

# Timber Sky – Block 6

## Preliminary Plat Approval Request

City Council | September 19, 2023

Ben Mejia | Planner





# Request Overview

- Request from Capstone Homes for **Preliminary Plat approval of Timber Sky – Block 6** located at 3501 W McAllister Ranch Rd.
- Single family subdivision with 51 single-family home lots on 12.3 acres in the Single-Family Residential (R1) Zone also within the Resource Protection Overlay (RPO)
- Staff approved the Preliminary Plat on August 10, 2023
  - P&Z Commission recommended approval (5-0) on September 13, 2023

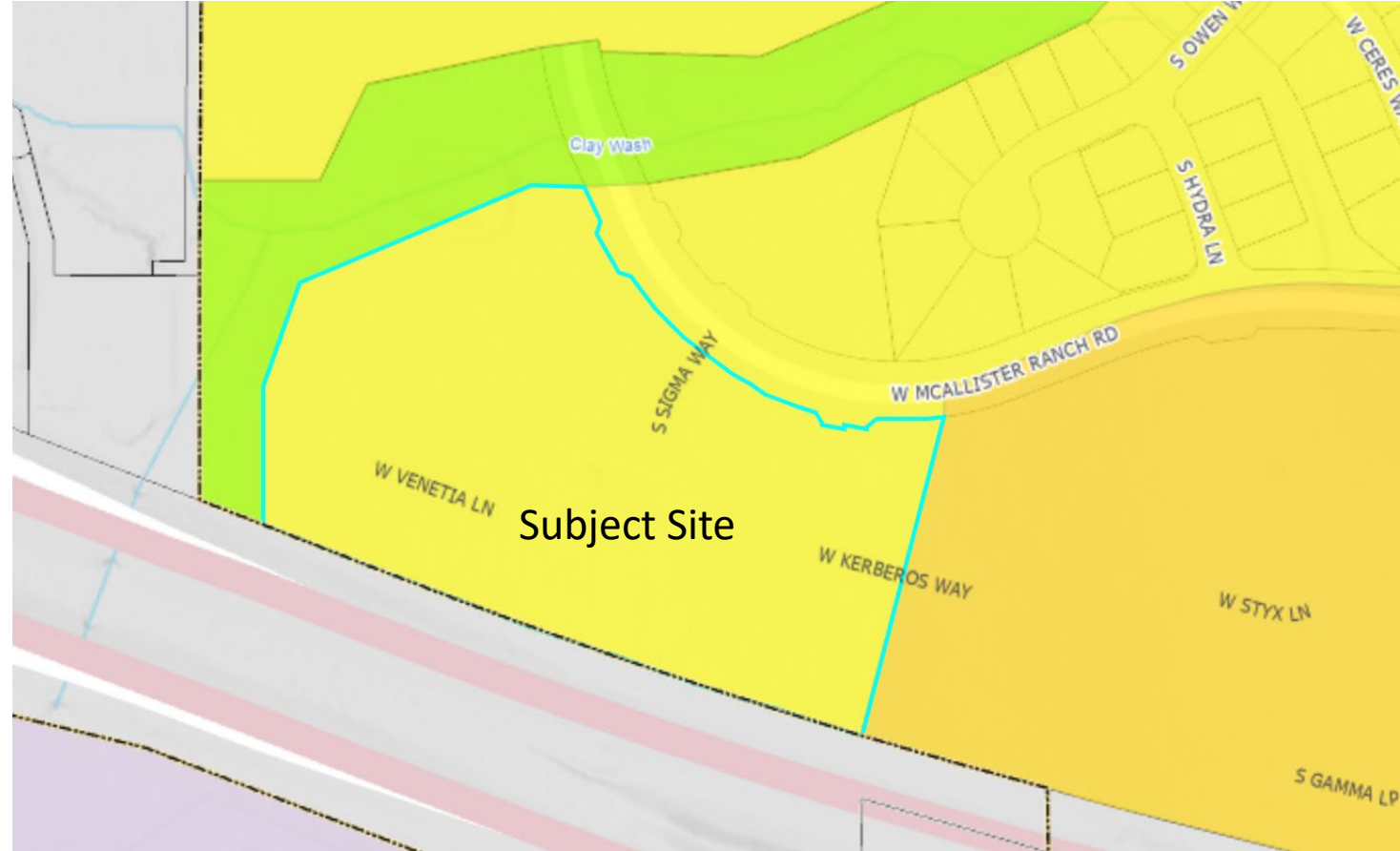
# Vicinity Map

North: Timber Sky Tract B, R1  
Zone

South: Interstate-40

West: Timber Sky Tract C, POS  
Zone

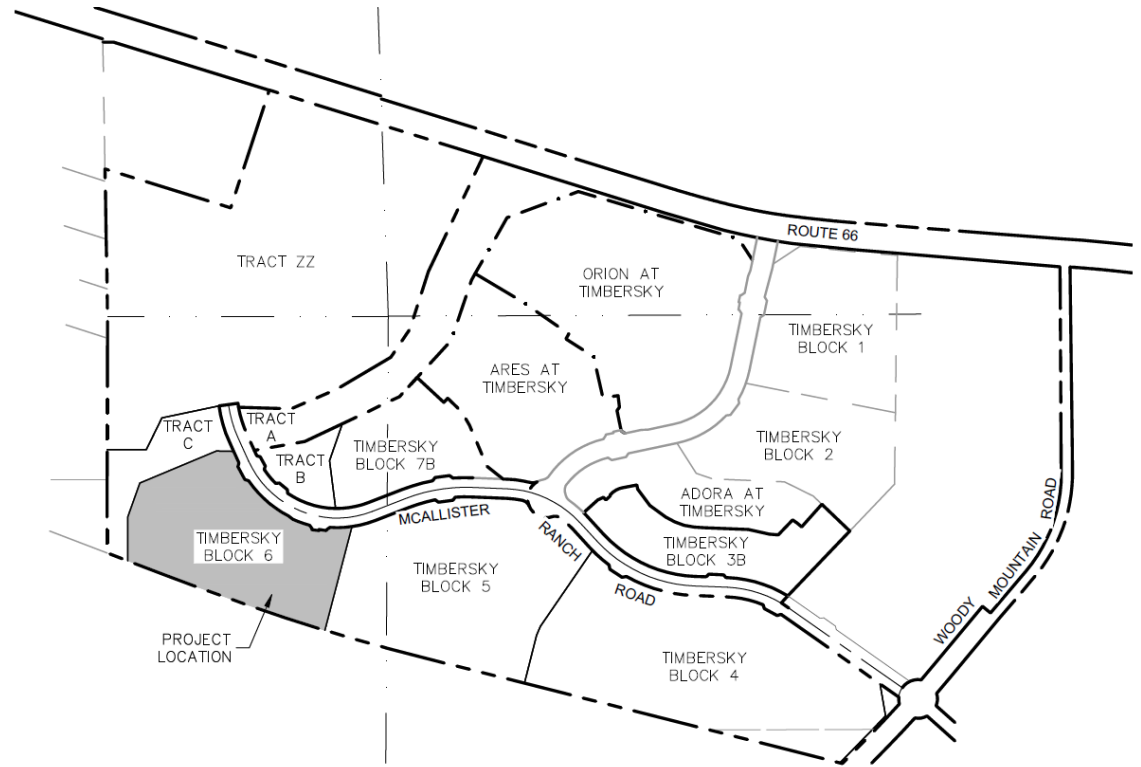
East: Timber Sky Block 5, MR  
Zone





# Timber Sky- Background

- In 2016, a Zoning Map Amendment and Annexation were approved for the Timber Sky Development which proposes a maximum of 1300 residential dwelling units.
- Subject site is part of Phase II of the development of Timber Sky.



VICINITY MAP  
N.T.S.









# Required Finding #1: Zoning Code (Title 10)



## Meets Single-Family Residential (R1) and T3N.2 Zone Standards

### Density

- Gross 4.07 units/acre and Net 5.26 units/acre is within R1 range of 2 minimum and 5 maximum units/acre within RPO and outside of an activity center or pedestrian shed.

### Lot design and resource protection

- Lots designed to meet resource protection requirements using specific building envelopes.

### Lot sizes

- Applies Planned Residential Development standards which allows for greater flexibility in lot size and dimensions
- Lot sizes range from approximately 6,500 sq. ft. to 14,000 sq. ft.
- Typical lot dimensions are approximately 55' wide and 115' deep

### Setbacks

- Conforms with the T3N.2 minimum setbacks:
- Front = 12' min, 25' max.
- Side = 5' min, 12' combined
- Rear = 12' min

***Zoning Code allows City Council to approve alternate lot sizes and setbacks on a final plat***



# Required Finding #1: Zoning Code (Title 10)



## Meets other relevant standards

- Historic/Cultural Resources
  - Cultural Resource clearance completed with original approval
- Parks, Open Space, Pedestrian, Bicycle Facilities
  - Open space and amenity area requirements are provided within the Timber Sky Development.
  - Sidewalks are provided throughout the subdivision.



## Meets Engineering Standards

- Public systems analysis conducted to confirm preliminary compliance with Engineering Standards
  - Compliance confirmed with Civil Engineering Plans (after Preliminary Plat approval)
- Access and Traffic
  - A Traffic Impact Analysis (TIA) was not required for this subdivision. A TIA was completed in conjunction with the rezoning that included this site.



# Required Finding #2: Engineering Standards (Title 13)



## Meets Engineering Standards

### Water and Wastewater

- New 8" water line provided with the new streets serving subdivision
- New 8" sewer line –each lot to be provided with a tap

### Stormwater

- Regional detention for the entire Timber Sky Development
- Tracts along ROW provides additional drainage management



# Required Finding #3: Subdivisions Standards (Title 11)



## Meets Subdivision and Land Split Regulations (Chapter 11-20)

- Meets Preliminary Plat procedures, application requirements
- Minimum Required Subdivision Improvements
  - Identified in public systems analyses (previous slides)



# Required Finding #3: Subdivisions Standards (Title 11)



## Meets Subdivision and Land Split Regulations (Chapter 11-20)

### Subdivision Standards and Regulations

- Lot Design
- Street Design
- Easement Design
- Block Design



# Findings and Recommendation

## Required Findings

- **The City Council shall find the Preliminary Plat meets the requirements of City Code Title 10, Flagstaff Zoning Code; City Code Title 11, General Plans and Subdivisions; and City Code Title 13, Engineering Design Standards and Specifications**

## Staff Recommendation

- **Staff recommends the City Council approve the Preliminary Plat, in accordance with the findings presented in this report and the Planning and Zoning Commission recommendation (5-0).**