

PLOTTED: Jul 31, 2023 8:21am

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DEDICATION

STATE OF ARIZONA
COUNTY OF COCONINO

KNOW ALL PERSONS BY THESE PRESENTS: THAT CAPSTONE HOMES, LLC (AN ARIZONA LIMITED LIABILITY COMPANY), AS 'OWNER' AND 'GRANTOR,' HAS SUBDIVIDED UNDER THE NAME ... AT TIMBERSKY - BLOCK 5, A SUBDIVISION LOCATED IN A PORTION OF SECTION 10, TOWNSHIP 21 NORTH, RANGE 7 EAST, OF THE GILA AND SALT RIVER MERIDIAN, COCONINO COUNTY, ARIZONA, AS SHOWN AND PLATTED HEREON AND DOES HEREBY PUBLISH THIS PLAT AS AND FOR THE PLAT OF ... AT TIMBERSKY - BLOCK 5 AND DECLARES THAT THIS PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF EACH LOT, TRACT, STREET, AND EASEMENT CONSTITUTING SAME, AND THAT EACH LOT, TRACT, STREET, AND EASEMENT SHALL BE KNOWN BY THE NUMBER, LETTER, AND/OR NAME GIVEN TO EACH RESPECTIVELY AS SHOWN ON THIS PLAT.

RIGHT-OF-WAYS DEDICATED

PUBLIC RIGHT-OF-WAY (ROW). GRANTOR HEREBY DEDICATES TO THE CITY OF FLAGSTAFF, IN FEE SIMPLE, ALL PUBLIC RIGHTS-OF-WAY SHOWN ON THE PLAT FOR PUBLIC USE. GRANTOR AS ABUTTING PROPERTY OWNER SHALL MAINTAIN THE SIDEWALK AND LANDSCAPING WITHIN THE RIGHT-OF-WAY BETWEEN THE STREET CURB AND THE ABUTTING PROPERTY, IN COMPLIANCE WITH THE FLAGSTAFF CITY CODE.

EASEMENTS DEDICATED

GRANTOR HEREBY DEDICATES TO THE CITY OF FLAGSTAFF, ARIZONA, AN ARIZONA MUNICIPAL CORPORATION, PERPETUAL NON-EXCLUSIVE EASEMENTS OVER, UNDER, UPON, AND ACROSS ALL EASEMENT AREAS DESIGNATED ON THE PLAT FOR THE EASEMENT PURPOSES, INCLUDING ANY RELATED FACILITIES AND EQUIPMENT AS FOLLOWS:

PUBLIC UTILITY EASEMENT (P.U.E.). FOR PUBLIC USE, FOR UTILITY PURPOSES, INCLUDING WITHOUT LIMITATION, CONSTRUCTION, OPERATION, MAINTENANCE, MODIFICATION, REPLACEMENT AND REPAIR OF ELECTRICITY, ENERGY, GAS, WATER, SEWER, PUBLIC STORM WATER SYSTEM, TELECOMMUNICATIONS, INTERNET SERVICES, CABLE TELEVISION, AND OTHER UTILITIES.

DRAINAGE EASEMENT (DE). FOR PUBLIC USE, FOR DRAINAGE AND FLOOD CONTROL PURPOSES, INCLUDING WITHOUT LIMITATION, CONSTRUCTION, OPERATION, MAINTENANCE, MODIFICATION, REPLACEMENT AND REPAIR OF NATURAL AND MAN-MADE CHANNELS, WASHES, WATERCOURSES, LEVEES, DIKES, DAMS, RETENTION AND DETENTION BASINS, STORAGE BASINS, STORM DRAINS, MONITORING DEVICES. CITY OF FLAGSTAFF IS RESPONSIBLE FOR MAINTENANCE OF THE EASEMENT AREA FOR DRAINAGE AND FLOOD CONTROL PURPOSES.

DRAINAGE MAINTENANCE EASEMENT (DME). FOR CITY ACCESS TO MAINTAIN PRIVATE DRAINAGE WAYS AND DRAINAGE FEATURES, INCLUDING WITHOUT LIMITATION, CONSTRUCTION, OPERATION, MAINTENANCE, MODIFICATION, REPLACEMENT AND REPAIR OF NATURAL AND MAN-MADE CHANNELS, WASHES, WATERCOURSES, RETENTION AND DETENTION BASINS, STORAGE BASINS, STORM DRAINS, MONITORING DEVICES, IN THE EVENT GRANTOR HAS FAILED TO PROPERLY MAINTAIN PRIVATE DRAINAGE WAYS IN ACCORDANCE WITH THE FLAGSTAFF CITY CODE.

SLOPE EASEMENT (SE). FOR SLOPE AND NATURAL DRAINAGE OF WATER PURPOSES ADJACENT TO ROADS, SIDEWALKS, TRAILS, AND OTHER SURFACE IMPROVEMENTS, INCLUDING WITHOUT LIMITATION, CONSTRUCTION, OPERATION, MAINTENANCE, MODIFICATION, REPLACEMENT AND REPAIR OF MAN-MADE AND NATURAL SLOPES, SOIL NAILS, GABIONS, RETAINING WALLS, EROSION CONTROL IMPROVEMENTS, AND VEGETATION. GRANTOR IS RESPONSIBLE FOR MAINTAINING THE STRUCTURAL INTEGRITY OF THE SLOPE, IN COMPLIANCE WITH THE FLAGSTAFF CITY CODE. THE SLOPE EASEMENTS ARE AUTOMATICALLY ABANDONED ON A LOT OR PARCEL WHEN THE CITY OF FLAGSTAFF ISSUES CERTIFICATE OF OCCUPANCY FOR THE LOT OR PARCEL.

VEHICULAR NON-ACCESS EASEMENT (VNAE). FOR TRAFFIC CONTROL PURPOSES. VEHICLE ACCESS AND DRIVEWAYS ARE PROHIBITED IN THE EASEMENT AREA.

THE OWNER HEREBY DEDICATES TO UNISOURCE ENERGY SERVICES AND ITS SUBSIDIARY, UNS GAS:

ASSIGNS ALL AREAS ON THIS PLAT MARKED P.U.E. OR PUBLIC UTILITY EASEMENT AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS. WHETHER PUBLIC OR PRIVATE, FOR EXISTING NATURAL GAS FACILITIES TOGETHER WITH THE RIGHT TO INSTALL REQUIRED SERVICE CONNECTIONS OVER OR UNDER THE SURFACE TO SERVE IMPROVEMENTS THEREON OR ADJACENT TO.

EASEMENTS AND GENERAL CONDITIONS

GRANTOR HEREBY DEDICATES TO THE CITY OF FLAGSTAFF, ARIZONA PERPETUAL NON-EXCLUSIVE EASEMENTS OVER, UNDER, UPON, AND ACROSS ALL EASEMENT AREAS DESIGNATED ON THE PLAT FOR THE EASEMENT PURPOSES, INCLUDING ANY RELATED FACILITIES AND EQUIPMENT, AND SUBJECT TO THE FOLLOWING GENERAL CONDITIONS:

- 1. GRANTOR SHALL NOT ALLOW USE OF THE EASEMENT AREA IN A MANNER THAT INTERFERES WITH EASEMENT;
2. GRANTOR SHALL MAINTAIN EASEMENT AREAS FREE AND CLEAR OF VEGETATION OR OBSTRUCTIONS THAT INTERFERE WITH THE EASEMENT, PER THE FLAGSTAFF CITY CODE AS AMENDED; AND
3. GRANTEE MAY MAINTAIN VEGETATION AND REMOVE OBSTRUCTIONS THAT INTERFERE WITH THE EASEMENT;
4. IN THE EVENT THE CITY OF FLAGSTAFF HAS NOTIFIED GRANTOR AND PROVIDED REASONABLE OPPORTUNITY TO MAINTAIN THE SLOPE, VEGETATION AND/OR REMOVE OBSTRUCTIONS THAT INTERFERE WITH THE EASEMENT, CITY OF FLAGSTAFF MAY ISSUE AN ASSESSMENT AGAINST GRANTOR TO RECOVER THE CITY'S ACTUAL, REASONABLE MAINTENANCE COSTS AND RECORD IT AS A LIEN AGAINST GRANTOR'S PROPERTY UNTIL THE ASSESSMENT AND ANY STATUTORY INTEREST IS PAID;
5. GRANTEE SHALL HAVE A LIMITED, TEMPORARY RIGHT OF ACCESS ACROSS GRANTOR'S ADJACENT PROPERTY FOR EASEMENT PURPOSES IF ACCESS CANNOT BE REASONABLY ACHIEVED BY OTHER MEANS.

BINDING EFFECT. THE EASEMENTS GRANTED WITHIN THIS DEDICATION ARE PERMANENT AND PERPETUAL AND SHALL RUN WITH THE LAND AND BE BINDING UPON OWNER AND ITS HEIRS, ASSIGNS, AND SUCCESSORS IN INTEREST TO THIS PLAT OR ANY PARCEL OR LOT THEREOF.

IMPROVEMENTS. GRANTOR HEREBY DEDICATES TO THE CITY OF FLAGSTAFF ALL IMPROVEMENTS INSTALLED OR CONSTRUCTED BY GRANTOR FOR CITY PUBLIC RIGHTS-OF-WAY AND CITY UTILITIES WITHIN THE EASEMENT AREAS, AND SUCH DEDICATION SHALL BE EFFECTIVE WHEN FORMALLY ACCEPTED BY THE CITY ENGINEER (THE "ACCEPTANCE DATE").

INTERIM LIABILITY

CAPSTONE HOMES, LLC., ["GRANTOR" OR "OWNER"], DOES HEREBY RELEASE AND DISCHARGE THE CITY OF FLAGSTAFF, AND INDEMNIFY, DEFEND, AND HOLD HARMLESS THE CITY OF FLAGSTAFF, OF AND FROM ANY LIABILITY FOR ANY AND ALL CLAIMS FOR DAMAGES OF ANY KIND TO PERSONS OR PROPERTY THAT MAY ARISE AT ANY TIME IN THE FUTURE OVER, OR NEWLY DEDICATED PUBLIC RIGHTS-OF-WAY AS DEPICTED ON THIS PLAT UNTIL THE RIGHT-OF-WAY IS IMPROVED TO CITY STANDARDS AND THOSE IMPROVEMENTS ARE APPROVED AND FORMALLY ACCEPTED BY THE CITY ENGINEER ("ACCEPTANCE DATE"). GRANTOR SHALL MAINTAIN THE NEWLY DEDICATED PUBLIC RIGHTS-OF-WAY UNTIL THE ACCEPTANCE DATE.

NOW, THEREFORE, IN WITNESS WHEREOF, GRANTOR HAS HEREUNTO CAUSED ITS CORPORATE NAME TO BE SIGNED AND ITS CORPORATE SEAL TO BE AFFIXED BY THE UNDERSIGNED, DULY AUTHORIZED OFFICER THIS ____ DAY OF _____, 202__.

BY: CAPSTONE HOMES, LLC.

BY: CLINTON WHITING
PRESIDENT

STATE OF ARIZONA
COUNTY OF COCONINO

ON THIS ____ DAY OF _____, 202__, BEFORE ME, THE UNDERSIGNED PERSONALLY APPEARED _____ WHO ACKNOWLEDGED BY SELF TO THE REPRESENT CAPSTONE HOMES, LLC., AND THAT HE/SHE AS SUCH, BEING AUTHORIZED SO TO DO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED.

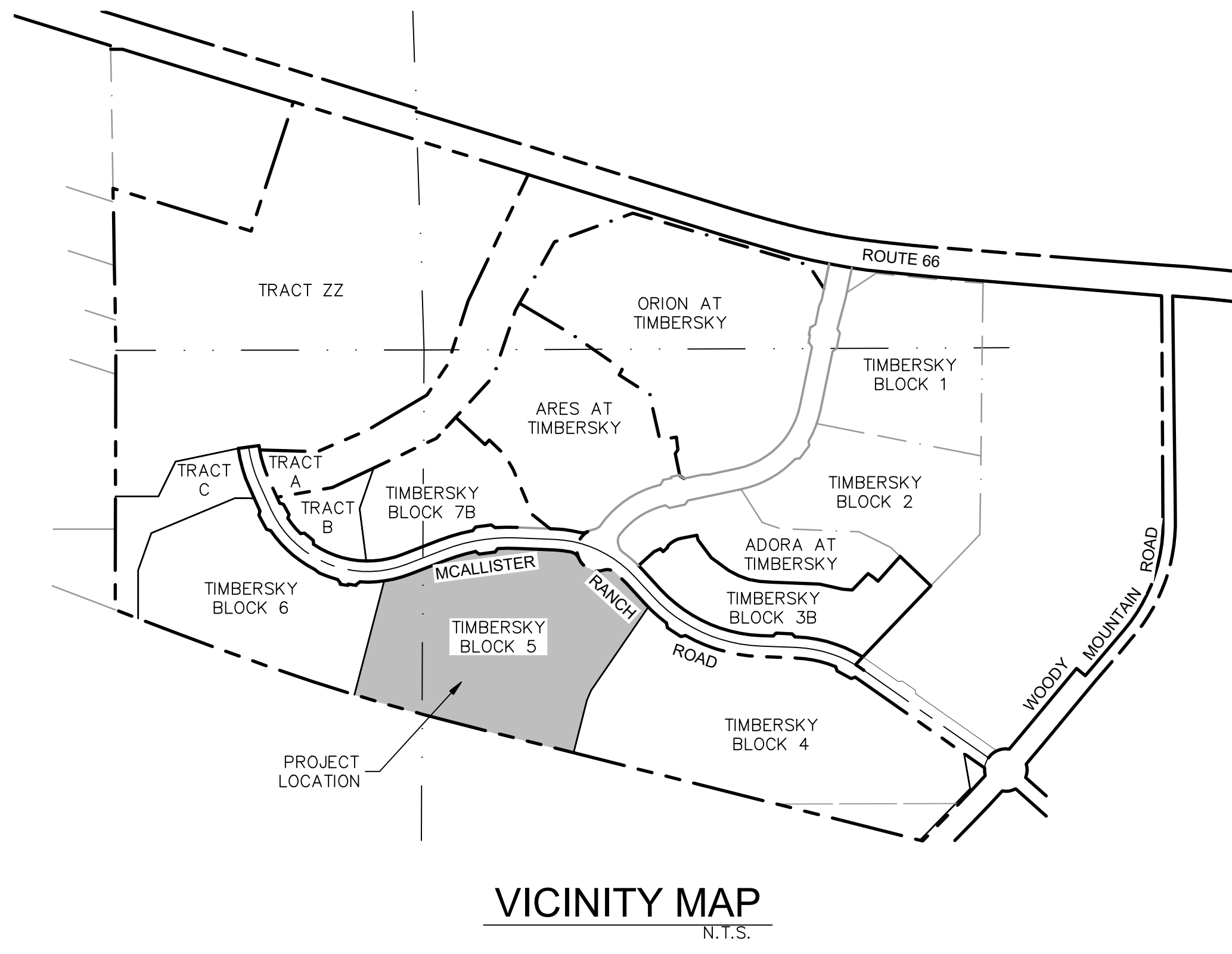
IN WITNESS WHEREOF: I HEREUNTO FORTH MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC MY COMMISSION EXPIRES

PRELIMINARY PLAT
FOR
TIMBER SKY - BLOCK 5
FLAGSTAFF, ARIZONA

LOTS 1 THROUGH 101 OF TIMBER SKY BLOCK 5 AND TRACTS 'A' THROUGH 'N'

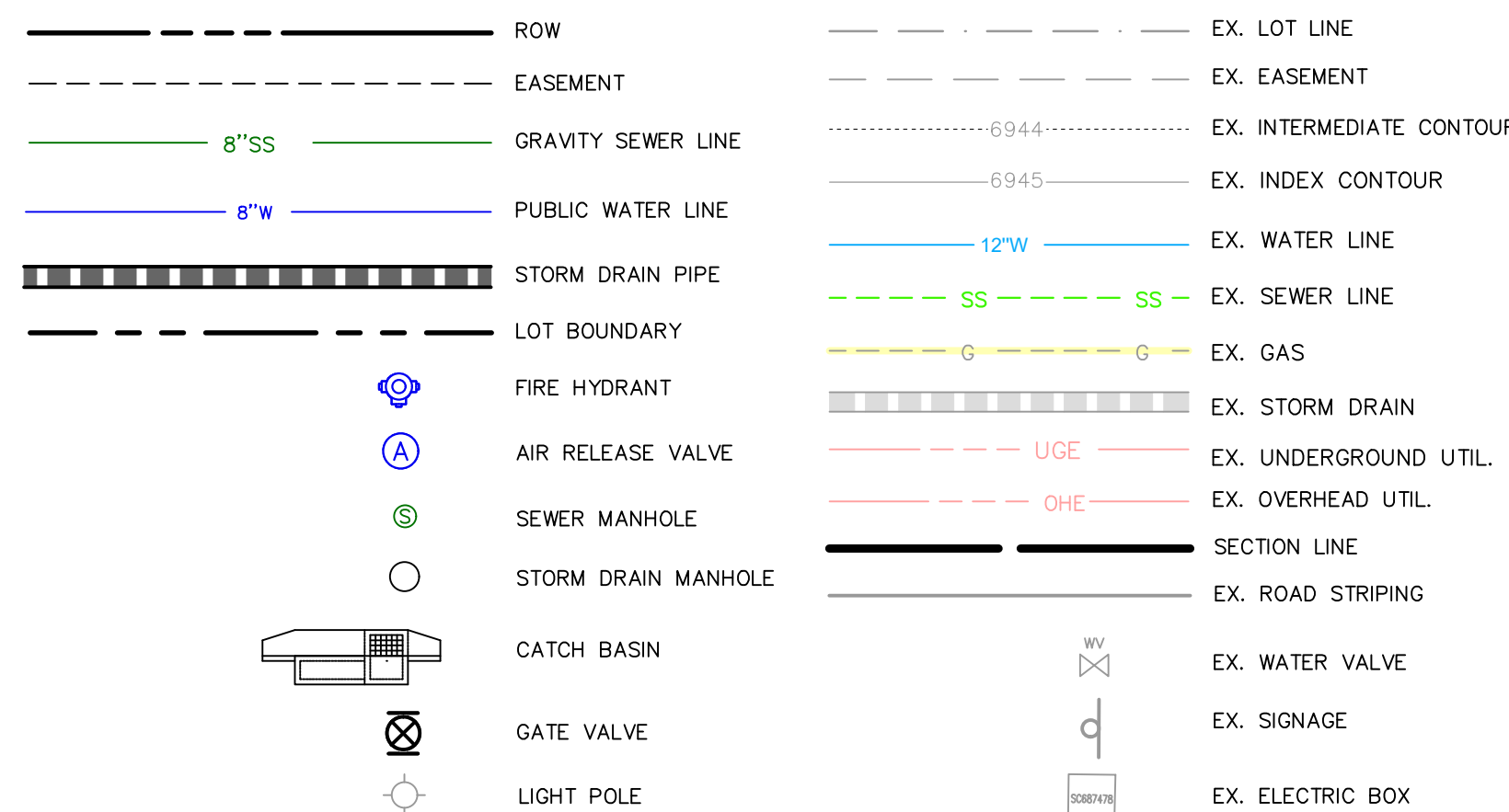
LOCATED IN A PORTION OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 21 NORTH, RANGE 7 EAST, AND A PORTION OF THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 21 NORTH, RANGE 6 EAST, GILA AND SALT RIVER MERIDIAN, COCONINO COUNTY, ARIZONA,



VICINITY MAP N.T.S.

Table with 3 columns: SHEET NUMBER, DRAWING NUMBER, SHEET TITLE. Lists sheets 1 through 7 including Cover Sheet, Existing Boundary, Civil Design, Preliminary Plat, Tables, Preliminary NRPP, and PRD Standards.

LEGEND



PROPERTY INFORMATION:

APN# 112-01-708
BLOCK 5

AREA GROSS = 17.84 AC
AREA NET = 13.27 AC
DENSITY GROSS = 5.66 DU/AC
DENSITY NET = 7.61 DU/AC

ZONING: MEDIUM-DENSITY RESIDENTIAL (MR) WITH PRD DEVELOPMENT OPTION T4N.2

OPEN SPACE SUMMARY

OPEN SPACE FOR TIMBER SKY HAS BEEN ACCOUNTED FOR IN THE OVERALL ROCK OUTCROPPING PRESERVATIONS, COMMUNITY CENTER AND OPEN SPACE WITHIN COLLECTOR ROADWAY MEDIANS AND PARKWAYS.

STORMWATER AND IMPERVIOUS SUMMARY

IMPERVIOUS AREA REQUIRED:
101 90'x50' LOTS @ 80% PER LOT = 3,600 SF / LOT = 8.35 AC
ROW AREA = 4.57 AC TOTAL, 79% IMPERVIOUS = 3.61 AC

1/2" LID VOLUME PROVIDED:
TRACT 'K' = 3.61 AF / 8,448 CF
ON-LOT = 8.34 AF / 14,908 CF

TOTAL 0.49 AF / 21,358 CF

PROPERTY OWNER/DEVELOPER:

CAPSTONE HOMES
CONTACT: JOHN SUTHERLAND
3605 S. FLAGSTAFF RANCH RD.
FLAGSTAFF, AZ 86005
(928) 774-3826

CIVIL ENGINEER:

SHEPHARD-WESNITZER, INC.
STEPHEN IRWIN, PE #58405
110 W. DALE AVE.
FLAGSTAFF, AZ 86001
(928) 774-0354

SURVEYOR:

SHEPHARD-WESNITZER, INC.
AARON BORLING, RLS #48756
110 W. DALE AVE.
FLAGSTAFF, AZ 86001
(928) 774-0354

LEGAL DESCRIPTIONS

TIMBER SKY BLOCK 5, LOCATED IN A PORTION OF THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 21 NORTH, RANGE 7 EAST, AND A PORTION OF THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 21 NORTH, RANGE 6 EAST, GILA AND SALT RIVER MERIDIAN, COCONINO COUNTY, ARIZONA,

RESOURCE PRESERVATIONS

THE PROJECT DOES FALL WITHIN THE CITY OF FLAGSTAFF RESOURCE PROTECTION OVERLAY ZONE. REFER TO THE NATURAL RESOURCE PROTECTION PLAN WITHIN THE CIVIL CONSTRUCTION PLANS BY SWI.

FLOOD ZONE CLASSIFICATION

THE PROJECT AREA IS WITHIN ZONE X DESIGNATED BY FEMA FIRM'S 04005C-6804G AND 04005C-6812G. THE PROJECT AREA HAS BEEN DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. THEREFORE, NO BUILDING WILL OCCUR IN A FLOODPLAIN.

UTILITY COMPANY CONTACTS

APS
CONTACT: CHAD BROOKS
2200 E. HUNTINGTON
FLAGSTAFF, AZ 86004
CHAD.BROOKS@APS.COM
PHONE: (928) 773-6440

UNISOURCE ENERGY SERVICES
CONTACT: MARTIN CONBOY
2901 W SHAMRELL BLVD #110
FLAGSTAFF, AZ 86001
MCONBOY@UESAZ.COM
PHONE: (928) 226-2269

LUMEN
CONTACT: MANUEL HERNANDEZ
112 NORTH BEAVER STREET
FLAGSTAFF, AZ 86001
MANUEL.HERNANDEZ4@LUMEN.COM
PHONE: (928) 779-4935

ALTICE USA
CONTACT: SANFORD YAZZIE
1601 SOUTH PLAZA WAY
FLAGSTAFF, AZ 86001
SANFORD.YAZZIE@ALTICEUSA.COM
PHONE: (928) 266-0672

UTILITY CONFLICT

UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND WERE COMPILED FROM RECORD DRAWINGS, SURVEY, AND CONSTRUCTION PLANS FURNISHED BY OTHERS. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR DETERMINING THE ACTUAL LOCATIONS OF ALL UNDERGROUND LINES THAT MAY AFFECT WORK PRIOR TO CONSTRUCTION.

THERE ARE NO APPARENT UTILITY CONFLICTS WITH APS, UNISOURCE, CENTURYLINK, AND ALTICE USA; HOWEVER, THEY DO HAVE EXISTING FACILITIES IN THE AREA THAT WILL NEED TO BE PROTECTED AND/OR RELOCATED.

CERTIFICATE OF LAND SURVEYOR

THIS IS TO CERTIFY THAT THE SURVEY OF THE PROPERTY DESCRIBED AND PLATTED HEREON WAS MADE UNDER MY DIRECTION AND SUPERVISION AND IS ACCURATELY REPRESENTED ON THIS PLAT. I ALSO CERTIFY THAT THIS PLAT IS CORRECT AND ACCURATE AS SHOWN, AND THE MONUMENTS DESCRIBED IN IT HAVE BEEN LOCATED AS DESCRIBED.

Aaron D. Borling, RLS 48756

UTILITY COMPANY APPROVAL

ARIZONA PUBLIC SERVICE

CHAD BROOKS BY LETTER DATED 3/20/2023
BY: DATE:

UNISOURCE ENERGY SERVICES

MARTIN CONBOY BY LETTER DATED 3/22/2023
BY: DATE:

LUMEN

KEVIN WAGNER BY LETTER DATED 4/7/2023
BY: DATE:

ALTICE USA

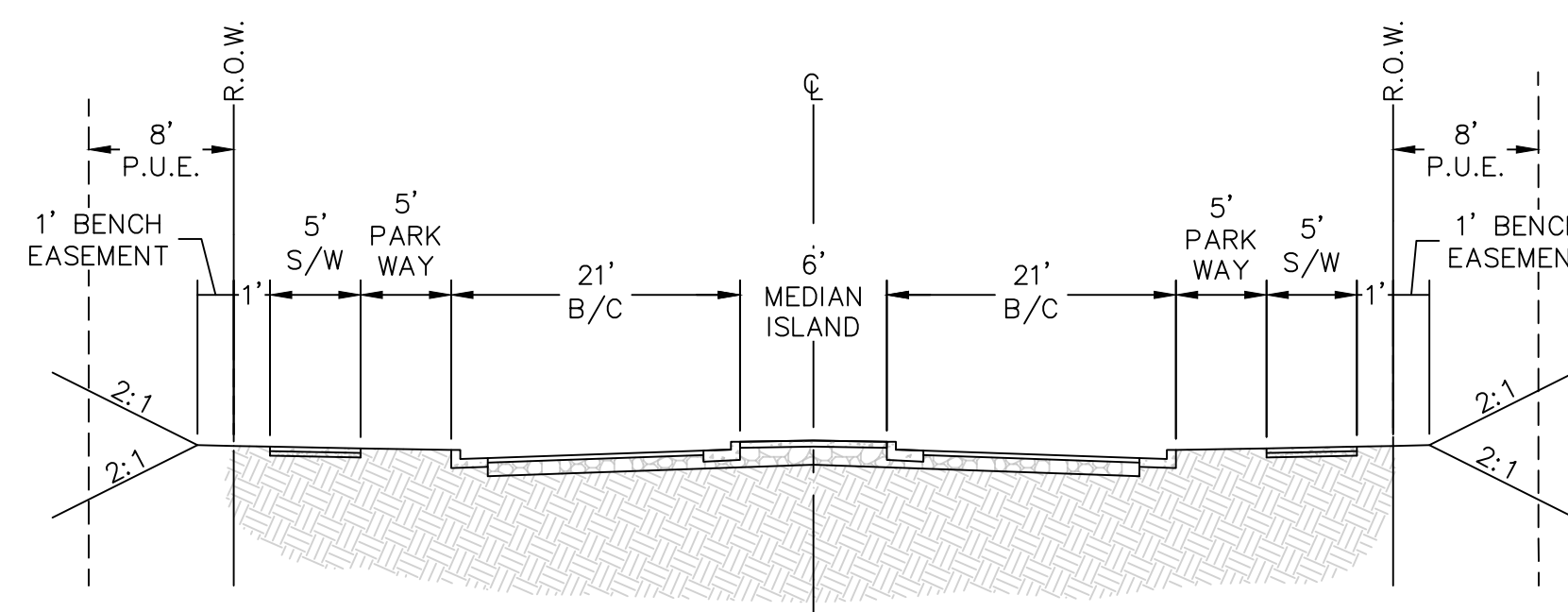
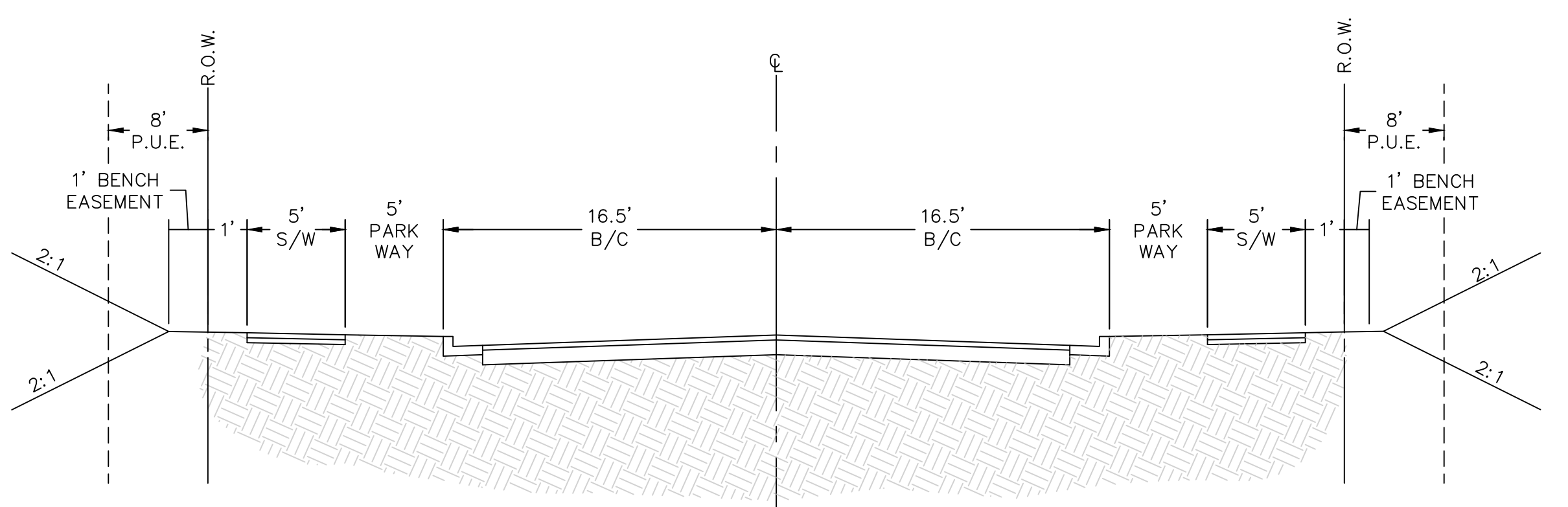
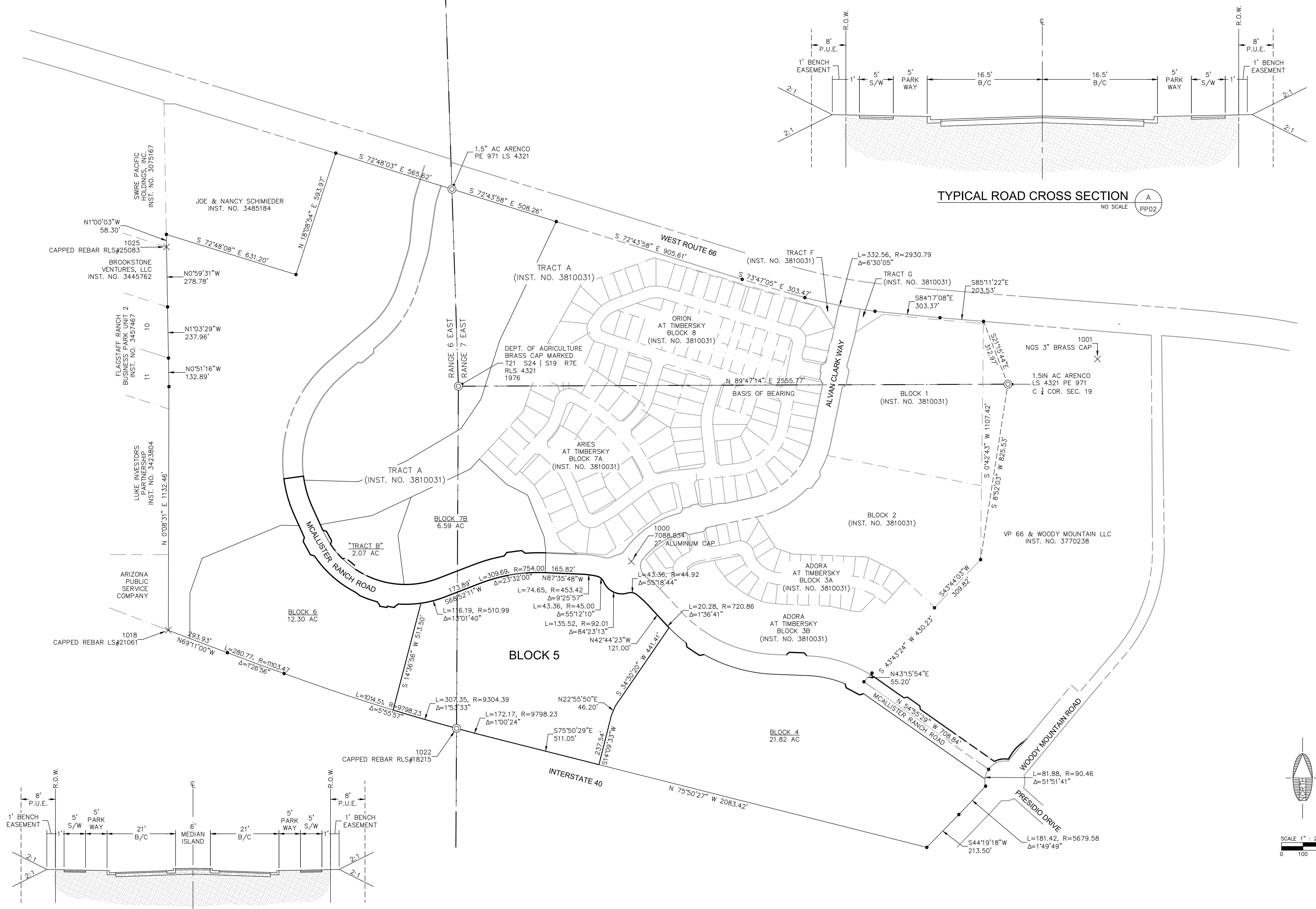
SANFORD YAZZIE BY LETTER DATED 3/17/2023
BY: DATE:

PRELIMINARY

NOT FOR CONSTRUCTION, BIDDING OR RECORDING

COF #PZ-23-00089

Vertical sidebar containing: FLAGSTAFF ARIZONA, TIMBER SKY BLOCK 5, COVER SHEET, JOB NO: 21170, DATE: JUL 23, SCALE: AS SHOWN, DRAWN: ELK, SIV, CHECKED: SIV, SCI, 110 W. Dale Avenue, Flagstaff, AZ 86001, 928.773.0354, 928.774.8934 fax, www.swi.coz.com, SWI Shephard Wesnitzer, Inc., REVISIONS table, ARIZONA 811 Arizona Blue Stakes, Inc., DRAWING NO. PP01, SHT NO. 1 OF 7.



FLAGSTAFF ARIZONA

TIMBER SKY BLOCK 5

EXISTING BOUNDARY

JOB NO.:	21170
DATE:	JUL 23
SCALE:	AS SHOWN
DRAWN:	BH
DESIGN:	BH
CHECKED:	SAJ/SCI

110 W. Dole Avenue
Flagstaff, AZ 86001
928.774.8354
928.774.8934 fax
www.swi.com

SWI
Shephard Wesnitzer, Inc.

NO.	DESCRIPTION	DATE	BY

Call at least two full working days before you begin excavation.
ARIZONA 811
Arizona Blue Stakes, Inc. (928-538-8411 or 1-800-514-1111 (928-538-8411))

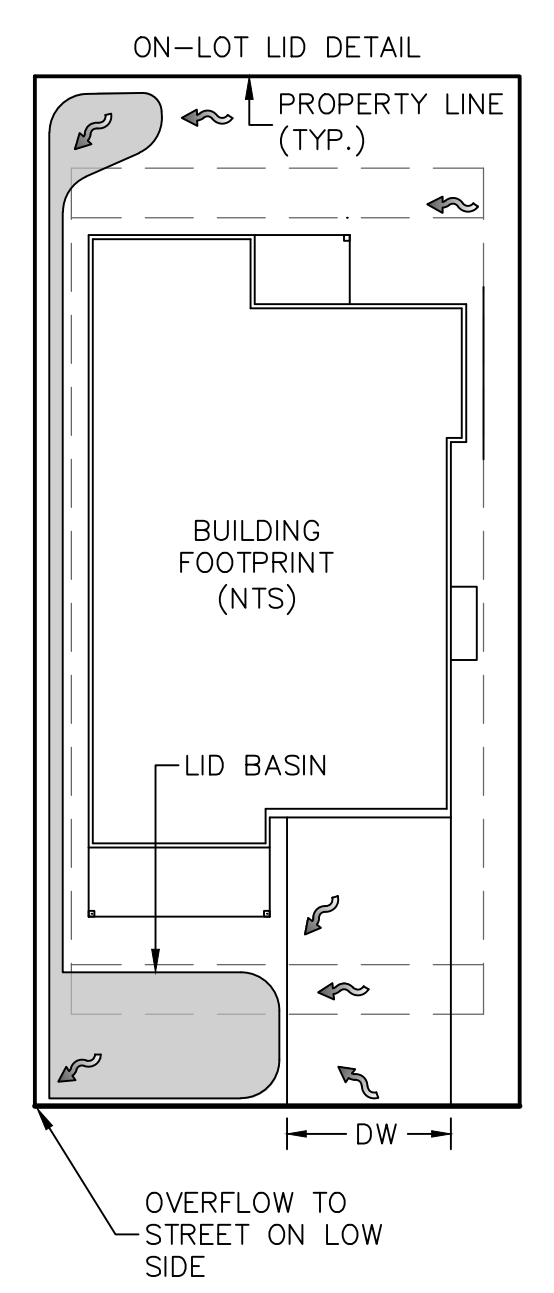
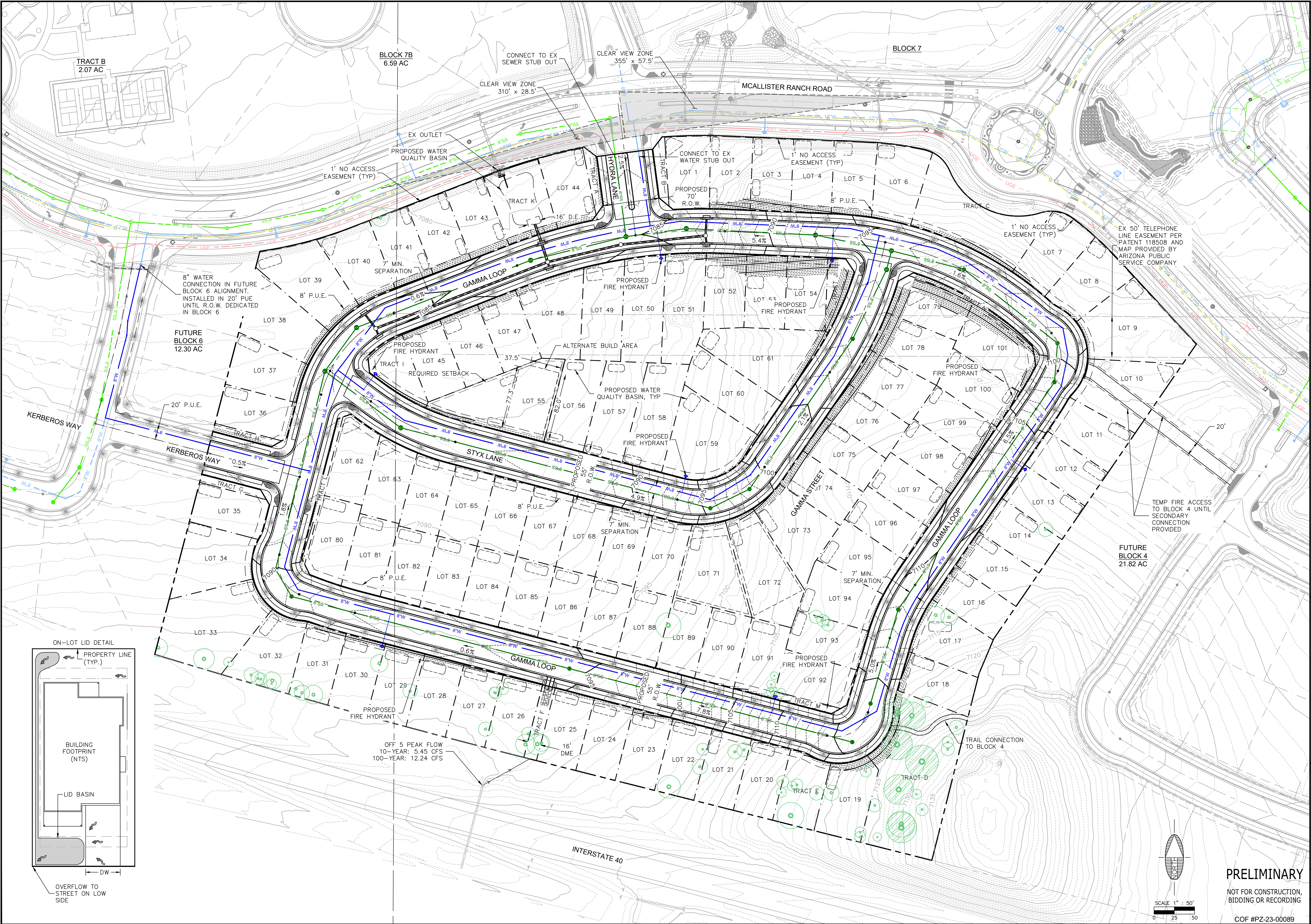
DRAWING NO. **PP02**

SHT NO. 2 OF 7

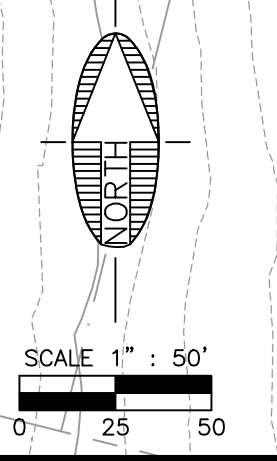
PRELIMINARY
NOT FOR CONSTRUCTION,
BIDDING OR RECORDING
COF #PZ-23-00089

PLOTTED: Jul 31, 2023-8:21am

FILE: P:\2021\DRAWINGS\PLATS\PRELIMINARY\21170-PPLAT CIVIL DESIGNING EXEISER



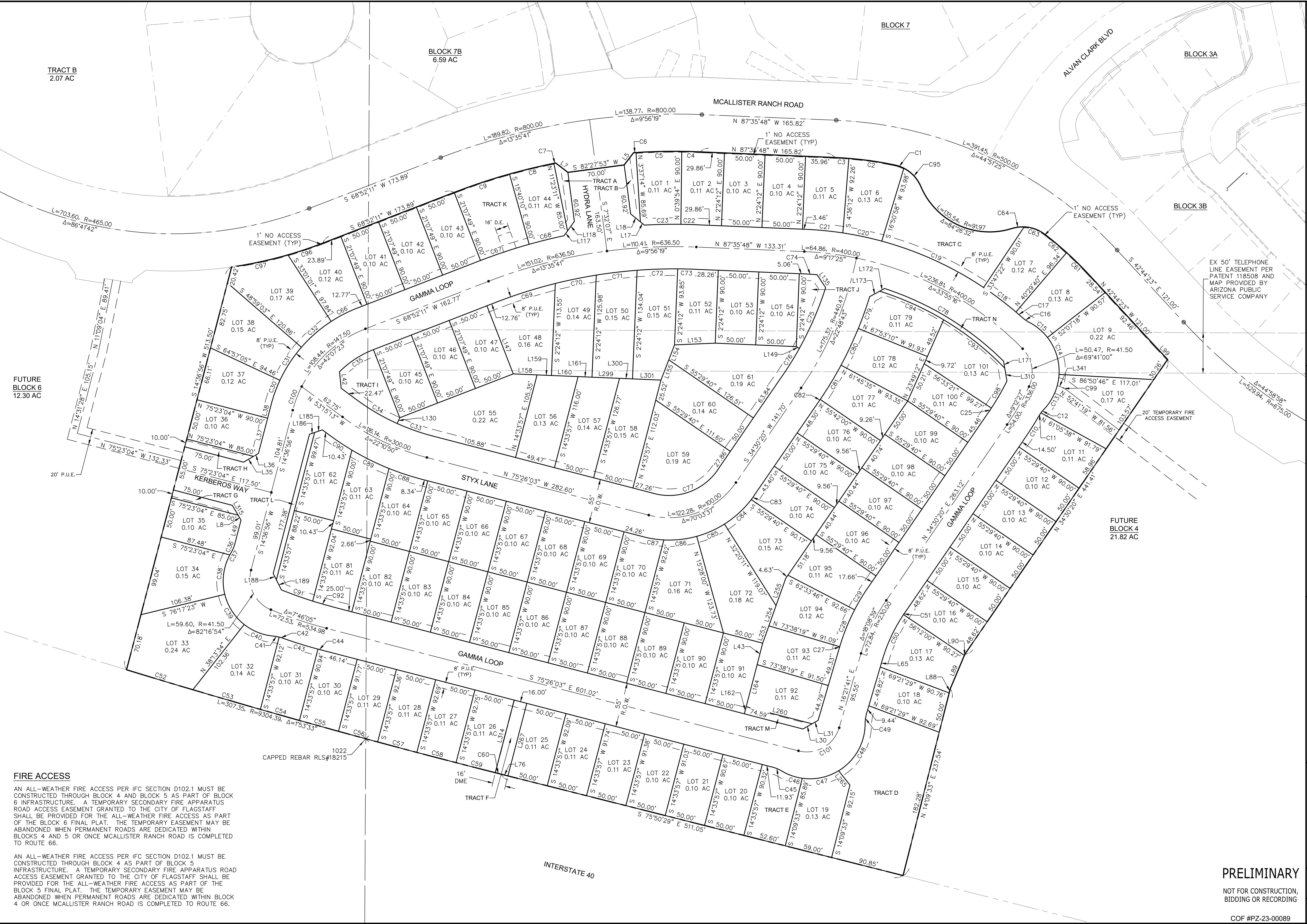
OFF 5 PEAK FLOW
 10-YEAR: 5.45 CFS
 100-YEAR: 12.24 CFS



PRELIMINARY
 NOT FOR CONSTRUCTION,
 BIDDING OR RECORDING
 COF #PZ-23-00089

JOB NO: 21170		DATE: JUL 23		SCALE: AS SHOWN		DRAWN: BH/ELK		DESIGN: BH/SJV		CHECKED: SJV/SCI	
110 W. Dole Avenue Flagstaff, AZ 86001 928.773.0354 928.774.8934 fax www.swi.coz.com											
NO.	DESCRIPTION	DATE	BY								
<p>Call at least two full working days before you begin excavation.</p> <p>ARIZONA 811 Arizona Blue Stake, Inc. (928-5348) Dial 8-1-1 or 1-800-514-1111 (928-5348)</p>											
DRAWING NO. PP03										SHT NO. OF	
										3 7	

FLAGSTAFF ARIZONA
 TIMBER SKY BLOCK 5
 CIVIL DESIGN



FIRE ACCESS

AN ALL-WEATHER FIRE ACCESS PER IFC SECTION D102.1 MUST BE CONSTRUCTED THROUGH BLOCK 4 AND BLOCK 5 AS PART OF BLOCK 6 INFRASTRUCTURE. A TEMPORARY SECONDARY FIRE APPARATUS ROAD ACCESS EASEMENT GRANTED TO THE CITY OF FLAGSTAFF SHALL BE PROVIDED FOR THE ALL-WEATHER FIRE ACCESS AS PART OF THE BLOCK 6 FINAL PLAT. THE TEMPORARY EASEMENT MAY BE ABANDONED WHEN PERMANENT ROADS ARE DEDICATED WITHIN BLOCKS 4 AND 5 OR ONCE MCALLISTER RANCH ROAD IS COMPLETED TO ROUTE 66.

AN ALL-WEATHER FIRE ACCESS PER IFC SECTION D102.1 MUST BE CONSTRUCTED THROUGH BLOCK 4 AS PART OF BLOCK 5 INFRASTRUCTURE. A TEMPORARY SECONDARY FIRE APPARATUS ROAD ACCESS EASEMENT GRANTED TO THE CITY OF FLAGSTAFF SHALL BE PROVIDED FOR THE ALL-WEATHER FIRE ACCESS AS PART OF THE BLOCK 5 FINAL PLAT. THE TEMPORARY EASEMENT MAY BE ABANDONED WHEN PERMANENT ROADS ARE DEDICATED WITHIN BLOCK 4 OR ONCE MCALLISTER RANCH ROAD IS COMPLETED TO ROUTE 66.

PRELIMINARY
 NOT FOR CONSTRUCTION,
 BIDDING OR RECORDING

FLAGSTAFF ARIZONA

TIMBER SKY BLOCK 5

PRELIMINARY PLAT

JOB NO: 21170
 DATE: JUL 23
 SCALE: AS SHOWN
 DRAWN: ELK
 DESIGN: ELK
 CHECKED: SAJ/SCI

110 W. Dole Avenue
 Flagstaff, AZ 86001
 928.774.8934 fax
 www.swi.biz

SWI
 Shephard Wesnitzer, Inc.

NO.	DESCRIPTION	DATE	BY

Call at least two full working days before you begin excavation.

ARIZONA 811
 Arizona Blue Stake, Inc. (928-538-8844 or 1-800-538-1111)

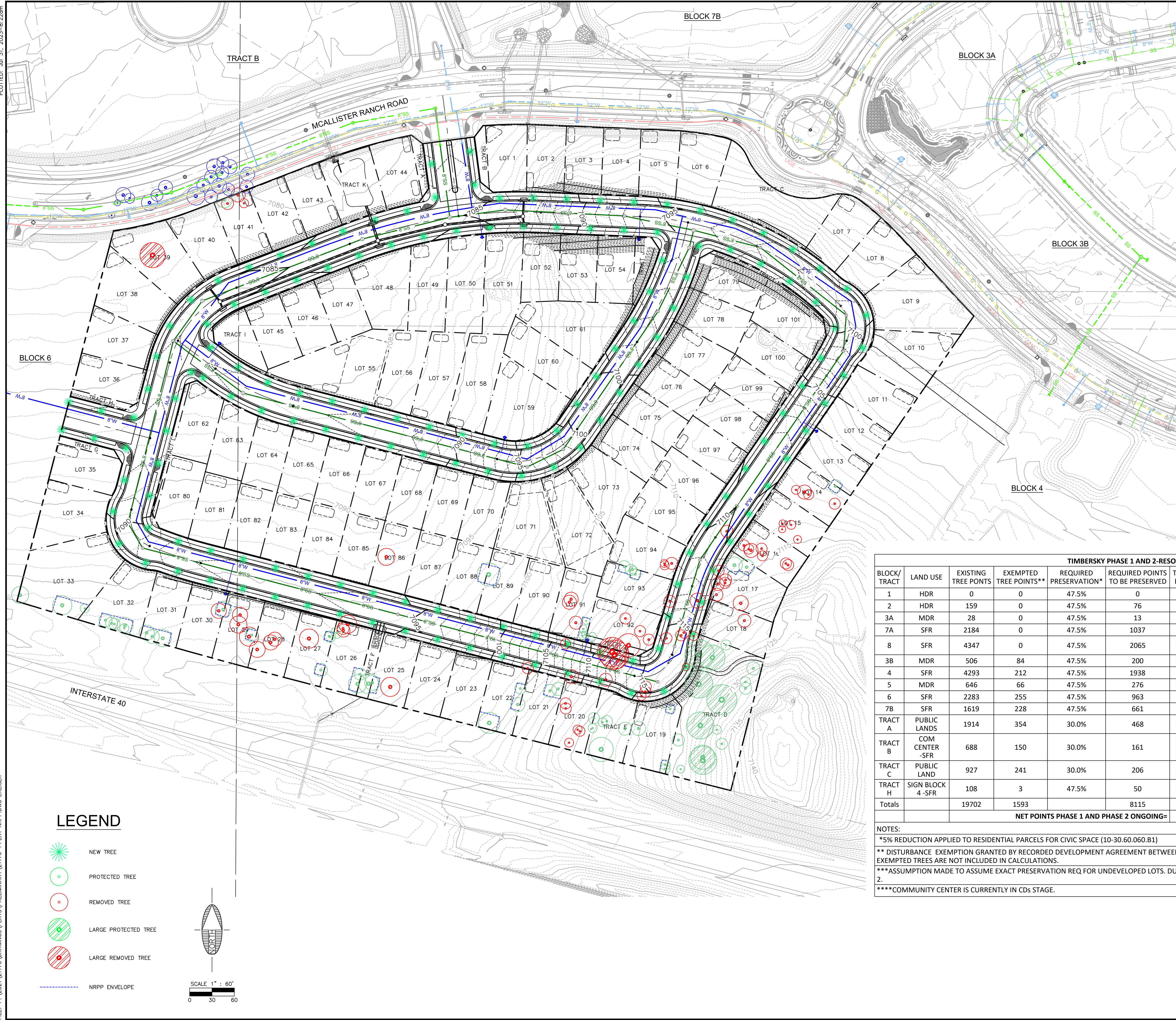
DRAWING NO. **PP04**

SHT NO. 4 OF 7

COF #PZ-23-00089

PLOTTED: Jul 31, 2023 8:22am

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PARCEL 5 RESOURCE CALCULATIONS

TOTAL TREE RESOURCES					
TYPE	PINE	PINE	PINE	PINE	PINE
DIAMETER (IN)	6-8	9-12	13-17	18-24	>25
NUMBER EXISTING	12	62	42	12	9
POINTS	1	2	4	8	20
SUM OF POINTS	12	124	168	96	180
SUBTOTAL TREE POINTS=	580				
47.5% PRESERVATION RATE=	275.5				

POST-DEVELOPMENT TREES					
TYPE	PINE	PINE	PINE	PINE	PINE
DIAMETER (IN)	6-8	9-12	13-17	18-24	>25
NUMBER SAVED	7	25	20	7	6
POINTS	1	2	4	8	20
SUM OF POINTS	7	50	80	56	120
SUBTOTAL TREE POINTS=	313				
REQUIRED PRESERVATION RATE=	47.5%				
PRESERVATION RATE=	54.0%				

NOTE:
 1. PER CITY OF FLAGSTAFF ZONING CODE SECTION 10-50.90.060, RESIDENTIAL ZONES PRESERVATION RATE IS 50%. THIS HAS BEEN REDUCED TO 47.5% WITH THE 5% OPEN SPACE CREDIT

PRELIMINARY LANDSCAPE CALCULATIONS		
SECTION	REQUIREMENTS	QUANTITY
STREET TREE REQUIREMENT (3659 LF)		
PROPOSED TREES REQUIRED	45 LF MIN SPACING	163
SHRUBS	NONE	0
GROUND COVER	NONE	0
STREET BUFFER INSTALLED PER PHASE 2 INFRASTRUCTURE PLANS		

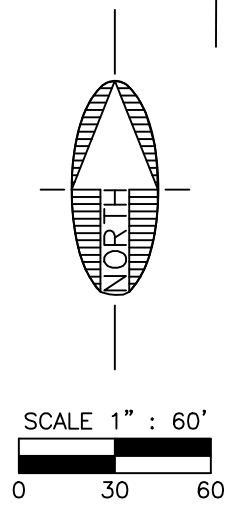
NOTES:
 1. NRPP ENVELOPES WILL BE FURTHER DEVELOPED FOR FINAL PLAT.
 2. THIS PROJECT IS NOT PROJECTED TO FALL BELOW THE REQUIRED 47.5% TREE PRESERVATION RATE. PER THE ORIGINAL TIMBER SKY PRELIMINARY BLOCK PLAT, TREE RESOURCES MAY BE SHARED AND COORDINATED ACROSS THE TIMBER SKY OVERALL DEVELOPMENT. THIS PROJECT IS PROJECTED TO PROVIDE SURPLUS TREE POINTS THAT MAY BE DISTRIBUTED TO OTHER PROJECTS WITHIN THE OVERALL TIMBER SKY DEVELOPMENT.

TIMBERSKY PHASE 1 AND 2-RESOURCE PROTECTION PLAN									
BLOCK/TRACT	LAND USE	EXISTING TREE POINTS	EXEMPTED TREE POINTS**	REQUIRED PRESERVATION*	REQUIRED POINTS TO BE PRESERVED	TREE POINTS PRESERVED	TREE POINTS REMOVED	PERCENT PRESERVED	NOTES
1	HDR	0	0	47.5%	0				NO TREES
2	HDR	159	0	47.5%	76	159	0	100.0%	NOT DEVELOPED YET***
3A	MDR	28	0	47.5%	13	12	16	42.9%	FINAL VERIFICATION PENDING
7A	SFR	2184	0	47.5%	1037	1191	993	54.5%	FINAL VERIFICATION PENDING
8	SFR	4347	0	47.5%	2065	1842	2505	42.4%	ADJUSTED FROM 41.5% BASED ON PRELIM AS-BUILTS FINAL VERIFICATION PENDING
3B	MDR	506	84	47.5%	200	186	320	44.1%	NOT DEVELOPED YET***
4	SFR	4293	212	47.5%	1938	1935	2358	47.4%	NOT DEVELOPED YET***
5	MDR	646	66	47.5%	276	313	333	54.0%	NOT DEVELOPED YET***
6	SFR	2283	255	47.5%	963	948	1335	46.7%	NOT DEVELOPED YET***
7B	SFR	1619	228	47.5%	661	665	954	47.8%	CDS STAGE***
TRACT A	PUBLIC LANDS	1914	354	30.0%	468	357	1557	22.9%	PHASE 1 AND 2 OPEN SPACE DRAINAGE
TRACT B	COM CENTER -SFR	688	150	30.0%	161	328	360	61.0%	COMMUNITY CENTER****
TRACT C	PUBLIC LAND	927	241	30.0%	206	104	823	15.2%	PHASE 2 OPEN SPACE DRAINAGE
TRACT H	SIGN BLOCK 4 -SFR	108	3	47.5%	50	98	10	93.3%	ENTRY SIGN BLOCK 4
Totals		19702	1593		8115	8138	11564		
NET POINTS PHASE 1 AND PHASE 2 ONGOING=						23			

NOTES:
 *5% REDUCTION APPLIED TO RESIDENTIAL PARCELS FOR CIVIC SPACE (10-30.60.060.B1)
 ** DISTURBANCE EXEMPTION GRANTED BY RECORDED DEVELOPMENT AGREEMENT BETWEEN COF AND WOODY MOUNTAIN, LLC.(DATED RECORDED:12/21/2016). EXEMPTED TREES ARE NOT INCLUDED IN CALCULATIONS.
 ***ASSUMPTION MADE TO ASSUME EXACT PRESERVATION REQ FOR UNDEVELOPED LOTS. DUE TO LOCATION OF TREES ON BLOCK 2, 100% PRESERVATION ASSUMED FOR BLOCK 2.
 ****COMMUNITY CENTER IS CURRENTLY IN CDS STAGE.

LEGEND

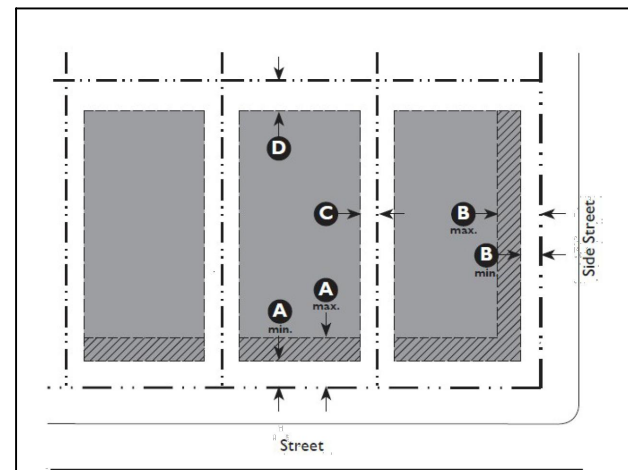
- NEW TREE
- PROTECTED TREE
- REMOVED TREE
- LARGE PROTECTED TREE
- LARGE REMOVED TREE
- NRPP ENVELOPE



FLAGSTAFF ARIZONA
 PRELIMINARY NRPP
 JOB NO: 21170
 DATE: JUL 23
 SCALE: AS SHOWN
 DRAWN: BH/ELK
 DESIGN: BH/JSV
 CHECKED: SAJV/SCI
 110 W. Dole Avenue
 Flagstaff, AZ 86001
 928.774.8354
 928.774.8934 fax
 www.swi2.com
SWI
 Shephard Wesnitzer, Inc.
 REVISIONS
 NO. DESCRIPTION
 DATE BY
 Call at least two full working days before you begin excavation.
ARIZONA 811
 Arizona Blue Stakes, Inc.
 808-841-1180 or 1-800-514-1111 (TUE-5:30P)
 DRAWING NO. **PP06**
 SHT NO. 6 OF 7
 COF #PZ-23-00089

PRELIMINARY
 NOT FOR CONSTRUCTION,
 BIDDING OR RECORDING
 COF #PZ-23-00089

T4N.2 PRD STANDARDS - GARDEN HOME



Key
 --- ROW/Property Line
 --- Building Setback Line
 ■ Building Area
 ■ Facade Zone

D. Building Placement

Setback (Distance from ROW/Property Line)

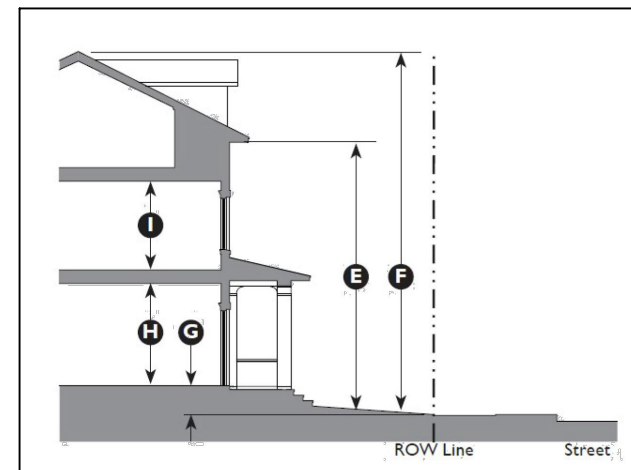
Principal Building	
Front ¹	5' min.; 12' max. A
Front Facade within Facade Zone	50% min.
Side Street/Civic Space	10' min.; 15' max. B
Side ²	3' min. C
Rear	3' min. D
Accessory Building or Structure	
Front	20' min.
Side	0' min.; 3' max.
Rear	3' min.

¹ The setback may match an existing adjacent building as follows: the building may be placed to align with the facade of the front most immediately adjacent property, for a width no greater than that of the adjacent property's facade that encroaches into the minimum setback.

² No side setback is required along the shared property line between side-by-side duplexes.

Miscellaneous

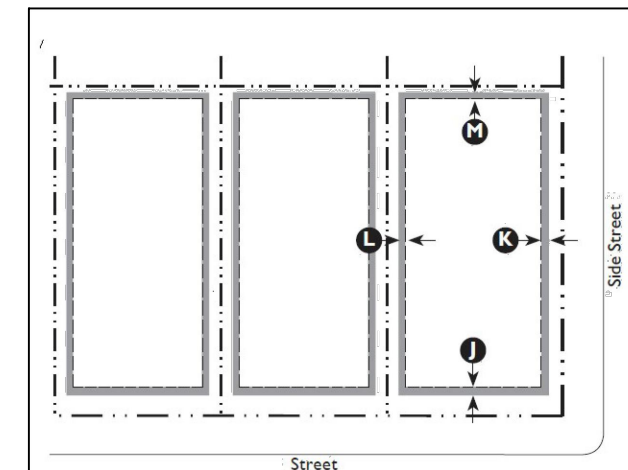
Upper-floor units must have a primary entrance along a street facade or to a courtyard.
 Ground-floor residential units along a street must have individual entries.
 Mansard roof forms are not allowed.



E. Building Form³

Principal Building	
Stories	4 stories max.
To Eave/Parapet	40' max. B
Overall	52' max. F
Accessory Building, Accessory Structure or Carriage House	
Stories	2 stories max.
To Eave/Parapet	18' max.
Overall	28' max.
Ground Floor Finish Level	18" min. above sidewalk G
Ground Floor Ceiling	8' min. clear H
Upper Floor(s) Ceiling	8' min. clear I
Footprint	
Depth, ground-floor residential space along primary street frontage	30' min.
Lot Coverage	80% max.

³ See Division 10-50.30, Building Height, and 10-50.110, Specific to Building Types, for additional building form regulations.



Key
 --- ROW/Property Line
 --- Building Setback Line
 ■ Encroachment Area

F. Encroachments and Frontage Types

Encroachments¹	
Front	5' max. ² J
Side Street/Civic Space	5' max. ² K
Side	3' max. L
Rear	
Property Line	0' max.
Rear Lane or Alley	3' max.

¹ Galleries may encroach into street ROW. All other encroachments are not allowed within a street ROW.

² See Division 10-50.40, Encroachments, for allowed encroachment.

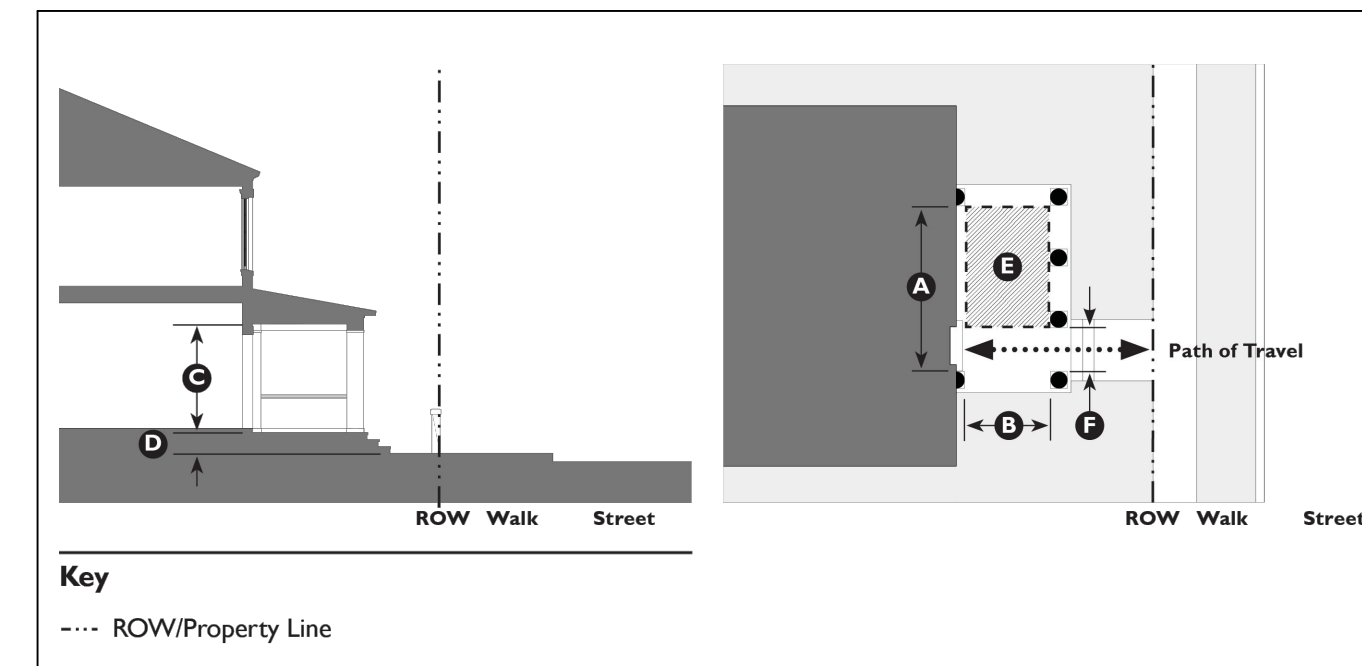
Allowed Private Frontage Types³

Common Yard	Porch, Projecting
Forecourt	Shopfront ⁴
Gallery ⁴	Stoop
Porch, Engaged	Terrace/Lightwell ⁴
Porch, Integral	Terrace Shopfront ⁴

³ See Division 10-50.120, Specific to Private Frontages, for private frontage type descriptions and regulations.

⁴ Allowed only in open sub-zone(s).

PLACEMENT DETAILS - GARDEN HOME



Key
 --- ROW/Property Line

FRONTAGE TYPES - GARDEN HOME

10-50.120.040 Porch: Projecting

A. Description

The main facade of the building typically has a small to medium setback from the property line. The resulting front yard is typically very small and may or may not be defined by a fence or hedge to spatially maintain the edge of the street. The projecting porch is open on three sides and has a roof form that is separate from the main house, making it possible to remove the porch roof without making major changes to the overall roof form.

B. Size	
Width, Clear	10' min. A
Depth, Clear	8' min. B
Height, Clear	8' min. C
Height	2 stories max.
Finish Level above Sidewalk ¹	18" min. D
Furniture Area, Clear	4' x 6' min. E
Path of Travel	3' wide min. F

End Note

¹ Not required in non-transect zones.

C. Miscellaneous

Projecting porches are open on three sides and must have a roof.
 In transect zones where both porches and encroachments are allowed, a porch is an allowable encroaching element.



Full-length projecting porch with stairs perpendicular to street.



Partial-length projecting porch with stairs parallel to street.

10-50.120.050 Porch: Engaged

A. Description

The main facade of the building has a small setback from the property line. The resulting front yard is typically very small and may be undefined or defined by a fence or hedge to spatially maintain the edge of the street. An engaged porch has a separate roof form from the main body of the house, making it possible to remove the porch roof without making major changes to the overall roof form. The porch is partially or fully enclosed on two sides and has a roof.

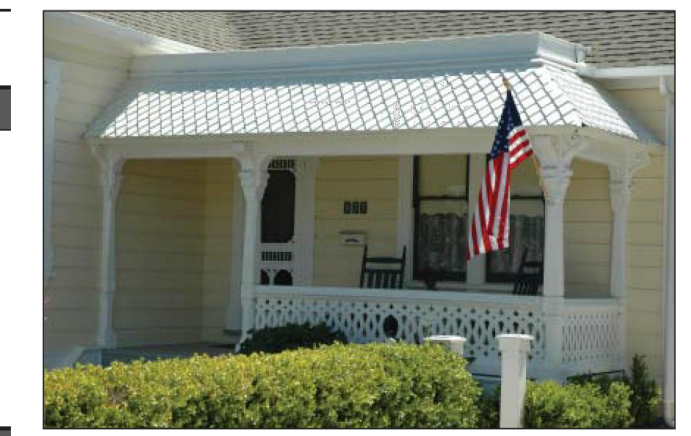
B. Size	
Width, Clear	10' min. A
Depth, Clear	8' min. B
Height, Clear	8' min. C
Height	2 stories max.
Finish Level above Sidewalk ¹	18" min. D
Furniture Area, Clear	4' x 6' min. E
Path of Travel	3' wide min. F

End Note

¹ Not required in non-transect zones.

C. Miscellaneous

Engaged porches must be open on at least two sides and have a roof.
 In transect zones where both porches and encroachments are allowed, a porch is an allowable encroaching element.



Engaged porch as an attached element.



Engaged porch as an attached element.

10-50.120.060 Porch: Integral

A. Description

The main facade of the building has a small setback from the property line. The resulting front yard is typically very small and may be undefined or defined by a fence or hedge to spatially maintain the edge of the street. An integral porch is open on one, two, or three sides and is part of the overall massing and roof form of the building, making it impossible to remove the porch without major changes to the overall roof form.

B. Size	
Width, Clear	10' min. A
Depth, Clear	8' min. B
Height, Clear	8' min. C
Height	2 stories max.
Finish Level above Sidewalk ¹	18" min. D
Furniture Area, Clear	4' x 6' min. E
Path of Travel	3' wide min. F

End Note

¹ Not required in non-transect zones.

C. Miscellaneous

Integral porches must be open on at least two sides and have a roof.
 In transect zones where both porches and encroachments are allowed, a porch is an allowable encroaching element.

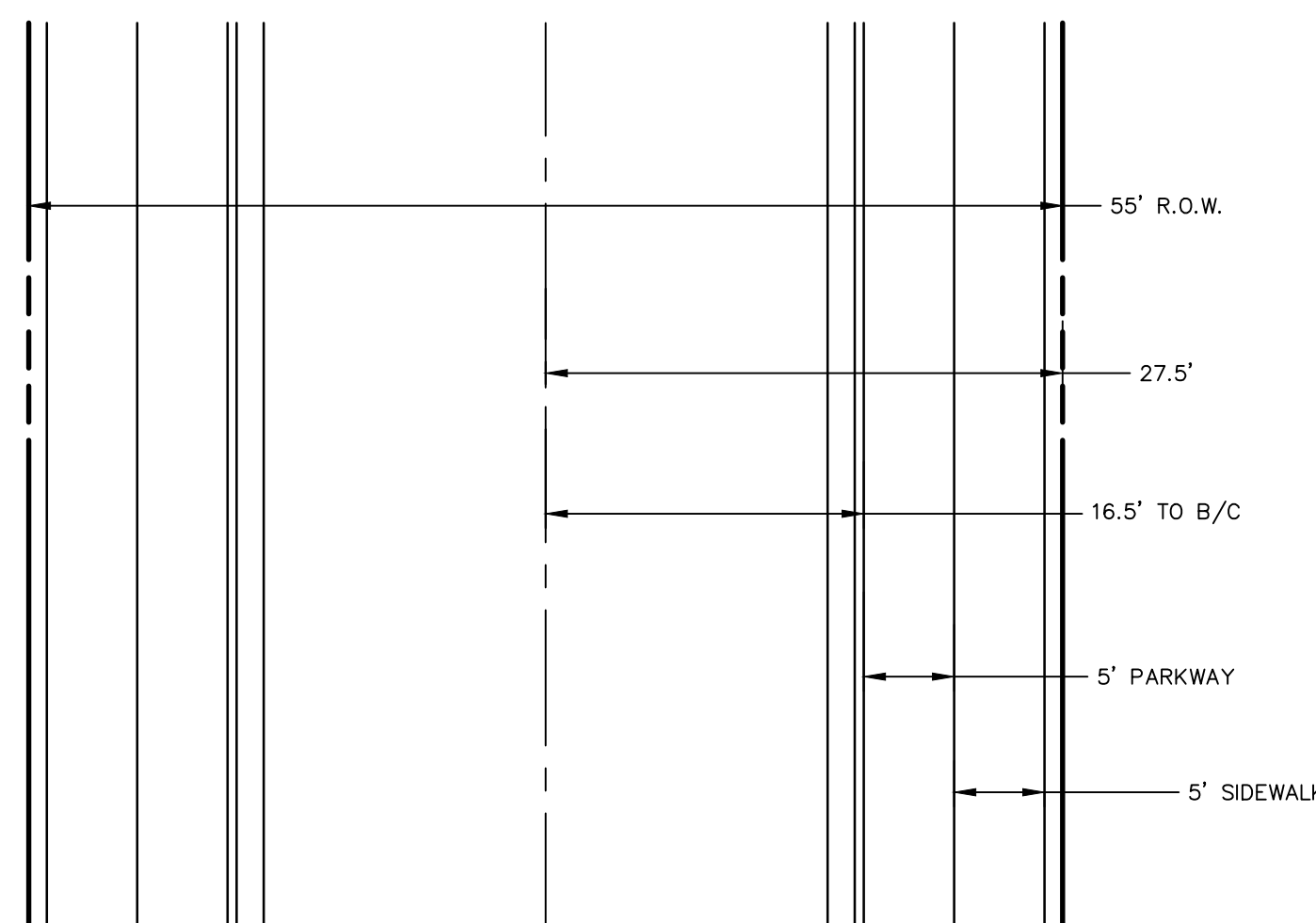


Partial-length integral porch.

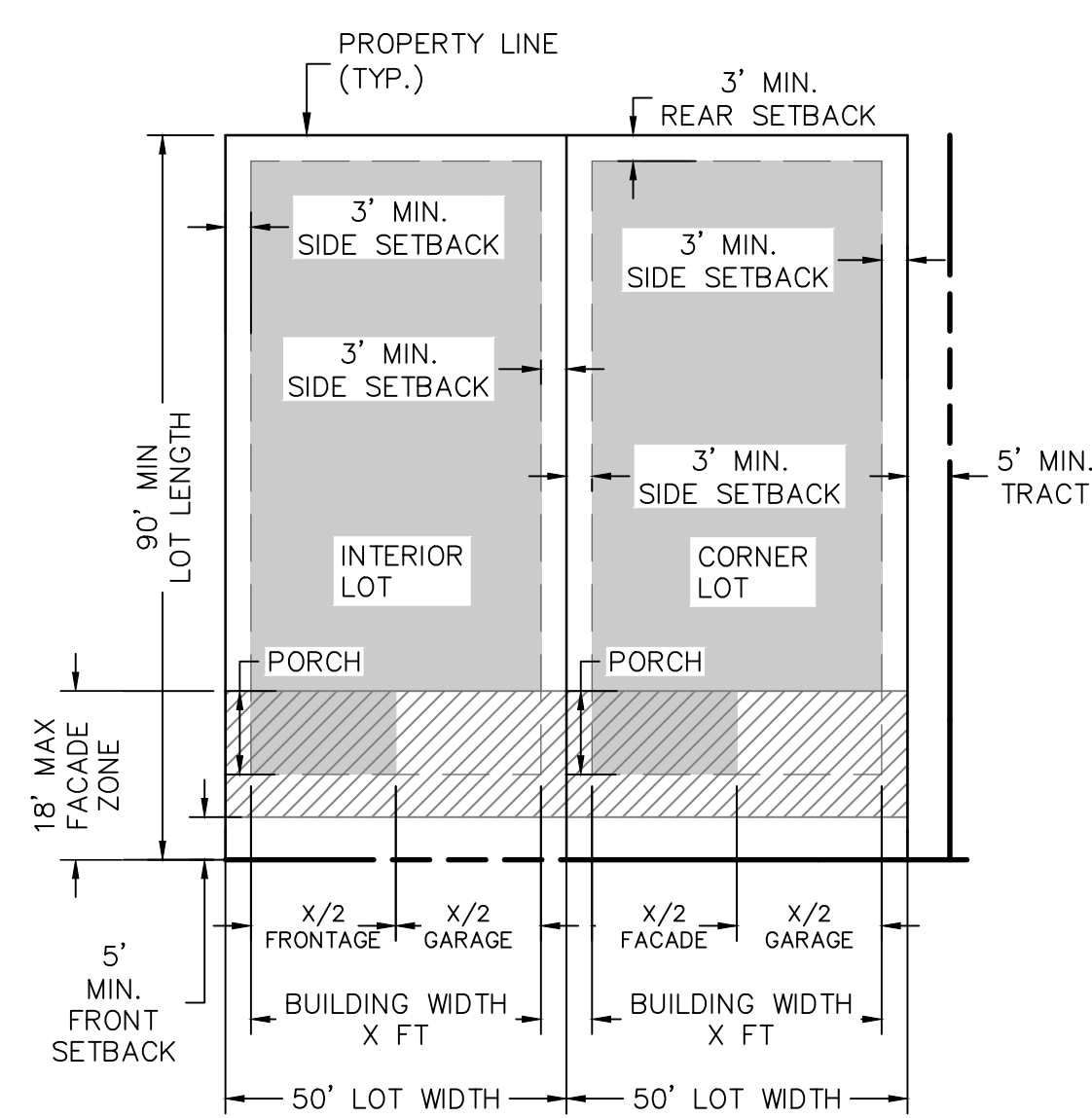


Full-length integral porch integrated into the overall massing.

LOCAL ROAD DETAIL



TYPICAL LOT DETAIL



- NOTES:**
- FRONT SETBACK: 5' MIN - 12' MAX. TO LIVABLE FRONT PORCH OR SIDE ENTRY GARAGE
 - FRONT SETBACK: 18' TO FRONT ENTRY GARAGE
 - SIDE SETBACK: 3' MIN
 - REAR SETBACK: 3' MIN
 - MAXIMUM ALLOWABLE LOT COVERAGE IS 80%
 - MAXIMUM BUILDING ENVELOPE: 47' X 82' (ACTUAL DIMENSIONS VARY PER LOT)
 - FRONT FACADE WITHIN FACADE ZONE: 50% MIN
 - 8' X 10' MIN PORCH FRONT TO BE PROVIDED
 - PORCH FRONTAGE PROVIDED FOR THE UNIT.

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