

**Project: AZ10-037 Bullwhip/AZ2 Chesire
Conditional Use Permit Narrative
Planning & Development CUP Review**

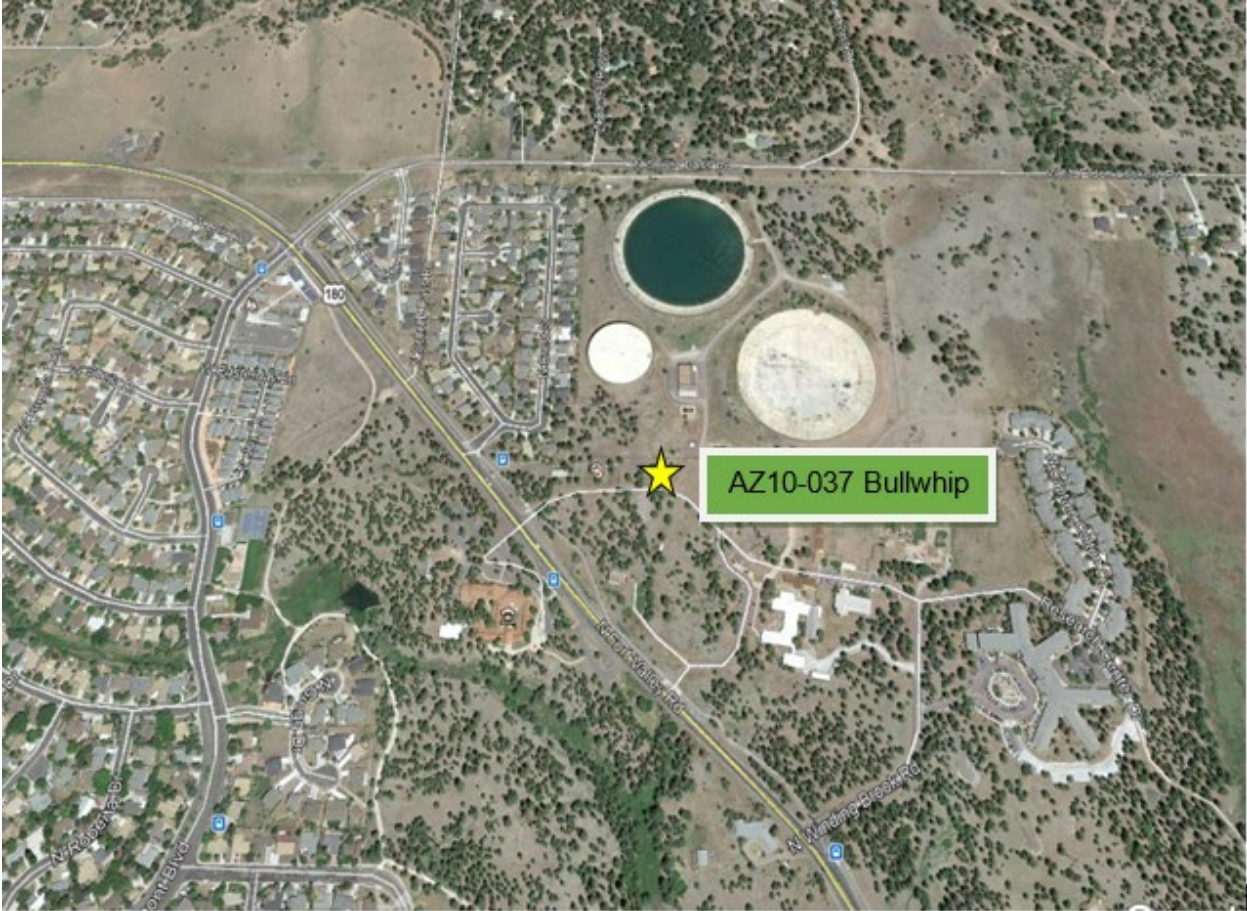
New Wireless Communications Facility for Sun State Towers
Address: 3100 N. Fort Valley Road, Flagstaff, AZ 86001
APN: 111-01-006C/ Coconino County

RE: Narrative for City of Flagstaff Planning & Development

--BY--
Pinnacle Consulting Inc.
Attn: Eric Hurley
1426 North Marvin Street #101
Gilbert, AZ 85233

--FOR--
Sun State Towers
1426 North Marvin Street #101
Gilbert, AZ 85233
Office: 480-664-9588

Questions related to this application should be directed to:
Eric Hurley at (480) 688-1393
Eric.Hurley@pinnacleco.net



New Wireless Communications Facility

Address: 3100 N. Fort Valley Road, Flagstaff, AZ 86001

Parcel# 111-01-006C

Project Type: 70' Mono-pine/ 30' x 30' CMU wall

Purpose of Request

Per the City of Flagstaff code, a conditional use permit (CUP) is required to allow a 70' foot Mono-pine facility based on the proposed new Antenna Supporting Structure as indicated in 10-40.60.310 (B)(2)(a). In addition, the 70' foot Mono-pine is to be camouflaged per 10-40.60.310 (C)(6)(e). The proposed wireless facility is needed to improve service capacity and coverage in the area. Verizon Wireless will be the initial carrier to locate on the wireless facility, with the capability of other carriers to collocate in the future. Representing both Sunstate Towers and Verizon Wireless, Pinnacle Consulting Inc. has been requested for services in the acquisition and development of the facility in this chosen location and jurisdiction. After discussing multiple options with the landlord and Verizon in the Pre-App Meeting, we feel this is the least obtrusive possible location available.

Description of Proposal

Sun State Towers is proposing a stealth designed 70' Mono pine camouflaged wireless facility, and a 30' x 30' CMU wall compound. The Mono-pine is painted and designed to look like a natural tree for blending in with the surrounding context and will be conical in shape, while the 8' CMU wall will screen all associated equipment and lease space from visibility. The antennas shall be located on the Mono pine at a centerline elevation of 66' and grouped into three sectors. Each sector shall contain up to four panel antennas, and the tower will have lease space for additional carriers in the future. The Mono-pine will be filled in fully camouflaging the antennas and in compliance with 10-40.60.310(C)(6)(e) and with the approval of the planning director. There are about 3.5 branches per a foot of tower and the branches are 10'-4' in length. The construction phase is relatively fast and will be done in one phase upon receiving all necessary approvals. Once construction is complete, these unmanned facilities will require a tech to visit approximately once a month. The project does not propose any impacts on site signage or outdoor lighting.

Verizon Wireless will be the first carrier to locate on the facility with plans and specifications to follow. Ground equipment shall be housed in a state approved prefabricated equipment cabinet, located on a new 4'x10' concrete slab. All ground equipment will be screened or materials and colors will be used consistent with the surrounding backdrop. Lease space, access, and utility easements will all be specifically described in the site plans and survey information provided. All facility plans will be designed to satisfy and meet the guidelines of the FCC and FAA respectively.

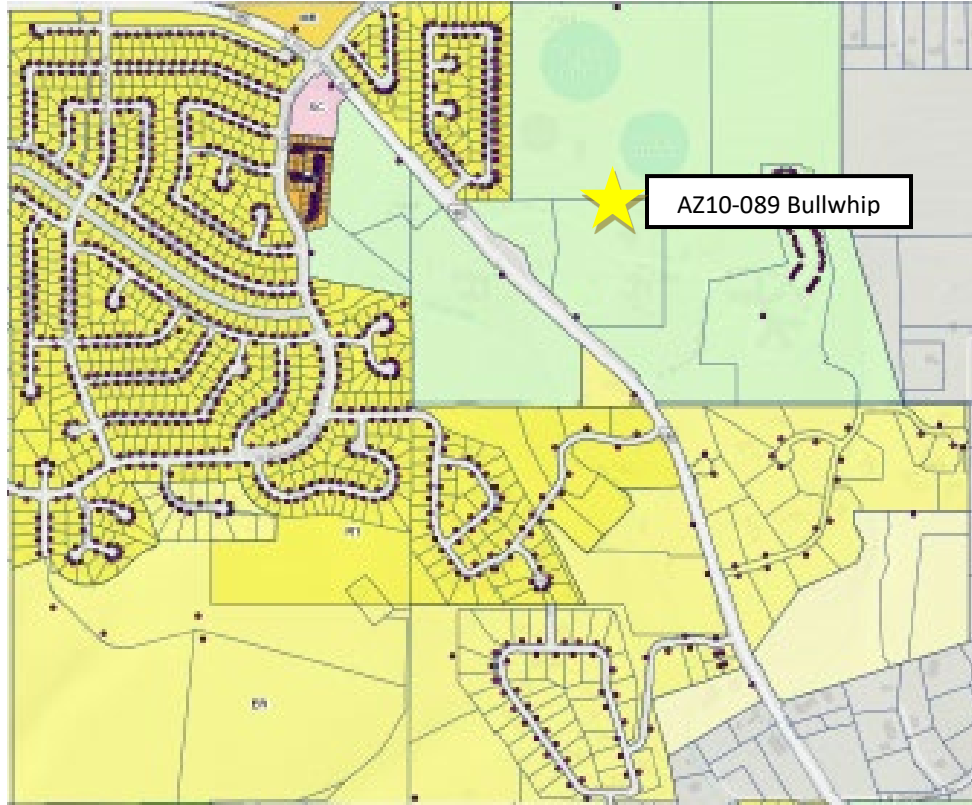
Land Use Considerations and Impact

a. The placement of the Wireless Permit on the lot or parcel and its potential effect on expanding existing or developing future land uses:

This proposal is the least obtrusive option for the surrounding area, while also meeting the needs of Verizon Wireless and Sun State Towers building requirements. The parcel where the facility will be placed, APN# 111-01-006C, is zoned Public Facility (PF) and qualifies as the preferred site for the use. The facility and equipment will be near the NW corner of the parcel. Due to the camouflaged Mono pine design, the placement of the facility near infrastructure, and being mainly surrounded by vegetation on an undeveloped part of the parcel, this proves to be a

good location as it pertains to the surrounding land uses. The facility is located at an elevation of 7111' ft and 500'ft from any section of Fort Valley Road ROW.

(Zoning Map of Site: Museum of Northern Arizona)



- b. The cumulative effect that existing WCF in the vicinity of the site may have on the request:**
The proposed site will provide enhanced wireless service to the surrounding area, filling gaps in coverage and strengthening signals where needed. The existing wireless facilities that surround the proposed site will recognize capacity relief as well, improving efficiency. Existing sites are re-engineered when a new site is activated, as it allows surrounding sites to focus on smaller areas.

Relationship to Surrounding Properties

Surrounding the site is a variety of land uses, predominately undeveloped land, the area also includes Reservoir, residential, commercial, and a water tank while being screened by vegetation. The water tank and reservoir are on an adjacent parcel, also zoned PF, and owned by the City of Flagstaff. Enhancing the surrounding area with a new wireless communications facility will provide consistent coverage and better service quality, all while having minimal imprint on the environment. The facility should have few, if any impacts beyond providing improved service to the existing wireless customers. Since there should be no discernible impacts to existing pedestrian or vehicular transit, and the fact that the facility will not emit any odor, noise, or pollutants, the wireless facility should work seamlessly in the existing neighborhood fabric. The site sits in the NW part of the property surrounded by trees providing

screening to help with camouflage look. Based on the additional coverage of the surrounding landscaping near the site and 8'ft CMU wall built with integral color CMU block, not painted CMU, to blend in with the surroundings, the City should not require additional landscaping updates.

Location and Accessibility

Wireless site located at 3100 N. Fort Valley Road, Flagstaff, AZ 86001. The Museum has multiple entrances to the property off N. Fort Valley Road.

Circulation Systems

The proposed site's ground space can provide any parking requirements needed for general maintenance or service needed. The facility proposed will not generate significant trips once construction is complete, as tech maintenance will only occur about once a month during normal business hours typically. Access with all easement rights will be agreed upon by all involved parties and referenced in the uploaded site plans and lease agreement as needed.

Operations Health and Safety

Per FCC and FAA guidelines, the facility will be constructed and operated within strict conformance to federal codes. The facility will operate 24 hours a day / 7 days a week with no personnel needed on-site. The facility will be connected and monitored by a central switch center to ensure proper functionality.

Public Utilities and Services

Power and Telecom are the only utilities required by the facility. The power source is still yet to be determined.

Neighborhood Meeting Plan

Per section 10-20.30.060(A)(1), a minimum of two neighborhood meetings shall be held. First meeting will be held via Zoom on January 26th at 6pm if deemed an acceptable time by Planning Department. This meeting will be recorded and provided to City of Flagstaff. The second meeting will be held via Zoom held at a later date determined in coordination with planning department along with the application process but prior to final approval for the conditional use permit.

Historical Preservation

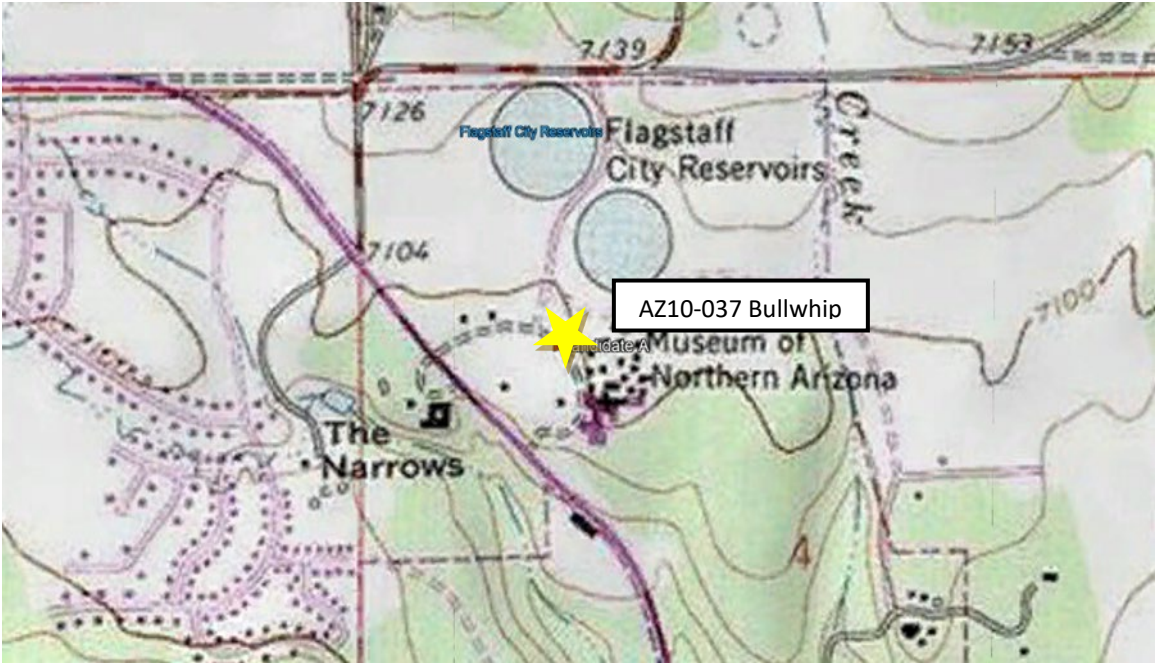
The Historical Preservation, case PZ-20-00039-01, is pending SHPO review. The NEPA report has been included in the submittal package to show that SHPO concurs there will be no adverse effect on sites, structures or objects listed on, or determined eligible for listing on the National Register of Historic Places.

Closing Statement

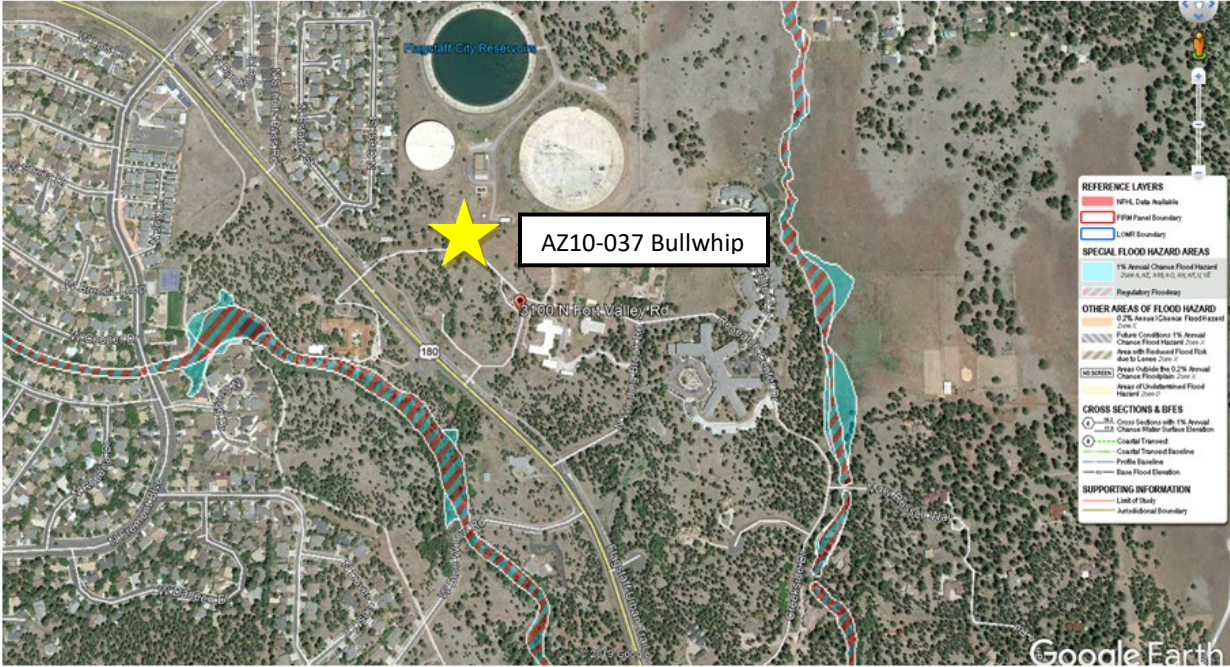
In evaluating the local area, Sun State Towers has determined that there are no co-location options available. Furthermore, we look at all possible options including: tower #871480-Mt. Elden(3.12 miles away), tower #807307-Flagstaff East (4.24 miles away), and tower # 807308 Flagstaff West (3.42 miles away). None of which allow us to fill the coverage gap. The proposed wireless facility is critical to support the demands of the wireless network in this rapidly growing area. Using the most innovative stealth technology with added improvements for aesthetics, we aim to improve this surrounding wireless coverage area while placing it in the least obtrusive space available.

(Elevations Below: Site Plans / Details provided in Application Submittals)

USGS TOPO MAP ATTACHMENT



FEMA FLOOD HAZARD MAP



OWNERSHIP VERIFICATION ATTACHMENT

Account: R1005151

Location		Owner Information	Assessment History	
Situs Address 3100 N FORT VALLEY RD		Owner Name MUSEUM OF NORTHERN ARIZONA	Full Cash Value (FCV)	\$462,526
City FLAGSTAFF		Owner Address 3101 N FORT VALLEY RD FLAGSTAFF, AZ 86001	Limited Property Value (LPV)	\$363,999
Tax Area 0150 - SD#1 CITY OF FLAGSTAFF			Primary Assessed	\$54,599
Parcel Number 111-01-006-C			Exempt	(\$54,599)
Legal Summary Sixteenth, SW Quarter, NW Section, 04 Township, 21N Range, 07E BEG AT SW COR SEC 4, TH N 89D37M E 276.4' TO TRUE POB, TH N 89D37M E 747.03' TO PT TH S 844.4', TH W 564.56', TH N 57D26M W 170.36', TH N 40 54 35 E 22.00', TH N 46 37 59 W 137.78', TH N 08D36M E 294.62', TH N 07D14M W 327.1' TO TRUE POB. EXCEPT ANY POR LYING WITH US HWY 180. M/L Sixteenth, SE Quarter, NW Section, 04 Township, 21N Range, 07E			Net Primary Assessed	\$0
Neighborhood 01.21 - EQUESTRIAN ESTATES - FLAGSTAFF RANCH - LOCKETT RANCHES			Secondary Assessed	\$69,379
			Exempt	(\$69,379)
			Net Secondary Assessed	\$0
			Tax Area: 0150 Primary Rate: 6.1578 Secondary Rate: 3.1250	
Legal Class	FCV	LPV	Primary Assessed	Secondary Assessed
02 R	\$462,526	\$363,999	\$54,599	\$69,379

ASSESSMENT & PROPERTY TAX INFO ATTACHMENT

Account: R1005151

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TAX MAP ATTACHMENT

