

# DRAFT

## ATTENTION

### **IN-PERSON AUDIENCES AT PLANNING & ZONING COMMISSION MEETINGS HAVE BEEN SUSPENDED UNTIL FURTHER NOTICE**

The meetings will continue to be live streamed on the city's website  
(<https://www.flagstaff.az.gov/1461/Streaming-City-Council-Meetings>)

To participate in the meeting click the following link:

[Join Microsoft Teams Meeting](#)

The public can submit comments that will be read at the dais by a staff member  
to [CDFrontCounter@flagstaffaz.gov](mailto:CDFrontCounter@flagstaffaz.gov)

## NOTICE AND AGENDA

**PLANNING & ZONING COMMISSION  
WEDNESDAY  
JANUARY 13, 2021**

**COUNCIL CHAMBERS  
211 WEST ASPEN AVENUE  
4:00 P.M.**

1. **Call to Order**
2. **Roll Call**

*NOTE: One or more Commission Members may be in attendance telephonically or by other technological means.*

DAVID ZIMMERMAN, CHAIR  
MARIE JONES, VICE CHAIR  
LLOYD PAUL  
CAROLE MANDINO

DR. ALEX MARTINEZ  
ERIC NOLAN  
GAYLENE SOPER

3. **Public Comment**

*At this time, any member of the public may address the Commission on any subject within their jurisdiction that is not scheduled before the Commission on that day. Due to Open Meeting Laws, the Commission cannot discuss or act on items presented during this portion of the agenda. To address the Commission on an item that is on the agenda, please wait for the Chair to call for Public Comment at the time the item is heard.*

4. **APPROVAL OF MINUTES**

Approval of the minutes from the regular meeting on Wednesday, December 9, 2020.

5. **PUBLIC HEARING**

**A. PZ-20-00019-05: DCS OFFICE**

A Conditional Use Permit request from Wayne Smith, on behalf of the Department of Child Safety, to construct a 20,836 square foot office building in the Light Industrial (LI) Zone, located at 2163 N. Vickey Street in the Northwoods Business Centre.

**STAFF RECOMMENDED ACTION:**

The Inter-Division Staff (IDS) team approved the site plan for this project on December 8, 2020 (conditions attached). Staff recommends that the request for the CUP be granted by the Planning Commission with the requirements included in Conditional Use Permit No.

PZ-20-00019-05 in accordance with the findings and as follows:

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application and with the Site Plan as approved the Inter Division Staff on December 8, 2020.

**B. Sky Cottages PZ-20-00153**

Concept Zoning Map Amendment, by Vintage Partners, of approximately 23.08 acres located at 2701 South Woody Mountain Road from the Rural Residential (RR) zone to the Medium Density Residential (MR) zone. The development site is already located within the Resource Protection Overlay (RPO).

**STAFF RECOMMENDED ACTION:**

Staff recommends the Planning and Zoning Commission, in accordance with the findings presented in this report, forward the Concept Zoning Map Amendment request to the City Council with a recommendation for approval with conditions.

**6. MISCELLANEOUS ITEMS TO/FROM COMMISSION MEMBERS**

**7. ADJOURNMENT**

CERTIFICATE OF POSTING OF NOTICE

The undersigned hereby certifies that a copy of the foregoing notice was duly posted at Flagstaff City Hall on 1/8/21, at 2:00 p.m. This notice has been posted on the City's website and can be downloaded at [www.flagstaff.az.gov](http://www.flagstaff.az.gov).

Dated this 8 day of Jan, 2021.

\_\_\_\_\_  
Tammy Bishop, Administrative Specialist



## Planning & Zoning Commission

5. A.

Meeting Date: 01/13/2021

From: Tiffany Antol, Planning Director

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### Information

**TITLE:**

**PZ-20-00019-05: DCS OFFICE**

A Conditional Use Permit request from Wayne Smith, on behalf of the Department of Child Safety, to construct a 20,836 square foot office building in the Light Industrial (LI) Zone, located at 2163 N. Vickey Street in the Northwoods Business Centre.

**STAFF RECOMMENDED ACTION:**

The Inter-Division Staff (IDS) team approved the site plan for this project on December 8, 2020 (conditions attached). Staff recommends that the request for the CUP be granted by the Planning Commission with the requirements included in Conditional Use Permit No. PZ-20-00019-05 in accordance with the findings and as follows:

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application and with the Site Plan as approved the Inter Division Staff on December 8, 2020.

**Policy Impact:**

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### Attachments

Staff Report  
Draft CUP  
Draft Notice of Decision  
Prop 207 Waiver  
Site Plan Approval Letter  
Site Plan Conditions  
CUP Application  
Response to Findings  
Site Plan  
Elevations & Signage  
Landscape Plan

Floor Plan  
Color Elevations  
Lighting Plan

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**PLANNING AND DEVELOPMENT SERVICES REPORT**  
**CONDITIONAL USE PERMIT**

**PUBLIC HEARING**  
**PZ-20-00019-05**

**DATE:** **December 23, 2020**  
**MEETING DATE:** **January 13, 2021**  
**REPORT BY:** **Tiffany Antol, AICP**

**REQUEST:**

A Conditional Use Permit request from Wayne Smith, on behalf of the Department of Children’s Safety, to construct a 20,836 square foot office building in the Light Industrial (LI) Zone, located at 2163 N. Vickey Street in the Northwoods Business Centre.

**STAFF RECOMMENDATION:**

Staff recommends approval of PZ-20-00019-05 with conditions.

**PRESENT LAND USE:**

This location is currently vacant.

**PROPOSED LAND USE:**

The applicant proposes to construct a new 20,836 square foot building as offices for the Department of Children’s Safety as well as the other required site improvements for such development.

**NEIGHBORHOOD DEVELOPMENT:**

- North: The Guidance Center, Light Industrial (LI) Zone
- East: Joe Dirt Excavating Contractors Equipment Yard, Light Industrial (LI) Zone
- South: Proposed Migrant Glass Warehouse, Light Industrial (LI) Zone
- West: The Guidance Center general offices, Light Industrial (LI) Zone

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**I. Project Introduction**

**A. Background/Introduction**

Section 10-40.30.050.B of the Flagstaff Zoning Code (Page 40.30-23), *Allowed Uses*, identifies “Office” as an allowed land use in the Light Industrial (LI) Zone subject to the approval of a Conditional Use Permit (CUP) by the Planning Commission. Staff approved a site plan application for the proposed building on this site on December 8, 2020. A copy of the Approval Letter and Conditions of Approval are attached to this report.

The Northwoods Business Centre is a low intensity industrial subdivision that includes a wide variety of uses including the Guidance Center facilities, a dialysis center, Northland Family Help Center, Hozhoni Foundation, Olsen’s Grain, Planet Rider, mini-storage and Joe Dirt Excavating, which is the most intense industrial use in the area. All of the buildings within the immediate vicinity are similar in size, design and material, and remain compliant with the primary goals of the architectural design standards of the Zoning Code.

**II. Required Findings**

The Planning Commission may approve the Conditional Use Permit only after making a finding that:

**A. Finding #1:**

The conditional use is consistent with the objectives of the Zoning Code and the purpose of the Zone in which the site is located.

“The Light Industrial (LI) zone applies to areas of the City appropriate for clean and quiet industries in proximity to commercial development, including manufacturing, warehousing, and related uses with limited and screened exterior storage. The LI zone establishes a transitional area between commercial and heavy industrial areas; while at the same time it is applied to areas of the City as a freestanding industrial zone.”

The Light Industrial (LI) Zone allows office uses with the granting of a Conditional Use Permit. The primary reasons for the Conditional Use Permit is to protect the uses that are allowed by right in the Light Industrial Zone which may be incompatible with general office uses, and industrially used buildings are not required to incorporate architectural design standards as would be required for an office building.

**B. Finding #2**

That granting the conditional use will not be detrimental to the public health, safety, or welfare.

As long as the proposed project is developed in accordance with City codes, standards and requirements, the project should not be detrimental to the public health, safety, or welfare.

**C. Finding #3**

The characteristics of the conditional use as proposed, and as it may be conditioned, are reasonably compatible with the types of uses permitted in the surrounding area. The Conditional Use Permit shall be issued only when the Planning Commission finds that the Applicant has considered and adequately addressed the following to ensure that the proposed use will be compatible with the surrounding area (Flagstaff Zoning Code Section 10-20.40.050.E.3):

- Access, traffic, and pedestrian, bicycle and vehicular circulation;
- Adequacy of site and open space provisions, including resource protection standards, where applicable;
- Noise, light, visual and other pollutants;
- Proposed style and siting of structure(s), and relationship to the surrounding neighborhood;
- Landscaping and screening provisions, including additional landscaping in excess of otherwise applicable minimum requirements;
- Impact on public utilities;
- Signage and outdoor lighting;
- Dedication and development of streets adjoining the property; and
- Impacts on historical, prehistoric or natural resources.

**1. Access and Traffic; Pedestrian, Bicycle and Vehicular Circulation**

Access to the site is provided from Vickey Street which connects directly to Industrial Drive, Walgreens Street and Steves Boulevard. Pedestrian access is provided with sidewalks through the Northwoods Business Centre subdivision. Designated bicycle lanes are not provided, but bicycles can easily be accommodated on the existing improved streets. The required bicycle parking (4) spaces are provided at the front of the building.

Offices are required to provide one parking space per 300 gross square feet. A total of 70 parking spaces are required for the proposed office building. The site is designed with 16 spaces available for the general public outside of the secured (fenced and gated) parking area located behind the building. Within the secured parking area there are a total of 117 parking spaces for a grand total of 133 spaces. The Zoning Code only allows an addition of 5% over the required number of parking spaces on a development site without structured parking, for a total of 74 parking spaces. The additional parking spaces on this site (59 spaces) are specifically for government vehicle storage. The designated storage area is identified on the site plan.

**2. Adequacy of Site/Open Space/Resource Provisions**

The Applicant is proposing to build a new 20,836 square foot office building on a 2.65-acre site. The site plan shows the proposed building complying with all of the required development standards of the Light Industrial (LI) Zone including setbacks, building height and Floor Area Ratio (FAR). The site provides the required number of parking spaces for the proposed use of Office with vehicle storage area. Dedicated open space is not required in industrial developments and is instead accomplished through compliance with landscaping standards. The building is over 20,000 square feet, so it is required to provide 5% of the site, approximately 5700 square feet, as civic space. The applicant has provided this space at the rear of the building as an amenity to the employees of the site. The subject property is not located in the Resource Protection Overlay.

**3. Noise, Light, Visual and Other Pollutants**

It is not anticipated that the proposed office use will create any noise, visual or other pollutants into the area. All exterior lighting will be required to comply with the City of Flagstaff's strict outdoor lighting requirements which supports and maintains our designation as an International Dark Sky City. The majority of the proposed use will occur within the proposed building except for the parking and a small amenity space for the employees.

**4. Style and Siting of Structure(s) and Relationship to Surrounding Neighborhood**

The proposed building has been designed in accordance with the Site Planning Design Standards as identified in the Zoning Code. This includes a building forward design with parking areas located to the side and rear of the building. Industrial buildings are not required to comply with the Architectural Design Standards found in the Zoning Code, but because this is an "office building" requiring a Conditional Use Permit, it is required to comply with these standards. The proposed building is a metal building provided with façade and roof articulations in compliance with the code. Material embellishments will be applied to the building also complying with these standards. The windows will also be recessed in accordance with code requirement. The proposed building style is in concert with the majority of development within the Northwoods Business Centre.

**5. Landscaping and Screening**

The site is proposed to be landscaped in accordance with the requirements of the Zoning Code; see the attached landscaping plan. The applicant has attempted to maintain existing mature vegetation on site. Most of the site will be fenced in accordance with the needs of the Department of Children's Safety. This fencing provides adequate screening between the adjacent properties.

**6. Impact on Public Utilities**

The site proposes no impact to City utilities.

**7. Signage and Outdoor Lighting**

The attached elevations show proposed building mounted signage for the site. An outdoor lighting plan has also been provided as part of this application. Both of these details are generally approved in conjunction with the required building permit application, each requiring its own application. A detailed analysis of these plans has not yet been completed. Any new signage or lighting will have to comply with the relevant Zoning Code requirements.

**8. Dedication and Development of Streets**

No dedication or development of public streets is required.

**9. Impacts on Resources**

This site is not currently listed on any state or federal historic registry, nor does the site have any other historical significance. As previously mentioned, the site is not located within the Resource Protection Overlay Zone.

Conditions of approval will only be imposed if they are necessary to ensure the intent and purpose of the Zoning Code are met; to ensure compatible and complementary development of the property; and to ensure the provision of appropriate off-site improvements will be fulfilled.

**III. Citizen Participation**

The applicant held the required neighborhood meeting to discuss the proposed Conditional Use Permit application on September 17, 2020 at the Little America Hotel. The applicant posted a sign on the property regarding the meeting and sent letters to 90 neighboring property owners. No one attended the meeting. The applicant requested to have the second meeting waived, which was approved by the Planning Director. Since that meeting the applicant has not had contact from property owners in the area requesting information or voicing a concern.

**IV. Recommendation:**

The Inter-Division Staff (IDS) team approved the site plan for this project on December 8, 2020 (conditions attached). Staff recommends that the request for the CUP be granted by the Planning Commission with the requirements included in Conditional Use Permit No. PZ-20-00019-05 and as follows:

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application and with the Site Plan as approved by the Inter-Division Staff on December 8, 2020.

**V. Attachments:**

The draft documents have been prepared in accordance with the staff recommendation and do not indicate the Commission's final decision. These documents will be updated after the public hearing on this case to reflect the Commission's decision.

- Draft Conditional Use Permit No. PZ-20-00019-05
- Draft Notice of Decision
- Proposition 207 waiver
- Site Plan Conditions of Approval, dated May 21, 2015
- Conditional Use Permit Application
  - Response to findings
  - Site Plan & Vicinity Map
  - Elevations and Signage

**PZ-20-00019-05**  
**December 23, 2020**

- Landscaping Plan
- Floor Plan
- Exterior Elevations
- Lighting Plan

**COCONINO COUNTY, ARIZONA RECORDER  
CONDITIONAL USE PERMIT  
FROM GRANTOR: CITY OF FLAGSTAFF  
COCONINO COUNTY, ARIZONA  
OFFICE OF PLANNING AND ZONING  
TO GRANTEE: WAYNE SMITH ON BEHALF OF DEPARTMENT OF CHILDREN'S SAFETY**

Permit No. PZ-20-00019-05  
January 14, 2021

Permission is hereby granted to Wayne Smith on behalf of the Department of Children's Safety to allow the establishment of a 20,836 square foot office, and associated site work, pursuant to Section 10-40.30.050.B. of the *Flagstaff Zoning Code* at a site located at 2163 N. Vickey Street in the Light Industrial (LI) Zone, and legally described as Coconino County Assessor parcel number 107-30-016B in the city of Flagstaff, Arizona.

After a public hearing held on January 13, 2021, the Planning and Zoning Commission voted to grant this Conditional Use Permit subject to the following conditions.

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application and as approved with the Site Plan approved by the Inter-Division Staff on December 8, 2020.

Furthermore, this permit is issued on the express condition that the use permitted herein shall conform in all relevant respects to the ordinances of the City of Flagstaff and the laws of the State of Arizona.

Any and all conditions endorsed on this permit are subject to periodic review by the City of Flagstaff's Planning Director. Following review, the Planning and Zoning Commission shall be notified when the conditions of operation imposed in the approval and issuance of this permit have not been or are not being complied with.

The Planning and Zoning Commission shall consider the matter of revocation and set the permit for public hearing. If the Planning and Zoning Commission finds, following the public hearing, that the conditions imposed in the issuance of this permit are not being complied with, this permit may be revoked and further operation of the use for which this permit was approved shall constitute a violation of the Zoning Code.

This Conditional Use Permit shall become null and void one (1) year from the effective date of January 14, 2021, unless the following shall have occurred:

1. A building permit has been issued and construction begun and diligently pursued; or
2. The approved use has been established; or

- 3. An extension has been granted by the Planning and Zoning Commission. Such extension shall be for a maximum of one hundred eighty (180) days and no extension may be granted which would extend the validity of the permit more than eighteen (18) months beyond the date of approval of the permit.
- 4. Property Owner shall sign Consent to Conditions/Waiver for Diminution of Value form as a condition of issuance of the Conditional Use Permit by the City.
- 5. Development of the use shall not be carried out until the applicant has secured all other permits and approvals required by the Zoning Code, the City, or applicable regional, State and federal agencies.

This document \_\_\_ does modify, or X does not modify the provisions of a previous Conditional Use Permit recorded in docket \_\_\_\_\_, Office of the Coconino County, Arizona, Recorder.

\_\_\_\_\_  
Planning Director, City of Flagstaff

By: \_\_\_\_\_  
Applicant (if other than the property owner)

STATE OF ARIZONA                    )  
  ) ss  
County of \_\_\_\_\_                    )

Before me, the undersigned Notary Public, personally appeared \_\_\_\_\_ who executed the foregoing document for the purposes contained therein.

SUBSCRIBED AND SWORN to before me this \_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Notary Public

My Commission expires: \_\_\_\_\_

By: \_\_\_\_\_  
Property Owner

Permit No. PZ-20-00019-05

January 14, 2021

Page 3 of 3

STATE OF ARIZONA                    )  
  ) ss  
County of \_\_\_\_\_                )

Before me, the undersigned Notary Public, personally appeared \_\_\_\_\_ who executed the foregoing document for the purposes contained therein..

SUBSCRIBED AND SWORN to before me this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Notary Public

My Commission expires: \_\_\_\_\_



# City of Flagstaff

January 14, 2021

Mr. Wayne Smith  
P.O. Box 12187  
Glendale, Arizona 85318

RE: **NOTICE OF DECISION** – Conditional Use Permit No. PZ-20-00019-05

Dear Mr. Smith:

The Planning Commission, in accordance with Section 10-20.40.050 of the Flagstaff Zoning Code, has considered the request of Mr. Wayne Smith on behalf of Department of Children's Safety for a Conditional Use Permit on the property at 2165 North Vickey Street APN 107-30-016B in the LI, Light Industrial Zoning District for a 20,836 square foot office building as provided in Section 10-40.30.050.B of the City of Flagstaff Zoning Code.

The Planning Commission held a public hearing on January 13, 2020 regarding this Conditional Use Permit. The Commission found and determined that, based on the information provided in the staff report dated December 23, 2020 and at the public hearing, the facts exist as required by Section 10-20.40.050.F of the Zoning Code to justify granting the Conditional Use Permit.

Based upon the aforementioned findings, the Commission approved a Conditional Use Permit by a vote of ( ) for the use and location described above subject to the following conditions:

- 1.

The above conditions are deemed by the Commission to be required to assure that the requested use will be compatible with neighboring uses and the growth and development of the area.

This action becomes final and effective ten (10) calendar days after the posting of this Notice of Decision on January 14, 2020 unless during these ten (10) days a written appeal to the City Clerk is filed or the City Council elects to review the application. Either appeal or City Council review shall stay the Conditional Use Permit until the City Council holds the required public hearing to consider the request.

Should you have any questions, comments, or concerns, please do not hesitate to contact me.

Sincerely;

Tiffany Antol, Planning Director  
Planning & Development Services  
P. 928-213-2605  
tantol@flagstaffaz.gov

# **City of Flagstaff**

cc: Current Planning Manager, City Clerk, City Council, Wayne Smith

When recorded, mail to:  
City Clerk  
City of Flagstaff  
211 W. Aspen Avenue  
Flagstaff, Arizona 86001

**CONSENT TO CONDITIONS/WAIVER FOR DIMINUTION OF VALUE**

The undersigned is the owner of certain real property legally described as Coconino County Assessor parcel number 107-30-016B in the city of Flagstaff, Arizona, that is the subject of Conditional Use Permit Application No. PZ-20-00019-05. By signing this document, the undersigned agrees and consents to all of the conditions imposed by the City of Flagstaff in conjunction with the approval of Conditional Use Permit No. PZ-20-00019-05 and waives and fully releases any and all claims and causes of action that the owner may have, now or in the future, for any "diminution in value" and for any "just compensation" under the Private Property Rights Protection Act, Arizona Revised Statutes § 12-1131, et seq., that may now or in the future exist as a result of the approval of Conditional Use Permit No. PZ-20-00019-05. Within ten (10) days after the execution of this Consent to Conditions/Waiver for Diminution of Value by the undersigned, the City Clerk shall cause this document to be recorded in the official records of Coconino County, Arizona.

Dated this \_\_\_\_ day of \_\_\_\_\_, 2021

PROPERTY OWNER:

\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Sign Name

State of Arizona                    )  
  ) ss  
County of \_\_\_\_\_)

SUBSCRIBED AND SWORN to before me this \_\_\_\_ day of \_\_\_\_\_, 2021, by:

\_\_\_\_\_

\_\_\_\_\_  
Notary Public

My commission expires: \_\_\_\_\_



# City of Flagstaff

December 8, 2020

Andy Pulsipher  
7045 N 23<sup>rd</sup> Way  
Phoenix, AZ 85020

RE: Site Plan Approval PZ-20-00019-04

Dear Mr. Pulsipher:

As of the date of this correspondence, the City of Flagstaff Development Review Staff has approved, subject to the attached Conditions of Approval, Project No. PZ-20-00019-04 for the proposed development of the DCS Office Building project located at 2163 N Vickey Street. The Coconino County Assessor Parcel Number for the subject property is 107-30-016B.

Unless modified to comply with the Conditions of Approval, development of the project shall substantially conform to the approved plans as follows:

- Site Plan, Landscape Plan, Floor Plan and Exterior Elevations prepared by Andy Pulsipher Architect dated November 10, 2020

This approval shall be valid for a period of one year following the above date, December 8, 2020. If, at the expiration of this period, the property has not been improved for the approved development; or a certificate of occupancy has not been issued; or the site has not been occupied per Zoning Code section 10-20.40.140, the site plan shall expire.

After obtaining a Conditional Use Permit, the next step in the development process is Civil Improvement Plan ("Civil") review. Prior to Civil submittal, please contact the Development Engineering Project Manager assigned to the project, Brian Gall, to schedule a meeting to discuss application submittal requirements, the review process, and timing of reviews. Brian can be reached at (928) 213-2678 or via e-mail at [brian.gall@flagstaffaz.gov](mailto:brian.gall@flagstaffaz.gov).

For your information, alterations to your property may affect how your property taxes are calculated. To find out how your project may affect your property valuation for tax purposes, contact the Coconino County Assessor's Office at (928) 679-7962 or in person at 110 E Cherry Ave, Flagstaff.

We look forward to working with you and your development team through Civil Improvement Plan review, Building Permit review, construction, and completion of the approved project. Should you have any questions, comments, or concerns, please do not hesitate to contact me.

Sincerely;

*Tiffany Antol*

Tiffany Antol, Planning Director  
P. 928-213-2605

# City of Flagstaff

[tantol@flagstaffaz.gov](mailto:tantol@flagstaffaz.gov)

Current Planning

Site Plan Substantive Review #2

Tiffany Antol, 12/8/20

Approved with Conditions

1. This Site Plan approval is contingent upon the applicant successfully obtaining a Conditional Use Permit. Any expansions or alterations of the approved site plan or exterior elevations unless necessary to comply with these conditions of approval may require additional site plan review and approval prior to building permit submittal.
2. A complete Outdoor Lighting Permit application shall be submitted, reviewed and approved in conjunction with the building permit application for this project.
3. Signage is not included with this approval. A separate Sign Permit application shall be submitted in conjunction with the building permit submittal.
4. The dumpster enclosure as shown on the approved site plan shall be relocated to face away from the street frontage or shall be relocated to the parking area behind the fence.



# City of Flagstaff

# Community Development Division

211 W. Aspen Ave  
 Flagstaff, AZ 86001  
 www.flagstaff.az.gov

P: (928) 213-2618  
 F: (928) 213-2609

**CUP**

<b>Date Received</b> 1/21/20	<b>Application for Conditional Use</b>			<b>File Number</b>
<b>Property Owner(s)</b> Arrow Development Corp		<b>Phone</b> 602-376-6885		
<b>Mailing Address</b> PO Box 12187	<b>City, State, Zip</b> Glendale, AZ 85318	<b>Email</b> wayne152@cox.net		
<b>Applicant(s)</b> Wayne Smith		<b>Phone</b> 602-376-6885		
<b>Mailing Address</b> PO Box 12187	<b>City, State, Zip</b> Glendale, AZ 85318	<b>Email</b> wayne152@cox.net		
<b>Project Representative</b> Wayne Smith		<b>Phone</b> 602-376-6885		
<b>Mailing Address</b> PO Box 12187	<b>City, State, Zip</b> Glendale, AZ 85318	<b>Email</b> wayne152@cox.net		

<b>Project Name</b> Department of Childrens Safety				
<b>Site Address</b> 2163 N. Vickey St. Flagstaff, AZ		<b>Parcel Number(s)</b> 107-30-016B	<b>Subdivision, Tract &amp; Lot Number</b> Northwoods Business Center , Portion of lots 16 & 17	
<b>Zoning District</b> Light industrial		<b>Regional Plan Land Use Category</b> Light industrial	<b>Flood Zone</b> within flood zone X	
<b>Property Information:</b>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Located in an existing City of Flagstaff Historic District? (Name: _____) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing structures are over 50 years old at the time of application? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing structures are pre-World War II housing? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Subject property is undeveloped land?			
<b>Surrounding Uses</b> (Res, Com, Ind)	<b>North</b> com. office	<b>South</b> vacant land	<b>East</b> com. office	<b>West</b> com. office

**Note:**  
 Conditional Use Permits are reviewed by City's Planning and Zoning Commission (P&Z), which meets **the second and fourth Wednesday of every month**. Applications are due by the close of business no fewer than 30 days prior to the meeting. You must provide a complete application form, along with the required number of plans and information as indicated in the attached checklist. **Incomplete submittals will not be scheduled.**

<b>Property Owner Signature</b> <i>Wayne Smith</i>	<b>Date</b> 1/21/20	<b>Applicant Signature</b> <i>Wayne Smith</i>	<b>Date</b> 1/21/20
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**For City Use**

<b>Date Filed</b>	<b>File Number:</b>		
<b>Hearing Date</b>	<b>Pub. / Posting Date(s):</b>	<b>Prop. Owner Notif. Date:</b>	
<b>Fee Receipt Number</b>	<b>Amount</b>	<b>Date</b>	

**Action by Planning and Zoning Commission:**

<b>Hearing Date:</b>	<b>Type of Request:</b>				
<input type="checkbox"/> Approved	<input type="checkbox"/> CUP				
<input type="checkbox"/> Denied	<input type="checkbox"/> Extension				
<input type="checkbox"/> Continued					

<b>Staff Assignments</b>	Planning	Engineering	Fire	Public Works/Utilities	Stormwater
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## **Conditional Use Permits (CUP)**

Conditional uses are those uses which are presumed to be compatible with other authorized or permitted land uses in a zoning district; but require additional discretionary review, and possibly the imposition of conditions, to ensure that their location, design, and character are appropriate at a particular location. Only those uses which are authorized as conditional uses in Chapters 10-40 (Specific to Zones), may be approved as conditional uses. Further information regarding conditional uses and the CUP process can be found in Section 10-20.40.050 (Conditional Uses) of the Zoning Code.

### **Review**

Requests for CUP are reviewed by the City's Planning and Zoning Commission (P&Z), an advisory commission appointed by the City Council. A public hearing is held in conjunction with the request in conformance with Section 10-20.30.080 of the Zoning Code. Just before the public hearing is opened, Development Services staff presents its report to the P&Z, and the applicant is given an opportunity to make a presentation regarding the request. During the public hearing, any person may give testimony or submit written materials regarding the proposal. At the conclusion of the public hearing, the P&Z may approve the application as presented, approve the application with conditions, or deny the application. The P&Z may also continue the public hearing to a future meeting if additional information is needed before action can be taken. P&Z meetings are open to the public in compliance with the State's Open Meeting Law, and agendas are posted at City Hall no less than 24 hours prior to the meeting. Minutes are kept of all P&Z meetings.

### **Schedule**

The Planning and Zoning Commission meets on the second and fourth Wednesday of every month at 4:00 p.m. in the afternoon. An application for a CUP must be made by the close of business at least 30 calendar days prior to a regularly scheduled P&Z meeting. Please be aware that a project must receive formal Site Plan Review approval from the Planning Director before a CUP application can be submitted.

**Attendance by the applicant or a project representative at the Planning and Zoning Commission hearing is mandatory.**

### **Submission Requirements**

All applications for CUP must be accompanied by the following information:

- Application Fee
- 10 copies of proposed development plans
- Location/vicinity map
- Written response to the required findings for a Conditional Use Permit (Section 10-20.40.050 of the Zoning Code)
- List of property owners, parcel numbers, and assessor's maps, for properties within 300 feet

### ***Application Fee***

An application fee payable to the "City of Flagstaff", must be paid at the time an application for a CUP is submitted. The fee helps cover the cost of meeting noticing and advertising requirements.

### ***Signatures***

All applications must be signed and dated by both the applicant and the owner of the property.

### ***Proposed Development Plans***

Proposed development plans that must be submitted in conjunction with a CUP application are the same as those required for formal Site Plan Review (see list below). Refer to the Site Plan Review Application for a complete description of these plans and the information that must be depicted on them.

- Site plan
- Building elevations (one copy in color)
- Building floor plans
- Landscape plan
- Resource survey and protection plan (when applicable)
- Exterior lighting plan
- Preliminary signage plan

All plans submitted with the application must be folded to approximately 8.5 x 11 inches in size.

### ***Location/Vicinity Map***

The location/vicinity map shows adjacent streets and properties, as well as the land uses and zoning for those properties. Any contiguous property owned by the property owner or applicant must also be shown. The location/vicinity map must be drawn to scale and include dimensions. The location/vicinity map can be made a part of the site plan where space permits.

### ***Findings for Granting a CUP***

The CUP may be issued only when the P&Z finds that the applicant has considered and adequately addressed all of the following issues to ensure that the proposed use will be compatible with the surrounding area. Therefore, the CUP application must include a written response indicating how the request meets the findings identified in Section 10-20.40.050 of the Zoning Code. Attach substantiating documentation when necessary.

1. That the conditional use is consistent with the objectives of the Zoning Code and purpose of the zone in which the site is located.
2. That granting the conditional use will not be detrimental to the public health, safety or welfare. The factors to be considered in making this finding shall include, but not be limited to:
  - a. Property damage or nuisance arising from noise, smoke, odor, dust, vibration, or illumination;
  - b. Hazard to persons or property from possible explosion, contamination, fire, or flood; and,
  - c. Impact on surrounding areas arising from unusual volume or character of traffic.
3. That the characteristics of the conditional use as proposed and as it may be conditioned are reasonably compatible with the types of uses permitted in the surrounding area. The Conditional Use Permit shall be issued only when the Planning Commission finds that the applicant has considered and adequately addressed the following to ensure that the proposed use will be compatible with the surrounding area:
  - a. Access and traffic; pedestrian, bicycle, and vehicular circulation;
  - b. Adequacy of site and open space provisions, including site capacity and resource protection standards where applicable;
  - c. Noise, light, visual, and other pollutants;
  - d. Proposed style and siting of structure(s), and relationship to the surrounding neighborhood;
  - e. Landscaping and screening provisions;
  - f. Impact on public utilities;
  - g. Signage and outdoor lighting;
  - h. Dedication and development of streets adjoining the property; and
  - i. Impacts on historical, prehistoric, or natural resources.

### ***Neighborhood Meeting***

A neighborhood meeting in accordance with Section 10-20.30.060 of the Zoning Code may be required. The applicant shall work with the Planning Development Manager to determine if a meeting is required.

**Applications will not be accepted or scheduled until all submission requirements are met. Neither the application nor accompanying development plans can be amended or modified once an application has been submitted.**

### **Process to Schedule and Notify Affected Property Owners of a Public Hearing before the Planning and Zoning Commission**

#### ***Step 1: Schedule Planning and Zoning Commission Hearing***

Work with the Planning Development Manager handling the CUP case to schedule a hearing before the P&Z Commission.

#### ***Step 2: Notification to Affected Property Owners***

The applicant for public hearings in the City of Flagstaff shall **post signs and notify affected property owners by mail** as prescribed by Section 10-20.30.080 of the City of Flagstaff Zoning Code to assist in providing adequate notice to interested parties and to meet Arizona State Statutes.

The applicant is also responsible for establishing a list of the names and addresses of persons who require notification of a public hearing as established in sections 10-20.30.60.(A).3, 10-20.30.60.(B), and 10-20.30.60.(C) of the Zoning Code. These persons include:

- Each real property owner (if different from the applicant) as shown on the last assessment of the property, of any land within the areas subject to the application for which the public hearing is required.
- Each real property owner (if different from the applicant) as shown on the last assessment of the property of any land which is located within 300 feet of the property subject to the application for which the public hearing is required. The Director may expand the notification area based on the location and context of the subject property if it is determined that the potential impact of the development extends beyond the required notification boundary.
- The situs or actual address of all tenants and residents living on the subject property.
- All local government agencies which have reviewed and commented on the proposed development or Zoning Map amendment or which about the subject property.

The applicant is required to mail a notice of required public hearing via first class mail to each of the persons on the list referenced above no later than 15 days prior to the public hearing date.

The applicant must also erect and maintain a sign on the subject property no later than 15 days prior to the public hearing, and to update the hearing information on the sign until final disposition of the case. It shall also be the responsibility of the applicant to remove the sign within seven (7) days after the final disposition of the case.

### ***Step 3: Documentation of Notification to Affected Parties***

The applicant must submit a notarized copy of the mailing list, *Affidavit of Notifications to Affected Property Owners*, and *Affidavit of Sign Posting* to the Director prior to the fifteenth day before the public hearing date.

**The *Public Hearing Notice Sign Specification* and *Mailing Notification Instructions* documents provide detailed instructions on posting and notifications requirements.**

### **Expiration**

**A CUP expires one year from the date of P&Z approval unless a grading or building permit is obtained or the use is established. The P&Z may grant a one-time extension of 180 days following a formal request for such an extension by the applicant. The extension must be approved before the CUP expiration date.**

### **Appeals**

Any person aggrieved by a decision of the P&Z to approve or deny a CUP (including the applicant) may file an appeal with the City Council. An appeal must be submitted in writing to the Planning Director or Community Development Director within 10 days of the P&Z's decision. The City Council will conduct a public hearing and at the conclusion of the hearing shall affirm, reverse, or modify the decision.

### **Public Record**

All information submitted in conjunction with this application will become part of the public record and may be provided to members of the public. You must notify the City prior to submitting this application if you believe the information you are submitting may be proprietary or confidential.

### **For Further Information**

For further information regarding the application and submission requirements for a CUP, please contact:

Planning and Development Services Section  
City of Flagstaff  
211 W Aspen Avenue  
Flagstaff AZ 86001

Becky: 928-213-2618 | 928-779-7684 Fax  
[cdfrontcounter@flagstaffaz.gov](mailto:cdfrontcounter@flagstaffaz.gov)

## Mailing Notification Instructions

Every mailed notice of a public hearing shall include:

- The date, time, location and purpose of the hearing;
- The name of the body conducting the hearing, and a telephone number to receive additional information;
- The location and times at which the complete application and development file may be viewed by the public;
- The address or location of the subject property;
- A general description of the proposed development or action and the property included in the application;
- A statement that any interested person or authorized agent may appear and be heard;
- A statement describing how and when to submit written comments;
- The existing zone classification; and
- The words “Zoning,” “Annexation,” or “Conditional Use Permit” as applicable.

Notices of required public hearings shall be sent by first class mail to the following persons:

- Each real property owner (if different from the applicant) as shown on the last assessment of the property, of any land within the areas subject to the application for which the public hearing is required.
- Each real property owner (if different from the applicant) as shown on the last assessment of the property of any land which is located within 300 feet of the property subject to the application for which the public hearing is required. The Director may expand the notification area based on the location and context of the subject property if it is determined that the potential impact of the development extends beyond the required notification boundary.
- The situs or actual address of all tenants and residents living on the subject property.
- All local government agencies which have reviewed and commented on the proposed development or Zoning Map amendment or which abut the subject property.

Additional noticing requirements:

In proceedings involving one or more of the following proposed changes or related series of changes in the standards governing land uses, notice shall be provided as described in subsections (2) and (3) below:

- A 10 percent or more increase or decrease in the number of square feet or units that may be developed.
- A 10 percent or more increase or reduction in the allowable height of buildings.
- An increase or reduction in the allowable number of stories of buildings.
- A 10 percent or more increase or decrease in setback or open space requirements.
- An increase or reduction in permitted uses.

2. Notice shall be sent to all persons or groups whose names are on the registry of persons and groups described in subsection (B) of this section who are interested in receiving such notice.

3. Notice shall be provided to real property owners in compliance with at least one of the following notification procedures:

- Notice shall be sent by first class mail to each real property owner, as shown on the last assessment, whose real property would be directly governed by the changes.
- Notice shall be included with water bills or other City mass mailings.
- Notice shall be published in a newspaper of general circulation published or circulated in the City in the form of a “display ad” covering not less than one-eighth of a full page.

**Affidavit of Notifications to Affected Property Owners**

**Case Number:** \_\_\_\_\_

**Project Name:** \_\_\_\_\_

**Applicant Name:** \_\_\_\_\_

**Location:** \_\_\_\_\_

In order to assist in providing adequate notice to interested parties and to meet Arizona State Statute, the **applicant** for public hearings in the City of Flagstaff shall notify affected property owners as prescribed by Section 10-20.30.080 of the City of Flagstaff Zoning Code. **It shall be the responsibility of the applicant to establish a list of the names and addresses of persons who require notification of a public hearing as established in sections 10-20.30.60.(A).3, 10-20.30.60.(B), and 10-20.30.60.(C) of the Zoning Code, and mail a notice of required public hearing via first class mail to each of the persons on the list referenced above no later than 15 days prior to the public hearing date. It shall also be the responsibility of the applicant to submit a notarized copy of the mailing list to the Director prior to the fifteenth day before the public hearing date.**

I confirm that the public hearing notifications were mailed as detailed in Section 10-20.30.080 of the City of Flagstaff Zoning Code at least fifteen (15) days prior to the public hearing.

Applicant's/Representative's Signature: \_\_\_\_\_

SUBSCRIBED AND SWORN before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_ by:

\_\_\_\_\_  
Notary Public

My Commission Expires:  
\_\_\_\_\_

### Public Hearing Notice Sign Specification

- The sign shall be a minimum of 3 feet x 3 feet in size.
- The sign shall be constructed of laminated coroplast, laminated plywood, or other suitable construction material.
- The sign shall have a white background with black lettering. The least expensive process is laminated direct printing.
- The minimum lettering size shall be 1.2 inch for lowercase and 1 inch for upper case.
- The words “Public Hearing” shall be a minimum of 2 inches in size (Sign lettering should be formatted to match the example below).
- The content of the sign shall match the example below and include specific case details.
- The sign shall be securely fastened to wooden or metal stakes.
- The applicant is responsible for maintaining the integrity and accuracy of the sign.
- The height of the sign shall be at least 4 feet from finished grade to top of sign and shall not be obstructed from view.

<p style="text-align: center;"><b>City of Flagstaff</b></p> <p style="text-align: center;"><b>PUBLIC HEARING</b></p> <p style="text-align: center;"><b>Planning and Zoning Commission: (Date and Time)</b></p> <p style="text-align: center;"><b>LOCATION OF HEARING(S):</b></p> <p style="text-align: center;"><b>REQUEST:</b></p> <p style="text-align: center;"><b>PROPOSAL:</b></p> <p style="text-align: center;"><b>GENERAL LOCATION:</b></p> <p style="text-align: center;"><b>SIZE OF SITE:</b></p> <p style="text-align: center;"><b>CASE#</b></p> <p style="text-align: center;"><b>APPLICANT/CONTACT:</b></p> <p style="text-align: center;"><b>PHONE #:</b></p> <p style="text-align: center;"><b>Planning &amp; Development Services Department: 928-213-2600</b></p> <p style="text-align: center;">Posting Date:</p>
---

**Affidavit of Sign Posting**

**Case Number:** \_\_\_\_\_

**Project Name:** \_\_\_\_\_

**Applicant Name:** \_\_\_\_\_

**Location:** \_\_\_\_\_

In order to assist in providing adequate notice to interested parties and to meet Arizona State Statute, the **applicant** for public hearings in the City of Flagstaff shall post signs as prescribed by Section 10-20.30.080 of the City of Flagstaff Zoning Code. **It shall be the responsibility of the applicant to erect and to maintain the sign on the subject property 15 days prior to the hearing and to update the hearing information on the sign until final disposition of the case. It shall also be the responsibility of the applicant to remove the sign within seven (7) days after the final disposition of the case.**

I confirm that the site has been posted as detailed in Section 10-20.30.080 of the Zoning Code as well as the Public Hearing Notice Sign Specifications included in this application for the case above and the site was posted at least fifteen (15) days prior to the public hearing.

See attached date stamped photo exhibit of posted signs.

Applicant's/Representative's Signature: \_\_\_\_\_

SUBSCRIBED AND SWORN before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_ by:

\_\_\_\_\_  
Notary Public

My Commission Expires:  
\_\_\_\_\_

RESPONSE TO FINDINGS PER SECTION 10-20-40.050 - **Responses in bold type.**

1. That the conditional use is consistent with the objectives of this Zoning Code and the purpose of the zone in which the site is located. **The proposed office use is well within the typical usage found in Li zoning and is similar to other businesses in the area.**

2. That granting the conditional use will not be detrimental to the public health, safety or welfare. The factors to be considered in making this finding shall include, but not be limited to: **The proposed office use will not create nuisance arising from noise, smoke, odor, dust, vibration or illumination. There is no risk of hazardous materials or impact from excessive traffic.**

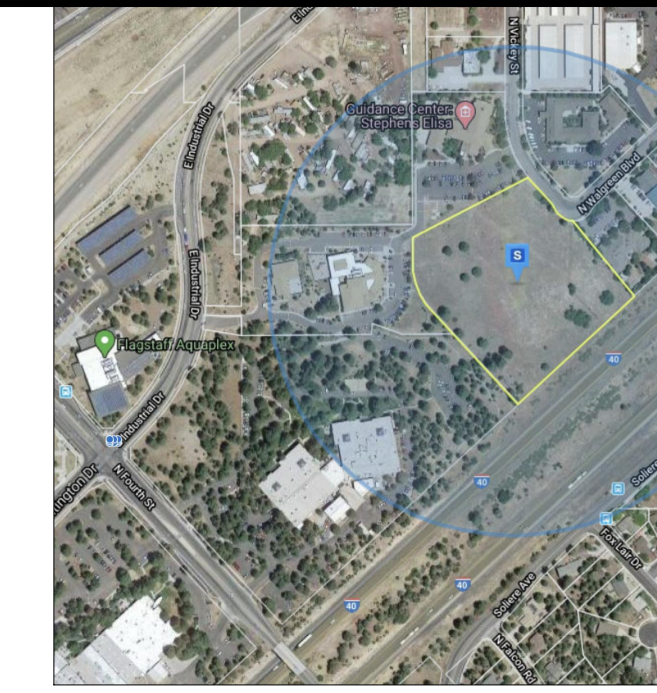
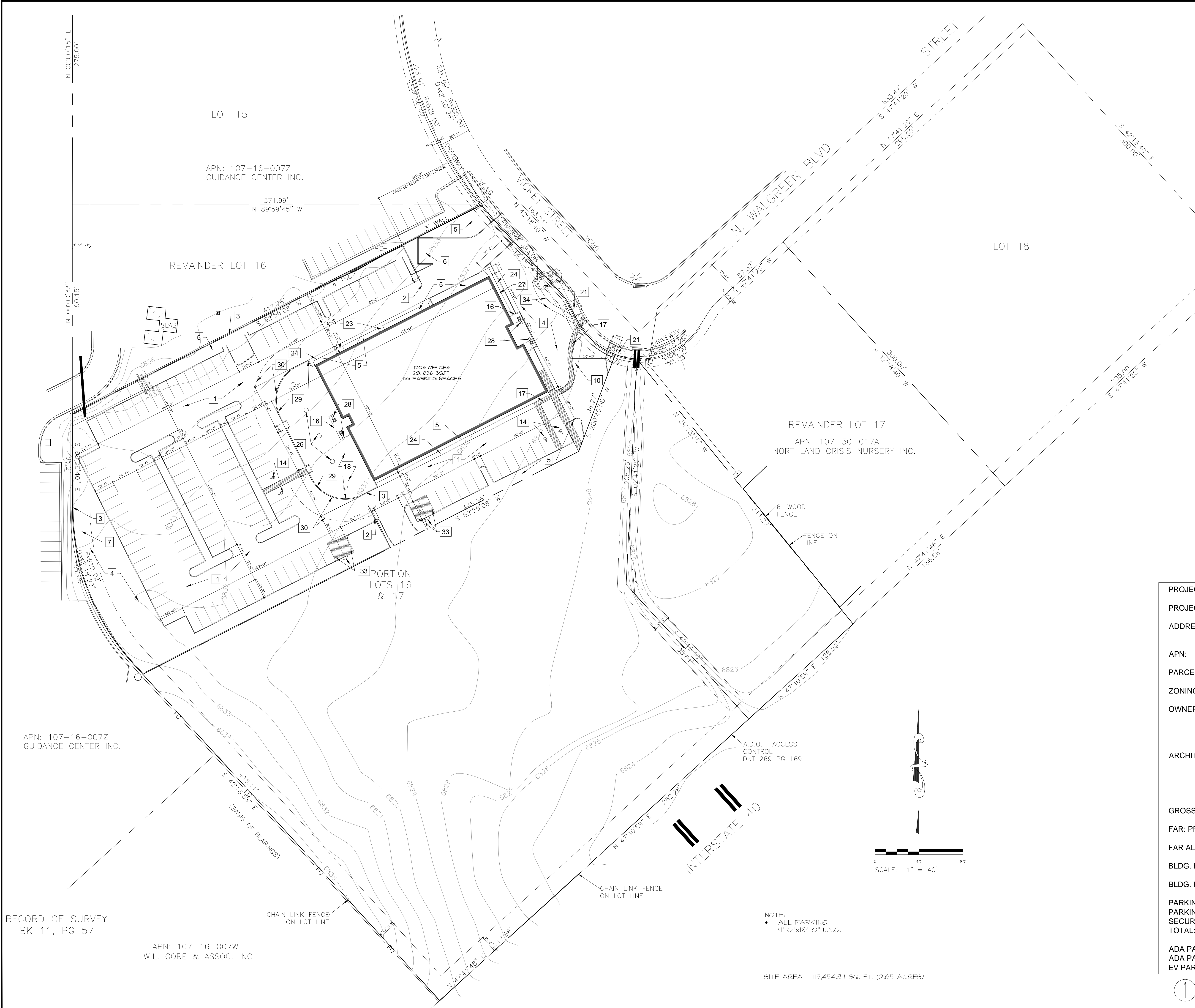
- a. Property damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination;
- b. Hazard to persons or property from possible explosion, contamination, fire or flood; and
- c. Impact on surrounding areas arising from unusual volume or character of traffic.

3. That the characteristics of the conditional use as proposed and as it may be conditioned are reasonably compatible with the types of uses permitted in the surrounding area. The conditional use permit shall be issued only when the Planning Commission finds that the applicant has considered and adequately addressed the following to ensure that the proposed use will be compatible with the surrounding area:

- a. Access, traffic, and pedestrian, bicycle and vehicular circulation; **The proposed office use will not create excessive traffic. The tenant DCS historically generates very light traffic.**
- b. Adequacy of site and open space provisions, including resource protection standards, where applicable; **Open space and resource protection standards have been addressed and are included in the proposed plan. The site has Site Plan Review approval and meets or exceeds all requirements.**
- c. Noise, light, visual and other pollutants; **All office activities on the site will be within the building. A dining/break area at the rear of the site is the only outdoor activity anticipated.**
- d. Proposed style and siting of structure(s), and relationship to the surrounding neighborhood; **The building has received site plan approval and meets all requirements for style, siting, and relationship to the surrounding neighborhood.**

RESPONSE TO FINDINGS cont.

- e. Landscaping and screening provisions, including additional landscaping in excess of otherwise applicable minimum requirements; **Existing mature landscape materials have been retained where possible. New landscaping exceeds the minimum code requirements. Sidewalks have been designed specifically to preserve existing trees.**
- f. Impact on public utilities; **Office usage will be substantially less than typical LI usage.**
- g. Signage and outdoor lighting; **Signage will be limited to wall signs as shown on the building elevations and will fall within code standards. Site lighting for security purposes will conform to the dark sky requirements.**
- h. Dedication and development of streets adjoining the property; and **All required dedications for sidewalks and site drainage have been made.**
- i. Impacts on historical, prehistoric or natural resources. **Not applicable on this site.**



2 VICINITY MAP  
Scale: N.T.S.

- KEYNOTES:**
1. PAVED PARKING AREA
  2. SLIDING ELECTRIC GATE
  3. 6' MASONRY FENCE
  4. RETENTION / LANDSCAPE
  5. LANDSCAPING
  6. 13x23' TRASH ENCLOSURE
  7. DEDICATED EASEMENT
  8. PAVED DELIVERY YARD
  9. RETAINING WALL
  10. PAVED DRIVEWAY
  11. RAMP
  12. EXTERIOR DOCK
  13. DOCK AREA
  14. ADA COMPLIANT PARKING SPACE  
11'x18' w/ 5' WIDE ACCESS
  15. EXISTING SWALE TO BE RELOCATED
  16. ENTRANCE CANOPY OVER  
4' WIDE ADA ACCESSIBLE ROUTE MAX  
5% GRADE
  18. STAFF DINING PATIO
  19. DUMPSTER
  20. LANDSCAPE ISLAND
  21. EXISTING TREE TO BE RETAINED
  22. PROPERTY LINE
  23. A/C PAD 3x5' EQUALLY SPACE ON  
BUILDING FACE
  24. CONCRETE SIDEWALK
  25. DRAINAGE EASEMENT PER CIVIL  
ENGINEER'S DRAWINGS
  26. (5) 4'Ø PLANTER
  27. PLANTER
  28. BIKE RACK (4)
  29. 3' MASONRY FENCE
  30. 35'/55' TURNING RADII w/ 26' DRIVE  
AISLE
  31. 6x6' DUMPSTER
  32. TRASH COMPACTOR
  33. EV CARS w/ CHARGING STATION
  34. LINE OF NEW SIDEWALK, SEE CIVIL  
ENGINEER'S DRAWINGS

PROJECT DATA:	
PROJECT NAME:	DCS OFFICES
ADDRESS:	2163 N. VICKEY STREET FLAGSTAFF, AZ 86004
APN:	107-30-016 B
PARCEL SIZE:	115,454 SF, 2.65 AC NET
ZONING:	LI, LIGHT INDUSTRIAL
OWNER / DEVELOPER:	ARROW DEV. CORP. PO BOX 12187 GLENDALE, AZ 85318-1287 720-261-0402
ARCHITECT:	ANDY PULSIPHER 7045 N. 23 RD WAY PHOENIX, AZ 85020 602-264-1500 ANDY1521@AOL.COM
GROSS FLOOR AREA:	20,836 SF - ONE STORY
FAR: PROPOSED:	20,836 / 115,454 = .180
FAR ALLOWED:	1.5
BLDG. HT.	24'-0"
BLDG. HT ALLOWED:	60'-0"
PARKING REQ'D:	OFFICE - 20,836/300 = 70
PARKING PROVIDED:	PUBLIC: 16
SECURED:	117
TOTAL:	133
ADA PARKING REQ'D:	3
ADA PARKING PROV'D:	4
EV PARKING PROV'D:	4

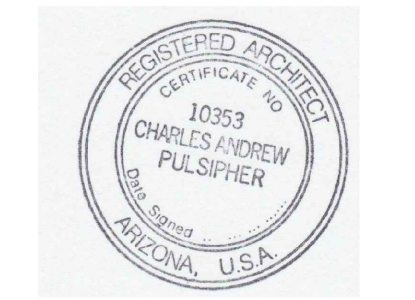
NOTE:  
• ALL PARKING  
9'-0"x18'-0" U.N.O.

SITE AREA - 115,454.31 SQ. FT. (2.65 ACRES)

RECORD OF SURVEY  
BK 11, PG 57

APN: 107-16-007W  
W.L. GORE & ASSOC. INC

1 PRELIMINARY SITE PLAN  
Scale: 1:40



EXPIRES 12/19/2020

ARCHITECT:  
*Andy Pulsipher*  
7045 N 23RD WAY  
PHOENIX, ARIZONA 85020  
Phone: (602) 264-1500  
ANDY1521@AOL.COM

# DCS OFFICES

2165 N VICKEY STREET, FLAGSTAFF AZ 86004

REVISIONS

△	
△	
△	
△	
△	

DATE: 11/4/20

DRWN BY: AP

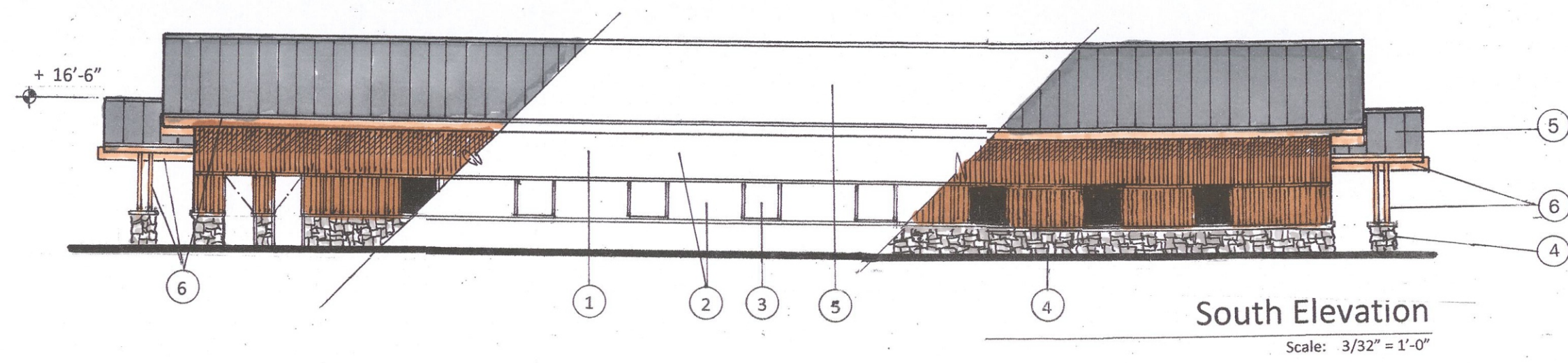
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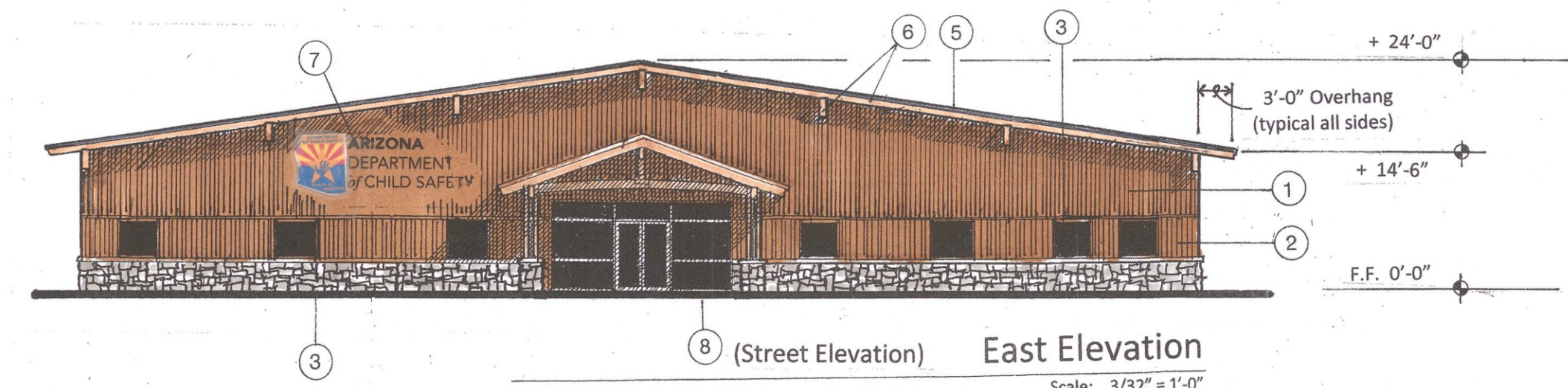
STK PLN

Sheet Number:  
**A001**

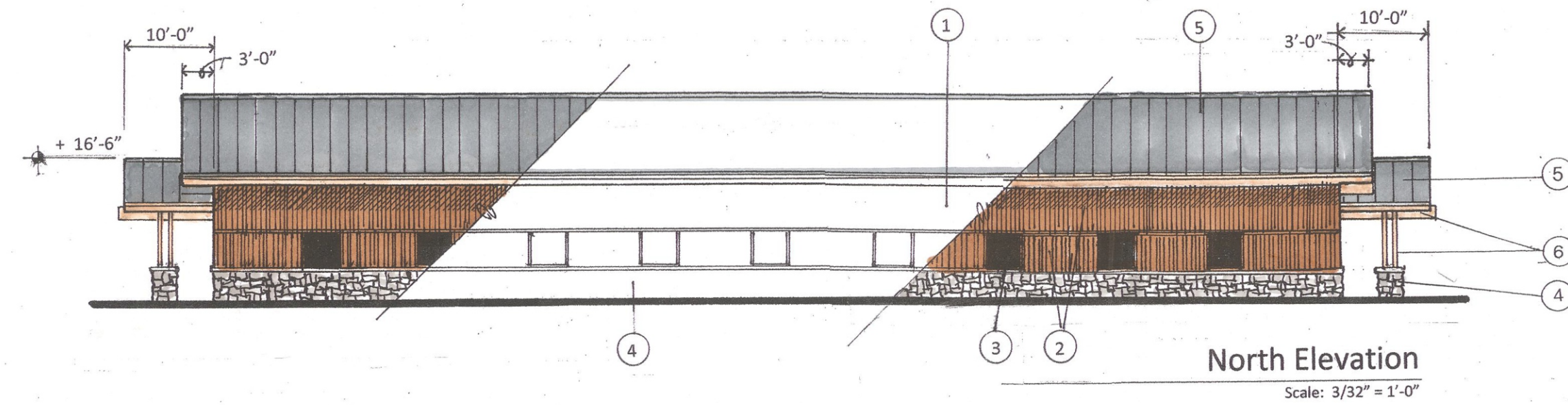
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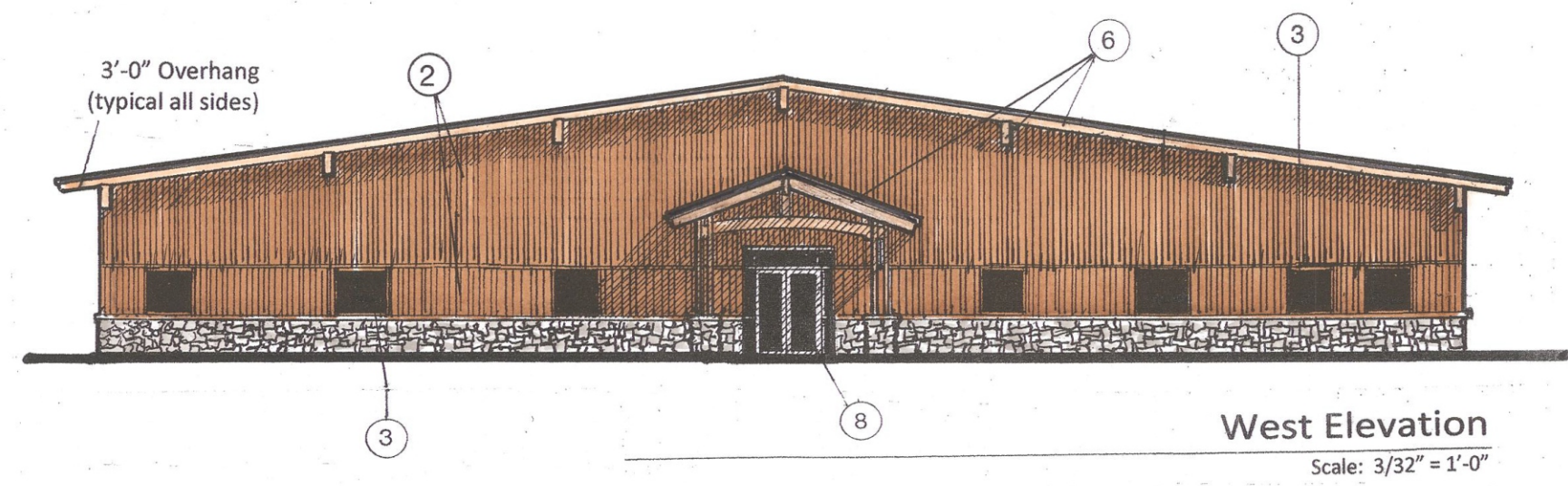
South Elevation  
Scale: 3/32" = 1'-0"



East Elevation  
Scale: 3/32" = 1'-0"



North Elevation  
Scale: 3/32" = 1'-0"



West Elevation  
Scale: 3/32" = 1'-0"

**Key Notes:**

1. Pre-finished metal siding as Mfg. by Bunger Steel  
Color: Bunger Rust TSR: 29
2. Pre-finished metal siding as Mfg. by Bunger Steel  
Color: Bunger Rust TSR 429
3. Duo pane Low-E glazing; Solarban 60 as mfg. by PPG  
SHGC: 0.38  
Frame to be Black anodized aluminum by Western or approved equal. Typical all glazing.
4. Harvest Gold Limestone - Tumbled Squared Thin Veneer - Flats  
By Natural brick and stone depot
5. Pre-finished Corrugated metal roof as Mfg. by Bunger Steel  
Color: Charcoal TSR: 32
6. Exterior wood beams, fascia and columns to receive min. two coats clear polyurethane as mfg. by Dunn Edwards or approved equal.
7. 1/4" Flat Cut Out 1/4" Aluminum
8. Storefront system to be 250T Insulpour Thermal Entrance as Mfg. by Kawneer.  
Color - Black Anodized

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF ANDY POLSINGER. ANY REPRODUCTION OR FURTHER PUBLICATION OF THESE DRAWINGS FOR ANY PROJECT OTHER THAN THAT AUTHORIZED BY ANDY POLSINGER IS PROHIBITED BY LAW. DO NOT SCALE DRAWINGS. ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY DISCREPANCIES CONCERNING THE INFORMATION HEREIN. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR WORK IN PLACE DIFFERING FROM THE INFORMATION AND INTENT OF THESE DRAWINGS.

Exp.: 12/21

Andy Polsinger

ARCHITECT:  
7045 N 23RD WAY  
PHOENIX, ARIZONA 85020  
PHONE: (602) 264-1500  
ANDY1521@AOL.COM

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New Offices  
For  
Dept. of Child Safety  
2163 N. Vickey Street, Flagstaff, AZ

REVISIONS
△
△
△
△
△

DATE: 9/19/20  
DRWN BY: AP  
CHKD BY:  
JOB #:  
STK: PLN

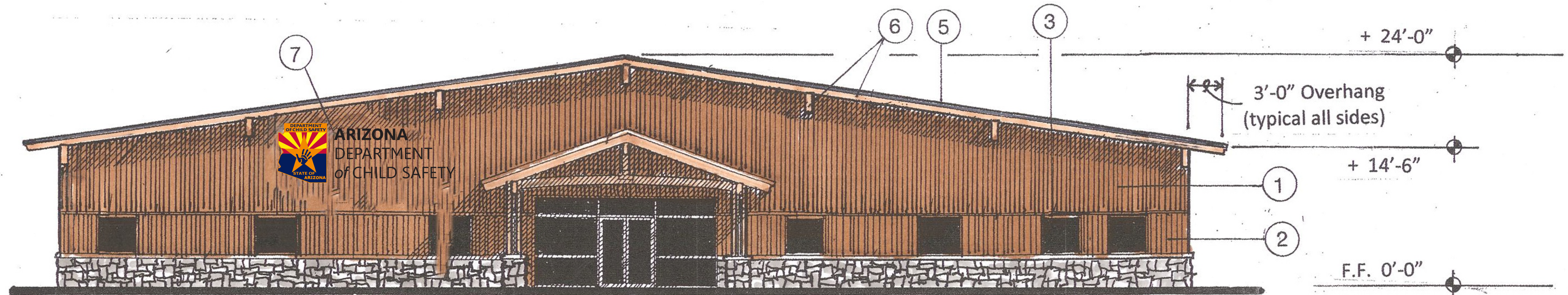
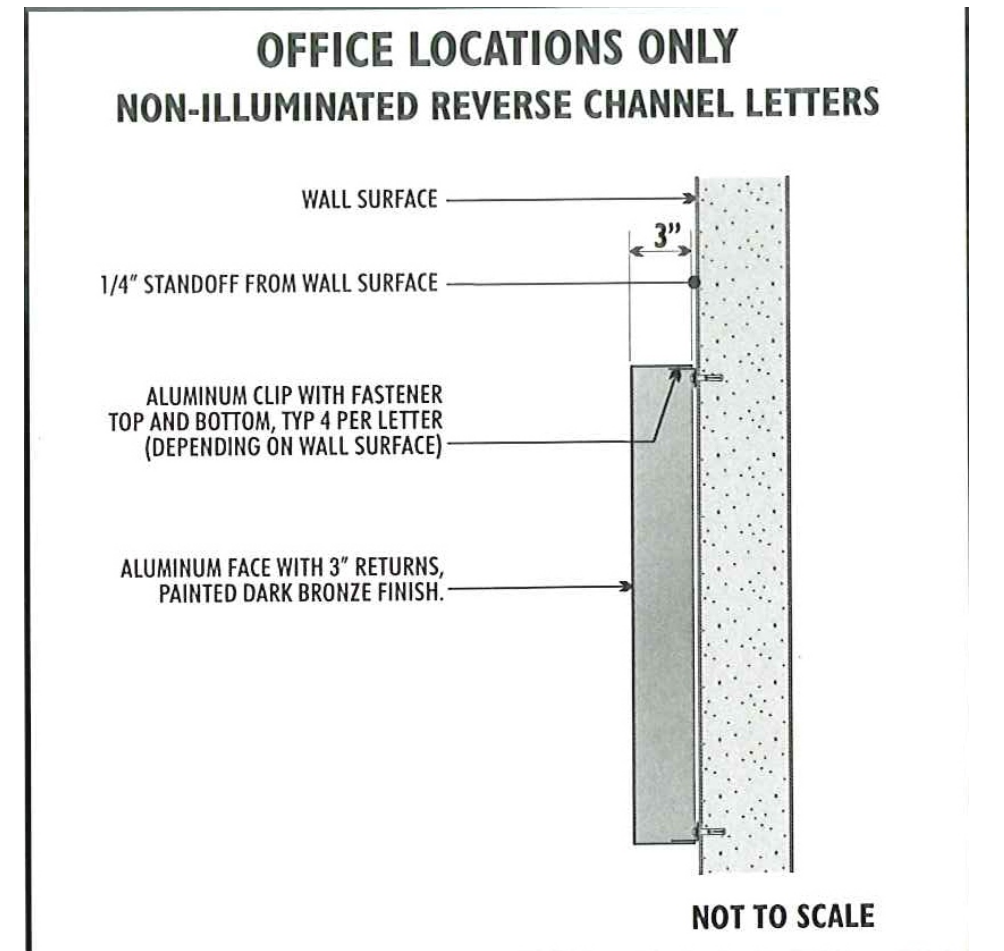


**ARIZONA**  
**DEPARTMENT**  
*of* **CHILD SAFETY**

**A** Flat Cut Out 1/4" Aluminum w/printed logo

**B** Flat Cut Out 1/4" Aluminum

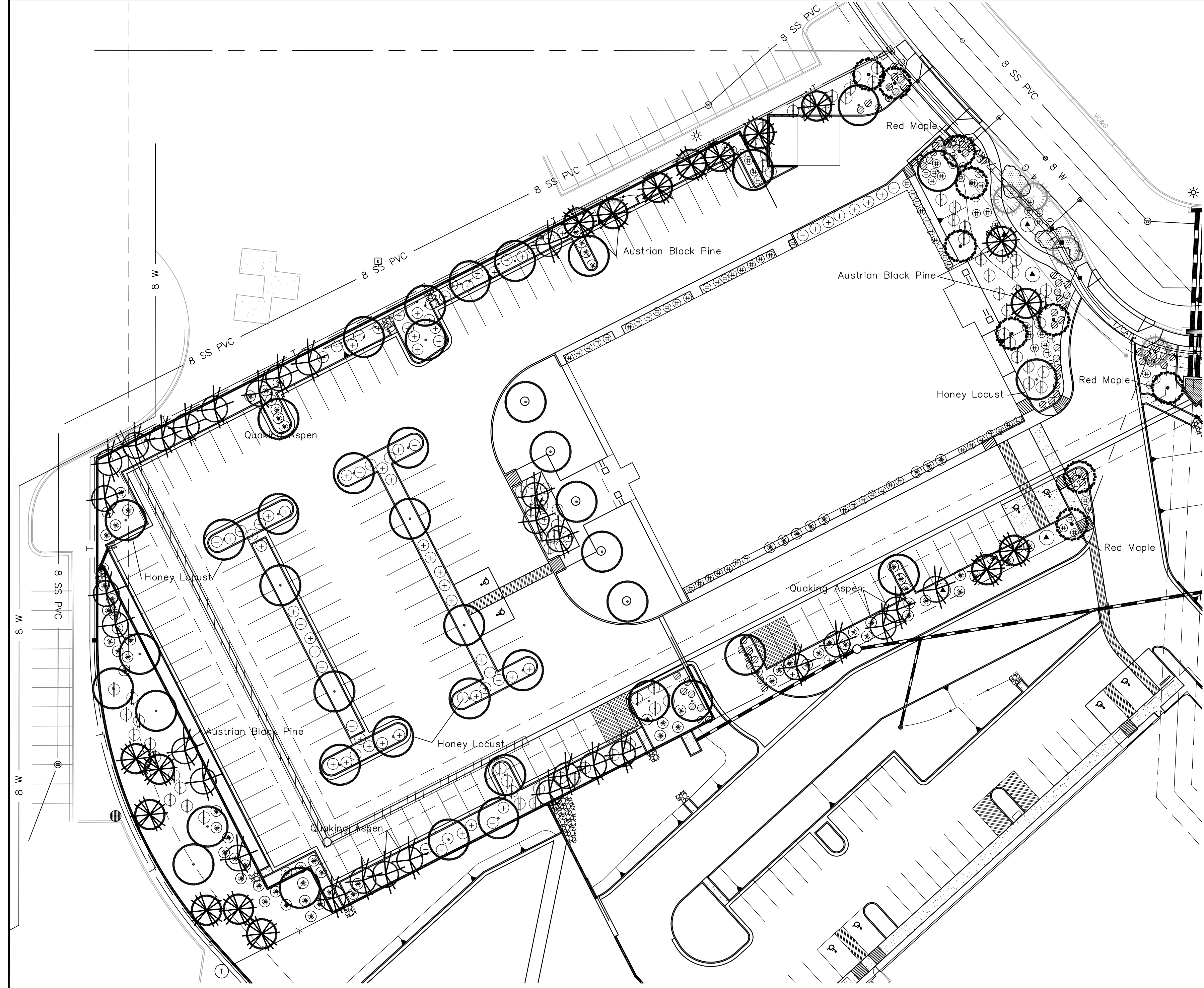
191.39"



3 (Street Elevation) East Elevation

Scale: 3/32" = 1'-0"

**111.06' LINEAR STREET FOOTAGE**



PLANT MATERIAL LEGEND

KEY	SYMBOL	BOTANICAL/COMMON NAME	SIZE (Height, Canopy, & Caliper)	QUANT.
<b>EXISTING PLANTS</b>				
(A)		Pinus nigra Austrian Black Pine	Existing to remain	4
(B)		Pinus ponderosa Ponderosa Pine	Existing to remain	0
<b>TREES</b>				
(1)		Acer rubrum Red Maple	3" Cal Double-Staked Typ.	10
(2)		Gleditsia triacanthos var. inermis Honey Locust	3" Cal Double-Staked Typ.	42
(3)		Populus tremuloides Quaking Aspen	1-1/2" cal. Double-Staked Typ.	31
(4)		Pinus nigra Austrian Black Pine	6' tall. 8" tall Double-Staked Typ.	7 10
<b>SHRUBS</b>				
(5)		Berberis thunbergii Japanese Barberry	5 Gallon	88
(6)		Juniperus c. 'Sea Green' Sea Green Juniper	5 Gallon	89
(7)		Mahonia aquifolium Oregon Grape	5 Gallon	71
(8)		Mahonia repens Creeping Mahonia	5 Gallon	82
(9)		Cotoneaster horizontalis Rock cotoneaster	5 Gallon	99
(10)		Pinus mugo Mugo Pine	5 Gallon	4
(11)		Arctostaphylos uva-ursi Bearberry Kinnikinnick	1 Gallon @ 24" O.C.	120 S.F.
<b>LANDSCAPE MATERIALS</b>				
(12)		Shredded Bark	3" Deep	

NOTE:  
 BUILDING PERIMETER: 594'/25' = 24 TREES, 48 SHRUBS, 48 GROUNDCOVERS  
 PARKING STALLS: 18 FINGERS = 18 TREES, 36 SHRUBS, 36 GROUNDCOVERS  
 STREET BUFFER : 145'/25' = 6 TREES, 18 SHRUBS, 18 GROUNDCOVERS  
 (4 OF THE ABOVE ARE EXISTING TREES)  
 SIDE YARD BUFFER: 1214'/25' = 49 TREES, 98 SHRUBS, 98 GROUNDCOVERS  
 TOTAL 97 TREES, 156 SHRUBS, 156 GROUNDCOVERS

AREA OF NORTH SITE - 115,454.37 SQ. FT. (2.65 ACRES)

LANDSCAPE PLAN

SCALE 1"=30'-0"



LANDSCAPE NOTES

- CONTRACTOR TO VERIFY ALL SITE CONDITIONS PRIOR TO STARTING WORK.
- LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL HE DEEMS UNACCEPTABLE BEFORE OR AFTER PLANTING.
- GROUND COVER AND/OR DECOMPOSED GRANITE SHALL EXTEND UNDER SHRUBS UNLESS OTHERWISE NOTED AND ALL BEDS THROUGHOUT THIS SITE.
- SOIL PREPARATION:  
 A: PLANTING PIT BACKFILL FOR ALL TREES (15 GALLON AND LARGER) AND SHRUBS-GROUNDCOVER (5 AND 1 GALLON) SHALL BE AS FOLLOWS:  
 6 PARTS BY VOLUME ON SITE SOIL  
 4 PARTS BY VOLUME NITROGENIZED SAWDUST  
 1 PART BY VOLUME GYPSUM  
 1 POUND 16-20-0 PER CUBIC YARD OF MIX  
 B: ALL PLANTS WITH THE EXCEPTION OF GROUND COVERS AND TURF AREAS TO RECEIVE AGRIFORM (20-10-5) PLANTS TABS AT THE FOLLOWING RATES:  
 1 GALLON 1-21 GRAM TABLETS  
 5 GALLON 2-21 GRAM TABLETS  
 15 GALLON 4-21 GRAM TABLETS  
 24" BOX 6-21 GRAM TABLETS
- ALL GRADING TO PLUS OR MINUS 1/10 OF ONE FOOT BY GENERAL CONTRACTOR. THE FINISH GRADING AND FINE RAKING BY LANDSCAPE CONTRACTOR.
- ALL GROUND COVER AREAS FROM (5) GALLON CONTAINERS OR LARGER SHALL RECEIVE 2" MINIMUM DEPTH OF DECOMPOSED GRANITE.
- ALL PLANTING AREAS TO HAVE DECOMPOSED GRANITE AS SPECIFIED.
- LANDSCAPE CONTRACTOR TO APPLY (2) APPLICATIONS OF PRE-EMERGENT HERBICIDE(S) COMPATIBLE WITH SEED MIXTURE(S) AND VEGETATIVELY PLANTED MATERIALS. CONTRACTOR TO USE ONLY APPROVED WEED CONTROL MATERIALS AND A LICENSED APPLICATOR. NO MATERIAL OR METHOD SHALL EFFECT THE LANDSCAPE PLANTING AND ESTABLISHMENT MATERIALS AND METHODS MUST CONFORM TO FEDERAL, STATE AND LOCAL REGULATIONS.
- PLANT AS PER DETAILS PROVIDED, ADJUSTMENTS WILL BE BY THE L.A. ONLY. BRING ANY PROPOSED CHANGES TO L.A.'S ATTENTION PRIOR TO CHANGES. AREAS OF STANDING WATER SHALL BE BROUGHT TO THE ATTENTION OF THE L.A. AND THE CITY OF SURPRISE.
- THE CORRECTION OF ALL DRAINAGE PROBLEMS IN ALL PLANT BEDS IS A PART OF THIS CONTRACT. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING APPROPRIATE GRADES TO ENSURE THAT ALL WATER SHALL NOT COLLECT IN ANY PLANT PITS OR PLANT BEDS OR AGAINST BUILDINGS AND WALKS.
- ANY SUBSTITUTIONS, DELETIONS, ETC. SHALL BE APPROVED ONLY BY L.A. AND THE CITY OF SURPRISE.
- CONTRACTOR SHALL PROVIDE THE OWNER WITH A ONE YEAR GUARANTEE ON ALL TREES AND IRRIGATION WORK AND WORKMANSHIP. CONTRACTOR SHALL PROVIDE THE OWNER WITH A 90 DAY GUARANTEE ON ALL SHRUBS, GROUNDCOVERS AND WORKMANSHIP. GUARANTEE SHALL BEGIN UPON FINAL ACCEPTANCE BY L.A. MAINTAIN ALL PLANTINGS UNTIL FINAL ACCEPTANCE BY THE L.A. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A SITE MEETING, AT THE CONCLUSION OF THE GUARANTEE PERIOD, WITH THE OWNER.
- VANDALISM CORRECTIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR. LANDSCAPE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PROTECT ALL WORK DURING CONSTRUCTION. PROVIDE FENCING/ROPING AS REQUIRED.
- CONTRACTOR SHALL PROVIDE L.A. WITH THREE WEEK NOTICE ON THE FOLLOWING INSPECTIONS:  
 1. INSPECTION OF FINISHED GRADES, PRIOR TO PLANTING, AND PLANT MATERIALS INSPECTIONS.  
 2. IRRIGATION INSPECTIONS  
 3. FINAL INSPECTIONS.  
 THESE INSPECTIONS ARE REQUIRED. IT IS THE CONTRACTORS RESPONSIBILITY TO CALL THE L.A. AND SCHEDULE A TIME. THE COST OF THESE INSPECTIONS WILL BE THE RESPONSIBILITY OF THE OWNER.
- SEE ALL GRADING, ENGINEERING, ARCH., SITE AND UTILITY PLANS. ALL LANDSCAPE WORK SHALL BE ADJUSTED AROUND SITE IMPROVEMENTS.
- ALL PLANTINGS SHALL BE IRRIGATED - SEE IRRIGATION PLAN
- OBTAIN ALL BONDS AS REQUIRED BY THE STATE AND LOCAL CODES TO PERFORM WORK AS SHOWN.
- ANY SLOPES 4:1 (HORZ. : VERT.) AND STEEPER WHICH SHALL BE PLANTED WITH TREES, SHRUBS OR GROUNDCOVERS SHALL BE STABILIZED TO PREVENT EROSION SEE CIVIL PLANS FOR THE PROPOSED SLOPES.
- ALL PERMITS AND BONDS, AS MAY BE REQUIRED BY THE CITY OR COUNTY, IN WHICH THIS PROJECT OCCURS, SHALL BE PAID FOR AND AVAILABLE AT THE TIMES REQUIRED BY THE GOVERNING BODY, AND PROVIDED FOR BY THE LANDSCAPE CONTRACTOR.
- ALL TREES WITHIN THE SIGHT TRIANGLE TO BE TRIMMED UP 7' AND SHRUBS TO BE BELOW 2'.
- PROVIDE 8% SLOPE AWAY FROM CURB OR WALK 5'-0" ALONG ALL SETBACKS

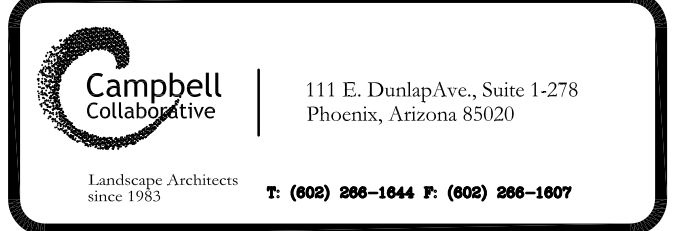
ARCHITECT:  
  
 7045 N.23RD WAY  
 PHOENIX, ARIZONA 85020  
 Phone: (602) 264-1500  
 ANDY1521@AOL.COM

**LANDSCAPE PLAN**  
 DCS OFFICES & MYGRANT GLASS FACILITY

REVISIONS

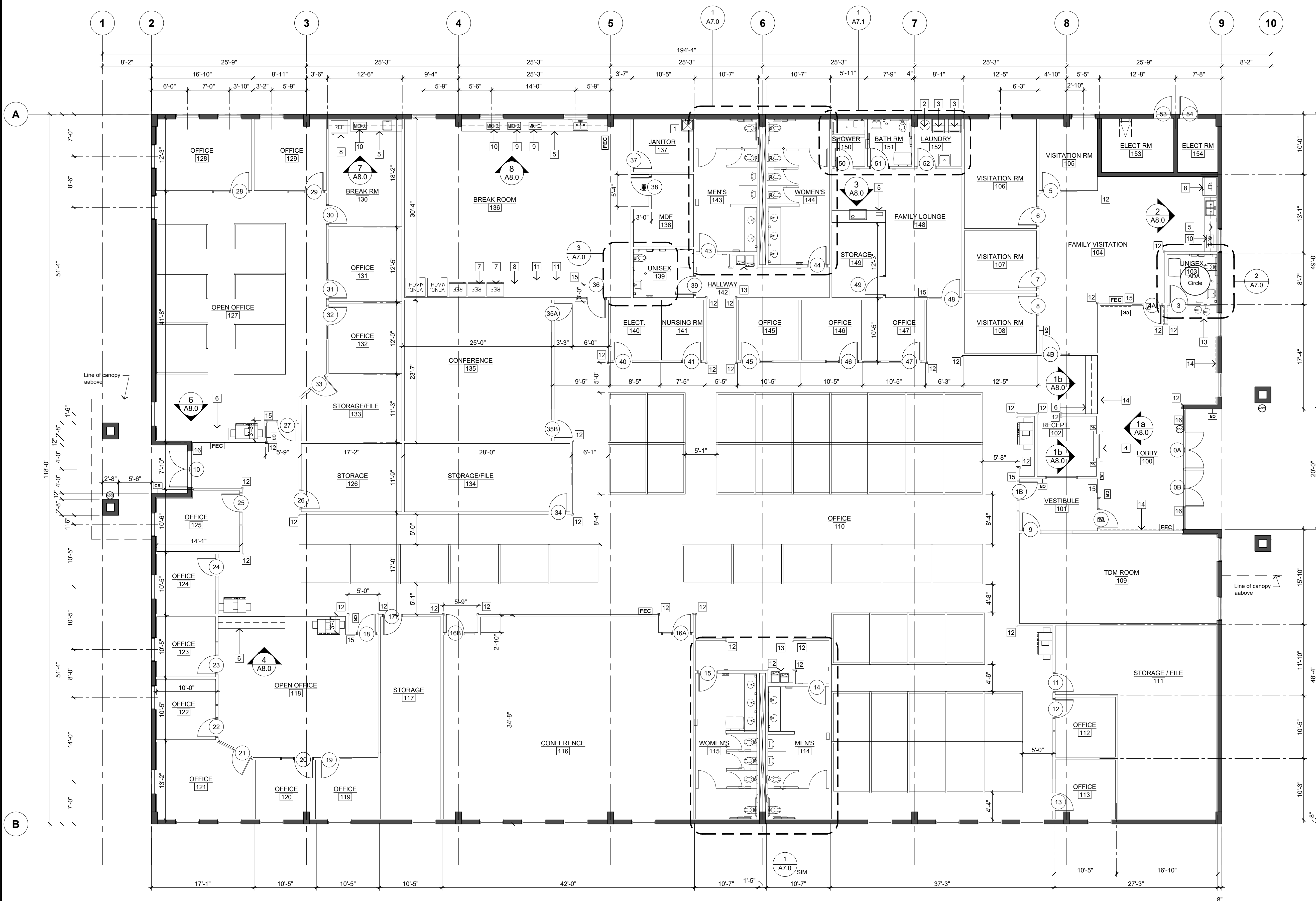
3/3/2020	- BLDG A MOVED 12'
3/3/2020	- ENTRANCE CANOPY, ADA ACCESS ROUTE
3/3/2020	- BLDG B ROAD WIDTH, DCS PARKING, STAFF DINING PATIO

DATE: **09-OCT-20**  
 DRWN BY: DRC  
 CHKD BY: DRC  
 JOB #:  
 STK PLN:



Sheet Number:  
**L001**

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- ### Wall Legend
- New exterior wall. 8" Z" channels at 24" oc between horizontal supports. Provide 3/4" furring channel with 5/8" type 'X' gyp. bd. on interior side. Provide R19 Insulation. See mechanical and structural drawings.
  - New interior non-bearing partition. Fin. Fir. - Clg. 3-5/8" x 25ga. studs @ 24" oc w/ sound bat. insulation. 5/8" type 'X' gyp. bd. both sides.
  - New interior non-bearing partition. Fin. Fir. - Clg. 3-5/8" x 25ga. studs @ 24" oc

- ### Legend
- Door Number See door schedule.
  - Window Number See window schedule.
  - Automatic door opener. See door schedule.
  - Card Reader System shall be isolated from Internet or network connections. Include all hardware and software for operation and maintenance of proximity card database. Provide desktop computer installed in MDF room.
  - Weapons Locker Tiffin Metal Products 4 drawer wall mounted locker. Manuf: Fasco Model: FLC-707-4W Color: Selected by Tenant Note: Mount at 27" Max. AFF to bott. of locker.
  - Fire Extinguisher. Type to comply with local fire marshal requirements.

- ### Keynotes
- 1 New janitor's floor sink. See plumbing drawings for specifications.
  - 2 New water heater. See plumbing drawings.
  - 3 Washer and dryer. Provide by bldg. owner. Verify specifications with tenant.
  - 4 New transaction window with plexi plastic laminated transaction top @ 34" aff. see elevation.
  - 5 New upper and lower plastic laminated millwork with single basin stainless steel kitchen sink. See elevation.
  - 6 New plastic laminated upper and lower millwork. See elevation.
  - 7 Refrigerator provided by bldg. owner. Verify specifications with tenant.
  - 8 Refrigerator provided by tenant. Coordinate specifications with building owner.
  - 9 Microwave provided by bldg owner. Verify specifications with tenant.
  - 10 Microwave provided by tenant. Coordinate specifications with building owner.
  - 11 Vending machine provided by tenant.
  - 12 New pawling corp. vinyl corner guards 48"h x 3"w or approved equal. Verify all locations with tenant.
  - 13 Hi/Low drinking fountain. Elkay EZOSTL8LC or approved equal.
  - 14 Provide 1"x6" hardwood, stained and varnished chair rail at all lobby walls.
  - 15 Provide tactile exit route signage.
  - 16 Provide tactile exit signage.
  - 17 Furniture systems provided by tenant.

EXPIRES 12/19/2021

ARCHITECT:

*Andy Palsch*  
7045 N 23RD WAY  
PHOENIX, ARIZONA 85020  
Phone: (602) 264-1500  
ANDY152@AOL.COM

**Department of Child Safety**

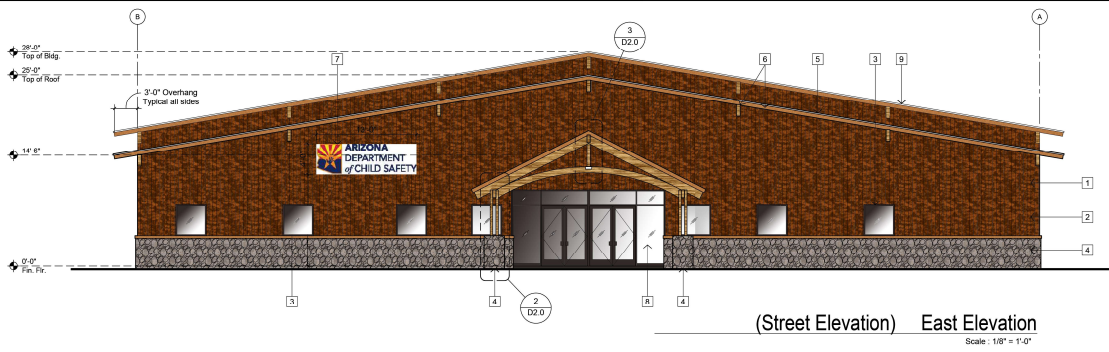
address  
city, State

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DATE	15-Jun-20
DRWN BY	ES
CHKD BY	AP
JOB #	
STK PLN	

Sheet Number:  
**A2.0**

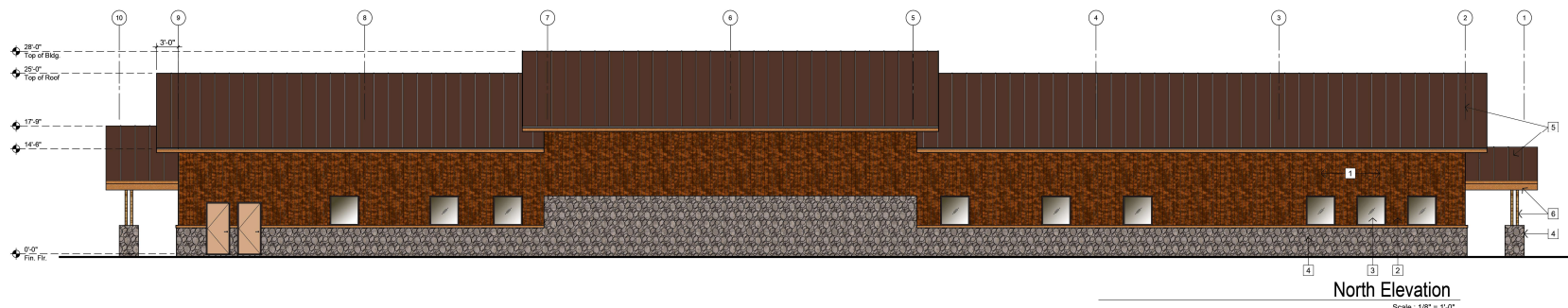
**Dimensioned Floor Plan**  
Scale: 1/8" = 1'-0"



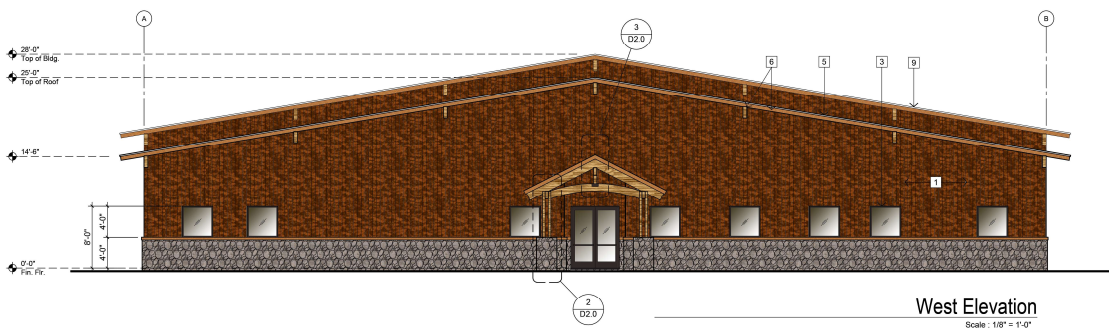
(Street Elevation) East Elevation  
Scale: 1/8" = 1'-0"

**Keynotes**

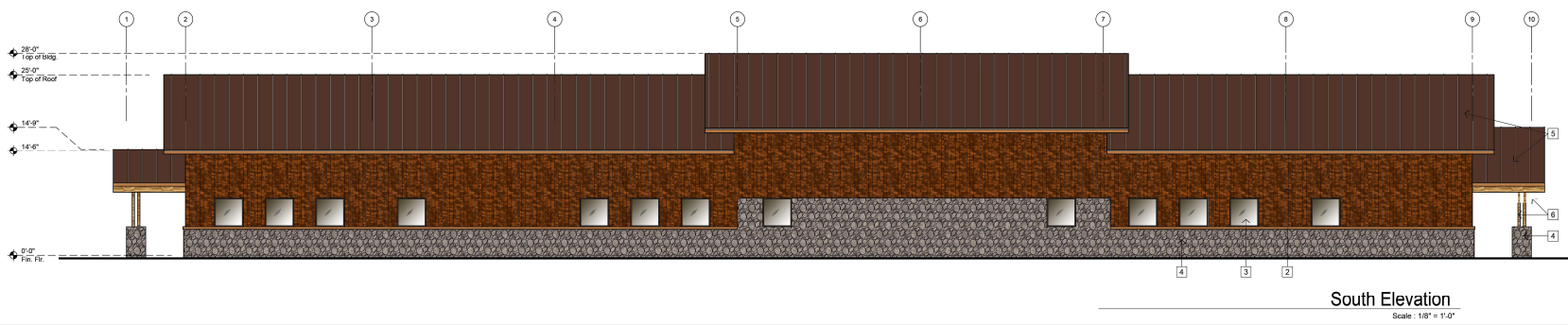
- 1 Pre-finished metal siding as Mfg. by Bunger Steel  
Color: Ash Gray TSR: 50
- 2 Pre-finished metal siding as Mfg. by Bunger Steel  
Color: Copper Penny TSR: 46
- 3 Duo pane Low-E glazing.  
Solarban 60 as mfg. by PPG.  
SHGC: 0.38  
Frame to be black anodized aluminum by Western or approved equal. Typical at glazing.
- 4 Harvest Gold Limestone - tumbled squared thin veneer over 8x8x16 CMU.
- 5 Pre-finished corrugated metal roof as mfg. by Bunger Steel  
Color: Bunker Rust TSR: 29
- 6 Exterior wood beams, fascia and columns to receive min. two coats clear polyurethane as mfg. by Dunn Edwards or approved equal.
- 7 Front lighted sign under separate permit.
- 8 Stonefront system to be 250T Insulpour Thermal Entrance as Mfg. by Kawneer.  
Color - Black Anodized.
- 9 Roof line beyond.



North Elevation  
Scale: 1/8" = 1'-0"



West Elevation  
Scale: 1/8" = 1'-0"



South Elevation  
Scale: 1/8" = 1'-0"

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EXHIBIT 02 | 181 | 2020

ARCHITECT:

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ANDYPAL@AOL.COM

**Department of Child Safety**

2163 N. Vickey Street  
Flagstaff, AZ 86004

REVISIONS

▲	
▲	
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▲	
▲	

DATE: 15-Jun-20  
DRAWN BY: ES  
CHKD BY: AP

JOB #  
STK PLN

Sheet Number:  
**A4.0**

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
SA	7	Lithonia Lighting	(2) DSXO LED P4 AMBLW TSM SPATW-N-HEAD DSX Area Luminaire Size DDBXD / SSS 13.5" W/2.5" BASE P4 Lumen Package Limited Wavelength Amber Type TSM Distribution	DSXO_LED_P4_AMBLW_TSM_ies	3094	0.91	107			
SB	1	Lithonia Lighting	(2) DSXO LED P4 AMBLW TSM SPATW-N-HEAD @ 907 DSX Area Luminaire Size O P4 Lumen Package Limited Wavelength Amber Type TSM Distribution	DSXO_LED_P4_AMBLW_TSM_ies	2993	0.91	107			
SC	5	Lithonia Lighting	DSXO LED P4 AMBLW TSM SPATW-N-HEAD DSX Area Luminaire Size O P4 Lumen Package Limited Wavelength Amber Type TSM Distribution with Houseade Shield	DSXO_LED_P4_AMBLW_TSM_HS_ies	2313	0.91	53.5			
SD	9	Lithonia Lighting	DSXO LED P4 AMBLW T4M WBA HSDX Wall Mount Luminaire Size O P4 Lumen Package Limited Wavelength Amber Type T4M Distribution with Houseade Shield	DSXO_LED_P4_AMBLW_T4M_HS_ies	2252	0.91	53.5			
SF	3	Luminis	SY610-L1115-RSS-VOLTAJE BK K27 SL (FACTORY LOCKED DOWN LIGHT FOR FULL CUTOFF)	SY610-L1115-RSS-ies	1701	0.91	15.3			
SG	9	Lithonia Lighting	DSXO LED P1 AMBLW T4M WBA HSDX Area Luminaire Size O P1 Lumen Package Limited Wavelength Amber Type T4M Distribution with Houseade Shield	DSXO_LED_P1_AMBLW_T4M_HS_ies	1244	0.91	28.5			

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SITE - FC @ GRADE	+	0.6 fc	15.5 fc	0.0 fc	N/A	N/A

(FIXTURE SF)

**LUMINIS SY610 SERIES STRIX LED SURFACE CEILING DOWN LIGHT**

**SY610 SERIES**  
6" SURFACE CEILING DOWN LIGHT

**Specifications:**  
 Type: SY610  
 Fixture: SY610  
 Reflector: SY610  
 Voltage: 120V  
 Finish: White  
 Option: Standard

**Materials:**  
 The main housing is made of anodized aluminum, with an optional stainless steel light source. The light source is made of high quality LED chips. The lens is made of clear polycarbonate. The top cover is made of clear polycarbonate. The bottom cover is made of clear polycarbonate. The light source is made of high quality LED chips. The lens is made of clear polycarbonate. The top cover is made of clear polycarbonate. The bottom cover is made of clear polycarbonate.

**Mounting:**  
 The SY610 is designed for surface mounting. It is suitable for use in dry locations. The SY610 is designed for surface mounting. It is suitable for use in dry locations.

**Electrical:**  
 The SY610 is designed for surface mounting. It is suitable for use in dry locations. The SY610 is designed for surface mounting. It is suitable for use in dry locations.

(FIXTURES SA-SD)

**D-Series Size 0 Amber Series LED Area Luminaire**

**Introduction:**  
 The modern styling of the D-Series is striking yet understated - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series shells the benefits of the latest in LED technology into a high-performance, high efficacy, long-life luminaire. The outstanding photometric performance results in a luminaire that provides uniform, glare-free lighting and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

**Specifications:**  
 EPA: 0.15  
 Length: 36"  
 Width: 12"  
 Height: 12"  
 Weight: 15 lbs

**Ordering Information:**  
 EXAMPLE: DSXO LED P4 AMBLW TSM MVOLT SPA DDBXD

Code	Quantity	Description	Notes
SA	7	DSXO LED P4 AMBLW TSM MVOLT SPA DDBXD	
SB	1	DSXO LED P4 AMBLW TSM MVOLT SPA DDBXD	
SC	5	DSXO LED P4 AMBLW TSM MVOLT SPA DDBXD	
SD	9	DSXO LED P4 AMBLW TSM MVOLT SPA DDBXD	



**CITY OF FLAGSTAFF LIGHTING ORDINANCE TABLE 10-50.70.500.A**

FIXTURE DESIGNATION	LAMP WATTAGE	LAMP PER FIXTURE	TOTAL LUMENS THIS TYPE
SA (7)	LED AMBER (107)	2	43316 LUMENS
SB (1)	LED AMBER (107)	2	5986 LUMENS
SC (5)	LED AMBER (53.5)	1	11565 LUMENS
SD (9)	LED AMBER (53.5)	1	20268 LUMENS
SF (3)	LED AMBER (15.3)	1	5103 LUMENS
SG (9)	LED AMBER (28.5)	1	11196 LUMENS
TOTAL LUMENS	309000	(YES)	97434 LUMENS

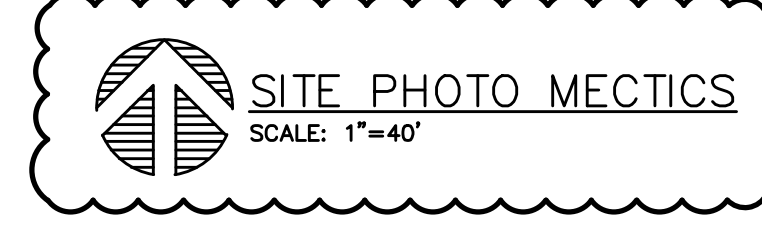
**Maximum Permitted TOTAL Lumens**

Zone 1: 25,000 lumens/acre    Zone 2: 50,000 lumens/acre    Zone 3: 100,000 lumens/acre

• Step 1: Maximum permitted lumens/acre for your Zone 100,000 x 6.64 site acres = 664,000 maximum permitted lumens for the entire site (if using no LED or NSALED lights)

• Step 2: Input results from Step 1 above 664,000 + 1.43 = 464,336 maximum permitted lumens for the entire site (if using only LED and/or NSALED lights) LUMENS USED 97434

• Step 3: Input results from Step 1 above 664,000 - proposed non-LED/non-NSALED lumens 0 + 1.43 = 974,336 maximum permitted lumens for the entire site (if using both LED/NSALED and other types of lights)



Expires 3/31/21  
 2163 VICKY STREET  
 ROBERT T. HAINES  
 PROFESSIONAL ENGINEER  
 ANDY PALSCHER

7045 N 23RD WAY  
 PHOENIX, ARIZONA 85020  
 Phone: (602) 264-1900  
 ANDY152@AOL.COM

**SITE PLAN LIGHTING & PM**  
 DCS OFFICES & MYGRANT GLASS FACILITY  
 2163 N VICKY STREET, FLAGSTAFF AZ 86004

REVISIONS  
 CITY COMMENTS 6-29-2020

DATE: 02-14-2020  
 DRAWN BY: RTH  
 CHKD BY: RTH  
 JOB #:  
 STK PLN:

Sheet Number:  
**PM**

UNITED DESIGN ELECTRICAL GROUP, INC.  
 CONSULTING ENGINEERS  
 UDEG20-020  
 8313 N. 85TH PLACE    PHONE (602) 971-1129  
 SCOTTSDALE, ARIZONA 85258    CELL: 602-329-0509  
 E-MAIL: greene100@gmail.com    GEORGE C. REEVES III S.D.

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**Planning & Zoning Commission**

**5. B.**

**Meeting Date:** 01/13/2021

**From:** Tiffany Antol, Planning Director

---

**Information**

**TITLE:**

**Sky Cottages PZ-20-00153**

Concept Zoning Map Amendment, by Vintage Partners, of approximately 23.08 acres located at 2701 South Woody Mountain Road from the Rural Residential (RR) zone to the Medium Density Residential (MR) zone. The development site is already located within the Resource Protection Overlay (RPO).

**STAFF RECOMMENDED ACTION:**

Staff recommends the Planning and Zoning Commission, in accordance with the findings presented in this report, forward the Concept Zoning Map Amendment request to the City Council with a recommendation for approval with conditions.

---

**Attachments**

Staff Report  
Application  
Legal Notice  
Legal Description  
Concept Zone Plan Part 1  
Concept Zone Plan Part 2  
Concept Zone Plan Part 3  
Project Narrative  
Citizen Participation Plan  
Emails from citizens  
Letter from Mountain Line

---

**PLANNING AND DEVELOPMENT SERVICES REPORT**  
**CONCEPT ZONING MAP AMENDMENT**

**PUBLIC HEARING**  
**PZ-20-00153**

**DATE:** December 31, 2020  
**MEETING DATE:** January 13, 2021  
**REPORT BY:** Tiffany Antol, AICP

**REQUEST:**

Concept Zoning Map Amendment, by Vintage Partners, of approximately 23.08 acres located at 2701 South Woody Mountain Road from the Rural Residential (RR) zone to the Medium Density Residential (MR) zone. The development site is already located within the Resource Protection Overlay (RPO).

**STAFF RECOMMENDATION:**

Staff recommends the Planning and Zoning Commission, in accordance with the findings presented in this report, forward the Concept Zoning Map Amendment request to the City Council with a recommendation for approval with conditions.

**PRESENT LAND USE:**

The subject property ("Property") is approximately 23.08 acres of an overall 37-acre parcel generally located between East Route 66 and McAllister Ranch Road, west of Woody Mountain Road. The property is currently vacant, is partially wooded, and gently slopes from west to east. The southern portion of the property is crossed by high voltage electrical transmission lines. The 14 acres to the north (of the overall 37 acres) include approximately 2 acres at the immediate southwest corner of Route 66 and Woody Mountain Road which are located in unincorporated Coconino County and zoned General (G); the remaining 12 acres are zoned Rural Residential with the Resource Protection Overlay.

**PROPOSED LAND USE:**

The developer proposes the construction of a multi-family residential development with a maximum of 208 dwelling units at an overall maximum density of approximately 9 dwelling units per acre. Dwelling units will consist of a mixture of 1-, 2- and 3-bedroom dwelling units. The project is intended to be developed as a combination of single-story bungalow and two-story townhome style units. The development includes outdoor amenities and on-site surface parking.

**NEIGHBORHOOD DEVELOPMENT:**

See the attached area context map.

North: Vacant 14 acres zoned Rural Residential (RR) and General (G) in unincorporated Coconino County  
East: Single-family homes zoned High Density Residential (HR) (Presidio)  
South: Vacant zoned Single Family Residential (R1) (Timber Sky)  
West: Vacant zoned Medium Density Residential (MR) and High Density Residential (HR) (Timber Sky)

---

**I. Project Introduction**

**A. Background/Introduction**

The applicant, Vintage Partners, is requesting a Concept Zoning Map Amendment to rezone approximately 23.08 acres of an existing 37-acre parcel from the Rural Residential (RR) zone to the Medium Density Residential (MR) zone located at 2701 South Woody Mountain Road. This amendment would allow the development of a multi-family residential development consisting of between 199-208 dwelling units located within single and duplex bungalow and townhouse building types. The concept plan provided currently shows 202 units. The Property is currently undeveloped land with a grouping of ponderosa pine trees left after the 2006 Woody Fire burned this site. The property gently slopes away from Woody Mountain Road with no significant slope resources.

An applicant requesting an amendment to the Zoning map may elect to pursue either a "Direct to Ordinance with a Site Plan" or "Authorization to Rezone with a Concept Zoning Plan" per Section 10-20.50.040.D of the Zoning Code. The Direct to Ordinance with a Site Plan process requires the applicant to submit fully developed site plans with all supporting

information required for site plan review concurrently with the Zoning Map amendment application. Once the Zoning Map amendment is approved by the Council, then the applicant can proceed directly to construction plan and building permit review. The Authorization to Rezone with a Concept Zoning Plan process allows the applicant to prepare a concept zoning plan and pursue site plan application after Council approves the Zoning Map Amendment. A Concept Zoning Plan should consist of a plan with proposed use(s), vicinity maps, context map, concept phasing, housing types if applicable and a proposed circulation map. This means that staff has not reviewed building heights, development standards, landscape plans, outdoor lighting plans, signage plans or architectural design standards for this project in a detailed and cohesive manner. These reviews will only take place after the Zoning Map Amendment is approved. Staff does not typically encourage the use of Concept rezonings on site specific developments such as Sky Cottages. Concept rezonings are best suited for large multi-phased developments such as Timber Sky or Canyon del Rio.

**B. Proposed Rezoning and Development Plan**

The developer, Vintage Partners in combination with Mosaic, is requesting rezoning approval to permit the development of a multi-family development consisting of a minimum of 199 dwelling units and a maximum of 208 dwelling units. The proposed development would consist of bungalow (single-story) and townhome (two-story) building types ranging from one- to three-bedroom units. The unit mix as shown on the concept plan includes the following:

<u>UNIT DESCRIPTION</u>	<u>NO. OF UNITS</u>	<u>PERCENTAGE</u>
1 Bed/1 Bath	100	50%
2 Bed/2 Bath	51	25%
3 Bed/2 Bath	51	25%

The minimum density requirement in the Medium Density Residential zone is 6 units per acre and the maximum density is 9 units per acre with the Resource Protection Overlay. This project at 202 units per 23.08 acres equates to 8.75 units per acre. The Zoning Code utilizes “Gross Density” where the density of a development is calculated by the total number of dwelling units divided by the total acreage of the Development Site Area. This applicant will be providing additional right-of-way for both McAlister Ranch Road (.75 acres) and Woody Mountain Road (1.16 acres). The Development Site Area after these right of way dedications (net area) will be approximately 21.17 acres in size.

Access to the development will be from Woody Mountain Road and McAllister Ranch Road creating a “primary road” through the development. In many ways the development is laid out like a conventional single-family residential neighborhood with driveways enhanced to look like streets. The residential units on the site are proposed to be developed around a centrally located amenity area that provides for both community open and civic spaces as required by the Zoning Code. Smaller open spaces areas are incorporated throughout the development. Primary amenities include a play area, event and gathering lawn, ramada, patio, fire pit, and/or sport court.

**II. Concept Zoning Plan**

On December 21, 2020, the Inter-Department Staff (IDS) deemed the application for Concept Zoning to be complete. If this rezoning is approved the applicant will need to submit for Site Plan review prior to submitting civil plans or building permits.

**A. Zoning – City of Flagstaff Zoning Code**

If this Concept Zoning Map Amendment request is approved, approximately 23.08 acres will be rezoned to the Medium Density Residential (MR) zone. Development of the site will be conditioned to the approved concept plan and a final development agreement. Any substantial change to the approved concept plan would (more than a 10% density increase/decrease or modification to any condition of approval) will require a new rezoning request and further review and approvals by the Planning and Zoning Commission and City Council. The Concept Plan provided includes the general site layout, open space and civic space areas, general circulation, general building floor plans, and elevations.

i. **Site Planning Standards**

In accordance with Section 10-30.60.030 of the Zoning Code, a site analysis was completed in conjunction with the concept plan for this project that examines the topography of the site, solar orientation, existing/native vegetation types, view corridors, climate, subsurface conditions, drainage swales and stream corridor, and the built environment and land use context. The slopes on the subject property are less than 17%, so buildings foundations do not need to be designed to step with the terrain. Solar orientation has been considered and the applicant has agreed to provide a minimum of 20 (3 bedroom) units with solar panels in the development agreement. The Forest Resources are addressed below as in accordance with the provisions of the Resource Protection Overlay. The placement of the units has been carefully considered to keep views and private spaces for each of the units within the proposed development.

The applicant has provided a concept plan that takes into account the key contextual influences including the sensitivity of adjacent land uses; location of property boundaries and setbacks; location of adjacent roads, driveways, pedestrian ways and bicycle facilities; location of proposed transit facilities; as well as the existing built environment.

ii. **Resource Protection**

There is a Resource Protection Overlay zone on the subject site. The Zoning Code requires 50% of the tree resources to be saved. The Zoning Code provides an incentive for the provision of at least 10% affordable units within the development that allows tree resource preservation to be reduced by 25%. A 25% reduction of 50% equates to a 37.5% preservation requirement. A conceptual Natural Resource Protection Plan (NRPP) was submitted as part of this rezoning application, which utilizes this incentive, showing approximately 37.7% of the tree resources preserved on the site. If this rezoning application is approved, an NRPP in compliance with the provision of the Zoning Code will be required as part of the Site Plan review. Staff will ensure compliance with the Zoning Code during Site Plan and Civil Plan review.

iii. **Open Space & Civic Space**

The MR zone requires 15% of the gross lot area to be Common Open Space (Table 10-40-30.030.A). A minimum of 3.46 acres of open space are required for the proposed residential project. The plans provided do not detail the quantity of open space provided but show three large expansive spaces. The two primary common areas are called the North and South Commons and provide the bulk of the amenities for the residents of the community. Only conceptual open space and amenity plans are provided with this application. Detailed plans will be reviewed as part of the Site Plan application.

Section 10-30.60.060.B.1.b of the Zoning Code requires developments with 50 or more dwelling units to provide a minimum of 5% of the site as Civic Space. This space must be accessible to the general public. A total of 1.15 acres of civic space is required for this project. The detention basin located at the northern portion of the property adjacent to Woody Mountain Road is the primary civic space within the residential project. The plans show this site as a lush green lawn designed as an amphitheater with different points of access for the larger Community. The sides of the basin are shown at a 4:1 slope with a maximum depth of 3 feet. The detention basin side slopes will not exceed a maximum of 3:1 during the final design. Only conceptual plans for this civic space are provided with this application. Detailed plans will be reviewed as part of the Site Plan application.

iv. **Pedestrian and Bicycle Circulation Systems**

Because this property is undeveloped there are no existing edge improvements along the property frontages. As part of this development the applicant will be required to install edge improvements along both McAllister Ranch Road to the south and Woody Mountain Road to the west. The edge improvements along McAllister

Ranch Road include a 5-foot parkway with a 5-foot sidewalk. Along Woody Mountain Road the development will be required to install a 5-foot parkway with a 10-foot concrete FUTS trail in place of the sidewalk. The intent is for this FUTS to meander slightly along this frontage. The FUTS along Woody Mountain Road is currently nonexistent so this will be the first portion of the intended FUTS along Woody Mountain Road. Both McAllister Ranch Road and Woody Mountain Road are designed to incorporate bike lanes.

Interior bicycle and pedestrian circulation have been provided through multiple access points from the proposed development to the adjacent streets, but also to the adjacent Timber Sky development as was originally anticipated within that development plan. As stated previously, the internal driveways have been designed to be more “street-like” which helps delineate space for both pedestrians and bicycles within the interior of the project.

**v. Compatibility and Architectural Design Standards**

Compatibility does not mean “the same as” but rather it refers to how well a new development is sensitive to the character of existing development. The Zoning Code breaks down compatibility into three categories: Patterns of Development, Scale, and Continuity.

Patterns of Development include streetscapes, site relationships, signage, and landscape features. As stated previously, the proposed development has been laid out like a conventional single-family residential development with similar circulation systems. In contrast, these units will be more directly connected to the surrounding streets which will help to create an inviting entrance into the Timber Sky development.

Scale refers to similar or harmonious proportions, overall height and width, the visual intensity of the development, and the building massing. The development as proposed does not look like a typical apartment complex, instead consisting of building types that more closely represent that of the surrounding development. The Medium Density Residential (MR) zone has a maximum building height of 35 feet like the properties directly to the east of the site. Several properties in the immediate vicinity are located within the High Density Residential (HR) zone which has a maximum building height of 60 feet. The proposed development is limited to one- and two-story building types which is like the existing development pattern in the area.

Continuity encompasses patterns of development and scale, but also site development, building forms, texture, materials, details, and colors. Sample elevations have been provided, but staff has yet to review the final architectural design, colors or materials, all of which will need to comply with the Architectural Design standards found in the Zoning Code.

**vi. Landscaping**

Landscaping plans are not required in conjunction with a Concept Zoning Map Amendment application. If this rezoning is approved, Staff will review the required landscape plans and ensure compliance with the Zoning Code during site plan review. At the concept plan level, staff is most concerned with ensuring adequate landscape street buffers along Woody Mountain Road (10 feet) and McAllister Ranch Road (5 feet) as well as the requirements for building foundation landscaping. The proposed building types present a unique challenge for applying building foundation landscaping because there are many small individual buildings that equate to a higher requirement for landscaping than a larger apartment building. Staff will work with the applicant during site plan review to ensure that adequate landscaping is provided for this project.

**vii. Outdoor Lighting**

The subject property is located within Lighting Zone I, which means that it is near the US Naval Observatory. Lighting Zone 1 has the highest-level standards regarding outdoor lighting and allows for a total of 25,000 lumens per acres for multi-family residential development. The applicant has provided specific standards for this

property which have been included with the development agreement. These requirements exceed the current standards for Lighting Zone 1. A lighting plan will be reviewed for compliance at the time of building permit submittal.

**viii. Parking**

Based on the requirements for market rate units, 380 parking spaces are required. The applicant proposes to use the affordable housing reduction for the “affordable units” within the development. The applicant has assumed that the affordable units (20) will be either 2- or 3-bedroom units. They would then be required to provide 1.75 parking spaces per unit rather than the 2.25 spaces for market rate. This would reduce the overall parking requirement from 380 to 370, a total reduction of 10 parking spaces. The applicant also intends to utilize the 5% reduction allowed for providing bicycle parking spaces on site as well as the allowed reduction for providing motorcycle parking on site (a one to one trade). Utilizing these incentives, the development would be required to provide a total of 346 vehicle parking spaces with 5 motorcycle spaces. The proposed development includes 346 spaces. In addition to vehicular parking the applicant is proposing and has included in the Development Agreement the provision of 3 EV charging stations (not just EV ready as the Building Code requires) and 180 bicycle parking spaces consisting of 60 indoor spaces, 60 outdoor covered space/racks, and 60 outdoor spaces/racks.

**ix. Historic/Cultural Resources**

A Cultural Resource Report has not been completed for the subject property. A report is required to be submitted and approved by the Heritage Preservation Officer prior to Site Plan approval.

**B. Public Systems Impact Analysis**

**i. Traffic/Right-of-Way Impact**

The scope of a Traffic Impact Analysis (TIA) is generally determined by the estimated peak hour trips generated by a development, per the Engineering Standards. The estimated peak hour trips for this development is 92 vehicles/hour in the a.m. and 109 vehicles/hour in the p.m. According to the Standards, a level one analysis was appropriate, requiring the consulting engineer to analyze the intersections of Woody Mountain Road and Route 66, Woodlands Village Blvd and Route 66, Woody Mountain Road and Patio Del Presidio, Woody Mountain Road and Presidio Drive, and the driveway access to the site and Presidio Drive.

Existing traffic volumes data for this project’s TIA was collected for areas where existing information was not present in early July 2020. At this time, there were governmental mandated restrictions on travel and gatherings, intended to slow the spread of the COVID pandemic. As such, the traffic counts conducted in July 2020 may be artificially low and required adjustments. In addition, traffic counts conducted in July during summer did not include school-related volumes and required adjustment.

**Transportation Improvements**

The site is bounded on the east by Woody Mountain Road and on the south by McAllister Ranch Road. Vehicular access to the site is provided from both roadways. Proposed road and edge improvements include the dedication of additional right-of-way for both Woody Mountain Road and McAllister Ranch Road. Improvements within the right-of-way include new curb, gutter, FUTS/sidewalk, and parkway along Woody Mountain Road and McAllister Ranch Road. A southbound right turn lane and a northbound two-way left turn lane at the main entrance on Woody Mountain Road will be required for the proposed multi-family residential project.

A Traffic Impact Analysis was prepared for the developer by CivTech, Inc. to demonstrate the anticipated

traffic volumes generated from the proposed development. The City Traffic Engineer reviewed the concept plan and the TIA sealed 12/21/20 and subsequently accepted the results subject to the following conditions:

1. The report indicates that a traffic signal located at the intersection of Woody Mountain Road and Route 66 is warranted in the future. The developer is obligated to pay to the City a proportional share contribution for the cost of the signal, based on the percentage of Peak Hour traffic volumes from the development compared to the projected Total Traffic Volumes, and the estimated cost of the signal. Within the appendices of the report, there is a calculation that estimates Sky Cottages peak hour volumes to be approximately 6% of the total volume at opening year (2022). The estimated cost of the traffic signal and appurtenances is equal to \$400,000.00. Therefore, the developer shall pay a proportional share of:

a. Estimated cost of the signal (\$400,000.00) times Sky Cottages peak hour traffic volumes (6%) = \$24,000.00.

2. As indicated above, a traffic signal will be warranted in the future with the anticipated traffic volumes from this development, adjacent developments, and normal expected growth rates. The actual installation of the signal shall not occur until such time as the signal is warranted, as determined by the Arizona Department of Transportation (ADOT) and the City of Flagstaff.

The project site is not currently serviced by transit. This area is identified in the Flagstaff Area Regional Land Use and Transportation Plan for future service. The applicant has discussed the possibility of extending service to the subject site in partnership with the local transit authority, but no official agreement is in place to service the property at this time.

Pedestrian and bicycle access to the subject property is limited. There are currently no sidewalks along Route 66 in the vicinity of this project. Bike lanes are provided along Woody Mountain Road up to Route 66 but only a striped shoulder exists on Route 66 to Woodlands Village Boulevard. It is possible for both pedestrians and bicycles to gain access through the Presidio in the Pines development into Boulder Pointe and beyond.

ii. **Water and Wastewater Impact**

A Water and Sewer Impact Analysis (WSIA) was completed by the City on June 1, 2018. The proposed development is located within the City of Flagstaff urban growth boundary and can be served by City water and sewer utilities. Currently there is no infrastructure in the ground on-site to support this development, so all on-site sewer and water systems will have to be designed and built. No off-site water or sewer improvements will be required. It is the developer's responsibility to design and construct all on-site and connecting water infrastructure per the City of Flagstaff Engineering Standards.

**Water**

A Water and Sewer System Analysis was prepared on behalf of the City. The main source of water for this site is a 12-inch diameter Zone A+ waterline located in Woody Mountain Road. This line extends from Route 66 to the Presidio in the Pines subdivision along the eastern boundary of the subject property within existing right-of-way. The existing Zone A+ waterlines are fed by the Railroad (RR) Springs tank and a booster pump located in Railroad Springs Subdivision.

Three connections will need to be made to the existing 12-inch main to provide water for the proposed development on the subject property. A looped water system will be required for the development of this

site. The proposed water main extensions that will serve as the backbone infrastructure for the proposed development are made up of 8-inch waterlines. Water line stub outs for future connectivity to adjoining parcels on the west side of the subject property will need to be provided as well.

### **Wastewater**

The Water and Sewer System Analysis identified two connection points to the City sewer system. The nearest sewer lines are located along Woody Mountain road. There are two 8-inch diameter PVC sewer lines located along the southeastern border of the subject property. The Rio De Flag Wastewater Treatment Plant, which is currently operating below maximum capacity, will treat all sewage collected in these lines. Connection to the existing 10-inch diameter sewer line in West Highway 66 is proposed for development of the subject site. The existing 10-inch trunk line does not have enough capacity to convey all anticipated sewage flows generated by this site. The proposed development will be required to extend public sewer lines adequate to carry all anticipated contributory flows generated by the future residents of this project, as well as any potential flows from upstream sources. Approximately 5,500 feet of existing sewer line will need to be upsized to handle the additional flow created by this project.

### **iii. Stormwater Analysis**

The development of the subject project is proposing on-site, pre vs post, volumetric mitigation in lieu of a Drainage Impact Analysis. The proposed stormwater management design will provide surface retention to not increase the volume of pre-development flows off-site. Basin will also provide peak flow mitigation of post development flow rates to at or below pre-development flow rates. LID requirements will be met per City standards. The Stormwater Manager has provided preliminary acceptance of the proposed on-site mitigation and LID methods. This particular area has been the focus of drainage related issues. A potential regional drainage solution has been proposed on the property to east of the subject property. To date this regional drainage solution has not been finalized or constructed and potential issues remain for downstream residents, including Wildwood Hills Mobile Home Park.

## **III. Zoning Map Amendment Findings**

An application for a Zoning Map Amendment shall be submitted to the Planning Director and shall be reviewed and a recommendation prepared. The Planning Director's recommendation shall be transmitted to the Planning and Zoning Commission in the form of a staff report prior to a scheduled public hearing. The recommendation shall include: an evaluation of the consistency and conformance of the proposed amendment with the goals and policies of the General Plan and any applicable specific plans; the grounds for the recommendation based on the standards and purposes of the zones set forth in Section 10-40.20 (Establishment of Zones) of the Zoning Code; and whether the amendment should be granted, granted with conditions to mitigate anticipated impacts caused by the proposed development, or denied.

Zoning Map Amendments shall be evaluated based on the following findings:

### **A. Finding #1:**

The proposed amendment must be found to be consistent with and in conformance with the goals and policies of the General Plan and any applicable specific plans. If the application is not consistent with the General Plan, and any other applicable specific plan, the applicable plan must be amended in compliance with the procedures established in Chapter 11-10 of the City Code (Title 11: General Plans and Subdivisions) prior to considering the proposed amendment.

### **i. General Plan/Flagstaff Regional Plan (FRP 2030) Process and Analysis Summary**

When staff performs a Regional Plan (the "Plan") analysis, staff reviews all maps, text, and goals and policies to determine which are the most relevant in relation to the proposed application. The Plan's Future Growth Illustration on Maps 21 and 22 (same map; one is regional scale and one city scale) and the text of the Plan provide supplemental information for the interpretation of goals and policies. In the case of any conflict between

the Future Growth Illustration and the Plan's goals and policies, the goals and policies will prevail. The Future Growth Illustration has two types of land use designations: "Area Types" describe the place-making context of Urban, Suburban, Rural, or Employment, and "Place Types" such as activity centers, corridors, and neighborhoods which provide the framework for the density, intensities, and mix of uses within the area types.

The north approximately 7.85 acres of the proposed development are designated as Future Urban area type within a Neighborhood Urban Activity Center pedestrian shed, the remaining approximate 15.23 acres are designated as Future Suburban and are not located within an activity center or pedestrian shed on the Plan's Future Growth Illustration.

Neighborhood Urban Activity Centers are intended to be smaller, mixed-use centers at intersections of Circulation Corridors and Access Roads with access to surrounding neighborhoods, providing local goods and services, public spaces that serve residents, and providing transit and FUTS access. The City's desired Urban Activity Center Characteristics include a density of 13+ units per acre providing a wide variety of housing choices from medium to high density. The concept zoning plan shows approximately 71 units in this location with over an acre of publicly accessible civic space and over an acre of open space with amenities reserved for residents of the site. The Comprehensive Planning Manager has concurred that net (remaining acreage after the removal of civic space, opens space and right-of-way dedications) density may be considered to achieve the minimum density of 13+ units per acre because centrally located civic space within an activity center furthers the goals and policies of the Regional Plan.

Suburban areas are intended to have medium to low densities of people, residences, jobs, and activities; the streets and sidewalks vary in pattern; the area is drivable to access homes and jobs, yet walkable by special pedestrian facilities such as FUTS trails; some services and goods are available to the residents; and the area may have access to public transportation. The City's desired Suburban Neighborhood Characteristics include a density of 2-13 units per acre, low-rise apartments (generally accepted as three-story maximum), and open spaces used for passive recreation. The remainder of the site complies with these characteristics with approximately 8 units per acre.

ii. **Applicable General Plan Goals and Policies**

As part of its review, staff identified relevant Regional Plan Goals and Policies that could be applied to support or not support the proposed Zoning Map Amendment. These goals and policies are located in an attachment to this report and within the developer's narrative. The following is a discussion of how the project generally meets or conflicts with goals and policies in each chapter.

a. **Environmental Planning & Conservation (Air Quality, Climate Change and Adaptation, Dark Skies, Ecosystem Health, Environmentally Sensitive Lands, Natural Quiet, Soils, and Wildlife)**

In accordance with Goal E&C.2 and E&C.3, the applicant is trying to encourage the reduction of greenhouse gas emissions through the provision of smart home technologies, electric vehicle charging stations, the provision of two electric vehicles for resident use, and the provision of abundant bicycle parking on site. The site, however, is not currently served by transit and has limitations for both bicycle and pedestrian connectivity to commercial supporting services.

In accordance with Goal E&C.5, the applicant has made considerable effort to provide a detailed plan for outdoor lighting on the site even though that information is not required at this time. The applicant has relied on the local expertise for best practices for lighting a multi-family residential development in the most restrictive lighting zone. The plan will reduce the impacts of lighting from the development impacting other uses in the area.

**b. Water Resources (Water Sources, Water Demand, Stormwater and Watershed Management, and Water Quality)**

As shown on Map 21 and referenced in Policy WR.4.3., “Development requiring public utility services will be located within the Urban Growth Boundary.” The Property is located within the Urban Growth Boundary. There is existing water infrastructure in Woody Mountain Road that can support the proposed development. The existing sewer infrastructure available to serve the Property is at capacity and will need to be increased in size in order to accommodate the proposed development. These improvements will be required prior to the occupancy of the project. The proposed development complies with the findings of the Drainage Impact Analysis discussed in the Public Systems Impact Analysis section of this report.

**c. Efficient Use of Energy Goals and Policies**

Policy E.1.4 promotes cost-effective, energy-efficient technologies and design in all new buildings for residential construction. The project proposes to include smart home technologies to increase energy efficiency as described in the development agreement. Many of these features are also required by code and are now standard construction practice. Policy E.2.4 encourages small-scale renewable energy production and use on the local level on appropriate residential parcels. The applicant has indicated their willingness to provide solar panels on 20 of the 208 possible units on the property. These units would consist of the individual 3-bedroom units with the greatest solar access on site.

**d. Community Character (Scenic Resources and Natural Setting, Heritage Preservation, Community Design, and Arts, Sciences and Education)**

Policy CC.1.1 aims to preserve the natural character of the region and includes the preservation of stands of ponderosa pines. The Natural Resource Protection Plan indicates that approximately 37% of the tree resources will be retained. The code requires 50% of the tree resources to be saved for market rate projects but as an incentive for providing affordable units allows a 25% reduction. The trees to be preserved are shown generally dispersed throughout the site.

Goal CC.3 aims to preserve, restore, enhance, and reflect the design traditions of Flagstaff. Specifically, policies CC.3.1 and CC.3.3 discuss the desired design of buildings and their relationship to their context. Staff does not believe that the design of the two-story, 3-bedroom units on the property meet these goals because they lack pedestrian orientation in the design of the front façade and entrance location and type. The carports impact the bulk and mass of the building, they do not have front doors oriented to the internal sidewalks, and the windows are not balanced along the front façade. As such this building type does not meet the design traditions of Flagstaff or the Regional Plan goals and policies for pedestrian oriented design. All the two story, 3-bedroom units are internal to the project and abut the open space areas within the development. The remaining single-story units are designed in compliance with the Regional Plan goals and policies.

Policy CC.4.1 states streetscapes are to be context sensitive and transportation systems are to reflect the desired land use while balancing the needs of all modes for traffic safety and construction and maintenance costs. As part of this development, the applicant will be providing the necessary right-of-way for McAllister Ranch Road and Woody Mountain Road in accordance with the road classifications as shown in the Regional Plan. In addition to right-of-way, the applicant will be required to provide edge improvements consisting of parkways and sidewalks/FUTS as called for in the Regional Plan. The internal driveways have been designed to incorporate features of typical public streets such as sidewalks and landscaping to ensure compliance with the Regional Plan goals and policies regarding block sizes and urban street layout design.

e. **Growth Areas & Land Use (Reinvestment, Greenfield, Urban Area, Suburban Area, Rural Area, Employment Area, Special Planning Area, and Activity Centers)**

The proposed development is on a vacant infill parcel. The development of the infill parcel includes the required civic space, open space, and pedestrian amenities, including the portion of FUTS along the street frontage.

The developer has met with nearby residents and property owners. The Citizen Participation Report, required as part of the rezoning application and prepared by the developer, outlines the specific details of these efforts. Policy LU.1.11 calls for collaboration between a developer, residents, and property owners in existing neighborhoods where redevelopment and reinvestment is proposed so that they are included, engaged, and informed.

Policy LU.1.3 promotes reinvestment at the neighborhood scale to include infill of vacant parcels, redevelopment of underutilized properties, aesthetic improvements to public spaces, remodeling of existing buildings and streetscapes, maintaining selected appropriate open spaces, and programs for the benefit and improvement of the local residents. The Regional Plan suburban infill projects that propose multi-family development in the pedestrian shed of activity centers adjacent to public transit routes and a complete FUTS trail system. This project provides a transition between the suburban and urban environments by creating a mix of the multifamily functionality with a single family or bungalow design aesthetic in a manner compliant with the intent of these Regional Plan goals and policies (LU.10.6).

Staff has concerned about the connectivity of the site for bicycles, pedestrians and vehicle in context of the future area and place types designated in the Future Growth Illustration. Page IX-35 of the Regional Plan shows that within an urban area type, the block size should be 300 x 600 or 300 x 300 with consideration for topography and other barriers. The lack of vehicular connections oriented to the north is not consistent with this area type characteristic. Staff has included a condition to require at least one vehicular connection to potential commercial services to the north, so residents can access this area without going onto the collector or arterial system. This is especially important in consideration of LU.10.10 which supports future activity centers emulate gridded street system rather than suburban circulation which drives all traffic from local, to collector to arterial level streets. Also, in the urban context of the northern part of the site, the pedestrian and vehicular access should have the same level of connectivity. By contrast, Suburban activity centers call for a separation with more frequent pedestrian connections between roads is the desired pattern. Policy LU.13.9 promotes the use of open space and FUTS trails to provide walking and biking links. While the proposed FUTS contributes to this policy, it does not connect to a FUTS at either end.

The proposed development will provide the community with additional medium density market rate units (described by the applicant as affordable workforce units) and 20 affordable housing units limited to individuals who make no more than 80% of the Area Median Income (AMI) of Flagstaff.

f. **Transportation (Mobility and Access, Safe and Efficient Multimodal Transportation, Environmental Considerations, Quality Design, Pedestrian Infrastructure, Bicycle Infrastructure, Transit, Automobile, Passenger Rail and Rail Freight, Air Travel, and Public Support for Transportation)**

The proposed development will construct a portion of the FUTS along Woody Mountain Road, although the FUTS is not complete in this area and will not connect with other FUTS sections in the area. The Property is not currently served by transit although it has been identified to be served in the future as resources allow. A transit stop location is reserved as part of the turn lane into the project. These improvements do help promote the use of public transportation and bicycling as stated in Policy T.1.6: "Provide and promote strategies that increase alternate modes of travel and demand for vehicle travel to reduce peak period traffic."

**g. Neighborhoods, Housing, and Urban Conservation**

Goal NH.3 of the Regional Plan speaks to the desire to make available a variety of housing types at different price points to provide housing opportunities for all economic sectors. The units proposed for affordable housing will permanently serve residents earning 80% of the area median income or less. For a single individual, that annual income limit is currently \$39,200. Flagstaff Housing staff has identified a need for one-bedroom units to help fill a need in the community. The applicant is proposing to offer (10) two- and (10) three-bedroom units as the affordable units.

The Regional Plan also aims to have compatible infill projects, specifically in Goal NH.6. The developer states that they choose the Medium Density Residential (MR) zoning district instead of the High Density Residential (HR) zone to blend new and existing buildings. Staff agrees that the allowable building height of 35 feet is appropriate given the existing single-family structures in the surrounding area.

**B. Finding #2**

To meet the finding the proposed amendment must be determined not to be detrimental to the public interest, health, safety, convenience, or welfare of the City of Flagstaff (the "City"), and will add to the public good as described in the General Plan.

Staff believes that the proposed project will not be detrimental to the public health, safety, or welfare so long as it is developed in accordance with all codes and requirements.

The applicant has identified the following Community Benefits and Public Good:

- i. The development will provide affordable workforce housing at an appropriate density (note: there are no restrictions on the rental rate developer may charge for the units,
- ii. The development supports community interaction,
- iii. The development conserves the natural environment and resources
- iv. The development provides extensive active and passive open spaces, civic space, and recreational and social opportunities,
- v. The development provides connection to the FUTS and is consistent with the surrounding area. (note: this FUTS connection is part of an incomplete network currently)

Staff identifies the community benefit of this project includes contributions to the improvement of the overall transportation system, improvements to the existing sewer system that will support the greater area and not just the proposed development, the provision of 20 affordable housing units, sustainability managed resources including enhanced recycling efforts, the provision of electric vehicles for tenants, the use of solar on the property, and the use of smart home technologies. Staff believes that the project intends to contribute to the community by exceeding the basic requirements of the Zoning Code and providing resources that will support the greater community as well as mitigate impacts of the proposed development.

**C. Finding #3**

To meet the finding the affected site must be determined to be physically suitable in terms of design, location, shape, size, and operating characteristics; and the provision of public and emergency vehicle access, public services, and utilities to ensure that the requested zone designation and the proposed or anticipated uses and/or development will not endanger, jeopardize, or otherwise constitute a hazard to the property or improvements in the vicinity in which the property is located.

Staff believes that the proposed application meets this finding. The Inter-Division Staff reviewed the application and concluded that the site was suitable for the proposed development with the improvements as identified in this report. The IDS team based its conclusion on the review of all applicable codes and requirements as well as impact analysis for the site.

#### **IV. Development Agreement**

A draft development agreement, attached to this report, has been prepared and continues to be negotiated throughout the review of this project. The primary purpose of this agreement is to set out roles and responsibilities regarding the following (not limited to):

- Off-site sewer modifications
- Dedication of right-of-way for Woody Mountain Road and McAllister Ranch Road
- Southbound right-turn lane at Woody Mountain Road and Patio Del Presidio
- Northbound left-turn lane at Woody Mountain Road and Patio del Presidio
- A cash contribution for the traffic signalization at the intersection of Woody Mountain Road and Route 66
- Materials management plan for enhanced recycling
- All electric units (no natural gas)
- Two on-demand electric vehicles for use by qualified residents
- Three electrical vehicle charging stations
- Bicycle parking including: 60 interior secured spaces, 60 covered secured spaces, and 6 uncovered, unsecured spaces
- Smart home automations – climate control automation
- Solar panels on a minimum of 20 units
- Pollinator friendly landscaping
- Crime Free Multi-Housing plan
- Outdoor Lighting Plan exceeding Lighting Zone 1 Zoning Code requirements

#### **V. Citizen Participation**

Public hearings before the Planning and Zoning Commission and City Council are conducted in conjunction with requests for Direct to Ordinance Zoning Map Amendments. In accordance with Arizona State Statute, notice of the public hearing was provided by placing an ad in the Arizona Daily Sun, posting notices on the property, and mailing a notice to all property owners within 1,000 feet (exceeding the minimum of 300 feet) of the site excluding rights-of-way.

The developer held two virtual neighborhood meetings using the Zoom platform regarding this case on September 21 and October 5, 2020. Both meetings included a formal presentation followed by a question and answer session. Approximately 26 public members of the public attended the first meeting and approximately 22 members of the public attended the second meeting. A Citizen Participation Report, attached, was prepared in response to the questions, comments, and concerns presented. Comments on the project included the following topics: traffic impacts, tree resources, site grading adjacent to properties along the south property line, and the proposed density of the development.

Staff has received email comments from 10 members of the public as of the writing of this report. All are in opposition to this case. Copies of the correspondence are attached.

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#### **RECOMMENDATION:**

Staff believes that the proposed Zoning Map amendment is in substantial conformance with the required findings and recommends the Planning & Zoning Commission forward the request to the City Council with a recommendation approving an

amendment to the Zoning Map for 23.08 acres from the Rural Residential (RR) zone to the Medium Density (MR) zone, subject to the following conditions:

1. The subject property shall be developed in substantial conformance with the concept zoning plan and project narrative including but not limited to the density and intensity and general layout approved by the Inter-Division Staff (IDS) on December 23, 2020 with this request except as modified herein.
2. Development of the MR zone shall be limited to the number of units (208) identified in the concept zone plan and used for the preparation of all impact analysis. There shall be no more than a 10% decrease in the total number of units identified in the concept zone plan.
3. There shall be a minimum of 13 units per net acre within the Urban Activity Center designated portion of the property. Net density will not include civic space areas, open space areas or dedicated right-of-way. All units will be counted toward this density.
4. The civic space area as shown on the Concept Zone Plan shall be a high-quality public amenity as determined by the Comprehensive Planning Manager. The area as shown shall not have a depth greater than 3 feet from the adjacent grade.
5. Vehicular and pedestrian cross access shall be preserved between the proposed residential land use within the MR zone and the future development located on the remainder of the parcel to the north. Access shall be provided at the time of development of the property to the north. The applicant can decide the location of the cross access, but the access does need to be provided with future site planning submittals.
6. All fencing shown along either Woody Mountain Road or McAllister Ranch Road shall be located outside of the required setback for that street frontage. Breaks in the fencing shall be provided to allow pedestrian and bicycle access to the adjacent FUTS/sidewalk at several points along both frontages in addition to vehicular driveway locations. Final pedestrian and bicycle connections shall be determined at the site plan review.
7. The front façades of the single-family 3-bedroom (two-story) units shall be redesigned to have front doors, fenestration, and porches that better incorporate walkable urban design principles and the design traditions of Flagstaff. Staff will approve an updated design at Site Plan. Comprehensive Planning review of Site Plan will be required to ensure compliance with this condition.
8. The Developer shall meet all City of Flagstaff storm water, pre vs post retention, peak flow mitigation, Low Impact Development, and rainwater harvesting requirements per the approved drainage report and approved civil construction plans as required to ensure no additional impacts to nearby downstream properties subject to frequent flooding. Pre vs post retention shall be volumetric retention for the 100-year, 24-hour storm event is required in lieu of a Drainage Impact Analysis.
9. All other requirements of the Zoning Code and other City codes, ordinances, and regulations shall be met by the proposed development.
10. All terms, conditions, and restrictions detailed within the “Sky Cottages at Timber Sky Development Agreement” must be fully satisfied.
11. In the event the property is rezoned and the applicant fails to obtain final Civil Plan approval within two (2) years of the effective date of the rezoning ordinance, then the City may schedule a public hearing before the City Council for the purpose of causing the zoning on the Property to revert to the former classification of Rural Residential (RR) in accordance with A.R.S. § 9-462.01.

**Attachments:**

- Application
- Legal Notice
- Legal Descriptions
- Concept Zone Plan
  - Cover Sheet
  - Overall Site Plan
  - Overall Perspective

- Circulation Diagram
- Detention Basin Civic Space
- Detention Basin Aerial Perspective
- North Commons
- South Commons
- McAllister Ranch Street Section
- Bungalows Cluster Plan
- 3-Bd Unit Cluster Plan
- 1-BD Unit Floor Plan
- 1-BD Unit Elevation
- 2-BD Unit Floor Plan
- 2-BD Unit Elevation
- 3-BD Unit Floor Plan
- 3-BD Unit Elevation
- Bungalow Exterior View
- Bungalow Courtyard View
- Living Space View
- 3-BD Unit Exterior View
- Woody Mountain Streetscape View (1)
- Woody Mountain Streetscape View (2)
- Concept Plan
- Resource Protection Plan
- Fire Access Plan
- Site Analysis
- Context Analysis Map
- Vicinity Map
- Vicinity Map with Aerial
- Project Narrative & Regional Plan Analysis
- Citizen Participation Report
- Emails/letter from the Public
- Letter from Mountain Line regarding Transit Services



# City of Flagstaff

# Community Development Division

211 W. Aspen Ave  
 Flagstaff, AZ 86001  
 www.flagstaff.az.gov

P: (928) 213-2618  
 F: (928) 213-2609

<b>Date Received</b>	<b>Application for Concept Zoning Map Amendment</b>	<b>File Number</b>
----------------------	---	--------------------

**Project Name**  
 Sky Cottages

<b>Site Address</b> 2701 S. Woody Mountain Rd.	<b>Parcel Number(s)</b> 112-01019	<b>Subdivision&amp; Lot Number</b> n/a	<b>Site Acreage</b> +/- 36.94 ac
---	--------------------------------------	---	-------------------------------------

<b>Existing Zoning District</b> Rural Residential	<b>Proposed Zoning District</b> Medium Density Residential	<b>Existing Regional Plan Area and Place Type</b> Suburban Future
--	---	--

<b>Existing Use</b> Undeveloped	<b>Proposed Use</b> Bungalow Court Style Homes
------------------------------------	---

**Property Information:**  Yes  No Located in an existing Local/National Historic District? (Name: \_\_\_\_\_)  
 Yes  No Existing structures are over 50 years old at the time of application?  
 Yes  No Subject property is undeveloped land?

**Type of Zoning Map Amendment (Small, Medium, Large or Multi-Phase)**  
 Large - >100 units (rezone +/- 20 acres)

<b>Property Owner(s)</b> VP 66 & Woody Mountain, LLC	<b>Phone</b> 480-231-0814
---	------------------------------

<b>Mailing Address</b> 2502 E. Camelback Road, No. 214, Phoenix, AZ 85016	<b>City, State, Zip</b> Phoenix, AZ 85016	<b>E-mail</b> Walter@vintagevp.com
--	--	---------------------------------------

<b>Applicant(s)</b> Vintage Partners, LLC	<b>Phone</b>
--	--------------

<b>Mailing Address</b> 2502 E. Camelback Road, No. 214, Phoenix, AZ 85016	<b>City, State, Zip</b> Phoenix, AZ 85016	<b>E-mail</b>
--	--	---------------

<b>Project Representative(s)</b> Tim Kruge	<b>Phone</b> 480-305-4312
---	------------------------------

<b>Mailing Address</b> 2502 E. Camelback Road, No. 214, Phoenix, AZ 85016	<b>City, State, Zip</b> Phoenix, AZ 85016	<b>E-mail</b> Tim@vintagevp.com
--	--	------------------------------------

<b>Property Owner Signature (required)</b> 	<b>Date</b> 8-11-20	<b>Applicant Signature</b> 	<b>Date</b> 8-11-20
--	------------------------	--------------------------------	------------------------

**For City Use**

<b>Date Filed:</b>	<b>File Number(s):</b>
--------------------	------------------------

<b>P &amp; Z Hearing Date:</b>	<b>Publication and Posting Date:</b>
--------------------------------	--------------------------------------

<b>Council Hearing Date:</b>	<b>Publication and Posting Date:</b>
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<b>Fee Receipt Number:</b>	<b>Amount:</b>	<b>Date:</b>
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<b>Action by Planning and Zoning Commission:</b>	<b>Action by City Council:</b>
<input type="checkbox"/> Approved	<input type="checkbox"/> Approved
<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
<input type="checkbox"/> Continued	<input type="checkbox"/> Continued

<b>Staff Assignments</b>	Planning	Engineering	Fire	PW/Water Services	Stormwater
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# NOTICE OF PUBLIC HEARINGS

**NOTICE IS HEREBY GIVEN** that the Flagstaff Planning and Zoning Commission will hold a Public Hearing on Wednesday, January 13, 2021, at 4:00 p.m. and the Flagstaff City Council will hold a Public Hearing on Tuesday, February 2, 2021 at 3:00 p.m., to consider the following:

**A. Explanation of Matters to be considered:**

A proposed amendment to the official City of Flagstaff zoning map to rezone 23.08 acres from Rural Residential (RR) with the RPO to Medium Density Residential (MR) with RPO for the purpose of constructing a 208-unit Multi-family Residential development.

The site currently consists of land owned by VP 66 & Woody Mountain LLC c/o Vintage Partners.

**B. General Description of the Affected Area:**

Approximately 23.08 acres located near the northwest corner of Route 66 and Woody Mountain Road, portion of Coconino County Assessor's Parcel Number 112-01-019, NE1/2 SE ¼ Section 19, T21N, R7E, of the G&SRM, City of Flagstaff, Coconino County, Arizona.

Planning and Zoning Commission meetings are currently being held virtually. For instructions on the virtual meetings visit the following link:

<https://www.flagstaff.az.gov/2845/Planning-Zoning-Commission>

Contact the Planning Development Manager listed for maps and information regarding the proposed amendment. The Council hearing for these items may be continued if the Planning and Zoning Commission has not given a recommendation

Due to the COVID-19 pandemic, Council meetings may be held virtually. At the link below please refer to the posted agenda for any change to the meeting time and how to attend the meeting and submit comments:

<https://www.flagstaff.az.gov/328/Meetings>

The meetings will continue to be live streamed on the city's website:

<https://www.flagstaff.az.gov/1461/Streaming-City-Council-Meetings>

**PROPOSED ZONING MAP AMENDMENT**

From Rural Residential (RR) with the Resource Protection Overlay (RPO) to Medium Density Residential (MR) with the Resource Protection Overlay (RPO) for the purpose of a Multi-family Residential development



**ADDRESS:** 2701 Woody Mountain Road  
**APN:** South portion of 112-01-019  
**ACRES:** Approximately 23.08 Acres  
City of Flagstaff  
Coconino County

**FOR FURTHER INFORMATION CONTACT**

Tiffany Antol  
Planning & Development Services  
211 West Aspen Avenue  
Flagstaff, Arizona 86001  
(928) 213-2605  
tantol@flagstaffaz.gov



Lindsay C. Schube  
Gammage & Burnham  
40 North Central Avenue, 20<sup>th</sup> Floor  
Phoenix, Arizona 85004  
(602) 256-4471  
lschube@gblaw.com

**Publish: December 29, 2020**

LEGAL DESCRIPTION  
APN: 112-01-019

EXHIBIT 'A'

A portion of that parcel of land as described in Instrument Number 3770238, Official Records of Coconino County (herein referred to as R1), lying within Section 9, Township 21 North, Range 7 East, of the Gila and Salt River Meridian, Coconino County, Arizona, described as follows:

Commencing at the northwest corner of said parcel, from which a point on the west line of said parcel bears South 00°42'05" West, 1107.36 feet (Basis of Bearing, R1);

Thence along said west line, South 00°42'05" West, 798.35 feet to the **TRUE POINT OF BEGINNING**;

Thence continuing along said west line, South 00°42'05" West, 309.01 feet;

Thence South 43°42'33" West, 785.53 feet to a point on the northerly Right-of-Way line of McAllister Ranch Road as shown on Instrument Number 3810031, Official Records of Coconino County (herein referred to as R2);

Thence along said Right-of-Way line, South 54°55'29" East, 708.84 feet (South 54°54'34" East, 708.72 per R2) to the beginning of a non-tangent curve concave to the southeast, having a radius of 93.00 feet and being subtended by a chord which bears North 66°57'32" East, 98.24 feet;

Thence leaving said Right-of-Way line, and northeasterly along said curve, 103.50 feet through a central angle of 63°45'51 to a point on the westerly Right-of-Way line of South Woody Mountain Road, and the beginning of a non-tangent curve concave to the northwest, having a radius of 5679.58 feet and being subtended by a chord which bears North 40°18'29" East 108.64 feet;

Thence along said Right-of-Way line, and northeasterly along said curve, 108.64 feet through a central angle of 1°05'46";

Thence continuing along said Right-of-Way line, North 39°45'36" East, 350.46 feet;

Thence South 50°13'40" East, 50.01 feet to a point in the centerline of said South Woody Mountain Road;

Thence continuing along said centerline, North 40°18'19" East, 261.46 feet to the beginning of a tangent curve concave to the west having a radius of 716.20 feet

Thence continuing along said centerline, and northerly along said curve, 508.05 feet through a central angle of 40°38'37";

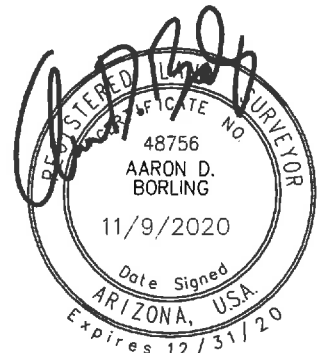
Thence continuing along said centerline, North 00°20'18" West, 256.93 feet;

Thence leaving said centerline, North 89°53'03" West, 794.41 feet to the **TRUE POINT OF BEGINNING**.

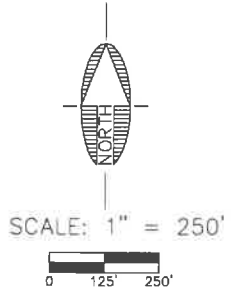
Containing 23.08 Acres, more or less.

See Exhibit 'B' attached hereto and made a part hereof.

This legal description was prepared by Aaron D. Borling, RLS 48756, on behalf of and at the request of Shephard-Wesnitzer, Inc., Flagstaff, AZ.



# EXHIBIT 'B'



POINT OF COMMENCEMENT

W. ROUTE 66

N 85°16'49" W 782.95'

WOODY MTN. CAMPGROUND

REMAINDER AREA  
13.86 AC

S 0°42'05" W 798.35'  
BASIS OF BEARING

N 0°20'18" W 735.49'

S. WOODY MOUNTAIN RD.

POINT OF BEGINNING

N 89°53'02" W 794.41'

TIMBER SKY  
INST. #3810031

S 0°42'05" W  
309.01'

N 0°20'18" W  
256.93'

SUBJECT PARCEL  
APN: 113-28-003D

AREA DESCRIBED  
23.08 AC

S 43°42'33" W 785.53'

N 0°20'18" W  
50'  
L=508.05, R=716.20  
Δ=40°38'36"

S 50°13'40" E 50.01'

N 40°18'19" E  
261.46'

PRESIDIO IN THE PINES  
CASE 9, MAP 72

W. McALLISTER RANCH RD.  
S 54°55'29" E 708.84'

L=103.50, R=93.00  
Δ=63°45'51"

N 39°45'36" E  
350.46'

TIMBER SKY  
TRACT 'ZZ'

L=108.64, R=5679.58  
Δ=1°05'46"



Shephard Wesnitzer, Inc.

110 W. Dole Avenue  
Flagstaff, AZ 86001  
928.773.0354  
928.774.8934 fax  
www.swiaz.com

JOB NO.	19188
DATE	NOV 20
SCALE	1"=250'
DRAWN	CNP
DESIGN	
CHECKED	ADB

SKY COTTAGES	FLAGSTAFF ARIZONA
LEGAL EXHIBIT	

SHEET	2
OF	2

**PROJECT OWNER:**

VINTAGE PARTNERS 2.0, LLC.  
CONTACT: TIM KRUGE  
2502 E. CAMELBACK ROAD, STE. 214  
PHOENIX, AZ 85016  
(480) 305-4312

**PROJECT DEVELOPER:**

VP 66 & WOODY MOUNTAIN, LLC.  
CONTACT: WALTER CRUTCHFIELD  
2502 E. CAMELBACK ROAD, STE. 214  
PHOENIX, AZ 85016  
(480) 231-0814

**PROJECT ENGINEER:**

SHEPARD WESNITZER INC.  
CONTACT: STEPHEN C. IRWIN  
110 WEST DALE AVE  
FLAGSTAFF, AZ 86001  
(928) 773-0354

**PROJECT BUILDER:**

MOSAIC BUILDING GROUP  
CONTACT: YONATAN COHEN & ALEX POLLACK  
(480) 518-5980

**PROJECT LANDSCAPE ARCHITECT:**

NORRIS DESIGN  
CONTACT: AARON HAYNE, LEED, AP  
6 EAST ASPEN AVE  
FLAGSTAFF, AZ 86001  
(928) 233-3021

**PROPERTY INFORMATION:**

APN#: 112-01-019 (±36.94 AC)  
2701 S. WOODY MOUNTAIN ROAD  
FLAGSTAFF, AZ 86001  
CITY OF FLAGSTAFF ZONING: RURAL RESIDENTIAL (±35 AC)  
COCONINO COUNTY ZONING: G - GENERAL - 10 AC. MIN.  
(NORTHEAST ±2 AC)  
PROPOSED ZONING: MEDIUM DENSITY RESIDENTIAL (MR)  
PROPOSED BUILDING TYPE: BUNGALOW COURT STYLE-HOMES

**PROJECT ATTORNEY:**

GAMMAGE & BURNHAM ATTORNEYS AT LAW  
CONTACT: LINDSAY SCHUBE  
140 N. CENTRAL AVE, 20TH FLOOR  
PHOENIX, AZ 85004  
(602) 256-4471

# CONCEPT ZONE PLAN FOR SKY COTTAGES FLAGSTAFF, ARIZONA

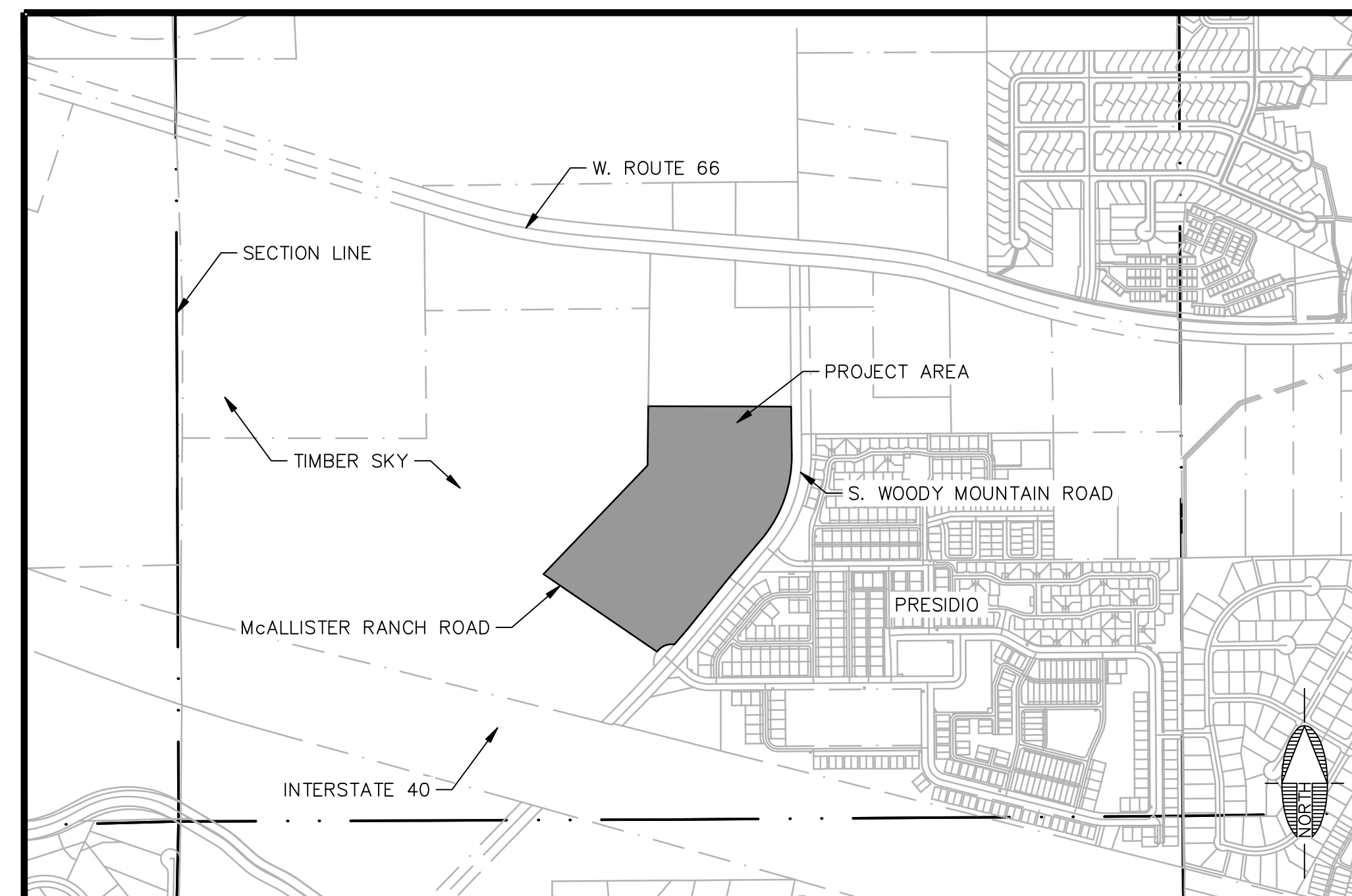
LOCATED IN SECTION 19, TOWNSHIP 21 NORTH,  
RANGE 7 EAST, GILA AND SALT BASE AND  
MERIDIAN, COCONINO COUNTY, FLAGSTAFF, ARIZONA

**ENTIRE PARCEL BREAKDOWN:**  
TOTAL PARCEL GROSS ACREAGE: 36.94 AC  
GROSS ACREAGE FOR SKY COTTAGES: 23.08 AC  
WOODY MTN ROW: 1.16 AC  
MCCALLISTER ROW: 0.75 AC  
NET SKY COTTAGE: 21.17 AC  
GROSS ACREAGE FOR NORTH SITE: 13.86 AC

**SKY COTTAGES:**  
URBAN GROSS ACREAGE = 7.85 AC  
URBAN GROSS DENSITY = 71 DU / 7.85 AC = 9.04 DU/AC  
URBAN DENSITY, EXCLUDING CIVIC SPACE = 71 DU / 6.64 AC = 10.69 DU/AC  
SUBURBAN GROSS ACREAGE = 15.23 AC  
SUBURBAN GROSS DENSITY = 131 DU / 15.23 AC = 8.60 DU/AC

REQUIRED OPEN SPACE (15%) = 3.46 AC  
REQUIRED CIVIC SPACE (5%) = 1.15 AC  
TOTAL REQUIRED OPEN / CIVIC SPACE = 4.61 AC  
PROVIDED OPEN SPACE = 5.66 AC  
PROVIDED CIVIC SPACE = 1.21 AC  
TOTAL PROVIDED OPEN / CIVIC SPACE = 6.87 AC

SHEET INDEX	
SHT NO.	SHEET TITLE
1	COVER
2	OVERALL SITE PLAN
3	OVERALL PERSPECTIVE
4	CIRCULATION DIAGRAM
5	DETENTION BASIN / CIVIC SPACE
6	DETENTION BASIN AERIAL PERSPECTIVE
7	NORTH COMMONS
8	SOUTH COMMONS
9	MCCALLISTER RANCH STREET SECTION
10	BUNGALOWS CLUSTER PLAN
11	3-BD UNIT CLUSTER PLAN
12	1-BD UNIT FLOOR PLAN
13	1-BD UNIT ELEVATION
14	2-BD UNIT FLOOR PLAN
15	2-BD UNIT ELEVATION
16	3-BD UNIT FLOOR PLAN
17	3-BD UNIT ELEVATION
18	BUNGALOW EXTERIOR VIEW
19	BUNGALOW COURTYARD VIEW
20	LIVING SPACE VIEW
21	3-BD UNIT EXTERIOR VIEW
22	WOODY MTN STREETScape VIEW (1)
23	WOODY MTN STREETScape VIEW (2)
24	CONCEPT PLAN
25	FIRE ACCESS PLAN
26	RESOURCE PROTECTION PLAN
27	SITE ANALYSIS
28	CONTEXT ANALYSIS MAP
29	1,000 FT BUFFER PARCELS (1)
30	1,000 FT BUFFER PARCELS (2)
31	1,000 FT BUFFER MAP
32	VICINITY MAP
33	VICINITY MAP WITH AERIAL



**VICINITY MAP**  
N.T.S.

**LEGEND**

--- --	ROW	---	EX. LOT LINE
---	EASEMENT	---	EX. EASEMENT
---	PROPOSED SEWER SERVICE	---	EX. INTERMEDIATE CONTOUR
---	PROPOSED WATER SERVICE	---	EX. INDEX CONTOUR
---	STORM DRAIN PIPE	---	EX. WATER LINE
---	LOT BOUNDARY	---	EX. SEWER LINE
☀	FIRE HYDRANT	---	EX. GAS
W	WATER METER	---	EX. STORM DRAIN
●	SEWER MANHOLE	---	EX. UNDERGROUND UTIL.
●	STORM DRAIN MANHOLE	---	EX. OVERHEAD UTIL.
→	DRAINAGE ARROW	---	EX. SIGNAGE
		---	EX. ROAD STRIPING
		---	EX. LIGHT POLE

**Unit Count**  
Total 1A BR units = 40 units  
Total 1B BR units = 60 units  
Total 2 BR units = 51 units  
Total 3 BR units = 51 units  
Total unit count = 202 units

**Parking Calculations**  
Total 1A BR units = 40 units \* 1.5 spaces = 60  
Total 1B BR units = 60 units \* 1.5 spaces = 90  
Total 2 BR units = 51 units \* 2.25 spaces = 114.75  
Total 3 BR units = 51 units \* 2.25 spaces = 114.75  
Overall total required parking spaces without incentives = 379.50 =>380 spaces

Total provided surface parking spaces = 220 (including 17 ADA)  
Total provided car port spaces = 102  
Total provided on-street parking spaces = 24  
Overall total provided parking spaces = 346 spaces

**Affordable Housing Incentive:**  
Assuming 10% affordable units (20 units) and assuming all affordable units are 2-3 bedroom units:  
Total 1A BR units = 40 units \* 1.5 spaces = 60  
Total 1B BR units = 60 units \* 1.5 spaces = 90  
Total 2 BR units (affordable) = 10 units \* 1.75 spaces = 17.5  
Total 3 BR units (affordable) = 10 units \* 1.75 spaces = 17.5  
Total 2 BR units = 41 units \* 2.25 spaces = 92.25  
Total 3 BR units = 41 units \* 2.25 spaces = 92.25  
Overall total required parking spaces = 369.5 =>370 spaces

**Bike Parking Incentive:**  
Reduce required parking by 5% maximum (380 x 5% = 19 spaces)  
Overall total required parking spaces = 351 spaces

**Motorcycle Parking Incentive:**  
Reduce required parking by 1 regular space for 1 motorcycle space every 25 regular spaces provided  
A reduction of 5 regular parking spaces has been applied with the provision of 5 motorcycle spaces  
Overall total required parking spaces = 346 spaces  
\*\* Motorcycle spaces will be shown during the site plan review process.

Overall total required parking spaces with incentives = 346 spaces  
Overall total provided parking spaces = 346 spaces

**PRELIMINARY**  
NOT FOR CONSTRUCTION,  
BIDDING OR RECORDING

# OVERALL SITE PLAN

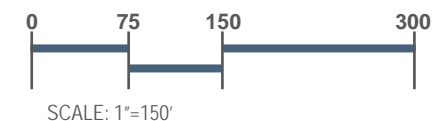


## KEY

- ① DETENTION BASIN  
NATURAL TURF MULTI-PURPOSE PLAY FIELD
- ② NORTH COMMONS
- ③ SOUTH COMMONS

## FLOORPLANS

- 1BR-A
- 1BR-B
- 2BR
- 3BR





**SKY COTTAGES**  
at **TIMBER SKY**  
PZ-20-00153

**V**  
VINTAGE  
PARTNERS

**GAMMAGE  
&  
BURNHAM**  
Attorneys at Law

**SWI**  
Shepherd & Wesnitzer, Inc.

**Mosaic**

**NORRIS DESIGN**  
Planning | Landscape Architecture | Branding

SHEET NAME:  
OVERALL  
PERSPECTIVE

SHEET NO.  
3 of 33



**LEGEND**

- Civic Open Space
- General Open Space
- Sky Cottages at Timber Sky
- 6' Detached Concrete Walk
- Internal Vehicular and Pedestrian Connection
- 5' Detached Concrete Walk
- Internal Pedestrian Connection
- Internal Vehicular Connection
- FUTS Trail - Paved (10')
- FUTS Loop Trail - Unpaved (10' Meandering)
- FUTS Trail - By Others



SCALE: NTS

**SKY COTTAGES at TIMBER SKY**  
PZ-20-00153

**VINTAGE PARTNERS**

**GAMMAGE & BURNHAM**  
Attorneys at Law

**SWI**  
Shepherd & Weisitzer, Inc.

**Mosaic**

**NORRIS DESIGN**  
Planning | Landscape Architecture | Engineering

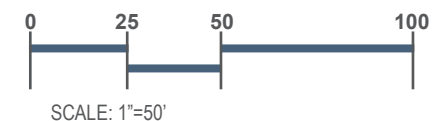
SHEET NAME:  
CIRCULATION DIAGRAM  
SHEET NO.  
4 of 33

# DETENTION BASIN / CIVIC SPACE



## KEY

- ① NATURAL TURF / MULTI-PURPOSE PLAY FIELD / DETENTION BASIN (3' DEPTH)
- ② CONCRETE WALK
- ③ FUTS TRAIL
- ④ PERENNIAL GARDEN
- ⑤ SEAT WALLS TO RETAIN GRADE
- ⑥ ADA ACCESS
- ⑦ STAIRCASE
- ⑧ BENCH





**SKY COTTAGES**  
at **TIMBER SKY**

PZ-20-00153



**V**  
VINTAGE  
PARTNERS

**GAMMAGE  
&  
BURNHAM**  
Attorneys at Law

**SWI**  
Shepherd & Wesnitzer, Inc.

**Mosaic**

**NORRIS DESIGN**  
Planning | Landscape Architecture | Branding

SHEET NAME:  
DETENTION BASIN  
AERIAL  
PERSPECTIVE

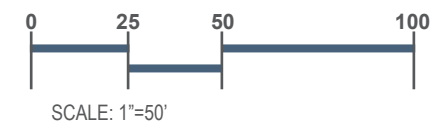
SHEET NO.  
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# NORTH COMMONS



## KEY

- 1 CONCRETE LOOP TRAIL
- 2 DECOMPOSED GRANITE PATH
- 3 PERENNIAL GARDEN
- 4 SYNTHETIC TURF MULTI-PURPOSE PLAY FIELD
- 5 SHRUB BED AND/OR UNDISTURBED FOREST FLOOR
- 6 PLAYGROUND
- 7 RAMADA
- 8 BENCH
- 9 STEPS DOWN TO FIELD
- 10 EXISTING PONDEROSA PINE TREES

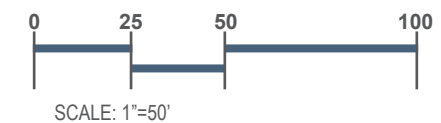


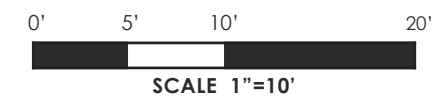
# SOUTH COMMONS

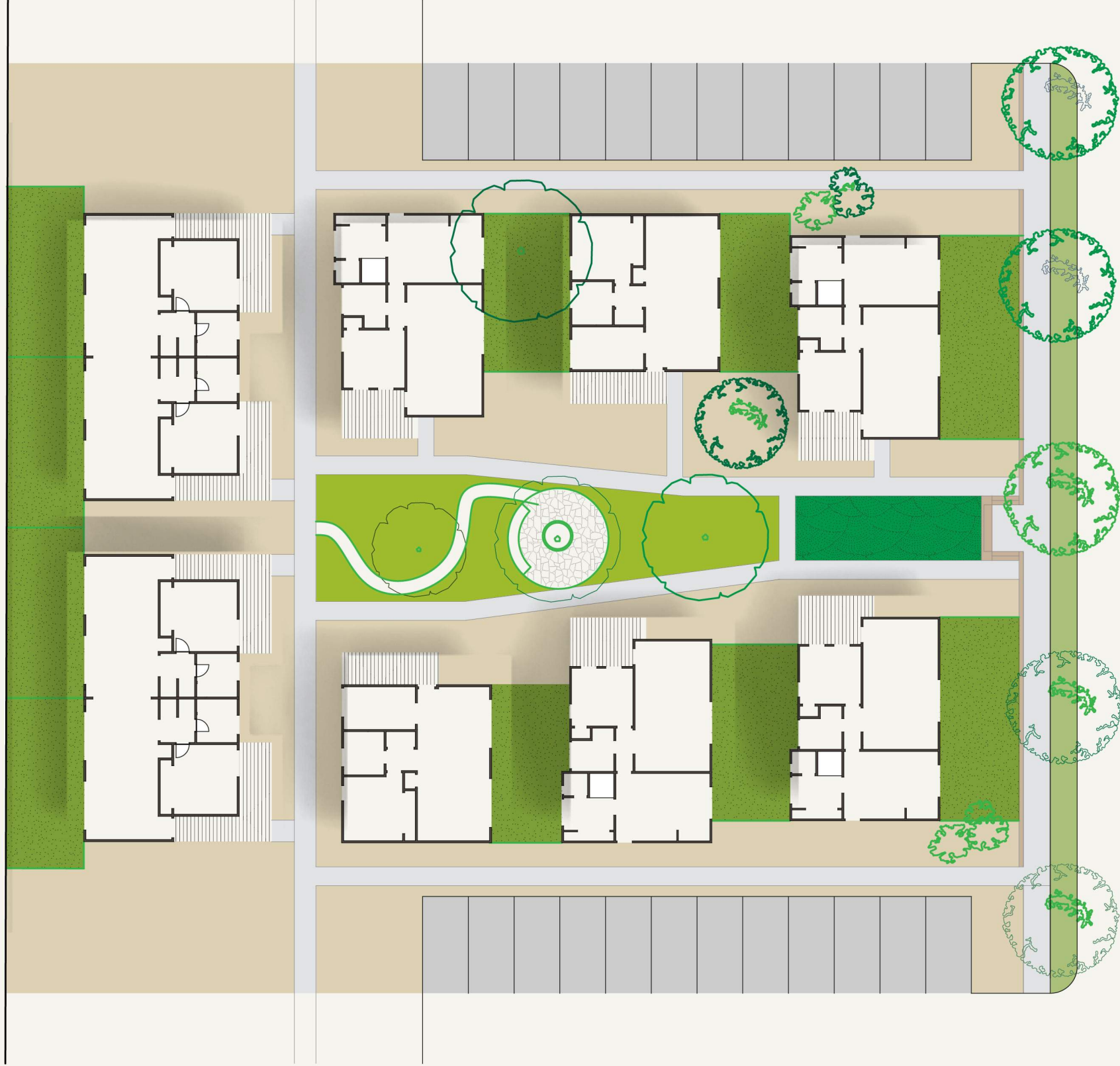


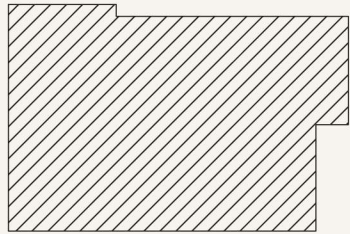
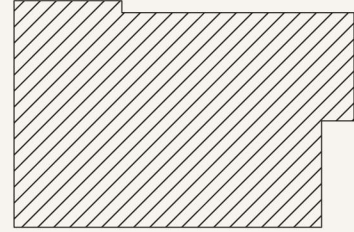
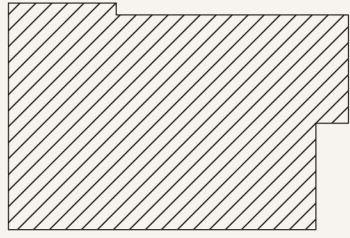
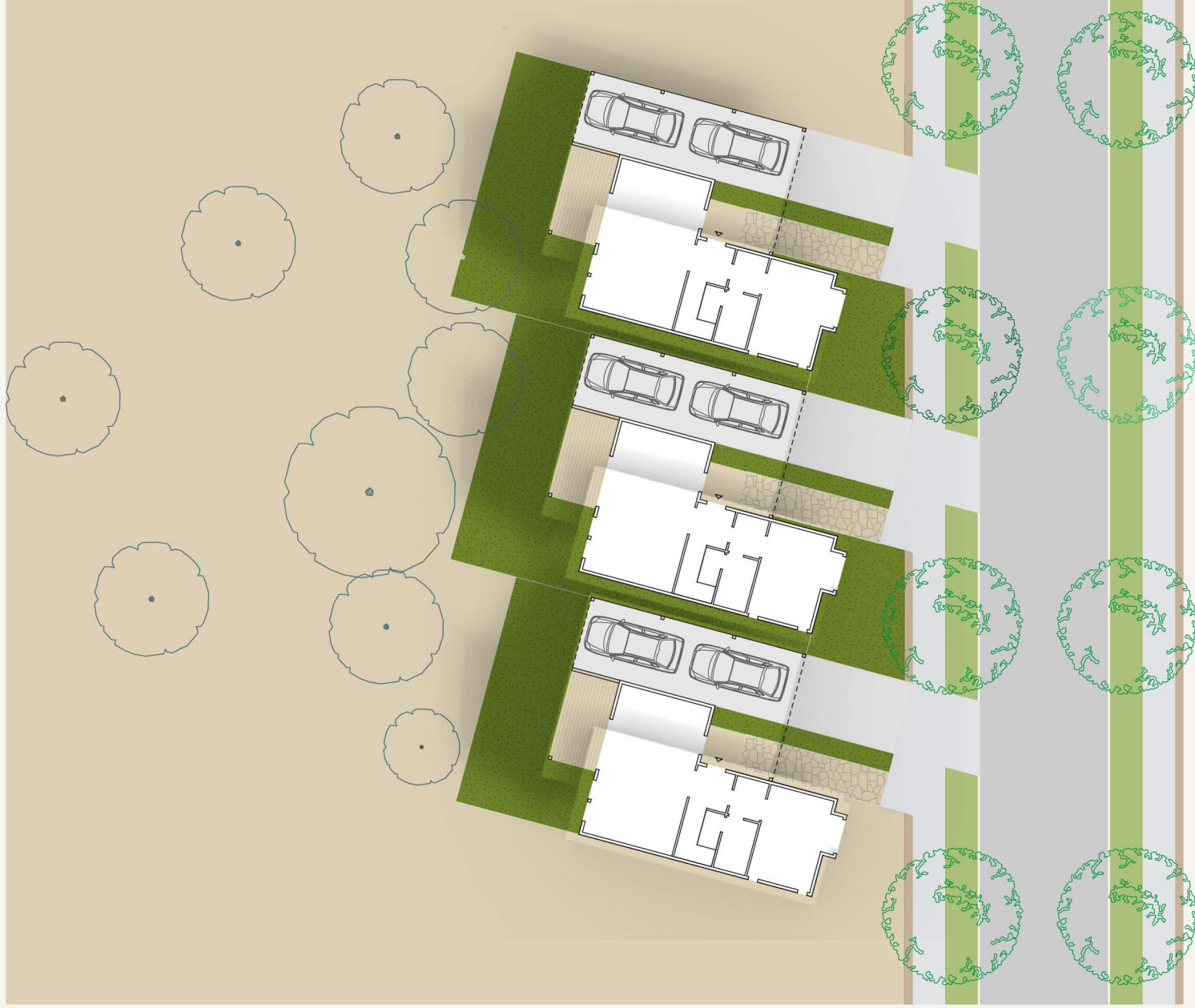
## KEY

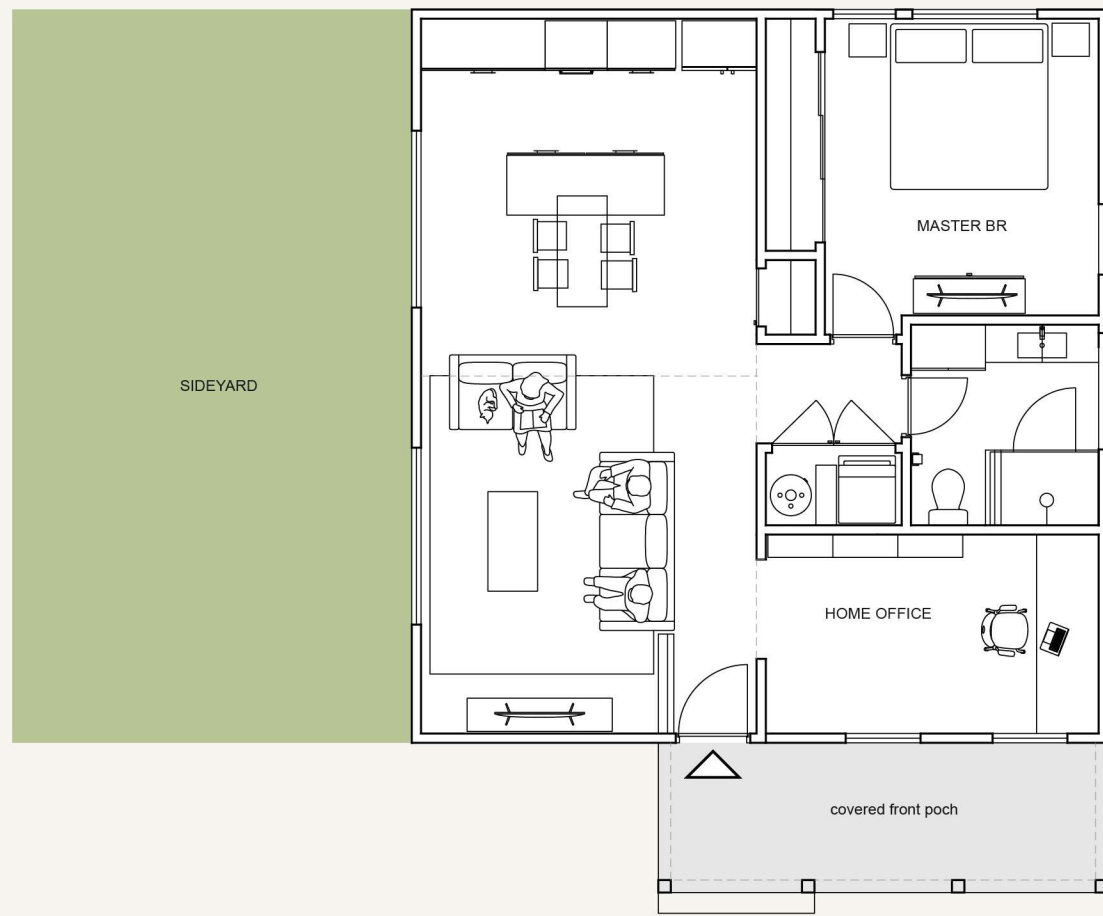
- 1 DOG PARK
- 2 4-RAIL WOOD FENCE WITH WIRE MESH
- 3 CONCRETE WALK
- 4 DECOMPOSED GRANITE PATH
- 5 SHRUB BED AND/OR UNDISTURBED FOREST FLOOR
- 6 SHADE STRUCTURE
- 7 BENCH
- 8 EXISTING PONDEROSA PINE TREES



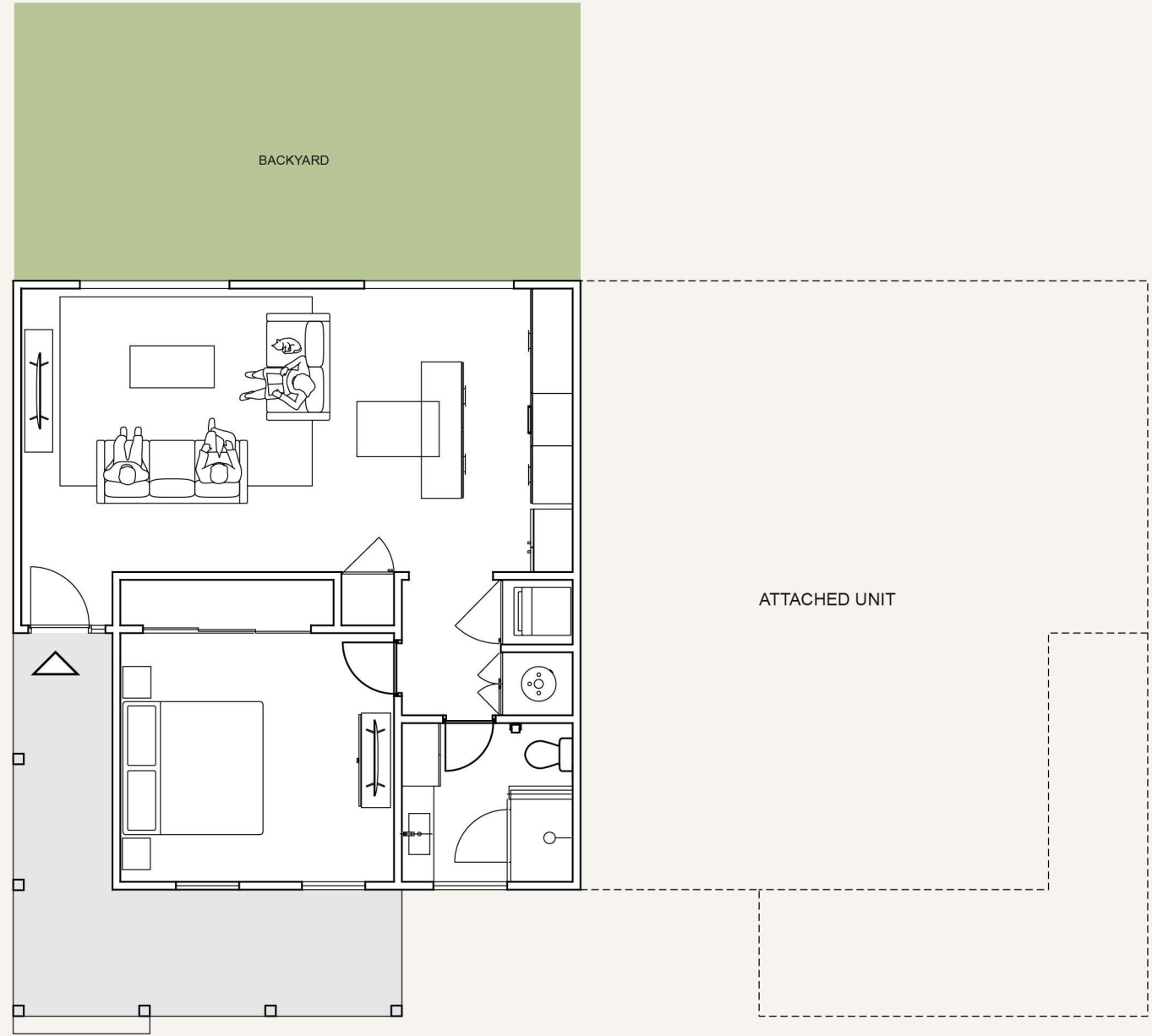
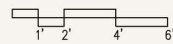




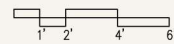


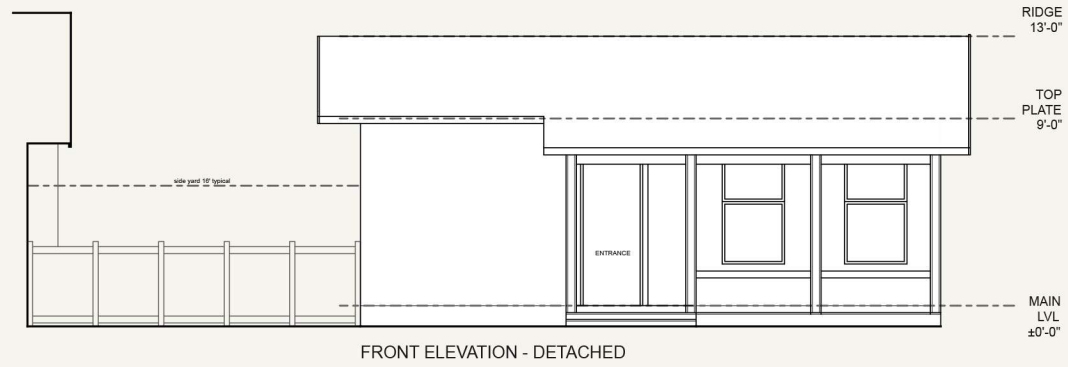


GROUND FLOOR - 1 BEDROOM DETACHED  
820 SQF

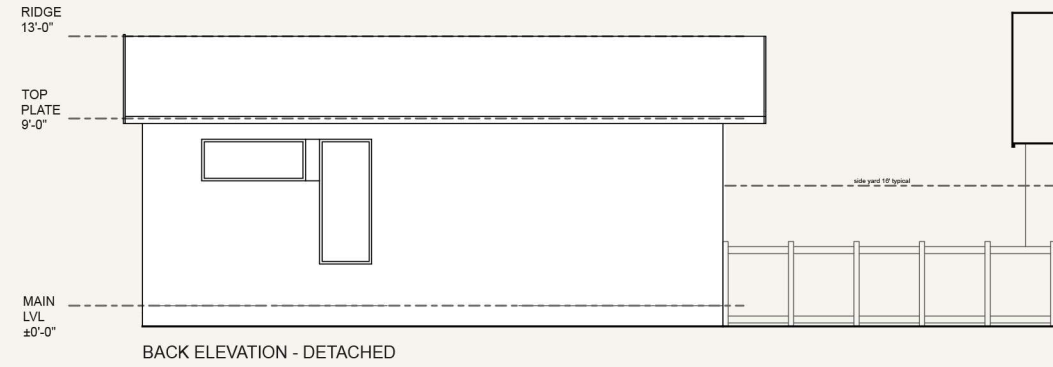


GROUND FLOOR - 1 BEDROOM ATTACHED  
750SQF

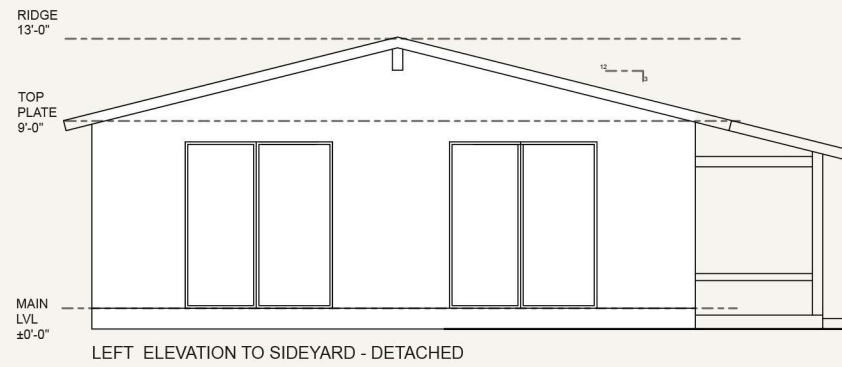




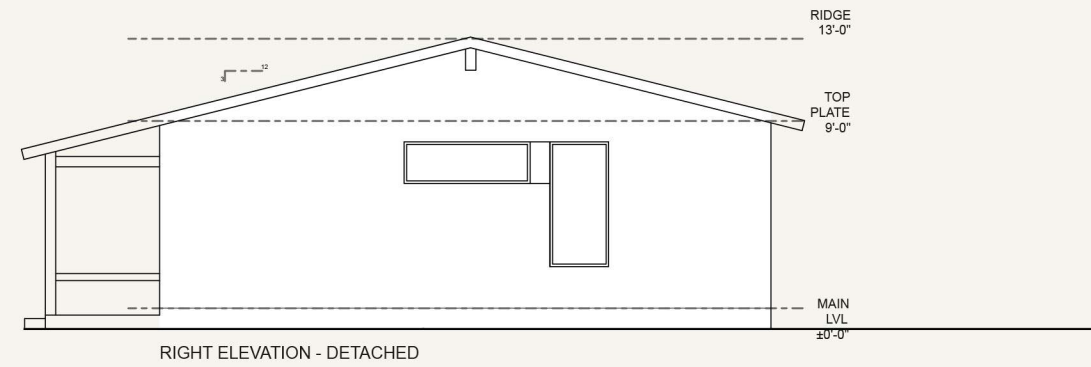
FRONT ELEVATION - DETACHED



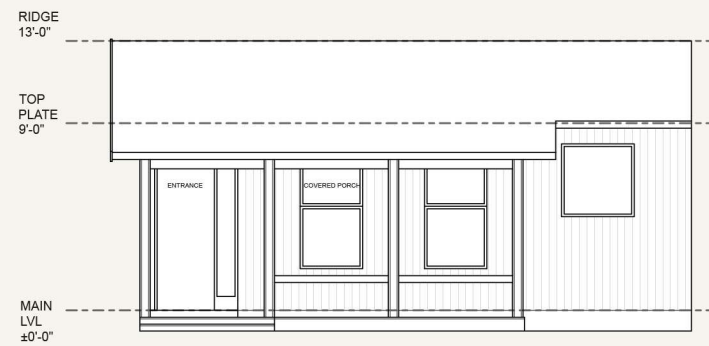
BACK ELEVATION - DETACHED



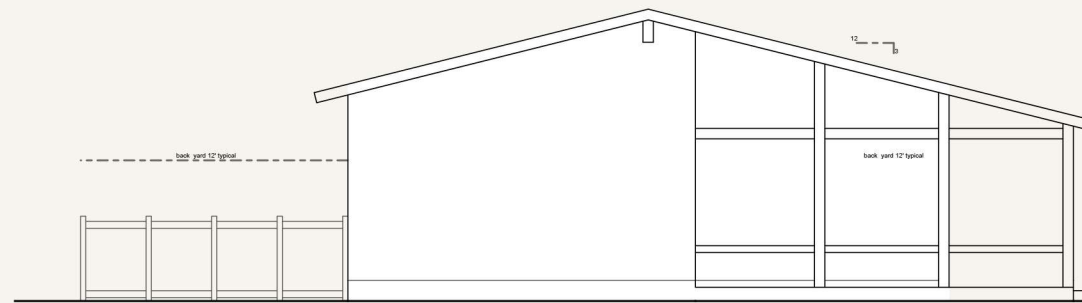
LEFT ELEVATION TO SIDEYARD - DETACHED



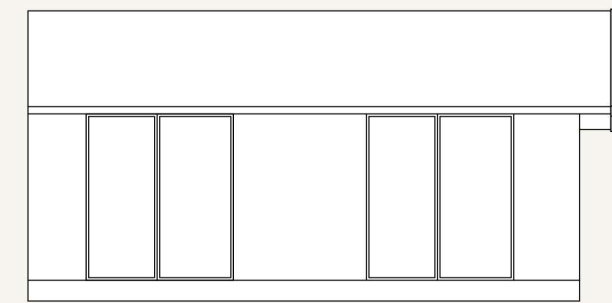
RIGHT ELEVATION - DETACHED



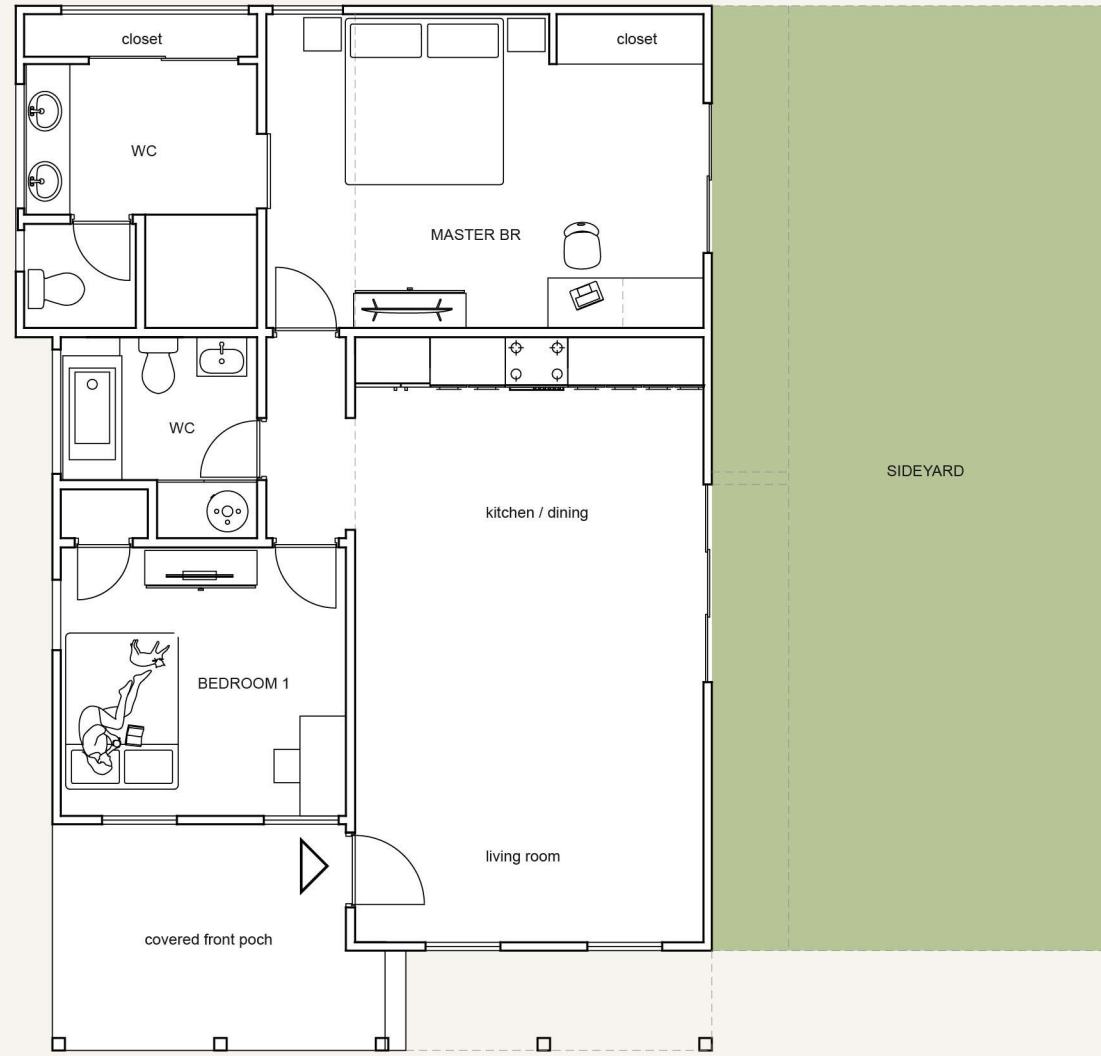
BACK ELEVATION - ATTACHED



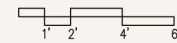
LEFT ELEVATION - ATTACHED

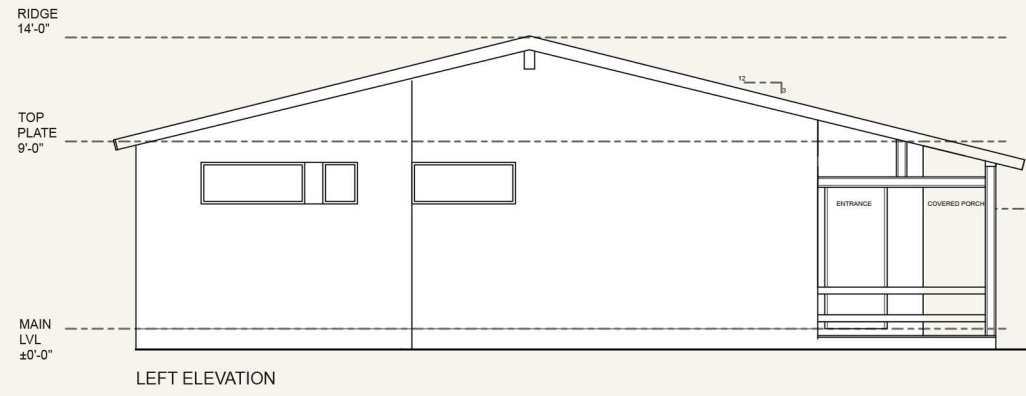


BACK ELEVATION TO BACKYARD- ATTACHED

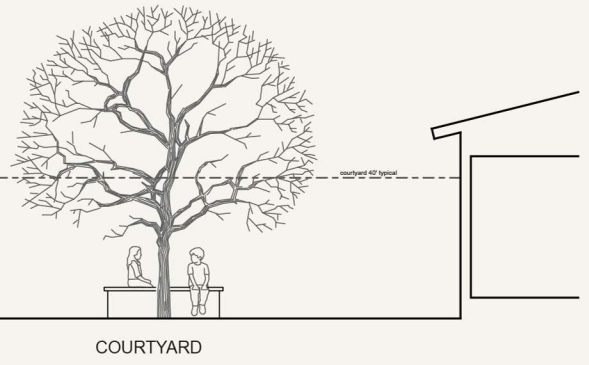


GROUND FLOOR - 2 BEDROOM  
950 SQF

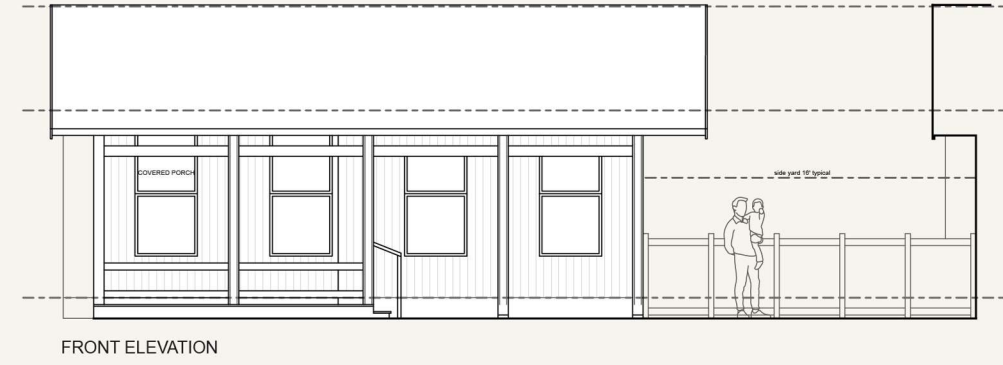




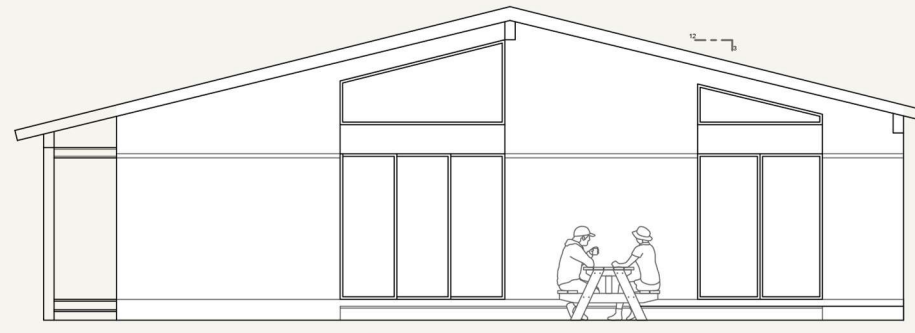
LEFT ELEVATION



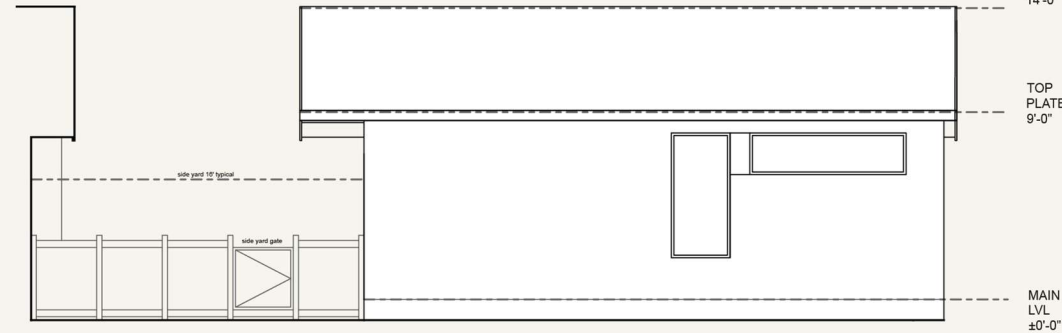
COURTYARD



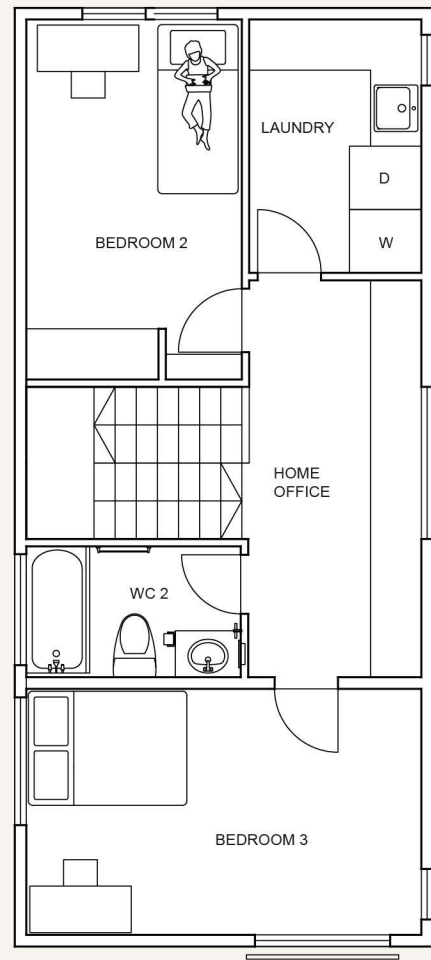
FRONT ELEVATION



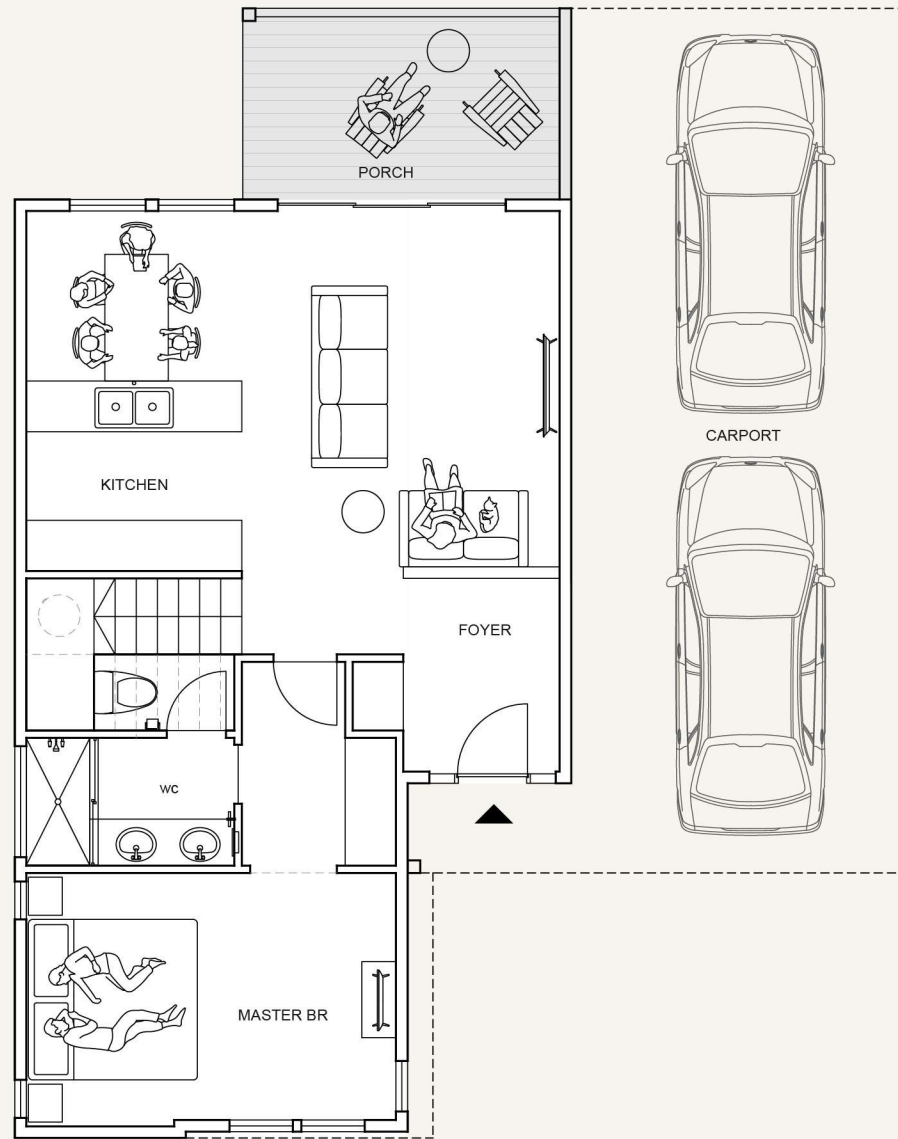
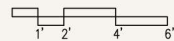
RIGHT ELEVATION TO SIDE YARD



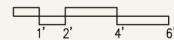
SIDEYARD BACK ELEVATION



UPPER FLOOR



GROUND FLOOR - 3 BEDROOM  
1250 SQF

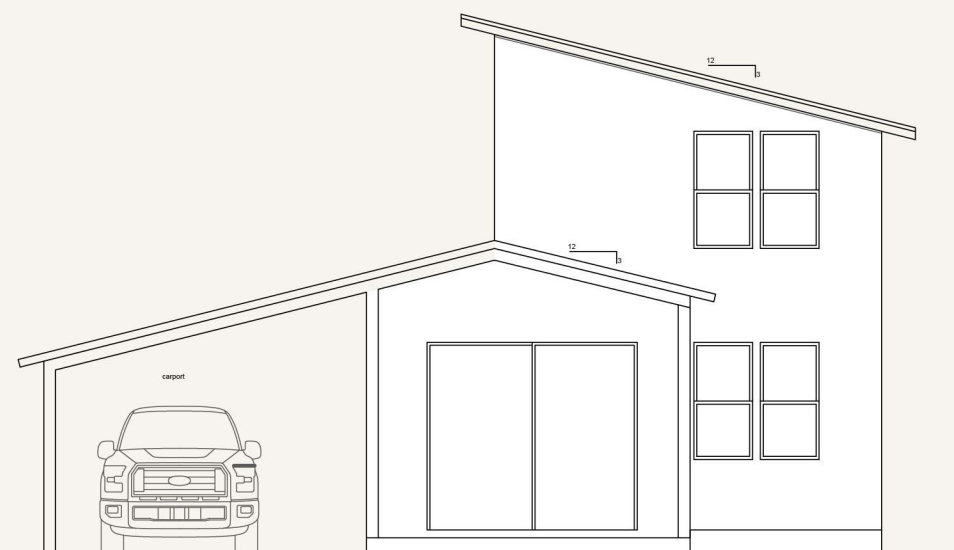




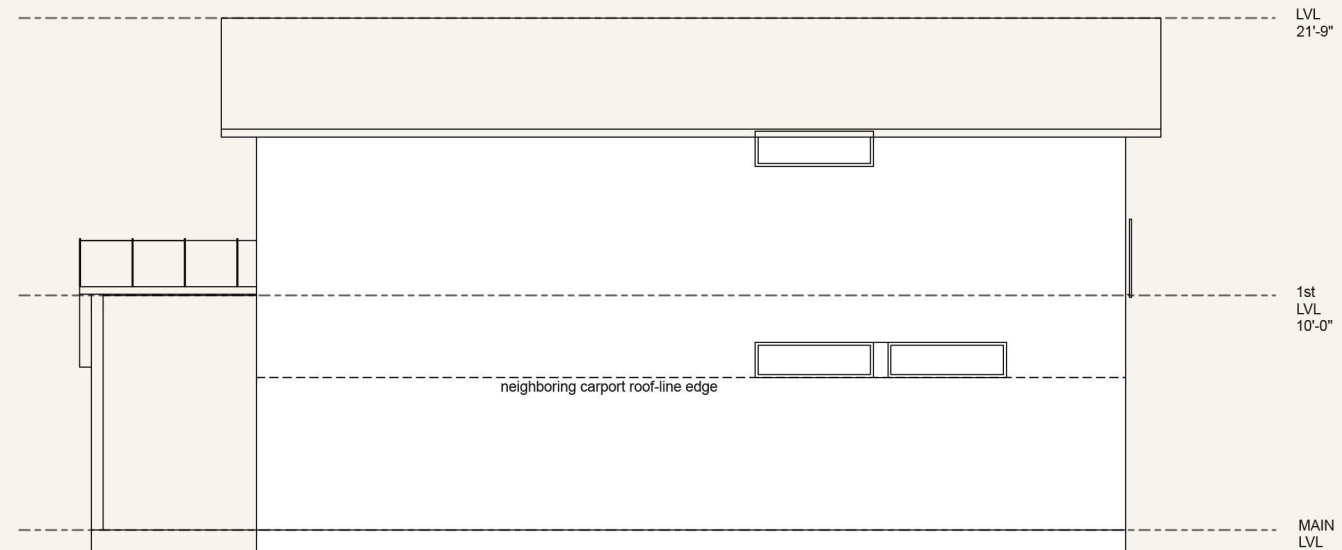
RIGHT ELEVATION - CARPORT



FRONT ELEVATION



REAR ELEVATION



LEFT ELEVATION









**SKY COTTAGES**  
at **TIMBER SKY**  
PZ-20-00153

**V**  
VINTAGE  
PARTNERS

**GAMMAGE  
&  
BURNHAM**  
Attorneys at Law

**SWI**  
Shepherd & Westmeyer, Inc.

**Mosaic**

**NORRIS DESIGN**  
Planning | Landscape Architecture | Interiors

SHEET NAME:

3-BD UNIT  
EXTERIOR VIEW

SHEET NO.

21 of 33





**SKY COTTAGES**  
at **TIMBER SKY**  
PZ-20-00153

**V**  
VINTAGE  
PARTNERS

**GAMMAGE  
&  
BURNHAM**  
Attorneys at Law

**SWI**  
Shepherd & Westmeyer, Inc.

**Mosaic**

**NORRIS DESIGN**  
Planning | Landscape Architecture | Landscaping

SHEET NAME:  
WOODY MTN  
STREETScape  
VIEW (2)  
SHEET NO.  
23 of 33





- LEGEND**
- \* EXISTING TREE TO BE REMOVED
  - \* EXISTING TREE TO BE SAVED
  - \* EXISTING TREE WITHIN WOODY MTN ROW
  - \* EXISTING TREE OFFSITE

- NOTES:**
1. EXISTING SLOPES ON THE SITE DO NOT EXCEED 16.99%.
  2. EXISTING TREES SHOWN TO BE SAVED WITHIN PROPOSED SIDEWALKS AND PROPOSED UNITS WILL BE SAVED DURING THE SITE PLAN REVIEW PROCESS WITH A FURTHER MINOR MODIFICATION OF THE SITE LAYOUT. ADDITIONALLY, IT IS OUR INTENTION TO SAVE ADDITIONAL TREES DURING CONSTRUCTION WHERE THE AFFECT ON THE ACTUAL TREE CANOPY IS MINIMAL.
  3. EXISTING TREES WITHIN ROW FOR FUTURE ROUNDABOUT ARE COUNTED AS PRESERVED.

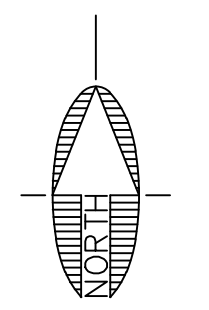
TOTAL ONSITE TREE RESOURCES					
TYPE	PINE	PINE	PINE	PINE	PINE
DIAMETER (IN)	6-8	9-12	13-17	18-24	>25
NUMBER EXISTING	19	235	302	160	52
POINTS	1	2	4	8	20
SUM OF POINTS	19	470	1208	1280	1040

SUBTOTAL TREE POINTS= 4017

POST-DEVELOPMENT TREES					
TYPE	PINE	PINE	PINE	PINE	PINE
DIAMETER (IN)	6-8	9-12	13-17	18-24	>25
NUMBER EXISTING	10	98	102	60	21
POINTS	1	2	4	8	20
SUM OF POINTS	10	196	408	480	420

TOTAL TREE POINTS=	4017
TOTAL PRESERVED TREE POINTS=	1514
REQUIRED PRESERVATION RATE=	50%
REQUIRED PRESERVATION RATE WITH AFFORDABLE INCENTIVE (1)=	37.5%
PRESERVATION RATE=	37.7%

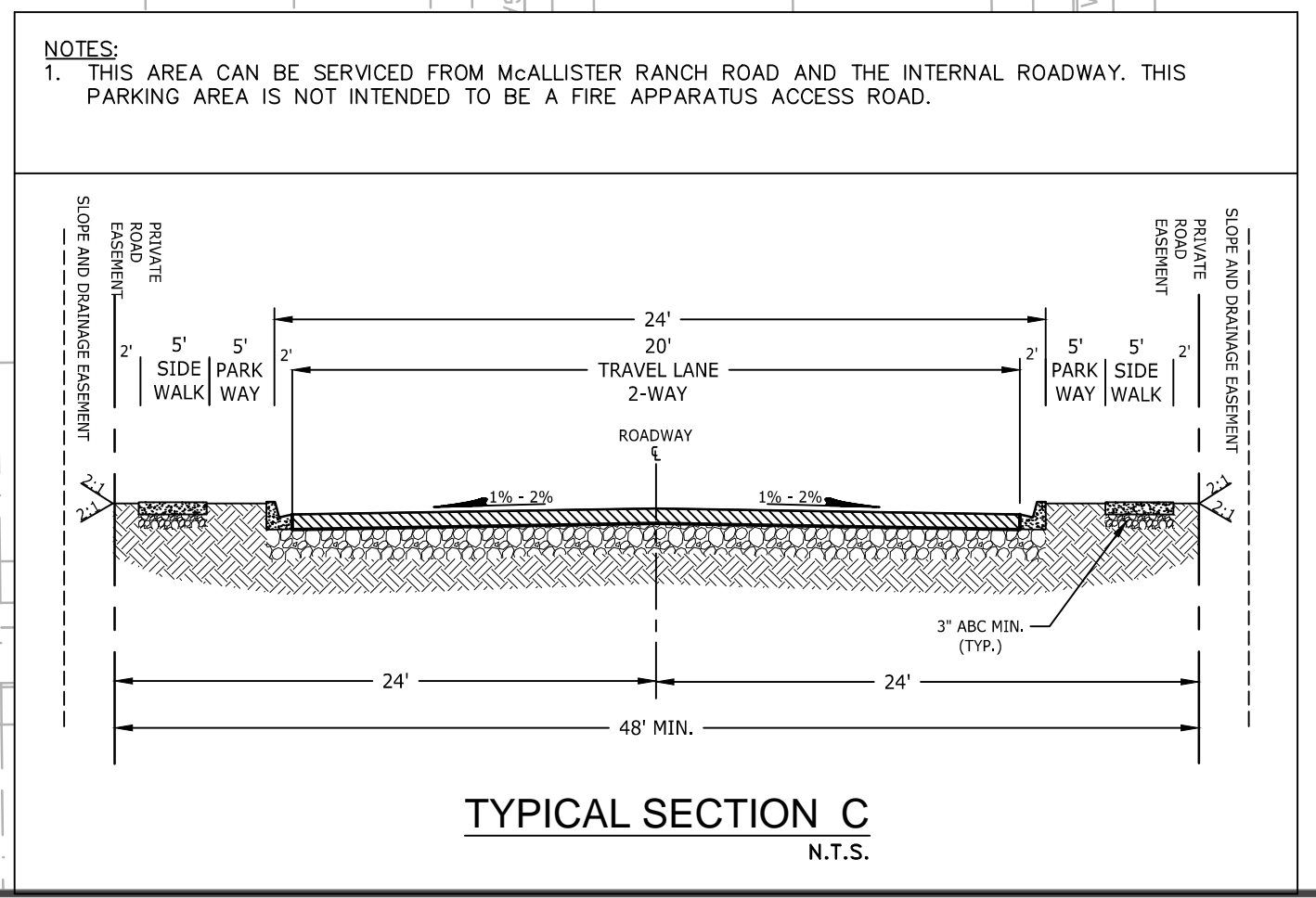
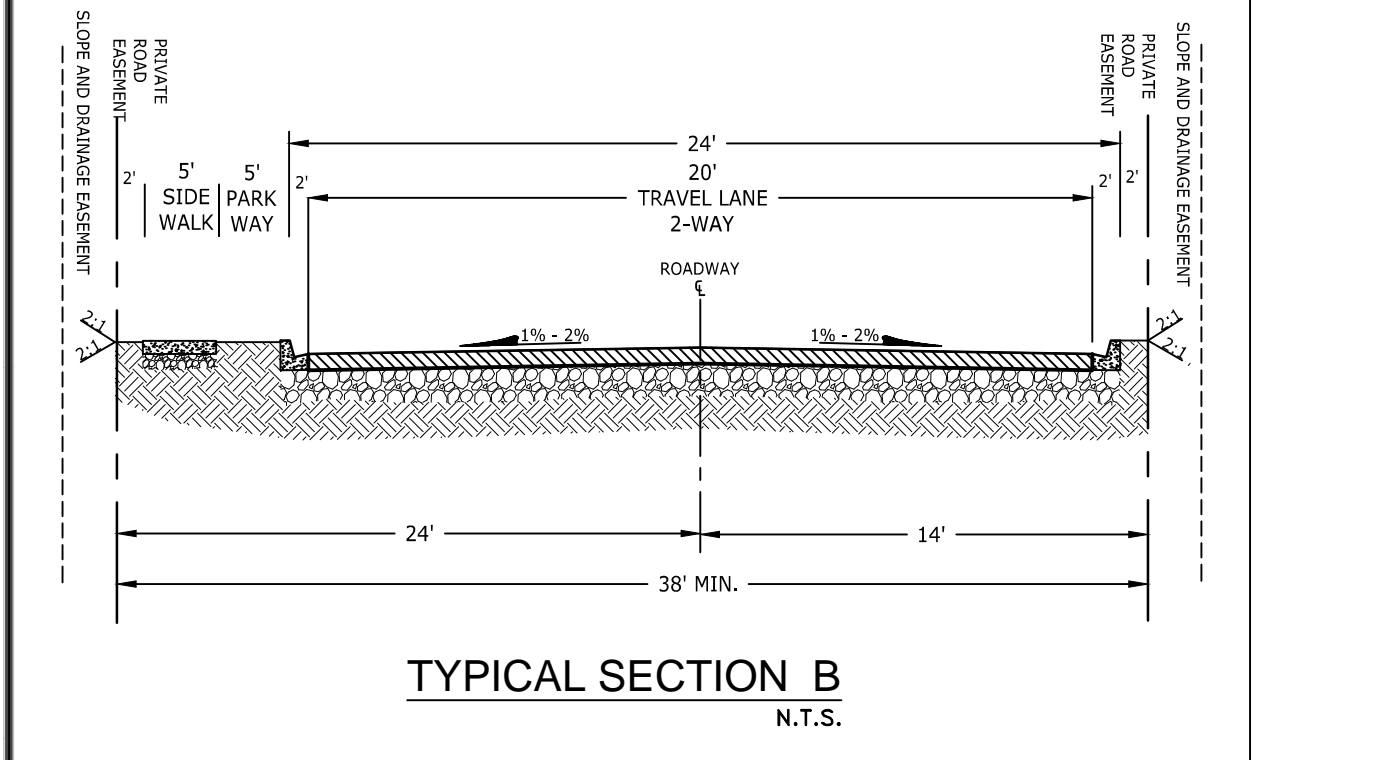
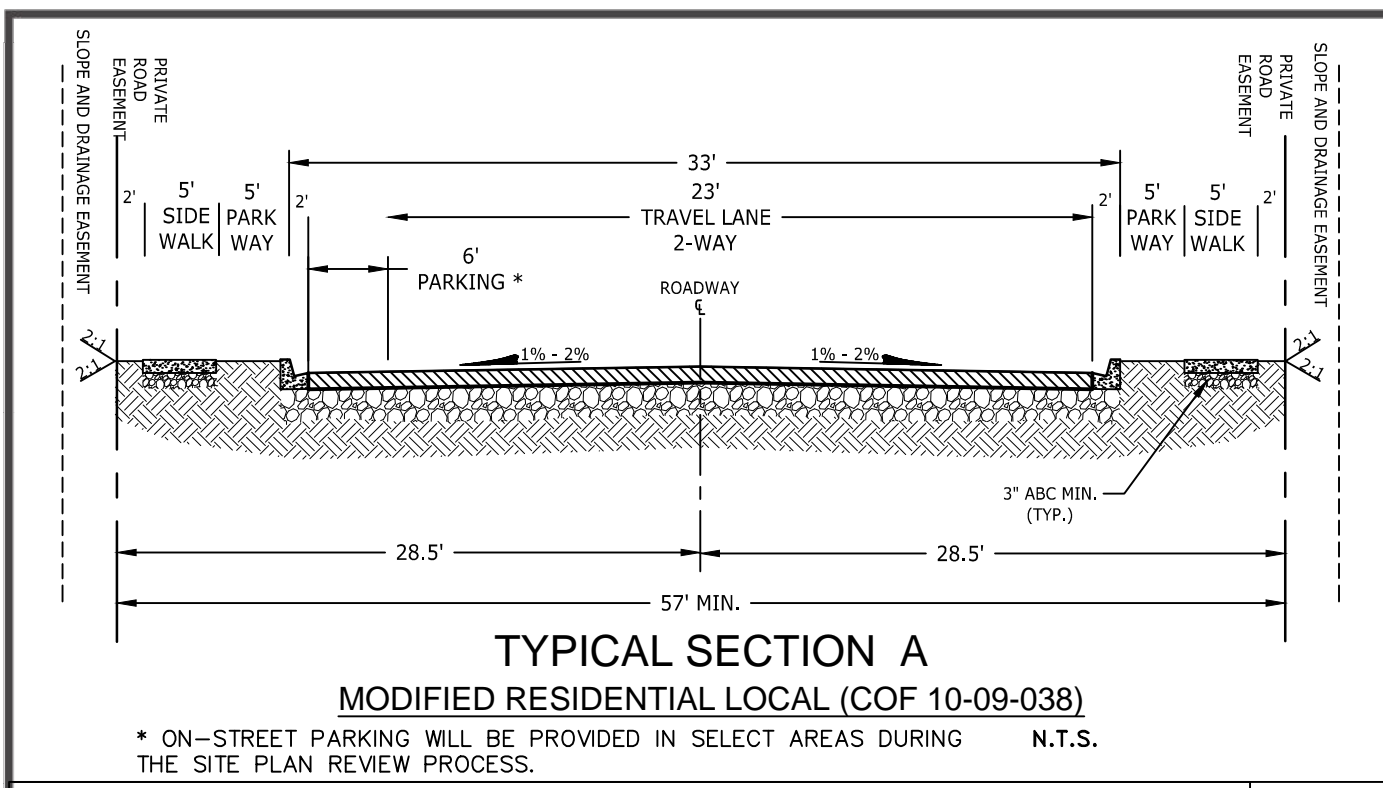
NOTES: (1) PER ZONING CODE SECTION 10-30.20.040.B.1, WITH PROVIDING 10% AFFORDABLE UNITS (CATEGORY 1), THERE IS A 25% REDUCTION OF THE 50% PRESERVATION RATE REQUIREMENT. THEREFORE, THE TOTAL REDUCTION IN PRESERVATION RATE IS 12.5 PERCENTAGE POINTS BRINGING THE REQUIRED PRESERVATION RATE TO 37.5%.



SCALE 1" = 60'

**PRELIMINARY**  
NOT FOR CONSTRUCTION,  
BIDDING OR RECORDING





SCALE 1" = 60'  
0 30 60

**PRELIMINARY**  
NOT FOR CONSTRUCTION,  
BIDDING OR RECORDING

**SKY COTTAGES**  
at **TIMBER SKY**  
PZ-20-00153

**VINTAGE**  
PARTNERS

**GAMMAGE & BURHAM**  
Attorneys at Law

**SWI**  
Shepherd & Westmeyer, Inc.

**Mosaic**

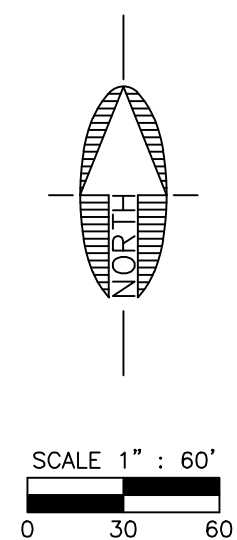
**NORRIS DESIGN**  
Planning | Landscape Architecture | Branding

SHEET NAME:  
**FIRE ACCESS PLAN**  
SHEET NO.  
**25 of 33**



**SITE ANALYSIS:**

- A. EXISTING TOPOGRAPHY OF PROJECT SITE AS SHOWN. SITE SLOPES DO NOT EXCEED 16.99%.
- B. SOLAR ORIENTATION IS SHOWN ON BOTTOM OF SHEET.
- C. EXISTING VEGETATION IS PONDEROSA PINE TREES AS SHOWN
- D. VIEW CORRIDORS NOTICEABLE FROM THE SITE INCLUDE THE RESIDENTIAL COMMUNITY OF TIMBER SKY TO THE WEST AND THE RESIDENTIAL COMMUNITY OF PRESIDIO TO THE EAST. THE SITE IS ACCESSIBLE AND VIEWABLE FROM S. WOODY MOUNTAIN ROAD AND MCCALLISTER RANCH ROAD.
- E. CLIMATIC CONSIDERATIONS FOR THE PROJECT SITE: THE PREVAILING WINDS ARE GENERALLY FROM THE SOUTHWEST AND AT 7,000 FEET FLAGSTAFF EXPERIENCES SNOW AND LARGE TEMPERATURE SWINGS. AS A RESULT OF REOCCURRING FREEZE/THAW CYCLES, PEDESTRIAN WALKWAYS WILL AVOID THE NORTH SIDE OF BUILDINGS AS MUCH AS POSSIBLE. THE SITE EXPERIENCES A LOT OF EXPOSURE. PRECIPITATION NATURALLY RUNS TO THE EASTERN SIDE OF THE SITE AND ULTIMATELY INTO A BOX CULVERT IN S. WOODY MOUNTAIN ROAD.
- F. FLAGSTAFF SUBSURFACE CONDITIONS GENERALLY CONSIST OF ROCK AND/OR CLAY MATERIAL. IT IS EXPECTED THAT THIS SITE WILL BE THE SAME. ALL DESIGN WILL BE PER THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
- G. THERE ARE NO EXISTING SWALES & STREAM CORRIDORS FOR THIS PROJECT.
- H. THE PROJECT IS SURROUNDED BY A RESIDENTIAL COMMUNITY TO THE EAST, A RESIDENTIAL COMMUNITY TO THE WEST, AND SOUTH AND CITY OF FLAGSTAFF PUBLIC WORKS TO THE NORTH.



SCALE 1" = 60'  
 0 30 60

**PRELIMINARY**  
 NOT FOR CONSTRUCTION,  
 BIDDING OR RECORDING

**SKY COTTAGES**  
 at **TIMBER SKY**



**VINTAGE**  
 PARTNERS

**GAMMAGE & BURNHAM**  
 Attorneys at Law

**SWI**  
 Shephard & Westmeyer, Inc.

**Mosaic**

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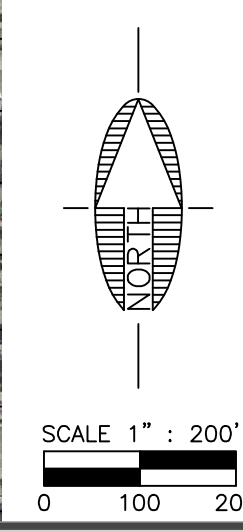
SHEET NAME:  
**SITE ANALYSIS**  
 SHEET NO.  
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PZ-20-00153



**ZONING LEGEND**

- FLAGSTAFF ZONING**
- MH MANUFACTURED HOUSING
  - PF PUBLIC FACILITY
  - POS PUBLIC OPEN SPACE
  - HC HIGHWAY COMMERCIAL
  - RD RESEARCH AND DEVELOPMENT
  - R1 SINGLE FAMILY RESIDENTIAL
  - MR MEDIUM DENSITY RESIDENTIAL
  - HR HIGH DENSITY RESIDENTIAL
  - RR RURAL RESIDENTIAL
  - PROPOSED REZONE PROPERTY
  - EXISTING PROPERTY LINE
- COCONINO ZONING**
- G GENERAL
  - PC PLANNED COMMUNITY
  - CG COMM. GENERAL- 10,000SQFT



**PRELIMINARY**  
NOT FOR CONSTRUCTION,  
BIDDING OR RECORDING

1,000 FT BUFFER MAILING LIST

TAG #	APN	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIPCODE
1	11262203	STEWART STEVIE M	6825 E PEARL ST	MESA	AZ	85207
2	11262204	RALPH STEPHEN K & SANDRA E	2896 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
3	11262205	NOTTINGHAM ROXANNE D & BURTON J JR	2892 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
4	11262206	VALLEN GARY & KIM	1655 N KITTREDGE RD	FLAGSTAFF	AZ	86001
5	11262207	VAN HOY GARY R & MARY E	9660 W BENT TREE DR	PEORIA	AZ	85383
6	11262208A	MATHESON MAGGIE	2876 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
7	11262210A	WALSH CATHERINE LIVING TRUST DTD 09-17-15	2868 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
8	11262212A	BRINK JOHN I & EILEEN P	2864 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
9	11262213A	FALLON ANDREW M & RACHAEL R	2860 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
10	11262214	HILL RYAN	2852 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
11	11262215	GAO JUNFENG	5112 LE MICCINE TERR	SAN JOSE	CA	95129
12	11262216	ATEMO ANDREW & RENEVA	2810 E HEMBERG DR	FLAGSTAFF	AZ	86004
13	11262217	CASEMAN DELAYNE LOIS	2840 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
14	11262218	SHAO YONG	2836 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
15	11262219	WERLEY JAKE P	250 N CIRCLE DR	FLAGSTAFF	AZ	86001
16	11262220	DAVILA MIGUEL	2828 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
17	11262094	SHERECK JON R & PAULINE K	2824 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
18	11262095	BROWN TIMOTHY E	2820 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
19	11262096	FREEDLUND LANCE D	2816 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
20	11262097	SANDERSON VICTOR A & NANCY C	2812 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
21	11262098	OHLAU JAMES R	4721 E LAVANDAR LN	PHOENIX	AZ	85044
22	11262099	BROTSCHI LIVING TRUST DTD 06-01-09	21497 E CALDWELLS WAY	QUEEN CREEK	AZ	85142
23	11262387	MOUNTAIN CREEK EST LLC	1464 E AMBERWOOD DR	PHOENIX	AZ	85048
24	11262388	PENSCO TRUST COMPANY MASON T LUNDELL IRA	3317 S HIGLEY RD NO 114-497	GILBERT	AZ	85297
25	11262100	MACE EMILY	2792 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
26	11201209	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
27	1126221A	MANYGOATS DEAN	2833 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
28	11262222A	MCLAUHLIN JOSEPH & MICHELLE	2841 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
29	11262223A	JOHNSON CARLTON & MARTHA JAMES	2845 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
30	11262225	LEONARD ALEXANDER T	2849 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
31	11262226	MATSUOKA LAURIE	2853 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
32	11262227	RYBKA JAMES S & JAN D	2857 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
33	11262228	KEMPNER ALAN & CYNTHIA	7415 E LINCOLN DR	SCOTTSDALE	AZ	85250
34	11262229A	VANDERMUELEN JOSHUA	2741 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
35	11262231A	KEEP SHAWN & SUNNY	3775 S BRIDLE PATH	FLAGSTAFF	AZ	86005
36	11262232A	ROBERTSON GAIL M	2749 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
37	11262233	MENDEL CHARLES & MICHELLE C	2757 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
38	11262234	SALCIDO ROBERTA KAY & ALFREDO RANDY	2761 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
39	11262235	VAN DEN BURG ROBERT J & INGRID M	2765 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
40	11262236	KUEFFER-MAYORGA TAMARA ELIZABETH	1475 S VAIL RD	CAMP VERDE	AZ	86322
41	11262083	WINFREE KYLE N & VANESSA	2781 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
42	11262084	LEONARD JON D & KRISTI	PO BOX 2302	FLAGSTAFF	AZ	86003
43	11262085	GERRAGHTY TRUST DTD 5/12/16	4750 DEVONPORT CIR	YORBA LINDA	CA	92887
44	11262086	KIM ELIAH	2793 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
45	11262087	J & L FAMILY TRUST DTD 02-23-16	2797 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
46	11262088	STONER GAYLA M & THOMAS N	PO BOX 263	FLAGSTAFF	AZ	86002
47	11262089	RAEL MICHAEL & ERICA	2805 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
48	11262090	STRAIN SEAN P & JANELLE J	2809 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
49	11262091	DEFRATES DAMON J & DEBORAH A	2813 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
50	11262092	BALL DANIEL A & JENNIFER A	2817 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
51	11262093	PATEL SANJAY & CHETNA	2821 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86005
52	11262237A	SMITH TERRY E	2772 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
53	11262239A	MORRELL ARMANDO F JR LIVING TRUST DTD 04-22-19	2768 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
54	11262241A	GIESKE FAMILY LIVING TRUST DTD 02-04-19	3306 N 81ST ST	MESA	AZ	85207
55	11262242A	BUNCH CHRISTOPHER E & SUZANNA T	2760 W PICO EL MONTE CIR	FLAGSTAFF	AZ	86001
56	11262243	CHEN ZHONG	32 W QUARTZ RD	FLAGSTAFF	AZ	86005
57	11262244	URBANER FAMILY REVOCABLE LIVING TRUST AMENDED 1-22-18	2020 W MUSKET PL	CHANDLER	AZ	85286
58	11262245	FILIPPI JORDON & AMANDA	2744 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
59	11262246	TSOSIE BRIAN L & JENNIFER P	2740 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
60	11262247	NO OWNER LISTED	NO OWNER ADDRESS	0	0	0
61	11262074	LF RENTALS LLC	14654 S 25TH PL	PHOENIX	AZ	85048
62	11262075	WINBURN BRIAN	PO BOX 2426	FLAGSTAFF	AZ	86003
63	11262076	TEN ELENA	2730 W JACLYN DR	FLAGSTAFF	AZ	86001
64	11262077	BAILEY TRUST DTD 07-14-08	1552 W SALTSAGE DR	PHOENIX	AZ	85045
65	11262078	SCHROEDER CHRISTIAN	2722 W JACLYN DR	FLAGSTAFF	AZ	86001
66	11262079	MEINERS RICHARD A & TANIA J	221 INA ST PO BOX 60181	FAIRBANKS	AK	99706
67	11262080	POOLE IAN	2714 W JACLYN DR	FLAGSTAFF	AZ	86001
68	11262081	AMESTOY FAMILY TRUST DTD 07-24-02	1112 DYSART DR	BANNING	CA	92220
69	11262082	CHAN HELEN	2706 W JACLYN DR	FLAGSTAFF	AZ	86001
70	11265057	COTTAGES AT CEDAR RIDGE HOMEOWNERS ASSOCIATION INC	813 N BEAVER ST NO 5	FLAGSTAFF	AZ	86001
71	11265001	SHIFFER KRISTINE & ARRON	2690 W JACLYN DR	FLAGSTAFF	AZ	86001
72	11265002	LU JIAN	2686 W JACLYN DR	FLAGSTAFF	AZ	86001

TAG #	APN	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIPCODE
73	11265003	WALKER JOSHUA FORREST & KRISTLE MARIE	2682 W JACLYN DR	FLAGSTAFF	AZ	86001
74	11265004	PAWLAK TIMOTHY J & LOREEN M	254 S PORT DR	GILBERT	AZ	85233
75	11265005	CORRIGAN LOGAN	2674 W JACLYN DR	FLAGSTAFF	AZ	86001
76	11265006	MAGEE MARK LEE & BELEN	2670 W JACLYN DR	FLAGSTAFF	AZ	86001
77	11265061	COTTAGES AT CEDAR RIDGE HOMEOWNERS ASSOCIATION INC	813 N BEAVER ST NO 5	FLAGSTAFF	AZ	86001
78	11265007	BRUCE BENJAMIN	2662 W JACLYN DR	FLAGSTAFF	AZ	86001
79	11265008	SECUREPAY LLC	151 MELEKOMO PLACE	LAHAINA	HI	96761
80	11262389	SCHRAUFNAGEL GARY M & MARY JEAN	5816 E HERMOSA VISTA DR	MESA	AZ	85215
81	11262390	JACOBSON COURTNEY LYN LUQUE	2205 W MISSION TIMBER CIR	FLAGSTAFF	AZ	86001
82	11262391	MARKS TRUST DTD 04-22-20	1246 E OXFORD LN	GILBERT	AZ	85295
83	11201210	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
84	11201211	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
85	11262183	DUNMYER SANDRA CHRISTINE	2900 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
86	11262184	PRESSLEY ROY J & LJLIANA NG	2896 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
87	11262185	GREENE JEFFREY L & SHIRLEY A	2892 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
88	11262186	TUTWILER THOMAS R	2888 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
89	11262187	MCKIRDY JAMES FRANCIS & HEATHER	2884 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
90	11262188	CARROLL VICKI J LIVING TRUST UA DTD 6-16-14	2880 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
91	11262189	BOOTH BRIAN T & MEAGAN J	2876 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
92	11262190	ROBB CHELSEA M	2872 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
93	11262191	OHANA KRR TRST DTD 09-09-13	PO BOX 18621	TUCSON	AZ	85731
94	11262192	WOODRUFF JOHN	43258 W MARICOPA AVE	MARICOPA	AZ	85138
95	11262193	WEIDINGER JOSEPH E & BECKY Y	2705 W JACLYN DR	FLAGSTAFF	AZ	86001
96	11262194	TUTAY DANIEL J & ERIN M	2709 W JACLYN DR	FLAGSTAFF	AZ	86001
97	11262195	PRISKORN CRAIG & DANA	28313 LAURA LA PLANTE DR	AGOURA HILLS	CA	91301
98	11262196	BECENTI MICHAEL M	2717 W JACLYN DR	FLAGSTAFF	AZ	86001
99	11262197	BOYD JOHN L III & KAREN E	3980 WESTWOOD CIR	FLAGSTAFF	AZ	86005
100	11262198	JAMES SUSAN	2725 W JACLYN DR	FLAGSTAFF	AZ	86001
101	11262199	KELLY DENNIS	2729 W JACLYN DR	FLAGSTAFF	AZ	86001
102	11262200	MUGO PATTI WAMUYU	2733 W JACLYN DR	FLAGSTAFF	AZ	86001
103	11262201	HARRIS LISA L & TINCER	PO BOX 1782	KABETO	AZ	86053
104	11262202	HAMPTON JEFFREY KIRK & JENNIFER M	2741 W JACLYN DR	FLAGSTAFF	AZ	86001
105	11201212	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
106	11201250	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
107	11201251	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
108	11201252	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
109	11201253	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
110	11201256	TIMBER SKY COMMUNITY ASSOCIATION	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016
111	11265032	ECKEL ALISE	2802 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
112	11265033	SCOTT LIONEL & JESSICA	2806 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
113	11265034	SIMPSON HEATHER L	PO BOX 31183	FLAGSTAFF	AZ	86003
114	11265035	GRACEY AMY M & CHRISTOPHER A	2814 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
115	11201258	TIMBER SKY COMMUNITY ASSOCIATION	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016
116	11265037	ROAN-ZABAR DONNA	2817 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
117	11265038	MARTUSCIELLO MARIO F& MANDEE A	2813 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
118	11265039	QUICLEY THOMAS JAMES	600 AUBURN AVE	SIERRA MADRE	CA	91024
119	11265040	FUSSELMAN BRIDGET & DEREK	2805 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
120	11265041	LIANG JIANJIE & LI HONG	2305 W YAHOO TRL	PHOENIX	AZ	85085
121	11265042	FREITAG RONALD E	2802 S FLAGSTONE LN	FLAGSTAFF	AZ	86001
122	11265043	XU QIANG	5045 S TOPAZ RD	FLAGSTAFF	AZ	86005
123	11265044	GRIFFIS AUDREY L	165 LAKESHORE RD	GILBERTSVILLE	KY	42044
124	11265045	CANTOR PROPERTIES LLC	3199 RAINBOW RIDGE DR	PRESCOTT	AZ	86303
125	11265046	MARTINEZ JUAN	2818 SOUTH FLAGSTONE LN	FLAGSTAFF	AZ	86001
126	11265047	STEIN JEFFREY A & ABIGAIL	2817 S FLAGSTONE LN	FLAGSTAFF	AZ	86001
127	11265048	GALLEGO LORETTA	2811 S FLAGSTONE LN	FLAGSTAFF	AZ	86001
128	11265049A	BHAKTA RAJENDRABHAI D & SHILABEN R	8383 E STATE ROUTE 69	PRESCOTT VALLEY	AZ	86314
129	11265050A	FISHER DUSTIN BRYANT	2801 S FLAGSTONE LN	FLAGSTAFF	AZ	86001
130	11265062	COTTAGES AT CEDAR RIDGE HOMEOWNERS ASSOCIATION INC	813 N BEAVER ST NO 5	FLAGSTAFF	AZ	86001
131	11265058	COTTAGES AT CEDAR RIDGE HOMEOWNERS ASSOCIATION INC	813 N BEAVER ST NO 5	FLAGSTAFF	AZ	86001
132	11262001	SUMMERS SCOTT D & SUSAN M	8211 179TH PL NE	ARLINGTON	WA	98223
133	11262002	SNIDE THOMAS K & MARIE G	2922 S PEPITA DR	FLAGSTAFF	AZ	86001
134	11262003	COOK BRENDON & APRIL	2916 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001
135	11262004	DAVIS FAMILY TRUST DTD 07-30-18	2912 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001
136	11262005	PHILLIPS JAMES & MARGARET	6 INDIAN PAINTBRUSH DR	BOZEMAN	MT	59718
137	11262006	PATCH EMILY	1000 W FOREST MEADOWS NO 250	FLAGSTAFF	AZ	86001
138	11262007	CHANG JONATHAN P	2900 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86005
139	11262008	HAMREN CAL & ELLYN A	20735 N 62ND DR	GLENDALE	AZ	85308
140	11262009	MORGAN JOHN L & DONNA M	2919 S PEPITA DR	FLAGSTAFF	AZ	86001
141	11262010	BAKER RYAN W & JEANNETTE N	2923 S PEPITA DR	FLAGSTAFF	AZ	86001
142	11262011	SHAY ROLAND L	2927 S PEPITA DR	FLAGSTAFF	AZ	86001
143	11262012	VERA KIMBERLY A & SALVADOR JR	2931 S PEPITA DR	FLAGSTAFF	AZ	86001
144	11262013	HAMMER JOSEPH J & SARAH E	2935 S PEPITA DR	FLAGSTAFF	AZ	86004

TAG #	APN	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIPCODE
145	11262014	TURNER CODY C	2939 S PEPITA DR	FLAGSTAFF	AZ	86001
146	11262015	BIGGERSTAFF PATRICK & WHITNEY	2943 S PEPITA DR	FLAGSTAFF	AZ	86001
147	11262016	BAMFORD FRANCIS J	2947 S PEPITA DR	FLAGSTAFF	AZ	86001
148	11262017	JOHNSON BRANDON S	2951 S PEPITA DR	FLAGSTAFF	AZ	86001
149	11262018	DEHOAG CRYSTAL F & ZENAS	2955 S PEPITA DR	FLAGSTAFF	AZ	86001
150	11262019	GEORGE ALLEN JOSEPH & CHRISTINA MARY	2959 S PEPITA DR	FLAGSTAFF	AZ	86001
151	11262020	FOGLE DONALD & CAROLE	2236 MANZAN			

TAG #	APN	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIPCODE
217	11262159	NORRIS CHAD W	2923 S PARDO CALLE DR	FLAGSTAFF	AZ	86001
218	11262160	BRIGHAM STEVEN M & ERNA V	2927 S PARDO CALLE DR	FLAGSTAFF	AZ	86001
219	11262161	MCDOWELL DANNY & SHAWNEE	2604 N FOX RUN RD	FLAGSTAFF	AZ	86004
220	11262162	LEY MICHAEL P & BRENDA K	2935 S PARDO CALLE	FLAGSTAFF	AZ	86001
221	11262163	FISCHENICH MIKE & PAULA	3515 W STRAWBERRY ROAN	FLAGSTAFF	AZ	86005
222	11262164	AUSTIN GARRETT	2943 S PARDO CALLE DR	FLAGSTAFF	AZ	86001
223	11262165	COLEMAN AARON O	2947 S PARDO CALLE DR	FLAGSTAFF	AZ	86001
224	11262166	LAURITSEN DENNY & ANNETTE	2951 S PARDO CALLE	FLAGSTAFF	AZ	86001
225	11262167	THIESING JAMES W & CAROL A	2092 ASHBURTON WAY	MOUNT PLEASANT	SC	29466
226	11262168	NANKIVELL DEBRA L	2918 S PARDO CALLE	FLAGSTAFF	AZ	86001
227	11262169	SUFIA BRANDON SIONE	3650 E LAKE MEAD BLVD NO 257	LAS VEGAS	NV	89115
228	11262170	MCDOWELL DANNY & SHAWNEE	2604 N FOX RUN RD	FLAGSTAFF	AZ	86004
229	11262171	DAVIS ROBERT	2921 W CARAVAGGIO LN	PHOENIX	AZ	85086
230	11262172	CURTIS MATTHEW	2187 W MISSION TIMBER CIR	FLAGSTAFF	AZ	86001
231	11262173	FREDEITE ANNETTE & ANTHONY	2191 W MISSION TIMBER CIR	FLAGSTAFF	AZ	86001
232	11262174	DOHSE TIMOTHY & CHELSEA NICOLE	2195 W MISSION TIMBER CIR	FLAGSTAFF	AZ	86001
233	11262175	MCDOWELL DANNY & SHAWNEE	2604 N FOX RUN RD	FLAGSTAFF	AZ	86004
234	11262176	HAGENSEN RACHEL L	20014 34TH AVE SE	BOTHELL	WA	98012
235	11262177	HOFFMAN ELIZABETH A	2925 S PAIS DEL NORTE	FLAGSTAFF	AZ	86001
236	11262178	BROWN PETER TRUST DTD 04-18-18	2921 S PAIS DEL NORTE	FLAGSTAFF	AZ	86001
237	11262179	GOWANLOCK MICHAEL	2932 S PAIS DEL NORTE	FLAGSTAFF	AZ	86001
238	11262180	UPSON BRENT W	3022 W NIGHT OWL LN	PHOENIX	AZ	85085
239	11262181	ELIIS PRESTON COLE & JAYME	2445 W POLLO CIR	FLAGSTAFF	AZ	86001
240	11262182	PRENTICE JOHN M & THERESE J	2920 S PAIS DEL NORTE	FLAGSTAFF	AZ	86001
241	11262524	MIRAMONTE PRESIDIO LLC	2502 E RIVER RD	TUCSON	AZ	85718
242	11262525	MIRAMONTE PRESIDIO LLC	2502 E RIVER RD	TUCSON	AZ	85718
243	11262526	MIRAMONTE PRESIDIO LLC	2502 E RIVER RD	TUCSON	AZ	85718
244	11262527	MIRAMONTE PRESIDIO LLC	2502 E RIVER RD	TUCSON	AZ	85718
245	11262528	MIRAMONTE PRESIDIO LLC	2502 E RIVER RD	TUCSON	AZ	85718
246	11262529	MIRAMONTE PRESIDIO LLC	2502 E RIVER RD	TUCSON	AZ	85718
247	11262530	KENMORE JANE H	2562 W JOSSELYN DR	FLAGSTAFF	AZ	86001
248	11262531	KENMORE JANE H & NEAL R	2562 W JOSSELYN DR	FLAGSTAFF	AZ	86001
249	11262532	MIRAMONTE PRESIDIO LLC	2502 E RIVER RD	TUCSON	AZ	85718
250	11262533	MIRAMONTE PRESIDIO LLC	2502 E RIVER RD	TUCSON	AZ	85718
251	11262534	HANSON POLLY & GARRY	2572 W JOSSELYN DR	FLAGSTAFF	AZ	86001
252	11262535	BETHKE MCKENZIE RAE	2574 W JOSSELYN DR	FLAGSTAFF	AZ	86001
253	11262536	ST LOUIS JAY & ANGELA	1391 W MAPLEWOOD ST	CHANDLER	AZ	85286
254	11262537	WILSON JONATHAN S	2904 W PRESIDIO DR	FLAGSTAFF	AZ	86001
255	11262538	FOREMAN SCOTT H & LISA P	2900 W PRESIDIO DR	FLAGSTAFF	AZ	86001
256	11262539	FORD JEFFREY B	9428 E HERITAGE TRAIL DR	SCOTTSDALE	AZ	85255
257	11262540	WYATT JANICE L REVOCABLE LIVING TRUST DTD 10-27-2010	11087 N JOY FAITH DR	ORO VALLEY	AZ	85737
258	11262541	SHILLING AARON E & HOLLY	2892 W PRESIDIO DR	FLAGSTAFF	AZ	86001
259	11262542	MIRAMONTE PRESIDIO LLC	2502 E RIVER RD	TUCSON	AZ	85718
260	11262543	MIRAMONTE PRESIDIO LLC	2502 E RIVER RD	TUCSON	AZ	85718
261	11262544	WELINS-NEUBERGER FAMILY TRUST DTD 05-05-16	11111 E SOREL LN	SCOTTSDALE	AZ	85259
262	11262545	SHAFFER ATTICUS	32515 SADDLE PEAK CT	ACTON	CA	93510
263	11262546	MIRAMONTE PRESIDIO LLC	2502 E RIVER RD	TUCSON	AZ	85718
264	11262547	MIRAMONTE PRESIDIO LLC	2502 E RIVER RD	TUCSON	AZ	85718
265	11262548	MIRAMONTE PRESIDIO LLC	2502 E RIVER RD	TUCSON	AZ	85718
266	11262549	MIRAMONTE PRESIDIO LLC	2502 E RIVER RD	TUCSON	AZ	85718
267	11262550	MOUNT MARILYN	2864 W PRESIDIO DR	FLAGSTAFF	AZ	86001
268	11262551	ALVIN THOMAS R & SHELLEY B	3973 N FOUNDER CIR	BUCKEYE	AZ	85396
269	11262552	MIRAMONTE PRESIDIO LLC	2502 E RIVER RD	TUCSON	AZ	85718
270	11262558	MIRAMONTE PRESIDIO LLC	2502 E RIVER RD	TUCSON	AZ	85718
271	11265059	COTTAGES AT CEDAR RIDGE HOMEOWNERS ASSOCIATION INC	813 N BEAVER ST NO 5	FLAGSTAFF	AZ	86001
272	11265060	COTTAGES AT CEDAR RIDGE HOMEOWNERS ASSOCIATION INC	813 N BEAVER ST NO 5	FLAGSTAFF	AZ	86001
273	11201165	VP 66 & WOODY MOUNTAIN LLC	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016
274	11201166	VP 66 & WOODY MOUNTAIN LLC	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016
275	11201170	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
276	11201171	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
277	11201172	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
278	11201173	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
279	11201174	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
280	11201175	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
281	11201176	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
282	11201177	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
283	11201178	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
284	11201179	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
285	11201180	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
286	11201181	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
287	11201182	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
288	11201183	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005

TAG #	APN	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIPCODE
289	11201184	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
290	11201185	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
291	11201186	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
292	11201187	ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
293	11201271	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
294	11201272	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
295	11201273	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
296	11201274	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
297	11201275	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
298	11201276	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
299	11201277	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
300	11201278	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
301	11201279	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
302	11201280	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
303	11201281	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
304	11201282	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
305	11201283	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
306	11201284	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
307	11201285	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
308	11201286	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
309	11201287	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
310	11201288	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
311	11201289	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
312	11201290	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
313	11201291	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
314	11201292	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
315	11201293	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
316	11201294	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
317	11201295	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
318	11201296	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
319	11201297	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
320	11201298	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
321	11201299	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
322	11201300	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
323	11201301	TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
324	11201307	TIMBER SKY COMMUNITY ASSOCIATION	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016
325	11201308	TIMBER SKY COMMUNITY ASSOCIATION	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016
326	11201156	VP 66 & WOODY MOUNTAIN LLC	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016
327	11201157	VP 66 & WOODY MOUNTAIN LLC	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016
328	11201162	TIMBER SKY COMMUNITY ASSOCIATION	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016
329	11201163	TIMBER SKY COMMUNITY ASSOCIATION	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016
330	11262277A	PETTIT BRENT & CASSANDRA	2412 W POLLO CIR	FLAGSTAFF	AZ	86001
331	11262278A	GROSVENOR FAMILY REVOCABLE LIVING TRUST DTD 03-23-17	2221 FIERO DR	LAS VEGAS	NV	89134
332	11262282	FINCH ROBERT R & JANE LOVELY	2453 W POLLO CIR	FLAGSTAFF	AZ	86001
333	11262283	MABBIT ROBERT E	2457 W POLLO CIRCLE	FLAGSTAFF	AZ	86001
334	11262433	QUIMBY LEONARD	6700 WOODLANDS PARKWAY STE 230-268	SPRING	TX	77382
335	11262434	JOHNSON JOSHUA J & ALLISON H	2559 W JOSSELYN DR	FLAGSTAFF	AZ	86001
336	11201261	TIMBER SKY COMMUNITY ASSOCIATION	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016
337	11201262	TIMBER SKY COMMUNITY ASSOCIATION	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016
338	11249311	GILBERTSON ADELA	1550 KELLY ST	REDLANDS	CA	92374
339	11249312	BLOOMBERG KIM E	2436 W ROCK ISLAND AVE	FLAGSTAFF	AZ	86001
340	11249313	MICHALSKI CHARLES D & CINDY L	1117 RAINBOW AVE S	LAKE HAVASU CITY	AZ	86403
341	11249444	RAILROAD SPRINGS 66 LLLP	1016 W UNIVERSITY AVE NO 203	FLAGSTAFF	AZ	86001
*	11201002	FLAGSTAFF CITY OF	211 W ASPEN AVE	FLAGSTAFF	AZ	86001
*	11201007	WANDERLAND FLAGSTAFF LLC	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016
*	11201008	WANDERLAND FLAGSTAFF LLC	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016
*	11201009	HIDDEN HOLLOW MANUFACTURED HOME COMMUNITY LLC	101 MAIN ST NO 280	HUNTINGTON BEACH	CA	92648
*	11201019	VP 66 & WOODY MOUNTAIN LLC	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016
*	11262483	MIRAMONTE PRESIDIO LLC	2502 E RIVER RD	TUCSON	AZ	85718
*	11262473B	PRESIDIO IN THE PINES HOMEOWNER'S ASSOC INC	323 S RIVER RUN RD NO 1	FLAGSTAFF	AZ	86001
*	11262473C	FLAGSTAFF CITY OF	211 W ASPEN AVE	FLAGSTAFF	AZ	86001
*	11201001D	FLAGSTAFF CITY OF	211 W ASPEN AVE	FLAGSTAFF	AZ	86001
*	11201003A	HELIN BUILDING LLC	1800 N HEREFORD DR	FLAGSTAFF	AZ	86001
*	11201003B	HELIN BUILDING LLC	1800 N HEREFORD DR	FLAGSTAFF	AZ	86001
*	11201701	NO OWNER LISTED	NO OWNER ADDRESS	0	0	0
*	*	GAMMAGE & BURNHAM, PLC (ATTN: NICK SOBRASKE)	40 NORTH CENTRAL AVE, 20TH FLOOR	PHOENIX	AZ	85004

**SKY COTTAGES**  
at **TIMBER SKY**  
PZ-20-00153

**VINTAGE**  
PARTNERS

**GAMMAGE & BURNHAM**  
Attorneys at Law

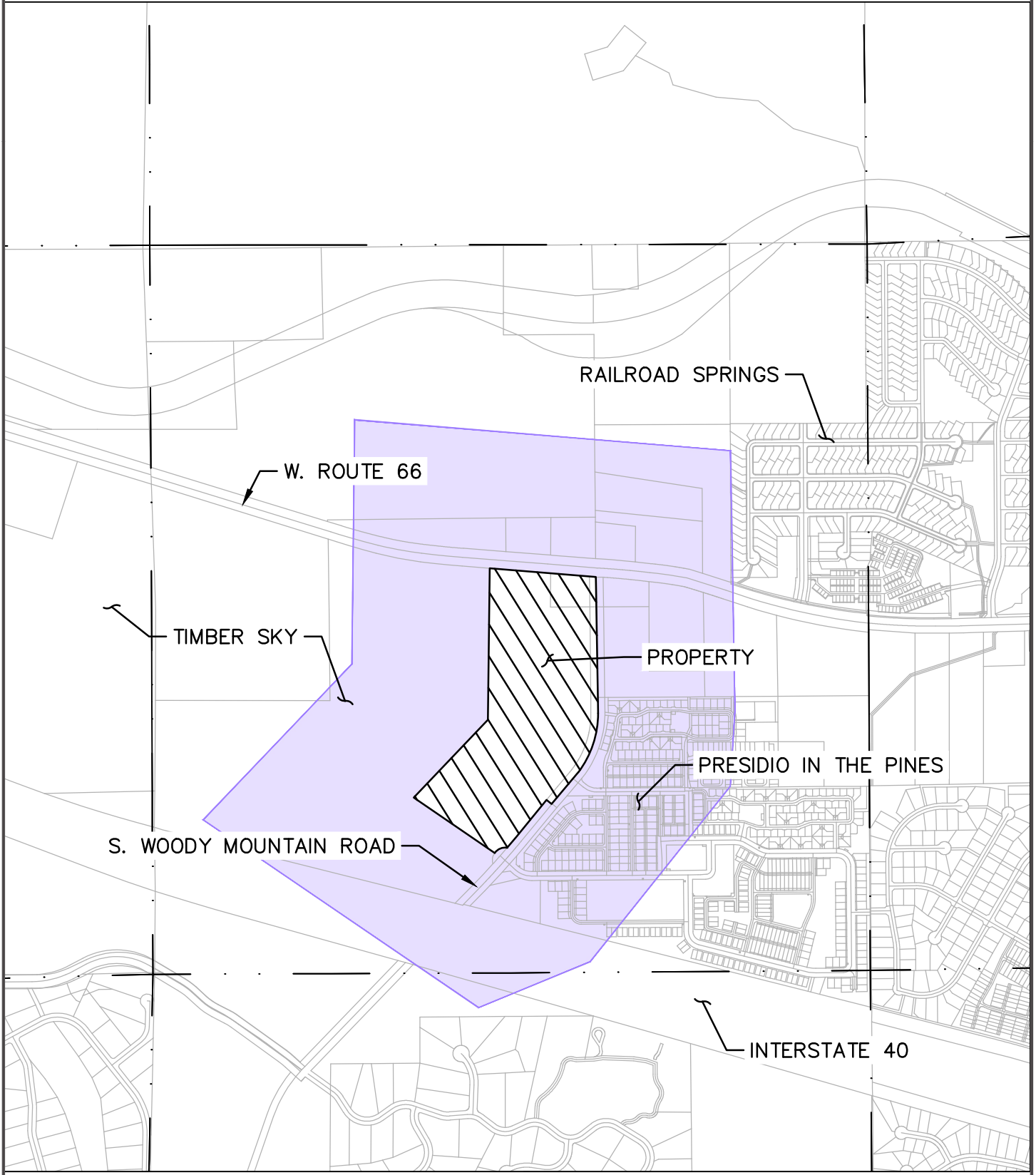
**SWI**  
Shepherd/Westriter, Inc.

**Mosaic**

**NORRIS DESIGN**  
Planning | Landscape Architecture | Branding

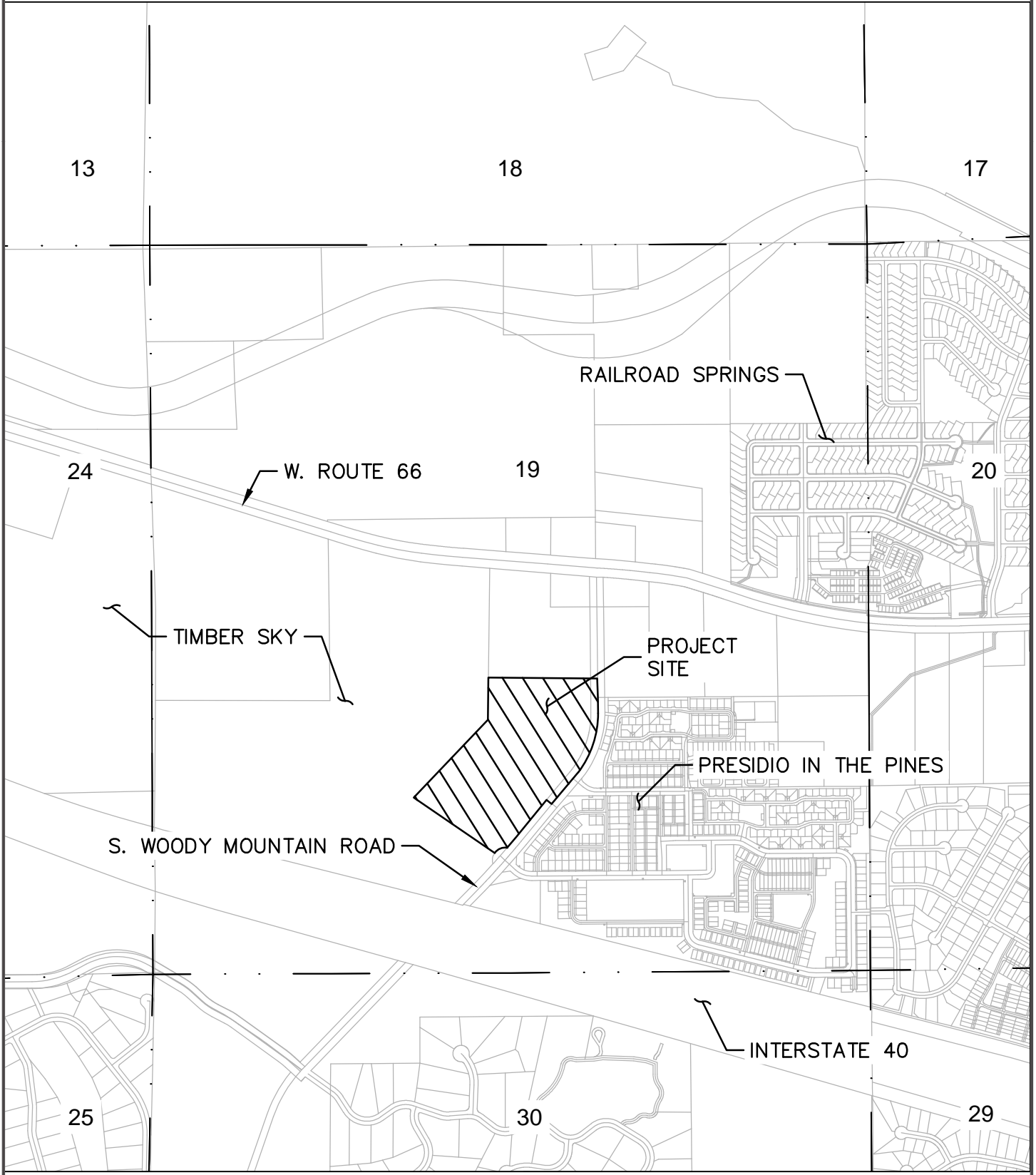
SHEET NAME:  
**1,000' BUFFER PARCELS (2)**

SHEET NO.  
**30 of 33**



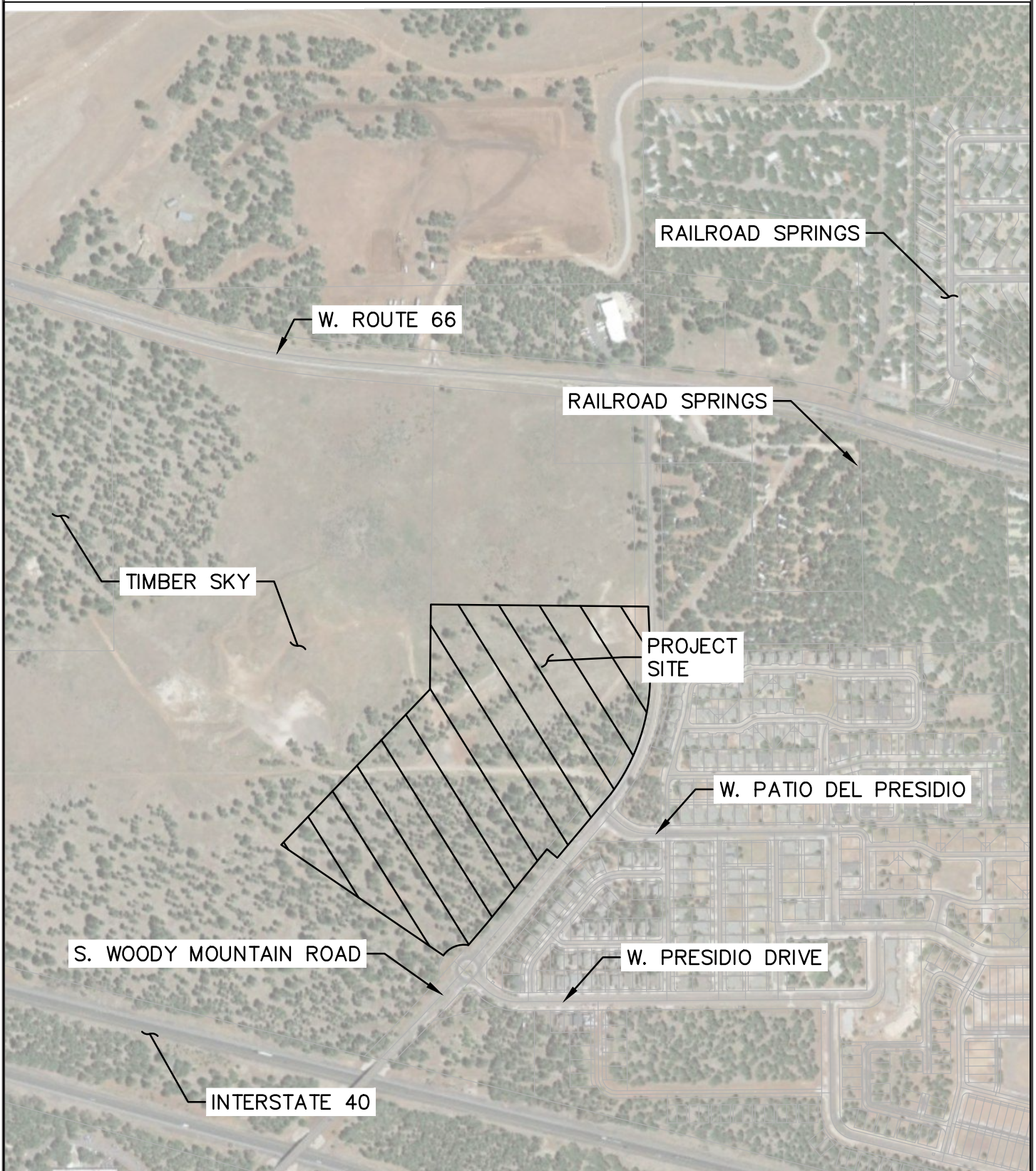


LOCATED IN SECTION 19, TOWNSHIP 21 NORTH,  
 RANGE 7 EAST, GILA AND SALT BASE MERIDIAN,  
 COCONINO COUNTY, FLAGSTAFF, ARIZONA





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 COCONINO COUNTY, FLAGSTAFF, ARIZONA





# SKY COTTAGES at TIMBER SKY

PZ-20-00153



## Concept Zoning Map Amendment

Public Hearing Draft: December 23, 2020

# SKY COTTAGES at TIMBER SKY

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## **INTRODUCTION**

To facilitate the larger community plan of, “all types of housing for all economic levels,” Vintage Partners is proposing to rezone and develop the south +/- 23.08 gross acres (calculated in accordance with Zoning Code definition for “Development Site Area) (+/- 21.27 net acres) of the overall +/- 37 acres generally located between US Route 66 and McAllister Ranch Road, west of Woody Mountain Road (“Rezone Property”) from RR RPO—Rural Residential, Resource Protection Overlay zone to MR RPO—Medium Density Residential, Resource Protection Overlay zone. See Legal Description in Concept Zone Plan exhibits.

This application, which is planned as an extension of the Timber Sky master-planned community, facilitates the development of Sky Cottages at Timber Sky (“Sky Cottages”), an accessible, athletic, outdoor build-to-rent community comprised of 1, 2, and 3 bedroom units oriented around a centrally located, expansive amenity and open space area, trail system, common courtyards, and other, more intimate passive open spaces. This project adds a “starter residence” to the Timber Sky master plan. Units will be market rate, with a percentage being affordable. True community must include all economic levels to be diverse—Sky Cottages will allow individuals to enjoy the lifestyle of Timber Sky before they may be able to purchase a home in Timber Sky.



Vintage Partners, the property owner and applicant, is a real estate development and investment firm that has been developing forward thinking and award winning projects throughout the State for more than 30 years. Projects in Flagstaff include the highly successful Timber Sky master-planned community—the finest Dark Skies compliant master-planned community in the Arizona and the public-private partnership with the Arizona Department of Transportation and the City to relocate Harkins Theater and ADOT and create a new regional roadway for the city of Flagstaff. Other projects include the redevelopment and restoration of Uptown Plaza in midtown Phoenix and the new adaptive re-use of two historically important Mid Century office buildings into the new Arrive Hotel.

Mosaic, the project designer and contractor, is a construction, design, and technology company, which is revolutionizing residential home construction services. Mosaic combines experienced construction crews with a technology-enabled platform that translates blueprints into simple step-by-step building instructions. This allows Mosaic to operate as a general contractor, which consolidates the different trades into cross-trained crews which self-perform across the key facets of building cycle—reducing construction time and increasing labor efficiencies, while at the same time, requiring no changes to the homebuilder's process. The larger goal of Mosaic is to fundamentally change the cost structure of the design and construction of homes. This project will allow for the further development of this technology which could revolutionize and drive costs down for greater affordability.

Sky Cottages represents an opportunity for diversification of housing choices within the Timber Sky master-planned community and the City. This unique parcel of land can express the goals set forth in Mosaic's mission and embodied in Vintage Partner's tireless work efforts, which is to make places people love, make them widely available and create diverse economic communities. This unique single-family semi-detached rental housing option will expand the attainability of beautiful homes for all Flagstaff residents, while offering further housing choices for those desirous of calling Timber Sky home.

Mosaic's novel approach to construction enables their architect to design homes that respond to the unique needs of a community, constraints of the environment, and rapid innovations in home technology, rather than homes that drive the highest profit for a developer. Vintage Partners have created a sandbox for the gestation of Mosaic's technology-based approach and Mosaic in turn hopes to honor their unique placemaking abilities by designing and building a community that will improve the quality of life for Flagstaff residents.

## **LOCATION & CONTEXT**

The Property consists of the south +/- 23.08 gross acres of the overall +/- 37 acres generally located between US Route 66 and McAllister Ranch Road, west of Woody Mountain Road. The Property is partially wooded and gently slopes from west to east. Of the remaining north +/- 14 acres (of the overall 37 acres), the +/- 2 acres at the immediate southwest corner of US Route 66 and Woody Mountain Road are located in unincorporated Coconino County and zoned G General Zone; the remaining 15 acres are zoned RR RPO.



Moving further outward, surrounding uses include: To the west, Timber Sky, an approved master-planned community currently under construction, containing high-density, medium-density, and single-family residential uses zoned HR, MR—Medium-Density Residential, R1 Single-Family Residential, CS—Commercial Service, and PS—Public Open Space, with the RPO over the entire project; to the north, across US Route 66, includes the City's Public Works Yard; to the east, across Woody Mountain Road is the Woody Mountain Campground and Presidio in the Pines residential community; and to the south is Interstate 40.

View corridors noticeable from the Property include the Humphreys and San Francisco Peaks to the north and Mount Elden to the northeast. The Property is accessible and viewable from Woody Mountain and McAllister Ranch Roads. The prevailing winds are generally from the southwest and at 7,000 feet Flagstaff experiences snow

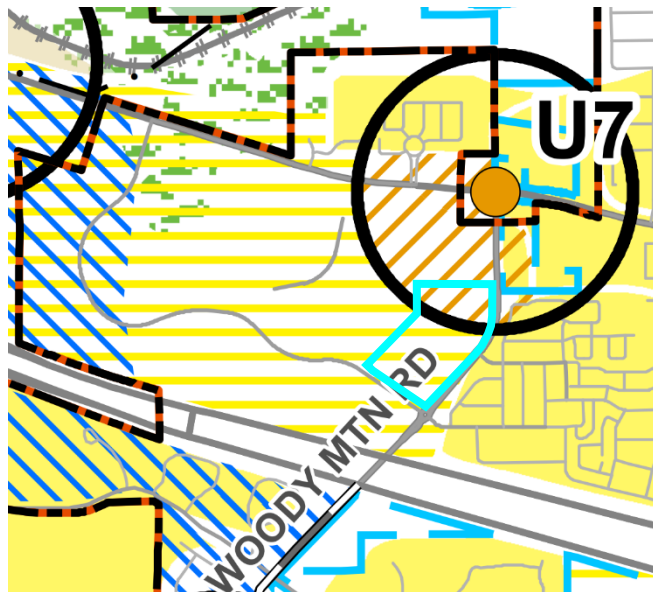


and temperature swings, including periodic freeze/thaw cycles. The limited height of the dwelling units will help to maximize sun exposure during these cycles, as to avoid ice build-up on pedestrian walks, including those along the north side of dwelling units. The Property experiences a lot of exposure; however, there is vegetation throughout providing shade. Precipitation naturally runs to the northeast of the Property and ultimately into Sinclair Wash. City subsurface conditions generally consist of rock and/or clay material; it is expected that this will be the same at Sky Cottages. All design will be per the recommendations of the geotechnical report. Finally, a 69 kV electrical line currently crosses the Property, which will be relocated and undergrounded off-site.

## **GENERAL PLAN CONFORMANCE**

The Flagstaff Regional Plan 2030 establishes the community's intention for what the region could and should be for future generations and presents a regional context for the preservation and enhancement of the community's character and natural environment, while providing for appropriate growth and development. Sky Cottages has been designed in concert with the vision and goals set forth in the Flagstaff Regional Plan 2030 related to new residential communities within the City's planning boundaries.

The north +/- 7.85 acres of Sky Cottages are designated as Urban—Future land use, with the remaining +/- 15.23 acres designated as Suburban—Future land use in the Future Growth Illustration Map. The proposed development is guided by these land uses. (The north +/- 14 acres of the overall 37 acres are designated as Urban—Future land use.) The current RR zoning on the Property does not reflect the intended development in the Flagstaff Regional Plan 2030. A chapter-by-chapter analysis of the Flagstaff Regional Plan 2030 against this application has been conducted that supports Sky Cottages' conformance with the Flagstaff Regional Plan 2030. The Flagstaff Regional Plan 2030 Analysis is provided at [Appendix 1](#).



## **DEVELOPMENT PROPOSAL**

**SITE PLAN.** Sky Cottages will be developed as an extension of the Timber Sky master-planned community with a target of 202 dwelling units (max. 208 d.u.; min. 199 d.u.) at an overall density of +/- 8.75 dwelling units per acre. Dwelling units will consist of a mixture of 1, 2, and 3 bedroom dwelling units. The Property is uniquely situated as the last remaining large parcel between Timber Sky and Woody Mountain Road. Sky Cottages is envisioned to develop and mature into a community that respects the natural environment and offers sustainable development.



The vision for Sky Cottages is to create a cohesive residential enclave that capitalizes on the unparalleled access to the natural environment. Sky Cottages will be developed as a collection of bungalows and townhomes offerings, anchored by an integrated network of community amenities, active and passive open spaces, and comprehensive connectivity to the Flagstaff Urban Trail System (FUTS) and natural environment, which will act as strong character influences for the community.

Sky Cottages has been designed to integrate into the larger fabric of the area, rather than create a series of isolated remnants of natural space. This application recognizes this and that the “edge” of the community is a critical point of interaction between the built and natural environments and requires sensitive consideration. Sky Cottages defines this “edge setting” through the use of landscaping, architecture, and open spaces that are specifically intended to sensitively integrate Sky Cottages into the natural form of the area, along with serving as a thoughtful extension of Timber Sky. Further, the “edge setting” promotes visual and physical connectivity to/from the Property, maintains significant landforms, and helps to protect the existing landscape in the area.

Sky Cottage is design around three main spatial ideas:

### 1. **Commons**

*Bungalow Courts* are an urban mini-block that has been prevalent in early 20th century urbanism in the West. The Bungalow Courts provide a small common which is lined by 10-14 units and their respective side yards. All of the units' entrances face the court and define it therefore providing residents with an intimate welcoming garden that encourages and supports neighborly communication and associations.

*Neighborhood Commons* are large parcels at the center of community, which include walking paths and larger open spaces for active and passive engagement. The Neighborhood Commons connect to the community through set entrances and gateways. The Bungalow Courts

are designed to face the Neighborhood Common and allow an easy pause from work for sport and recreation in the existing native forest.



## 2. **Circulation**

Roads in Sky Cottages are designed to look and feel like tree-lined city streets. For that reason, the majority of parking spaces are located off the street and into parking pockets. Residents are then able to park within a short walk to their houses, without overwhelming the streets with perpendicular parking spaces. Minimizing on-street parking allows for house frontage visibility and unobstructed views out from residences.

## 3. **Forest/Landscape**

The site layout has been focused on maximizing the preservation of the existing forest. The main street is based on an existing cut path and court locations have been organized so as to include as much of the existing forest as possible.

\* \* \*

**ARCHITECTURE.** Sky Cottages is planned to include four housing types ranging from 1 bedroom attached units to 3 bedroom units with a carport. The home facades are designed with traditional elements and materials that are part of the City's legacy architecture, such as porches framed with rough lumber, roof overhangs, and wood or wood-like siding.



In all units, the larger living spaces are located towards the side and/or back yards encouraging outdoor living. Specifically, the 1 bedroom units have a rear yard which orients to the exterior of the Property. Certain 1 and most all 2 bedroom units, which line the Bungalow Courts, are designed around side-yards

with the bedroom and living room facing them and a covered porch at the entrance facing the Court and allowing gradiance of intimacy and front-door living.

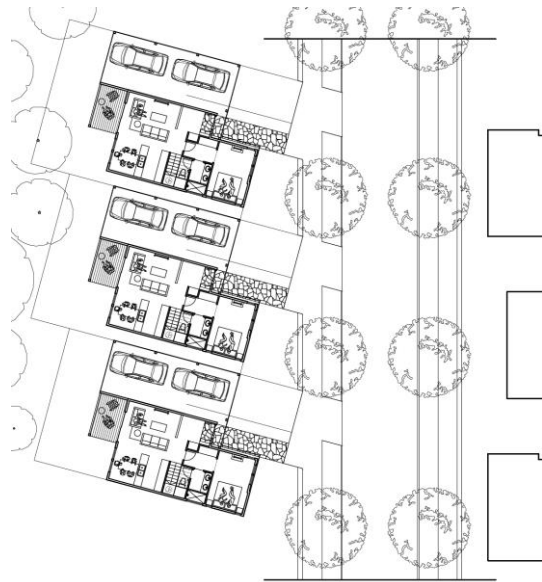
This site plan was created to cater to the distinct needs of each resident in their varying stages of life. The 1 and 2 bedroom units are oriented towards semi-private courtyards which will foster intimate connections between close neighbors as well as unique alcoves for passersby within the greater Sky Cottages community.



\* \* \*

Each 3 bedroom home is oriented to either the heavily wooded, or open and airy common space which also serves as a park for the rest of the community, thus allowing residents quick access to enjoy the open area.

Those units adjacent to Woody Mountain Road are strategically designed to include four-sided architecture (colors, materials, and detailing), as well as porches or similar elements, so that these units interact with Woody Mountain Road, rather than having the appearance of “turning their back” on the street.



**AMENITIES.** The intent of the programming for Sky Cottages is to weave it into the fabric of the greater Timber Sky masterplan which benefits from being accessible, athletic, outdoor, and affordable. For this reason, the site plan is intentionally designed with access to the Woody Mountain FUTS trail to the east, and the McAllister Ranch Road parkway. Further, residents will have dedicated access to the conservation area on the western property line of the community.

A major component of the overall planning and design effort for Sky Cottages is the integration of interconnected community amenities, active and passive open spaces, and trails for pedestrian connectivity. Internally, Sky Cottages has been developed around an expansive, centrally located open space (comprised of the North Common and the South Common), which also serves as the organizing element for the on-site pedestrian and vehicular circulation elements for Sky Cottages, as well as serve as a gathering spot for residents. Each of these elements is discussed and conceptually depicted in further detail below.



Sky Cottages is planned to provide an expansive, centrally located amenity area, along with other smaller, quaint open spaces evenly distributed throughout Sky Cottages, providing a variety of recreational and social opportunities within close proximity of Sky Cottages residents. The primary community amenity area is planned just off of the boulevard entry to Timber Sky. Primary community amenities will include the following: play area, event/gathering lawn, ramada, patio, fire pit, and/or sport court.

## NORTH COMMON



### KEY

- ① CONCRETE LOOP TRAIL
- ② DECOMPOSED GRANITE PATH
- ③ PERENNIAL GARDEN
- ④ SYNTHETIC TURF MULTI-PURPOSE PLAY FIELD
- ⑤ SHRUB BED AND/OR UNDISTURBED FOREST FLOOR
- ⑥ PLAYGROUND
- ⑦ RAMADA
- ⑧ BENCH
- ⑨ STEPS DOWN TO FIELD
- ⑩ EXISTING PONDEROSA PINE TREES

## SOUTH COMMON



### KEY

- ① DOG PARK
- ② 4-RAIL WOOD FENCE WITH WIRE MESH
- ③ CONCRETE WALK
- ④ DECOMPOSED GRANITE PATH
- ⑤ SHRUB BED AND/OR UNDISTURBED FOREST FLOOR
- ⑥ SHADE STRUCTURE
- ⑦ BENCH
- ⑧ EXISTING PONDEROSA PINE TREES

In addition to the primary community amenity area, Sky Cottages will include other amenity areas that will generally provide for passive uses at a smaller, more intimate scale than the primary community amenity. Programming in these spaces may include shade, lookout and seating, ramadas, and pathways. These secondary amenity areas are thoughtfully located and distributed throughout Sky Cottages to promote convenience and connectivity for residents.



Lastly, the planned +/- 1 acre detention basin in the upper northeast corner of the Property is intended to also serve as usable public civic space. The slope of the detention basin will naturally allow for use as an amphitheater, which residents can activate as a gathering space for recreation, movie screenings, or speaker series. The detention basin is

designed to provide side slopes of 4:1, with a maximum depth of 3 FT. (The detention basin side slopes will not exceed a maximum of 3:1 during final design.)



**ACCESS / CIRCULATION/OFF-SITES.** Access to Sky Cottages is planned via boulevard-type entries off Woody Mountain and McAllister Ranch Roads. Entries will include landscaping, shade trees, detached sidewalks, project monument signage, and lighting both pedestrian and vehicular traffic. Both access points are strategically located to efficiently distribute vehicle trips generated by Sky Cottages. The access drives connect near the center and serve as the organizing element for two “offshoot” looped drives. The street and sidewalk network has been specifically designed in a grid-like pattern, creating relatively small blocks intended to provide the highest quality pedestrian environment. NAIPTA has indicated that public transit may become available in the area as soon as 2022. Vintage Partners is committed to installing a bus stop at such time public transit is provided to serve Sky Cottages and surrounding developments.



Off-site road improvements includes the north-half street for McAllister Ranch Road from the roundabout at Woody Mountain Road to the internal roundabout within Timber Sky. These improvements will be completed with the Phase 2 Infrastructure Improvements for Timber Sky prior to the Sky Cottages development completion. Other improvements include the west-half street of Woody Mountain from the roundabout at McAllister Ranch Road up to the northern boundary of the Sky Cottages development. Access into the Sky Cottages at the Woody Mountain Road / Patio del Presidio intersection will be improved with a southbound right-turn lane, as well as with a northbound left turn lane within the existing raised median. Additionally, the TIA supports one southbound thru lane instead of

the full arterial section. Improvements along Sky Cottages' Woody Mountain Road frontage will also include a meandering 10 FT wide concrete FUTS. The improvements along Woody Mountain Road will be completed with the Sky Cottages development. Cross-sections of the improvements along Woody Mountain Road can be found in the Concept Zone Plan exhibits.

**PEDESTRIAN CONNECTIVITY.** Sky Cottages expands on the recreational benefits provided in Timber Sky, while sensitively integrating a more urban fabric into the natural environment. Numerous non-vehicular points of off-site pedestrian access are planned around the perimeter of Sky Cottages, thus ensuring residents convenient and direct access. These points include: **(1)** One 10 FT wide concrete walkway connecting residents with the north +/- 14 acres; **(2)** Numerous 5 FT wide concrete sidewalks connecting residents to the planned 10 FT wide paved FUTS walkway along Sky Cottages' Woody Mountain Road frontage, which ultimately connects with the north +/- 14 acres and McAllister Ranch Road to the south; **(3)** An additional three connections planned to/from the civic space along Woody Mountain Road, including a 5 FT wide concrete walkway to the north, a 10 FT concrete walkway at the mid-point, and a 6 FT wide concrete walkway to the south; **(4)** 5 FT wide concrete walkways connecting residents to the planned 5 FT detached concrete sidewalk along McAllister Ranch Road; and **(5)** two 5 FT wide concrete walkways connecting residents to open space and the rock outcropping preservation in Timber Sky.



The on-site pedestrian circulation system within Sky Cottages ensures residents are afforded readily accessible and proximate access to the pedestrian network. This network has been thoughtfully planned to facilitate non-vehicular circulation by Sky Cottages residents. Internal roadways will include the construction of concrete sidewalks on both sides of the roadway and landscaping for shade and aesthetic purposes.

Additionally, a pathway meandering through the primary amenity provides “off-shoots” that conveniently link all Sky Cottages residents with primary amenity and other parts of the community, including other open spaces. The final design for the on-site pedestrian network, including the location of the meandering pathway, will be determined at time of Site Plan Review to ensure a safe and comfortable pedestrian experience, as well as to maintain existing tree resources to the maximum extent possible.

**LIGHTING.** Sky Cottages incorporates the highest level of lighting standards for any residential community in Flagstaff by adopting the relevant standards already approved at Timber Sky. Dark Sky lighting experts have declared Timber Sky to be, “the finest Dark Sky Master Planned Community in the US”. These standards will also be incorporated into the Codes, Covenants & Restrictions for Sky Cottages, with significant thresholds required to revise these standards. The intent of these standards is that Sky Cottages will not only meet the City’s lighting code, but will exceed it. See attached [Lighting Plan](#).

## **RESOURCE PROTECTION OVERLAY**

Sky Cottages has been site planned to preserve as many large, mature Ponderosa Pine trees as possible. The south two-thirds of the Sky Cottages site is a healthy Ponderosa Pine forest. The tree resources on the Property have been surveyed and accounted for in accordance with the Zoning Code. Based on these results, Sky Cottages preserves +/- 37.7% of the tree resources. Note, no steep slope resources on the Property—the Property slopes from 0% to 16.99%. The final Resource Protection Overlay plan and calculation will be submitted at time of Site Plan Review.

## **INFRASTRUCTURE**

**WATER / SEWER.** A Water and Sewer Impact Analysis (WSIA) was completed by the City of Flagstaff for a similar land use on the Property, dated December 20, 2013. Accordingly, the City has waived the requirement to provide an additional WSIA study for Sky Cottages. There are no required offsite water improvements required. Offsite sewer improvements will be required for this development as identified in the Aspen Heights WSIA and as shown in the City of Flagstaff Sewer Project WW3457 Kit Carson to Kaibab Lane Sewer Main. Additionally, a recapture and/or reimbursement agreement will be drafted between Vintage Partners and the City related to the required offsite sewer improvements.

Water to the site will be provided by an 8-inch water main loop within the project site connecting to an existing 12-inch PVC water main in McAllister Ranch Road and to an existing 12-inch D.I. water main in Woody Mountain Road. Sewer will be provided by an 8-inch sewer main throughout the project site connecting to an existing 8-inch D.I. stub at the driveway on Woody Mountain Road. Additionally, an 8-inch water and an 8-inch sewer stub have been provided at the northwest corner of the project to service the future Timber Sky development as identified in the Aspen Heights WSIA.

**DRAINAGE / STORMWATER.** The Property currently drains to the east/northeast to an existing 4 FT x 3 FT concrete box culvert under Woody Mountain Road. The stormwater flows are then conveyed through a storm drain system within Presidio in the Pines and ultimately discharge into Sinclair Wash. With the proposed improvements, the Property will drain to the northeast through a proposed onsite storm drain system to the proposed extended detention basin in order to maintain the outfall to the existing box culvert and ultimately to Sinclair Wash.

The City requires detention/LID for any development greater than ¼ acre in size. The proposed site is undeveloped; therefore, 442,220 SF of impervious cover is added with the project. A proposed extended detention basin will be provided in the northeast corner of the Property and will retain the required runoff off capture volume (ROCV) of 36,852 CF. The proposed extended detention basin will also be designed retain the difference between the 100-year pre- and post-development runoff volume and the outlet structure within the basin will be designed to mitigate the 100-year post-development runoff rate to equal to or less than the pre-development runoff rate.

**MATERIAL MANAGEMENT STRATEGIES.** Trash and recycling services will be managed by a valet service. A final Material Management Strategies plan will be submitted at time of Site Plan Review.

### **PUBLIC SERVICES**

Sky Cottages is ideally situated for the proposed residential use. Access to the Property is provided from both Woody Mountain and McAllister Roads providing residents and emergency vehicles convenient access. Although the Property is relatively near the City Limits, one of the City's central intersections of Milton Road and US Route 66 is only 2 miles east.

All services are available in this area for new residents including schools, shopping and other public services. The Sky Cottages community will provide much needed housing that is physically close to the City. Within the

last few years the infrastructure of the City public potable water system has been extended beyond this Property to the Gore facility south of Interstate-40. This extension allows Sky Cottages to connect to the City infrastructure. The development is suitable for this area of the City and will complement the surrounding properties.

**FIRE.** The City Fire Department provides fire coverage for the area of Sky Cottages. The closest fire station is Station #1 located at 1972 South Thompson Street, approximately 1.5 miles from Sky Cottages. As an important wildland-urban interface between the City and the surrounding forest, Sky Cottages will provide suitable access and fire wise construction practices.

**POLICE.** The City Police Department will be the police protection agency for Sky Cottages.

**SCHOOLS.** Sky Cottages lies within the Flagstaff Unified School District. It is anticipated that the elementary age children (K-5) will attend Sechrist Elementary School as De Miguel Elementary School is at capacity. Sechrist is approximately 3 miles to the northeast of the Property. The middle school age children (6-8) will attend Mt. Elden Middle School, which is approximately 5 miles northeast of the community. The Flagstaff High School, located about 2 miles northeast of the site will serve grades 9-12. The Haven Montessori Charter School is located approximately 1.5 miles northeast of the site.

## **PHASING**

Sky Cottages may be developed in one or more phases, as market conditions warrant. Development plans for each phase will be submitted to the City for review to ensure proper and orderly development.

## **FINDINGS FOR ZONING MAP AMENDMENT**

Pursuant to Section 10-20.50.040 of the Zoning Code, an amendment to the Zoning Map may be approved if all of the following finding are made, as applicable to the type of amendment:

1. The proposed amendment is consistent with and conforms to the goals of the Regional Plan.

**Response:** The proposed rezone is consistent with and conforms to the goals and policies of the Regional Plan. As shown on the Future Growth Illustration Map of the Regional Plan, the Property has two types of land use designations: “Area Types” describe the placemaking context of Urban, Suburban, Rural, or Employment; and “Place Types” such as activity centers, corridors, and neighborhoods which provide the framework for density, intensity, and uses within the Area Types. The majority of the Property falls within the Suburban—Future Area Type, with a small portion falling within the Urban—Future Area Type and the Urban Activity Center Place Type-pedestrian shed (U7). The proposed MDR zoning district and site plan, including the strategic location of active and passive open spaces and civic space, conform to the Area and Place Type designations on the Property.

Sky Cottages promotes and furthers the following Regional Plan key points and community benefits. A detailed analysis of the Regional Plan is provided at Appendix I.

1. The Property is considered Greenfield development, is within the Urban Growth Boundary, and can be efficiently and effectively provided with facilities and services by the City.
2. The Property is primarily located on the periphery of Urban Activity Center U7, which offers an ideal location for moderate density housing. This project takes this adjacency and

intended intensity into account, and provides critical mass to the area to support the future development of U7.

3. Existing transportation infrastructure and existing water infrastructure is available at this site.
  4. The project preserves much of the natural environment and resources on the Property through the use of compact, walkable design principles.
  5. The project will contribute to the completion of a regional sewer system that can serve other areas in the City.
  6. The project will contribute to the mix of houses in the area by providing a unique, single-family semi-detached rental housing option.
  7. The project will provide extensive active and passive open space amenities and civic space, as well as connections with the FUTS.
2. The proposed amendment will not be detrimental to the public interest, health, safety, convenience, or welfare of the City and will add to the public good as described in the General Plan.

**Response:** Sky Cottages will not be detrimental to the public interest, health, safety, convenience, or welfare of the City; and will add to the public good as described in the Regional Plan. Sky Cottages provides affordable workforce housing at an appropriate density, supports community interaction, and conserves the natural environment and resources—all in keeping with the designated Area and Place Types on the Property. Sky Cottages promotes the efficient use of infrastructure, transportation, and other public improvements, and contributes to the stability of an active and growing urban-suburban neighborhood. Sky Cottages also provides extensive active and passive open spaces, civic space,

recreational and social opportunities, and connections to the FUTS, consistent with the surrounding area. The proposal offers an appropriate density to meet the regional scale designation of the Area and Place Types, while introducing new housing opportunities to serve the City.

3. The affected site is physically suitable in terms of design, location, shape, size, operating characteristics and the provision of public and emergency vehicle access and public services and utilities to ensure that the requested zone designation and the proposed or anticipated uses and/or development will not endanger, jeopardize or otherwise constitute a hazard to the property or improvements in the vicinity in which the property is located.

**Response:** The requested rezone and proposed use will not endanger, jeopardize or constitute a hazard to the property or improvements in the vicinity. The proposed zone change conforms to the Regional Plan and will meet all applicable development standards, engineering requirements, and buildings codes. Emergency vehicle access, public service, and infrastructure and utilities exist or will be provided to ensure that Sky Cottages does not have a detrimental impact. Development plans and construction documents will be submitted to the City for review to ensure properly and orderly development.

# **SKY COTTAGES at TIMBER SKY**

## **APPENDIX I—GENERAL PLAN CONFORMANCE**

The Flagstaff Regional Plan 2030 (“Regional Plan”) provides the City with guiding policies and goals to assist in its decision making process. Sky Cottages involves the rezoning of approximately 23.08 acres of property located at the northwest corner of Woody Mountain Road and the McAllister Ranch Road alignments. Accordingly, the development proposal must be assessed for consistency with the goals and policies of the Regional Plan. The north +/- 7.85 acres of Sky Cottages are designated as Urban—Future land use, with the remaining +/- 15.23 acres designated as Suburban—Future land use in the Future Growth Illustration Map. The proposed development is guided by these land uses. A chapter-by-chapter review of the Regional Plan against this application has been conducted and the following analysis demonstrates that approval of Sky Cottages is consistent with and furthers the goals and policies of the Regional Plan that are intended to apply to development of new communities primarily designated Suburban—Future land use, with a portion designated Urban—Future land use.

## **NATURAL ENVIRONMENT**

### **CHAPTER IV—ENVIRONMENTAL PLANNING & CONSERVATION**

#### **Air Quality**

Goal E&C.1. Proactively improve and maintain the region’s air quality.

*Sky Cottages is located in an area of Flagstaff that includes large employers, including W.L. Gore, Swire Coca-Cola, Banker Insulation, and the City of Flagstaff’s Public Works Yard. This adjacency will give employees an opportunity to live near their work, thereby reducing their carbon footprint. Additionally, Sky Cottages provides an extensive on-site and off-site pedestrian network, including the extension of FUTS along Sky Cottages’ Woody Mountain Road frontage, which promotes alternative modes of transportation, such as walking, bicycling, etc.*

## **Climate Change & Adaptation**

Goal E&C.2. Reduce greenhouse gas emissions.

Policy E&C.2.1. Encourage the reduction of all energy consumption, especially fossil-fuel generated energy, in public, commercial, industrial, and residential sectors.

Goal E&C.3. Strengthen community and natural environment resiliency through climate adaptation efforts.

Policy E&C.3.2. Review and revise existing regulations, standards, and plans (codes, ordinances, etc.) to reduce the community's vulnerability to climate change impacts).

*The inclusion of designated pedestrian and bike corridors in new residential developments allows residents access to alternative modes of transportation during much of the year. Sky Cottages promotes alternatives to traditional motorized forms of transportation by including an extensive on-site pedestrian circulation system that favors pedestrian and bike access, as well as connects to the off-site FUTS trail. This system ensures that Sky Cottages' residents are afforded readily accessible and proximate access to the pedestrian network, thus encouraging various forms of non-vehicular transportation over the automobile—ultimately helping to reduce greenhouse emissions and minimizing climate change.*

*Additionally, Vintage Partners and Mosaic understand the important role sustainable development plays in reducing the strain on our natural resources. Accordingly, Sky Cottages is planned to be environmentally responsible and resource efficient in order to optimize energy use and reduce waste. Beginning with building construction, Mosaic is proposing to incorporate simple building materials, as well as other locally-sourced materials to the greatest extent possible to reduce transportation distances, which in turn lowers greenhouse gas emissions. The development further incorporates green building practices through the use of passive architectural elements including building overhangs*

*that encourage outdoor living and ample windows to welcome natural light. The development's landscape design incorporates native, drought-tolerant vegetation and xeriscaping to reduce water consumption, and preserves existing natural features, including Flagstaff's cherished Ponderosa Pines.*

## **Dark Skies**

Goal E&C.5. Preserve dark skies as an unspoiled natural resource, basis for an important economic sector, and core element of community character.

Policy E&C.5.1. Evaluate the impacts of the retention of dark skies regarding lighting infrastructure and regulatory changes, land use decisions or changes, and proposed transportation developments within the region.

Policy E&C.5.4. Encourage uses within Lighting Zone 1 of the lighting codes of the City and County that do not require outdoor lighting, and discourage those which require all-night lighting.

*As an extension of Timber sky, Sky Cottages will also utilize the most stringent lighting standards of any other residential development in the City. Sky Cottages incorporates the same lighting standards approved for Timber Sky, which is considered the finest Dark Sky Master Planned Community in the United States by dark sky experts. Additionally, given the Property's proximity to the Lowell and Naval Observatories, these standards ensure that Sky Cottages will not only meet the City's lighting code, but exceed it.*

*Vintage Partners recognizes the importance of Flagstaff's dark skies as a significant natural, economic, and cultural resource, and further understands that reducing light pollution comes with the added benefit of decreased energy consumption. In an effort to reduce any negative human or environmental impacts from light pollution, the Sky Cottages development will utilize intelligent, low-spectrum lighting that minimizes glare and ecological disturbance.*

## Ecosystem Health

Goal E&C.6. Protect, restore and improve ecosystem health and maintain native plant and animal community diversity across all land ownerships in the Flagstaff region.

Policy E&C.6.7. Use best practices to control the spread of exotic and invasive plants, weeds, and animals, and eradicate where possible.

Policy E&C.6.8. Disturbed areas for improvements and landscaping for new developments shall emphasize the use of native, drought-tolerant or edible species appropriate to the area.

*The Property contains mature Ponderosa Pine trees, which will be preserved through the application of the Resource Protection Overlay requirements to the greatest extent possible. Flagstaff's Ponderosa Pine forests are a valuable resource that contribute to the City's healthy plant and animal communities, reduce the risk of wildfire, and maintain the unique woodland feel of the area. Accordingly, Sky Cottages is being planned to preserve as many healthy Ponderosa Pine trees as possible in order to protect this resource, which will in turn protect and enhance the proposed development. Disturbed areas of the development are planned to be planted with native, drought-tolerant, or edible species in the City's Landscape Plant List (Appendix 3 of the Flagstaff Zoning Code) and adhere to Xeriscape principles (Sec. 10-50.60.010.A of the Flagstaff Zoning Code), so that new landscaping will seamlessly blend with the existing natural environment.*

## CHAPTER VI—WATER RESOURCES

### Planning to Meet Future Demands

Goal WR.4. Logically enhance and extend the City's public water, wastewater, and reclaimed water services including their treatment, distribution, and collection systems in both urbanized and newly developed areas of the City to provide an efficient delivery of services.

Policy WR.4.1. Use the *Regional Plan* as a guide for the *Utilities Integrated Master Plan* to better plan for the necessary infrastructure sizing and location to accommodate planned growth and resource management.

Policy WR.4.3. Development requiring public utility services will be located within the Urban Growth Boundary.

*Vintage Partners is committed to managing its water and wastewater efficiently and prudently. Sky Cottages aligns with the Regional Plan's goals and policies of coordinating new growth with existing and planned infrastructure in a sensible manner. The existing and planned infrastructure in the immediate and surrounding areas is intended to support existing development, as well as additional growth in this part of the City.*

Goal WR.5. Manage watersheds and stormwater to address flooding concerns, water quality, environmental protections, and rainwater harvesting.

Policy WR.5.3. Identify downstream impacts as the result of development, and provide for mitigation measures to address impacts. When possible, mitigations should be non-structural in nature.

Policy WR.5.4. Develop any necessary stormwater infrastructure improvements consistent with City of Flagstaff

stormwater master plans or studies as adopted by the City.

- Policy WR.5.5. Give preference to regional detention facilities that are designed in conjunction with smaller low-impact development features, rather than numerous smaller dispersed basins. Encourage regional detention basins to incorporate.

*Sky Cottages will be improved with an on-site storm drain system that will drain to the northeast through an extended detention basin. The proposed detention basin will then direct the outfall flows to an existing box culvert and ultimately the Sinclair Wash. The proposed detention basin will be designed to retain the difference between the pre- and post-development runoff volumes, and the outlet structure within the basin will be designed to reduce the post-development runoff rate to equal to or less than the pre-development runoff rate, thus mitigating potential downstream impacts. Utilizing the regional Sinclair Wash in coordination with the proposed low-impact controls will uniformly distribute runoff flows to allow for effective capture, release, and filtration, which will result in decreased volume and improved stormwater quality.*

## **CHAPTER VII—ENERGY**

Goal E.1. Increase energy efficiency.

- Policy E.1.1. Promote and encourage innovative building practices through instruction on efficient building materials and methodology.
- Policy E.1.4. Promote cost-effective, energy-efficient technologies and design in all new and retrofit buildings for residential, commercial, and industrial projects.

Policy E.1.6. Develop land use regulations promoting land use patterns that increase energy efficiency.

Policy E.1.10. Incentivize energy efficiency and renewable energy technologies in construction projects.

*Vintage Partners has partnered with Mosaic, a construction, design, and technology company, which utilizes a unique, technology-enabled platform that turns complicated blueprints into simple step-by-step building instructions, thus reducing energy and minimizes construction waste. The use of this technology will be the first of its kind in Flagstaff.*

*Creating harmony between the natural and built environment is a cornerstone of the Sky Cottages community. Through the use of renewable building materials and native vegetation and strategic architecture, Sky Cottages will respect the natural environment while providing cost-sensitive, energy-efficient housing. The residential units have been thoughtfully designed to be space-efficient, utilize natural light and climate controlled, and to provide energy-efficient technology that will reduce utility costs and electricity consumption.*

Policy E.1.5. Promote and encourage the expansion and use of energy-efficient modes of transportation:

- a. Public transportation
- b. Bicycles
- c. Pedestrians

*Sky Cottages promotes energy-efficient alternatives to motorized forms of transportation by including an extensive on-site pedestrian circulation system that favors pedestrian and bike access, as well as connects to the off-site FUTS trail. Sky Cottages is designed to promote active, outdoor lifestyle that inspires physical activity through the provision of on-site recreational space. The pedestrian network seamlessly integrates the development into Flagstaff's regional urban trail and bikeway network, which will encourage the use of environmentally-friendly transportation modes such as walking and biking for recreation and transportation purposes.*

# **BUILT ENVIRONMENT**

## **CHAPTER VIII—COMMUNITY CHARACTER**

Goal CC.1. Reflect and respect the region's natural setting and dramatic views in the built environment.

Policy CC.1.1. Preserve the natural character of the region through planning and design to maintain views of significant landmarks, sloping landforms, rock outcroppings, water courses, floodplains, and meadows, and conserve stands of ponderosa pine.

Policy CC.1.2. Continue to define and further develop the community character by incorporating the natural setting into the built environment at all design scales.

Policy CC.1.4. Identify, protect, and enhance gateways, gateway corridors, and gateway communities.

*Sky Cottages is planned to maintain the noticeable view corridors from the Property to the San Francisco Peaks to the north and Mount Elden to the northeast, as well as the on-site natural environment and resources to the greatest extent possible.*

Goal CC.3. Preserve, restore, enhance, and reflect the design traditions of Flagstaff in all public and private development efforts.

Policy CC.3.1. Encourage neighborhood design to be respectful of traditional development patterns and enhance the overall community image.

Policy CC.3.3. Emulate the most celebrated design traditions of Flagstaff, particularly the pre-Route 66 and early Route 66 eras.

Goal CC.4. Design and develop all projects to be contextually sensitive, to enhance a positive image and identity for the region.

- Policy CC.4.1. Design streetscapes to be context sensitive and transportation systems to reflect the desired land use while balancing the needs of all modes for traffic safety and construction and maintenance costs.
- Policy CC.4.3. Employ design solutions that balance the interface of the natural and built environments, with the most urbanized core activity areas being the most built, and the most rural areas being the most natural.
- Policy CC.4.5. Encourage local landscaping using Xeriscape, low-impact principles, and native vegetation wherever possible.
- Policy CC.4.6. Use landscaping to benefit the environment and improve aesthetics, in order to maximize the economic benefit that a well landscaped community provides.
- Policy CC.4.9. Develop appropriate tools to facilitate the undergrounding of existing overhead utility lines, especially in established viewsheds and in reinvestment areas.

*The vision for Sky Cottages is to create a distinct residential enclave that provides unparalleled access to the natural environment. Sky Cottages will be developed as a collection of bungalows and townhomes, anchored by an integrated network of community amenities, active and passive open spaces, and comprehensive connectivity to the FUTS, all of which serve as strong character influences for the Sky Cottages.*

*Sky Cottages has been designed to seamlessly blend into the larger fabric of the area, rather than create a series of isolated remnants of natural space. Mosaic recognizes the “edge” of the community is a critical point of interaction between the natural and built environments that requires thoughtful consideration. Sky Cottages has been designed to respect and be compatible with the natural context of the area and Flagstaff's architectural traditions. Building materials will be selectively chosen to include the use of natural elements, including native building stones, finished and unfinished wood, and wide, overhanging eaves that create a mountain contemporary design.*

*The project's landscape design further softens the transition between the natural and built environment through the incorporation native plants and xeriscaping that create an aesthetically-pleasing natural landscape. In addition to the proposed landscape and hardscape improvements, Vintage Partners is proposing to preserve as many mature Ponderosa Pine trees as possible, which will further maintain the woodland feel of the area.*

## **CHAPTER IX—GROWTH AREAS & LAND USE**

Goal LU.2. Develop Flagstaff 's Greenfields in accordance with the *Regional Plan* and within the growth boundary.

Policy LU.2.1. Design new neighborhoods that embody the characteristics of Flagstaff's favorite neighborhoods – that is, with a mix of uses, a variety of housing types and densities, public spaces, and greater connectivity with multimodal transportation options.

*Sky Cottages, as an important component of the City's growth, represents a unique opportunity for diversification of housing choices within the larger Timber Sky master-plan community and the City. Vintage Partners, working with Mosaic, sees this project as an opportunity to provide a unique, single-family semi-detached rental housing option, further diversifying the housing options for*

*individuals,, families, etc. wishing to be a part of, and enjoy the amenities of the greater Timber Sky community.*

Policy LU.2.2. Design new development to coordinate with existing and future development, in an effort to preserve viewsheds, strengthen connectivity, and establish compatible and mutually supportive land uses.

*Sky Cottages preserves the special scenic and view corridors of the area. From within the Property, distant views are present providing the opportunity for mountain views. “Sky islands” are evident by looking at Humphreys Peak to the north and Mount Elden to the northeast. Additionally, Sky Cottages will not impact adjoining parcels views—single-story units are planned around the perimeter of the Property, with two-story units nearer to the center.*

Policy LU.2.4. Utilize Low Impact Development (LID) strategies and stormwater best practices as part of the overall design for new development.

*Sky Cottages is committed to managing its stormwater efficiently and prudently, including utilizing Low Impact Development strategies.*

Goal LU.3. Continue to enhance the region's unique sense of place within the urban, suburban, and rural context.

Policy LU.3.1. Within the urban, suburban, and rural context, use neighborhoods, activity centers, corridors, public spaces, and connectivity as the structural framework for development.

Policy LU.3.2. Coordinate land use, master planning, and recreational uses, when feasible, with local, state, and federal land management agencies and tribal land owners.

*Sky Cottages improves on the existing and planned connectivity and amenities within Timber Sky and the surrounding area. Vintage Partners recognizes that Sky Cottages is adjacent to an Urban Activity Center at the immediate southwest corner of US Route 66 and Woody Mountain Road, which is planned to include a higher-degree of pedestrian and bicycle connectivity. Accordingly, Sky Cottages includes opportunities for a wide non-vehicular points of connection to this Urban Activity Center. Sky Cottages also includes other non-vehicular points of off-site access, including an opportunity for access to the FUTS. Additionally, the Sky Cottages' site plan has been closely coordinated with the Timber Sky master-plan to provide a landscaped pedestrian paseo connecting residents to the rock outcropping preservation area located to the west within Timber Sky development parcels 2 and 3.*

*Within Sky Cottages, Vintage Partners offers a unique experience to its residents through a varied collection of active and passive amenities that capitalize on the unparalleled access to the natural environment.*

Goal LU.5. Encourage compact development principles to achieve efficiencies and open space preservation.

- Policy LU.5.1. Encourage development patterns within the designated growth boundaries to sustain efficient infrastructure projects and maintenance.
- Policy LU.5.2. Promote infill development over peripheral expansion to conserve environmental resources, spur economic investments, and reduce the cost of providing infrastructure and services.
- Policy LU.5.3. Promote compact development appropriate to and within the context of each area type: urban, suburban, and rural.

- Policy LU.5.6. Encourage the distribution of density within neighborhoods in relationship to associated activity centers and corridors, infrastructure, transportation, and natural constraints such as slopes and drainages.

*The Property is located within the designated growth boundary set forth in the Regional Plan and is appropriate for Future-Suburban development adjacent to an Urban Activity Center. Sky Cottages has been designed in a compact form to maximize the residential development potential, while maintaining the natural environment and providing efficient and easy access to on-site open spaces. The units are evenly distributed and oriented around an expansive, centrally located open space and amenity area, as well as near a dual-purpose detention basin, which will serve as a secondary amenity. Sky Cottages is planned to provide more than one-third of usable open space (includes central amenity, detention basin, and courtyard areas; excludes other open space areas).*

Goal LU.6. Provide for a mix of land uses.

- Policy LU.6.1. Consider a variety of housing types and employment options when planning new development and redevelopment projects.

- Policy LU.6.4. Provide appropriate recreational and cultural amenities to meet the needs of residents.

*Sky Cottages provides an appropriate mix of residential and active and passive open space uses throughout the Property. Sky Cottages is intended to add a "starter residence" to the Timber Sky master-plan. True community must include all economic levels to be diverse—this affordable rental product will allow individuals to enjoy the lifestyle of Timber Sky before they may be able to purchase an actual home in Timber Sky. The unique character, assorted housing, and lifestyle opportunities within Sky Cottages will contribute to the presence of a healthy social mix that will enrich the identity and quality of life of Sky Cottages' residents.*

Goal LU.7. Provide for public services and infrastructure.

Policy LU.7.1. Concentrate urban development in locations that use land efficiently, and are served by roads, water, sewer, and other public facilities and services, and that support transit, reduced vehicle trips, and conservation of energy and water.

Policy LU.7.3. Require development proposals to address availability of adequate public services.

Goal LU.8. Balance future growth with available water resources.

Policy LU.8.1. Available water resources should be a consideration for all major development and subdivision applications.

Policy LU.8.2. Impacts on the City's water delivery infrastructure should be a consideration for all residential and nonresidential development proposals.

*Sky Cottages is a natural extension of existing development and a logical next step in the area's growth pattern. Sky Cottages will facilitate the orderly extension of sewer infrastructure that will benefit not only Sky Cottages, but the surrounding community and the City as a whole. Sky Cottages has access to all other existing public infrastructure, which creates efficient and convenient points for Sky Cottages' infrastructure systems.*

Goal LU.10. Increase the proportion of urban neighborhoods to achieve walkable, compact growth.

*Sky Cottages supports walkable, compact growth through prioritizing on-site pedestrian connectivity and, importantly, off-site connectivity to the adjacent Urban Activity Center at the immediate southwest corner of US Route 66 and Woody Mountain Road. Recognizing that the Property is adjacent to this Urban Activity Center, Vintage Partners designed Sky Cottages based on simple, urban*

*grid system with north-south and east-west streets (as opposed to a suburban, “branch-like” street system), with the purpose of connecting and focusing residents around the central amenity, increasing activity, and creating a walkable environment.*

Goal LU.18. Develop well designed activity centers and corridors with a variety of employment, business, shopping, civic engagement, cultural opportunities, and residential choices.

- Policy LU.18.1. Design activity centers and corridors appropriate to and within the context of each area type: urban, suburban, or rural.
  
- Policy LU.18.4. Encourage developers to provide activity centers and corridors with housing of various types and price points, especially attached and multi-family housing.
  
- Policy LU.18.5. Plan for and support multi-modal activity centers and corridors with an emphasis on pedestrian and transit friendly design.
  
- Policy LU.18.6. Support increased densities within activity centers and corridors.
  
- Policy LU.18.8. Increase residential densities, live-work units, and home occupations within the activity center’s pedestrian shed.
  
- Policy LU.18.9. Plan activity centers and corridors appropriate to their respective regional or neighborhood scale.
  
- Policy LU.18.13. Promote higher density development in targeted areas where economically viable and desired by the public.

*As illustrated in the Future Growth Illustration Map at Page 6, an Urban Activity Center is located at the immediate southwest corner of US Route 66 and Woody Mountain Road. The Property is located on the periphery of this Urban Activity Center, which offers an ideal location for increased density. As such, Sky Cottages takes this adjacency and intended intensity into account with the requested MDR zoning district. Sky Cottages will bring critical mass to the area, furthering the possibility that the Urban Activity Center will be developed in the future.*

## **CHAPTER 10—TRANSPORTATION**

Goal T.1. Improve mobility and access throughout the region.

- Policy T.1.1. Integrate a balanced, multimodal, regional transportation system.
- Policy T.1.2. Apply Complete Street Guidelines to accommodate all appropriate modes of travel in transportation improvement projects.
- Policy T.1.3. Transportation systems are consistent with the place type and needs of people.
- Policy T.1.6. Provide and promote strategies that increase alternate modes of travel and demand for vehicular travel to reduce peak period traffic.

Goal T.2. Improve transportation safety and efficiency for all modes.

- Policy T.2.1. Design infrastructure to provide safe and efficient movement of vehicles, bicycles, and pedestrians.

*Sky Cottages has been designed to accommodate multiple modes of transportation, both motorized and non-motorized. The site design includes an extensive on-site pedestrian and bicycle network, as well as numerous non-motorized off-site connections. Through this on-site network and off-site connections and the internal street network, transportation will be facilitated in a safe, efficient, and multi-modal movement.*

Goal T.3. Provide transportation infrastructure that is conducive to conservation, preservation, and development goals to avoid, minimize, or mitigate impacts on the natural and built environment.

*The on-site transportation system, which is planned as a simple, urban grid system, has been thoughtfully designed to preserve as many Ponderosa Pine trees and enhance corridors for multi-modal movement, in order to complement the native landscape present on the Property and planned native landscaping, including the tree lined streets.*

Goal T.4. Promote transportation infrastructure and services that enhance the quality of life of the communities within the region.

Policy T.4.1. Promote context sensitive solutions (CSS) supportive of planned land uses, integration of related infrastructure needs, and desired community character elements in all transportation investments.

Policy T.4.2. Design all gateway corridors, streets, roads, and highways to safely and attractively accommodate all transportation users with contextual landscaping and appropriate architectural features.

*Access to Sky Cottages is planned via boulevard-type entries off Woody Mountain and McAllister Ranch Roads. Entries will include landscaping, shade trees, detached sidewalks, project monument signage, and appropriately scaled lighting for both pedestrian and vehicular traffic.*

Both access points are strategically located to efficiently distribute vehicle trips generated by Sky Cottages. The access drives connect near the center and serve as the organizing element for an “offshoot” looped drive. The street and sidewalk network has been specifically designed in a grid-like pattern, creating relatively small blocks intended to provide the highest quality pedestrian environment.

Goal T.5. Increase the availability and use of pedestrian infrastructure, including FUTS, as a critical element of a safe and livable community.

Policy T.5.1. Provide accessible pedestrian infrastructure with all public and private street construction and reconstruction projects.

Policy T.5.2. Improve pedestrian visibility and safety and raise awareness of the benefits of walking.

Policy T.5.3. Identify specific pedestrian mobility and accessibility challenges and develop a program to build and maintain necessary improvements.

Policy T.5.4. Design streets with continuous pedestrian infrastructure of sufficient width to provide safe, accessible use and opportunities for shelter.

Goal T.6. Provide for bicycling as a safe and efficient means of transportation and recreation.

Policy T.6.1. Expand recognition of bicycling as a legitimate and beneficial form of transportation.

Policy T.6.2. Establish and maintain a comprehensive, consistent, and highly connected system of bikeways and FUTS trails.

Policy T.6.4. Encourage bikeways and bicycle infrastructure to serve the needs of a full range of bicyclist experience levels.

*Vintage Partners recognizes the importance of walking and bicycling as a beneficial form of transportation and recreation. As such, Sky Cottages is planned to include internal roadways with sidewalks on both sides and landscaping for shade to create a comfortable pedestrian environment. Additionally, a pathway meandering through the central amenity is planned to provide “off-shoots” that conveniently link all of Sky Cottages’ residents with the central amenity and other parts of the community, including other open spaces.*

## **CHAPTER XI—COST OF DEVELOPMENT**

Policy CD.1.5. Require that new development pay for a fair and rough proportional share of public facilities, services, and infrastructure.

*Sky Cottages will facilitate the orderly extension of sewer infrastructure that will benefit not only Sky Cottages, but the surrounding community and the City as a whole. Sky Cottages has access to all other existing public infrastructure, which creates efficient and convenient points for Sky Cottages’ infrastructure systems.*

## **HUMAN ENVIRONMENT**

### **CHAPTER XII—NEIGHBORHOODS, HOUSING & URBAN CONSERVATION**

Goal NH.1. Foster and maintain healthy and diverse urban, suburban, and rural neighborhoods in the Flagstaff region.

Goal NH.3. Make available a variety of housing types at different price points, to provide housing opportunity for all economic sectors.

Goal NH.4. All housing is safe and sanitary.

*Sky Cottages, as an accessible, athletic, outdoor, and affordable community, fosters points of activity, increased density, off-site connections, and multi-modal transportation appropriately located adjacent to an Urban Activity Center. This application promotes these Goals by further diversifying housing in the area by providing an affordable "starter residence" that will allow individuals to enjoy the lifestyle of Timber Sky before they may be able to purchase a home in Timber Sky. All housing in Sky Cottages will be new and meet current building codes; therefore, making it safe for all residents.*



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## **CITIZEN PARTICIPATION REPORT for SKY COTTAGES**

City of Flagstaff Case No. PZ-20-00153

Section 19, T 21 N, R 07 E, G&SRM  
City of Flagstaff,  
Coconino County, Arizona

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Submitted: October 15, 2020  
Updated: December 31, 2020

## PROJECT OVERVIEW

Vintage Partners, LLC (“Vintage”) is proposing to develop Sky Cottages on the approximate 23 acres generally located at the northwest corner of Woody Mountain Road and the McAllister Ranch Road alignment (Coconino County APN 112-01019) (“Property”). Sky Cottages is planned to include to 200 multifamily residential dwelling units (maximum 208 du), with on-site active and passive resident amenities, open spaces, and other associated site improvements. To facilitate development of the Property, Vintage is proposing to rezone the Property from Rural Residential—Resource Protection Overlay (RR—RPO) to Medium Density Residential—Resource Protection Overlay (MR—RPO). The remaining approximate 14 acres of the parcel (to the north) located between the Property and Route 66, are not a part of this proposal.



## VIRTUAL NEIGHBORHOOD MEETINGS

Vintage held two neighborhood meetings. Details of the noticing, posting, and meeting summary are as follows:

### September 21, 2020 First Virtual Neighborhood Meeting

#### Mailing Notification

On September 4, 2020, the mailing notification for the first virtual neighborhood meeting was completed. Notification letters were sent via first class mail to property owners within 1,000 FT, property owners' associations and homeowner's associations within a 1,000 FT, individuals, groups, etc. on the City's "Registry of Persons and Groups" as provided by the City, Coconino County, and Vintage, the owner of the Property (collectively, "Affected Parties").

The Notice of Neighborhood Meeting letter set forth the purpose of the of the meeting, request description, date and time, instructions for registering for the virtual neighborhood meeting, location and acreage, aerial map, conceptual site plan, and contact information for Gammage & Burnham PLC, the Applicant, and Ms. Tiffany Antol, City Planner assigned to the Application.

#### Site Posting Notification

On September 4, 2020, a notification sign was installed along the Property's Woody Mountain Road frontage setting forth the purpose of the meeting, request description, date and time, registration link for the virtual neighborhood meeting, acreage, and contact information for the Applicant and Ms. Antol.

See **Tab A** - Affidavit of First Neighborhood Meeting Notification.

#### Meeting Summary

The first neighborhood meeting for the Application was held on September 21, 2020 at 6:00 p.m. The meeting was held via Zoom, and consisted of a formal presentation followed by a question/answer and comment session. Approximately 26 members of the public registered for and attended the meeting. The attendee registration sheet from the first virtual neighborhood meeting is attached at **Tab B**.

Representatives from the Development Team provided a formal presentation, which included presentation of site plan, renderings, and other project exhibits, as well as discussion regarding the need for additional housing options for City residents. The Development Team responded to questions and comments regarding student-focused rental housing, property management, density, traffic and parking, tree resources, rental housing demand, lease restrictions, and property value. The meeting concluded at 7:20 p.m.

## October 5, 2020 Second Virtual Neighborhood Meeting

### **Mailing Notification**

The mailing notification for the second virtual neighborhood meeting was completed on September 22, 2020. Notification letters were sent via first class mail to the Affected Parties and individuals that registered for the first virtual neighborhood meeting.

The Notice of Neighborhood Meeting letter set forth the purpose of the of the meeting, Application case number, description of the request, date, time, and instructions for registering for the virtual neighborhood meeting, location and acreage, aerial map, conceptual site plan and renderings for the project, and contact information for the Applicant and the City Planner assigned to the Application.

### **Site Posting**

The notification sign installed on September 4, 2020 included meetings details (request description, date and time, etc.) for the second virtual neighborhood meeting.

See **Tab C** - Affidavit of Second Neighborhood Meeting Notification.

### **Meeting Summary**

The second neighborhood meeting for the Application was held on October 5, 2020 at 6:00 p.m. The meeting was held via the Zoom, and consisted of a formal presentation followed by a question and answer session. Approximately 22 members of the public registered for and attended the meeting. The attendee registration sheet from the second virtual neighborhood meeting is attached at **Tab D**.

Representatives from the Development Team provided a formal presentation, which included presentation of site plan, renderings, and other project exhibits, as well as discussion regarding architecture, colors, and materials, existing and proposed zoning, Regional Plan land use designation, construction quality, and the need for additional housing options for City residents. In response to questions and comments received at the first virtual neighborhood meeting, the Development Team also provided additional information regarding the project's access and circulation and the community's management structure. During the question and answer session, the Development Team responded to questions and comments regarding the proposed zoning and density, traffic, and parking. Four individuals expressed support for the Application. The meeting concluded at 7:08 p.m.

## AMENDMENT TO REZONING REQUEST

On December 22, 2020, the Applicant mailed two separate follow-up notification letters: One to individuals that registered for and attended either or both of the virtual neighborhood meetings; the other to the Affected Parties (excluding those individuals, etc. that received the first letter). The purpose of the letters was to inform the Affected Parties and others that the Application had been amended to rezone the Property to Medium Density Residential—Resource Protection Overlay (MR—RPO) (instead of HDR—RPO). Additionally, the letter mailed to individuals that attended either or both of the virtual neighborhood meeting included a summary of the virtual neighborhood meetings in accordance with Chapter 10-20.30.060 of the Flagstaff Zoning Code. See **Tab E** – Follow-Up Notifications.

## PUBLIC HEARING NOTIFICATION

On December 28, 2020, a public hearing notification sign was installed along the Property's Woody Mountain Road frontage providing scheduled public hearing dates and times, request description, registration information for the virtual public hearings, acreage, and contact information for the Applicant and Ms. Antol. See **Tab F** – Affidavit of Public Hearing Sign Posting.

On December 29, 2020, public hearing notification letters were mailed to the Affected Parties and individuals that registered for either or both virtual neighborhood meetings. The public hearing notification letter included the Application case number, description of the request, location and acreage, conceptual site plan and renderings, registration information for the virtual public hearings, and contact information for the Applicant and Ms. Antol. See **Tab G** - Affidavit of Public Hearing Mailing Notification.

## SUMMARY OF INQUIRIES

The Applicant received and responded to the following inquiries:

On September 9, 2020, the Applicant responded to an email from Mr. Anthony Williams requesting a context map showing the location of the project. On September 18, 2020, the Applicant and CivTech, the project's Traffic Engineer consultant, had follow-up conversation with Mr. Williams regarding traffic mitigation.

On September 21, 2020, the Applicant received a call and voicemail message from Ms. Gianna Elms, who resides at Presidio in the Pines. Ms. Elms requested the cell phone number for the Vintage representative, and expressed her concerns about the potential for sex offenders to live at Sky Cottages. On September 22, 2020, the Applicant returned Ms. Elms' call and left a voice message addressing her concerns.

On September 22, 2020, the Applicant received a call from Mr. Dave Kimsey, an attendee from the first virtual neighborhood meeting, who indicated he was involved with the Presidio in the Pines homeowners association and interested in the project. On September 23, 2020, the Applicant returned Mr. Kimsey's call and left a voice message.

On September 22, 2020, the Applicant received a call from Mr. Cal Hamren, an attendee from the first virtual neighborhood meeting, with questions regarding proposed building materials and construction timeline. On September 23, 2020, the Applicant returned Mr. Hamren's call, and as well as had follow-up correspondence with Mr. Hamren and the project's architect regarding the architectural quality. On September 28, 2020, Mr. Hamren called the Applicant with additional questions regarding architecture and building types.

On September 22, 2020, the Applicant received an email from Mr. Carlton Johnson regarding the density and Regional Plan land use designation. Mr. Johnson felt that the project should be denser and offer additional connectivity to the regional transportation network. On September 23, 2020, the Applicant responded to Mr. Johnson.

On October 1, 2020, the Applicant received a call from Mr. Brian Wilson, a resident interested in attending the second virtual neighborhood meeting. The Applicant responded that same day via email to Mr. Wilson with information on how to register.

On October 6, 2020, the Applicant received an email from Mr. Marvin and Ileana Kissinger, attendees from the second virtual neighborhood meeting, with follow-up questions regarding the project. Gammage & Burnham responded and left a voice message in response to their inquiries.

On October 10, 2020, the Applicant received an email from Mr. Cal McLoy, a local real estate broker who was unable to attend the second virtual neighborhood meeting. Mr. McLoy was interested in obtaining information about Sky Cottages, so that he could provide it to his clients and other agents. On October 14, 2020, the Applicant had a telephone call with Mr. McLoy, during which Mr. McLoy expressed his support for the project.

# **TAB A**

## **Affidavit of First Neighborhood Meeting Notification**

**Affidavit of First Neighborhood Meeting Notification**

Case Number: PZ-20-00153

Project Name: Sky Cottages

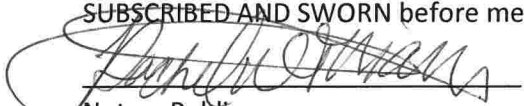
Applicant Name: Vintage Partners

Location: SWC of US 66 and Woody Mountain Road


On behalf of the applicant, I hereby confirm that the neighborhood meeting notification was completed as detailed in Section 10-20.30.060 of the City of Flagstaff Zoning Code.

Applicant's/Representative's Signature: 

SUBSCRIBED AND SWORN before me this 29<sup>th</sup> day of December, 2020 by:

  
Notary Public

My Commission Expires:  
3/31/24

 **RACHEL WILLIAMS**  
Notary Public - Arizona  
Maricopa Co. / #581305  
Expires 03/31/2024

PROPERTY OWNERS WITHIN 1,000-FEET				
PROPERTY OWNER	MAILING ADDRESS	CITY	STATE	ZIP
THOMAS REVOCABLE TRUST DTD 05-16-06	2938 S TEX LN	FLAGSTAFF	AZ	86001
2909 PRESIDIO PINES LLC	9733 W MOUNTAIN VIEW RD	PEORIA	AZ	85345
ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
ALVIN THOMAS R & SHELLEY B	3973 N FOUNDER CIR	BUCKEYE	AZ	85396
AMESTOY FAMILY TRUST DTD 07-24-02	1112 DYSART DR	BANNING	CA	92220
ATIEMO ANDREW & RENE A	2810 E HEMBERG DR	FLAGSTAFF	AZ	86004
AUSTIN GARRETT	2943 S PARDO CALLE DR	FLAGSTAFF	AZ	86001
BAILEY TRUST DTD 07-14-08	1552 W SALTSAGE DR	PHOENIX	AZ	85045
BAKER RYAN W & JEANETTE N	2923 S PEPITA DR	FLAGSTAFF	AZ	86001
BALL DANIEL A & JENNIFER A	2817 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
BALLARD BRENT R REVOCABLE TRUST DTD 10-17-03	10838 N 10TH PL	PHOENIX	AZ	85020
BAMFORD FRANCIS J	2947 S PEPITA DR	FLAGSTAFF	AZ	86001
BECENTI MICHAEL M	2717 W JACLYN DR	FLAGSTAFF	AZ	86001
BETHKE MCKENZIE RAE	2574 W JOSSELYN DR	FLAGSTAFF	AZ	86001
BHAKTA RAJENDRABHAI D & SHILABEN R	8383 E STATE ROUTE 69	PRESCOTT VALLEY	AZ	86314
BIGGERSTAFF PATRICK & WHITNEY	2943 S PEPITA DR	FLAGSTAFF	AZ	86001
BLAIN NICHOLAS R & PATRICIA K	2879 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
BLOOMBERG KIM E	2436 W ROCK ISLAND AVE	FLAGSTAFF	AZ	86001
BOATENG DAVID FORBI	2593 W JOSSELYN DR	FLAGSTAFF	AZ	86001
BOOTH BRIAN T & MEAGAN J	2876 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
BOYD JOHN L III & KAREN E	3980 WESTWOOD CIR	FLAGSTAFF	AZ	86005
BRIGHAM STEVEN M & ERNA V	2927 S PARDO CALLE DR	FLAGSTAFF	AZ	86001
BRINK JOHN I & EILEEN P	2864 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
BROCKIE MILLIE	PO BOX 1608	TUBA CITY	AZ	86045
BROTSCHI LIVING TRUST DTD 06-01-09	21497 E CALDWELLS WAY	QUEEN CREEK	AZ	85142
BROWN PETER TRUST DTD 04-18-18	2921 S PAIS DEL NORTE	FLAGSTAFF	AZ	86001
BROWN TIMOTHY E	2820 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
BROWN YAZZIE MARKS	2946 S TEX LN	FLAGSTAFF	AZ	86001
BRUCE BENJAMIN	2662 W JACLYN DR	FLAGSTAFF	AZ	86001
BUDZINSKI LAUREN M	2940 S CAMEL DR	FLAGSTAFF	AZ	86001
BUNCH CHRISTOPHER E & SUZANNA T	2760 W PICO EL MONTE CIR	FLAGSTAFF	AZ	86001
CANTOR PROPERTIES LLC	3199 RAINBOW RIDGE DR	PRESCOTT	AZ	86303
CARPENTER RYAN	2920 W PRESIDIO DR	FLAGSTAFF	AZ	86001
CARROLL VICKI J LIVING TRUST UA DTD 6-16-14	2880 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
CASEMAN DELAYNE LOIS	2840 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
CHAN HELEN	2706 W JACLYN DR	FLAGSTAFF	AZ	86001
CHANG JONATHAN P	2900 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86005
CHEN ZHONG	32 W QUARTZ RD	FLAGSTAFF	AZ	86005
COLEMAN AARON O	2947 S PARDO CALLE DR	FLAGSTAFF	AZ	86001
CONGER MCCANTS FAMILY TRUST DTD 09-16-06	2923 W PRESIDIO DR	FLAGSTAFF	AZ	86001
COOK BRENDON & APRIL	2916 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001
CORRIGAN LOGAN	2674 W JACLYN DR	FLAGSTAFF	AZ	86001
COTTAGES AT CEDAR RIDGE HOMEOWNERS ASSOCIATION INC	813 N BEAVER ST NO 5	FLAGSTAFF	AZ	86001
CURTIS MATTHEW	2187 W MISSION TIMBER CIR	FLAGSTAFF	AZ	86001
DAVILA MIGUEL	2828 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
DAVIS FAMILY TRUST DTD 07-30-18	2912 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001
DAVIS ROBERT	2921 W CARAVAGGIO LN	PHOENIX	AZ	85086
DECKER FRANCIS P & DEBORAH A REVOCABLE TRUST	23205 COSO	MISSION VIEJO	CA	92692
DEFRATES DAMON J & DEBORA A	2813 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
DEHOAG CRYSTAL F & ZENAS	2955 S PEPITA DR	FLAGSTAFF	AZ	86001
DOBA DERRICK R & CHRISTIAN M	2921 S CAMEL DR	FLAGSTAFF	AZ	86001
DOHSE TIMOTHY & CHELSEA NICOLE	2195 W MISSION TIMBER CIR	FLAGSTAFF	AZ	86001
DUNMYER SANDRA CHRISTINE	2900 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
ECKEL ALISE	2802 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
ELLIS PRESTON COLE & JAYME	2445 W POLLO CIR	FLAGSTAFF	AZ	86001
ELMS GIANNA AGATA & JOE L	2883 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
FALLON ANDREW M & RACHAEL R	2860 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
FARRELL DAVID	8375 S PEPITA DR	FLAGSTAFF	AZ	86001
FILIPPI JORDON & AMANDA	2744 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
FINCH ROBERT R & JANE LOVELY	2453 W POLLO CIR	FLAGSTAFF	AZ	86001
FISCHENICH MIKE & PAULA	3515 W STRAWBERRY ROAN	FLAGSTAFF	AZ	86005
FISHER DUSTIN BRYANT	2801 S FLAGSTONE LN	FLAGSTAFF	AZ	86001
FLAGSTAFF CITY OF	211 W ASPEN AVE	FLAGSTAFF	AZ	86001
FLAGSTAFF CITY OF	211 W ASPEN AVE	FLAGSTAFF	AZ	86001
FLAGSTAFF CITY OF	211 W ASPEN AVE	FLAGSTAFF	AZ	86001
FOGLE DONALD & CAROLE	2236 MANZANITA DR	LAKE SIDE	AZ	85929
FORD JEFFREY B	9428 E HERITAGE TRAIL DR	SCOTTSDALE	AZ	85255
FOREMAN SCOTT H & LISA P	2900 W PRESIDIO DR	FLAGSTAFF	AZ	86001
FOX WAYNE A & ALICE M	536 W RANCHO DR	PHOENIX	AZ	85013
FREDETTE ANNETTE & ANTHONY	2191 W MISSION TIMBER CIR	FLAGSTAFF	AZ	86001
FREEDLUND LANCE D	2816 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
FREITAG RONALD E	2802 S FLAGSTONE LN	FLAGSTAFF	AZ	86001
FUSSELMAN BRIDGET & DEREK	2805 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
GALLEGOS LORETTA	2811 S FLAGSTONE LN	FLAGSTAFF	AZ	86001
GALYEN LISA A	2601 W JOSSELYN DR	FLAGSTAFF	AZ	86001
GAO JUNFENG	5112 LE MICCINE TERR	SAN JOSE	CA	95129

PROPERTY OWNERS WITHIN 1,000-FEET (CONTINUED)				
PROPERTY OWNER	MAILING ADDRESS	CITY	STATE	ZIP
GEORGE ALLEN JOSEPH & CHRISTINA MARY	2959 S PEPITA DR	FLAGSTAFF	AZ	86001
GERAGHTY TRUST DTD 5/12/16	4750 DEVONPORT CIR	YORBA LINDA	CA	92887
GIAMBALVO PAUL A	PO BOX 2745	FLAGSTAFF	AZ	86003
GIBBS JOHN G	2956 S CAMEL DR	FLAGSTAFF	AZ	86001
GIESKE FAMILY LIVING TRUST DTD 02-04-19	3306 N 81ST ST	MESA	AZ	85207
GILBERTSON ADELA	1550 KELLY ST	REDLANDS	CA	92374
GILLIAM JOSEPH K & ANNA L	24112 SNIPE LN	LAGUNA NIGUEL	CA	92677
GOWANLOCK MICHAEL	2932 S PAIS DEL NORTE	FLAGSTAFF	AZ	86001
GRACEY AMY M & CHRISTOPHER A	2814 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
GREENE JEFFREY L & SHIRLEY A	2892 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
GRIFFIS AUDREY L	165 LAKESHORE RD	GILBERTSVILLE	KY	42044
GROOM NICHOLAS & MICHELLE	2957 S CAMEL DR	FLAGSTAFF	AZ	86001
GROSVENOR FAMILY REVOCABLE LIVING TRUST DTD 03-23-17	2221 FIERO DR	LAS VEGAS	NV	89134
HADUCH ARTHUR	19157 N CATHEDRAL POINT CT	SURPRISE	AZ	85387
HAGENSEN RACHEL L	20014 34TH AVE SE	BOTHELL	WA	98012
HAMMER JOSEPH J & SARAH E	2935 S PEPITA DR	FLAGSTAFF	AZ	86004
HAMMER SARAH	2907 W PRESIDIO DR	FLAGSTAFF	AZ	86001
HAMPTON JEFFREY KIRK & JENNIFER M	2741 W JACLYN DR	FLAGSTAFF	AZ	86001
HAMREN CAL & ELLYN A	20735 N 62ND DR	GLENDALE	AZ	85308
HANABURY BRIAN & MARY	2949 S CAMEL DR	FLAGSTAFF	AZ	86001
HANNIGAN ANTHONY B	2928 S CAMEL DR	FLAGSTAFF	AZ	86001
HANSON POLLY & GARRY	2572 W JOSSELYN DR	FLAGSTAFF	AZ	86001
HARRIS LISA L & TINCER	PO BOX 1782	KAIBETO	AZ	86053
HELIN BUILDING LLC	1800 N HEREFORD DR	FLAGSTAFF	AZ	86001
HERROCK ANDREW J	2912 ESMEERELDA DR	BULLHEAD CITY	AZ	86429
HIDDEN HOLLOW MANUFACTURED HOME COMMUNITY LLC	101 MAIN ST NO 280	HUNTINGTON BEACH	CA	92648
HILL RYAN	2852 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
HOFFMAN ELIZABETH A	2925 S PAIS DEL NORTE	FLAGSTAFF	AZ	86001
HU SHI WEN & CHIN HWA	2887 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
J & L FAMILY TRUST DTD 02-23-16	2797 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
JACOBSON COURTNEY LYN LUQUE	2205 W MISSION TIMBER CIR	FLAGSTAFF	AZ	86001
JAHN FAMILY LIVING TRUST DTD 10-20-14	536 E AMES PL	PHOENIX	AZ	85004
JAMES SUSAN	2725 W JACLYN DR	FLAGSTAFF	AZ	86001
JOHNSON BRANDON S	2951 S PEPITA DR	FLAGSTAFF	AZ	86001
JOHNSON CARLTON & MARTHA JAMES	2845 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
JOHNSON JOSHUA J & ALLISON H	2559 W JOSSELYN DR	FLAGSTAFF	AZ	86001
KEEP SHAWN & SUNNY	3775 S BRIDLE PATH	FLAGSTAFF	AZ	86005
KELLY DENNIS	2729 W JACLYN DR	FLAGSTAFF	AZ	86001
KEMPNER ALAN & CYNTHIA	7415 E LINCOLN DR	SCOTTSDALE	AZ	85250
KENMORE JANE H	2562 W JOSSELYN DR	FLAGSTAFF	AZ	86001
KENMORE JANE H & NEAL R	2562 W JOSSELYN DR	FLAGSTAFF	AZ	86001
KIEHNE PAUL & LINDA R	2897 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001
KIM ELIJAH	2793 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
KISSINGER MARVIN & ILEANA LIVING TRUST DTD 04-05-02	2597 W JOSSELYN DR	FLAGSTAFF	AZ	86001
KUEFFER-MAYORGA TAMARA ELIZABETH	1475 S VAIL RD	CAMP VERDE	AZ	86322
LAURITSEN DENNY & ANNETTE	2951 S PARDO CALLE	FLAGSTAFF	AZ	86001
LEONARD ALEXANDER T	2849 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
LEONARD JON D & KRISTI	PO BOX 2302	FLAGSTAFF	AZ	86003
LEY MICHAEL P & BRENDA K	2935 S PARDO CALLE	FLAGSTAFF	AZ	86001
LF RENTALS LLC	14654 S 25TH PL	PHOENIX	AZ	85048
LIANG JIANJIE & LI HONG	2305 W YAHOO TRL	PHOENIX	AZ	85085
LU JIAN	2686 W JACLYN DR	FLAGSTAFF	AZ	86001
LUCERO GREGORY A & NICHOLE M	2927 W PRESIDIO DR	FLAGSTAFF	AZ	86001
LUTTINEN TREVOR A	2942 S TEX LN	FLAGSTAFF	AZ	86001
MABBIT ROBERT E	2457 W POLLO CIRCLE	FLAGSTAFF	AZ	86001
MACE EMILY	2792 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MAGEE MARK LEE & BELEN	2670 W JACLYN DR	FLAGSTAFF	AZ	86001
MANYGOATS DEAN	2833 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MARKS TRUST DTD 04-22-20	1246 E OXFORD LN	GILBERT	AZ	85295
MARTINEZ JUAN	2818 SOUTH FLAGSTONE LN	FLAGSTAFF	AZ	86001
MARTUSCIELLO MARIO & MANDEE	4962 S TOPAZ RD	FLAGSTAFF	AZ	86005
MARTUSCIELLO MARIO F & MANDEE A	2813 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
MATHESON MAGGIE	2876 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MATSUOKA LAURIE	2853 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MCDOWELL DANNY & SHAWNEE	2604 N FOX RUN RD	FLAGSTAFF	AZ	86004
MCKIRDY JAMES FRANCIS & HEATHER	2884 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
MCLALUGHLIN JOSEPH & MICHELLE	2841 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MEINERS RICHARD A & TANIA J	221 INA ST PO BOX 60181	FAIRBANKS	AK	99706
MENDEL CHARLES & MICHELLE C	2757 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MICHALSKI CHARLES D & CINDY L	1117 RAINBOW AVE S	LAKE HAVASU CITY	AZ	86403
MIRAMONTE PRESIDIO LLC	2502 E RIVER RD	TUCSON	AZ	85718
MIRAMONTE PRESIDIO LLC	2502 E RIVER RD	TUCSON	AZ	85718
MISIOREK DANIEL A	2937 S CAMEL DR	FLAGSTAFF	AZ	86001
MORGAN JOHN L & DONNA M	2919 S PEPITA DR	FLAGSTAFF	AZ	86001
MORRELL ARMANDO F JR LIVING TRUST DTD 04-22-19	2768 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MOUNT MARILYN	2864 W PRESIDIO DR	FLAGSTAFF	AZ	86001
MOUNTAIN CREEK EST LLC	1464 E AMBERWOOD DR	PHOENIX	AZ	85048

PROPERTY OWNERS WITHIN 1,000-FEET (CONTINUED)				
PROPERTY OWNER	MAILING ADDRESS	CITY	STATE	ZIP
MOUNTAIN KEVIN P & HIGHLAND M	2063 E LANTANA DR	CHANDLER	AZ	85286
MUGO PATTI WAMUYU	2733 W JACLYN DR	FLAGSTAFF	AZ	86001
NANKIVELL DEBRA L	2918 S PARDO CALLE	FLAGSTAFF	AZ	86001
NORRIS CHAD W	2923 S PARDO CALLE DR	FLAGSTAFF	AZ	86001
NOTTINGHAM ROXANNE D & BURTON J JR	2892 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
NOYCE JODIE L	2901 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001
NUNLEY VAN A SR & SANDRA K	2917 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001
OHANA KRR TRUST DTD 09-09-13	PO BOX 18621	TUCSON	AZ	85731
OHLAU JAMES R	4721 E LAVENDAR LN	PHOENIX	AZ	85044
OTZEN LINDA M TRUST DTD 09-05-19	2910 S PEPITA DR	FLAGSTAFF	AZ	86001
PATCH EMILY	1000 W FOREST MEADOWS NO 250	FLAGSTAFF	AZ	86001
PATEL NIRAJA K	2958 S TEX LN	FLAGSTAFF	AZ	86001
PATEL SANJAY & CHETNA	2821 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86005
PAWLAK TIMOTHY J & LOREEN M	254 S PORT DR	GILBERT	AZ	85233
PENSCO TRUST COMPANY MASON T LUNDELL IRA	3317 S HIGLEY RD NO 114-497	GILBERT	AZ	85297
PERTEA GHEORGHE & MONICA	2919 W PRESIDIO DR	FLAGSTAFF	AZ	86001
PETIT BRENT & CASSANDRA	2412 W POLLO CIR	FLAGSTAFF	AZ	86001
PHILLIPS JAMES & MARGARET	6 INDIAN PAINTBRUSH DR	BOZEMAN	MT	59718
POGUE RICHARD ALLEN	2924 S CAMEL DR	FLAGSTAFF	AZ	86001
POOLE IAN	2714 W JACLYN DR	FLAGSTAFF	AZ	86001
PRENTICE JOHN M & THERESE J	2920 S PAIS DEL NORTE	FLAGSTAFF	AZ	86001
PRESIDIO IN THE PINES HOMEOWNER'S ASSOC INC	323 S RIVER RUN RD NO 1	FLAGSTAFF	AZ	86001
PRESSLEY ROY J & LILIANA NG	2896 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
PRISKORN CRAIG & DANA	28313 LAURA LA PLANTE DR	AGOURA HILLS	CA	91301
QUIGLEY THOMAS JAMES	600 AUBURN AVE	SIERRA MADRE	CA	91024
QUIMBY LEONARD	6700 WOODLANDS PARKWAY STE 230-268	SPRING	TX	77382
RAEL MICHAEL & ERICA	2805 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
RAILROAD SPRINGS 66 LLLP	1016 W UNIVERSITY AVE NO 203	FLAGSTAFF	AZ	86001
RALPH STEPHEN K & SANDRA E	2896 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
RALSTON BARBARA JO	2514 E HEATHERBRAE DR	PHOENIX	AZ	85016
REYNOLDS JULIA A	PO BOX 3944	FLAGSTAFF	AZ	86003
RHODS TRUST DTD 09-10-04	1405 STONE MEADOW DR	CAMARILLO	CA	93010
ROAN-ZABAR DONNA	2817 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
ROBB CHELSEA M	2872 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
ROBBINS JOHN ERICK	2917 S CAMEL DR	FLAGSTAFF	AZ	86001
ROBERTSON GAIL M	2749 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
ROHS LANCE G	2602 W JOSSELYN DR	FLAGSTAFF	AZ	86001
ROSENFELD RONALD B & TINA	126 PEACEABLE RIDGE RD	RIDGEFIELD	CT	6877
ROZELL TRUST DTD 12/1/11	6322 W MEGAN ST	CHANDLER	AZ	85226
RUSTY JAVELINA INVESTMENTS LLC	1220 E SEMINOLE DR	PHOENIX	AZ	85022
RYBKA JAMES S & JAN D	2857 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
SACHWITZ SCOTT PAUL	1171 W SUNRISE PL	CHANDLER	AZ	85248
SALCIDO ROBERTA KAY & ALFREDO RANDY	2761 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
SANDERSON VICTOR A & NANCY C	2812 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
SCHRAUFNAGEL GARY M & MARY JEAN	5816 E HERMOSA VISTA DR	MESA	AZ	85215
SCHROEDER CHRISTIAN	2722 W JACLYN DR	FLAGSTAFF	AZ	86001
SCOTT LIONEL & JESSICA	2806 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
SECUREPAY LLC	151 MELEKOMO PLACE	LAHAINA	HI	96761
SHAFFER ATTICUS	32515 SADDLE PEAK CT	ACTON	CA	93510
SHAO YONG	2836 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
SHAY ROLAND L	2927 S PEPITA DR	FLAGSTAFF	AZ	86001
SHERECK JON R & PAULINE K	2824 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
SHIFFER KRISTINE & ARRON	2690 W JACLYN DR	FLAGSTAFF	AZ	86001
SHILLING AARON E & HOLLY	2892 W PRESIDIO DR	FLAGSTAFF	AZ	86001
SIEG MATTHEW & ANTONINA	2903 W PRESIDIO DR	FLAGSTAFF	AZ	86001
SIMPSON HEATHER L	PO BOX 31183	FLAGSTAFF	AZ	86003
SMITH JEFFREY L	2899 W PRESIDIO DR	FLAGSTAFF	AZ	86001
SMITH TERRY E	2772 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
SNIDE THOMAS K & MARIE G	2922 S PEPITA DR	FLAGSTAFF	AZ	86001
ST LOUIS JAY & ANGELA	1391 W MAPLEWOOD ST	CHANDLER	AZ	85286
STEIN JEFFREY A & ABIGAIL	2817 S FLAGSTONE LN	FLAGSTAFF	AZ	86001
STEWART STEVIE M	6825 E PEARL ST	MESA	AZ	85207
STONER GAYLA M & THOMAS N	PO BOX 263	FLAGSTAFF	AZ	86002
STRAIN SEAN P & JANELLE J	2809 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
STROUT ERIN M	2913 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001
SUFIA BRANDON SIONE	3650 E LAKE MEAD BLVD NO 257	LAS VEGAS	NV	89115
SUMMERS SCOTT D & SUSAN M	8211 179TH PL NE	ARLINGTON	WA	98223
SWARUP VIMAL P	6040 LAUREL LOOP	FLAGSTAFF	AZ	86004
TAGUCHI NAOKO	2922 S TEX LN	FLAGSTAFF	AZ	86001
TEN ELENA	2730 W JACLYN DR	FLAGSTAFF	AZ	86001
THIESING JAMES W & CAROL A	2092 ASHBURTON WAY	MOUNT PLEASANT	SC	29466
THOMAS MATTHEW	2925 S CAMEL DR	FLAGSTAFF	AZ	86001
TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
TIMBER SKY COMMUNITY ASSOCIATION	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016
TOLBY ROY & MARJORIE	227 N TONTO TRL	PAYSON	AZ	85541

PROPERTY OWNERS WITHIN 1,000-FEET (CONTINUED)					
PROPERTY OWNER	MAILING ADDRESS	CITY	STATE	ZIP	
TSOSIE BRIAN L & JENNIFER P	2740 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
TURNER CODY C	2939 S PEPITA DR	FLAGSTAFF	AZ	86001	
TUTAY DANIEL J & ERIN M	2709 W JACLYN DR	FLAGSTAFF	AZ	86001	
TUTWILER THOMAS R	2888 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001	
UPSON BRENT W	3022 W NIGHT OWL LN	PHOENIX	AZ	85085	
URBANEK FAMILY REVOCABLE LIVING TRUST AMENDED 1-22-18	2020 W MUSKET PL	CHANDLER	AZ	85286	
VALLEN GARY & KIM	1655 N KITTREDGE RD	FLAGSTAFF	AZ	86001	
VAN DEN BURG ROBERT J & INGRID M	2765 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
VAN DER VEER KAREN	662 N PINE CLIFF DR	FLAGSTAFF	AZ	86001	
VAN HOY GARY R & MARY E	9660 W BENT TREE DR	PEORIA	AZ	85383	
VAN KAMPEN KOREY & AMANDA	2700 S WOODLANDS VILLAGE BLVD NO 300-228	FLAGSTAFF	AZ	86001	
VANDERMEULEN JOSHUA	2741 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
VASCASSENNO NICHOLAS S & SHARINA M	2911 S PEPITA DR	FLAGSTAFF	AZ	86001	
VERA KIMBERLY A & SALVADOR JR	2931 S PEPITA DR	FLAGSTAFF	AZ	86001	
VJI LIVING TRUST DTD 06-12-13	3636 E SHOMI ST	PHOENIX	AZ	85044	
VP 66 & WOODY MOUNTAIN LLC	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016	
WALKER JOSHUA FORREST & KRISTLE MARIE	2682 W JACLYN DR	FLAGSTAFF	AZ	86001	
WALSH CATHERINE LIVING TRUST DTD 09-17-15	2868 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
WANDERLAND FLAGSTAFF LLC	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016	
WEIDINGER JOSEPH E & BECKY Y	2705 W JACLYN DR	FLAGSTAFF	AZ	86001	
WELLINS-NEUBERGER FAMILY TRUST DTD 05-05-16	11111 E SOREL LN	SCOTTSDALE	AZ	85259	
WERLEY JAKE P	250 N CIRCLE DR	FLAGSTAFF	AZ	86001	
WILSON JONATHAN S	2904 W PRESIDIO DR	FLAGSTAFF	AZ	86001	
WINBORNE VAUGHAN S JR & LISA M	PO BOX 1538	FLAGSTAFF	AZ	86002	
WINBURN BRIAN	PO BOX 2426	FLAGSTAFF	AZ	86003	
WINFREE KYLE N & VANESSA	2781 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
WOODRUFF JOHN	43258 W MARICOPA AVE	MARICOPA	AZ	85138	
WYATT JANICE L REVOCABLE LIVING TRUST DTD 10-27-2010	11087 N JOY FAITH DR	ORO VALLEY	AZ	85737	
XU QIANG	5045 S TOPAZ RD	FLAGSTAFF	AZ	86005	
ZERGER ADAM S & SARA K	2954 S TEX LN	FLAGSTAFF	AZ	86001	
ZETICH DONALD S & MARYANN	2928 W PRESIDIO DR	FLAGSTAFF	AZ	86001	
OTHER INTERESTED PARTIES					
ORGANIZATION/CONTACT	MAILING ADDRESS	CITY	STATE	ZIP	
VP66 & WOODY MOUNTAIN, LLC / TIMBER SKY	2502 E. CAMELBACK ROAD, STE. 214	PHOENIX	AZ	85016	
PRESIDIO IN THE PINES HOA	323 S RIVER RUN ROAD, NO. 1	FLAGSTAFF	AZ	86001	
RAILROAD SPRINGS 66, LLC	1016 W. UNIVERSITY AVENUE, NO. 203	FLAGSTAFF	AZ	86001	
FRIENDS OF FLAGSTAFF'S FUTURE	P.O. BOX 23462	FLAGSTAFF	AZ	86002	
NORTHERN ARIZONA BUILDING ASSOCIATION	1500 E CEDAR AVE	FLAGSTAFF	AZ	86004	
NORTHERN ARIZONA ASSOCIATION OF REALTORS ATTN: JEFFREY HERD	1515 E CEDAR AVE, STE. C-4	FLAGSTAFF	AZ	86004	
TISH BOGAN-OZMUN	5271 MOUNT PLEASANT DR	FLAGSTAFF	AZ	86004	
MARILYN WEISSMAN	1055 E APPLE WAY	FLAGSTAFF	AZ	86001	
COAST AND MOUNTAIN PROPERTIES ATTN: MAURY HERMAN	3 N LEROUX ST	FLAGSTAFF	AZ	86001	
NAT WHITE	1120 N ROCKRIDGE RD	FLAGSTAFF	AZ	86001	
CHARLIE SILVER	720 W ASPEN AVE	FLAGSTAFF	AZ	86001	
BETSY MCKELLAR	330 S ASH LANE	FLAGSTAFF	AZ	86004	
DAVID CARPENTER	495 S RIVER RUN, STE. 100	FLAGSTAFF	AZ	86001	
ARIZONA ARMY NATIONAL GUARD, AZAA-FMO ATTN: DORENDA COLEMAN	5636 E McDOWELL RD, M5330	PHOENIX	AZ	85008	
US NAVY, INTERGOVERNMENTAL BRANCH ATTN: MARY BETH DREUSIKE	850 PACIFIC HIGHWAY, BLDG. 1 - 5TH FLOOR, STE. 513	SAN DIEGO	CA	92132	
CELIA BAROTZ	3354 N CREST STREET	FLAGSTAFF	AZ	86001	
NORM WALLEN	3716 N GRANDVIEW	FLAGSTAFF	AZ	86004	
COCONINO COUNTY COMMUNITY DEVELOPMENT ATTN: JAY CHRISTELMAN	2500 N FORT VALLEY ROAD, BLDG. 1	FLAGSTAFF	AZ	86001-1287	
COCONINO COUNTY COMMUNITY DEVELOPMENT ATTN: JESS McNEELY	2500 N FORT VALLEY ROAD, BLDG. 1	FLAGSTAFF	AZ	86001-1287	
FLAGSTAFF LODGING, RESTAURANT & TOURISM ATTN: STEVE FINCH	P.O. BOX 30622	FLAGSTAFF	AZ	86003	
ADRIAN SKABELUND	819 WEST GRAND CANYON AVENEU	FLAGSTAFF	AZ	86001	
RACHEL BASS	3083 E. EASTERDAY LANE	FLAGSTAFF	AZ	86001	
TIFFANY ANTOL	211 W. ASPEN AVE.	FLAGSTAFF	AZ	86001	
COCONINO COUNTY	2500 N. FORT VALLEY ROAD	FLAGSTAFF	AZ	86001	
GAMMAGE & BURNHAM, PLC ATTN: NICK SOBRASKE	40 NORTH CENTRAL AVE, 20TH FLOOR	PHOENIX	AZ	85004	



September 4, 2020

Dear Property Owner, Resident, Neighborhood Association, or Interested Citizen,

Vintage Partners is proposing to develop the approximate 20 acres located at the northwest corner of Woody Mountain Road and the McAllister Ranch Road alignment ("Property"). Vintage Partners is responsible for developing forward thinking and award winning projects throughout the State for more than 30 years, including the highly successful Timber Sky master-planned community—the finest Dark Skies compliant master-planned community in the State. Vintage Partners has partnered with Mosaic, a construction, design, and technology company, which utilizes a unique, technology-enabled platform that turns complicated blueprints into simple step-by-step building instructions, thus reducing constructions costs and allowing for greater affordability—such technology and development will be the first of its kind in Flagstaff.

We recently filed an application with the City to rezone the Property from RR RPO-Rural Residential, Resource Protection Overlay to HR RPO-High Density Residential, Resource Protection Overlay to facilitate the development of Sky Cottages. Sky Cottages, planned as an extension of Timber Sky, will be an accessible, athletic, outdoor, affordable build-to-rent community with 199 one (1) and two (2) story units, comprised of 1, 1.5, 2, and 3 bedrooms. The units will be oriented around a centrally located, expansive amenity and open space area, on- and off-site trail systems, common courtyards, and other, more intimate passive open space. Additionally, this application preserves the majority of the existing mature ponderosa pines and natural environment on the Property. See enclosed Site Plan and Conceptual Building Elevations.

We have scheduled a virtual neighborhood meeting to discuss the proposed rezoning. The details for the meeting are as follows:

- Meeting: Sky Cottages Virtual Neighborhood Meeting
- Location: Meeting to be held virtually in Zoom.
- Link: [gblaw.zoom.us/webinar/register/WN\\_2K4UdPLYQjyXhgmijqsQ](https://gblaw.zoom.us/webinar/register/WN_2K4UdPLYQjyXhgmijqsQ)
- Date and Time: Monday, September 21, 2020 at 6:00 PM



Instructions for Access to Virtual Neighborhood Meeting. The neighborhood meeting will be held on the Zoom video conferencing platform, which can be accessed through your internet browser or through the Zoom app on your mobile device via the above link. For registration assistance, please contact Ellie Brundige at (602) 256-4409 or [ebrundige@gblaw.com](mailto:ebrundige@gblaw.com).

Please note, to access the meeting, you will be required to register. The meeting registration information will be part of the public record and shared with the City. We will also use this information to keep you informed of future meetings and hearings via email, as well as traditional mail. At the beginning of the neighborhood meeting, we will provide a brief overview of the meeting procedures and instructions for asking questions once the formal presentation has concluded.

Please be advised that future meetings and hearings before the Planning & Zoning Commission and City Council will be scheduled to review this case. Specific meeting and hearing dates have not yet been set. An additional notification letter will be provided identifying the date, time, and location of these meetings and hearings.

The City Planner assigned to this case is Tiffany Antol. Ms. Antol can be reached at (928) 213-2605 or [TAntol@flagstaffaz.gov](mailto:TAntol@flagstaffaz.gov). She can answer your questions regarding the City's review and hearing process. Should you have any questions in the meantime, or are unable to attend the virtual neighborhood meeting and would like more information, please do not hesitate to contact our representative, Lindsay Schube, at (602) 256-4471 or [lschube@gblaw.com](mailto:lschube@gblaw.com). Thank you.

Sincerely,

Walter Crutchfield  
Vintage Partners

# Site Plan





39-41





Mcallister Ranch Blvd 29905



**REZONE**  
 Notice of Neighborhood Meeting for Zoning Amendment (Rezone)

**PUBLIC HEARINGS**  
 Any interested person or authorized agent may appear and be held at the following locations:

**NEIGHBORHOOD MEETINGS:** September 21, 2020 at 6pm  
 October 5, 2020 at 6pm (IF NECESSARY)

**LOCATION OF HEARINGS:**  
 Meeting to be held virtually. Join Zoom Meeting:  
[global.zoom.us/webinar/register/WN\\_2K4UdPlyChyXhgmjsqgQ](https://global.zoom.us/webinar/register/WN_2K4UdPlyChyXhgmjsqgQ)

**REQUEST:** Vintage Partners, LLC is requesting a zoning map amendment (REZONE) for .120 Acres from RR RPO (Rural Residential) Resource Protection Overlay) to HR RPO (High Density Residential, Resource Protection Overlay) for 199 One- and Two-Story dwelling units (±100U/AC)

**CONTACT:** Lindsay Schube, Gammage & Burnham PLC  
 (602) 256-4471  
 OR  
 Tiffany Antol, Community Development Department  
 (928) 213-2606

## Details



September 4, 2020 3:58 PM



20200904\_155816.jpg

/Internal storage/DCIM/Camera

4.79 MB 4032x3024



2940 S Woody Mountain Rd, Flagstaff, AZ 86001, USA



## **TAB B**

### **Attendee Registration Sheet from First Virtual Neighborhood Meeting**

**September 21, 2020 First Virtual Neighborhood Meeting Attendees**

<b>Attendee Name</b>	<b>Address</b>	<b>City</b>	<b>State</b>	<b>ZIP</b>
Ali Gulfaraz	4371 E. Savannah Circle	Flagstaff	AZ	86004
Lauri Budzinski	2940 S. Camel Drive	Flagstaff	AZ	86001
Gail Robertson	2749 W. Pico Del Monte Circle	Flagstaff	AZ	86001
Michelle Kuzdas	2338 W. Mission Timber Circle	Flagstaff	AZ	86001
Joe and Gianna Elms	2883 W. Patio del Presidio	Flagstaff	AZ	86001
Jennifer Hampton	2741 W. Jaclyn Drive	Flagstaff	AZ	86001
Amy Vogler	2398 W. Mission Timber Circle	Flagstaff	AZ	86001
Linda Denham	3605 S. Lariat Loop	Flagstaff	AZ	86005
Carlton Johnson	2845 W. Pico Del Monte Circle	Flagstaff	AZ	86001
Leslie Boulet	2898 W. Presidio Drive	Flagstaff	AZ	86004
Lisa Harris	2737 W. Jaclyn Drive	Flagstaff	AZ	86001
Cal Hamren	2896 W. Paz de Avenida	Flagstaff	AZ	86001
John and Therese Prentice	2920 S. Pais Del Norte	Flagstaff	AZ	86001
Jason Rohr	1601 E. Mountain View Avenue	Flagstaff	AZ	86001
Barbara DuPaul	2569 W. Clement Circle	Flagstaff	AZ	86001
Anthony Williams	3460 S. Skye Way	Flagstaff	AZ	86005
Lisa Galyen	2601 W. Josselyn Drive	Flagstaff	AZ	86001
Sue Bunch	2760 W. Pico Del Monte Circle	Flagstaff	AZ	86001
Christina George	2959 S. Pepita Drive	Flagstaff	AZ	86001
Robert Davis	2912 W. Paz de Avenida	Flagstaff	AZ	86001
Lori McCorry and David Moorehead	2462 W. Clement Circle	Flagstaff	AZ	86001
John Morgan	2919 S. Pepita Drive	Flagstaff	AZ	86001
Linda Otzen	2910 S. Pepita Drive	Flagstaff	AZ	86001
Richard Pogue	2924 S. Camel Drive	Flagstaff	AZ	86001
Brian Hanabury	2949 S. Camel Drive	Flagstaff	AZ	86001
AraLynn Nowack	2341 W. Mission Timber Cir	Flagstaff	AZ	86001

# **TAB C**

## **Affidavit of Second Neighborhood Meeting Notification**

**Affidavit of Second Neighborhood Meeting Notification**

Case Number: PZ-20-00153

Project Name: Sky Cottages

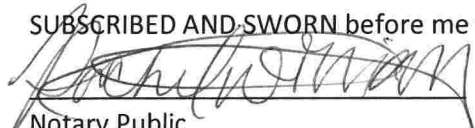
Applicant Name: Vintage Partners

Location: SWC of US 66 and Woody Mountain Road


On behalf of the applicant, I hereby confirm that the neighborhood meeting notification was completed as detailed in Section 10-20.30.060 of the City of Flagstaff Zoning Code.

Applicant's/Representative's Signature: 

SUBSCRIBED AND SWORN before me this 29<sup>th</sup> day of December, 2020 by:

  
Notary Public

My Commission Expires:  
3/31/24

 **RACHEL WILLIAMS**  
Notary Public - Arizona  
Maricopa Co. / #581305  
Expires 03/31/2024

PROPERTY OWNERS WITHIN 1,000-FEET				
PROPERTY OWNER	MAILING ADDRESS	CITY	STATE	ZIP
THOMAS REVOCABLE TRUST DTD 05-16-06	2938 S TEX LN	FLAGSTAFF	AZ	86001
2909 PRESIDIO PINES LLC	9733 W MOUNTAIN VIEW RD	PEORIA	AZ	85345
ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
ALVIN THOMAS R & SHELLEY B	3973 N FOUNDER CIR	BUCKEYE	AZ	85396
AMESTOY FAMILY TRUST DTD 07-24-02	1112 DYSART DR	BANNING	CA	92220
ATIEMO ANDREW & RENE A	2810 E HEMBERG DR	FLAGSTAFF	AZ	86004
AUSTIN GARRETT	2943 S PARDO CALLE DR	FLAGSTAFF	AZ	86001
BAILEY TRUST DTD 07-14-08	1552 W SALTSAGE DR	PHOENIX	AZ	85045
BAKER RYAN W & JEANETTE N	2923 S PEPITA DR	FLAGSTAFF	AZ	86001
BALL DANIEL A & JENNIFER A	2817 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
BALLARD BRENT R REVOCABLE TRUST DTD 10-17-03	10838 N 10TH PL	PHOENIX	AZ	85020
BAMFORD FRANCIS J	2947 S PEPITA DR	FLAGSTAFF	AZ	86001
BECENTI MICHAEL M	2717 W JACLYN DR	FLAGSTAFF	AZ	86001
BETHKE MCKENZIE RAE	2574 W JOSSELYN DR	FLAGSTAFF	AZ	86001
BHAKTA RAJENDRABHAI D & SHILABEN R	8383 E STATE ROUTE 69	PRESCOTT VALLEY	AZ	86314
BIGGERSTAFF PATRICK & WHITNEY	2943 S PEPITA DR	FLAGSTAFF	AZ	86001
BLAIN NICHOLAS R & PATRICIA K	2879 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
BLOOMBERG KIM E	2436 W ROCK ISLAND AVE	FLAGSTAFF	AZ	86001
BOATENG DAVID FORBI	2593 W JOSSELYN DR	FLAGSTAFF	AZ	86001
BOOTH BRIAN T & MEAGAN J	2876 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
BOYD JOHN L III & KAREN E	3980 WESTWOOD CIR	FLAGSTAFF	AZ	86005
BRIGHAM STEVEN M & ERNA V	2927 S PARDO CALLE DR	FLAGSTAFF	AZ	86001
BRINK JOHN I & EILEEN P	2864 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
BROCKIE MILLIE	PO BOX 1608	TUBA CITY	AZ	86045
BROTSCHI LIVING TRUST DTD 06-01-09	21497 E CALDWELLS WAY	QUEEN CREEK	AZ	85142
BROWN PETER TRUST DTD 04-18-18	2921 S PAIS DEL NORTE	FLAGSTAFF	AZ	86001
BROWN TIMOTHY E	2820 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
BROWN YAZZIE MARKS	2946 S TEX LN	FLAGSTAFF	AZ	86001
BRUCE BENJAMIN	2662 W JACLYN DR	FLAGSTAFF	AZ	86001
BUDZINSKI LAUREN M	2940 S CAMEL DR	FLAGSTAFF	AZ	86001
BUNCH CHRISTOPHER E & SUZANNA T	2760 W PICO EL MONTE CIR	FLAGSTAFF	AZ	86001
CANTOR PROPERTIES LLC	3199 RAINBOW RIDGE DR	PRESCOTT	AZ	86303
CARPENTER RYAN	2920 W PRESIDIO DR	FLAGSTAFF	AZ	86001
CARROLL VICKI J LIVING TRUST UA DTD 6-16-14	2880 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
CASEMAN DELAYNE LOIS	2840 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
CHAN HELEN	2706 W JACLYN DR	FLAGSTAFF	AZ	86001
CHANG JONATHAN P	2900 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86005
CHEN ZHONG	32 W QUARTZ RD	FLAGSTAFF	AZ	86005
COLEMAN AARON O	2947 S PARDO CALLE DR	FLAGSTAFF	AZ	86001
CONGER MCCANTS FAMILY TRUST DTD 09-16-06	2923 W PRESIDIO DR	FLAGSTAFF	AZ	86001
COOK BRENDON & APRIL	2916 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001
CORRIGAN LOGAN	2674 W JACLYN DR	FLAGSTAFF	AZ	86001
COTTAGES AT CEDAR RIDGE HOMEOWNERS ASSOCIATION INC	813 N BEAVER ST NO 5	FLAGSTAFF	AZ	86001
CURTIS MATTHEW	2187 W MISSION TIMBER CIR	FLAGSTAFF	AZ	86001
DAVILA MIGUEL	2828 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
DAVIS FAMILY TRUST DTD 07-30-18	2912 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001
DAVIS ROBERT	2921 W CARAVAGGIO LN	PHOENIX	AZ	85086
DECKER FRANCIS P & DEBORAH A REVOCABLE TRUST	23205 COSO	MISSION VIEJO	CA	92692
DEFRATES DAMON J & DEBORA A	2813 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
DEHOAG CRYSTAL F & ZENAS	2955 S PEPITA DR	FLAGSTAFF	AZ	86001
DOBA DERRICK R & CHRISTIAN M	2921 S CAMEL DR	FLAGSTAFF	AZ	86001
DOHSE TIMOTHY & CHELSEA NICOLE	2195 W MISSION TIMBER CIR	FLAGSTAFF	AZ	86001
DUNMYER SANDRA CHRISTINE	2900 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
ECKEL ALISE	2802 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
ELLIS PRESTON COLE & JAYME	2445 W POLLO CIR	FLAGSTAFF	AZ	86001
ELMS GIANNA AGATA & JOE L	2883 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
FALLON ANDREW M & RACHAEL R	2860 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
FARRELL DAVID	8375 S PEPITA DR	FLAGSTAFF	AZ	86001
FILIPPI JORDON & AMANDA	2744 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
FINCH ROBERT R & JANE LOVELY	2453 W POLLO CIR	FLAGSTAFF	AZ	86001
FISCHENICH MIKE & PAULA	3515 W STRAWBERRY ROAN	FLAGSTAFF	AZ	86005
FISHER DUSTIN BRYANT	2801 S FLAGSTONE LN	FLAGSTAFF	AZ	86001
FLAGSTAFF CITY OF	211 W ASPEN AVE	FLAGSTAFF	AZ	86001
FLAGSTAFF CITY OF	211 W ASPEN AVE	FLAGSTAFF	AZ	86001
FLAGSTAFF CITY OF	211 W ASPEN AVE	FLAGSTAFF	AZ	86001
FOGLE DONALD & CAROLE	2236 MANZANITA DR	LAKE SIDE	AZ	85929
FORD JEFFREY B	9428 E HERITAGE TRAIL DR	SCOTTSDALE	AZ	85255
FOREMAN SCOTT H & LISA P	2900 W PRESIDIO DR	FLAGSTAFF	AZ	86001
FOX WAYNE A & ALICE M	536 W RANCHO DR	PHOENIX	AZ	85013
FREDETTE ANNETTE & ANTHONY	2191 W MISSION TIMBER CIR	FLAGSTAFF	AZ	86001
FREEDLUND LANCE D	2816 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
FREITAG RONALD E	2802 S FLAGSTONE LN	FLAGSTAFF	AZ	86001
FUSSELMAN BRIDGET & DEREK	2805 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
GALLEGOS LORETTA	2811 S FLAGSTONE LN	FLAGSTAFF	AZ	86001
GALYEN LISA A	2601 W JOSSELYN DR	FLAGSTAFF	AZ	86001
GAO JUNFENG	5112 LE MICCINE TERR	SAN JOSE	CA	95129

PROPERTY OWNERS WITHIN 1,000-FEET (CONTINUED)				
PROPERTY OWNER	MAILING ADDRESS	CITY	STATE	ZIP
GEORGE ALLEN JOSEPH & CHRISTINA MARY	2959 S PEPITA DR	FLAGSTAFF	AZ	86001
GERAGHTY TRUST DTD 5/12/16	4750 DEVONPORT CIR	YORBA LINDA	CA	92887
GIAMBALVO PAUL A	PO BOX 2745	FLAGSTAFF	AZ	86003
GIBBS JOHN G	2956 S CAMEL DR	FLAGSTAFF	AZ	86001
GIESKE FAMILY LIVING TRUST DTD 02-04-19	3306 N 81ST ST	MESA	AZ	85207
GILBERTSON ADELA	1550 KELLY ST	REDLANDS	CA	92374
GILLIAM JOSEPH K & ANNA L	24112 SNIPE LN	LAGUNA NIGUEL	CA	92677
GOWANLOCK MICHAEL	2932 S PAIS DEL NORTE	FLAGSTAFF	AZ	86001
GRACEY AMY M & CHRISTOPHER A	2814 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
GREENE JEFFREY L & SHIRLEY A	2892 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
GRIFFIS AUDREY L	165 LAKESHORE RD	GILBERTSVILLE	KY	42044
GROOM NICHOLAS & MICHELLE	2957 S CAMEL DR	FLAGSTAFF	AZ	86001
GROSVENOR FAMILY REVOCABLE LIVING TRUST DTD 03-23-17	2221 FIERO DR	LAS VEGAS	NV	89134
HADUCH ARTHUR	19157 N CATHEDRAL POINT CT	SURPRISE	AZ	85387
HAGENSEN RACHEL L	20014 34TH AVE SE	BOTHELL	WA	98012
HAMMER JOSEPH J & SARAH E	2935 S PEPITA DR	FLAGSTAFF	AZ	86004
HAMMER SARAH	2907 W PRESIDIO DR	FLAGSTAFF	AZ	86001
HAMPTON JEFFREY KIRK & JENNIFER M	2741 W JACLYN DR	FLAGSTAFF	AZ	86001
HAMREN CAL & ELLYN A	20735 N 62ND DR	GLENDALE	AZ	85308
HANABURY BRIAN & MARY	2949 S CAMEL DR	FLAGSTAFF	AZ	86001
HANNIGAN ANTHONY B	2928 S CAMEL DR	FLAGSTAFF	AZ	86001
HANSON POLLY & GARRY	2572 W JOSSELYN DR	FLAGSTAFF	AZ	86001
HARRIS LISA L & TINCER	PO BOX 1782	KAIBETO	AZ	86053
HELIN BUILDING LLC	1800 N HEREFORD DR	FLAGSTAFF	AZ	86001
HERROCK ANDREW J	2912 ESMERELDA DR	BULLHEAD CITY	AZ	86429
HIDDEN HOLLOW MANUFACTURED HOME COMMUNITY LLC	101 MAIN ST NO 280	HUNTINGTON BEACH	CA	92648
HILL RYAN	2852 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
HOFFMAN ELIZABETH A	2925 S PAIS DEL NORTE	FLAGSTAFF	AZ	86001
HU SHI WEN & CHIN HWA	2887 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
J & L FAMILY TRUST DTD 02-23-16	2797 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
JACOBSON COURTNEY LYN LUQUE	2205 W MISSION TIMBER CIR	FLAGSTAFF	AZ	86001
JAHN FAMILY LIVING TRUST DTD 10-20-14	536 E AMES PL	PHOENIX	AZ	85004
JAMES SUSAN	2725 W JACLYN DR	FLAGSTAFF	AZ	86001
JOHNSON BRANDON S	2951 S PEPITA DR	FLAGSTAFF	AZ	86001
JOHNSON CARLTON & MARTHA JAMES	2845 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
JOHNSON JOSHUA J & ALLISON H	2559 W JOSSELYN DR	FLAGSTAFF	AZ	86001
KEEP SHAWN & SUNNY	3775 S BRIDLE PATH	FLAGSTAFF	AZ	86005
KELLY DENNIS	2729 W JACLYN DR	FLAGSTAFF	AZ	86001
KEMPNER ALAN & CYNTHIA	7415 E LINCOLN DR	SCOTTSDALE	AZ	85250
KENMORE JANE H	2562 W JOSSELYN DR	FLAGSTAFF	AZ	86001
KENMORE JANE H & NEAL R	2562 W JOSSELYN DR	FLAGSTAFF	AZ	86001
KIEHNE PAUL & LINDA R	2897 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001
KIM ELIJAH	2793 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
KISSINGER MARVIN & ILEANA LIVING TRUST DTD 04-05-02	2597 W JOSSELYN DR	FLAGSTAFF	AZ	86001
KUEFFER-MAYORGA TAMARA ELIZABETH	1475 S VAIL RD	CAMP VERDE	AZ	86322
LAURITSEN DENNY & ANNETTE	2951 S PARDO CALLE	FLAGSTAFF	AZ	86001
LEONARD ALEXANDER T	2849 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
LEONARD JON D & KRISTI	PO BOX 2302	FLAGSTAFF	AZ	86003
LEY MICHAEL P & BRENDA K	2935 S PARDO CALLE	FLAGSTAFF	AZ	86001
LF RENTALS LLC	14654 S 25TH PL	PHOENIX	AZ	85048
LIANG JIANJIE & LI HONG	2305 W YAHOO TRL	PHOENIX	AZ	85085
LU JIAN	2686 W JACLYN DR	FLAGSTAFF	AZ	86001
LUCERO GREGORY A & NICHOLE M	2927 W PRESIDIO DR	FLAGSTAFF	AZ	86001
LUTTINEN TREVOR A	2942 S TEX LN	FLAGSTAFF	AZ	86001
MABBIT ROBERT E	2457 W POLLO CIRCLE	FLAGSTAFF	AZ	86001
MACE EMILY	2792 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MAGEE MARK LEE & BELEN	2670 W JACLYN DR	FLAGSTAFF	AZ	86001
MANYGOATS DEAN	2833 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MARKS TRUST DTD 04-22-20	1246 E OXFORD LN	GILBERT	AZ	85295
MARTINEZ JUAN	2818 SOUTH FLAGSTONE LN	FLAGSTAFF	AZ	86001
MARTUSCIELLO MARIO & MANDEE	4962 S TOPAZ RD	FLAGSTAFF	AZ	86005
MARTUSCIELLO MARIO F & MANDEE A	2813 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
MATHESON MAGGIE	2876 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MATSUOKA LAURIE	2853 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MCDOWELL DANNY & SHAWNEE	2604 N FOX RUN RD	FLAGSTAFF	AZ	86004
MCKIRDY JAMES FRANCIS & HEATHER	2884 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
MCLALUGHLIN JOSEPH & MICHELLE	2841 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MEINERS RICHARD A & TANIA J	221 INA ST PO BOX 60181	FAIRBANKS	AK	99706
MENDEL CHARLES & MICHELLE C	2757 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MICHALSKI CHARLES D & CINDY L	1117 RAINBOW AVE S	LAKE HAVASU CITY	AZ	86403
MIRAMONTE PRESIDIO LLC	2502 E RIVER RD	TUCSON	AZ	85718
MIRAMONTE PRESIDIO LLC	2502 E RIVER RD	TUCSON	AZ	85718
MISIOREK DANIEL A	2937 S CAMEL DR	FLAGSTAFF	AZ	86001
MORGAN JOHN L & DONNA M	2919 S PEPITA DR	FLAGSTAFF	AZ	86001
MORRELL ARMANDO F JR LIVING TRUST DTD 04-22-19	2768 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MOUNT MARILYN	2864 W PRESIDIO DR	FLAGSTAFF	AZ	86001
MOUNTAIN CREEK EST LLC	1464 E AMBERWOOD DR	PHOENIX	AZ	85048

PROPERTY OWNERS WITHIN 1,000-FEET (CONTINUED)				
PROPERTY OWNER	MAILING ADDRESS	CITY	STATE	ZIP
MOUNTAIN KEVIN P & HIGHLAND M	2063 E LANTANA DR	CHANDLER	AZ	85286
MUGO PATTI WAMUYU	2733 W JACLYN DR	FLAGSTAFF	AZ	86001
NANKIVELL DEBRA L	2918 S PARDO CALLE	FLAGSTAFF	AZ	86001
NORRIS CHAD W	2923 S PARDO CALLE DR	FLAGSTAFF	AZ	86001
NOTTINGHAM ROXANNE D & BURTON J JR	2892 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
NOYCE JODIE L	2901 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001
NUNLEY VAN A SR & SANDRA K	2917 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001
OHANA KRR TRUST DTD 09-09-13	PO BOX 18621	TUCSON	AZ	85731
OHLAU JAMES R	4721 E LAVENDAR LN	PHOENIX	AZ	85044
OTZEN LINDA M TRUST DTD 09-05-19	2910 S PEPITA DR	FLAGSTAFF	AZ	86001
PATCH EMILY	1000 W FOREST MEADOWS NO 250	FLAGSTAFF	AZ	86001
PATEL NIRAJA K	2958 S TEX LN	FLAGSTAFF	AZ	86001
PATEL SANJAY & CHETNA	2821 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86005
PAWLAK TIMOTHY J & LOREEN M	254 S PORT DR	GILBERT	AZ	85233
PENSCO TRUST COMPANY MASON T LUNDELL IRA	3317 S HIGLEY RD NO 114-497	GILBERT	AZ	85297
PERTEA GHEORGHE & MONICA	2919 W PRESIDIO DR	FLAGSTAFF	AZ	86001
PETIT BRENT & CASSANDRA	2412 W POLLO CIR	FLAGSTAFF	AZ	86001
PHILLIPS JAMES & MARGARET	6 INDIAN PAINTBRUSH DR	BOZEMAN	MT	59718
POGUE RICHARD ALLEN	2924 S CAMEL DR	FLAGSTAFF	AZ	86001
POOLE IAN	2714 W JACLYN DR	FLAGSTAFF	AZ	86001
PRENTICE JOHN M & THERESE J	2920 S PAIS DEL NORTE	FLAGSTAFF	AZ	86001
PRESIDIO IN THE PINES HOMEOWNER'S ASSOC INC	323 S RIVER RUN RD NO 1	FLAGSTAFF	AZ	86001
PRESSLEY ROY J & LILIANA NG	2896 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
PRISKORN CRAIG & DANA	28313 LAURA LA PLANTE DR	AGOURA HILLS	CA	91301
QUIGLEY THOMAS JAMES	600 AUBURN AVE	SIERRA MADRE	CA	91024
QUIMBY LEONARD	6700 WOODLANDS PARKWAY STE 230-268	SPRING	TX	77382
RAEL MICHAEL & ERICA	2805 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
RAILROAD SPRINGS 66 LLLP	1016 W UNIVERSITY AVE NO 203	FLAGSTAFF	AZ	86001
RALPH STEPHEN K & SANDRA E	2896 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
RALSTON BARBARA JO	2514 E HEATHERBRAE DR	PHOENIX	AZ	85016
REYNOLDS JULIA A	PO BOX 3944	FLAGSTAFF	AZ	86003
RHODS TRUST DTD 09-10-04	1405 STONE MEADOW DR	CAMARILLO	CA	93010
ROAN-ZABAR DONNA	2817 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
ROBB CHELSEA M	2872 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
ROBBINS JOHN ERICK	2917 S CAMEL DR	FLAGSTAFF	AZ	86001
ROBERTSON GAIL M	2749 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
ROHS LANCE G	2602 W JOSSELYN DR	FLAGSTAFF	AZ	86001
ROSENFELD RONALD B & TINA	126 PEACEABLE RIDGE RD	RIDGEFIELD	CT	6877
ROZELL TRUST DTD 12/1/11	6322 W MEGAN ST	CHANDLER	AZ	85226
RUSTY JAVELINA INVESTMENTS LLC	1220 E SEMINOLE DR	PHOENIX	AZ	85022
RYBKA JAMES S & JAN D	2857 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
SACHWITZ SCOTT PAUL	1171 W SUNRISE PL	CHANDLER	AZ	85248
SALCIDO ROBERTA KAY & ALFREDO RANDY	2761 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
SANDERSON VICTOR A & NANCY C	2812 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
SCHRAUFNAGEL GARY M & MARY JEAN	5816 E HERMOSA VISTA DR	MESA	AZ	85215
SCHROEDER CHRISTIAN	2722 W JACLYN DR	FLAGSTAFF	AZ	86001
SCOTT LIONEL & JESSICA	2806 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
SECUREPAY LLC	151 MELEKOMO PLACE	LAHAINA	HI	96761
SHAFFER ATTICUS	32515 SADDLE PEAK CT	ACTON	CA	93510
SHAO YONG	2836 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
SHAY ROLAND L	2927 S PEPITA DR	FLAGSTAFF	AZ	86001
SHERECK JON R & PAULINE K	2824 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
SHIFFER KRISTINE & ARRON	2690 W JACLYN DR	FLAGSTAFF	AZ	86001
SHILLING AARON E & HOLLY	2892 W PRESIDIO DR	FLAGSTAFF	AZ	86001
SIEG MATTHEW & ANTONINA	2903 W PRESIDIO DR	FLAGSTAFF	AZ	86001
SIMPSON HEATHER L	PO BOX 31183	FLAGSTAFF	AZ	86003
SMITH JEFFREY L	2899 W PRESIDIO DR	FLAGSTAFF	AZ	86001
SMITH TERRY E	2772 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
SNIDE THOMAS K & MARIE G	2922 S PEPITA DR	FLAGSTAFF	AZ	86001
ST LOUIS JAY & ANGELA	1391 W MAPLEWOOD ST	CHANDLER	AZ	85286
STEIN JEFFREY A & ABIGAIL	2817 S FLAGSTONE LN	FLAGSTAFF	AZ	86001
STEWART STEVIE M	6825 E PEARL ST	MESA	AZ	85207
STONER GAYLA M & THOMAS N	PO BOX 263	FLAGSTAFF	AZ	86002
STRAIN SEAN P & JANELLE J	2809 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
STROUT ERIN M	2913 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001
SUFIA BRANDON SIONE	3650 E LAKE MEAD BLVD NO 257	LAS VEGAS	NV	89115
SUMMERS SCOTT D & SUSAN M	8211 179TH PL NE	ARLINGTON	WA	98223
SWARUP VIMAL P	6040 LAUREL LOOP	FLAGSTAFF	AZ	86004
TAGUCHI NAOKO	2922 S TEX LN	FLAGSTAFF	AZ	86001
TEN ELENA	2730 W JACLYN DR	FLAGSTAFF	AZ	86001
THIESING JAMES W & CAROL A	2092 ASHBURTON WAY	MOUNT PLEASANT	SC	29466
THOMAS MATTHEW	2925 S CAMEL DR	FLAGSTAFF	AZ	86001
TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
TIMBER SKY COMMUNITY ASSOCIATION	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016
TOLBY ROY & MARJORIE	227 N TONTO TRL	PAYSON	AZ	85541

PROPERTY OWNERS WITHIN 1,000-FEET (CONTINUED)					
PROPERTY OWNER	MAILING ADDRESS	CITY	STATE	ZIP	
TSOSIE BRIAN L & JENNIFER P	2740 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
TURNER CODY C	2939 S PEPITA DR	FLAGSTAFF	AZ	86001	
TUTAY DANIEL J & ERIN M	2709 W JACLYN DR	FLAGSTAFF	AZ	86001	
TUTWILER THOMAS R	2888 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001	
UPSON BRENT W	3022 W NIGHT OWL LN	PHOENIX	AZ	85085	
URBANEK FAMILY REVOCABLE LIVING TRUST AMENDED 1-22-18	2020 W MUSKET PL	CHANDLER	AZ	85286	
VALLEN GARY & KIM	1655 N KITTREDGE RD	FLAGSTAFF	AZ	86001	
VAN DEN BURG ROBERT J & INGRID M	2765 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
VAN DER VEER KAREN	662 N PINE CLIFF DR	FLAGSTAFF	AZ	86001	
VAN HOY GARY R & MARY E	9660 W BENT TREE DR	PEORIA	AZ	85383	
VAN KAMPEN KOREY & AMANDA	2700 S WOODLANDS VILLAGE BLVD NO 300-228	FLAGSTAFF	AZ	86001	
VANDERMEULEN JOSHUA	2741 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
VASCASSENNO NICHOLAS S & SHARINA M	2911 S PEPITA DR	FLAGSTAFF	AZ	86001	
VERA KIMBERLY A & SALVADOR JR	2931 S PEPITA DR	FLAGSTAFF	AZ	86001	
VII LIVING TRUST DTD 06-12-13	3636 E SHOMI ST	PHOENIX	AZ	85044	
VP 66 & WOODY MOUNTAIN LLC	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016	
WALKER JOSHUA FORREST & KRISTLE MARIE	2682 W JACLYN DR	FLAGSTAFF	AZ	86001	
WALSH CATHERINE LIVING TRUST DTD 09-17-15	2868 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
WANDERLAND FLAGSTAFF LLC	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016	
WEIDINGER JOSEPH E & BECKY Y	2705 W JACLYN DR	FLAGSTAFF	AZ	86001	
WELLINS-NEUBERGER FAMILY TRUST DTD 05-05-16	11111 E SOREL LN	SCOTTSDALE	AZ	85259	
WERLEY JAKE P	250 N CIRCLE DR	FLAGSTAFF	AZ	86001	
WILSON JONATHAN S	2904 W PRESIDIO DR	FLAGSTAFF	AZ	86001	
WINBORNE VAUGHAN S JR & LISA M	PO BOX 1538	FLAGSTAFF	AZ	86002	
WINBURN BRIAN	PO BOX 2426	FLAGSTAFF	AZ	86003	
WINFREE KYLE N & VANESSA	2781 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
WOODRUFF JOHN	43258 W MARICOPA AVE	MARICOPA	AZ	85138	
WYATT JANICE L REVOCABLE LIVING TRUST DTD 10-27-2010	11087 N JOY FAITH DR	ORO VALLEY	AZ	85737	
XU QIANG	5045 S TOPAZ RD	FLAGSTAFF	AZ	86005	
ZERGER ADAM S & SARA K	2954 S TEX LN	FLAGSTAFF	AZ	86001	
ZETICH DONALD S & MARYANN	2928 W PRESIDIO DR	FLAGSTAFF	AZ	86001	
OTHER INTERESTED PARTIES					
ORGANIZATION/CONTACT	MAILING ADDRESS	CITY	STATE	ZIP	
VP66 & WOODY MOUNTAIN, LLC / TIMBER SKY	2502 E. CAMELBACK ROAD, STE. 214	PHOENIX	AZ	85016	
PRESIDIO IN THE PINES HOA	323 S RIVER RUN ROAD, NO. 1	FLAGSTAFF	AZ	86001	
RAILROAD SPRINGS 66, LLC	1016 W. UNIVERSITY AVENUE, NO. 203	FLAGSTAFF	AZ	86001	
FRIENDS OF FLAGSTAFF'S FUTURE	P.O. BOX 23462	FLAGSTAFF	AZ	86002	
NORTHERN ARIZONA BUILDING ASSOCIATION	1500 E CEDAR AVE	FLAGSTAFF	AZ	86004	
NORTHERN ARIZONA ASSOCIATION OF REALTORS ATTN: JEFFREY HERD	1515 E CEDAR AVE, STE. C-4	FLAGSTAFF	AZ	86004	
TISH BOGAN-OZMUN	5271 MOUNT PLEASANT DR	FLAGSTAFF	AZ	86004	
MARILYN WEISSMAN	1055 E APPLE WAY	FLAGSTAFF	AZ	86001	
COAST AND MOUNTAIN PROPERTIES ATTN: MAURY HERMAN	3 N LEROUX ST	FLAGSTAFF	AZ	86001	
NAT WHITE	1120 N ROCKRIDGE RD	FLAGSTAFF	AZ	86001	
CHARLIE SILVER	720 W ASPEN AVE	FLAGSTAFF	AZ	86001	
BETSY MCKELLAR	330 S ASH LANE	FLAGSTAFF	AZ	86004	
DAVID CARPENTER	495 S RIVER RUN, STE. 100	FLAGSTAFF	AZ	86001	
ARIZONA ARMY NATIONAL GUARD, AZAA-FMO ATTN: DORENDA COLEMAN	5636 E McDOWELL RD, M5330	PHOENIX	AZ	85008	
US NAVY, INTERGOVERNMENTAL BRANCH ATTN: MARY BETH DREUSIKE	850 PACIFIC HIGHWAY, BLDG. 1 - 5TH FLOOR, STE. 513	SAN DIEGO	CA	92132	
CELIA BAROTZ	3354 N CREST STREET	FLAGSTAFF	AZ	86001	
NORM WALLEN	3716 N GRANDVIEW	FLAGSTAFF	AZ	86004	
COCONINO COUNTY COMMUNITY DEVELOPMENT ATTN: JAY CHRISTELMAN	2500 N FORT VALLEY ROAD, BLDG. 1	FLAGSTAFF	AZ	86001-1287	
COCONINO COUNTY COMMUNITY DEVELOPMENT ATTN: JESS McNEELY	2500 N FORT VALLEY ROAD, BLDG. 1	FLAGSTAFF	AZ	86001-1287	
FLAGSTAFF LODGING, RESTAURANT & TOURISM ATTN: STEVE FINCH	P.O. BOX 30622	FLAGSTAFF	AZ	86003	
ADRIAN SKABELUND	819 WEST GRAND CANYON AVENEU	FLAGSTAFF	AZ	86001	
RACHEL BASS	3083 E. EASTERDAY LANE	FLAGSTAFF	AZ	86001	
TIFFANY ANTOL	211 W. ASPEN AVE.	FLAGSTAFF	AZ	86001	
COCONINO COUNTY	2500 N. FORT VALLEY ROAD	FLAGSTAFF	AZ	86001	
GAMMAGE & BURNHAM, PLC ATTN: NICK SOBRASKE	40 NORTH CENTRAL AVE, 20TH FLOOR	PHOENIX	AZ	85004	
SEPTEMBER 21, 2020 NEIGHBORHOOD MEETING ATTENDEES					
ATTENDEE NAME	ADDRESS	CITY	STATE	ZIP	
Ali Gulfaraz	4371 E. Savannah Circle	Flagstaff	AZ	86004	
Lauri Budzinski	2940 S. Camel Drive	Flagstaff	AZ	86001	
Gail Robertson	2749 W. Pico Del Monte Circle	Flagstaff	AZ	86001	
Michelle Kuzdas	2338 W. Mission Timber Circle	Flagstaff	AZ	86001	
Joe and Gianna Elms	2883 W. Patio del Presidio	Flagstaff	AZ	86001	
Jennifer Hampton	2741 W. Jaclyn Drive	Flagstaff	AZ	86001	
Amy Vogler	2398 W. Mission Timber Circle	Flagstaff	AZ	86001	
Linda Denham	3605 S. Lariat Loop	Flagstaff	AZ	86005	
Carlton Johnson	2845 W. Pico Del Monte Circle	Flagstaff	AZ	86001	

**SEPTEMBER 21, 2020 NEIGHBORHOOD MEETING ATTENDEES (CONTINUED)**

<b>ATTENDEE NAME</b>	<b>ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP</b>
Leslie Boulet	2898 W. Presidio Drive	Flagstaff	AZ	86004
Lisa Harris	2737 W. Jaclyn Drive	Flagstaff	AZ	86001
Cal Hamren	2896 W. Paz de Avenida	Flagstaff	AZ	86001
John and Therese Prentice	2920 S. Pais Del Norte	Flagstaff	AZ	86001
Jason Rohr	1601 E. Mountain View Avenue	Flagstaff	AZ	86001
Barbara DuPaul	2569 W. Clement Circle	Flagstaff	AZ	86001
Anthony Williams	3460 S. Skye Way	Flagstaff	AZ	86005
Lisa Galyen	2601 W. Josselyn Drive	Flagstaff	AZ	86001
Sue Bunch	2760 W. Pico Del Monte Circle	Flagstaff	AZ	86001
Christina George	2959 S. Pepita Drive	Flagstaff	AZ	86001
Robert Davis	2912 W. Paz de Avenida	Flagstaff	AZ	86001
Lori McCorry and David Moorehead	2462 W. Clement Circle	Flagstaff	AZ	86001
John Morgan	2919 S. Pepita Drive	Flagstaff	AZ	86001
Linda Otzen	2910 S. Pepita Drive	Flagstaff	AZ	86001
Richard Pogue	2924 S. Camel Drive	Flagstaff	AZ	86001
Brian Hanabury	2949 S. Camel Drive	Flagstaff	AZ	86001
AraLynn Nowack	2341 W. Mission Timber Cir	Flagstaff	AZ	86001



September 22, 2020

Dear Property Owner, Resident, Neighborhood Association, or Interested Citizen,

Vintage Partners is proposing to develop Sky Cottages, a new residential community located on the approximate 20 acres located at the northwest corner of Woody Mountain Road and the McAllister Ranch Road alignment ("Sky Cottages' Property").

Vintage Partners is responsible for developing forward thinking and award winning projects throughout the State for more than 30 years. One of those projects includes the highly successful Timber Sky master-planned community, located just west of the Sky Cottages' Property, which is considered the finest Dark Skies compliant master-planned community in the State. See enclosed Context Map. Sky Cottages, planned as an extension of Timber Sky, will be an accessible, athletic, outdoor, affordable build-to-rent community with 199 one (1) and two (2) story units, comprised of 1, 1.5, 2, and 3 bedrooms. The majority of the units are detached, similar to that of traditional single-family residential community, such as Presidio in the Pines. As such, Sky Cottage residents will be able to have more of a single-family residential experience, with the benefit of a professionally-managed and highly amenitized community that will include expansive amenities, active and passive open spaces, and trail connections throughout. See enclosed Site Plan and Conceptual Building Elevations.

In order to facilitate development of Sky Cottages, an application was filed with the City to rezone the Property from RR RPO-Rural Residential, Resource Protection Overlay to HR RPO-High Density Residential, Resource Protection Overlay. The requested HR RPO zoning designation is the same zoning that governs the majority of Presidio in the Pines.

We have scheduled a follow-up virtual neighborhood meeting to discuss the development proposal. The details for the meeting are as follows:

Meeting: Sky Cottages Virtual Neighborhood Meeting

Location: Meeting to be held virtually in Zoom.

Link: [gblaw.com/skycottages](http://gblaw.com/skycottages)

Date and Time: Monday, October 5, 2020 at 6:00 PM



Instructions for Access to Virtual Neighborhood Meeting. The neighborhood meeting will be held on the Zoom video conferencing platform, which can be accessed through your internet browser or through the Zoom app on your mobile device via the above link. For registration assistance, please contact Ellie Brundige at (602) 256-4409 or [ebrundige@gblaw.com](mailto:ebrundige@gblaw.com). We respectfully request that you register a minimum 1-hour prior to the start of the neighborhood meeting.

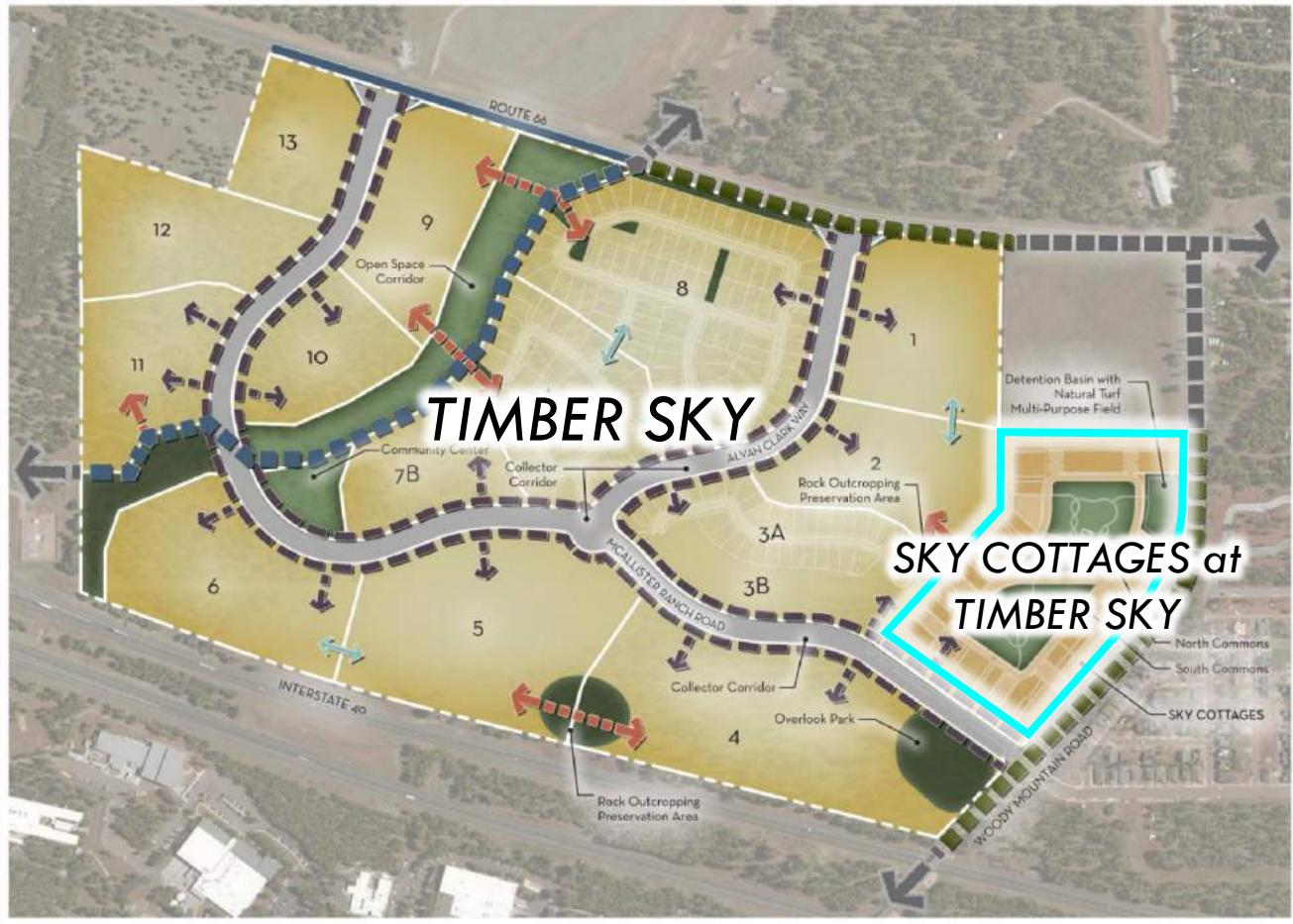
Please note, to access the meeting, you will be required to register. The meeting registration information will be part of the public record and shared with the City. We will also use this information to keep you informed of future meetings and hearings via email, as well as traditional mail. At the beginning of the neighborhood meeting, we will provide a brief overview of the meeting procedures and instructions for asking questions once the formal presentation has concluded.

Please be advised that future meetings and hearings before the Planning & Zoning Commission and City Council will be scheduled to review this case. Specific meeting and hearing dates have not yet been set. An additional notification letter will be provided identifying the date, time, and location of these meetings and hearings.

The City Planner assigned to this case is Tiffany Antol. Ms. Antol can be reached at (928) 213-2605 or [TAntol@flagstaffaz.gov](mailto:TAntol@flagstaffaz.gov). She can answer your questions regarding the City's review and hearing process. Should you have any questions in the meantime, or are unable to attend the virtual neighborhood meeting and would like more information, please do not hesitate to contact our representative, Lindsay Schube, at (602) 256-4471 or [lschube@gblaw.com](mailto:lschube@gblaw.com). Thank you.

Sincerely,

Walter Crutchfield  
Vintage Partners



- LEGEND**
- Civic Open Space
  - General Open Space
  - Sky Cottages at Timber Sky
  - 6' Detached Concrete Walk
  - Internal Vehicular and Pedestrian Connection
  - 5' Detached Concrete Walk
  - Internal Pedestrian Connection
  - Internal Vehicular Connection
  - FUTS Trail - Paved (10')
  - FUTS Loop Trail - Unpaved (10' Meandering)
  - FUTS Trail - By Others

**SKY COTTAGES at TIMBER SKY**  
PZ-20-00153

**VINTAGE**  
PARTNERS

**GAMMAGE BURNHAM**  
Attorneys at Law

**SWI**  
Singapore & Weidinger, Inc.

**Mosaic**

**NOKKUS DESIGN**  
Pty. Ltd. (Singapore) Private Limited

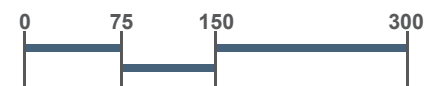
SHEET NAME:  
CIRCULATION DIAGRAM

SHEET NO.  
4 of 32

OVERALL SITE PLAN



NORTH



SCALE: 1"=150'





39-41



**SKY COTTAGES**  
at **TIMBER SKY**  
PZ-20-00153

**V**  
VINTAGE  
PARTNERS

**GAMMAGE  
BURNHAM**  
Attorneys at Law

**SWI**  
Shepherd & Associates, Inc.

**Mosaic**

**NORRIS DESIGN**  
PLANNING | ARCHITECTURE | INTERIOR DESIGN

SHEET NAME:  
3-BD UNIT  
EXTERIOR VIEW

SHEET NO.:  
21 of 32



**SKY COTTAGES**  
at **TIMBER SKY**

PZ-20-00153



**GAMMAGE  
BURNHAM**  
Attorneys at Law



SHEET NAME:  
OVERALL  
PERSPECTIVE  
SHEET NO.  
3 of 32

## **TAB D**

### **Attendee Registration Sheet from Second Virtual Neighborhood Meeting**

**October 5, 2020 Second Virtual Neighborhood Meeting Attendees**

<b>Attendee Name</b>	<b>Address</b>	<b>City</b>	<b>State</b>	<b>ZIP</b>
Manny Gurrola	10838 N. 10th Place	Phoenix	AZ	85020
Clinton Whiting	5350 Tanager Road	Flagstaff	AZ	86004
Ali Gulfaraz	4371 E. Savannah Circle	Flagstaff	AZ	86001
Paul Ferry	2333 W. Mission Timber Circle	Flagstaff	AZ	86001
Brent Ballard	10838 N. 10th Place	Phoenix	AZ	85020
Marvin Kissinger	2597 W. Josselyn Drive	Flagstaff	AZ	86001
Robert Davis	2912 W. Paz de Avenida	Flagstaff	AZ	86001
Brian Wilson	2389 S. Cliffview Street	Flagstaff	AZ	86001
Ara Nowack	2341 W. Mission Timber Circle	Flagstaff	AZ	86001
Tom Boggess	3572 S. Cheryl Drive	Flagstaff	AZ	86001
Jeff Smith	2899 W. Presidio Drive	Flagstaff	AZ	86001
Hartley Rodie	3720 E. Earll Drive	Phoenix	AZ	85018
Carmen Neuberger	11111 E. Sorrel Lane	Scottsdale	AZ	85259
Sal Vera	2931 S. Pepita Drive	Flagstaff	AZ	86001
Richard Pogue	2924 S. Camel Drive	Flagstaff	AZ	86001
Debra Nankivell	2918 S. Pardo Calle	Flagstaff	AZ	86001
Jason Rohr	1601 E. Mountain View Avenue	Flagstaff	AZ	86001
Karen Sorensen	2640 W. Kiltie Lane	Flagstaff	AZ	86005
Lori McCorry	2462 W. Clement Cirle	Flagstaff	AZ	86001
Barbara Fisher	3405 S. Skye Way	Flagstaff	AZ	86005
PJ Aerts	3280 S. Skye Way	Flagstaff	AZ	86005
David Grogg	PO Box 2097	Flagstaff	AZ	86003

# TAB E

## Follow-Up Notifications

PROPERTY OWNERS WITHIN 1,000-FEET					
PROPERTY OWNER	MAILING ADDRESS	CITY	STATE	ZIP	
THOMAS REVOCABLE TRUST DTD 05-16-06	2938 S TEX LN	FLAGSTAFF	AZ	86001	
2909 PRESIDIO PINES LLC	9733 W MOUNTAIN VIEW RD	PEORIA	AZ	85345	
ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005	
ALVIN THOMAS R & SHELLEY B	3973 N FOUNDER CIR	BUCKEYE	AZ	85396	
AMESTOY FAMILY TRUST DTD 07-24-02	1112 DYSART DR	BANNING	CA	92220	
ATIEMO ANDREW & RENE A	2810 E HEMBERG DR	FLAGSTAFF	AZ	86004	
AUSTIN GARRETT	2943 S PARDO CALLE DR	FLAGSTAFF	AZ	86001	
BAILEY TRUST DTD 07-14-08	1552 W SALTSAGE DR	PHOENIX	AZ	85045	
BAKER RYAN W & JEANETTE N	2923 S PEPITA DR	FLAGSTAFF	AZ	86001	
BALL DANIEL A & JENNIFER A	2817 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
BAMFORD FRANCIS J	2947 S PEPITA DR	FLAGSTAFF	AZ	86001	
BECENTI MICHAEL M	2717 W JACLYN DR	FLAGSTAFF	AZ	86001	
BETHKE MCKENZIE RAE	2574 W JOSSELYN DR	FLAGSTAFF	AZ	86001	
BHAKTA RAJENDRABHAI D & SHILABEN R	8383 E STATE ROUTE 69	PRESCOTT VALLEY	AZ	86314	
BIGGERSTAFF PATRICK & WHITNEY	2943 S PEPITA DR	FLAGSTAFF	AZ	86001	
BLAIN NICHOLAS R & PATRICIA K	2879 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001	
BLOOMBERG KIM E	2436 W ROCK ISLAND AVE	FLAGSTAFF	AZ	86001	
BOATENG DAVID FORBI	2593 W JOSSELYN DR	FLAGSTAFF	AZ	86001	
BOOTH BRIAN T & MEAGAN J	2876 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001	
BOYD JOHN L III & KAREN E	3980 WESTWOOD CIR	FLAGSTAFF	AZ	86005	
BRIGHAM STEVEN M & ERNA V	2927 S PARDO CALLE DR	FLAGSTAFF	AZ	86001	
BRINK JOHN I & EILEEN P	2864 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
BROCKIE MILLIE	PO BOX 1608	TUBA CITY	AZ	86045	
BROTSCHI LIVING TRUST DTD 06-01-09	21497 E CALDWELLS WAY	QUEEN CREEK	AZ	85142	
BROWN PETER TRUST DTD 04-18-18	2921 S PAIS DEL NORTE	FLAGSTAFF	AZ	86001	
BROWN TIMOTHY E	2820 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
BROWN YAZZIE MARKS	2946 S TEX LN	FLAGSTAFF	AZ	86001	
BRUCE BENJAMIN	2662 W JACLYN DR	FLAGSTAFF	AZ	86001	
CANTOR PROPERTIES LLC	3199 RAINBOW RIDGE DR	PRESCOTT	AZ	86303	
CARPENTER RYAN	2920 W PRESIDIO DR	FLAGSTAFF	AZ	86001	
CARROLL VICKI J LIVING TRUST UA DTD 6-16-14	2880 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001	
CASEMAN DELAYNE LOIS	2840 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
CHAN HELEN	2706 W JACLYN DR	FLAGSTAFF	AZ	86001	
CHANG JONATHAN P	2900 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86005	
CHEN ZHONG	32 W QUARTZ RD	FLAGSTAFF	AZ	86005	
COLEMAN AARON O	2947 S PARDO CALLE DR	FLAGSTAFF	AZ	86001	
CONGER MCCANTS FAMILY TRUST DTD 09-16-06	2923 W PRESIDIO DR	FLAGSTAFF	AZ	86001	
COOK BRENDON & APRIL	2916 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001	
CORRIGAN LOGAN	2674 W JACLYN DR	FLAGSTAFF	AZ	86001	
COTTAGES AT CEDAR RIDGE HOMEOWNERS ASSOCIATION INC	813 N BEAVER ST NO 5	FLAGSTAFF	AZ	86001	
CURTIS MATTHEW	2187 W MISSION TIMBER CIR	FLAGSTAFF	AZ	86001	
DAVILA MIGUEL	2828 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
DAVIS ROBERT	2921 W CARAVAGGIO LN	PHOENIX	AZ	85086	
DECKER FRANCIS P & DEBORAH A REVOCABLE TRUST	23205 COSO	MISSION VIEJO	CA	92692	
DEFRATES DAMON J & DEBORA A	2813 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
DEHOAG CRYSTAL F & ZENAS	2955 S PEPITA DR	FLAGSTAFF	AZ	86001	
DOBA DERRICK R & CHRISTIAN M	2921 S CAMEL DR	FLAGSTAFF	AZ	86001	
DOHSE TIMOTHY & CHELSEA NICOLE	2195 W MISSION TIMBER CIR	FLAGSTAFF	AZ	86001	
DUNMYER SANDRA CHRISTINE	2900 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001	
ECKEL ALISE	2802 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001	
ELLIS PRESTON COLE & JAYME	2445 W POLLO CIR	FLAGSTAFF	AZ	86001	
FALLON ANDREW M & RACHAEL R	2860 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
FARRELL DAVID	8375 S PEPITA DR	FLAGSTAFF	AZ	86001	
FILIPPI JORDON & AMANDA	2744 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
FINCH ROBERT R & JANE LOVELY	2453 W POLLO CIR	FLAGSTAFF	AZ	86001	
FISCHENICH MIKE & PAULA	3515 W STRAWBERRY ROAN	FLAGSTAFF	AZ	86005	
FISHER DUSTIN BRYANT	2801 S FLAGSTONE LN	FLAGSTAFF	AZ	86001	
FLAGSTAFF CITY OF	211 W ASPEN AVE	FLAGSTAFF	AZ	86001	
FOGLE DONALD & CAROLE	2236 MANZANITA DR	LAKE SIDE	AZ	85929	
FORD JEFFREY B	9428 E HERITAGE TRAIL DR	SCOTTSDALE	AZ	85255	
FOREMAN SCOTT H & LISA P	2900 W PRESIDIO DR	FLAGSTAFF	AZ	86001	
FOX WAYNE A & ALICE M	536 W RANCHO DR	PHOENIX	AZ	85013	
FREDETTE ANNETTE & ANTHONY	2191 W MISSION TIMBER CIR	FLAGSTAFF	AZ	86001	
FREEDLUND LANCE D	2816 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
FREITAG RONALD E	2802 S FLAGSTONE LN	FLAGSTAFF	AZ	86001	
FUSSELMAN BRIDGET & DEREK	2805 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001	
GALLEGOS LORETTA	2811 S FLAGSTONE LN	FLAGSTAFF	AZ	86001	
GAO JUNFENG	5112 LE MICCINE TERR	SAN JOSE	CA	95129	
GERAGHTY TRUST DTD 5/12/16	4750 DEVONPORT CIR	YORBA LINDA	CA	92887	
GIAMBALVO PAUL A	PO BOX 2745	FLAGSTAFF	AZ	86003	
GIBBS JOHN G	2956 S CAMEL DR	FLAGSTAFF	AZ	86001	
GIESKE FAMILY LIVING TRUST DTD 02-04-19	3306 N 81ST ST	AMES	AZ	85207	
GILBERTSON ADELA	1550 KELLY ST	REDLANDS	CA	92374	
GILLIAM JOSEPH K & ANNA L	24112 SNIPE LN	LAGUNA NIGUEL	CA	92677	
GOWANLOCK MICHAEL	2932 S PAIS DEL NORTE	FLAGSTAFF	AZ	86001	
GRACEY AMY M & CHRISTOPHER A	2814 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001	
GREENE JEFFREY L & SHIRLEY A	2892 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001	
GRIFFIS AUDREY L	165 LAKESHORE RD	GILBERTSVILLE	KY	42044	
GROOM NICHOLAS & MICHELLE	2957 S CAMEL DR	FLAGSTAFF	AZ	86001	

PROPERTY OWNERS WITHIN 1,000-FEET (CONTINUED)				
PROPERTY OWNER	MAILING ADDRESS	CITY	STATE	ZIP
GROSVENOR FAMILY REVOCABLE LIVING TRUST DTD 03-23-17	2221 FIERO DR	LAS VEGAS	NV	89134
HADUCH ARTHUR	19157 N CATHEDRAL POINT CT	SURPRISE	AZ	85387
HAGENSEN RACHEL L	20014 34TH AVE SE	BOTHELL	WA	98012
HAMMER JOSEPH J & SARAH E	2935 S PEPITA DR	FLAGSTAFF	AZ	86004
HAMMER SARAH	2907 W PRESIDIO DR	FLAGSTAFF	AZ	86001
HAMREN CAL & ELLYN A	20735 N 62ND DR	GLENDALE	AZ	85308
HANNIGAN ANTHONY B	2928 S CAMEL DR	FLAGSTAFF	AZ	86001
HANSON POLLY & GARRY	2572 W JOSSELYN DR	FLAGSTAFF	AZ	86001
HARRIS LISA L & TINCER	PO BOX 1782	KAIBETO	AZ	86053
HELIN BUILDING LLC	1800 N HEREFORD DR	FLAGSTAFF	AZ	86001
HERROCK ANDREW J	2912 ESMERELDA DR	BULLHEAD CITY	AZ	86429
HIDDEN HOLLOW MANUFACTURED HOME COMMUNITY LLC	101 MAIN ST NO 280	HUNTINGTON BEACH	CA	92648
HILL RYAN	2852 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
HOFFMAN ELIZABETH A	2925 S PAIS DEL NORTE	FLAGSTAFF	AZ	86001
HU SHI WEN & CHIN HWA	2887 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
J & L FAMILY TRUST DTD 02-23-16	2797 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
JACOBSON COURTNEY LYN LUQUE	2205 W MISSION TIMBER CIR	FLAGSTAFF	AZ	86001
JAHN FAMILY LIVING TRUST DTD 10-20-14	536 E AMES PL	PHOENIX	AZ	85004
JAMES SUSAN	2725 W JACLYN DR	FLAGSTAFF	AZ	86001
JOHNSON BRANDON S	2951 S PEPITA DR	FLAGSTAFF	AZ	86001
JOHNSON JOSHUA J & ALLISON H	2559 W JOSSELYN DR	FLAGSTAFF	AZ	86001
KEEP SHAWN & SUNNY	3775 S BRIDLE PATH	FLAGSTAFF	AZ	86005
KELLY DENNIS	2729 W JACLYN DR	FLAGSTAFF	AZ	86001
KEMPNER ALAN & CYNTHIA	7415 E LINCOLN DR	SCOTTSDALE	AZ	85250
KENMORE JANE H	2562 W JOSSELYN DR	FLAGSTAFF	AZ	86001
KENMORE JANE H & NEAL R	2562 W JOSSELYN DR	FLAGSTAFF	AZ	86001
KIEHNE PAUL & LINDA R	2897 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001
KIM ELIJAH	2793 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
KUEFFER-MAYORGA TAMARA ELIZABETH	1475 S VAIL RD	CAMP VERDE	AZ	86322
LAURITSEN DENNY & ANNETTE	2951 S PARDO CALLE	FLAGSTAFF	AZ	86001
LEONARD ALEXANDER T	2849 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
LEONARD JON D & KRISTI	PO BOX 2302	FLAGSTAFF	AZ	86003
LEY MICHAEL P & BRENDA K	2935 S PARDO CALLE	FLAGSTAFF	AZ	86001
LF RENTALS LLC	14654 S 25TH PL	PHOENIX	AZ	85048
LIANG JIANJIE & LI HONG	2305 W YAHOO TRL	PHOENIX	AZ	85085
LU JIAN	2686 W JACLYN DR	FLAGSTAFF	AZ	86001
LUCERO GREGORY A & NICHOLE M	2927 W PRESIDIO DR	FLAGSTAFF	AZ	86001
LUTTINEN TREVOR A	2942 S TEX LN	FLAGSTAFF	AZ	86001
MABBIT ROBERT E	2457 W POLLO CIRCLE	FLAGSTAFF	AZ	86001
MACE EMILY	2792 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MAGEE MARK LEE & BELEN	2670 W JACLYN DR	FLAGSTAFF	AZ	86001
MANYGOATS DEAN	2833 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MARKS TRUST DTD 04-22-20	1246 E OXFORD LN	GILBERT	AZ	85295
MARTINEZ JUAN	2818 SOUTH FLAGSTONE LN	FLAGSTAFF	AZ	86001
MARTUSCIELLO MARIO & MANDEE	4962 S TOPAZ RD	FLAGSTAFF	AZ	86005
MARTUSCIELLO MARIO F & MANDEE A	2813 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
MATHESON MAGGIE	2876 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MATSUOKA LAURIE	2853 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MCDOWELL DANNY & SHAWNEE	2604 N FOX RUN RD	FLAGSTAFF	AZ	86004
MCKIRDY JAMES FRANCIS & HEATHER	2884 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
MCLALUGHLIN JOSEPH & MICHELLE	2841 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MEINERS RICHARD A & TANIA J	221 INA ST PO BOX 60181	FAIRBANKS	AK	99706
MENDEL CHARLES & MICHELLE C	2757 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MICHALSKI CHARLES D & CINDY L	1117 RAINBOW AVE S	LAKE HAVASU CITY	AZ	86403
MIRAMONTE PRESIDIO LLC	2502 E RIVER RD	TUCSON	AZ	85718
MISIOREK DANIEL A	2937 S CAMEL DR	FLAGSTAFF	AZ	86001
MORRELL ARMANDO F JR LIVING TRUST DTD 04-22-19	2768 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MOUNT MARILYN	2864 W PRESIDIO DR	FLAGSTAFF	AZ	86001
MOUNTAIN CREEK EST LLC	1464 E AMBERWOOD DR	PHOENIX	AZ	85048
MOUNTAIN KEVIN P & HIGHLAND M	2063 E LANTANA DR	CHANDLER	AZ	85286
MUGO PATTI WAMUYU	2733 W JACLYN DR	FLAGSTAFF	AZ	86001
NORRIS CHAD W	2923 S PARDO CALLE DR	FLAGSTAFF	AZ	86001
NOTTINGHAM ROXANNE D & BURTON J JR	2892 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
NOYCE JODIE L	2901 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001
NUNLEY VAN A SR & SANDRA K	2917 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001
OHANA KRR TRUST DTD 09-09-13	PO BOX 18621	TUCSON	AZ	85731
OHLAU JAMES R	4721 E LAVENDAR LN	PHOENIX	AZ	85044
PATCH EMILY	1000 W FOREST MEADOWS NO 250	FLAGSTAFF	AZ	86001
PATEL NIRAJA K	2958 S TEX LN	FLAGSTAFF	AZ	86001
PATEL SANJAY & CHETNA	2821 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86005
PAWLAK TIMOTHY J & LOREEN M	254 S PORT DR	GILBERT	AZ	85233
PENSCO TRUST COMPANY MASON T LUNDELL IRA	3317 S HIGLEY RD NO 114-497	GILBERT	AZ	85297
PERTEA GHEORGHE & MONICA	2919 W PRESIDIO DR	FLAGSTAFF	AZ	86001
PETIT BRENT & CASSANDRA	2412 W POLLO CIR	FLAGSTAFF	AZ	86001
PHILLIPS JAMES & MARGARET	6 INDIAN PAINTBRUSH DR	BOZEMAN	MT	59718
POOLE IAN	2714 W JACLYN DR	FLAGSTAFF	AZ	86001
PRESIDIO IN THE PINES HOMEOWNER'S ASSOC INC	323 S RIVER RUN RD NO 1	FLAGSTAFF	AZ	86001
PRESSLEY ROY J & LILIANA NG	2896 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
PRISKORN CRAIG & DANA	28313 LAURA LA PLANTE DR	AGOURA HILLS	CA	91301

PROPERTY OWNERS WITHIN 1,000-FEET (CONTINUED)					
PROPERTY OWNER	MAILING ADDRESS	CITY	STATE	ZIP	
QUIGLEY THOMAS JAMES	600 AUBURN AVE	SIERRA MADRE	CA	91024	
QUIMBY LEONARD	6700 WOODLANDS PARKWAY STE 230-268	SPRING	TX	77382	
RAEL MICHAEL & ERICA	2805 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
RAILROAD SPRINGS 66 LLLP	1016 W UNIVERSITY AVE NO 203	FLAGSTAFF	AZ	86001	
RALPH STEPHEN K & SANDRA E	2896 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
RALSTON BARBARA JO	2514 E HEATHERBRAE DR	PHOENIX	AZ	85016	
REYNOLDS JULIA A	PO BOX 3944	FLAGSTAFF	AZ	86003	
RHODS TRUST DTD 09-10-04	1405 STONE MEADOW DR	CAMARILLO	CA	93010	
ROAN-ZABAR DONNA	2817 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001	
ROBB CHELSEA M	2872 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001	
ROBBINS JOHN ERICK	2917 S CAMEL DR	FLAGSTAFF	AZ	86001	
ROHS LANCE G	2602 W JOSSELYN DR	FLAGSTAFF	AZ	86001	
ROSENFELD RONALD B & TINA	126 PEACEABLE RIDGE RD	RIDGEFIELD	CT	6877	
ROZELL TRUST DTD 12/1/11	6322 W MEGAN ST	CHANDLER	AZ	85226	
RUSTY JAVELINA INVESTMENTS LLC	1220 E SEMINOLE DR	PHOENIX	AZ	85022	
RYBKA JAMES S & JAN D	2857 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
SACHWITZ SCOTT PAUL	1171 W SUNRISE PL	CHANDLER	AZ	85248	
SALCIDO ROBERTA KAY & ALFREDO RANDY	2761 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
SANDERSON VICTOR A & NANCY C	2812 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
SCHRAUFNAGEL GARY M & MARY JEAN	5816 E HERMOSA VISTA DR	MESA	AZ	85215	
SCHROEDER CHRISTIAN	2722 W JACLYN DR	FLAGSTAFF	AZ	86001	
SCOTT LIONEL & JESSICA	2806 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001	
SECUREPAY LLC	151 MELEKOMO PLACE	LAHAINA	HI	96761	
SHAFFER ATTICUS	32515 SADDLE PEAK CT	ACTON	CA	93510	
SHAO YONG	2836 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
SHAY ROLAND L	2927 S PEPITA DR	FLAGSTAFF	AZ	86001	
SHERECK JON R & PAULINE K	2824 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
SHIFFER KRISTINE & ARRON	2690 W JACLYN DR	FLAGSTAFF	AZ	86001	
SHILLING AARON E & HOLLY	2892 W PRESIDIO DR	FLAGSTAFF	AZ	86001	
SIEG MATTHEW & ANTONINA	2903 W PRESIDIO DR	FLAGSTAFF	AZ	86001	
SIMPSON HEATHER L	PO BOX 31183	FLAGSTAFF	AZ	86003	
SMITH TERRY E	2772 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
SNIDE THOMAS K & MARIE G	2922 S PEPITA DR	FLAGSTAFF	AZ	86001	
ST LOUIS JAY & ANGELA	1391 W MAPLEWOOD ST	CHANDLER	AZ	85286	
STEIN JEFFREY A & ABIGAIL	2817 S FLAGSTONE LN	FLAGSTAFF	AZ	86001	
STEWART STEVIE M	6825 E PEARL ST	MESA	AZ	85207	
STONER GAYLA M & THOMAS N	PO BOX 263	FLAGSTAFF	AZ	86002	
STRAIN SEAN P & JANELLE J	2809 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
STROUT ERIN M	2913 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001	
SUFIA BRANDON SIONE	3650 E LAKE MEAD BLVD NO 257	LAS VEGAS	NV	89115	
SUMMERS SCOTT D & SUSAN M	8211 179TH PL NE	ARLINGTON	WA	98223	
SWARUP VIMAL P	6040 LAUREL LOOP	FLAGSTAFF	AZ	86004	
TAGUCHI NAOKO	2922 S TEX LN	FLAGSTAFF	AZ	86001	
TEN ELENA	2730 W JACLYN DR	FLAGSTAFF	AZ	86001	
THIESING JAMES W & CAROL A	2092 ASHBURTON WAY	MOUNT PLEASANT	SC	29466	
THOMAS MATTHEW	2925 S CAMEL DR	FLAGSTAFF	AZ	86001	
TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301	
TIMBER SKY COMMUNITY ASSOCIATION	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016	
TOLBY ROY & MARJORIE	227 N TONTO TRL	PAYSON	AZ	85541	
TSOSIE BRIAN L & JENNIFER P	2740 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
TURNER CODY C	2939 S PEPITA DR	FLAGSTAFF	AZ	86001	
TUTAY DANIEL J & ERIN M	2709 W JACLYN DR	FLAGSTAFF	AZ	86001	
TUTWILER THOMAS R	2888 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001	
UPSON BRENT W	3022 W NIGHT OWL LN	PHOENIX	AZ	85085	
URBANEK FAMILY REVOCABLE LIVING TRUST AMENDED 1-22-18	2020 W MUSKET PL	CHANDLER	AZ	85286	
VALLEN GARY & KIM	1655 N KITTREDGE RD	FLAGSTAFF	AZ	86001	
VAN DEN BURG ROBERT J & INGRID M	2765 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
VAN DER VEER KAREN	662 N PINE CLIFF DR	FLAGSTAFF	AZ	86001	
VAN HOY GARY R & MARY E	9660 W BENT TREE DR	PEORIA	AZ	85383	
VAN KAMPEN KOREY & AMANDA	2700 S WOODLANDS VILLAGE BLVD NO 300-228	FLAGSTAFF	AZ	86001	
VANDERMEULEN JOSHUA	2741 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
VASCASSENNO NICHOLAS S & SHARINA M	2911 S PEPITA DR	FLAGSTAFF	AZ	86001	
VIJ LIVING TRUST DTD 06-12-13	3636 E SHOMI ST	PHOENIX	AZ	85044	
VP 66 & WOODY MOUNTAIN LLC	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016	
WALKER JOSHUA FORREST & KRISTLE MARIE	2682 W JACLYN DR	FLAGSTAFF	AZ	86001	
WALSH CATHERINE LIVING TRUST DTD 09-17-15	2868 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
WANDERLAND FLAGSTAFF LLC	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016	
WEIDINGER JOSEPH E & BECKY Y	2705 W JACLYN DR	FLAGSTAFF	AZ	86001	
WERLEY JAKE P	250 N CIRCLE DR	FLAGSTAFF	AZ	86001	
WILSON JONATHAN S	2904 W PRESIDIO DR	FLAGSTAFF	AZ	86001	
WINBORNE VAUGHAN S JR & LISA M	PO BOX 1538	FLAGSTAFF	AZ	86002	
WINBURN BRIAN	PO BOX 2426	FLAGSTAFF	AZ	86003	
WINFREE KYLE N & VANESSA	2781 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
WOODRUFF JOHN	43258 W MARICOPA AVE	MARICOPA	AZ	85138	
WYATT JANICE L REVOCABLE LIVING TRUST DTD 10-27-2010	11087 N JOY FAITH DR	ORO VALLEY	AZ	85737	
XU QIANG	5045 S TOPAZ RD	FLAGSTAFF	AZ	86005	
ZERGER ADAM S & SARA K	2954 S TEX LN	FLAGSTAFF	AZ	86001	
ZETICH DONALD S & MARYANN	2928 W PRESIDIO DR	FLAGSTAFF	AZ	86001	

OTHER INTERESTED PARTIES				
PROPERTY OWNER	MAILING ADDRESS	CITY	STATE	ZIP
VP66 & WOODY MOUNTAIN, LLC / TIMBER SKY	2502 E. CAMELBACK ROAD, STE. 214	PHOENIX	AZ	85016
PRESIDIO IN THE PINES HOA	323 S RIVER RUN ROAD, NO. 1	FLAGSTAFF	AZ	86001
RAILROAD SPRINGS 66, LLC	1016 W. UNIVERSITY AVENUE, NO. 203	FLAGSTAFF	AZ	86001
FRIENDS OF FLAGSTAFF'S FUTURE	P.O. BOX 23462	FLAGSTAFF	AZ	86002
NORTHERN ARIZONA BUILDING ASSOCIATION	1500 E CEDAR AVE	FLAGSTAFF	AZ	86004
NORTHERN ARIZONA ASSOCIATION OF REALTORS (ATTN: JEFFREY HERD)	1515 E CEDAR AVE, STE. C-4	FLAGSTAFF	AZ	86004
TISH BOGAN-OZMUN	5271 MOUNT PLEASANT DR	FLAGSTAFF	AZ	86004
MARILYN WEISSMAN	1055 E APPLE WAY	FLAGSTAFF	AZ	86001
COAST AND MOUNTAIN PROPERTIES (ATTN: MAURY HERMAN)	3 N LEROUX ST	FLAGSTAFF	AZ	86001
NAT WHITE	1120 N ROCKRIDGE RD	FLAGSTAFF	AZ	86001
CHARLIE SILVER	720 W ASPEN AVE	FLAGSTAFF	AZ	86001
BETSY MCKELLAR	330 S ASH LANE	FLAGSTAFF	AZ	86004
DAVID CARPENTER	495 S RIVER RUN, STE. 100	FLAGSTAFF	AZ	86001
ARIZONA ARMY NATIONAL GUARD, AZAA-FMO (ATTN: DORENDA COLEMAN)	5636 E McDOWELL RD, M5330	PHOENIX	AZ	85008
US NAVY, INTERGOVERNMENTAL BRANCH (ATTN: MARY BETH DREUSIKE)	850 PACIFIC HIGHWAY, BLDG. 1 - 5TH FLOOR, STE. 513	SAN DIEGO	CA	92132
CELIA BAROTZ	3354 N CREST STREET	FLAGSTAFF	AZ	86001
NORM WALLEN	3716 N GRANDVIEW	FLAGSTAFF	AZ	86004
COCONINO COUNTY COMMUNITY DEVELOPMENT (ATTN: JAY CHRISTELMAN)	2500 N FORT VALLEY ROAD, BLDG. 1	FLAGSTAFF	AZ	86001-1287
COCONINO COUNTY COMMUNITY DEVELOPMENT (ATTN: JESS McNEELY)	2500 N FORT VALLEY ROAD, BLDG. 1	FLAGSTAFF	AZ	86001-1287
FLAGSTAFF LODGING, RESTAURANT & TOURISM (ATTN: STEVE FINCH)	P.O. BOX 30622	FLAGSTAFF	AZ	86003
ADRIAN SKABELUND	819 WEST GRAND CANYON AVENEU	FLAGSTAFF	AZ	86001
RACHEL BASS	3083 E. EASTERDAY LANE	FLAGSTAFF	AZ	86001
TIFFANY ANTOL	211 W. ASPEN AVE.	FLAGSTAFF	AZ	86001
COCONINO COUNTY	2500 N. FORT VALLEY ROAD	FLAGSTAFF	AZ	86001
GAMMAGE & BURNHAM, PLC ATTN: NICHOLAS A. SOBRASKE	40 NORTH CENTRAL AVE, 20TH FLOOR	PHOENIX	AZ	85004

GAMMAGE & BURNHAM, PLC

ATTORNEYS AT LAW

FORTY NORTH CENTRAL AVENUE

20TH FLOOR

PHOENIX, ARIZONA 85004

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December 22, 2020

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Lindsay C. Schube  
lschube@gblaw.com

Dear Neighbor or Resident:

This letter is intended to provide you an update on Sky Cottages, a proposed residential development on the approximate 23 acres of property located at the northwest corner of Woody Mountain Road and the McAllister Ranch Road alignment (south of the SWC of US 66 and Woody Mountain Road) ("Property"). Sky Cottages is planned as a 202 unit residential community, consisting of 1, 2, and 3 bedroom units, oriented around an expansive amenity and open space area, trail system, and common courtyards, as well as civic space available for public use.

As you may be aware, earlier this year, Vintage Partners, the master developer of Timber Sky, filed rezone application case no. PZ-20-00153 ("Application") requesting to change the zoning on the Property to High Density Residential-Resource Protection Overlay (HR-RPO)—the zoning district that governs much of Presidio in the Pines. The HR-RPO zoning district allows up to 22 dwelling units per acre (du/ac).

Sky Cottages is proposed within an overall density of 8.75 du/ac—which is significantly less than the 22 du/ac allowed under the HR-RPO zoning district. Accordingly, we have amended the Application to rezone the Property to Medium Density Residential-Resource Protection Overlay (MR-RPO), which has a maximum density of 9 du/ac. The MR-RPO is intended for more moderate densities, such as that proposed for Sky Cottages, and is a less intense zoning district than HR-RPO.

Should you have any questions or would like additional information, please do not hesitate to contact me at **(602) 256-4471** or **lschube@gblaw.com**. Thank you.

Sincerely yours,

GAMMAGE & BURNHAM



By  
Lindsay C. Schube

LCS/nas  
Enclosures

**September 21, 2020 and October 5, 2020 Neighborhood Meeting Attendees**

<b>Attendee Name</b>	<b>Mailing Address</b>	<b>City</b>	<b>State</b>	<b>ZIP</b>
Ali Gulfaraz	4371 E Savannah Circle	Flagstaff	AZ	86004
Lauri Budzinski	2940 S Camel Drive	Flagstaff	AZ	86001
Gail Robertson	2749 W Pico Del Monte Circle	Flagstaff	AZ	86001
Michelle Kuzdas	2338 W Mission Timber Circle	Flagstaff	AZ	86001
Joe and Gianna Elms	2883 W Patio del Presidio	Flagstaff	AZ	86001
Jennifer Hampton	2741 W Jaclyn Drive	Flagstaff	AZ	86001
Amy Vogler	2398 W Mission Timber Circle	Flagstaff	AZ	86001
Linda Denham	3605 S Lariat Loop	Flagstaff	AZ	86005
Carlton Johnson	2845 W Pico Del Monte Circle	Flagstaff	AZ	86001
Leslie Boulet	2898 W Presidio Drive	Flagstaff	AZ	86004
Lisa Harris	2737 W Jaclyn Drive	Flagstaff	AZ	86001
Cal Hamren	2896 W Paz de Avenida	Flagstaff	AZ	86001
John and Therese Prentice	2920 S Pais Del Norte	Flagstaff	AZ	86001
Jason Rohr	1601 E Mountain View Avenue	Flagstaff	AZ	86001
Barbara DuPaul	2569 W Clement Circle	Flagstaff	AZ	86001
Anthony Williams	3460 S Skye Way	Flagstaff	AZ	86005
Lisa Galyen	2601 W Josselyn Drive	Flagstaff	AZ	86001
Sue Bunch	2760 W Pico Del Monte Circle	Flagstaff	AZ	86001
Christina George	2959 S Pepita Drive	Flagstaff	AZ	86001
Robert Davis	2912 W Paz de Avenida	Flagstaff	AZ	86001
Lori McCorry and David Moorehead	2462 W Clement Circle	Flagstaff	AZ	86001
John Morgan	2919 S Pepita Drive	Flagstaff	AZ	86001
Linda Otzen	2910 S Pepita Drive	Flagstaff	AZ	86001
Richard Pogue	2924 S Camel Drive	Flagstaff	AZ	86001
Brian Hanabury	2949 S Camel Drive	Flagstaff	AZ	86001
AraLynn Nowack	2341 W Mission Timber Cir	Flagstaff	AZ	86001
Manny Gurrola	10838 N 10th Place	Phoenix	AZ	85020
Clinton Whiting	5350 Tanager Road	Flagstaff	AZ	86004
Paul Ferry	2333 W Mission Timber Circle	Flagstaff	AZ	86001
Brent Ballard	10838 N 10th Place	Phoenix	AZ	85020
Marvin Kissinger	2597 W Josselyn Drive	Flagstaff	AZ	86001
Brian Wilson	2389 S Cliffview Street	Flagstaff	AZ	86001
Tom Boggess	3572 S Cheryl Drive	Flagstaff	AZ	86001
Jeff Smith	2899 W Presidio Drive	Flagstaff	AZ	86001
Hartley Rodie	3720 E Earll Drive	Phoenix	AZ	85018
Carmen Neuberger	11111 E Sorrel Lane	Scottsdale	AZ	85259
Sal Vera	2931 S Pepita Drive	Flagstaff	AZ	86001
Debra Nankivell	2918 S Pardo Calle	Flagstaff	AZ	86001
Karen Sorensen	2640 W Kiltie Lane	Flagstaff	AZ	86005
Barbara Fisher	3405 S Skye Way	Flagstaff	AZ	86005
PJ Aerts	3280 S Skye Way	Flagstaff	AZ	86005
David Grogg	PO Box 2097	Flagstaff	AZ	86003
Gammage & Burnham, PLC Attn: Nicholas A. Sobraske	40 N. Central Avenue, 20th Floor	Phoenix	AZ	85004

GAMMAGE & BURNHAM, PLC

ATTORNEYS AT LAW

FORTY NORTH CENTRAL AVENUE

20TH FLOOR

PHOENIX, ARIZONA 85004

TELEPHONE (602) 256-0566  
FACSIMILE (602) 256-4475

December 22, 2020

WRITER'S DIRECT LINE  
(602) 256-4471

Lindsay C. Schube  
lschube@gblaw.com

Dear Neighbor or Resident:

Thank you for your interest in Sky Cottages, a proposed residential development on the approximate 23 acres of property located at the northwest corner of Woody Mountain Road and the McAllister Ranch Road alignment (south of the SWC of US 66 and Woody Mountain Road) ("Property"). Sky Cottages is planned as a 202 unit, residential community, consisting of 1, 2, and 3 bedroom units, oriented around an expansive amenity and open space area, trail system, and common courtyards, as well as civic space available for public use.

You are receiving this letter because you registered for and attended one or both of our virtual neighborhoods meetings held on September 21<sup>st</sup> and October 5<sup>th</sup>, 2020. This letter is intended to provide you an update on Sky Cottages. If you will recall, earlier this year, Vintage Partners filed rezone application case no. PZ-20-00153 ("Application") requesting to change the zoning on the Property to High Density Residential-Resource Protection Overlay (HR-RPO)—the zoning district that governs much of Presidio in the Pines. The HR-RPO zoning district allows up to 22 dwelling units per acre (du/ac).

Sky Cottages is proposed within an overall density of 8.75 du/ac—which is significantly less than the 22 du/ac allowed under the HR-RPO zoning district. Accordingly, we have amended the Application to rezone the Property to Medium Density Residential-Resource Protection Overlay (MR-RPO), which has a maximum density of 9 du/ac. The MR-RPO is intended for more moderate densities, such as that proposed for Sky Cottages, and is a less intense zoning district than HR-RPO.

Finally, in accordance with the City's requirements for neighborhood meeting proceedings, please find enclosed a summary of the virtual neighborhood meetings.

Should you have any questions or would like additional information, please do not hesitate to contact me at **(602) 256-4471** or **lschube@gblaw.com**. We sincerely appreciate you taking the time to learn about the proposal.

Sincerely yours,

GAMMAGE & BURNHAM



By

Lindsay C. Schube

LCS/nas  
Enclosures

## **SKY COTTAGES—Summary of Neighborhood Meetings**

+/- 23 acres located south of the NWC of Woody Mountain Rd. and the McAllister Ranch Rd. alignment  
Case No.: PZ-20-00153

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### **Neighborhood Meeting**

Representatives from Vintage Partners and its Development Team held two virtual neighborhood meetings. The first meeting was held on September 21, 2020; the second meeting was held on October 5, 2020. The format for both meetings included a Formal Presentation followed by Public Participation, which included questions/answers, comments, and discussion. In general, the Formal Presentation included an overview of the: (1) application; (2) site plan; (3) building elevations, architecture, and materials; (4) existing and proposed Zoning; (5) Regional Plan land use designation; (6) open space, amenities, and trail connections; (7) landscaping; (8) community management; and (9) rezoning process and schedule.

### **Responses to Public Participation**

*Student Housing.* Sky Cottages responds to a new and growing housing trend—single-family for rent. Instead of residents opting for a traditional multi-story apartment complex, Sky Cottages provides the single-family residential experience, with the benefit of a professionally managed and amenitized community. The housing product and unit mix (1, 2, and 3-bedroom units) within Sky Cottages is specifically designed for professionals, move-up families (e.g., families starting to have kids), empty nesters, and everyone in between. In addition, there is a strong demand for this product from Boomer households who are downsizing from their owned single-family home, but that do not want to live in a traditional apartment. Sky Cottages is purposely designed to look, feel, and function like a single-family residential community.

Sky Cottages is not intended to be attractive to students. There are specific programming elements and amenities that student housing projects provide—pool and spa, clubhouse, game room, study room, fitness center, and lobby, as well as units with 4 and 5 bedrooms. Sky Cottages features none of these student-targeted amenities. At Sky Cottages, there is a focus on open space and recreation, pedestrian connectivity, and the natural environment.

As the master developer of Timber Sky and owner/operator of Sky Cottages, Vintage Partners has a long-term, vested interest in the management and operation of Sky Cottages—it is in Vintage Partners' best interest to manage Sky Cottages in a safe and secure manner. Vintage Partners recognizes that there are concerns related to student housing within Presidio in the Pines. Unlike Presidio in the Pines, Sky Cottages will have day-to-day professional property management. Property management and enforcement are much easier with one professional management company, rather than by hundreds of different property owners. Additionally, professional management has proven to increase property values and safety for residents and surrounding property owners, as well as positively contribute to a stable community.

Vintage Partners has also voluntarily committed to participating in the Police Department's Crime Free Multi-Housing Program.

## **SKY COTTAGES—Summary of Neighborhood Meetings**

+/- 23 acres located south of the NWC of Woody Mountain Rd. and the McAllister Ranch Rd. alignment  
Case No.: PZ-20-00153

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Regional Plan, Zoning, and Density. The Regional Plan is a City voter-approved document used to help guide policy decisions in the City, including decisions related to land use. The Regional Plan designates the majority of Sky Cottages as “Suburban” land use, with a small portion designated as “Urban-Activity Center.” The “Suburban” land use designation calls for a density of up to 13 dwelling units per acre. The “Urban Activity Center” land use designation, closer to the intersection of US 66 and Woody Mountain Road, calls for even greater intensity and density of commercial and/or residential uses.

The Development Team is proposing to rezone the subject property to Medium Density Residential-Resource Protection Overlay (MR-RPO), a zoning district intended for more moderate density, such as that proposed for Sky Cottages. Sky Cottages is planned to provide an overall density of approximately 8.75 dwelling units per acre. The lot count and attendant density is consistent with the Regional Plan, compatible with Presidio in the Pines, and offers an appropriate land use transition away from the intensity and density designated for the hard corner of US 66 and Woody Mountain Road.

Traffic. The Development Team submitted a Traffic Impact Analysis (TIA) to the City for review. The TIA accounted for existing traffic, as well as traffic post-construction of Sky Cottages, in the adjoining and greater surrounding area. Vintage Partners has committed to making a financial contribution to a traffic signal at the intersection of US 66 and Woody Mountain Road. Additionally, Vintage Partners will be improving Woody Mountain Road and McAllister Ranch Road adjacent to the project’s frontage. Through Timber Sky and Sky Cottages, Vintage Partners has made and will make a significant contribution to the improvement in roadways and traffic in the area.

Parking. Sky Cottages will comply with all parking requirements in the Zoning Code. All resident and guest parking will be provided on-site, within Sky Cottages, via dedicated surface parking areas or car ports. Sky Cottages will be professionally managed, which will include parking monitoring, to ensure there is no parking “spill-over” into Presidio in the Pines.

Vintage Partners has committed to providing 3 electric vehicle ready charging stations, as well as a significant number of bicycle parking spaces (interior, covered, etc.), consistent with the goals and policies of the City’s Climate Action and Adaptation Plan. Additionally, Vintage Partners has committed to providing 2 on-demand electric vehicles for use by qualified residents of Sky Cottages, further reducing the need for a vehicle and Sky Cottage’s carbon footprint.

Resource Protection Overlay. Sky Cottages will comply with all Resource Protection Overlay requirements in the Zoning Code. The Resource Protection Overlay is a zoning district overlay that promotes incorporating natural features of a property into a project as they can provide important benefits. Sky Cottages has been carefully planned to preserve as many large, mature Ponderosa Pine trees as possible. The tree resources on the property have been surveyed and accounted for in accordance with the City’s Zoning Code.

Property Values. With their significant investment in Timber Sky and its associated infrastructure improvements, Vintage has a vested interest in maintaining the long-term quality of this area. The best way to preserve the quality and character of the area is through high occupancy rates and effective property management, which Vintage intends to accomplish by offering a home product that appeals to people in various stages of life, and proactive property management that sets a high standard of conduct for residents.

# **TAB F**

## **Affidavit of Public Hearing Sign Posting**

**Affidavit of Sign Posting**

Case Number: PZ-20-00153

Project Name: Sky Cottages

Applicant Name: Vintage Partners

Location: SWC of US 66 and Woody Mountain Road

In order to assist in providing adequate notice to interested parties and to meet Arizona State Statute, the **applicant** for public hearings in the City of Flagstaff shall post signs as prescribed by Section 10-20.30.080 of the City of Flagstaff Zoning Code. **It shall be the responsibility of the applicant to erect and to maintain the sign on the subject property 15 days prior to the hearing and to update the hearing information on the sign until final disposition of the case. It shall also be the responsibility of the applicant to remove the sign within seven (7) days after the final disposition of the case.**

I confirm that the site has been posted as detailed in Section 10-20.30.080 of the Zoning Code as well as the Public Hearing Notice Sign Specifications included in this application for the case above and the site was posted at least fifteen (15) days prior to the public hearing.

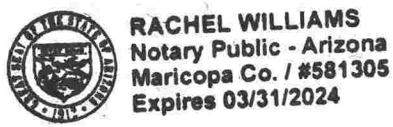
See attached date stamped photo exhibit of posted signs.

Applicant's/Representative's Signature: [Handwritten Signature]

SUBSCRIBED AND SWORN before me this 29th day of December, 2020 by:

[Handwritten Signature]  
Notary Public

My Commission Expires:  
3/31/24





# **TAB G**

## **Affidavit of Public Hearing Mailing Notification**

Affidavit of Notifications to Affected Property Owners

Case Number: PZ-20-00153

Project Name: Sky Cottages

Applicant Name: Vintage Partners

Location: SWC of US 66 and Woody Mountain Road

In order to assist in providing adequate notice to interested parties and to meet Arizona State Statute, the **applicant** for public hearings in the City of Flagstaff shall notify affected property owners as prescribed by Section 10-20.30.080 of the City of Flagstaff Zoning Code. **It shall be the responsibility of the applicant to establish a list of the names and addresses of persons who require notification of a public hearing as established in sections 10-20.30.60.(A).3, 10-20.30.60.(B), and 10-20.30.60.(C) of the Zoning Code, and mail a notice of required public hearing via first class mail to each of the persons on the list referenced above no later than 15 days prior to the public hearing date. It shall also be the responsibility of the applicant to submit a notarized copy of the mailing list to the Director prior to the fifteenth day before the public hearing date.**

I confirm that the public hearing notifications were mailed as detailed in Section 10-20.30.080 of the City of Flagstaff Zoning Code at least fifteen (15) days prior to the public hearing.

Applicant's/Representative's Signature: 

SUBSCRIBED AND SWORN before me this 29th day of December, 2020 by:

  
Notary Public

My Commission Expires:

3/31/24



**RACHEL WILLIAMS**  
Notary Public - Arizona  
Maricopa Co. / #581305  
Expires 03/31/2024

PROPERTY OWNERS WITHIN 1,000-FEET				
PROPERTY OWNER	MAILING ADDRESS	CITY	STATE	ZIP
THOMAS REVOCABLE TRUST DTD 05-16-06	2938 S TEX LN	FLAGSTAFF	AZ	86001
2909 PRESIDIO PINES LLC	9733 W MOUNTAIN VIEW RD	PEORIA	AZ	85345
ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
ABBOTT-RHOTON INVESTMENTS L L C	3605 S FLAGSTAFF RANCH RD	FLAGSTAFF	AZ	86005
ALVIN THOMAS R & SHELLEY B	3973 N FOUNDER CIR	BUCKEYE	AZ	85396
AMESTOY FAMILY TRUST DTD 07-24-02	1112 DYSART DR	BANNING	CA	92220
ATIEMO ANDREW & RENE A	2810 E HEMBERG DR	FLAGSTAFF	AZ	86004
AUSTIN GARRETT	2943 S PARDO CALLE DR	FLAGSTAFF	AZ	86001
BAILEY TRUST DTD 07-14-08	1552 W SALTSAGE DR	PHOENIX	AZ	85045
BAKER RYAN W & JEANETTE N	2923 S PEPITA DR	FLAGSTAFF	AZ	86001
BALL DANIEL A & JENNIFER A	2817 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
BALLARD BRENT R REVOCABLE TRUST DTD 10-17-03	10838 N 10TH PL	PHOENIX	AZ	85020
BAMFORD FRANCIS J	2947 S PEPITA DR	FLAGSTAFF	AZ	86001
BECENTI MICHAEL M	2717 W JACLYN DR	FLAGSTAFF	AZ	86001
BETHKE MCKENZIE RAE	2574 W JOSSELYN DR	FLAGSTAFF	AZ	86001
BHAKTA RAJENDRABHAI D & SHILABEN R	8383 E STATE ROUTE 69	PRESCOTT VALLEY	AZ	86314
BIGGERSTAFF PATRICK & WHITNEY	2943 S PEPITA DR	FLAGSTAFF	AZ	86001
BLAIN NICHOLAS R & PATRICIA K	2879 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
BLOOMBERG KIM E	2436 W ROCK ISLAND AVE	FLAGSTAFF	AZ	86001
BOATENG DAVID FORBI	2593 W JOSSELYN DR	FLAGSTAFF	AZ	86001
BOOTH BRIAN T & MEAGAN J	2876 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
BOYD JOHN L III & KAREN E	3980 WESTWOOD CIR	FLAGSTAFF	AZ	86005
BRIGHAM STEVEN M & ERNA V	2927 S PARDO CALLE DR	FLAGSTAFF	AZ	86001
BRINK JOHN I & EILEEN P	2864 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
BROCKIE MILLIE	PO BOX 1608	TUBA CITY	AZ	86045
BROTSCHI LIVING TRUST DTD 06-01-09	21497 E CALDWELLS WAY	QUEEN CREEK	AZ	85142
BROWN PETER TRUST DTD 04-18-18	2921 S PAIS DEL NORTE	FLAGSTAFF	AZ	86001
BROWN TIMOTHY E	2820 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
BROWN YAZZIE MARKS	2946 S TEX LN	FLAGSTAFF	AZ	86001
BRUCE BENJAMIN	2662 W JACLYN DR	FLAGSTAFF	AZ	86001
BUDZINSKI LAUREN M	2940 S CAMEL DR	FLAGSTAFF	AZ	86001
BUNCH CHRISTOPHER E & SUZANNA T	2760 W PICO EL MONTE CIR	FLAGSTAFF	AZ	86001
CANTOR PROPERTIES LLC	3199 RAINBOW RIDGE DR	PRESCOTT	AZ	86303
CARPENTER RYAN	2920 W PRESIDIO DR	FLAGSTAFF	AZ	86001
CARROLL VICKI J LIVING TRUST UA DTD 6-16-14	2880 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
CASEMAN DELAYNE LOIS	2840 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
CHAN HELEN	2706 W JACLYN DR	FLAGSTAFF	AZ	86001
CHANG JONATHAN P	2900 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86005
CHEN ZHONG	32 W QUARTZ RD	FLAGSTAFF	AZ	86005
COLEMAN AARON O	2947 S PARDO CALLE DR	FLAGSTAFF	AZ	86001
CONGER MCCANTS FAMILY TRUST DTD 09-16-06	2923 W PRESIDIO DR	FLAGSTAFF	AZ	86001
COOK BRENDON & APRIL	2916 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001
CORRIGAN LOGAN	2674 W JACLYN DR	FLAGSTAFF	AZ	86001
COTTAGES AT CEDAR RIDGE HOMEOWNERS ASSOCIATION INC	813 N BEAVER ST NO 5	FLAGSTAFF	AZ	86001
CURTIS MATTHEW	2187 W MISSION TIMBER CIR	FLAGSTAFF	AZ	86001
DAVILA MIGUEL	2828 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
DAVIS FAMILY TRUST DTD 07-30-18	2912 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001
DAVIS ROBERT	2921 W CARAVAGGIO LN	PHOENIX	AZ	85086
DECKER FRANCIS P & DEBORAH A REVOCABLE TRUST	23205 COSO	MISSION VIEJO	CA	92692
DEFRATES DAMON J & DEBORA A	2813 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
DEHOAG CRYSTAL F & ZENAS	2955 S PEPITA DR	FLAGSTAFF	AZ	86001
DOBA DERRICK R & CHRISTIAN M	2921 S CAMEL DR	FLAGSTAFF	AZ	86001
DOHSE TIMOTHY & CHELSEA NICOLE	2195 W MISSION TIMBER CIR	FLAGSTAFF	AZ	86001
DUNMYER SANDRA CHRISTINE	2900 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
ECKEL ALISE	2802 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
ELLIS PRESTON COLE & JAYME	2445 W POLLO CIR	FLAGSTAFF	AZ	86001
ELMS GIANNA AGATA & JOE L	2883 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
FALLON ANDREW M & RACHAEL R	2860 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
FARRELL DAVID	8375 S PEPITA DR	FLAGSTAFF	AZ	86001
FILIPPI JORDON & AMANDA	2744 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
FINCH ROBERT R & JANE LOVELY	2453 W POLLO CIR	FLAGSTAFF	AZ	86001
FISCHENICH MIKE & PAULA	3515 W STRAWBERRY ROAN	FLAGSTAFF	AZ	86005
FISHER DUSTIN BRYANT	2801 S FLAGSTONE LN	FLAGSTAFF	AZ	86001
FLAGSTAFF CITY OF	211 W ASPEN AVE	FLAGSTAFF	AZ	86001
FLAGSTAFF CITY OF	211 W ASPEN AVE	FLAGSTAFF	AZ	86001
FLAGSTAFF CITY OF	211 W ASPEN AVE	FLAGSTAFF	AZ	86001
FOGLE DONALD & CAROLE	2236 MANZANITA DR	LAKE SIDE	AZ	85929
FORD JEFFREY B	9428 E HERITAGE TRAIL DR	SCOTTSDALE	AZ	85255
FOREMAN SCOTT H & LISA P	2900 W PRESIDIO DR	FLAGSTAFF	AZ	86001
FOX WAYNE A & ALICE M	536 W RANCHO DR	PHOENIX	AZ	85013
FREDETTE ANNETTE & ANTHONY	2191 W MISSION TIMBER CIR	FLAGSTAFF	AZ	86001
FREEDLUND LANCE D	2816 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
FREITAG RONALD E	2802 S FLAGSTONE LN	FLAGSTAFF	AZ	86001
FUSSELMAN BRIDGET & DEREK	2805 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
GALLEGOS LORETTA	2811 S FLAGSTONE LN	FLAGSTAFF	AZ	86001
GALYEN LISA A	2601 W JOSSELYN DR	FLAGSTAFF	AZ	86001
GAO JUNFENG	5112 LE MICCINE TERR	SAN JOSE	CA	95129

PROPERTY OWNERS WITHIN 1,000-FEET (CONTINUED)				
PROPERTY OWNER	MAILING ADDRESS	CITY	STATE	ZIP
GEORGE ALLEN JOSEPH & CHRISTINA MARY	2959 S PEPITA DR	FLAGSTAFF	AZ	86001
GERAGHTY TRUST DTD 5/12/16	4750 DEVONPORT CIR	YORBA LINDA	CA	92887
GIAMBALVO PAUL A	PO BOX 2745	FLAGSTAFF	AZ	86003
GIBBS JOHN G	2956 S CAMEL DR	FLAGSTAFF	AZ	86001
GIESKE FAMILY LIVING TRUST DTD 02-04-19	3306 N 81ST ST	MESA	AZ	85207
GILBERTSON ADELA	1550 KELLY ST	REDLANDS	CA	92374
GILLIAM JOSEPH K & ANNA L	24112 SNIPE LN	LAGUNA NIGUEL	CA	92677
GOWANLOCK MICHAEL	2932 S PAIS DEL NORTE	FLAGSTAFF	AZ	86001
GRACEY AMY M & CHRISTOPHER A	2814 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
GREENE JEFFREY L & SHIRLEY A	2892 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
GRIFFIS AUDREY L	165 LAKESHORE RD	GILBERTSVILLE	KY	42044
GROOM NICHOLAS & MICHELLE	2957 S CAMEL DR	FLAGSTAFF	AZ	86001
GROSVENOR FAMILY REVOCABLE LIVING TRUST DTD 03-23-17	2221 FIERO DR	LAS VEGAS	NV	89134
HADUCH ARTHUR	19157 N CATHEDRAL POINT CT	SURPRISE	AZ	85387
HAGENSEN RACHEL L	20014 34TH AVE SE	BOTHELL	WA	98012
HAMMER JOSEPH J & SARAH E	2935 S PEPITA DR	FLAGSTAFF	AZ	86004
HAMMER SARAH	2907 W PRESIDIO DR	FLAGSTAFF	AZ	86001
HAMPTON JEFFREY KIRK & JENNIFER M	2741 W JACLYN DR	FLAGSTAFF	AZ	86001
HAMREN CAL & ELLYN A	20735 N 62ND DR	GLENDALE	AZ	85308
HANABURY BRIAN & MARY	2949 S CAMEL DR	FLAGSTAFF	AZ	86001
HANNIGAN ANTHONY B	2928 S CAMEL DR	FLAGSTAFF	AZ	86001
HANSON POLLY & GARRY	2572 W JOSSELYN DR	FLAGSTAFF	AZ	86001
HARRIS LISA L & TINCER	PO BOX 1782	KAIBETO	AZ	86053
HELIN BUILDING LLC	1800 N HEREFORD DR	FLAGSTAFF	AZ	86001
HERROCK ANDREW J	2912 ESMERELDA DR	BULLHEAD CITY	AZ	86429
HIDDEN HOLLOW MANUFACTURED HOME COMMUNITY LLC	101 MAIN ST NO 280	HUNTINGTON BEACH	CA	92648
HILL RYAN	2852 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
HOFFMAN ELIZABETH A	2925 S PAIS DEL NORTE	FLAGSTAFF	AZ	86001
HU SHI WEN & CHIN HWA	2887 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
J & L FAMILY TRUST DTD 02-23-16	2797 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
JACOBSON COURTNEY LYN LUQUE	2205 W MISSION TIMBER CIR	FLAGSTAFF	AZ	86001
JAHN FAMILY LIVING TRUST DTD 10-20-14	536 E AMES PL	PHOENIX	AZ	85004
JAMES SUSAN	2725 W JACLYN DR	FLAGSTAFF	AZ	86001
JOHNSON BRANDON S	2951 S PEPITA DR	FLAGSTAFF	AZ	86001
JOHNSON CARLTON & MARTHA JAMES	2845 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
JOHNSON JOSHUA J & ALLISON H	2559 W JOSSELYN DR	FLAGSTAFF	AZ	86001
KEEP SHAWN & SUNNY	3775 S BRIDLE PATH	FLAGSTAFF	AZ	86005
KELLY DENNIS	2729 W JACLYN DR	FLAGSTAFF	AZ	86001
KEMPNER ALAN & CYNTHIA	7415 E LINCOLN DR	SCOTTSDALE	AZ	85250
KENMORE JANE H	2562 W JOSSELYN DR	FLAGSTAFF	AZ	86001
KENMORE JANE H & NEAL R	2562 W JOSSELYN DR	FLAGSTAFF	AZ	86001
KIEHNE PAUL & LINDA R	2897 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001
KIM ELIJAH	2793 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
KISSINGER MARVIN & ILEANA LIVING TRUST DTD 04-05-02	2597 W JOSSELYN DR	FLAGSTAFF	AZ	86001
KUEFFER-MAYORGA TAMARA ELIZABETH	1475 S VAIL RD	CAMP VERDE	AZ	86322
LAURITSEN DENNY & ANNETTE	2951 S PARDO CALLE	FLAGSTAFF	AZ	86001
LEONARD ALEXANDER T	2849 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
LEONARD JON D & KRISTI	PO BOX 2302	FLAGSTAFF	AZ	86003
LEY MICHAEL P & BRENDA K	2935 S PARDO CALLE	FLAGSTAFF	AZ	86001
LF RENTALS LLC	14654 S 25TH PL	PHOENIX	AZ	85048
LIANG JIANJIE & LI HONG	2305 W YAHOO TRL	PHOENIX	AZ	85085
LU JIAN	2686 W JACLYN DR	FLAGSTAFF	AZ	86001
LUCERO GREGORY A & NICHOLE M	2927 W PRESIDIO DR	FLAGSTAFF	AZ	86001
LUTTINEN TREVOR A	2942 S TEX LN	FLAGSTAFF	AZ	86001
MABBIT ROBERT E	2457 W POLLO CIRCLE	FLAGSTAFF	AZ	86001
MACE EMILY	2792 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MAGEE MARK LEE & BELEN	2670 W JACLYN DR	FLAGSTAFF	AZ	86001
MANYGOATS DEAN	2833 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MARKS TRUST DTD 04-22-20	1246 E OXFORD LN	GILBERT	AZ	85295
MARTINEZ JUAN	2818 SOUTH FLAGSTONE LN	FLAGSTAFF	AZ	86001
MARTUSCIELLO MARIO & MANDEE	4962 S TOPAZ RD	FLAGSTAFF	AZ	86005
MARTUSCIELLO MARIO F & MANDEE A	2813 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
MATHESON MAGGIE	2876 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MATSUOKA LAURIE	2853 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MCDOWELL DANNY & SHAWNEE	2604 N FOX RUN RD	FLAGSTAFF	AZ	86004
MCKIRDY JAMES FRANCIS & HEATHER	2884 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
MCLALUGHLIN JOSEPH & MICHELLE	2841 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MEINERS RICHARD A & TANIA J	221 INA ST PO BOX 60181	FAIRBANKS	AK	99706
MENDEL CHARLES & MICHELLE C	2757 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MICHALSKI CHARLES D & CINDY L	1117 RAINBOW AVE S	LAKE HAVASU CITY	AZ	86403
MIRAMONTE PRESIDIO LLC	2502 E RIVER RD	TUCSON	AZ	85718
MIRAMONTE PRESIDIO LLC	2502 E RIVER RD	TUCSON	AZ	85718
MISIOREK DANIEL A	2937 S CAMEL DR	FLAGSTAFF	AZ	86001
MORGAN JOHN L & DONNA M	2919 S PEPITA DR	FLAGSTAFF	AZ	86001
MORRELL ARMANDO F JR LIVING TRUST DTD 04-22-19	2768 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
MOUNT MARILYN	2864 W PRESIDIO DR	FLAGSTAFF	AZ	86001
MOUNTAIN CREEK EST LLC	1464 E AMBERWOOD DR	PHOENIX	AZ	85048

PROPERTY OWNERS WITHIN 1,000-FEET (CONTINUED)				
PROPERTY OWNER	MAILING ADDRESS	CITY	STATE	ZIP
MOUNTAIN KEVIN P & HIGHLAND M	2063 E LANTANA DR	CHANDLER	AZ	85286
MUGO PATTI WAMUYU	2733 W JACLYN DR	FLAGSTAFF	AZ	86001
NANKIVELL DEBRA L	2918 S PARDO CALLE	FLAGSTAFF	AZ	86001
NORRIS CHAD W	2923 S PARDO CALLE DR	FLAGSTAFF	AZ	86001
NOTTINGHAM ROXANNE D & BURTON J JR	2892 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
NOYCE JODIE L	2901 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001
NUNLEY VAN A SR & SANDRA K	2917 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001
OHANA KRR TRUST DTD 09-09-13	PO BOX 18621	TUCSON	AZ	85731
OHLAU JAMES R	4721 E LAVENDAR LN	PHOENIX	AZ	85044
OTZEN LINDA M TRUST DTD 09-05-19	2910 S PEPITA DR	FLAGSTAFF	AZ	86001
PATCH EMILY	1000 W FOREST MEADOWS NO 250	FLAGSTAFF	AZ	86001
PATEL NIRAJA K	2958 S TEX LN	FLAGSTAFF	AZ	86001
PATEL SANJAY & CHETNA	2821 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86005
PAWLAK TIMOTHY J & LOREEN M	254 S PORT DR	GILBERT	AZ	85233
PENSCO TRUST COMPANY MASON T LUNDELL IRA	3317 S HIGLEY RD NO 114-497	GILBERT	AZ	85297
PERTEA GHEORGHE & MONICA	2919 W PRESIDIO DR	FLAGSTAFF	AZ	86001
PETIT BRENT & CASSANDRA	2412 W POLLO CIR	FLAGSTAFF	AZ	86001
PHILLIPS JAMES & MARGARET	6 INDIAN PAINTBRUSH DR	BOZEMAN	MT	59718
POGUE RICHARD ALLEN	2924 S CAMEL DR	FLAGSTAFF	AZ	86001
POOLE IAN	2714 W JACLYN DR	FLAGSTAFF	AZ	86001
PRENTICE JOHN M & THERESE J	2920 S PAIS DEL NORTE	FLAGSTAFF	AZ	86001
PRESIDIO IN THE PINES HOMEOWNER'S ASSOC INC	323 S RIVER RUN RD NO 1	FLAGSTAFF	AZ	86001
PRESSLEY ROY J & LILIANA NG	2896 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
PRISKORN CRAIG & DANA	28313 LAURA LA PLANTE DR	AGOURA HILLS	CA	91301
QUIGLEY THOMAS JAMES	600 AUBURN AVE	SIERRA MADRE	CA	91024
QUIMBY LEONARD	6700 WOODLANDS PARKWAY STE 230-268	SPRING	TX	77382
RAEL MICHAEL & ERICA	2805 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
RAILROAD SPRINGS 66 LLLP	1016 W UNIVERSITY AVE NO 203	FLAGSTAFF	AZ	86001
RALPH STEPHEN K & SANDRA E	2896 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
RALSTON BARBARA JO	2514 E HEATHERBRAE DR	PHOENIX	AZ	85016
REYNOLDS JULIA A	PO BOX 3944	FLAGSTAFF	AZ	86003
RHODS TRUST DTD 09-10-04	1405 STONE MEADOW DR	CAMARILLO	CA	93010
ROAN-ZABAR DONNA	2817 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
ROBB CHELSEA M	2872 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001
ROBBINS JOHN ERICK	2917 S CAMEL DR	FLAGSTAFF	AZ	86001
ROBERTSON GAIL M	2749 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
ROHS LANCE G	2602 W JOSSELYN DR	FLAGSTAFF	AZ	86001
ROSENFELD RONALD B & TINA	126 PEACEABLE RIDGE RD	RIDGEFIELD	CT	6877
ROZELL TRUST DTD 12/1/11	6322 W MEGAN ST	CHANDLER	AZ	85226
RUSTY JAVELINA INVESTMENTS LLC	1220 E SEMINOLE DR	PHOENIX	AZ	85022
RYBKA JAMES S & JAN D	2857 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
SACHWITZ SCOTT PAUL	1171 W SUNRISE PL	CHANDLER	AZ	85248
SALCIDO ROBERTA KAY & ALFREDO RANDY	2761 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
SANDERSON VICTOR A & NANCY C	2812 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
SCHRAUFNAGEL GARY M & MARY JEAN	5816 E HERMOSA VISTA DR	MESA	AZ	85215
SCHROEDER CHRISTIAN	2722 W JACLYN DR	FLAGSTAFF	AZ	86001
SCOTT LIONEL & JESSICA	2806 S FOSSIL CREEK LN	FLAGSTAFF	AZ	86001
SECUREPAY LLC	151 MELEKOMO PLACE	LAHAINA	HI	96761
SHAFFER ATTICUS	32515 SADDLE PEAK CT	ACTON	CA	93510
SHAO YONG	2836 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
SHAY ROLAND L	2927 S PEPITA DR	FLAGSTAFF	AZ	86001
SHERECK JON R & PAULINE K	2824 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
SHIFFER KRISTINE & ARRON	2690 W JACLYN DR	FLAGSTAFF	AZ	86001
SHILLING AARON E & HOLLY	2892 W PRESIDIO DR	FLAGSTAFF	AZ	86001
SIEG MATTHEW & ANTONINA	2903 W PRESIDIO DR	FLAGSTAFF	AZ	86001
SIMPSON HEATHER L	PO BOX 31183	FLAGSTAFF	AZ	86003
SMITH JEFFREY L	2899 W PRESIDIO DR	FLAGSTAFF	AZ	86001
SMITH TERRY E	2772 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
SNIDE THOMAS K & MARIE G	2922 S PEPITA DR	FLAGSTAFF	AZ	86001
ST LOUIS JAY & ANGELA	1391 W MAPLEWOOD ST	CHANDLER	AZ	85286
STEIN JEFFREY A & ABIGAIL	2817 S FLAGSTONE LN	FLAGSTAFF	AZ	86001
STEWART STEVIE M	6825 E PEARL ST	MESA	AZ	85207
STONER GAYLA M & THOMAS N	PO BOX 263	FLAGSTAFF	AZ	86002
STRAIN SEAN P & JANELLE J	2809 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001
STROUT ERIN M	2913 W PAZ DE AVENIDA	FLAGSTAFF	AZ	86001
SUFIA BRANDON SIONE	3650 E LAKE MEAD BLVD NO 257	LAS VEGAS	NV	89115
SUMMERS SCOTT D & SUSAN M	8211 179TH PL NE	ARLINGTON	WA	98223
SWARUP VIMAL P	6040 LAUREL LOOP	FLAGSTAFF	AZ	86004
TAGUCHI NAOKO	2922 S TEX LN	FLAGSTAFF	AZ	86001
TEN ELENA	2730 W JACLYN DR	FLAGSTAFF	AZ	86001
THIESING JAMES W & CAROL A	2092 ASHBURTON WAY	MOUNT PLEASANT	SC	29466
THOMAS MATTHEW	2925 S CAMEL DR	FLAGSTAFF	AZ	86001
TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
TIMBER SKY 3A LLC	1955 COMMERCE CENTER CIR NO A	PRESCOTT	AZ	86301
TIMBER SKY COMMUNITY ASSOCIATION	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016
TOLBY ROY & MARJORIE	227 N TONTO TRL	PAYSON	AZ	85541

PROPERTY OWNERS WITHIN 1,000-FEET (CONTINUED)					
PROPERTY OWNER	MAILING ADDRESS	CITY	STATE	ZIP	
TSOSIE BRIAN L & JENNIFER P	2740 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
TURNER CODY C	2939 S PEPITA DR	FLAGSTAFF	AZ	86001	
TUTAY DANIEL J & ERIN M	2709 W JACLYN DR	FLAGSTAFF	AZ	86001	
TUTWILER THOMAS R	2888 W PATIO DEL PRESIDIO	FLAGSTAFF	AZ	86001	
UPSON BRENT W	3022 W NIGHT OWL LN	PHOENIX	AZ	85085	
URBANEK FAMILY REVOCABLE LIVING TRUST AMENDED 1-22-18	2020 W MUSKET PL	CHANDLER	AZ	85286	
VALLEN GARY & KIM	1655 N KITTREDGE RD	FLAGSTAFF	AZ	86001	
VAN DEN BURG ROBERT J & INGRID M	2765 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
VAN DER VEER KAREN	662 N PINE CLIFF DR	FLAGSTAFF	AZ	86001	
VAN HOY GARY R & MARY E	9660 W BENT TREE DR	PEORIA	AZ	85383	
VAN KAMPEN KOREY & AMANDA	2700 S WOODLANDS VILLAGE BLVD NO 300-228	FLAGSTAFF	AZ	86001	
VANDERMEULEN JOSHUA	2741 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
VASCASSENNO NICHOLAS S & SHARINA M	2911 S PEPITA DR	FLAGSTAFF	AZ	86001	
VERA KIMBERLY A & SALVADOR JR	2931 S PEPITA DR	FLAGSTAFF	AZ	86001	
VII LIVING TRUST DTD 06-12-13	3636 E SHOMI ST	PHOENIX	AZ	85044	
VP 66 & WOODY MOUNTAIN LLC	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016	
WALKER JOSHUA FORREST & KRISTLE MARIE	2682 W JACLYN DR	FLAGSTAFF	AZ	86001	
WALSH CATHERINE LIVING TRUST DTD 09-17-15	2868 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
WANDERLAND FLAGSTAFF LLC	2502 E CAMELBACK RD NO 214	PHOENIX	AZ	85016	
WEIDINGER JOSEPH E & BECKY Y	2705 W JACLYN DR	FLAGSTAFF	AZ	86001	
WELLINS-NEUBERGER FAMILY TRUST DTD 05-05-16	11111 E SOREL LN	SCOTTSDALE	AZ	85259	
WERLEY JAKE P	250 N CIRCLE DR	FLAGSTAFF	AZ	86001	
WILSON JONATHAN S	2904 W PRESIDIO DR	FLAGSTAFF	AZ	86001	
WINBORNE VAUGHAN S JR & LISA M	PO BOX 1538	FLAGSTAFF	AZ	86002	
WINBURN BRIAN	PO BOX 2426	FLAGSTAFF	AZ	86003	
WINFREE KYLE N & VANESSA	2781 W PICO DEL MONTE CIR	FLAGSTAFF	AZ	86001	
WOODRUFF JOHN	43258 W MARICOPA AVE	MARICOPA	AZ	85138	
WYATT JANICE L REVOCABLE LIVING TRUST DTD 10-27-2010	11087 N JOY FAITH DR	ORO VALLEY	AZ	85737	
XU QIANG	5045 S TOPAZ RD	FLAGSTAFF	AZ	86005	
ZERGER ADAM S & SARA K	2954 S TEX LN	FLAGSTAFF	AZ	86001	
ZETICH DONALD S & MARYANN	2928 W PRESIDIO DR	FLAGSTAFF	AZ	86001	
OTHER INTERESTED PARTIES					
ORGANIZATION/CONTACT	MAILING ADDRESS	CITY	STATE	ZIP	
VP66 & WOODY MOUNTAIN, LLC / TIMBER SKY	2502 E. CAMELBACK ROAD, STE. 214	PHOENIX	AZ	85016	
PRESIDIO IN THE PINES HOA	323 S RIVER RUN ROAD, NO. 1	FLAGSTAFF	AZ	86001	
RAILROAD SPRINGS 66, LLC	1016 W. UNIVERSITY AVENUE, NO. 203	FLAGSTAFF	AZ	86001	
FRIENDS OF FLAGSTAFF'S FUTURE	P.O. BOX 23462	FLAGSTAFF	AZ	86002	
NORTHERN ARIZONA BUILDING ASSOCIATION	1500 E CEDAR AVE	FLAGSTAFF	AZ	86004	
NORTHERN ARIZONA ASSOCIATION OF REALTORS ATTN: JEFFREY HERD	1515 E CEDAR AVE, STE. C-4	FLAGSTAFF	AZ	86004	
TISH BOGAN-OZMUN	5271 MOUNT PLEASANT DR	FLAGSTAFF	AZ	86004	
MARILYN WEISSMAN	1055 E APPLE WAY	FLAGSTAFF	AZ	86001	
COAST AND MOUNTAIN PROPERTIES ATTN: MAURY HERMAN	3 N LEROUX ST	FLAGSTAFF	AZ	86001	
NAT WHITE	1120 N ROCKRIDGE RD	FLAGSTAFF	AZ	86001	
CHARLIE SILVER	720 W ASPEN AVE	FLAGSTAFF	AZ	86001	
BETSY MCKELLAR	330 S ASH LANE	FLAGSTAFF	AZ	86004	
DAVID CARPENTER	495 S RIVER RUN, STE. 100	FLAGSTAFF	AZ	86001	
ARIZONA ARMY NATIONAL GUARD, AZAA-FMO ATTN: DORENDA COLEMAN	5636 E McDOWELL RD, M5330	PHOENIX	AZ	85008	
US NAVY, INTERGOVERNMENTAL BRANCH ATTN: MARY BETH DREUSIKE	850 PACIFIC HIGHWAY, BLDG. 1 - 5TH FLOOR, STE. 513	SAN DIEGO	CA	92132	
CELIA BAROTZ	3354 N CREST STREET	FLAGSTAFF	AZ	86001	
NORM WALLEN	3716 N GRANDVIEW	FLAGSTAFF	AZ	86004	
COCONINO COUNTY COMMUNITY DEVELOPMENT ATTN: JAY CHRISTELMAN	2500 N FORT VALLEY ROAD, BLDG. 1	FLAGSTAFF	AZ	86001-1287	
COCONINO COUNTY COMMUNITY DEVELOPMENT ATTN: JESS McNEELY	2500 N FORT VALLEY ROAD, BLDG. 1	FLAGSTAFF	AZ	86001-1287	
FLAGSTAFF LODGING, RESTAURANT & TOURISM ATTN: STEVE FINCH	P.O. BOX 30622	FLAGSTAFF	AZ	86003	
ADRIAN SKABELUND	819 WEST GRAND CANYON AVENEU	FLAGSTAFF	AZ	86001	
RACHEL BASS	3083 E. EASTERDAY LANE	FLAGSTAFF	AZ	86001	
TIFFANY ANTOL	211 W. ASPEN AVE.	FLAGSTAFF	AZ	86001	
COCONINO COUNTY	2500 N. FORT VALLEY ROAD	FLAGSTAFF	AZ	86001	
GAMMAGE & BURNHAM, PLC ATTN: NICK SOBRASKE	40 NORTH CENTRAL AVE, 20TH FLOOR	PHOENIX	AZ	85004	
NEIGHBORHOOD MEETING ATTENDEES					
ATTENDEE NAME	MAILING ADDRESS	CITY	STATE	ZIP	
Ali Gulfaraz	4371 E Savannah Circle	Flagstaff	AZ	86004	
Lauri Budzinski	2940 S Camel Drive	Flagstaff	AZ	86001	
Gail Robertson	2749 W Pico Del Monte Circle	Flagstaff	AZ	86001	
Michelle Kuzdas	2338 W Mission Timber Circle	Flagstaff	AZ	86001	
Joe and Gianna Elms	2883 W Patio del Presidio	Flagstaff	AZ	86001	
Jennifer Hampton	2741 W Jaclyn Drive	Flagstaff	AZ	86001	
Amy Vogler	2398 W Mission Timber Circle	Flagstaff	AZ	86001	
Linda Denham	3605 S Lariat Loop	Flagstaff	AZ	86005	
Carlton Johnson	2845 W Pico Del Monte Circle	Flagstaff	AZ	86001	

**NEIGHBORHOOD MEETING ATTENDEES (CONTINUED)**

<b>ATTENDEE NAME</b>	<b>MAILING ADDRESS</b>	<b>CITY</b>	<b>STATE</b>	<b>ZIP</b>
Leslie Boulet	2898 W Presidio Drive	Flagstaff	AZ	86004
Lisa Harris	2737 W Jaclyn Drive	Flagstaff	AZ	86001
Cal Hamren	2896 W Paz de Avenida	Flagstaff	AZ	86001
John and Therese Prentice	2920 S Pais Del Norte	Flagstaff	AZ	86001
Jason Rohr	1601 E Mountain View Avenue	Flagstaff	AZ	86001
Barbara DuPaul	2569 W Clement Circle	Flagstaff	AZ	86001
Anthony Williams	3460 S Skye Way	Flagstaff	AZ	86005
Lisa Galyen	2601 W Josselyn Drive	Flagstaff	AZ	86001
Sue Bunch	2760 W Pico Del Monte Circle	Flagstaff	AZ	86001
Christina George	2959 S Pepita Drive	Flagstaff	AZ	86001
Robert Davis	2912 W Paz de Avenida	Flagstaff	AZ	86001
Lori McCorry and David Moorehead	2462 W Clement Circle	Flagstaff	AZ	86001
John Morgan	2919 S Pepita Drive	Flagstaff	AZ	86001
Linda Otzen	2910 S Pepita Drive	Flagstaff	AZ	86001
Richard Pogue	2924 S Camel Drive	Flagstaff	AZ	86001
Brian Hanabury	2949 S Camel Drive	Flagstaff	AZ	86001
AraLynn Nowack	2341 W Mission Timber Cir	Flagstaff	AZ	86001
Manny Gurrrola	10838 N 10th Place	Phoenix	AZ	85020
Clinton Whiting	5350 Tanager Road	Flagstaff	AZ	86004
Paul Ferry	2333 W Mission Timber Circle	Flagstaff	AZ	86001
Brent Ballard	10838 N 10th Place	Phoenix	AZ	85020
Marvin Kissinger	2597 W Josselyn Drive	Flagstaff	AZ	86001
Brian Wilson	2389 S Cliffview Street	Flagstaff	AZ	86001
Ara Nowack	2341 W Mission Timber Circle	Flagstaff	AZ	86001
Tom Boggess	3572 S Cheryl Drive	Flagstaff	AZ	86001
Jeff Smith	2899 W Presidio Drive	Flagstaff	AZ	86001
Hartley Rodie	3720 E Earll Drive	Phoenix	AZ	85018
Carmen Neuberger	11111 E Sorrel Lane	Scottsdale	AZ	85259
Sal Vera	2931 S Pepita Drive	Flagstaff	AZ	86001
Debra Nankivell	2918 S Pardo Calle	Flagstaff	AZ	86001
Karen Sorensen	2640 W Kiltie Lane	Flagstaff	AZ	86005
Lori McCorry	2462 W Clement Circle	Flagstaff	AZ	86001
Barbara Fisher	3405 S Skye Way	Flagstaff	AZ	86005
PJ Aerts	3280 S Skye Way	Flagstaff	AZ	86005
David Grogg	PO Box 2097	Flagstaff	AZ	86003

# GAMMAGE & BURNHAM, PLC

ATTORNEYS AT LAW

FORTY NORTH CENTRAL AVENUE

20TH FLOOR

PHOENIX, ARIZONA 85004

TELEPHONE (602) 256-0566  
FACSIMILE (602) 256-4475

December 29, 2020

WRITER'S DIRECT LINE  
(602) 256-4471

Lindsay C. Schube  
lschube@gblaw.com

Dear Neighbor or Resident:

Vintage Partners is proposing to develop Sky Cottages, a new residential community located on the approximate 23 acres located at the northwest corner of Woody Mountain Road and the McAllister Ranch Road alignment (generally south of the southwest corner of US 66 and Woody Mountain Road) ("Property").

Vintage Partners is responsible for developing forward thinking and award winning projects throughout the State for more than 30 years. One of those projects includes the highly successful Timber Sky master-planned community, located just west of Sky Cottages, which is considered the finest Dark Skies compliant master-planned community in the State. Sky Cottages, planned as an extension of Timber Sky, will be an accessible, athletic, outdoor build-to-rent community with a target of 202 dwelling units (maximum 208 du) comprised of 1, 2, and 3 bedrooms. Units will be 1-story, with some 2-story units located near the center of the Property (away from Woody Mountain Road). The majority of the units are detached, similar to that of a traditional single-family residential community, such as Presidio in the Pines. Sky Cottage residents will be able to have a single-family residential experience, with the benefit of a professionally-managed and highly amenitized community that will include active and passive open spaces and trail connections throughout, as well as civic space available for use by the public. See enclosed Concept Site Plan and Conceptual Building Elevations.

In order to facilitate development of Sky Cottages, Zoning Map Amendment application case no. PZ-20-000153 ("Application") was filed with the City of Flagstaff ("City") to rezone the Property from RR RPO (Rural Residential, Resource Protection Overlay) to MR RPO (Medium Density Residential, Resource Protection Overlay).

The purpose of this correspondence is to inform you the Application has been scheduled for virtual public hearing as follows:

## PLANNING & ZONING COMMISSION

**January 13, 2021 at 4:00 PM**

Please visit

[https://www.flagstaff.az.gov/2845/ Planning-Zoning-Commission](https://www.flagstaff.az.gov/2845/Planning-Zoning-Commission) for instructions on how to participate in the virtual meeting and submit written comments prior to the start of the meeting.

## CITY COUNCIL

**February 2, 2021 at 3:00 PM (tentative)**

Please visit

<https://www.flagstaff.az.gov/1461/Streaming-City-Council-Meetings> for instructions on how to participate in the virtual meeting and submit written comments prior to the start of the meeting.

Due to the COVID-19 pandemic, the City has currently suspended in-person public hearing meetings. Please confirm meeting details by calling the City's Planning & Development Services Section at (928) 213-2611, as they are subject to change. Additional information may also be found at <https://www.flagstaff.az.gov/328/Meetings>.

The Planning & Zoning Commission serves as an advisory board to the City Council on matters relating to the growth and physical development of the City. The Planning & Zoning Commission will conduct a public hearing for the Application and may forward a recommendation on for the City Council's consideration. Upon receipt of a recommendation from the Planning & Zoning Commission, the City Council will conduct a public hearing and take action on the Application. The City Planner assigned to this case is Ms. Tiffany Antol. Ms. Antol can be reached at (928) 213-2605 or [TAntol@flagstaffaz.gov](mailto:TAntol@flagstaffaz.gov). Ms. Antol can answer your questions regarding the City's review and hearing processes, and provide copies of development file materials for the Application.

Should you have any questions or would like more information, please do not hesitate to contact me at (602) 256-4471 or [lschube@gblaw.com](mailto:lschube@gblaw.com). Thank you.

Sincerely yours,

GAMMAGE & BURNHAM



By

Lindsay C. Schube

LCS/nas  
Enclosures

# OVERALL SITE PLAN

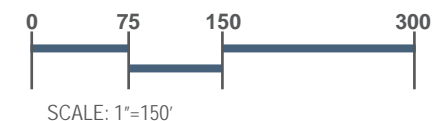


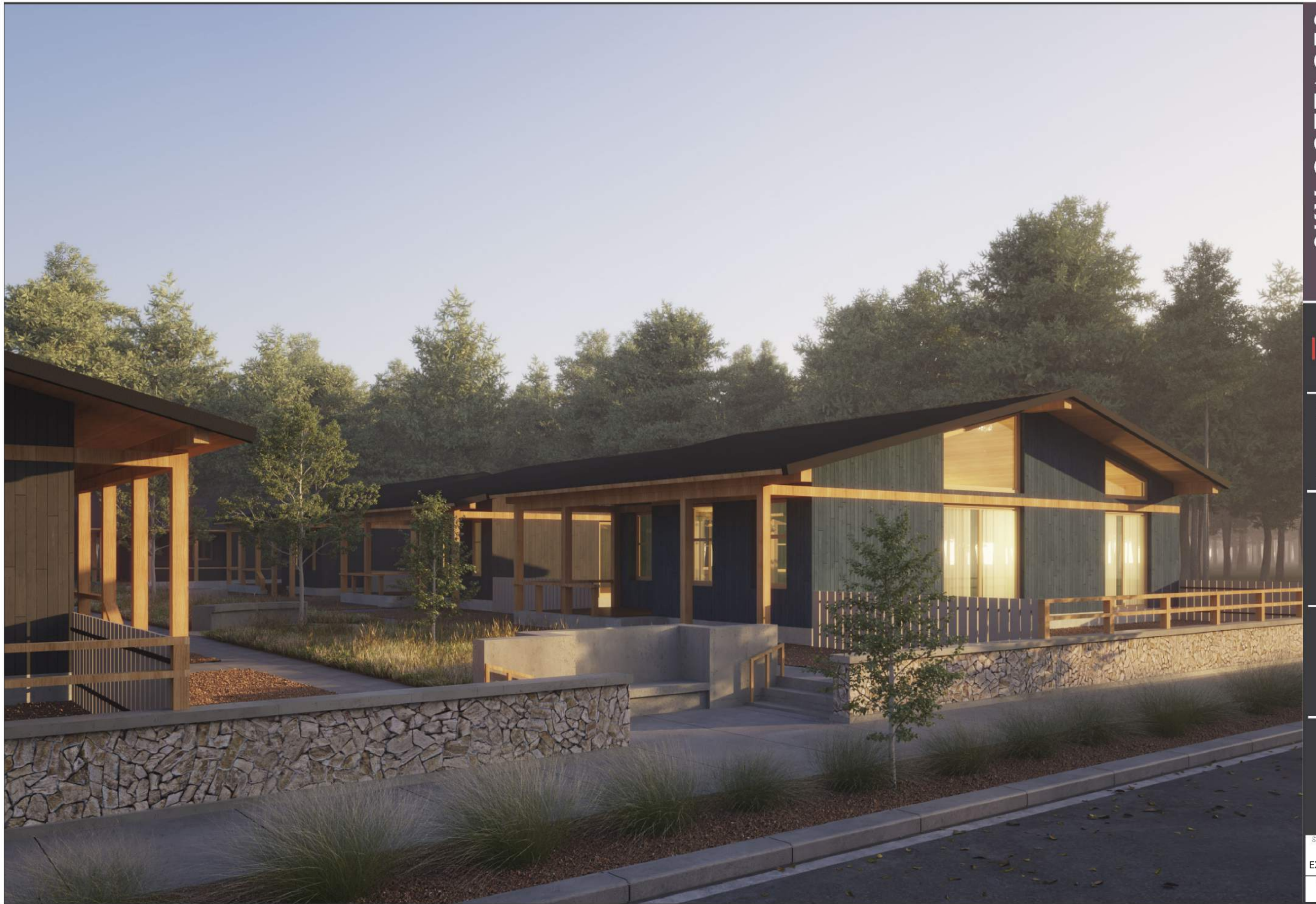
## KEY

- ① DETENTION BASIN  
NATURAL TURF MULTI-PURPOSE  
PLAY FIELD
- ② NORTH COMMONS
- ③ SOUTH COMMONS

## FLOORPLANS

- 1BR-A
- 1BR-B
- 2BR
- 3BR





**SKY COTTAGES**  
at **TIMBER SKY**  
PZ-20-00153

**V**  
VINTAGE  
PARTNERS

**GAMMAGE  
BURNHAM**  
Attorneys at Law

**SWI**  
Shepherd & Westitzen, Inc.

**Mosaic**

**NORRIS DESIGN**  
Planning | Landscape Architecture | Interiors

SHEET NAME:  
BUNGALOW  
EXTERIOR VIEW  
SHEET NO.  
18 of 33



**SKY COTTAGES**  
at **TIMBER SKY**  
PZ-20-00153

**V**  
VINTAGE  
PARTNERS

**GAMMAGE  
&  
BURNHAM**  
Attorneys at Law

**SWI**  
Shepherd & Westitzen, Inc.

**Mosaic**

**NORRIS DESIGN**  
Planning | Landscape Architecture | Interiors

SHEET NAME:  
3-BD UNIT  
EXTERIOR VIEW  
SHEET NO.  
21 of 33

## Tammy Bishop

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**Subject:** FW: #1

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**From:** Michelle McCrea <[michellemarie\\_1000@yahoo.com](mailto:michellemarie_1000@yahoo.com)>

**Sent:** Thursday, October 22, 2020 3:29 PM

**To:** Tiffany Antol <[TAntol@flagstaffaz.gov](mailto:TAntol@flagstaffaz.gov)>

**Subject:** Sky Cottages at Timber Sky

Dear Tiffany,

I am writing to express my concern regarding the proposal by Vintage Partners to rezone the property on the northwest corner of Woody Mountain Road and the McAllister Ranch Road alignment, from its existing zoning of rural residential to high density residential. As you know, the developer is looking to build apartments on the lot. My husband and I own a home and live full time in the Presidio in the Pines neighborhood. Our main concern with this proposal is the increase of high speed traffic going through our neighborhood, especially with hundreds more cars shortcutting their way to NAU. We live right off the new road that opened between Presidio and Boulder Point, and we already have major problems with high speed traffic flying around that corner. I know the City has gotten numerous complaints since that road opened because police are often monitoring roads in Boulder Point and temporary speed monitoring signs have been put out since that road opened.

We listened to the developer's Zoom meeting, and felt the developer was misleading on at least a couple main points. First, the developer did not readily acknowledge that the existing zoning was rural residential. In contrast, the developer told neighbors to 'not get confused by the zoning change' as if it was too complex us to think about (it was condescending). The developer also has clever talking points – like the apartments will be “transitional housing” that will ‘help those poor millennials’ - that make it seem like the apartments won't become student housing. All of us who know the housing issues in Flagstaff know that these apartments will indeed become student housing, and those students will be zipping through Presidio and Boulder Point on their way to NAU. Many of the townhomes in Presidio are being rented to students, as are the townhomes in Boulder Point, the same will happen with these apartments. My husband and I happen to be millennials – its easy to see right through those empty talking points. We oppose this proposed zoning change. Its also important to note that despite claiming these apartments will help meet needs for affordable housing (even though they really won't, they will just become majority off campus student housing because it's an easy straight shot to speed through Presidio and Boulder Point to NAU), the developer could not commit to any price point at which the apartments would be rented.

Thank you and please let me know if you have any questions.

Michelle Kuzdas  
2338 W. Mission Timber Cir  
Flagstaff, AZ 86001

## Tammy Bishop

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**Subject:** FW: #2

**From:** John Prentice <[jtprentice@aol.com](mailto:jtprentice@aol.com)>

**Sent:** Tuesday, October 13, 2020 3:27 PM

**To:** Tiffany Antol <[TAntol@flagstaffaz.gov](mailto:TAntol@flagstaffaz.gov)>

**Subject:** rezone property from RR RPO-Rural Residential to HR RPO-High Density

Dear Ms. Antol,

My husband and I attended a Virtual Neighborhood Meeting regarding the rezoning of property near Woody Mountain Road and MC Allister Ranch Road. The rezoning being necessary for Vintage Partners to develop their Sky Cottages rental development.

We are both AGAINST this rezoning request. We are very concerned that the traffic on Woody Mountain Road would increase exponentially with the addition of 199 cottage units with each cottage owner adding 1 - 2+ cars per unit. There is no provision for garages on the development, with carports for some of the three bedroom units. This will present the appearance of a "used car lot" with most residents having to park on the street. A review of the proposed development also shows that few of the existing trees on this property will survive after construction. This will only exacerbate the poor optics of this project. We feel that this type of development does not belong on this parcel of land and should be moved out onto Old Route 66, closer to town and public transportation. We are also concerned that over time these rental units will fall into disrepair and will adversely affect property values in Presido and Timber Sky.

Regards,

Therese Prentice, John Prentice  
2920 S Pais Del Norte  
Flagstaff, AZ 86001

847 226 2885

## Tammy Bishop

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**Subject:** FW: #3

**From:** Scott Summers <[sdsummers2@hotmail.com](mailto:sdsummers2@hotmail.com)>

**Sent:** Wednesday, October 7, 2020 5:16 PM

**To:** Tiffany Antol <[TAntol@flagstaffaz.gov](mailto:TAntol@flagstaffaz.gov)>

**Cc:** [lschube@gblaw.com](mailto:lschube@gblaw.com)

**Subject:** Sky Cottages development

Dear Ms. Antol,

I am a full-time resident of the Presidio in the Pines development in Flagstaff and live at 2918 S. Pepita Dr. I recently heard about the Sky Cottages Virtual meeting that was held on Monday, and was not able to attend. I understand that you are the City Planner assigned to this case and I wanted to pass along my comments regarding the proposal to develop Sky Cottages. The increase in potential traffic is, of course, a concern with such high density housing. It looks like one of the main inlet/outlet roads to this development is located directly across from the main inlet/outlet road into Presidio in the Pines. Also, I would hate to see most of the trees in the forested part of the proposed property cut down. It seems like a way to address both of these concerns would be to move the location of the new develop farther to the north and closer to the Route 66 roadway. This would, likely, involve a re-zoning of some of that property, but a re-zoning is needed for the current proposed location. Moving the development closer to Route 66 would spread out some of the traffic – there would not be a bottle-neck at Woody Mountain road and the entrances to Sky Cottage and Presidio – and would allow for more of the forested area to be left in-tact.

Thank you for your work on this project and for your consideration. If possible, I would like to be informed of the next steps in this process.

Cordially, Scott Summers

## Tammy Bishop

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**Subject:** FW: #5  
**Attachments:** Presidio Future Project.pptx

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**From:** Marvin Kissinger <[californiamarvin@comcast.net](mailto:californiamarvin@comcast.net)>

**Sent:** Tuesday, October 6, 2020 10:34 AM

**To:** [lschube@gblaw.com](mailto:lschube@gblaw.com)

**Cc:** Ileana Kissinger <[luquillotropical@comcast.net](mailto:luquillotropical@comcast.net)>; Michelle Marie Kissinger <[michellekissinger88@gmail.com](mailto:michellekissinger88@gmail.com)>; Tiffany Antol <[TAntol@flagstaffaz.gov](mailto:TAntol@flagstaffaz.gov)>

**Subject:** FW: Re: Questions Concerning the Virtual Neighborhood Meeting on October 5, 2020 (Resending to correct email address)

Lindsay & Tiffany

My name is Marvin Kissinger, myself and my wife Ileana moved to this area in January 2019 from Sacramento, California. My daughter, Michelle Kissinger also moved out here and purchased a townhouse in Presidio. We enjoy the Flagstaff area and one of the attractions is the pine forest and the surrounding natural beauty. So are major concerns with this project are removing this natural setting and increased traffic and possible crime.

I did not participate in the first virtual meeting you had, but I was on the second meeting on October 5<sup>th</sup>. Thank you for providing the information you presented in the virtual presentation and I apologize if some of my questions were already answered. However, we do have some concerns that I have listed below:

1. Concerning Woody Mountain Road, I know you mentioned that there will be a traffic light at the intersection of Route 66 and Woody Mountain Road, but I am not sure if Woody Mountain Road will be 2 lanes each way or one lane each way? My concern is still traffic congestion and if there is a traffic delay, will emergency vehicles still be able to come or leave the complex, using Woody Mountain Road?
2. I know you have indicated you are going to leave a large portion of the trees intact, what does that mean? Can you provide a percentage of trees that will remain, taking into account the current number of trees there? As we stated before, removal of the pine trees in this area is a major concern.
3. What is the minimal time periods for renting the units? Our concern is people coming here to rent the units, for short periods of time to have parties and celebrations that would cause excessive noise and traffic problems. This is a college town and events like this do happen.
4. I know you mentioned the number of parking spaces you have in the Sky Cottages complex. Can we be certain that there are sufficient spaces for your complex, as we already have a serious parking issue in the Presidio complex.
5. What will be the impact on the shrinking water resources here? Coming from Sacramento, we are always concerned about droughts and water shortages. Is Flagstaff prepared to provide water resources to the continual increase we have in adding more housing and accommodating more people?
6. Do you have any plans for developing the land behind our home at 2597 W Josselyn Drive? We continue to be concerned about losing the pine forest behind us? Refer to attached map.

Thank you for keeping us informed and we hope this project will have a positive impact on our community, if it is approved.

Marvin & Ileana Kissinger  
2597 West Josselyn Drive  
Flagstaff, AZ 86001

H.P.: (928) 774-1716  
Cell: (916) 799-2605

## Tammy Bishop

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**Subject:** FW: #6

**From:** Lauri Budzinski <[lauribud@gmail.com](mailto:lauribud@gmail.com)>

**Sent:** Monday, October 5, 2020 3:15 PM

**To:** Tiffany Antol <[TAntol@flagstaffaz.gov](mailto:TAntol@flagstaffaz.gov)>

**Subject:** Vintage Partners ReZoning Proposal - "Sky Cottages"

Dear Tiffany

Thank you for returning my call last week. I really appreciate all the information you shared with me regarding the rezoning process in Flagstaff.

I am sending this email to voice through you my concern about the Vintage Partners Sky Cottages rental units development proposal and application to rezone the property location from RR RPO-Rural Residential to HR RPO-High Density Residential. I attended the first neighborhood meeting for this project and was able to ask some questions. I will not be able to attend the 2nd meeting scheduled for this evening due to a prior commitment.

My main points of concern, in no special order, are:

- Flagstaff overall growth and water resources. When I moved to Flagstaff in 1996, the city's master plan indicated slow, restricted growth mostly due to natural environmental boundaries and very much the concern for limited/finite water resources. The incredible residential housing growth the past few years is surprising to me as I do not know how the regional water supply has changed so drastically. If Flagstaff truly does have infinite water supply and infrastructure, that's great and would put my mind at ease for this concern.
- Traffic on old Route 66 and Woody Mountain - The build out of Presidio, where I live, has proven that these roads are barely going to handle the additional TimberSky build out of 1100 homes, much less 200 more Sky Cottage rental homes (minimum of 2500 more vehicles on these roads). Route 66 is one lane at the intersection with Woody Mountain; the traffic coming off of I40 is going 50+mph and they are driving in freeway mode; the backups all the way to Woodlands Boulevard, and then on to Milton are already becoming a nightmare. (Furthermore, the backups at Woodlands and Route 66 from all directions indicates the traffic studies were lacking thus far). It is often difficult to traverse the Woody Mountain-Route 66 intersection safely. Woody Mountain traffic is now heavy at times, especially during WLGore and Arboretum work and event traffic times. With all the homes going in at Timber Sky, Woody Mountain will become more over-loaded and unsafe, exacerbated by visual terrain barriers, no stop signs, narrow roads and limited sidewalks - the only sidewalk is along Presidio's boundary adjacent to Woody Mountain.
- I do not support a 200 unit rental development in this area. Maintaining the rural residential (low density) zoning is much more appropriate to the entire area -

including the current neighborhoods of Presidio, TimberSky, RR Springs, Flagstaff Ranch, Equestrian Estates and others.

- No matter what people say or report - all the building of new housing and rental units the past few years is not bringing rent or home ownership costs down; I only see those numbers continue to climb. My children (and others expressed this) can't afford to stay in Flagstaff whether they rent or try to own.
- There are so many people buying 2nd homes in our neighborhoods and renting them out; this is certainly true in Presidio. This causes disparity with home owners living in their one home who live next to people that rent from long distance or otherwise not highly emotionally invested landlords. There are all kinds of examples of what that disparity looks and feels like, including renters/landlords lack of property exterior maintenance, renters disinterest in CC&Rs, and unfriendly/uncaring neighbors because they don't have a vested interest in the neighborhood. This magnifies for me the reality that 200 rental units across the street would have a negative impact on the surrounding neighborhoods who are paying HOA fees to minimize these types of impacts where we live and pay property taxes.
- I have lived and worked and paid property taxes in Flagstaff for 25 years. I would like to see the zoning stay low density for this area for affordable thoughtful home lots and sizes. I didn't understand just how hi density Presidio was going to be when I purchased in 2015. Miramonte did not share good information and actually flat out lied about the development - that's another story.
- Mr. Crutchfield indicated, several times at the 1st neighborhood meeting, a 10-year plan for himself with Sky Cottages - build out will take several years of that 10-year plan. This is simply a money making endeavor for him/Vintage Partners - beyond the Timber Sky project. The Sky Cottages rental development looks like a nice enough project on paper illustration - perhaps better suited for an already hi-density zoned location.

Thank you and city staff for your consideration. I will watch for any progress on this application and will attend open meetings to continue to voice my concerns.

Please let me know you received this email - just a quick 'yes, I received your email' would be very much appreciated.

Sincerely,

Lauri Budzinski  
Camel Drive  
Presidio in the Pines

## Tammy Bishop

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**Subject:** FW: #7

**From:** Robert Davis <[radavis15@mac.com](mailto:radavis15@mac.com)>

**Sent:** Monday, October 5, 2020 2:01 PM

**To:** Tiffany Antol <[TAntol@flagstaffaz.gov](mailto:TAntol@flagstaffaz.gov)>

**Cc:** [lschube@gblaw.com](mailto:lschube@gblaw.com); Robert A. Davis <[radavis15@mac.com](mailto:radavis15@mac.com)>

**Subject:** Neighborhood Meeting - Proposed Rezoning for Sky Cottages on Woody Mountain

Hi Ms. Tiffany Antol,

I'm a current resident of Presidio in the Pines since May 2014. I attended the first neighborhood meeting on the proposed Sky Cottages and raised four areas of concern:

- **A build to rent community is not consistent with the surrounding communities (Presidio, Timber Sky, Equestrian Estates)** - The surrounding areas are single family / duplex homes that are intended as owner resident, owner investment or second home. The current residents have raised serious concerns and objections to the rental properties where the owner is not residing. This relates to parking, students not following rules, etc. and the construction of additional rental properties could make the situation worse in the area. Vintage Partners responded that they would control this by retaining ownership of the properties and enforcing rules. While this alleviated some concern, there is no guarantee that Vintage would retain ownership in several years and the problems are allowed to occur.
- **Environmental** - The area requested to be rezoned is a forested area that should be retained as a landscape buffer for the surrounding communities. As I read the County Community Plan leaving this area as forest would be consistent with the goals of the plan. Several of the attendees expressed this concern and the provided architectural drawing indicated a substantial number of trees would be removed.
- **Traffic** - While Vintage claimed a traffic study was done when Timber Sky was approved, there was no plan for Sky Cottages at that time and only one of the exits on Woody Mountain would have been considered. The proposal adds 199 homes which would generate 350 - 600 more vehicles to Woody Mountain. Vehicles would not use the Timber Sky exit because of inconvenience and would go primarily down Woody Mountain to US 66 when going to I-40 or Flagstaff.
- **Quality of Home** - The homes have no garages (just carports) and a new design (modular ?) for ease of construction. Their comment that construction personnel with less experience can build these does not lend assurances that they will be well built. It is being lower cost focused.

It has not been explained why the "build to rent" structures must be built here other than the builders of Timber Sky want to do it.

Today I plan on raising two more concerns:

- **If near Timber Sky why not at the corner of US 66 and Woody Mountain** - Less trees, Exit to US 66 can be used and retains most of the forested area intact. It may result in less home because of a smaller area, but reduced several concerns.
- **Width of roadways** - The width has not been indicated, but the roadways in Presidio allows parking on both sides of the street resulting being too narrow for fire engines. The roadways should be wide enough to accommodate this.

In summary, the proposed rezoning does not appear consistent with the existing communities. The concerns on placement, environments, being consistent with the County Plan, and traffic raise issues that make the location impractical.

Thank you for your consideration on these matters,

Robert A. Davis  
2912 W Paz de Avenida  
Flagstaff, AZ 86001

414-807-3306  
[radavis15@mac.com](mailto:radavis15@mac.com)

## Tammy Bishop

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**Subject:** FW: #8

**From:** Ara Lynn N <[anowack@gmail.com](mailto:anowack@gmail.com)>  
**Sent:** Tuesday, September 22, 2020 10:54 AM  
**To:** Tiffany Antol <[TAntol@flagstaffaz.gov](mailto:TAntol@flagstaffaz.gov)>  
**Subject:** Sky Cottages on Woody Mountain Road

Hello Tiffany,  
I listened to the neighborhood meeting for Sky Cottages last night.  
I am in shock that we would allow an entirely rental community to be built among new beautiful homes.

I would like to express that I am not in approval of this. As a homeowner in Presidio it is hard enough with the rentals to college students and houses owned by Phoenicians where the sidewalks are not clear of snow and the parking is a huge issue.

Presidio and this area is for homeowners, not rentals.

I also work at Gore, the traffic at 8am, noon, 3:30pm is horrific and clogged on Woody Mountain now, I cant even think about having 1100 new homes for Timber Sky and now another 200 homes with cars on Woody Mountain road. Additionally, the round-about is such a joke as there needs to be widespread "training" as to how to drive in these. So many times I enter the circle and have been honked at or flipped off for "stopping the flow on Woody Mountain Rd". I can't believe I have problems now, I can't imagine what the traffic congestion will be like in the future.

I love Flagstaff and love my home in Presidio please help preserve this land and keep building to a minimum.

If possible, could I please stay informed of the future of this project - Sky Cottages?

Best Regards,  
Ara Lynn Nowack  
2341 W. Mission Timber Circle  
Flagstaff, AZ 86001

## Tammy Bishop

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**Subject:** FW: #9

**From:** Lisa Harris <[lisaharris@frontiernet.net](mailto:lisaharris@frontiernet.net)>

**Sent:** Monday, September 21, 2020 7:38 PM

**To:** Tiffany Antol <[TAntol@flagstaffaz.gov](mailto:TAntol@flagstaffaz.gov)>

**Subject:** Sky Cottages/ Vintage Partners

Good evening, I live in Presidio in the Pines. I am in the zoom meeting. I am very against this project, most of the people in our community are voicing their concerns as well. I would like to know what are the steps for us to fight this community?

Thank you for your help,

Lisa Harris  
2737 W Jaclyn Dr  
Flag, AZ 86001  
9282098486

## Tammy Bishop

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**From:** Tiffany Antol  
**Sent:** Monday, January 4, 2021 1:11 PM  
**To:** Tammy Bishop  
**Subject:** #10

### Tiffany Antol, AICP

Planning Director  
City of Flagstaff | Community Development  
211 West Aspen Avenue | Flagstaff, AZ | 86001  
P: (928) 213-2605 | F: (928) 213-2089

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**From:** Donna Morgan <morganj556@gmail.com>  
**Sent:** Monday, September 21, 2020 12:02 PM  
**To:** Tiffany Antol <TAntol@flagstaffaz.gov>  
**Subject:** Re: Vintage Partners in Woody Mountain

Thank you for your prompt reply. While I wasn't aware of the Urban Activity Center designation for the corner of Woody Mountain and Route 66, this particular section is further south on Woody Mountain. I'm curious as to the specifics of the "build to rent" concept. I'm not sure how that helps locals to purchase a first or affordable home in Flagstaff. Until recently, I owned what was referred to as a quad lot in Presidio that was originally designed for a more affordable, smaller home. There were several of these types of lots until the developer had most of them replotted for larger (and more expensive) homes. No affordable housing there! I can see many of these rentals (especially the 1, 1.5 and 2 bedroom units) as just more student and Airbnb money makers with lots of transient and noisy traffic. I will be attending the virtual meeting tonight and hopefully will get some questions answered. Thank you again, Donna

[Sent from Yahoo Mail for iPad](#)

On Monday, September 21, 2020, 8:54 AM, Tiffany Antol <[TAntol@flagstaffaz.gov](mailto:TAntol@flagstaffaz.gov)> wrote:

Good Morning Donna,

Yes there will be several opportunities for public input. In fact the applicant is holding a virtual neighborhood meeting tonight. There will be two of these meetings held by the applicant prior to the case moving forward to public hearing. There will eventually be a public hearing before the Planning & Zoning Commission as well as before the City Council.

**Meeting:** Sky Cottages Virtual Neighborhood Meeting

**Location:** Meeting to be held virtually in Zoom.

**Link:** [gblaw.zoom.us/webinar/register/WN\\_2K4UdPLyQjiyXhgmijqsQ](https://gblaw.zoom.us/webinar/register/WN_2K4UdPLyQjiyXhgmijqsQ)

**Date and Time: Monday, September 21, 2020 at 6:00 PM**

I am not aware of what Vintage showed for this property back in 2017 as I have never reviewed it. While the project Vintage is proposing is multi-family it has the appearance of detached single-family units. A Traffic Impact Analysis will need to be completed as part of this review. We can share the findings of that analysis once it is complete.

Regardless of what happens with this case, it is important to note that the voter approved Flagstaff Regional Plan identifies an Urban Activity Center at the intersection of Woody Mountain Road and W Route 66. The density called for in an urban activity center is high – over 13 units an acre. Our growth model has assumed density at this location for some time.

Please let me know if you should have any additional questions in regards to this application.

## **Tiffany Antol, AICP**

Planning Director

City of Flagstaff | Community Development

211 West Aspen Avenue | Flagstaff, AZ | 86001

P: (928) 213-2605 | F: (928) 213-2089

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**From:** Donna Morgan <[morganj556@gmail.com](mailto:morganj556@gmail.com)>

**Sent:** Sunday, September 20, 2020 3:32 PM

**To:** Tiffany Antol <[TAntol@flagstaffaz.gov](mailto:TAntol@flagstaffaz.gov)>

**Subject:** Vintage Partners in Woody Mountain

Dear Tiffany,

The plot of land that Vintage is planning to build high density rental housing on Woody Mountain Road and McAllister Ranch Road was not in the original plan they presented to our community in Presidio back in 2017. This is an awful place for that type of housing. We were under the assumption that type of housing was planned more for out on Route 66. The traffic on Woody Mountain Road will be bad enough with the single family homes they have planned as it is. Ingress and egress will be a nightmare and a safety issue. Will there be any more public input in this before a decision is made?

Thank you, Donna Morgan

2919 S Pepita Dr

Flagstaff AZ 86001

928 607-8952

[Sent from Yahoo Mail for iPhone](#)



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## MOUNTAIN LINE MEMORANDUM

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**DATE:** November 20, 2020

**TO:** Tiffany Antol, City of Flagstaff Planning Director

**FROM:** Bizzy Collins, Mountain Line Transit Planner  
Kate Morley, Deputy General Manager

**SUBJECT:** Service to proposed Sky Cottages project on Woody Mountain Road

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Request:

Extending Route 8 requires a total annual operating cost of \$555,000. Mountain Line is proposing to pay for 55% of the cost and is requesting a partnership with Vintage to cover the remaining 45% in the amount of \$250,000 per year in exchange for free service to residents for the term of this agreement.

Methodology:

Mountain Line evaluated impacts and feasibility of providing new transit service to Woody Mountain Road through a review of the existing and planned transit network as well as policies identified in the Five-Year Transit Plan and Flagstaff Regional Plan.

Analysis:

*Background*

The City of Flagstaff has a dedicated transit tax that was first approved by voters in 2000, increased in 2008, and renewed in 2016. The City allocates this tax revenue to Mountain Line to provide public transit service on behalf of the City of Flagstaff.

Mountain Line's Route 8 currently begins at the Downtown Connection Center (DCC) and heads west on Route 66 and loops around on Thompson Street-University Avenue-Woodlands Village Boulevard, returning to the DCC (see Figure 1). Route 8 makes this trip every 30 minutes from 6:15am to 9:30pm on weekdays and every hour from 7:15am to 7:30pm on weekends and holidays. Mountain Line implemented Route 8 in August 2019 by splitting Route 7, thus creating the future opportunity to extend transit service west on Route 66, with the near-term goal of reaching Woody Mountain Road and looping back to the DCC with the future Route 8 (see Figure 2).





Figure 1-Current Route 8

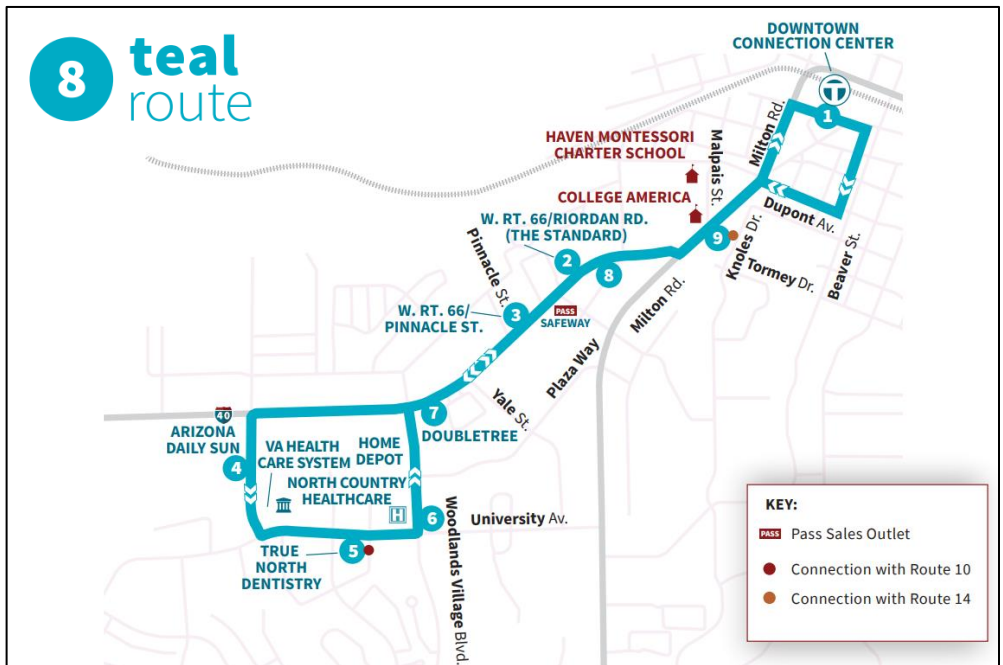
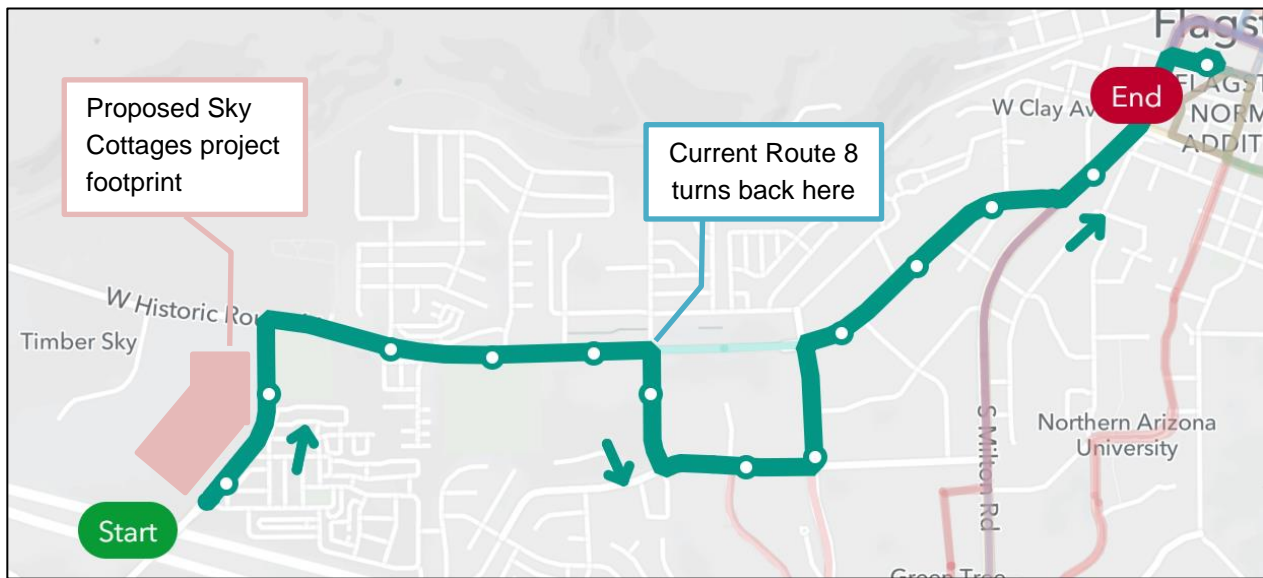


Figure 2-Future Route 8



Extending Route 8 would require a significant cost increase that Mountain Line does not have in its current budget or 10-Year Financial Plan, for a total annual operating cost estimated at \$555,000. Extending Route 8 would require Mountain Line to also extend the paratransit service boundary, which is anticipated to add more paratransit trips at the cost of \$50 per trip. Not only is this a requirement of extending the service but it allows Mountain Line to serve people with disabilities who do not have the functional ability to ride fixed-route buses, either permanently or under certain conditions, in this area, expanding housing choice options for





people who need paratransit. Paratransit service costs were included in the annual operating estimate above.

Mountain Line has identified future transit service on west Route 66 and Woody Mountain Road in the 2017 and 2013 Five-Year Transit Plans based on extensive public feedback, Flagstaff land use plans, and projected population growth in the area. Additionally, the NAIPTA Board of Directors identified the Route 8 extension to Woody Mountain Road as their top priority for service enhancements in February 2020. However, additional funding has not been available to achieve this goal, as the transit tax increase did not pass in 2018.

Mountain Line seeks innovative funding mechanisms to achieve the diverse transportation needs of the people we serve and to align with our 2020-2025 Strategic Plan Goal Six: Fiscal Responsibility, as well as City policies. As such, Mountain Line actively seeks partnership opportunities with Flagstaff businesses, educational institutions, organizations, and developers, including Vintage Partners who is proposing the Sky Cottages project. Mountain Line has had discussions with Vintage and York Breckenridge developers and drafted two separate transit service agreements to extend bus routes west on Historic Route 66 in the past. However, a transit service agreement has yet to be executed and service has not yet been extended.

Mountain Line and York Breckenridge had drafted an agreement for transit services in 2014 for the Aspen Heights student housing project, located in the footprint that Sky Cottages is now in. Mountain Line proposed service during the school term at 15-minute frequency on weekdays and 30-minute service on weekends and holidays, with no service when Northern Arizona University was not in session. The developer was to pay Mountain Line the sum of \$137,802 (in 2014 dollars) per year, adjusted annually to reflect changes in the Transportation Consumer Price Index, for a term that was to be determined by the CUP. Mountain Line would provide free access to transit service to all residents of Aspen Heights. The Aspen Heights project was never constructed, and so the draft agreement ended there.

Mountain Line and Vintage had drafted a transit service agreement for Timber Sky project in 2016. Mountain Line offered to add a bus route matching regular service hours and days—a minimum of 5,800 hours of service—at a cost totaling \$464,640 (in 2016 dollars). Mountain Line proposed a cost sharing mechanism of \$195,000 annually from Timber Sky development, initially underwritten by the development until such time as the HOA turns over to the owners. Once the HOA is owner controlled, Mountain Line would assume an annual fee of \$150 per household. These terms would be adjusted annually for inflation and was originally proposed for a 10-year term of the agreement. There was also discussion for Vintage to add a park-and-ride location at the Timber Sky site that could be accessed by Mountain Line buses, at no cost to Mountain Line.





Vintage had indicated that they were willing to consider a partnership for transit service to Timber Sky, but it was not included in the development agreement. The combination of Timber Sky and Aspen Heights agreements would have resulted in total partnership value of \$332,802, allowing Mountain Line to extend the route. In 2019, Mountain Line moved forward with splitting Route 7 in good faith, anticipating Route 8 would be extended through a funding partnership with developers. To date, no agreement has been executed.

Mountain Line is now attempting to reach a partnership agreement with Vintage to extend transit service to Sky Cottages. Typically, Mountain Line approaches developers with an ecoPASS agreement and residents are able to utilize existing transit service in the area for free. However, Mountain Line does not have service near Sky Cottages, and previous discussions were for developers to pay for this route extension. Extending Route 8 requires a total annual operating cost of \$555,000. Mountain Line is proposing to pay for 55% of the cost and is requesting a partnership with Vintage to cover the remaining 45% in the amount of \$250,000 per year in exchange for free service to residents for the term of this agreement.

If a partnership with Vintage was reached for a term of five years, Route 8 extension could be implemented as soon as 2022. The contribution from Vintage for this service would be \$250,000 annually. This would enable all residents of Sky Cottages to ride all transit routes for free seven days a week and achieve Flagstaff Regional Plan policies and support the Climate Action and Adaptation Plan.

The City may approve Mountain Line's request to bring a transit sales tax question to voters in 2022, 2024 or later, and if approved by the City and the voters, Mountain Line could then extend Route 8 through the new sales tax revenue.

#### *Transit Service Agreement*

Without transit service to Sky Cottages, City of Flagstaff Regional Plan policies are not met.

#### *Finding #1*

*The proposed amendment is consistent with and conforms to the goals of the General Plan and any applicable specific plans;*

The proposed transit service is consistent with and conforms to the objectives and policies of the City's Regional Plan. Without transit service to Sky Cottages, policies of the Flagstaff Regional plan are not met. These include:

- Goal T.7 Provide a high-quality, safe, convenient, accessible public transportation system, where feasible, to serve as an attractive alternative to single-occupant vehicles.
- Policy LU.13.2. Consider public transit connections in suburban development.
- Policy T.7.5. Incorporate adopted plans and policies for non-motorized and public transportation in the permitting process for all development or land use proposals.





including provisions for efficient access and mobility, and convenient links between pedestrian, bicycle, and transit facilities.

- Policy T.1.6. Provide and promote strategies that increase alternate modes of travel and demand for vehicular travel to reduce peak period traffic.
- Policy T.3.8. Promote transportation options such as increased public transit and more bike lanes to reduce congestion, fuel consumption, and overall carbon emissions and promote walkable community design.
- Goal E&C.1. Proactively improve and maintain the region's air quality.
- Goal E&C.2. Reduce greenhouse gas emissions.

In order to comply with these policies, Mountain Line reached out to Vintage in October 2020 when the Sky Cottages project was introduced in the Flagstaff development review process, asking to revisit past discussions and draft agreements to seek a partnership to extend transit service to Woody Mountain Road. Estimated costs of operating Future Route 8 and the cost-sharing proposal was submitted to Vintage on November 6, 2020, who responded that they will work on this internally and see what they can figure out. As of November 20, Vintage has not responded with additional thoughts on the transit service proposal, but has provided the following response in the City Substantive Planning comments on November 12:

Vintage Partners has and will continue to communicate and coordinate with NAIPTA. Additionally, Vintage Partners has committed to installing a bus stop at such time public transit is provided to serve the Sky Cottages and surrounding developments. The location, design, etc. will be determined, if and when, public transit is provided.

#### *Finding #2*

*The proposed amendment will not be detrimental to the public interest, health, safety, convenience, or welfare of the City and will add to the public good as described in the General Plan;*

The proposed transit service is consistent with and conforms to the objectives and policies of the City's Climate Action and Adaptation Plan (CAAP). Without transit service to Sky Cottages, strategies and actions of the Flagstaff CAAP are not met. These include:

- Transportation and Land Use
- Goal: Reduce greenhouse gas emissions from vehicle use.
  - Reduce greenhouse gases from transportation in Flagstaff by 30% by 2030, 80% by 2050
- Goal: Prioritize transportation modes and infrastructure such as walking, biking, and public transit that promote public health, maintain Flagstaff's clean air status, and reduce emissions.
- Strategy 2: Prioritize, incentivize, and promote transportation by walking, biking, and transit.
  - TLU-2-B: Implement the transit-supportive recommendations of the Northern Arizona Intergovernmental Public Transportation Authority (NAIPTA) Five





- TLU-2-F: Secure additional funding to support biking, walking, and transit.
- Strategy 5: Manage transportation demand and reduce the frequency with which people drive alone.

Transit service to Sky Cottages helps the City achieve goals set in the CAAP. Additionally, Flagstaff's City Council voted on June 23, 2020 to move forward in declaring a climate emergency in Flagstaff due to "detrimental effects on Earth's human, physical, biological, and hydrological systems as attested by increased and intensifying wildfires," amongst other reasons. This resolution sets a goal of making Flagstaff carbon neutral by 2030.

Transportation is the largest contributor to greenhouse gas emissions in the City and the City estimates that vehicles miles travels must be reduced by 50% by 2030 to achieve it. Without transit service to Sky Cottages, future residents have few transportation choices beyond a personal automobile.

Additionally, affordable housing is a critical issue for Flagstaff residents and Council and is one of the City Council Goals for 2018-2020. Transportation is the second largest household expense, greatly impacting affordability. According to AAA, owning and driving one car costs \$9,282 each year. In comparison, a Mountain Line annual pass is \$408 per person, and for a family of four transit expenses are \$1,632. If an agreement can be reached with Vintage, individuals and families who live in Sky Cottages can potentially have a transportation expense of \$0.

### *Finding #3*

*The affected site is physically suitable in terms of design, location, shape, size, operating characteristics and the provision of public and emergency vehicle access and public services and utilities to ensure that the requested zone designation and the proposed or anticipated uses and/or development will not endanger, jeopardize or otherwise constitute a hazard to the property or improvements in the vicinity in which the property is located.*

When development occurs in areas that do not have utilities, the developer is responsible for a share of the costs to extend utilities to the new area. Public transit is a utility, essential for access to basic necessities. For example, the road utility is evaluated through the Traffic Impact Analysis (TIA). As a public utility, Mountain Line is seeking the development to provide a share of the cost to deliver essential transit service to a development beyond the current network.

