

**GENERAL PROJECT DATA**

PROJECT DESCRIPTION: (2) NEW 20 UNIT "APARTMENT BUILDINGS" ON EXISTING VACANT LOT.

SITE ADDRESS: 1580 S. PLAZA WAY FLAGSTAFF AZ, 86001

PROPERTY OWNER: AXKO HOLDINGS LLC FLAGSTAFF AZ, 86001 CONTACT/ DEVELOPER: MATT PEACE PHONE: 699-1245

ARCHITECT: SMITH ARCHITECTS, INC. 1503 S. YALE ST., SUITE 200 FLAGSTAFF, AZ 86001 CONTACT: RYAN SMITH

APN: 112-24-0108

ZONING DISTRICT: HIGHWAYS COMMERCIAL-PRD, T4N.2

SUBDIVISION: WOODLANDS VILLAGE

SITE AREA: 1.71 ACRES (74,487 S.F.)

BUILDING AREA: 20,093 SF PER BUILDING

PARKING REQUIRED: 1.25 PER STUDIO: 4-STUDIO = 5 SPACES  
1.5 PER 1 BD: 24-1 BD = 36 SPACES  
2 PER 2+ BD: 12-2BD = 24 SPACES  
25 PER 2+ BD: 12-2BD = 6 SPACES  
TOTAL REQUIRED: 71 SPACES

PARKING REDUCTIONS: MOTORCYCLE: \*A REDUCTION OF ONE SPACE MAY BE ALLOWED IF ONE MOTORCYCLE SPACE FOR EVERY 25 REQUIRED MOTOR VEHICLE SPACES IS PROVIDED.  
2 MOTORCYCLE SPACES PROVIDED  
1 PARKING SPACE REDUCTION

TRANSIT STOP (NEAREST @ S. WOODLANDS VILLAGE BLVD.): \*A REDUCTION OF UP TO 10% IF WITHIN 1/4 MI. OF A BUS STOP.  
71 X 10% = 7.1  
7 PARKING SPACE REDUCTION

BICYCLE PARKING: \*A REDUCTION OF ONE SPACE FOR EACH FOUR BICYCLE SPACES PROVIDED TO A MAX. OF 5% OF THE REQUIRED MOTOR VEHICLE SPACES.  
12 BICYCLE SPACES PROVIDED  
3 PARKING SPACE REDUCTION  
3 APPLICABLE PARKING SPACE REDUCTIONS TOTAL  
TOTAL REQUIRED 71-11 = 60 SPACES

PARKING PROVIDED: 57 STANDARD VEHICLE SPACES  
3 ACCESSIBLE SPACES  
60 TOTAL VEHICLE SPACES  
2 MOTORCYCLE SPACES  
12 BICYCLE SPACES

GARBAGE COLLECTION: NEW DOUBLE DUMPSTER ENCLOSURE

OCCUPANCY GROUP: R-2

BUILDING SETBACKS: FRONT: FRONT FACADE WITHIN 5' MIN.; 12' MAX.  
FACADE ZONE: 10' MIN.; 15' MAX.  
SIDE: 3' MIN.  
REAR: 3' MIN.

DENSITY: GROSS DENSITY WITH THE RPO INSIDE OF A PEDESTRIAN SHED OF AN ACTIVITY CENTER = 29  
29 X 1.71 = 49.59 UNITS ALLOWED. PROPOSED: 40 UNITS

REVISION:	DATE:
△ COF COMMENTS	2-16-21
△ COF COMMENTS	3-24-21

**PLAZA WAY APARTMENTS**  
1580 S. PLAZA WAY  
FLAGSTAFF, ARIZONA

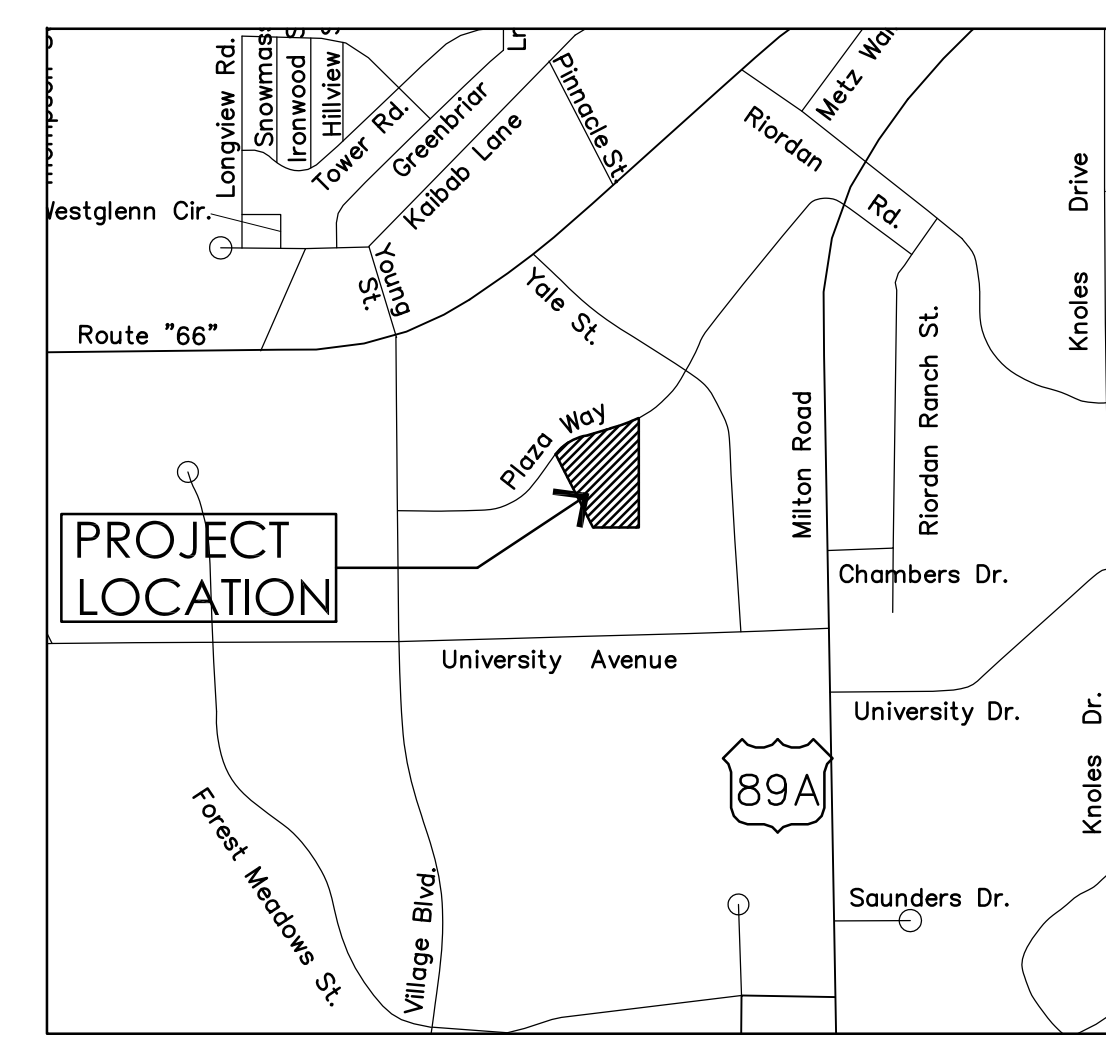
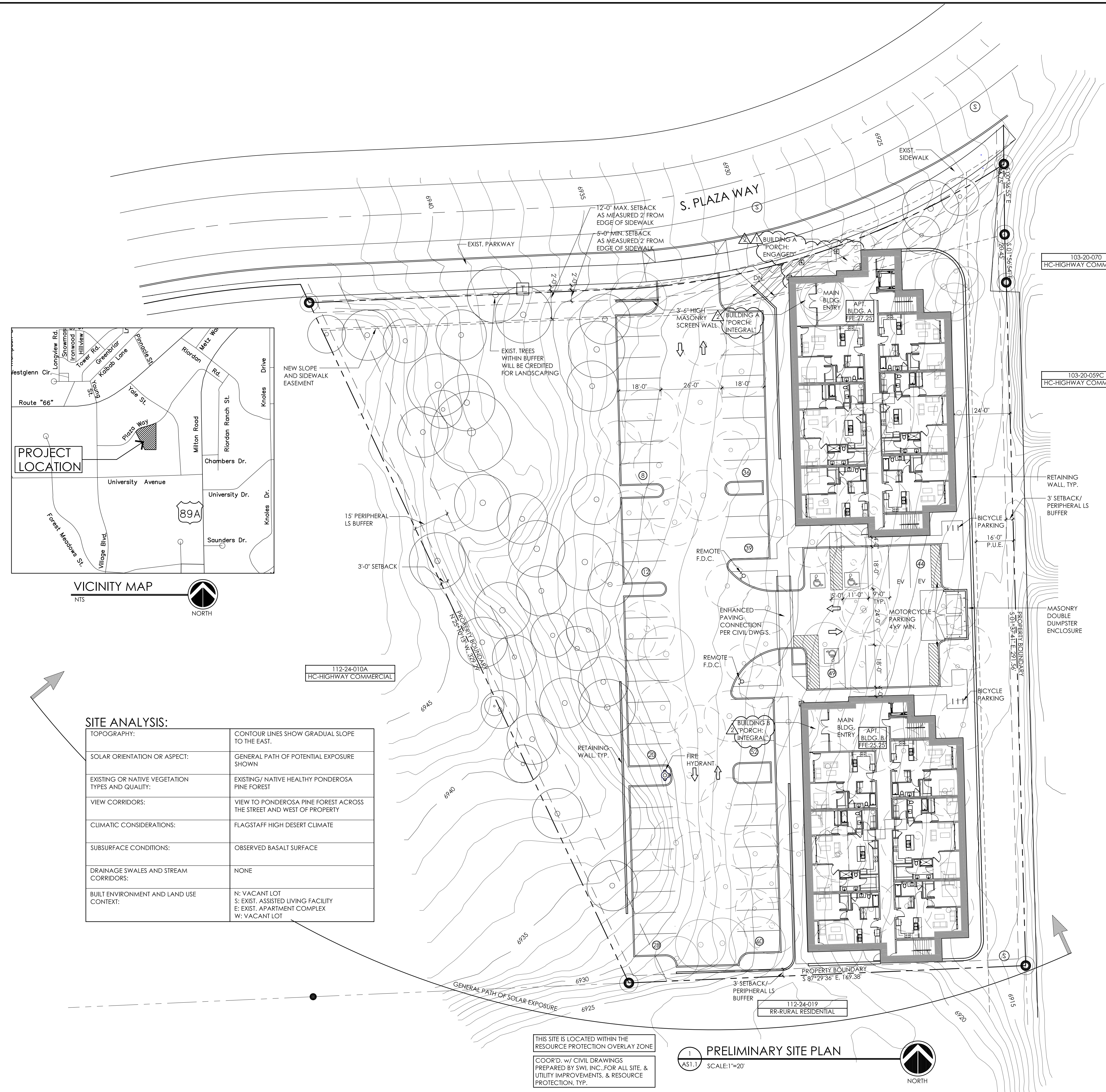
**smith ARCHITECTS inc.**  
ARCHITECTURE | PLANNING | COLLABORATION  
PH: 928.779.5993  
www.smith-arc.com  
1503 S. YALE STREET, SUITE 200  
FLAGSTAFF, ARIZONA 86001

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**PRELIMINARY**  
NOT FOR CONSTRUCTION OR RECORDING

DRAWN BY: T.SCANTLEBURY REVIEW BY: R.SMITH  
PROJECT NO.: 2020-16  
DATE: FEBRUARY 2, 2021  
SHEET:

**AS1.1**  
ARCHITECTURAL SITE PLAN



**SITE ANALYSIS:**

TOPOGRAPHY:	CONTOUR LINES SHOW GRADUAL SLOPE TO THE EAST.
SOLAR ORIENTATION OR ASPECT:	GENERAL PATH OF POTENTIAL EXPOSURE SHOWN
EXISTING OR NATIVE VEGETATION TYPES AND QUALITY:	EXISTING/ NATIVE HEALTHY PONDEROSA PINE FOREST
VIEW CORRIDORS:	VIEW TO PONDEROSA PINE FOREST ACROSS THE STREET AND WEST OF PROPERTY
CLIMATIC CONSIDERATIONS:	FLAGSTAFF HIGH DESERT CLIMATE
SUBSURFACE CONDITIONS:	OBSERVED BASALT SURFACE
DRAINAGE SWALES AND STREAM CORRIDORS:	NONE
BUILT ENVIRONMENT AND LAND USE CONTEXT:	N: VACANT LOT S: EXIST. ASSISTED LIVING FACILITY E: EXIST. APARTMENT COMPLEX W: VACANT LOT

THIS SITE IS LOCATED WITHIN THE RESOURCE PROTECTION OVERLAY ZONE  
COORD. w/ CIVIL DRAWINGS PREPARED BY SWI, INC. FOR ALL SITE, & UTILITY IMPROVEMENTS, & RESOURCE PROTECTION, TYP.

**1 PRELIMINARY SITE PLAN**  
SCALE: 1"=20'  
NORTH

**SITE PLAN LEGEND**

- HATCH INDICATES APPROX. NEW BUILDING FOOTPRINT
- EXIST. PONDEROSA PINE TREE TO REMAIN
- EXIST. PONDEROSA PINE TREE TO BE REMOVED

FILE: FILENAME.dwg LAST UPDATE: LAST PLOT:

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 FLAGSTAFF, ARIZONA

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DRAWN BY: REVIEW BY:  
 T.SCANLEBURY R.SMITH  
 PROJECT NO.:  
 2020-16  
 DATE:  
 FEBRUARY 2, 2021  
 SHEET:

**A2.1**  
 BUILDING ELEVATIONS



**EXTERIOR FINISH LEGEND & SCHEDULE**

LEGEND	MATERIAL	DESCRIPTION/ COLOR
[Symbol 1]	COMPOSITE SHINGLES	HIGH DEFINITION ASPHALT COMPOSITE SHINGLES "GAF. TIMBERLINE HD" OR EQUAL w/ (1) LAYER 40# FELT o/ ROOF STRUCTURE COLOR/ FINISH: WEATHERED WOOD
[Symbol 2]	STANDING SEAM MTL. ROOF/ SIDING	STANDING SEAM MTL. ROOF PANEL COLOR/ FINISH: DARK BRONZE
[Symbol 3]	HORIZONTAL LAP SIDING	FIBER CEMENT HORIZONTAL WOOD LAP SIDING w/ 8" EXPOSURE.
[Symbol 4]	BOARD & BATT SIDING	FIBER CEMENT 1X4 BATTEN o/ 1X12 BOARD
[Symbol 5]	NATURAL STONE VENEER	NATURAL MALAPAI STONE VENEER.
[Symbol 6]	MASONRY	SPLIT-FACE CONCRETE MASONRY UNITS COLOR/ FINISH: STANDARD CONCRETE GRAY

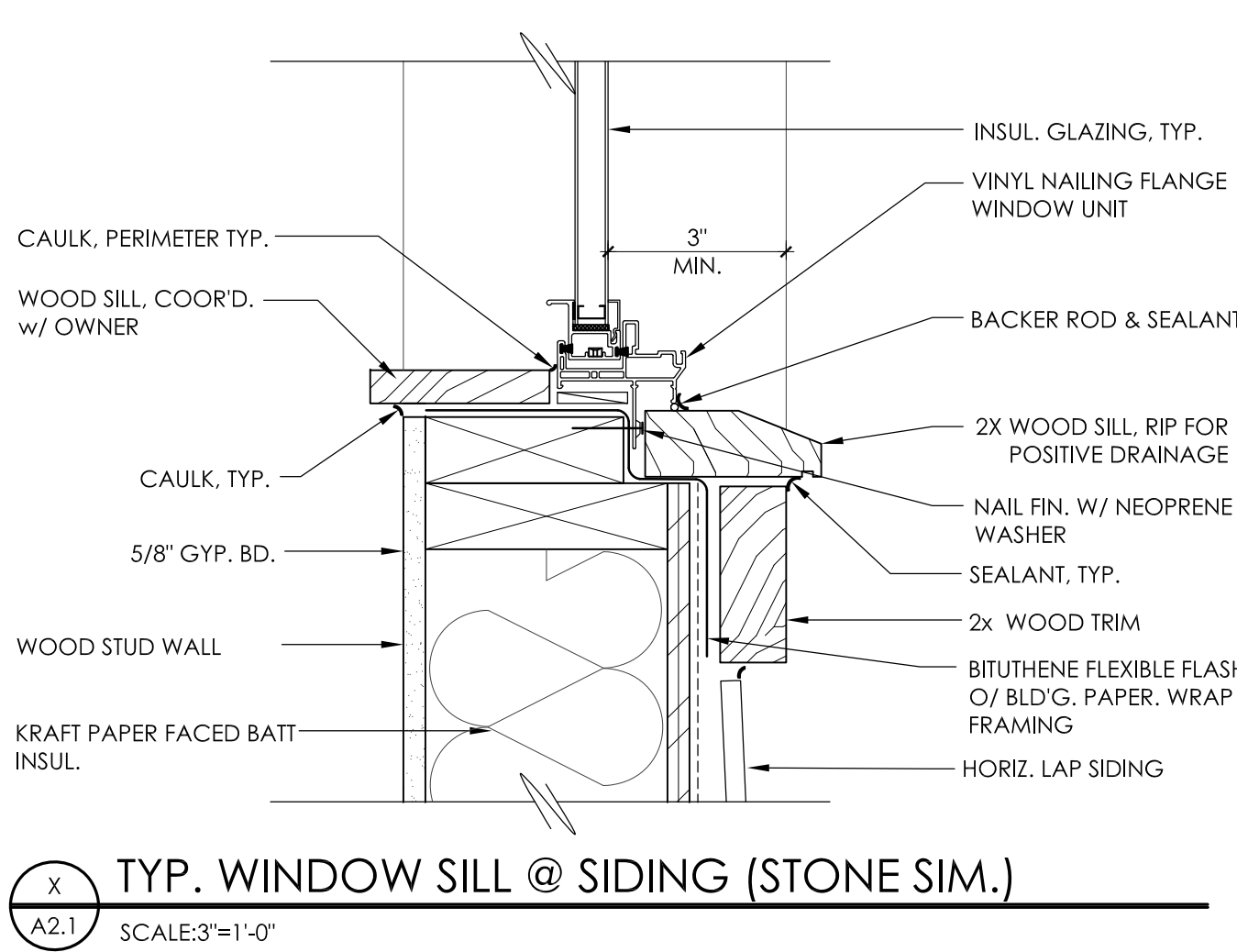
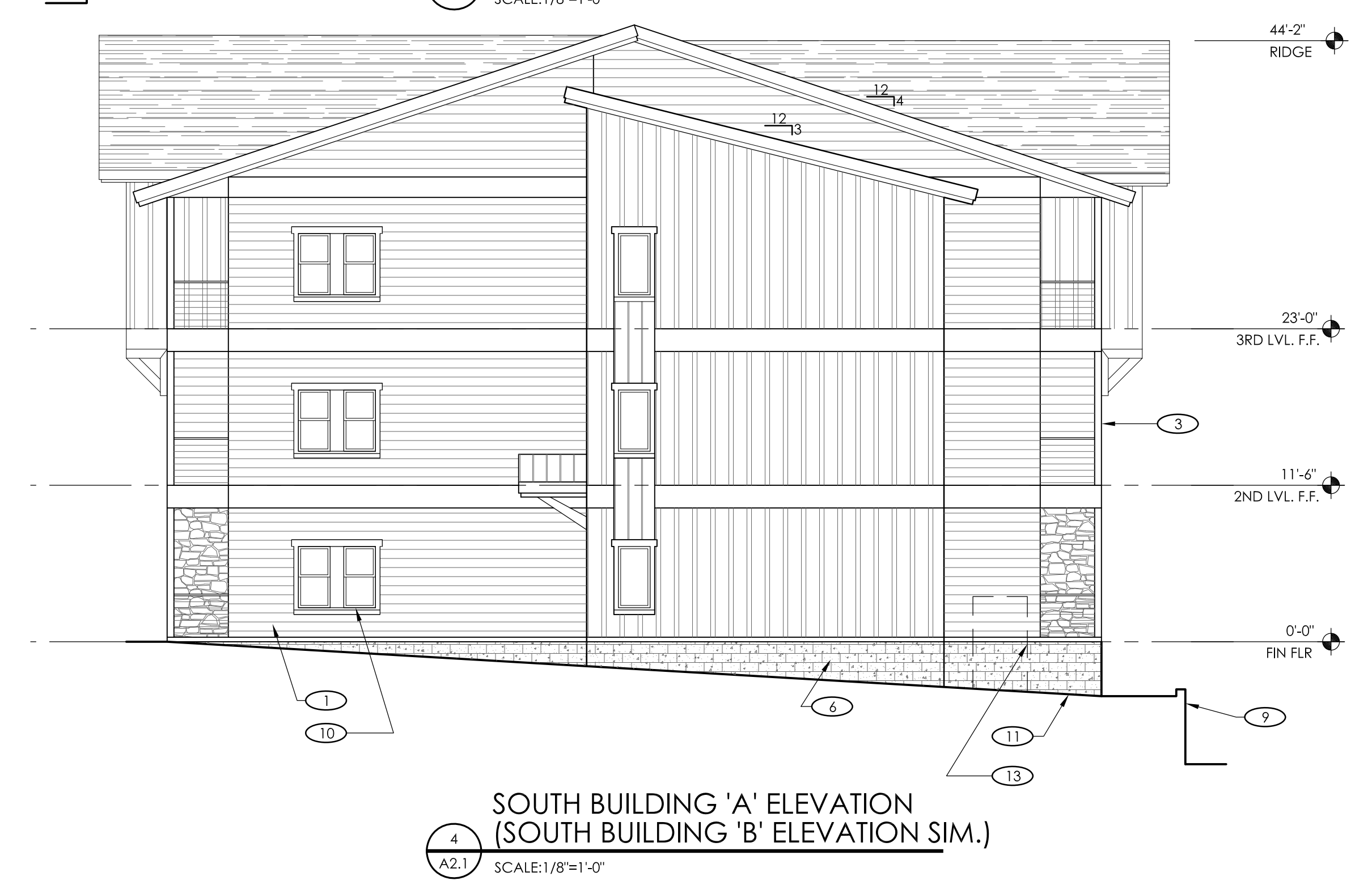
  

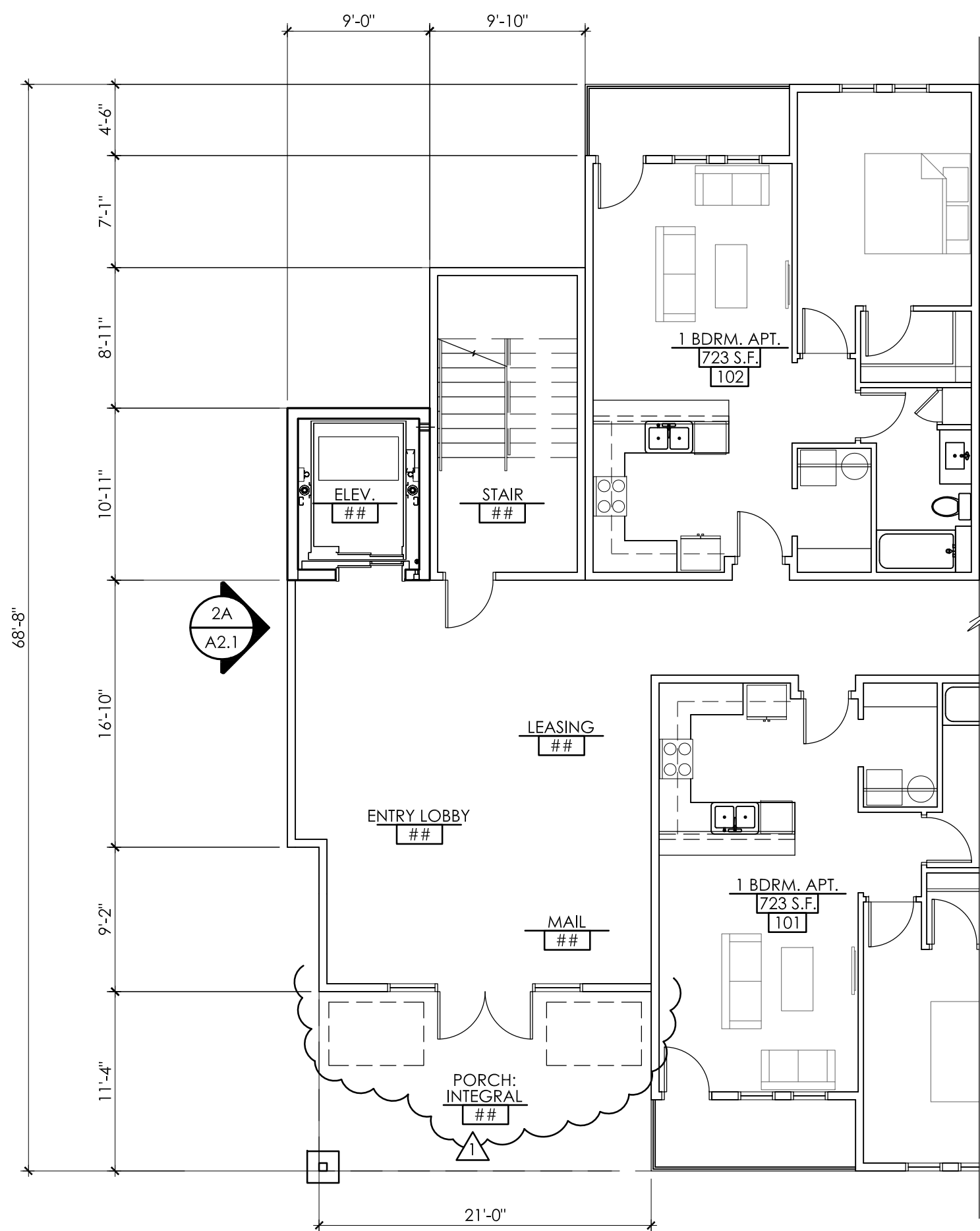
**KEYED NOTES:**

- FIBER CEMENT LAP SIDING
- STONE VENEER
- WOOD SUPPORT COLUMNS
- ALUM. STOREFRONT DOOR
- ALUM. STOREFRONT SYSTEM
- SPLIT-FACE CMU'S
- HORIZONTAL STL. GUARDRAIL
- PRE-CAST CONC. CAP
- RETAINING WALL
- VINYL WINDOW UNIT
- APPROX. FINISH GRADE. COORD. w/ CIVIL DWGS.
- ROUGH SAWN PERGOLA FRAMING
- APPROX. MECH./ ELEC. EQUIPMENT TO BE SCREENED FROM PUBLIC WAY.

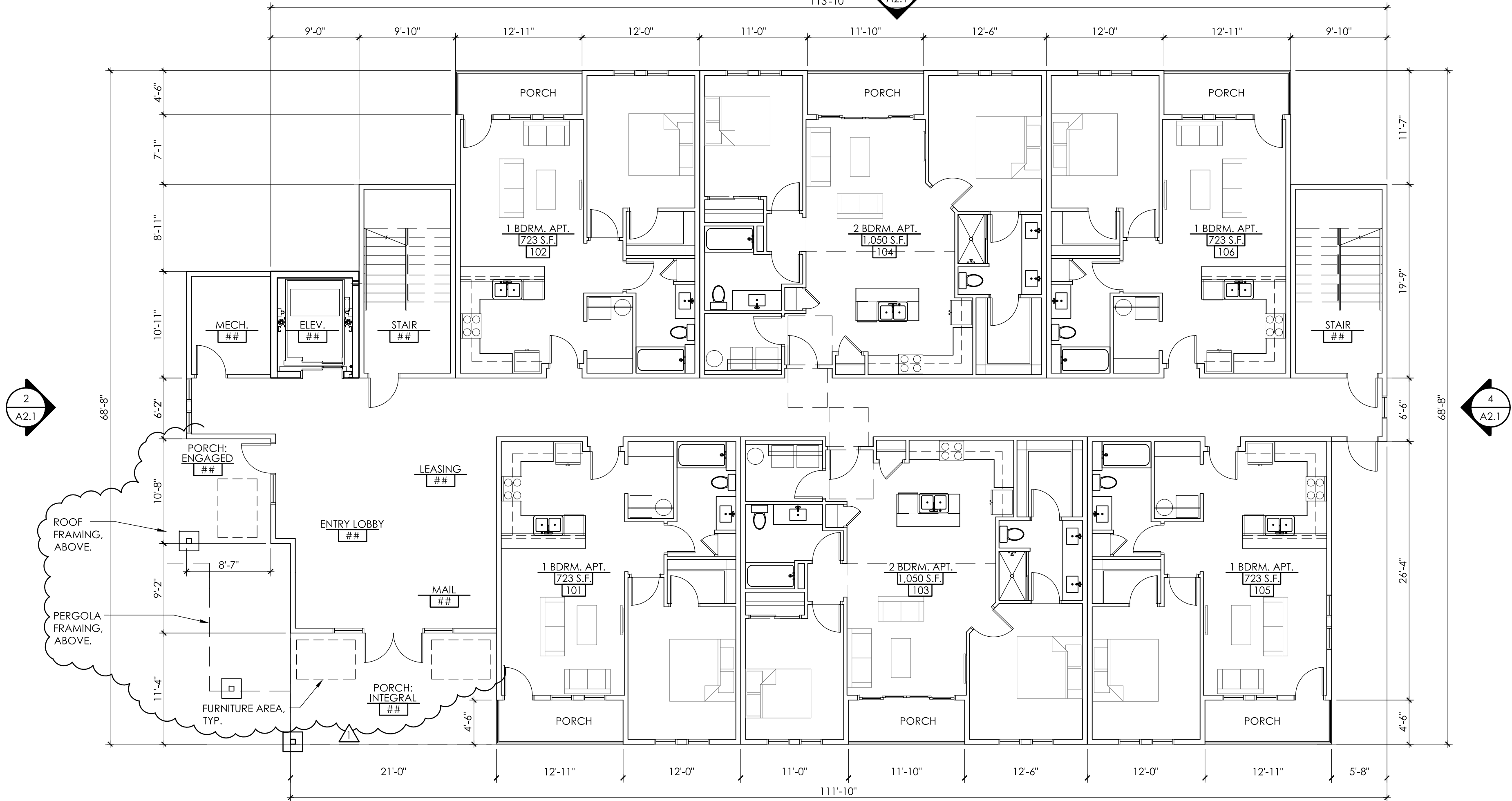
**COLOR LEGEND**

ACCENT	SHERWIN WILLIAMS "ATTITUDE GRAY"-SW 7060 LRV: 20	TRIM	SHERWIN WILLIAMS "STUDIO CLAY"-SW 9172 LRV: 27
BODY	SHERWIN WILLIAMS "LAUREL WOODS"-SW 7749 LRV: 6	CORBEL	SHERWIN WILLIAMS "REQUISITE GRAY"-SW 7023 LRV: 45

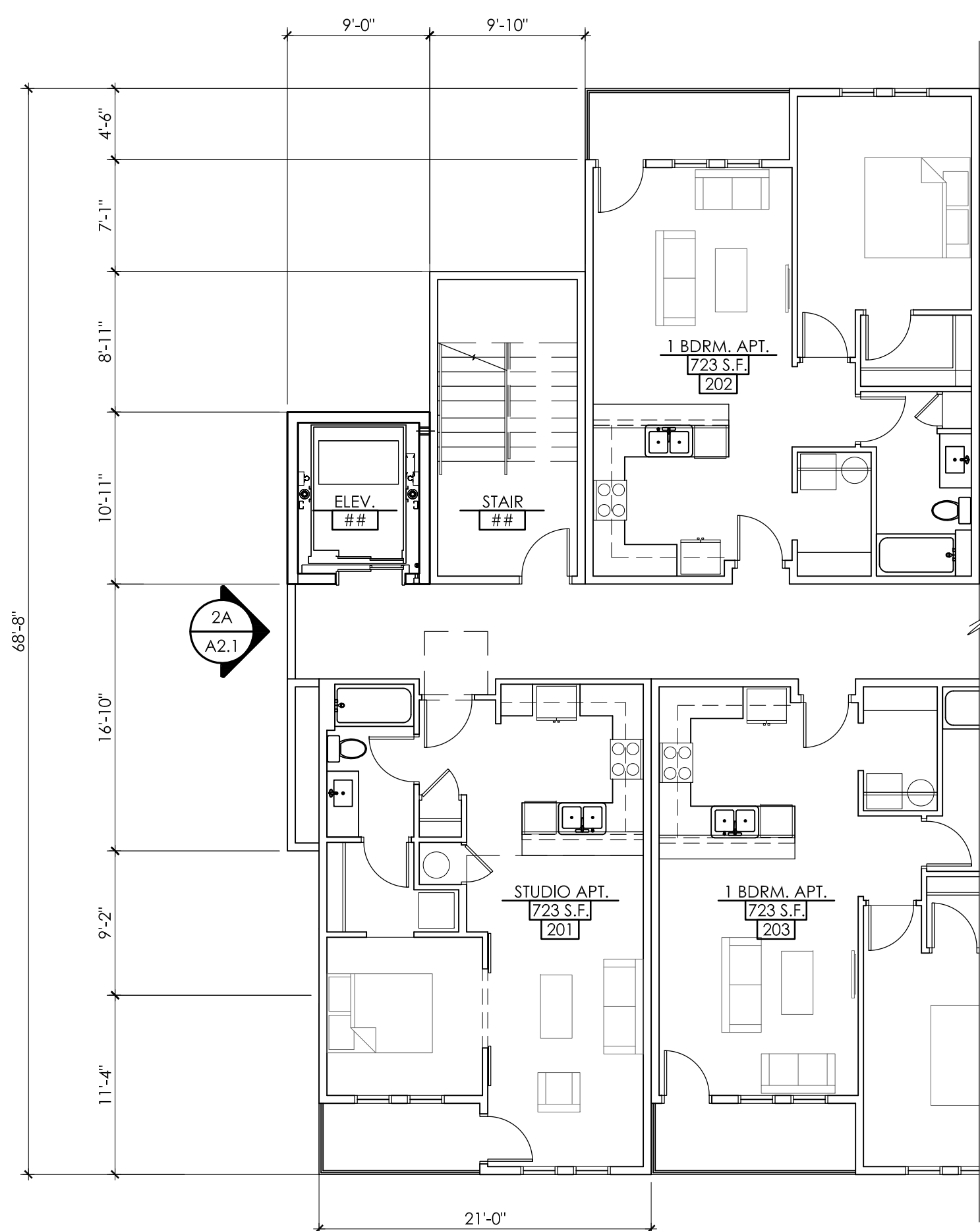




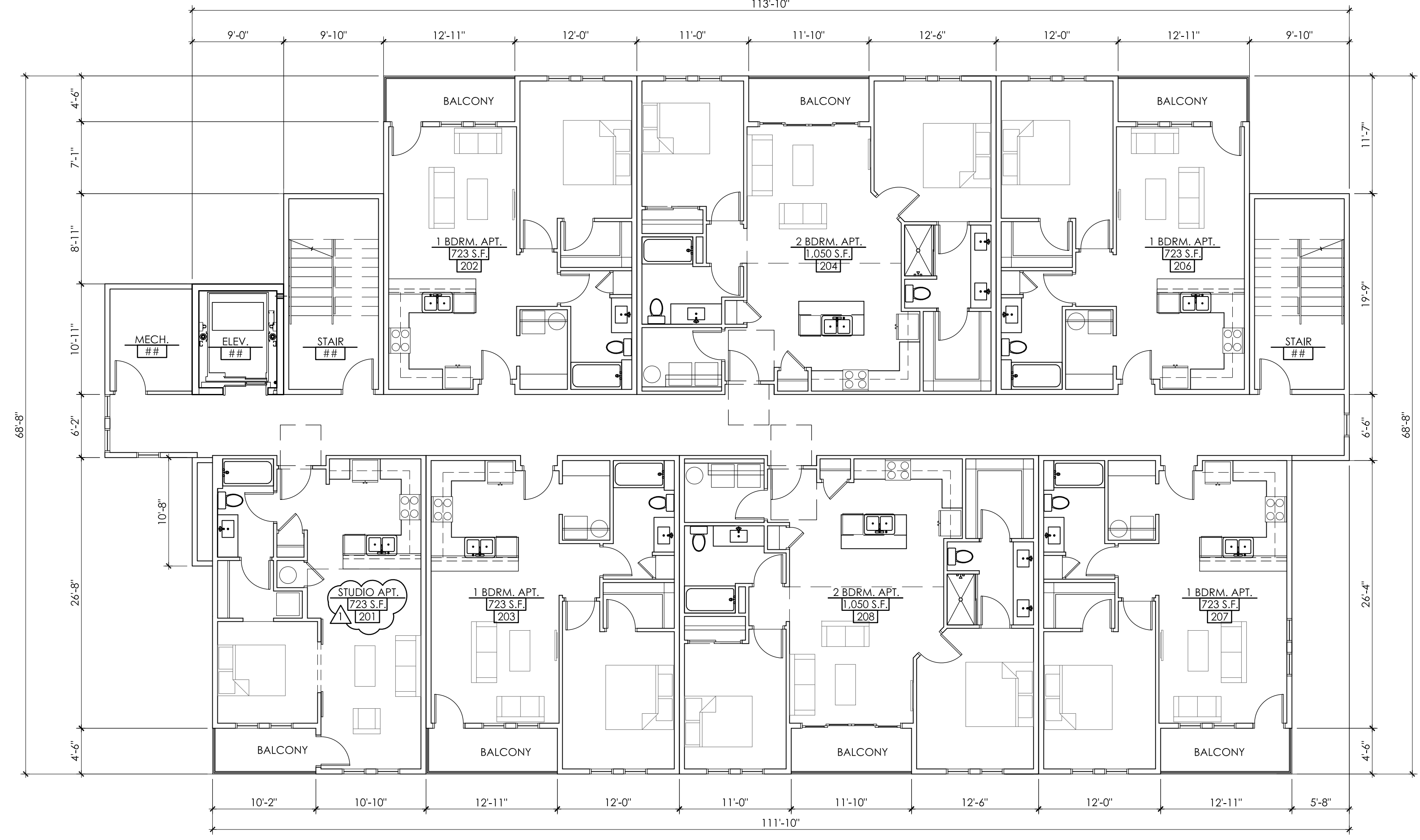
**BUILDING 'B' PARTIAL FIRST FLOOR PLAN**  
 SCALE: 1/8"=1'-0"  
 \* ALL INTERIOR PARTITIONS WILL BE 10'-0" HIGH U.N.O.



**BUILDING 'A' FIRST FLOOR PLAN**  
 SCALE: 1/8"=1'-0"  
 \* ALL INTERIOR PARTITIONS WILL BE 10'-0" HIGH U.N.O.



**BUILDING 'B' PARTIAL SECOND FLOOR PLAN**  
 SCALE: 1/8"=1'-0"  
 \* ALL INTERIOR PARTITIONS WILL BE 10'-0" HIGH U.N.O.



**BUILDING 'A' SECOND FLOOR PLAN**  
 SCALE: 1/8"=1'-0"  
 \* ALL INTERIOR PARTITIONS WILL BE 10'-0" HIGH U.N.O.

FILE: 1906\_A1.1.dwg LAST UPDATE: 12-05-19 LAST PLOT: 12-05-19

REVISION:	DATE:
COF COMMENTS	3-24-21

**PLAZA WAY APARTMENTS**  
 1580 S. PLAZA WAY  
 FLAGSTAFF, ARIZONA

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 1503 S. YALE STREET, SUITE 200  
 FLAGSTAFF, ARIZONA 86001  
 PH: 928.779.5993  
 FX: 928.774.0785

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DRAWN BY:	REVIEW BY:
T. SCANTLEBURY	R. SMITH
PROJECT NO.:	2020-16
DATE:	FEBRUARY 2, 2021
SHEET:	

**A1.1**  
 FLOOR PLANS



1 BUILDING 'A & B' THIRD FLOOR PLAN  
 A1.2 SCALE: 1/8"=1'-0"  
 \* ALL INTERIOR PARTITIONS WILL BE 10'-0" HIGH U.S.O.

REVISION:	DATE:
COF COMMENTS	3-24-21

**PLAZA WAY APARTMENTS**  
 1580 S. PLAZA WAY  
 FLAGSTAFF, ARIZONA

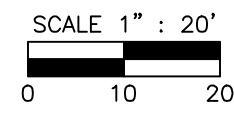
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PROJECT NO.:	
2020-16	
DATE:	
FEBRUARY 2, 2021	
SHEET:	

**A1.2**  
 FLOOR PLANS



# CIVIL SITE PLAN FOR PLAZA WAY CONDOMINIUMS 1580 S. PLAZA WAY FLAGSTAFF, ARIZONA

PORTION OF LOT 10, WOODLANDS VILLAGE UNIT 1, AS SHOWN BY RECORD OF SURVEY RECORDED AS INSTRUMENT 3487631, AND CASE 4 MAPS, PG 62-62A. LOCATED IN SECTION 21, TOWNSHIP 21 NORTH, RANGE 7 EAST GILA AND SALT RIVER MERIDIAN, COCONINO COUNTY, FLAGSTAFF, ARIZONA

### PROPERTY OWNER/DEVELOPER:

AXXO HOLDINGS, LLC  
FLAGSTAFF, AZ 86001  
CONTACT: MATT PEACE

### PROJECT ARCHITECT

SMITH ARCHITECTS, INC.  
1503 S. YALE ST. SUIT 200  
FLAGSTAFF, AZ 86001  
(928) 779-5993  
CONTACT: RYAN SMITH

### PROJECT ENGINEER:

SHEPHARD-WESNITZER INC.  
110 WEST DALE AVE.  
FLAGSTAFF, AZ 86001  
(928) 773-0354  
CONTACT: STEPHEN IRWIN

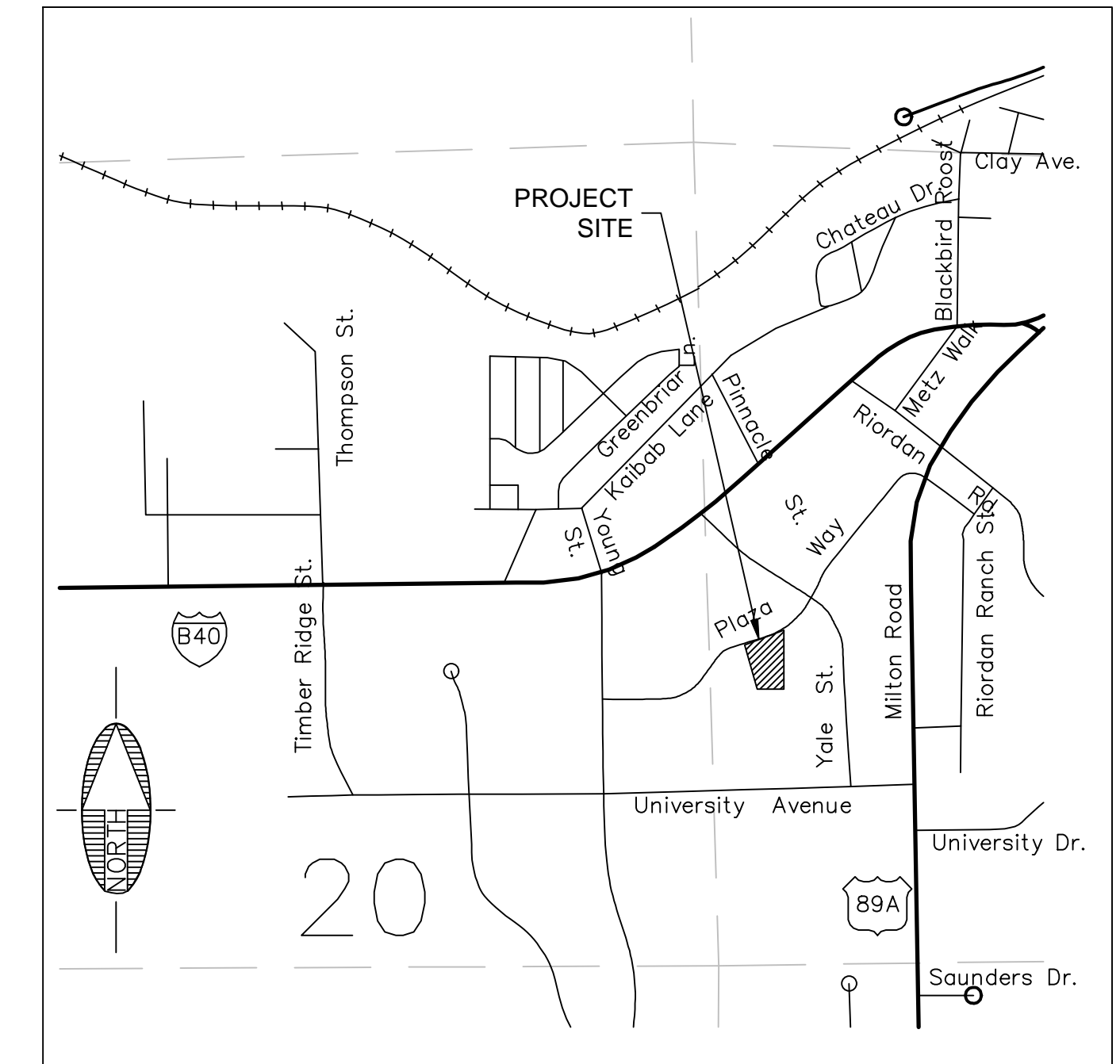
### PROJECT INFORMATION

SITE ADDRESS: 1580 S. PLAZA WAY  
FLAGSTAFF, AZ 86001

APNS: 112-24-010B

AREA: GROSS: 1.71 ACRES (74,487 SF)  
NET: 1.91 ACRES (83,168 SF)  
BLDG: 13,732 SF (18% COVERAGE)

ZONING: HIGHWAY COMMERCIAL-PRD



VICINITY MAP  
N.T.S.

### LEGEND

- ROW
- - - EASEMENT
- LOT LINE
- - - SETBACK
- STORM DRAIN PIPE
- ⊕ FIRE HYDRANT
- ⊗ GATE VALVE
- ⊙ EX SEWER MANHOLE
- STORM DRAIN MANHOLE
- ▒ CATCH BASIN
- LIGHT POLE

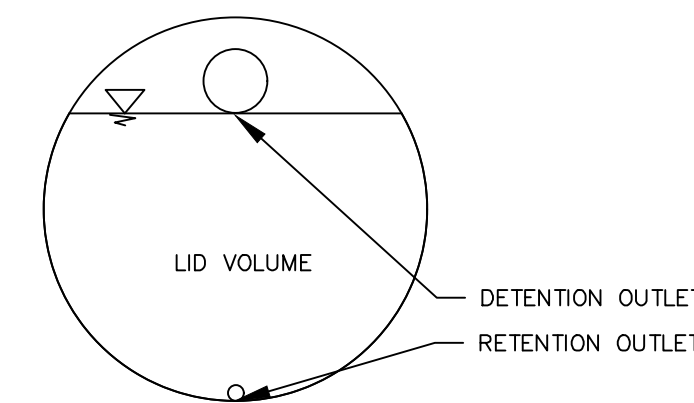
### IMPERVIOUS AREA SUMMARY

PRE-DEVELOPMENT IMPERVIOUS AREA = 0 SF  
POST-DEVELOPMENT IMPERVIOUS AREA = 38,768 SF  
NEW IMPERVIOUS AREA = 38,768 SF

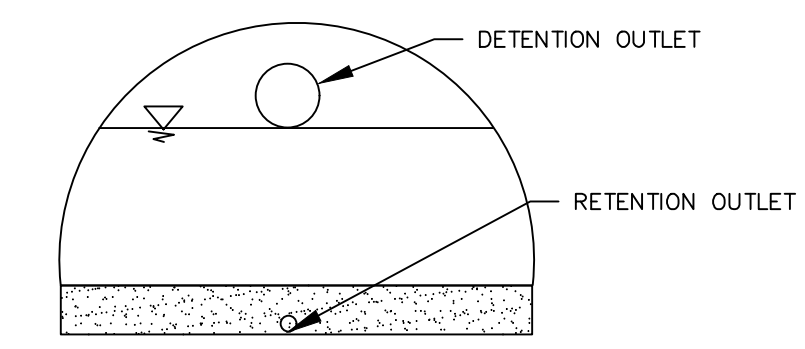
1" LID VOLUME = 3,230 CF  
LID AND DETENTION ARE REQUIRED AND WILL BE PROVIDED IN UNDERGROUND STORAGE TANKS.

### FEMA DESIGNATION:

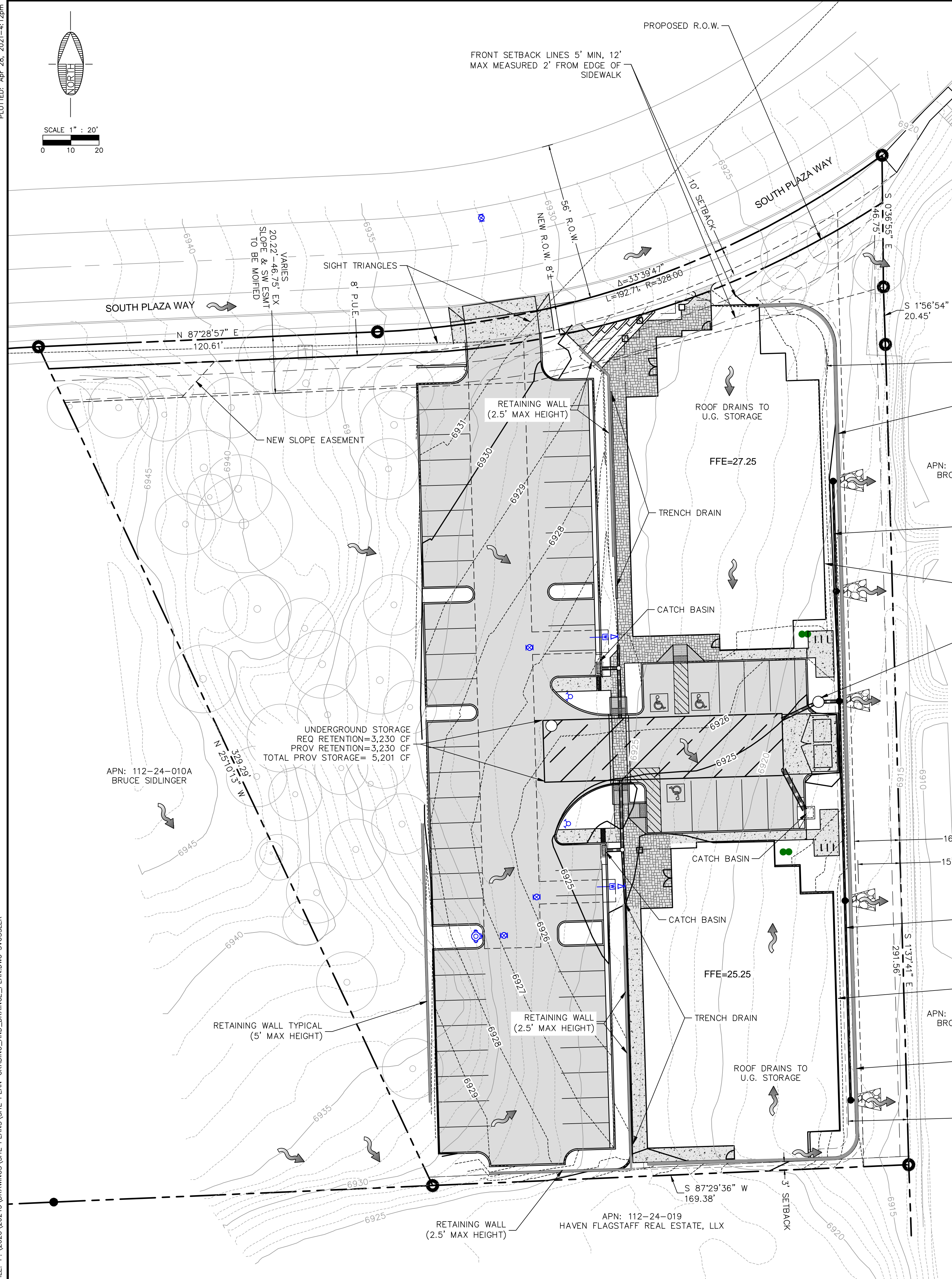
THIS PROJECT IS LOCATED WITHIN ZONE X OF FEMA FIRM MAP #04005C8316G, EFFECTIVE SEPTEMBER 3, 2010. ZONE X IS DESCRIBED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.



STORAGE TANK OUTLET SECTION



STORAGE TANK OUTLET SECTION  
(ALTERNATE DESIGN)



FLAGSTAFF ARIZONA

PLAZA WAY CONDOMINIUMS

SITE PLAN  
PRELIMINARY GRADING & DRAINAGE PLAN

JOB NO:	20243
DATE:	APR 21
SCALE:	AS SHOWN
DRAWN:	SIW
DESIGN:	SIW
CHECKED:	SCI

75 Kallio Place  
Scottsdale, AZ 85266  
928.282.2058 fax  
www.swi.com

**SWI**  
Shephard Wesnitzer, Inc.

NO.	DESCRIPTION	DATE	BY
2	SITE PLAN 2ND SUBMITTAL	4/29/2021	

Contact Arizona 811 at least two full working days before you begin excavation

ARIZONA 811  
Call 811 or click Arizona811.com

DRAWING NO.  
**SP01**

SHT NO. OF  
1 3

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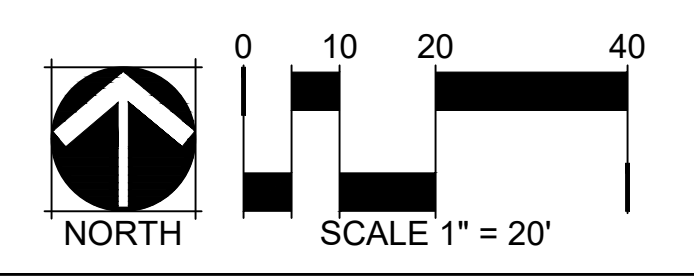
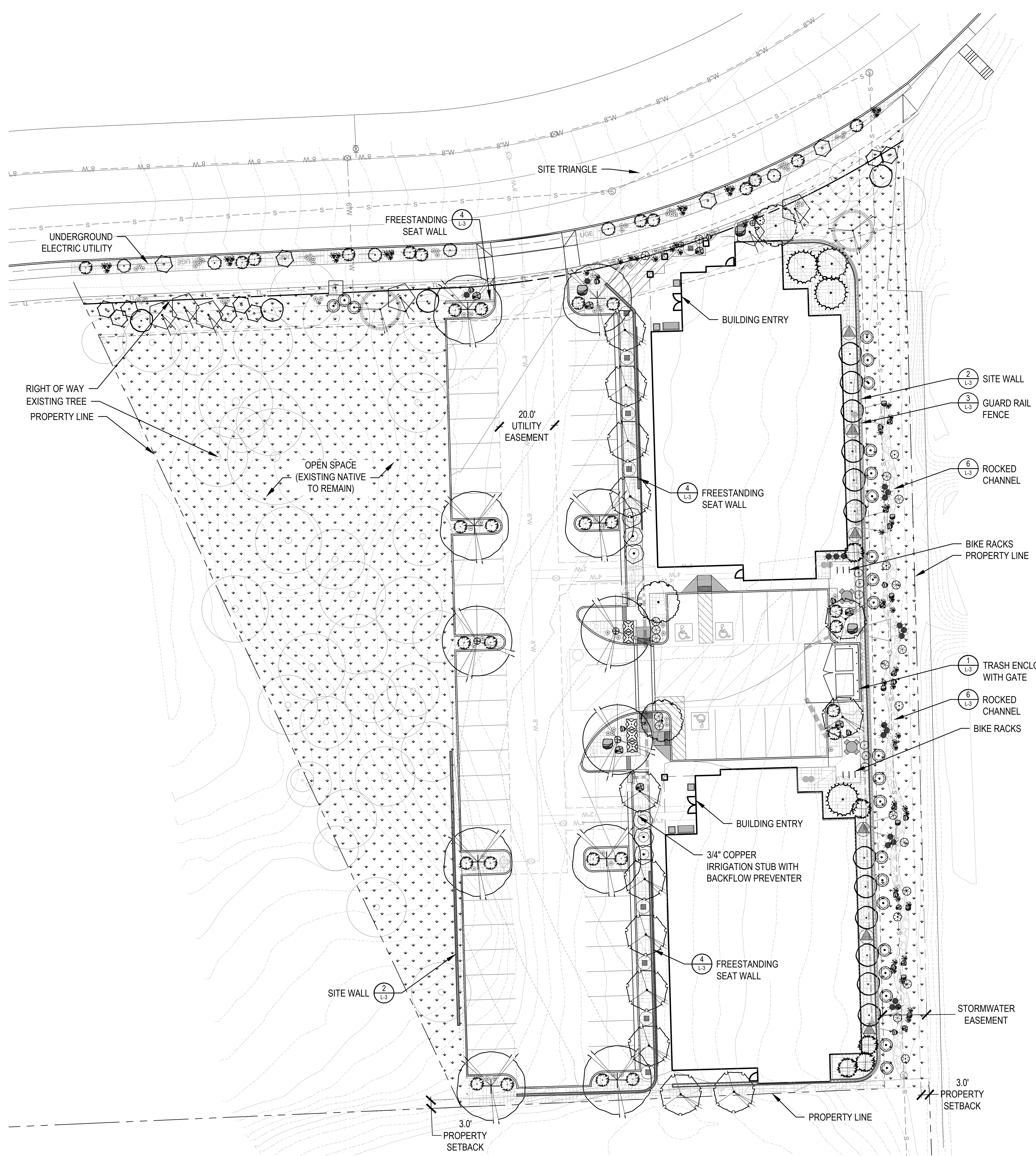
**PLANT SCHEDULE**

SYM.	GENUS & SPECIES COMMON NAME	PLANTING SIZE	ESTIMATED MATURE SIZE	SPACING	QTY (PRIV.)	
<b>TREES (DECIDUOUS CANOPY)</b>						
	Acer freemanii Autumn Blaze Maple	2" CAL, B&B	45' H X 30' W	AS SHOWN	3	
	Gleditsia triacanthos inermis 'Skyline' Skyline Honey Locust	2" CAL, B&B	50' H X 40' W	AS SHOWN	8	
<b>TREES (EVERGREEN)</b>						
	Juniperus chinensis 'Blue Point' Blue Point Juniper	6' HT MIN., B&B	15' H X 5' W	AS SHOWN	5	
	Picea pungens 'bakeri' Bakeri Spruce	6' HT MIN., B&B	20' H X 12' W	AS SHOWN	4	
	Pinus edulis Pinyon Pine	6' HT MIN., B&B	30' H X 20' W	AS SHOWN	2	
<b>TREES (DECIDUOUS ORNAMENTAL)</b>						
	Acer tataricum Hot Wings Maple	15 GALLON MULTI-STEM	20' H X 20' W	AS SHOWN	3	
	Populus tremuloides Quaking Aspen	1.5" CAL, B&B SINGLE-STEM	35' H X 15' W	AS SHOWN	6	
	Pyrus calleryana 'Chanticleer' Chanticleer Pear	1.5" CAL, B&B SINGLE STEM	25' H X 15' W	AS SHOWN	14	
<b>DECIDUOUS SHRUBS</b>						
	Amelanchier alnifolia Saskatoon Serviceberry	5-GALLON	15' H X 8' W	8' O.C.	16	
	Cornus sericea 'Arctic Fire' Arctic Fire Dogwood	5-GALLON	4' H X 4' W	4'-5' O.C.	5	
	Perovskia atriplicifolia 'Little Spire' Dwarf Russian Sage	5-GALLON	2' H X 3' W	3'-4' O.C.	8	
	Potentilla fruticosa 'Gold Drop' Gold Drop Potentilla	2-GALLON	3' H X 3' W	3'-4' O.C.	15	
	Rhus trilobata 'Autumn Amber' Autumn Amber Sumac	5-GALLON	2' H X 6' W	4'-5' O.C.	6	
	Ribes aureum Golden Currant	5-GALLON	7' H X 7' W	6'-7' O.C.	6	
	Rosa woodsii Woods' Rose	2-GALLON	3' H X 3' W	3'-4' O.C.	6	
	Symphoricarpos albus Snowberry	2-GALLON	3' H X 3' W	3'-4' O.C.	2	
	Syringa patula 'Miss Kim' Miss Kim Lilac	5-GALLON	4' H X 5' W	4'-5' O.C.	9	
	<b>EVERGREEN SHRUBS</b>					
		Arctostaphylos x coloradoensis panchito Panchito Manzanita	2-GALLON	1' H X 5' W	4'-5' O.C.	6
		Chamaebatia millefolium Fernbush	5-GALLON	5' H X 6' W	5'-6' O.C.	12
Juniperus horizontalis 'Blue Chip' Blue Chip Juniper		5-GALLON	1' H X 6' W	4'-5' O.C.	34	
Mahonia aquifolium compacta Compact Oregon Grape Holly		5-GALLON	3' H X 5' W	4'-5' O.C.	23	
<b>ORNAMENTAL GRASS</b>						
	Bouteloua gracilis 'Blonde Ambition' Blonde Ambition Grama Grass	1-GALLON	4' H X 3' W	3'-4' O.C.	59	
	Panicum virgatum 'Shenandoah' Shenandoah Switchgrass	1-GALLON	4' H X 3' W	3'-4' O.C.	20	
<b>ACCENT PERENNIALS</b>						
	Achillea x Moonshine Moonshine Yarrow	1-GALLON	16" H X 18" W	1.5' O.C.	TBD	
	Geranium x 'Johnson's Blue' Johnson's Blue Cranesbill	1-GALLON	8" H X 24" W	2' O.C.	TBD	
	Rudbeckia fulgida 'Goldsturm' Black-Eye Susan	1-GALLON	24" H X 18" W	1.5' O.C.	TBD	
	Sedum spectabile 'Autumn Joy' Autumn Joy Sedum	1-GALLON	18" H X 18" W	1.5' O.C.	TBD	
<b>GROUNDCOVER PERENNIALS</b>						
	Cerastium tomentosum Snow in Summer	1-GALLON	6" H X 18" W	1.5' O.C.	TBD	
	Mahonia repens Creeping Mahonia	1-GALLON	8" H X 18" W	1.5' O.C.	TBD	

TOTAL PERENNIALS: 89

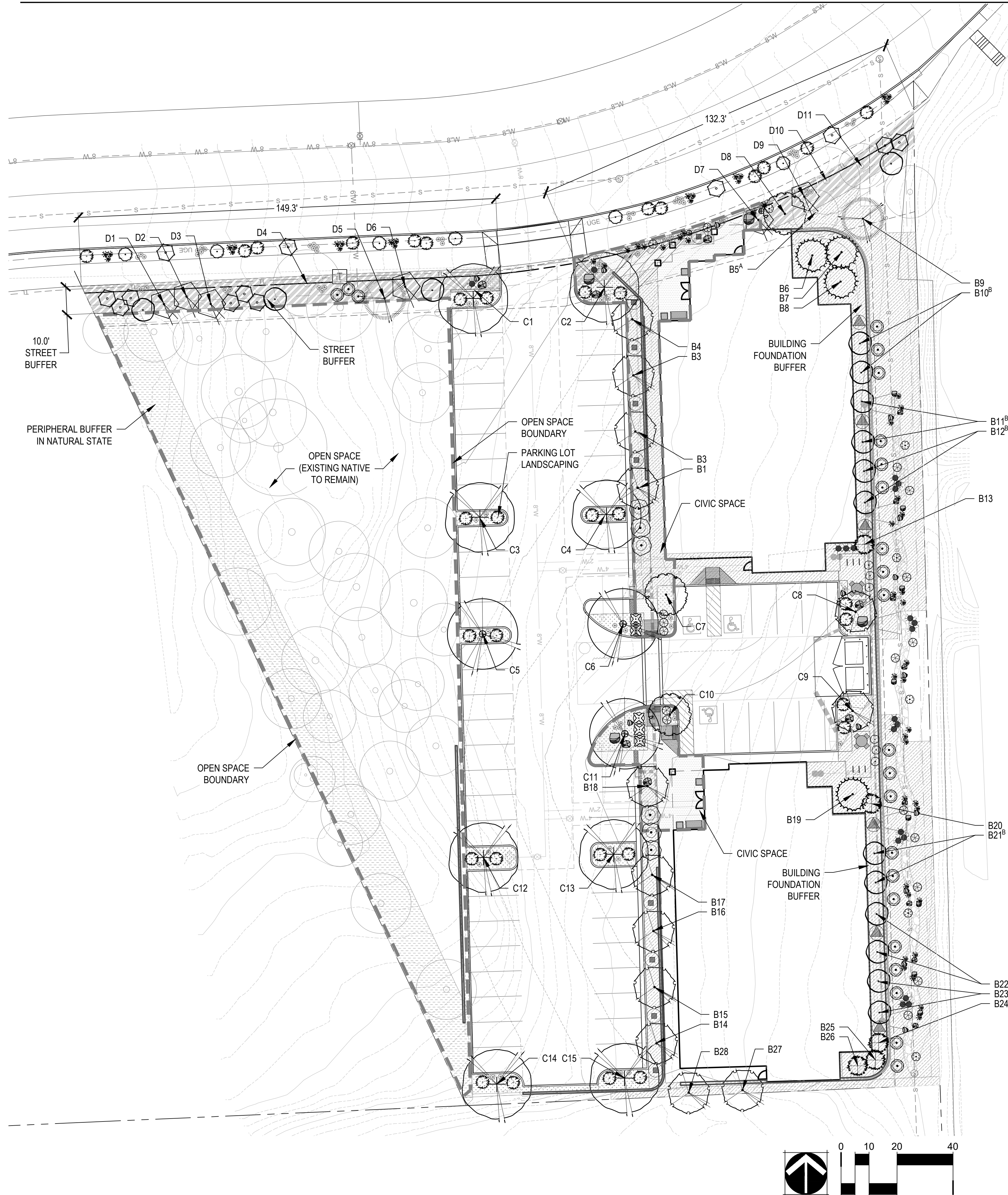
**DIAGRAM LEGEND**

- NATIVE GRASS (RESEED WHERE DISTURBED)
- LANDSCAPE BED W/ ROCK MULCH
- ROCKED CHANNEL
- BIKE RACKS
- BENCH
- BOULDERS
- PLANTED POT
- FIXED TABLE
- EXISTING PONDEROSA PINE



CHECKED BY: JK  
 DRAWN BY: KW

SITE LANDSCAPE CALCULATIONS, CIVIC SPACE, & OPEN SPACE DIAGRAM



SITE LANDSCAPE CALCULATIONS

LOT 1 - RESIDENTIAL 1.71 ACRES		REQUIRED	MINIMUM SIZE REQUIRED	PROVIDED
<b>PERIPHERAL BUFFER</b>				
TOTAL L.F. 370	TREES SHRUBS GROUNDCOVERS	1 PER 25 LINEAR FEET = 15 2 PER TREE = 30 2 PER TREE = 30	15 GALLON 5 GALLON 1 GALLON	0 <sup>C</sup> 0 <sup>C</sup> 0 <sup>C</sup>
	EXISTING TREES			8
<b>BUILDING FOUNDATION - NORTH**</b>				
TOTAL L.F. 330	TREES SHRUBS GROUNDCOVERS	1 PER 25 LINEAR FEET = 13 2 PER TREE = 26 2 PER TREE = 26	15 GALLON 5 GALLON 1 GALLON	10 <sup>AB</sup> 33 <sup>AB</sup> 26
	EXISTING TREES			1
<b>BUILDING FOUNDATION - SOUTH**</b>				
TOTAL L.F. 365	TREES SHRUBS GROUNDCOVERS	1 PER 25 LINEAR FEET = 15 2 PER TREE = 30 2 PER TREE = 30	15 GALLON 5 GALLON 1 GALLON	12 <sup>A</sup> 36 <sup>A</sup> 30
	EXISTING TREES			0
<b>PARKING AREA</b>				
TOTAL PARKING SPACES 60	TREES SHRUBS GROUNDCOVERS	2 EVERY 8 PARKING SPACE = 15 2 PER TREE = 30 2 PER TREE = 30	15 GALLON 5 GALLON 1 GALLON	15 34 <sup>A</sup> 32 <sup>A</sup>
	MIN. INTERIOR LANDSCAPED AREA	30sf PER SPACE + 1,800sf		1,922sf
<b>STREET BUFFER</b>				
TOTAL L.F. 282	TREES SHRUBS GROUNDCOVER	1 PER 25 LINEAR FEET = 11 2 PER TREE = 22 2 PER TREE = 22	15 GALLON 5 GALLON 1 GALLON	8 20 <sup>A</sup> 16 <sup>A</sup>
	EXISTING TREES*			3

<sup>A</sup> EACH EXISTING TREE THAT IS 6"-10" IN DIAMETER AT BREAST HEIGHT (DBH) MAY SUBSTITUTE FOR THE REQUIREMENT OF ONE LANDSCAPE TREE. FOR EACH EXISTING TREE RETAINED IN A LANDSCAPE AREA, THE REQUIREMENT FOR SHRUBS AND GROUNDCOVERS ASSOCIATED WITH THAT TREE WILL BE WAIVED. (C.O.F. LANDSCAPING STANDARDS SECTION 10-50.60.050.A).  
<sup>B</sup> TWO FIVE-GALLON SHRUBS MAY SUBSTITUTED FOR ONE REQUIRED TREE. TWO ONE-GALLON GROUNDCOVER PLANTS MAY BE SUBSTITUTED FOR ONE FIVE-GALLON SHRUB. (C.O.F. LANDSCAPING STANDARDS SECTION 10-50.60.050.B).  
<sup>C</sup> PERIPHERAL LANDSCAPING IS REQUIRED IN SETBACKS EXCEPT WHERE LANDSCAPE IS RETAINED IN A NATURAL STATE AND THE DIRECTOR DETERMINES THAT LANDSCAPING IS NOT NECESSARY TO ACHIEVE THE PURPOSES OF THIS DIVISION (C.O.F. LANDSCAPING STANDARDS SECTION 10-50.60.040.A.1.b)

SITE DEVELOPMENT REQUIREMENTS

LOT 1 - RESIDENTIAL 1.71 ACRES		REQUIRED	PROVIDED
PEDESTRIAN AMENITY SPACE/CIVIC SPACE	N/A (SITE CONTAINS FEWER THAN 50 UNITS)		3,737sf
OPEN SPACE	3,725sf (5% OF TOTAL AREA)		18,194sf

DIAGRAM LEGEND

- BUILDING FOUNDATION BUFFER
- PARKING AREA
- STREET BUFFER
- CIVIC SPACE
- OPEN SPACE

TREE COUNT CODE

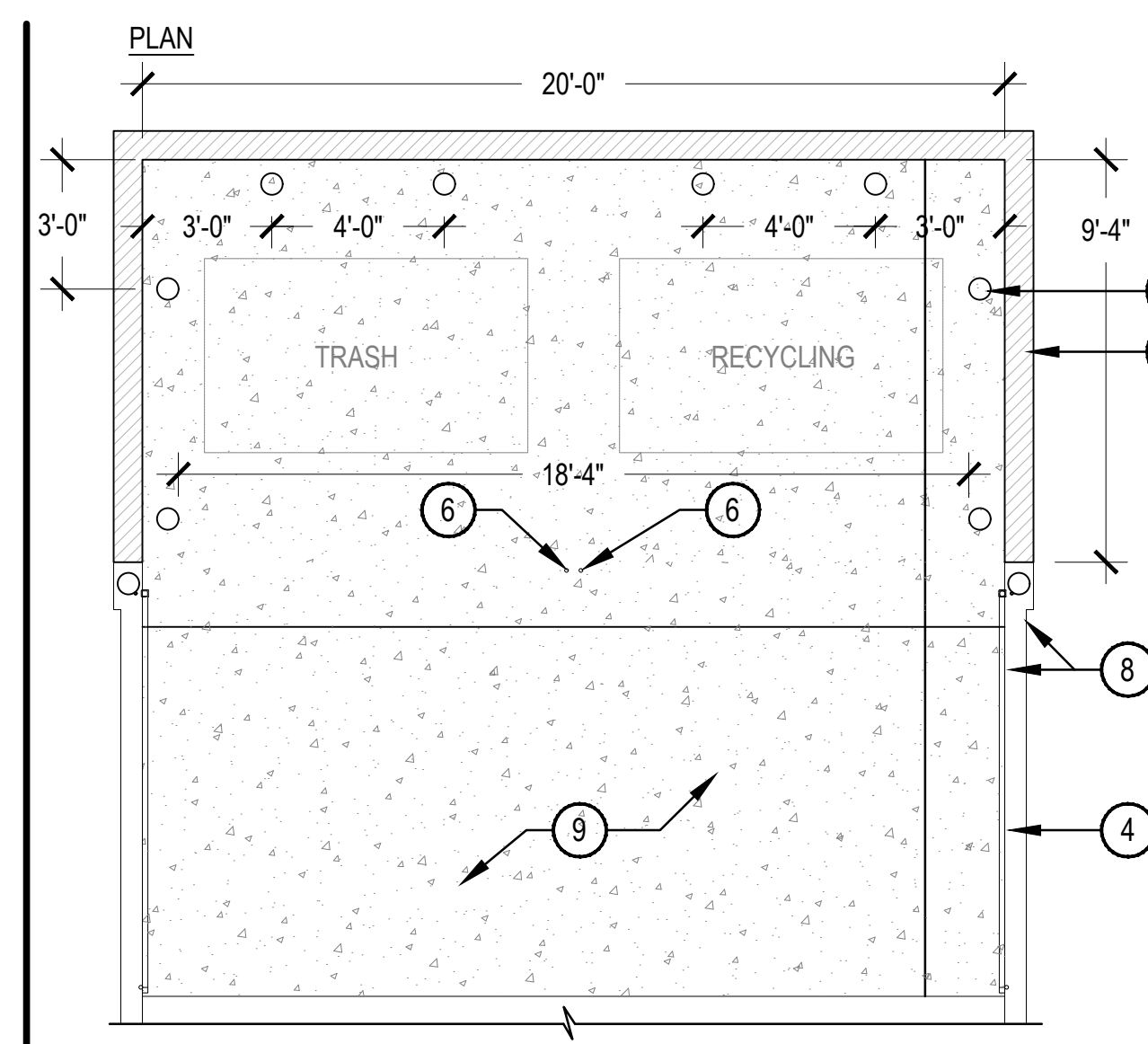
- A# PERIPHERAL BUFFER
- B# BUILDING FOUNDATION BUFFER
- C# PARKING AREA
- D# STREET BUFFER



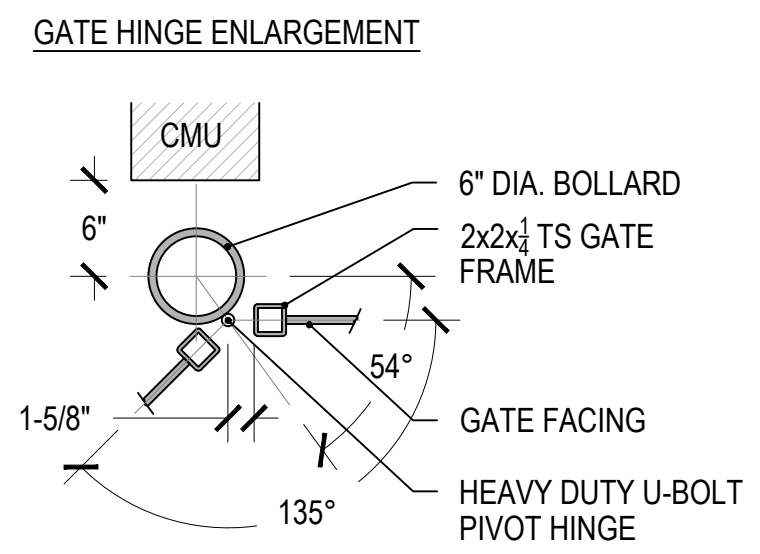
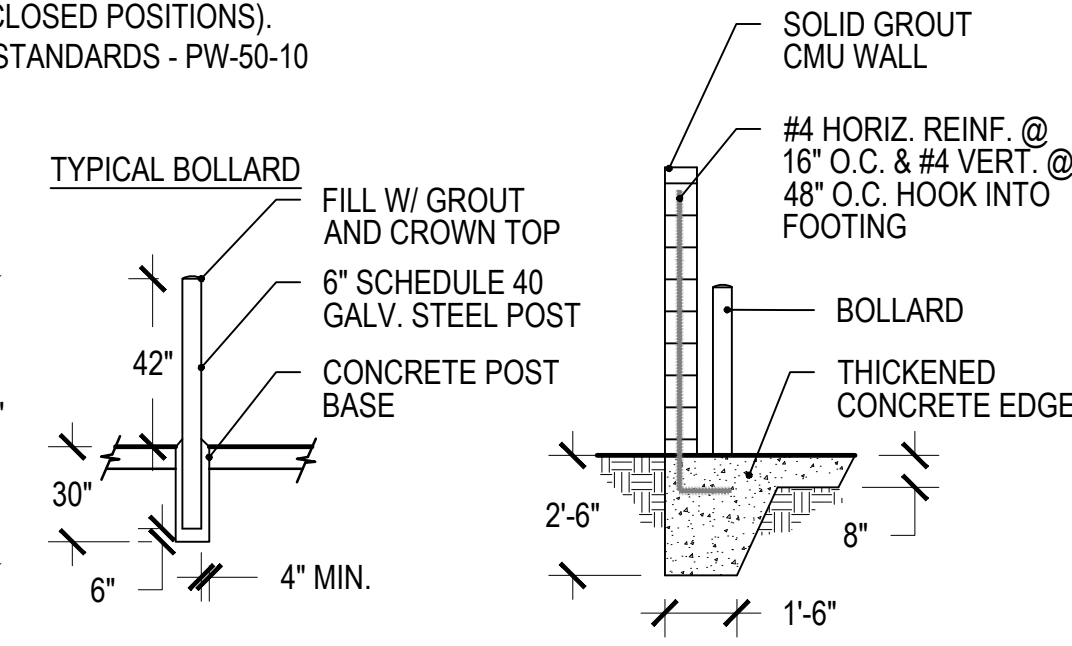
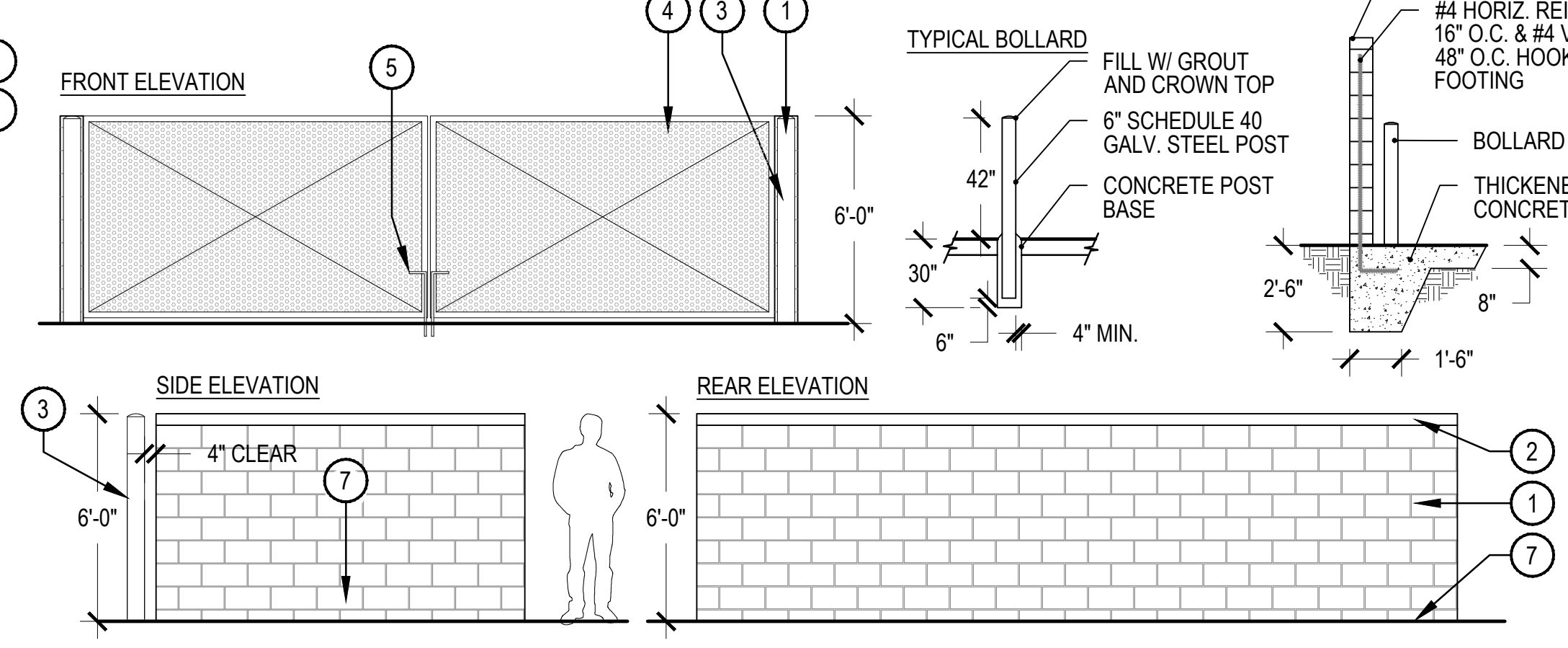
NOT FOR CONSTRUCTION

DATE:  
 02/02/21 SITE PLAN  
 04/29/21 SITE PLAN

SHEET TITLE:  
 LANDSCAPE  
 CALCS



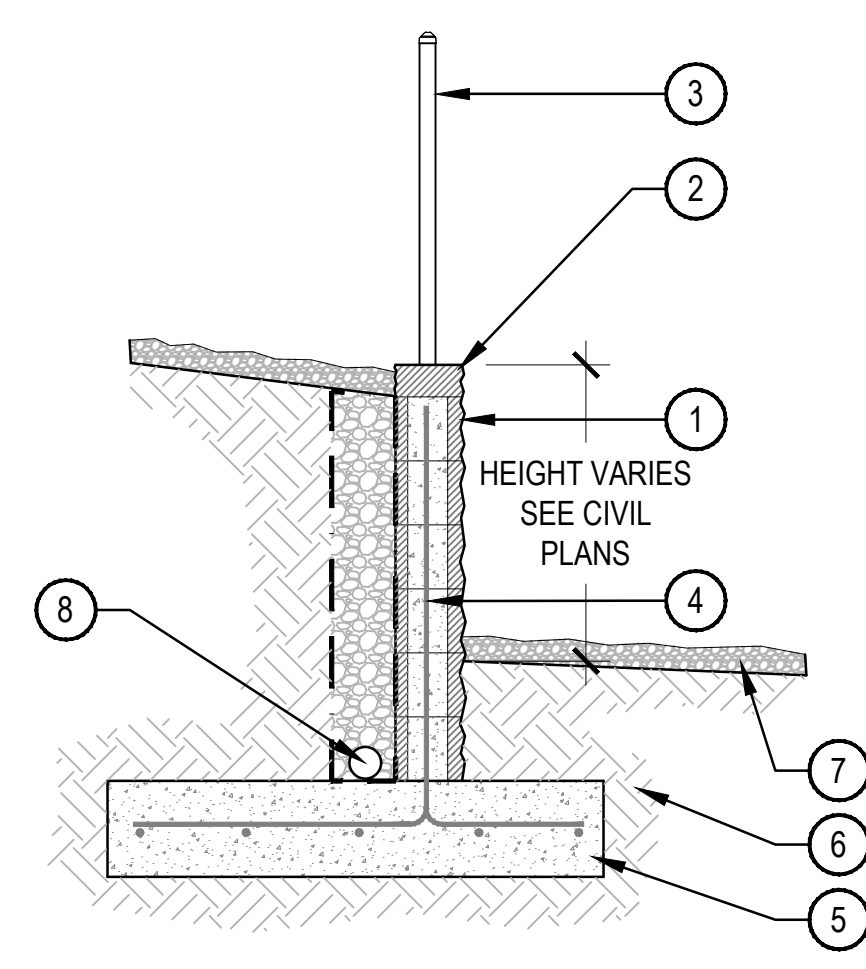
**NOTES:**  
 1. TRASH ENCLOSURE TO BE LOCATED ON 8" CONCRETE SLAB WITH THICKENED EDGES AND REBAR FOR WALL AS SHOWN.  
 2. VERIFY EXACT LOCATIONS FOR GATE ROD DROPS (2 PER GATE, OPENED AND CLOSED POSITIONS).  
 3. TRASH ENCLOSURE IS DESIGNED TO MEET CITY OF FLAGSTAFF ENGINEERING STANDARDS - PW-50-10



**1 TRASH ENCLOSURE WITH GATE**

- 1 SPLIT FACE CMU BLOCK WALL, COLOR GRAY TO COMPLIMENT BUILDING
- 2 SPLIT FACE CMU BLOCK CAP TO MATCH WALL
- 3 6" DIA. STANDARD STEEL BOLLARD FILLED WITH CONCRETE, PRIME AND PAINT COLOR T.B.D.
- 4 PIVOTING DOUBLE SWING PERFORATED ALUMINUM PANEL GATE (25% OPEN MAX.) CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL, PRIME AND PAINT COLOR T.B.D.
- 5 LOCKABLE GATE ROD ASSEMBLY
- 6 GATE ROD DROPS, GALVANIZED STEEL SLEEVES IN SLAB
- 7 FINISHED GRADE
- 8 CURB PER CIVIL PLANS
- 9 CONCRETE SLAB PER CIVIL PLANS

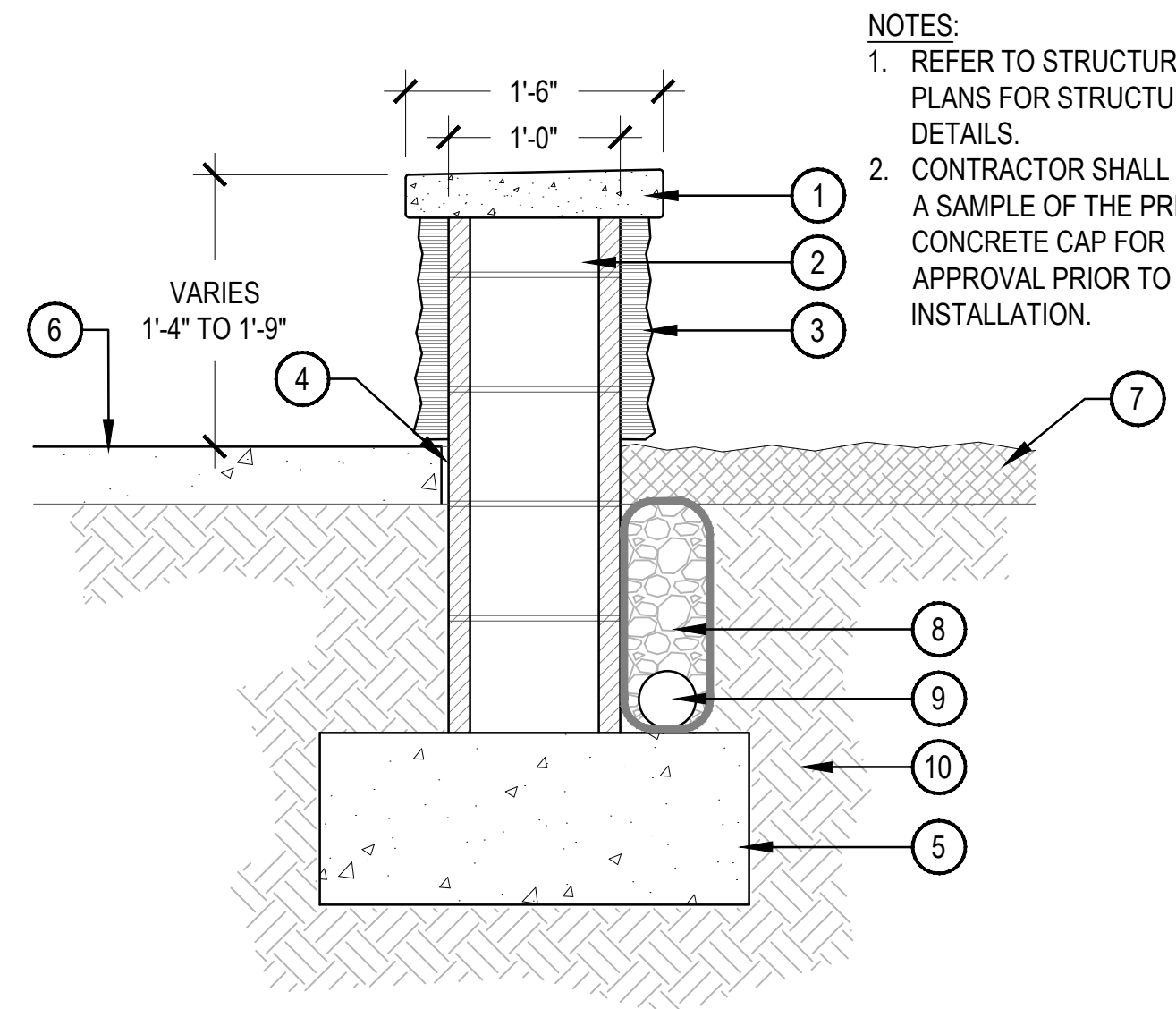
SCALE: 1/4" = 1'-0"



- 1 SPLIT FACE GROUTED CMU WALL, COLOR: GRAY TO COMPLEMENT BUILDING
- 2 SPLIT FACE CMU CAP
- 3 42" HEIGHT GUARD RAIL FENCING WHERE WALL IS 30" OR TALLER, ADJACENT SIDEWALK OR PAVING
- 4 STRUCTURAL REINFORCING TO BE DESIGNED BY A STRUCTURAL ENGINEER
- 5 CONCRETE FOOTER TO BE DESIGNED BY A STRUCTURAL ENGINEER
- 6 COMPACTED SUB-GRADE PER GEOTECH RECOMMENDATIONS
- 7 ADJACENT LANDSCAPE TREATMENT OR CONCRETE WALK - REFER TO PLANS
- 8 DRAINAGE SYSTEM BEHIND WALL PER WALL MANUFACTURER SPECIFICATIONS, GEOTECH AND STRUCTURAL ENGINEER REQUIREMENTS

**2 SITE WALL**

SCALE: 1/2" = 1'-0"



**NOTES:**  
 1. REFER TO STRUCTURAL PLANS FOR STRUCTURAL DETAILS.  
 2. CONTRACTOR SHALL SUBMIT A SAMPLE OF THE PRECAST CONCRETE CAP FOR APPROVAL PRIOR TO INSTALLATION.

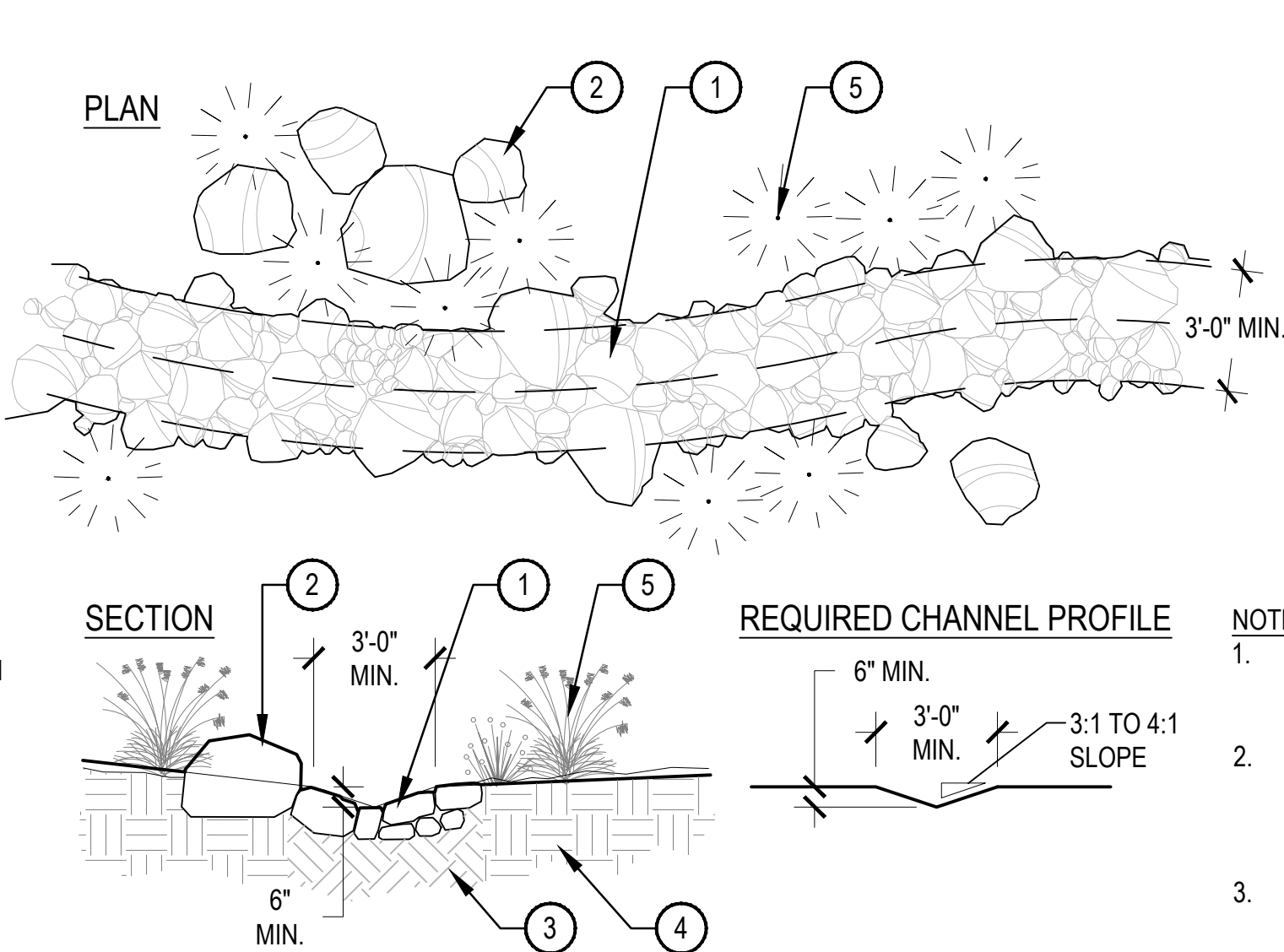
- 1 INTEGRALLY COLORED PRECAST CONCRETE CAP - 3" THICK, 18" WIDE, 24" LONG. SLOPE TOP 1/4" PER FOOT
- 2 12"x8"x16" CMU BLOCK
- 3 FAUX STONE VENEER TO MATCH BUILDING
- 4 1/2" SEALED EXPANSION JOINT
- 5 CONCRETE FOOTER
- 6 ADJACENT CONCRETE FLATWORK
- 7 ADJACENT DECOMPOSED GRANITE SURFACING OR PLANTING BED
- 8 8" WIDE CLEAN DRAINAGE ROCK COMPLETELY WRAPPED IN MIRAFI 140 FILER FABRIC
- 9 4" PERFORATED PVC PIPE (WHERE CALLED FOR ON THE COURTYARD GRADING PLAN - CONNECT TO STORM SEWER SYSTEM)
- 10 SUB-GRADE PER GEOTECHNICAL RECOMMENDATIONS

**4 FREESTANDING SEAT WALL**

SCALE: 1" = 1'-0"

**3 GUARD RAIL FENCE**

SCALE: 1/2" = 1'-0"

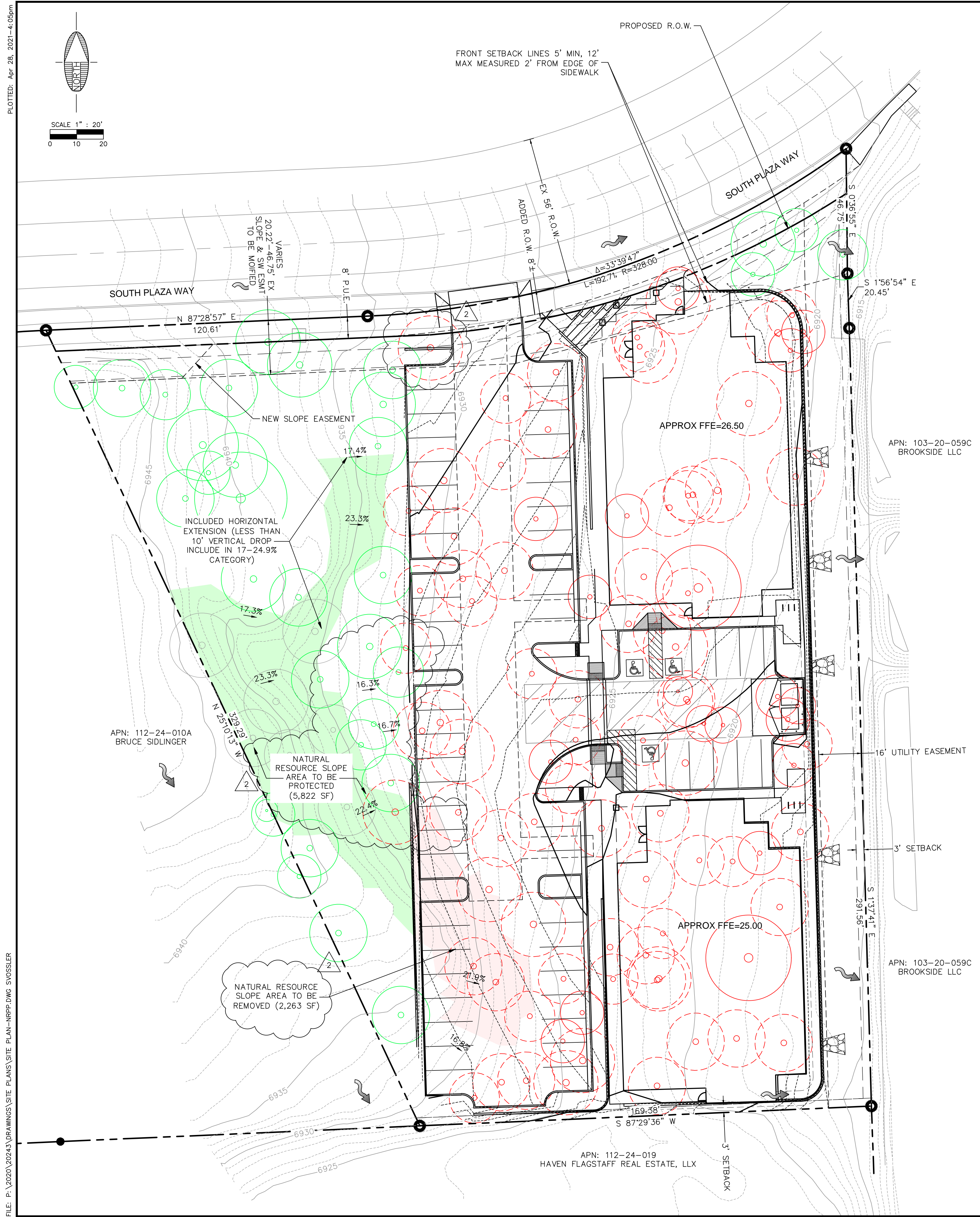
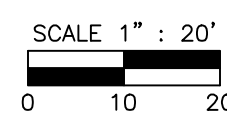


- 1 LIMESTONE ROCK LINED CHANNEL - 6" DEPTH MIN. 70% 6"-8" DIA. ROCK, 30% 8"-12" DIA. ROCK
- 2 FREESTANDING AND/OR CLUSTERED LIMESTONE BOULDERS AROUND CHANNEL PER LANDSCAPE PLANS - BURY 1/4" FOR NATURAL APPEARANCE
- 3 COMPACTED SUB-GRADE PER GEOTECH RECOMMENDATIONS
- 4 UNDISTURBED SOIL
- 5 PLANTINGS PER LANDSCAPE PLAN

**NOTES:**  
 1. LIMESTONE BOULDERS AND ROCK SHALL BE FROM THE STOCK PILE FOR THIS PROJECT.  
 2. CONTACT LANDSCAPE ARCHITECT FOR APPROVAL OF FIRST DROP STRUCTURE INSTALLED FOR PRIOR TO SETTING OTHERS.  
 3. SET ROCK AND BOULDERS TO MEET THE DESIGNED CHANNEL VOLUME AS DESIGNATED BY THE CIVIL ENGINEER.  
 4. CHANNEL SLOPE SHALL BE 1% MIN.

**5 ROCKED CHANNEL**

SCALE: 1/4" = 1'-0"



**RESOURCE PRESERVATION**

SLOPE RESOURCES				
SLOPES	0-16.99%	17-24.99%	25-34.99%	>35%
EXISTING (SF)	66,523.00	8,085.00	0	0
PROTECTED (SF)	22,858.00	5,822.00	0.00	0.00
% PROTECTED	34%	72%	100%	100%
% REQUIRED PROTECTION	0%	60%	80%	100%
PROTECTED ABOVE REQUIREMENT(SF)		971		
ADDED TREE POINTS		19		

TOTAL TREE RESOURCES					
TYPE	PINE	PINE	PINE	PINE	PINE
DIAMETER (IN)	6-8	9-12	13-17	18-24	>25
NUMBER EXISTING	2	22	79	29	1
POINTS	1	2	4	8	20
SUM OF POINTS	2	44	316	232	20
SUBTOTAL TREE POINTS=					614
30% PRESERVATION RATE=					184.2

POST-DEVELOPMENT TREES					
TYPE	PINE	PINE	PINE	PINE	PINE
DIAMETER (IN)	6-8	9-12	13-17	18-24	>25
NUMBER REMAINING	1	6	17	8	1
POINTS	1	2	4	8	20
SUM OF POINTS	1	12	68	64	20
TREE POINTS=					165
ADDITIONAL SLOPE POINTS=					19
REQUIRE PRESERVATION RATE=					30%
PRESERVATION RATE=					30%

**NOTE:**  
 1. PER CITY OF FLAGSTAFF ZONING CODE SECTION 10-50.90.060, COMMERCIAL ZONES PRESERVATION RATE IS 30%.

**LEGEND**

- ROW
- EASEMENT
- LOT LINE
- SETBACK
- PROTECTED TREE
- REMOVED TREE
- PROTECTED SLOPE
- REMOVED SLOPE

**SITE PLAN**  
**NATURAL RESOURCE PROTECTION PLAN**

FLAGSTAFF ARIZONA

PLAZA WAY CONDOMINIUMS

JOB NO: 20243 DATE: APR 21 SCALE: AS SHOWN DRAWN: SJV CHECKED: SCI

75 Killion Place  
 Suite 107, Flagstaff, AZ 86001  
 928.282.2058 fax  
 www.swiiz.com

**SWI**  
**Shephard Wesnitzer, Inc.**

NO.	DESCRIPTION	DATE	BY
1	SITE PLAN 2ND SUBMITTAL	4/29/2021	
2			

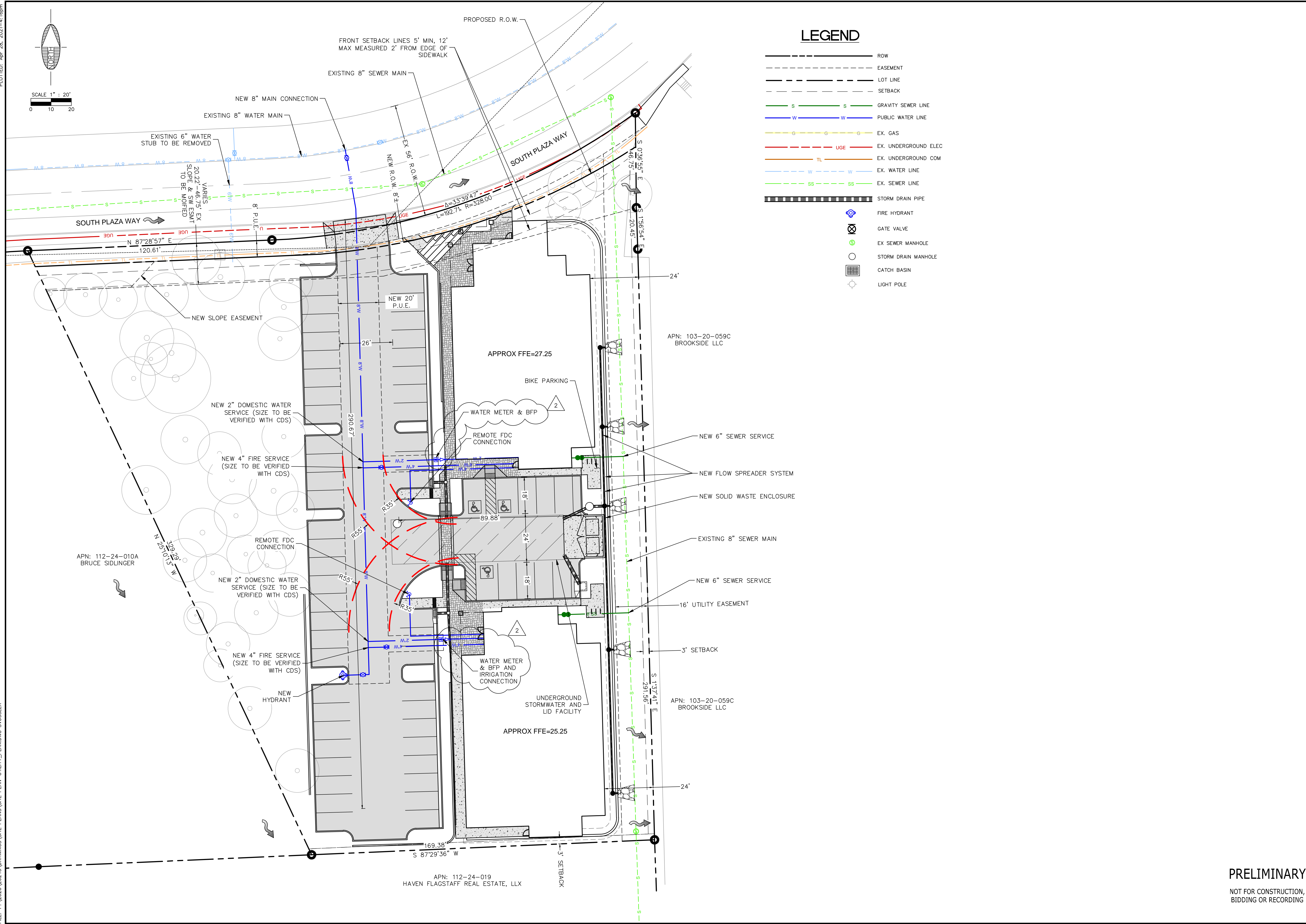
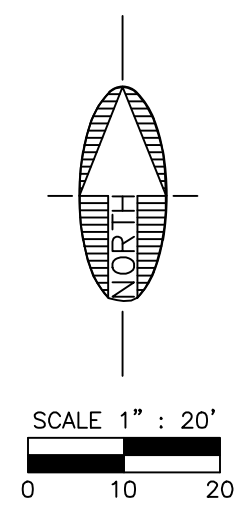
Contact Arizona 811 at least two full working days before you begin excavation  
 Call 811 or click Arizona811.com

PRELIMINARY  
 NOT FOR CONSTRUCTION,  
 BIDDING OR RECORDING

DRAWING NO. **SP03**

SHT NO. 3 OF 3

PLOTTED: Apr 28, 2021 4:16pm



### LEGEND

- ROW
- - - EASEMENT
- - - LOT LINE
- - - SETBACK
- S S GRAVITY SEWER LINE
- W W PUBLIC WATER LINE
- G G EX. GAS
- UG EX. UNDERGROUND ELEC
- TL EX. UNDERGROUND COM
- W W EX. WATER LINE
- SS EX. SEWER LINE
- STORM DRAIN PIPE
- ⊕ FIRE HYDRANT
- ⊗ GATE VALVE
- ⊙ EX SEWER MANHOLE
- STORM DRAIN MANHOLE
- ▣ CATCH BASIN
- ⊙ LIGHT POLE

 <b>Shephard Wesnitzer, Inc.</b>		<b>ARIZONA 811</b> <small>Contact Arizona 811 at least two full working days before you begin excavation. Call 811 or click Arizona811.com</small>																				
<b>REVISIONS</b> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>2</td> <td>SITE PLAN 2ND SUBMITTAL</td> <td>4/29/2021</td> <td></td> </tr> </tbody> </table>	NO.	DESCRIPTION	DATE	BY	2	SITE PLAN 2ND SUBMITTAL	4/29/2021		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>JOB NO:</td> <td>20243</td> </tr> <tr> <td>DATE:</td> <td>APR 21</td> </tr> <tr> <td>SCALE:</td> <td>AS SHOWN</td> </tr> <tr> <td>DRAWN:</td> <td>SLV</td> </tr> <tr> <td>DESIGN:</td> <td>SLV</td> </tr> <tr> <td>CHECKED:</td> <td>SCI</td> </tr> </table>	JOB NO:	20243	DATE:	APR 21	SCALE:	AS SHOWN	DRAWN:	SLV	DESIGN:	SLV	CHECKED:	SCI	<b>SITE PLAN</b> <b>PRELIMINARY UTILITY PLAN</b>
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DRAWING NO. <b>SP02</b>		SHT NO. OF 2 OF 3																				

FILE: P:\2020\20243 DRAWINGS\SITE PLANS\SITE PLAN-UTILITY\_PLANDWG\_SWOSSLER