

# Timber Sky – Block 5

## Preliminary Plat Approval Request

City Council | September 19, 2023

Ben Mejia | Planner





# Request Overview

- Request from Capstone Homes for **Preliminary Plat approval of Timber Sky – Block 5** located at 3345 W McAllister Ranch Rd.
- Single family subdivision with 101 single-family home lots on 17.84 acres in the Medium-Density Residential (MR) Zone also within the Resource Protection Overlay (RPO)
- Staff approved the Preliminary Plat on August 10, 2023
  - P&Z Commission recommended approval (5-0) on September 13, 2023

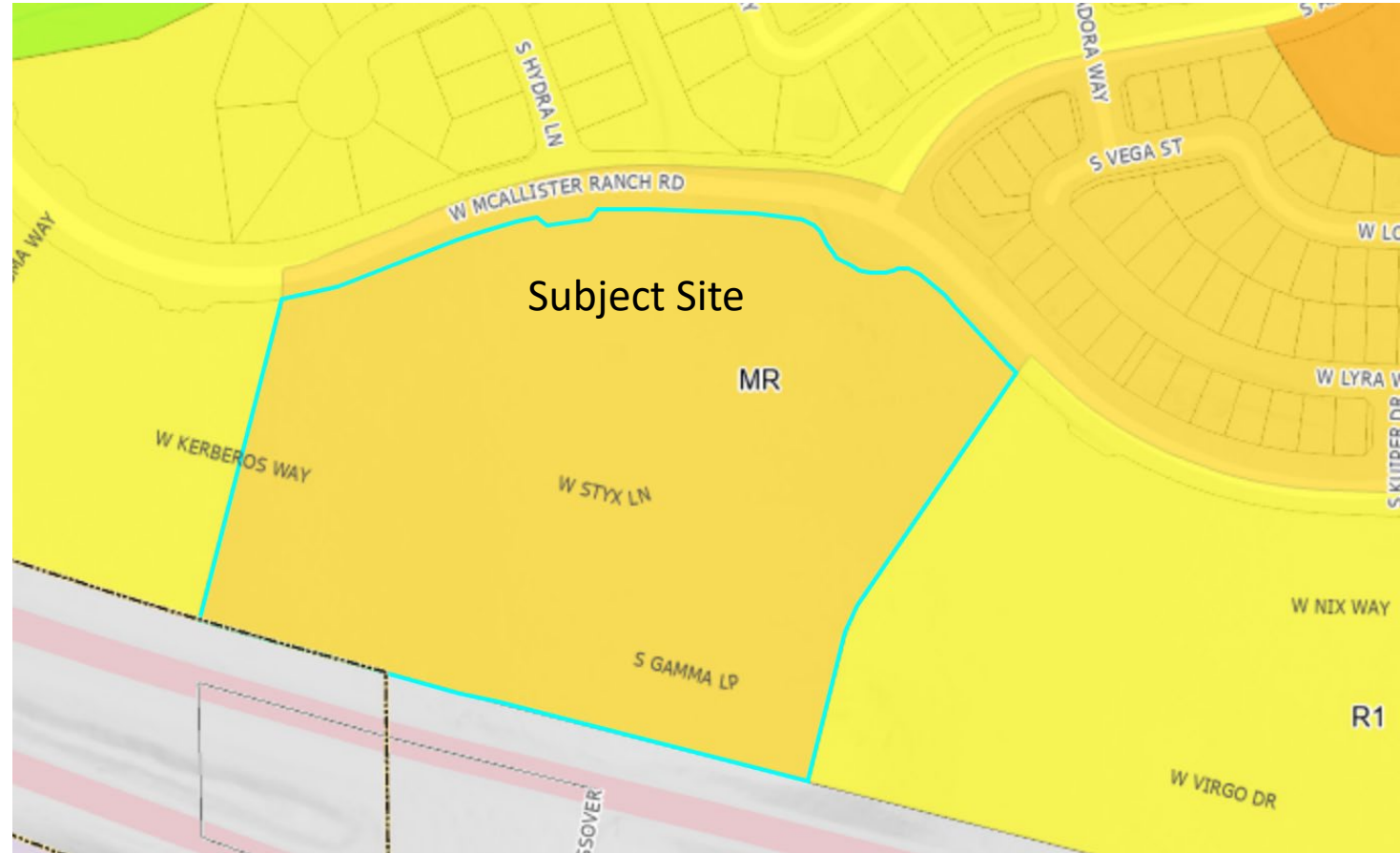
# Vicinity Map

North: Timber Sky Block 7B, R1  
Zone Timber Sky Block 3B, MR  
Zone

South: Interstate-40

West: Timber Sky Block 6, R1  
Zone

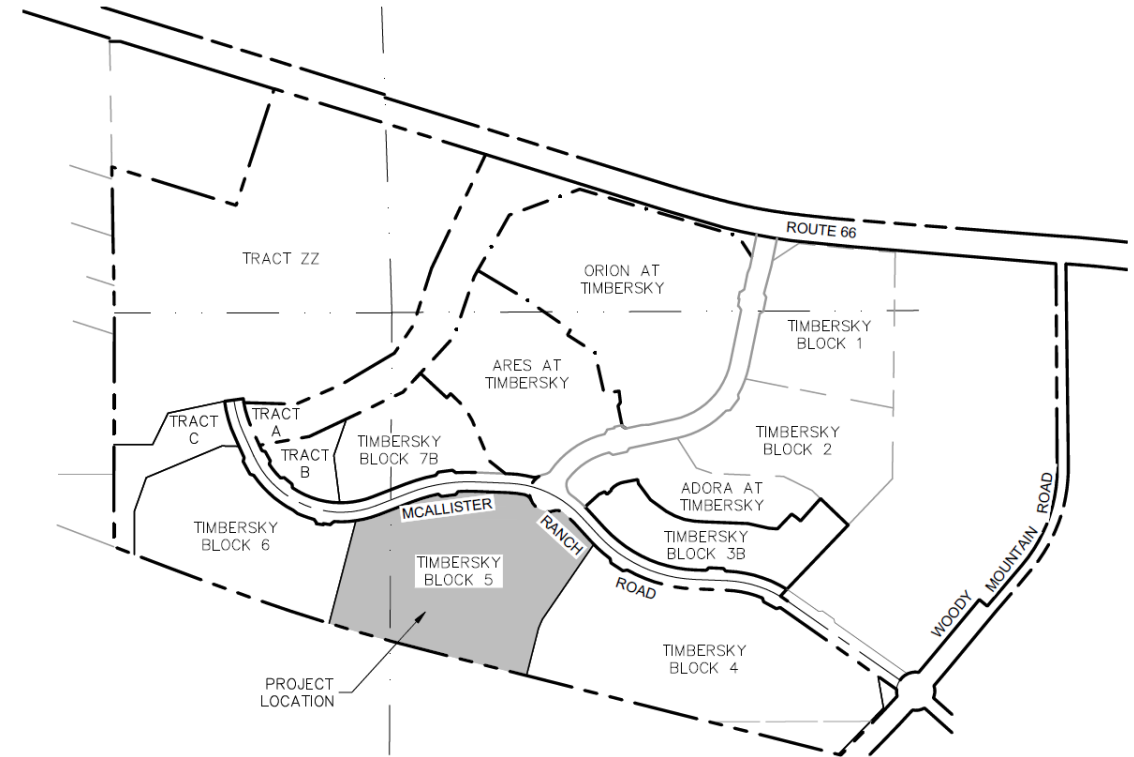
East: Timber Sky Block 4, R1  
Zone



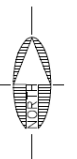


# Timber Sky- Background

- In 2016, a Zoning Map Amendment and Annexation were approved for the Timber Sky Development which proposes a maximum of 1300 residential dwelling units.
- Subject site is part of Phase II of the development of Timber Sky.

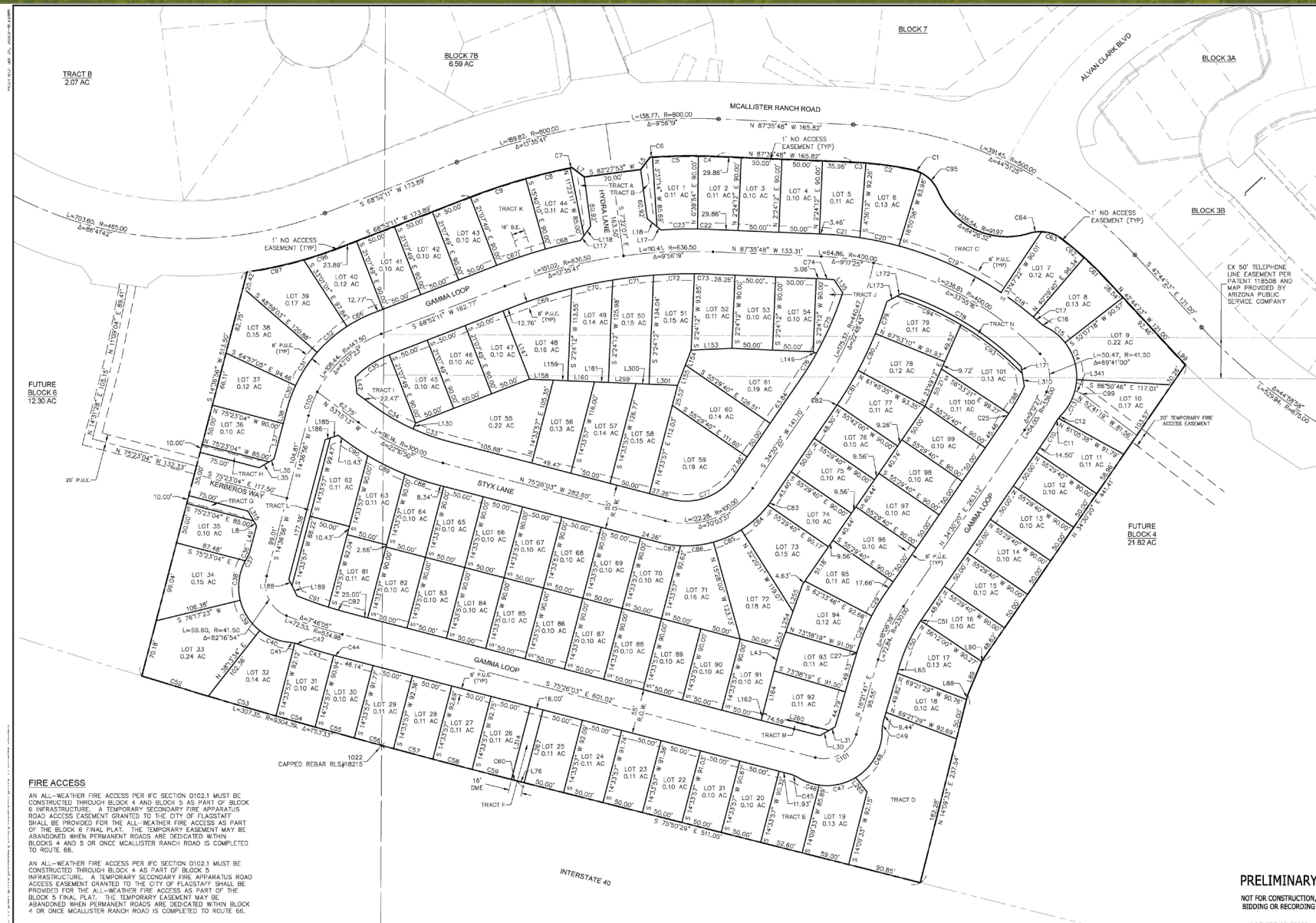


VICINITY MAP  
N.T.S.





# Adora Phase II at Timber Sky - Preliminary Plat



**FIRE ACCESS**

AN ALL-WEATHER FIRE ACCESS PER IFC SECTION D102.1 MUST BE CONSTRUCTED THROUGH BLOCK 4 AND BLOCK 5 AS PART OF BLOCK 6 INFRASTRUCTURE. A TEMPORARY SECONDARY FIRE APPARATUS ROAD ACCESS EASEMENT GRANTED TO THE CITY OF FLAGSTAFF SHALL BE PROVIDED FOR THE ALL-WEATHER FIRE ACCESS AS PART OF THE BLOCK 6 FINAL PLAT. THE TEMPORARY EASEMENT MAY BE ABANDONED WHEN PERMANENT ROADS ARE DEDICATED WITHIN BLOCKS 4 AND 5 OR ONCE MCALLISTER RANCH ROAD IS COMPLETED TO ROUTE 66.

AN ALL-WEATHER FIRE ACCESS PER IFC SECTION D102.1 MUST BE CONSTRUCTED THROUGH BLOCK 4 AS PART OF BLOCK 6 INFRASTRUCTURE. A TEMPORARY SECONDARY FIRE APPARATUS ROAD ACCESS EASEMENT GRANTED TO THE CITY OF FLAGSTAFF SHALL BE PROVIDED FOR THE ALL-WEATHER FIRE ACCESS AS PART OF THE BLOCK 5 FINAL PLAT. THE TEMPORARY EASEMENT MAY BE ABANDONED WHEN PERMANENT ROADS ARE DEDICATED WITHIN BLOCK 4 OR ONCE MCALLISTER RANCH ROAD IS COMPLETED TO ROUTE 66.

PRELIMINARY PLAT

TIMBER SKY BLOCK 5

110 W. Park Avenue  
Flagstaff, AZ 86001  
929.777.4034 fax  
www.swhi.com

**SWI**  
Shepherd Wesnitzer, Inc.

NO.	DESCRIPTION	DATE	BY

ARIZONA 80  
COUNTY OF COCHISE

PRELIMINARY  
NOT FOR CONSTRUCTION,  
BIDDING OR RECORDING

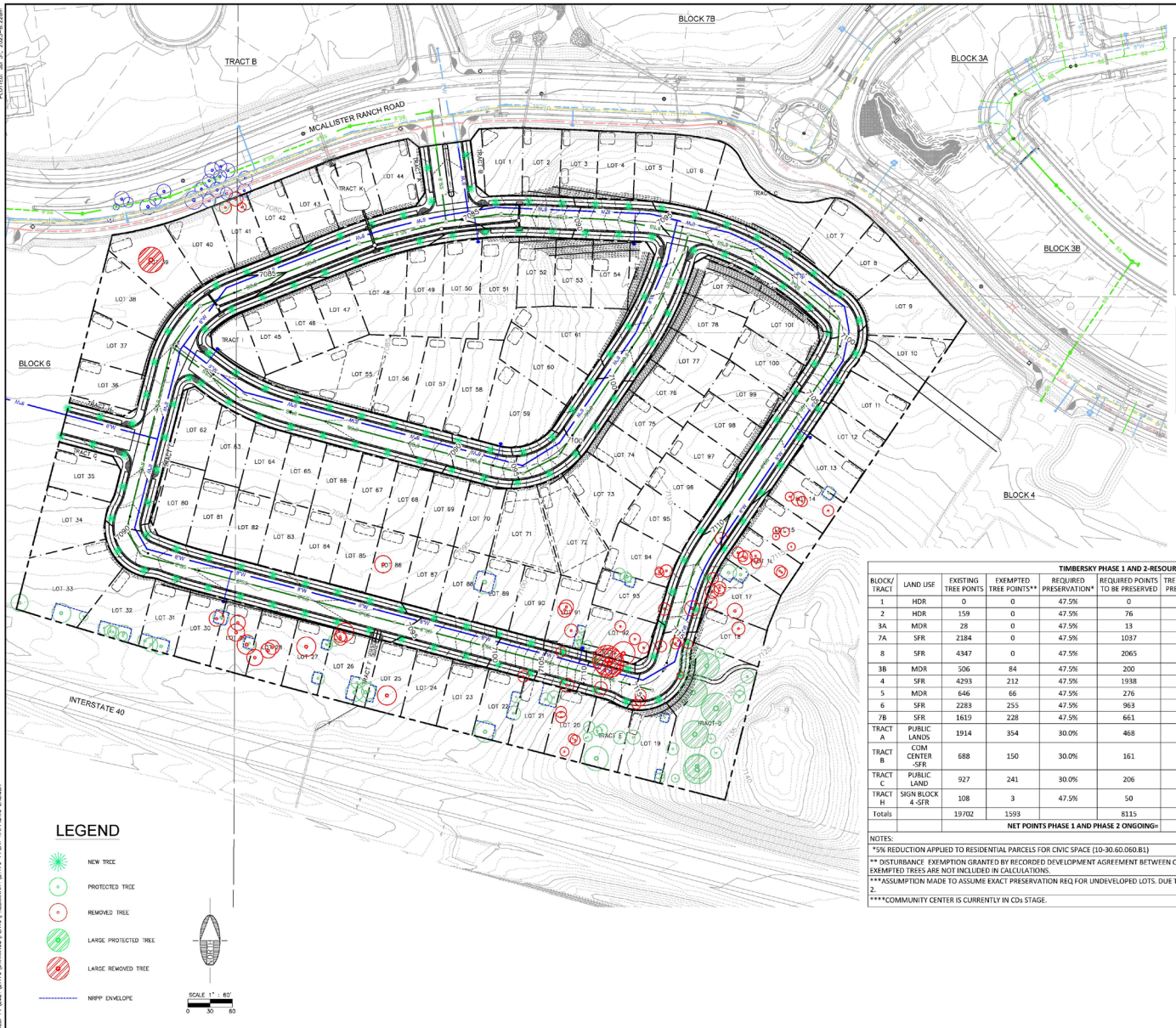
DRAWING NO.  
**PP04**

SHEET NO. OF  
4 7

COF #P2-23-00089



# Resource Protection Plan



PLOTTED: Jul 2, 2023 10:25am  
 FILE: I:\DATA\UTD\WAINMAN\WAINMAN\UTD\PP\PLAT\_NRP\PP\WAINMAN\_LAYOUT.rvt

### LEGEND

- NEW TREE
- PROTECTED TREE
- REMOVED TREE
- LARGE PROTECTED TREE
- LARGE REMOVED TREE
- NRP ENVELOPE



### PARCEL 5 RESOURCE CALCULATIONS

TOTAL TREE RESOURCES					
TYPE	PINE	PINE	PINE	PINE	PINE
DIAMETER (IN)	6-8	9-12	13-17	18-24	>25
NUMBER EXISTING	12	62	42	12	9
POINTS	1	2	4	8	20
SUM OF POINTS	12	124	168	96	180
SUBTOTAL TREE POINTS=	580				
47.5% PRESERVATION RATE=	275.5				

POST-DEVELOPMENT TREES					
TYPE	PINE	PINE	PINE	PINE	PINE
DIAMETER (IN)	6-8	9-12	13-17	18-24	>25
NUMBER SAVED	7	25	20	7	6
POINTS	1	2	4	8	20
SUM OF POINTS	7	50	80	56	120
SUBTOTAL TREE POINTS=	313				
REQUIRED PRESERVATION RATE=	47.5%				
PRESERVATION RATE=	34.0%				

NOTE:  
 1. PER CITY OF FLAGSTAFF ZONING CODE SECTION 10-50.90.050, RESIDENTIAL ZONES PRESERVATION RATE IS 50%. THIS HAS BEEN REDUCED TO 47.5% WITH THE 5% OPEN SPACE CREDIT

### PRELIMINARY LANDSCAPE CALCULATIONS

SECTION	REQUIREMENTS	QUANTITY
<b>STREET TREE REQUIREMENT (3659 LF)</b>		
PROPOSED TREES REQUIRED	45 LF MIN SPACING	16.3
SHRUBS	NONE	0
GROUND COVER	NONE	0
<b>STREET BUFFER INSTALLED PER PHASE 2 INFRASTRUCTURE PLANS</b>		

NOTES:  
 1. NRP ENVELOPES WILL BE FURTHER DEVELOPED FOR FINAL PLAT.  
 2. THIS PROJECT IS NOT PROTECTED TO FALL BELOW THE REQUIRED 47.5% TREE PRESERVATION RATE. PER THE ORIGINAL "TIMBER SKY" PRELIMINARY BLOCK PLAT, TREE RESOURCES MAY BE SHARED AND COORDINATED ACROSS THE "TIMBER SKY" OVERALL DEVELOPMENT. THIS PROJECT IS PROTECTED TO PROVIDE SURPLUS TREE POINTS THAT MAY BE DISTRIBUTED TO OTHER PROJECTS WITHIN THE OVERALL "TIMBER SKY" DEVELOPMENT.

TIMBERSKY PHASE 1 AND 2-RESOURCE PROTECTION PLAN									
BLOCK/TRACT	LAND USE	EXISTING TREE POINTS	EXEMPTED TREE POINTS**	REQUIRED PRESERVATION*	REQUIRED POINTS TO BE PRESERVED	TREE POINTS PRESERVED	TREE POINTS REMOVED	PERCENT PRESERVED	NOTES
1	HDR	0	0	47.5%	0	0	0	100.0%	NO TREES
2	HDR	159	0	47.5%	76	159	0	100.0%	NOT DEVELOPED YET***
3A	MDR	28	0	47.5%	13	12	16	42.9%	FINAL VERIFICATION PENDING
7A	SFR	2184	0	47.5%	1037	1191	998	54.5%	FINAL VERIFICATION PENDING
8	SFR	4347	0	47.5%	2065	1842	2505	42.4%	ADJUSTED FROM 41.5% BASED ON PRELIM AS-BUILTS FINAL VERIFICATION PENDING
3B	MDR	506	84	47.5%	200	186	320	44.1%	NOT DEVELOPED YET***
4	SFR	4293	212	47.5%	1938	1935	2358	47.4%	NOT DEVELOPED YET***
5	MDR	646	66	47.5%	276	313	333	54.0%	NOT DEVELOPED YET***
6	SFR	2283	255	47.5%	963	948	1335	46.7%	NOT DEVELOPED YET***
7B	SFR	1619	228	47.5%	661	665	954	47.8%	CDS STAGE***
TRACT A	PUBLIC LANDS	1914	354	30.0%	468	357	1557	22.9%	PHASE 1 AND 2 OPEN SPACE DRAINAGE
TRACT B	CIVIC CENTER -SFR	688	150	30.0%	161	328	360	61.0%	COMMUNITY CENTER****
TRACT C	PUBLIC LAND	927	241	30.0%	206	104	823	15.2%	PHASE 2 OPEN SPACE DRAINAGE
TRACT H	SIGN BLOCK 4-SFR	108	3	47.5%	50	98	10	93.3%	ENTRY SIGN BLOCK 4
Totals		19702	1593		8115	8138	11564		
<b>NET POINTS PHASE 1 AND PHASE 2 ONGOING=</b>						<b>23</b>			

NOTES:  
 \*5% REDUCTION APPLIED TO RESIDENTIAL PARCELS FOR CIVIC SPACE (10-30.60.060.B1)  
 \*\* DISTURBANCE EXEMPTION GRANTED BY RECORDED DEVELOPMENT AGREEMENT BETWEEN COF AND VPG6 & WOODY MOUNTAIN, LLC.(DATED RECORDED:12/21/2016).  
 \*\*\*EXEMPTED TREES ARE NOT INCLUDED IN CALCULATIONS.  
 \*\*\*\*ASSUMPTION MADE TO ASSUME EXACT PRESERVATION REQ FOR UNDEVELOPED LOTS. DUE TO LOCATION OF TREES ON BLOCK 2, 100% PRESERVATION ASSUMED FOR BLOCK 2.  
 \*\*\*\*\*COMMUNITY CENTER IS CURRENTLY IN CDS STAGE.

JOB NO. 2310  
 DATE: JUL 23  
 SCALE: AS SHOWN  
 DRAWN: [Redacted]  
 CHECKED: [Redacted]  
 PROJECT: [Redacted]

PRELIMINARY NRPP  
 TIMBER SKY BLOCK 5  
 FLAGSTAFF ARIZONA

110 W. Dale Avenue  
 Flagstaff, AZ 86001  
 Phone: 928.774.9341  
 Fax: 928.774.9344  
 www.swi-ar.com

**SWI**  
 Shephard & Wesnitzer Inc.

DRAWING NO. PP06  
 SHEET NO. 6 OF 7  
 PRELIMINARY  
 NOT FOR CONSTRUCTION,  
 BIDDING OR RECORDING  
 COF #PZ-23-00089



# Required Finding #1: Zoning Code (Title 10)



## Meets Medium-Density Residential (MR) and T4N.2 Zone Standards

### Density

- MR density range is 6 minimum and 9 maximum units/acre, proposed Gross 5.66 units/acre. Density deficit will need to be made up elsewhere in Timber Sky

### Lot design and resource protection

- Lots designed to meet resource protection requirements using specific building envelopes.

### Lot sizes

- Applies Planned Residential Development standards which allows for greater flexibility in lot size and dimensions
- Lot sizes range from approximately 4,500 sq. ft. to 10,500 sq. ft.
- Typical lot dimensions are approximately 50' wide and 90' deep

### Setbacks

- Conforms with the T4N.2 minimum setbacks:
- Front = 5' min, 12' max.
- Side = 3' min, 10' min. for street side
- Rear = 3' min

***Zoning Code allows City Council to approve alternate lot sizes and setbacks on a final plat***



# Required Finding #1: Zoning Code (Title 10)



## Meets other relevant standards

- Historic/Cultural Resources
  - Cultural Resource clearance completed with original approval
- Parks, Open Space, Pedestrian, Bicycle Facilities
  - Open space and amenity area requirements are provided within the Timber Sky Development.
  - Sidewalks are provided throughout the subdivision.



## Meets Engineering Standards

- Public systems analysis conducted to confirm preliminary compliance with Engineering Standards
  - Compliance confirmed with Civil Engineering Plans (after Preliminary Plat approval)
- Access and Traffic
  - A Traffic Impact Analysis (TIA) was not required for this subdivision. A TIA was completed in conjunction with the rezoning that included this site.



# Required Finding #2: Engineering Standards (Title 13)



## Meets Engineering Standards

### Water and Wastewater

- New 8" water line provided with the new streets serving subdivision
- New 8" sewer line –each lot to be provided with a tap

### Stormwater

- Regional detention for the entire Timber Sky Development
- On lot LID provided



# Required Finding #3: Subdivisions Standards (Title 11)



## **Meets Subdivision and Land Split Regulations (Chapter 11-20)**

- Meets Preliminary Plat procedures, application requirements
- Minimum Required Subdivision Improvements
  - Identified in public systems analyses (previous slides)



# Required Finding #3: Subdivisions Standards (Title 11)



## Meets Subdivision and Land Split Regulations (Chapter 11-20)

### Subdivision Standards and Regulations

- Lot Design
- Street Design
- Easement Design
- Block Design



# Findings and Recommendation

## Required Findings

- **The City Council shall find the Preliminary Plat meets the requirements of City Code Title 10, Flagstaff Zoning Code; City Code Title 11, General Plans and Subdivisions; and City Code Title 13, Engineering Design Standards and Specifications**

## Staff Recommendation

- **Staff recommends the City Council approve the Preliminary Plat, in accordance with the findings presented in this report and the Planning and Zoning Commission recommendation (5-0).**