

NOTICE AND AGENDA

HERITAGE PRESERVATION COMMISSION
WEDNESDAY
MARCH 20, 2024

STAFF CONFERENCE ROOM
211 WEST ASPEN AVENUE
4:00 P.M.

*In compliance with the Americans with Disabilities Act, if you need assistance to participate in this meeting, please contact staff at 928-213-2611 (or 774-5281 TDD).
Notification at least 48 hours in advance will enable the City to make reasonable arrangements.*

PUBLIC COMMENT PROTOCOL

To participate in the meeting virtually use the following link:
[Join the Meeting Online](#)

Heritage Preservation Commission meetings will be live streamed on the city website
(<https://www.flagstaff.az.gov/1461/Streaming-City-Council-Meetings>)

The public can submit comments that may be read at the dais by a staff member to the Commission liaison, michelle.mcnulty@flagstaffaz.gov.

1. Call to Order

NOTICE OF OPTION TO RECESS INTO EXECUTIVE SESSION

Pursuant to A.R.S. §38-431.02, notice is hereby given to the members of the Heritage Preservation Commission and to the general public that, at this regular meeting, the Heritage Preservation Commission may vote to go into executive session, which will not be open to the public, for legal advice and discussion with the City's attorneys for legal advice on any item listed on the following agenda, pursuant to A.R.S. §38-431.03(A)(3).

2. Roll Call

NOTE: One or more Commission Members may be in attendance telephonically or by other technological means.

EMILY DALE
SHELLI DEA
ABBEY BUCKHAM
ALYCIA HAYES

AMY HORN
BERNADETTE BURCHAM
DUFFIE WESTHEIMER

3. LAND ACKNOWLEDGEMENT

The Heritage Preservation Commission humbly acknowledges the ancestral homelands of this area's Indigenous nations and original stewards. These lands, still inhabited by Native descendants, border mountains sacred to Indigenous peoples. We honor them, their legacies, their traditions, and their continued contributions. We celebrate their past, present, and future generations who will forever know this place as home.

4. **Public Comment**

At this time, any member of the public may address the Commission on any subject within their jurisdiction that is not scheduled before the Commission on that day. Due to Open Meeting Laws, the Commission cannot discuss or act on items presented during this portion of the agenda. To address the Commission on an item that is on the agenda, please wait for the Chair to call for Public Comment at the time the item is heard.

5. **APPROVAL OF MINUTES**

- A. Approve the minutes of the [February 21, 2024](#) Heritage Preservation Commission.

REQUESTED ACTION:

Review and possible approval of minutes.

6. **PUBLIC HEARING**

- A. Yogurt Facade Grant Extension

Address: 3 E. Aspen Ave

Type of Approval: Facade Grant Extension

Staff: Sara Dechter

- B. Townsite Overlay Review - Schiefer Home

PROPERTY INFORMATION:

Address: 601 W Cherry Ave

Assessor's Parcel Number: 100-12-016

Property Owner: Schiefer

Applicant: Aude Stang for Schiefer

City Staff: MR HPO

REQUESTED ACTION:

The applicant has requested that the home be modified and improved to be more compatible in its appearance with other historic homes in the Townsite. This work includes Stucco over the CMU, malpais stone on the chimney and base. The project would also add decorative brackets on the eaves. A small roof addition at the side Bonito Street (east) entry is also proposed. The addition of exterior insulation and stucco allows CMU construction to be more efficient while improving compatible appearance.

RECOMMENDED ACTION:

Approve a Certificate of Appropriateness for 601 W Cherry Ave conditioned on the submitted plans for improvements.

C. Townsite Overlay - Collier/Houk 824 W Cherry Ave

PROPERTY INFORMATION:

Address: 824 W Cherry Ave
Assessor's Parcel Number: 100-01-003
Property Owner: Michael Collier/ Rose Houk
Applicant: Collier/Houk
City Staff: MR HPO

REQUESTED ACTION:

The applicant has requested that the home be improved to be more compatible in its appearance with other historic homes in the Townsite. This work includes 6" reveal horizontal siding and new fenestration trim. Soffits replaced with smooth hardiboard fiber cement product. Work also has the benefit of fire resistance within a forested area.

RECOMMENDED ACTION:

Approve a Certificate of Appropriateness for the submitted application for improvements to 824 W Cherry Ave.

D. Facade Grant - Match request, level 1- for Collier/Houk home

PROPERTY INFORMATION:

Address: 824 W Cherry Ave
Assessor's Parcel Number: 10001003
Property Owner: Michael Collier/Rose Houk
Applicant: Collier/Houk
City Staff: MR HPO

REQUESTED ACTION:

The applicant has requested a \$10,000 Match (level 1 funding) Historic Facade Grant for a \$ 36,000+ project to install work to provide a more historic appearance to a simple mid-century Vernacular Home within the Townsite Overlay. The grant request is to complete historically appropriate work to the home's façade.

RECOMMENDED ACTION:

RECOMMENDED MOTION

Approve a grant match request for the submitted plans for improvements to 824 W Cherry Ave, with consideration of the home's non-historic status in the amount of \$_____ (to be determined by HPC) that improves compatibility by meeting the Townsite's Design Criteria, Townsite Historic Design Review Overlay District Design Standards and Guidelines.

7. **MISCELLANEOUS ITEMS TO/FROM COMMISSION MEMBERS**

- A. Mark Reavis, Heritage Preservation Officer, visited the Church of The Nativity of the Blessed Virgin Mary located at 16 W Cherry Ave, Flagstaff, AZ 86001 on Wednesday, 03/06/24.
- B. Regional Plan Participation.

8. ADJOURNMENT

CERTIFICATE OF POSTING OF NOTICE

The undersigned hereby certifies that a copy of the foregoing notice was duly posted at Flagstaff City Hall on _____, at _____ a.m./p.m. This notice has been posted on the City's website and can be downloaded at www.flagstaff.az.gov.

Dated this _____ day of _____, 2024.

Mark Yarnall, Administrative Specialist



Heritage Preservation Commission

6. A.

Meeting Date: 03/20/2024

From: Mark Reavis, Heritage Preservation Officer and Neighborhood Planner

TITLE:

Yogurt Facade Grant Extension

PROPERTY INFO:

Address: 3 E. Aspen Ave

Type of Approval: Facade Grant Extension

Staff: Sara Dechter

FINDINGS:

This project was approved by the Commission in March 2024. The Historic Sign and Facade Grant Guidelines allow for applicants to request a one-year extension. The business owner has run into some hurdles this year and fundraising for the window project is ongoing. She has requested an extension in writing and still intends to complete the project in this calendar year.



Heritage Preservation Commission

6. B.

Meeting Date: 03/20/2024

From: Mark Reavis, Heritage Preservation Officer and Neighborhood Planner

TITLE:

Townsite Overlay Review - Schiefer Home

PROPERTY INFORMATION:

Address: 601 W Cherry Ave

Assessor's Parcel Number: 100-12-016

Property Owner: Schiefer

Applicant: Aude Stang for Schiefer

City Staff: MR HPO

REQUESTED ACTION:

The applicant has requested that the home be modified and improved to be more compatible in its appearance with other historic homes in the Townsite. This work includes Stucco over the CMU, malpais stone on the chimney and base. The project would also add decorative brackets on the eaves. A small roof addition at the side Bonito Street (east) entry is also proposed. The addition of exterior insulation and stucco allows CMU construction to be more efficient while improving compatible appearance.

RECOMMENDED ACTION:

Approve a Certificate of Appropriateness for 601 W Cherry Ave conditioned on the submitted plans for improvements.

ALTERNATIVE ACTIONS:

The Historic Preservation Commission (HPC) may:

- (1) Approve per the staff recommended motion -- or --
- (2) The Commission could request modifications to the proposal and include them as conditions of approval, such as including a letter report prior to demolition -- or --
- (3) Continue the HPC review to a date certain and ask the applicant to come back with a modified proposal that meets those conditions -- or -
- (4) Deny Certificate of Appropriateness and require Certificate of Economic Hardship or submittal of an alternative design that meets all Townsite Overlay Requirements.

HAS THERE BEEN PREVIOUS COMMISSION DECISION ON THIS:

Not contributing to Townsite Historic District, but in Townsite Overlay

Attachments

Application
Plan Set
examples



City of Flagstaff

Community Development Division

211 W. Aspen Ave

P: (928) 213-2618

Flagstaff, AZ 86001

F: (928) 779-7684

www.flagstaff.az.gov

HPC-C

Date Received	Application to Heritage Preservation for a Certificate within an Overlay	File Number
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Property Owner(s) ERIK SCHIEFER	Title	Phone 928-864-9522	Email Erik.Schiefer@nau.edu
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Mailing Address 601 W. CHERRY AVENUE, FLAGSTAFF AZ 86001	City, State, Zip
--	-------------------------

Applicant ARCHITECTURAL DESIGN STUDIO	Title	Phone 928-606-6735	Email audestang@archdstudio.com
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Mailing Address 114 N. SAN FRANCISCO ST, #207, FLAGSTAFF AZ 86001	City, State, Zip
---	-------------------------

Property Interest of Applicant(s) (Owner, contractual interest, or agent) ARCHITECTURAL DESIGNER
--

Site Address 601 W. CHERRY AVENUE, FLAGSTAFF AZ 86001	City, State, Zip
---	-------------------------

Project Name SCHIEFER-STAN RESIDENCE
--

Parcel Number(s) 100-12-016	Zoning District(s), including Overlays R1N, TOWNSITE HISTORIC DISTRICT
---------------------------------------	--

Property Information:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Listed individually on the National or Arizona Register of Historic Places? (Name: _____)
	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Located in a National Register Historic District? (Name: TOWNSITE _____)
	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Is a structure on the property considered contributing to the District?
	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Located in a Historic or Landmark Overlay? (Name: TOWNSITE _____)
	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Is the structure over 50 years old at the time of application?
	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Does this application include review of a sign in an overlay or the Central Sign District?

Type of HPC Application Requested:	<input type="checkbox"/> Certificate of No Effect (May be reviewed by the Heritage Preservation Officer or the Commission) <input checked="" type="checkbox"/> Certificate of Appropriateness (Must be reviewed by the Heritage Preservation Commission) <input type="checkbox"/> Certificate of Economic Hardship (Must be reviewed by the Heritage Preservation Commission)
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Note: Applications which are incomplete or not accompanied by the required information will not be accepted.

Property Owner Signature: 	Date: 2/26/24	Applicant Signature: 	Date: 2/26/24
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For City Use

Date Filed: _____	HPC Hearing Date: _____
Fee Receipt #: _____	Amount: _____ Date: _____

Action by HPC:	<input type="checkbox"/> Denied <input type="checkbox"/> Continued
<input type="checkbox"/> Consent Approval by HPO <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions	Staff Initial: _____ Date: _____



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HPC-C

Date Received	Application to Heritage Preservation for a Certificate within an Overlay		File Number
Property Owner(s) ERIK SCHIEFER	Title	Phone 928-864-9522	Email Erik.Schiefer@nau.edu
Mailing Address 601 W. CHERRY AVENUE, FLAGSTAFF AZ 86001		City, State, Zip	
Applicant ARCHITECTURAL DESIGN STUDIO	Title	Phone 928-606-6735	Email audestang@archdstudio.com
Mailing Address 114 N. SAN FRANCISCO ST, #207, FLAGSTAFF AZ 86001		City, State, Zip	
Property Interest of Applicant(s) (Owner, contractual interest, or agent) ARCHITECTURAL DESIGNER			
Site Address 601 W. CHERRY AVENUE, FLAGSTAFF AZ 86001		City, State, Zip	
Project Name SCHIEFER-STAN RESIDENCE			
Parcel Number(s) 100-12-016		Zoning District(s), including Overlays R1N, TOWNSITE HISTORIC DISTRICT	
Property Information:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Listed individually on the National or Arizona Register of Historic Places? (Name: _____)		
	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Located in a National Register Historic District? (Name: <u>TOWNSITE</u>)		
	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Is a structure on the property considered contributing to the District?		
	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Located in a Historic or Landmark Overlay? (Name: <u>TOWNSITE</u>)		
	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Is the structure over 50 years old at the time of application?		
	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Does this application include review of a sign in an overlay or the Central Sign District?		
Type of HPC Application Requested:	<input type="checkbox"/> Certificate of No Effect (May be reviewed by the Heritage Preservation Officer or the Commission)		
	<input checked="" type="checkbox"/> Certificate of Appropriateness (Must be reviewed by the Heritage Preservation Commission)		
	<input type="checkbox"/> Certificate of Economic Hardship (Must be reviewed by the Heritage Preservation Commission)		
Note: Applications which are incomplete or not accompanied by the required information will not be accepted.			
Property Owner Signature:	Date: 2/26/24	Applicant Signature:	Date: 2/26/24
For City Use			
Date Filed: _____		HPC Hearing Date: _____	
Fee Receipt #: _____		Amount: _____	Date: _____
Action by HPC:	<input type="checkbox"/> Consent Approval by HPO <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions	<input type="checkbox"/> Denied <input type="checkbox"/> Continued	Staff Initial: _____ Date: _____

Submittal Requirements

An application to the Heritage Preservation Commission and Historic Preservation Officer shall contain at least the following information:

- 1. Completed Application including all signatures and payment of fees. If applying for multiple types of HPC reviews only one fee is collected at the time of the first application for the same work.
- 2. An electronic copy and one copy of drawings or documents as needed to describe the proposal, which may include a Site Plan, Floor Plans, Exterior Elevations, Building Sections, Exterior Details, Lighting Plan, and a Landscape Plan. All drawings shall be drawn to scale and dimensioned and shall clearly and accurately represent the natural and built conditions of the context area and the project, including both existing conditions and proposed work.
- 3. Photographs of the context, including the property, surrounding properties, and the neighborhood.
[included in the plan set](#)
- 4. A Color Board depicting all exterior materials and finishes associated with the work (if requested).
[included in the plan set](#)
- 5. A list of related permits and development applications that have been or will need to be submitted.
[will need to submit for a building permit](#)
- 6. Proof of ownership, or letter of authorization from the current property owner, if the applicant and owner are not the same. [deed included below](#)
- ~~• 7.~~ Statement of approval from a subdivision or property owners association, if applicable.
- ~~• 8.~~ Any other information which the applicant feels would be helpful and/or pertinent to the request.
- ~~• 9.~~ Any other information as may be required by the Historic Preservation Officer or Heritage Preservation Commission to assist in the review of the requested application.

Timing of Submission and Completeness Review

The Heritage Preservation Commission meets to review applications monthly on the third Wednesday of the month. If you are submitting an application for review of a Certificate of Appropriateness, a Certificate of Economic Hardship, Community Development must receive your application by the submittal deadline posted to the [Heritage Preservation program website](#).

For your item to be added to an agenda, the Heritage Preservation Officer (HPO) must deem the application complete and the information in it correct within 5 working days. The HPO will contact applicants for additional information as necessary.

Please also note that per the Flagstaff Zoning Code, the HPO refer any application, including Certificates of No Effect to the Commission for any reason. If the HPO refers the application, you will not need to resubmit, but additional materials may be requested.

Applications pertaining to Certificates for properties with the Townsite Overlay Zone must also be properly noticed 15 days prior to the public hearing in accordance with *Section J of the Townsite Historic Design Review Overlay District Design Standards and Guidelines*.

Approval of a Certificate does not indicate a final approval of site plans, building plans, permanent sign permits and other applications that will be required prior to demolition, modification, or construction. Approval of all Certificates will be conditioned on their conformance with Zoning Code and Building Code standards. The Heritage Preservation Officer may elect to hold an application until a review by the InterDivision staff is completed and substantive comments have been provided to the applicant.

If this application includes the review of a sign within the Downtown Overlay, Central Sign District or the Townsite Overlay, a permanent sign application must be submitted prior to the submission of the HPC-C application and the comments provided in that review should be attached to this application.

We encourage you to reach out early in designing your projects so that the HPO may assist you and your clients. HPO contact information: Mark Reavis, Phone: (928) 213-2633; Email: Mark.Reavis@flagstaffaz.gov



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HPC-C

Project Description

REMODEL-ADDITION ON AN EXISTING SINGLE STORY HOME w/ ATTACHED 2-CAR GARAGE, PROVIDING A NEW DINING ROOM, FLEX ROOM, LAUNDRY-MUD ROOM & POWDER ROOM AS WELL AS A NEW COVERED PATIO TO THE EAST FOR THE SIDE ENTRY AND AN EXPENSION OF THE BACK DECK.
EXTERIOR OF STRUCTURE TO BE SIDED w/ SYNTHETIC STUCCO, CORBELS TO BE ADDED AT GABLE ENDS, NEW 4" TRIM AROUND OPENINGS & MALPAIS STONE VENEER TO BE ADDED AT CHIMNEY & UP TO BOTTOM PATIO SLAB AS SHOWN ON ELEVATIONS.
(344 SF TO BE CONVERTED FROM GARAGE TO LIVABLE. 100 SF OF NEW LIVABLE, 430 SF OF NEW GARAGE & 142 SF OF NEW DECK TO BE ADDED)

Explanation of how the project meets the applicable overlay and relevant sections of the Zoning Code

THE EXISTING STRUCTURE IS A CLASSIC POST WWII BUILDING WITH "PINKISH" CONCRETE BLOCK CONSTRUCTION MAKING THE MATERIAL SOMEWHAT INTRUSIVE TO THE TOWNSITE DISTRICT.
QUITE A FEW PROPERTIES WITHIN THE CLOSE SURROUNDING AREA ARE CLASSIC STUCCO BUNGALOWS & CRAFTSMAN.
THE NEW STUCCO SIDING, THE ADDED WOOD CORBELS AT THE GABLE ENDS, THE WOOD TRIM AROUND THE OPENINGS AND THE MALPAIS STONE VENEER AT THE EXISTING CHIMNEY & SOME OF THE STEM WALLS, WILL MAKE THE PROJECT MORE COMPATIBLE WITH THE DISTRICT.
THE USE OF STUCCO WILL ALSO ADD THE NEEDED INSULATION MAKING THE HOUSE MORE ENERGY EFFICIENT.
THE SIDE ENTRY ON BONITO WILL HAVE A SIMILAR ROOF LINE AS THE MAIN ENTRY ON CHERRY TO ENHANCE THE EAST ELEVATION WITHOUT REMOVING ITS CONNECTION WITH CHERRY AVENUE.
THE EXTENSION TOWARD THE SOUTH OF THE PROPERTY WILL ALLOW FOR A MORE APPROPRIATE ROOF LINE FOR OUR CLIMATE (PROVIDING SPACE FOR THE VALLEYS TO DRAIN EASILY) WHILE IN KEEPING WITH THE ORIGINAL SCALE OF THE HOUSE AND THE DISTRICT (THE HEIGHT OF THE ADDITION WILL MATCH THE RIDGE OF THE EXISTING STRUCTURE).
THE STUCCO COLOR WILL BE NEUTRAL WITH WARMTH ADDED WITH THE STAIN WOOD ELEMENTS (POSTS, BEAMS, CORBELS) AND MALPAIS STONE VENEER. WINDOW & ROOF COLORS WILL REMAIN AS IS.

Insert additional pages if necessary



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Summary Statement of Significance:

National Register of Historic Places documentation or a Cultural Resource Study can be submitted in lieu of completing this page to demonstrate significance (Attach additional pages as necessary).

The significance of a resource is generally based on its potential to contribute to our understanding of the past. An object, structure, site, place, or area is significant if:

- a. It is associated with events or persons in the architectural, engineering, archeological, scientific, technological, economic, agricultural, educational, social, political, military, or cultural annals of the City of Flagstaff, the State of Arizona, or the United States of America.
- b. It embodies distinctive characteristics of type, period, region, artistic values, or methods of construction, including being the oldest of its type or the best example of its type, or, if it represents the work of, or for, an important individual.
- c. A resource is generally not significant if it is less than fifty (50) years old, or, if the features, materials, patterns, and relationships that establish its significance are no longer present or no longer have integrity. The integrity of a resource is judged by how evident the general character of the significant period is, the degree to which the characteristics that define its significance are present, and the degree to which incompatible elements are reversible.

Original Construction Date: 1956

Describe Previous Major Alterations (Include dates and changes of use):

Describe the Significance of the Resource (In terms of a. or b., and c., above):
STRUCTURE IS MADE OF PINKISH CONCRETE BLOCKS, CLASSIC OF A POST WWII HOUSE
WHICH IS NOT VERY COMPATIBLE WITH THE TOWNSITE DISTRICT.

Source(s) of Information Used:

Describe the Level of Integrity of the Resource (Existing and proposed):



at the request of Pioneer Title Agency, Inc.

When recorded mail to
Erik Schiefer
601 W. Cherry Ave.
Flagstaff, AZ 86001

00857903-WEE

Tax Code: 100-12-016

WARRANTY DEED

For the consideration of Ten Dollars, and other valuable consideration, I or we,
Adrienne W. Quinn, A Married Woman, as her Sole and Separate Property
do/does hereby convey to
Erik Schiefer, A Single Man and Amanda Stan, A Single Woman
the following real property situated in Coconino County, Arizona:
See Exhibit A attached hereto and made a part hereof.

SUBJECT TO: Current taxes and other assessments, reservations in patents and all easements, rights of way, encumbrances, liens, covenants, conditions, restrictions, obligations and liabilities as may appear of record.

The Grantor warrants the title against all persons whomsoever.

DATED this 15th day of April, 2010

Adrienne W. Quinn

Adrienne W. Quinn

State of Arizona

} ss.

County of Coconino

The foregoing instrument was acknowledged before me this 22nd day of April, 2010, by **Adrienne W. Quinn**.

Winnie Eubanks
NOTARY PUBLIC



My commission

00857903-WEE

Joint Tenancy Acceptance

THAT CERTAIN DEED DATED 4-15-2010, Wherein

Adrienne W. Quinn, A Married Woman, as her Sole and Separate Property

as Grantors, convey to

Erik Schiefer, A Single Man and Amanda Stan, A Single Woman

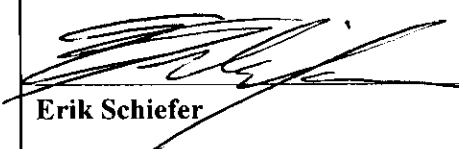
not as tenants in common and not as community property estate, but as joint tenants with right of survivorship, the property legally described as:

The East 85 feet of Lots 19, 20, 21 and 22, Block 3F, TOWNSITE OF FLAGSTAFF, as shown on the plat thereof, recorded in Book 1 of Maps, Page 16, records of Coconino County, Arizona;

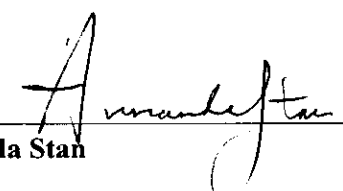
EXCEPT that no title shall be acquired to any mine of gold, silver, cinnabar or copper or to any valid claim or possession held under existing laws of Congress.

is hereby accepted and approved by the undersigned grantees, therein, it being their intention to acquire said property as joint tenants with the right of survivorship, and not as community property and not as tenants in common and not as community property with right of survivorship.

Dated this 19th day of April, 2010



Erik Schiefer



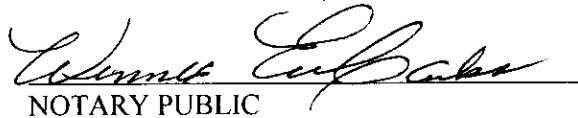
Amanda Stan

State of Arizona

} ss.

County of Coconino

The foregoing instrument was acknowledged before me this 19th day of April, 2010, by **Erik Schiefer and Amanda Stan.**



NOTARY PUBLIC

My commission expires: 11-12-2013

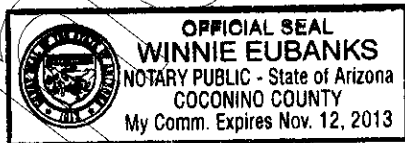


Exhibit A

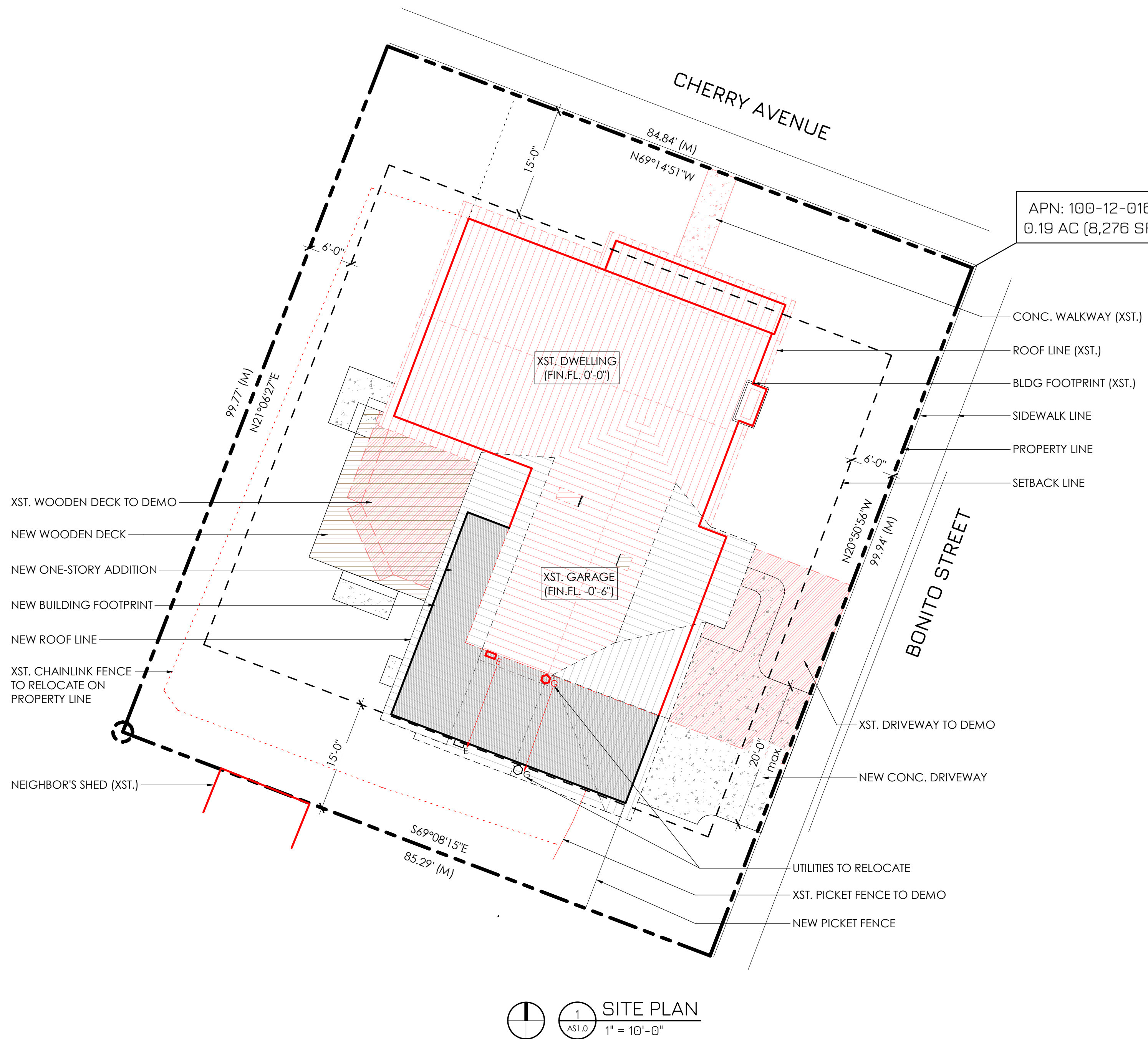
The East 85 feet of Lots 19, 20, 21 and 22, Block 3F, TOWNSITE OF FLAGSTAFF, as shown on the plat thereof, recorded in Book 1 of Maps, Page 16, records of Coconino County, Arizona;

EXCEPT that no title shall be acquired to any mine of gold, silver, cinnabar or copper or to any valid claim or possession held under existing laws of Congress.

Unofficial Copy



3D VIEW NEW



1 SITE PLAN
1" = 10'-0"

GENERAL NOTES

LOCATION: 601 W. CHERRY AVENUE
FLAGSTAFF, AZ 86001

APN: 100-12-016

OWNER: ERIC & AMANDA SCHIEFER-STAN
601 W. CHERRY AVENUE
FLAGSTAFF, AZ 86001

PROJECT DESCRIPTION: NEW REMODEL-ADDITION ON AN EXISTING SINGLE STORY HOME w/ ATTACHED 2-CAR GARAGE, PROVIDING A NEW DINING ROOM, FLEX ROOM, LAUNDRY-MUD ROOM & POWDER ROOM AS WELL AS A NEW COVD PATIO TO THE EAST AND AN EXPENSION OF THE BACK DECK. EXISTING BATHROOMS & KITCHEN TO BE REMODELED. EXTERIOR OF STRUCTURE TO BE SIDED w/ SYNTHETIC STUCCO, CORBELS TO BE ADDED AT GABLE ENDS, NEW 4" TRIM AROUND OPENINGS & MALPAIS STONE VENEER TO BE ADDED AT CHIMNEY & UP TO BOTTOM PATIO SLAB AS SHOWN ON ELEVATIONS. (344 SF TO BE CONVERTED FROM GARAGE TO LIVABLE, 100 SF OF NEW LIVABLE, 430 SF OF NEW GARAGE & 142 SF OF NEW DECK TO BE ADDED)

ZONING: R1N w/ TOWNSITE HISTORIC DISTRICT

LOT AREA: 0.19 AC. (8,276 SF)

MAX. LOT COVERAGE: 35%

BUILDING FOOTPRINT: 2,699 SF (2,076 SF XST. + 623 SF NEW)

SITE COVERAGE: 32.6% (25% XST. + 7.6% NEW)

SQUARE FOOTAGE

LIVABLE	
XST. LIVABLE	1331 SF
NEW LIVABLE FROM XST. GARAGE	344 SF
NEW LIVABLE	100 SF
	1775 SF
NON-LIVABLE GARAGE	
XST. REMAINING GARAGE	298 SF
NEW GARAGE	430 SF
	728 SF
NON-LIVABLE OUTDOOR	
XST. COVD PATIO	103 SF
NEW COVD PATIO	40 SF
XST. REMAINING DECK	254 SF
NEW COVD DECK FROM XST. DECK	52 SF
NEW DECK	142 SF
	591 SF

SITE PLAN NOTES

- ALL BOUNDARIES & EASEMENTS SHOWN ARE BASED ON COCONINO COUNTY, CITY OF FLAGSTAFF GIS SITES & A PROFESSIONAL SURVEY.
- PHOTOVOLTAIC SYSTEM PERMITS BY OTHERS
- NEW WATER DISTRIBUTION PIPING MATERIAL SHALL BE TYPE L COPPER MIN.
- NEW WATER LINES IN UN-CONDITIONED SPACE REQUIRE ADEQUATE PROVISIONS AND WILL BE MADE TO PROTECT SUCH PIPE FROM FREEZING.
- NEW WATER THROUGH CONCRETE OR MASONRY SHALL BE HARD SLEEVED. THE ANNULAR SPACES ARE TO BE FILLED OR TIGHTLY CAULKED, FIRE CAULKED IN FIRE-RATED ASSEMBLIES.
- NEW EXTERIOR WATER LINES SHALL BE INSTALLED A MIN. DEPTH OF 36".
- NEW GAS SERVICE ENTRANCE PIPING SHALL EMERGE OUT OF GROUND BEFORE ENTERING ANY FOUNDATION WALL OF BASEMENT OR CRAWL SPACE. GAS PIPING SHALL NOT BE INSTALLED IN OR ON THE GROUND UNDER ANY BUILDING OR STRUCTURE.
- ALL NEW STRUCTURES SERVED BY GAS SHALL HAVE AN APPROVED EXTERIOR BALL VALVE GAS SHUTOFF ON THE PIPING, LOCATED OUTSIDE AND ADJACENT TO THE BUILDING NEAR WHERE THE PIPING ENTERS INTO THE BUILDING. ON DISCHARGE SIDE OF THIS GAS SHUTOFF VALVE, AN ISOLATING TYPE UNION SHALL BE INSTALLED.
- CONTRACTOR IS REQUIRED TO CONTROL EROSION, SEDIMENT, DEBRIS, & WASTE DURING CONSTRUCTION.
- NO DRAINAGE OR RUN-OFF WILL BE DIVERTED TO ADJACENT PROPERTIES.
- WHEN FEASIBLE, SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW THE INSTALLATION OF A DUAL POLE CIRCUIT BREAKER FOR FUTURE SOLAR ELECTRICAL INSTALLATION AND SHALL BE LABELED "FOR FUTURE SOLAR ELECTRIC".
- AT LEAST ONE REQUIRED GARAGE RECEPTACLE SHALL BE A 208/240-VOLT INDIVIDUAL BRANCH CIRCUIT FOR PURPOSES OF ELECTRIC VEHICLE (EV) CHARGING. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL PROVIDE A 50-AMPERE MIN. DEDICATED BRANCH CIRCUIT AND A BRANCH CIRCUIT OVERCURRENT DEVICE. ELECTRIC VEHICLE SUPPLY EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH 2017-NFPA 70/NEC



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REMODEL & ADDITION FOR
SCHIEFER-STAN RESIDENCE
601 W CHERRY AVE
FLAGSTAFF, ARIZONA 86001

HPC REVIEW

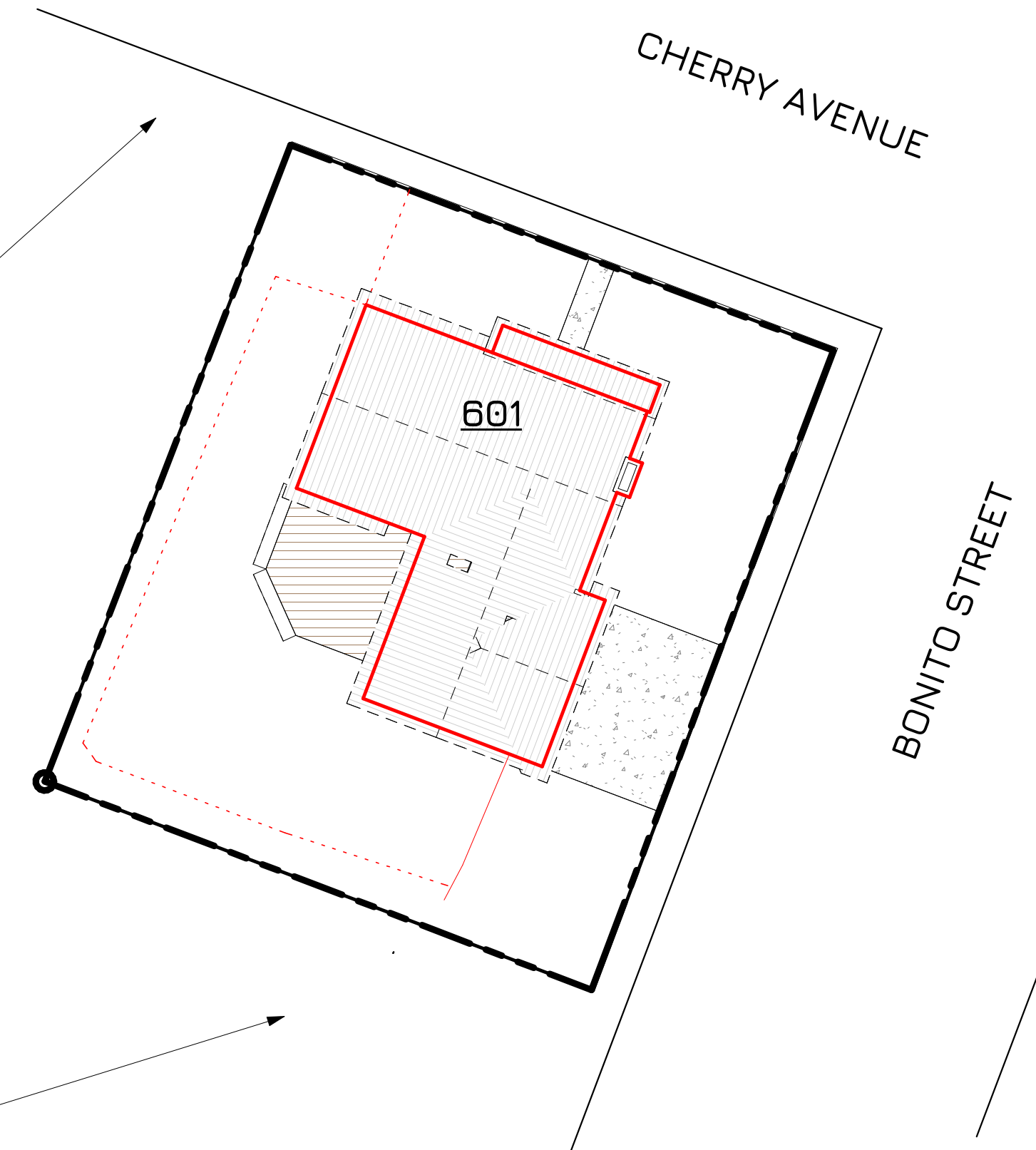
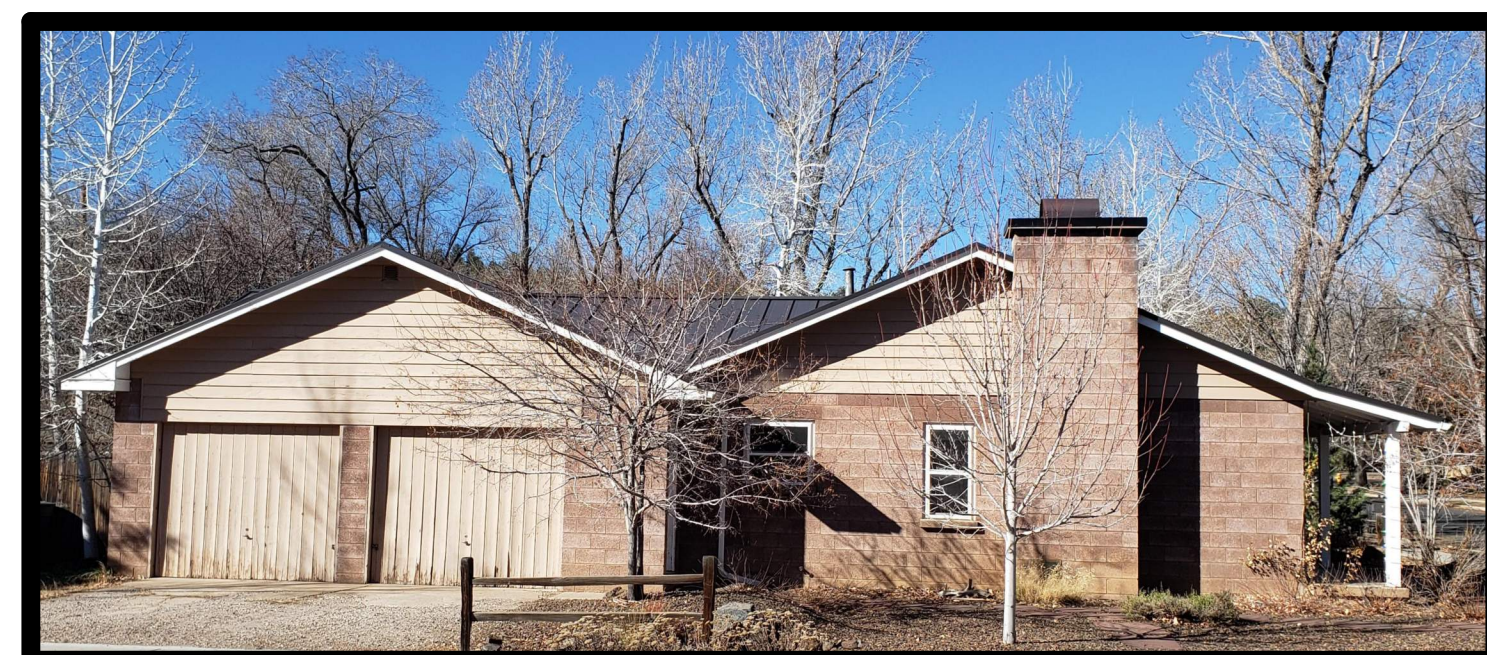
PROJECT NUMBER:
2401
DATE:
FEBRUARY 26, 2024
SHEET:

AS1.0

SITE PLAN

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601 W. CHERRY AVENUE



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SITE PLAN
NEIGHBOR'S HOUSES

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REMODEL & ADDITION FOR
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 601 W CHERRY AVE
 FLAGSTAFF, ARIZONA 86001

HPC REVIEW

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2401

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FEBRUARY 26, 2024

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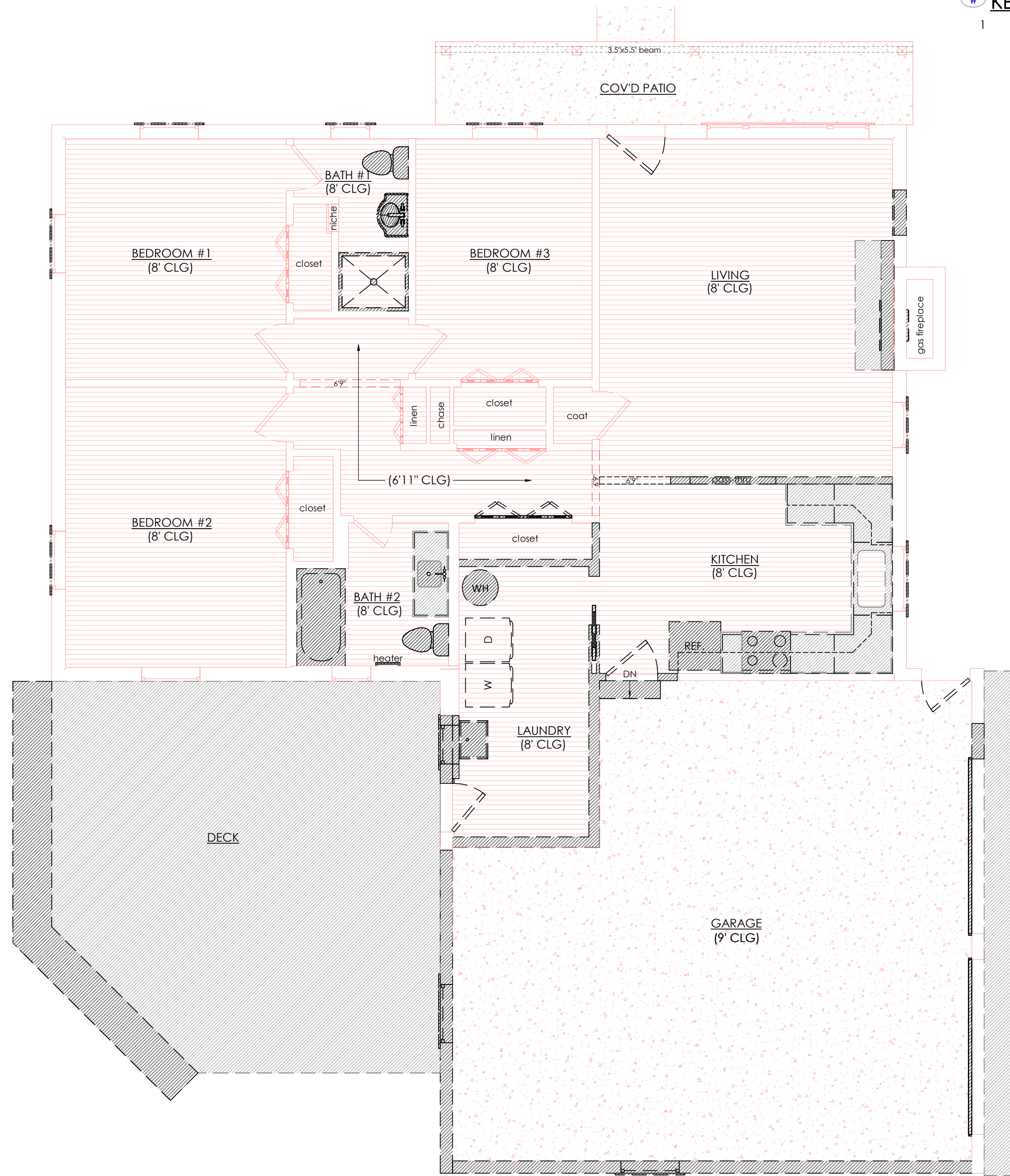
A1.0

DEMO & NEW FLOOR PLANS

3 of 5

KEYNOTES - LOWER FL. PL.

- 1 XST. ATTIC ACCESS



1 DEMO FLOOR PLAN
 1/4" = 1'-0"

FLOOR PLAN LEGEND

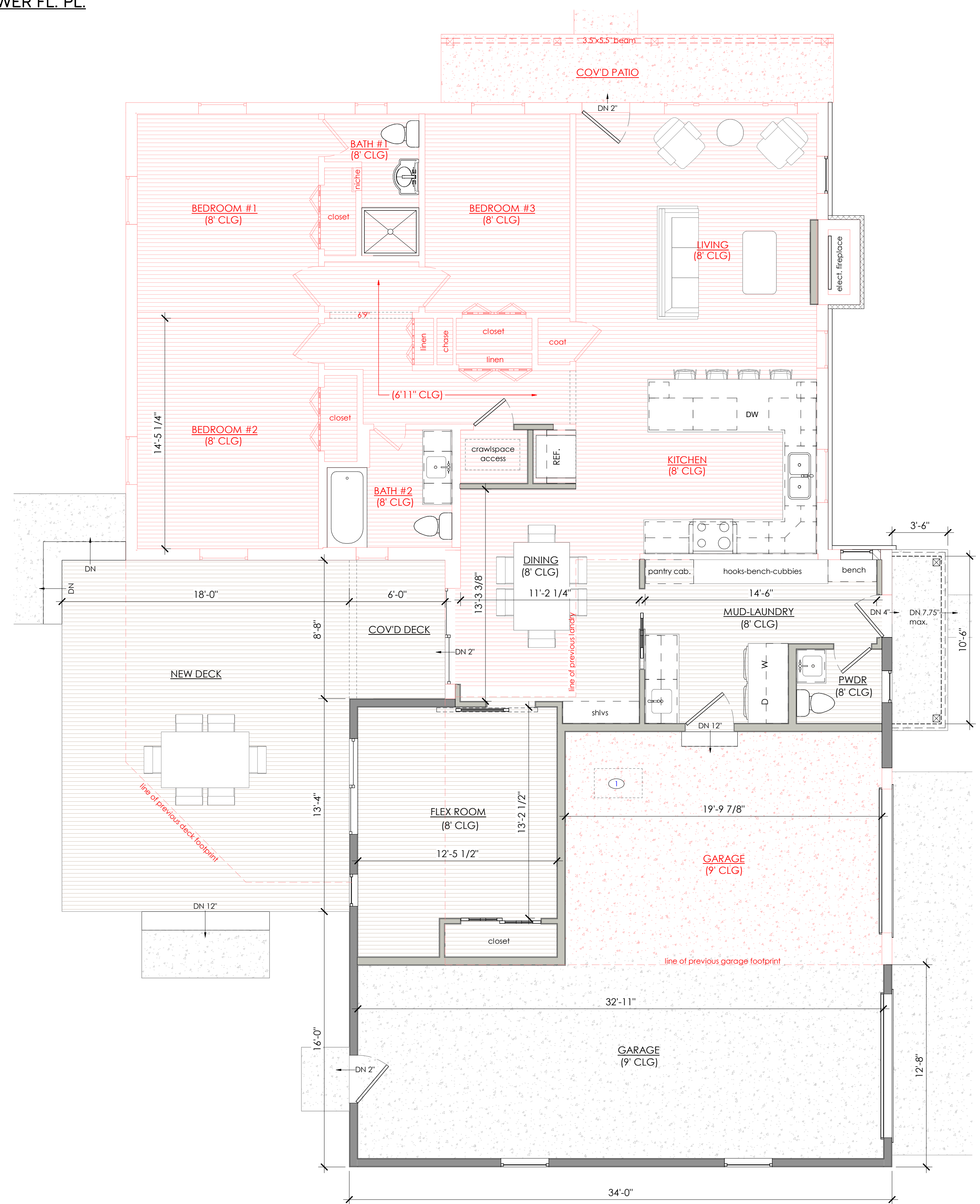
- FULL HEIGHT EXTERIOR 2x6 WOOD STUD WALL, REF. STRUCT. DWG'S. TYP.
- FULL HEIGHT INTERIOR 2x6 OR 2x4 WOOD STUD WALL, REF. STRUCT. DWG'S. TYP.
- PARTIAL HEIGHT 2x4, 2x6 WOOD STUD WALL, REF. STRUCT. DWG'S. TYP.
- EXIST. FEATURES TO REMAIN
- EXIST. FEATURES TO BE DEMOLISHED
- FEATURES ABOVE
- WOOD COLUMN, REF. STRUCT. DWG'S. TYP.
- TEMPERED GLASS

FLOOR PLAN NOTES

- REF. STRUCT. DWG'S. FOR ALL HEADERS, BEAM SIZES & CONNECTORS, TYP.
- DIMENSIONS FROM EXT. WALL START FROM EXT. FACE OF EXT. SHEATHING, ALIGN W/ EXT. FACE OF STEM WALL.
- COORDINATE W/ OWNER FOR DESIGN OF ALL BUILT-INS, TYP.
- CONTRACTOR SHALL CONTACT DESIGNER PRIOR TO CONSTRUCTION IF DISCREPANCY OCCURS W/ DIMENSIONS.
- RUN CONTINUOUS MOISTURE RESISTANT 1/2" GYP. BD. BEHIND SHOWER & TUB o/ INSIDE FACE OF EXTERIOR WALL.
- RUN CONTINUOUS VAPOR BARRIER, TYVEK or SIM. BEHIND FIREPLACE ON INSIDE FACE OF EXTERIOR WALL.
- PROVIDE WATER HAMMER ARRESTORS AT ALL QUICK CLOSING VALVES SUCH AS DISHWASHER, ICE MAKER, WASHING MACHINE...
- IF NO DIMENSIONS ARE SHOWN FOR INT. DOORS, LOCATE TO BE CENTERED IN PLACE.

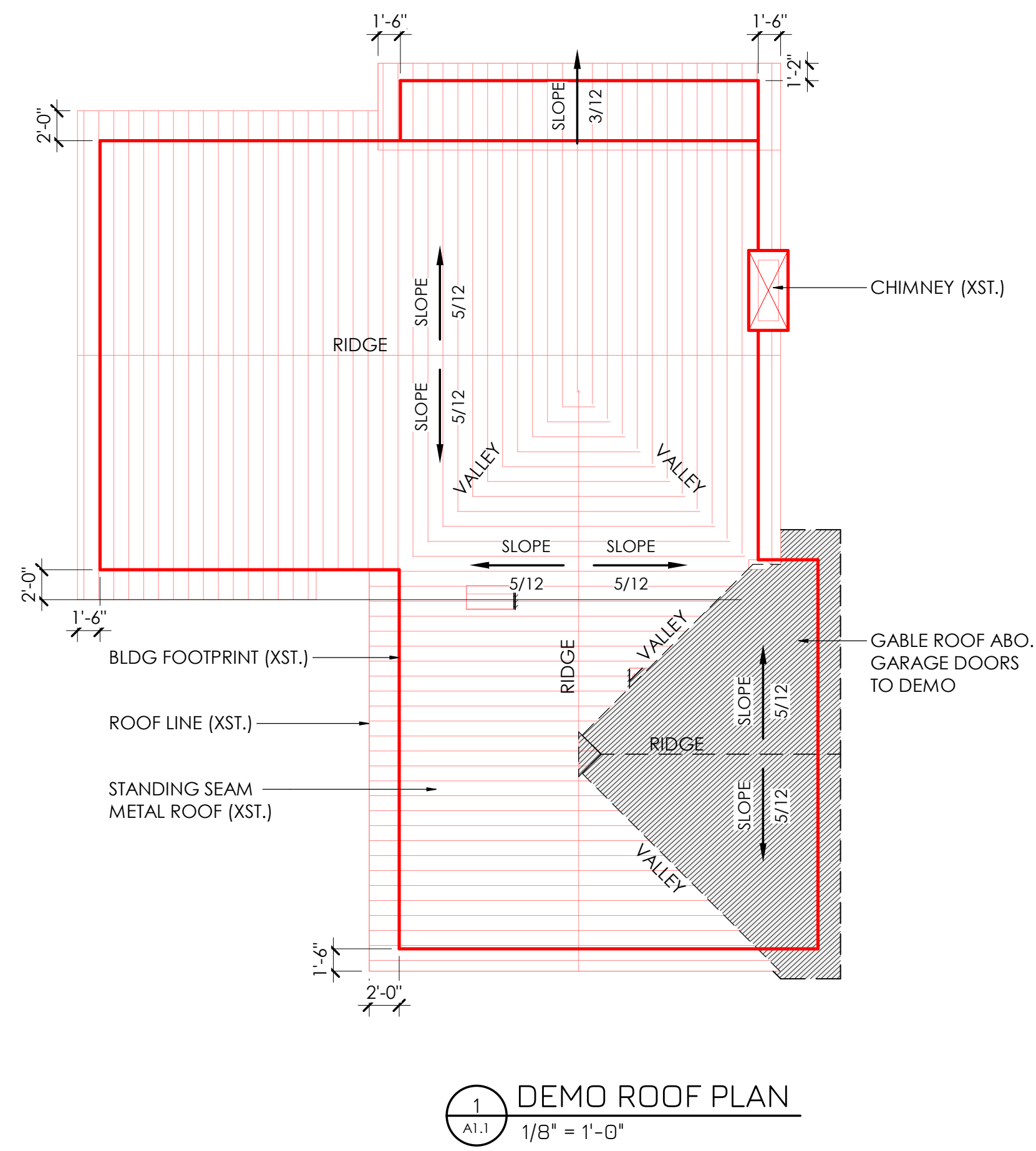
SQUARE FOOTAGE

LIVABLE	
XST. LIVABLE	1331 SF
NEW LIVABLE FROM XST. GARAGE	344 SF
NEW LIVABLE	100 SF
	1775 SF
NON-LIVABLE GARAGE	
XST. REMAINING GARAGE	298 SF
NEW GARAGE	430 SF
	728 SF
NON-LIVABLE OUTDOOR	
XST. COVD PATIO	103 SF
NEW COVD PATIO	40 SF
XST. REMAINING DECK	254 SF
NEW COVD DECK FROM XST. DECK	52 SF
NEW DECK	142 SF
	591 SF

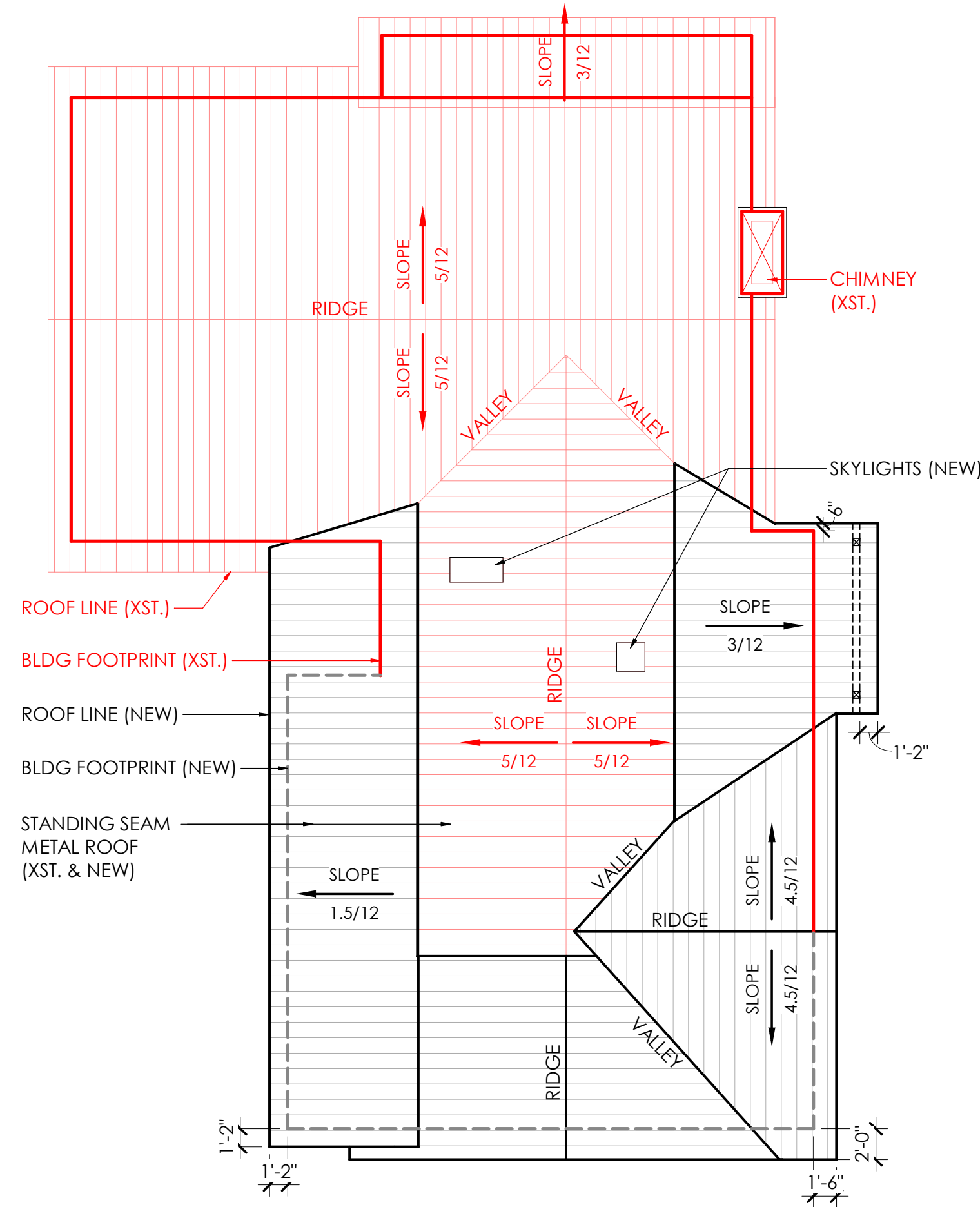


2 NEW FLOOR PLAN
 1/4" = 1'-0"

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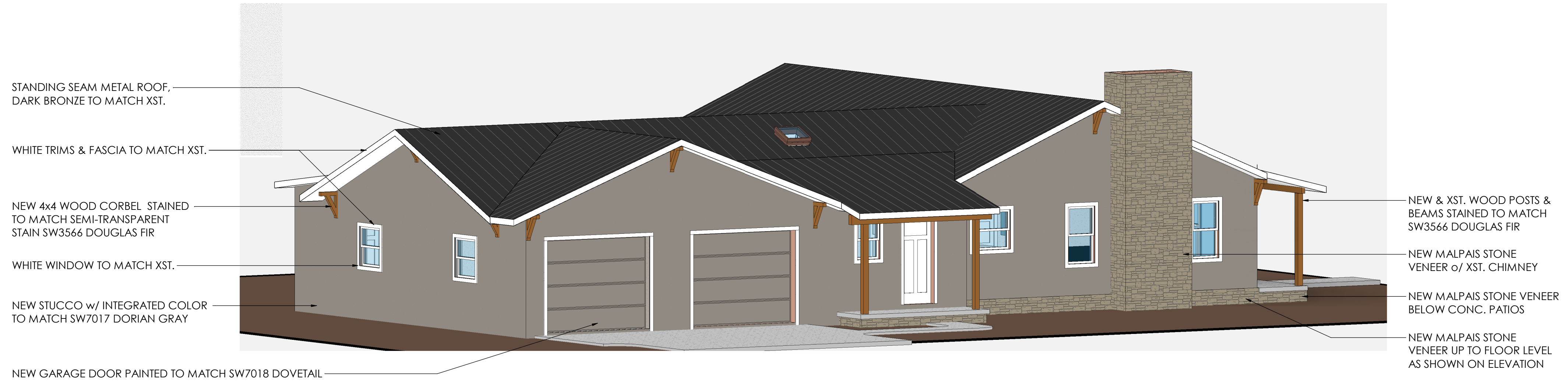
1 DEMO ROOF PLAN
1/8" = 1'-0"



2 NEW ROOF PLAN
1/8" = 1'-0"

- ROOF PLAN NOTES**
1. ALL XST. OVERHANG TO BE VERIFIED BY CONTRACTOR
 2. ALL XST. ROOF PITCH TO BE VERIFIED BY CONTRACTOR
 3. PROVIDE FIRE RESISTIVE UNDERLAYMENT UNDER METAL ROOF.
 4. PROVIDE ICE & WATER SHIELD @ OVERHANGS TO 24" INSIDE EXTERIOR WALLS AND ALL RIDGES & VALLEYS.
 5. PROVIDE GUTTER & DOWNSPOUTS. COORDINATE w/ OWNER FOR FINAL DESIGN AND LOCATION OF DOWNSPOUTS.

EXTERIOR COLOR PALETTE



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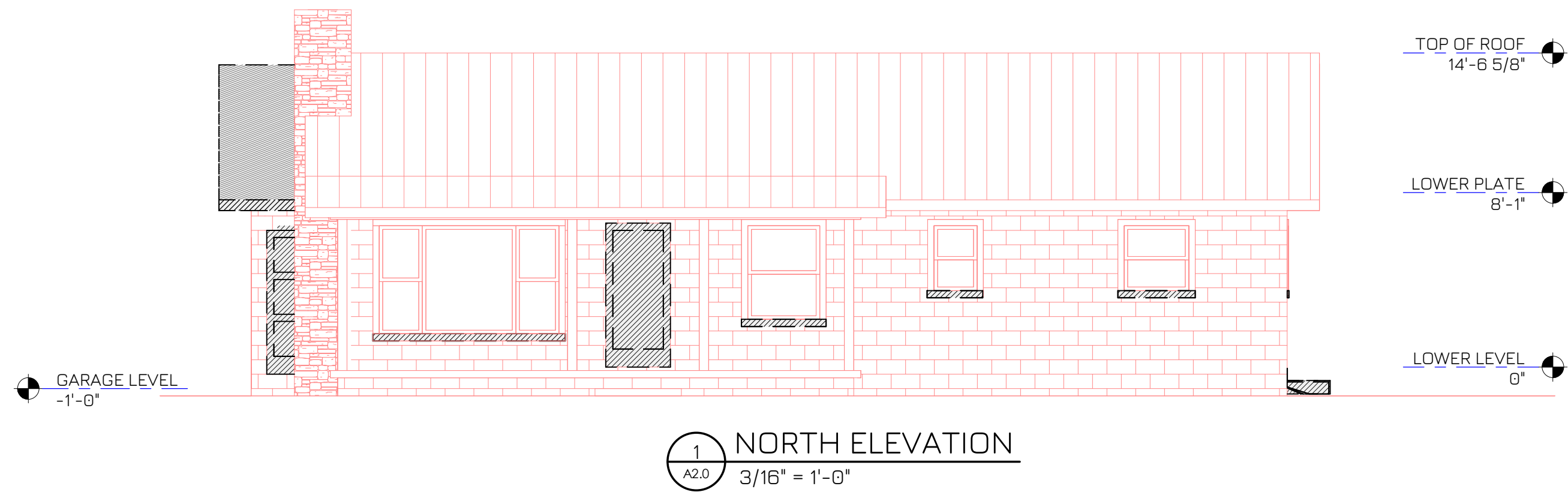
HPC REVIEW

PROJECT NUMBER:	2401
DATE:	FEBRUARY 26, 2024
SHEET:	A1.1

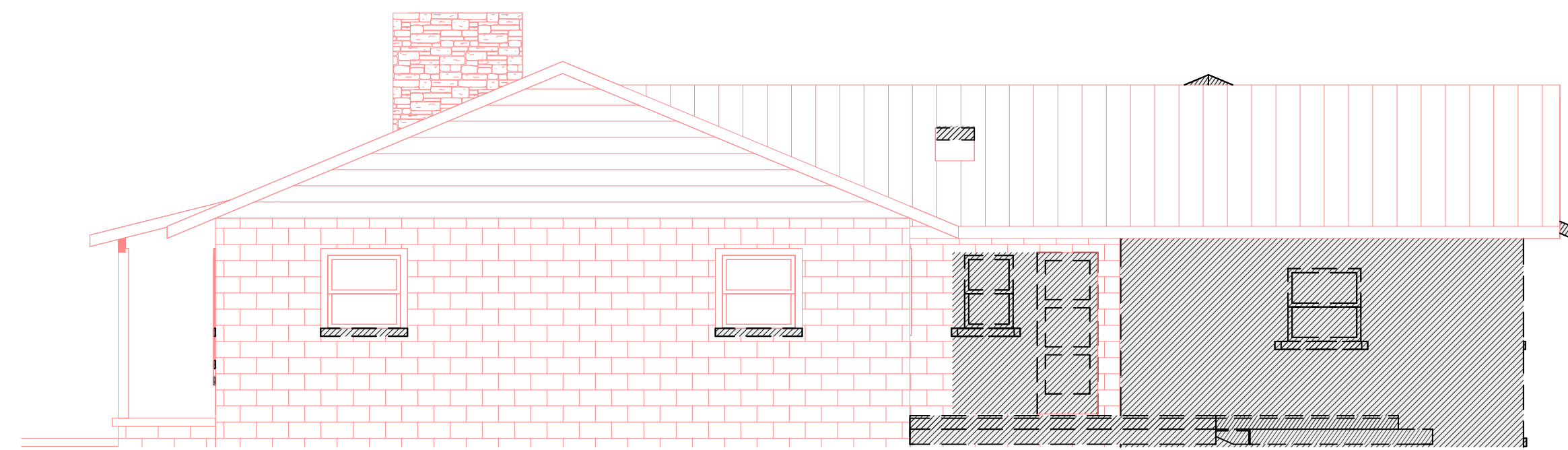
A1.1
DEMO & NEW ROOF
PLANS & EXT. COLOR
PALETTE

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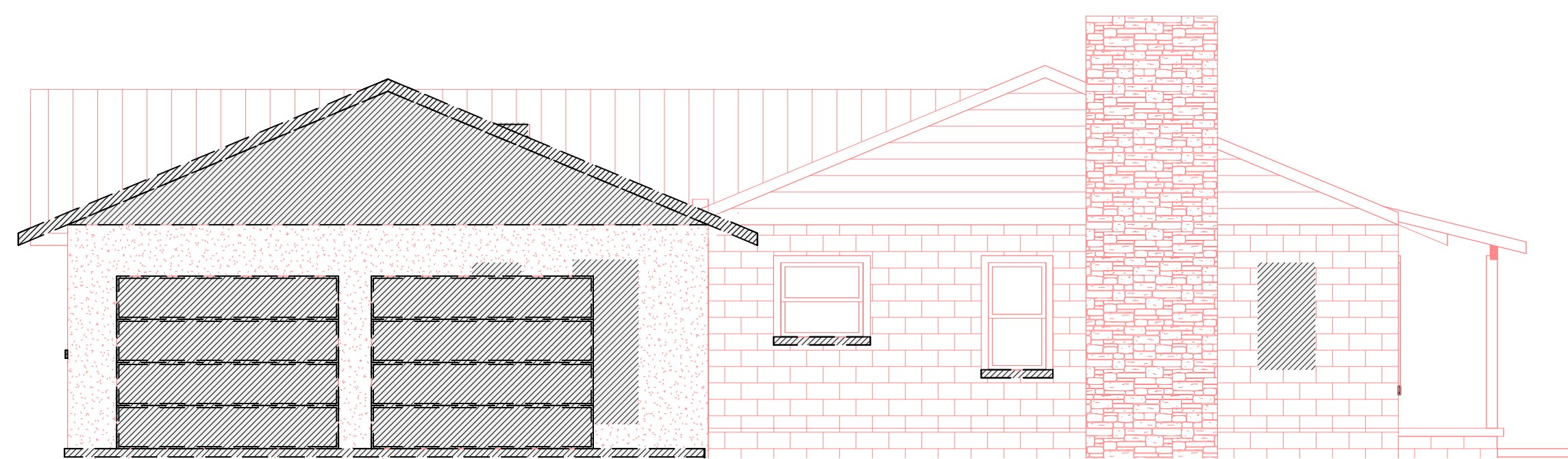
XST. & DEMO ELEVATIONS



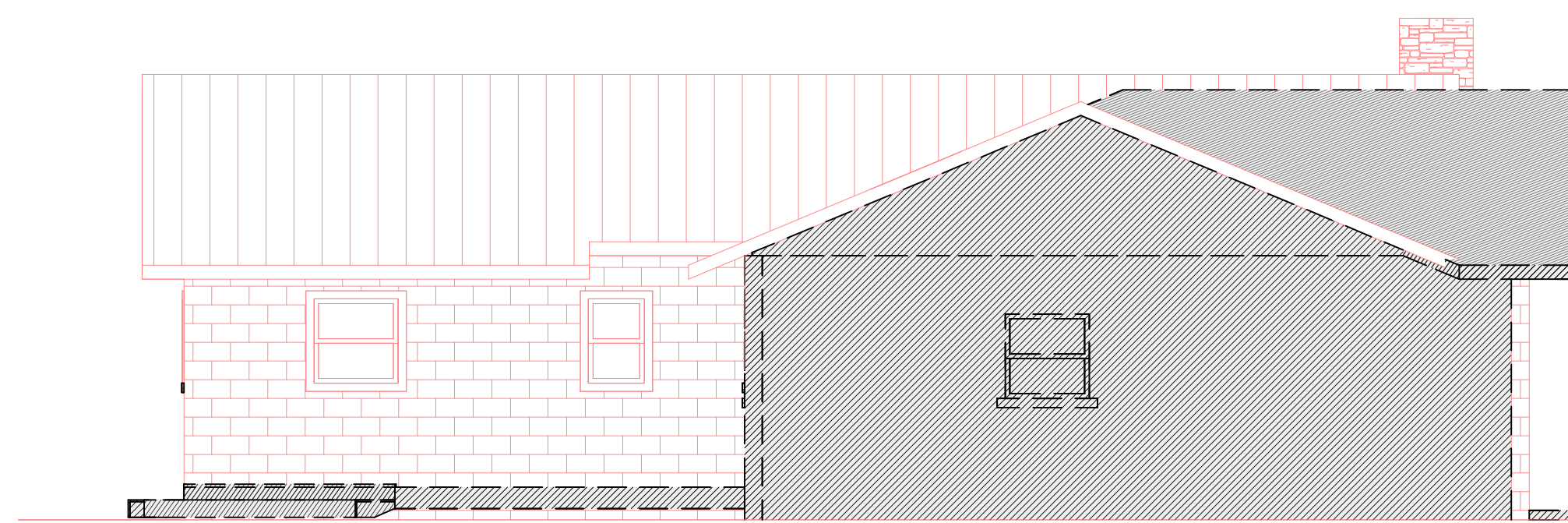
1 NORTH ELEVATION
A2.0 3/16" = 1'-0"



2 WEST ELEVATION
A2.0 3/16" = 1'-0"

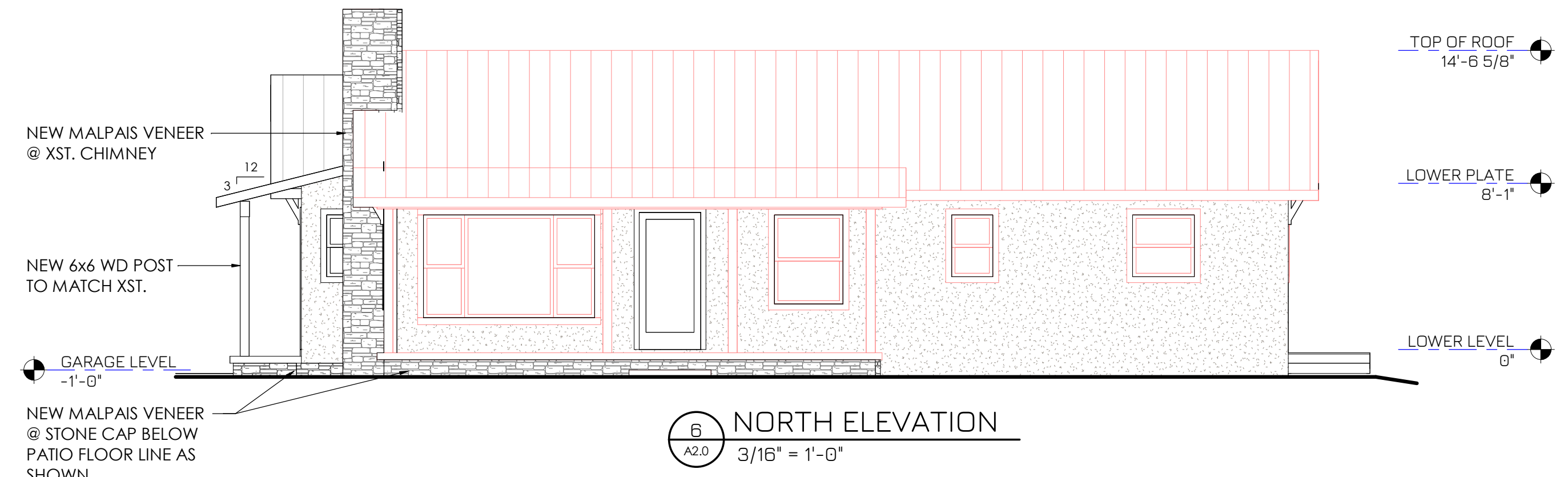


3 EAST ELEVATION
A2.0 3/16" = 1'-0"

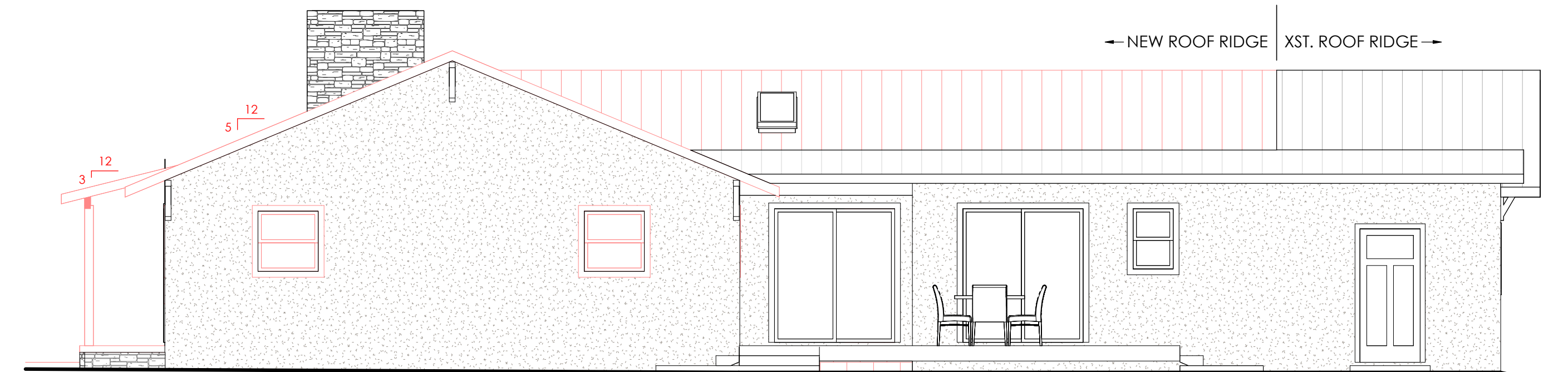


4 SOUTH ELEVATION
A2.0 3/16" = 1'-0"

XST. & NEW ELEVATIONS



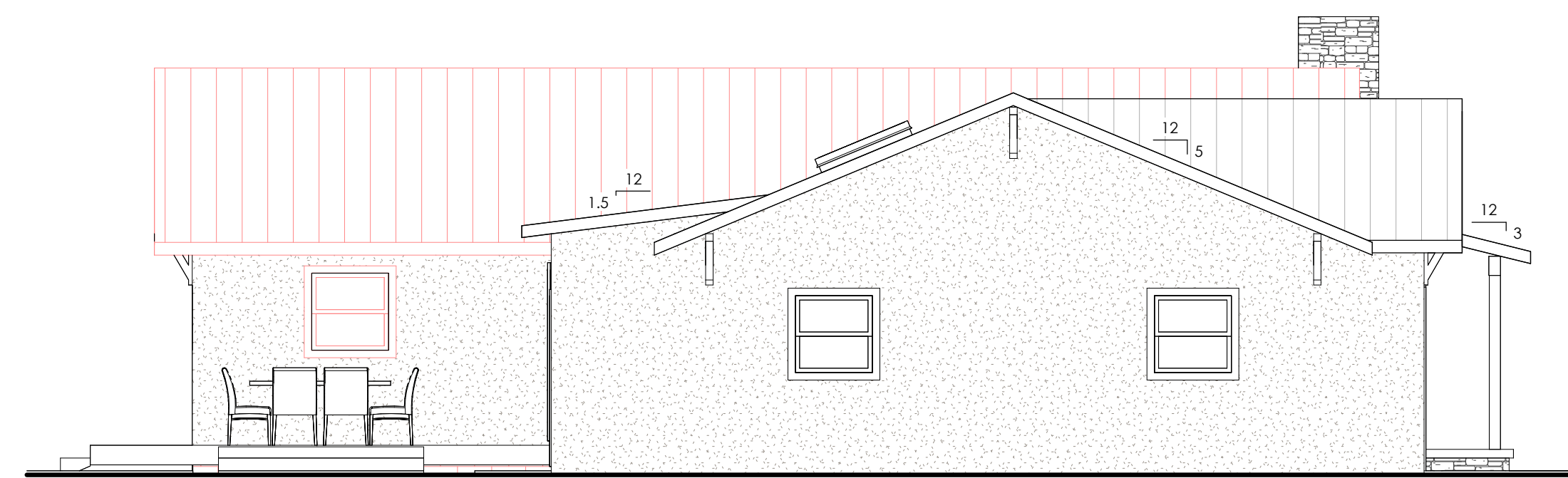
6 NORTH ELEVATION
A2.0 3/16" = 1'-0"



7 WEST ELEVATION
A2.0 3/16" = 1'-0"



8 EAST ELEVATION
A2.0 3/16" = 1'-0"



9 SOUTH ELEVATION
A2.0 3/16" = 1'-0"



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REMODEL & ADDITION FOR
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HPC REVIEW

PROJECT NUMBER:

2401

DATE:

FEBRUARY 26, 2024

SHEET:

A2.0

DEMO & NEW EXTERIOR ELEVATIONS

STUCCO HOUSES ON CHERRY, BIRCH, ELM & TOLTEC



CITY OF FLAGSTAFF HERITAGE PRESERVATION COMMISSION

STAFF REPORT

CERTIFICATE OF APPROPRIATENESS – Schieffer House

PZ-24- 00039

Address: 601 W Cherry Ave

DATE: 2/28/2024:

MEETING DATE: March 20, 2024

REPORT BY: Mark Reavis, AICP, NCARB

BACKGROUND

The existing home located at 601 W Cherry Ave has been previously evaluated and is not contributing to the Townsite National Register District but is within the Townsite Overlay and subject to Townsite design review for changes to the exterior. As a later construction (1956) it was not considered as contributing to the Townsite Historic District. The exposed Cement Masonry Unit (CMU) construction is an honest representation of its construction date but is not necessarily compatible with the historic character of other homes within the Townsite area.

PREVIOUS HP DECISIONS

The determination pertaining to the non-contributing status of the house document in the district inventory.

REQUEST

The applicant has requested that the home be modified and improved to be more compatible in its appearance with other historic homes in the Townsite. This work includes Stucco over the CMU, malpais stone on chimney and base and decorative brackets at the eaves. A small roof addition at the side Bonito Street (east) entry is proposed. Addition of exterior insulation and stucco allows CMU construction to be more efficient while improving compatible appearance.

STAFF RECOMMENDATION & FINDINGS

Staff finds that the street facing façades on Cherry Street & Bonito Street address architectural aspects of the Townsite neighborhood. Staff finds that the design establishes a primary street facing entry on Cherry Street with existing porch and entry door. A new secondary entry on Bonito Street replaces the garage man-door access with a more formal protected entry with detailing similar to the Cherry Street porch in a compatible way. The roof pitches of the home are at 5:12 and existing, the proposed Bonito side entry roof is 3:12 and matches the slope of the Cherry Street porch slope. Stucco, stone and eave board brackets are materials and details typical of Townsite Craftsman Bungalow architecture. The project is not proposing any additional ridge height and will remain one story within the Townsite height limits. Proposed colors are reserved with fenestration accented in white. Staff feels that the home designer has met design criteria in working with the design review Standards and Guidelines of Townsite.

Mark Reavis, Heritage Preservation Officer/Neighborhood Planner, Architect State of AZ #75792 has reviewed the submission and found it in compliance with the Townsite Design Review requirements for the Townsite Overlay District.

RECOMMENDED MOTION

Approve a Certificate of Appropriateness for 601 W Cherry Ave conditioned on the submitted plans for improvements.

INTENT

The Townsite Overlay is a hybrid of a historic and character overlay that “allows preservation, restoration, new construction, remodeling and demolition.” 10-30.30.060 Development of a Landmark Property and Property within a Historic Overlay Zone, Process “C”: “Prior to the granting of any required approvals or permits and prior to the commencement of any work on a landmark property or within a historic overlay zone, the Heritage Preservation Commission or the Historic Preservation Officer shall review all work proposed and approve or conditionally approve the work in the form of a certificate of no effect, certificate of appropriateness, or certificate of economic hardship”.

Scope of Work

The Certificate of Appropriateness is applicable (Flagstaff Zoning Code 10-30.30.060E.) in the case of 601 W Cherry Ave, it is within the Townsite Overlay zone. The impact to the significance and integrity of surrounding historic properties and the compatibility with the approved design guidelines for the zone and the Townsite district are the primary considerations for this level of review.

Required Findings for *(note home is not contributing historically to district but changes can have impacts to surrounding cultural resources):*

E. Certification of Appropriateness.

1. Applicability. This approval is appropriate if the proposed work alters a cultural resource, but does so in such a way that is compatible with the historic or archaeological character of the resource and all major impacts are mitigated such that the work does not diminish, eliminate, or adversely affect the significance or integrity of the resource.

2. Criteria for Approval. When approving a certification of appropriateness, the Heritage Preservation Commission shall find that:

a. The proposed work is consistent with the purpose and intent of this division;

b. The proposed work is compatible with its context:

(1) The appropriate context for a landmark or a historic property is the property itself and, to a much lesser extent, the surrounding properties and neighborhood;

2) The appropriate context of work in a historic overlay zone is the significant portions of the property itself, the surrounding properties, and the neighborhood;

c. The cultural resources associated with the proposed work have been sufficiently sought, identified, and evaluated;

d. Major impacts on cultural resources are sufficiently mitigated; and

e. The proposed work is consistent with applicable development standards and design guidelines. See also subsection (G) of this section, Development Standards and Guidelines.

Townsite Historic Overlay Design Guidelines

“The Townsite Overlay (TO) zone applies to areas of the City subject to the Townsite Historic Design Review Overlay District Design Standards and Guidelines and design review by the Heritage Preservation

Commission for the development of properties located within the boundaries of the zone.” (Flagstaff Zoning Code 10-40.50.030 Overlay Zones).

The Townsite Historic Design Review Overlay District Design Standards and Guidelines and Historic Preservation Resources states “New construction, additions, or alterations shall follow the design of the district's certain recognizable qualities.”

The following design guidelines apply to this case:

V. Design Criteria/Standards

New construction, additions, or alteration shall follow the design of the District’s certain recognizable qualities that are detailed below.

A. Style (1) Flagstaff Townsite developed from a natural evolution of a variety of architectural styles in smaller homes such as Craftsman,..... As a District exists to preserve the historic character, variations of the above-mentioned style shall be adopted to ensure continuity in the neighborhood.

B. Site

3. Garages shall not be at the house frontage. The intent is to follow the historic pattern where garages were a secondary structure and set back from the house frontage. The front door is the primary entrance. *(home has existing garages on secondary façade on Bonito)*

D. Development Massing, Height, and Proportions

1. Structures that exist at the time of the district designation (Date, 2006) are the primary structure. In case of multiple existent structures at that time, the structure closest to the street is the primary structure. New primary structures shall be placed forward on the site relative to all other structures.

2. Each property shall have only one primary structure and no point on the primary structure shall exceed 25 feet in height and allowable 2-foot increase for raised wood floor construction, measured from existing or natural grade, excluding chimneys, towers, and similar non-habitable architectural projections

E. Roof Pitch:

1. Pitches for main roofs in new construction shall be over 6:12. Porches, dormers, and similar lesser roofed areas may have shallower pitches. *(home has existing roof a 5:12 no change proposed).*

F. Architecture, Materials, Details, and Colors:

Architectural styles and building materials are not limited to the existing neighborhood examples, but new work shall be compatible with the neighborhood and maintain high quality of design.

1. Materials, details, and colors shall be compatible with historic structures on an individual property and compatible with the surrounding neighborhood.

VI. Design Criteria/Guidelines

2. Front porches/stoops face the street or are in close proximity to the street providing for neighbor contact.
3. Architectural details that are typical can be seen on existing historic homes and these homes can be used as models for future designs.
6. Preserve neighbor “viewscales” and privacy and minimize impact to neighbors. Respectful orientation to neighbors’ views and privacy should be an ongoing concern throughout the design process. Look at your design from the neighbors’ lots. *(current window orientation and opening are not changing that would impact neighbors).*

Exceptions

The Historic Preservation Commission may, at its sole discretion, modify the requirements of these standards and guidelines when in the opinion of the Commission, an exception is warranted based for design consistency such as in the case of alterations to existing non-conforming structures, cases where an exception is necessary to accommodate an appropriate architectural style, cases where an exception is warranted based on the development of immediately adjacent properties, and other similar circumstances determined by the Commission.

DISCUSSION

PROPOSED CHANGES

The materials and details selected is a select are noted as used within the Townsite and applied in a historically sympathetic manner.

DESIGN CRITERA

According to the Townsite Overlay Standards the project design shows architectural forms, massing and scale that is compatible with the neighborhood. The architectural expression matches various existing Townsite homes in the area with similar architectural forms as is called out in the design review document. The overlay zone design criteria look toward impacts of new construction imposing itself on adjacent neighbors. The level of refined details of new construction is a balance between the era of the existing building and looking at older historic homes within the neighborhood. Materials used should be consistent with that of the neighborhood where newly introduced materials should be limited in use. Materials and basic forms proposed are in keeping with the overlay’s architectural forms with a current architectural interpretation. The existing attached garage (2 garage doors) is located on a secondary façade and is now linked to the main house with a new secondary entry. The project is located within the Townsite Overlay Zone as noted, with the review focused on meeting the design criteria of the established Townsite Overlay Zone.

Basis of Report:

The information in this summary discussion was derived from the application to the Heritage Preservation Commission, the Flagstaff Zoning Code, and the Townsite Historic Design Review Overlay District Design Standards and Guidelines and Historic Preservation Resources.

Evaluation of Effects

Staff (Mark Reavis, Heritage Preservation Officer, AICP, NCARB) finds that the overall composition of the improvements adds to the compatibility of the building's elevations with its new compatible context within the neighborhood, meeting the design standards of the Townsite Overlay Zone. Other architectural enhancements such as the bracket supported gables are compatible improvements. The context of the neighborhood is within the historic district. New architectural design should not be completed to fully simulate earlier architecture of the area but be recognized as a product of its own time. With this in mind, materials proposed should be evaluated and confirmed as compatible with the neighborhood and modified if required under overlay review criteria. When viewed in its entirety the project does improve architectural compatibility within the context of the neighborhood when reviewed under the guidelines of the Townsite Overlay Zone.

Consideration of past approvals in the Townsite Overlay

Staff has reviewed past approvals (consent and commission) in the Townsite Overlay. Reviews of non-historic property improvements have been generally based upon enhancements that improve compatibility within the neighborhood and the overlay zone.

Posting Notices

Hearing Notices have been posted on site 15 days prior to the public hearing, while meeting information for review are posted electronically. Photo documentation of posting was received more than 15 days prior to the required posting date.

OPTIONS FOR COMMISSION DECISION-MAKING:

The Historic Preservation Commission (HPC) may:

- (1) Approve per the staff recommended motion – or –
- (2) The Commission could request modifications to the proposal and include them as conditions of approval, such as including a letter report prior to demolition – or –
- (3) Continue the HPC review to a date certain and ask the applicant to come back with a modified proposal that meets those conditions – or -
- (4) Deny Certificate of Appropriateness and require Certificate of Economic Hardship or submittal of an alternative design that meets all Townsite Overlay Requirements.



Heritage Preservation Commission

6. C.

Meeting Date: 03/20/2024

From: Mark Reavis, Heritage Preservation Officer and Neighborhood Planner

TITLE:

Townsite Overlay - Collier/Houk 824 W Cherry Ave

PROPERTY INFORMATION:

Address: 824 W Cherry Ave

Assessor's Parcel Number: 100-01-003

Property Owner: Michael Collier/ Rose Houk

Applicant: Collier/Houk

City Staff: MR HPO

REQUESTED ACTION:

The applicant has requested that the home be improved to be more compatible in its appearance with other historic homes in the Townsite. This work includes 6" reveal horizontal siding and new fenestration trim. Soffits replaced with smooth hardiboard fiber cement product. Work also has the benefit of fire resistance within a forested area.

RECOMMENDED ACTION:

Approve a Certificate of Appropriateness for the submitted application for improvements to 824 W Cherry Ave.

ALTERNATIVE ACTIONS:

The Historic Preservation Commission (HPC) may:

- (1) Approve per the staff recommended motion -or-
- (2) The Commission could request modifications to the proposal and include them as conditions of approval, such as including a letter report prior to demolition -- or --
- (3) Continue the HPC review to a date certain and ask the applicant to come back with a modified proposal that meets those conditions -- or -
- (4) Deny Certificate of Appropriateness and require Certificate of Economic Hardship or submittal of an alternative design that meets all Townsite Overlay Requirements.

HAS THERE BEEN PREVIOUS COMMISSION DECISION ON THIS:

No

Attachments

Body Paint Color

Horizontal Siding Concept

Trim

Staff Report - 824 W Cherry

THD-E11

THD-E11



Cocoon
PPG1027-1



Skipping
Stone
PPG1027-2



Heavy
Hammock
PPG1027-3



Olive
Gray
PPG1027-4



Rattan
Palm
PPG1027-5



Conservation
PPG1027-6



Grapevine
PPG1027-7



6" Reveal: LAP SIDING 



Window + door strips to be trimmed with $\sim \frac{1}{2}$ " thicker wood to accommodate lapping.

**CITY OF FLAGSTAFF HERITAGE PRESERVATION COMMISSION
STAFF REPORT**

CERTIFICATE OF APPROPRIATENESS – Collier/Houk

PZ-24-00037

Address: 824 W Cherry Ave

DATE: 2/28/2024

MEETING DATE: March 20, 2024

REPORT BY: Mark Reavis, AICP, NCARB

BACKGROUND

The existing home located at 824 W Cherry Ave has been previously evaluated and is not contributing to the Townsite National Register District but is within the Townsite Overlay and subject to Townsite design review for changes to the exterior. As a later construction within the late 50s it was not considered as contributing to the Townsite Historic District and outside of the designated Townsite Historic District boundary. The T-1-11 siding is likely original to the construction date but is not necessarily compatible with the historic character of other homes within the Townsite area.

PREVIOUS HP DECISIONS

The determination pertaining to the non-contributing status of the house is documented.

REQUEST

The applicant has requested that the home be improved to be more compatible in its appearance with other historic homes in the Townsite. This work includes 6” reveal horizontal siding and new fenestration trim. Soffits replaced with smooth hardiboard fiber cement product. Work also has the benefit of fire resistance within a forested area.

STAFF RECOMMENDATION & FINDINGS

Staff finds that the street facing façades on Cherry Street address architectural aspects of the Townsite neighborhood. Staff finds that the design establishes a Townsite compatible look. The roof pitches, fenestration and entry to remain unchanged but openings trimmed to accent windows and doors. The proposed work does not represent any particular Townsite architectural style with the exception of having compatible horizontal narrow lap siding that is noted in the application with 25 Townsite examples in Townsite. A warm gray with green tones is proposed for the siding color and trim accented in a daker color. Staff feels that the home has met design criteria.

RECOMMENDED MOTION

Approve a Certificate of Appropriateness for the submitted application for improvements to 824 W Cherry Ave.

INTENT

The Townsite Overlay is a hybrid of a historic and character overlay that “allows preservation, restoration, new construction, remodeling and demolition.” 10-30.30.060 Development of a Landmark Property and Property within a Historic Overlay Zone, Process “C”: “Prior to the granting of any required approvals or permits and prior to the commencement of any work on a landmark property or within a historic overlay zone, the Heritage Preservation Commission or the Historic Preservation Officer shall review all work proposed and approve or conditionally approve the work in the form of a certificate of no effect, certificate of appropriateness, or certificate of economic hardship”.

Scope of Work

The Certificate of Appropriateness is applicable (Flagstaff Zoning Code 10-30.30.060E.) in the case of 824 W Cherry Ave, it is within the Townsite Overlay zone. The impact to the significance and integrity of surrounding historic properties and the compatibility with the approved design guidelines for the zone and the Townsite district are the primary considerations for this level of review.

Required Findings for *(note home is not contributing historically to district but changes can have impacts to surrounding cultural resources).*

E. Certification of Appropriateness.

1. **Applicability.** This approval is appropriate if the proposed work alters a cultural resource but does so in such a way that is compatible with the historic or archaeological character of the resource and all major impacts are mitigated such that the work does not diminish, eliminate, or adversely affect the significance or integrity of the resource.

2. **Criteria for Approval.** When approving a certification of appropriateness, the Heritage Preservation Commission shall find that:

a. The proposed work is consistent with the purpose and intent of this division;

b. The proposed work is compatible with its context:

(1) The appropriate context for a landmark or a historic property is the property itself and, to a much lesser extent, the surrounding properties and neighborhood;

2) The appropriate context of work in a historic overlay zone is the significant portions of the property itself, the surrounding properties, and the neighborhood;

c. The cultural resources associated with the proposed work have been sufficiently sought, identified, and evaluated;

d. Major impacts on cultural resources are sufficiently mitigated; and

e. The proposed work is consistent with applicable development standards and design guidelines. See also subsection (G) of this section, Development Standards and Guidelines.

Townsite Historic Overlay Design Guidelines

“The Townsite Overlay (TO) zone applies to areas of the City subject to the Townsite Historic Design Review Overlay District Design Standards and Guidelines and design review by the Heritage Preservation Commission for the development of properties located within the boundaries of the zone.” (Flagstaff Zoning Code 10-40.50.030 Overlay Zones). The Townsite Historic Design Review Overlay District Design Standards and Guidelines and Historic Preservation Resources states “New construction, additions, or alterations shall follow the design of the district's certain recognizable qualities.”

The following design guidelines apply to this case:

V. Design Criteria/Standards

New construction, additions, or alteration shall follow the design of the District's certain recognizable qualities that are detailed below.

A. Style (1) Flagstaff Townsite developed from a natural evolution of a variety of architectural styles in smaller homes such as Crastman, Victorian, cottage/bungalow As a District exists to preserve the historic character, variations of the above-mentioned style shall be adopted to ensure continuity in the neighborhood.

B. Site

3. Garages shall not be at the house frontage. The intent is to follow the historic pattern where garages were a secondary structure and set back from the house frontage. The front door is the primary entrance. (*home has existing 1 car garage at the side and set back, outbuilding in backyard*)

D. Development Massing, Height, and Proportions

1. Structures that exist at the time of the district designation (Date, 2006) are the primary structure. In case of multiple existent structures at that time, the structure closest to the street is the primary structure. New primary structures shall be placed forward on the site relative to all other structures.

2. Each property shall have only one primary structure and no point on the primary structure shall exceed 25 feet in height and allowable 2-foot increase for raised wood floor construction, measured from existing or natural grade, excluding chimneys, towers, and similar non-habitable architectural projections

E. Roof Pitch:

1. Pitches for main roofs in new construction shall be over 6:12. Porches, dormers, and similar lesser roofed areas may have shallower pitches. (*home has existing roof a 4:12 no change proposed*).

F. Architecture, Materials, Details, and Colors:

Architectural styles and building materials are not limited to the existing neighborhood examples, but new work shall be compatible with the neighborhood and maintain high quality of design.

1. Materials, details, and colors shall be compatible with historic structures on an individual property and compatible with the surrounding neighborhood.

VI. Design Criteria/Guidelines

3. Architectural details that are typical can be seen on existing historic homes and these homes can be used as models for future designs.

Exceptions

The Historic Preservation Commission may, at its sole discretion, modify the requirements of these standards and guidelines when in the opinion of the Commission, an exception is warranted based for design consistency such as in the case of alterations to existing non-conforming structures, cases where

an exception is necessary to accommodate an appropriate architectural style, cases where an exception is warranted based on the development of immediately adjacent properties, and other similar circumstances determined by the Commission.

DISCUSSION

PROPOSED CHANGES

The materials and details selected are used within the Townsite and applied in a historically sympathetic manner.

DESIGN CRITERA

The overlay zone design criteria look toward impacts of new construction imposing itself on adjacent neighbors. The level of refined details of new construction is a balance between the era of the existing building and looking at older historic homes within the neighborhood. Materials used should be consistent with that of the neighborhood where newly introduced materials should be limited in use. Materials and basic forms proposed are in keeping with the overlay's architectural forms with a current architectural interpretation. The project is located within the Townsite Overlay Zone as noted, with the review focused on meeting the design criteria of the established Townsite Overlay Zone.

Basis of Report:

The information in this summary discussion was derived from the application to the Heritage Preservation Commission, the Flagstaff Zoning Code, and the Townsite Historic Design Review Overlay District Design Standards and Guidelines and Historic Preservation Resources.

Evaluation of Effects

Staff (Mark Reavis, Heritage Preservation Officer, AICP, NCARB) finds that the siding and trim improvements adds to the compatibility of the building's elevations meeting the design standards of the Townsite Overlay Zone. The context of the neighborhood is outside of the historic district but within the overlay. New architectural design should not be completed to fully simulate earlier architecture of the area but be recognized as a product of its own time. With this in mind, materials proposed should be evaluated and confirmed as compatible with the neighborhood and modified if required under overlay review criteria. When viewed in its entirety the project does improve architectural compatibility within the context of the neighborhood when reviewed under the guidelines of the Townsite Overlay Zone.

Consideration of past approvals in the Townsite Overlay

Staff has reviewed past approvals (consent and commission) in the Townsite Overlay. Reviews of non-historic property improvements have been generally based upon enhancements that improve compatibility within the neighborhood and the overlay zone.

Posting Notices

Hearing Notices have been posted on site 15 days prior to the public hearing, while meeting information for review are posted electronically. Photo documentation of posting was received more than 15 days prior to the required posting date.

OPTIONS FOR COMMISSION DECISION-MAKING:

The Historic Preservation Commission (HPC) may:

- (1) Approve per the staff recommended motion – or –
- (2) The Commission could request modifications to the proposal and include them as conditions of approval, such as including a letter report prior to demolition – or –
- (3) Continue the HPC review to a date certain and ask the applicant to come back with a modified proposal that meets those conditions – or -
- (4) Deny Certificate of Appropriateness and require Certificate of Economic Hardship or submittal of an alternative design that meets all Townsite Overlay Requirements.



Heritage Preservation Commission

6. D.

Meeting Date: 03/20/2024

From: Mark Reavis, Heritage Preservation Officer and Neighborhood Planner

TITLE:

Facade Grant - Match request, level 1- for Collier/Houk home

PROPERTY INFORMATION:

Address: 824 W Cherry Ave

Assessor's Parcel Number: 10001003

Property Owner: Michael Collier/Rose Houk

Applicant: Collier/Houk

City Staff: MR HPO

REQUESTED ACTION:

The applicant has requested a \$10,000 Match (level 1 funding) Historic Facade Grant for a \$ 36,000+ project to install work to provide a more historic appearance to a simple mid-century Vernacular Home within the Townsite Overlay. The grant request is to complete historically appropriate work to the home's façade.

RECOMMENDED ACTION:

RECOMMENDED MOTION

Approve a grant match request for the submitted plans for improvements to 824 W Cherry Ave, with consideration of the home's non-historic status in the amount of \$_____ (to be determined by HPC) that improves compatibility by meeting the Townsite's Design Criteria, Townsite Historic Design Review Overlay District Design Standards and Guidelines.

ALTERNATIVE ACTIONS:

The Historic Preservation Commission (HPC) may:

- (1) Approve per the staff recommended motion
- (2) The Commission could request modifications to the proposal and include them as conditions of approval, such as including a letter report prior to demolition -- or --
- (3) **Continue the HPC review to date certain and ask the applicant to come back with a modified proposal that meets those conditions -- or -**
- (4) Deny Certificate of Appropriateness and require Certificate of Economic Hardship or submittal of an alternative design that meets all Townsite Overlay Requirements.

HAS THERE BEEN PREVIOUS COMMISSION DECISION ON THIS:

No

Attachments

Application 824

grant memo



City of Flagstaff

Community Development Division

211 W. Aspen Ave
Flagstaff, AZ 86001
www.flagstaff.az.gov

P: (928) 213-2618
F: (928) 779-7684

HPC-G

Date Received 2-22-24	Application to Heritage Preservation for a Historic Signs and Facades Grant	File Number PZ-24-00037-01
---------------------------------	--	--------------------------------------

Property Owner(s) Michael Collier/Rose Houk	Title	Phone 928-774-5633	Email mcollier721@gmail.com
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Mailing Address 824 West Cherry Avenue	City, State, Zip Flagstaff, AZ 86001
--	--

Applicant same as above	Title	Phone	Email
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Mailing Address same as above	City, State, Zip
---	-------------------------

Property Interest of Applicant(s) (Owner, contractual interest, or agent)
Owners

Site Address 824 West Cherry Avenue	City, State, Zip Flagstaff, AZ 86001
---	--

Project Name
New exterior siding on home

Parcel Number(s) 10001003	Zoning District(s), including Overlays Townsite Historic Overlay
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Property Information:

- Yes No Listed individually on the National or Arizona Register of Historic Places? (Name: _____)
- Yes No Located in a National Register Historic District? (Name: _____)
- Yes No Is a structure on the property considered contributing to the District?
- Yes No Located in a City of Flagstaff Landmark Overlay? (Name: _____)
- Yes No Has the structure every been inventoried or evaluated for the National Register?
- Yes No Is the structure over 50 years old at the time of application?
- Yes No Was all or a portion of the structure built before World War II as housing?

Note: Applications which are incomplete or not accompanied by the required information will not be accepted.

Property Owner Signature: <i>Michael Collier</i>	Date: 2-22-24	Applicant Signature: <i>Michael Collier</i>	Date: 2-22-24
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For City Use

Date Filed: _____	HPC Hearing Date: _____
Fee Receipt #: _____	Amount: _____ Date: _____
Action by HPC: <input type="checkbox"/> Consent Approval by HPO <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions	<input type="checkbox"/> Denied <input type="checkbox"/> Continued Staff Initial: _____ Date: _____

MPC

Submittal Requirements

An application to the Heritage Preservation Commission and Historic Preservation Officer shall contain at least the following information:

1. Completed Application including all signatures and payment of fees. If applying for multiple types of HPC reviews only one fee is collected at the time of the first application for the same work.
2. An electronic copy and one copy of drawings or documents as needed to describe the proposal, which may include Cultural Resource Studies, a Site Plan, Floor Plans, Exterior Elevations, Building Sections, Exterior Details, Lighting Plan, and a Landscape Plan. All drawings shall be drawn to scale and dimensioned, and shall clearly and accurately represent the natural and built conditions of the context area and the project, including both existing conditions and proposed work.
3. Photographs of the context, including the property, surrounding properties, and the neighborhood.
4. A Color Board depicting all exterior materials and finishes associated with the work (if requested).
5. Proof of ownership, or letter of authorization from the current property owner, if the applicant and owner are not the same.
6. Statement of approval from a subdivision or property owners association, if applicable.
7. Any other information which the applicant feels would be helpful and/or pertinent to the request.
8. Any other information as may be required by the Historic Preservation Officer or Heritage Preservation Commission to assist in the review of the requested application.

Timing of Submission and Completeness Review

The Heritage Preservation Commission meets to review applications monthly on the third Wednesday of the month. If you are submitting an application for a Historic Signs and Facades Grant, the Community Development counter must receive your application by the submittal deadline posted to the Heritage Preservation program website.

In order for your item to be added to an agenda, the Heritage Preservation Officer (HPO) must deem the application complete and the information in it correct within 5 working days. The HPO will contact applicants for additional information as necessary.

Historic Signs and Facades Grant are provided at the discretion of the Commission based on the criteria in the [grant guidelines](#) posted to the City's website. Grants are administered by the HPO and they are available for consultation through the process. Documentation of completed work and receipts must be provided within one year of approval by the Commission or an extension must be applied for in order to receive reimbursement.

Before submitting for a grant related to a sign, a permanent sign application must be submitted, and comments returned to the owner. If the application pertains to a historic sign that does not conform to current regulations of Permanent Signs (10-50.100) or meet the criteria for a non-conforming sign (10-20.60.110) then the Heritage Preservation Commission must first determine that the sign meets the criteria of an Individual Signs of Historic or Cultural Significance (10-30.30.040.E) and may require the sign be placed in a Landmark Overlay.

We encourage you to reach out early in designing your projects so that the HPO may assist you and your clients. HPO contact information: Phone: (928) 213-2633; Email: Mark.Reavis@flagstaffaz.gov

Project Description

sing T-112 siding and soffits with new Hardiboard horizontal plank siding over entire exterior of house at 824 West Cherry Avenue. Replace existing window and door trim with approximately 1-inch thicker trim to accommodate lap. Sample of approximate paint colors included with this ap

Explanation of how the project meets the applicable sections of the Zoning Code, Grant Guidelines and Secretary of the Interior Standards for the Treatment of Historic Properties.

This project will conform to the historic character of the Townsite neighborhood. Architectural style will be maintained, and Hardiboard materials have been used in other homes in the district. It will provide additional energy efficiency, and add an element of fire resistance to the house.

Below is a list of nearby home within the Townsite Historic Overlay district that have similar horizontal lap siding with reveals ranging for ~ 4-12":

West Cherry Ave: 816, 812, 719, 705, 621, 615, 613, 519, 501

West Birch Ave: 516, 602, 609, 614, 619, 625, 702, 703, 708, 709, 711, 723, 810, 820

West Aspen Ave: 802, 820

Insert additional pages if necessary

M/C



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Summary Statement of Significance:

National Register of Historic Places documentation or a Cultural Resource Study can be submitted in lieu of completing this page to demonstrate significance (Attach additional pages as necessary).

The significance of a resource is generally based on its potential to contribute to our understanding of the past. An object, structure, site, place, or area is significant if:

- a. It is associated with events or persons in the architectural, engineering, archeological, scientific, technological, economic, agricultural, educational, social, political, military, or cultural annals of the City of Flagstaff, the State of Arizona, or the United States of America.
- b. It embodies distinctive characteristics of type, period, region, artistic values, or methods of construction, including being the oldest of its type or the best example of its type, or, if it represents the work of, or for, an important individual.
- c. A resource is generally not significant if it is less than fifty (50) years old, or, if the features, materials, patterns, and relationships that establish its significance are no longer present or no longer have integrity. The integrity of a resource is judged by how evident the general character of the significant period is, the degree to which the characteristics that define its significance are present, and the degree to which incompatible elements are reversible.

Original Construction Date:

Pre-1960

Describe Previous Major Alterations (Include dates and changes of use):

240 sq. ft. room addition with porch enlargement (2004); 2 outbuildings, each 140 sq. ft. (~1990 and 2020)

Describe the Significance of the Resource (In terms of a. or b., and c., above):

Typical of modest post-WWII residences within one of Flagstaff's oldest neighborhoods. This project fits overlay design guidelines and preserves unique historic integrity of structure.

Our home has been an integral part of the Townsite neighborhood since it was built. New siding will only make it fit in even better, and be more fire resistant.

Source(s) of Information Used:

Flagstaff Townsite Historic Overlay District, Design Standards and Guidelines, Nov 2006

Describe the Level of Integrity of the Resource (Existing and proposed):

MPC

Preservation Budget Summary:

Complete this section only for consideration of Historic Sign and Facades Grants (Attach additional pages as necessary). Ensure all work proposed for the grant meets the Grant Guidelines)

Total Construction Budget (including matching fund provided by the applicant):

\$36, 381.00

Preservation Work Budget Detail:

Item of Preservation Work:	Total Cost:	Grant Request:	Matching Funds:
<i>EXAMPLE: New siding and paint</i>	<i>\$6,000</i>	<i>\$3,000</i>	<i>\$3,000</i>
Labor	\$14,200		
Siding & Soffits	5,593		
Installation materials	680		
Trim costs	925		
House paint cost	5,750		
Sub-total	\$27,148	\$10,000	\$26,381
Permitting, demo, trash	\$2430		
Contractors O&P	\$6803		
Totals:	36,381	\$10,000	\$26,381

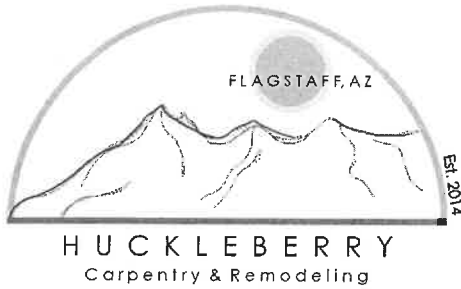
Notes:

1. Grant request cannot exceed 50% of Project Costs.
2. Grant request cannot exceed \$10,000 for Level 1 projects and \$20,00 for Level 2 projects.
3. Grant recipient or property owner labor cannot be used as matching funds.
4. Attach estimates, quotes and prices to verify the budget.

Reimbursement Requirements

Once the grant is approved, the property owner will need to submit a W-9 to the city before requesting reimbursement.

To request reimbursement, the property owner must provide documentation of completed work including photos and paid invoices and have had at least one on site inspection by the Heritage Preservation Officer. The Heritage Preservation Officer may be consulted throughout the project to confirm that ongoing work is in compliance with the Grant approval.



Huckleberry Carpentry & Remodeling, LLC

Licensed, Bonded, Insured

ROC# 332370 ROC# 332342

3955 North Zurich Street

Flagstaff, Arizona 86004

928.607.9114

huckleberryoffice@gmail.com

Project Requested Estimate 2.22.24

Estimates are good for 20 days

Estimate Created for :

Michael Collier

824 W Cherry – Siding replacement

Description	Labor Quote	Materials Allowance	Total
Remove existing trim around windows, doors, corners of building, and inside corner up to soffit. House wrap with building house wrap material up to windows. Replace trim around windows, exterior corners, interior corners, and doors. Leave existing siding in place. Nail down as needed. Existing soffit to be removed and replaced with a Hardiboard type of smooth soffit material. Trimmed and caulked. Siding to be installed and cover entire home vertical walls in 8" Hardiboard lap siding. Edges up to trim and seams to be caulked. Box framed out around electrical utility.	\$14,200		\$14,200
Siding and soffit material cost – Hardi 7.25" lap. 6" exposed. Primed. smooth		\$5,593	\$5,593
Install materials - House wrap, nails, and caulking.		\$680	\$680
Trim cost		\$925	\$925
Demo and trash cost	\$1,740	\$90	\$1,830
House paint cost	\$5,000	\$750	\$5,750
Permitting with City of Flagstaff and historical review			\$600
<i>Thank you for your consideration. This is an estimate and not a binding contract to perform work. Material pricing may change. We look forward to working with you!</i>	Subtotal:		\$29,578
	OP Rate 23%:		\$6,803
Minimum Deposit Due: \$15,000. \$10,000 due at completion of demo and start of siding. \$11,381 due after completion	Estimate Total:		\$36,381

Visit our website FlagstaffsHuckleberry.com



COMMUNITY DEVELOPMENT

MEMORANDUM

Date: 3/28/2024

To: Heritage Preservation Commission

From: Mark Reavis, HPO, AICP, NCARB

Subject: 824 W Cherry Ave, Townsite Overlay District - Grant Request

GRANT REQUEST

The applicant has requested a \$10,000 Match (level 1 funding) Historic Facade Grant for a \$36,000+ project to install work to provide a more historic appearance to a simple mid-century Vernacular Home within the Townsite Overlay. The grant request is to complete historically appropriate work to the home's façade.

BACKGROUND

The Flagstaff Preservation Office was contacted to provide a Townsite Overlay review and the potential for a matching grant for all requirements for Heritage Preservation Reviews within the Townsite Overlay. The property owner has maintained the late 50s era home but wishes to blend better with the neighborhood and improve fire protection in the forested location. The home located at 824 W Cherry Ave is not listed as a "contributing property" to the Townsite Historic District but within the perimeter area of the Overlay. The home is a good example of simple post WWII homes filled in to the Townsite neighborhood.

GRANT GUIDELINES

Grant funding is for privately owned resources that have a historic designation or believed to be eligible for historic designation and are 50 years or older of age. Level 1 funding allows for unique Flagstaff conditions and consideration of reasonable costs. Level 1 funding is intended to enhance the historic integrity of a property, remove previous inappropriate changes not consistent with the historic age of the property and protect and preserve historic materials.

This project is using Bed, Board, Beverage Tax to extend the useful life of this simple vernacular home and contributing to the look and feel of the Townsite Overlay. As noted in the Façade Grant Guidelines *"The commission will consider funding for work that has a lasting community benefit, that is visually accessible to the public..."*

The Commission will consider:

Requests for funding of "Bricks and Mortar" preservation work. Projects that comply with the U.S Secretary of the Interior's Standards & Guidelines, as determined appropriate by the Heritage Preservation Officer recommendation and Commission approval for Level 1 or Level 2 funding requests. The overall fit of the project and proposed work with this program's goals and the guidelines. The property's significance and integrity as documented in the application. Projects that address the most critical physical needs of the resource. Grant requests in the context of the total project budget. Preference will be given to designated historic properties.



6" Reveal: LAP SIDING ≡



Window + door strips to be trimmed with $\frac{1}{2}$ " thicker wood to accommodate clapping.



RECOMMENDED MOTION

Approve a grant match request for the submitted plans for improvements to 824 W Cherry Ave, with consideration of the home's non-historic status in the amount of \$_____ (to be determined by HPC) that improves compatibility by meeting the Townsite's Design Criteria, Townsite Historic Design Review Overlay District Design Standards and Guidelines.

The Historic Preservation Commission (HPC) may:

- (1) Approve per the staff recommended motion – or –
- (2) The Commission could request modifications to the proposal and include them as conditions of approval, such as including a letter report prior to demolition – or –
- (3) Continue the HPC review to a date certain and ask the applicant to come back with a modified proposal that meets those conditions – or –
- (4) Deny Certificate of Appropriateness and require Certificate of Economic Hardship or submittal of an alternative design that meets all Townsite Overlay Requirements.