City. A compatible landscape design contributes and enhances the community's appearance. Also, the preservation of mature trees and distinctive topographic features contributes to the character of the City at large.
 - i. Incorporate landscape plant species, densities, and features that are similar to the immediate vicinity and on the Zoning Code's landscape plant list, and reasonably preserve mature trees and topographic features. The use of plant species that are not found in the immediate vicinity, but are complementary, may be used as accent plantings, provided that they are not the major plant species utilized.*

~~B.—Scale. Scale refers to similar or harmonious proportions, especially overall height and width, but also includes the visual intensity of the development, the building massing, and the shapes and sizes of the various design elements, such as the windows and doors.~~

2. Scale. Scale refers to the proportionality of a building, especially its height and width. Scale also includes the visual intensity of development, building mass, and the shapes and sizes of various building components.

~~1.—Height. Respecting the overall existing height of a resource is critical to prevent new work from dominating existing work.~~

- a. Proportions. Existing buildings commonly have established arrangements and proportions of various building parts. Maintaining proportional relationships between new development and existing development in the immediate vicinity contributes to the design context of the area. Variations in sizes of building parts that are similar and

proportional are typically not discernible unless they are out of proportion, or the proportional size is substantially larger or smaller, which causes a lack of compatibility.

- i. Incorporate arrangements and proportions of building parts that are compatible and similar to each other and to buildings in the immediate vicinity.*
- b. Building Height.** Building height is an important component of creating compatibility between new and existing developments in the immediate vicinity. It also assists in providing an identity to an area, and contributes to compatibility of the streetscape. Building heights vary depending on the surrounding design context, but they do not need to be identical to be compatible within a specific area of the City.

Variations in height that are proportional to buildings in the immediate vicinity provides each building with an individual identity, but shall be paired with specific design characteristics, such as varying parapet heights, roof forms, and pitches, to maintain compatibility. Locate the upper stories of a multi-story, or similar height of a taller building,^(a) nearer to the interior of a development site^(b); or, place an intermediate-height building between a shorter and a taller building on the same development site to assist in maintaining compatibility. Also, vary the heights of different building sections that are proportional to the existing buildings in the immediate vicinity to assist in minimizing the appearance of a taller building.

- i. Utilize building heights that are similar, proportional, and compatible to buildings in the immediate vicinity of the new development.*
- ii. Locate building forms with similar building heights nearer to each other, and taller building forms that are taller than buildings in the immediate vicinity closer to the interior of a development site, or nearer to buildings that have a similar height. The distance that upper stories of a taller building are located nearer to the interior of a development site, or away from a building with a smaller height, shall be large enough to minimize the contrasting appearance of the additional height.*

Notes:

(a) Depending on the context:

- (1)** Locate the upper stories of a multi-story building that is in, or adjacent to, a predominately residential neighborhood, typically greater than two stories, or a similar height of a taller building, nearer to the interior of a development site; and
- (2)** In other areas, locate the upper stories a multi-story building, typically greater than three stories, or a similar height of a taller building, nearer to the interior of a development site.

- (b)** Depending on context, typically an appropriate distance that the taller portions of a building are setback from the location of a lower façade is a ratio (increase in height in feet to additional setback in feet) of 1:1, or 1:2.

~~2.—Proportions. Traditional structures commonly have established proportions for various parts of the structure and for the arrangement of the parts. The specific proportions can vary depending on specific architectural solutions, but the existing proportions shall be observed.~~

~~3. Building Massing. Massing refers to the volumes and sub-volumes that make up the entire structure. Larger structures can typically be made more compatible with smaller structures by carefully breaking up the building massing into smaller sub-volumes of, creating the appearance of a grouping of small structures.~~

c. Building Mass. Building mass refers to the height, scale, volume, wall length, and width of a building's various forms. Various building mass sizes may be utilized depending on the context of the specific area of the City in which a new development is proposed. Maintaining a proportionally compatible building mass relationship between new buildings and existing buildings in the immediate vicinity contributes to the synergy of development on the same street, and to the identity of an area. Buildings do not need to be the same mass to be compatible when traditional building typology is used.

Traditional building typology incorporates a variety of building components and features that “break-up” a building’s mass into smaller parts; and, it includes locating the upper stories of a new, taller building closer to the interior of a development site. In addition, horizontal and vertical traditional features used to “break-up” a building’s mass include a defined hierarchy of form (a building’s base, middle and top), projections, recesses, fenestrations, and other architectural variations. Similar components and features that follow the traditional patterns and proportions used on buildings in the immediate vicinity provide for compatible development, and influence how a building is perceived from the street.

i. *Incorporate traditional building typology solutions to minimize a building’s mass, including using a composition of building masses, components, and features that are similar and proportionally compatible to each other, and with buildings in the immediate vicinity.*

~~C.—Continuity. Continuity encompasses patterns of development and scale, but also characteristics such as site development, building forms, materials, details, and colors of buildings and site improvements.~~

C. Composition. Combined with scale, composition is the arrangement and combination of building parts and features that express the architectural form. It consists of the finite design elements of a building, including building forms, patterns, rhythms, textures, details, materials, and colors.

~~1.—Site Development. The development of sites includes paving, pedestrian access, walls, fences, light fixtures, open space or yards, landscaping, signage, and other elements. Similarity or cohesiveness in basic design elements for buildings and structures is required for compatible site design.~~

~~2.—Building Forms. Building forms, including roof forms, commonly have some variation. New development shall be in harmony with or use the predominant forms of the context area.~~

1. Building Forms. Building forms are the smaller scale components that articulate a building mass. Building forms assist in creating a building scale that is relatable to pedestrians, and they contribute to the compatibility of new development with existing buildings in the immediate vicinity. They include the size and scale of shapes, solids and fenestrations of walls, forms and pitches of roofs, and recesses and projections. Also, building forms include the size and scale of entry features, canopies, awnings, arcades, cornices, balconies, and other smaller

scale components of a building's composition. Building forms that are compatible between each other and buildings in the immediate vicinity contribute to the continuity of development in the immediate area.

i. Incorporate building form components that are proportional, and compatible to each other, and the buildings in the immediate vicinity.

2. Patterns and Rhythms. Patterns and rhythms include the vertical and horizontal alignment, arrangement, and spacing of doors and windows, window sills and heads, floor plates, cornice and parapet lines, and the distribution of materials and similar architectural features. The patterns and rhythms of existing buildings contribute to the compatibility between new buildings and existing buildings in the immediate vicinity.

i. Incorporate vertical and horizontal patterns and rhythms that are compatible with buildings in the immediate vicinity.

~~3. Texture. Texture refers to the surface quality of structures, especially the shadow patterns. Shadows are traditionally created by the surface materials themselves having some dimension, but also by adding architectural details such as trims and ornaments and recessing of windows and doors. Traditional structures commonly have changes in the surface materials to create shadow patterns, commonly with rougher textures placed lower on the structure.~~

3. Texture. Texture refers to the quality of a building surface, especially the appearance, dimension, feel, and location of materials. It also includes the shade and shadow patterns created by materials, architectural details, and ornamentation. Traditional uses of surface materials and details that create texture include the depth of recessed windows and doors, the size and depth of architectural features and ornamentation, and the methods used to apply building materials. The use of natural materials and materials that appear heavier, such as stone, brick, and concrete masonry units at the base of the building and at the pedestrian level are also traditional applications of texture. Compatible texture applications among new building and buildings in the immediate vicinity contribute to the continuity of design of a specific area of the City.

i. Incorporate traditional textures and texture applications that are compatible with buildings in the immediate vicinity. Compatible contemporary textures and texture applications may be allowed when used in traditional formats and expressions.

~~4. Materials. Materials make up and cover the surface of a structure and include the various structural and architectural details, trims, and ornaments, as well as foundations, walls, decking, and roofing. New development shall use or be in harmony with the predominant materials of the context area.~~

~~5. Details. Structural and architectural details shall be designed so as to make new work appear similar to existing work. Modern details, often needed by modern building codes, should be obscured or designed to minimize visual obtrusiveness.~~

4. Details and Ornamentation. Details and ornamentation include various structural and architectural articulations, such as cornices, joints, headers, sills, supports, trims, material orientation and finishes. Traditional details and ornamentation vary with the specific architectural styles used throughout the city, such as American Craftsman, Mountain, Ranch, Shingle, Spanish Colonial, and Stick. Details and ornamentation assist in providing a finer level of identity to an area, and compatibility of these features among new and existing buildings in the immediate vicinity contribute to the contextual coherence of the area.

- i. Use traditional details that are compatible with buildings in the immediate vicinity while maintaining the architectural integrity of the new building. Compatible contemporary details may be allowed when used in traditional formats and expressions.*

~~6. Colors. Color choice provides one of the best opportunities to enhance cohesiveness. Color schemes shall be developed in accordance with the specific architecture and the context area. In general, restraint should be used in the number of colors. Body colors should be subtle, and trim colors should provide contrast or definition to the body color. Natural materials, such as masonry and wood shingles, should not be painted.~~

- 5. Colors and Materials. Colors and materials, and the methods by which they are applied, provide a greater opportunity to enhance cohesiveness and compatibility, or introduce contrast, between a new building and existing developments in the immediate vicinity. Colors and materials also assist in providing an identifiable sense of place for a specific area, while the use of materials in a traditional manner (including placing heavier materials at the bottom of a building and lighter materials above, and the application of traditional materials for support features) contribute to compatibility between a new building and existing buildings in the immediate vicinity.

- i. Use traditional applications of color and material schemes that are compatible with, or complementary to, the specific architectural style of the building's design, and the buildings in the immediate vicinity. Compatible contemporary materials and details may be allowed when used in traditional formats and expressions.*
- ii. Use restraint in the number and pattern of colors and materials, and the application of colors to traditional materials that have natural integral finishes.*

Parts A and B of the Proposed Section 10-40.60.175

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10-40.60.175 High Occupancy Housing Developments and Mixed-Use High Occupancy Housing Developments.

- A. Additional Conditional Use Permit Criteria.** In addition to the criteria of Section 10-20.40.050.E., in order to approve a Conditional Use Permit for a High Occupancy Housing Development, or Mixed-Use High Occupancy Housing Development, the Planning and Zoning Commission, and when applicable the City Council, shall find that the following have been met:
- 1. The property owner has submitted plans that demonstrates how the development may be converted from a High Occupancy Housing Development (HOHD), or Mixed-Use High Occupancy Housing Development (MHOHD), to a development that is no-longer a HOHD or MHOHD, as defined in the Zoning Code, without substantial structural or substantial plumbing modifications. The required plans shall be designed and sealed by an Arizona Registrant.**
 - 2. The development is located within a pedestrian shed of an activity center delineated in the General Plan.**
 - 3. A HOHD or MHOHD containing more than 50 dwelling units per acre, or 125 bedrooms per acre, is located on a lot or parcel in an activity center with a regional scale pedestrian shed delineated in the General Plan.**
 - 4. A HOHD containing more than 29 dwelling units per acre, or 72.5 bedrooms per acre, is located on a lot or parcel:**
 - a. in an activity center with a regional scale pedestrian shed delineated in the General Plan.**
 - b. that is located a distance of least 300 feet from the center line of a street classified as a commercial corridor identified on the General Plan's Road Network Illustration Map; and**
 - c. that is separate from a street classified as commercial corridor identified on the General Plan's Road Network Illustration Map by an existing non-residential or mixed-use development.**
 - 5. The Development Site is connected to a permanent transit stop by a continuously improved pedestrian sidewalk or improved trail that does not exceed more than 1,320 feet. The distance shall be measured from the Development Site to the transit stop following a continuous sidewalk and/or public trail.**
 - 6. Design Compatibility of a Development Site with the Landmarks Overlay (LO), or Another Adopted Historic Overlay Zone. The Heritage Preservation Commission has approved a Certification of No Effect, or a Certification of Appropriateness, for the design of the proposed HOHD or MHOHD.**
 - 7. Design Compatibility with Other Historic Cultural Resources.**

- a. The criteria of subsections A.7.b. and A.7.c. of this section shall apply to a Development Site that conforms with any of the following:
 - i. The Development Site is in a historic district that is listed on the National Register of Historic Places, but does not have a historic overlay zone;
 - ii. The Development Site is on the same block, or is on the opposite side of the street of a block face that contains a lot, parcel, or structure listed on the National Register of Historic Places, or
 - iii. The Development Site is on the opposite side of the street of the block face that contains a lot, parcel, or structure that is zoned with a Landmarks Overlay (LO), or another adopted historic overlay zone.
 - b. The Heritage Preservation Commission or the City Historic Preservation Officer has made a determination that the proposed HOHD or MHOHD has no adverse effect, an adverse effect, or has appropriately mitigated its effects on the historic cultural resource; and
 - c. The Planning and Zoning Commission has made a determination that the proposed design of the development substantially conforms with Section 10-30.60.050 Development Compatibility.
8. Design Compatibility of All Other Development Sites that do not Conform with Subsections A.6. and A.7. of this Section. The design of the development substantially conforms with Section 10-30.60.050 Development Compatibility. Subsections A.8. is not applicable to Development Sites that are required to conform with Subsections A.6. and A.7. of this Section.
9. The property owner has agreed to Conditions of Approval to maintain compliance with the Flagstaff Police Department's Crime Free Multi-housing program, at all times.
- B. Heritage Preservation Commission (HPC) and the City Historic Preservation Officer (HPO) Determinations.**
- 1. Development Sites with the Landmarks Overlay (LO), or Another Adopted Historic Overlay Zone. The provisions of Division 10-30.30: Heritage Preservation shall apply.
 - 2. Other Historic Cultural Resources Described in Subsection A.6.a. of this Section. The HPO shall evaluate the proposed HOHD or MHOHD and make a determination as whether it has no adverse effect, an adverse effect, or has appropriately mitigated its effects on the historic cultural resource. The HPO may defer a determination to the HPC. The HPO, and when applicable the HPC, shall evaluate the proposed HOHD or MHOHD utilizing the applicable criteria of the:
 - a. Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings;
 - b. Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings;
 - c. Protection of Historic Properties provisions of the U.S. Code of Federal Regulations, 36 CFR § 800.3 through 36 CFR § 800.7, as amended; and/or
 - d. The applicable U.S. Department of the Interior publications and Preservation Briefs.