

NOTICE AND AGENDA

ATTENTION

IN-PERSON AUDIENCES AT PLANNING & ZONING COMMISSION MEETINGS HAVE BEEN SUSPENDED UNTIL FURTHER NOTICE

The meetings will continue to be live streamed on the city's website (<https://www.flagstaff.az.gov/1461/Streaming-City-Council-Meetings>)

To participate in the meeting click the following link:

[Join Microsoft Teams Meeting](#)

The public can submit comments that will be read at the dais by a staff member to CDPandZCommission@flagstaffaz.gov.

**PLANNING & ZONING COMMISSION
WEDNESDAY
August 24, 2022**

**STAFF CONFERENCE ROOM
211 WEST ASPEN AVENUE
4:00 P.M.**

1. Call to Order

NOTICE OF OPTION TO RECESS INTO EXECUTIVE SESSION

Pursuant to A.R.S. §38-431.02, notice is hereby given to the members of the Commission and to the general public that, at this regular meeting, the Commission may vote to go into executive session, which will not be open to the public, for legal advice and discussion with the City's attorneys for legal advice on any item listed on the following agenda, pursuant to A.R.S. §38-431.03(A)(3).

2. Roll Call

NOTE: One or more Commission Members may be in attendance telephonically or by other technological means.

MARIE JONES, CHAIR
CAROLE MANDINO, VICE CHAIR
DR. RICARDO GUTHRIE
BOB HARRIS, III

MARY NORTON
DR. ALEX MARTINEZ
LLOYD PAUL

3. Public Comment

At this time, any member of the public may address the Commission on any subject within their jurisdiction that is not scheduled before the Commission on that day. Due to Open Meeting Laws, the Commission cannot discuss or act on items presented during this portion of the agenda. To address the Commission on an item that is on the agenda, please wait for the Chair to call for Public Comment at the time the item is heard.

4. APPROVAL OF MINUTES

Approval of the minutes from the regular meeting on July 27, 2022.

5. GENERAL BUSINESS

A. PZ-15-00115-23: Adora - Phase 2 at Timber Sky Preliminary Plat

Capstone Homes requests Preliminary Plat approval for Adora - Phase 2 at Timber Sky located at 2760 S Vega Street, a 39 lot single-family subdivision on 7.15 acres in the Medium-Density Residential (MR) Zone.

STAFF RECOMMENDED ACTION:

Staff recommends the Planning and Zoning Commission, in accordance with the findings presented in this report, forward the Preliminary Plat to the City Council with a recommendation of approval.

6. MISCELLANEOUS ITEMS TO/FROM COMMISSION MEMBERS

7. ADJOURNMENT

CERTIFICATE OF POSTING OF NOTICE

The undersigned hereby certifies that a copy of the foregoing notice was duly posted at Flagstaff City Hall on 8/17/22, at 2:00 p.m. This notice has been posted on the City's website and can be downloaded at www.flagstaff.az.gov.

Dated this 17 day of August, 2022.

Signature



Planning & Zoning Commission

5. A.

Meeting Date: 08/24/2022

From: Ben Mejia, Planner

Information

TITLE:

PZ-15-00115-23: Adora - Phase 2 at Timber Sky Preliminary Plat

Capstone Homes requests Preliminary Plat approval for Adora - Phase 2 at Timber Sky located at 2760 S Vega Street, a 39 lot single-family subdivision on 7.15 acres in the Medium-Density Residential (MR) Zone.

STAFF RECOMMENDED ACTION:

Staff recommends the Planning and Zoning Commission, in accordance with the findings presented in this report, forward the Preliminary Plat to the City Council with a recommendation of approval.

Executive Summary:

The Adora - Phase 2 at Timber Sky subdivision, consisting of 39 single-family lots located on 7.15 acres in the Medium-Density Residential (MR) Zone.

Attachments

Staff Report

Application

Preliminary Plat

PLANNING & DEVELOPMENT SERVICES REPORT PRELIMINARY PLAT

PZ-15-00115-23

DATE: July 20, 2022
MEETING DATE: August 10, 2022
REPORT BY: Ben Mejia

REQUEST:

Capstone Homes requests Preliminary Plat approval for Adora – Phase 2 at Timber Sky located at 2760 S Vega Street, a 39-lot single-family subdivision on 7.15 acres in the MR (Medium-Density Residential) Zone.

STAFF RECOMMENDATION:

Staff recommends the Planning and Zoning Commission, in accordance with the findings presented in this report, forward the Preliminary Plat to the City Council with a recommendation of approval.

PRESENT LAND USE:

The subject site is currently vacant.

PROPOSED LAND USE:

The Adora – Phase 2 at Timber Sky subdivision, consisting of 39 single-family lots located on 7.15 acres in the MR (Medium-Density Residential) Zone.

NEIGHBORHOOD DEVELOPMENT:

See the attached vicinity map for more information.

North: Timber Sky Block 3A, MR Zone
South: Timber Sky Block 4, R1 Zone
East: Sky Cottages, MR Zone
West: Timber Sky Block 3A, MR Zone

REQUIRED FINDINGS:

The Planning and Zoning Commission shall find the proposed Preliminary Plat meets the requirements of the City Code Title 10, Flagstaff Zoning Code; City Code Title 11, General Plans and Subdivisions; and City Code Title 13, Engineering Design Standards and Specifications.

STAFF REVIEW:

I. Project Information

A. Background

Timber Sky is a proposed 1,300 (maximum density) residential dwelling unit development. The development proposes a mixture of high, medium, and single-family residential units combined with commercial service and open space on 197.58 acres. The site is situated north and south between West Route 66 ("Route 66") and Interstate-40 and east and west between Woody Mountain Road and Flagstaff Ranch Road. The site slopes gently from south to north with most of the onsite drainage flowing toward an existing culvert under Route 66, which eventually discharges into the Clay Avenue Wash Detention Basin located north of Route 66. There are no designated floodplains on the site. In 2006, the property partially burned in a fire leaving a 700-foot-wide corridor of deforested land through the middle of the site. The remainder of the site is forested with Ponderosa Pine. The site has two pockets of slopes greater than 17% with other basalt rock outcrop features throughout the property. A large amount of fill placed on site, which has the appearance of a steep slope, will not be protected. An existing aboveground 69 kV transmission line crosses the

site in an east-west direction connecting to an existing APS substation at the southwestern corner of the property. The line is required to be undergrounded with the development of the second phase of Timber Sky.

The applicant, Capstone Homes, is seeking Preliminary Plat approval for Adora – Phase 2 at Timber Sky consisting of 39 single-family residential lots utilizing conventional zoning standards.

B. Type of Plat

This Preliminary Plat request is for a single-family residential subdivision consisting of 39 individual lots. All areas in the subdivision not allocated as lots are reserved as tracts.

II. Required Findings: Conformance with City Development Standards and Regional Plan

Staff reviewed and approved the Preliminary Plat based on conformance with City Code Title 10, Flagstaff Zoning Code; City Code Title 11, General Plans and Subdivisions; and City Code Title 13, Engineering Design Standards and Specifications.

A. City of Flagstaff Zoning Code (Title 10)

i. Medium-Density Residential (MR)

This subdivision will create 39 single-family residential lots within the Medium-Density Residential (MR) zone. The MR zone allows a gross density of fourteen (14) units per acre for sites within the Resource Protection Overlay (RPO) and requires a minimum density of two (2) units per acre. The net density of this subdivision is 7.06 units per acre and the gross density is 5.45 units per acre. The proposed lot sizes in this subdivision vary from 0.10 acres (approximately 4,456 square feet) to 0.19 acres (approximately 8,065 square feet). Although the MR zone requires minimum lot sizes of 6,000 square feet, the use of Planned Residential Development standards allows for smaller lot sizes. This Preliminary Plat complies with the building form and placement standards such as setbacks for the T4N.2 transect zone (Division 10-40.40.080 of the Zoning Code).

Setback requirements for T4N.2 transect zone are:

Front:	5' min. 12' max.
Side:	3' min.
Rear:	3' min.

ii. Natural Resources

The subject property is located within the Resource Protection Overlay. A Natural Resource Protection Plan (NRPP) was provided in conjunction with this Preliminary Plat. Resources within this plat are limited to forest resources. The resources in Timber Sky are to be averaged over the entire site, so if one block falls short of the minimum required another makes up the difference. This block does not meet the preservation requirement on its own at 44.1% preserved instead of the 47.5% that would be required if viewed individually, however other blocks within the site will account for the difference. The applicant has agreed to true up the averaging data for this plat during civil plan review but, overall, the resources appear to be in conformance for all the site currently constructed.

iii. Historic/Cultural Resources

Cultural resource clearance was completed as part of the original Timber Sky development approval. No additional review was required.

iv. Parks, Open Space, Pedestrian, and Bicycle Facilities

In order to offset the parks and recreation demands for the future Timber Sky residents, active and passive recreation amenities have been incorporated into both the civic and open space requirements. Those amenities include a community center with BBQ grills, picnic tables, a pavilion, sports courts, and walking trails. The majority of these amenities will be constructed as part of phase 2, with the community center under construction.

B. City of Flagstaff Subdivision Standards (Title 11)

i. Preliminary Plat

IDS approved the Preliminary Plat based on conformance with the procedures and application requirements outlined in Section 11-20.60: Preliminary Plat on July 7, 2022.

ii. Subdivision Standards and Regulations

IDS also approved the Preliminary Plat based on conformance with relevant standards in Section 11-20.120: Subdivision Design Standards and Requirements.

ii.1 Lot Design

The proposed subdivision meets the standards for lot design:

- Meet the minimum lot width, depth, and size requirements of the Zoning Code.
- Be designed appropriately for the location and character of the proposed development, street improvements, and underlying topography.
- All lots shall be lawfully built upon and be developable (lots are designed in a way so that development can meet all relevant development standards).
- Buildable area (building envelope) shall be located away from the crest of ridge lines.
- Buildable area shall be determined by setback requirements and the location of natural topographic features.

ii.2 Street Design

The proposed subdivision meets the standards for street design:

- Meet the street cross-section standards (Engineering Standards) for the type of street proposed.
- Street design is appropriate for underlying topography and in relation to existing streets. Where feasible, streets shall be placed on top of ridges to minimize the extent of grading and reduce the visual impact of development.

ii.3 Easement Design

The proposed subdivision meets the standards for easement design:

- Easements shall be provided and dedicated where deemed necessary for specific purposes (the plat will dedicate a public utility easement and a drainage easement).
- Drainage easements shall substantially follow the line of any existing watercourse that traverses the land.

ii.4 Block Design

The proposed subdivision meets the standards for block design:

- Blocks in non-transect zones shall not normally exceed 1,200 feet in length measured from the property lines, except in hillside developments or where a subdivision of one-half acre lots or larger justify or require a variation from this requirement, or where there are unusual conditions of the property being subdivided.

iii. Minimum Required Subdivision Improvements

The subdivider is required to improve all streets, pedestrian ways, alleys, and easements in the subdivision and adjacent to it as required to serve the subdivision. Staff review of the Preliminary Plat along with the impact analyses discussed in the Engineering Standards section below identified the required improvements in conformance with

Section 11-20.130: Minimum Required Subdivision Improvements. These improvements will formally be approved with Civil Engineering Plans review, which will occur after Preliminary Plat approval by City Council.

C. City of Flagstaff Engineering Standards (Title 13)

As part of the Preliminary Plat review, Staff conducted a public systems analysis to confirm preliminary compliance with Engineering Standards. Following Preliminary Plat approval, the applicant shall submit and receive approval for Civil Engineering Plans for the subdivision prior to review and approval of the Final Plat. Approval of the Civil Engineering Plans will be contingent on the plat meeting City Engineering Standards.

i. Access and Traffic

The approved Timber Sky Traffic Impact Analysis (TIA) dated June 23, 2016, was prepared by CivTech, and was reviewed by the City, Coconino County, and ADOT. All off-site roadway improvements are regulated by the Development Agreement approved in conjunction with this development. This report will focus on the details in relation to the on-site improvements required for this plat. Phase 2 of Timber Sky will have one primary access point on West Route 66 via Alvan Clark Way and a second primary access via McAllister Ranch Road to Woody Mountain Road, which will be completed to the full roadway section. The proposed subdivision has direct access to McAllister Ranch Road.

The internal subdivision streets are based on City Engineering Standards except for having a right-of-way width of 55 feet versus the 57-foot dimension required, which allows one foot of the required two-foot bench behind the sidewalk to be located in an easement rather than right-of-way. The City Engineer, through a modification request, has approved this exception. The internal streets have a 16.5-foot travel lane with a 5-foot sidewalk separated by a 5-foot landscaped parkway on both sides of the street. The City Engineer previously approved, in association with the Timber Sky Block Plat, a modification request to vary the landscaped parkway in places where significant resources could be preserved. Two other engineering modifications have been approved in conjunction with these plats. The first allows a landscaped entry feature to each subdivision, and the second removes lighting from internal residential streets, as this site is located in Lighting Zone 1. Since these modification requests have been granted, Code requirements have been updated and the proposed lighting meets current engineering standards.

ii. Water and Wastewater

Civil Design & Engineering, Inc., on behalf of the City of Flagstaff Water Services Division, prepared the Water and Wastewater Impact Analysis (WSIA). The analysis is based on the demands generated by Timber Sky with a residential dwelling cap of 1,300 units.

Water

The closest source of Zone A+ water for this site includes an 18-inch waterline within Route 66 along the northern property boundary and a 12-inch waterline located in Woody Mountain Road. These existing Zone A+ waterlines are fed by the Railroad Springs tank and a booster pump located in the Railroad Springs Subdivision. A minimum of three connections will need to be made to the existing distribution system for this development. A looped water system will be required from Route 66 to Woody Mountain Road. Each of the Blocks within Timber Sky will be connected to the water main within the internal collector roadways.

Wastewater

The Water and Wastewater Impact Analysis identified two possible connection points to the City sewer system. The nearest existing sewer line is located along Woody Mountain Road where there is an eight (8) inch PVC sewer main. The second is the Westside Sewer line extension to the existing 18-inch PVC sewer interceptor location in Adirondack Avenue (Railroad Springs). The Rio De Flag Wastewater Treatment Plant will treat all sewage collected in these lines.

Modification to the existing sewer collection system was required for the Timber Sky development. The first improvement included off-site replacement of the eight (8) inch sewer line with an 18-inch, 21-inch, and 24-inch sewer line for a stretch of approximately 3,100 feet along Thompson Street and West Kaibab. The second off-site improvement included installation of the 18-inch sewer line connecting Adirondack Avenue (Railroad Springs) to the project site. This reach of the Westside Sewer line extension is approximately 5,170 feet in length, runs along the Clay Avenue Wash adjacent to McAllister Ranch and has already been completed. Each block within Timber Sky will be connected to the sewer main with the internal collector roadways.

iii. Stormwater

Timber Sky has an open space corridor that will manage major portions of the stormwater on the project site. A series of retention basins will be constructed along the flowline through the property. These basins will convey on-site and off-site flows from the west and south of the project site with an outlet to an existing box culvert under Route 66. The box culvert discharges flow to the Clay Wash Detention Basin located north of Route 66 within the Rio De Flag watershed area.

Low Impact Development (LID) requirements are being met in several ways. The water quality aspects of the LID requirements are being met in the upper reaches of the site at the discharge points of impervious surface areas. The use of bio-retention areas on single-family lots are proposed to meet the requirements for the residential impervious areas. Maintenance of the bio-retention areas on tracts will be the responsibility of the Homeowners Association. These maintenance requirements have been added to the development agreement for this project.

REQUIRED FINDINGS:

The Planning and Zoning Commission shall find the Preliminary Plat meets the requirements of the City Code Title 10, Flagstaff Zoning Code; City Code Title 11, General Plans and Subdivisions; and City Code Title 13, Engineering Design Standards and Specifications.

Recommendation

Staff recommends the Planning and Zoning Commission, in accordance with the required findings presented in this report, forward the Preliminary Plat to the City Council with a recommendation of approval.

Attachments:

- Application
- Preliminary Plat



City of Flagstaff

Community Development Division

211 W. Aspen Ave

P: (928) 213-2618

Flagstaff, AZ 86001

www.flagstaff.az.gov

Date Received		Application for Subdivision Review			File Number	
Property Owner(s) Abbot - Rhoton Investments LLC				Phone 928-774-38262		
Mailing Address 3605 S. FLAGSTAFF RANCH RD		City, State, Zip FLAGSTAFF AZ, 860056		Email JSUTHERLAND@CAPSTONEHOMESAZ.COM		
Applicant(s) JOHN SUTHERLAND				Phone 928-774-38262		
Mailing Address 3605 S. FLAGSTAFF RANCH RD		City, State, Zip FLAGSTAFF AZ, 860056		Email JSUTHERLAND@CAPSTONEHOMESAZ.COM		
Project Representative JOHN SUTHERLAND				Phone 928-774-38262		
Mailing Address 3605 S. FLAGSTAFF RANCH RD		City, State, Zip FLAGSTAFF AZ, 860056		Email JSUTHERLAND@CAPSTONEHOMESAZ.COM		
Requested Review: <input type="checkbox"/> Development Master Plan <input type="checkbox"/> Conceptual Plat <input type="checkbox"/> Preliminary Plat P&Z and Council <input type="checkbox"/> Modified Subdivision <input checked="" type="checkbox"/> Preliminary Plat <input type="checkbox"/> Final Plat- Council						

Project Name: ADORA AT TIMBER SKY PHASE 2 (BLOCK 3B)		Site Address SF RESIDENTIAL		Parcel Number 112-01-706		
Proposed Use MEDIUM RES.		Existing Use UNDEVELOPED		Subdivision, Tract & Lot Number TIMBER SKY, BLOCK 3B		
Zoning District MEDIUM RES.		Regional Plan Category RESIDENTIAL		Flood Zone X		Size of Site (Sq. ft. or Acres) 7.15
Property Information: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Located in an existing Local/National Historic District? (Name: _____) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing structures are over 50 years old at the time of application? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Subject property is undeveloped land?						
Surrounding Uses		North	South	East		West
(Res, Com, Ind)		RES	FUTURE RES	FUTURE RES		RES
Proposed Use:		Number of Lots	Number of Units	Number of acres per use		Building Square Feet
		39	39	7.15		

Please complete a "Subdivision Review Application" and provide an initialed "Application and Information Checklist" form along with the required number of plans and information as appropriate for a Development Master Plan, Conceptual, Preliminary or Final Plat. **Incomplete submittals will not be scheduled.**

Property Owner Signature: (required) <i>John Sutherland</i>		Date: 3/14/22	Applicant Signature: <i>John Sutherland</i>		Date: 3/14/22
For City Use					
Date Filed:		Case Number (s)			
P & Z Hearing Date:			Publication and Posting Date:		
Council Hearing Date:			Publication and Posting Date:		
Fee Receipt Number:		Amount:		Date:	
Action by Planning and Zoning Commission:			Action By City Council:		
<input type="checkbox"/> Approved			<input type="checkbox"/> Approved		
<input type="checkbox"/> Denied			<input type="checkbox"/> Denied		
<input type="checkbox"/> Continued			<input type="checkbox"/> Continued		
Staff Assignments	Planning	Engineering	Fire	Public Works/Utilities	Stormwater

PLOTTED: Jun 30, 2022 - 9:43am

FILE: P:\2021\21169\DRAWINGS\PLATS\PRELIMINARY\CVR.DWG EXEISER

DEDICATION

STATE OF ARIZONA SS. COUNTY OF COCONINO

KNOW ALL PERSONS BY THESE PRESENTS: THAT CAPSTONE HOMES, LLC (AN ARIZONA LIMITED LIABILITY COMPANY), AS 'OWNER' AND 'GRANTOR,' HAS SUBDIVIDED UNDER THE NAME ADORA - PHASE 2 AT TIMBER SKY, A SUBDIVISION LOCATED IN A PORTION OF SECTION 19, TOWNSHIP 21 NORTH, RANGE 7 EAST, OF THE GILA AND SALT RIVER MERIDIAN, COCONINO COUNTY, ARIZONA, AS SHOWN AND PLATTED HEREON AND DOES HEREBY PUBLISH THIS PLAT AS AND FOR THE PLAT OF ADORA - PHASE 2 AT TIMBER SKY AND DECLARES THAT THIS PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF EACH LOT, TRACT, STREET, AND EASEMENT CONSTITUTING SAME, AND THAT EACH LOT, TRACT, STREET, AND EASEMENT SHALL BE KNOWN BY THE NUMBER, LETTER, AND/OR NAME GIVEN TO EACH RESPECTIVELY AS SHOWN ON THIS PLAT.

RIGHT-OF-WAYS DEDICATED

PUBLIC RIGHT-OF-WAY (ROW). GRANTOR HEREBY DEDICATES TO THE CITY OF FLAGSTAFF, IN FEE SIMPLE, ALL PUBLIC RIGHTS-OF-WAY SHOWN ON THE PLAT FOR PUBLIC USE. GRANTOR AS ABUTTING PROPERTY OWNER SHALL MAINTAIN THE SIDEWALK AND LANDSCAPING WITHIN THE RIGHT-OF-WAY BETWEEN THE STREET CURB AND THE ABUTTING PROPERTY, IN COMPLIANCE WITH THE FLAGSTAFF CITY CODE.

EASEMENTS DEDICATED

GRANTOR HEREBY DEDICATES TO THE CITY OF FLAGSTAFF, ARIZONA, AN ARIZONA MUNICIPAL CORPORATION, PERPETUAL NON-EXCLUSIVE EASEMENTS OVER, UNDER, UPON, AND ACROSS ALL EASEMENT AREAS DESIGNATED ON THE PLAT FOR THE EASEMENT PURPOSES, INCLUDING ANY RELATED FACILITIES AND EQUIPMENT AS FOLLOWS:

PUBLIC UTILITY EASEMENT (P.U.E.), FOR PUBLIC USE, FOR UTILITY PURPOSES, INCLUDING WITHOUT LIMITATION, CONSTRUCTION, OPERATION, MAINTENANCE, MODIFICATION, REPLACEMENT AND REPAIR OF ELECTRICITY, ENERGY, GAS, WATER, SEWER, PUBLIC STORM WATER SYSTEM, TELECOMMUNICATIONS, INTERNET SERVICES, CABLE TELEVISION, AND OTHER UTILITIES.

DRAINAGE EASEMENT (DE), FOR PUBLIC USE, FOR DRAINAGE AND FLOOD CONTROL PURPOSES, INCLUDING WITHOUT LIMITATION, CONSTRUCTION, OPERATION, MAINTENANCE, MODIFICATION, REPLACEMENT AND REPAIR OF NATURAL AND MAN-MADE CHANNELS, WASHES, WATERCOURSES, LEVEES, DIKES, DAMS, RETENTION AND DETENTION BASINS, STORAGE BASINS, STORM DRAINS, MONITORING DEVICES. CITY OF FLAGSTAFF IS RESPONSIBLE FOR MAINTENANCE OF THE EASEMENT AREA FOR DRAINAGE AND FLOOD CONTROL PURPOSES.

DRAINAGE MAINTENANCE EASEMENT (DME), FOR CITY ACCESS TO MAINTAIN PRIVATE DRAINAGE WAYS AND DRAINAGE FEATURES, INCLUDING WITHOUT LIMITATION, CONSTRUCTION, OPERATION, MAINTENANCE, MODIFICATION, REPLACEMENT AND REPAIR OF NATURAL AND MAN-MADE CHANNELS, WASHES, WATERCOURSES, RETENTION AND DETENTION BASINS, STORAGE BASINS, STORM DRAINS, MONITORING DEVICES, IN THE EVENT GRANTOR HAS FAILED TO PROPERLY MAINTAIN PRIVATE DRAINAGE WAYS IN ACCORDANCE WITH THE FLAGSTAFF CITY CODE.

VEHICULAR NON-ACCESS EASEMENT (VNAE) FOR TRAFFIC CONTROL PURPOSES. VEHICLE ACCESS AND DRIVEWAYS ARE PROHIBITED IN THE EASEMENT AREA.

THE OWNER HEREBY DEDICATES TO UNISOURCE ENERGY SERVICES AND ITS SUBSIDIARY, UNS GAS; ASSIGNS ALL AREAS ON THIS PLAT MARKED P.U.E. OR PUBLIC UTILITY EASEMENT AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS. WHETHER PUBLIC OR PRIVATE, FOR EXISTING NATURAL GAS FACILITIES TOGETHER WITH THE RIGHT TO INSTALL REQUIRED SERVICE CONNECTIONS OVER OR UNDER THE SURFACE TO SERVE IMPROVEMENTS THEREON OR ADJACENT TO.

EASEMENTS AND GENERAL CONDITIONS

GRANTOR HEREBY DEDICATES TO THE CITY OF FLAGSTAFF, ARIZONA PERPETUAL NON-EXCLUSIVE EASEMENTS OVER, UNDER, UPON, AND ACROSS ALL EASEMENT AREAS DESIGNATED ON THE PLAT FOR THE EASEMENT PURPOSES, INCLUDING ANY RELATED FACILITIES AND EQUIPMENT, AND SUBJECT TO THE FOLLOWING GENERAL CONDITIONS:

- 1. GRANTOR SHALL NOT ALLOW USE OF THE EASEMENT AREA IN A MANNER THAT INTERFERES WITH EASEMENT;
2. GRANTOR SHALL MAINTAIN EASEMENT AREAS FREE AND CLEAR OF VEGETATION OR OBSTRUCTIONS THAT INTERFERE WITH THE EASEMENT, PER THE FLAGSTAFF CITY CODE AS AMENDED; AND
3. GRANTEE MAY MAINTAIN VEGETATION AND REMOVE OBSTRUCTIONS THAT INTERFERE WITH THE EASEMENT;
4. IN THE EVENT THE CITY OF FLAGSTAFF HAS NOTIFIED GRANTOR AND PROVIDED REASONABLE OPPORTUNITY TO MAINTAIN THE SLOPE, VEGETATION AND/OR REMOVE OBSTRUCTIONS THAT INTERFERE WITH THE EASEMENT, CITY OF FLAGSTAFF MAY ISSUE AN ASSESSMENT AGAINST GRANTOR TO RECOVER THE CITY'S ACTUAL, REASONABLE MAINTENANCE COSTS AND RECORD IT AS A LIEN AGAINST GRANTOR'S PROPERTY UNTIL THE ASSESSMENT AND ANY STATUTORY INTEREST IS PAID;
5. GRANTEE SHALL HAVE A LIMITED, TEMPORARY RIGHT OF ACCESS ACROSS GRANTOR'S ADJACENT PROPERTY FOR EASEMENT PURPOSES IF ACCESS CANNOT BE REASONABLY ACHIEVED BY OTHER MEANS.

BINDING EFFECT. THE EASEMENTS GRANTED WITHIN THIS DEDICATION ARE PERMANENT AND PERPETUAL AND SHALL RUN WITH THE LAND AND BE BINDING UPON OWNER AND ITS HEIRS, ASSIGNS, AND SUCCESSORS IN INTEREST TO THIS PLAT OR ANY PARCEL OR LOT THEREOF.

IMPROVEMENTS. GRANTOR HEREBY DEDICATES TO THE CITY OF FLAGSTAFF ALL IMPROVEMENTS INSTALLED OR CONSTRUCTED BY GRANTOR FOR CITY PUBLIC RIGHTS-OF-WAY AND CITY UTILITIES WITHIN THE EASEMENT AREAS, AND SUCH DEDICATION SHALL BE EFFECTIVE WHEN FORMALLY ACCEPTED BY THE CITY ENGINEER (THE "ACCEPTANCE DATE").

INTERIM LIABILITY

CAPSTONE HOMES, LLC., ["GRANTOR" OR "OWNER"], DOES HEREBY RELEASE AND DISCHARGE THE CITY OF FLAGSTAFF, AND INDEMNIFY, DEFEND, AND HOLD HARMLESS THE CITY OF FLAGSTAFF, OF AND FROM ANY LIABILITY FOR ANY AND ALL CLAIMS FOR DAMAGES OF ANY KIND TO PERSONS OR PROPERTY THAT MAY ARISE AT ANY TIME IN THE FUTURE OVER, OR NEWLY DEDICATED PUBLIC RIGHTS-OF-WAY AS DEPICTED ON THIS PLAT UNTIL THE RIGHT-OF-WAY IS IMPROVED TO CITY STANDARDS AND THOSE IMPROVEMENTS ARE APPROVED AND FORMALLY ACCEPTED BY THE CITY ENGINEER ("ACCEPTANCE DATE"). GRANTOR SHALL MAINTAIN THE NEWLY DEDICATED PUBLIC RIGHTS-OF-WAY UNTIL THE ACCEPTANCE DATE.

NOW, THEREFORE, IN WITNESS WHEREOF, GRANTOR HAS HEREUNTO CAUSED ITS CORPORATE NAME TO BE SIGNED AND ITS CORPORATE SEAL TO BE AFFIXED BY THE UNDERSIGNED, DULY AUTHORIZED OFFICER THIS ____ DAY OF _____, 202__.

BY: CAPSTONE HOMES, LLC.

BY: CLINTON WHITING PRESIDENT

STATE OF ARIZONA SS. COUNTY OF COCONINO

ON THIS ____ DAY OF _____, 202__, BEFORE ME, THE UNDERSIGNED PERSONALLY APPEARED ____ WHO ACKNOWLEDGED BY SELF TO THE REPRESENT CAPSTONE HOMES, LLC., AND THAT HE/SHE AS SUCH, BEING AUTHORIZED SO TO DO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED.

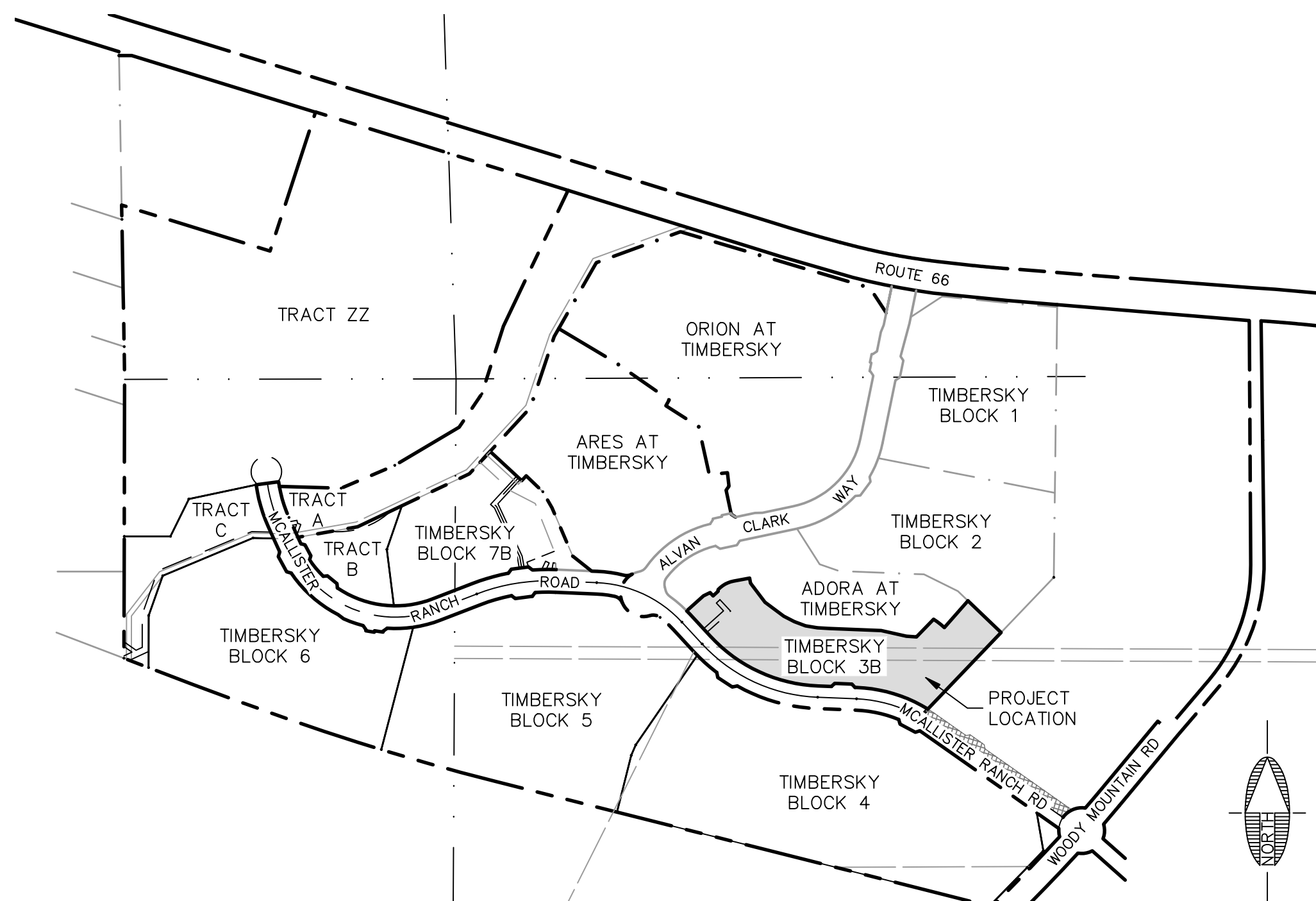
IN WITNESS WHEREOF: I HEREUNTO FORTH MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC MY COMMISSION EXPIRES

PRELIMINARY PLAT FOR ADORA - PHASE 2 AT TIMBER SKY FLAGSTAFF, ARIZONA

LOTS 1 THROUGH 39 OF TIMBER SKY BLOCK 3B AND TRACTS 'A', 'B', 'C', 'D', AND 'E'

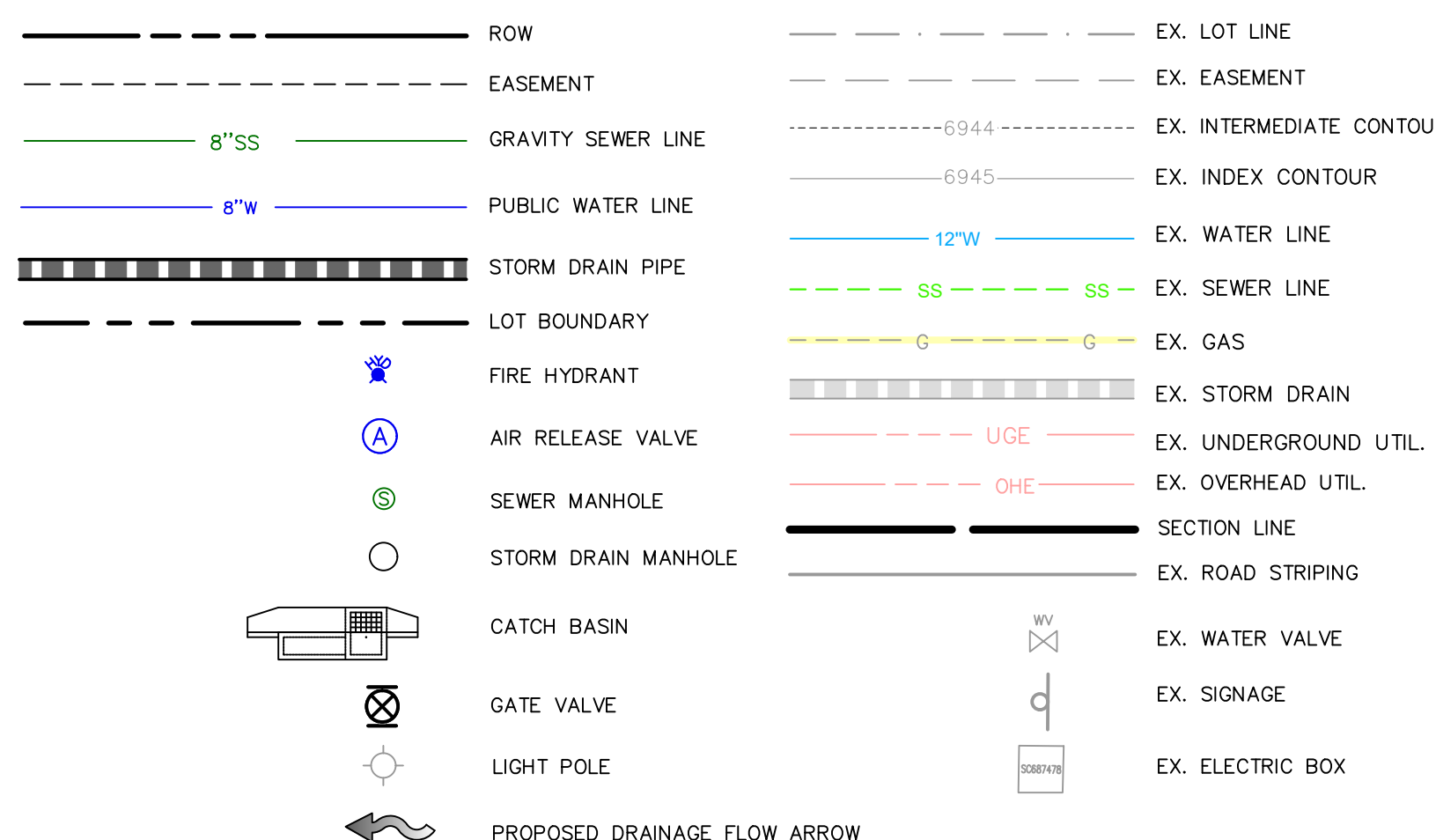
LOCATED IN SECTION 19, TOWNSHIP 21 NORTH, RANGE 7 EAST, GILA AND SALT BASE AND MERIDIAN, COCONINO COUNTY, FLAGSTAFF, ARIZONA



VICINITY MAP N.T.S.

Table with 3 columns: NAME, NUMBER, TITLE. Lists sheets PP01 through PP07 including COVER, BOUNDARY & ZONING, CIVIL DESIGN, PRELIMINARY PLAT, and BUILDING DETAILS.

LEGEND



PROPERTY INFORMATION:

APN# 112-01-706 BLOCK 3B

AREA GROSS = 7.15 AC AREA NET = 5.52 AC DENSITY GROSS = 5.45 DU/AC DENSITY NET = 7.06 DU/AC

TOTAL AREA OF ROW: 1.63 AC TOTAL AREA OF LOTS (39 TOTAL): 5.27 AC

TRACT A: SEWER EASEMENT TRACT B, C, AND E: LANDSCAPED AREAS AND OPEN SPACE TRACT D: OPEN SPACE ROCK OUTCROPPING PRESERVATION

ZONING: MEDIUM DENSITY RESIDENTIAL (MR) WITH PRD DEVELOPMENT OPTION T4N.2

LEGAL DESCRIPTION: THE NORTH HALF OF THE SOUTHWEST QUARTER; SECTION 19, TOWNSHIP 21 NORTH, RANGE 7 EAST, GILA AND SALT RIVER MERIDIAN, COCONINO COUNTY, ARIZONA,

FLOODPLAIN: THIS PROJECT IS LOCATED WITHIN ZONE X OF FEMA FIRM MAP #04005C6812, EFFECTIVE SEPTEMBER 3, 2010. ZONE X IS DESCRIBED AS AN AREA DETERMINED TO BE OUTSIDE THE 500-YR FLOODPLAIN.

- 1. THE CITY OF FLAGSTAFF PROVIDES WATER [UTILITY] SERVICE PURSUANT TO STATE LAW, AND IS CURRENTLY OPERATING UNDER A DESIGNATION OF ADEQUATE WATER SUPPLY GRANTED BY THE ARIZONA DEPARTMENT OF WATER RESOURCES, APPLICATION NO. 41-90000.0002.
2. ALL UTILITIES, INCLUDING STREET LIGHT AND ELECTRIC LINES INSTALLED WITH THIS DEVELOPMENT SHALL BE PLACED UNDERGROUND.
3. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM TO ALL APPLICABLE CITY OF FLAGSTAFF CODES AND ORDINANCES.
4. NO SLOPE EASEMENTS ARE REQUIRED FOR THIS DEVELOPMENT.

OPEN SPACE SUMMARY

REQUIRED OPEN SPACE PROPOSED 3B 7.15 AC GROSS @ 15% =1.07 AC

PROVIDED OPEN SPACE OPEN SPACE FOR ALL MR DEVELOPMENT IN TIMBER SKY HAS BEEN ACCOUNTED FOR IN TRACT A AND C OF THE TIMBER SKY PHASE 2 BLOCK PLAT.

ADDITIONAL PROVIDED 3B TRACT B: C, AND E: LANDSCAPED AREAS AND OPEN SPACE TRACT D: OPEN SPACE ROCK OUTCROPPING PRESERVATION

RESOURCE PRESERVATIONS

THE PROJECT DOES FALL WITHIN THE CITY OF FLAGSTAFF RESOURCE PROTECTION OVERLAY ZONE. REFER TO THE NATURAL RESOURCE PROTECTION PLAN WITHIN THIS PRELIMINARY PLAT.

FLOOD ZONE CLASSIFICATION

THE PROJECT AREA IS WITHIN ZONE X DESIGNATED BY FEMA FIRM'S 04005C-6804G AND 04005C-6812G. THE PROJECT AREA HAS BEEN DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. THEREFORE, NO BUILDING WILL OCCUR IN A FLOODPLAIN.

UTILITY COMPANY CONTACTS

APS CONTACT: CHAD BROOKS 2200 E. HUNTINGTON FLAGSTAFF, AZ 86004 CHAD.BROOKS@APS.COM PHONE: (928) 773-6440

UNISOURCE ENERGY SERVICES CONTACT: MARTIN CONBOY 2901 W SHAMRELL BLVD #110 FLAGSTAFF, AZ 86001 MCONBOY@UESAZ.COM PHONE: (928) 226-2269

LUMEN CONTACT: MANUEL HERNANDEZ 112 NORTH BEAVER STREET FLAGSTAFF, AZ 86001 MANUEL.HERNANDEZ4@CENTURYLINK.COM PHONE: (928) 779-4935

ALTICE USA CONTACT: SANFORD YAZZIE 1601 SOUTH PLAZA WAY FLAGSTAFF, AZ 86001 SANFORD.YAZZIE@ALTICEUSA.COM PHONE: (928) 266-0672

UTILITY CONFLICT

UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND WERE COMPILED FROM RECORD DRAWINGS, SURVEY, AND CONSTRUCTION PLANS FURNISHED BY OTHERS. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR DETERMINING THE ACTUAL LOCATIONS OF ALL UNDERGROUND LINES THAT MAY AFFECT WORK PRIOR TO CONSTRUCTION.

THERE ARE NO APPARENT CONFLICTS. REFER TO UTILITY CONFLICT RESPONSE LETTERS FOR MORE DETAILED INFORMATION.

CERTIFICATE OF LAND SURVEYOR

I HEREBY STATE THAT THE SURVEY SHOWN HEREON WAS DONE UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Aaron D. Borling, RLS 48756

PROPERTY OWNER/DEVELOPER:

CAPSTONE HOMES CONTACT: JOHN SUTHERLAND 3605 S. FLAGSTAFF RANCH RD. FLAGSTAFF, AZ 86005 (928) 774-3826

CIVIL ENGINEER:

SHEPHARD-WESNITZER, INC. STEPHEN IRWIN, PE #58405 110 W. DALE AVE. FLAGSTAFF, AZ 86001 (928) 774-0354

SURVEYOR:

SHEPHARD-WESNITZER, INC. AARON BORLING, RLS #48756 110 W. DALE AVE. FLAGSTAFF, AZ 86001 (928) 774-0354

SITE BENCHMARK

2" ALUMINUM CAP IN MEDIAN NORTHEAST CORNER ISLAND OF MCALLISTER RANCH ROAD AND ALVAN CLARK WAY ROUNDABOUT ELEVATION = 7088.834'

SOURCE OF PROJECT INFORMATION

BOUNDARY INFORMATION PER INST. #3810031, AND SUPPLEMENTAL TOPOGRAPHIC SURVEY PERFORMED BY SHEPHARD-WESNITZER, INC. IN NOVEMBER 2020.

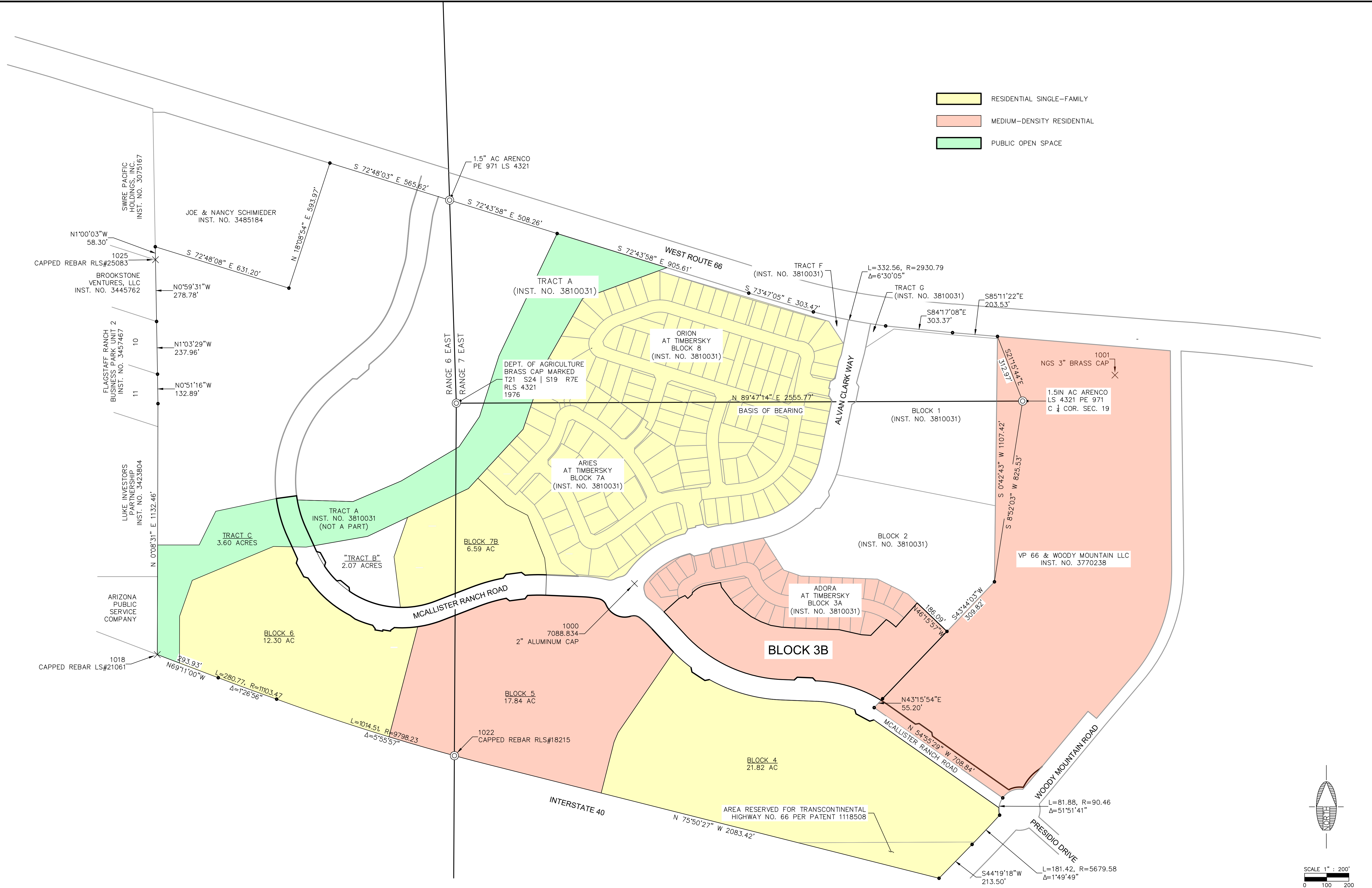
BASIS OF BEARING

NORTH 89-47-14 EAST, 2555.77' FROM THE NORTHWEST QUARTER CORNER OF SECTION 19, TOWNSHIP 21 NORTH, RANGE 7 EAST OF THE GILA AND SALT RIVER MERIDIAN, COCONINO COUNTY, ARIZONA, ACCORDING TO THE INST. NO. 3810031, OFFICIAL RECORDS OF COCONINO COUNTY, ARIZONA.

Vertical sidebar containing project details: JOB NO. 21169, DATE JUN 22, SCALE AS SHOWN, DRAWN SAJ/ELK, DESIGN SAJ/ELK, CHECKED: SGI, 110 W. Dale Avenue Flagstaff, AZ 86001, 928.773.0354, 928.774.8934 fax, www.swi.az.com, SWI Shephard Wesnitzer, Inc., REVISIONS table, ARIZONA 811 Arizona Blue Stakes, Inc., DRAWING NO. PP01, SHT NO. 1 OF 7, COF# PZ-15-00115-23

PRELIMINARY NOT FOR CONSTRUCTION, BIDDING OR RECORDING

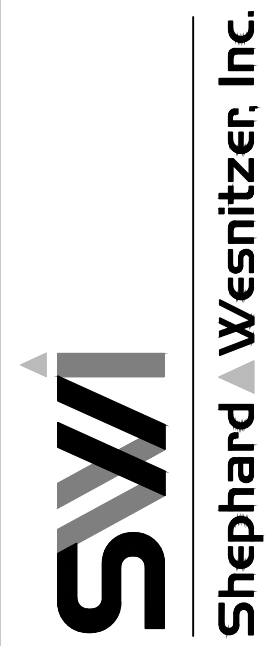
COF# PZ-15-00115-23



- RESIDENTIAL SINGLE-FAMILY
- MEDIUM-DENSITY RESIDENTIAL
- PUBLIC OPEN SPACE

JOB NO:	21169
DATE:	JUN 22
SCALE:	AS SHOWN
DRAWN:	BH
DESIGN:	BH/SWJ
CHECKED:	SCI

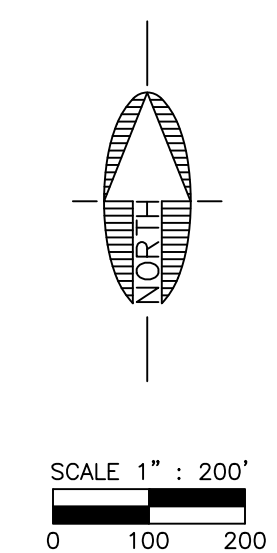
110 W. Dole Avenue
Flagstaff, AZ 86001
928.774.8934
928.774.8934 fax
www.swi.com



NO.	DESCRIPTION	DATE	BY

Call at least two full working days before you begin excavation.

ARIZONA 811
Arizona Blue Stakes, Inc.
088 8-1-1 or 1-800-514-1111 (722-5348)

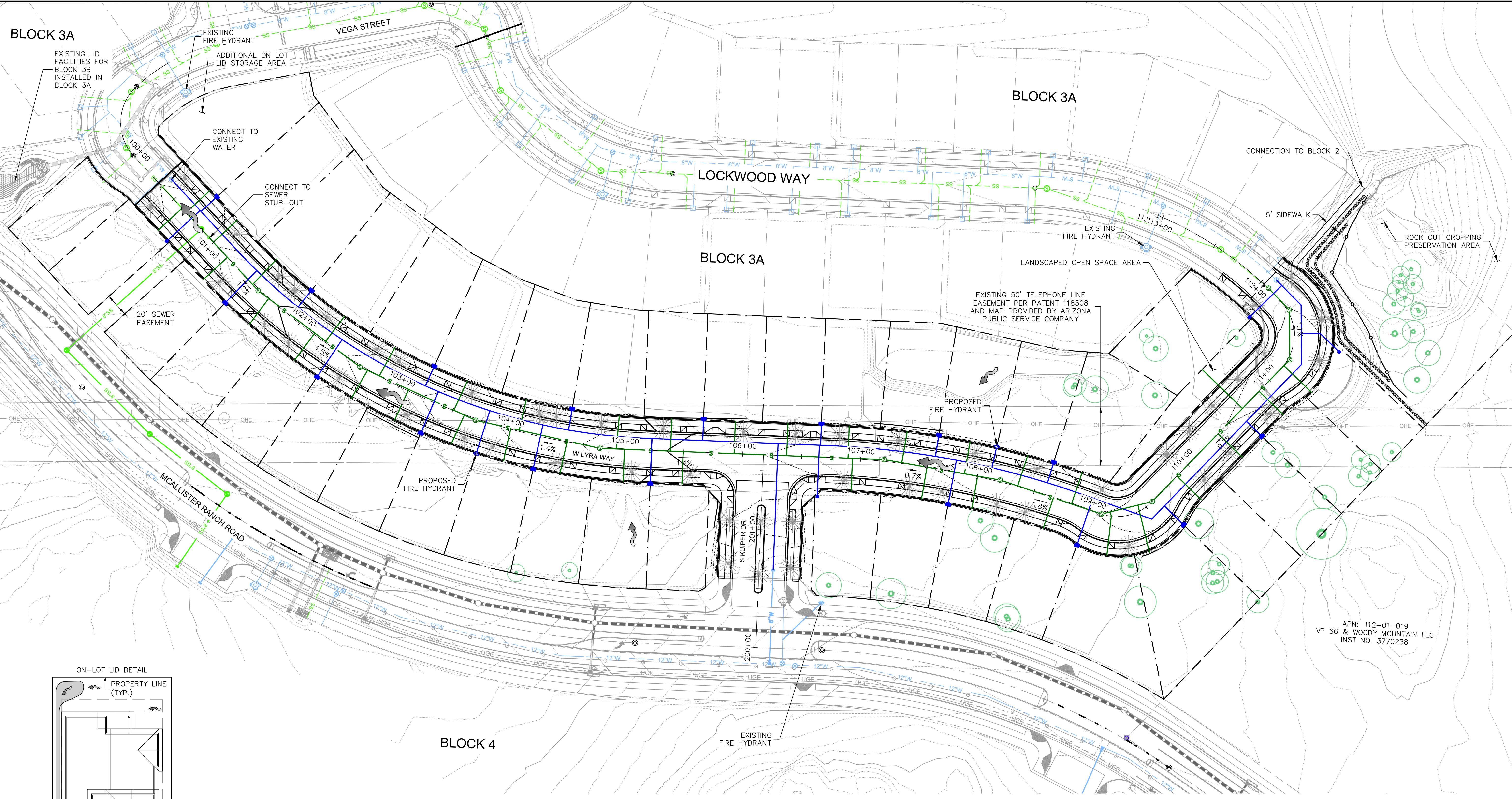


PRELIMINARY
NOT FOR CONSTRUCTION,
BIDDING OR RECORDING

COF# PZ-15-00115-23

PLOTTED: Jun 30, 2022 - 9:44am

FILE: P:\2021\21169\DRAWINGS\PLANS\PRELIMINARY\CONCEPTUAL-PLANS.DWG EKEISER



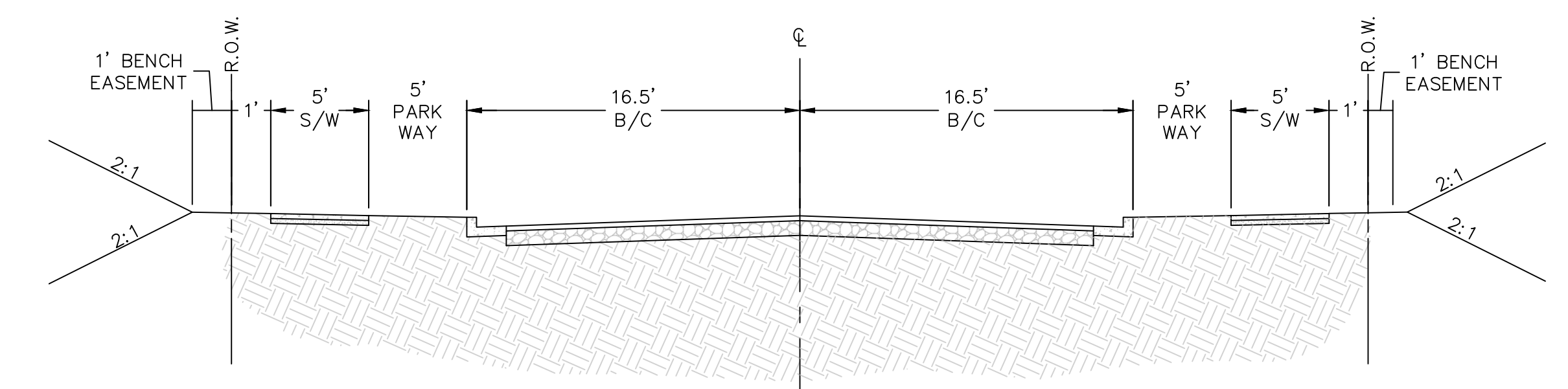
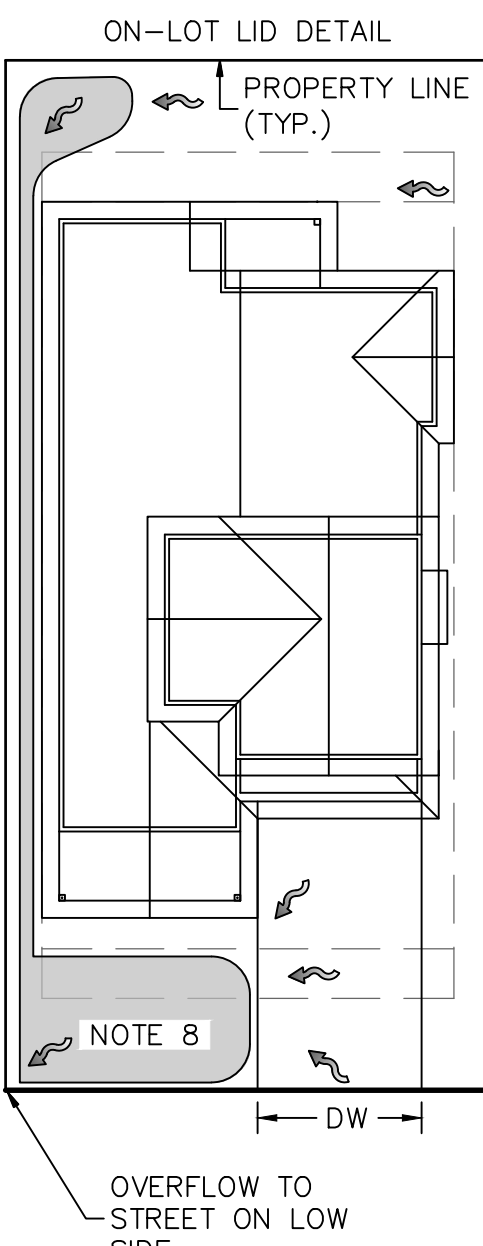
BLOCK 3A

BLOCK 3A

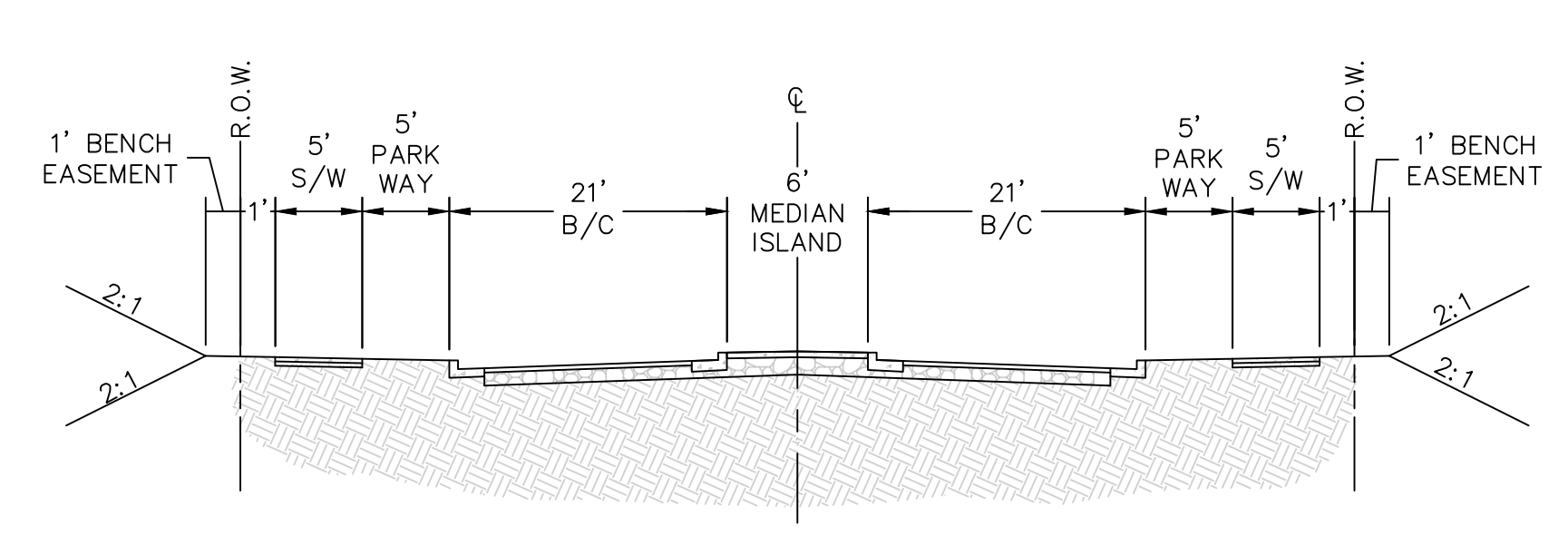
LOCKWOOD WAY

BLOCK 3A

BLOCK 4



TYPICAL ROAD CROSS SECTION A NO SCALE PP03



TYPICAL ENTRANCE CROSS SECTION B NO SCALE PP03

NOTES:

1. TO PROVIDE ON-LOT LID STORAGE FRONT, REAR AND SIDE YARDS WILL BE FINE GRADED TO PUSH RUNOFF TO LANDSCAPE AREAS PER RAIN HARVESTING PRACTICES. LID WILL GENERALLY HAVE A MAX DEPTH OF 4" BUT MAY GO UP TO 8". LOTS WILL GENERALLY PROVIDE 50 CF OF STORAGE, LOTS 17, 18 AND 23 WILL PROVIDE 134 CF OF STORAGE.
2. LOCATIONS OF ON-LOT LID STORAGE ARE CONCEPTUAL AND MAY CHANGE PER APPROVED BUILDING PERMITS FOR EACH LOT.

SCALE 1" = 40'

PRELIMINARY NOT FOR CONSTRUCTION, BIDDING OR RECORDING

COF# PZ-15-00115-23

FLAGSTAFF ARIZONA

ADORA - PHASE 2

CIVIL DESIGN

JOB NO: 21169 DATE: JUN 22 SCALE: AS SHOWN DRAWN: SJV/ELK DESIGN: SJV/ELK CHECKED: SCI

110 W. Dole Avenue
Flagstaff, AZ 86001
928.773.0354
928.774.8934 fax
www.swi.coz.com

APN: 112-01-019
VP 66 & WOODY MOUNTAIN LLC
INST NO. 3770238

SWI
Shephard Wesnitzer, Inc.

NO.	DESCRIPTION	DATE	BY

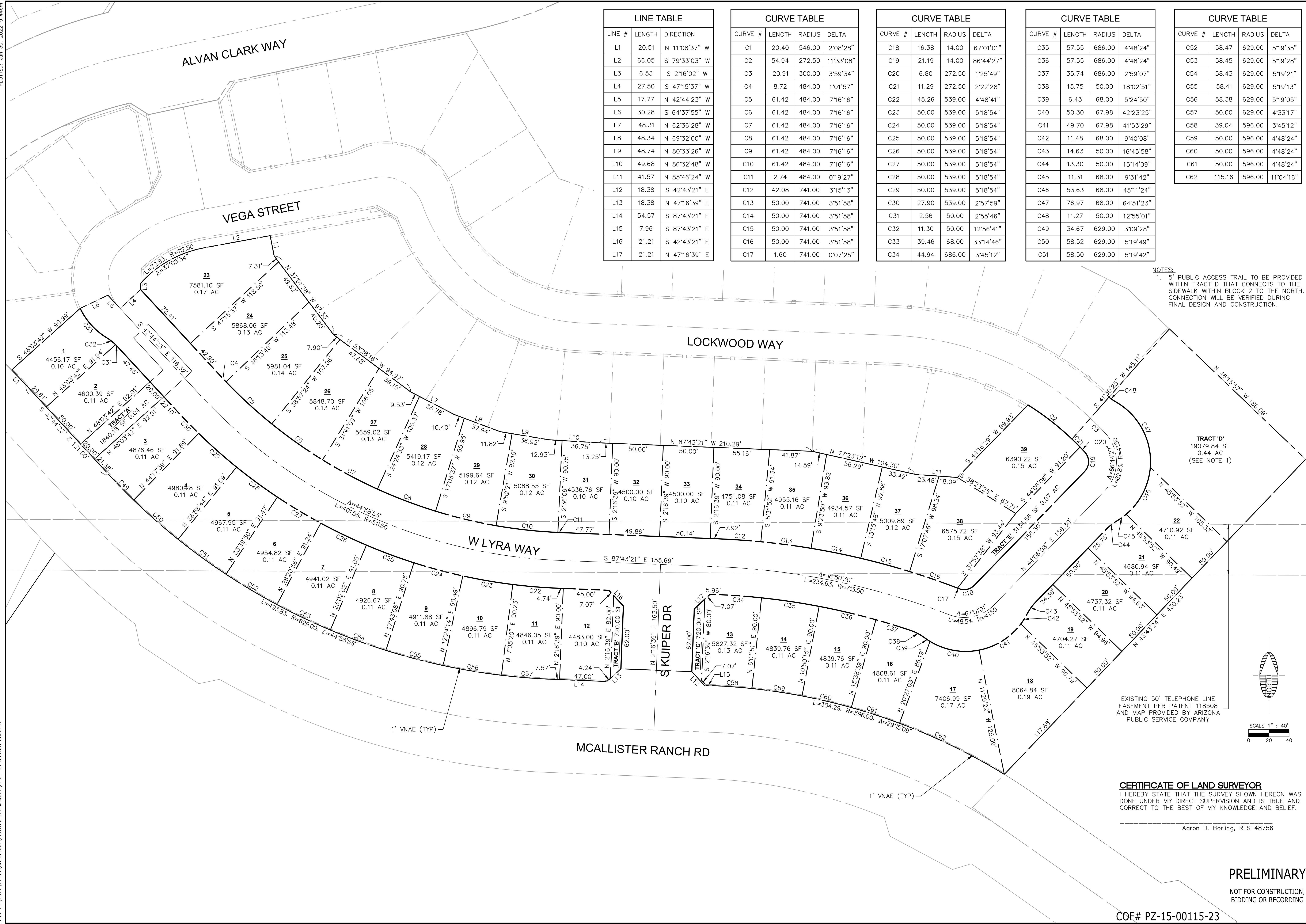
Call at least two full working days before you begin excavation.
ARIZONA 811
Arizona Blue Stakes, Inc.
DOB 8-1-1 or 1-800-514-1111 (782-5348)

DRAWING NO. PP03

SHT NO. 3 OF 7

PLOTTED: Jun 30, 2022--9:44am

FILE: P:\2021\21169\DRAWINGS\PLATS\PRELIMINARY\PP01-21169.DWG EKEISER



LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	20.51	N 11°08'37" W
L2	66.05	S 79°33'03" W
L3	6.53	S 2°16'02" W
L4	27.50	S 47°15'37" W
L5	17.77	N 42°44'23" W
L6	30.28	S 64°37'55" W
L7	48.31	N 62°36'28" W
L8	48.34	N 69°32'00" W
L9	48.74	N 80°33'26" W
L10	49.68	N 86°32'48" W
L11	41.57	N 85°46'24" W
L12	18.38	S 42°43'21" E
L13	18.38	N 47°16'39" E
L14	54.57	S 87°43'21" E
L15	7.96	S 87°43'21" E
L16	21.21	S 42°43'21" E
L17	21.21	N 47°16'39" E

CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C1	20.40	546.00	2°08'28"
C2	54.94	272.50	11°33'08"
C3	20.91	300.00	3°59'34"
C4	8.72	484.00	1°01'57"
C5	61.42	484.00	7°16'16"
C6	61.42	484.00	7°16'16"
C7	61.42	484.00	7°16'16"
C8	61.42	484.00	7°16'16"
C9	61.42	484.00	7°16'16"
C10	61.42	484.00	7°16'16"
C11	2.74	484.00	0°19'27"
C12	42.08	741.00	3°15'13"
C13	50.00	741.00	3°51'58"
C14	50.00	741.00	3°51'58"
C15	50.00	741.00	3°51'58"
C16	50.00	741.00	3°51'58"
C17	1.60	741.00	0°07'25"

CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C18	16.38	14.00	67°01'01"
C19	21.19	14.00	86°44'27"
C20	6.80	272.50	1°25'49"
C21	11.29	272.50	2°22'28"
C22	45.26	539.00	4°48'41"
C23	50.00	539.00	5°18'54"
C24	50.00	539.00	5°18'54"
C25	50.00	539.00	5°18'54"
C26	50.00	539.00	5°18'54"
C27	50.00	539.00	5°18'54"
C28	50.00	539.00	5°18'54"
C29	50.00	539.00	5°18'54"
C30	27.90	539.00	2°57'59"
C31	2.56	50.00	2°55'46"
C32	11.30	50.00	12°56'41"
C33	39.46	686.00	33°14'46"
C34	44.94	686.00	3°45'12"

CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C35	57.55	686.00	4°48'24"
C36	57.55	686.00	4°48'24"
C37	35.74	686.00	2°59'07"
C38	15.75	50.00	18°02'51"
C39	6.43	68.00	5°24'50"
C40	50.30	67.98	42°23'25"
C41	49.70	67.98	41°53'29"
C42	11.48	68.00	9°40'08"
C43	14.63	50.00	16°45'58"
C44	13.30	50.00	15°14'09"
C45	11.31	68.00	9°31'42"
C46	53.63	68.00	45°11'24"
C47	76.97	68.00	64°51'23"
C48	11.27	50.00	12°55'01"
C49	34.67	629.00	3°09'28"
C50	58.52	629.00	5°19'49"
C51	58.50	629.00	5°19'42"

CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C52	58.47	629.00	5°19'35"
C53	58.45	629.00	5°19'28"
C54	58.43	629.00	5°19'21"
C55	58.41	629.00	5°19'13"
C56	58.38	629.00	5°19'05"
C57	50.00	629.00	4°33'17"
C58	39.04	596.00	3°45'12"
C59	50.00	596.00	4°48'24"
C60	50.00	596.00	4°48'24"
C61	50.00	596.00	4°48'24"
C62	115.16	596.00	11°04'16"

NOTES:
 1. 5' PUBLIC ACCESS TRAIL TO BE PROVIDED WITHIN TRACT D THAT CONNECTS TO THE SIDEWALK WITHIN BLOCK 2 TO THE NORTH. CONNECTION WILL BE VERIFIED DURING FINAL DESIGN AND CONSTRUCTION.

FLAGSTAFF ARIZONA

ADORA - PHASE 2

PRELIMINARY PLAT (1)

JOB NO: 21169 DATE: JUN 22 SCALE: AS SHOWN DRAWN: ELK DESIGN: ELK, SVY CHECKED: SAIV, SGI

110 W. Dole Avenue Flagstaff AZ 86001 928.774.8934 fax 928.774.8934 www.swiwoz.com

SWI Shephard Wesnitzer, Inc.

NO.	DESCRIPTION	DATE	BY

REVISIONS

CERTIFICATE OF LAND SURVEYOR
 I HEREBY STATE THAT THE SURVEY SHOWN HEREON WAS DONE UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
 Aaron D. Borling, RLS 48756

EXISTING 50' TELEPHONE LINE EASEMENT PER PATENT 118508 AND MAP PROVIDED BY ARIZONA PUBLIC SERVICE COMPANY

SCALE 1" = 40'

1' VNAE (TYP)

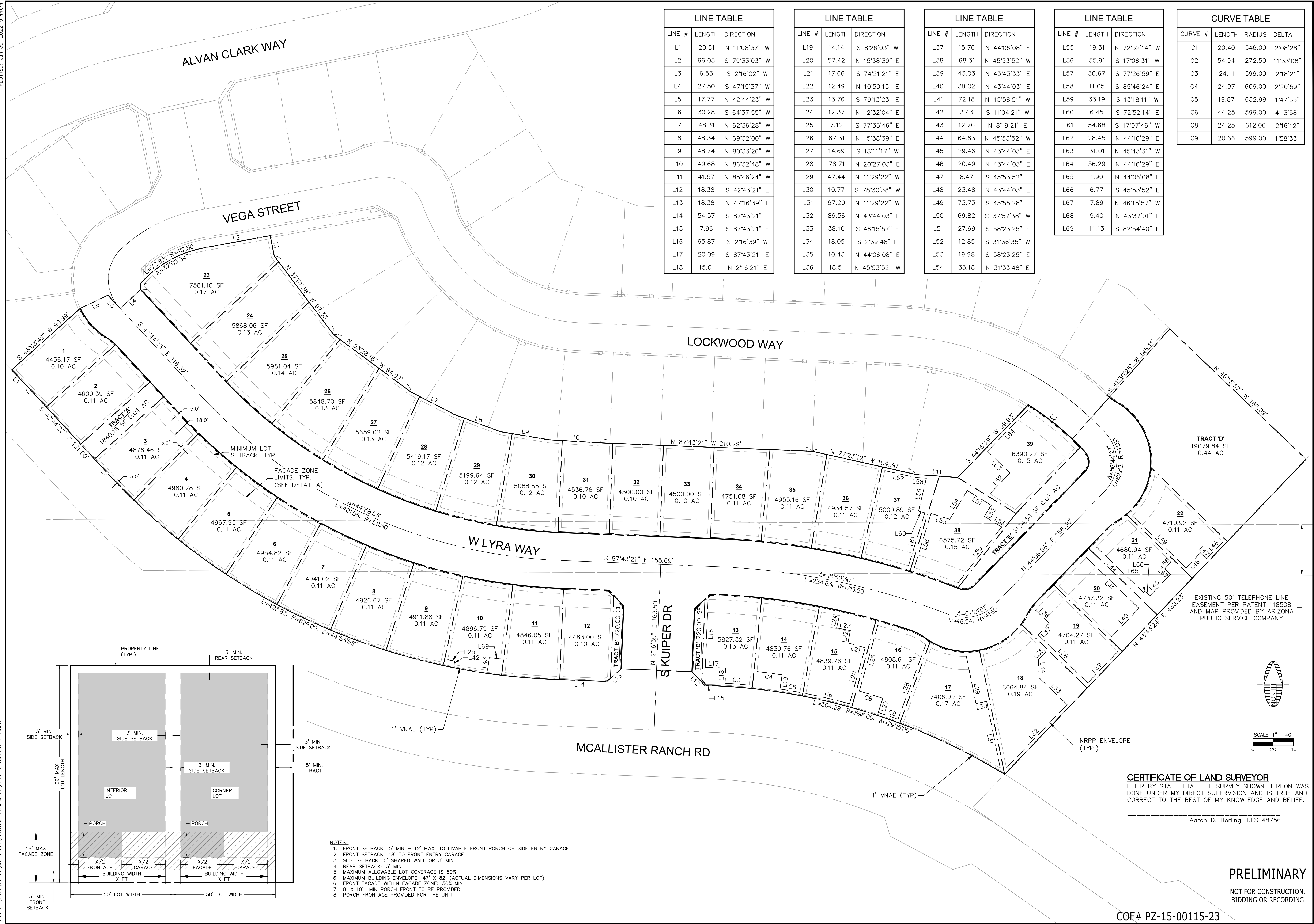
COF# PZ-15-00115-23

PRELIMINARY NOT FOR CONSTRUCTION, BIDDING OR RECORDING

DRAWING NO. PP04 SHT NO. 4 OF 7

PLOTTED: Jun 30, 2022--9:44am

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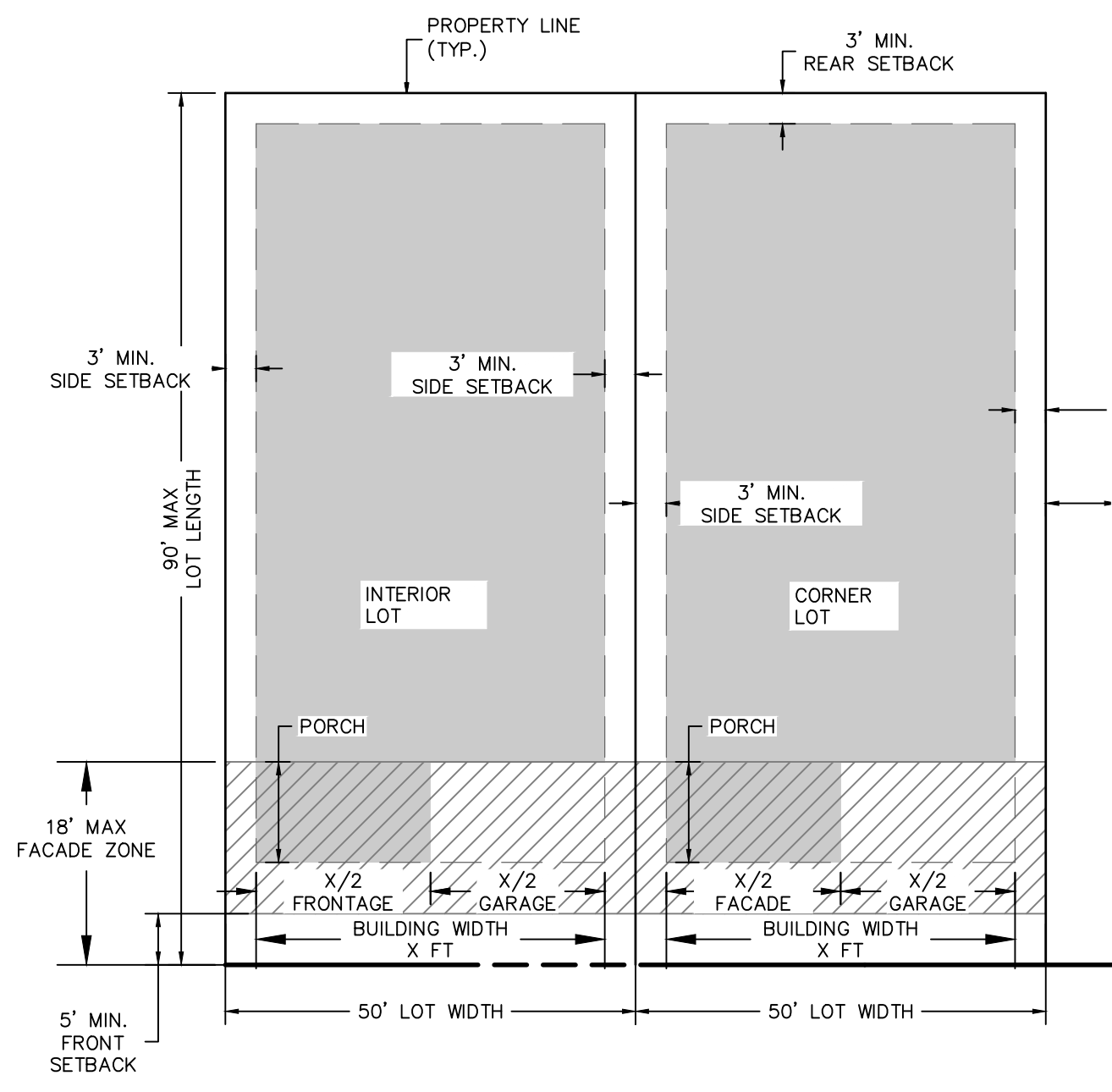
LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	20.51	N 11°08'37" W
L2	66.05	S 79°33'03" W
L3	6.53	S 2°16'02" W
L4	27.50	S 47°15'37" W
L5	17.77	N 42°44'23" W
L6	30.28	S 64°37'55" W
L7	48.31	N 62°36'28" W
L8	48.34	N 69°32'00" W
L9	48.74	N 80°33'26" W
L10	49.68	N 86°32'48" W
L11	41.57	N 85°46'24" W
L12	18.38	S 42°43'21" E
L13	18.38	N 47°16'39" E
L14	54.57	S 87°43'21" E
L15	7.96	S 87°43'21" E
L16	65.87	S 2°16'39" W
L17	20.09	S 87°43'21" E
L18	15.01	N 2°16'21" E

LINE TABLE		
LINE #	LENGTH	DIRECTION
L19	14.14	S 8°26'03" W
L20	57.42	N 15°38'39" E
L21	17.66	S 74°21'21" E
L22	12.49	N 10°50'15" E
L23	13.76	S 79°13'23" E
L24	12.37	N 12°32'04" E
L25	7.12	S 77°35'46" E
L26	67.31	N 15°38'39" E
L27	14.69	S 18°11'17" W
L28	78.71	N 20°27'03" E
L29	47.44	N 11°29'22" W
L30	10.77	S 78°30'38" W
L31	67.20	N 11°29'22" W
L32	86.56	N 43°44'03" E
L33	38.10	S 46°15'57" E
L34	18.05	S 2°39'48" E
L35	10.43	N 44°06'08" E
L36	18.51	N 45°53'52" W

LINE TABLE		
LINE #	LENGTH	DIRECTION
L37	15.76	N 44°06'08" E
L38	68.31	N 45°53'52" W
L39	43.03	N 43°43'33" E
L40	39.02	N 43°44'03" E
L41	72.18	N 45°58'51" W
L42	3.43	S 11°04'21" W
L43	12.70	N 81°9'21" E
L44	64.63	N 45°53'52" W
L45	29.46	N 43°44'03" E
L46	20.49	N 43°44'03" E
L47	8.47	S 45°53'52" E
L48	23.48	N 43°44'03" E
L49	73.73	S 45°55'28" E
L50	69.82	S 37°57'38" W
L51	27.69	S 58°23'25" E
L52	12.85	S 31°36'35" W
L53	19.98	S 58°23'25" E
L54	33.18	N 31°33'48" E

LINE TABLE		
LINE #	LENGTH	DIRECTION
L55	19.31	N 72°52'14" W
L56	55.91	S 17°06'31" W
L57	30.67	S 77°26'59" E
L58	11.05	S 85°46'24" E
L59	33.19	S 13°18'11" W
L60	6.45	S 72°52'14" E
L61	54.68	S 17°07'46" W
L62	28.45	N 44°16'29" E
L63	31.01	N 45°43'31" W
L64	56.29	N 44°16'29" E
L65	1.90	N 44°06'08" E
L66	6.77	S 45°53'52" E
L67	7.89	N 46°15'57" W
L68	9.40	N 43°37'01" E
L69	11.13	S 82°54'40" E

CURVE TABLE			
CURVE #	LENGTH	RADIUS	DELTA
C1	20.40	546.00	2°08'28"
C2	54.94	272.50	11°33'08"
C3	24.11	599.00	2°18'21"
C4	24.97	609.00	2°20'59"
C5	19.87	632.99	1°47'55"
C6	44.25	599.00	4°13'58"
C8	24.25	612.00	2°16'12"
C9	20.66	599.00	1°58'33"



- NOTES:
- FRONT SETBACK: 5' MIN - 12' MAX. TO LIVABLE FRONT PORCH OR SIDE ENTRY GARAGE
 - FRONT SETBACK: 18' TO FRONT ENTRY GARAGE
 - SIDE SETBACK: 0' SHARED WALL OR 3' MIN
 - REAR SETBACK: 3' MIN
 - MAXIMUM ALLOWABLE LOT COVERAGE IS 80%
 - MAXIMUM BUILDING ENVELOPE: 47' X 82' (ACTUAL DIMENSIONS VARY PER LOT)
 - FRONT FACADE WITHIN FACADE ZONE: 50% MIN
 - 8' X 10' MIN PORCH FRONT TO BE PROVIDED
 - PORCH FRONTAGE PROVIDED FOR THE UNIT.

CERTIFICATE OF LAND SURVEYOR
 I HEREBY STATE THAT THE SURVEY SHOWN HEREON WAS DONE UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Aaron D. Borling, RLS 48756

PRELIMINARY
 NOT FOR CONSTRUCTION,
 BIDDING OR RECORDING

COF# PZ-15-00115-23

FLAGSTAFF ARIZONA

ADORA - PHASE 2

21169 JUN 22 AS SHOWN ELK SVJ SUI, SCI

110 W. Dole Avenue Flagstaff AZ 86001 928.774.8934 fox www.swiwoz.com

SWI Shephard Wesnitzer, Inc.

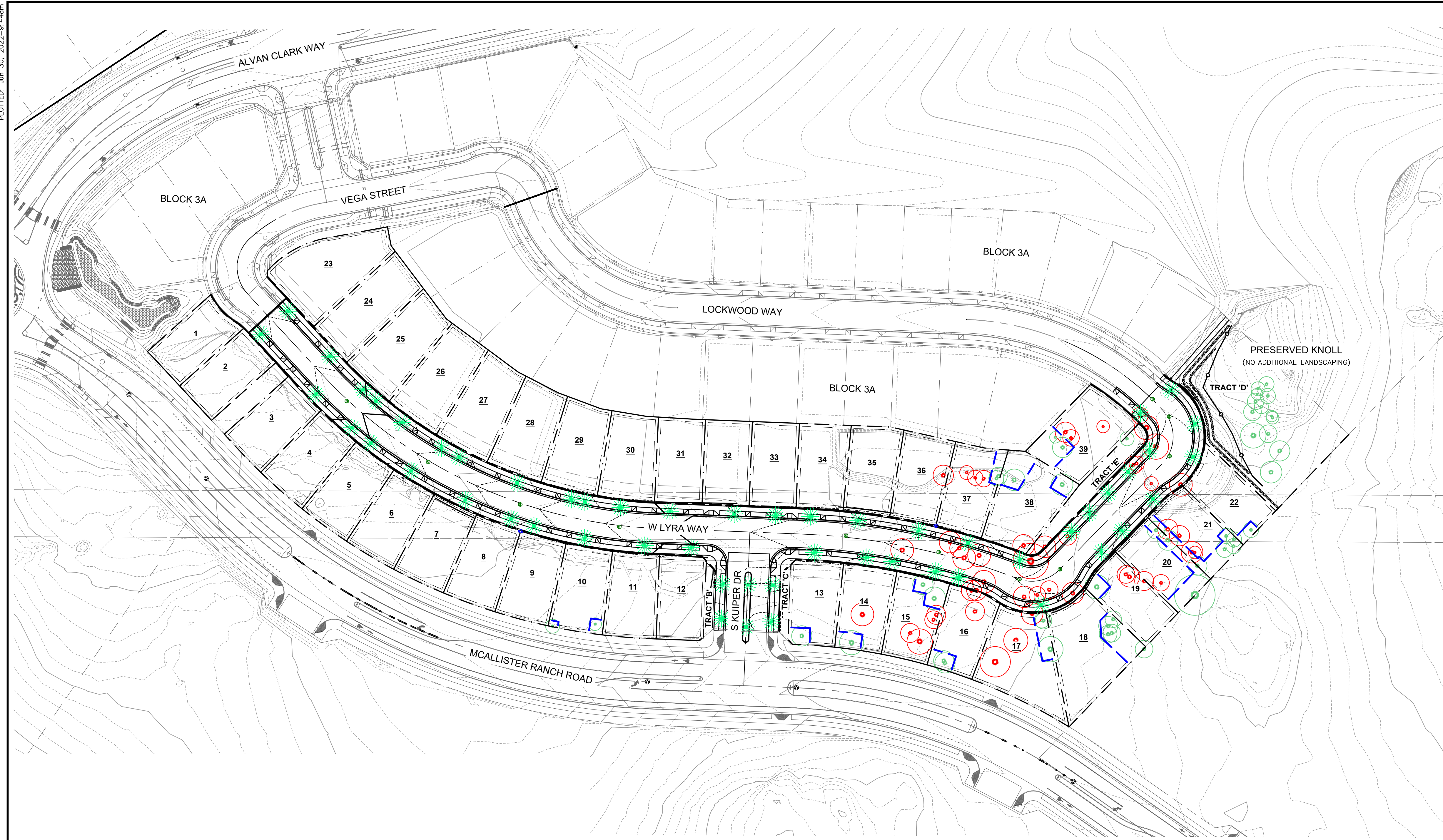
NO.	DESCRIPTION	DATE	BY

Call at least two full working days before you begin excavation.

ARIZONA 811 Arizona Blue Stakes, Inc. 888-841-1111 or 1-800-514-6111 (TUE-FRI 8AM-5PM)

DRAWING NO. **PP05**

SHT NO. 5 OF 7



LEGEND

- ROW
- EASEMENT
- LOT LINE
- SETBACK
- NRPP ENVELOPE
- PROTECTED TREE
- REMOVED TREE
- ★ NEW TREE

SCALE 1" = 60'
0 30 60

PRELIMINARY PLAT LANDSCAPE CALCULATIONS

SECTION	REQUIREMENTS	QUANTITY
STREET TREE REQUIREMENT (2430 L.F.)		
PROPOSED TREES REQUIRED	MIN SPACING OF 45 LF	54
SHRUBS	NONE	0
GROUND COVER	NONE	0
STREET BUFFER INSTALLED PER PHASE 2 INFRASTRUCTURE PLANS		

NOTES:

- INTERIOR STREET PARKWAY TREES TO BE INSTALLED AT THE COMPLETION OF HOME CONSTRUCTION FOR EACH INDIVIDUAL LOT. IRRIGATION FOR THE TREES TO BE PROVIDED BY HOMEOWNER'S IRRIGATION SYSTEM. EXACT TREE LOCATIONS MAY BE ADJUSTED DURING THE DESIGN OF THE SITE PLAN OR LANDSCAPE PLAN FOR THE HOME OF EACH LOT.

3B TREE RESOURCES UPDATE

TOTAL TREE RESOURCES

TYPE	PINE 9-12	PINE 13-17	PINE 18-24	PINE >25
DIAMETER (IN)	9-12	13-17	18-24	>25
NUMBER EXISTING	23	52	16	2
POINTS	2	4	8	20
SUM OF POINTS	46	208	128	40
SUBTOTAL TREE POINTS=				422
47.5% PRESERVATION RATE=				200.45

POST-DEVELOPMENT TREES

TYPE	PINE 9-12	PINE 13-17	PINE 18-24	PINE >25
DIAMETER (IN)	9-12	13-17	18-24	>25
NUMBER SAVED	17	23	5	1
POINTS	2	4	8	20
SUM OF POINTS	34	92	40	20
SUBTOTAL TREE POINTS=				186
REQUIRE PRESERVATION RATE=				47.5%
PRESERVATION RATE=				44.1%

NOTE:
1. PER CITY OF FLAGSTAFF ZONING CODE SECTION 10-50.90.060, RESIDENTIAL ZONES PRESERVATION RATE IS 50%. THIS HAS BEEN REDUCED TO 47.5% WITH THE 5% OPEN SPACE CREDIT

TIMBERSKY PHASE 1-RESOURCE PROTECTION PLAN

BLOCK/TRACT	LAND USE	EXISTING TREE POINTS	EXEMPTED TREE POINTS**	REQUIRED PRESERVATION*	REQUIRED POINTS TO BE PRESERVED	TREE POINTS PRESERVED	TREE POINTS REMOVED	PERCENT PRESERVED	NOTES
1	HDR	0	0	47.5%				N/A	NO TREES
2	HDR	159	0	47.5%	76	159		100.0%	NOT DEVELOPED YET
3A	MDR	28	0	47.5%	13	12	16	42.9%	FINAL VERIFICATION PENDING
7A	SFR	2184	0	47.5%	1037	1191	993	54.5%	FINAL VERIFICATION PENDING
8	SFR	4347	0	47.5%	2065	1806	2541	41.5%	FINAL VERIFICATION PENDING
TRACT A	PUBLIC LANDS	1914	354	30.0%	468	450	1110	28.8%	PHASE 1 OPEN SPACE/DRAINAGE
TOTALS		8632	354		3659	3618			
		NET POINTS AFTER PHASE 1=		-41					

NOTES:
 *5% REDUCTION APPLIED TO RESIDENTIAL PARCELS FOR CIVIC SPACE (10-30.60.060.B1)
 TREES WITHIN THE COLLECTOR RIGHT OF WAY ARE INCLUDED WITHIN THE TREE POINT TOTAL FOR THE ADJACENT BLOCK
 ** DISTURBANCE EXEMPTION GRANTED IN DEVELOPMENT AGREEMENT FOR REGIONAL UTILITY FOR ELECTRICAL (MODIFIED FROM TREES WITHIN THE REGIONAL UTILITY SEWER TRUNK AND FUTS ARE EXEMPT FROM THE CALCULATIONS. (354 POINTS))

TIMBERSKY PHASE 1 AND 2-RESOURCE PROTECTION PLAN

BLOCK/TRACT	LAND USE	EXISTING TREE POINTS	EXEMPTED TREE POINTS**	REQUIRED PRESERVATION*	REQUIRED POINTS TO BE PRESERVED	TREE POINTS PRESERVED	TREE POINTS REMOVED	PERCENT PRESERVED	NOTES
1	HDR	0	0	47.5%	0				NO TREES
2	HDR	159	0	47.5%	76	159	0	100.0%	NOT DEVELOPED YET***
3A	MDR	28	0	47.5%	13	12	16	42.9%	FINAL VERIFICATION PENDING
7A	SFR	2184	0	47.5%	1037	1191	993	54.5%	FINAL VERIFICATION PENDING
8	SFR	4347	0	47.5%	2065	1842	2505	42.4%	ADJUSTED FROM 41.5% BASED ON PRELIMAS-BUILTS FINAL VERIFICATION
3B	MDR	506	84	47.5%	200	186	320	44.1%	NOT DEVELOPED YET***
4	SFR	4293	212	47.5%	1938	1953	2340	47.9%	NOT DEVELOPED YET***
5	MDR	650	76	47.5%	273	273	377	47.6%	NOT DEVELOPED YET***
6	SFR	2279	242	47.5%	968	968	1311	47.5%	NOT DEVELOPED YET***
7B	SFR	1619	228	47.5%	661	665	954	47.8%	CDS STAGE***
TRACT A	PUBLIC LANDS	1914	354	30.0%	468	357	1557	22.9%	PHASE 1 AND 2 OPEN SPACE DRAINAGE
TRACT B	COM CENTER -SFR	688	138	30.0%	165	312	376	56.7%	COMMUNITY CENTER****
TRACT C	PUBLIC LAND	927	241	30.0%	206	104	823	15.2%	PHASE 2 OPEN SPACE DRAINAGE
TRACT H	SIGN BLOCK 4 -SFR	108	3	47.5%	50	98	10	93.3%	ENTRY SIGN BLOCK 4
Totals		19702	1578		8120	8120	11582		
		NET POINTS PHASE 1 AND PHASE 2 ONGOING (04/21/2022)=		0					

NOTES:
 *5% REDUCTION APPLIED TO RESIDENTIAL PARCELS FOR CIVIC SPACE (10-30.60.060.B1)
 ** DISTURBANCE EXEMPTION GRANTED BY RECORDED DEVELOPMENT AGREEMENT BETWEEN COF AND VP66 & WOODY MOUNTAIN, LLC.(DATED RECORDED:12/21/2016). EXEMPTED TREES ARE NOT INCLUDED IN CALCULATIONS.
 ***ASSUMPTION MADE TO ASSUME EXACT PRESERVATION REQ FOR UNDEVELOPED LOTS. DUE TO LOCATION OF TREES ON BLOCK 2, 100% PRESERVATION ASSUMED FOR BLOCK 2.
 ****COMMUNITY CENTER IS CURRENTLY IN CDS STAGE. RATE SHOWN REPRESENTS THE MINIMUM RATE REQUIRED SO THAT THE OVERALL TIMBER SKY SITE MEETS THE MINIMUM REQUIRED PRESERVATION RATE

FLAGSTAFF ARIZONA

ADORA - PHASE 2

PRELIMINARY NRPP

JOB NO: 21169 DATE: JUN 22 SCALE: AS SHOWN DRAWN: BH DESIGN: BH/SJV CHECKED: SCI

110 W. Dole Avenue Flagstaff AZ 86001 928.774.0354 928.774.8934 fax www.swi.az.com

SWI Shephard Wesnitzer, Inc.

NO.	DESCRIPTION	DATE	BY

Call at least two full working days before you begin excavation. ARIZONA 811 Arizona Blue Stakes, Inc. 888 8-1-1 or 1-800-514-1111 (828-6548)

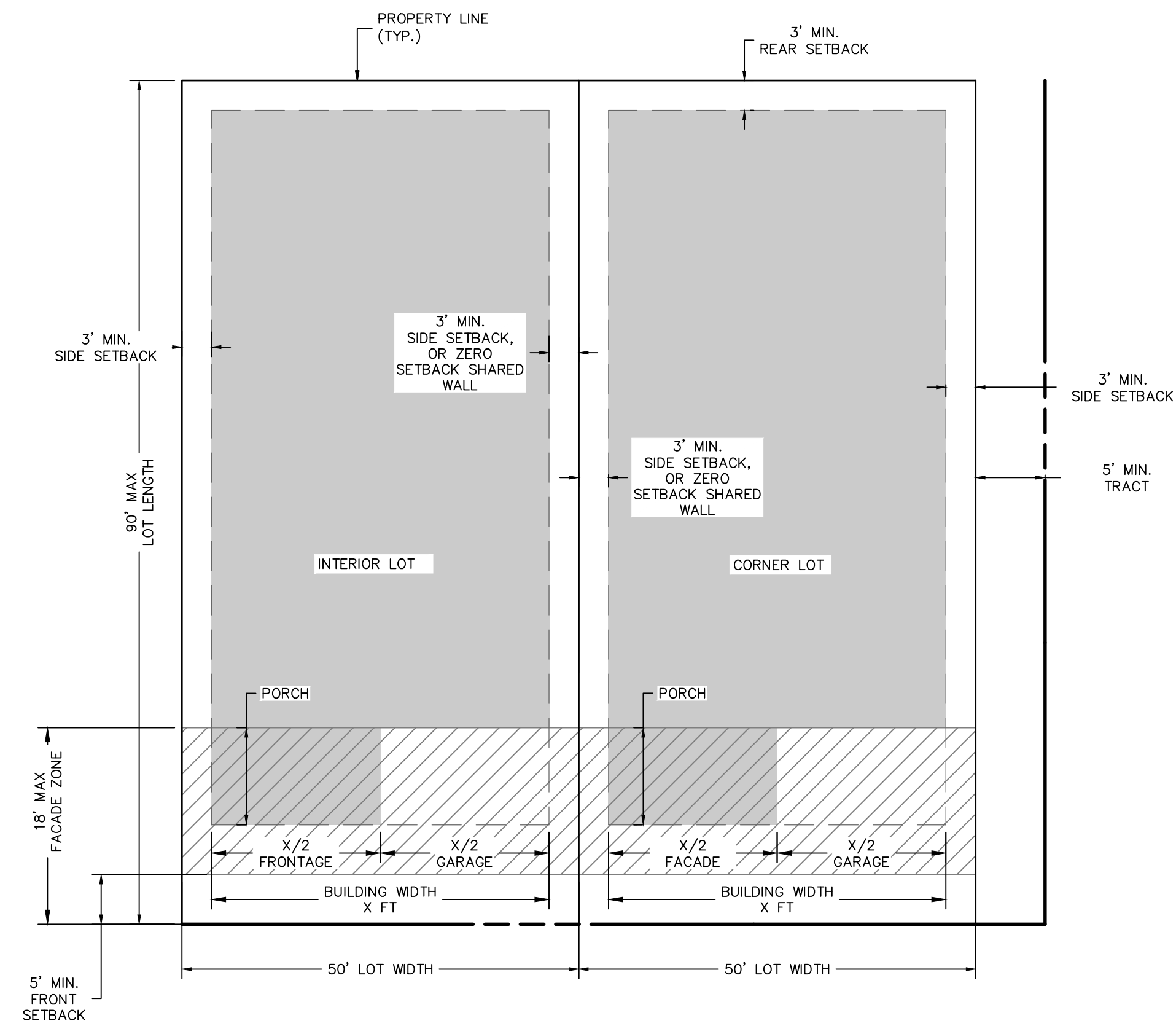
PRELIMINARY
 NOT FOR CONSTRUCTION, BIDDING OR RECORDING

DRAWING NO. **PP06**

SHT NO. 6 OF 7

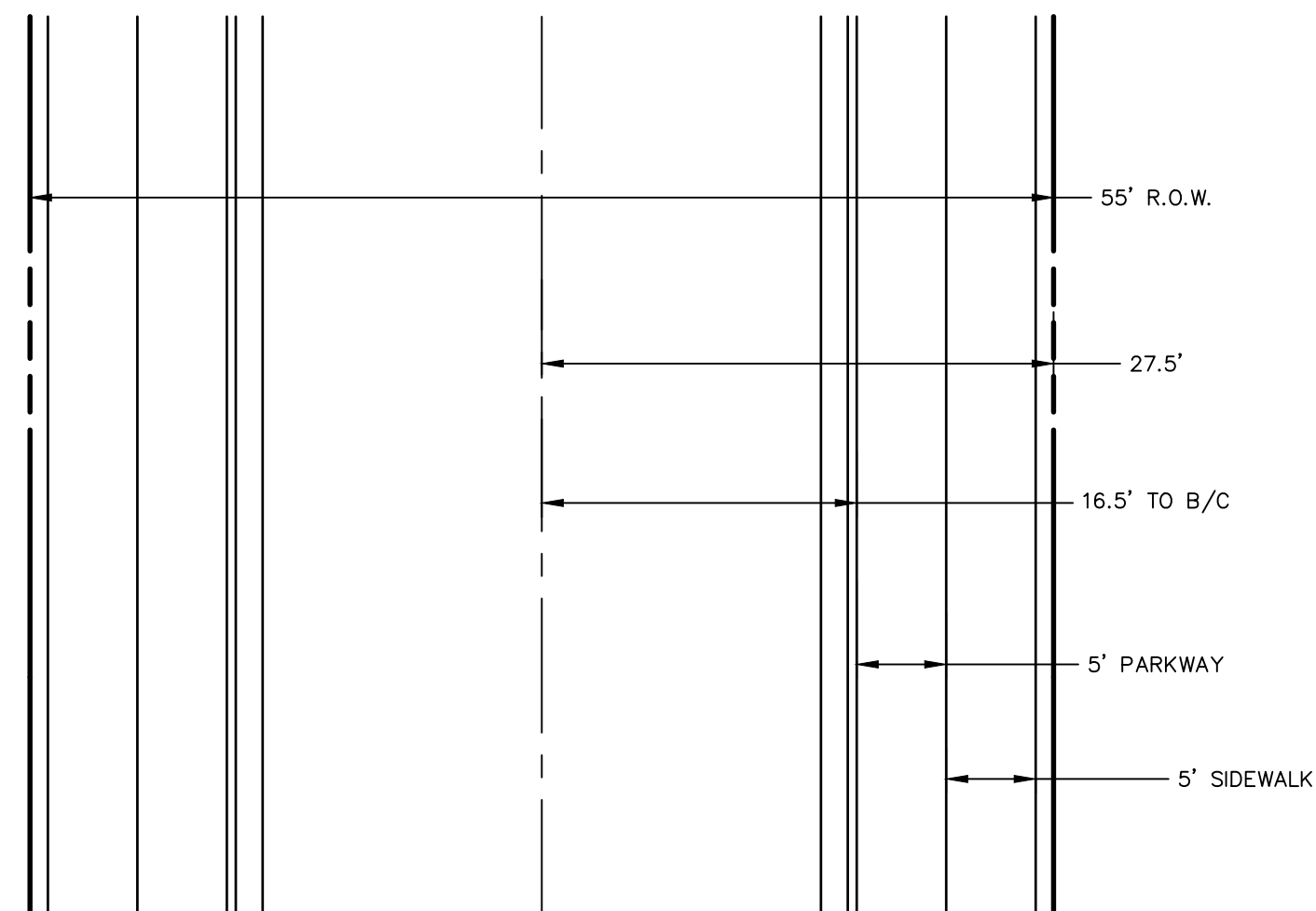
COF# PZ-15-00115-23

PLACEMENT DETAILS



- NOTES:
1. FRONT SETBACK: 5' MIN - 12' MAX. TO LIVABLE FRONT PORCH OR SIDE ENTRY GARAGE
 2. FRONT SETBACK: 18' TO FRONT ENTRY GARAGE
 3. SIDE SETBACK: 0' SHARED WALL OR 3' MIN
 4. REAR SETBACK: 3' MIN
 5. MAXIMUM ALLOWABLE LOT COVERAGE IS 80%
 6. MAXIMUM BUILDING ENVELOPE: 47' X 82' (ACTUAL DIMENSIONS VARY PER LOT)
 7. FRONT FACADE WITHIN FACADE ZONE: 50% MIN
 8. 8' X 10' MIN PORCH FRONT TO BE PROVIDED
 9. PORCH FRONTAGE PROVIDED FOR THE UNIT.

LOCAL ROAD DETAIL



FRONTAGE TYPES

10-50.120.040 Porch: Projecting

A. Description

The main façade of the building typically has a small to medium setback from the property line. The resulting front yard is typically very small and may or may not be defined by a fence or hedge to spatially maintain the edge of the street. The projecting porch is open on three sides and has a roof form that is separate from the main house, making it possible to remove the porch roof without making major changes to the overall roof form.

B. Size

Width, Clear	10' min.	A
Depth, Clear	8' min.	B
Height, Clear	8' min.	C
Height	2 stories max.	
Finish Level above Sidewalk ¹	18" min.	D
Furniture Area, Clear	4' x 6' min.	E
Path of Travel	3' wide min.	F

End Note

¹ Not required in non-transect zones.

C. Miscellaneous

Projecting porches are open on three sides and must have a roof.

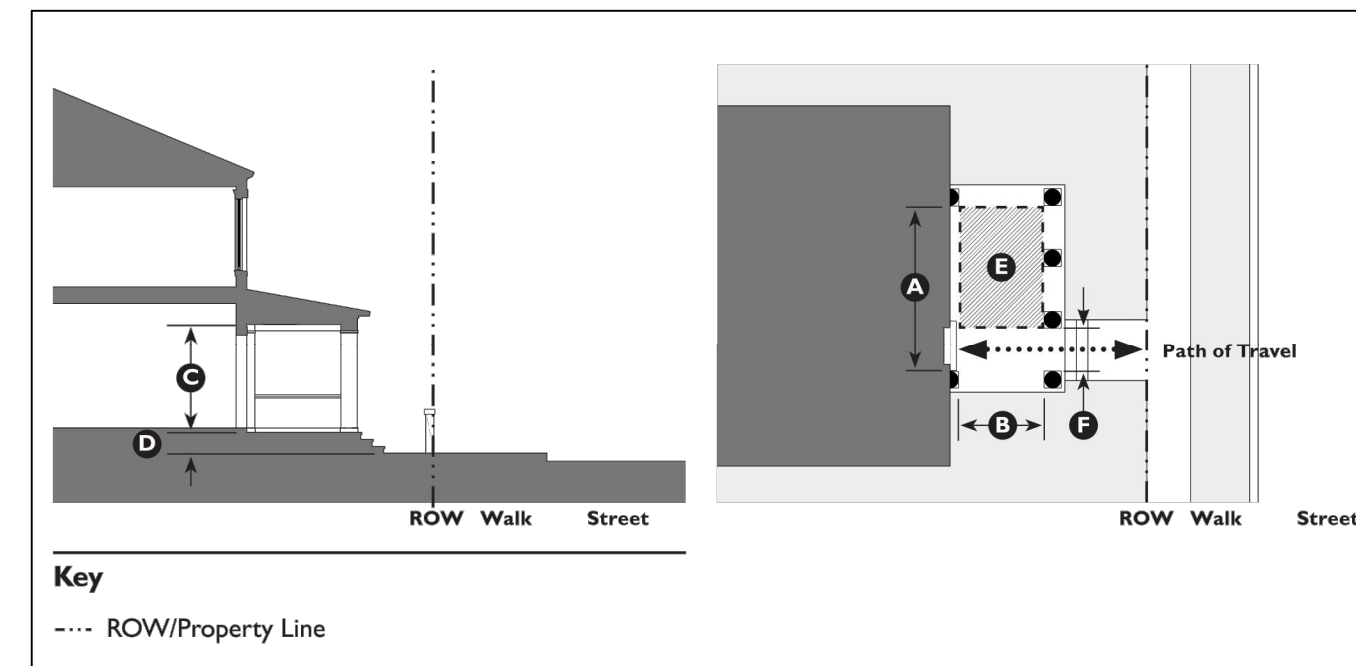
In transect zones where both porches and encroachments are allowed, a porch is an allowable encroaching element.



Full-length projecting porch with stairs perpendicular to street.



Partial-length projecting porch with stairs parallel to street.



10-50.120.050 Porch: Engaged

A. Description

The main façade of the building has a small setback from the property line. The resulting front yard is typically very small and may be undefined or defined by a fence or hedge to spatially maintain the edge of the street. An engaged porch has a separate roof form from the main body of the house, making it possible to remove the porch roof without making major changes to the overall roof form. The porch is partially or fully enclosed on two sides and has a roof.

B. Size

Width, Clear	10' min.	A
Depth, Clear	8' min.	B
Height, Clear	8' min.	C
Height	2 stories max.	
Finish Level above Sidewalk ¹	18" min.	D
Furniture Area, Clear	4' x 6' min.	E
Path of Travel	3' wide min.	F

End Note

¹ Not required in non-transect zones.

C. Miscellaneous

Engaged porches must be open on at least two sides and have a roof.

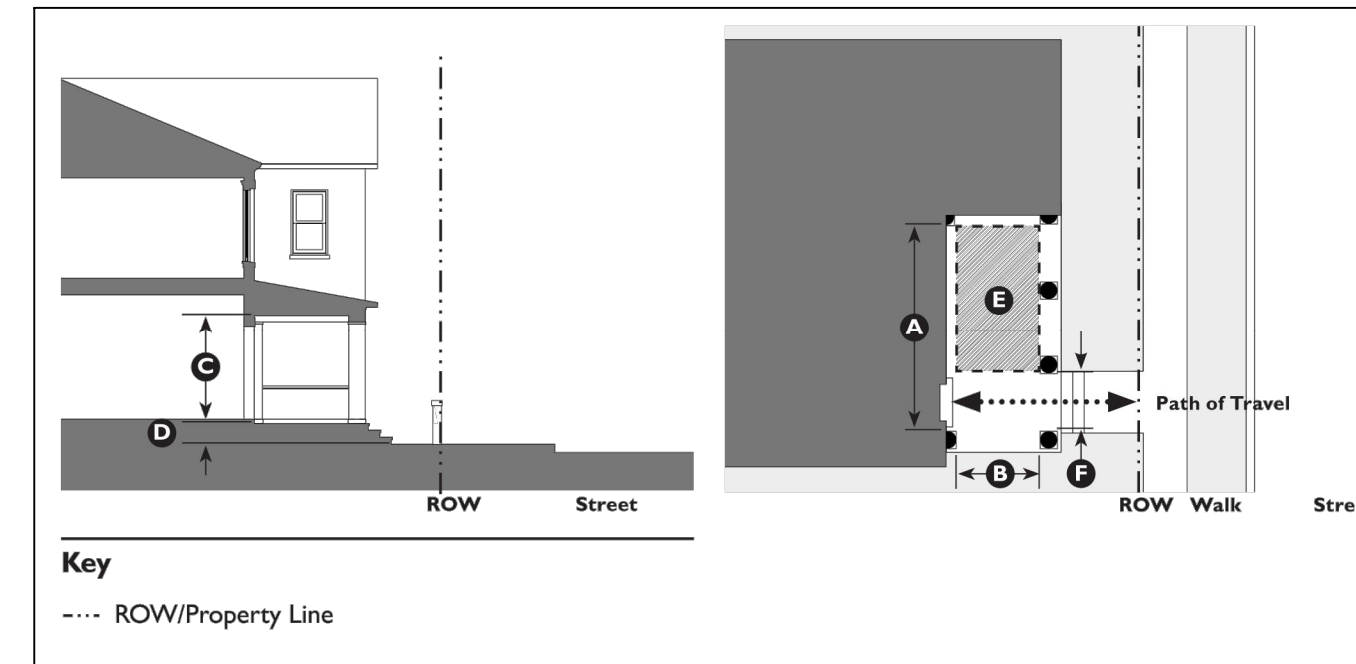
In transect zones where both porches and encroachments are allowed, a porch is an allowable encroaching element.



Engaged porch as an attached element.



Engaged porch as an attached element.



10-50.120.060 Porch: Integral

A. Description

The main façade of the building has a small setback from the property line. The resulting front yard is typically very small and may be undefined or defined by a fence or hedge to spatially maintain the edge of the street. An integral porch is open on one, two, or three sides and is part of the overall massing and roof form of the building, making it impossible to remove the porch without major changes to the overall roof form.

B. Size

Width, Clear	10' min.	A
Depth, Clear	8' min.	B
Height, Clear	8' min.	C
Height	2 stories max.	
Finish Level above Sidewalk ¹	18" min.	D
Furniture Area, Clear	4' x 6' min.	E
Path of Travel	3' wide min.	F

End Note

¹ Not required in non-transect zones.

C. Miscellaneous

Integral porches must be open on at least two sides and have a roof.

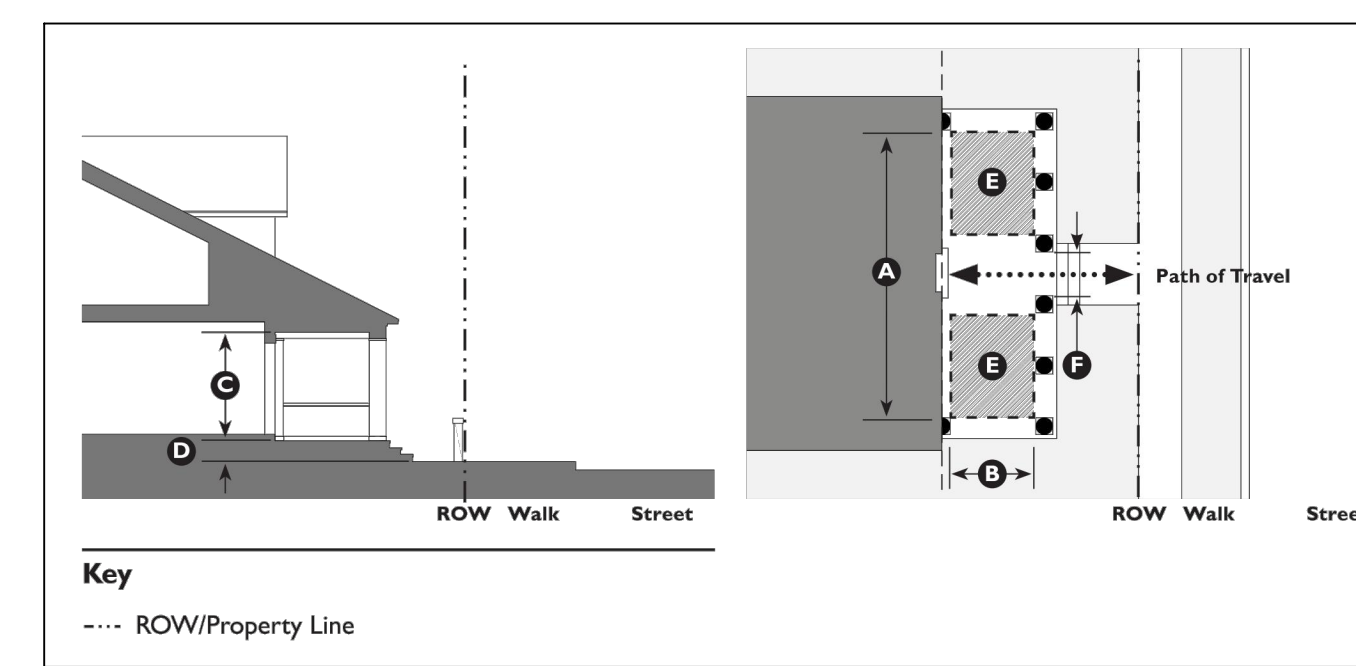
In transect zones where both porches and encroachments are allowed, a porch is an allowable encroaching element.



Partial-length integral porch.

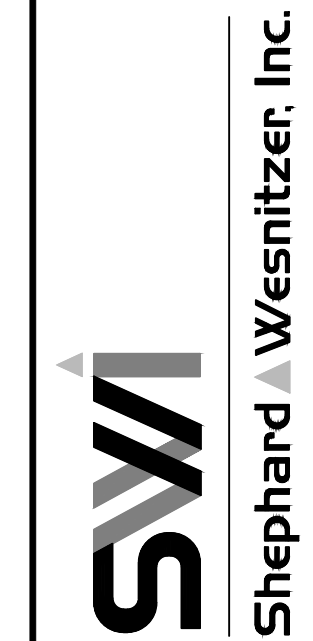


Full-length integral porch integrated into the overall massing.



JOB NO:	21169
DATE:	JUN 22
SCALE:	AS SHOWN
DRAWN:	BH
DESIGN:	BH/SJV
CHECKED:	SCI

1225 N. GILBERT ROAD
 PHOENIX, AZ 85028
 PHONE: 602.998.3001
 FAX: 602.998.3004
 WWW.BWIZ.COM



NO.	DESCRIPTION	DATE	BY

Call at least two full working days before you begin excavation.
ARIZONA 811
 Arizona Blue Stakes, Inc.
 808 84-1111 or 1-800-514-1111 (AZ-5148)

PRELIMINARY
 NOT FOR CONSTRUCTION,
 BIDDING OR RECORDING

DRAWING NO.
PP07
 SHT NO. OF
 7 7