

NOTICE AND AGENDA

ATTENTION

IN-PERSON AUDIENCES AT PLANNING & ZONING COMMISSION MEETINGS HAVE BEEN SUSPENDED UNTIL FURTHER NOTICE

The meetings will continue to be live streamed on the city's website (<https://www.flagstaff.az.gov/1461/Streaming-City-Council-Meetings>)

To participate in the meeting click the following link:

[Join Microsoft Teams Meeting](#)

The public can submit comments that will be read at the dais by a staff member to CDPandZCommission@flagstaffaz.gov.

**PLANNING & ZONING COMMISSION
WEDNESDAY
SEPTEMBER 28, 2022**

**STAFF CONFERENCE ROOM
211 WEST ASPEN AVENUE
4:00 P.M.**

1. Call to Order

NOTICE OF OPTION TO RECESS INTO EXECUTIVE SESSION

Pursuant to A.R.S. §38-431.02, notice is hereby given to the members of the Commission and to the general public that, at this regular meeting, the Commission may vote to go into executive session, which will not be open to the public, for legal advice and discussion with the City's attorneys for legal advice on any item listed on the following agenda, pursuant to A.R.S. §38-431.03(A)(3).

2. Roll Call

NOTE: One or more Commission Members may be in attendance telephonically or by other technological means.

MARIE JONES, CHAIR
CAROLE MANDINO, VICE CHAIR
DR. RICARDO GUTHRIE
BOB HARRIS, III

MARY NORTON
DR. ALEX MARTINEZ
LLOYD PAUL

3. Public Comment

At this time, any member of the public may address the Commission on any subject within their jurisdiction that is not scheduled before the Commission on that day. Due to Open Meeting Laws, the Commission cannot discuss or act on items presented during this portion of the agenda. To address the Commission on an item that is on the agenda, please wait for the Chair to call for Public Comment at the time the item is heard.

4. APPROVAL OF MINUTES

Approval of the minutes from the regular meeting on Wednesday, September 14, 2022.

5. PUBLIC HEARING

A. PZ-22-00129- First Sun Trust HOHD

A Conditional Use Permit request from applicant Salcito Homes on behalf of property owner First Sun Trust to establish a Single Family High Occupancy Housing Development (HOHD). The HOHD will consist of a 7,509 sq. ft. single family residential unit containing 5 bedrooms and 5 sanitation facilities (bathrooms) on approximately 0.71 acres at 3883 S Clubhouse Circle in the Single-Family Residential (R1) Zoning District.

STAFF RECOMMENDED ACTION:

In accordance with the findings presented in the attached report, staff recommends approval of PZ-22-00129 with the following conditions:

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application.
2. The property owner shall maintain compliance with the Flagstaff Police Department's Crime Free Multi-Housing Program, unless exempted by the Police Department's representative.

6. GENERAL BUSINESS

- A. PZ-21-00021:** A work session with the Planning and Zoning Commission to discuss an amendment to Section 10-90.40.030 of the Zoning Code, the Rural Floodplain Map, to change the Rural Floodplain designation to Urban Floodplain on eight parcels (APNs 101-01-020A, 020B, 101-28-005G, 005H, 005K, 013A, 013B, and 013D) of land located between W Forest Avenue, N San Francisco Street, N Turquoise Drive, and North Switzer Canyon Drive.

STAFF RECOMMENDED ACTION:

The work session with the Planning and Zoning Commission is required as a "Citizen Review Session" in compliance with Section 10-20.50.040 (Procedures) of the Zoning Code and applicable state law. The purpose of the work session is for staff and the applicant to present an overview of the proposed amendment, to allow interested residents to present their ideas, suggestions and concerns, and for the Commission to ask questions, seek clarification, and discuss the amendment, as well as offer alternate suggestions and ideas. No action will be taken by the Commission at this work session. After the work session, staff and the applicant will incorporate any comments from the public and the Commission into the proposed amendments. The amendment will then be presented to the Commission at a public hearing for consideration and action. Once a recommendation is received, a public hearing will be scheduled with the City Council. The anticipated timeline for the amendments is as follows:

- October 12, 2022 – Planning Commission Public Hearing
- November 1, 2022–City Council Public Hearing (1st Reading of Ordinance)
- November 15, 2022– Potential City Council Hearing (2nd Reading of Ordinance/Adoption)

- B. PZ-19-00248:** Request for a work session with the Planning and Zoning Commission to discuss the City's proposed amendment to the Zoning Code to modify the existing Outdoor Lighting Standards (Division 10-50.070).

STAFF RECOMMENDED ACTION:

The work session with the Planning and Zoning Commission is required as a "Citizen Review Session" in compliance with Section 10-20.50.040 (Procedures) of the Zoning Code and applicable state law. The purpose of the work session is for staff to present an overview of the proposed amendment, to allow interested residents to provide their ideas, suggestions, and concerns, and for the Commission to ask questions, seek clarification, and discuss the amendment, as well as offer alternate suggestions and ideas. The Commission will take no action at this work session. After the work session, staff will revise the proposed amendment. The amendment will then be presented to the Commission at a public hearing for consideration

and action. Once a recommendation is received, a public hearing will be scheduled with the City Council. The anticipated timeline for the amendments is as follows:

- October 4, 2022 - City Council Work Session
- October 12, 2022 – Planning and Zoning Commission Public Hearing
- November 1, 2022 –City Council Public Hearing (1st Reading of Ordinance)
- November 15, 2022 – Potential City Council Public Hearing (2nd Reading of Ordinance/Adoption)

7. **MISCELLANEOUS ITEMS TO/FROM COMMISSION MEMBERS**

8. **ADJOURNMENT**

CERTIFICATE OF POSTING OF NOTICE

The undersigned hereby certifies that a copy of the foregoing notice was duly posted at Flagstaff City Hall on 9/23/22, at 2:00PM. This notice has been posted on the City's website and can be downloaded at www.flagstaff.az.gov.

Dated this 23 day of SEPT, 2022.

Tammy Bishop, Administrative Specialist



Planning & Zoning Commission

5. A.

Meeting Date: 09/28/2022

From: Ben Mejia, Planner

Information

TITLE:

PZ-22-00129- First Sun Trust HOHD

A Conditional Use Permit request from applicant Salcito Homes on behalf of property owner First Sun Trust to establish a Single Family High Occupancy Housing Development (HOHD). The HOHD will consist of a 7,509 sq. ft. single family residential unit containing 5 bedrooms and 5 sanitation facilities (bathrooms) on approximately 0.71 acres at 3883 S Clubhouse Circle in the Single-Family Residential (R1) Zoning District.

STAFF RECOMMENDED ACTION:

In accordance with the findings presented in the attached report, staff recommends approval of PZ-22-00129 with the following conditions:

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application.
 2. The property owner shall maintain compliance with the Flagstaff Police Department's Crime Free Multi-Housing Program, unless exempted by the Police Department's representative.
-

Attachments

Staff Report

Draft Conditional Use Permit No. 22-00129

Draft Notice of Decision

Draft Prop 207 Waiver

Application

Narrative

Public Participation Report

Vicinity Map

Site Plan

Floor Plans

Elevations

**PLANNING & DEVELOPMENT SERVICES REPORT
CONDITIONAL USE PERMIT**

PZ-22-00129

DATE: September 8, 2022
MEETING DATE: September 28, 2022
REPORT BY: Ben Mejia

REQUEST:

A Conditional Use Permit (CUP) request from Salcito Custom Homes on behalf of First Sun Trust to allow a High Occupancy Housing Development in the Single-Family Residential (R1) Zone at 3883 S. Clubhouse Circle in the Estates at Pine Canyon Unit 5 subdivision. The proposal is for a 7,409 square foot, 5-bedroom, 5-bathroom single-family dwelling on approximately 0.71 acres.

STAFF RECOMMENDATION:

In accordance with the findings presented in this report, staff recommends approval of PZ-22-00129 with conditions.

PRESENT LAND USE:

Construction of the single-family dwelling was approved in June of 2021; the applicants have since requested to add a fifth bathroom which meets the threshold for Single-Family High Occupancy Housing.

PROPOSED LAND USE:

The proposed land use will remain residential as a single-family dwelling that is viewed per Code as high-occupancy housing.

NEIGHBORHOOD DEVELOPMENT:

Property is within the Pine Canyon golf club community.

North: Single-Family Dwelling, R1 Zone
South: Pine Canyon Golf Course, R1 Zone
East: Single-Family Dwelling, R1 Zone
West: Single-Family Dwelling, R1 Zone

STAFF REVIEW:

I. Project Information

A. Background

Section 10-40.30.030.B of the Flagstaff Zoning Code, Residential Zones - Allowed Uses, identifies High Occupancy Housing Development, Single-Family as an allowed land use in the Single-Family Residential (R1) Zone subject to the approval of a CUP by the Planning Commission. Adopted on November 17, 2020 and effective on March 21, 2021, the High Occupancy Housing Development (HOHD) Zoning Code standards require that a Single-Family Dwelling with 7 or more bedrooms, and/or 5 or more sanitation facilities, obtain a CUP before a building permit can be issued.

In June of 2021, a building permit was approved for a 5-bedroom, 4-bathroom single family dwelling at the site, the applicants have since decided to add a fifth bathroom to the property. The approximately 30-acre residential subdivision contains 47 lots and has a density of 1.6 units per acre. It is located along Clubhouse Circle within the Pine Canyon golf club. The lots that have been developed contain large, estate-style homes. The entire subdivision is subject to Resource Protection standards, but it is not located in a Pedestrian Shed of an Activity Center as depicted in the Regional Plan.

Section 10-40.60.175 of the Flagstaff Zoning Code contains additional standards for HOH developments. This includes the requirement that the property owner shall maintain compliance with the Flagstaff Police Department's Crime Free Multi-Housing Program, unless exempted by the Police Department's representative. The structure is also required to be at least 10 feet or one third of the height of the building from any other structures on the parcel or on adjacent parcels. This results in a minimum separation of 10.6 feet, based on the approved height of the building at 32 feet. As a single-family HOH, the structure must also meet the additional parking requirements of one parking space per bedroom. A building permit for the Existing on-site parking is adequate to meet this requirement.

I. Required Findings

The Planning Commission may approve the CUP only after making the following five findings:

A. Finding #1:

The conditional use is consistent with the objectives of the Zoning Code and the purpose of the Zone in which the site is located.

“The Single-Family Residential (R1) zone applies to areas of the City intended for single-family residential development. The affordable and planned residential development options in this zone are intended to provide design flexibility for residential development and more efficient and effective use of open space, while creating transitional areas into nonresidential or higher density residential zones and protecting areas with sensitive environmental characteristics.” (FZC 10-40.30.030)

The R1 Zone allows High Occupancy Housing Development uses with the granting of a CUP. The primary reason for the CUP is to protect the uses that are allowed by-right which may be incompatible with High Occupancy Housing Development.

B. Finding #2

That granting the conditional use will not be detrimental to the public health, safety, or welfare.

If the proposed project is developed in accordance with City codes, standards and requirements, the project should not be detrimental to the public health, safety, or welfare.

C. Finding #3

The characteristics of the conditional use as proposed, and as it may be conditioned, are reasonably compatible with the types of uses permitted in the surrounding area. The CUP shall be issued only when the Planning Commission finds that the Applicant has considered and adequately addressed the following to ensure that the proposed use will be compatible with the surrounding area (FZC 10-20.40.050.E.3):

- Access, traffic, and pedestrian, bicycle and vehicular circulation;

- Adequacy of site and open space provisions, including resource protection standards, where applicable;
- Noise, light, visual and other pollutants;
- Proposed style and siting of structure(s), and relationship to the surrounding neighborhood;
- Landscaping and screening provisions, including additional landscaping in excess of otherwise applicable minimum requirements;
- Impact on public utilities;
- Signage and outdoor lighting;
- Dedication and development of streets adjoining the property; and
- Impacts on historical, prehistoric, or natural resources.

1. *Access and Traffic; Pedestrian, Bicycle and Vehicular Circulation*

Access to the site is provided from S Clubhouse Circle. The proposed use will have minimal impact on traffic circulation. A Traffic Impact Analysis is not required of a single private residence which would only see traffic from the home's occupants. Single family HOH developments are required to provide 1 off-street parking space per bedroom. This development is proposing 4 bedrooms with an additional bunkroom; on-site parking is provided for at least 5 vehicles which is easily accommodated in the 3-car garage and ample driveway.

2. *Adequacy of Site/Open Space/Resource Provisions*

A Resource Protection Plan was provided when the subdivision was platted. The subject property has a 30,821 sq. ft. building envelope. The construction proposed for this request will be within the permitted building.

3. *Noise, Light, Visual and Other Pollutants*

It is not anticipated that the proposed uses for the site will create any noise, visual or other pollutants into the area. The site is well maintained.

4. *Style and Siting of Structure(s), and Relationship to Surrounding Neighborhood*

The architectural style, colors, and materials along with the siting of the structure are consistent with the adjoining existing residences within Pine Canyon.

5. *Landscaping and Screening*

No additional landscaping is required for this use.

6. *Impact on Public Utilities*

The site proposes to connect to existing city sewer and water services. No new off-site improvements are required to support this use.

7. *Signage and Outdoor Lighting*

All exterior lighting will be required to comply with the City of Flagstaff's strict outdoor lighting requirements which supports and maintains our designation as an International Dark Sky City. Section 10-50.70: Outdoor Lighting Standards of the Zoning Code allows single family residences to have up to 10,000 lumens of outdoor lighting (if using non-LED bulbs) or 6,993 lumens of outdoor lighting if all lighting is using LED bulbs. All outdoor lighting fixtures must be fully or partially shielded; no unshielded fixtures are allowed. Single family residential building permits do not require a separate

Outdoor Lighting Permit.

8. *Dedication and Development of Streets*

No dedication or development of public streets is required. All public right of way was dedicated when the subdivision was platted.

9. *Impacts on Resources*

This site is not currently listed on any state or federal historic registry, nor does the site have any other historical significance. The site is located within the Resource Protection Overlay Zone; the proposed development fits within the development envelope formed with the Estates at Pine Canyon Unit 5 subdivision plat, which adequately address resource protection requirements.

D. Finding #4

For the properties subject to Division 10-30.30, Heritage Preservation, the City's Historic Preservation Officer or the Heritage Preservation Commission has made a determination that the proposed HOHD or MHOHD has no adverse effect or has appropriately mitigated its effects on the historic cultural resource.

This property is not subject to Division 10-30.30; therefore, this criterion is not applicable.

E. Finding #5

Adequate transit service is available to the Development Site containing four dwelling units or more. Adequate transit service from a Development Site to a permanent transit stop is:

- a. Less than or equal to 1,320 feet; or
- b. A distance greater than 1,320 feet when the Planning and Zoning Commission finds that the route to the permanent transit stop has adequate nighttime lighting and does not have a significant grade change, and the distance does not impede reasonable access to transit.

The distance between the permanent transit stop to the Development Site shall be measured following a continuously improved sidewalk and/or public paved trail.

This proposed CUP is for a HOHD, Single Family; as such, this criterion is not applicable.

II. *Citizen Participation*

The applicant notified nearby property owners within 300 feet of the subject site of this application via mailer in-lieu of holding a virtual or in-person neighborhood meeting. As of the date of this report, staff has received one comment from the public which has been included in the public participation report for your consideration.

III. *Recommendation*

In accordance with the findings presented in this report, Staff recommends that the request for the CUP be granted by the Planning and Zoning Commission with the requirements included in CUP No.

PZ-22-00129 and as follows:

1. The development of the site shall substantially conform to the plans as presented with the CUP application.
2. The property owner shall maintain compliance with the Flagstaff Police Department's Crime Free Multi-Housing Program, unless exempted by the Police Department's representative.

IV. Attachments

The draft documents have been prepared in accordance with the staff recommendation and do not indicate the Commission's final decision. These documents will be updated after the public hearing on this case to reflect the Commission's decision.

- Draft Conditional Use Permit No. PZ-22-00129
- Draft Notice of Decision
- Draft Prop 207 Waiver
- Conditional Use Permit Application
 - Narrative
 - Public Participation Report
 - Vicinity Map
 - Site Plan
 - Floor Plans
 - Elevations

**COCONINO COUNTY, ARIZONA RECORDER
CONDITIONAL USE PERMIT
FROM GRANTOR: CITY OF FLAGSTAFF
COCONINO COUNTY, ARIZONA
OFFICE OF PLANNING AND ZONING
TO GRANTEE: FIRST SUN TRUST**

Permit No. PZ-22-00129
September 28, 2022

Permission is hereby granted to First Sun Trust to establish a High Occupancy Housing Development, Single-Family use pursuant to Section 10-40.30.030.B of the *Flagstaff Zoning Code*. The High Occupancy Housing Development, Single-Family consists of 7,409 square feet with 5 bedrooms and 5 bathrooms on approximately 0.71 acres located at 3883 S. Clubhouse Circle in the Single-Family Residential (R1) Zone, and legally described as Coconino County Assessor parcel number 105-10-448 in the city of Flagstaff, Arizona.

After a public hearing held on September 28, 2022, the Planning and Zoning Commission voted to grant this Conditional Use Permit subject to the following conditions:

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application.
2. The property owner shall maintain compliance with the Flagstaff Police Department's Crime Free Multi-Housing Program, unless exempted by the Police Department's representative.

Furthermore, this permit is issued on the express condition that the use permitted herein shall conform in all relevant respects to the ordinances of the City of Flagstaff and the laws of the State of Arizona.

Any and all conditions endorsed on this permit are subject to periodic review by the City of Flagstaff's Planning Director. Following review, the Planning and Zoning Commission shall be notified when the conditions of operation imposed in the approval and issuance of this permit have not been or are not being complied with.

The Planning and Zoning Commission shall consider the matter of revocation and set the permit for public hearing. If the Planning and Zoning Commission finds, following the public hearing, that the conditions imposed in the issuance of this permit are not being complied with, this permit may be revoked and further operation of the use for which this permit was approved shall constitute a violation of the Zoning Code.



City of Flagstaff

September 28, 2022

Ms. Jenn Scopacasa
Salcito Custom Homes
20909 N. 90th Pl. Suite 202
Scottsdale, AZ 85255

RE: **NOTICE OF DECISION** – Conditional Use Permit No. PZ-22-00129

Dear Ms. Scopacasa:

The Planning Commission, in accordance with Section 10-20.40.050 of the Flagstaff Zoning Code, has considered the request of First Sun Trust for a Conditional Use Permit on the property at 3883 S Clubhouse Circle (APN 105-10-448) in the Residential Single-Family (R1) Zoning District for a High Occupancy Housing Development, Single-Family as provided in Table 10-40.30.030.B of the City of Flagstaff Zoning Code.

The Planning Commission held a public hearing on September 28, 2022, in regard to this Conditional Use Permit. The Commission found and determined that, based on the information provided in the staff report dated September 8, 2022, and at the public hearing, the facts exist as required by Section 10-20.40.050.F of the Zoning Code to justify granting the Conditional Use Permit.

Based upon the aforementioned findings, the Commission approved a Conditional Use Permit by a vote of **(VOTE)** for the use and location described above subject to the following conditions:

1. The development of the site shall substantially conform to the plans as presented with the Conditional Use Permit application.
2. The property owner shall maintain compliance with the Flagstaff Police Department's Crime Free Multi-Housing Program, unless exempted by the Police Department's representative.

The above condition(s) is deemed by the Commission to be required to assure that the requested use will be compatible with neighboring uses and the growth and development of the area.

This action becomes final and effective ten (10) calendar days after the posting of this Notice of Decision on October 7, 2022, unless during these ten (10) days a written appeal to the City Clerk is filed or the City Council elects to review the application. Either appeal or City Council review shall stay the Conditional Use Permit until the City Council holds the required public hearing to consider the request.

Should you have any questions, comments, or concerns, please do not hesitate to contact me.

Sincerely,

Ben Mejia, Planner
City of Flagstaff, Current Planning Section
P. 928-213-2616 F. 928-213-2089
ben.mejia@flagstaffaz.gov

cc: Planning Director, City Clerk, City Council



City of Flagstaff

Community Development Division

211 W. Aspen Ave
 Flagstaff, AZ 86001
 www.flagstaff.az.gov

P: (928) 213-2618

Date Received		Application for Conditional Use		File Number	
Property Owner(s) FIRST SUN TRUST			Phone 602.430.3673		
Mailing Address 6713 E. ROVEY AVE		City, State, Zip Paradise Valley, AZ	Email B5253 brentberge@bergegroup.com		
Applicant(s) Salcitra Custom Homes			Phone 480.585.5065		
Mailing Address 2009 N. 90th Pl. #202		City, State, Zip Scottsdale, AZ 85255	Email jslopacasa@salcitra.com		
Project Representative Jenn Slopacasa			Phone 480.585.5065		
Mailing Address SAME		City, State, Zip SAME	Email SAME		

Project Name LOT 321 PINE CANYON					
Site Address 3883 S. Clubhouse Cir.		Parcel Number(s) 105-10-44B		Subdivision, Tract & Lot Number ESTATES AT PINE CANYON UNITS	
Zoning District		Regional Plan Land Use Category		Flood Zone	
Property Information: <ul style="list-style-type: none"> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Located in an existing City of Flagstaff Historic District? (Name: _____) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing structures are over 50 years old at the time of application? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing structures are pre-World War II housing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Subject property is undeveloped land? 					
Surrounding Uses (Res, Com, Ind)		North	South	East	West
Note: Conditional Use Permits are reviewed by City's Planning and Zoning Commission (P&Z), which meets the second and fourth Wednesday of every month. Applications are due by the close of business no fewer than 30 days prior to the meeting. You must provide a complete application form, along with the required number of plans and information as indicated in the attached checklist. Incomplete submittals will not be scheduled.					
Property Owner Signature 		Date 6-14-22	Applicant Signature 		Date 6/14/22

Lot 321

For City Use					
Date Filed		File Number:			
Hearing Date		Pub. / Posting Date(s):		Prop. Owner Notif. Date:	
Fee Receipt Number		Amount		Date	
Action by Planning and Zoning Commission:					
Hearing Date:			Type of Request:		
<input type="checkbox"/> Approved			<input type="checkbox"/> CUP		
<input type="checkbox"/> Denied			<input type="checkbox"/> Extension		
<input type="checkbox"/> Continued					
Staff Assignments	Planning	Engineering	Fire	Public Works/Water	Stormwater

June 24, 2022



City of Flagstaff
211 W. Aspen Ave.
Flagstaff, AZ 86001

VIA E-MAIL

RE: Conditional Use Permit at 3883 S. Clubhouse Circle Flagstaff, AZ 86005

To Whom It May Concern:

Salcito Custom Homes, Ltd., on behalf of First Sun Trust (“Applicant”), is submitting a conditional use permit application for the approximate 30,927 s.f. of property located at 3883 S. Clubhouse Circle (Lot 321), also known as Coconino County Assessor Parcel #105-10-448 (“Property”). The Property is located within the Pine Canyon master-planned community and is zoned R-1 Single-Family Residential (R-1) Resource Protection Overlay.

The Applicant is requesting a Conditional Use Permit to allow for a fifth bathroom added to the single-family residence, which under the Zoning Code is considered High Occupancy Housing. Further, this single-family residence has already been issued a permit through the City of Flagstaff with four bathrooms on the plan, and is already under construction.

Conditional Use Permit Approval Criteria:

In accordance with Section 10-20.40.050.E, the Planning & Zoning Commission may approve the Conditional Use Permit upon making the following findings:

1. That the conditional use is consistent with the objectives of the Zoning Code and the purpose of the zone in which the site is located.
 - a. Response: The proposed single-family residence is consistent with the objectives of the Zoning Code and the purpose of the R-1 zoning district in every respect.

www.salcito.com

20909 N. 90th Place, Suite 202 ■ Scottsdale, Arizona 85255 ■ Phone: 480-585-5065 ■ Fax: 480-585-4292 ■ Toll Free: 800-801-5065

AZ Res. License No. ROC098560(B) AZ Com. License No. ROC174833(K-1)

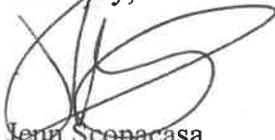
2. That granting the conditional use will not be detrimental to the public health, safety or welfare. The factors to be considered in making this finding include, but not be limited to:
 - a. Property damage or nuisance arising from noise, smoke, odor, dust, vibration or illumination
 - b. Hazard to persons or property from possible explosion, contamination, fire, or flood
 - c. Impact on surround areas arising from unusual volume or character of traffic
 - i. Response: The addition of a fifth bathroom to an already approved single-family residential plan will not cause property damage or nuisance, hazard to persons or property, nor will it impact the surrounding areas with an unusual volume or character of traffic. The proposed residence and use are identical to the immediately adjacent residences and others in the Pine Canyon community, which have not been detrimental to public health, safety or welfare.
3. That the characteristics of the conditional use as proposed and as it may be conditioned are reasonably compatible with the types of uses permitted in the surrounding areas. The Conditional Use Permit shall be issued only when the Planning Commission finds that the applicant has considered and adequately addressed the following to ensure that the proposed use will be compatible with the surrounding area:

Response: The addition of the fifth bathroom is reasonably compatible with the types of uses permitted in the surrounding area of Pine Canyon.

 - a. Access and traffic; pedestrian, bicycle and vehicular circulation
 - i. There will be no impact to access or traffic. The added bathroom will be located inside the existing permitted structure.
 - b. Adequacy of site and open space provisions, including site capacity and resource protection standards where applicable
 - i. The permitted residence complies with all applicable resource protection standards, and has already been permitted. The addition of the fifth bathroom will be located inside the existing permitted structure.
 - c. Noise, light, visual and other pollutants
 - i. The permitted residence will not emit noise, light, visual or other pollutants due to adding a fifth bathrooms.
 - d. Proposed style and siting of structure(s), and relationship to the surrounding neighborhood
 - i. The architectural style, colors and materials have already been approved by Pine Canyon and the City of Flagstaff. The addition of a fifth bath will not change the exterior structure.
 - e. Landscaping and screening provisions
 - i. The proposed residence complies with all applicable landscaping and screening requirements, and has already been through the review process with both Pine Canyon and the City of Flagstaff and has been approved at both.

- f. **Impact on public utilities**
 - i. The proposed residence or addition of fifth bath will have no impact on public utilities
- g. **Signage and outdoor lighting**
 - i. The addition of the fifth bath will have no impact on outdoor lighting. No signage is proposed.
- h. **Dedication and development of streets adjoining the property**
 - i. The addition of the fifth bath will have no impact on the streets adjoining the property.
- i. **Impacts on historical, prehistoric or natural resources**
 - i. The proposed residence complies with all applicable natural resource standards, and has no historical or prehistoric impacts. The addition of a fifth bath will not change this.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jenn Scopacasa', written over a circular stamp or seal.

Jenn Scopacasa

Salcito Custom Homes, Ltd.



September 13, 2022

Mr. Ben Mejia
City of Flagstaff
211 W. Aspen Ave.
Flagstaff, AZ 86001
VIA E-MAIL

RE: Public Participation Report for Case #PZ-22-00129

Dear Ben,

The following outlines the history of communication regarding the request for a conditional use permit to add a fifth shower at 3883 S. Clubhouse Circle.

- On August 8th, 2022, Salcito Custom Homes mailed out letters notifying neighbors within a 300 ft. area of the request for a conditional use permit. Enclosed is a copy of the letter and diagram, along with a list of the recipients.
- On August 15th, 2022, Jenn Scopacasa received an email from Tom and Kathy Plimpton, owners of 3887 S. Clubhouse Circle. Jenn responded to the homeowner's concerns on 8/17/22. Tom and Kathy Plimpton replied again on 8/18/22. Please see the enclosed copy of the correspondence. This was the only correspondence that Salcito received in response to the August 8th letter.
- On September 7th, 2022, Salcito Custom Homes mailed out letters notifying neighbors of the public hearing before the Planning and Zoning Commission on September 28th, 2022. Enclosed is a copy of the letter, along with a list of the recipients.

Please let me know if you have any questions, or require any additional information at this time.

Sincerely,

Jenn Scopacasa
Project Manager
Salcito Custom Homes, Ltd.

www.salcito.com

20909 N. 90th Place, Suite 202 ■ Scottsdale, Arizona 85255 ■ Phone: 480-585-5065 ■ Fax: 480-585-4292 ■ Toll Free: 800-801-5065

AZ Res. License No. ROC098560(B) AZ Com. License No. ROC174833(K-1)

List of property owners and parcel numbers for properties within 300 ft. of 3883 S. Clubhouse Circle Flagstaff, AZ 86005

***These property owners received both the 8/8/22 notification of CUP request and the 9/7/22 notification of public hearing.

Parcel #	Lot #	Address	Owner	Mailing Address
105-10-406		3900 S. Clubhouse Circle	Donald & Renee Felix Living Trust	10103 E. Jensen St. Mesa, AZ 85207
105-10-379		3866 S. Clubhouse Circle	Captured Peak, LLC	5701 E. Mockingbird Lane Paradise Valley, AZ 85253
105-10-382		3409 S. Brown Sage Ct.	Anselmo Garcia	2115 E. Electra Ln. Phoenix, AZ 85024
105-10-454A		2717 E. Byrds View Dr.	Paul and Judi Bennett Revocable Trust	34522 N. Scottsdale Rd. #120-470 Scottsdale, AZ 85266
105-10-380		3874 S. Clubhouse Circle	Robert and Linda Crandall Revocable Trust	11352 E. Caribbean Ln. Scottsdale, AZ 85255
105-10-452A		2701 E. Byrds View Dr.	Paul Ottenstein Revocable Trust	2701 E. Byrds View Dr. Flagstaff, AZ 86005
105-10-490			Walnut Canyon at Pine Canyon, LLC	8601 N. Scottsdale Rd. Suite 335 Scottsdale, AZ 85253
105-10-491			Walnut Canyon at Pine Canyon, LLC	8601 N. Scottsdale Rd. Suite 335 Scottsdale, AZ 85253
105-10-164B		4200 S. Clubhouse Circle	TLC PC Golf, LLC	8601 N. Scottsdale Rd. Suite 335 Scottsdale, AZ 85253
105-10-381		3401 S. Brown Sage Ct.	Jaseon and Letty Ebel	18801 N. 90th Way Scottsdale, AZ 85255
105-10-451		3895 S. Clubhouse Circle	David Abeyta	3895 S. Clubhouse Circle Flagstaff, AZ 86005
105-10-449		3887 S. Clubhouse Circle	TKP Family Trust	10040 E. Happy Valley Rd. #915 Scottsdale, AZ 85255
105-10-447		3879 S. Clubhouse Circle	Clifton D. & Diana L. Cokingtin	42746 N. 102nd St. Scottsdale, AZ 85262
105-10-405		2501 E. La Serena Dr.	Justin and Ashley Upton	10960 Wilshire Blvd. 5th Floor Los Angeles, CA 90024
105-10-446		3875 S. Clubhouse Circle	JCNDMN Living Trust	5802 E. Donna Ln. Paradise Valley, AZ 85253
105-10-450A		3891 S. Clubhouse Circle	Donald & Jane Reese	5535 E. Valley Vista Ln. Paradise Valley, AZ 85253
105-10-159C			PC Village Association, Inc.	P.O. Box 10000 Prescott, AZ 86034
105-10-162B		2811 E. Byrds View Dr.	TLC PC Golf, LLC	8601 N. Scottsdale Rd. Suite 335 Scottsdale, AZ 85253
105-10-440A		3827 S. Clubhouse Circle	Booth Joint Management Trust	10040 E. Happy Valley Rd. #317 Scottsdale, AZ 85255
105-10-442A		3851 S. Clubhouse Circle	JCNDMN Living Trust	5802 E. Donna Ln. Paradise Valley, AZ 85253
105-10-404		2509 E. La Serena Dr.	Binns Revocable Family Trust	4556 N. 56th St. Phoenix, AZ 85018



August 8, 2022

RE: Notification in lieu of Neighborhood Meeting for proposed 5th bathroom in custom residence being built at 3883 S. Clubhouse Circle.

Dear Neighbor,

Recent updates to the Flagstaff Zoning Code requires single-family homes with five or more bathrooms to obtain approval from the Planning and Zoning Commission of a Conditional Use Permit. Applicants for a Conditional Use Permit are typically required to hold a neighborhood meeting to alert nearby property owners of the application, however, in this case, the planning director has allowed a direct mailing in lieu of the neighborhood meeting. The purpose of this mailing is to inform property owners of the application and allow communication between the applicant and the affected nearby property owners.

The custom residence currently under construction at 3883 S. Clubhouse Circle has already been approved by the City of Flagstaff and the Pine Canyon Homeowners' Association. The owners of the property would like us to add a shower to the fifth bath on the second story of the home near the bonus room. Please see the enclosed "before" and "after" plans. As stated previously, the "before" plan is fully permitted. The owners of the property will be using it as a second home.

Please feel free to contact me by phone at (480) 585-5065, email at jscopacasa@salcito.com or regular mail at 20909 N. 90th Pl. Suite 202, Scottsdale, AZ 85255 with any concerns or comments. I must receive your comments or concerns on or before August 22nd, 2022 for it to be valid.

You will be contacted once again when the project is scheduled to go before the Planning and Zoning Commission.

On behalf of Owner, Brent C. Berge, Trustee of the First Sun Trust,

Sincerely,

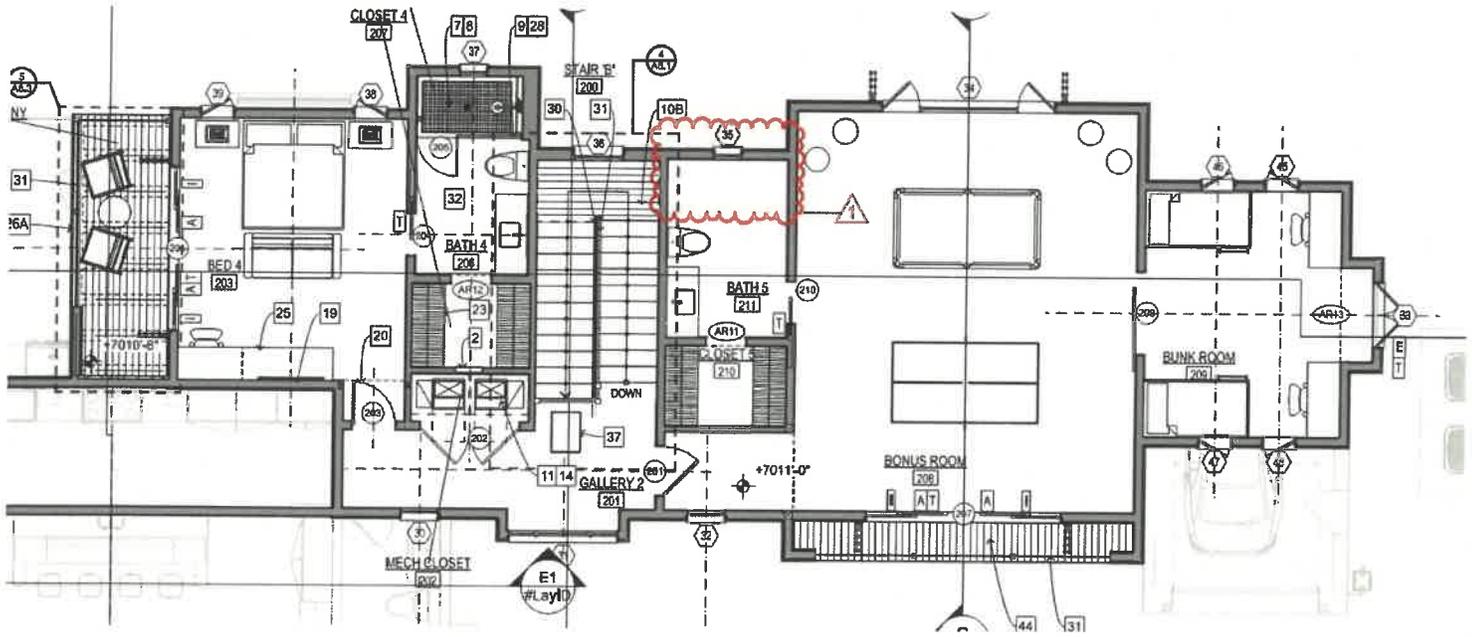
Jenn Scopacasa
Project Manager
Salcito Custom Homes, Ltd.

www.salcito.com

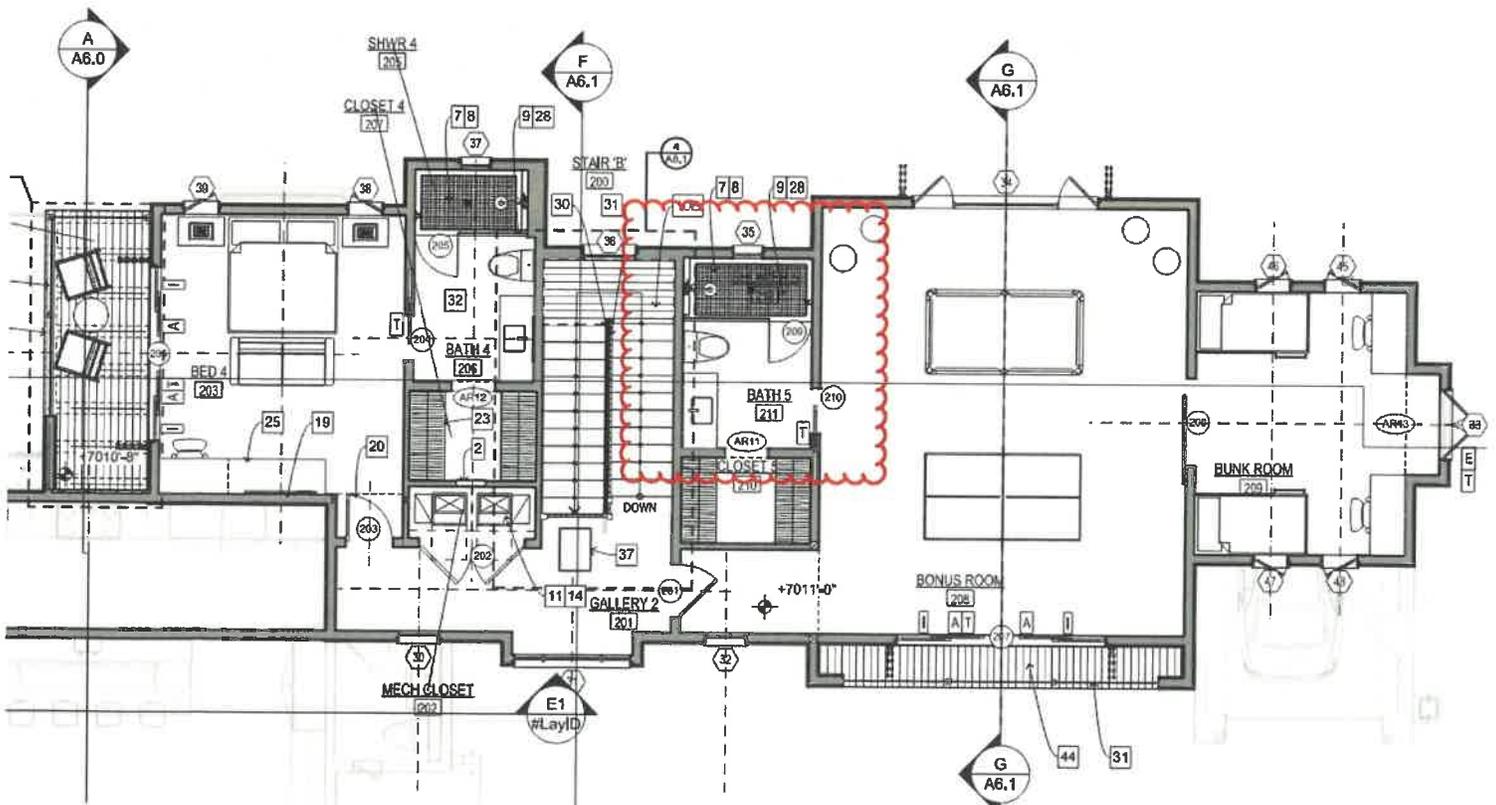
20909 N. 90th Place, Suite 202 ■ Scottsdale, Arizona 85255 ■ Phone: 480-585-5065 ■ Fax: 480-585-4292 ■ Toll Free: 800-801-5065

AZ Res. License No. ROC098560(B) AZ Com. License No. ROC174833(K-1)

2nd story "before" plan, approved by City of Flagstaff and Pine Canyon Homeowners Association



2nd story "after" proposed plan to add shower to 5th bath



From: [Tom Plimpton](#)
To: [Jenn Scopacasa](#)
Cc: [Kathy Plimpton](#); [Anthony Salcito](#); [Brian Genik](#); brentberge@bergegroup.com
Subject: Re: 5th Bathroom at 3883 S. Clubhouse Circle
Date: Thursday, August 18, 2022 11:38:29 AM

Hi Jenn.

Thanks for the response. I have copied the homeowner on my response as, in the end, it is their assurances that will matter. I will assume that if he does not respond that he is in agreement with your response.

Your superintendent, Brian, has been very good in dealing with things that I bring up. Overall, your worksite is well managed and orderly. Glad to hear that the dead trees are down and gone.

Good luck in completing the house in a timely manner. I am sure the owner is ready to move in LOL.

Best

Tom Plimpton

On Tue, Aug 16, 2022 at 4:57 PM Jenn Scopacasa <jscopacasa@salcito.com> wrote:

Good Afternoon Mr. Plimpton,

Thank you for your email. I apologize for the delayed response.

We apologize for the excessive noise. Brian Genik, the superintendent, has been notified of this concern. If you would like, I can let you know the next time Anthony Salcito intends to be in Pine Canyon so he can stop by to discuss the noise issues you mentioned in person. He typically travels to Flagstaff once every 1-2 weeks.

As far as the 5th bathroom/shower addition goes, please be assured the house is being built for a family of four. There is no plan for inclusion of extended family members living at the house, nor for renting the house out to private parties, or through third-party sites such as VRBO. The bunk room concept was included in the floor plan because the Berge family has young children. There is no intent to use this property to house extended family, or to rent out the property now, or anytime in the future.

I believe Brian Genik had the two pine trees you mention in your email below

removed yesterday. Yes, we intend to address any issues (bring back to original condition) on your property that are caused by our construction on 3883 S. Clubhouse Circle. It sounds like you have spoken to Brian Genik, the superintendent, however, I have enclosed his contact information for your reference as well:

(480) 584-9356

Bgenik@salcito.com

Thank you again for your email. Please let us know if we can address any further concerns.

Have a very nice evening!

Best regards,

Jenn Scopacasa

Project Manager

Salcito Custom Homes, Ltd.

Salcito Construction Co., Inc.

20909 N. 90th Pl. Suite 202

Scottsdale, AZ 85255

Phone: (480) 585-5065

Fax: (480) 585-4292

jscopacasa@salcito.com

www.salcito.com

From: Tom Plimpton <tplimptontx@gmail.com>

Sent: Sunday, August 14, 2022 11:31 AM
To: Jenn Scopacasa <jscopacasa@salcito.com>
Cc: Kathy Plimpton <plimptonk@gmail.com>
Subject: 5th Bathroom at 3883 S. Clubhouse Circle

Dear Jenn,

We are in receipt of your letter of August 8, 2022 concerning the proposed 5th Bathroom in the custom residence being built at 3883 S. Clubhouse Circle.

After enduring a long summer of excessive construction noise at the residence in question, we feel we must comment on the proposal for the 5th bathroom. On a side note we do understand that, of course, there will be construction noise, but there is a way to go about it. We have watched the framers many days and wonder if they do things in a way just to make more noise. I can fill you in if you are interested.

We are not in favor of the proposed bathroom if it leads to several undesirable situations as detailed below.

- As far as we know this house is being built for a family of 4. If the additional bathroom would lead to the inclusion of extended family members living at the house (more occupants per SF) then we would not look favorably on your proposal.
- We would be totally against the bathroom proposal if the owners of the house (Berge) would rent the house out either directly, through VRBO, through AIRBNB or other sites/third parties. We are concerned as one has to ask "why does a family need so many bathrooms"? The tip off may be the Bunk Room concept on the second level.

On a side note, there are two large pine trees that are dying or dead on the property. I have pointed one out to your superintendent who has been very cooperative during the construction. We are concerned that the high winds, etc could cause the tree(s) to fall down and cause damage to our house/property. We hope you can deal with this issue soon as the fall winds are close at hand. Also, we are expecting that any construction overflow onto our property will be put back to its original condition as the house is completed.

We don't want to be difficult, but while a 5th bathroom addition sounds minor, it may not be. Many of us are concerned about rentals, noise, extended families, etc.

We look forward to your written comments and assurances.

Many thanks. Please confirm your receipt of this email.

Tom and Kathy Plimpton
3887 S. Clubhouse Circle
Flagstaff, AZ 86005

425-891-5467

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Confidentiality Note: This message and any attachments contain privileged and/or confidential information. Any unauthorized disclosure, use or dissemination of this e-mail message or its contents, either in whole or in part, is prohibited. If you are not the intended recipient of this e-mail message, kindly notify the sender and then destroy it.

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Confidentiality Note: This message and any attachments contain privileged and/or confidential information. Any unauthorized disclosure, use or dissemination of this e-mail message or its contents, either in whole or in part, is prohibited. If you are not the intended recipient of this e-mail message, kindly notify the sender and then destroy it.



September 7, 2022

RE: Notification of Public Hearing before the Planning and Zoning Commission for proposed 5th bathroom in custom residence being built at 3883 S. Clubhouse Circle.

Dear Neighbor,

Recent updates to the Flagstaff Zoning Code requires single-family homes with five or more bathrooms to obtain approval from the Planning and Zoning Commission of a Conditional Use Permit.

The custom residence currently under construction at 3883 S. Clubhouse Circle has already been approved by the City of Flagstaff and the Pine Canyon Homeowners' Association. The owners of the property would like us to add a shower to the fifth bath on the second story of the home near the bonus room.

Case #PZ-22-00129 will be reviewed at the Planning & Zoning Commission meeting on Wednesday, September 28th, 2022 at 4:00pm. The public is invited to participate in the meeting, or to submit comments via e-mail to Ben Mejia ben.mejia@flagstaffaz.gov prior to the meeting. The meeting will be held virtually, and can be joined through a link on the following website:

<https://www.flagstaff.az.gov/2845/Planning-Zoning-Commission>

For more information regarding the hearing, please contact Ben Mejia, City of Flagstaff Planner, at ben.mejia@flagstaffaz.gov or (928) 213-2616.

On behalf of Owner, Brent C. Berge, Trustee of the First Sun Trust,

Sincerely,

Jenn Scopacasa
Project Manager
Salcito Custom Homes, Ltd.

www.salcito.com

20909 N. 90th Place, Suite 202 ■ Scottsdale, Arizona 85255 ■ Phone: 480-585-5065 ■ Fax: 480-585-4292 ■ Toll Free: 800-801-5065

AZ Res. License No. ROC098560(B) AZ Com. License No. ROC174833(K-1)



**CONSTRUCTION AREA
AUTHORIZED PERSONNEL ONLY**

EVERYONE ENTERING THIS SITE MUST WEAR AN APPROVED HARD HAT & MUST ABIDE BY ALL OSHA SAFETY & HEALTH STANDARDS

ACCORDING TO FEDERAL LAW SAFETY ON THE JOB IS EVERYONES RESPONSIBILITY!

STRICTLY NO SMOKING ON THIS JOBSITE!

SALCITO
CUSTOM HOMES, LTD.

City of Flagstaff

PUBLIC HEARING

Planning and Zoning Commission: September 28th, 2022 4:00pm

LOCATION OF HEARING: Virtual

REQUEST: Conditional Use Permit

PROPOSAL: High-Occupancy Housing Development, Single-Family

GENERAL LOCATION: 3883 S. Clubhouse Circle

SIZE OF SITE: .71 acres

CASE # PZ-22-00129

APPLICANT/CONTACT: Salcito Custom Homes

PHONE #: (480) 585-5065

CITY CONTACT: Ben Mejia ben.mejia@flagstaffaz.gov

PHONE #: (928) 213-2616

Planning & Development Services Department: (928) 213-2600

Posting Date: 9/13/2022

3883

CLUBHOUSE

CIR

FIRE EXTINGUISHER

Affidavit of Sign Posting

Case Number: PZ-22-00129

Project Name: Pine Canyon Lot 321

Applicant Name: Salcito Custom Homes, Ltd. - Anthony Salcito

Location: 3883 S. Clubhouse Circle Flagstaff, AZ 86005

In order to assist in providing adequate notice to interested parties and to meet Arizona State Statute, the applicant for public hearings in the City of Flagstaff shall post signs as prescribed by Section 10-20.30.080 of the City of Flagstaff Zoning Code. It shall be the responsibility of the applicant to erect and to maintain the sign on the subject property 15 days prior to the hearing and to update the hearing information on the sign until final disposition of the case. It shall also be the responsibility of the applicant to remove the sign within seven (7) days after the final disposition of the case.

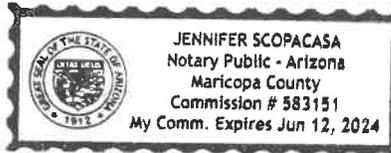
I confirm that the site has been posted as detailed in Section 10-20.30.080 of the Zoning Code as well as the Public Hearing Notice Sign Specifications included in this application for the case above and the site was posted at least fifteen (15) days prior to the public hearing.

See attached date stamped photo exhibit of posted signs.

Applicant's/Representative's Signature: 

SUBSCRIBED AND SWORN before me this 13th day of September, 2022 by: Anthony Salcito


Notary Public



My Commission Expires:

6/12/2024

Affidavit of Notifications to Affected Property Owners

Case Number: PZ-22-00129

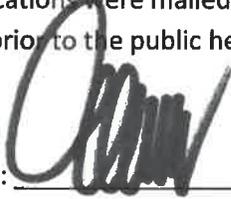
Project Name: Pine Canyon Lot 321

Applicant Name: Salcito Custom Homes, Ltd. - Anthony Salcito

Location: 3883 S. Clubhouse Circle Flagstaff, AZ 86005

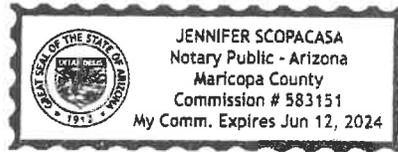
In order to assist in providing adequate notice to interested parties and to meet Arizona State Statute, the applicant for public hearings in the City of Flagstaff shall notify affected property owners as prescribed by Section 10-20.30.080 of the City of Flagstaff Zoning Code. It shall be the responsibility of the applicant to establish a list of the names and addresses of persons who require notification of a public hearing as established in sections 10-20.30.60.(A).3, 10-20.30.60.(B), and 10-20.30.60.(C) of the Zoning Code, and mail a notice of required public hearing via first class mail to each of the persons on the list referenced above no later than 15 days prior to the public hearing date. It shall also be the responsibility of the applicant to submit a notarized copy of the mailing list to the Director prior to the fifteenth day before the public hearing date.

I confirm that the public hearing notifications were mailed as detailed in Section 10-20.30.080 of the City of Flagstaff Zoning Code at least fifteen (15) days prior to the public hearing.

Applicant's/Representative's Signature: 

SUBSCRIBED AND SWORN before me this 13th day of September, 2022 by: Anthony Salcito

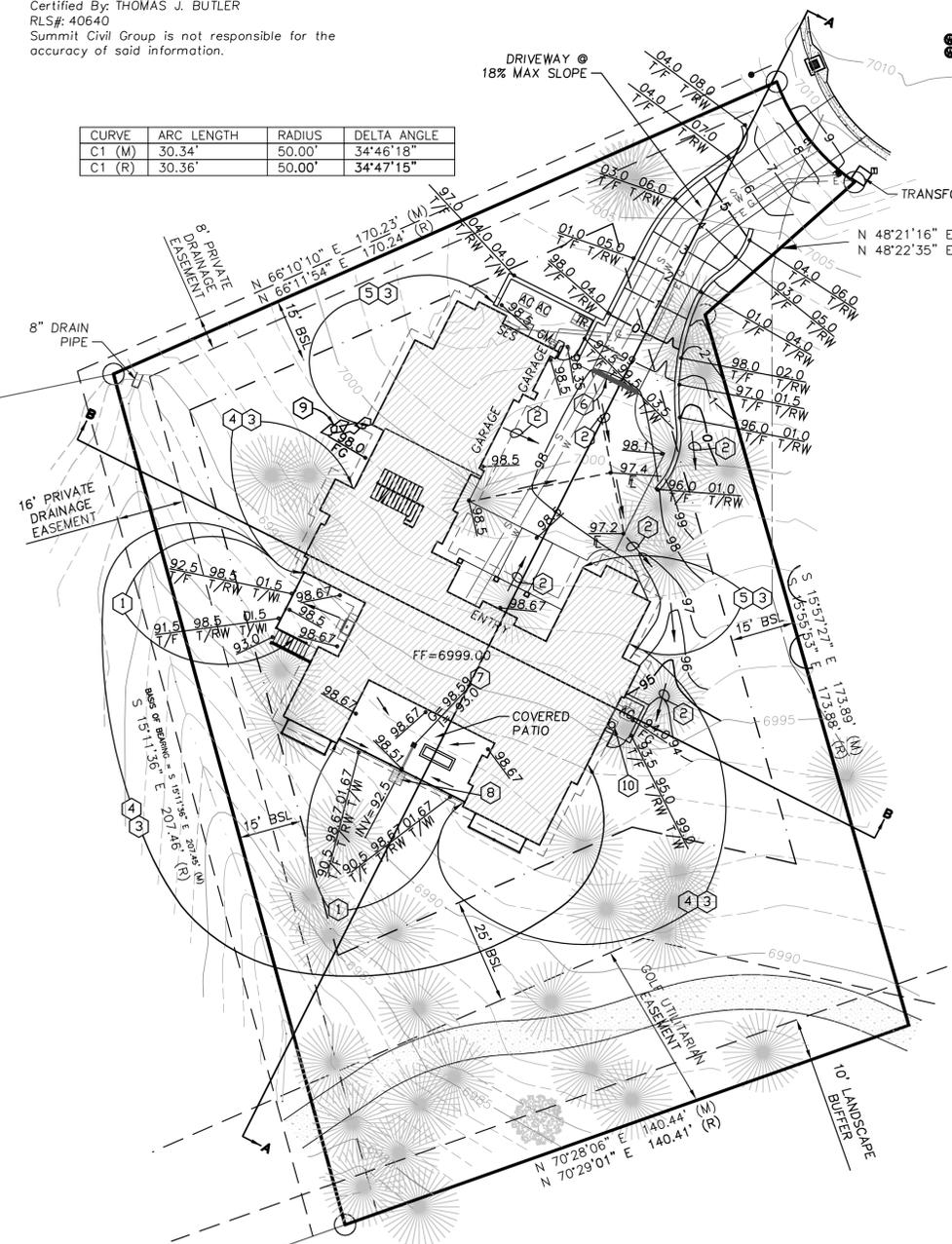

Notary Public



My Commission Expires:
6/12/2024

DISCLAIMER
 The survey information on this plan was supplied by:
 ASPEN SURVEYING, LLC
 Job Number: 20-069
 Project Date: 9/8/20
 Certified By: THOMAS J. BUTLER
 RLS#: 40640
 Summit Civil Group is not responsible for the accuracy of said information.

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE
C1 (M)	30.34'	50.00'	34°46'18"
C1 (R)	30.36'	50.00'	34°47'15"



ESTIMATED EARTHWORK QUANTITIES
 THE QUANTITIES LISTED BELOW ARE APPROXIMATE, UNADJUSTED AND FOR BIDDING PURPOSES ONLY. CONTRACTOR TO VERIFY.
 CUT 220 C.Y.
 FILL 175 C.Y.



LEGEND

- 98.5 (87.66) PROPOSED ELEVATION
- EXISTING ELEVATION
- F.F. FINISHED FLOOR ELEVATION
- L.F.88 LOWEST FINISHED FLOOR ELEVATION
- FLOW DIRECTION
- 1258 EXISTING CONTOUR
- 1258 PROPOSED CONTOUR
- EP EDGE OF PAVEMENT
- BC BACK OF CURB
- RW RIGHT OF WAY
- PUE PUBLIC UTILITY EASEMENT
- GPE GENERAL PURPOSE EASEMENT
- T/W TOP OF SITE WALL
- T/RW TOP OF RETAINING WALL
- T/F TOP OF FOOTING
- T/W TOP OF WROUGHT IRON FENCE
- T/SW TOP OF SITE WALL
- T/C TOP OF COLUMN
- HWE HIGH WATER ELEVATION
- FG FINISHED GRADE
- FL FLOWLINE
- INV INVERT
- CENTERLINE
- PROPERTY LINE
- NAOS BOUNDARY
- SUGGESTED BUILDING ENVELOPE
- REVISED BUILDING ENVELOPE
- SS--- SANITARY SEWER LINE
- W--- WATER LINE
- AB ASBUILT
- BSL BUILDING SETBACK LINE
- DS DOWN SPOUT (W/SPLASH PAD WHERE APPLICABLE)

CONSTRUCTION NOTES

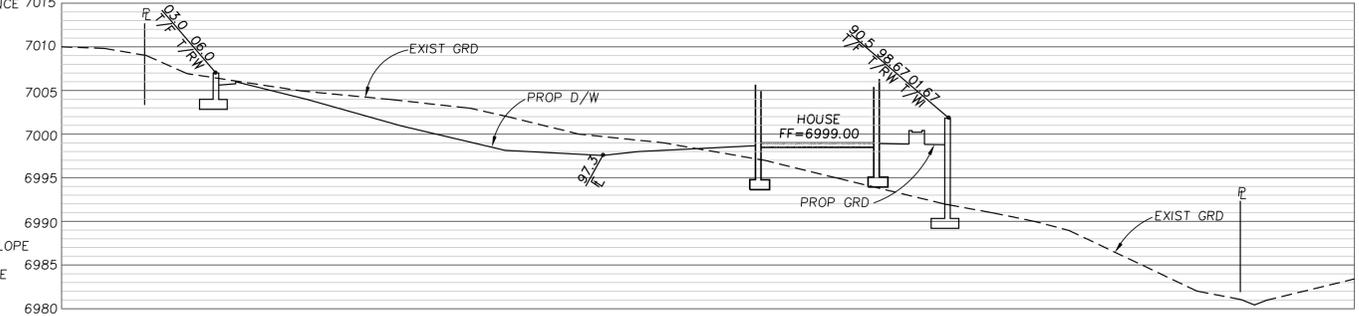
- 1 Construct wall openings 5' o.c. ((2) 4"x 4") (inverts to be level with adjacent grade)
- 2 Grade to drain
- 3 Waterproof walls with emulsified asphaltic coating to a minimum of one foot above outside grade and place 1/4" batter board from foundation to backfill grade level to protect waterproofing while backfilling.
- 4 Construct extended stemwall. Field grade and add boulders and planting as necessary to achieve max height of 5' of stemwall as allowed by the City of Flagstaff
- 5 Construct extended stemwall with top of stem a minimum of 2' above highest adjacent natural grade
- 6 Install 12" deck drain
- 7 Install 12"x12" catch basin with 4" PVC
- 8 Install rip-rap pad for erosion control (24"x24" splash pad w/ native rock rip-rap, d50=6" min, flush with finished grade, 12" min. depth)
- 9 Boulder wall
- 10 Install sewer ejector pump

LEGEND

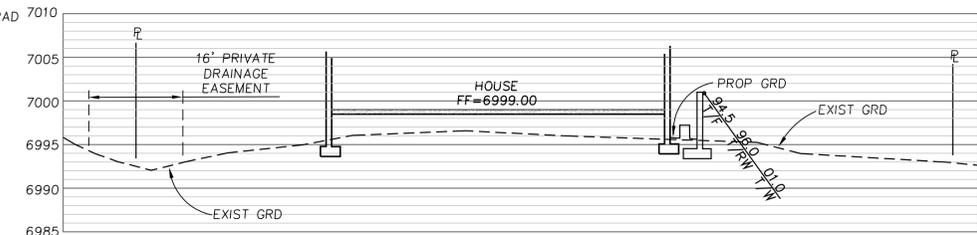
- SUBJECT BOUNDARY LINE
- ADJACENT BOUNDARY LINE
- BUILDING SETBACK LINE
- EASEMENT LINE
- FLOWLINE
- ASPHALT SURFACE
- CONCRETE SURFACE
- 1' CONTOUR LINE
- PINE TREE
- JUNIPER TREE
- FOUND 1/2" REBAR WITH ALUMINUM CAP "LS 18297"
- FOUND MAG NAIL WITH TAG "LS 18297"
- FOUND ALUMINUM CAP "LS 40321"
- FOUND NAIL WITH WHISKER AND LATH "BLD ENV"
- TELEPHONE RISER
- WATER VALVE
- GAS RISER
- PVC RISER

PROJECT DATA

TAX ASSESSOR'S NUMBER 105-10-448
 LEGAL DESCRIPTION LOT 321 OF ESTATES AT PINE CANYON UNIT 5
 SEC/TWN/RNG S34 T21N R07E
 ZONING CODE SFR (SINGLE FAMILY RESIDENTIAL)
 OWNER AJDS INVESTMENTS LLC
 20909 NORTH 90TH PLACE
 NO. 202
 SCOTTSDALE, AZ 85255
 SITE ADDRESS 3883 SOUTH CLUBHOUSE CIRCLE
 FLAGSTAFF, AZ 86005
 LOT AREA 30,821 SF (0.71 ACRES)



SECTION A-A
 SCALE: V: 1"=10'
 H: 1"=20'



SECTION B-B
 SCALE: V: 1"=10'
 H: 1"=20'



VICINITY MAP
 NTS

ASCG SUMMIT CIVIL GROUP
 8707 EAST VISTA BONITA DRIVE STE 145
 SCOTTSDALE, ARIZONA 85255 • (602) 725-0372

REVISIONS 4/18/21 PS
 CITY COMMENTS

GRADING PLAN
LOT 321 PINE CANYON UNIT 5
3883 SOUTH CLUBHOUSE CIRCLE
FLAGSTAFF, ARIZONA

Professional Engineer Seal for Frank Boxberger, License No. 20887, State of Arizona.

SHEET 1 OF 1
 DATE DEC 2020

BD IN
 DESIGNED BY: FRANK BOXBERGER
 DRAWN BY: [Name]
 JOB NUMBER: 321PC

ARCHITECTURAL SITE PLAN GENERAL NOTES:

- A. EXACT LOCATION OF EXISTING VEGETATION AND SITE TOPOGRAPHY/CONTOUR LOCATIONS ARE TO BE VERIFIED PRIOR TO COMMENCING CONSTRUCTION. SEE CIVIL PLANS FOR ADDITIONAL GRADING, SITE DISTURBANCE AND SITE VERTICAL CONTROL INFORMATION.
- B. SEE LANDSCAPE PLAN FOR ADDITIONAL PLANTING AND REVEGETATION INFORMATION. INSTALL SLEEVES AS REQUIRED BY IRRIGATION PLANS AND SITE LIGHTING PLANS. PLANS ARE TO COMPLY WITH CITY'S NATIVE PLANT ORDINANCE.
- C. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED A MINIMUM OF 12" HIGHER THAN THE HIGHEST PORTION OF EQUIPMENT. CONTRACTOR TO CONFIRM ALL MECHANICAL CLEARANCES PRIOR TO CONSTRUCTION SCREEN ENCLOSURES.
- D. ALL DIMENSIONS ARE TO FACE OF CMU AND TOP OF WALL (T.O.W.). HEIGHT REFERENCES ARE TO TOP OF CMU, EXCEPT WHEN CMU WALLS HAVE STONE VENEER, THEN HEIGHT IS TO TOP OF STONE.
- E. ALL PLANTER DRAIN OUTLETS APPROXIMATELY 8" ABOVE FINISHED GRADE.
- F. ALL TOP OF WALL, TOP OF FENCE, TOP OF RAILING ELEVATIONS SHOWN ON CIVIL PLANS.
- G. REFER TO CIVIL, LANDSCAPE, MECHANICAL & PLUMBING FOR OTHER UNDERGROUND INFO/REQUIREMENTS.
- H. CONTRACTOR TO VERIFY ALL FIRE SPRINKLER STAND PIPE LOCATIONS WITH FIRE SPRINKLER INSTALLER.
- I. CONTRACTOR TO REVIEW AND CONFIRM ALL UNDERGROUND UTILITY REQUIREMENTS.

ARCHITECTURAL SITE PLAN KEY NOTES:

1. CONCRETE PAVERS & BORDERS - SAND SET, REFER TO MATERIAL PALETTE FOR COLOR/FINISH
2. CMU SITE WALL, NATURAL STONE VENEER ON BOTH SIDES WHERE EXPOSED ABOVE GRADE OR STAIRS
3. CONDENSING UNITS-SCREENED WITH A WALL 12" (MIN.) HIGHER THAN THE TOP OF THE MECHANICAL EQUIPMENT. MAX HEIGHT OF WALL SHALL BE 6'
4. SWING GATES FOR UTILITY YARD
5. GUEST PARKING
6. TRANSFORMER LOCATION
7. GAS METER
8. GOLF UTILITARIAN EASEMENT
9. FIRE TABLE
10. PROPERTY LINE
11. BUILDING SETBACK
12. TRASH ENCLOSURE
13. WATER METER - SEE CIVIL DRAWINGS FOR ALT LOCATIONS
14. SERVICE ENTRANCE SECTION
15. SEWER SERVICE - SEE CIVIL DRAWINGS
16. GAS SERVICE AND LINE - CONFIRM LOCATION IN FIELD
17. SUBMERSED SEWER / EJECTOR PUMP - CONFIRM WITH PLUMBING CONTRACTOR
 - A. GRINDER PUMP MALFUNCTION ALARM (MUST BE VISIBLE FROM STREET PER HOA GUIDELINES)
18. NOT USED
19. PLANTING AREA - PROVIDE IRRIGATION & DRAINAGE
20. DECK DRAIN - PROVIDE DECORATIVE COVER - SEE CIVIL DRAWINGS
21. BBQ LOCATION
22. GOLF CART PATH
23. STEPPING SITE WALLS, REFER TO HARDSCAPE PLAN AND ELEVATIONS
24. ILLUMINATED BUILDING NUMBER - PER HOA REQUIREMENT. LOCATE WITHIN 6' OF SHARED DRIVE. SUBJECT TO HOA REVIEW
25. STONE CLAD STAIRS OVER CONCRETE (STAIRS SHALL HAVE SOLID RISERS)
26. WOOD DECKING
27. SWIFF (SURFACE WATER INTAKE PROTECTION PROGRAM). STRAW WATTLERS PER CITY OF FLAGSTAFF. SEE CIVIL
28. EXISTING TREE TO BE REMOVED - (DASHED CIRCLE)
29. EXISTING TREE TO REMAIN
30. TREE NUMBER (TYPICAL) - REFER TO SURVEY
31. LIMITS OF DISTURBANCE = 10,787 SF (38% of 30,821 FT²)
32. REQUEST FOR VARIANCE OF TERRACE HIGHER THAN 84" ABOVE FINISHED GRADE

TREE TABLE

#	Photo/Trunkper DBH
93	P16
94	P16
132	P12
133	P12
134	P12
135	P12
136	P12
137	P16
138	P18
139	P20
140	P10
141	P20
142	P18
143	P18
144	P16
145	P16
146	P18
147	P16
148	P14
149	P14
150	P14
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153	P14
154	P14
155	P14
156	P14
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200	P14
201	P14
202	P14
203	P14
204	P14
205	P14
206	P14
207	P14
208	P14
209	P14



1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'



LOT 321
3883 S CLUBHOUSE CIR FLAGSTAFF ARIZONA 86001 USA

ARCHITECTURAL SITE PLAN

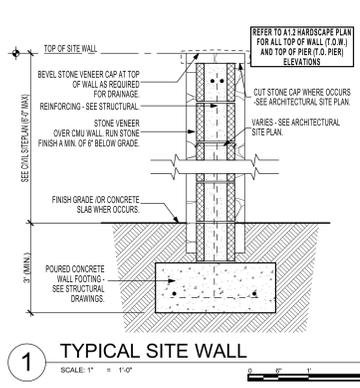
PERMIT SET

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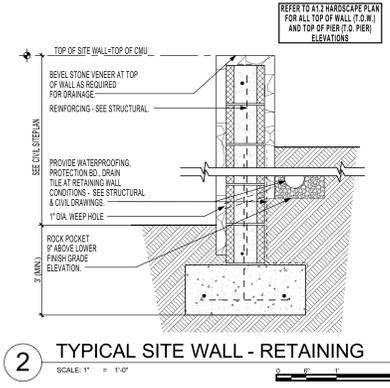
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OUT	06/20/21
PLG	06/20/21
2014	

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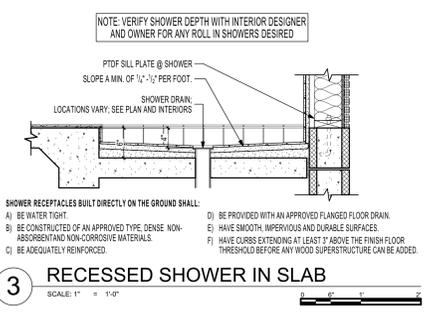
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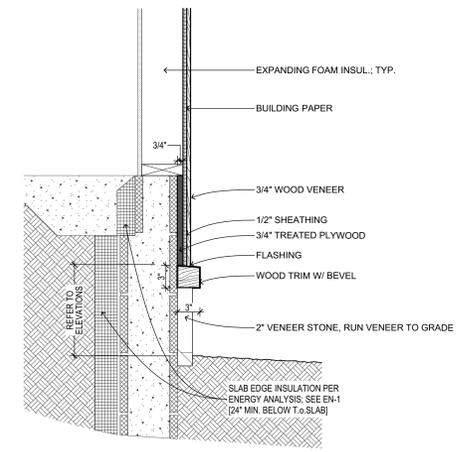
1 TYPICAL SITE WALL
 SCALE: 1" = 1'-0"



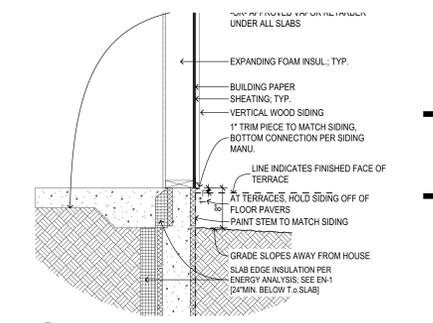
2 TYPICAL SITE WALL - RETAINING
 SCALE: 1" = 1'-0"



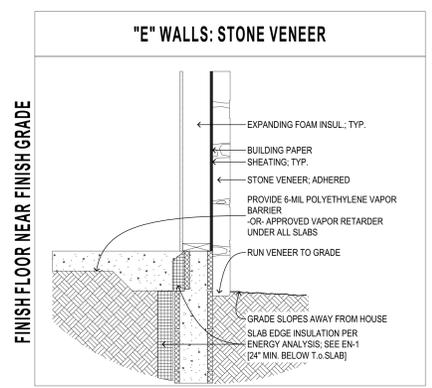
3 RECESSED SHOWER IN SLAB
 SCALE: 1" = 1'-0"



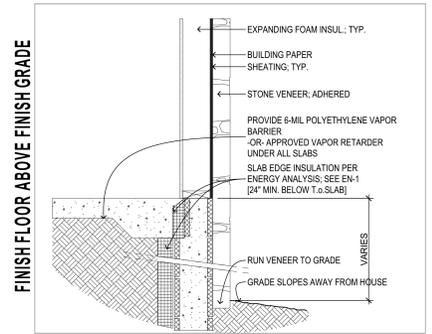
4 TYPICAL WOOD/STONE VENEER TRANSITION AT STEM WALL
 SCALE: 1 1/2\"/>



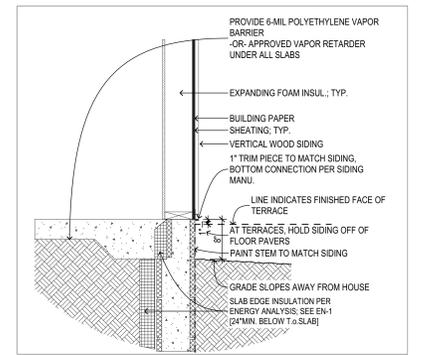
5 WOOD SIDING AT STEM WALL
 SCALE: 1" = 1'-0"



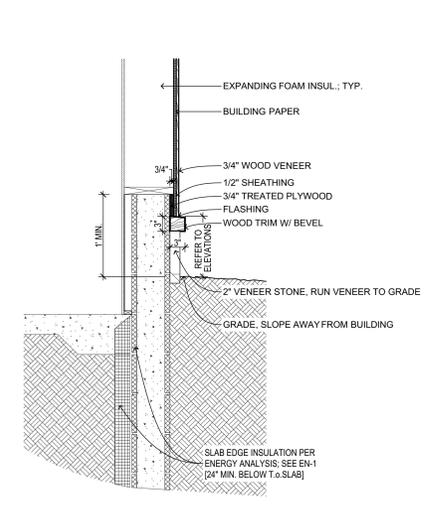
E1 FDN E1 STONE VENEER AT F.G.
 SCALE: 1" = 1'-0"



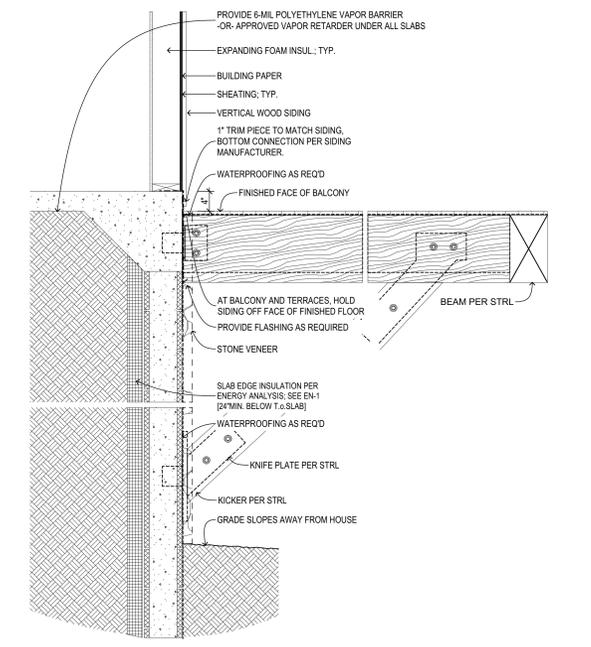
E2 FDN E2 STONE VENEER ABOVE F.G.
 SCALE: 1" = 1'-0"



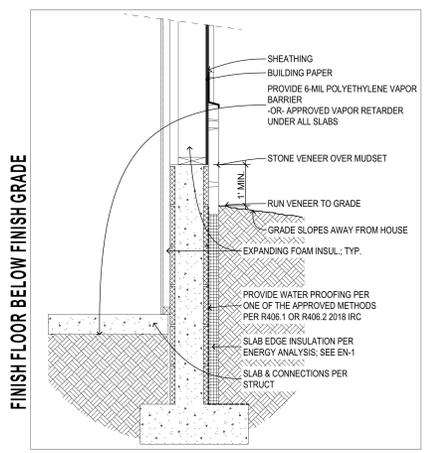
H1 FDN WOOD SIDING AT STEM WALL
 SCALE: 1" = 1'-0"



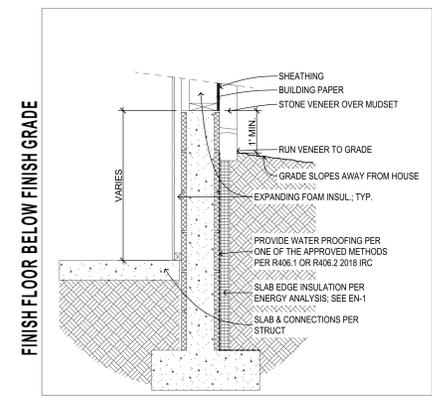
6 STEM WALL AT GARAGE
 SCALE: 1" = 1'-0"



7 STEM WALL AT BALCONIES
 SCALE: 1" = 1'-0"



E3 FDN E3 STONE VENEER BELOW F.G.
 SCALE: 1" = 1'-0"



H2 FDN STEM WALL AT GARAGE
 SCALE: 1" = 1'-0"

FOUNDATION DETAILS - REFER TO SHEET A1.3 FOR LOCATION

LOT 321
 3883 S CLUBHOUSE CIR FLAGSTAFF ARIZONA 86001 USA
 ARCHITECTURAL SITE PLAN DETAILS

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A1.1

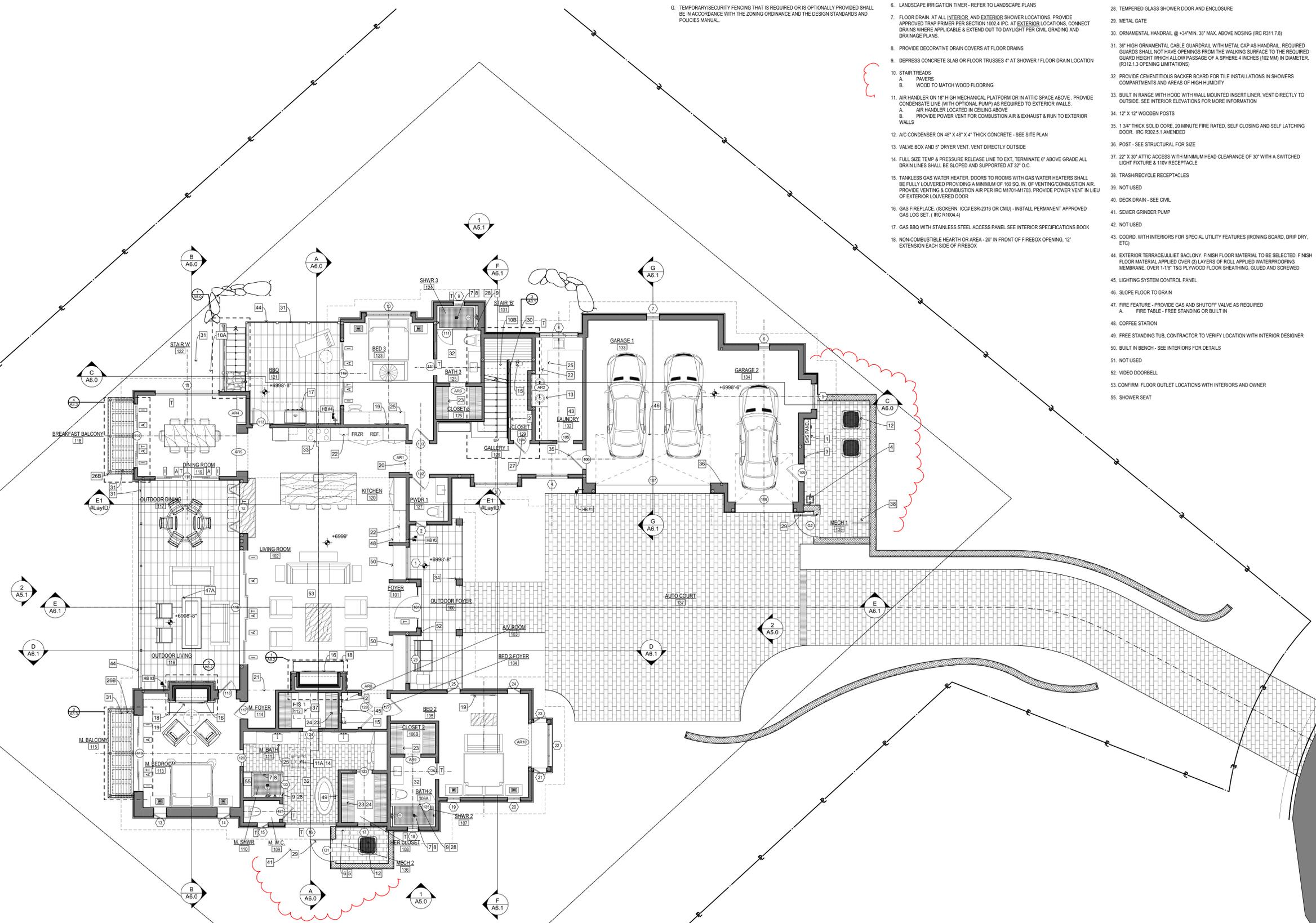
HOSE BIBB LEGEND				
SYMBOL	ID	TYPE	LOCATION	NOTES
	HB #1	HOSE BIBB	137 AUTO COURT	18" RECESS INTO MILLWORK FOR SHUTOFF
	HB #2	HOSE BIBB	100 OUTDOOR FOYER	18" RECESS INTO MILLWORK FOR SHUTOFF
	HB #3	HOSE BIBB	116 OUTDOOR LIVING	18" RECESS INTO MILLWORK FOR SHUTOFF
	HB #4	HOSE BIBB	121 BBQ	18" RECESS INTO MILLWORK FOR SHUTOFF

NOTED FLOOR PLAN GENERAL NOTES:

- A. CONTRACTOR TO COORDINATE THE LOCATIONS OF AV, TELEPHONE, AND SECURITY EQUIPMENT WITH THE OWNER PRIOR TO INSTALLATION.
- B. THE CONTRACTOR SHALL COORDINATE & VERIFY THE SIZE, LOCATIONS & QUANTITY OF ELECTRICAL & IRRIGATION SLEEVES WITH THE ELECTRICAL AND LANDSCAPE CONTRACTORS.
- C. THE CONTRACTOR SHALL VERIFY ALL COUNTER HEIGHTS WITH THE OWNER PRIOR TO FABRICATION. LOCATE TOILET & KITCHEN PER INTERIOR DESIGNER SPECIFICATIONS.
- D. R100B EXTERIOR AIR SUPPLY INTERIOR FIREPLACES SHALL BE EQUIPPED WITH AN EXTERIOR AIR SUPPLY TO ASSURE PROPER FUEL COMBUSTION. COMBUSTION AIR DUCTS AND AIR INTAKE SHALL NOT BE LOCATED AT AN ELEVATION HIGHER THAN THE FIREBOX.
- E. REFER TO INTERIORS FOR FLOOR COVERINGS
- F. ALL MECHANICAL EQUIPMENT (AIR CONDITIONER, POOL EQUIPMENT ETC.) SHALL BE SCREENED ON ALL SIDES BY A WALL THAT HAS A HEIGHT THAT IS A MINIMUM OF 1-FOOT ABOVE THE HIGHEST PORTION OF EQUIPMENT. THE WALL MATERIAL AND FINISH SHALL BE COMPATIBLE WITH THE ADJACENT BUILDING.
- G. TEMPORARY/SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL.

NOTED FLOOR PLAN KEY NOTES:

- 1. ELECTRIC SERVICE LOCATION
- 2. ELECTRIC SUB PANEL LOCATION
- 3. WATER SERVICE ENTRANCE
- 4. GAS METER LOCATION
- 5. LANDSCAPE LIGHTING TRANSFORMER - REFER TO LANDSCAPE PLANS.
- 6. LANDSCAPE IRRIGATION TIMER - REFER TO LANDSCAPE PLANS
- 7. FLOOR DRAIN AT ALL INTERIOR AND EXTERIOR SHOWER LOCATIONS. PROVIDE APPROVED TRAP PRIMER PER SECTION 1002.4 I.P.C. AT EXTERIOR LOCATIONS. CONNECT DRAINS WHERE APPLICABLE & EXTEND OUT TO DAYLIGHT PER CIVIL GRADING AND DRAINAGE PLANS.
- 8. PROVIDE DECORATIVE DRAIN COVERS AT FLOOR DRAINS
- 9. DEPRESS CONCRETE SLAB OR FLOOR TRUSSES 4" AT SHOWER / FLOOR DRAIN LOCATION
- 10. STAIR TREADS
 - A. PAVERS
 - B. WOOD TO MATCH WOOD FLOORING
- 11. AIR HANDLER ON 18" HIGH MECHANICAL PLATFORM OR IN ATTIC SPACE ABOVE. PROVIDE CONDENSATE LINE (WITH OPTIONAL PUMP) AS REQUIRED TO EXTERIOR WALLS.
 - A. AIR HANDLER LOCATED IN CEILING ABOVE
 - B. PROVIDE POWER VENT FOR COMBUSTION AIR & EXHAUST & RUN TO EXTERIOR WALLS
- 12. A/C CONDENSER ON 48" X 48" X 4" THICK CONCRETE - SEE SITE PLAN
- 13. VALVE BOX AND 5" DRYER VENT. VENT DIRECTLY OUTSIDE
- 14. FULL SIZE TEMP & PRESSURE RELEASE LINE TO EXT. TERMINATE 6" ABOVE GRADE ALL DRAIN LINES SHALL BE SLOPED AND SUPPORTED AT 32" O.C.
- 15. TANKLESS GAS WATER HEATER. DOORS TO ROOMS WITH GAS WATER HEATERS SHALL BE FULLY LOUVERED PROVIDING A MINIMUM OF 160 SQ. IN. OF VENTING/COMBUSTION AIR. PROVIDE VENTING & COMBUSTION AIR PER IRC M1701-M1703. PROVIDE POWER VENT IN LIEU OF EXTERIOR LOUVERED DOOR
- 16. GAS FIREPLACE. (ISOKERN: ICCH ESR-2316 OR CMU) - INSTALL PERMANENT APPROVED GAS LOG SET. (IRC R1004.4)
- 17. GAS BBQ WITH STAINLESS STEEL ACCESS PANEL SEE INTERIOR SPECIFICATIONS BOOK
- 18. NON-COMBUSTIBLE HEARTH OR AREA - 20" IN FRONT OF FIREBOX OPENING. 12" EXTENSION EACH SIDE OF FIREBOX
- 19. RECESS FOR FLAT PANEL T.V. MOUNT - CONFIRM WITH AV CONTRACTOR AND INTERIORS
- 20. LINE OF OPENING ABOVE - SEE REFLECTED CEILING PLAN
- 21. LINE OF SOFFIT ABOVE - SEE REFLECTED CEILING PLAN
- 22. LINE OF UPPER CABINETS
- 23. CLOSET SHELF & ROD - COORDINATE LAYOUT WITH THE OWNER & INTERIOR DESIGNER
- 24. CLOSET MILLWORK - COORDINATE LAYOUT WITH THE OWNER & INTERIOR DESIGNER
- 25. BUILT IN CABINETS AS SELECTED BY OWNER / INTERIOR DESIGNER
- 26. JULIET BALCONY
 - A. REFER TO 314.3 AND STRUCTURAL DETAILS
 - B. REFER TO 71A.1 AND STRUCTURAL DETAILS
- 27. MUD ROOM CABINETS, LOCKERS, BENCH - COORDINATE WITH INTERIOR DESIGNER
- 28. TEMPERED GLASS SHOWER DOOR AND ENCLOSURE
- 29. METAL GATE
- 30. ORNAMENTAL HANDRAIL @ +34" MIN. 3" MAX. ABOVE NOSING (IRC R311.7.8)
- 31. 36" HIGH ORNAMENTAL CABLE GUARDRAIL WITH METAL CAP AS HANDRAIL. REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES (102 MM) IN DIAMETER. (R312.1.3 OPENING LIMITATIONS)
- 32. PROVIDE CEMENTITIOUS BACKER BOARD FOR TILE INSTALLATIONS IN SHOWERS COMPARTMENTS AND AREAS OF HIGH HUMIDITY
- 33. BUILT IN RANGE WITH HOOD WITH WALL MOUNTED INSERT LINER. VENT DIRECTLY TO OUTSIDE. SEE INTERIOR ELEVATIONS FOR MORE INFORMATION
- 34. 12" X 12" WOODEN POSTS
- 35. 1 3/4" THICK SOLID CORE. 20 MINUTE FIRE RATED, SELF CLOSING AND SELF LATCHING DOOR. IRC R302.5.1 AMENDED
- 36. POST - SEE STRUCTURAL FOR SIZE
- 37. 22" X 30" ATTIC ACCESS WITH MINIMUM HEAD CLEARANCE OF 30" WITH A SWITCHED LIGHT FIXTURE & 110V RECEPTACLE
- 38. TRASH/RECYCLE RECEPTACLES
- 39. NOT USED
- 40. DECK DRAIN - SEE CIVIL
- 41. SEWER GRINDER PUMP
- 42. NOT USED
- 43. COORD. WITH INTERIORS FOR SPECIAL UTILITY FEATURES (IRONING BOARD, DRIP DRY, ETC)
- 44. EXTERIOR TERRACE/JULIET BALCONY. FINISH FLOOR MATERIAL TO BE SELECTED. FINISH FLOOR MATERIAL APPLIED OVER (3) LAYERS OF ROLL APPLIED WATERPROOFING MEMBRANE. OVER 1-1/8" 1/4" PLYWOOD FLOOR VENTING. GULF AND SCREWED
- 45. LIGHTING SYSTEM CONTROL PANEL
- 46. SLOPE FLOOR TO DRAIN
- 47. FIRE FEATURE - PROVIDE GAS AND SHUTOFF VALVE AS REQUIRED
 - A. FIRE TABLE - FREE STANDING OR BUILT IN
- 48. COFFEE STATION
- 49. FREE STANDING TUB. CONTRACTOR TO VERIFY LOCATION WITH INTERIOR DESIGNER
- 50. BUILT IN BENCH - SEE INTERIORS FOR DETAILS
- 51. NOT USED
- 52. VIDEO DOORBELL
- 53. CONFIRM FLOOR OUTLET LOCATIONS WITH INTERIORS AND OWNER
- 55. SHOWER SEAT



1 MAIN LEVEL FLOOR PLAN
SCALE: 3/16" = 1'-0"



LOT 321
3883 S CLUBHOUSE CIR FLAGSTAFF ARIZONA 86001 USA

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JOB NO.	2016

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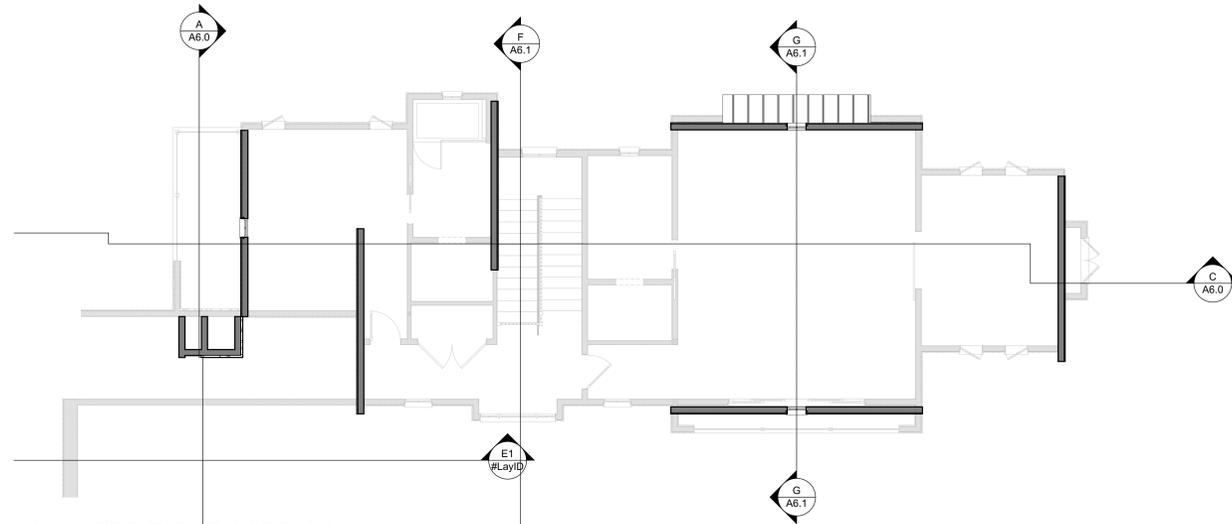
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NOTED FLOOR PLAN GENERAL NOTES:

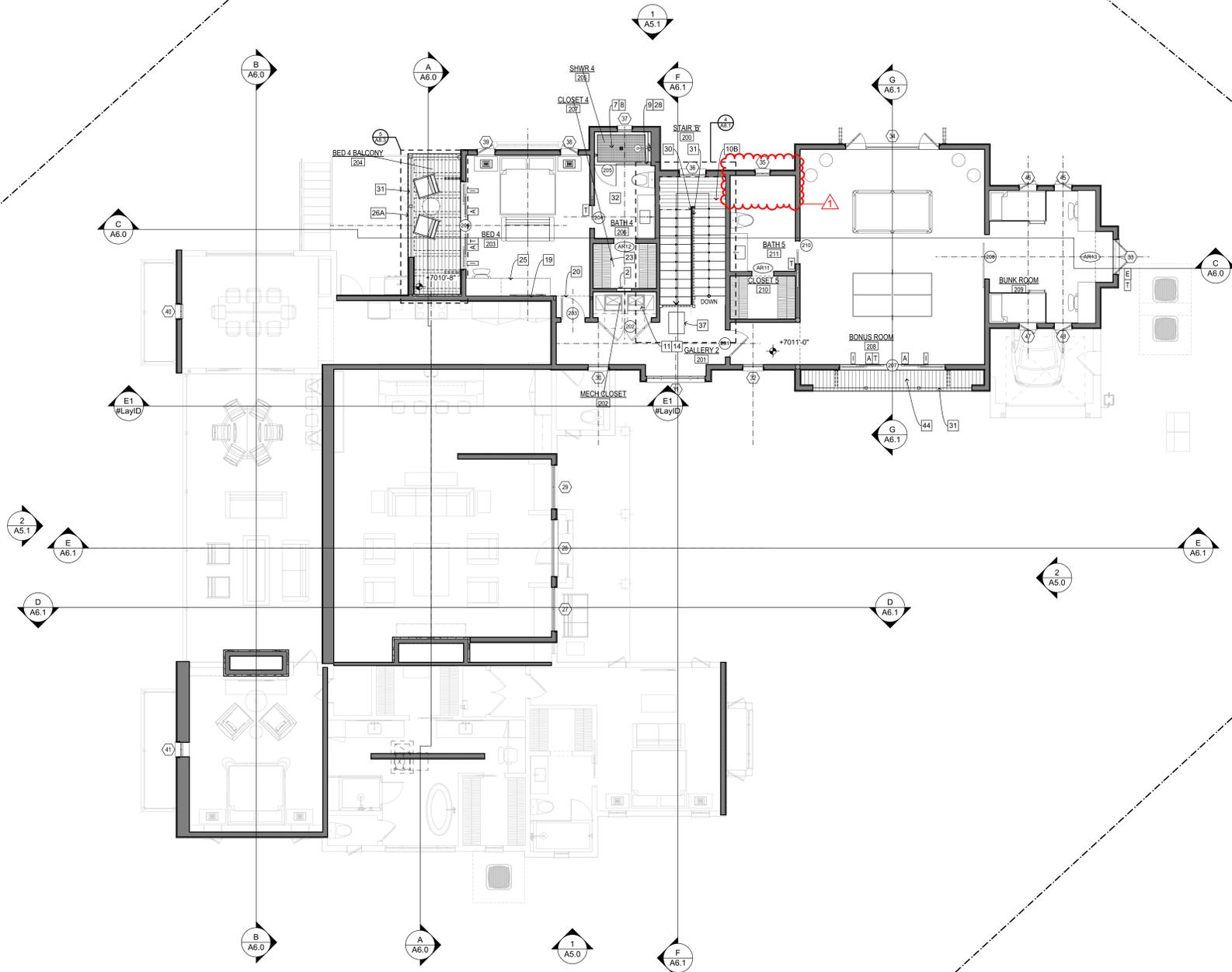
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 - C. THE CONTRACTOR SHALL VERIFY ALL COUNTER HEIGHTS WITH THE OWNER PRIOR TO FABRICATION. LOCATE TOILET & KITCHEN PER INTERIOR DESIGNER SPECIFICATIONS.
 - D. R1006 EXTERIOR AIR SUPPLY INTERIOR FIREPLACES SHALL BE EQUIPPED WITH AN EXTERIOR AIR SUPPLY TO ASSURE PROPER FUEL COMBUSTION, COMBUSTION AIR DUCTS AND AIR INTAKE SHALL NOT BE LOCATED AT AN ELEVATION HIGHER THAN THE FIREBOX.
 - E. REFER TO INTERIORS FOR FLOOR COVERINGS
 - F. ALL MECHANICAL EQUIPMENT (AIR CONDITIONER, POOL EQUIPMENT ETC.) SHALL BE SCREENED ON ALL SIDES BY A WALL THAT HAS A HEIGHT THAT IS A MINIMUM OF 1-FOOT ABOVE THE HIGHEST PORTION OF EQUIPMENT. THE WALL MATERIAL AND FINISH SHALL BE COMPATIBLE WITH THE ADJACENT BUILDING.
 - G. TEMPORARY SECURITY FENCING THAT IS REQUIRED OR IS OPTIONALLY PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL.
- T TEMPERED GLASS
 - E CASEMENT WINDOW SHALL BE DESIGNED AS AN EGRESS WINDOW MEETING THE REQUIREMENT AS SPECIFIED IN THE INTERNATIONAL RESIDENTIAL CODE (IRC) SEC. R310.1
 - A ACTIVE DOOR LEAF
 - I INACTIVE DOOR LEAF

NOTED FLOOR PLAN KEY NOTES:

1. ELECTRIC SERVICE LOCATION
2. ELECTRIC SUB PANEL LOCATION
3. WATER SERVICE ENTRANCE
4. GAS METER LOCATION
5. LANDSCAPE LIGHTING TRANSFORMER - REFER TO LANDSCAPE PLANS.
6. LANDSCAPE IRRIGATION TIMER - REFER TO LANDSCAPE PLANS
7. FLOOR DRAIN, AT ALL INTERIOR, AND EXTERIOR SHOWER LOCATIONS. PROVIDE APPROVED TRAP PRIMER PER SECTION 1002.4 IPC. AT EXTERIOR LOCATIONS, CONNECT DRAINS WHERE APPLICABLE & EXTEND OUT TO DAYLIGHT PER CIVIL GRADING AND DRAINAGE PLANS.
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16. GAS FIREPLACE (ISOKERN, ICC# ESR-2316 OR CMU) - INSTALL PERMANENT APPROVED GAS LOG SET. (IRC R1004.4)
17. GAS BBQ WITH STAINLESS STEEL ACCESS PANEL SEE INTERIOR SPECIFICATIONS BOOK
18. NON-COMBUSTIBLE HEARTH OR AREA - 20" IN FRONT OF FIREBOX OPENING, 12" EXTENSION EACH SIDE OF FIREBOX
19. RECESS FOR FLAT PANEL T.V. MOUNT - CONFIRM WITH AV CONTRACTOR AND INTERIORS
20. LINE OF OPENING ABOVE - SEE REFLECTED CEILING PLAN
21. LINE OF SOFFIT ABOVE - SEE REFLECTED CEILING PLAN
22. LINE OF UPPER CABINETS
23. CLOSET SHELF & ROD - COORDINATE LAYOUT WITH THE OWNER & INTERIOR DESIGNER
24. CLOSET MILLWORK - COORDINATE LAYOUT WITH THE OWNER & INTERIOR DESIGNER
25. BUILT IN CABINETS AS SELECTED BY OWNER / INTERIOR DESIGNER
26. JULIET BALCONY
 - A. REFER TO S148.3 AND STRUCTURAL DETAILS
 - B. REFER TO T14.1 AND STRUCTURAL DETAILS
27. MUD ROOM CABINETS, LOCKERS, BENCH - COORDINATE WITH INTERIOR DESIGNER
28. TEMPERED GLASS SHOWER DOOR AND ENCLOSURE
29. METAL GATE
30. ORNAMENTAL HANDRAIL @ +34" MIN. 38" MAX. ABOVE NOSING (IRC R311.7.8)
31. 36" HIGH ORNAMENTAL CABLE GUARDRAIL WITH METAL CAP AS HANDRAIL. REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES (102 MM) IN DIAMETER. (R312.1.3 OPENING LIMITATIONS)
32. PROVIDE CEMENTITIOUS BACKER BOARD FOR TILE INSTALLATIONS IN SHOWERS COMPARTMENTS AND AREAS OF HIGH HUMIDITY
33. BUILT IN RANGE WITH HOOD WITH WALL MOUNTED INSERT LINER. VENT DIRECTLY TO OUTSIDE. SEE INTERIOR ELEVATIONS FOR MORE INFORMATION
34. 12" X 12" WOODEN POSTS
35. 1 3/4" THICK SOLID CORE, 20 MINUTE FIRE RATED, SELF CLOSING AND SELF LATCHING DOOR. IRC R302.5.1 AMENDED
36. POST - SEE STRUCTURAL FOR SIZE
37. 22" X 30" ATTIC ACCESS WITH MINIMUM HEAD CLEARANCE OF 30" WITH A SWITCHED LIGHT FIXTURE & 110V RECEPTACLE
38. TRASH/RECYCLE RECEPTACLES
39. NOT USED
40. DECK DRAIN - SEE CIVIL
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43. COORD. WITH INTERIORS FOR SPECIAL UTILITY FEATURES (IRONING BOARD, DRIP DRY, ETC)
44. EXTERIOR TERRACE/JULIET BALCONY. FINISH FLOOR MATERIAL TO BE SELECTED. FINISH FLOOR MATERIAL APPLIED OVER (3) LAYERS OF ROLL APPLIED WATERPROOFING MEMBRANE OVER 1-1/2" T&G PLYWOOD FLOOR SHEATHING, GLUED AND SCREWED
45. LIGHTING SYSTEM CONTROL PANEL
46. SLOPE FLOOR TO DRAIN
47. FIRE FEATURE - PROVIDE GAS AND SHUTOFF VALVE AS REQUIRED
 - A. FIRE TABLE - FREE STANDING OR BUILT IN
48. COFFEE STATION
49. FREE STANDING TUB. CONTRACTOR TO VERIFY LOCATION WITH INTERIOR DESIGNER
50. BUILT IN BENCH - SEE INTERIORS FOR DETAILS
51. NOT USED
52. VIDEO DOORBELL
53. CONFIRM FLOOR OUTLET LOCATIONS WITH INTERIORS AND OWNER
55. SHOWER SEAT



2 CLERESTORY FLOOR PLAN
SCALE: 3/16" = 1'-0"



1 UPPER LEVEL
SCALE: 3/16" = 1'-0"



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UPPER LEVEL AND CLERESTORY FLOOR PLANS

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JOB NO.	2014

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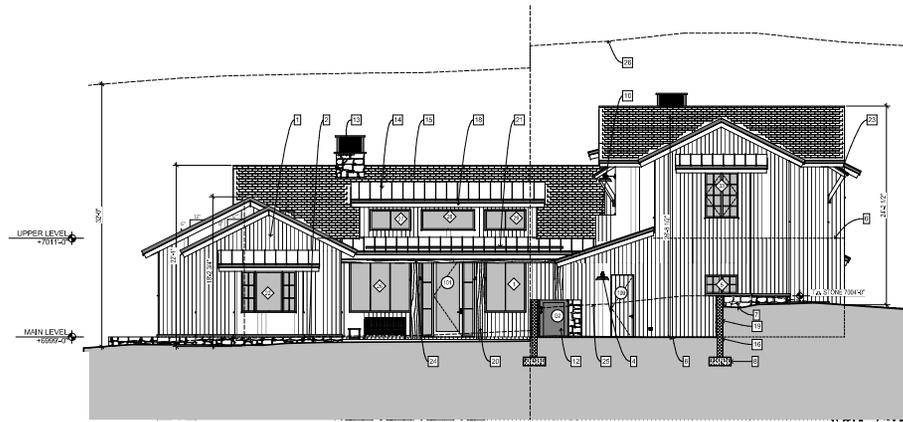
1	CITY OF FLAGSTAFF COMMENTS 6/8/21

EXTERIOR ELEVATIONS GENERAL NOTES:

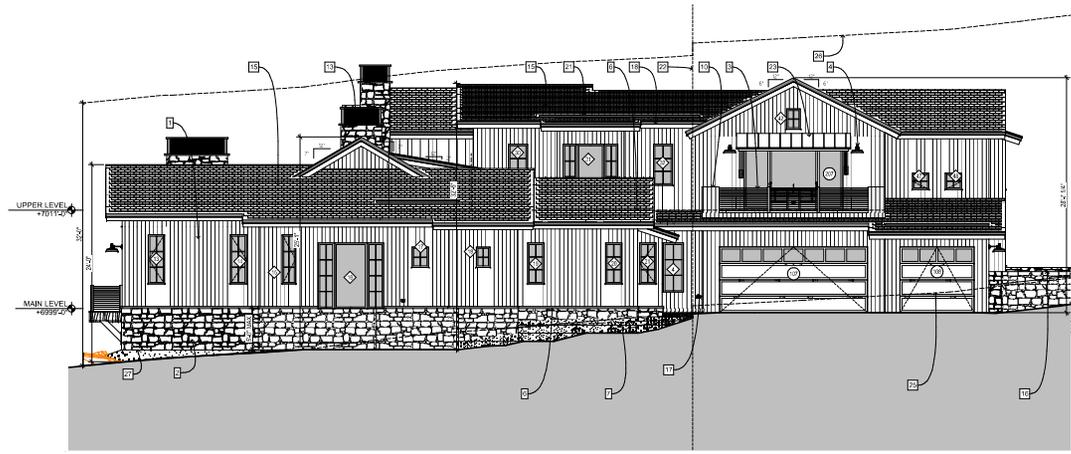
- A. REFER TO BUILDING SECTIONS FOR MAXIMUM HEIGHT ABOVE NATURAL TERRAIN.
- B. REFER TO DIMENSIONED FLOOR PLANS FOR ALL WALL TYPES.
- C. WHERE A STUD WALL IS IN THE SAME PLACE AS A MASONRY WALL, THE EXTERIOR FINISH IS TO ALUMINUM.
- D. REFER TO COLOR AND MATERIAL PALETTE FOR PRODUCT MANUFACTURER, COLOR, MATERIAL, & FINISH SELECTION FOR ALL EXTERIOR FINISHES AND PRODUCTS.
- E. INSULATION SHALL BE INSTALLED TIGHT TO ROOF SHEATHING.

EXTERIOR ELEVATIONS KEY NOTES:

- 1. NATURAL WOOD SIDING, REFER TO MATERIAL PALETTE FOR COLOR/FINISH
- 2. NATURAL STONE VENEER, REFER TO MATERIAL PALETTE FOR COLOR/FINISH
- 3. CABLE OR FROD RAILING, RAILING SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE RAILING GUARD, REFER TO MINIMUM PASSAGE OF A SPHERE 4 INCHES (102 MM) IN DIAMETER, (3150.13 OPENING LIMITATIONS)
- 4. LIGHT FIXTURE - PER SPECIFICATIONS
- 5. LANDSCAPE PLANTING/PLANTER
- 6. LINE OF FINISH FLOOR
- 7. LINE OF PROPOSED FINISH GRADE
- 8. LINE OF FOOTING, REFER TO STRUCTURAL DRAWINGS
- 9. BUILDING BEYOND
- 10. Juliet BALCONY
- 11. CHECKET TO DRINK
- 12. GATE
- 13. CHIMNEY WITH CHIMNEY CAP, SEE DETAILS ON A43
- 14. EXTERIOR STATED METAL ROOFING, 28ga. 1/2" PANEL WIDTH - REFER TO MATERIAL PALETTE FOR COLOR/FINISH
- 15. ASPHALT SHINGLE ROOFING, REFER TO MATERIAL PALETTE FOR COLOR/FINISH
- 16. MECHANICAL SCREEN WALL - MIN. 12" ABOVE EQUIPMENT
- 17. RECESSED HOSE REEL WITH BRASS COVER, REFER TO HOSE REEL SCHEDULE
- 18. WOOD HASKEL, SEE HOOD DETAILS ON A42, REFER TO MATERIAL PALETTE FOR COLOR/FINISH
- 19. MASONRY RETAINING WALL, SEE STRUCTURAL DRAWINGS
- 20. WOODEN POSTS, REFER TO STRUCTURAL
- 21. SNOW STOPS
- 22. ELEVATION JOG LINE
- 23. ANCHOR WITH WOOD BRACKETS AND STANDING BEAM METAL ROOF, SEE DETAIL: S4A3
- 24. WOOD BEAM REFER TO RCP AND/OR STRUCTURAL DRAWINGS FOR SIZE
- 25. LINE OF EXISTING GRADE
- 26. 12" OFFSET, BE MEASURED FROM NATURAL GRADE TO TOP OF ROOF
- 27. MAX. 0' OF EXPOSED STEM WALL AND BOLLARDS, GRADE AND PLANTINGS TO MINIMUM MAXIMUM EXPOSED STEM WALL AS ALLOWED BY THE CITY OF FLAGSTAFF



2 NORTH ELEVATION
 SCALE 3/16" = 1'-0"



1 EAST ELEVATION
 SCALE 3/16" = 1'-0"

HATCH LEGEND FOR ELEVATIONS:

- METAL PAINTED BLACK
- NATURAL WOOD SIDING
- NATURAL STONE VENEER
- WOOD
- STANDING BEAM ROOF
- GLASS
- ASPHALT SHINGLES

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ELEVATIONS

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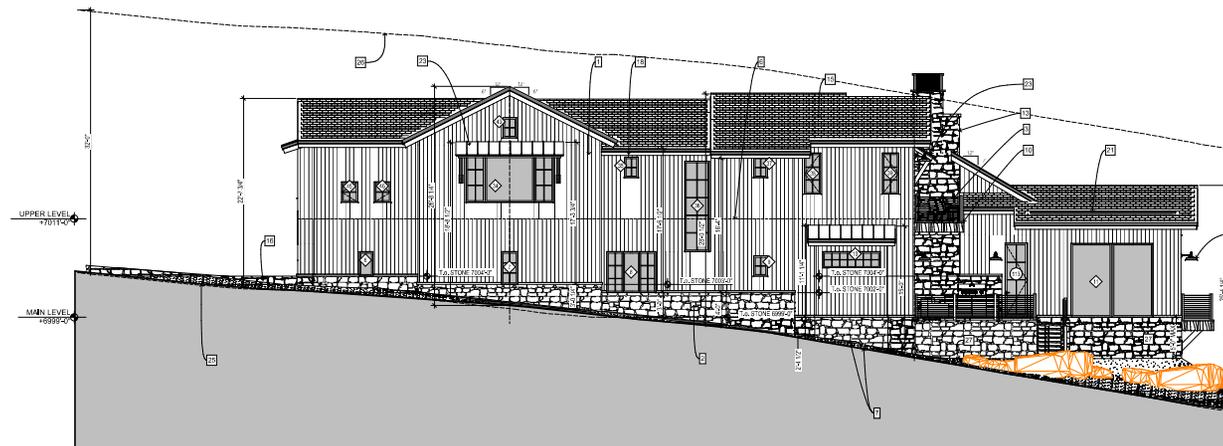
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DRAWN BY: [Name] DT
 CHECKED BY: [Name] RG
 DATE: [Date] 08/08/2020
 JOB NO.: [Job No.] 201

REVISIONS:
 CHANGES PER HCA 18/03/2020

FIELD SET

A5.0



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS GENERAL NOTES:

- A. REFER TO BUILDING SECTIONS FOR MAXIMUM HEIGHT ABOVE NATURAL TERMINI.
- B. REFER TO DIMENSIONED FLOOR PLANS FOR ALL WALL TYPES.
- C. WHERE A STUD WALL IS IN THE SAME PLACE AS A MASONRY WALL, THE EXTERIOR FINISH IS TO ALUMINUM.
- D. REFER TO COLOR AND MATERIAL PALETTE FOR PRODUCT MANUFACTURER, COLOR, MATERIAL, & FINISH SELECTION FOR ALL EXTERIOR FINISHES AND PRODUCTS.
- E. INSULATION SHALL BE INSTALLED TIGHT TO ROOF SHEATHING.

EXTERIOR ELEVATIONS KEY NOTES:

- 1. NATURAL WOOD SIDING, REFER TO MATERIAL PALETTE FOR COLOR/FINISH
- 2. NATURAL STONE VENEER, REFER TO MATERIAL PALETTE FOR COLOR/FINISH
- 3. CABLE OR FIBER OPTIC, FIBERS SHALL NOT HAVE OPENINGS FROM THE WALLING SURFACE TO THE REQUIRED GUARD RAIL, WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES (102 MM) IN DIAMETER, (915G.1.3 OPENING LIMITATIONS)
- 4. LIGHT FIXTURE - PER SPECIFICATIONS
- 5. LANDSCAPE PLANTING/PLANTER
- 6. LINE OF FINISH FLOOR
- 7. LINE OF PROPOSED FINISH GRADE
- 8. LINE OF FOOTING, REFER TO STRUCTURAL DRAWINGS
- 9. BUILDING BEYOND
- 10. Juliet BALCONY
- 11. CHECKET TO DRINK
- 12. GATE
- 13. CHIMNEY WITH CHIMNEY CAP, SEE DETAILS ON A4.2
- 14. INTERIOR STATED METAL ROOFING, 26GA. 18" PANEL WIDTH - REFER TO MATERIAL PALETTE FOR COLOR/FINISH
- 15. ASPHALT SHINGLE ROOFING, REFER TO MATERIAL PALETTE FOR COLOR/FINISH
- 16. MECHANICAL SCREEN WALL - MIN. 12" ABOVE EQUIPMENT
- 17. RECESSED HOSE REEL WITH BRASS COVER, REFER TO HOSE REEL SCHEDULE
- 18. HOOD HASKEL, SEE HOOD DETAILS ON A4.2, REFER TO MATERIAL PALETTE FOR COLOR/FINISH
- 19. MASONRY RETAINING WALL, SEE STRUCTURAL DRAWINGS
- 20. WOODEN POSTS, REFER TO STRUCTURAL
- 21. SNOW STOPS
- 22. ELEVATION JOG LINE
- 23. ARCHING VIEW WOOD BRACKETS AND STANDING BEAM METAL ROOF, SEE DETAIL, S4.3
- 24. WOOD BEAM REFER TO ROOF AND/OR STRUCTURAL DRAWINGS FOR SIZE
- 25. LINE OF EXISTING GRADE
- 26. 12" OFFSET, LINE MEASURED FROM NATURAL GRADE TO TOP OF ROOF
- 27. MAX. 0' OF EXPOSED STEM WALL AND BOLLARDS, GRADE AND PLANTINGS TO MAINTAIN MAXIMUM EXPOSED STEM WALL AS ALLOWED BY THE CITY OF FLAGSTAFF

HATCH LEGEND FOR ELEVATIONS:

- METAL PAINTED BLACK
- NATURAL WOOD SIDING
- NATURAL STONE VENEER
- WOOD
- STANDING BEAM ROOF
- GLASS
- ASPHALT SHINGLES



Planning & Zoning Commission

6. A.

Meeting Date: 09/28/2022

From: Tiffany Antol, Senior Planner

Information

TITLE

PZ-21-00021: A work session with the Planning and Zoning Commission to discuss an amendment to Section 10-90.40.030 of the Zoning Code, the Rural Floodplain Map, to change the Rural Floodplain designation to Urban Floodplain on eight parcels (APNs 101-01-020A, 020B, 101-28-005G, 005H, 005K, 013A, 013B, and 013D) of land located between W Forest Avenue, N San Francisco Street, N Turquoise Drive, and North Switzer Canyon Drive.

STAFF RECOMMENDED ACTION:

The work session with the Planning and Zoning Commission is required as a “Citizen Review Session” in compliance with Section 10-20.50.040 (Procedures) of the Zoning Code and applicable state law. The purpose of the work session is for staff and the applicant to present an overview of the proposed amendment, to allow interested residents to present their ideas, suggestions and concerns, and for the Commission to ask questions, seek clarification, and discuss the amendment, as well as offer alternate suggestions and ideas. No action will be taken by the Commission at this work session. After the work session, staff and the applicant will incorporate any comments from the public and the Commission into the proposed amendments. The amendment will then be presented to the Commission at a public hearing for consideration and action. Once a recommendation is received, a public hearing will be scheduled with the City Council. The anticipated timeline for the amendments is as follows:

- October 12, 2022 – Planning Commission Public Hearing
- November 1, 2022–City Council Public Hearing (1st Reading of Ordinance)
- November 15, 2022– Potential City Council Hearing (2nd Reading of Ordinance/Adoption)

Attachments

Staff Report

Application

Zoning Code Amendment Narrative

Map of Rural Floodplain

Concept Plan Narrative

Concept Development Plan



**Community Development Department
Planning and Development Services**

Date: September 6, 2022
TO: Planning and Zoning Commission
FROM: Tiffany Antol, AICP, Zoning Code Manager
Through: Michelle McNulty, AICP, Planning Director
Alexandra Pucciarelli, Current Planning Manager
RE: Planning and Zoning Commission Work Session

Request:

1. A work session with the Planning and Zoning Commission to discuss an amendment to Section 10-90.40.030 of the Zoning Code, the Rural Floodplain Map, to change the Rural Floodplain designation to Urban Floodplain on eight parcels (APNS 101-01-020A, 020B, 101-28-005G, 005H, 005K, 013A, 013B, and 013D) of land located between W Forest Avenue, N San Francisco Street, N Turquoise Drive, and North Switzer Canyon Drive.

Introduction:

The Zoning Code includes a Resource Protection Overlay (RPO) that was originally adopted in June 1999 and applied to vacant parcels greater than 5 acres at the time of adoption. The purpose of the RPO is to provide standards for the protection of natural resources, including floodplains, steep slopes, and forest. The requirements are meant to ensure that proposed development is consistent with the character of its natural surroundings. Floodplains (both Rural and Urban) are the highest priority resource to be protected on a site. Floodplains are categorized as either urban or rural based on the descriptions below.

1. **Urban Floodplains.** All watercourses and associated floodplains not defined as rural floodplains are urban floodplains. Urban floodplains are typically located in urbanized areas and have typically been altered from their natural state by channelization. Urban floodplains may be altered to address conveyance and erosion concerns; provided, that all necessary requirements of the City's *Stormwater Regulations* as administered by the Stormwater Manager are addressed. However, certain urban floodplains that have characteristics conducive to water quality, wildlife habitat, and stream ecology should be preserved. Proposals for any disturbance of these watercourses shall be reviewed by the Stormwater Manager and must address these attributes and provide for mitigation if necessary. Undergrounding of urban floodplains is strongly discouraged and a justification must be provided prior to any approval of undergrounding.
2. **Rural Floodplains.** Rural floodplains are natural undisturbed open spaces that are unsuitable for development purposes due to periodic flood inundation and the need to preserve the stream corridor for beneficial uses such as the preservation of important ecological resources. Rural floodplains are delineated in Section [10-90.40.030](#), Rural Floodplain Map, and defined as areas of delineated 100-year floodplain that cannot be disturbed or developed except for roadway and utility crossings. Rural floodplains cannot be altered through a floodplain map amendment or revision and must remain undisturbed (i.e., 100 percent protection). The extension of rural

floodplains beyond the limits of the delineated floodplains, both upstream and laterally, may be required based on more current or extended floodplain studies, master plan documents or other studies or documents related to hydrology, hydraulics, stream geomorphology, wildlife habitat, or wildlife corridors.

Purpose of the Work Session:

The work session with the Planning and Zoning Commission is required as a “Citizen Review Session” in compliance with Section 10-20.50.040 (Procedures) of the Zoning Code and applicable state law. The purpose of the work session is for staff and the applicant to present an overview of the proposed amendment, to allow interested residents to present their ideas, suggestions and concerns, and for the Commission to ask questions, seek clarification, and discuss the amendment, as well as offer alternate suggestions and ideas. No action will be taken by the Commission at this work session. After the work session, staff and the applicant will incorporate any comments from the public and the Commission into the proposed amendments. The amendment will then be presented to the Commission at a public hearing for consideration and action. Once a recommendation is received, a public hearing will be scheduled with the City Council. The anticipated timeline for the amendments is as follows:

- October 12, 2022 – Planning and Zoning Commission Public Hearing
- November 1, 2022 – City Council Public Hearing (1st Reading of Ordinance)
- November 15, 2022 – City Council Hearing (2nd Reading of Ordinance/Adoption)

Overview of Proposed Amendment:

The applicant’s proposed amendment is to change the Rural Floodplain map designation for approximately 1.96 acres of a 3.35-acre parcel from Rural Floodplain to Urban Floodplain. The applicant contends that the existing floodplain has been altered by adjacent development making the Rural Floodplain designation incongruent with the description provided in the Zoning Code. The applicant states that the correct designation is Urban Floodplain. The applicant is only requesting this designation be changed on their property. Staff believes that if the adjacent floodplain areas have been altered as is described in this application that they also no longer meet the description of Rural Floodplain and have included these areas as part of this Zoning Code Text Amendment.

Findings

At the October 12, 2022, Planning and Zoning Commission meeting, the Commission will be requested to make a recommendation to the City Council on the proposed amendment based on the required findings specified in the Zoning Code. For your reference and discussion purposes, the required findings are specified below.

1. The proposed amendment is consistent with and conforms to the objectives and policies of the General Plan and any applicable specific plan;
2. The proposed amendment will not be detrimental to the public interest, health, safety, convenience or welfare of the City; and
3. The proposed amendment is internally consistent with other applicable provisions of this Zoning Code.

Community Involvement

In accordance with State Statute and the Zoning Code, the work session before the Planning and Zoning Commission was advertised in the Arizona Daily Sun on September 10, 2022, which is 18-days before the scheduled meeting date.

Conclusion:

As indicated above, the purpose of the work session is for staff and the applicant to present an overview of the proposed amendments to the Zoning Code, and to allow interested individuals, residents and business owners to provide comments. Also, the work session is to allow for the Commission to ask questions, seek clarification, have discussions, and offer comments on the proposed amendments. No formal recommendation action by the Commission to the City Council is to occur at the work session. Additional opportunities for discussion, public comment, and action by the Commission will occur at a future public hearing.

Attachments:

1. Application
2. Zoning Code Text Amendment Narrative
3. Rural Floodplain Map
4. Concept Development Plan Narrative
5. Concept Development Plan

Minimum Submittal Requirements:

As part of the Pre-application Meeting (required), the Zoning Code Manager, or designee, will identify those items from this application checklist that will be required for Zoning Code Text Amendment application submittal. An application that does not include all required items will not be accepted. By signing the application, the applicant acknowledges that all required documents/information are included within the application.

If you have any questions regarding the information above or items indicated on this checklist, please contact the Zoning Code Manager, or designee indicated in the contact information listed on Page 3 of this checklist.

PART I – GENERAL REQUIREMENTS

Staff Use Only		Description of Documents Required for Complete Application. No application shall be accepted without all items marked below
Rec'd	Sub'd	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	I.1 Zoning Code Text Amendment Application Checklist (this list)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	I.2 Application Fee Base fee \$ 3265 (same as the small scale rezoning base fee) * The application fee provided is based on the current fee schedule adopted by the City Council and is subject to change without notification. The applicant shall pay the fee applicable at the of the application submittal.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	I.3 Completed Application for Zoning Code Text Amendment – 1 copy The application must be signed by the applicant and the current property owner of record. If the property owner is unavailable to sign the application, a Letter of Authorization must be submitted.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	I.6 Citizen Participation Plan – 1 copy <input checked="" type="checkbox"/> A plan identifying the methodology the applicant intends to use to notify the public, and when required, conduct a neighborhood meeting. The plan shall include: <ul style="list-style-type: none"> <input type="checkbox"/> 1. The dates, times, and locations of the neighborhood meeting(s). The applicant shall hold a minimum of _____ neighborhood meeting(s), that is/are separate from a work session with the Planning and Zoning Commission. <input type="checkbox"/> 2. A copy of the published advertisement(s) for the neighborhood meeting. The applicant shall publish a 1/8-page advertisement in the local newspaper a minimum of 10 days, and not more than 14 days prior to the date of the neighborhood meeting. The advertisement shall include the applicant's contact information, a summary of the Zoning Code amendment, and the dates, times, and locations of the neighborhood meeting(s). The Zoning Code Manager, or designee, shall approve that advertisement before it is sent to the newspaper for publication. (Contact the Arizona Daily Sun newspaper for publishing deadlines.) <input type="checkbox"/> 3. A copy of the letter sent to all persons on the City's notification registry for a Zoning Code Text Amendment, and the mailing addresses of all persons that the letter was sent to. The applicant shall notify all persons on the City's notification registry for a Zoning Code Text Amendment of their proposed amendment by 1st Class Letter. The letter shall include the applicant's contact information, a summary of the Zoning Code amendment, and: <ul style="list-style-type: none"> <input type="checkbox"/> a. the dates, times, and locations of the neighborhood meeting(s). <input type="checkbox"/> b. legislative draft of the proposed zoning code text amendment. <input type="checkbox"/> 4. A copy of the letter sent to all property owners within _____ the property, the mailing addresses of the property owners that the letter sent to, and a map showing the location of properties there were notified. The letter shall include the applicant's contact information, a summary of the Zoning Code amendment, and: <ul style="list-style-type: none"> <input type="checkbox"/> a. the dates, times, and locations of the neighborhood meeting(s). <input type="checkbox"/> b. legislative draft of the proposed zoning code text amendment. <input checked="" type="checkbox"/> 5. A report of the status and results of the any communication and comments received from the public, including the neighborhood meeting (when required), and the applicant's proposed resolution to comments received. <input checked="" type="checkbox"/> 6. Methods to keep the Director informed of the status and results of the any communication and comments received from the public. The Director, or designee, may request written report pertaining to any communication and comments received from the public prior to scheduling a work session, or hearing, before the Planning Commission.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	I.10 Electronic Submittal – 1 copy An electronic copy of all submitted information (.pdf format)
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PART II – CONCEPT ZONING CODE TEXT AMENDMENT

Staff Use Only	Description of Documents Required for a Complete Application. No Application will be accepted without all items marked below.
-----------------------	--

Reqd	Subd	<input checked="" type="checkbox"/> <input type="checkbox"/> II.1 Project Narrative – 5 copies The narrative shall include the following: <ul style="list-style-type: none"> • Project title and date. • The reason for the request. • List and respond to each of the required Zoning Code findings for Text Amendments, which are: <ol style="list-style-type: none"> (1) The proposed amendment is consistent with and conforms to the objectives and policies of the General Plan and any applicable specific plan; (2) The proposed amendment will not be detrimental to the public interest, health, safety, convenience or welfare of the City; and (3) The proposed amendment is internally consistent with other applicable provisions of this Zoning Code. • An analysis of how the proposed amendment will benefit the community. • Any additional information the applicant would like add in support of the requested amendment.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	II.2 Legislative Draft of the Proposed Zoning Code Text Amendment – 5 copies

PART IV – OTHER SUBMITTAL REQUIREMENTS

Staff Use Only	Description of Documents Required for Complete Application. No application shall be accepted without all items marked below
-----------------------	--

Reqd	Subd	<input type="checkbox"/> <input type="checkbox"/> IV.1 Other Requirements Please provide the following: <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>
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PART V – ZONING CODE MANAGER, OR DESIGNEE

No application shall be accepted without a Zoning Code Manager's, or designee's, signature below.

V.1 Zoning Code Manager or designee Contact Information

If you have any questions regarding this application checklist, please contact the Zoning Code Manager or designee.

Name (print): _____ **Phone:** _____

E-mail: _____@flagstaffaz.gov **Date:** _____

Signature: _____



City of Flagstaff

Community Development Division

211 W. Aspen Ave

P: (928) 213-2618

Flagstaff, AZ 86001

F: (928) 213-2609

www.flagstaff.az.gov

Date Received	Application for Zoning Code Text Amendment	File Number
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Applicant(s)/Property Owner(s) MATT PEACE	Title OWNER	Phone 928-699-1245	Email MATT@DARKSKYCAPITAL.COM
---	-----------------------	------------------------------	---

Mailing Address 6086 BARNEY DR FLAGSTAFF AZ 86004	City, State, Zip
---	------------------

Representative (If applicable) STEVEN HOLLOWAY	Title OPERATIONS	Phone 928-814-3134	Email STEVE@DARKSKYCAPITAL.COM
--	----------------------------	------------------------------	--

Mailing Address 3365 N. MONTE VISTA FLAGSTAFF AZ 86004	City, State, Zip
--	------------------

Property Address 800 N. SWITZER CANTON DR. FLAGSTAFF AZ 86001	City, State, Zip
---	------------------

Application Name:
Zoning Code Text Amendment
Chapter Name and Number: ZONING CODE CHAPTER 10
Division Name and Number: FLOODPLAINS: DIVISION 90
Section Name and Number: APPLICABILITY SECTION. 040
Chapter Name and Number:
Division Name and Number:
Section Name and Number:
Chapter Name and Number:
Division Name and Number:
Section Name and Number:

Additional Information:

Owner's Signature (required) 	Date:	Representative Signature (If applicable) 	Date:
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For City Use		
Date Filed:	File Number(s):	Fee Receipt Number:
P & Z Hearing Date:	Publication and Posting Date:	Amount:
Council Hearing Date:	Publication and Posting Date:	Date:
Received by:	Comments:	



Narrative for Switzer Canyon Parcel Floodplain

Zoning code Text Amendment

Date: April 21, 2022

To: Zoning Code manager COF

From: AXXO LLC

Re: Floodplain Zoning Code Text Amendment

The purpose of this narrative is to support the request for a Zoning Code Text amendment to revise the floodplain designation on private parcel (APN: **10128005H**) from a Rural Floodplain to an Urban Floodplain.

The private parcels

Per the COF Zoning code Rural flood plain map, the flood plain on the subject parcel are designated as a rural flood plain. Per the COF Zoning code, Rural flood plains are defined as natural undisturbed open spaces that are unsuitable for development purposes due to periodic flood inundation and the need to preserve the stream corridor for beneficial uses such as the preservation of important ecological resources. Please see exhibit 2 for the Rural Floodplains within the city of flagstaff.

All water courses and associated floodplains not defined as Rural Floodplains are Urban Floodplains which are typically located in urbanized areas and have typically been altered from their natural state by channelization. Urban Floodplains may be altered to address conveyance and erosion concerns.

It is the opinion of the owner that the flood plain has been altered and channelized from previous developments, was incorrectly designated, and should be re-defined as urban flood plain per the definition in the Zoning Code for Urban Flood plains and per the historical and current nature of the wash.

Based on the research of the history of Switzer Canyon wash, we find that is has been channelized.

See exhibit 1: Photos of a channel of trees approximately 30 feet wide that were removed during the installation of a city water line. Large rock and debris were piled into a berm to the eastern edge of the channel of removed trees and city water line.

See exhibit 2: Photo of defined channel with banks on parcel # 10128005H

See exhibit 3: Photos of the man-made embankment on the eastern edge of Switzer wash on parcel #10128005H. The edge of the wash on this parcel has the city sewer line installed underneath embankment

and there is existing evidence of large boulders and parts of an old sidewalk and curb pieces stacked up to approximately 10 feet tall along the edge of Switzer wash.

See exhibit 4: The preliminary Grading and Drainage plan for the YMCA Depicting the location of the detention pond, the current FEMA (NFHL viewer) Showing the approximate location of the detention pond located inside of the Rural Floodplain and a photograph of the existing detention pond.

See exhibit 5: The current FEMA (NFHL viewer) showing the Introduction of a culvert at the crossing of the flood plain at the YMCA property (APN: **10128005K**). The image depicts the width of the Floodplain as approximately 68 feet and the photograph of the 16-foot culvert that flows under the bridge clearly indicating there is channelization.

See exhibit 6: The current FEMA (NFHL viewer) showing the approximate location of the retention wall built up inside the Floodplain on the back side of the Olivia White Hospice home and a photograph of the existing retention wall that has introduced channelization.

See exhibit 7: The COF Rural Floodplain map show an Urban Floodplain upstream that flows into this area.

Exhibit 8: Photo of man-made embankment along the eastern bank of the wash where the sewer lines have been buried.

Switzer Canyon Wash, which contains a FEMA designated floodplain and floodway. The floodplain is also designated Rural by the City of Flagstaff, although the same floodplain is designated urban both up and downstream of this stretch. Multiple parcels along this stretch of floodplain have been developed in and along the floodplain by elevating building pads out of the true drainage path. There have also been substantial disturbances by underground utilities including the 15" Switzer Canyon Trunk Sewer and the 16" Switzer Canyon Water Line. And more recently a roadway crossing to the north that constricts runoff through a culvert, negating any true floodplain characteristics.

A Design Report and Biological Evaluation was completed by Natural Channel Design in 2003 that concluded that due to development and the ephemeral nature of the stream this area does not contain suitable habitat for any federally listed species.

Findings: Zoning code Section 10-20.50.040F.1.b Findings for the Text Amendment.

1. The proposed amendment is consistent with and conforms to the objectives and policies of the General Plan and any applicable specific plan;

Following in the list of the applicable goals and policies that will be met by this proposed project:

Policy E&C.3.3. Invest in forest health and watershed protection measures.

Response: The trees in in the Floodplain will be preserved to meet the Natural Resources Protection Plann (NRPP) requirements, thereby preserving forest health. Channelizing the flow also reduces erosion head cutting and promotes forest health.

Policy E&C.6.3. Promote protection, conservation, and ecological restoration of the region's diverse ecosystem types and associated animals.

Response: Preserving the trees, supplementing the soil in the flood plain with Atriplex canescens seeds and

Schizachyrium scoparium seeds will result in the restoration of the region's natural vegetation ecosystem and associated wildlife habitat.

Policy E&C.6.4. Support collaborative efforts to return local native vegetation, channel structure and, where possible and applicable, preservation and restoration of in-stream flows to the region's riparian ecosystem.

Response: The soil supplementation with the spreading of Atriplex canescens seeds and Schizachyrium scoparium seeds which are listed in the Appendix 3 City of Flagstaff landscape plant list as has having soil stabilization characteristics will help promote a drainage corridor for a healthier riparian ecosystem along the channel of the subject area.

Goal WR.5. Manage watersheds and stormwater to address flooding concerns, water quality, environmental protections, and rainwater harvesting.

2. The proposed Amendment is internally consistent with other applicable provisions of the Zoning Code.

Response: The proposed Amendment is to revise the floodplain on private parcel and is not detrimental to the public interest, health, safety or welfare of the City. The proposed change will provide an opportunity to the owner to address erosion, head cutting and transporting sediment further downstream in the watershed which

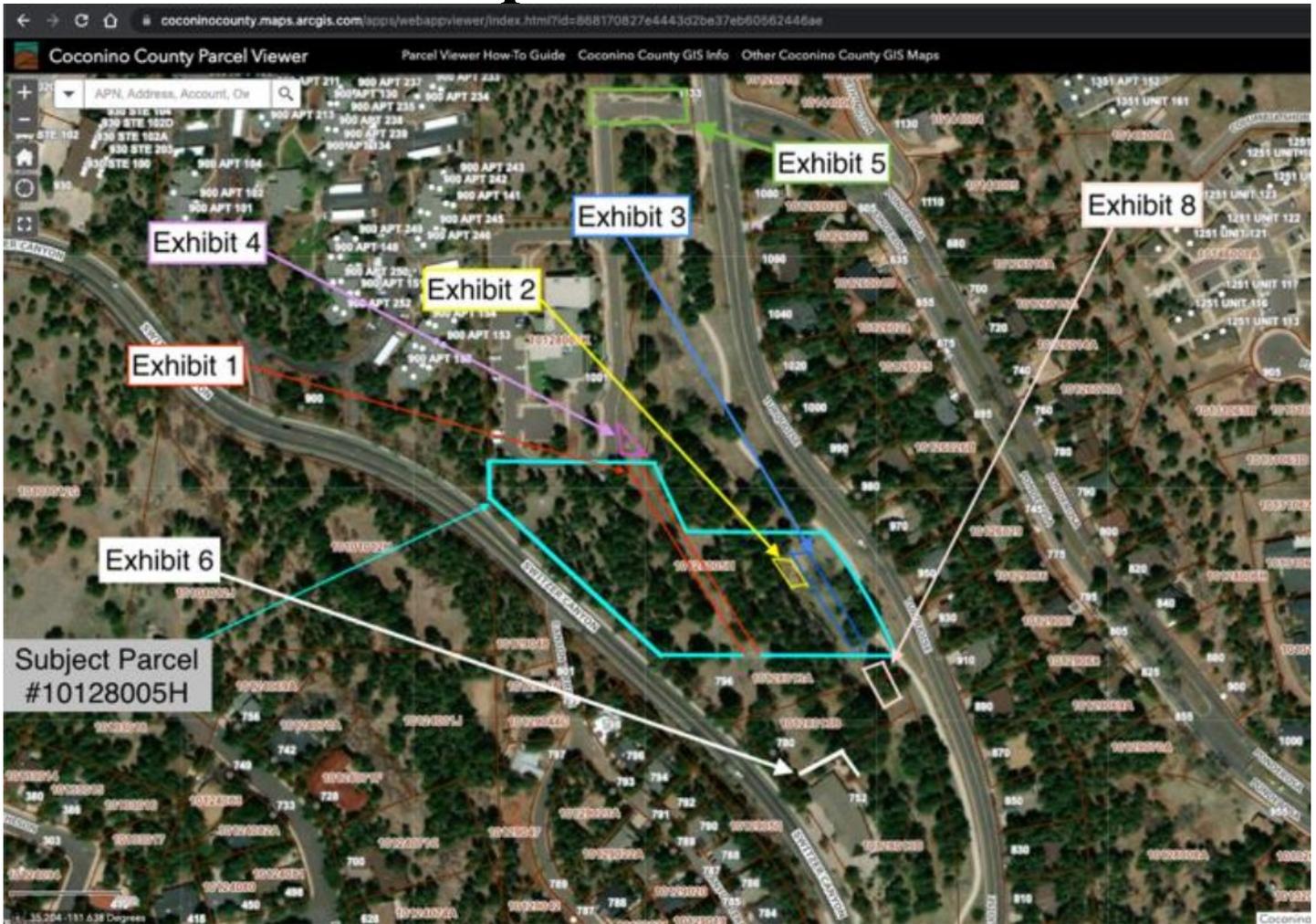
further enhances ecosystem health, water quality, restores natural, riparian and wildlife habitat. As discussed above the amendment is in conformance to many of the policies of the City's general plan.

3. The Proposed amendment is internally consistent with other applicable provisions of the Zoning Code

Response: The proposed amendment is internally consistent with all other applicable provisions of the Zoning code. The development procedures will conform to City's Zoning Code requirements for Commercial Developments.

Thus, we believe that the Rural Floodplain through the subject site (Map Panel #04005C6809G), Switzer Canyon wash due to previous private development has channelized the drainage from its historic condition and cannot be considered a Rural Floodplain as a "natural undisturbed space". Therefore, we request that the floodplain designation on the subject site to be revised to an Urban Floodplain via a Zoning Code Text amendment.

Map of Exhibits:



Channel of trees removed during the installation of the city water main

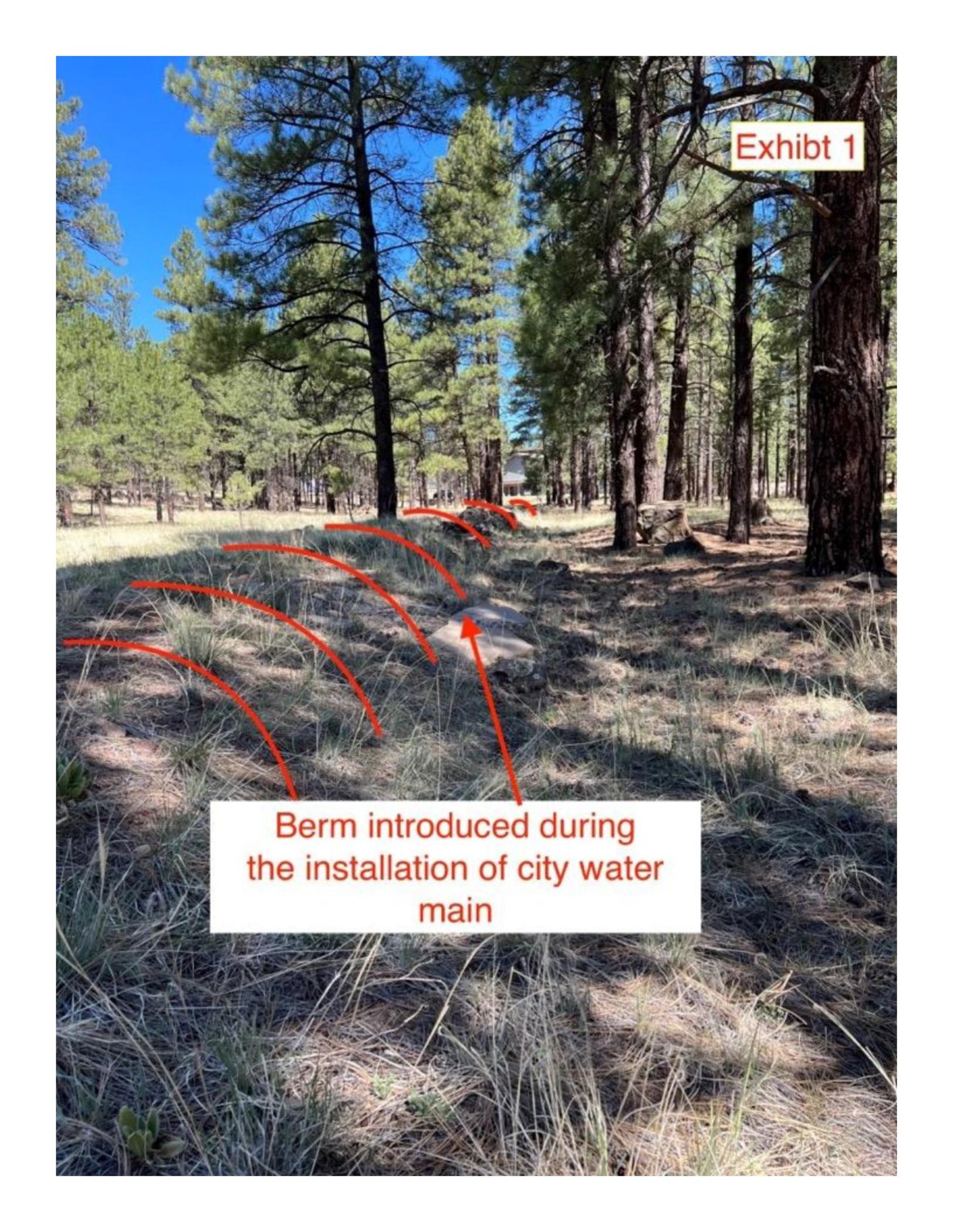


Exhibit 1



Channel of trees cut out during
installation of City water line

Exhibit 1



Berm introduced during
the installation of city water
main

Exhibit 1

City Water main

Berm of rock
that runs the length
of the channel of trees
Next to the water main



Exhibit 1

CITY WATER
CAUTION
BEFORE
DIGGING
CALL 800-451-1234

City Water main



Exhibit 2



Bank approximately 20 inches high
on parcel# 10128005H

Exhibit 3

Man-Made enbankment
Introduced during
installation of City
sewer on parcel #
10128005H





Manhole

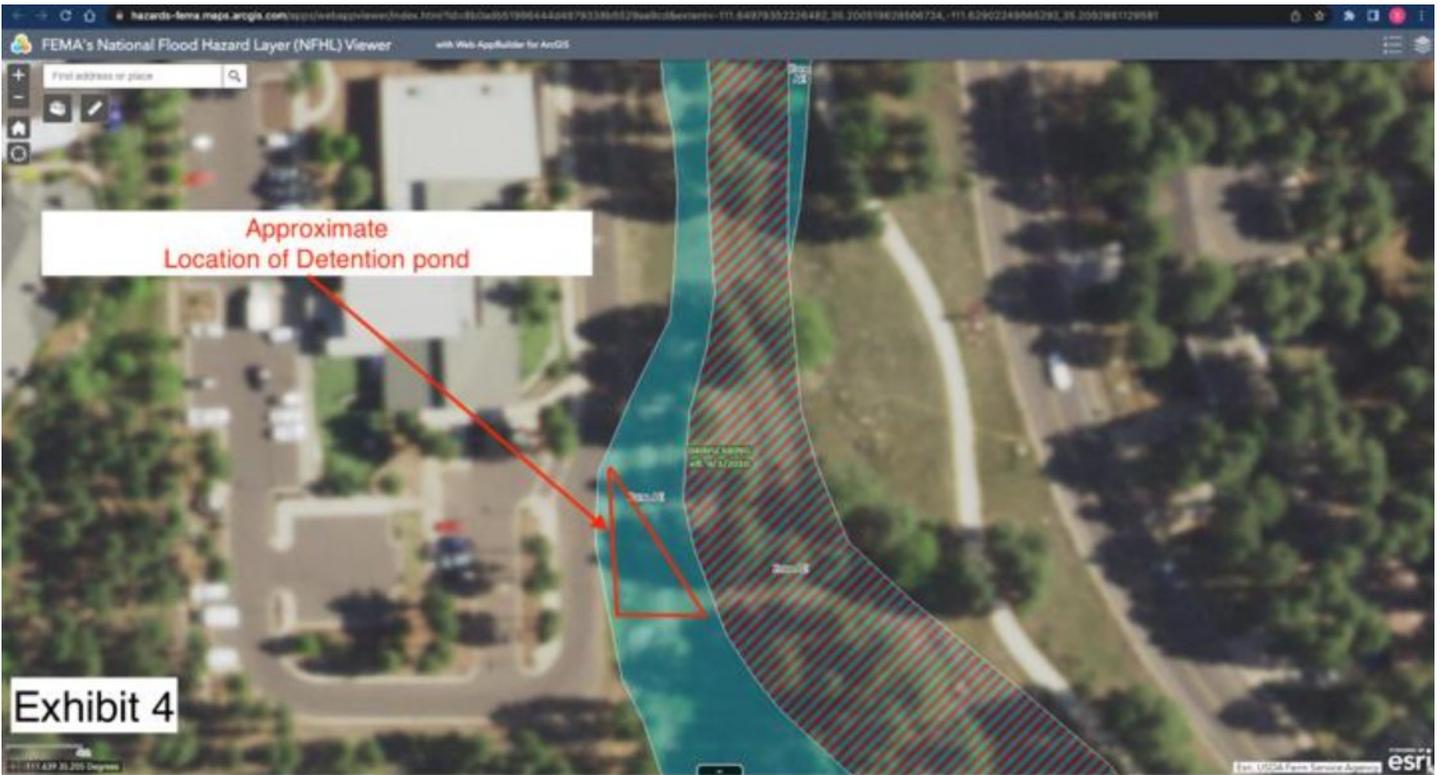
Man-made embankment introduced during the installtion of City sewer on parcel #10128005H

Manhole



Channelization introduced
by parking lot drainage
through the detention
pond.

Exhibit 4



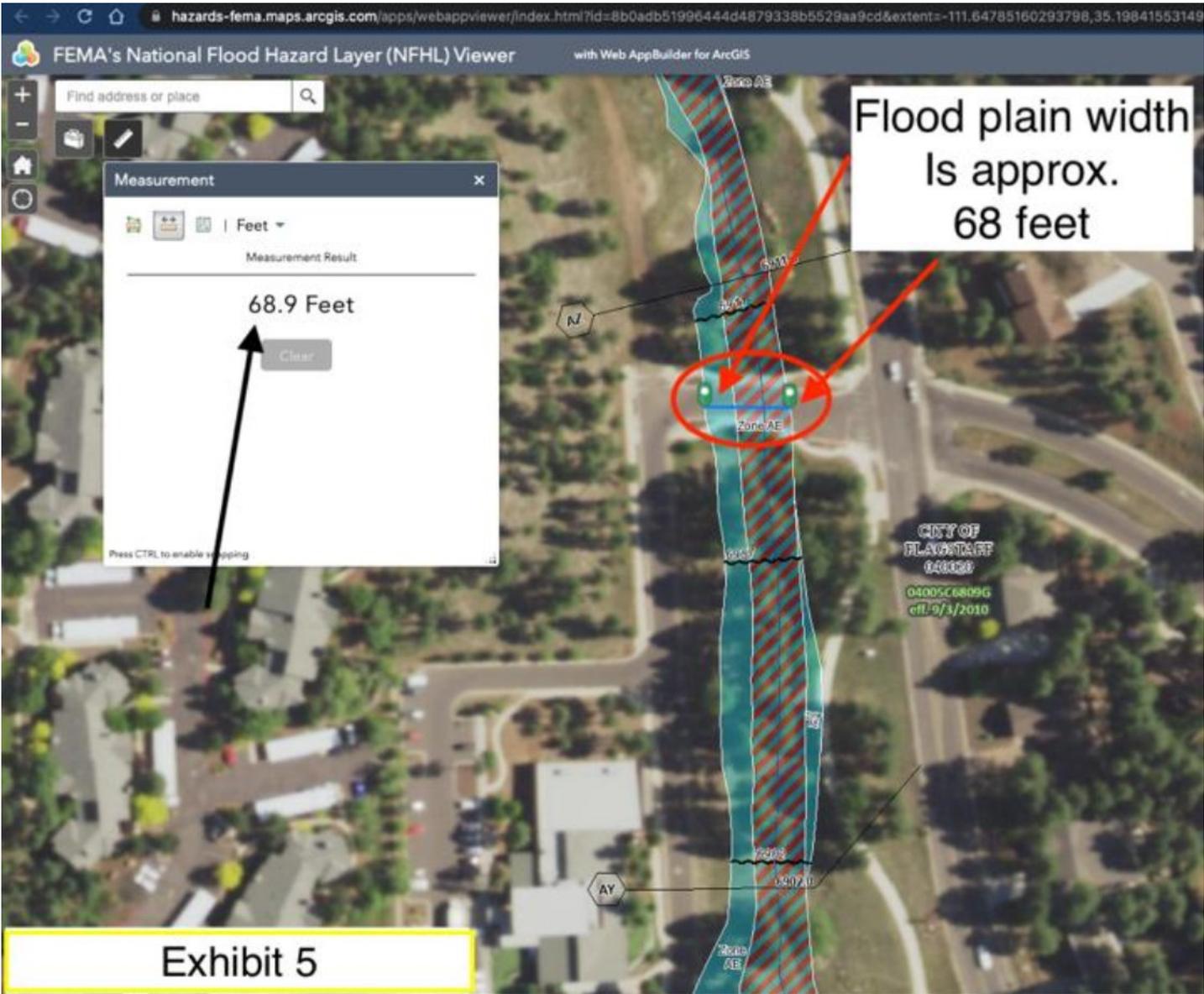
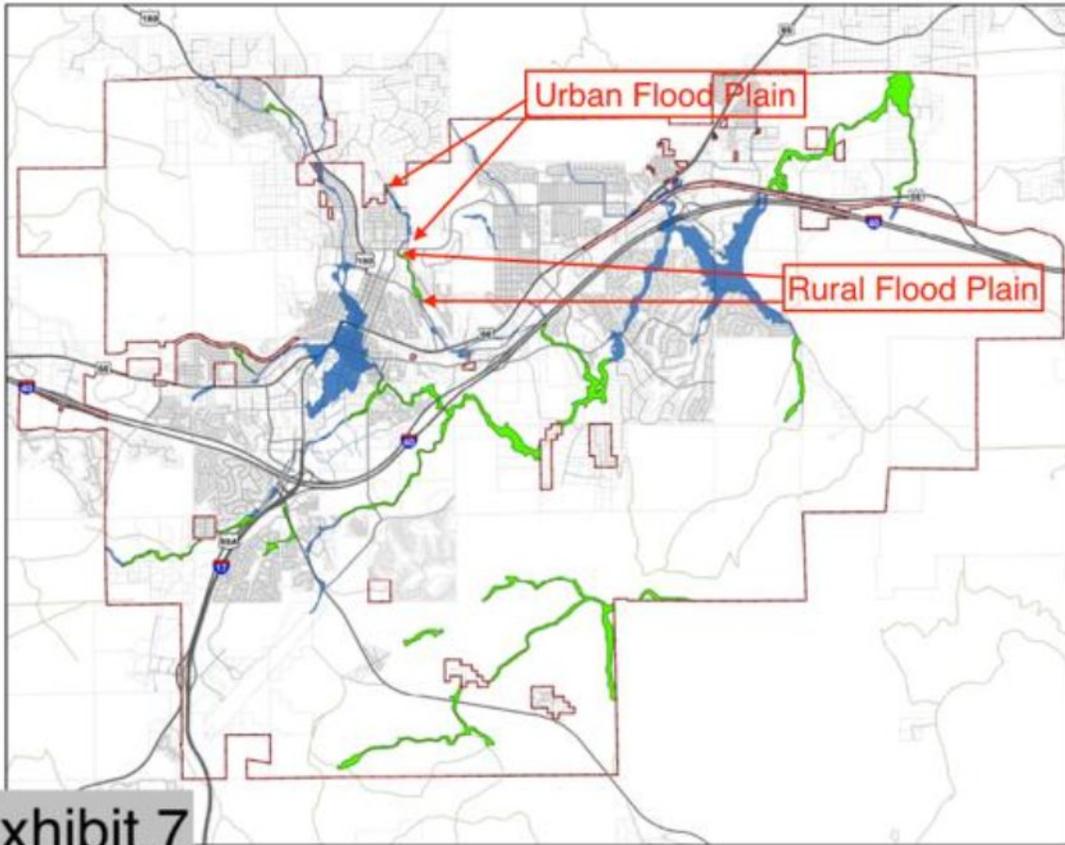


Exhibit 5



Exhibit 5





**Division 10-90.50.030:
Rural Floodplain Map**

-  City Limits
-  Urban Floodplains
-  Rural Floodplains
-  Parcels

Floodplain widths reflect the FEMA regulated floodplain widths, and are subject to change. Please consult the City of Flagstaff Stormwater section for the latest width information.

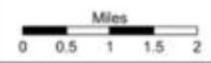


Exhibit 7

Exhibit 8

Sewer manholes

Man-Made embankment



PROJECT SUMMARY

AXXO holdings is proposing to develop a portion of accessors parcel number is 101-28-005H which is approximately 3.35 acres. The project will be developed as townhomes, to be rented or possibly platted and sold as separate units. The site is currently zoned HR (high density residential). The project will include eight 4-plex buildings, and one 2-plex for a total of 34 units. Each unit will include a one car garage along with 2 bedrooms and 1-1/2 or 2 bathrooms. The parcel to the north is the existing YMCA building zoned HR and the parcel to the south is zoned R1 and is undeveloped. The parcel is bounded to the east and west by North Turquoise Drive and North Switzer Canyon Drive. Across the roads is additional single family lots. A Legal description for the project parcel is included in Appendix A.



Fig 1. Conceptual 4-Plex Unit

UNIQUE APPROACH TO DIFFICULT SITE

The project site is challenging due to constraints across the entire parcel. The steep 2:1 Switzer Canyon Road fill slope encroaches onto the site from the south and west. When the road slope catches grade, native ground slopes around 10% to 13% towards the Switzer Canyon Wash floodplain and floodway. There is a floodplain through the parcel that currently has a Rural Flood Plain Designation, meaning the floodplain should be preserved in its entirety. The entire parcel contains moderate to dense tree coverage. 1.96 acres of the 3.35 acres is in the flood plain. This only leaves around 1.39 acres to hit a minimum density of 34 units at 10 units per an acre. In order to improve buildable densities the project would like to develop approximately 0.36 acres of the floodplain that was mapped with the adjacent YMCA project. In return, the remainder of the parcel starting from the existing utility easement continued east to Turquoise Drive would be deeded over to the city as public open space (approximately 1.37 acres). This would then be combined with the existing open space to the north (2.25 acres) through a lot line adjustment or other instrument. The current concept plan shows 34 units, to provide a DUA of 10 or 17 depending on how the potentially split portion is handled. Additional arguments in support of this proposed rural floodplain mitigation are expanded throughout

RURAL FLOODPLAIN AND ENVIRONMENTAL CONSIDERATIONS

A major feature of the site is Switzer Canyon Wash, which contains a FEMA designated floodplain and floodway. The floodplain is also designated Rural by the City of Flagstaff, although the same floodplain is designated urban both up and downstream of this stretch. Multiple parcels along this stretch of floodplain have been developed in and along the floodplain by elevating building pads out of the true drainage path. There have also been substantial disturbances by underground utilities including the 15" Switzer Canyon Trunk Sewer and the 16" Switzer Canyon Water Line. And more recently a roadway crossing two parcels to the north that constricts runoff through a culvert, negating any true floodplain characteristics.

A Design Report and Biological Evaluation was completed by Natural Channel Design in 2003 that concluded that due to development and the ephemeral nature of the stream this area does not contain suitable habitat for any federally listed species. A copy of the report is in Appendix B.

FLOODPLAIN MAPPING

The FEMA designated floodplain and floodway mapping was the basis for determining the limits of the resource protection area. However more detailed HEC-RAS mapping was done for the wash crossing and YMCA project that better defines the true drainage ways and water surface elevations for the adjacent parcel that conflict with the FEMA mapping. Further analysis may show that existing floodplain isn't even in the proposed disturbance limits due to disturbance from the road crossing and YMCA disturbances. There is also a berm built with the existing water main which creates a cut off isolating the proposed disturbance areas (See Concept NRPP for exhibit). As this project progress, this reach of the floodplain can be redefined using HEC-RAS to determine current limits and verify the project will not have adverse impacts to the floodplain upstream or downstream.

NATURAL RESOURCE PROTECTION PLAN

The project site will preserve 50% of trees across the 3.35 acre parcel boundary and to dedicate 1.37 acres as public open space. The project does propose to disturb the currently mapped rural floodplain, but further investigation show that the area has already been disturbed by a utility easement and is likely never flooded due to the berm created by the utility easement and fill that was brought in with the YMCA project directing runoff to the east towards the existing thalweg. It should also be noted that this portion of floodplain is filled with many medium and young ponderosa pines, meaning that regular "standing water" type flooding of this area does not occur.

STORMWATER

The City requires detention/LID for any commercial development greater than ¼ acre in size. LID policies will require 1" of ROCV to be retained on site along with a water quality component. The project will use underground retention facilities to meet these requirements. Detention may not be required due to being adjacent to the wash.

ACCESS TO SITE

Access to the site is currently provided through an access easement across the YMCA property. Due to grade change, no vehicular access will be provided to Switzer Canyon Drive. The YMCA property has an existing staircase that dead ends at the property line. This will be picked up and an additional staircase will be constructed to connect a pedestrian access up the hill. The YMCA site also provided an ADA ramp stubbed to the property to provide an additional ADA pedestrian connection to Turquoise Drive.

UTILITIES

The site will provide new water meters and sewer services to the units. An additional hydrant will also be added. Water will connect to the 16" main in the wash. Sewer will connect to the 15" main in the wash. Shared dumpster and recycle bins will be located on site.

Townhomes Plat

The developer would like to consider the option of platting and selling the townhomes (condominiums).

CONSTRUCTION LOGISTICS PLAN

The project site is relatively small and will be very tight during construction. The only access to the site is to the north through the access easement in the existing YMCA parking lot. The contractor will need to schedule crews stage by stage as construction progresses in order to minimize the amount of parking needed at one time. There will be no impacts to North Switzer Canyon Drive as part of this project. There will be disturbances in the floodway to connect to the sewer main. These connections will need to be made in the spring or fall and planned around minimal risk of storms. In addition, grading work in general should be planned around winter and monsoon season, and strict erosion control measure implemented until stabilization is reached.

LANDSCAPE AESTHETIC

The site aesthetic and pedestrian experience will be guided through the use of natural materials and native plants. Canopy and ornamental trees will be used to reduce the scale of the buildings at the pedestrian level. Landscape design will be utilized to blend the natural aesthetic preserved on the eastern portion of the property where the new floodplain open space will be preserved. Appropriate native plants will be selected to reflect the amount of space, light, and water available on site.

Appendix A

Old Republic National Title Insurance Company - Issued by**Pioneer Title Agency Inc.****EXHIBIT A****LEGAL DESCRIPTION**

The Land referred to in the policy is described as follows:

The following is a legal description of a parcel of land lying within Section 15, Township 21 North, Range 7 East of the Gila and Salt River Base and Meridian, Coconino County, Arizona, more particularly described as follows:

COMMENCING at a found ½ inch rebar and plastic cap "R. SCHILKE RLS 28230" at the Southwest corner of Parcel 1, as described in Special Warranty Deed recorded at Instrument No. [3220487](#), records of Coconino County, Arizona (herein referred to as R1), and the TRUE POINT OF BEGINNING, and on the North right of way line for Switzer Canyon Road, and on the North-South centerline of Section 15, from which a found ½ inch rebar and aluminum cap "N.E.S. RLS 14671" at the Northwest corner of said Parcel and on said Section line bears North 01° 46' 38" West, a distance of 501.88 feet (measured and basis of bearing for this description) (North 01° 37' 00" West, a distance of 502.27 feet, R1);

Thence leaving said right of way line North 01° 46' 38" West (North 01° 37' 00" West, R1), along said Section line, a distance of 72.78 feet to a set ½ inch rebar and aluminum cap "LS 40640";

Thence leaving said Section line South 90° 00' 00" East, a distance of 291.63 feet to a set ½ inch rebar and aluminum cap "LS 40640";

Thence South 25° 55' 21" East, a distance of 138.95 feet to a set ½ inch rebar and aluminum cap "LS 40640";

Thence South 90° 00' 00" East, a distance of 260.30 feet to a set ½ inch rebar and aluminum cap "LS 40640" on the West right of way line for Turquoise Drive at the beginning of a non-tangent curve concave to the Southwest having a radius of 937.02 feet (R1) and a central angle of 15° 28' 53" and being subtended by a chord which bears South 30° 18' 27" East, a distance of 252.41 feet;

Thence along said right of way line Southeasterly along said curve, a distance of 253.18 feet to a found ½ inch rebar and plastic cap "R. SCHILKE RLS 28230";

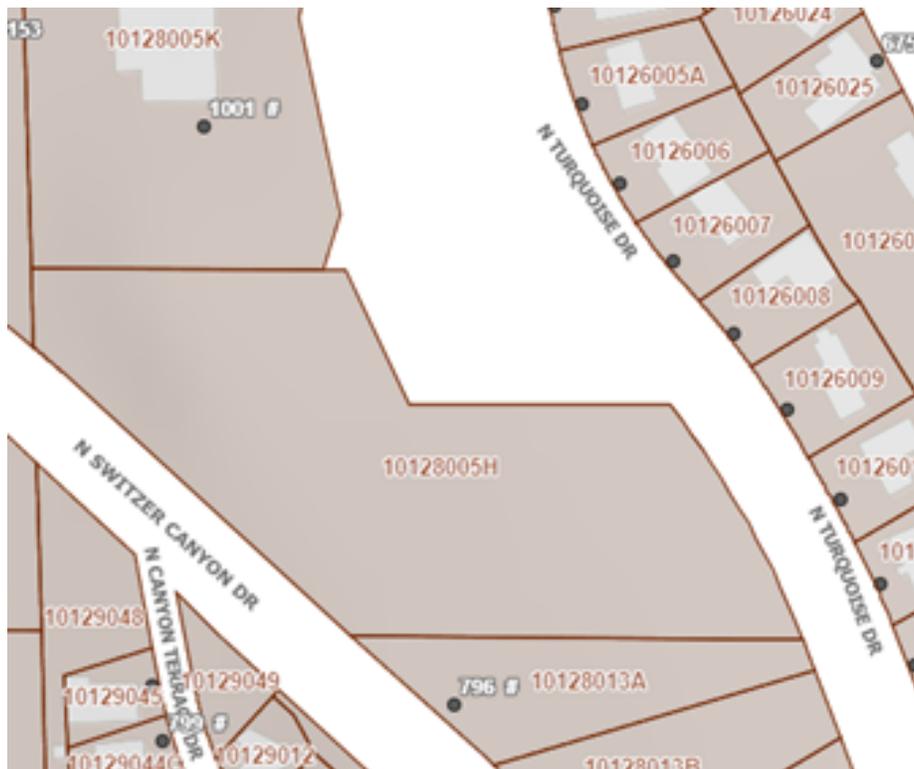
Thence leaving said right of line North 89° 34' 00" West, along the South line of said Parcel, a distance of 446.28 feet (North 89° 29' 15" West, a distance of 446.21 feet, R1) to a found ½ inch rebar and plastic cap "RLS 9078" on the North right of way line for Switzer Canyon Road;

Thence along said right of way line North 47° 21' 45" West, a distance of 357.13 feet (North 47° 37' 06" West, a distance of 357.83 feet, R1) to a found ½ inch rebar and plastic cap "R. SCHILKE RLS 28230" at the beginning of a non-tangent curve concave to the Southwest having a radius of 756.20 feet (R1) and a central angle of 02° 52' 59" (02° 52' 51", R1) and being subtended by a chord which bears North 49° 11' 59" West, a distance of 38.05 feet;

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EXHIBIT A
(Continued)

Thence continuing Northwesterly along said curve, a distance of 38.05 feet (38.02 feet, R1) to the TRUE POINT OF BEGINNING.



Appendix B

DESIGN REPORT & BIOLOGICAL EVALUATION

Switzer Wash Project

Prepared for:

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PROJECT LOCATION:

The project site lies with the limits of the City of Flagstaff in Coconino County, Arizona. Switzer Wash is an ephemeral stream that begins along the northern flanks of Mount Elden and flows south and eastward to join Butler Wash and the Rio de Flag. The project lies at approximately 7,000 feet in a montane forest of ponderosa pine and oak. The valley floor is dominated by pine, oak, and various bunch grasses. Switzer Wash has a drainage area of approximately 2.5 square miles at the project site. The watershed is relatively undeveloped (forest and low-density residential) in the upper reaches and more urbanized (moderate-density residential and office park) near the project site. The project property is bounded by Forest Avenue to the north, Switzer Canyon Rd and San Francisco Street on the West and Turquoise Drive to the East and South.

The project is located within the corporate limits of Flagstaff, Arizona. The property is bounded on the south and east by Turquoise Drive and on the west by properties lying along San Francisco Street and on the north by Forest Avenue. The specific location of the project is Township 21N, Range 7E, Section 15, NW1/4SE1/4 or N 35° 12' 8.7" and W 111° 38' 13.0" longitude and latitude. See Figure 1 for location.

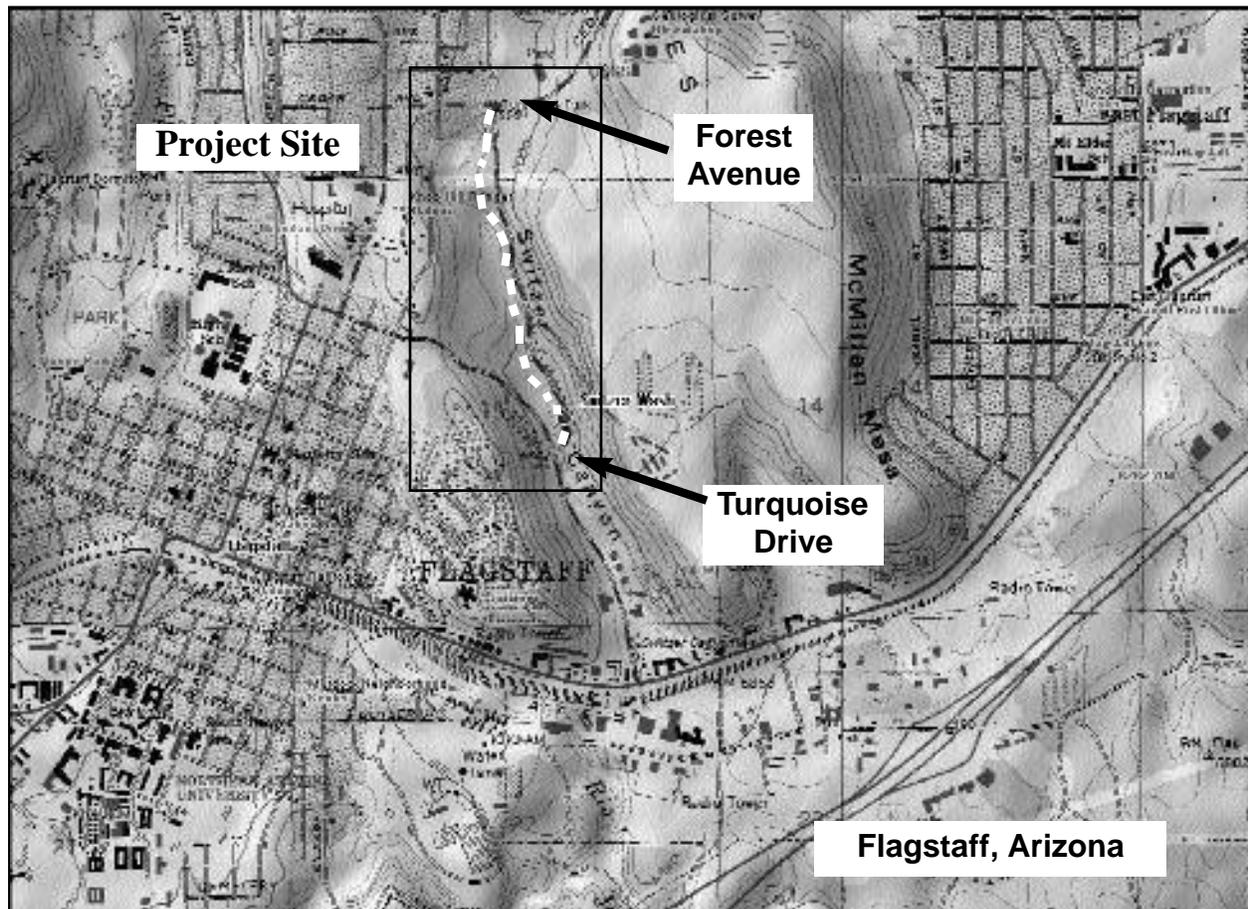


Figure 1. Switzer Wash Project Location

PROJECT PURPOSE:

The purpose of the project is to protect and/or improve the aesthetics and function of the channel and floodplain along 3000 feet of Switzer Wash while development of the surrounding property occurs. The ephemeral stream channel and floodplain will provide aesthetic and pedestrian recreation to surrounding developments. The majority of the project activities within and without the jurisdictional area will be directed toward maintaining and enhancing stream function. Footings for four double-pier vehicle bridges will be installed within the project area to allow vehicle crossing with minimum impact to the watercourse.

The area around the project site is in the process of being developed. Four road bridges crossing the stream channel are planned. However, the development plan intends to protect the wild nature of Switzer Wash by maintaining the open, undeveloped areas around the stream channel and its floodplain. A portion of the city urban foot/bike trail system will run through the valley and pedestrian access near the watercourse will be preserved. A sizeable portion of the valley floor has been transferred to the City of Flagstaff for protection as urban open space.

The project will require footings for four vehicle bridges to be sited adjacent to the the stream channel. In addition, existing spoil piles of rock and rubble will be removed or reshaped to restore natural channel and floodplain geometry. Natural channel dimension will be restored within the existing alignment to two reaches where excessive sediments have created channel braiding. A short section of previously altered channel will be realigned to reduce the sediment loads currently contributed from an existing road embankment. All disturbed areas will be replanted with native grasses, forbs, and woody species as appropriate.

Hydrologic, hydraulic, and geomorphic assessments of the project site have been completed to identify "Ordinary High Water:" and the jurisdictional area. A flow with a return interval of 2.33 years was chosen as "Ordinary High Water" because it includes both the bankfull channel and significant adjacent floodplain. It also statistically represents the Mean Annual Flood flow. Due to its small watershed, that area is a corridor along the stream channel with widths that varies from 16 - 76 feet.

PROJECT APPROACH

The project objective is to enhance biological and physical riparian function and aesthetic values to the project area by removing the direct and indirect impacts of human created modifications to the stream channel and floodplains. The approach was to develop the geomorphic parameters that represent the stable or reference condition for Switzer Wash. Reference conditions were used to evaluate the current conditions of the physical and biological resources. Due to the surrounding urbanization, reference conditions are based on the identification and characterization of functioning portions of the stream channel within the project site. Several representative cross-sections and a longitudinal profile were surveyed. Data at the natural functioning reaches was used to develop reference channel/floodplain dimension. Channel and floodplain restoration will be based on typical design cross-section dimensions (Table 1, Figure 2). For most of the project, channel/floodplain alterations are intended to restore natural dimension previously altered.

CURRENT CONDITION

Not surprisingly for a stream channel in an urban area, there is evidence of considerable human activities along Switzer Wash. A city sewer line, water line, and utilities follow the open valley and frequently cross the channel. Box culverts convey stream flow under roadways at the upper and lower end of the project. It appears that fill has been placed on or near the channel throughout the project over time and large angular rock is common along the edge of roadways and other infrastructure. Two road embankments contribute significant quantities of cinders and other small sediments to the stream channel causing braiding. In spite of these impacts, this reach of Switzer Wash still maintains its riparian function and much of its wild nature.

TABLE 1. REFERENCE CHANNEL/FLOODPLAIN DIMENSIONS AT PROJECT SITE.

	<u>Average</u>	<u>Range</u>
Bankfull Discharge	35 cfs	
Cross-sectional Area	13 sq. ft	11.5 – 14 sq. ft
Max bankfull depth	1.0 feet	0.65 – 1.2 feet
Bankfull width	23 feet	15 – 32 feet
Mean bankfull depth	0.65 feet	0.4 – 0.7 feet
Floodprone width	65 feet	45 – 140 feet
Width/depth ratio	35	30 – 42
Entrenchment ratio	2.5	2.3 – 5.8

Width/depth ratio is defined as bankfull width divided by mean bankfull depth and is a measure of channel shape and sediment transport capacity.

Floodprone width is the floodplain width at an elevation twice maximum bankfull depth and is a measure of stream access to an adjacent floodplain.

Entrenchment ratio is defined as floodprone width divided by bankfull width and is a measure of the stream's ability to access an adjacent floodplain.

(Rosgen, 1996)

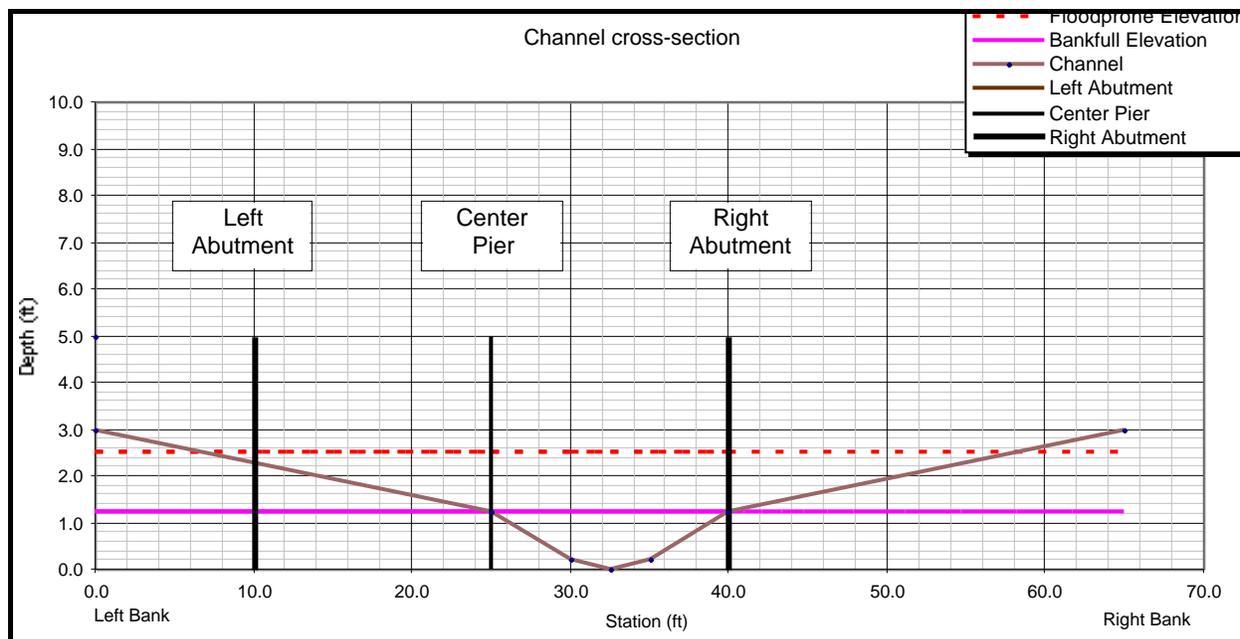


FIGURE 2. DESIGN CHANNEL/FLOODPLAIN CROSS-SECTION

The primary limiting factors to the biological and physical functions of Switzer Creek are direct manipulations of the channel and floodplain during past construction of surrounding roads, utility pipelines, and other infrastructure. In several places the channel and floodplain have been significantly narrowed and/or completely realigned. Large rock has been added to the banks and channel presumably to minimize erosion. Extensive spoil piles limit access to the active floodplain. Steep road embankments contribute to increases sediment supplies. Channel realignments have pushed the channel into dense thickets of Ponderosa pine.

The cumulative impact of these modifications limits the function of the riparian system. Project activities are designed to reverse these conditions.

MITIGATION MEASURES AND POLLUTION CONTROL

Construction will take place to: 1) minimize the chance of flood events, 2) minimize impacts nesting birds, and 3) allow harvesting and planting of local vegetation during or approaching a dormant state.

Excavation equipment can remain outside the channel for most operations. However, operations from the floodplain or terrace will create disturbance to the existing vegetation on these features. All disturbed areas will be reseeded or replanted with native vegetation.

Refueling of all excavation equipment will be restricted to the areas outside the Jurisdictional area and well away from the stream channel.

An archeological survey for cultural resources throughout the project has been completed. However, if any unidentified cultural resources are discovered during construction, all activities will cease until such time as further clearance is given to proceed.

PROPOSED ACTIONS/ASSOCIATED IMPACTS:

Although filling of the channel or floodplain is not the purpose of the project, some discharge will be avoidable during the project. Discharge will occur during the execution of the following activities. All areas referred to in the following descriptions are shown in the aerial photos in Appendix A.

1) CHANNEL RESTORATION:

- a) At “B” an existing headcut will be repaired by installing a low rock weir. The weir will be constructed of native rock and will serve as grade control through the headcut area to minimize future erosion. The top of the structure will remain below floodplain elevation to allow flood flows to spread. Excavation will be completed with a trackhoe and limited to the immediate area around the weir. All disturbed areas will be replanted or reseeded and excess material will be used to fill the headcut or removed from the channel/floodplain area.
- b) Along “C” approximately 250 feet of channel will be realigned to move it 25 feet away from the steep road fill slope. The purpose is to reduce the high sediment loads supplied by the embankment. A trackhoe will excavate a new channel (see Figure 2 for design channel) to design dimensions. Excavated material will be used to construct a floodplain feature along the base of the road embankment. Willows will be planted along the channel to reinforce the bank. All disturbed ground will be reseeded.
- c) Along “D” Some excavation will take place in this area to restore the proper channel dimension to the existing braided channel. Only excavation is expected to be necessary unless there is unsatisfactory substrate beneath the existing channel. In that case appropriate gravel substrate would be brought in to line the channel bottom. The existing channel will be lowered approximately 1.5 feet in elevation to restore a more consistent channel slope and aid sediment transport.
- d) Along “F” a low rock weir will be constructed over an existing pipeline weir. The purpose of the weir will be to recenter stream flow at this point and reduce bank erosion.
- e) The existing channel will be realigned through areas M, N, O, P, & Q. The existing channel runs through relatively thick stands of Ponderosa pine and is often braided and clogged with debris. This almost certainly is not the channels original alignment. It appears that previous filling along Turquoise Drive to the east has forced the channel into the trees. We propose to realign the channel to remain clear of trees and in a more open area. This will entail creating a shallow channel for about 1,000 feet in the new alignment. See Figure 2 for a typical design cross-section. The existing channel will be filled to floodplain elevation using material from the new channel. All disturbed ground will be replanted or reseeded with native vegetation to minimize erosion and sedimentation. This part of the project is included in the urban “Open Space” deeded to the City of Flagstaff.

Associated Effects

Sedimentation Effects: Due to the ephemeral nature of the stream, sedimentation impacts are expected to be short-term and local. All disturbed ground will be replanted or reseeded with native vegetation to minimize erosion and sedimentation.

Machinery Effects: There will be temporary, local disturbance to the projects where excavation takes place. However, these disturbances are the direct result of restoration activities and are designed to improve conditions. All disturbed ground will be replanted or reseeded with native vegetation.

Noise Effects: the use of trackhoes and other machinery will temporarily increase noise levels within the project. However, given the location of the project in a busy urban area, the noise is not expected to be significantly above ambient levels.

Channel Alteration Effects: Excavation and other disturbances along the channel are designed to minimize or eliminate existing impacts. The realignment of the channel will provide a more natural and stable flow of water and sediment. The installation of low rock structures will eliminate erosion and sedimentation at “B” and reduce bank erosion at “F” by centering flow. Overall, channel modifications will remove stressors and restore natural function to the channel.

2) FLOODPLAIN RESTORATION

- a) Along “D” existing spoil piles will be removed and/or reshaped on the floodplain. These piles currently separate the channel from its floodplain and create a split channel during high flows. These actions will restore the floodplain function to this reach. Removal and/or reshaping will be done with heavy machinery and all disturbed areas will be reseeded and/or replanted with native vegetation.
- b) Along “F” existing spoil piles will be removed and/or reshaped on the floodplain. These piles currently separate the channel from its floodplain and create a split channel during high flows. These actions will restore the floodplain function to this reach. Removal and/or reshaping will be done with heavy machinery and all disturbed areas will be reseeded and/or replanted with native vegetation.
- c) Along H, large rock riprap will be selectively removed to aid water/sediment flow and increase aesthetics. Over time large rock has been dumped along banks and floodplain. The rock is much larger than that normally moved by the stream and interferes with water and sediment flow. Individual rocks will be removed by trackhoe stationed outside the channel.
- d) At “N” and “P” existing manholes jut into the active floodplain. Active erosion is occurring around the manholes during overbank flow. The project proposes to fill the area immediately around each manhole to extend the adjacent terrace and reduce erosion. These activities are located away from the active channel. All disturbed areas will be reseeded and/or replanted with native vegetation.

Associated Effects

Sedimentation Effects: These activities will take place outside the active channel. Due to the ephemeral nature of the stream, any sedimentation impacts are expected to be short-term and local. All disturbed ground will be replanted or reseeded with native vegetation to minimize erosion and sedimentation.

Machinery Effects: There will be temporary, local disturbance to the projects where excavation takes place. However, these disturbances are the direct result of restoration activities and are designed to improve conditions. All disturbed ground will be replanted or reseeded with native vegetation.

Noise Effects: the use of trackhoes and other machinery will temporarily increase noise levels within the project. However, given the location of the project in a busy urban area, the noise is not expected to be significantly above ambient levels.

Floodplain Alteration Effects: Excavation and other disturbances along the floodplain are designed to minimize or eliminate existing impacts. The removal of existing spoil piles will restore floodplain function and aesthetics. The removal of large rock will aid in natural fluvial processes. The extension of terraces around manholes will reduce scour and promote better flow across the floodplain. Overall, floodplain modifications will remove stressors and restore natural function to the channel.

3) INSTALLATION OF BRIDGE PIERS.

Four single-pier bridges will be installed at “E”, “G”, “I”, and “K”. The bridges are planned to span the active bankfull stream channel and floodplains. The central pier will be placed within the ACOE jurisdictional area between the active bankfull channel and floodplain. The span between each abutment and the central pier is 15 feet. The 15 feet allows the bridge to completely span the active design channel. The second span will extend maintain the floodplain. The bridges are designed to maintain flow within the natural channel and across the adjacent floodplains (Figure 2). It should be noted that the stream channel is currently constrained at upper and lower ends of the project by passing through existing box culverts and corrugated metal pipe with much less span, clearance, and carrying capacity than the bridges.

Each of the four bridges will require a single pier and footing. Each footing will be approximately 24 inches wide and 30 feet wide. Each footing is approximately 60 square feet in area, the total jurisdictional area to be impacted is 240 square feet. Assuming that the footings will be excavated approximately 3 feet to be below frost and scour depth, the total volume of material would be 3 feet x 240 feet² or 770 feet³ or 26 cubic yards.

Excavation will be accomplished using a trackhoe. Spoil will be removed from the active channel and floodplain areas. All disturbed areas will be replanted and/or reseeded with native vegetation.

Associated Effects

Sedimentation Effects: Due to the ephemeral nature of the stream, any sedimentation impacts are expected to be short-term and local. All disturbed ground will be replanted or reseeded with native vegetation to minimize erosion and sedimentation.

Machinery Effects: There will be temporary, local disturbance to the projects where excavation takes place. However, these disturbances are the direct result of restoration activities and are designed to improve conditions. All disturbed ground will be replanted or reseeded with native vegetation.

Noise Effects: the use of trackhoes and other machinery will temporarily increase noise levels within the project. However, given the location of the project in a busy urban area, the noise is not expected to be significantly above ambient levels.

Channel Alteration Effects: The installation of bridge piers and abutments will maintain the natural bankfull channel width. The width of the existing floodplain will narrow somewhat although the bridge abutments remain outside the ACOE jurisdictional area (Table 2). Although floodprone width is decreased at Bridge #2 & #4, the design width or 30 feet is equal to or greater than many other existing cross-sections. The strong vegetation community and lack of erosion, scour, or other evidence of excess high flow energy in these areas suggests that this width is sufficient to allow flood waters to spread and dissipate.

TABLE 2. BRIDGE SPANS

<u>Bridge Site</u>	<u>Photo Reference</u>	<u>Width of Jurisdictional Area</u>	<u>Floodprone Width</u>
#1	E	27 feet	32 feet
#2	G	27 feet	50 feet
#3	I	29 feet	30 feet
#4	K	32 feet	44 feet

There will be no wetlands filled as a consequence of the project. No perennial waters will be disturbed due to the ephemeral nature of the stream. The jurisdictional area within the project is approximately 125,000 square feet or 2.85 acres. Disturbance within that area due to discharge will cover a maximum area of 4,500 square feet or 0.12 acres. This represents 4.4% of the jurisdictional area within the project. The 90% of the disturbed area (3,860 sq feet) is specifically related to stream restoration activities.

SPECIAL SPECIES IDENTIFICATION:

Sensitive species lists for Coconino County (Table 3) was obtained from the U.S. Fish and Wildlife Service website. A list of species expected to be found in the specific vicinity of the project site (Table 4) was developed through the Arizona Department of Game and Fish Heritage Data Management System. Although a number of endangered species occur in Coconino County, only Mexican spotted owl is likely to be present in the immediate vicinity of the project. The ephemeral flow regime of Switzer Wash eliminates all aquatic species (Apache trout, California Brown pelican, Chiricahua leopard frog, Humpback chub, Kanab ambersnail, Little Colorado spinedace, Razor back sucker, and Gila chub). The project's urban setting, elevation and habitat needs eliminates several additional species such as Bald eagle (lack of water,

Table 3. Sensitive Species List: US Fish and Wildlife Service

A search of the County Species Lists for Coconino County on the US Fish and Wildlife Service website yielded the following species:

Apache trout	<i>Oncorhynchus apache</i>	Threatened
Bald eagle	<i>Haliaeetus leucocephalus</i>	Threatened
Black-footed ferret	<i>Mustela nigripes</i>	Endangered
Brady pincushion cactus	<i>Pediocactus bradyi</i>	Endangered
California Brown pelican	<i>Pelecanus occidentalis californicus</i>	Endangered
California condor	<i>Gymnogyps californianus</i>	Endangered
Chiricahua leopard frog	<i>Rana chiricahuensis</i>	Threatened
Humpback chub	<i>Gila cypha</i>	Endangered
Kanab ambersnail	<i>Oxyloma haydeni kanabensis</i>	Endangered
Little Colorado spinedace	<i>Lepidomeda vittata</i>	Threatened
Mexican gray wolf	<i>Canus lupus</i>	Endangered
Mexican spotted owl	<i>Strix occidentalis lucida</i>	Threatened
Navajo sedge	<i>Carex specuicola</i>	Threatened
Razor back sucker	<i>Xyrauchen texanus</i>	Endangered
San Francisco Peaks groundsel	<i>Senecio franciscanus</i>	Threatened
Sentry milk-vetch	<i>Astragalus cremnophylax</i>	Endangered
Siler pincushion cactus	<i>Pediocactus sileri</i>	Threatened
Southwestern willow flycatcher	<i>Empidonax trailii extimus</i>	Endangered
Welsh's milkweed	<i>Asclepias welshii</i>	Threatened
Gila chub	<i>Gila intermedia</i>	Proposed Endangered
Fickeisen plains cactus	<i>Pediocactus peeblesiansus</i>	Candidate Species
Yellow-billed cuckoo	<i>Coccyzus americanus</i>	Candidate Species
<u>Conservation Agreement</u>		
Arizona bugbane	<i>Cimicifuga arizonica</i>	
Paradine plains cactus	<i>Pediocactus paradinei</i>	

Table 4. Sensitive Species List: Heritage Data Management System (Arizona Department of Game and Fish)

A search of the Arizona Department of Game and Fish's (AZGF) Heritage Data Management System indicated that the following species have been documented in the project vicinity. No Critical Habitats are within the project area.

<u>COMMON NAME</u>	<u>SCIENTIFIC NAME</u>	STATUS				
		<u>ESA</u>	<u>USFS</u>	<u>BLM</u>	<u>WSCA</u>	<u>NPL</u>
Northern Goshawk	<i>Accipiter gentilis</i>	SC	S		WSC	
Rusby's milk-vetch	<i>Astragalus rusbyi</i>		S			
Bearded gentian	<i>Gentianopsis barbellata</i>		S			
Allen's big-eared bat	<i>Idionycteris phyllotis</i>	SC		S		
Long-eared myotis	<i>Myotis evotis</i>	SC		S		
Occult little brown bat	<i>Myotis lucifugus occultus</i>	SC		S		
Fringed myotis	<i>Myotis thysanodes</i>	SC		S		
Long-legged myotis	<i>Myotis volans</i>	SC		S		
Rocky Mt. bristlecone	<i>Pinus aristata</i>					SR
Northern leopard frog	<i>Rana pipiens</i>		S		WSC	
Blumer's dock	<i>Rumex orthoneurus</i>	SC	S			HS
Mexican spotted owl	<i>Strix occidentalis lucida</i>	LT	S		WSC	

ESA: Endangered Species Act

- LE: Listed Endangered
- LT: Listed Threatened
- XN: Experimental Noessential population
- PE: Proposed Endangered
- PT: Proposed Threatened
- C: Candidate species
- SC: Species of concern

USFS: US Forest Service

- S: Sensitive

BLM: Bureau of Land Management

- S Sensitive
- P Populations

WSCA: Wildlife of Special concern in Arizona; AZ Game and Fish Dept.

- WSC: Wildlife of Concern

NPL: Arizona Native Plant Law; AZ Dept. of Agriculture

- HS Highly Safeguarded
- SR Salvage Restricted
- ER Export Restricted
- SA Salvage Assessed
- HR Harvest Restricted

urbanized area), Black-footed ferret (requires large open grasslands), Brady pincushion cactus (lower elevation), Navajo sedge (seep springs 5700 - 6000 feet elevation), San Francisco Peaks groundsel (+ 10,900 feet elevation), Sentry milk-vetch (Pinyon-juniper-cliffrose habitat), Siler pincushion cactus (2,800 - 5,400 feet elevation, desert scrub), Southwestern willow flycatcher (dense cottonwood/willow/tamarisk streamside communities), and Welsh's milkweed (desertscrub sand dunes). Information on specific species was collected on the U.S. Fish and Wildlife Service website.

These conclusions are consistent with the database listing from the AZGF Heritage Data Management System (Table 4). That database suggests that Mexican spotted owl may be found near the project. However, a conversation with local biologist (T. Parker, USFS) suggests that due to a lack of small mammal habitat, lack of water, and being located in an open setting within a busy urban area, the project does not contain suitable habitat for the spotted owl. The nearest known owl Potential Action Centers (PACs) are located at Mt. Elden and Dry Lake, both several miles away and are located in non-urban, remote settings associated with water sources.

DETERMINATION OF EFFECTS:

Based on the location of the project within an urban setting and with past human disturbances, it is our conclusion that the Switzer Wash project site does not contain suitable habitat for any Federally listed species and will have “no effect” on any listed species or their habitats.

REFERENCES

Arizona Dept. of Game and Fish, 2002. Heritage Data Management System , 2221 W. Greenway Rd, Phoenix, AZ 85023.

Rosgen, D.L., 1996. Applied river morphology. Wildlands Hydrology, Pagosa Spring, CO.

Parker, T. R., 2002. Personal communication. Wildlife Biologist, U.S.D.A. Coconino National Forest, Flagstaff, AZ.

U.S. Fish and Wildlife Service. Spring 1998. Endangered and Threatened Species of Arizona. 2321 W. Royal Palm Rd., Suite 103, Phoenix, AZ 85021.

Appendix A

Project Activities

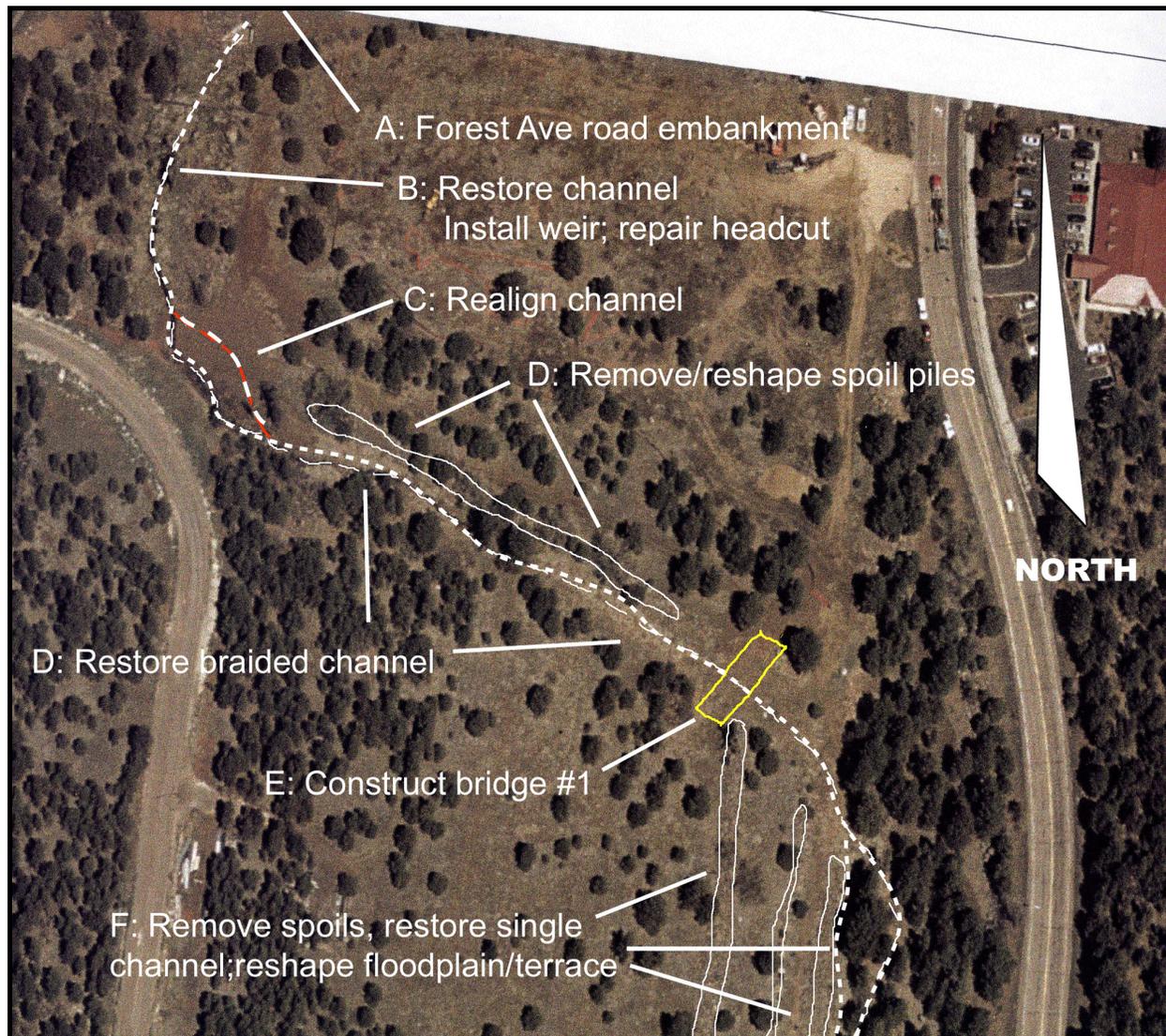


Figure A1. Aerial Photo: North portion of Project Area

- A. Existing box culvert and road embankment at Forest Avenue. Terrace slope to reduce sediment, revegetate with native species. Outside jurisdictional area.
- B. Restore channel dimension to braided channel section resulting from high upstream sediment supply. Install low rock weir and restore channel dimension to headcut/gully (Figure 5).
- C. Realign channel away from high road embankment to reduce sediment impacts (Figure 6). Within jurisdiction.
- D. Remove and/or reshape spoil piles to restore floodplain shape and dimension (Figure 7). Partially within jurisdictional area. Excavate braided channel as needed to restore natural dimension (Figure 7). Recontour and lower channel approximately 1.5 feet at between XS1 and Bridge site #1 (E in Figure 1)) to match channel slopes above and below. There is an existing sewer line that crosses the channel here (see Jurisdictional area report and plan views) and it appears may be responsible for the higher channel thalweg elevation. This task will not result in any additional fill within the jurisdictional area.
- E. Bridge site #1. One or two concrete piers will be constructed as far from bankfull channel as possible. See Figure 9.

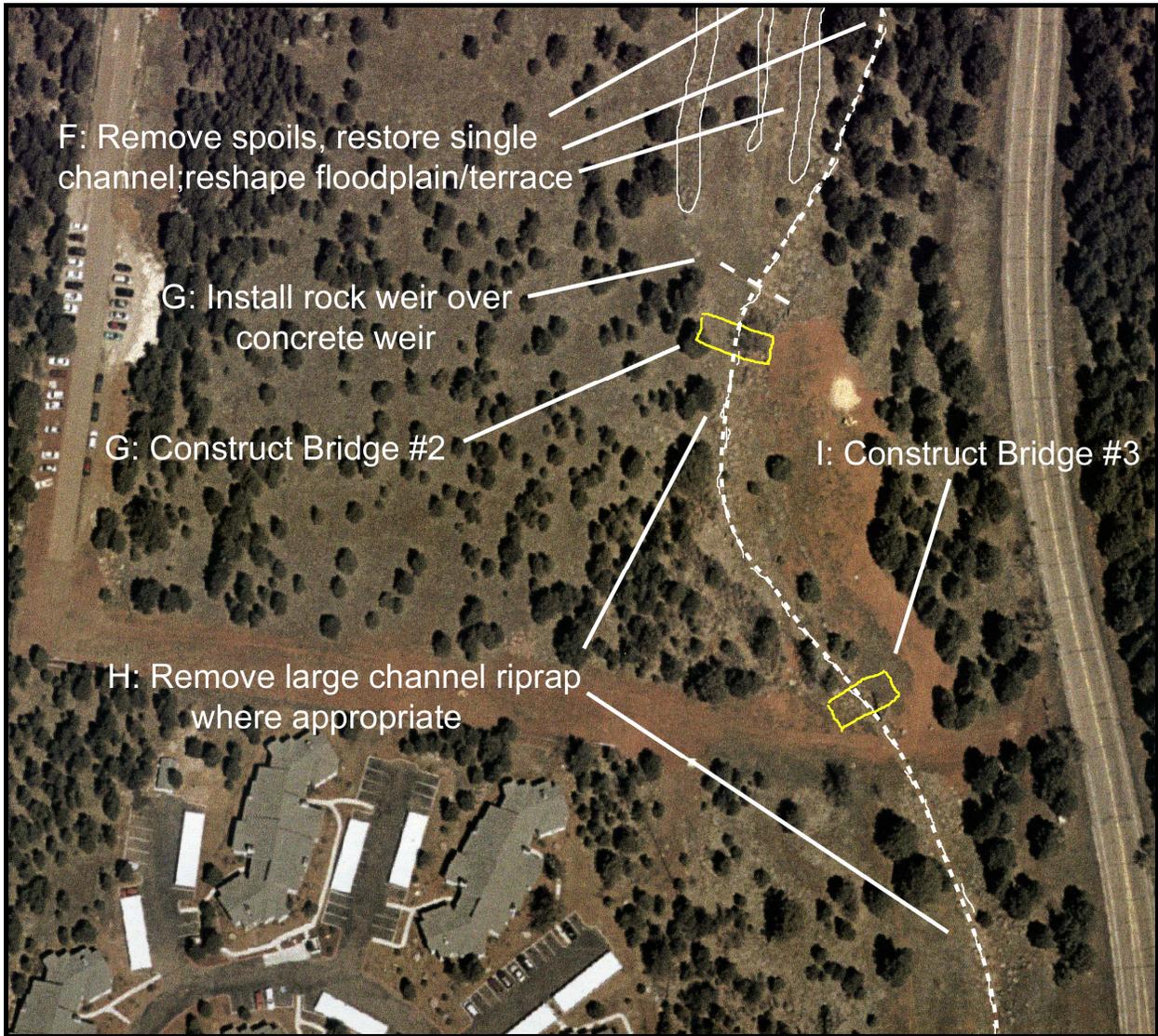


Figure A2. Aerial Photo: North-central portion of Project Area

F. Remove/reshape spoils. Outside jurisdictional area.

G. Bridge site #2. One or two concrete piers will be constructed as far from bankfull channel as possible. See Figure 10.

H. Remove or reshape large rock riprap in channel as necessary, leave smaller material.

I. Bridge site #3. One or two concrete piers will be constructed as far from bankfull channel as possible. See Figure 11.

An existing concrete weir protects a water line that crosses at G just below bridge site #2 (Figure 2). A flat concrete sill has been constructed on top of the water line to protect it from scour. The wide, flat sill widens the channel, disturbs sediment flow, and creates scour upstream. We propose to install a cross-vane rock weir at this point to center the flow and improve sediment transport. Scour holes above the weir will be brought up to channel grade. The structure will rise only to floodplain elevation and have a “V” shape with the point aimed upstream. The design is similar to the weir planned for area A of the project. The weir will be constructed of approximately 5 cubic yards of local native rock.



Figure A3. Aerial Photo: South-central portion of Project Area

- J. Remove or reshape large rock riprap in channel as necessary, leave smaller material. Excavation only.
- K. Bridge site #4. One or two concrete piers will be constructed as far from bankfull channel as possible. Potentially within jurisdictional area. See Figure 12.
- L. Repair terrace where erosion has exposed a large concrete manhole. Revegetate terrace banks. Outside jurisdictional area.
- M. Remove concrete rubble and other trash from terrace edge. Outside jurisdictional area.
- N. Realign channel slightly to west to allow terrace to be extended to enclose tall exposed concrete manhole (see Figure 8). Within jurisdictional area.



Figure A4. Aerial Photo: Southern portion of Project Area

- O. Remove concrete rubble and other trash from terrace edge. Outside jurisdictional area.
- P. Repair terrace where erosion has exposed a large concrete manhole. Revegetate terrace banks. Outside jurisdictional area.
- Q. All along the channel though areas M, N, O, P, & Q the existing channel runs through relatively thick stands of ponderosa pine. In these areas the channel is often braided and clogged with debris. This almost certainly is not the channels original alignment. It appears that previous filling along Turquoise Drive to the east has forced the channel into the trees. We propose to realign the channel to remain clear of trees and in a more open area. This will entail creating a shallow channel for about 1,000 feet in the new alignment. See Figure 2 for a typical design cross-section. The existing channel will be filled to floodplain elevation using material from the new channel. Approximately 500 cubic yards of material will be excavated. We estimate that approximately 300 cubic yards will need to be discharged to fill the existing channel(s). This part of the project is included in the urban "Open Space" deeded to the City of Flagstaff.



Figure A5. Small channel headcut at “B” on site map.



Figure A6. Steep road embankment at “C” adds excessive sediment to stream channel. Proposed action is to realign 150 ft of channel away from embankment. Area “C” on site map.



Figure A7. Large rock spoil piles along the floodplain at “D” on site map. Spoil material will be removed and/or smoothed to restore the floodplain.



Figure A8. Existing manhole lies exposed in floodplain. Left terrace will be extended to include manhole to improve aesthetics and reduce floodplain scour. Area “N” on site map.



Figure A9. Bridge site #1 at Area “E”. Looking downstream.



Figure A10. Bridge site #2 at “G”. Looking downstream.



Figure A11. Bridge site #3 at Area “I”. Photo taken looking upstream.

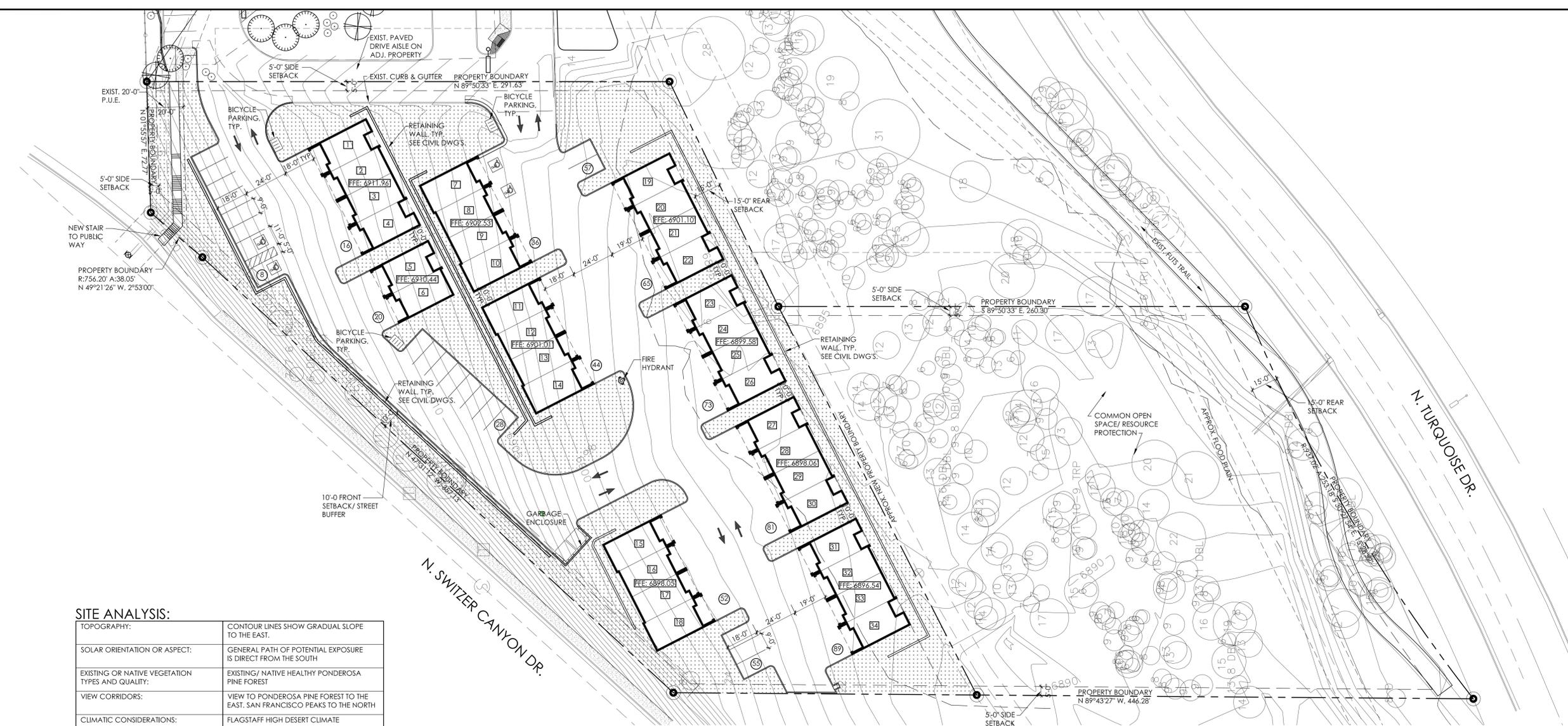


Figure A12. Bridge site #4 at Area “K”. Photo taken looking downstream.

THIS DOCUMENT, THE IDEAS AND DESIGNS HEREIN AS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF SMITH ARCHITECTS, AND IS NOT TO BE USED IN WHOLE OR PART WITHOUT WRITTEN AUTHORIZATION OF SMITH ARCHITECTS.

PRELIMINARY
 NOT FOR CONSTRUCTION OR RECORDING

DRAWN BY: T. SCANTLEBURY
REVIEW BY: R. SMITH
PROJECT NO.: _____
DATE: 2020-21
DATE: FEBRUARY 1, 2022
SHEET: _____



SITE ANALYSIS:

TOPOGRAPHY:	CONTOUR LINES SHOW GRADUAL SLOPE TO THE EAST.
SOLAR ORIENTATION OR ASPECT:	GENERAL PATH OF POTENTIAL EXPOSURE IS DIRECT FROM THE SOUTH
EXISTING OR NATIVE VEGETATION TYPES AND QUALITY:	EXISTING/ NATIVE HEALTHY PONDEROSA PINE FOREST
VIEW CORRIDORS:	VIEW TO PONDEROSA PINE FOREST TO THE EAST. SAN FRANCISCO PEAKS TO THE NORTH
CLIMATIC CONSIDERATIONS:	FLAGSTAFF HIGH DESERT CLIMATE
SUBSURFACE CONDITIONS:	UNKNOWN
DRAINAGE SWALES AND STREAM CORRIDORS:	FLOOD ZONES AE AND AE FLOODWAY (SHOWN)
BUILT ENVIRONMENT AND LAND USE CONTEXT:	N: EXIST. YMCA FACILITY S: VACANT LOT E: EXIST. SINGLE FAMILY RESIDENCES W: VACANT LOT

LANDSCAPING CALCULATIONS:

STREET BUFFER @ N. SWITZER CANYON DR.:	PARKING LOT INTERIOR:
395' LINEAR FEET STREET BUFFER	50 SINGLE LOADED PARKING SPACE
REQUIRED: 1 TREE PER 25 LINEAR FEET 2 SHRUBS PER TREE 2 GROUNDCOVERS PER TREE	REQUIRED: 2 TREES PER 8 PARKING SPACES 2 SHRUBS PER TREE 2 GROUNDCOVERS PER TREE
395 / 25 = 16 TREES REQ'D. 16 x 2 = 32 SHRUBS REQ'D. 16 x 2 = 32 GROUNDCOVERS REQ'D.	50 / 8 = 6.5 x 2 = 13 TREES REQ'D. 13 x 2 = 26 SHRUBS REQ'D. 13 x 2 = 26 GROUNDCOVERS REQ'D.
TOTAL PROPOSED: 12 TREES 24 SHRUBS 24 GROUNDCOVERS	TOTAL PROPOSED: 13 TREES 26 SHRUBS 26 GROUNDCOVERS
LANDSCAPING WILL BE LOCATED IN LANDSCAPE PENINSULAS	
BUILDING FOUNDATION: 200 LINEAR FEET PER BUILDING = 1700 L.F.	RESIDENTIAL ZONE BUFFER : 857 LINEAR PERIPHERAL BUFFER
REQUIRED: 1 TREE PER 25 LINEAR FEET 2 SHRUBS PER TREE 2 GROUNDCOVERS PER TREE	REQUIRED: 1 TREE PER DWELLING UNIT 2 SHRUBS PER TREE 2 GROUNDCOVERS PER TREE
1700 / 25 = 68 TREES REQ'D. 68 x 2 = 136 SHRUBS REQ'D. 68 x 2 = 136 GROUNDCOVERS REQ'D.	34 x 1 = 34 TREES REQ'D. 34 x 2 = 68 SHRUBS REQ'D. 34 x 2 = 68 GROUNDCOVERS REQ'D.
TOTAL PROPOSED: 68 TREES 136 SHRUBS 136 GROUNDCOVERS	TOTAL PROPOSED: 34 TREES 68 SHRUBS 68 GROUNDCOVERS

LANDSCAPING NOTES:

1. EXISTING TREES CREDITED TOWARDS LANDSCAPING WILL BE DEFINED AND CALCULATED FOR SITE PLAN APPLICATION

1 ARCHITECTURAL SITE PLAN

SCALE: 1"=30'

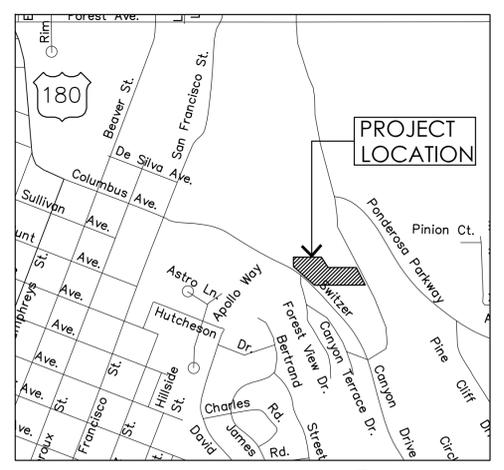
THIS SITE IS LOCATED WITHIN THE RESOURCE PROTECTION OVERLAY ZONE
 COORD. w/ CIVIL DRAWINGS PREPARED BY SWI, INC., FOR ALL SITE, & UTILITY IMPROVEMENTS, & RESOURCE PROTECTION, TYP.

SITE PLAN LEGEND

- APPROX. PERIMETER OF NEW BLDG. FOOTPRINT
- APPROX. NEW LANDSCAPE AREA

GENERAL PROJECT DATA

PROJECT DESCRIPTION:	NEW HOUSING DEVELOPMENT CONSISTING OF 34 TOWNHOUSE UNITS AND ASSOCIATED PARKING ON EXIST. VACANT SITE	BUILDING SETBACKS:	FRONT: 10'-0" INTERIOR SIDE YARD: 5'-0" STREET SIDE YARD: 5'-0" REAR: 15'-0"
SITE ADDRESS:	800 N. SWITZER CANYON DRIVE FLAGSTAFF AZ, 86001	ALLOWED BUILDING HEIGHT (MAX.):	60'
PROPERTY OWNER:	AXXO HOLDINGS, LLC 824 W BIRCH AVE. FLAGSTAFF, AZ 86001 CONTACT/ DEVELOPER: MATT PEACE	PROPOSED BUILDING HEIGHT:	36' (30' TO EAVE)
ARCHITECT:	SMITH ARCHITECTS, INC 1503 S. YALE ST., SUITE 200 FLAGSTAFF, AZ 86001 CONTACT: RYAN SMITH	DENSITY (UNITS/ ACRE):	MIN.: 20 UNITS MAX.: 110 UNITS
APN:	101-28-005H	BUILDING AREAS:	UNIT A: 1,225 S.F. UNIT B: 1,039 S.F.
ZONING DISTRICT:	HR	COMMON OPEN SPACE:	REQUIRED: 15% OF GROSS LOT AREA = 13,194 S.F. PROVIDED: = 56,686 S.F.
EXIST. SITE AREA:	3.32 ACRES (144,665 S.F.)	GARBAGE COLLECTION:	(1) NEW DOUBLE DUMPSTER ENCLOSURE
NEW. SITE AREA:	2.0 ACRES (87,965 S.F.)	SIGNAGE:	UNDER SEPARATE PERMIT
PARKING REQUIRED (BEFORE REDUCTIONS):	34 NEW 2-3 BDRM. BLDGS. (2 PER 2-3 BDRM.): = 68 SPACES GUEST PKG.: 25 SP./2+ UNIT: = 8.5 SPACES TOTAL REQUIRED: 77 SPACES	OCCUPANCY GROUP:	R-2
POSSIBLE PARKING REDUCTIONS (IF REQUIRED):	BICYCLE PARKING: * A REDUCTION OF ONE SPACE FOR EACH FOUR BICYCLE SPACES PROVIDED TO A MAX. OF 5% OF THE REQUIRED MOTOR VEHICLE SPACES 12 BICYCLE SPACES PROVIDED 3 PARKING SPACE REDUCTION TOTAL REQUIRED WITH REDUCTIONS 77-3 = 74 SPACES	CONSTRUCTION TYPE:	V-B SPRINKLERED
PARKING PROVIDED:	85 STANDARD VEHICLE SPACES 4 ACCESSIBLE SPACES 89 TOTAL VEHICLE SPACES 12 BICYCLE SPACES		





Planning & Zoning Commission

6. B.

Meeting Date: 09/28/2022

From: Tiffany Antol, Senior Planner

Information

TITLE:

PZ-19-00248: Request for a work session with the Planning and Zoning Commission to discuss the City's proposed amendment to the Zoning Code to modify the existing Outdoor Lighting Standards (Division 10-50.070).

STAFF RECOMMENDED ACTION:

The work session with the Planning and Zoning Commission is required as a "Citizen Review Session" in compliance with Section 10-20.50.040 (Procedures) of the Zoning Code and applicable state law. The purpose of the work session is for staff to present an overview of the proposed amendment, to allow interested residents to provide their ideas, suggestions, and concerns, and for the Commission to ask questions, seek clarification, and discuss the amendment, as well as offer alternate suggestions and ideas. The Commission will take no action at this work session. After the work session, staff will revise the proposed amendment. The amendment will then be presented to the Commission at a public hearing for consideration and action. Once a recommendation is received, a public hearing will be scheduled with the City Council. The anticipated timeline for the amendments is as follows:

- October 4, 2022 - City Council Work Session
- October 12, 2022 – Planning and Zoning Commission Public Hearing
- November 1, 2022 –City Council Public Hearing (1st Reading of Ordinance)
- November 15, 2022 – Potential City Council Public Hearing (2nd Reading of Ordinance/Adoption)

Executive Summary:

- Does the Planning and Zoning Commission have any recommended modifications or considerations on the proposed Zoning Code Text Amendment?
-

Attachments

Staff Report

Application

Draft Outdoor Lighting Standards

Narrative and Regional Plan Analysis

Public Participation Plan/Report



**Community Development Department
Planning and Development Services**

Date: August 31, 2022
TO: Planning and Zoning Commission
FROM: Tiffany Antol, AICP, Zoning Code Manager
Through: Michelle McNulty, Planning Director
Alexandra Pucciarelli, Current Planning Manager
RE: Planning and Zoning Commission Work Session

1. **Request:**

Case No. PZ-19-00248: Request for a work session with the Planning and Zoning Commission to discuss the City's proposed amendment to the Zoning Code to modify the existing Outdoor Lighting Standards (Division 10-50.070).

2. **Purpose of the Work Session:**

The work session with the Planning and Zoning Commission is required as a "Citizen Review Session" in compliance with Section 10-20.50.040 (Procedures) of the Zoning Code and applicable state law. The purpose of the work session is for staff to present an overview of the proposed amendment, to allow interested residents to provide their ideas, suggestions, and concerns, and for the Commission to ask questions, seek clarification, and discuss the amendment, as well as offer alternate suggestions and ideas. The Commission will take no action at this work session. After the work session, staff will revise the proposed amendment. The amendment will then be presented to the Commission at a public hearing for consideration and action. Once a recommendation is received, a public hearing will be scheduled with the City Council. The anticipated timeline for the amendments is as follows:

- October 4, 2022 – City Council Work Session
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- November 15, 2022 – Potential City Council Public Hearing (2nd Reading of Ordinance/Adoption)

3. **Planning and Zoning Commission Questions:**

For your reference, below is the question that staff is seeking the Planning and Zoning Commission's comments and direction.

- Does the Planning and Zoning Commission have any recommended modifications or considerations on the proposed Zoning Code Text Amendment?

4. **Overview of Proposed Amendment:**

The proposed amendment (Attachment 1) includes multiple changes to the Zoning Code. New provisions are being added, and several existing regulations are being deleted or modified. The most significant of the modifications include:

- Removing Lighting Zone 3;
- Modifying standards to accommodate LED light sources;
- Adjusting allowed lumens to accommodate LED light sources;
- Modifying the definition for Narrow Spectrum Amber LED;

The proposed amendment includes:

Purpose (Section 10-50.70.010):

- The purpose has been updated and shortened to focus on the primary intent of the standards.

Compliance with the Zoning Code and Permit Requirements (Section 10-50.70.020):

- This section has been completely revised to provide detailed language about permitting requirements.

Applicability (10-50.70.030):

- The requirements in this section have been streamlined and reorganized with minimal substantive changes.

Establishment of Lighting Zones (10-50.70.040):

- The primary change is converting three lighting zones to two lighting zones as well as providing written descriptions of the lighting zones instead of relying solely on the Lighting Zone map.

General Requirements – All Lighting Zones (10-50.70.050)

- The requirements in this section have been streamlined and reorganized with minimal substantive changes.
- The Maximum Total Outdoor Light Output Standards has been replaced and updated to include the absolute lumens for LEDs. The previous table included a foot note with a multiplier to be used for LEDs. That footnote is removed and the total lumens are adjusted based on that multiplier since the majority of lights used today are LED.
- Shielding Standards table is replaced to reflect current table design in the rest of the code and to remove Lighting Zone 3.
- Remainder of modifications fall under the 1st bullet.

Special Uses (10-50.70.060)

- Add new provisions for building lights located under canopies, building overhangs and roof eaves. This provides an incentive to reduce the lumens counted towards the further under a building features the lighting fixture is located. This has always been common practice for gas canopies but is not extended to other buildings.

Exceptions (10-50.70.080)

- Minor changes to the airport lighting section – to be specific that this provision does not apply to private helipads or landing strips.
- Clarifications to holiday lighting.

Residential Exemptions (10-20.60.040)

- This sections clarifies that when a legal nonconforming residence is rebuilt it must still comply with these standards.

Definitions “F” (10-80.20.060):

- Correction to existing definition

Definitions “L” (10-80.20.120):

- Revises the definition of Narrow Spectrum Amber LED (NSLED) to have a peak wavelength between 589 and 595.

Definitions “O” (10-80.20.150):

- Replaces the defintioin of Total Outdoor Light Output

5. **Findings:**

At the October 12, 2022 Planning and Zoning Commission meeting, the Commission will be requested to make a recommendation to the City Council on the proposed amendments based on the required findings specified in the Zoning Code. For your reference and discussion purposes, the required findings are specified below:

1. The proposed amendment is consistent with and conforms to the objectives and policies of the General Plan and any applicable specific plan;
2. The proposed amendment will not be detrimental to the public interest, health, safety, convenience, or welfare of the City; and
3. The proposed amendment is internally consistent with other applicable provisions of this Zoning Code.

6. **Community Involvement**

In accordance with Arizona Revised Statutes and the Zoning Code, the work session before the Planning and Zoning Commission was advertised in the Arizona Daily Sun on Saturday September 10, 2022, which is 18 days before the scheduled meeting date.

As of the date of this memorandum, staff has only received one public comment in support of the proposed amendment.

Conclusion:

As indicated above, the purpose of the work session is for staff to present an overview of the Zoning Code's proposed amendment and allow interested individuals, residents, and business owners to provide comments. The work session also allows the Commission to ask questions, seek clarification, have discussions, and offer comments on the proposed amendment. No formal recommendation or action by the Commission to the City Council is to occur at the work session. Additional opportunities for discussion, public comment, and action by the Commission will occur at a future public hearing.

Attachments:

1. Application
2. Case No. PZ-19-00248: Outdoor Lighting Standards
3. Narrative and Regional Plan Analysis

4. Public Participation Plan



City of Flagstaff

Community Development Division

211 W. Aspen Ave
 Flagstaff, AZ 86001
 www.flagstaff.az.gov

P: (928) 213-2618
 F: (928) 213-2609

Date Received 8/31/22		Application for Zoning Code Text Amendment		File Number P2-19-00248
Applicant(s)/Property Owner(s) City of Flagstaff Planning Director – Michelle McNulty		Title Michelle McNulty	Phone 928-213-2607	Email Michelle.McNulty@Flagstaffa.gov
Mailing Address 211 West Aspen Avenue		City, State, Zip Flagstaff, AZ 86004		
Representative (If applicable) Tiffany Antol		Title Zoning Code Manager	Phone 928-213-2605	Email tantol@flagstaffaz.gov
Mailing Address Same as above		City, State, Zip		

Property Address N/A	City, State, Zip
-----------------------------	-------------------------

Application Name: Outdoor Lighting
Zoning Code Text Amendment
Chapter Name and Number: Chapter 10.50 Supplemental to Zones
Division Name and Number: Chapter 10-50.70 Outdoor Lighting Standards
Section Name and Number:
Chapter Name and Number:
Division Name and Number:
Section Name and Number:
Chapter Name and Number:
Division Name and Number:
Section Name and Number:

Additional Information:

Owner's Signature (required) <i>Michelle McNulty</i>	Date: 8/31/22	Representative Signature (If applicable) <i>Tiffany Antol</i>	Date: 8-31-22
For City Use			
Date Filed:	File Number(s):	Fee Receipt Number:	
P & Z Hearing Date:	Publication and Posting Date:	Amount:	
Council Hearing Date:	Publication and Posting Date:	Date:	
Received by:	Comments:		

Case No. PZ-21-00066 Outdoor Lighting Standards

Division 10-50.70: Outdoor Lighting Standards

Sections:

10-50.70.010	Purpose
10-50.70.020	Conformance with Applicable Codes Compliance with the Zoning Code and Permit Requirements
10-50.70.030	Applicability
10-50.70.040	Establishment of Lighting Zones
10-50.70.050	General Requirements – All Lighting Zones
10-50.70.060	Special Uses
10-50.70.070	Prohibited Outdoor Lighting
10-50.70.080	Exceptions
10-50.70.090	Nonconforming Outdoor Lighting
10-50.70.100	Violations and Enforcement

10-50.70.010 Purpose

A.—~~The City was recognized as the world's first International Dark Sky City on October 24, 2001, for its pioneering work in the development and implementation of lighting codes that balance the need to preserve Flagstaff's dark sky resource with the need for safe lighting practices. The purpose of this division is to help assure that dark skies remain a resource to be enjoyed by the Flagstaff community and its visitors, and to provide safe and efficient outdoor lighting regulations that protect Flagstaff's dark skies from careless and wasteful lighting practices. Dark starry nights, like natural landscapes, forests, clean water, wildlife, and clear unpolluted air, are valued in many ways by the residents of this community, and they provide the natural resource upon which our world renowned astronomical industry depends.~~

B.—~~The use of outdoor lighting is often necessary for adequate nighttime safety and utility, but common lighting practices can also interfere with other legitimate public concerns. Principal among these concerns is:~~

- ~~1.—The degradation of the nighttime visual environment by production of unsightly and dangerous glare;~~
- ~~2.—Lighting practices that produce excessive glare and brightness that interfere with the health and safety of Flagstaff's citizens and visitors;~~

3.—Unnecessary waste of energy and resources in the production of too much light or wasted light;

4.—Interference in the use or enjoyment of property that is not intended to be illuminated at night by light trespass, and the loss of the scenic view of the night sky due to increased urban sky glow; and

5.—The impact of inappropriately designed outdoor lighting that disrupts nocturnal animal behavior, particularly migrating birds and other species.

C.—The concerns of safety, utility, dark sky protection and aesthetic appearance need not compete. Good modern lighting practices can provide adequate light for safety and utility without excessive glare or light pollution. Careful attention to when, where and how much night time lighting is needed results in better lighting practices, darker skies and reduced energy use and costs.

D.—It is therefore the intent of this division to encourage lighting practices and systems that will:

1.—Minimize light pollution, glare, light trespass;

2.—Conserve energy and resources while maintaining night time safety, utility, security, and productivity; and

3.—Curtail the degradation of the night time visual environment.

E.—It is recognized that since topographic and atmospheric conditions surrounding the City are uniquely suited for astronomical observation and since observatories have been established in the City's vicinity, the City promotes the reduction of light pollution which interferes with the successful operation of these observatories.

F.—The sensitivity of different areas to the different obtrusive impacts of outdoor lighting use depends on many factors, including the dominant use of the area (e.g., residential, industrial, or commercial). Further, the effect of outdoor lighting on light pollution to the observatories is strongly dependent on the distance of those lights from the observatories. Therefore, three lighting zones are established, with varying standards designed to address the principal issues associated with the different areas.

A. The City was recognized as the world's first International Dark Sky City on October 24, 2001, for its pioneering development and implementation of lighting codes that balance the need to preserve Flagstaff's dark sky resource with the need for safe outdoor lighting practices. This division is to help assure that dark skies remain a resource to be enjoyed by the Flagstaff community and its visitors, minimize light pollution and light trespass across property lines, maintain an environment that the

City's astronomical industry depends upon, reduce energy consumptions, minimize the potential disruption to nocturnal ecosystems, and to allow safe and efficient outdoor lighting.

10-50.70.20 Conformance with Applicable Codes

~~All outdoor lighting fixtures shall be installed in conformance with the provisions of this division and the applicable building codes currently in effect in the City under appropriate permit and inspection.~~

10.50.70.020 Compliance with the Zoning Code and Permit Requirements

A. An Outdoor Lighting Permit shall be obtained prior to the installation, modification, or replacement of any Outdoor Light Fixture subject to Section 10-20.40.100.

- 1. Any modification of an existing Outdoor Light Fixture shall comply with this division.**
- 2. All outdoor lighting shall be installed in compliance with the provisions of this Division 10-50.70; Title 4, Building Regulations; and Title 5, Fire Code of the City Code.**

10-50.70.030 Applicability

~~A. **Existing Buildings and Uses.** Any new outdoor lighting installed on a building or parcel shall meet the requirements of this division with regard to shielding and lamp type. The total outdoor light output after the new outdoor lights are installed shall not exceed that legally nonconforming or pre-approved on the site before the modification, or as permitted by this division, whichever is larger.~~

A. New Development and Parking Areas. The provisions of this division shall apply to any new development of a vacant lot or parcel and any installation of outdoor lighting to support that development, including parking areas and areas within an unenclosed parking garage.

~~B. **New Uses, Buildings and Major Additions or Modifications.**~~

- ~~1. The requirements of this division apply to any and all new and major additions to land uses, developments, buildings or structures.~~
- ~~2. If a major addition occurs on a property, the entire property shall comply with the requirements of this code. For purposes of this section, the following are considered to be major additions:
 - ~~a. Additions of 25 percent or more in terms of additional dwelling units, gross floor area, seating capacity, or parking spaces, either with a single addition or with cumulative additions subsequent to the effective date of this provision; or~~~~

~~b. Single or cumulative modification or replacement of outdoor legally installed lighting fixtures constituting 25 percent or more of the lumens that would be permitted under this division for the property, no matter the actual amount of lighting already on a nonconforming site, constitutes a major addition for purposes of this section.~~

B. Major Additions, Modifications, Replacements, and Change of Use. The provisions of this division shall apply to all major additions, modifications, replacements, or change of use. The entire property shall comply with the requirements of this division when any of the following occur:

1. A major addition shall be defined as an addition of 25 percent or more in terms of additional dwelling units, gross floor area, seating capacity, or parking spaces, either with a single addition or with cumulative additions after the effective date of this provision; or
2. Single or cumulative modifications or replacements of legally installed Outdoor Light Fixtures after August 5, 1999, constituting 25 percent or more of the Lumens that would be permitted under this division for the property, regardless of the Total Outdoor Light Output currently existing on a site.

~~C. **Minor Additions or Modifications.** Additions or modifications of less than 25 percent in terms of additional dwelling units, gross floor area, seating capacity, or parking spaces to existing uses shall require the submission of a complete inventory and site plan detailing all existing and any proposed new or modified outdoor lighting. Any new or modified outdoor lighting on the site shall meet the requirements of this division with regard to shielding and lamp type; the total amount of lighting after the modifications are complete shall not exceed that on the site before the modification, or that permitted by this division, whichever is larger.~~

C. Minor Additions, Modifications, Replacements, and Change of Use. The provisions of this division shall not apply to minor additions (less than 25% as referenced above), modifications, replacements, or change of use after August 5, 1999, except for the following:

1. All new or modified Outdoor Light Fixtures shall comply with the requirements of this division.
2. The Total Outdoor Light Output shall not exceed the amount allowed by this division, or the total legal non-conforming light output, whichever is greater.

D. ~~Change of Use.~~

~~1. Except as provided in Section 10-20.60.080, Nonconforming Outdoor Lighting, whenever the use of any existing building, structure or premises is intensified through the incorporation of~~

~~additional dwelling units, gross floor area, seating capacity, or other units of measurement which create a need for an increase in the total number of parking spaces of 25 percent or more either with a single change or cumulative changes subsequent to the effective date of this Zoning Code, then all outdoor lighting shall be reviewed and brought into compliance with the requirements of this division before the use is resumed to the maximum extent feasible as determined by the Director.~~

~~2. For changes of use or intensity which require an increase in parking of less than 25 percent cumulative, the applicant shall only have to meet the requirements of this division for any new outdoor lighting provided.~~

~~E. **Public Rights of Way Exempt.** The provisions of this division shall not apply to street lights installed in public rights of way.~~

~~F. In accordance with A.R.S. § 49-1101, all outdoor light fixtures on property or buildings that are owned and operated by the City of Flagstaff shall be fully shielded.~~

D. In accordance with A.R.S. § 49-1102, all Outdoor Light Fixtures on property or buildings that are owned and operated by the City of Flagstaff shall be fully shielded.

10-50.70.040 Establishment of Lighting Zones

~~A. **Establishment of Lighting Zones.** Three lighting zones are established, with varying development standards specific to their location within the City. Lighting zones are shown in Section 10-90.40.020, Lighting Zone Map.~~

A. Establishment of Lighting Zones. Two lighting zones are established, with varying development standards specific to their location within the City. Lighting zones are shown in Section 10-90.40.020, Lighting Zone Map.

B. Lighting Zone Boundaries. The boundaries of the lighting zones are illustrated in Section 10-90.40.020, Lighting Zone Map.

1. Lighting Zone 1 includes all areas within the City of Flagstaff that are within 2.5 miles of the Kaj Strand telescope at the U.S. Naval Observatory.

2. Lighting Zone 2 includes all areas more than 2.5 miles of the Kaj Strand telescope at the U.S. Naval Observatory.

C. **Split Parcels.** A parcel located in more than one of the described zones shall be considered to be only in the more restrictive lighting zone.

10-50.70.050 General Requirements – All Lighting Zones

~~A. **Preferred Source – Low-Pressure Sodium (LPS) Lamps and Narrow-Spectrum Amber LEDs.** Due to their high energy efficiency, long life, and spectral characteristics, low-pressure sodium (LPS) lamps are the preferred illumination source throughout the City. Their use is encouraged, when not required, for outdoor illumination whenever their use would not be detrimental to the use of the property. In all applications where LPS lighting is required or preferred, an acceptable alternative is narrow-spectrum amber LEDs.~~

~~B. **Lighting Classes.**~~

A. Lighting Classes. All lighting classes are included in the Total Outdoor Light Output for a lot or parcel.

~~1. **Class 1 lighting is lighting used for applications where color rendition is required to preserve the effectiveness of an activity. Recognized Class 1 lighting applications include only the following. Application of Class 1 lighting standards to uses not included in this list requires a finding by the Director of the essential nature of color rendition to preserve the effectiveness of the activity.**~~

1. Class 1 Lighting is lighting used for applications where color rendition is required to preserve the effectiveness of an activity. All Class 1 Lighting shall have a Correlated Color Temperature (CCT) of 2,700 Kelvin (K), or less. Recognized Class 1 lighting applications include only the following examples:

- a. Outdoor sales areas, including service station canopies;
- ~~b. Primary customer building entry/exit areas (does not include service or emergency entry/exits);~~
- b. Primary customer building entry/exit areas of commercial and industrial uses (does not include service or emergency entry/exits);**
- c. Outdoor eating areas at restaurants;
- ~~d. Outdoor assembly or repair areas where assembly or repair work occurs at night on a regularly scheduled basis;~~

d. Outdoor assembly or repair areas where assembly or repair work occurs at night as part of the normal business operations;

e. Outdoor recreational field/track/arena areas; and

f. External and internal lighting for signs.

~~2. Class 2 lighting is lighting used for applications where general illumination for safety or security is the primary concern.~~

2. Class 2 Lighting is lighting used for applications where general illumination for safety or security is the primary concern. Narrow-Spectrum Amber LEDs are required in all Class 2 lighting applications. Examples of Class 2 Lighting applications include the following:

~~a. Examples of Class 2 lighting applications include the following:~~

~~(1) Pedestrian walkways, driveways and roadways;~~

a. Pedestrian walkways, driveways, and roadways;

~~(2) Parking lots;~~

b. Parking lots;

~~(3) Equipment yards; and~~

c. Equipment yards; and

~~(4) Outdoor security.~~

d. Outdoor security.

~~b. Low-pressure sodium (LPS) lamps or narrow-spectrum amber LEDs are required in all Class 2 lighting applications, except that up to 10 percent of all Class 2 lighting may be non-LPS lighting as noted in Table 10-50.70.050.A, Maximum Total Outdoor Light Output Standards.~~

~~3. Class 3 lighting is outdoor lighting used for decorative purposes.~~

3. Class 3 Lighting is outdoor lighting used for decorative purposes. All light sources may be used for Class 3 Lighting including technologies that allow for the color of the light to change so long as the colors change less than every two minutes. Examples of Class 3 Lighting applications include the following:

~~a. Examples of Class 3 lighting applications include the following:~~

~~(1) Architectural illumination;~~

a. Architectural illumination;

~~(2) Flag and monument lighting; and~~

b. Flag and monument lighting; and

~~(3) Landscape lighting and the illumination of trees, shrubs, and other vegetation.~~

c. Landscape lighting and the illumination of trees, shrubs, and other vegetation.

~~b. Class 3 lighting fixtures shall be included in the total lumen calculations for the site. If decorative lighting is applied to the exterior wall of a building using LED lights or similar technologies that allow for the color of the light to change, only one color change every two minutes is permitted.~~

~~4. The use of solar powered light systems as a light source in all lighting classes is appropriate.~~

CB. Total Outdoor Light Output.

~~1. Total outdoor light output, excluding streetlights and pedestrian lighting used to illuminate public rights-of-way and any interior lighting shall not exceed the following limits averaged over the entire development (values listed are total initial lamp lumens per acre and per residence).~~

1. The Total Outdoor Light Output shall not exceed the amounts allowed in Table 10-50.70.050.A.

Table 10-50.70.050.A: Maximum Total Outdoor Light Output Standards

Land Use	Zone 1	Zone 2	Zone 3
Commercial, Industrial, and Multifamily Residential (lumens per net acre)[†]	-		
Total (Fully Shielded and Partially Shielded)	25,000	50,000	100,000
Partially Shielded only	0	5,500	5,500
Non-LPS and non-narrow spectrum amber LED	2,500	5,000	10,000
Single-Family Residential (lumens per parcel inclusive of accessory structures)[†]			-
Total (Fully Shielded and Partially Shielded)	10,000	10,000	10,000
Partially Shielded only	0	4,000	4,000

End Note

[†]To determine the allowed lumens per net acre for all LED lamps (i.e., narrow spectrum amber LED and all other LED lamps), divide the total number of lumens permitted in each lighting zone by 1.43.

Table 10-50.70.050.A		
Maximum Total Outdoor Light Output Standards		
Land Use	Lighting Zone 1	Lighting Zone 2
Commercial, Industrial, and Multiple-Family Development (Lumens per Net Acre)		
Combined Maximum for Fully and Partially Shielded Fixtures, and fixtures mounted to a building or canopy	17,500	35,000
Partially Shielded Fixtures maximum	0	3,850
Fixtures not mounted to a building or canopy¹ maximum	4,000	35,000
Single-Family and Duplex Developments, Including Accessory Structures (Lumens per Lot, or Parcel)		
Combined Maximum for Fully and Partially Shielded Fixtures, and fixtures not mounted to a building or canopy, excluding motion sensing Outdoor Light Fixtures²	1,500	5,000
Partially Shielded Fixtures maximum	0	2,000
Motion sensing Outdoors Light Fixtures² (fully shielded) maximum	0	2,000
Fixtures that are not mounted to a building or canopy¹ maximum	0	1,500
End Note		
<ol style="list-style-type: none"> 1. Fixtures that are not directly mounted to the side of a building or to the underside of, or within, a canopy or overhang. 2. Motion sensing Outdoor Light Fixtures shall have an automated timer set to turn off the fixture at a time no greater than five (5) minutes after the light has been turned on. 		

2.—For determining compliance with this section, light emitted from outdoor lighting is to be included in the total outdoor light output as follows (see Figure 10-50.70.050A):

a.—Light fixtures installed as described below shall be included in the total outdoor light output by adding 100 percent of the initial lumen outputs of the lamps used:

(1)—All unshielded or partially shielded fixtures, regardless of location;

(2)—Light fixtures installed on poles (such as parking lot light fixtures);

(3)—Light fixtures installed on the side of buildings or other structures but not located as described in subsections (C)(2)(b) or (c) of this section; and

(4) Light fixtures installed within open parking garages, or under canopies, building overhangs, or roof eaves that are not fully shielded or are fully shielded but not located as described in subsections (C)(2)(b) or (c) of this section.

b. Fully shielded light fixtures installed as described below shall be included in the total outdoor light output by adding only 25 percent of the initial lumen outputs of the lamps used;

(1) Fully shielded light fixtures located within open parking garages, or located under canopies, building overhangs, or roof eaves, where all parts of the light fixture are located at least five feet but less than 10 feet from the nearest outdoor opening, canopy, or overhang edge.

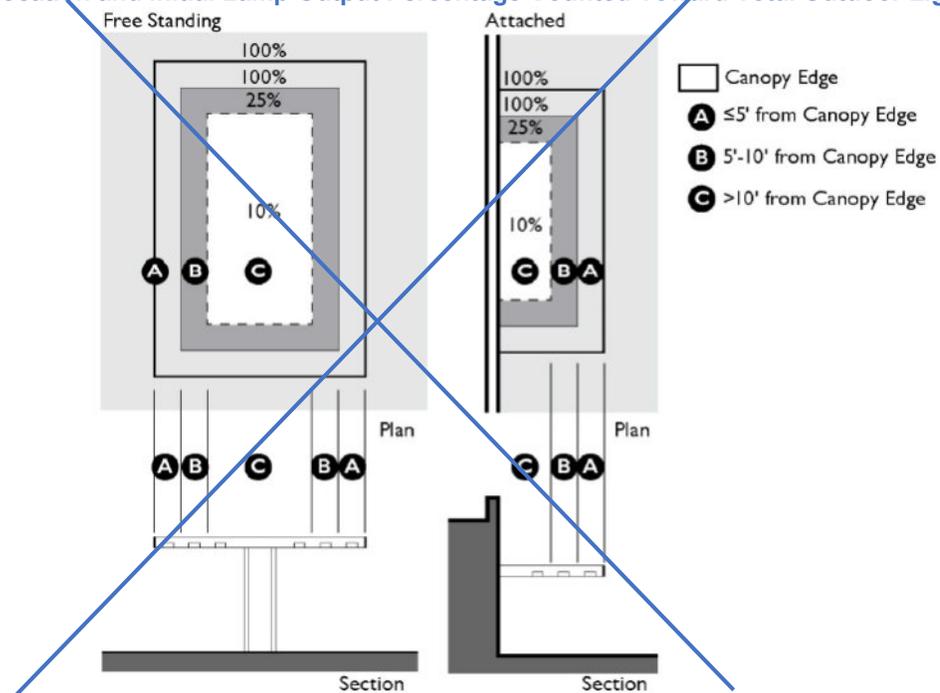
c. Fully shielded light fixtures installed as described below shall be included in the total outdoor light output by adding only 10 percent of the initial lumen outputs of the lamps used;

(1) Fully shielded light fixtures located within open parking garages, or located under canopies, building overhangs, or roof eaves, where all parts of the light fixture are located 10 feet or more from the nearest outdoor opening, canopy, or overhang edge.

Figure 10-50.70.050A

Elevation and Section Views of a Freestanding and Attached Canopy or Overhang, Showing Fixture

Location and Initial Lamp Output Percentage Counted Toward Total Outdoor Light Output



D.—**Lamp Source and Shielding.** The standards provided in Table 10-50.70.050.B, Lamp Type and Shielding Standards, shall apply:

C. Shielding. The standards provided in Table 10-50.70.050.B, Shielding Standards, shall apply:

Table 10-50.70.050.B: Lamp Type and Shielding Standards			
Lamp Type and Lighting Class	Zone-1	Zone-2	Zone-3
Nonresidential² Outdoor Lighting			
Class 1 Lighting (Color Rendition):		-	
All lamp types and outputs	FS	FS	FS
Class 2 Lighting (General Illumination):		-	-
All lamp types and outputs	FS	FS	FS
Class 3 Lighting (Decorative):		-	
All lamp types 2,500 lumens ¹ or above per fixture	X	X	FS
All lamp types below 2,500 lumens ¹ per fixture	FS	A ³	A ³
Residential² Outdoor Lighting			
Class 1-3 Lighting		-	
Lighting (Color Rendition):			
All lamp types 1,000 lumens ¹ or above per fixture	FS	FS	FS
All lamp types below 1,000 lumens ¹ per fixture	FS	A ³	A ³
Key:			

FS = Allowed; Only Fully Shield Fixtures permitted

A = Allowed; Fully Shielded Fixtures preferred, and Partially Shielded Fixtures permitted subject to the amounts listed in Table A (Maximum Total Outdoor Light Output Standards).

X = Prohibited

Table 10-50.70.050.B: Lamp Type and Shielding Standards

Lamp Type and Lighting Class	Zone-1	Zone-2	Zone-3
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End Notes

¹Examples of lamp types of 2,500 and 1,000 lumens and below for commercial and residential applications respectively are provided in Table 10-50.70.050.C, Lamp Type and Wattage with Outputs below 2,500 and 1,000 lumens. The acceptability of a particular lamp is decided by lumen output, not wattage. The values listed are approximate, and the manufacturer's specifications for a particular lamp must be checked.

²For purposes of this subsection, residential refers to property developed primarily for residential purposes, including single-family residences, manufactured homes, duplexes, and triplexes as well as multifamily (i.e. apartment, condominium, townhome) uses. Nonresidential uses include all other uses.

³For purposes of determining total light output from a light fixture, lighting assemblies which include multiple unshielded or partially shielded fixtures or lamps on a single pole shall be considered as a single fixture (see Figure 10-50.70.050B). Partially shielded lighting is limited to the amounts listed in Table 10-50.70.050.A, Maximum Total Outdoor Light Output Standards.

Table 10-50.70.050.B: Lamp Type and Shielding Standards

Lamp Type and Lighting Class

Zone-1

Zone-2

Zone-3

Table 10-50.70.050.B Shielding Standards		
Land Use and Lighting Class	Lighting Zone 1	Lighting Zone 2
Commercial, Industrial, and Multiple-Family Development		
Class 1 Lighting All Outdoor Light Fixtures	FS	FS
Class 2 Lighting All Outdoor Light Fixtures	FS	FS
Class 3 Lighting		
All Outdoor Light Fixtures with a Lumen output below 1,750 ¹ Lumens	FS	A ¹
All Outdoor Light Fixtures with a Lumen output equal to and above 1,750 ¹ Lumens	X	X
Single-Family and Duplex Residential Dwelling Units		
Class 1-3 Lighting		
All Outdoor Light Fixtures with a Lumen output below 700 ¹ Lumens	FS	A ¹
All Outdoor Light Fixtures with a Lumen output equal to and above 700 ¹ Lumens	X	X
End Notes		
1. For purposes of determining the Total Outdoor Light Output from an Outdoor Light Fixture, lighting assemblies which include multiple unshielded or Partially Shielded Fixtures or lamps on a single pole or assembled as a single unit shall be considered as one fixture. Refer to the Table 10-50.70.050.A.		
Key		
FS = Allowed; Only Fully Shielded Fixtures		
A = Allowed; Fully Shielded Fixtures preferred, and Partially Shielded Fixtures are allowed subject to the Lumen amounts listed in Table 10-50.70.050.A		
X = Outdoor Light Fixture is Prohibited		

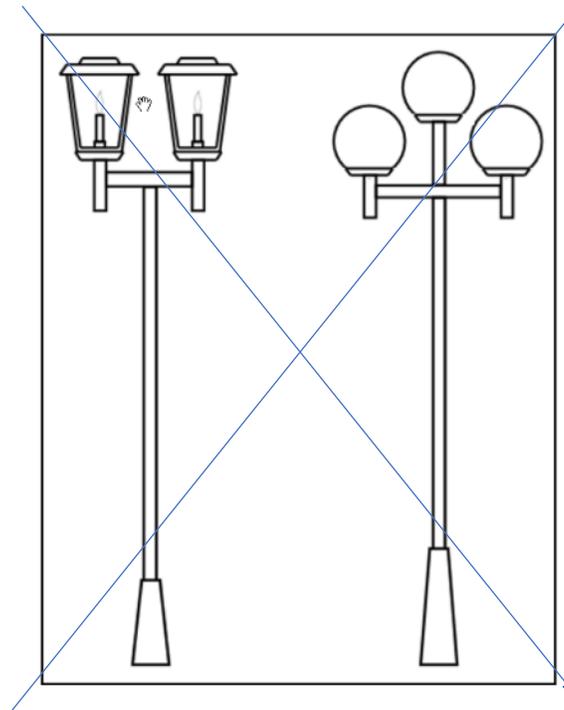
Figure 10-60-70.050B

Table 10-60.70.050.C: Lamp Type and Wattage with Outputs below 2,500 and 1,000 Lumens

Lamp Type	2,500-lm (Commercial and Industrial)	1,000-lm (Residential)
Standard incandescent and less	100-watt	60-watt
Tungsten halogen (quartz) and less	100-watt	60-watt
Fluorescent and less	25-watt	15-watt
Compact Fluorescent and less	26-watt	13-watt

No available data for High-Pressure Sodium or Metal Halide lamps

~~Light Fixture with Multiple Unshielded Fixtures or Lamps~~



~~E. **Effective Shielding.** All light fixtures that are required to be fully shielded shall be installed in such a manner that the shielding satisfies the definition of a fully shielded fixture.~~

D. Effective Shielding. All Outdoor Light Fixtures that are required to be fully shielded shall be installed in such a manner that the shielding satisfies the definition of a Fully Shielded Light Fixture.

F. ~~Light Trespass Standard.~~

E. Light Trespass Standard.

~~1. All light fixtures, including security lighting, shall be located, aimed and shielded so that the direct illumination from the fixture shall be confined to the property boundaries of the source.~~

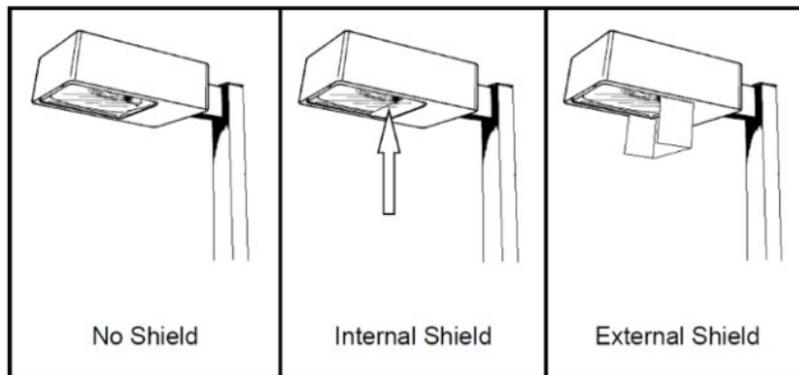
1. All Outdoor Light Fixtures, including motion sensing lighting, shall be located, aimed, and shielded so that the direct illumination from the fixture shall be confined to the property boundaries of the source.

2. Any privately or publicly owned outdoor light fixture with a lamp of initial output over 10,000 lumens located within 50 feet of any residential (including multifamily residential) property or public right-of-way shall utilize an internal or external shield, with the light fixture and shield oriented to minimize light trespass over the adjacent property or right-of-way line. If an external shield is used, its surface must be painted black to minimize reflections (Figure 10-50.70.050C).

2. Any privately or publicly owned Outdoor Light Fixture with an output over 10,000 Lumens located within 50 feet of any residential (including Multiple-Family Development) property or public right-of-way shall utilize an internal or external shield, with the Outdoor Light Fixture and shield oriented to prevent direct illumination over the adjacent property or right-of-way line. If an external shield is used, its surface must be painted black to minimize reflections (Figure 10-50.70.050.C).

Figure 10-50.70.050.C

Shielding Configurations



~~G. **Motion Sensing Light Fixtures.** Motion sensing light fixtures shall be fully shielded.~~

F. Motion Sensing Outdoor Light Fixtures. Motion sensing Outdoor Light Fixtures shall be fully shielded.

~~H. **Time Limits for Outdoor Lighting.** All outdoor Class 1 and Class 3 lighting, and outdoor Class 2 lighting located more than 50 feet from any building or outdoor product display or storage area shall be turned off at the times listed in Table 10-50.70.050.D, Time Limits for Outdoor Lighting, or no later than 30 minutes after the business closes, whichever is later, and remain off for the remainder of the night or until the business reopens. Decorative holiday lights are exempt in accordance with Section 10-50.70.080(D), and outdoor recreation facilities are exempt in accordance with Section 10-50.70.060(B).~~

G. Time Limits for Outdoor Lighting. All outdoor Class 1 and Class 3 Lighting, and outdoor Class 2 Lighting located more than 50 feet from any structure, outdoor product display, or storage area shall be turned off no later than 30 minutes after the business closes and are to remain off until the business reopens. Decorative holiday lights are exempt in accordance with Section 10-50.70.080.D, and outdoor sports facilities are subject to the time limits in Table 10-50.70.060.B.

~~Table 10-50.70.050.D: Time Limits for Outdoor Lighting~~

-	Zone 1	Zone 2	Zone 3
Time limit when outdoor lights must be turned off	9:00 p.m.	11:00 p.m.	11:00 p.m.

~~I. **Sign Illumination.** Standards for external and internal sign illumination are provided in Division 10-50.100, Sign Standards. Lighting used for the external illumination of signs is included toward the total outdoor light output standards of subsection (C) of this section.~~

H. Sign Illumination. Standards for external and internal sign illumination are provided in Division 10-50.100, Sign Standards. Lighting used for the external illumination of signs is included toward the Total Outdoor Light Output standards of subsection B. of this section.

~~J. **Neon Building Lighting.** Neon building lighting is included in the total outdoor light output calculations for the site. Lumens for neon lighting are calculated on a per foot basis, rather than per “fixture.” Unshielded neon lighting is not permitted.~~

I. Neon Building Lighting. Neon building lighting is included in the Total Outdoor Light Output calculations for the site. Lumens for neon lighting are calculated on a per foot basis, rather than per “fixture.” Unshielded neon lighting is not allowed **except for signage.**

~~K. **Multi-Class Lighting.** Multi-class lighting must either conform to the lamp-type and shielding requirements of the strictest included class as shown in Table 10-50.70.050.A, Maximum Total Outdoor Light Output Standards, and Table 10-50.70.050.B, Lamp Type and Shielding Standards, or conform to the time limitations of the least restrictive included class as shown in Table 10-50.70.050.D, Time Limits for Outdoor Lighting.~~

J. Multi-Class Lighting. Multi-class lighting must either conform to the lamp-type and shielding requirements of the strictest included class as shown in Table 10-50.70.050.A, Maximum Total Outdoor Light Output Standards, and Table 10-50.70.050.B, Shielding Standards, or **be turned off no later than 30 minutes after the business closes.**

~~L. **Internally Illuminated Architectural Elements.** Any architectural element, including walls or portions of buildings that are internally illuminated and that is not a sign or fenestration (windows or doors), shall have 100 percent of the initial lamp output of all lamps used to provide such illumination counted toward partially shielded lighting for the purposes of calculating total outdoor light output for the site and is subject to the standards of subsection (C) of this section.~~

K. Internally Illuminated Architectural Elements. Any architectural element, including walls or portions of buildings, **including canopy facias**, that are internally illuminated and that is not a sign or fenestration (windows or doors), shall have 100 percent of the initial lamp output of all lamps or **luminous tubes** used to provide such illumination counted toward partially shielded lighting for the purposes of calculating Total Outdoor Light Output for the site and is subject to the standards of subsection B. of this section.

~~M. **Architectural/Landscape Lighting.** Architectural lighting used to illuminate the wall of a building or landscape lighting used to illuminate trees or other landscape elements is permitted subject to the following:~~

L. Architectural/Landscape Lighting. Architectural lighting used to illuminate **a structure** or landscape lighting used to illuminate trees or other landscape elements is **allowed** subject to the following:

~~1. Architectural and landscape lighting that is directed downward onto a wall, tree or other landscape feature shall be included in the total outdoor light output standards provided in Table 10-50.70.050.A, Maximum Total Outdoor Light Output Standards, based on whether a fully shielded or partially shielded light fixture is used; and~~

1. Architectural and landscape lighting that is directed downward onto a structure, tree, or other landscape feature shall be included in the Total Outdoor Light Output standards provided in Table 10-50.70.050.A, Maximum Total Outdoor Light Output Standards, based on whether a fully Shielded or Partially Shielded Light Fixture is used; and

~~2. Architectural and landscape lighting that is directed upward onto a wall, tree or other landscape feature is not permitted.~~

2. Architectural and landscape lighting that is directed upward onto a structure, tree, or other landscape feature is not allowed.

~~N. **Emergency Lighting.** Emergency lighting that is only turned on in the event of a power failure or when an alarm is activated is permitted in all lighting zones and is excluded from the total lumen calculations for the site.~~

M. Emergency Lighting. Emergency lighting that is only turned on in the event of a power failure or when an alarm is activated is allowed in all lighting zones and is excluded from the Total Outdoor Light Output standards provided in Table 10-50.70.050.A, Maximum Total Outdoor Light Output Standards.

~~O. **Use of Mercury Vapor Light Fixtures.**~~

N. Use of Mercury Vapor Outdoor Light Fixtures. Except for outdoor lighting systems erected prior to 1950, no mercury vapor outdoor light fixtures are allowed within the City of Flagstaff.

~~1. No new mercury vapor outdoor light fixtures shall be installed after the effective date of this Zoning Code. No replacement equipment other than bulbs for mercury vapor lighting fixtures shall be sold in the State after January 1, 1991, and the use of mercury vapor light fixtures is prohibited after January 1, 2011.~~

~~2. The provisions of this section shall not apply to outdoor light systems erected prior to 1950.~~

10-50.70.060 Special Uses

A. Canopies, Building Overhangs, and Roof Eave Lighting.

1. **Shielding.** All Outdoor Light Fixtures attached, mounted to, or within, a canopy, building overhang, or roof eave shall be fully shielded.
2. **Total Lumens.** The Total Lumen of each Outdoor Light Fixture shall be calculated based on the distance from the edge of the canopy, building overhang, or roof eave subject to Figure 10-50.70.060.A.

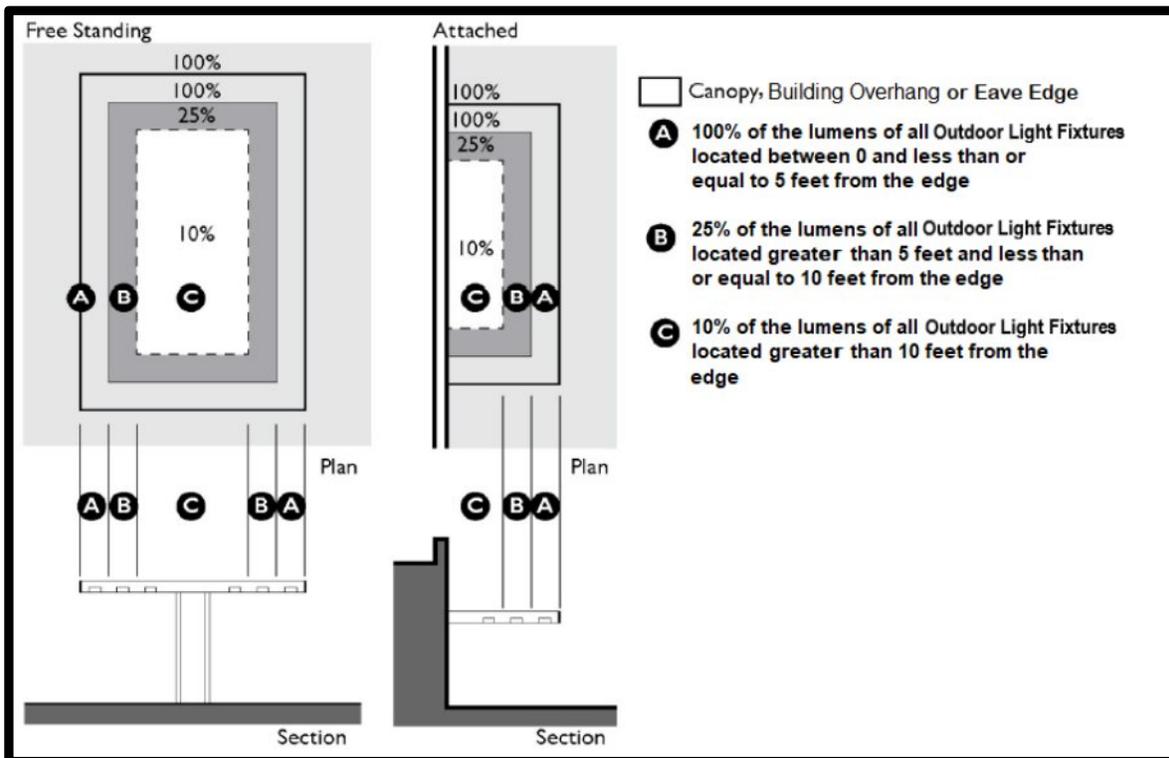


Figure 10-50.70.060.A

Plan and Section Views of a Freestanding and Attached Canopy or Overhang, Showing Fixture Location and Initial Lamp Output Percentage Counted Toward Total Outdoor Light Output

A. ~~Service Station Canopy Lighting.~~

B. Service Station Canopy Lighting.

1. **Lighting Class.** Lighting for service station canopies shall be considered Class 1 lighting.

~~2.—Shielding. All light fixtures mounted on or recessed into the lower surface of service station canopies shall be fully shielded and utilize flat lenses. Such shielding must be provided by the fixture itself; shielding by surrounding structures such as canopy edges is not permitted.~~

2. Shielding. All Outdoor Light Fixtures mounted on or recessed into the lower surface of service station canopies shall be fully shielded and utilize flat lenses. Such shielding must be provided by the fixture itself; shielding by surrounding structures such as canopy edges is not allowed.

~~3.—Total Under-Canopy Output. The total light output used under service station canopies, defined as the sum of all under-canopy initial lamp outputs in lumens, shall not exceed 40 lumens per square foot of canopy in Lighting Zone 2 and 3, and shall not exceed 20 lumens per square foot in Lighting Zone 1 (note: these values are not foot-candle illuminances).~~

3. Total Under-Canopy Output. The Total Outdoor Light Output used under service station canopies, defined as the sum of all under-canopy Light Fixtures, shall not exceed 30 Lumens per square foot of canopy in Lighting Zone 2, and shall not exceed 15 Lumens per square foot in Lighting Zone 1 (note: these values are not foot-candle illuminances).

~~4.—All lighting mounted under the canopy, including but not limited to light fixtures mounted on or recessed into the lower surface of the canopy and any lighting within signage (but not including any lamps mounted within the pumps and used to illuminate information indicating such items as the total cost of fuel pumped and price per gallon), shall be included in the total outdoor light output for the site and is subject to the standards of Section 10-50.70.050(C).~~

4. Total Lumens. All lighting mounted under the canopy, including but not limited to Outdoor Light Fixtures mounted on or recessed into the lower surface of the canopy and any lighting within signage (but not including any lamps mounted within the pumps and used to illuminate information indicating such items as the total cost of fuel pumped and price per gallon), shall be included in the Total Outdoor Light Output for the site and is subject Figure 10-50.70.060.A.2.

~~B.—Outdoor Recreation Facilities.~~

C. Outdoor Recreation Facilities.

~~1.—Lighting Class. Lighting for field/track/arena areas only shall be considered Class 1.~~

1. Lighting Class. Lighting for field/track/arena areas only shall be considered Class 1 Lighting.

~~2. Lumen Cap Exemption.~~

2. **Lumen Cap Requirements.**

~~a. In Lighting Zone 1, lighting for field/track/arena areas is subject to the lumens per acre limit set in Section 10-50.70.050(C);~~

a. In Lighting Zone 1, lighting for field/track/arena areas is subject to the Maximum Total Outdoor Light Output standards set in Table 10-50.70.050.A.;

~~b. In Lighting Zones 2 and 3, lighting for field/track/arena areas is not subject to the lumens per acre limit set in Section 10-50.70.050(C); and~~

b. In Lighting Zone 2, lighting for field/track/arena areas is not subject to the Maximum Total Outdoor Light per acre limit set in Table 10-50.70.050.A; and

~~c. Illumination levels for the field/track/arena shall be designed to be no higher than recommended for Class IV play, as defined by the Illuminating Engineering Society of North America publication IESNA RP-06-01.~~

c. Illumination levels for the field/track/arena shall be designed to be no higher than recommended for Class IV play, as defined by the Illuminating Engineering Society of North America publication ANSI/IES RP-6-20, as amended.

3. **Shielding.** Fixtures used for field/track/arena areas shall be fully shielded.

~~4. **Time Limits.** No illuminated sports facility shall be illuminated after the time limits listed in Table 10-50.70.050.D, Time Limits for Outdoor Lighting, except to conclude a scheduled recreational or sporting event in progress prior to the time limitation.~~

4. Time Limits. Outdoor sports facilities shall not be illuminated after the time limits listed in Table 10-50.70.060.B, except to conclude a scheduled recreational or sporting event in progress prior to the time limitation.

Table 10-50.70.060.B		
Time Limits for Outdoor Lighting of Sports facilities		
	Zone 1	Zone 2
Time limit when outdoor lights shall be turned off	9:00 p.m.	11:00 p.m.

5. **Certification.** Lighting systems for outdoor recreational facilities shall be designed and certified by an engineer registered in Arizona as conforming to all applicable restrictions of this code before construction commences. Further, after installation is complete, the system shall be again certified by a registered engineer to verify that the installation is consistent with the certified design.

~~C. Street Lighting.~~

D. Street Lighting.

~~1. Standards for street lighting installed on public rights-of-way are found in the City Engineering Standards, Title 12, Street Lighting.~~

1. Street lighting installed on public rights-of-way shall be in accordance with Title 13, Engineering Design Standards and Specifications for New Infrastructure.

~~2. Street lighting installed on private rights-of-way shall be included within the total outdoor light output for the development.~~

2. Street lighting installed on private street tracts or easements shall be in accordance with Title 13, Engineering Design Standards and Specifications for New Infrastructure.

~~D. Parking Garages.~~

E. Parking Garages.

1. **Lighting Class.** Lighting installed for general illumination of parking areas within parking garages, where the parking areas are open to the outside, shall be considered Class 2.

~~2. Inclusion Toward Total Outdoor Light Output. The lumen output of light fixtures mounted 15 feet or more from the nearest opening to the outdoors and within open parking garages shall not be included~~

toward the Total Outdoor Light Output standards in Section 10-50.70.050(C). All light fixtures mounted less than 15 feet from the nearest opening to the outdoors shall comply with the total outdoor light output standards established in Section 10-50.70.050(C).

2. Total Outdoor Light Output. Ten percent (10%) of the Lumen output of Light Fixtures mounted less than 15 feet from the nearest opening to the outdoors of an open parking garage shall be included toward the Total Outdoor Light Output standards established in Table 10-50.70.050.A subject to Figure 10-50.70.060.C. The Lumen output of Light Fixtures mounted 15 feet or more from the nearest opening to the outdoors of an open parking garage shall not be included toward the Total Outdoor Light Output standards in Table 10-50.70.050.A subject to Figure 10-50.70.060.C.

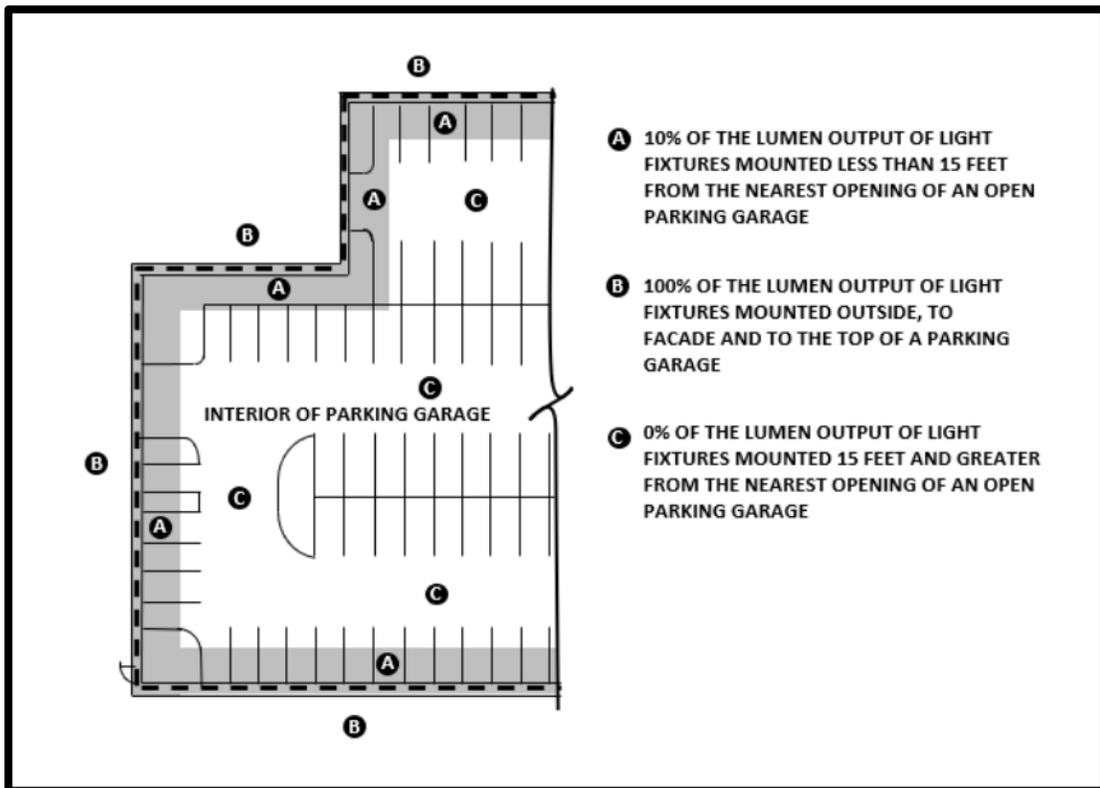


Figure 10-50.70.060.C
Calculation of Total Lumens of the Light Fixtures Located Inside of Parking Garage

3. Shielding. All light fixtures used on or within open parking garages, including those mounted to the ceilings over the parking decks, shall be fully shielded.

E. Outdoor Display Lots.

F. Outdoor Display Lots.

~~1. **Lighting Class.** Outdoor lighting for outdoor display lots shall be considered Class 1 lighting, and shall conform to applicable lumens per net acre limits applied to the entire parcel.~~

1. Lighting Class. Class 1 Lighting may be used to illuminate outdoor display lots, and shall be included toward the Total Outdoor Light Output standards in Table 10-50.70.050.A.

~~2. **Lighting Time Limitations.** Outdoor display lot lighting shall conform to the hours of operation as established under Class 1 lighting standards. Any lighting on after the time limitations shall be considered Class 2 lighting and shall conform to all restrictions of this division applicable to this class.~~

2. Lighting Time Limitations. All Class 1 outdoor display lighting shall be turned off no later than 30 minutes after the close of business. Only lighting meeting Class 2 Lighting standards may be used to illuminate an outdoor display area 30 minutes or later after the close of business.

3. **Shielding.** All light fixtures used in outdoor display lots shall be fully shielded and be aimed so that the direct illumination shall be confined to the property boundaries of the source.

~~F. **Temporary Lighting.** Temporary lighting which does not conform to the provisions of this division may be approved by the Director subject to the approval of an outdoor lighting permit in accordance with the provisions of Section 10-20.40.100, Outdoor Lighting Permits. Temporary lighting is intended for uses which by their nature are of limited duration, including for example, holiday decorations, civic events or construction projects.~~

G. Temporary Lighting. Temporary lighting which does not conform to the provisions of this division may be approved by the Director subject to the approval of an outdoor lighting permit in accordance with the provisions of Section 10-20.40.100, Outdoor Lighting Permits. Temporary lighting is intended for uses which by their nature are of limited duration, including for example, holiday decorations, civic events, or construction projects.

10-50.70.070 Prohibited Outdoor Lighting

The following types of outdoor lighting are prohibited:

- A. Outdoor floodlighting by flood light projection above the horizontal plane.
- B. Search lights, flood lights, laser source lights, or any similar high intensity light, except in emergencies by police, fire or medical personnel or at their direction; or for meteorological data gathering purposes.

C. Any lighting device located on the exterior of a building or on the inside of a window which is visible beyond the boundaries of the lot or parcel with intermittent fading, flashing, blinking, rotating or strobe light illumination.

10-50.70.080 Exceptions

~~A.—**Airport Lighting.** Required navigational lighting systems at airports for the safe and efficient movement of aircraft during flight, take off, landing and taxiing are exempt from the provisions of this division. Lighting used for illumination of aircraft loading, unloading, and servicing areas is exempt from the lumens per acre limits provided in Section 10-50.70.050(C), although it must conform to all other requirements of this division. All other outdoor lighting at airport facilities shall comply with the provisions of this division.~~

A. Flagstaff Municipal Airport Lighting. Required navigational lighting systems at public airports for the safe and efficient movement of aircraft during flight, take off, landing, and taxiing are exempt from the provisions of this division. Lighting used for illumination of aircraft loading, unloading, and servicing areas is exempt from the Lumens per acre limits provided in Table 10-50.70.050.A., although it must conform to all other requirements of this division. All other outdoor lighting at public airport facilities shall comply with the provisions of this division. This provision does not apply to private helipads or landing strips.

B. **Infrared Security Lighting.** Lights emitting infrared radiation used for remote security surveillance systems are permitted in all zones with the following restrictions:

1. Fixed lights must be fully shielded; and
2. Movable lights, such as spot lights attached to infrared sensitive cameras, must be mounted such that the lights cannot be directed higher than 20 degrees below the horizontal, measured from the center of the light beam.

C. **Emergency Lighting by Emergency Services.** Searchlights, floodlights, laser source lights, strobe or flashing lights, or any similar high intensity lights are permitted when used in emergencies by police, fire, medical, or utility personnel or at their direction.

~~D.—**Holiday Decorations.** In all lighting zones low voltage holiday decorations may be unshielded and remain on all night from November 15th to January 15th.~~

D. Holiday Decorations. In all lighting zones, low Lumen output traditional holiday decorations may be unshielded and remain on all night from November 15th to January 15th.

E. Solar-Powered Lighting. Solar-powered lights of five watts or less per fixture used in residential landscaping applications and to illuminate walkways are exempt from applicable lamp type and shielding standards and are excluded from the total lumen calculations for the site.

F. Construction and Renovation of Municipal Facilities. All outdoor lighting used for construction or major renovation of municipal buildings, structures and facilities is exempt from the provisions of this division.

10-50.70.090 Nonconforming Outdoor Lighting

Section [10-20.60.080](#), Nonconforming Outdoor Lighting, provides the standards and regulations for nonconforming outdoor lighting.

10-50.70.100 Violations and Enforcement

A. It shall be unlawful to install or operate an outdoor light fixture in violation of this division. Any person violating any provisions of this division shall be guilty of a misdemeanor. Each and every day during which the illegal erection, maintenance, and use continues shall be considered a separate offense.

B. The requirements of this division shall be enforced in compliance with the enforcement provisions of Division [10-20.110](#), Enforcement.

10-20.60.040 Residential Exemptions

~~An involuntarily damaged or destroyed nonconforming single-family or multifamily dwelling unit may be reconstructed or replaced with a new structure within the same footprint (including pre-existing nonconforming setbacks), height and number of dwelling units, in compliance with current Building and Fire Code requirements.~~

An involuntarily damaged or destroyed nonconforming Single-Family or Multiple-Family Development unit may be reconstructed or replaced with a new structure within the same footprint (including pre-existing nonconforming setbacks), height and number of dwelling units, but in compliance with Title 4, Building Regulations; Title 5, Fire Code; and Division 10-50.70, Outdoor Lighting Standards.

10-20.60.080 Nonconforming Outdoor Lighting

A. General.

1. If at the effective date of this Zoning Code, or of any extension resulting from annexation to the City, any existing outdoor lighting which is being used in a manner or for a purpose which is otherwise lawful, but does not comply with the provisions of Division [10-50.70](#), Outdoor Lighting Standards, shall be deemed legal but nonconforming, and shall be allowed to continue provided such fixtures are extinguished between the hours of midnight and sunrise by an automatic shut-off device.
2. No modification or replacement shall be made to a nonconforming outdoor light fixture unless the fixture thereafter conforms to the provisions of Division [10-50.70](#), Outdoor Lighting Standards.
3. Whenever a nonconforming use, structure or lot is abandoned for a period of 180 consecutive days and then changed to a new use according to the requirements of Section [10-20.60.030](#), Restrictions on Nonconforming Uses and Structures, then any existing outdoor lighting shall be reviewed and brought into compliance as necessary for the entire building, structure or premises.

10-50.100.050.C.2. Internally Illuminated Sign Standards

(2) **Lighting Zones 2 and 3.** The sign face(s) shall be either composed of illuminated text and symbols against an opaque background (as in subsection (C)(2)(a)(1) of this section), or with generally lighter text and symbols against a colored (not white, off-white, light gray, cream, or yellow) background. Text and symbols may be white, off-white, light gray, cream, or yellow. (See Figure 10-50.100.050I.)

10-80.20.060 Definitions, “F”

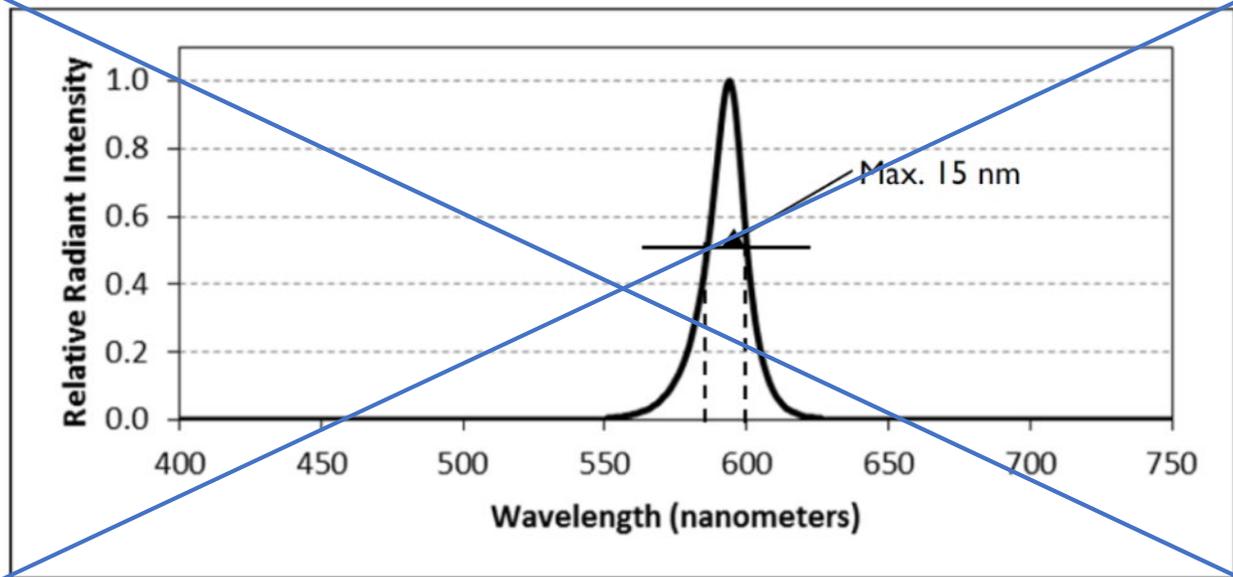
Fully Shielded Light Fixture: See “Light Fixture, Fully Shielded.”

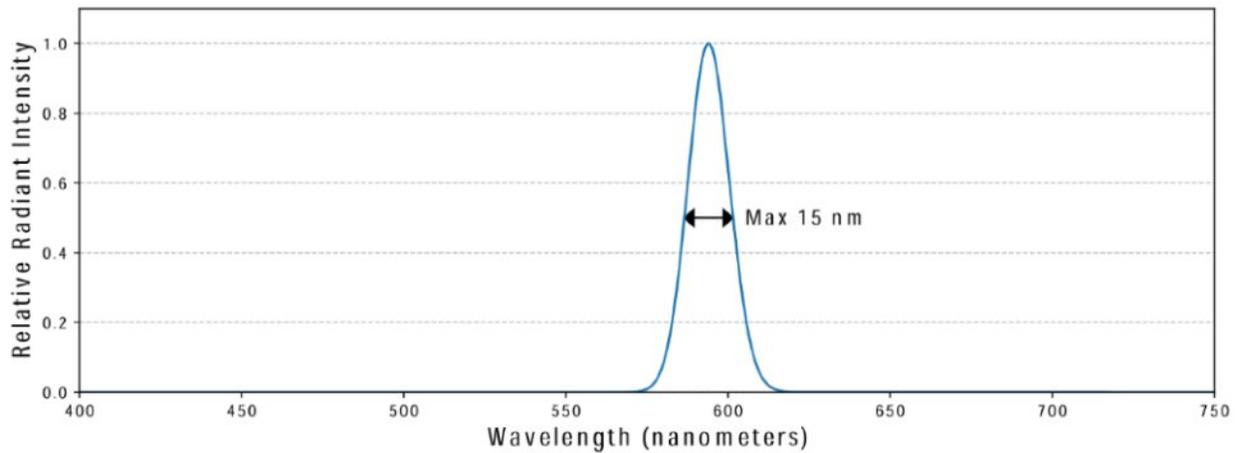
Fully Shielded Light Fixture: See “Fixture, Fully Shielded.”

10-80.20.120 Definitions, “L”

~~LED, Narrow-Spectrum Amber: A light-emitting diode (LED) with a spectrum similar to that shown in the graph below, and with a peak wavelength between 585 and 595 nanometers and a full width at 50 percent power no greater than 15 nanometers.~~

LED, Narrow-Spectrum Amber: A light-emitting diode (LED) with a peak wavelength between 589 and 595 nanometers and a full width at 50 percent power no greater than 15 nanometers.





Light Fixture: [See “Light Fixture, Outdoor.”](#)

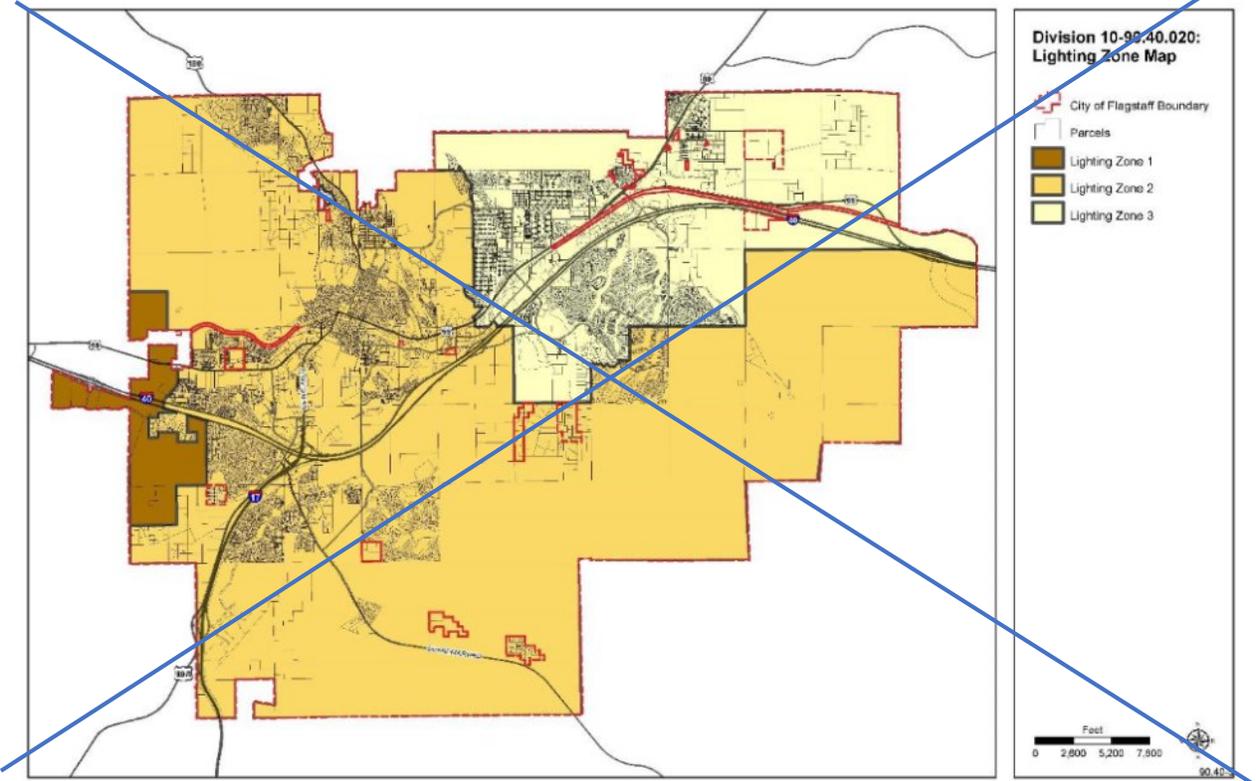
10-80.20.150 Definitions, “O”

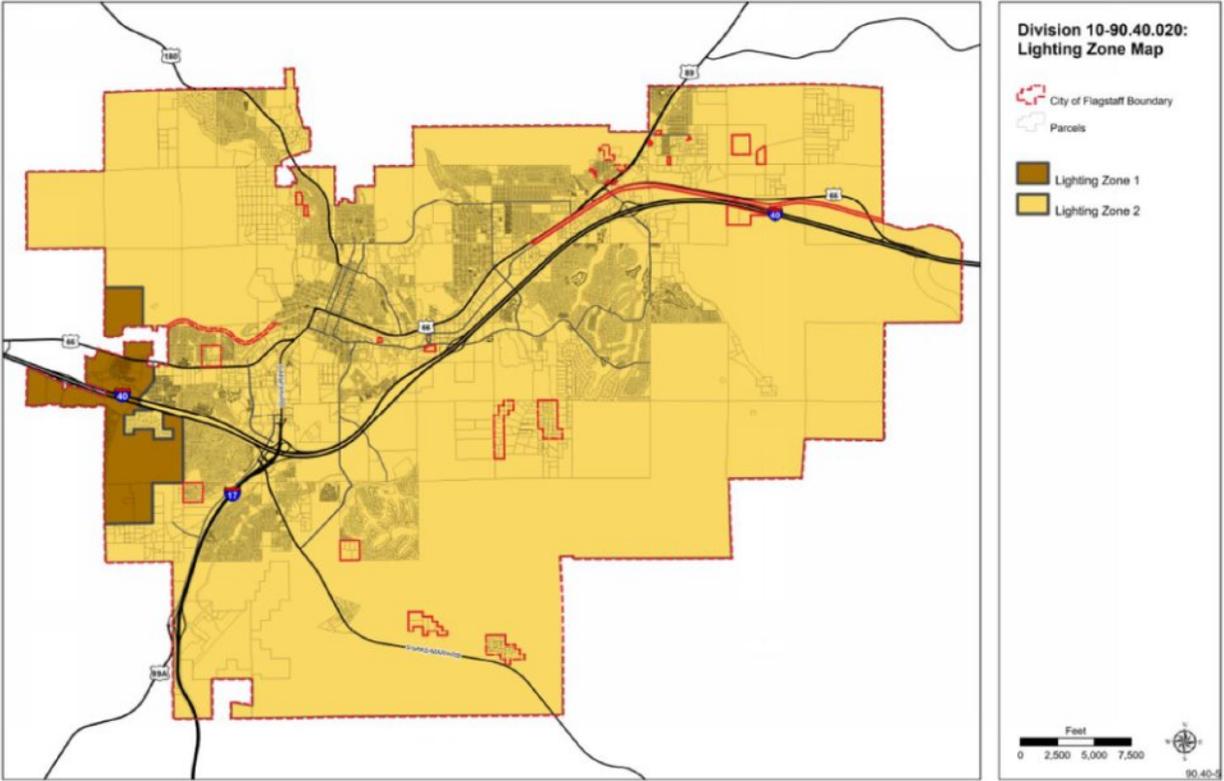
Outdoor Light Output, Total: The maximum total amount of light, measured in lumens, from all outdoor light fixtures. Includes all lights and luminous tubing used outdoors or in areas open to the outdoors, and lights used for external illumination of signs, but does not include lights used inside of internally illuminated signs or luminous tubing used in neon signs. For luminous tubes used outside of signage, output is calculated per linear foot of tubing rather than per lamp. For lamp types that vary in their output as they age (such as high pressure sodium, metal halide and fluorescent), the initial output, as defined by the lamp manufacturer, is the value to be considered.

Outdoor Light Output, Total: The maximum total amount of light, measured in Lumens, from all Outdoor Light Fixtures. Includes all outdoor lights and luminous tubing used in areas open to the outdoors, and lights used for external illumination of signs, but does not include lights used inside of internally illuminated signs, luminous tubing used in neon signs, and street and pedestrian lighting installed on public rights-of-ways or private street tracts in accordance with Title 13, Engineering Design Standards and Specifications for New Infrastructure. The total Lumens of each Outdoor Light Fixture used to calculate the Total Outdoor Light Output is:

- (1) The total initial Lumen output listed by the manufacturer of an integral solid-state LED Outdoor Light Fixture;
- (2) The initial Lumen output for all outdoor luminous tubes (e.g., neon and fluorescent tubes and rods) calculated per linear foot;
- (3) The initial Lumen output (i.e., bulb lumens) listed by the manufacturer of all replaceable Edison Socket, or other screw-in, plug in, etc., LED bulbs used in an Outdoor Light Fixture multiplied by 0.70.; and
- (4) The initial Lumen output (i.e., bulb lumens) of all other outdoor bulb light sources (i.e., non-LED) included as part of an Outdoor Light Fixture multiplied by 0.70.

10-90.40.020 Lighting Zone Map





PZ-19-00248: Outdoor Lighting Standards Zoning Code Text Amendment

Narrative and Regional Conformance Analysis

Narrative

The purpose of Division 10-50.70: Outdoor Lighting Standards is to help assure that dark skies remain a resource to be enjoyed by the Flagstaff community and its visitors, minimize light pollution and light trespass across property lines, maintain an environment that the City's astronomical industry depends upon, reduce energy consumptions, minimize the potential disruption to nocturnal ecosystems, and to allow safe and efficient outdoor lighting. The City was recognized as the world's first International Dark Sky City on October 24, 2001, for its pioneering development and implementation of lighting codes that balance the need to preserve Flagstaff's dark sky resource with the need for safe outdoor lighting practices.

In 2019, a Joint Land Use Study (JLUS) was completed for Coconino County. The JLUS is a cooperative land use planning effort between local governments and military installations. Its goal is to ensure the lasting compatibility of military installations and their nearby communities. There are two U.S. Naval Observatory Sites in the Flagstaff Region which rely on dark sky conditions to conduct their missions. The JLUS contains specific implementation strategies for the City of Flagstaff. These strategies focus on updating the Zoning Code to remove Lighting Zone 3 as well as modernize measurement of absolute lumens to account for the increasing use of LED lighting. A working group was formed in late 2019 to begin working on revisions to the Outdoor Lighting Standards as suggested by the JLUS.

Regional Plan Conformance

The Regional Plan analysis supports the proposed Zoning Code Text Amendment as part of the required findings. The Regional Plan has 97 goals and over 508 policies, which sometimes conflict or are given different weight in decision making. The applicable policies are analyzed by chapter below. Conflicting goals and policies are found in Chapter VII – Energy which supports energy efficiency. Narrow Spectrum Amber LEDs are less energy efficient than full spectrum LEDs.

Chapter IV - Environmental Planning & Conservation

- Goal E&C.5. Preserve dark skies as an unspoiled natural resource, basis for an important economic sector, and core element of community character.
- Policy E&C.5.1 Evaluate the impacts of the retention of dark skies regarding lighting infrastructure and regulatory changes, land use decisions or changes, and proposed transportation developments within the region.

Chapter VII - Energy

- Goal E.1. Increase energy efficiency.

Policy E.1.4. Promote cost-effective, energy-efficient technologies and design in all new and retrofit buildings for residential, commercial, and industrial projects.

Chapter XIV - Economic Development

- Policy ED.7.1. Support planning, design, and development that positively, creatively, and flexibly contribute to the community image.

Chapter VIII – Community Character

- Goal CC.1. Reflect and respect the regions’ natural setting and dramatic views in the built environment.
- Policy CC.1.1. Preserve the natural character of the region through planning and design to maintain views of significant landmarks, sloping landforms, rock outcroppings, water courses, floodplains, and meadows and conserve stands of ponderosa pine.

Chapter XIV - Economic Development

- Policy ED.7.1. Support planning, design, and development that positively, creatively, and flexibly contribute to the community image.

There is a very specific portion of the Regional Plan that supports the preservation of dark skies in Flagstaff. Dark skies have been a priority for Flagstaff for over three decades with the adoption of the first Outdoor Lighting Standards in the 1990’s. This code amendment reflects recent planning efforts to preserve astronomical facilities in the Flagstaff region. While the preferred light source (Narrow Spectrum Amber LEDs) is less energy efficient than the full spectrum LEDs the environment, social, and economic benefits are so great that in this instance they are supported over the very important goal of energy efficiency.

OUTDOOR LIGHTING ZONING CODE TEXT AMENDMENT PUBLIC PARTICIPATION PLAN

I. PURPOSE

The primary purpose of this Zoning Code Text Amendment is to update the Outdoor Lighting Zoning Code, related development standards and other related modifications to address the Joint Land Use Study (JLUS) implementation strategies, remove conflicts and simplify the requirements.

This Public Participation Plan will service as the guiding methodology to provide opportunities to the public to participate and provided public comments regarding the proposed Zoning Code Text Amendment.

II. WORK GROUP

The primary purpose of this the work group is to review the draft amendment to verify that it addresses JLUS study prior to beginning public outreach. The workgroup is anticipated to include the following persons:

Dan Symer
Tiffany Antol
Genevieve Pearthree
Christina Rubalcava
Dan Folke
Reggie Eccleston

Mark Stento
Mary Beth Dreusike
Frederick Vrba
Stephen Williams
Christian Luginbuhl
Jeffrey C. Hall

III. PUBLIC OUTREACH

After the work group finalized a draft of the Outdoor Lighting Standards amendment. Staff completed the following efforts to reach out for public input on the proposed amendment prior to scheduling work sessions or public hearings:

- Direct contact with known electrical and lighting contractors was made via email to solicit feedback on the proposed amendment.
- Notice about the proposed amendment was added to all water bills during the month of July.
- Staff had an article about the proposed amendment published in the Flagstaff Business News July 2022 edition.
- A direct mailing to all commercial property owners in Lighting Zone III (approximately 600 owners) with notice of the proposed amendment and invitation to an Open House to discuss the amendment.
- Staff held an Open House meeting on August 4, 2022, 5:30 p.m. at the Flagstaff Public Library (Downtown) to discuss the amendment. One member of the public attended the open house.

IV. REQUIRED WORK SESSIONS AND PUBLIC HEARINGS

The Zoning Code's required Citizen Review work session with the Planning and Zoning Commission will be held at least 14 days prior to the Planning and Zoning Commission's public hearing to provide a recommendation to the City Council on the proposed Zoning Code Text Amendments. Also, a work session with the City Council will be held at least 14 days prior to the City Council's public hearing on the proposed Zoning Code Text Amendments.

City Council Work Session – September 27, 2022, 3:00 p.m.

Planning and Zoning Commission Work Session - September 28, 2022, 4:00 p.m.

Planning and Zoning Public Hearing – October 12, 2022, 4:00 p.m.

City Council Public Hearing – November 1, 2022, and November 15, 2022, 3:00 p.m.

V. METHODOLOGY OF PUBLIC NOTICE

Notification to public will be provided in several methods. These will include:

- First class mail notices will be sent to all on the interested parties/notification list on file with the Planning and Development Services a minimum of 15 days prior to any neighborhood meeting and public hearings.
- Eighth-page ads in the Arizona Daily Sun will be published at least 15 days prior to any required work sessions and public hearings.
- Email notices to regular of the work sessions and public hearing will be provided to contractors, electrical engineers and lighting designers that submit regularly to the City.
- Notifications on the Zoning Code Amendment webpage will be provided.
- The City Council and Planning and Zoning Commission meeting and work session agendas that include this amendment will be posted at the City Hall and on the City website.