



communities
TIMBER SKY

City Council Commission

PZ-21-00271-04 (Annexation) and -05 (Rezone)

September 19, 2023

DEVELOPMENT TEAM

- **Applicant: Gammage & Burnham PLC**
 - Lindsay Schube, Land Use Attorney
 - Nick Sobraske, Planner
- **Developers: Vintage Partners and Liv Communities**
 - Walter Crutchfield, Vintage Partners
 - Beth Heath, Liv Communities
- **Engineer: Shephard-Wesnitzer, Inc. an Ardurra Company**
 - Stephen Irwin, PE
- **Design: Todd & Associates and Norris Design**
 - Scott Pieart, Todd & Associates
 - Doug Prouty, Norris Design

GAMMAGE
&
BURNHAM
Attorneys at Law

V
VINTAGE
PARTNERS

liv
communities

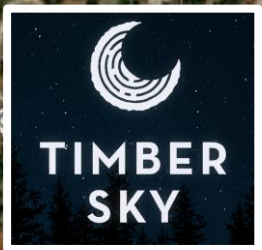
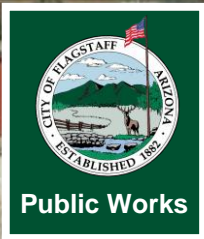
SWI
Shephard ▲ Wesnitzer, Inc.

TODD
TODD+ASSOCIATES

NORRIS DESIGN

CivTech

AERIAL MAP



Sky Cottages at Timber Sky

Presidio in the Pines



REQUESTS

Annexation (PZ-21-00271-04)

- Annex +/- 1.82 acres at the SWC of US 66 & Woody Mountain Rd. from Coconino County into the City (APN 112-01-712)

Zoning Map Amendment (PZ-21-00271-05)

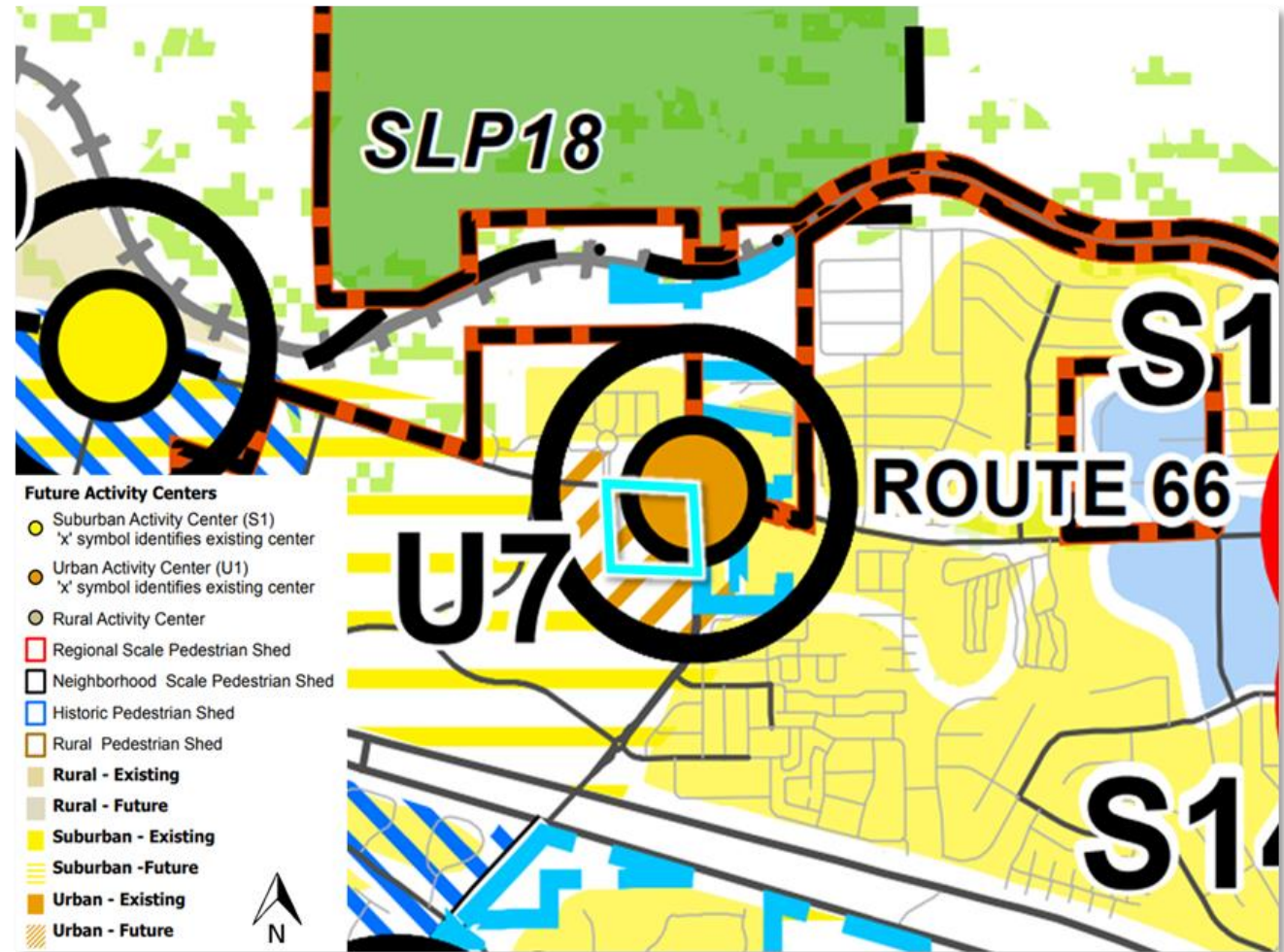
- Rezone +/- 14 acres at the southwest corner of US 66 & Woody Mountain Rd. from Rural Residential, Resource Protection Overlay (RR–RPO) and Coconino County General Zone **to** High Density Residential, Resource Protection Overlay (HR–RPO)
- Development of a 214-unit multi-family community, including amenities, civic (public) space, street improvements, and landscaping (+/- 16.45 dwelling units per acre)



REGIONAL PLAN CONFORMANCE

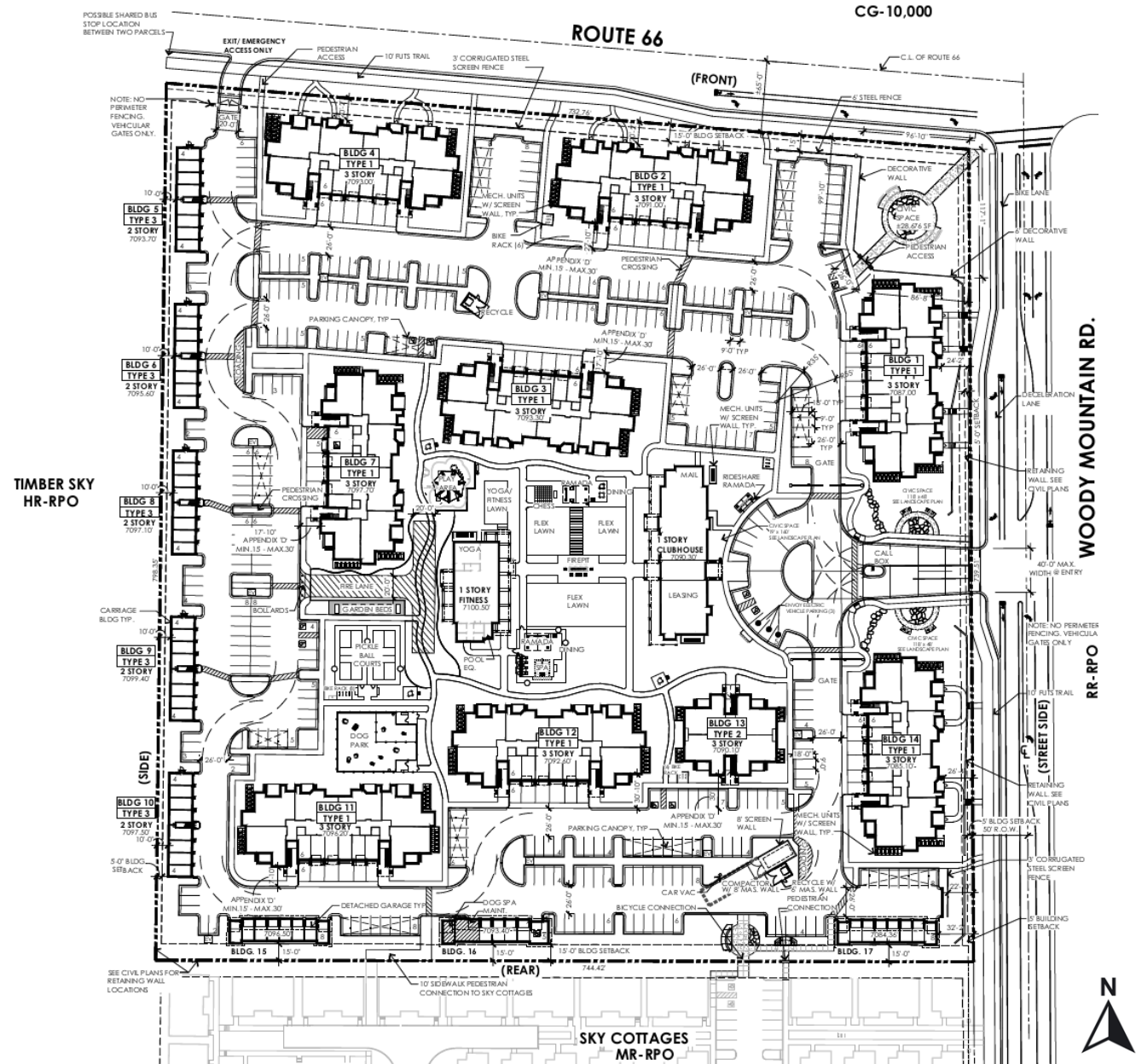
Designated **Urban Activity Center**

- ✓ Rezone proposal is supported by and complies with Regional Plan
- ✓ Promotes increased density
- ✓ Minimum density of 13 units per acre
- ✓ Promotes a variety of housing types
- ✓ Promotes walkability and public spaces
- ✓ Sensitive use of low-spectrum lighting
- ✓ Preserves tree resources and incorporates native, drought tolerant landscaping



SITE PLAN

- Final extension of Timber Sky
- 214 market rate residential units (1, 2, and 3 beds)
- 2-story carriage units and 3-story residential buildings
- Expansive, centrally-located resident amenity area (e.g., clubhouse, fitness, bbq, ramada, and dining areas, game lawn, pickle ball, dog park)
- Landscaped public sitting space
- Extensive on-site and off-site pedestrian network for residents and public
- Extension of the Flagstaff Urban Trail System
- Dark Sky compliant











CARBON NEUTRALITY PLAN

The City's Carbon Neutrality Plan is a strategic roadmap to guide the community in preparing for climate risk.

- ✓ All electric units (no natural gas)
- ✓ Electric vehicle car sharing service
- ✓ Electric vehicle charging stations
- ✓ Energy-conscious amenity package
- ✓ Reduces greenhouse gas emissions & preserves natural resources
- ✓ Contributes to a thriving community



TRAFFIC CONTROL

Applicant has worked closely with neighboring property owners, the City, and ADOT to advocate for the following traffic improvements:

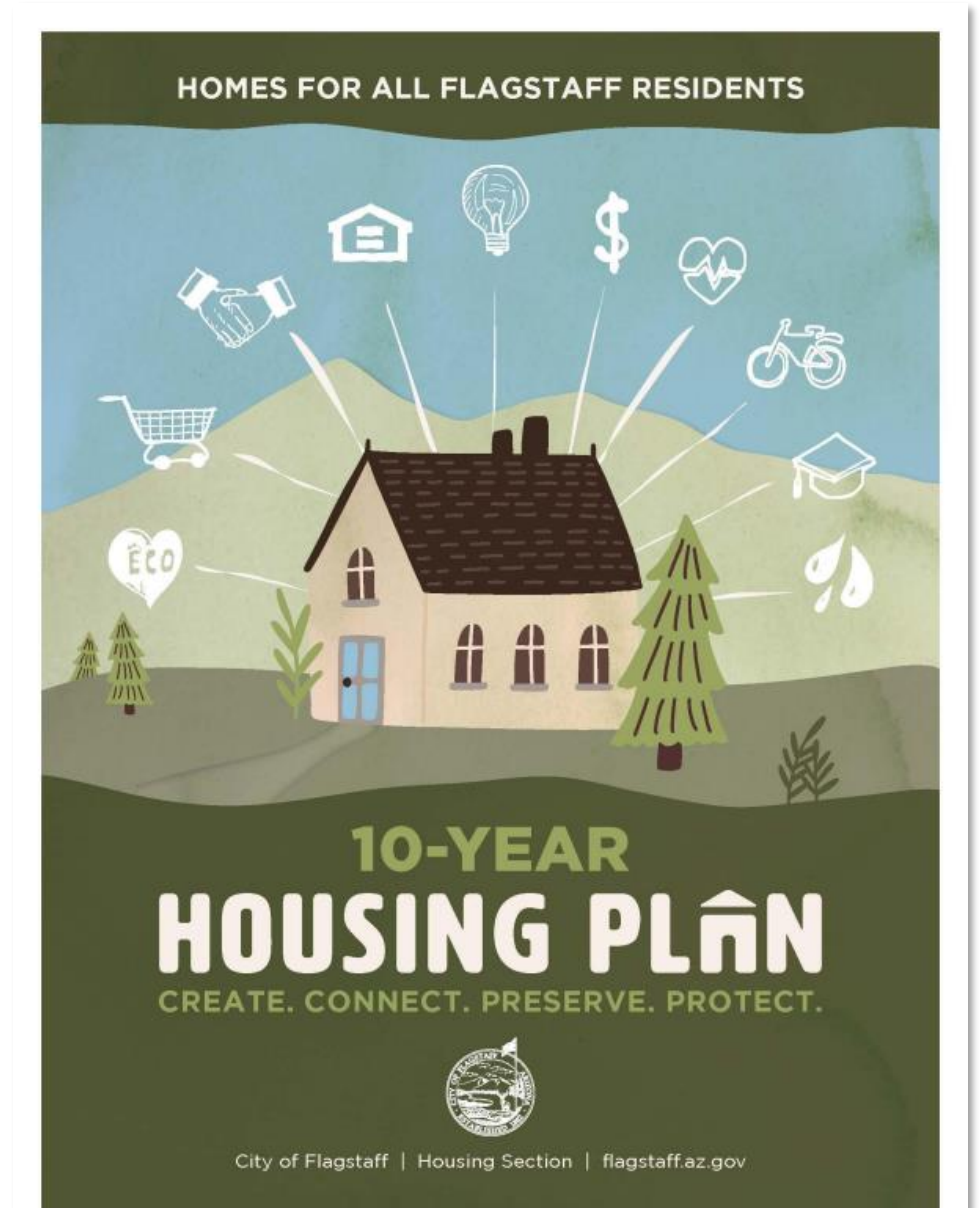
- Contribution towards a new traffic signal
- Full improvement of the south-half of Route 66 adjacent to the project, including a new right-turn lane
- New left and right-turn lanes into the project on Woody Mountain Road
- Extension of the median on Woody Mountain Road from its current location to Route 66



RESPONSE TO CITY HOUSING CRISIS

In February 2022, the City Council adopted the *Flagstaff 10-Year Housing Plan* to address the City's Housing Crisis.

- ✓ Project supports the City's Housing Plan
- ✓ Project provides additional housing opportunities in the City
- ✓ Increases housing inventory and availability
- ✓ Adds additional rental housing options to the Timber Sky master plan



ANNEXATION REQUEST

Annexation (PZ-21-00271-04)

- Planning & Zoning Commission recommended approval of annexation
- **Request the City Council approve the annexation, as recommended by Planning & Zoning Commission**



REZONE REQUEST

Rezone (PZ-21-00271-05)

- Planning & Zoning Commission recommended approval of rezone
- **Request the City Council approve the rezone, as recommended by Planning & Zoning Commission**





CONCLUSION

Liv Timber Sky is an expansion of the successful Timber Sky master-planned community that will offer numerous community benefits including:



Additional housing opportunities



Compliance with Regional Plan



Improved pedestrian connectivity



Climate-friendly amenities



New public civic space



Preservation of dark skies

STAFF and PLANNING & ZONING COMMISSION
RECOMMENDATION OF APPROVAL