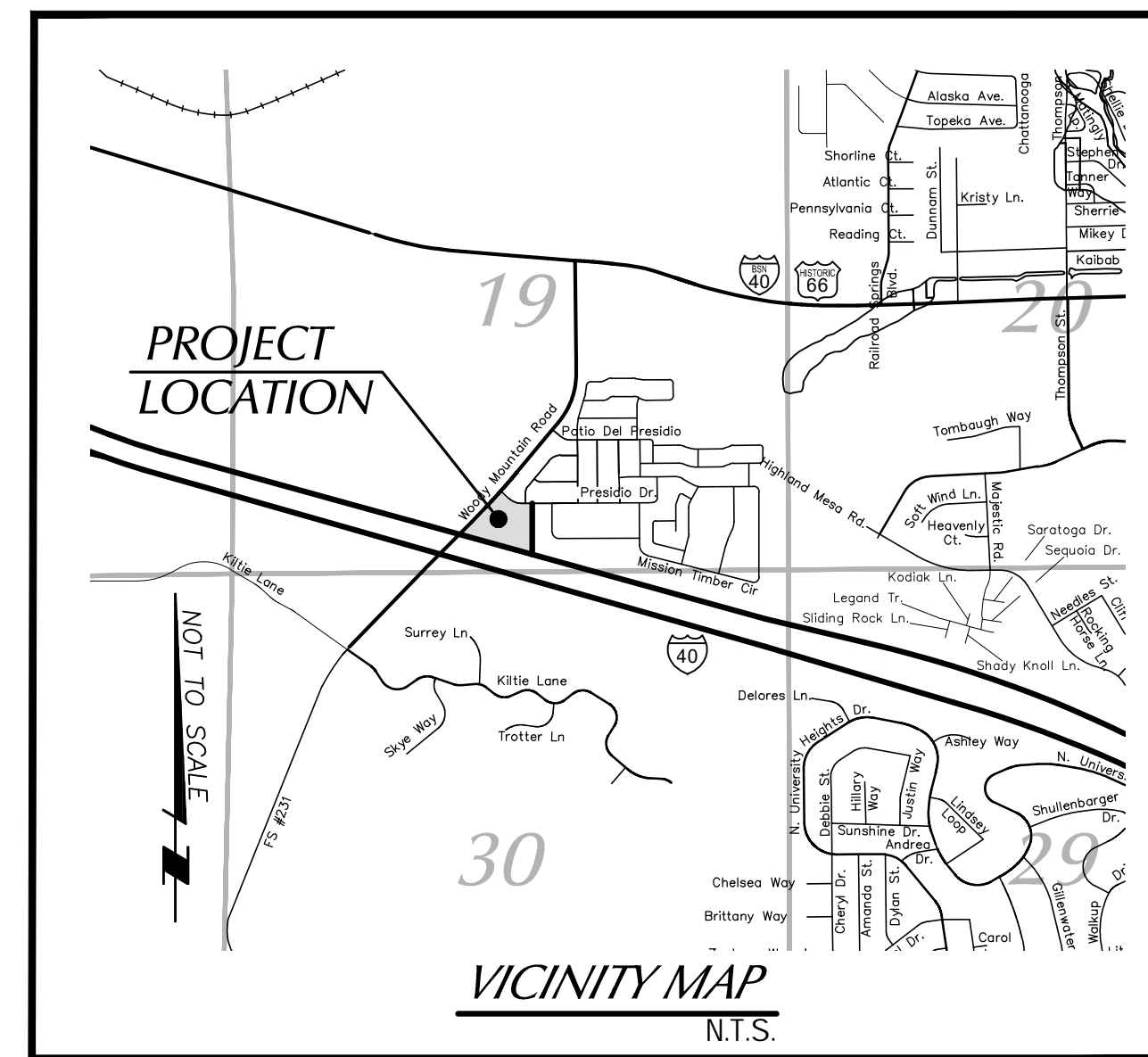


LEGEND & ABBREVIATIONS

EX W	CENTERLINE (CL or C)
B'W	RIGHT OF WAY (R.O.W.)
B'S	PROPERTY LINE (PL or P)
FS	EXISTING WATER LINE
WS	NEW WATER LINE (WL)
BSL	NEW SEWER LINE (SL)
SS	NEW FIRE SERVICE (FS)
EX S	NEW WATER SERVICE (WS)
S	NEW BUILDING SUPPLY LINE (BSL)
	NEW SEWER SERVICE (SS)
	EXISTING SEWER MANHOLE
	NEW SEWER MANHOLE (MH)
	EXISTING EDGE OF PAVEMENT / CURB
	NEW EDGE OF PAVEMENT / CURB
	PUBLIC UTILITY EASEMENT (PUE)
GL	GRADING LIMITS (GL)
EX OVHD	EXISTING OVERHEAD UTILITY LINE (EX OVHD)
⊙	EXISTING FIRE HYDRANT (EX FH)
⊙	NEW FIRE HYDRANT (FH)
⊙	EXISTING WATER VALVE (EX WV)
⊙	NEW WATER VALVE (WV)
⊙	EXISTING WATER METER (EX WM)
⊙	NEW WATER METER (WM)
⊙	EXISTING STREET LIGHT (EX SL)
⊙	NEW STREET LIGHT (SL)
X-ING	CROSSING
RP	RADIUS POINT
R	RADIUS
IS	INTERSECTION
DC	DEPRESSED CURB
BC	BACK OF CURB (TOP)
FC	FACE OF CURB (TOP)
BSW	BACK OF SIDEWALK
FSW	FACE OF SIDEWALK
C&G	CURB AND GUTTER
EOP	EDGE OF PAVEMENT
S/W	SIDEWALK
PKY	PARKWAY
D/W	DRIVEWAY
FL or FL	FLOWLINE
EG	EXISTING GRADE
FG	FINISH GRADE
EOL	END OF LINE BLOWOFF
TS&V	TAPPING SLEEVE and VALVE
SDMH	STORM DRAIN MANHOLE
DB	DRAIN BASIN
CB	CATCH BASIN
TW	TOP OF WALL
GB	GRADE BREAK
(TYP)	TYPICAL
EX	EXISTING
SHT	SHEET
VG	VALLEY GUTTER
FFE	FINISH FLOOR ELEVATION (PRELIMINARY)
EA	EACH
LF	LINEAL FEET
SF	SQUARE FOOT
SY	SQUARE YARDS
CY	CUBIC YARDS
D.E.	DRAINAGE EASEMENT
S.E.	SLOPE EASEMENT
G	GUTTER
P	PAVEMENT
C	CONCRETE
LT	LEFT
RT	RIGHT
TRANS	TRANSITION
B.F.P.	BACK FLOW PREVENTION
HC	HANDICAP
MES	MOGOLLON ENGINEERING & SURVEYING, INC.
E.V.	ELECTRIC VEHICLE
C.O.F.	CITY OF FLAGSTAFF

PRELIMINARY PLAT FOR MIRAMONTE AT PRESIDIO IN THE PINES VI CONDOMINIUMS

A SUBDIVISION OF INSTRUMENT #3905535
LOCATED IN THE S1/2 OF SECTION 19,
TOWNSHIP 21 NORTH, RANGE 7 EAST, G&S.R.M.
FLAGSTAFF, COCONINO COUNTY, ARIZONA



INDEX TO SHEETS

- 1 COVER SHEET, PROJECT INFORMATION
- 2 UNDERGROUND UTILITIES
- 3 RESOURCE PROTECTION
- 4 PRELIMINARY PLAT
- 5-13 PRELIMINARY PLAT (UNITS)
- 14 AREA MAP

OPEN SPACE

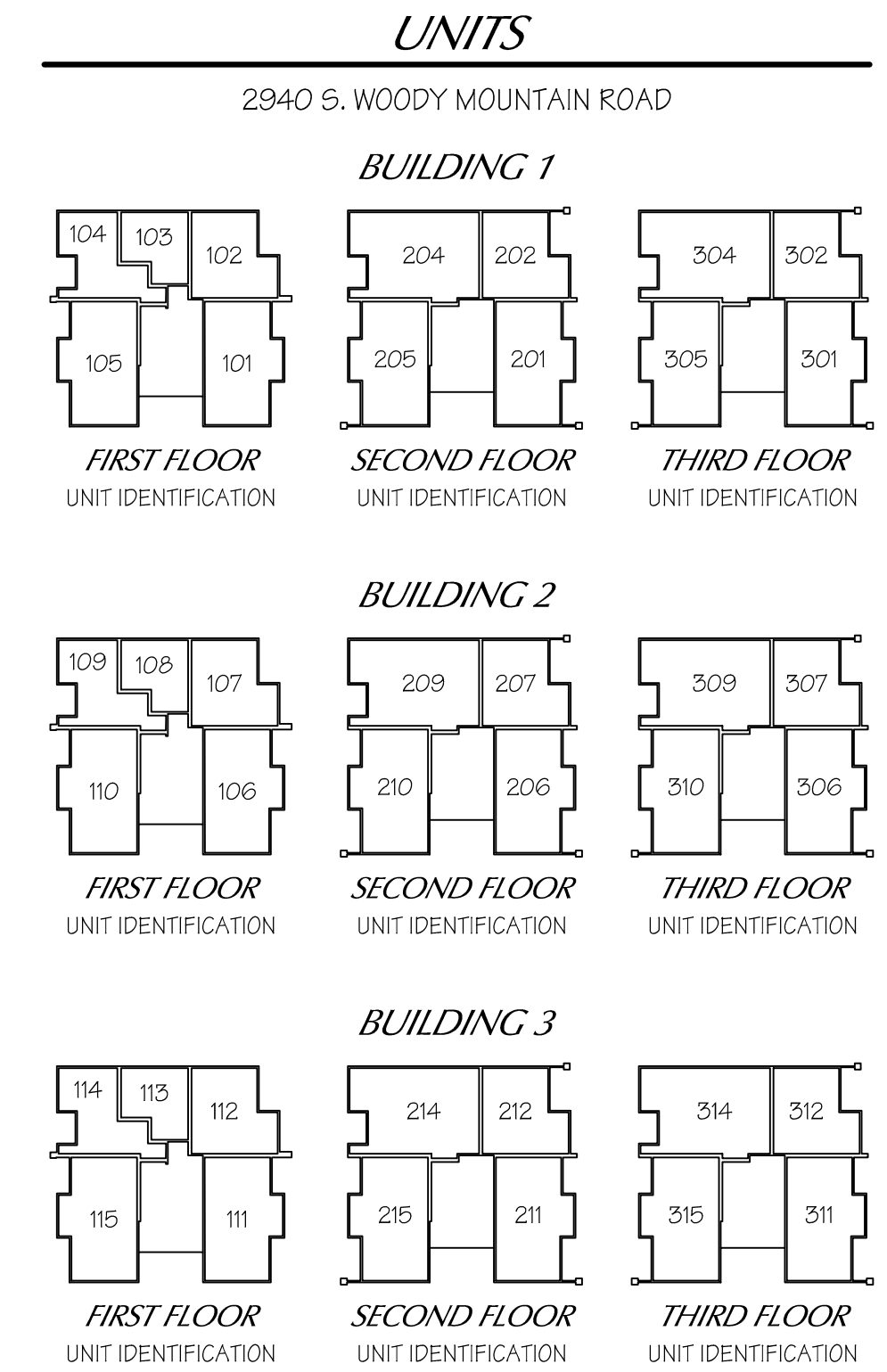
TOTAL LOT AREA:	120,564 S.F.
LESS IMPERVIOUS AREAS:	60,620 S.F.
OPEN SPACE AREA:	59,944 S.F.
OPEN SPACE PERCENTAGE:	49.7 %

IMPERVIOUS SURFACES

EXISTING IMPERVIOUS:	0 S.F.
NEW BUILDINGS:	19,650 S.F.
NEW A.C. PAVEMENT, CURB & DUMPSTER:	33,185 S.F.
NEW CONCRETE SIDEWALKS:	7,545 S.F.
NEW BIKE RACKS:	240 S.F.
TOTAL NEW IMPERVIOUS:	60,620 S.F.
ROC _V REQUIRED = 60,620 x 1/12 = 5,052	
ROC _V PROVIDED = 5,175 C.F. AT 2.15' PONDING	

UNIT COUNT and PARKING INFORMATION

PARKING CALCULATIONS:	TOTAL PARKING REQUIRED
	No. OF PER PARKING
	UNITS UNIT SPACES
MARKET RATE UNITS	
STUDIO UNITS:	3 x 1.25 = 3.75 (4)
ONE BEDROOM UNITS:	12 x 1.5 = 18
TWO BEDROOM UNITS:	18 x 2 = 36
THREE BEDROOM UNITS:	6 x 2 = 12
TOTAL MARKET RATE UNITS:	39 70
VISITOR PARKING:	0.25/EACH 2+ BEDROOM = 24*0.25 = 6
REQUIRED PARKING:	76 SPACES REQUIRED
PARKING REDUCTIONS:	20% MAXIMUM = 15 SPACE MAX. REDUCTION
5% MAX. PER 10-50, 80, 0.60 F:	3 SPACE REDUCTION
	(12 BIKE RACKS / 4 = 3)
REQUIRED PARKING (AFTER REDUCTIONS):	76 - 3 = 73 SPACES REQUIRED (AFTER REDUCTION)
TOTAL PARKING PROVIDED:	74 SPACES
TOTAL HANDICAP PARKING PROVIDED:	4 SPACES



FEMA DESIGNATION

THIS PROJECT IS LOCATED IN FEMA ZONE X (UNSHADED) AREA OF MINIMAL FLOODING

PRELIMINARY CUT FILL QUANTITIES

EARTHWORK (FOR DRIVE AISLES AND PARKING LOT ONLY)
CUT = 1,350 C.Y.
FILL = 500 C.Y.

PRELIMINARY FINISH FLOOR ELEVATIONS

THE FINISH FLOOR ELEVATIONS SHOWN ON THIS SITE PLAN ARE PRELIMINARY AND MAY CHANGE DURING DESIGN.

P.U.E.'s FOR WATER & SEWER

PUBLIC UTILITY EASEMENT RECORDED INSTRUMENT 3933751

PUBLIC WATER & SEWER MAINS

ALL NEW 8" WATER & SEWER MAINS SHALL BE PUBLIC.

WATER & SEWER SERVICES

ALL NEW SEWER SERVICES SHALL BE 6" MINIMUM AND ALL NEW WATER SERVICES SHALL BE 2".

ADEQUATE WATER SUPPLY

THE CITY OF FLAGSTAFF PROVIDES WATER (UTILITY) SERVICE PURSUANT TO STATE LAW, AND IS CURRENTLY OPERATING UNDER A DESIGNATION OF ADEQUATE WATER SUPPLY GRANTED BY THE ARIZONA DEPARTMENT OF WATER RESOURCES, APPLICATION No. 41-900002.0002.

UTILITY COMPANY ACKNOWLEDGMENT

MARTIN CONBOY	DATE
UNISOURCE ENERGY (NATURAL GAS)	DATE
KEVIN WAGER	DATE
LUMEN (TELEPHONE and INTERNET)	DATE
CHAD BROOKS	DATE
ARIZONA PUBLIC SERVICE (ELECTRICITY)	DATE
SANFORD YAZZIE	DATE
OPTIMUM (CABLE TELEPHONE, T.V. and INTERNET)	DATE

PROJECT INFORMATION

SUBDIVISION NAME:	MIRAMONTE AT PRESIDIO IN THE PINES VI
PROJECT LOCATION:	2940 S. WOODY MOUNTAIN ROAD
LEGAL DESCRIPTION:	TRACT "M" PRESIDIO IN THE PINES
INSTRUMENT No:	3633963
APN NUMBER:	112-62-483
TOTAL LOT S.F.:	120,564
TOTAL LOT ACREAGE:	2.76777±
NUMBER OF LOTS:	39
DENSITY:	14.09 UNITS / ACRE (10 min., 22 max.)
ZONING DISTRICT:	HC (P.R.D. UTILIZING THE T4N.2 ZONE)
REGIONAL PLAN DESIGNATION:	SUBURBAN
BUILDING TYPE:	APARTMENT
FRONTAGE TYPE:	FORECOURT
CURRENT USE:	VACANT
PROPOSED USE:	CONDOMINIUMS
FLOODPLAIN:	NONE
OWNER/DEVELOPER:	PRESIDIO TRACT M, LLC 2502 E. RIVER ROAD TUCSON, AZ. 85718



PROJECT BENCHMARK: IS A FOUND ALUMINUM CAP (C.O.F. RLS 40321) AT THE INTERSECTION OF PRESIDIO DRIVE SOUTH and JOBBELYN DRIVE ELEVATION = 7090.64

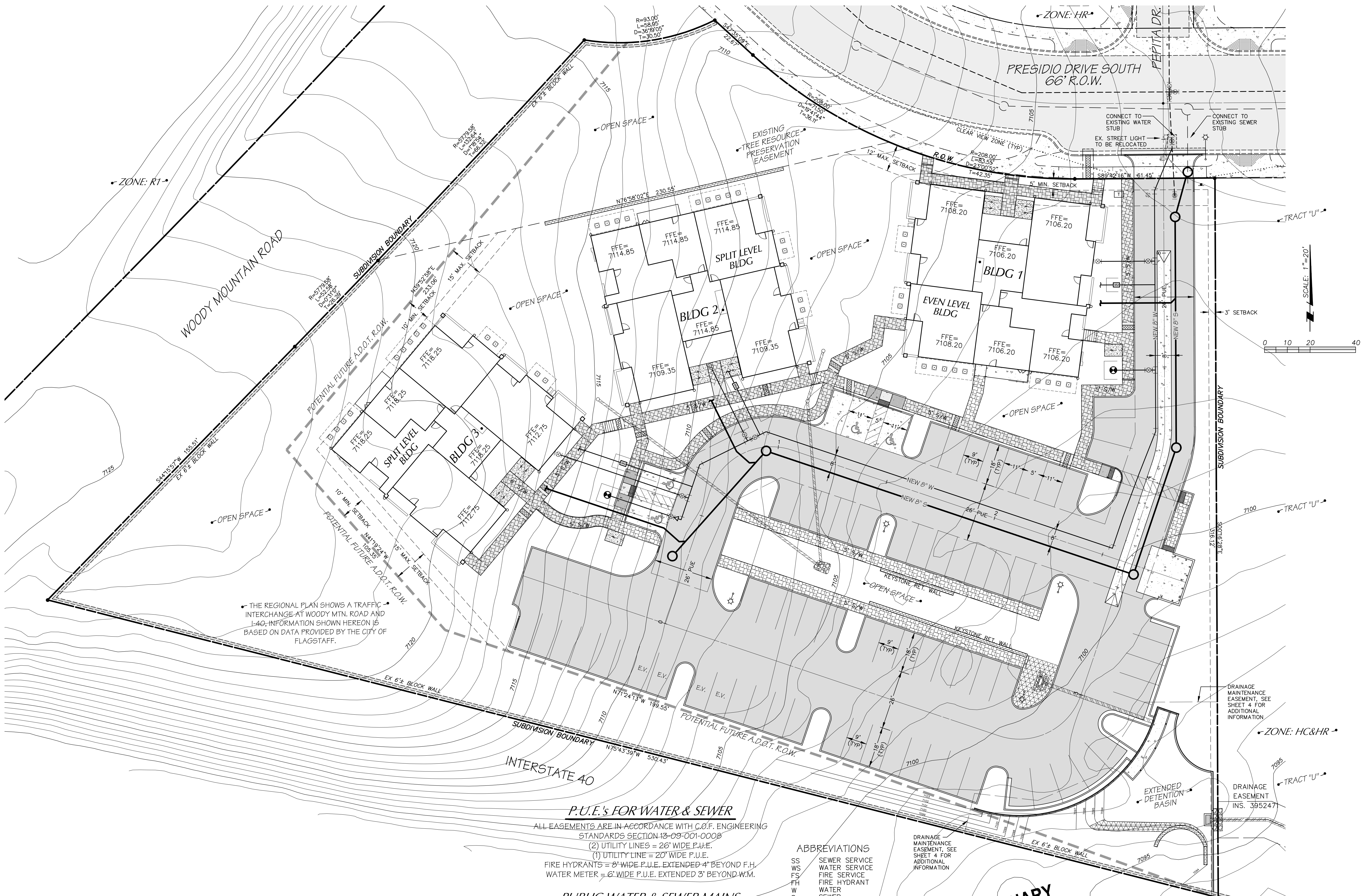
BASIS OF BEARING: IS FROM A FOUND ALUMINUM CAP (C.O.F. RLS 40321) AT THE INTERSECTION OF PRESIDIO DRIVE SOUTH and JOBBELYN DRIVE TO A FOUND ALUMINUM CAP (C.O.F. RLS 40321) AT THE INTERSECTION OF PRESIDIO DRIVE SOUTH and PEPIA DRIVE BEARING OF S 89°42'15" W - 254.62'

SURVEY WAS PERFORMED BY APEX LAND SURVEYS, JOB 12-03-20RR IN FEBRUARY OF 2021. INFORMATION SHOWN HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

Mogollon
ENGINEERING & SURVEYING
4111 N. Santa Fe Avenue
Flagstaff, Arizona 86001
Phone: 928-214-0214

PRELIMINARY
NOT FOR CONSTRUCTION
OR RECORDING

DESIGNED BY: [Signature]
DATE: 12/20/22
DRAWN BY: [Signature]
CHECKED BY: KVH
PROJECT NO: 15159
REVISIONS PER C.O.F. COMMENTS DATED 12/26/22
PVI SHEET -01.DWG
VERT SCALE: N/A
HOR SCALE: N/A



THE REGIONAL PLAN SHOWS A TRAFFIC INTERCHANGE AT WOODY MTN. ROAD AND I-40. INFORMATION SHOWN HEREON IS BASED ON DATA PROVIDED BY THE CITY OF FLAGSTAFF.

P.U.E.'s FOR WATER & SEWER

ALL EASEMENTS ARE IN ACCORDANCE WITH C.O.F. ENGINEERING STANDARDS SECTION 13-09-001-0008
 (2) UTILITY LINES = 26' WIDE P.U.E.
 (1) UTILITY LINE = 20' WIDE P.U.E.
 FIRE HYDRANTS = 6' WIDE P.U.E. EXTENDED 4' BEYOND F.H.
 WATER METER = 6' WIDE P.U.E. EXTENDED 3' BEYOND W.M.

PUBLIC WATER & SEWER MAINS

ALL NEW 8" WATER & SEWER MAINS SHALL BE PUBLIC.

WATER & SEWER SERVICES

ALL NEW SEWER SERVICES SHALL BE 6" MINIMUM AND ALL NEW WATER SERVICES SHALL BE 2".

ABBREVIATIONS

SS SEWER SERVICE
 WS WATER SERVICE
 FS FIRE SERVICE
 FH FIRE HYDRANT
 W WATER
 S SEWER

DRAINAGE MAINTENANCE EASEMENT, SEE SHEET 4 FOR ADDITIONAL INFORMATION

PRELIMINARY
 NOT FOR CONSTRUCTION
 OR RECORDING

CIVIL PLANS AND DRAINAGE REPORT

CIVIL PLANS INCLUDING DRAINAGE REPORT APPROVED
 6/27/22.

Mogollon
 ENGINEERING & SURVEYING

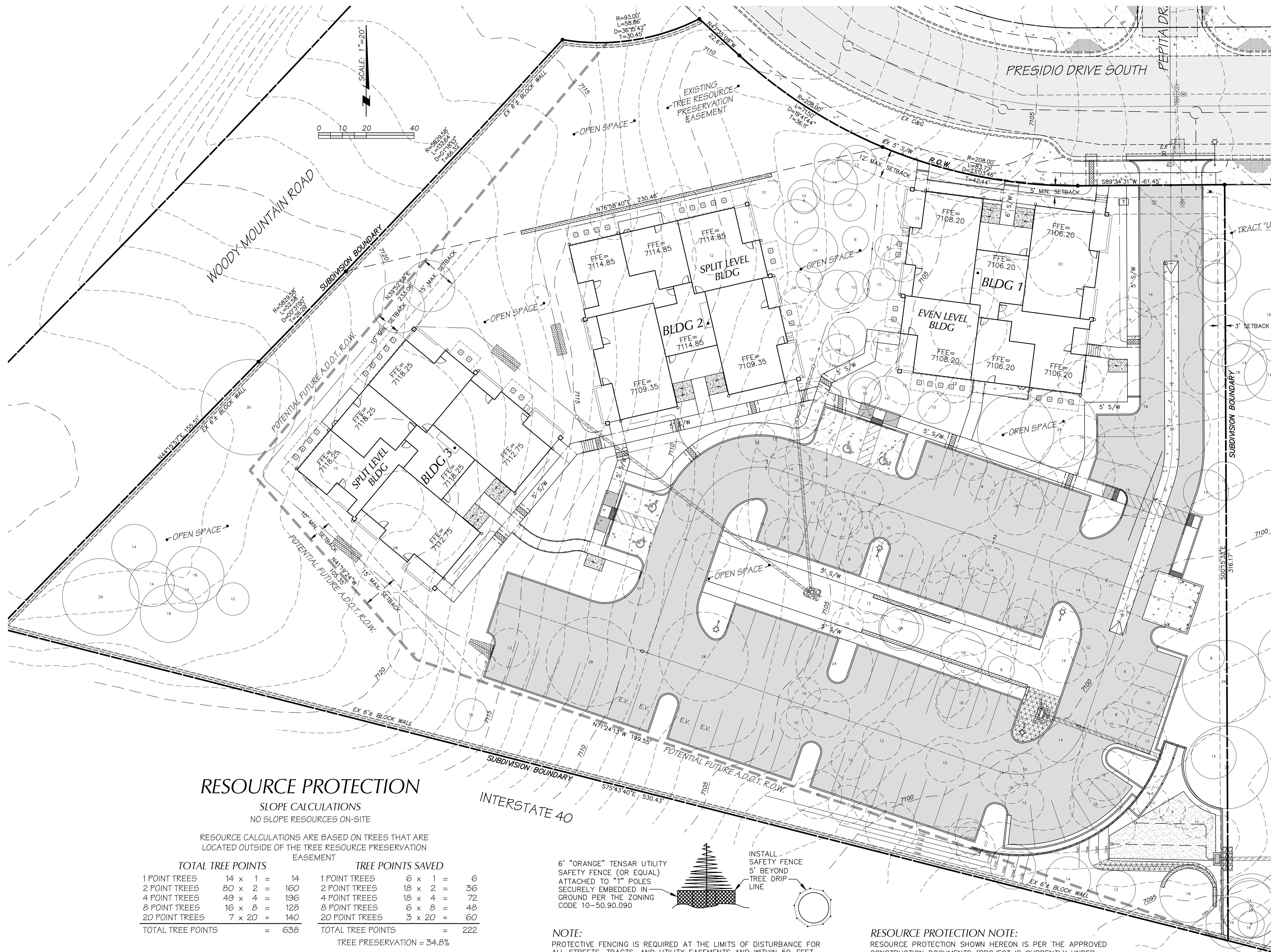
411 N. Santa Fe Avenue
 Flagstaff, Arizona 86001
 Phone: 928-214-0214

PRELIMINARY
 NOT FOR CONSTRUCTION
 OR RECORDING

REVISIONS PER C.O.F. COMMENTS DATED 12/29/22

DATE: 12/20/22 PROJECT NO: 15159
 DESIGNED BY: MK PFI SHEET: 02.DWG
 DRAWN BY: MW VERT SCALE: N/A
 CHECKED BY: KVH HOR SCALE: 1"=20'

12/20/22
 MES#15159



RESOURCE PROTECTION

SLOPE CALCULATIONS
NO SLOPE RESOURCES ON-SITE

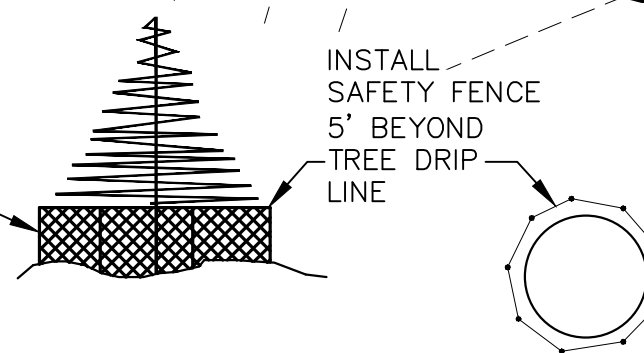
RESOURCE CALCULATIONS ARE BASED ON TREES THAT ARE
LOCATED OUTSIDE OF THE TREE RESOURCE PRESERVATION
EASEMENT

TOTAL TREE POINTS		TREE POINTS SAVED	
1 POINT TREES	14 x 1 = 14	1 POINT TREES	6 x 1 = 6
2 POINT TREES	80 x 2 = 160	2 POINT TREES	18 x 2 = 36
4 POINT TREES	49 x 4 = 196	4 POINT TREES	18 x 4 = 72
8 POINT TREES	16 x 8 = 128	8 POINT TREES	6 x 8 = 48
20 POINT TREES	7 x 20 = 140	20 POINT TREES	3 x 20 = 60
TOTAL TREE POINTS	= 638	TOTAL TREE POINTS	= 222

TREE PRESERVATION = 34.8%

- TREE TO BE SAVED
- TREE TO BE REMOVED

6" "ORANGE" TENSAR UTILITY
SAFETY FENCE (OR EQUAL)
ATTACHED TO 1" POLES
SECURELY EMBEDDED IN
GROUND PER THE ZONING
CODE 10-50.90.090



NOTE:
PROTECTIVE FENCING IS REQUIRED AT THE LIMITS OF DISTURBANCE FOR
ALL STREETS, TRACTS, AND UTILITY EASEMENTS AND WITHIN 50-FEET
OF CONSTRUCTION ACTIVITIES. FENCING MUST BE IN PLACE AND
INSPECTED BY THE CITY OF FLAGSTAFF PLANNING DIVISION PRIOR TO
COMMENCEMENT OF GRADING.

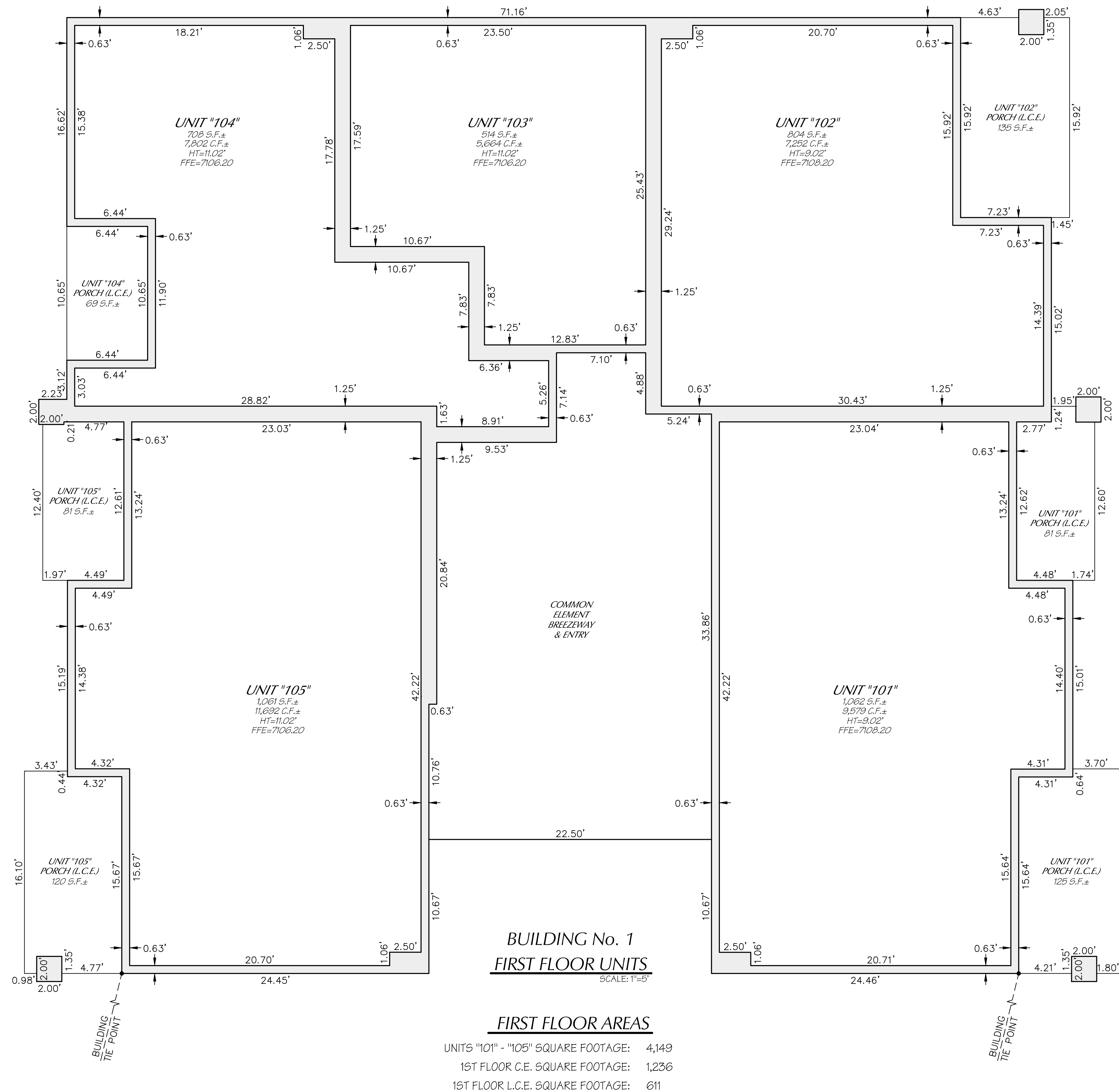
TREE PROTECTION DETAIL
N.T.S.

RESOURCE PROTECTION NOTE:
RESOURCE PROTECTION SHOWN HEREON IS PER THE APPROVED
CONSTRUCTION DOCUMENTS (PROJECT IS CURRENTLY UNDER
CONSTRUCTION).

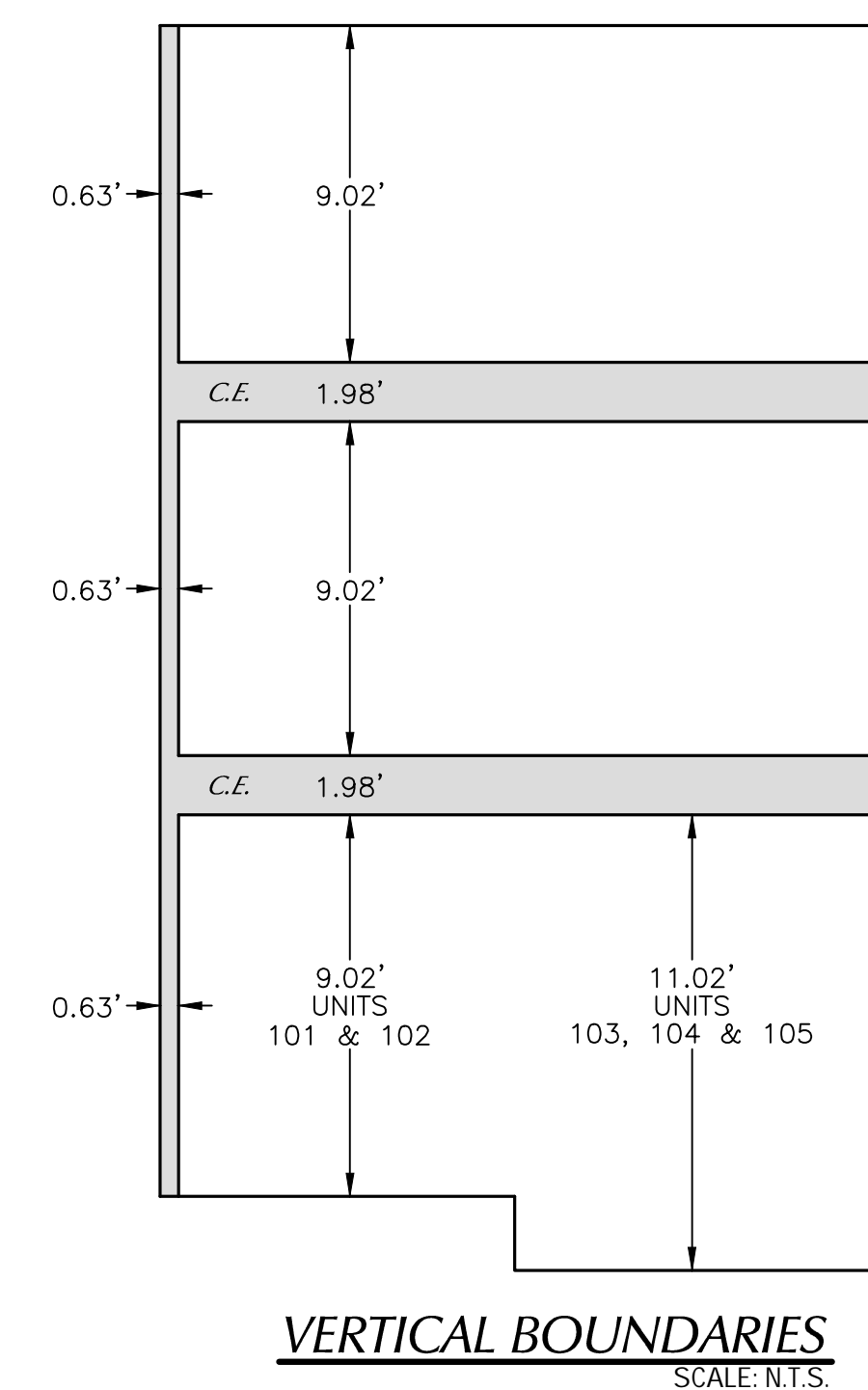
**PRELIMINARY
NOT FOR CONSTRUCTION
OR RECORDING**

PRELIMINARY PLAT FOR MIRAMONTE AT PRESIDIO IN THE PINES VI CONDOMINIUMS

A SUBDIVISION OF INSTRUMENT #3905535
LOCATED IN THE S1/2 OF SECTION 19,
TOWNSHIP 21 NORTH, RANGE 7 EAST, G&S.R.M.
FLAGSTAFF, COCONINO COUNTY, ARIZONA



PRELIMINARY
NOT FOR CONSTRUCTION
OR RECORDING



SHEET NO. 5 OF 14
COF PROJECT # PZ-19-00204

Mogollon ENGINEERING & SURVEYING

Mogollon
ENGINEERING
& SURVEYING
411 W. Santa Fe Avenue
Flagstaff, Arizona 86001
Phone: 928-214-0214

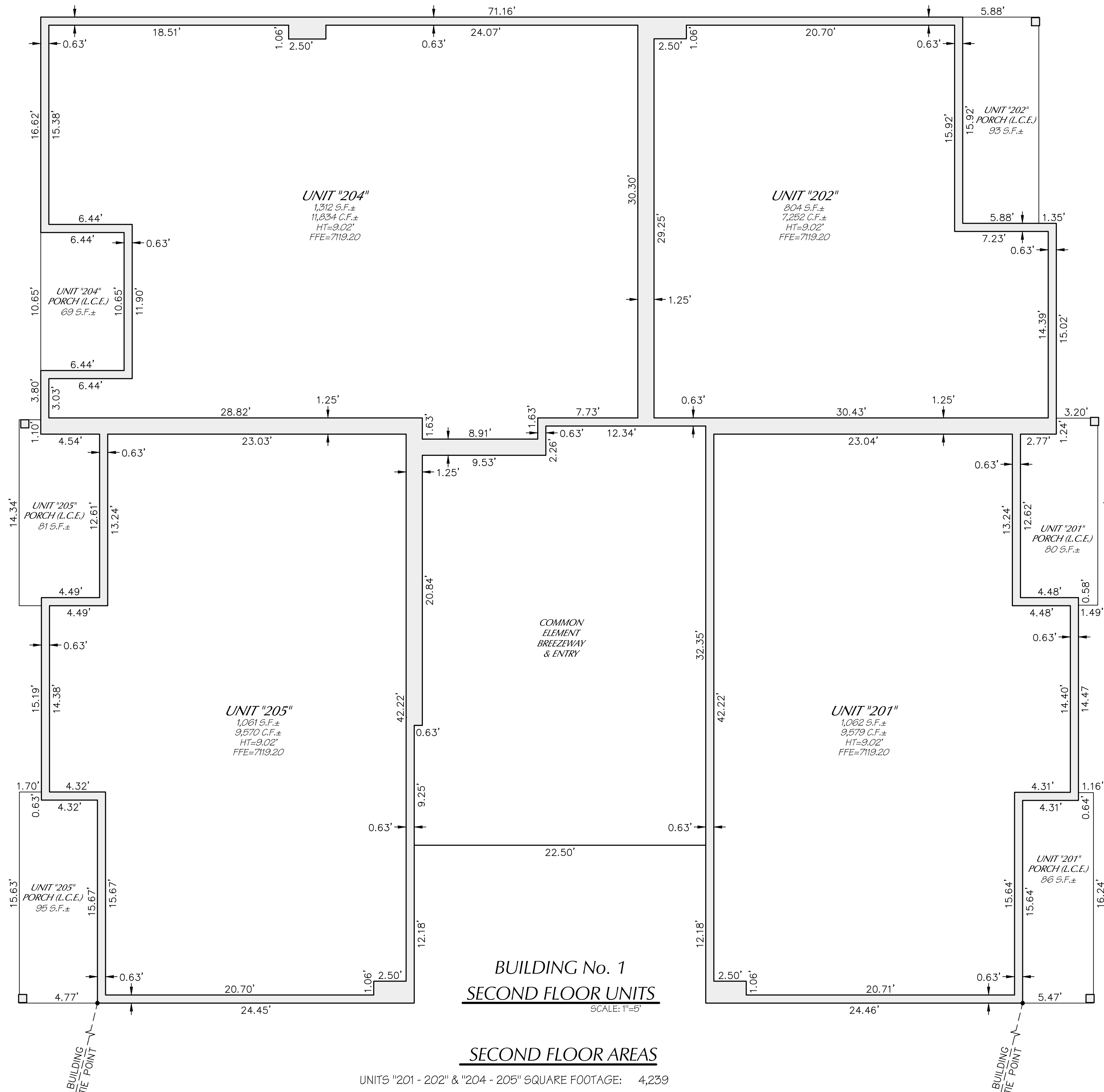


Mogollon ENGINEERING & SURVEYING

PRELIMINARY PLAT
MIRAMONTE AT PRESIDIO IN THE PINE VI
CONDOMINIUMS FLOOR PLANS AND ELEVATIONS MES# 15159
DATE: 12/20/22 PROJECT NO: 15159 REVISIONS PER C.O.F. COMMENTS DATED 12/08/22
DESIGNED BY: MK FN SHEET: 05.DWG VERT SCALE: N/A
DRAWN BY: MK HOR SCALE: 1"=5'
CHECKED BY: KVH

PRELIMINARY PLAT FOR MIRAMONTE AT PRESIDIO IN THE PINES VI CONDOMINIUMS

A SUBDIVISION OF INSTRUMENT #3905535
LOCATED IN THE S1/2 OF SECTION 19,
TOWNSHIP 21 NORTH, RANGE 7 EAST, G&S.R.M.
FLAGSTAFF, COCONINO COUNTY, ARIZONA



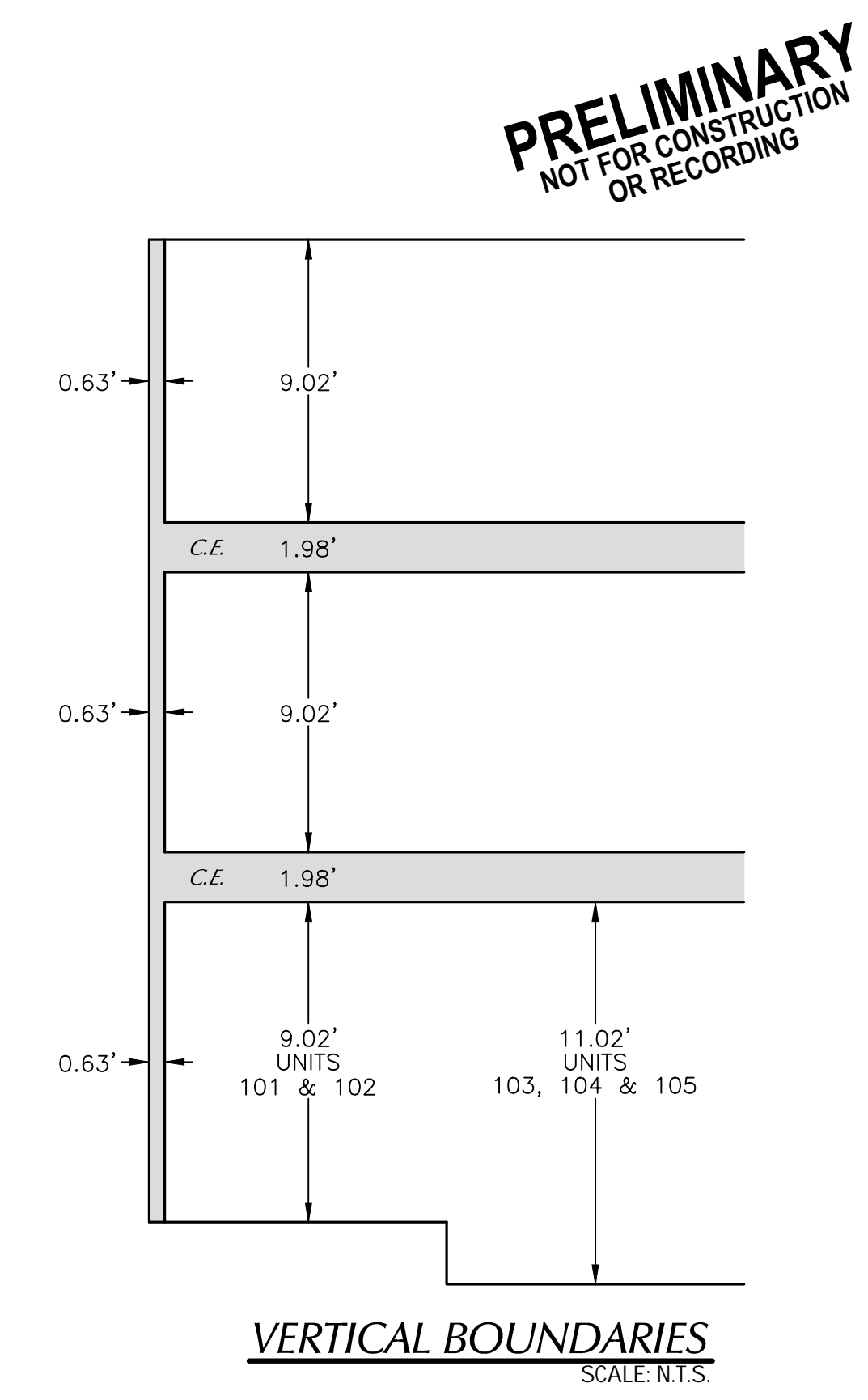
**BUILDING No. 1
SECOND FLOOR UNITS**
SCALE: 1"=5'

SECOND FLOOR AREAS

UNITS "201 - 202" & "204 - 205" SQUARE FOOTAGE: 4,239
2ND FLOOR C.E. SQUARE FOOTAGE: 1,093
2ND FLOOR L.C.E. SQUARE FOOTAGE: 504

ABBREVIATIONS

FFE	FINISH FLOOR ELEVATION
S.F.	SQUARE FEET
C.F.	CUBIC FEET
HT	HEIGHT
C.E.	COMMON ELEMENT
L.C.E.	LIMITED COMMON ELEMENT

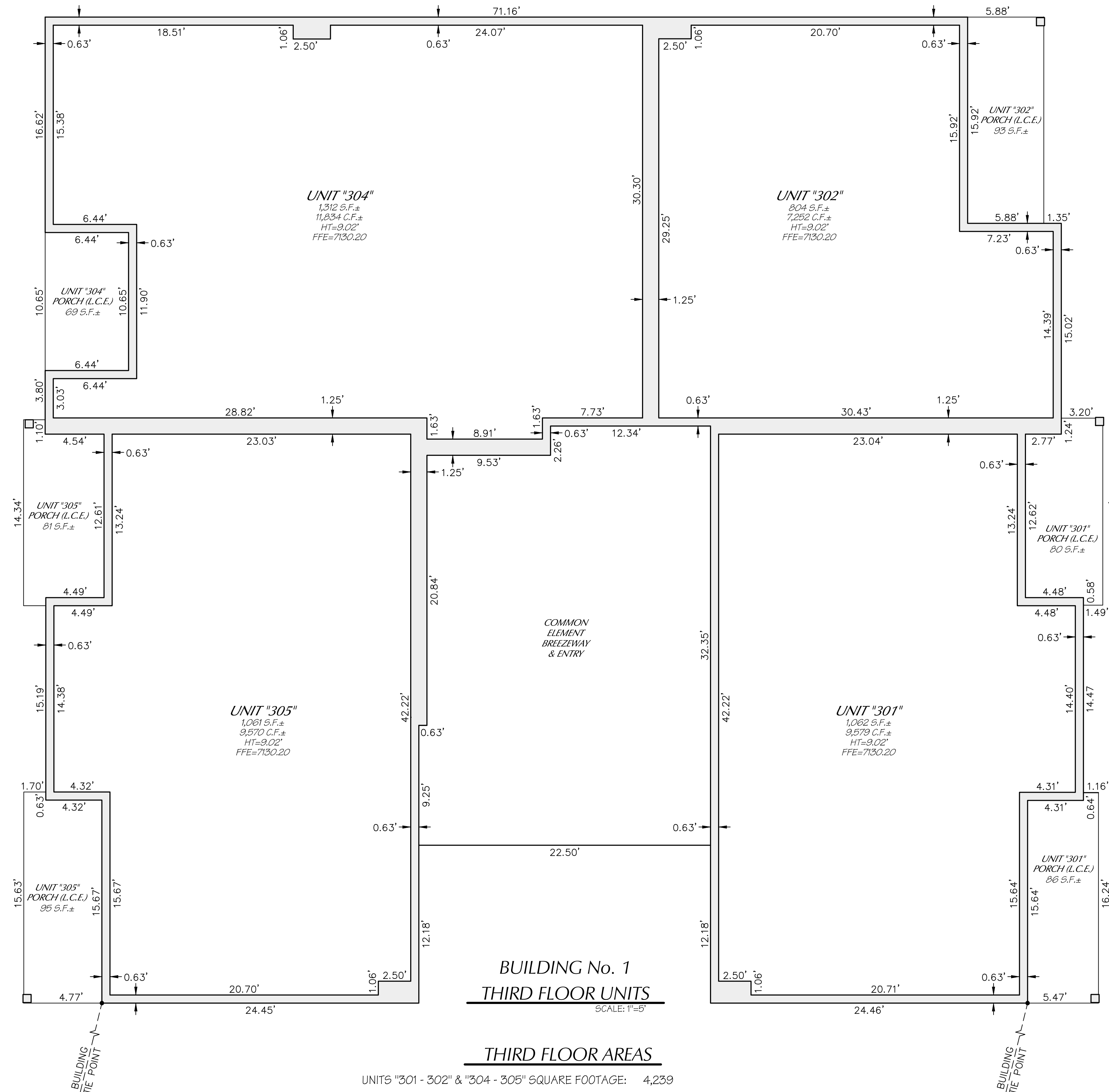


**PRELIMINARY
NOT FOR CONSTRUCTION
OR RECORDING**

Mogollon
 REGISTERED LAND SURVEYOR
 ENGINEERING & SURVEYING
 411 N. Santa Fe Avenue
 Flagstaff, Arizona 86001
 Phone: 928-214-0214
 PROJECT NO. 1519
 P/N SHEET-06.DWG
 DATE 12/20/22
 DESIGNED BY: MK
 DRAWN BY: MK
 CHECKED BY: KYH
 REVISIONS PER C.O.F. COMMENTS DATED 12/8/22
 VERT SCALE: N/A
 HOR SCALE: 1"=5'
 PRELIMINARY PLAT
 MIRAMONTE AT PRESIDIO IN THE PINE VI
 CONDOMINIUMS FLOOR PLANS AND ELEVATIONS MES#1519

PRELIMINARY PLAT FOR MIRAMONTE AT PRESIDIO IN THE PINES VI CONDOMINIUMS

A SUBDIVISION OF INSTRUMENT #3905535
LOCATED IN THE S1/2 OF SECTION 19,
TOWNSHIP 21 NORTH, RANGE 7 EAST, G&S.R.M.
FLAGSTAFF, COCONINO COUNTY, ARIZONA



**BUILDING No. 1
THIRD FLOOR UNITS**
SCALE: 1"=5'

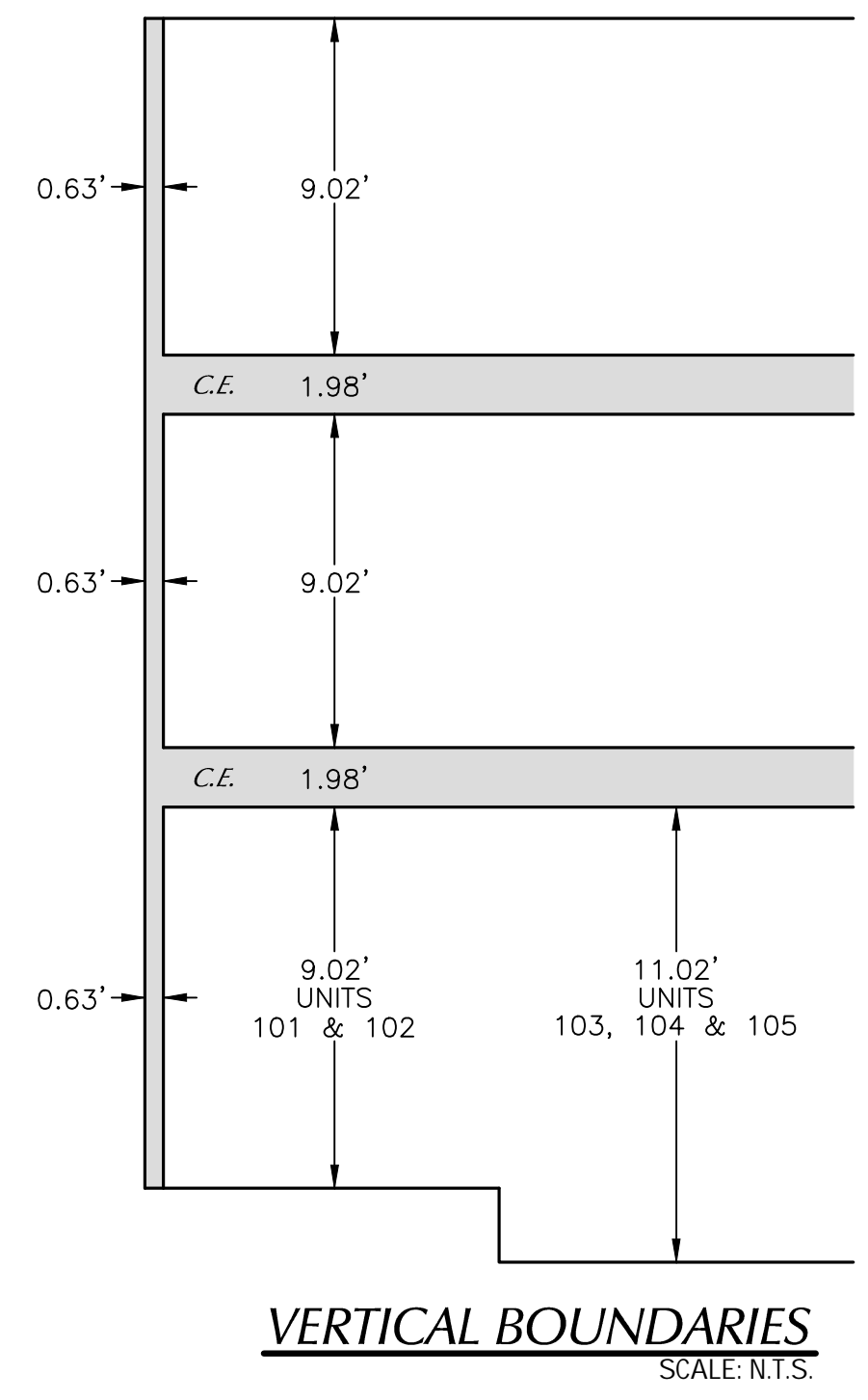
THIRD FLOOR AREAS

UNITS "301 - 302" & "304 - 305" SQUARE FOOTAGE: 4,239
3RD FLOOR C.E. SQUARE FOOTAGE: 1,093
3RD FLOOR L.C.E. SQUARE FOOTAGE: 504

ABBREVIATIONS

FFE	FINISH FLOOR ELEVATION
S.F.	SQUARE FEET
C.F.	CUBIC FEET
HT	HEIGHT
C.E.	COMMON ELEMENT
L.C.E.	LIMITED COMMON ELEMENT

**PRELIMINARY
NOT FOR CONSTRUCTION
OR RECORDING**

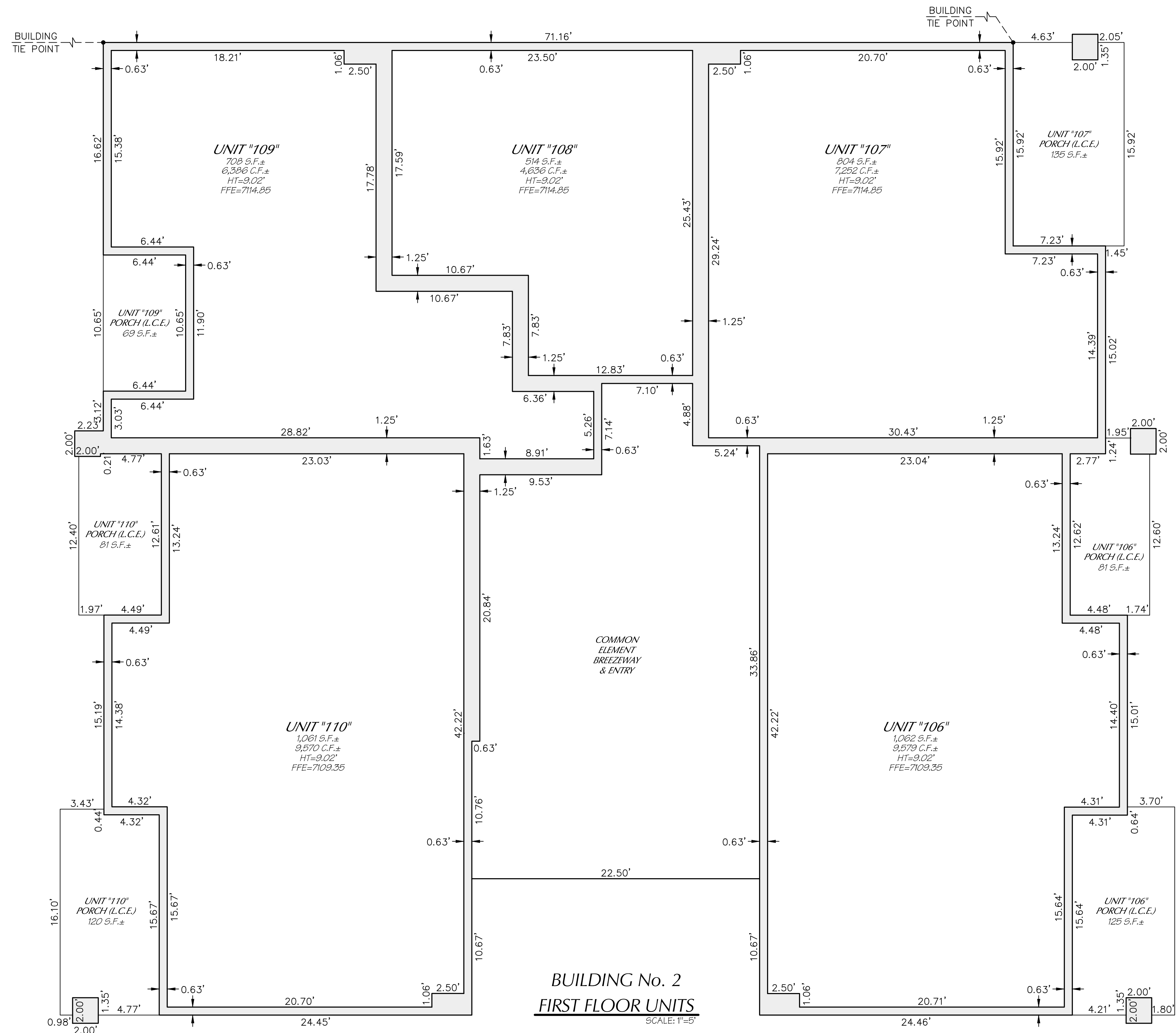


SHEET NO. 7 OF 14
COF PROJECT # PZ-19-00204

Mogollon
 ENGINEERING & SURVEYING
 411 N. Santa Fe Avenue
 Flagstaff, Arizona 86001
 Phone: 928-214-0214
 PRELIMINARY PLAT
 MIRAMONTE AT PRESIDIO IN THE PINE VI
 CONDOMINIUMS FLOOR PLANS AND ELEVATIONS MES#15159
 12/20/22
 PROJECT NO. 15159
 REVISIONS PER C.O.F. COMMENTS DATED 12/06/22
 P/N SHEET-07.DWG
 VERT SCALE: N/A
 HOR SCALE: 1"=5'
 DESIGNED BY: MK
 DRAWN BY: MK
 CHECKED BY: KYH
 REGISTERED LAND SURVEYOR
 CERTIFICATE NO. 12345
 ARIZONA U.S.A.

PRELIMINARY PLAT FOR MIRAMONTE AT PRESIDIO IN THE PINES VI CONDOMINIUMS

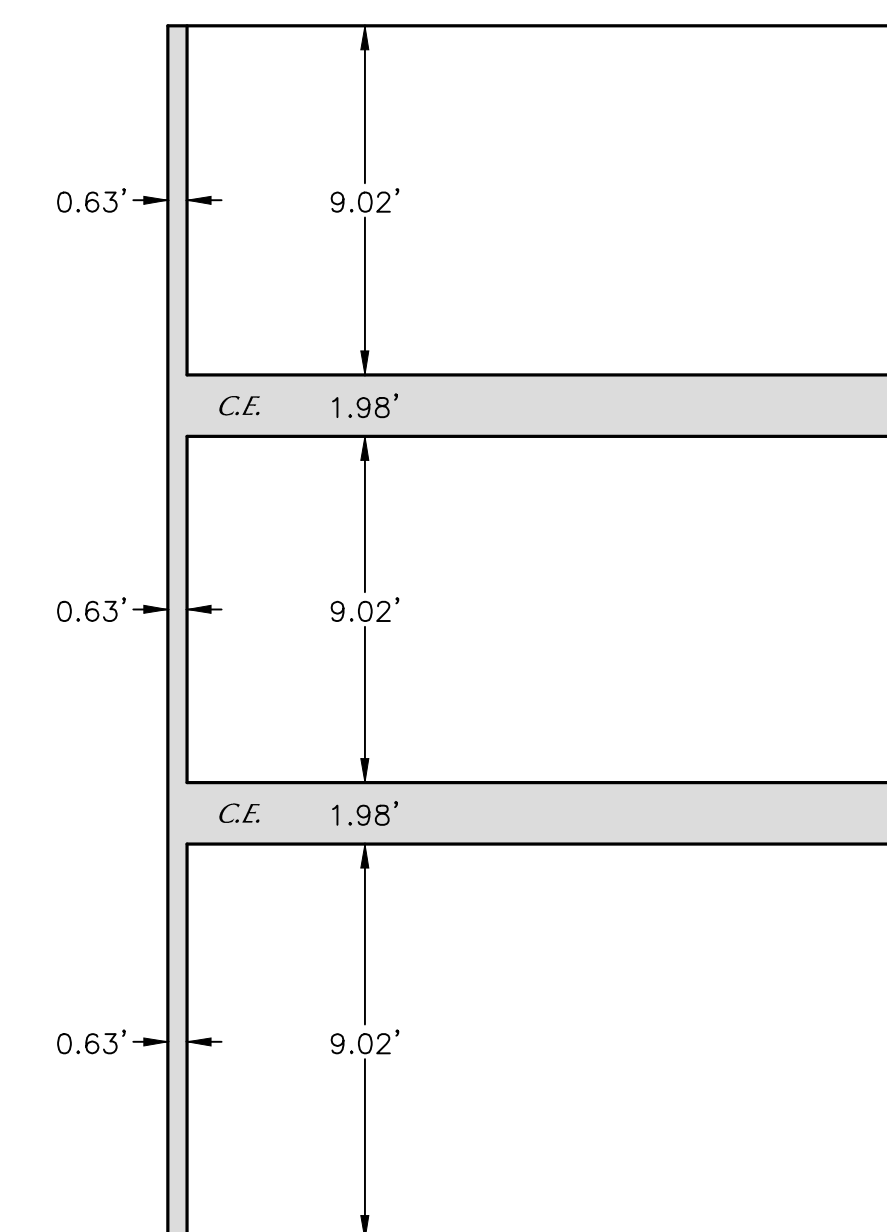
A SUBDIVISION OF INSTRUMENT #3905535
LOCATED IN THE S1/2 OF SECTION 19,
TOWNSHIP 21 NORTH, RANGE 7 EAST, G&S.R.M.
FLAGSTAFF, COCONINO COUNTY, ARIZONA



ABBREVIATIONS

FFE	FINISH FLOOR ELEVATION
S.F.	SQUARE FEET
C.F.	CUBIC FEET
HT	HEIGHT
C.E.	COMMON ELEMENT
L.C.E.	LIMITED COMMON ELEMENT

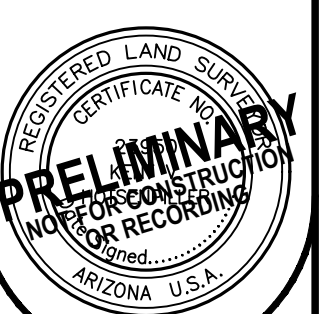
PRELIMINARY
NOT FOR CONSTRUCTION
OR RECORDING



SHEET NO. 8 OF 14
COF PROJECT # PZ-19-00204

Mogollon
 PRELIMINARY PLAT
 MIRAMONTE AT PRESIDIO IN THE PINE VI
 CONDOMINIUMS FLOOR PLANS AND ELEVATIONS MES# 15159
 12/20/22

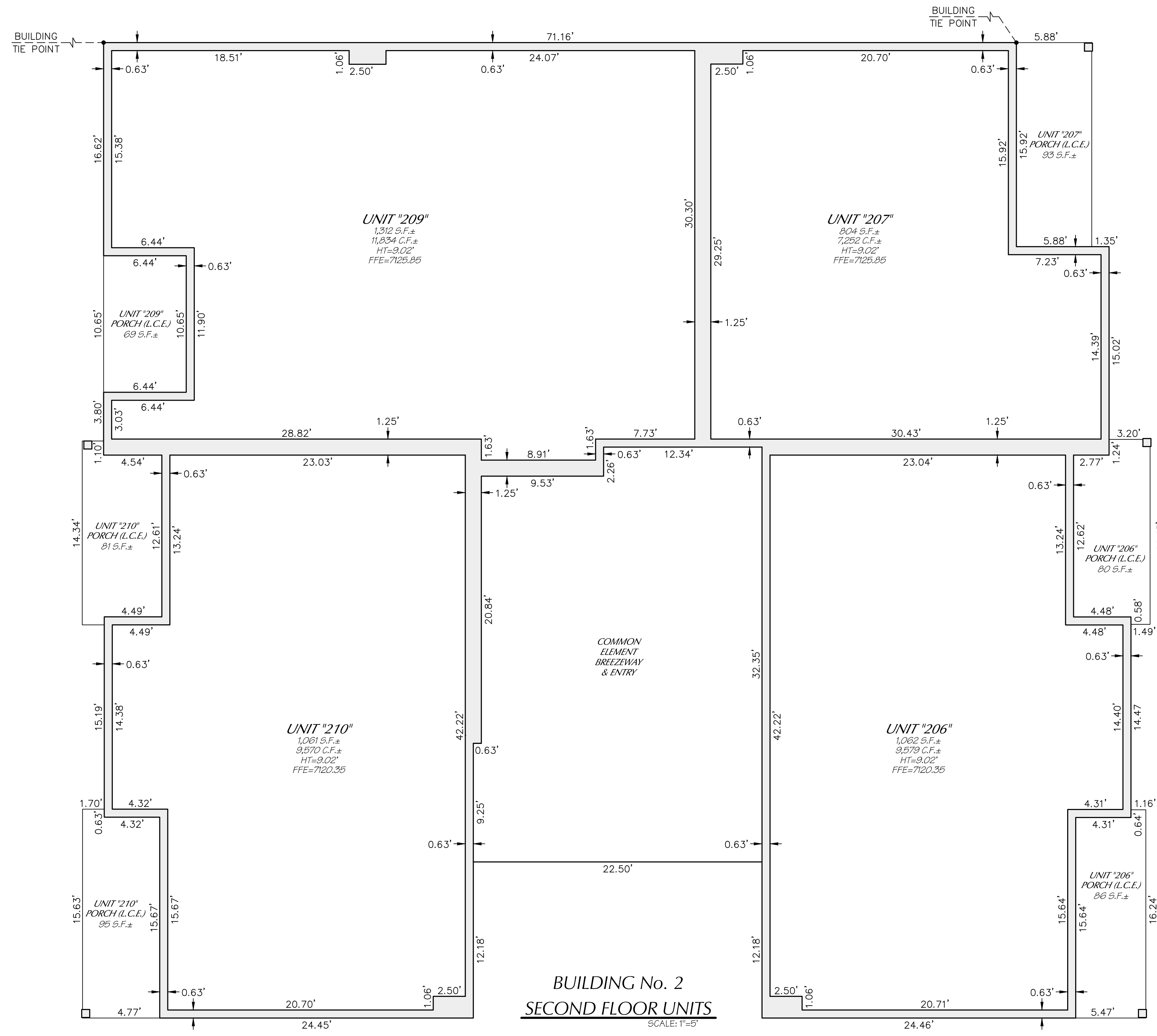
Mogollon
 ENGINEERING
 & SURVEYING
 411 W. Santa Fe Avenue
 Flagstaff, Arizona 86001
 Phone: 928-214-0214



Mogollon
 PROJECT NO. 15159
 REVISIONS: PER C.O.F. COMMENT'S DATED 12/08/22
 DATE: 12/20/22
 DESIGNED BY: MK
 P/L SHEET: 08.DWG
 DRAWN BY: MK
 VERT. SCALE: N/A
 HOR. SCALE: 1"=5'
 CHECKED BY: KYH

PRELIMINARY PLAT FOR MIRAMONTE AT PRESIDIO IN THE PINES VI CONDOMINIUMS

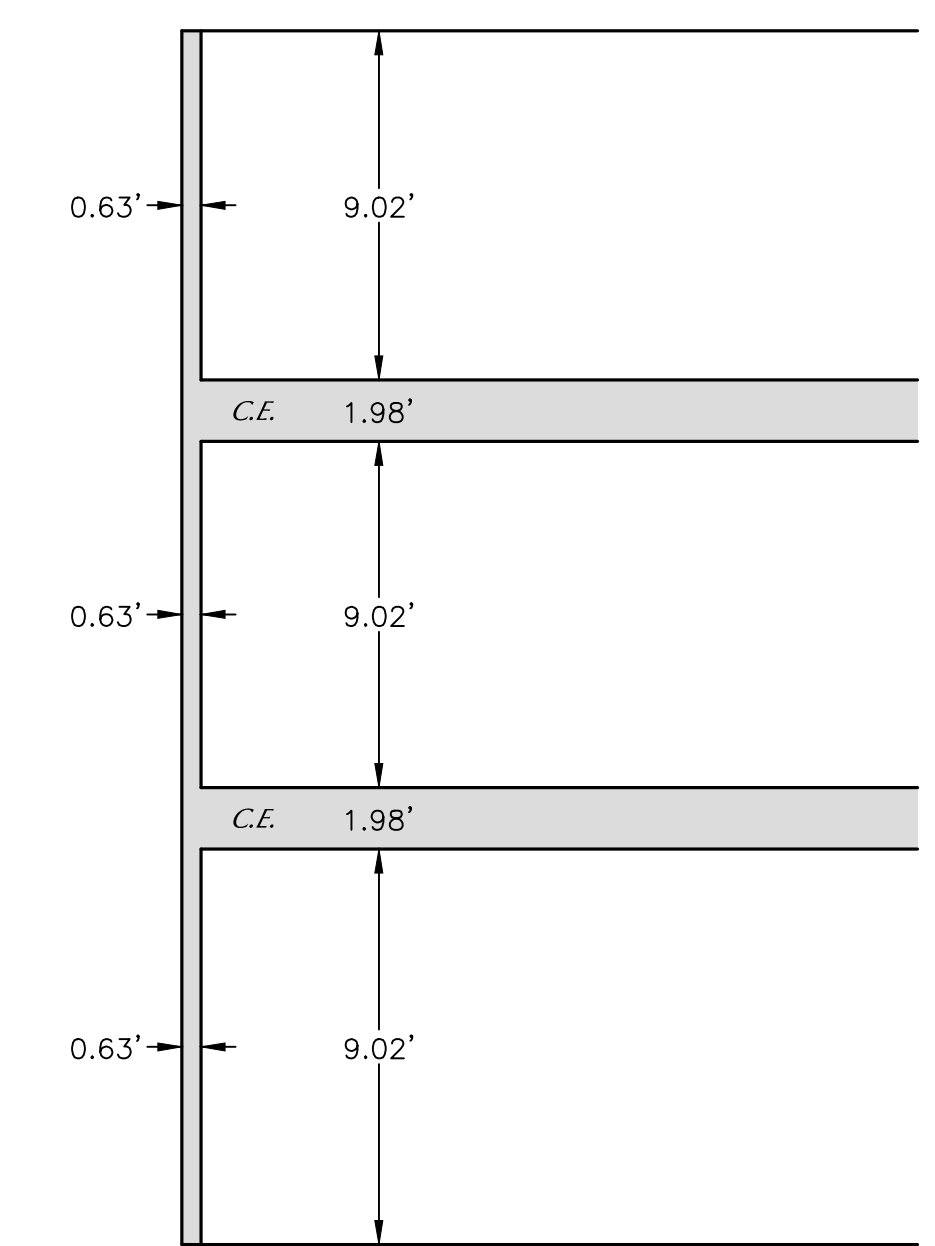
A SUBDIVISION OF INSTRUMENT #3905535
LOCATED IN THE S1/2 OF SECTION 19,
TOWNSHIP 21 NORTH, RANGE 7 EAST, G&S.R.M.
FLAGSTAFF, COCONINO COUNTY, ARIZONA



BUILDING No. 2
SECOND FLOOR UNITS
SCALE: 1"=5'

SECOND FLOOR AREAS

UNITS "206 - 207" & "209 - 210" SQUARE FOOTAGE: 4,239
2ND FLOOR C.E. SQUARE FOOTAGE: 1,093
2ND FLOOR L.C.E. SQUARE FOOTAGE: 504



VERTICAL BOUNDARIES
SCALE: N.T.S.

ABBREVIATIONS

- FFE FINISH FLOOR ELEVATION
- S.F. SQUARE FEET
- C.F. CUBIC FEET
- HT HEIGHT
- C.E. COMMON ELEMENT
- L.C.E. LIMITED COMMON ELEMENT

PRELIMINARY
NOT FOR CONSTRUCTION
OR RECORDING



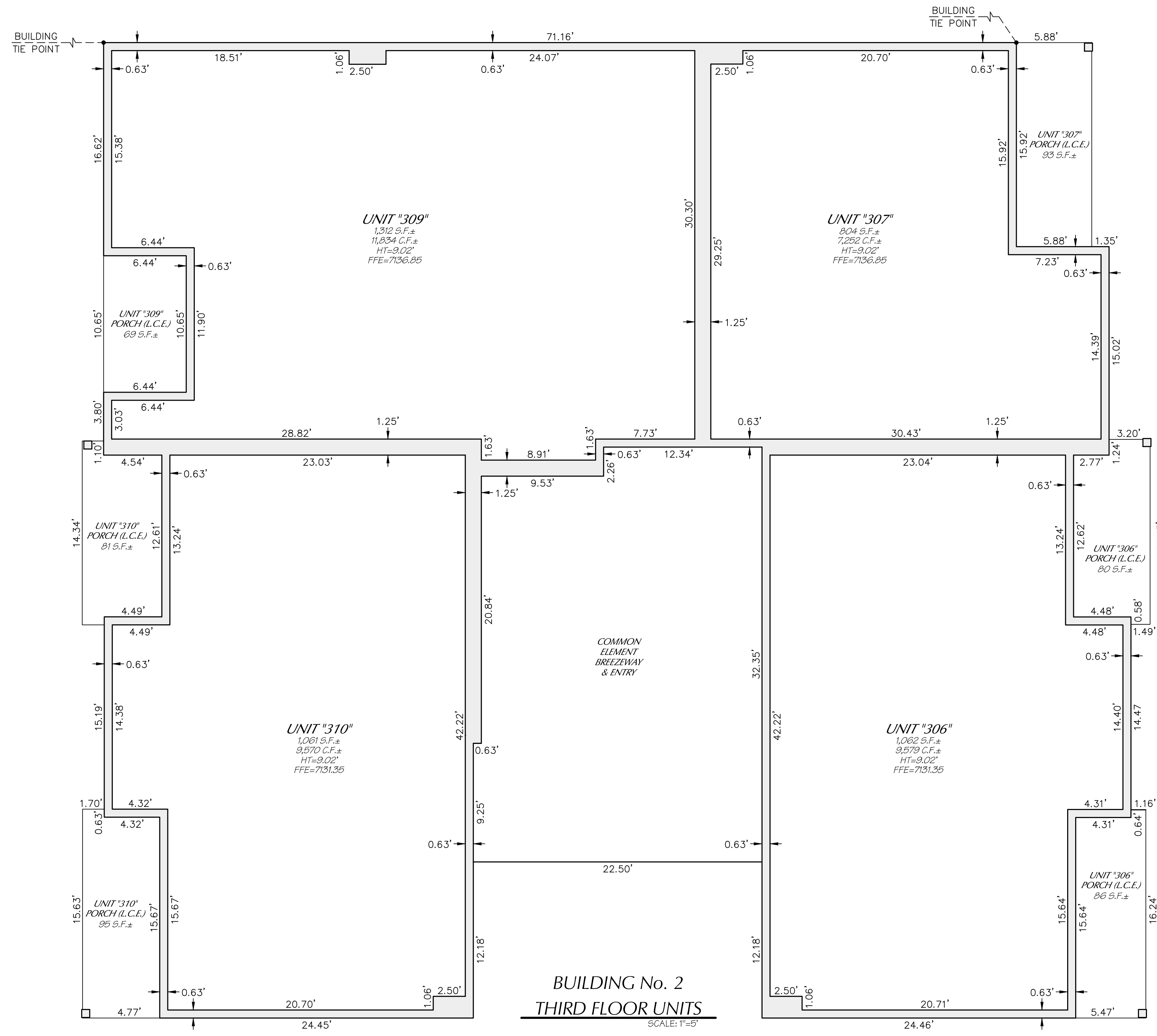
Mogollon Engineering & Surveying
411 W. Santa Fe Avenue
Flagstaff, Arizona 86001
Phone: 928-214-0214

PRELIMINARY PLAT
MIRAMONTE AT PRESIDIO IN THE PINE VI
CONDOMINIUMS FLOOR PLANS AND ELEVATIONS MES# 15159
12/20/22

DATE: 12/20/22
DESIGNED BY: MK
DRAWN BY: MK
CHECKED BY: KYH
PROJECT NO.: 15159
P/N: SHEET-09.DWG
VERT. SCALE: N/A
HOR. SCALE: 1"=5'
REVISIONS: PER C.O.F. COMMENT'S DATED 12/08/22

PRELIMINARY PLAT FOR MIRAMONTE AT PRESIDIO IN THE PINES VI CONDOMINIUMS

A SUBDIVISION OF INSTRUMENT #3905535
LOCATED IN THE S1/2 OF SECTION 19,
TOWNSHIP 21 NORTH, RANGE 7 EAST, G&S.R.M.
FLAGSTAFF, COCONINO COUNTY, ARIZONA



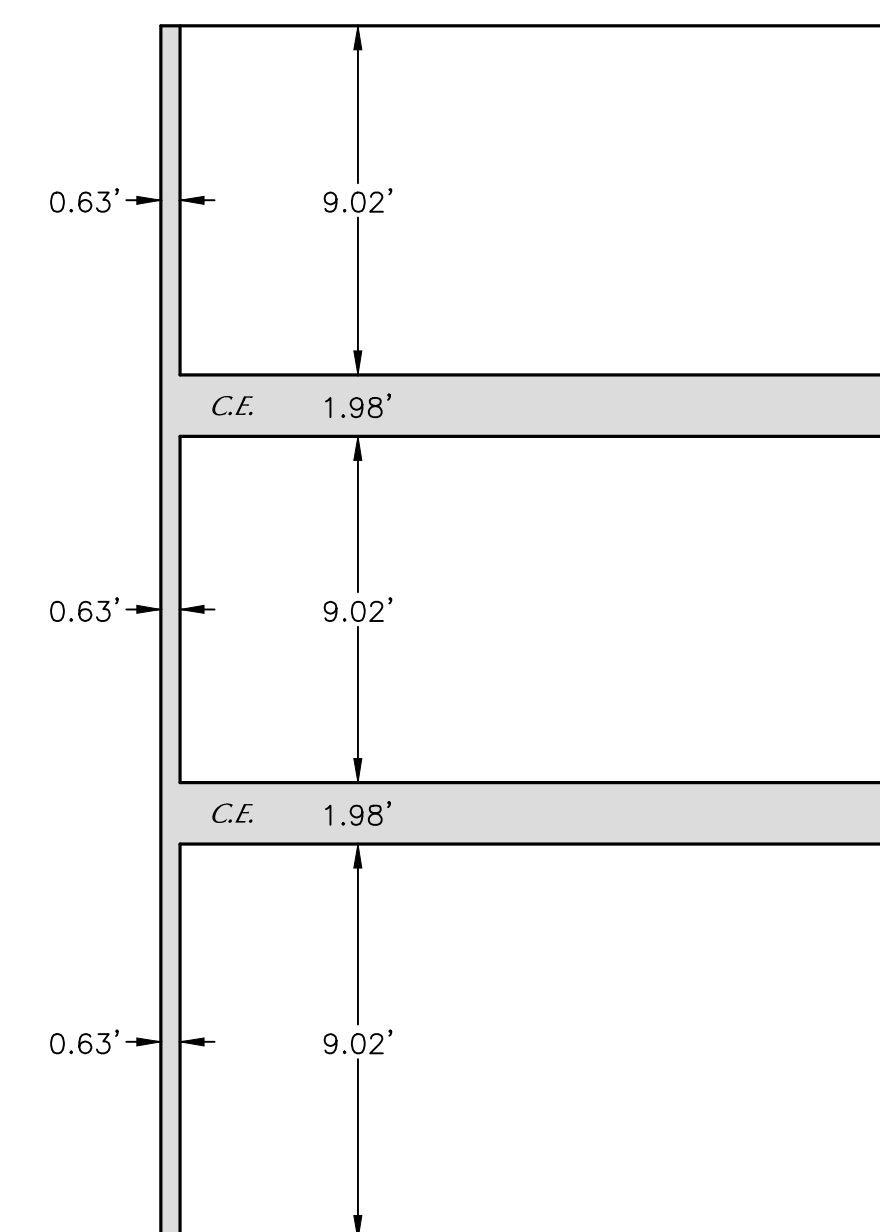
THIRD FLOOR AREAS

UNITS "306 - 307" & "309 - 310" SQUARE FOOTAGE: 4,239
3RD FLOOR C.E. SQUARE FOOTAGE: 1,093
3RD FLOOR L.C.E. SQUARE FOOTAGE: 504

ABBREVIATIONS

FFE	FINISH FLOOR ELEVATION
S.F.	SQUARE FEET
C.F.	CUBIC FEET
HT	HEIGHT
C.E.	COMMON ELEMENT
L.C.E.	LIMITED COMMON ELEMENT

PRELIMINARY
NOT FOR CONSTRUCTION
OR RECORDING



SHEET NO. 10 OF 14
COF PROJECT # PZ-19-00204

Mogollon SURVEYING
PRELIMINARY PLAT
MIRAMONTE AT PRESIDIO IN THE PINE VI
CONDOMINIUMS FLOOR PLANS AND ELEVATIONS MES# 15159
DATE: 12/20/22
DESIGNED BY: MK
DRAWN BY: MK
CHECKED BY: KYH

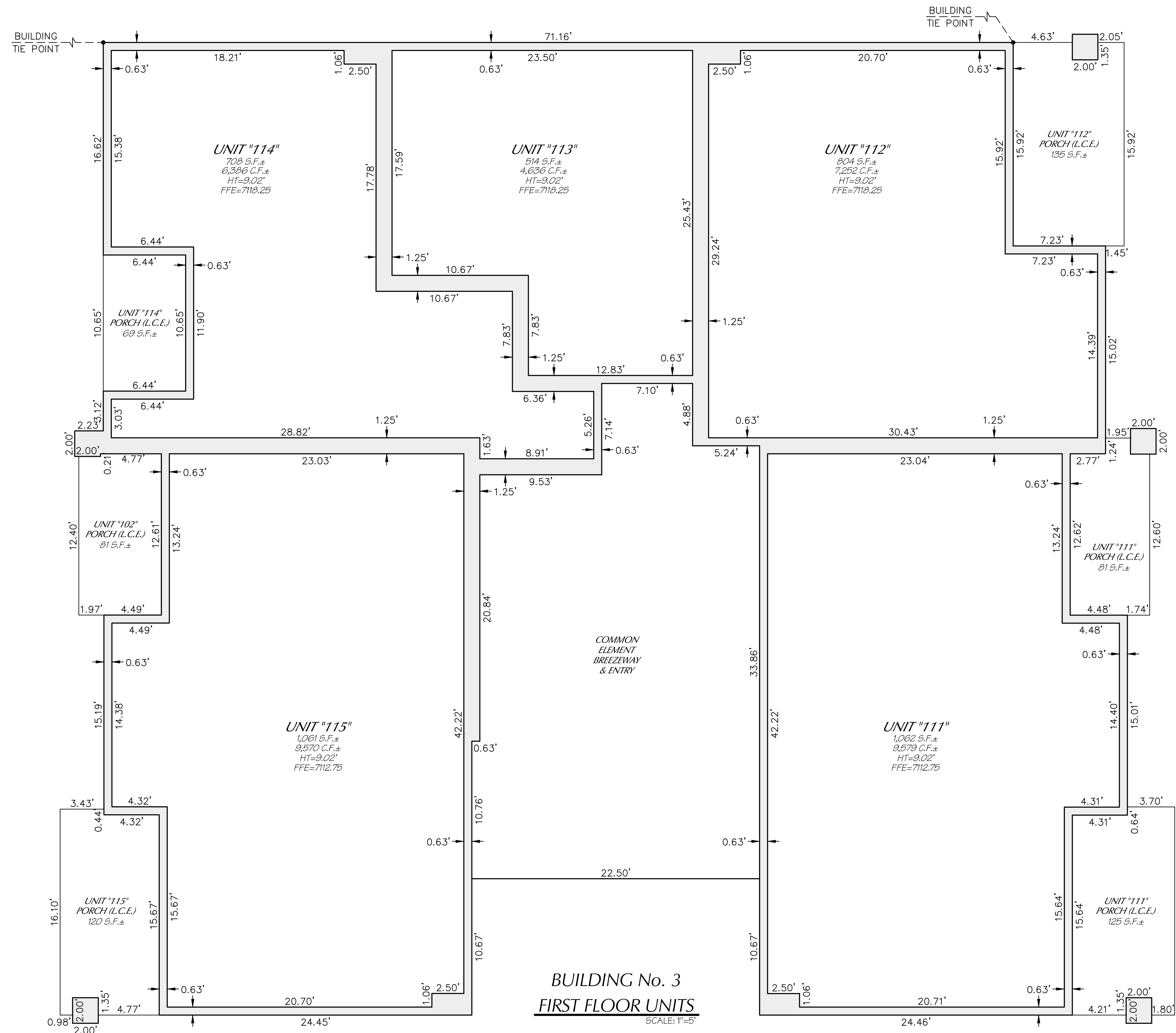
Mogollon SURVEYING
ENGINEERING & SURVEYING
411 W. Santa Fe Avenue
Flagstaff, Arizona 86001
Phone: 928-214-0214



Mogollon SURVEYING
REGISTERED LAND SURVEYOR
CERTIFICATE NO. 15159
REVISIONS: PER C.O.F. COMMENT'S DATED 12/08/22
PROJECT NO. 15159
P/N: SHEET-10.DWG
VERT. SCALE: N/A
HOR. SCALE: 1"=5'

PRELIMINARY PLAT FOR MIRAMONTE AT PRESIDIO IN THE PINES VI CONDOMINIUMS

A SUBDIVISION OF INSTRUMENT #3905535
LOCATED IN THE S1/2 OF SECTION 19,
TOWNSHIP 21 NORTH, RANGE 7 EAST, G&S.R.M.
FLAGSTAFF, COCONINO COUNTY, ARIZONA



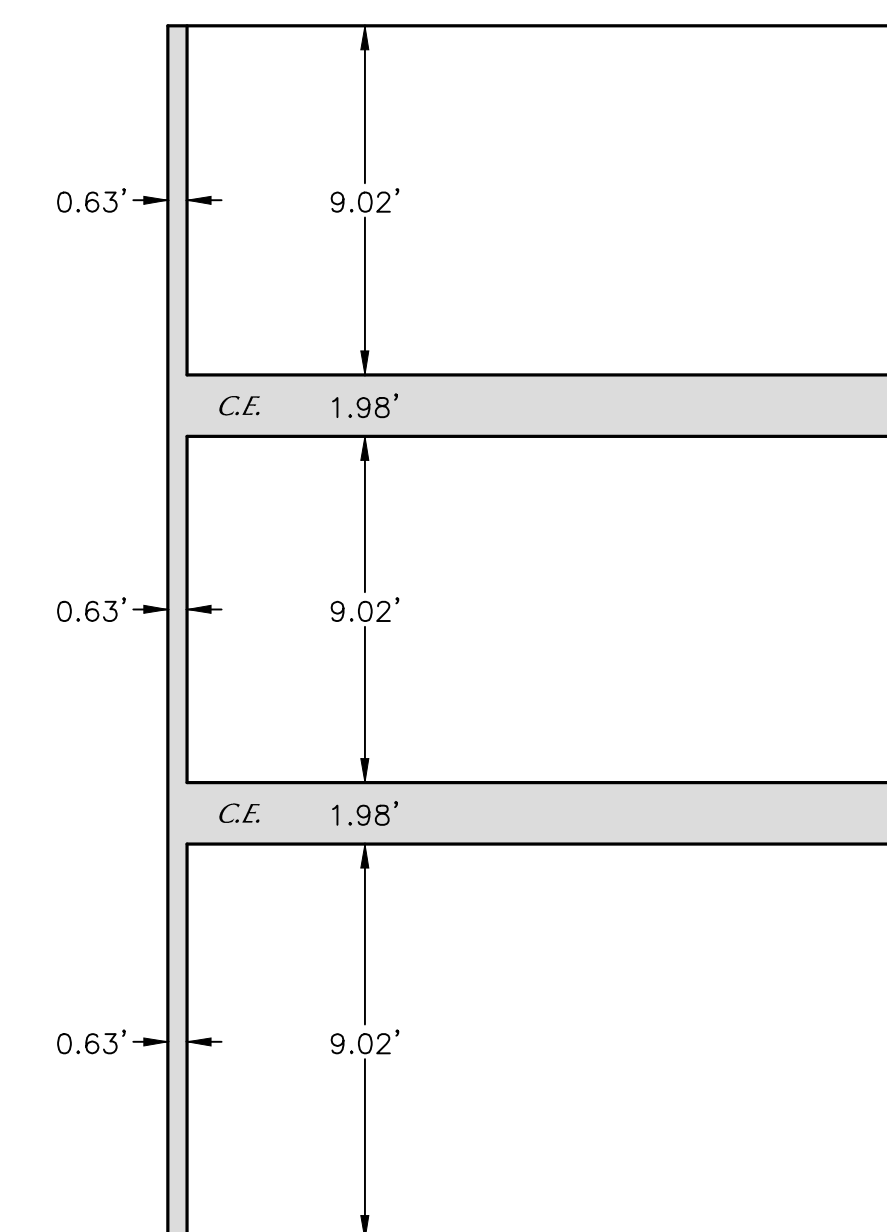
ABBREVIATIONS

FFE	FINISH FLOOR ELEVATION
S.F.	SQUARE FEET
C.F.	CUBIC FEET
HT	HEIGHT
C.E.	COMMON ELEMENT
L.C.E.	LIMITED COMMON ELEMENT

FIRST FLOOR AREAS

UNITS "111" - "115" SQUARE FOOTAGE: 4,149
1ST FLOOR C.E. SQUARE FOOTAGE: 1,236
1ST FLOOR L.C.E. SQUARE FOOTAGE: 611

PRELIMINARY
NOT FOR CONSTRUCTION
OR RECORDING



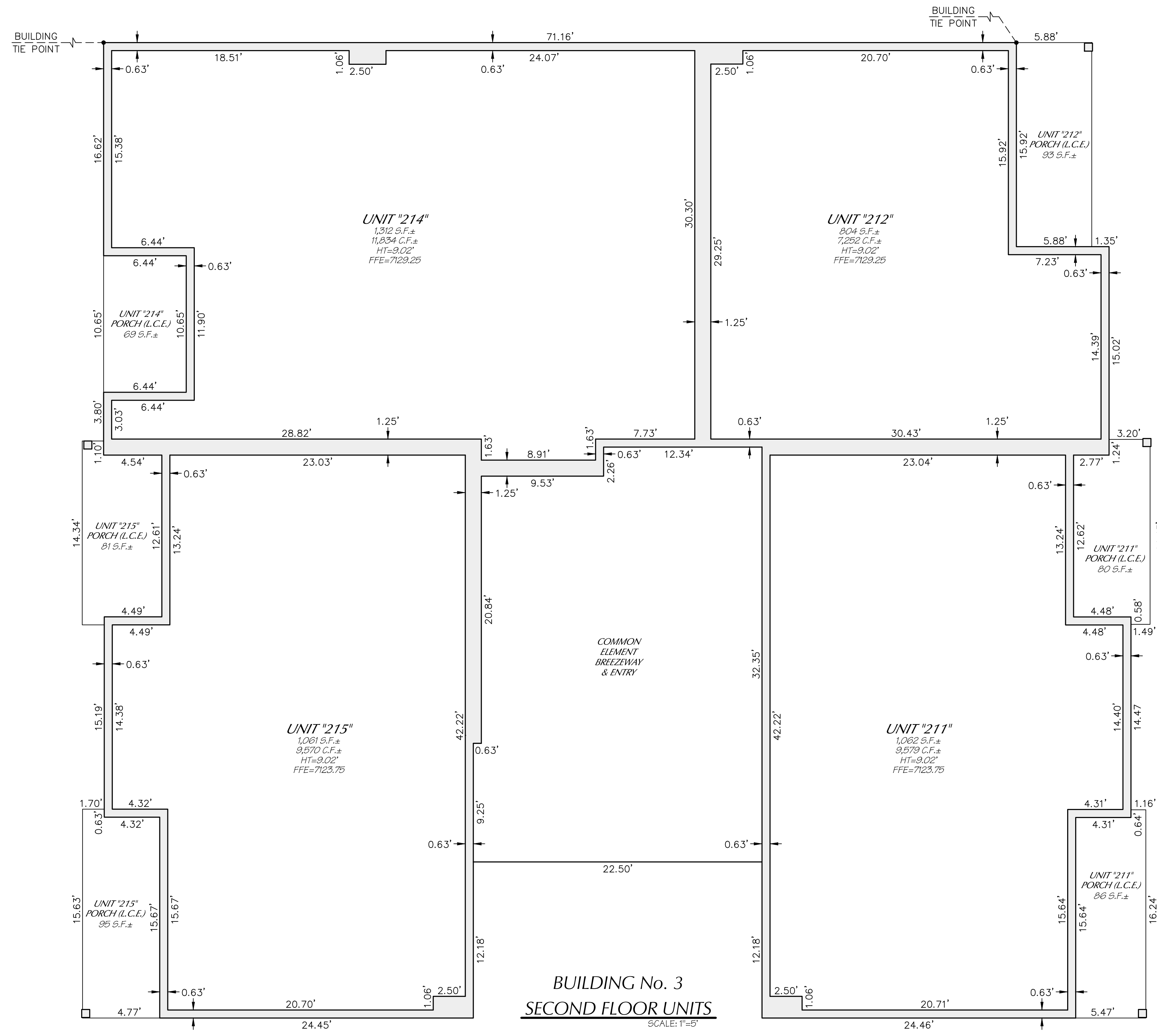
SHEET NO. 11 OF 14
COF PROJECT # PZ-19-00204

Mogollon ENGINEERING & SURVEYING
PRELIMINARY PLAT
MIRAMONTE AT PRESIDIO IN THE PINE VI
CONDOMINIUMS FLOOR PLANS AND ELEVATIONS MES# 15159
DATE: 12/20/22
PROJECT NO: 15159
P/N: SHEET-11.DWG
DESIGNED BY: MK
DRAWN BY: MK
CHECKED BY: KYH
REVISIONS: PER C.O.F. COMMENT'S DATED 12/08/22
VERT SCALE: N/A
HOR SCALE: 1"=5'

Mogollon ENGINEERING & SURVEYING
411 W. Santa Fe Avenue
Flagstaff, Arizona 86001
Phone: 928-214-0214
REGISTERED LAND SURVEYOR
CERTIFICATE NO. 12345
ARIZONA U.S.A.
PRELIMINARY
NOT FOR CONSTRUCTION
OR RECORDING

PRELIMINARY PLAT FOR MIRAMONTE AT PRESIDIO IN THE PINES VI CONDOMINIUMS

A SUBDIVISION OF INSTRUMENT #3905535
LOCATED IN THE S1/2 OF SECTION 19,
TOWNSHIP 21 NORTH, RANGE 7 EAST, G&S.R.M.
FLAGSTAFF, COCONINO COUNTY, ARIZONA



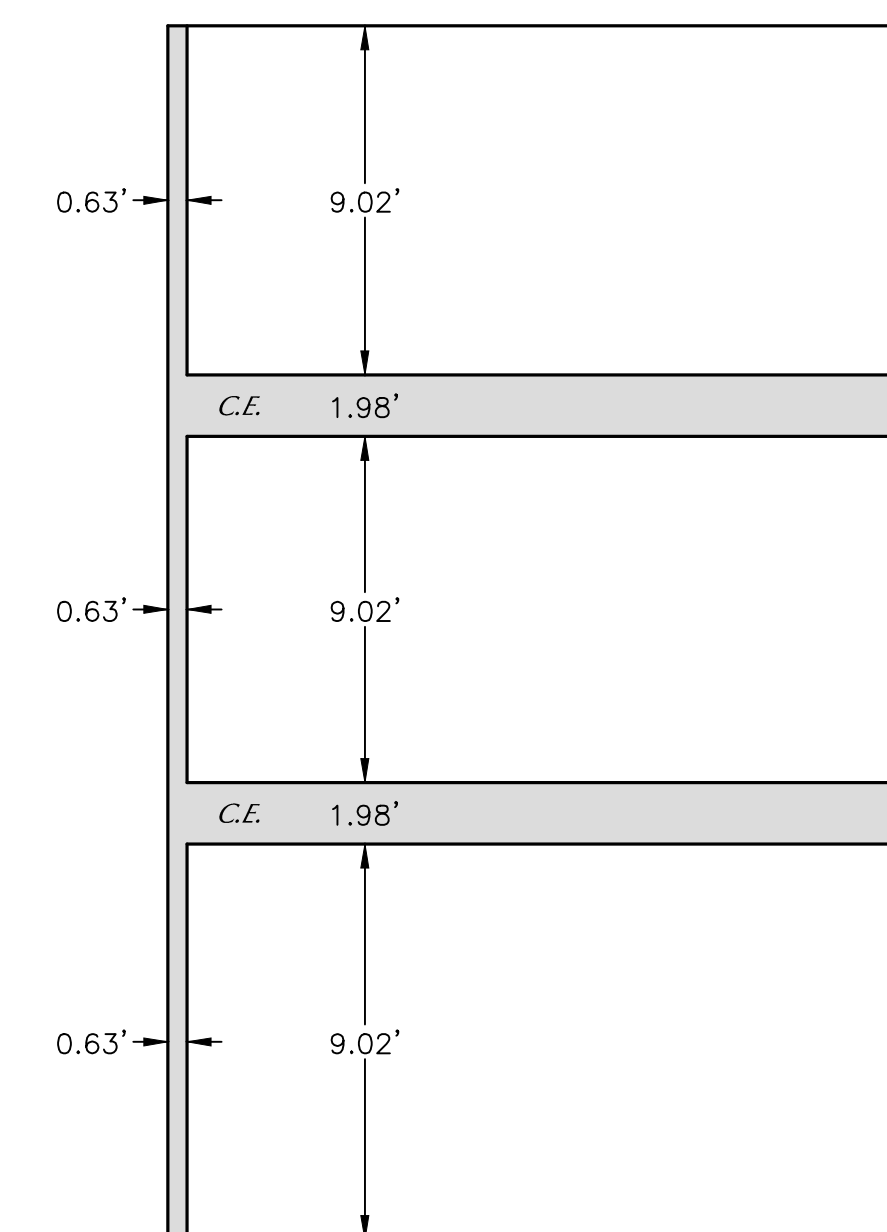
SECOND FLOOR AREAS

UNITS "211 - 212" & "214 - 215" SQUARE FOOTAGE: 4,239
2ND FLOOR C.E. SQUARE FOOTAGE: 1,093
2ND FLOOR L.C.E. SQUARE FOOTAGE: 504

ABBREVIATIONS

FFE FINISH FLOOR ELEVATION
S.F. SQUARE FEET
C.F. CUBIC FEET
HT HEIGHT
C.E. COMMON ELEMENT
L.C.E. LIMITED COMMON ELEMENT

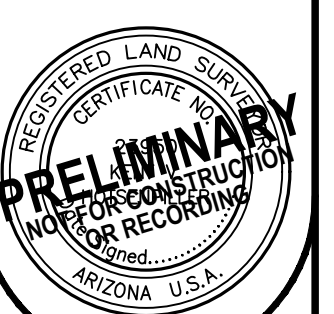
PRELIMINARY
NOT FOR CONSTRUCTION
OR RECORDING



SHEET NO. 12 OF 14
COF PROJECT # PZ-19-00204

Mogollon ENGINEERING & SURVEYING
PRELIMINARY PLAT
MIRAMONTE AT PRESIDIO IN THE PINE VI
CONDOMINIUMS FLOOR PLANS AND ELEVATIONS MES# 15159
DATE: 12/20/22
DESIGNED BY: MK
DRAWN BY: MK
CHECKED BY: KYH

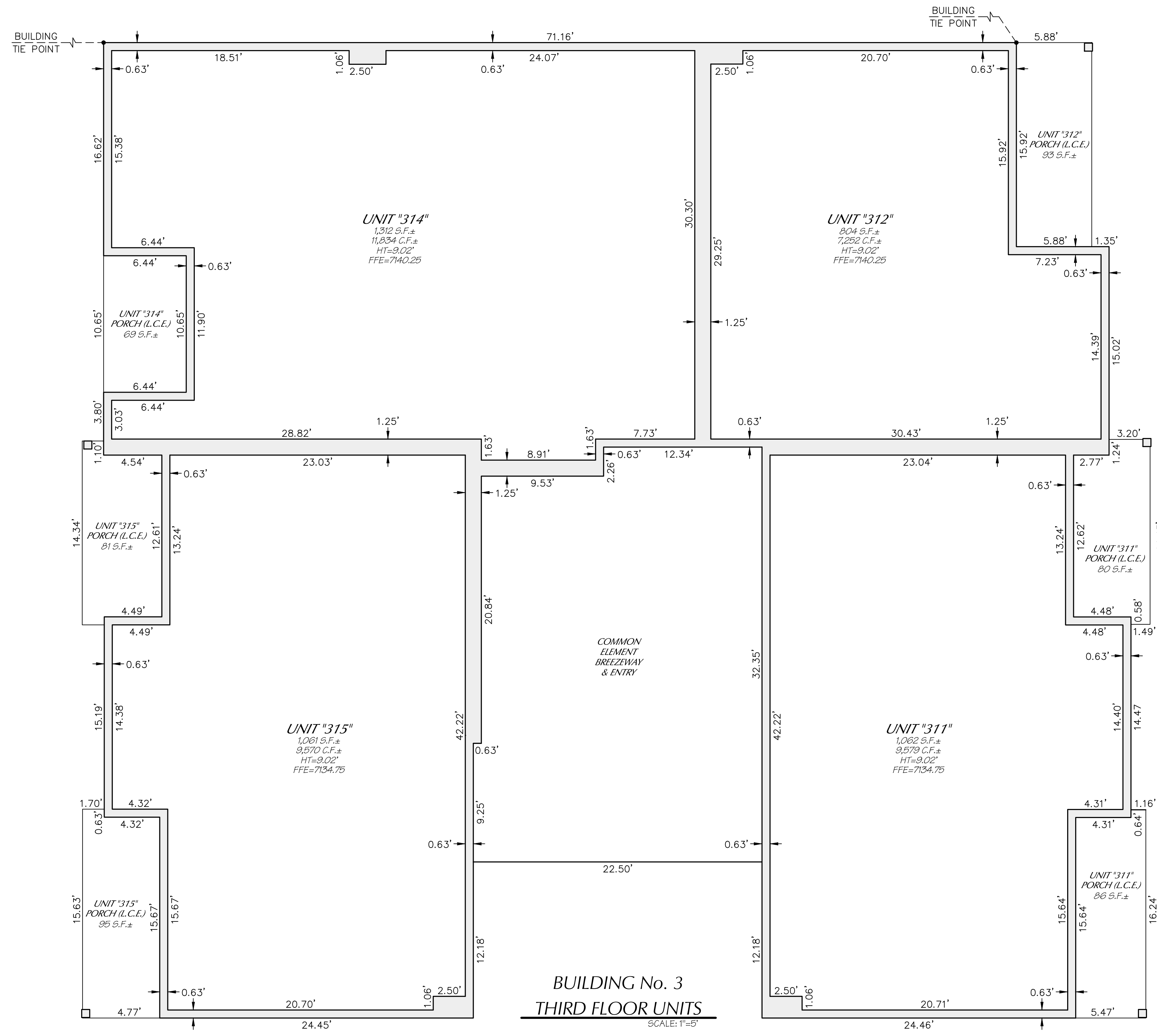
Mogollon ENGINEERING & SURVEYING
411 W. Santa Fe Avenue
Flagstaff, Arizona 86001
Phone: 928-214-0214



Mogollon ENGINEERING & SURVEYING
REGISTERED LAND SURVEYOR
CERTIFICATE NO. 15159
REVISIONS: PER C.O.F. COMMENT'S DATED 12/08/22
PROJECT NO. 15159
P/N: SHEET-12.DWG
VERT. SCALE: N/A
HOR. SCALE: 1"=5'

PRELIMINARY PLAT FOR MIRAMONTE AT PRESIDIO IN THE PINES VI CONDOMINIUMS

A SUBDIVISION OF INSTRUMENT #3905535
LOCATED IN THE S1/2 OF SECTION 19,
TOWNSHIP 21 NORTH, RANGE 7 EAST, G&S.R.M.
FLAGSTAFF, COCONINO COUNTY, ARIZONA

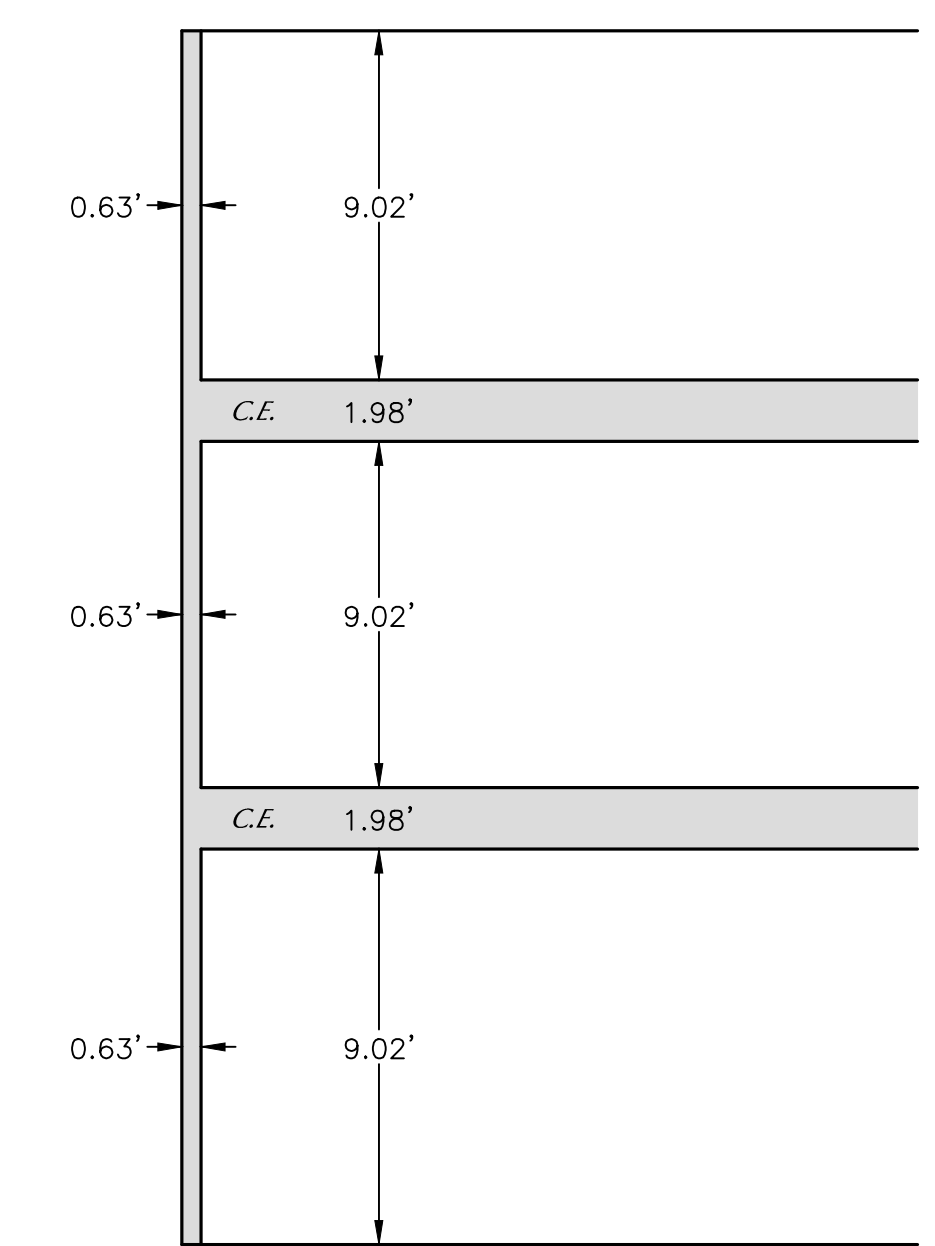


**BUILDING No. 3
THIRD FLOOR UNITS**
SCALE: 1"=5'

THIRD FLOOR AREAS

UNITS "311 - 312" & "314 - 315" SQUARE FOOTAGE: 4,239
3RD FLOOR C.E. SQUARE FOOTAGE: 1,093
3RD FLOOR L.C.E. SQUARE FOOTAGE: 504

**PRELIMINARY
NOT FOR CONSTRUCTION
OR RECORDING**



VERTICAL BOUNDARIES
SCALE: N.T.S.

ABBREVIATIONS

FFE	FINISH FLOOR ELEVATION
S.F.	SQUARE FEET
C.F.	CUBIC FEET
HT	HEIGHT
C.E.	COMMON ELEMENT
L.C.E.	LIMITED COMMON ELEMENT

Mogollon
 ENGINEERING & SURVEYING
 411 W. Santa Fe Avenue
 Flagstaff, Arizona 86001
 Phone: 928-214-0214
 PRELIMINARY PLAT
 MIRAMONTE AT PRESIDIO IN THE PINE VI
 CONDOMINIUMS FLOOR PLANS AND ELEVATIONS MES# 15159
 DATE: 12/20/22
 PROJECT NO: 15159
 P/N: SHEET-13.DWG
 DESIGNED BY: MK
 DRAWN BY: MK
 CHECKED BY: KYH
 REVISIONS: PER C.O.F. COMMENT'S DATED 12/08/22
 VERT SCALE: N/A
 HOR SCALE: 1"=5'
 REGISTERED LAND SURVEYOR
 CERTIFICATE NO. 12345
 ARIZONA U.S.A.
**PRELIMINARY
NOT FOR CONSTRUCTION
OR RECORDING**

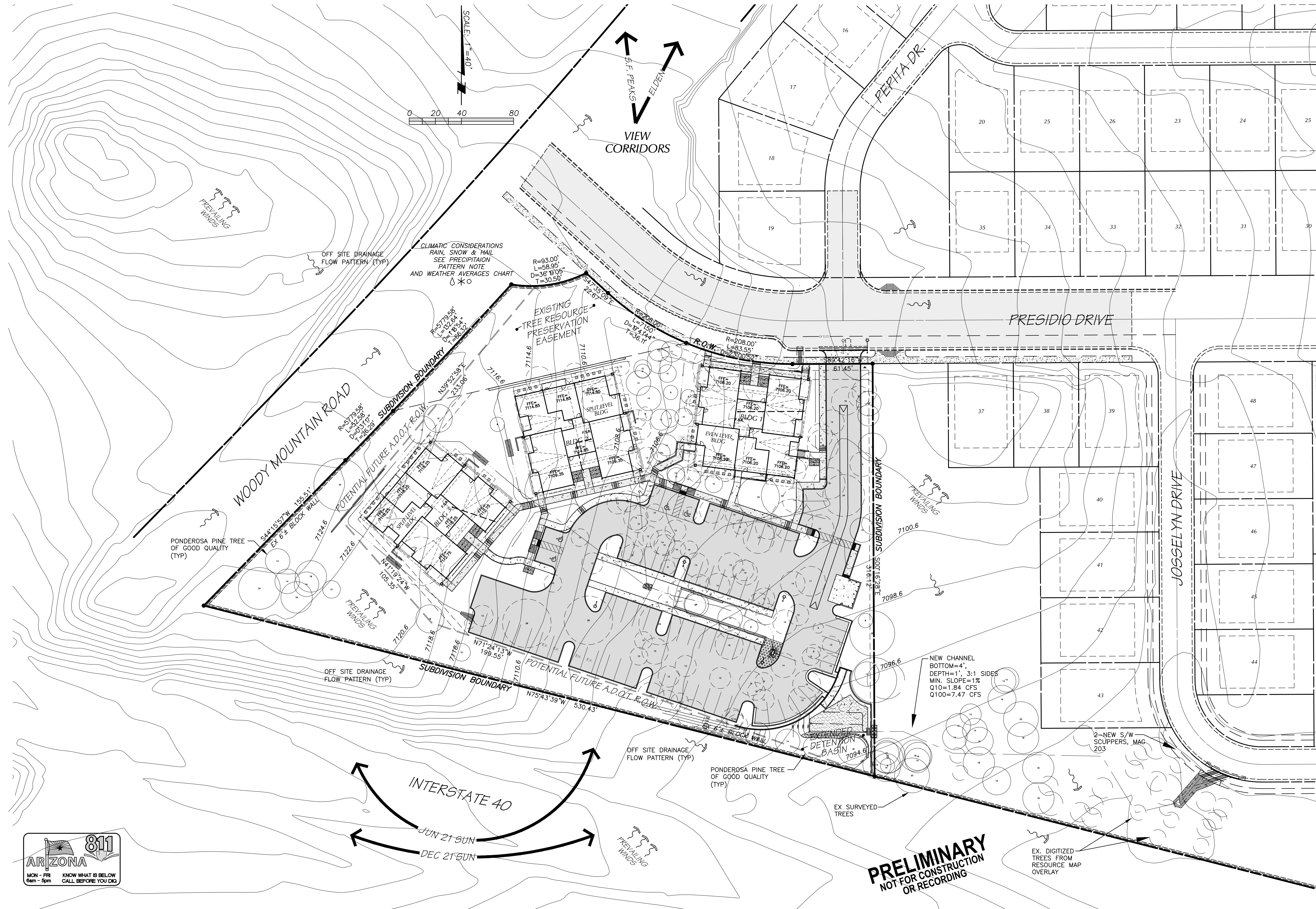
EXISTING CONTOURS

THE EXISTING CONTOURS SHOWN HEREON ARE BASED ON CITY OF FLAGSTAFF G.I.S. DATA WHICH IS BASED ON THE NAVD 88 DATUM. THE PRESIDIO IN THE PINES APPROVED CONSTRUCTION DOCUMENTS ARE BASED ON THE NGVD 29 DATUM. THE CONTOURS SHOWN HAVE BEEN LABELED TO REFLECT THE 3.412' DIFFERENCE (BASED ON VERTICAL DATUM CONVERSION FACTORS FOR THE CLAY AVENUE WASH - FEMA FLOOD INSURANCE STUDY (DATED SEPTEMBER 3, 2010))

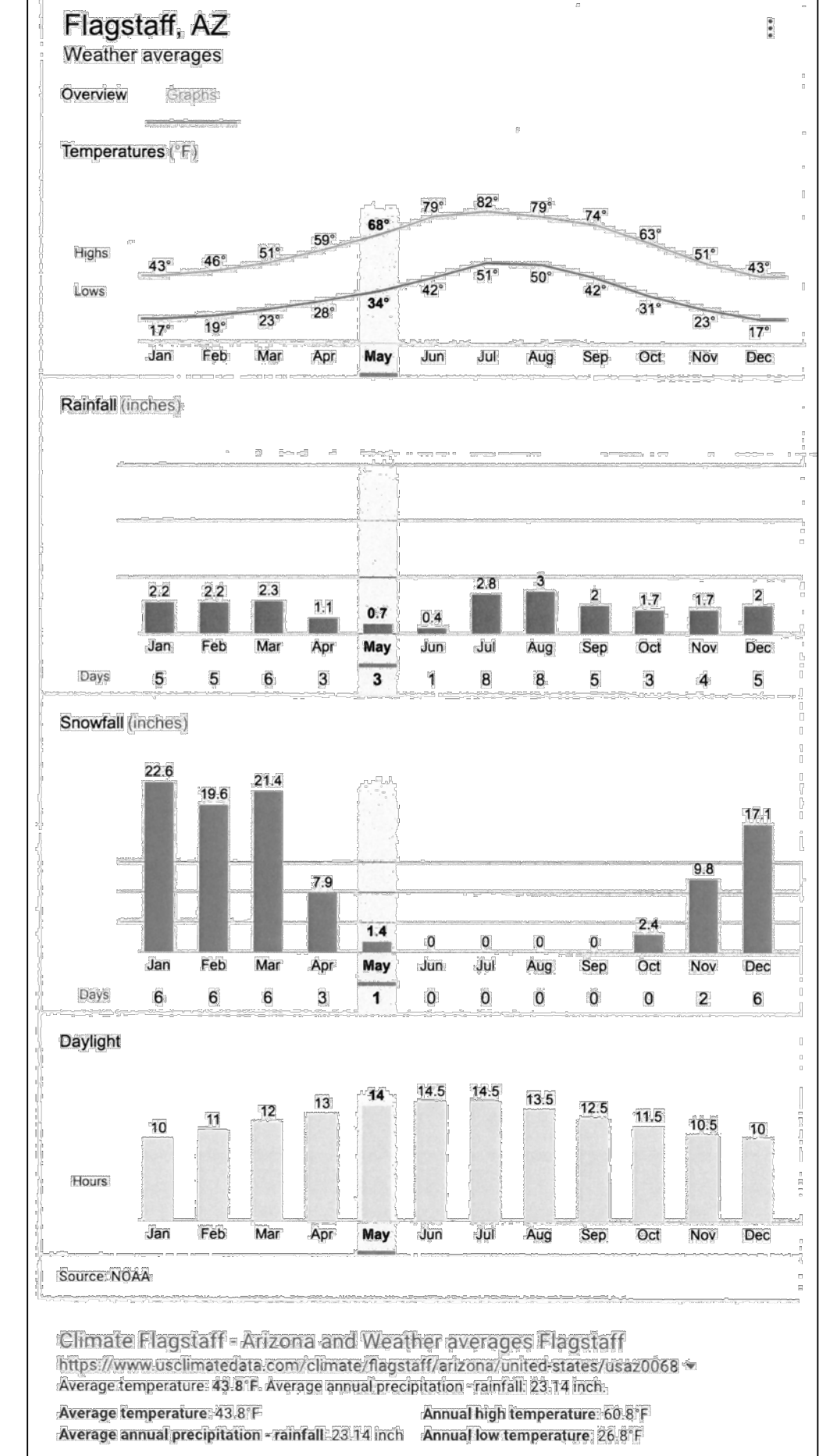
STORMWATER NOTE:
PER THE TECHNICAL DRAINAGE STUDY FOR PRESIDIO IN THE PINES, PREPARED BY "TRC-BV ENGINEERING NEVADA", DATED SEPTEMBER 3, 2004, AND THE CONSTRUCTION PHASING PLAN FOR PRESIDIO IN THE PINES, PREPARED BY MARTIN & MARTIN CIVIL ENGINEERS, DATED JUNE 6, 2006 THE PROJECT SITE HAD A DEVELOPED SCS RUNOFF CURVE NUMBER OF 82. THE ORIGINAL REPORT AND PHASING PLAN SHOWED THIS SITES DEVELOPED RUNOFF ENTERING THE ADOT RIGHT-OF-WAY AND DISCHARGING EASTERLY UN-DETECTED INTO THE UNNAMED EPHEMERAL WASH ALONG PRESIDIO'S EASTERLY BOUNDARY. THE ORIGINAL REPORT AND PHASING PLAN OVERALL BALANCED THE TOTAL DEVELOPED RUNOFF TO MATCH THE EXISTING UN-DEVELOPED CONDITION.

UNDER THE CURRENT UN-DEVELOPED CONDITION A SMALL PORTION OF THE SITE'S RUNOFF DRAINS EASTERLY ALONG THE I-40 RIGHT-OF-WAY WALL, INSIDE THE PRESIDIO'S BOUNDARY TO THE UNNAMED WASH AND A MAJORITY PORTION OF THE RUNOFF DRAINS TOWARDS THE DOWNSTREAM STREET SECTIONS AND DISCHARGES INTO THE EXISTING DETENTION BASIN NO. 4.

WE PROPOSE TO PROVIDE A DETENTION BASIN TO ADDRESS ANY INCREASE IN RUNOFF COMPARED TO THE ORIGINAL REPORT'S DEVELOPED RUNOFF CURVE NUMBER OF 82. THIS RUNOFF DISCHARGE WILL BE CHANNELIZED ACROSS TRACT "U" TO A SET OF NEW SIDEWALK SCUPPERS AT THE CURVE ON MISSION TIMBER CIRCLE.



WEATHER AVERAGES CHART



SLOPES

THERE ARE NO SLOPES OVER 17% LOCATED WITHIN THE PROJECT AREA.

PRECIPITATION PATTERN NOTE

THERE ARE TWO DISTINCT PERIODS OF PRECIPITATION IN FLAGSTAFF. THE FIRST OCCURS DURING THE WINTER MONTHS FROM NOVEMBER THROUGH APRIL WHEN THE JET STREAM CAN BE LOCATED OVER THE STATE ALLOWING PACIFIC STORM SYSTEMS TO MOVE OVERHEAD. THE OTHER DISTINCT PERIOD IS CLASSIFIED AS THE SUMMER RAINY SEASON, OR "SUMMER MONSOON." THE MONSOON RAINY PERIOD USUALLY OCCURS DURING JULY AND AUGUST WHEN MOST OF ARIZONA IS SUBJECT TO WIDESPREAD THUNDERSTORM ACTIVITY. THESE THUNDERSTORMS ARE EXTREMELY VARIABLE IN INTENSITY AND LOCATION AND OCCUR MAINLY BETWEEN THE HOURS OF 11 a.m AND 6 p.m. SOME OF THESE STORMS CAN REACH SEVERE LEVELS, WITH LARGE HAIL, DAMAGING WINDS, AND OCCASIONALLY EVEN A TORNADO. (EXCERPT FROM THE CITY OF FLAGSTAFF SUSTAINABILITY PROGRAM RECOMMENDATIONS - CLIMATE SECTION - DATED OCTOBER 17, 2012)

SOIL PROPERTIES

SOILS ARE BROLIAR STONY CLAY LOAM BASED ON INFORMATION PROVIDED BY THE U.S DEPT. OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE - CUSTOM SOIL RESOURCE REPORT (DATED MARCH 26, 2020)

NOTE

THERE ARE NO PREHISTORIC OR HISTORIC SITES, STRUCTURES OR ROUTES LOCATED ON THE SUBJECT PARCELS.



PRELIMINARY
NOT FOR CONSTRUCTION
OR RECORDING

Mogollon ENGINEERING & SURVEYING
 PROJECT NO. 15159
 DATE: 12/20/22
 DESIGNED BY: FNI SHEET-14.DWG
 DRAWN BY: VERT SCALE: N/A
 CHECKED BY: KVH HOR SCALE: N/A
 AREA MAP
 MIRAMONTE AT PRESIDIO
 IN THE PINES VI CONDOMINIUMS
 12/20/22
 MES# 15159
 PRELIMINARY
 NOT FOR CONSTRUCTION
 OR RECORDING