

NOTICE AND AGENDA

HERITAGE PRESERVATION COMMISSION
WEDNESDAY
FEBRUARY 19, 2025

COUNCIL CHAMBERS
211 WEST ASPEN AVENUE
4:00 P.M.

PUBLIC COMMENT PROTOCOL

To participate in the meeting virtually use the following link:
[Join the Meeting Online](#)

The public can submit comments that may be read at the dais by a staff member to the Commission liaison, sdechter@flagstaffaz.gov

1. Call to Order

NOTICE OF OPTION TO RECESS INTO EXECUTIVE SESSION

Pursuant to A.R.S. §38-431.02, notice is hereby given to the members of the Heritage Preservation Commission and to the general public that, at this regular meeting, the Heritage Preservation Commission may vote to go into executive session, which will not be open to the public, for legal advice and discussion with the City's attorneys for legal advice on any item listed on the following agenda, pursuant to A.R.S. §38-431.03(A)(3).

2. Roll Call

NOTE: One or more Commission Members may be in attendance telephonically or by other technological means.

EMILY DALE, CHAIR
ALYCIA HAYES, VICE CHAIR
ABBEY BUCKHAM

AMY HORN
BERNADETTE BURCHAM
DUFFIE WESTHEIMER

3. LAND ACKNOWLEDGEMENT

The Heritage Preservation Commission humbly acknowledges the ancestral homelands of this area's Indigenous nations and original stewards. These lands, still inhabited by Native descendants, border mountains sacred to Indigenous peoples. We honor them, their legacies, their traditions, and their continued contributions. We celebrate their past, present, and future generations who will forever know this place as home.

4. Public Comment

At this time, any member of the public may address the Commission on any subject within their jurisdiction that is not scheduled before the Commission on that day. Due to Open Meeting Laws, the Commission cannot discuss or act on items presented during this portion of the agenda. To address the Commission on an item that is on the agenda, please wait for the Chair to call for Public Comment at the time the item is heard.

5. APPROVAL OF MINUTES

Approval of minutes from the regular meeting on Wednesday January 15, 2025. [Agenda - View Meetings \(All\) \(9966121414\)](#)

6. **PUBLIC HEARING**

- A. Grant Extension for 601 W Cherry Avenue to April 2026.

PROPERTY INFORMATION:

Address: 601 W Cherry Avenue
Assessor's Parcel Number: 100-12-016
Property Owners: Erik Schiefer and Amanda Stan
Type of Approval: Grant Extension
Original Approval Date: April 17, 2024

REQUESTED ACTION:

Approve a one-year extension for the \$10,000 Historic Signs and Facades Grant originally awarded in April 2024.

RECOMMENDED ACTION:

Approve a one-year extension for the \$10,000 Historic Signs and Facades Grant originally awarded in April 2024.

7. **GENERAL BUSINESS**

- A. Work session on the City's proposed amendment to the Zoning Code to modify the existing Sign Standards (Division 10-50.100) for the Central Sign District and the Downtown Overlay (Case # PZ-23-00134).
Discussion only.
- B. Work session on upcoming Zoning Code Text Amendments to address the requirements of SB 2721 and a potential Zoning Code Text Amendment addressing Adaptive Reuse of commercial buildings.
Discussion only.
- C. Historic Signs and Facades Grant Tracking - February 2025 Update.
Discussion only.

8. **REPORTS**

A. **APPROVALS**

1. Certificate of No Effect for 223 1/2 W. Cherry Avenue
Permit Number(s): PZ-24-00234
Address: 223 1/2 W. Cherry Avenue
Type of Approval: Certificate of No Effect
Approval Date: 01/08/2025
2. Certificate of No Effect for 713 W. Birch Avenue Unit 1
Permit Number(s): PZ-25-00003
Address: 713 W. Birch Avenue
Type of Approval: Certificate of No Effect
Approval Date: 01/03/2025
3. Certificate of No Effect for 23 E Aspen Avenue
Permit Number(s): CC-24-03270, PZ-25-00001
Address: 23 E Aspen Avenue
Type of Approval: Certificate of No Effect

Approval Date: 02/03/2025

4. 6930 N Rain Valley Road Letter Report Cultural Resource Study
Permit Number(s): PZ-25-00025
Address: 6930 N Rain Valley Road
Type of Approval: Letter Report Cultural Resource Study
Approval Date: 02/11/2025

B. CONSULTATIONS

9. MISCELLANEOUS ITEMS TO/FROM COMMISSION MEMBERS

- Commissioners Abbey Buckham and Bernadette Burcham reappointed to the Heritage Preservation Commission during January 21, 2025 City Council Meeting.
- Historic design review training scheduled with Arianna Urban from the State Historic Preservation Office on February 26, 2025.
- Board and Commission training scheduled with the City Clerk's office during March 19, 2025 Heritage Preservation Commission meeting.
- New appointment to HPC on February 18, 2025.

10. ADJOURNMENT

CERTIFICATE OF POSTING OF NOTICE

The undersigned hereby certifies that a copy of the foregoing notice was duly posted at Flagstaff City Hall on _____, at _____ a.m./p.m. This notice has been posted on the City's website and can be downloaded at www.flagstaff.az.gov.

Dated this _____ day of _____, 2024.

Sara Dechter, Comprehensive Planning Manager

In compliance with the Americans with Disabilities Act, if you need assistance to participate in this meeting, please contact staff at 928-213-2611 (or 774-5281 TDD).

Notification at least 48 hours in advance will enable the City to make reasonable arrangements.

Heritage Preservation Commission

6. A.

From: Lauren Clementino, Senior Planner/Heritage Preservation Officer

DATE: 02/19/2025

SUBJECT: Grant Extension for 601 W Cherry Avenue to April 2026.

PROPERTY INFORMATION:

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Property Owners: Erik Schiefer and Amanda Stan

Type of Approval: Grant Extension

Original Approval Date: April 17, 2024

REQUESTED ACTION:

Approve a one-year extension for the \$10,000 Historic Signs and Facades Grant originally awarded in April 2024.

RECOMMENDED ACTION:

Approve a one-year extension for the \$10,000 Historic Signs and Facades Grant originally awarded in April 2024.

ALTERNATIVE ACTIONS:

Not providing the extension would mean the property owners could not be reimbursed for the previously approved project. The property owners have selected a contractor and have building permit applications pending.

HAS THERE BEEN PREVIOUS COMMISSION DECISION ON THIS:

The Commission originally approved the grant award on April 17, 2024.

Attachments

2024 Grant Application

2025 Grant Extension Request



City of Flagstaff

Community Development Division

211 W. Aspen Ave
 Flagstaff, AZ 86001
 www.flagstaff.az.gov

P: (928) 213-2618
 F: (928) 779-7684

HPC-G

Date Received 3/28/24	Application to Heritage Preservation for a Historic Signs and Facades Grant			File Number PZ-24-00060
Property Owner(s)	Title	Phone	Email	
Mailing Address			City, State, Zip	
Applicant	Title	Phone	Email	
Mailing Address			City, State, Zip	
Property Interest of Applicant(s) (Owner, contractual interest, or agent)				
Site Address			City, State, Zip	
Project Name				
Parcel Number(s)		Zoning District(s), including Overlays		
Property Information:	<input type="checkbox"/> Yes <input type="checkbox"/> No	Listed individually on the National or Arizona Register of Historic Places? (Name: _____)		
	<input type="checkbox"/> Yes <input type="checkbox"/> No	Located in a National Register Historic District? (Name: <u>TOWNSITE</u>)		
	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Is a structure on the property considered contributing to the District?		
	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Located in a City of Flagstaff Landmark Overlay? (Name: <u>TOWNSITE</u>)		
	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Has the structure every been inventoried or evaluated for the National Register?		
	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Is the structure over 50 years old at the time of application?		
	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Was all or a portion of the structure built before World War II as housing?		
Note: Applications which are incomplete or not accompanied by the required information will not be accepted.				
Property Owner Signature: 		Date:	Applicant Signature: 	
			Date:	
For City Use				
Date Filed: _____		HPC Hearing Date: _____		
Fee Receipt #: _____		Amount: _____		Date: _____
Action by HPC:				
<input type="checkbox"/> Consent Approval by HPO		<input type="checkbox"/> Denied		
<input type="checkbox"/> Approved		<input type="checkbox"/> Continued		
<input type="checkbox"/> Approved with Conditions				
		Staff Initial: _____		Date: _____

Submittal Requirements

An application to the Heritage Preservation Commission and Historic Preservation Officer shall contain at least the following information:

1. Completed Application including all signatures and payment of fees. If applying for multiple types of HPC reviews only one fee is collected at the time of the first application for the same work.
2. An electronic copy and one copy of drawings or documents as needed to describe the proposal, which may include Cultural Resource Studies, a Site Plan, Floor Plans, Exterior Elevations, Building Sections, Exterior Details, Lighting Plan, and a Landscape Plan. All drawings shall be drawn to scale and dimensioned, and shall clearly and accurately represent the natural and built conditions of the context area and the project, including both existing conditions and proposed work.
3. Photographs of the context, including the property, surrounding properties, and the neighborhood.
4. A Color Board depicting all exterior materials and finishes associated with the work (if requested).
5. Proof of ownership, or letter of authorization from the current property owner, if the applicant and owner are not the same.
6. Statement of approval from a subdivision or property owners association, if applicable.
7. Any other information which the applicant feels would be helpful and/or pertinent to the request.
8. Any other information as may be required by the Historic Preservation Officer or Heritage Preservation Commission to assist in the review of the requested application.

Timing of Submission and Completeness Review

The Heritage Preservation Commission meets to review applications monthly on the third Wednesday of the month. If you are submitting an application for a Historic Signs and Facades Grant, the Community Development counter must receive your application by the submittal deadline posted to the Heritage Preservation program website.

In order for your item to be added to an agenda, the Heritage Preservation Officer (HPO) must deem the application complete and the information in it correct within 5 working days. The HPO will contact applicants for additional information as necessary.

Historic Signs and Facades Grant are provided at the discretion of the Commission based on the criteria in the [grant guidelines](#) posted to the City's website. Grants are administered by the HPO and they are available for consultation through the process. Documentation of completed work and receipts must be provided within one year of approval by the Commission or an extension must be applied for in order to receive reimbursement.

Before submitting for a grant related to a sign, a permanent sign application must be submitted, and comments returned to the owner. If the application pertains to a historic sign that does not conform to current regulations of Permanent Signs (10-50.100) or meet the criteria for a non-conforming sign (10-20.60.110) then the Heritage Preservation Commission must first determine that the sign meets the criteria of an Individual Signs of Historic or Cultural Significance (10-30.30.040.E) and may require the sign be placed in a Landmark Overlay.

We encourage you to reach out early in designing your projects so that the HPO may assist you and your clients. HPO contact information: Phone: (928) 213-2633; Email: Mark.Reavis@flagstaffaz.gov



City of Flagstaff

Community Development Division

211 W. Aspen Ave
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F: (928) 779-7684



Summary Statement of Significance:

National Register of Historic Places documentation or a Cultural Resource Study can be submitted in lieu of completing this page to demonstrate significance (Attach additional pages as necessary).

The significance of a resource is generally based on its potential to contribute to our understanding of the past. An object, structure, site, place, or area is significant if:

- a. It is associated with events or persons in the architectural, engineering, archeological, scientific, technological, economic, agricultural, educational, social, political, military, or cultural annals of the City of Flagstaff, the State of Arizona, or the United States of America.
- b. It embodies distinctive characteristics of type, period, region, artistic values, or methods of construction, including being the oldest of its type or the best example of its type, or, if it represents the work of, or for, an important individual.
- c. A resource is generally not significant if it is less than fifty (50) years old, or, if the features, materials, patterns, and relationships that establish its significance are no longer present or no longer have integrity. The integrity of a resource is judged by how evident the general character of the significant period is, the degree to which the characteristics that define its significance are present, and the degree to which incompatible elements are reversible.

Original Construction Date:

Describe Previous Major Alterations (Include dates and changes of use):

Describe the Significance of the Resource (In terms of a. or b., and c., above):

Source(s) of Information Used:

Describe the Level of Integrity of the Resource (Existing and proposed):

From: [Erik Schiefer](#)
To: [Annalisa Hansen](#); [Sara Dechter](#)
Cc: astan22@yahoo.com
Subject: Re: HPC Grant Follow Up
Date: Tuesday, January 21, 2025 12:06:32 PM
Attachments: [Outlook-cid_image0.png](#)
[Outlook-cid_image0.png](#)
[Outlook-cid_image0.png](#)
[Outlook-cid_image0.png](#)

Dear Sara Dechter and the Heritage Preservation Commission,

We are writing to request an extension for the Façade Grant, Townsite, awarded to us in April of 2024, for our home preservation and renovation work at 601 W Cherry Ave, Flagstaff. We greatly appreciate this support from the Commission.

It has taken longer than expected to get through the bidding process with local builders. We are happy to report that we are moving forward with Alex Helwig (AJH Construction Inc). Furthermore, we hope our city permit will be granted soon, pending the processing of a Minor Modification application filed last week. There are no changes in our plan's scale, scope, or budget.

We kindly request an extension of 12 months, to make the due date early next calendar year to work with our planned construction starting this spring. We anticipate not needing that much time but just want to be prepared for unforeseen delays. We remain committed to achieving HPC goals and objectives with our project.

Thank you for your consideration of our request. Please let us know if you require any other details or paperwork from us to move forward with our request.

Sincerely, Erik Schiefer and Amanda Stan (property owners)

From: Annalisa Hansen <Annalisa.Hansen@flagstaffaz.gov>
Sent: Monday, November 25, 2024 3:49 PM
To: Erik Schiefer <erik.schiefer@nau.edu>; Sara Dechter <SDechter@flagstaffaz.gov>
Subject: Re: HPC Grant Follow Up

Hi Erik,

I spoke to Sara this morning and she shared to apply for an extension, you will need to write a letter to her and include what date you intend to have your project complete by. She will then share with the commission and get back to you.

Annalisa Hansen

Executive Assistant I • Community Investment

211 W Aspen Ave

Flagstaff, Arizona 86001

annalisa.hansen@flagstaffaz.gov

928.213.2906



The City of Flagstaff humbly acknowledges the ancestral homelands of this area's Indigenous nations and original stewards. These lands, still inhabited by Native descendants, border mountains sacred to Indigenous peoples. We honor them, their legacies, their traditions, and their continued contributions. We celebrate their past, present, and future generations who will forever know this place as home.

From: Annalisa Hansen <Annalisa.Hansen@flagstaffaz.gov>

Sent: Thursday, November 14, 2024 3:13 PM

To: Erik Schiefer <erik.schiefer@nau.edu>; Sara Dechter <SDechter@flagstaffaz.gov>

Subject: Re: HPC Grant Follow Up

Hi Erik,

Your deadline is late March 2025. I will let you know when I have a response on a possible extension. Thank you.

Annalisa Hansen

Executive Assistant I • Community Investment

211 W Aspen Ave

Flagstaff, Arizona 86001

annalisa.hansen@flagstaffaz.gov

928.213.2906



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place as home.

From: Erik Schiefer <Erik.Schiefer@nau.edu>
Sent: Wednesday, November 13, 2024 2:51 PM
To: Annalisa Hansen <Annalisa.Hansen@flagstaffaz.gov>
Subject: Re: HPC Grant Follow Up

Hi Annalisa,

We have a little more clarity on our timeline and would like to check if an extension might need to be requested. We have our plans and builder all lined up. And we submitted to the city for a permit, which I understand can take something like 5 to 6 weeks. Construction work will be starting at some point this spring. If you could advise, that would be really appreciated.

Thank you, Erik and Amanda

From: Annalisa Hansen <Annalisa.Hansen@flagstaffaz.gov>
Sent: Tuesday, October 8, 2024 8:55 AM
To: Erik Schiefer <Erik.Schiefer@nau.edu>
Subject: Re: HPC Grant Follow Up

Hi Erik,

Thank you for your update. I have passed along your question about an extension and timeline and will follow up with more information. Thank you.

Annalisa Hansen

Executive Assistant I • Community Investment

211 W Aspen Ave

Flagstaff, Arizona 86001

annalisa.hansen@flagstaffaz.gov

928.213.2906

Team Flagstaff_Final



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From: Erik Schiefer <Erik.Schiefer@nau.edu>
Sent: Friday, October 4, 2024 11:27 AM
To: Annalisa Hansen <Annalisa.Hansen@flagstaffaz.gov>
Subject: Re: HPC Grant Follow Up

Hi Annalisa,

Thank you for reaching out. We are moving forward with this project, but it has taken a while to nail down a contractor and schedule. We now have a tentative agreement with a contractor (Alex Helwig) that we are working on finalizing. The permit package is ready to be submitted. Anticipated construction start is late spring.

Is there a due date for the grant we need to be aware of? I recall thinking that we might be applying for the grant a bit too early, but we were informed an extension is possible. If you could advise, that would be really appreciated.

And yes, the phone number on file is correct (928-864-9522). I'm not always great about answering when I don't recognize the #, so apologies for that.

Thanks again and best wishes, Erik and Amanda

From: Annalisa Hansen <Annalisa.Hansen@flagstaffaz.gov>
Sent: Thursday, October 3, 2024 2:40 PM
To: Erik Schiefer <erik.schiefer@nau.edu>
Subject: HPC Grant Follow Up

Hi Erik,

My name is Annalisa, I am the Executive Assistant for Community Investment. I am reaching out from the City of Flagstaff to follow up and see how things are going with your HPC Grant? I am hoping to hear more details about your scheduled construction and to receive any receipts you have. Please feel free to send me an email or give me a call at 928-213-2906.

PS- The phone number I have on file for you is 928-864-9522, when I tried this number the call did not go through. Is this your correct number?

Annalisa Hansen

Executive Assistant I • Community Investment

211 W Aspen Ave

Flagstaff, Arizona 86001

annalisa.hansen@flagstaffaz.gov

928.213.2906

Team Flagstaff_Final



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Heritage Preservation Commission
Co-Submitter: Wesley Welch, Planner

7. A.

From: Tiffany Antol, Zoning Code Manager

DATE: 02/19/2025

SUBJECT: Work session on the City's proposed amendment to the Zoning Code to modify the existing Sign Standards (Division 10-50.100) for the Central Sign District and the Downtown Overlay (Case # PZ-23-00134).

STAFF RECOMMENDED ACTION:

Discussion only.

Executive Summary:

Work session with the Heritage Preservation Commission to discuss the City's proposed amendment to the Zoning Code to modify the existing Sign Standards (Division 10-50.100) for the Central Sign District and the Downtown Overlay. Within the Downtown Overlay, this code update would eliminate the need for a duplicate HPC application for signs that conform with the Flagstaff Central Sign District design guidelines.

Financial Impact:

This would reduce the cost of sign installation in the Downtown Overlay by \$65.

Attachments

Work Session Memo for Planning and Zoning Commission
Sign Code Update Draft



**Community Development Department
Planning and Development Services**

Date: September 23, 2024
TO: Planning and Zoning Commission
FROM: Wesley Welch, Senior Planner
Through: Michelle McNulty, Planning Director
Alexandra Pucciarelli, Current Planning Manager
RE: Planning and Zoning Commission Work Session

1. **Request:**

Case No. PZ-23-00134: Request for a work session with the Planning and Zoning Commission to discuss the City's proposed amendment to the Zoning Code to modify the existing Sign Standards (Division 10-50.100).

2. **Purpose of the Work Session:**

The work session with the Planning and Zoning Commission is required as a "Citizen Review Session" in compliance with Section 10-20.50.040 (Procedures) of the Zoning Code and applicable state law. The purpose of the work session is for staff to present an overview of the proposed amendment, to allow interested residents to provide their ideas, suggestions, and concerns, and for the Commission to ask questions, seek clarification, and discuss the amendment, as well as offer alternate suggestions and ideas. The Commission will take no action at this work session. After the work session, staff will revise the proposed amendment. The amendment will then be presented to the Commission at a public hearing for consideration and action. Once a recommendation is received, a public hearing will be scheduled with the City Council. The anticipated timeline for the amendments is as follows:

- October 9, 2024 – City Council Work Session
- October 23, 2024 – Planning and Zoning Commission Public Hearing
- November 19, 2024 – City Council Public Hearing

3. **Planning and Zoning Commission Questions:**

For your reference, below is the question that staff is seeking the Planning and Zoning Commission's comments and direction.

- Does the Planning and Zoning Commission have any recommended modifications or considerations on the proposed Zoning Code Text Amendment?

4. **Overview of Proposed Amendment:**

The proposed amendment (Attachment 1) includes multiple changes to the Zoning Code. New provisions are being added, some sections have been reorganized, and several existing regulations are being deleted or modified. The most significant of the modifications include:

- Clarifying the Design Handbook for Downtown is not meant as a regulatory document, any specific regulations from that handbook have been placed into code;
- Significantly reducing the amount of minor stipulations required for specific sign types;
- Correcting a typo that was allowing for extra signage for businesses with secondary frontage;
- A general clean-up of repetitive language and simplification of standards.

The proposed amendment includes:

Purpose (Section 10-50.100.010):

- Condensed repetitive and/or unnecessary language into one paragraph.

Compliance with the Zoning Code and Permit Requirements (Section 10-50.100.020):

- Created new section to align with Outdoor Lighting Standards section organization.
- Combined information from old Applicability and Sign Permit sections of the code and placed near the top of the Division.

Applicability (10-50.100.030):

- Condensed language and removed a table which had a summary of incentives that are found in other areas of code or that were removed entirely.

General Restrictions and Requirements for All Signs (10-50.100.040):

- Condensed "Location Restrictions" and made language more concise and removed unnecessary restrictions.
- "100-50.100.040.B.5" identifies a prohibition on commercial signage placed on vehicles and parked on site operating as a sign. This was moved from a later section of the code.
- Condensed "Display Restrictions" to be more concise.
- "Sign Measurement Criteria" was updated with more concise language throughout and the removal of unnecessary items and/or items that are difficult to quantify.
- Any graphic with a large black "X" on top is to be removed in the updated draft. The language is intended to be written in a way that does not require supplementary graphics.
- "Sign Maintenance" was moved to Section 10-50.100.020.

Permanent Signs (10-50.100.050)

- Removed unnecessary introductory language.
- Substantive Changes made to Table 10-50.100.050.A
 - Footnote 1 was removed as it was redundant based on column heading.
 - Footnote 5 was removed for a similar reason as Footnote 1
 - Multifamily Development Building Mounted Signage was updated to a maximum height of 25 feet and a maximum area of 16 square feet. The previous allowances, 4 feet and 2 square feet, made signage for these buildings effectively impossible. The intent is not to allow large signage for multi-family development but it seemed reasonable to allow for a slightly larger sign in line with the freestanding sign standards.
 - Footnotes have been changed to account for changes in deleted footnotes.
 - Master Planned Communities, Subdivisions, and Manufactured Home Parks have been grouped together.

- Maximum area for “Nonresidential use in a Commercial or Industrial Zone” was corrected for a typo that was allowing double the square footage for secondary frontages when the intention was to allow half a square foot per linear foot.
- Multi-tenant freestanding signs in a commercial zone was upped in order to provide slightly more signage for a multi-tenant site.
- A Mixed-Use Development section was added to the table to break up signage between the residential and commercial components of these developments.
- Standards for Specific Sign Types
 - This is one of the biggest changes from the previous code. Originally, each sign type had its own table and set of standards. There is now one table which groups standards that apply to all sign types. That table is followed by a few specific regulations that are specific to the sign type.
 - Awning and Canopy Signs were initially two separate sets of standards, those standards have now been combined.
 - Width of building mounted sign types was initially 60% the width of the building element on which they are placed, this has been changed to 80%.
 - Service Island Canopy Signs are now identified as part of Building Mounted Sign standards as opposed to having their own set of standards.
 - Quite a few tedious standards for building mounted signs have been removed entirely.
 - Standards for Changeable Copy, Driveway, and Directory Signs have been reduced into one or two standards for each sign type.
 - Quite a few freestanding sign standards have either been moved to Table 10-50.100.050.A or removed entirely as they were unnecessary, redundant, or difficult to enforce.
 - Sign base width requirements have been removed.
 - Landscaping requirements for freestanding signs have been removed. Landscaping for all new developments is required so most new development freestanding signs will have landscaping. New regulation has been added which is that the area around the freestanding sign must be clear of weeds and debris.
 - Standards for Interpretive Signs have been removed as that sign type is usually located at parks, trails, or other natural/historical features which are not readable from the right of way and therefore not governed by the sign code.
 - Standards for landscape wall signs have been removed as that sign type will now be governed by freestanding sign regulations.
 - Projecting and Suspended signs have been grouped into the same set of regulations.
 - Roof-mounted sign standards have been reduced to be more concise and allow for more of the roof area to be covered (previously the height of the sign could only be on the lower 1/3 of the roof and the new regulations stipulate that it cannot project above the roof peak).
 - Window signage regulations have been significantly reduced. They have always been included in the total allowed building mounted signage allowance which regulates window signs to a high degree as most businesses use their building mounted signage allowance in their other signage.

Comprehensive Sign Programs (10-50.100.060)

- Removed language that required Comprehensive Sign Programs for all multi-family and nonresidential uses, which has not been followed for any developments in town.
- Removed unnecessary language to make the section more concise.

- Changed language which allows minor modifications to approved Comprehensive Sign Plans without having to pay the Comprehensive Sign Plan fee and instead can be handled through a sign permit fee (difference of approximately \$1,800 vs. \$90).
- Removed a reference to “findings” in the submittal requirements as there have never been any findings for a sign plan.

Sign Design Incentives (10-50.100.070)

- Condensed language to make it more concise.
- All incentives remain, however incentives that apply directly to freestanding signs no longer give bonuses to building mounted signs on the site.
- Cumulative Adjustments table removed as it provided no new information.

Portable and/or Temporary Signs (10-50.100.080)

- Added language to include temporary construction signs (banners on the fence for sites in development) as those have not been regulated by current code.
- As earlier in the code, standards for all temporary sign types have been placed into one table to aid in comprehension.
- The rest of the code changes are to clean up various numbers, letters, and references.

Sign Districts of Special Designation (10-50.100.090):

- Flagstaff Central Sign District findings were very subjective so any item that referenced “exceptional design” has been removed. New standards are more objective which should allow for uniformity in how it is administered.
- Standards for each sign type have been condensed into one table with a few standards for each sign type following the table, as in other parts of the updated code. Since this is another level of review beyond the earlier regulations in the sign code, any regulations that have not changed for the Flagstaff Central Sign District are governed by the earlier sections of code.
- Downtown Overlay Zone
 - There were various iterations of this zone name, it has now just been cleared up and is only referred to as the Downtown Overlay Zone.
 - Initially, this section referenced an document from the 90s called the Design Handbook for Downtown Flagstaff. Applicable standards have been included directly into the text of the sign code and a reference to the document has been removed. It is now made clear that the Design Handbook for Downtown Flagstaff is used for clarification purposes only.
- Flagstaff Auto Park District, Mall, and West University Entrance Drive
 - These sections remain unchanged except for changing some table and image number references to keep everything in sequential order based on changes earlier in the code.

Definitions “S” (10-80.20.190):

- Sign definition has been modified.
- Every single sign type had its own definition, most of these were removed as they are dictionary definitions and have no specific relation to the sign code.

5. **Findings:**

At the October 23, 2024, Planning and Zoning Commission meeting, the Commission will be requested to make a recommendation to the City Council on the proposed amendments based on the required findings specified in the Zoning Code. For your reference and discussion purposes, the required findings are specified below:

1. The proposed amendment is consistent with and conforms to the objectives and policies of the General Plan and any applicable specific plan;
2. The proposed amendment will not be detrimental to the public interest, health, safety, convenience, or welfare of the City; and
3. The proposed amendment is internally consistent with other applicable provisions of this Zoning Code.

6. **Community Involvement**

In accordance with Arizona Revised Statutes and the Zoning Code, the work session before the Planning and Zoning Commission was advertised in the Arizona Daily Sun on Saturday September 21, 2024, which is 19 days before the scheduled meeting date.

As of the date of this memorandum, staff has only received no public comments regarding this amendment.

Conclusion:

As indicated above, the purpose of the work session is for staff to present an overview of the Zoning Code's proposed amendment and allow interested individuals, residents, and business owners to provide comments. The work session also allows the Commission to ask questions, seek clarification, have discussions, and offer comments on the proposed amendment. No formal recommendation or action by the Commission to the City Council is to occur at the work session. Additional opportunities for discussion, public comment, and action by the Commission will occur at a future public hearing.

Attachments:

1. Case No. PZ-23-00134: Sign Standards

Case No. PZ-23-00134 Updates to Zoning Code – Sign Standards
Amendment for Adoption Flagstaff Zoning Code

Provisions that are being deleted are shown in bold ~~strikethrough~~ text.
Provisions that are being added are shown in bold red text.

Section 1. Amend Title 10 Flagstaff Zoning Code, Chapter 10-50: Supplemental to Zones, Division 10-50.100 Sign Standards, as follows:

Division 10-50.100:

Sign Standards

Sections:

10-50.100.010 Purpose

10-50.100.020 Compliance with the Zoning Code and Permit Requirements

10-50.100.~~020~~**030** Applicability

~~10-50.100.030 Sign Permits~~

10-50.100.040 General Restrictions **and Requirements** for All Signs

~~10-50.100.050 General Requirements for All Signs~~

10-50.100.~~060~~**050** Permanent Signs

10-50.100.~~070~~**060** Comprehensive Sign Programs

10-50.100.~~080~~**070** Sign Design ~~Performance Standards~~ **Incentives**

10-50.100.~~090~~**080** Portable **and/or Temporary** Signs

10-50.100.~~100~~**090** Sign Districts of Special Designation

10-50.100.~~110~~**100** Nonconforming Signs

10-50.100.~~120~~**110** Enforcement

10-50.100.~~130~~**120** Appeals

10-50.100.~~140~~**130** Severability

10-50.100.010 Purpose

The purpose of the sign standards is to set out reasonable regulations for the design, location, installation, display, operation, repair, maintenance, and removal of signs in a manner that advances the City's legitimate, important, substantial, and compelling interests, while simultaneously safeguarding the constitutionally protected right of free speech.

~~A. The Council finds that the natural surroundings, climate, history, and people of the City provide the Flagstaff community with its unique charm and beauty. This division has been adopted to ensure that all signs installed in the City are compatible with the unique character and environment of the community, and in compliance with the General Plan.~~

~~B. The purpose of this division is to promote public health, safety, and welfare through a comprehensive system of reasonable, effective, consistent, content-neutral, and nondiscriminatory sign standards and requirements, including the following specific purposes:~~

- ~~1. To promote and accomplish the goals, policies, and objectives of the General Plan;~~
- ~~2. To balance public and private objectives by allowing adequate avenues for both commercial and noncommercial messages;~~
- ~~3. To improve pedestrian and traffic safety by promoting the free flow of traffic and the protection of pedestrians and motorists from injury and property damage caused by, or which may be fully or partially attributable to, cluttered, distracting, and/or illegible signage;~~
- ~~4. To protect the aesthetic beauty of the City's natural and built environment for the citizens of and visitors to the City, and to protect prominent viewsheds within the community;~~
- ~~5. To prevent property damage, personal injury, and litter caused by signs that are improperly constructed or poorly maintained;~~
- ~~6. To protect property values, the local economy, and quality of life by preserving and enhancing the appearance of the streetscape; and~~
- ~~7. To provide consistent sign design standards that enable the fair and consistent enforcement of these sign regulations.~~

10-50.100.020 Compliance with the Zoning Code and Permit Requirements

A. A sign permit shall be obtained prior to the installation, modification, or replacement of any sign unless specifically identified below or exempted from these provisions in Section 10-50.100.30. in accordance with Section 10-20.40.120 Sign Permit – Permanent Signs.

B. All signs shall be installed in compliance with the provisions of this Division 10-50.100 and Title 4, Building Regulations.

C. A sign permit is not required for the following:

- 1. Signs on property used exclusively for a single-family residence or duplex;**
- 2. Changes to the copy of changeable signs; and**
- 3. Changes to the face or copy of an existing non-illuminated sign with no structural or lighting modifications. This does not apply to signs located within a historic overlay or sign districts of special designation.**
- 4. Signs on City-Approved Sign Support Structures in compliance with Section 10-50.100.080.(D).**
- 5. Sign Walkers in compliance with Section 10-50.100.080.(E).**

D. Sign Maintenance. It shall be unlawful for any person having lawful possession or control over a building, structure, or parcel of land to fail to maintain all signs in compliance with the Zoning Code. Failure to maintain a sign constitutes a violation of this division, and shall be subject to enforcement action in compliance with the provisions of Division 10-20.110, Enforcement.

- 1. Removal of Unused Sign Support Structures. Any vacant and/or unused sign support structures, angle irons, sign poles, or other remnants of old signs which are not currently in use or proposed for immediate reuse shall be removed. When a building mounted sign is removed, the wall shall be repaired and restored to its original condition.**
- 2. Obsolete Signs. Permitted signs may remain in place after the business vacates the premises, provided the sign is left nonilluminated and sign copy is removed within 30 days after the business vacates the premises.**
- 3. Removal of Unsafe Sign Structures. In addition to the remedies provided in Division 10-20.110, Enforcement, the Director shall have the authority to order the repair, maintenance, or removal of any sign or sign structure which has become dilapidated or represents a hazard to safety, health, or public welfare. If such a condition is determined by the Director to exist, the Director shall give notice by certified mail to the sign owner at the address shown on the sign permit, unless more recent information is available. If compliance has not been achieved within 30 days from service of notice, the Director may cause the sign to be removed or repaired, and the cost of such removal or repair to be charged against the sign owner and/or the property owner.**

E. **Sign Copy** Interpretations. This division is not intended to and does not restrict speech on the basis of its content, viewpoint, or message. No part of this division shall be construed to favor commercial speech over noncommercial speech. A noncommercial message may be substituted for any commercial message displayed on a sign, or the content of any noncommercial message displayed on a sign may be changed to a different noncommercial message, without the need for any approval or permit; provided, that the size of the sign is not altered and that the illumination source, if any, does not change. To the extent any provision of this division is ambiguous, the provision shall be interpreted not to regulate on the basis of the content of the message.

10-50.100.020030 Applicability

A. Applicability.

1. This division applies to all signs within the City, regardless of their nature or location, unless specifically exempted.

~~2. Regulations for permanent signs are found in Section 10-50.100.060, Permanent Signs.~~

~~3. Regulations for portable signs are found in Section 10-50.100.090, Portable Signs.~~

4.2. Heritage signs in landmark zones Individual Signs of Historic or Cultural Significance are governed by the ordinance designating the landmark **overlay property and its related guidelines.** ~~(Refer to Division 10-30.30, Heritage Preservation.)~~ **Refer to Section 10-30.30.040, Designation of Landmark Properties or Historic Overlay Zones.**

~~5. Nothing in this division shall be construed to prohibit a person from holding a sign while picketing or protesting on public property that has been determined to be a traditional or designated public forum (e.g., sidewalk or park), so long as the person holding the sign does not block ingress and egress from buildings, create a safety hazard by impeding travel on sidewalks, in bike or vehicle lanes, or on trails, or violate any other reasonable time, place, and manner restrictions adopted by the City. (See Section 10-50.100.090(C)(4), Sign Walkers.)~~

~~B. Sign Copy Interpretations. This division is not intended to and does not restrict speech on the basis of its content, viewpoint, or message. No part of this division shall be construed to favor commercial speech over noncommercial speech. A noncommercial message may be substituted for any commercial message displayed on a sign, or the content of any noncommercial message displayed on~~

a sign may be changed to a different noncommercial message, without the need for any approval or permit; provided, that the size of the sign is not altered. To the extent any provision of this division is ambiguous, the term shall be interpreted not to regulate on the basis of the content of the message.

C.—Summary of Incentives. A summary of the incentives applicable to the permanent signs permitted in this Division is provided in Table 10-50.100.020.A (Summary of Incentives Applicable to Permanent Signs).

Table 10-50.100.020.A: Summary of Incentives Applicable to Permanent Signs

Neon signs	Neon lighting is not included within total outdoor light output limits.	10-50.100.050(C)(3)(a)
Building mounted signs	If painted on a building wall, allowable sign area is increased by 10%.	10-50.100.060(C)
Building mounted signs	If 1 or more freestanding signs are not utilized, additional building mounted signage is permitted.	10-50.100.060(C)
Corner signs	Additional sign area is permitted if a sign is associated with a corner entrance to a building.	10-50.100.060(G)
Directory signs	If ≤ 16 sq. ft. in area, not included in total allowable sign area for the use.	10-50.100.060(H)
Freestanding signs	Name of the shopping center or development is not included in the area or height limit for the sign.	10-50.100.060(H)
Freestanding signs — corner location	If freestanding sign is proposed where 2 signs are permitted, the allowable sign area may be increased to a max. of 35%.	10-50.100.060(N)
Suspended signs	If ≤ 4 sq. ft. in area, not included in total allowable sign area for the use.	10-50.100.070 and 10-50.100.080

Comprehensive Sign Program and Sign Design Performance Standards	Allows for increases in sign area and height for building mounted and freestanding signs.	10-20.60.110(B)(3)
Nonconforming signs	Includes an incentive to replace a nonconforming sign with a new sign that is closer in conformance with applicable standards.	-

DB. Exemptions. The following signs are not regulated by this Zoning Code, so long as they meet the applicable standards described below.

1. Building Identification Signs. Building identification signs not exceeding one square foot in area for residential buildings and two square feet in area for nonresidential buildings.
2. Business Name and Address on an Entry Door. Name of a business, address information, and/or contact information displayed on an entry door, not exceeding two square feet in area.
3. Signs Posted on a Community Bulletin Board. Signs posted on a community bulletin board shall not exceed 11 by 17 inches.
4. Historic **Identification Signs and Architectural Features**. Historical plaques ~~erected and maintained by non-profit organizations~~, building cornerstones, and date-constructed stones not exceeding four square feet in area.
5. Signs Not Readable from the Public Right-of-Way.
 - a. Signs or displays located entirely inside of a building, and not visible from the building’s exterior;
 - b. Signs intended to be readable from within a parking area but not readable beyond the boundaries of the lot or parcel upon which they are located or from any public right-of-way; and
 - c. Interpretive signs for government, environmental, or historic purposes.**

~~c. Signs located within City recreation facilities.~~

6. Governmental Signs. Any sign, posting, notice or similar signs placed, installed, or required by law by a city, county, or a Federal or State governmental agency in carrying out its responsibility to protect the public health, safety, and welfare., ~~including, but not limited to, the following:~~

~~a. Emergency and warning signs necessary for public safety or civil defense;~~

~~b. Traffic signs erected and maintained by an authorized public agency;~~

~~c. Signs required to be displayed by law;~~

~~d. Signs directing the public to points of interest; and~~

~~e. Signs showing the location of public facilities.~~

10-50.100.030 Sign Permits

~~A. The procedures for submittal, review and approval of permanent signs are provided in Section 10-20.40.120, Sign Permit – Permanent Signs, and wall banner sign permits are provided in Section 10-50.100.090, Portable Signs, including any required fees.~~

~~B. A sign permit is not required for a sign on property used exclusively for a single family residence or duplex.~~

~~C. Nonstructural Modifications and Maintenance. A sign permit is not required for the following:~~

~~1. Changes to the face or copy of changeable signs;~~

~~2. Changes to the face or copy of an existing single-tenant or multi-tenant freestanding or building-mounted nonilluminated sign from one business to another with no structural or lighting modifications to the sign unless within a historic overlay or the Central Sign District; and~~

~~3. The normal repair and maintenance of conforming or legal nonconforming signs, except as identified in Section 10-50.100.050(E), Sign Maintenance.~~

10-50.100.040 General Restrictions and Requirements for All Signs

A. Location Restrictions. Except where specifically authorized in this division, signs may not be placed in the following locations:

1. Within, **or** on, ~~or projecting over~~ a City right-of-way;

~~2.—On public property;~~

~~3.2.~~ Any location that obstructs the view of any authorized traffic sign, signal, or other traffic control device;

~~4.3~~ Areas **required for emergency ingress or egress** ~~as allowing for ingress to or egress from any door, window, or any exit way~~ required by the **current** Building Code or Fire Department regulations ~~currently in effect~~;

~~5.4.~~ Off the premises of the business to which the commercial advertising sign refers;

~~6.5.—~~On fuel tanks, storage containers and/or solid waste receptacles or their enclosures, except for a manufacturer's or installer's identification, appropriate warning signs and placards, and information required by law; **and**

~~7.—~~ Tacked, painted, burned, cut, pasted or otherwise affixed to trees, rocks, light and utility poles, posts, fences, ladders, benches, or similar supports that are visible from a public way;

~~8.6.~~ Where they cover the architectural features of a building, such as dormers, insignias, pilasters, soffits, transoms, trims, or other architectural features;

~~9.—~~ On the roof of a building, except as permitted in Section ~~10-50.100.060 (E)(4)(B)(11)~~, **Roof Mounted Sign.**

B. Prohibited Signs.

1. Billboards;

2. Signs that could be confused with any authorized traffic signal or device;

3. Bandit signs; and

4. Stuffed or inflated animals or characters used as signs; **and**

5. Commercial signage on vehicles shall not be used as freestanding signs and shall be parked on business property so as not to be visible from the public right-of-way to the greatest extent feasible.

C. Display Restrictions.

1. Signs with the following display features are prohibited:

~~1. Purpose. The purpose of this subsection is to regulate the manner in which signs convey their messages by specifying prohibited display features that create distractions to the traveling public and create visual clutter that mar the natural and architectural aesthetics of the City.~~

~~2. Applicability. Signs with the following display features are prohibited:~~

~~a. Lighting devices with I~~ Intermittent, flashing, rotating, blinking or strobe light illumination, animation, motion picture, ~~or laser or motion picture projection,~~ or any lighting effect creating the illusion of motion, ~~as well as~~ **including** laser or hologram lights;

~~b. An exposed light source, except for neon that is incorporated into the design of the sign;~~

~~c.~~ **b.** Sound, odor, or smoke;

~~d.~~ **c.** Inflatable balloons, spinners, strings of flags and pennants, fixed aerial displays, streamers, tubes, or other devices affected by the movement of the air or ~~other atmospheric or~~ mechanical means ~~either attached to a sign or to vehicles, structures, poles, trees and other vegetation, or similar support structures;~~

~~e.~~ **d.** Rotating or moving sign ~~body or any other portion of the sign~~ whether by mechanical or any other means. Barber poles no larger than three feet high and 10 inches in diameter and clocks are excepted from this restriction;

~~f.~~ **e.** **Electronic displays;**

~~g.~~ **f.** Any changeable copy LED signs, except fixed illumination display signs used to indicate that a business is “open,” display prices, or to confirm an order placed in a drive-through.

~~h. Strings of lights arranged in the shape of a product, arrow, or any commercial message.~~

~~10-50.100.050 General Requirements for All Signs~~

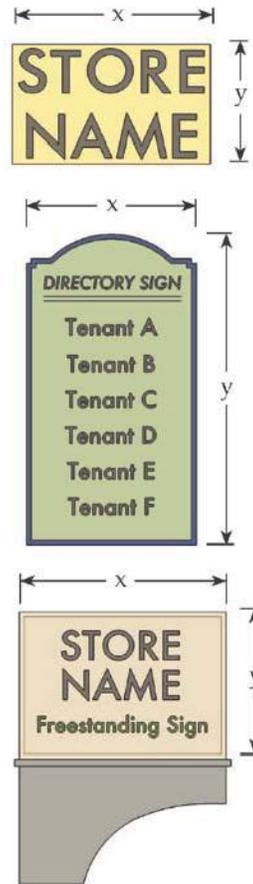
A.D. Sign Message. Any permitted sign may contain, in lieu of any other message or copy, any lawful ~~noncommercial~~ message, so long as the sign complies with the size, height, area, location, and other requirements of this division.

B.E. Sign Measurement Criteria.

1. Sign Area Measurement. Sign area for all sign types is measured as follows:

a. Sign copy mounted, affixed, or painted on a background panel or surface distinctively painted, textured or constructed as a background for the sign copy, is measured as that area contained within the sum of the smallest rectangle(s) that will enclose both the sign copy and the background, as shown in Figure 10-50.100.~~050A~~**040A**.

Figure 10-50.100.~~050A~~**040A**



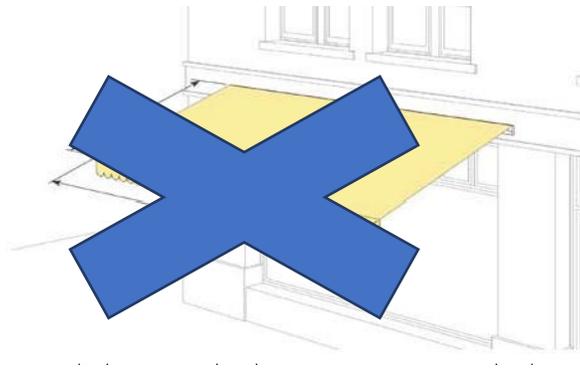
Sign Area for Signs on Background Panel

b. Sign copy mounted as individual letters or graphics against a wall, fascia, mansard, or parapet of a building or surface of another structure, that has not been painted, textured or otherwise altered to provide a distinctive background for the sign copy, is measured as a sum of the smallest rectangle(s) that will enclose each word and each graphic in the total sign, as shown in Figure 10-50.100.050B040B.

Figure 10-50.100.050B040B



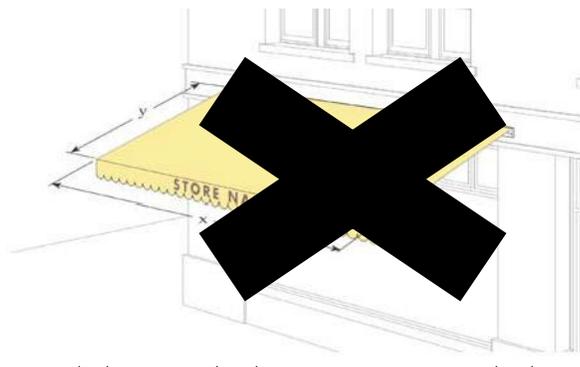
Sign Area for Signs with Individual Letters



c. Sign copy mounted, affixed, or painted on an illuminated surface or illuminated element of a building or structure, is measured as the entire illuminated surface or illuminated element, which contains sign copy, as shown in Figure 10-50.100.050C. Such elements may include, but are not limited to, lit canopy fascia signs, and/or interior lit awnings.

Figure 10-50.100.050C

Sign Area for Signs with Illuminated Surfaces



d.c. Multi-face signs, as shown in Figure 10-50.100.050D040C, are measured as follows:

(1) Two-face signs: If the interior angle between the two sign faces is 45 degrees or less, the sign area is of one sign face only. If the angle between the two sign faces is greater than 45 degrees, the sign area is the sum of the areas of the two sign faces.

(2) Three- or four-face signs: The sign area is 50 percent of the sum of the areas of all sign faces.

ed. Spherical, free-form, sculptural or other nonplanar sign area is measured as 50 percent of the sum of the areas using only the four vertical sides of the smallest four-sided polyhedron that will encompass the sign structure, as shown in Figure 10-50.100.050D040C. Signs with greater than four polyhedron faces are prohibited.

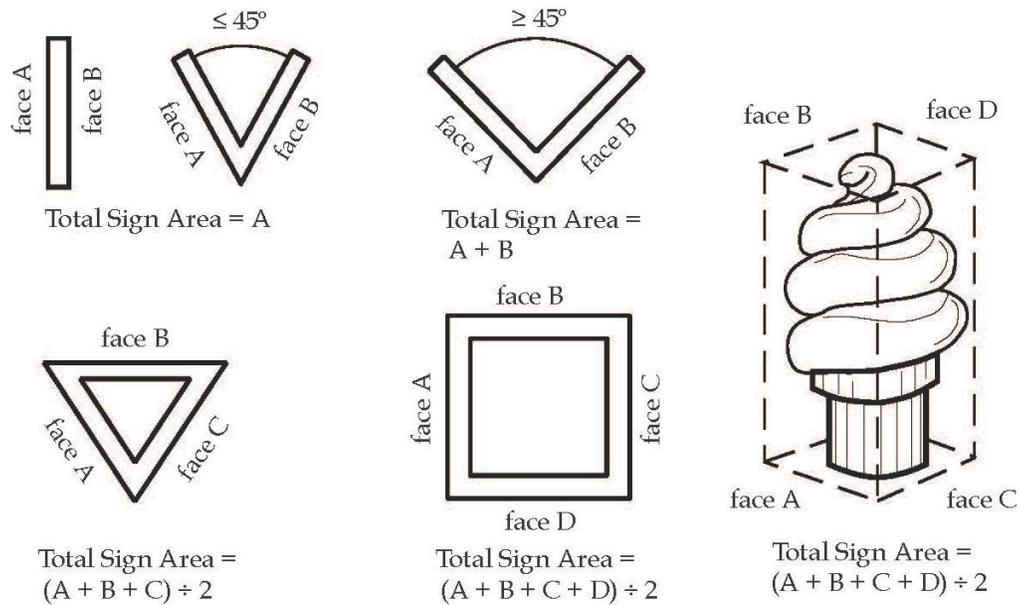


Figure 10-50.100.050-D040C

Sign Area for Multi-Face Signs or Free Form Signs



Figure 10-50.100.050D.1.040C.1

Sign Area for Symbol Included Within a Sign

2. Sign Height Measurement. Sign height is measured as follows:

a. Freestanding Signs. Sign height is measured as the vertical distance from the ~~average elevation of the~~ finished grade ~~within an eight-foot radius from all sides of the sign at the base of the sign to the top of the sign~~, exclusive of any filling, berming, mounding or landscaping solely for the purpose of locating the sign, ~~excluding decorative embellishments as permitted in Table 10-50.100.060.H., Standards for Freestanding Signs.~~

(1) If ~~natural~~ **existing** grade at the base of a sign is higher than the grade of the adjacent road, sign height shall be measured from the base of the sign, as shown in Figure 10-50.100.050.E.040D.

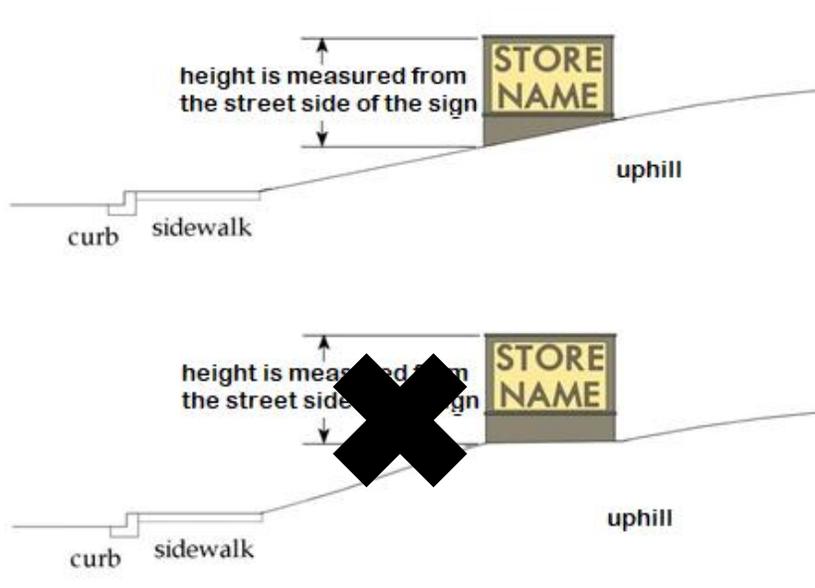


Figure 10-50.100.050.E.040D

Freestanding Sign Height – Signs Higher than the Grade of an Adjacent Road

- (2) If natural grade at the base of a sign is lower than the grade of an adjacent road, the height of the sign shall be measured from the top of curb elevation, as shown in Figure 10-50.100.050.F.040E.

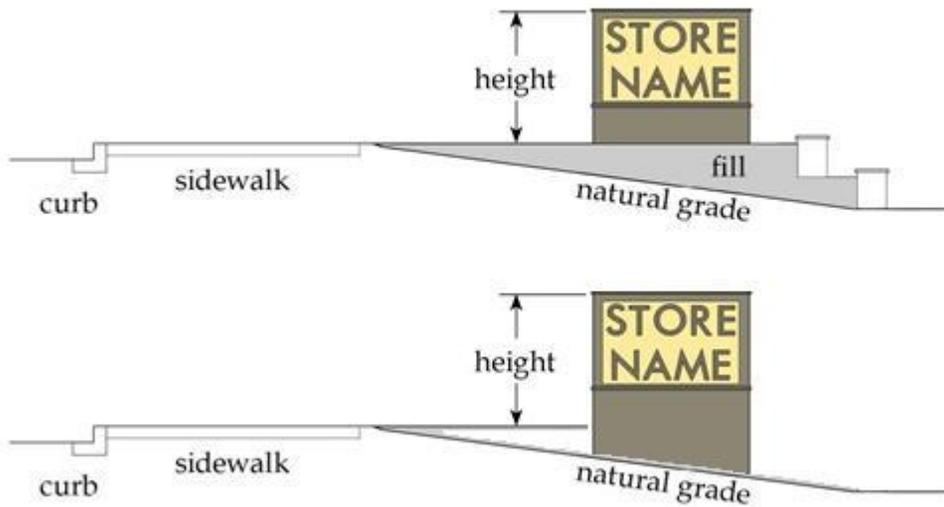
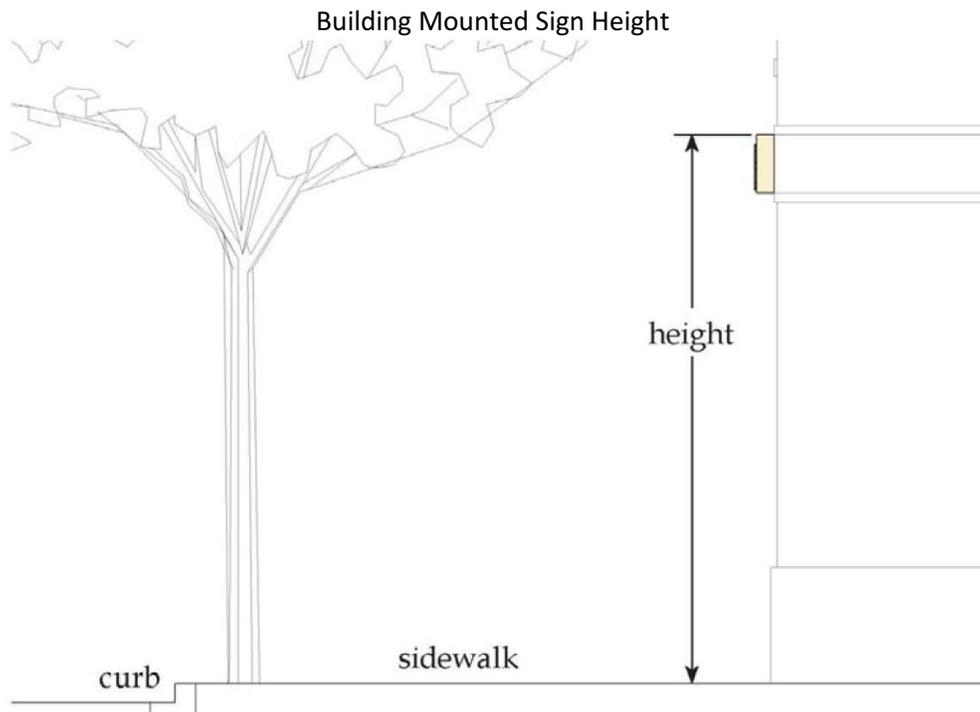


Figure 10-50.100.050.F.040E

Freestanding Sign Height – Sign Lower than the Grade of an Adjacent Road

- b. Building Mounted Signs. The height of wall, fascia, mansard, parapet, or other building mounted signs is the vertical distance measured from the base of the wall on which the sign is located to the top of the sign or sign structure, as shown in Figure 10-50.100.050.G.040F.

Figure 10-50.100.050G040F



CF. Sign Illumination. ~~Allowed permanent signs may be nonilluminated, or illuminated by internal light fixtures, halo illuminated, or illuminated by external indirect illumination, unless otherwise specified.~~ All illuminated signs shall comply with the time limitations of Section 10-50.70.050(HG). All permanent signs for single-family residences or duplexes and all temporary signs shall be nonilluminated.

1. Externally Illuminated Sign Standards.

a. Lighting Class. External illumination for signs shall comply with all provisions of this division, and shall be treated as Class 1 lighting, as defined in Section 10-50.70.050(BA). All external sign lighting is included within the total outdoor light output limits of Section 10-50.70.050(C), and shall comply with applicable lamp source and shielding restrictions.

b. Except as provided in subsection (CF)(1)(c) of this section, externally illuminated signs shall be illuminated only with steady, stationary, fully shielded light sources directed solely onto the sign without causing glare.

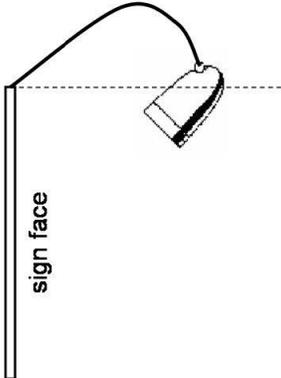
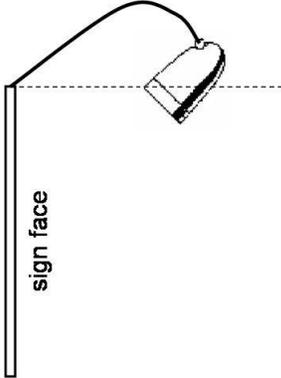
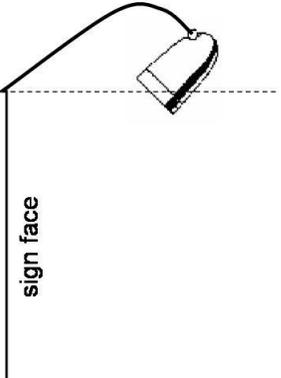
c. A light fixture mounted above the sign face may be installed with its bottom opening tilted toward the sign face provided:

(1) The bottom opening of the light fixture is flat (i.e., it could be covered by a flat board allowing no light to escape); and

(2) The uppermost portion of the fixture's opening is located no higher than the top of the sign face, as shown in Figure 10-50.100.050H040G. Light fixtures aimed and installed in this fashion shall be considered fully shielded for purposes of calculating the total outdoor light output limits of Section 10-50.70.050(C).

Figure 10-50.100.050H040G

External Sign Lighting Configurations

Permitted and Prohibited External Sign Lighting Configurations		
Allowed	Allowed	Not Allowed
 <p>Fully Shielded</p>	 <p>Fully Shielded</p>	 <p>Unshielded</p>

2. Internally Illuminated Sign Standards.

a. Internally illuminated signs shall either be constructed with an opaque background and translucent text and symbols, or with a colored (not white, off-white, light gray, or cream) background and generally lighter text and symbols (~~Figure 10-50.100.050I~~). Lamps used for internal illumination of internally illuminated signs shall not be counted toward the total outdoor light output limits of Section 10-50.70.050(CB).

(1) Lighting Zone 1. The sign face(s) shall be composed of illuminated text and symbols against an opaque (nonilluminated) background. The colors of these elements are not restricted.

(2) Lighting Zone 2. The sign face(s) shall be either composed of illuminated text and symbols against an opaque background ~~(as in subsection C.2.a.1. of this section)~~, or ~~with generally lighter text and symbols~~ against a colored (not white, off-white, light gray, cream, or yellow) background. ~~Text and symbols may be white, off-white, light gray, cream, or yellow. (See Figure 10-50.100.050.I.)~~

~~Figure 10-50.100.050I~~

Internally Illuminated Signs

Light Background Not Allowed	Colored Background Not Allowed	Opaque Background Allowed
RESTAURANT CAFE		HOTEL

~~b. Other internally illuminated panels or decorations not considered to be signage according to this division (such as illuminated canopy margins, building faces, or architectural outlining), shall be considered Class 3 lighting, as defined in Section 10-50.70.050(B), and shall be subject to the standards applicable for such lighting, including but not limited to the lamp source, shielding standards, and total outdoor light output limits established in Section 10-50.70.050(C).~~

3. Neon Sign Standards.

a. Exposed neon sign lighting is only permitted in nonresidential zones **and** shall be treated as Class 3 (decorative) lighting. Allowed neon signs shall not be included within the total outdoor light output limits of Section 10-50.70.050 ~~(C)~~.

~~Figure 10-50.100.050J~~



Neon Sign

b. Neon lighting extending beyond the area considered to be the sign area (as defined in this division) shall comply with all provisions of Division 10-50.70, Outdoor Lighting Standards.

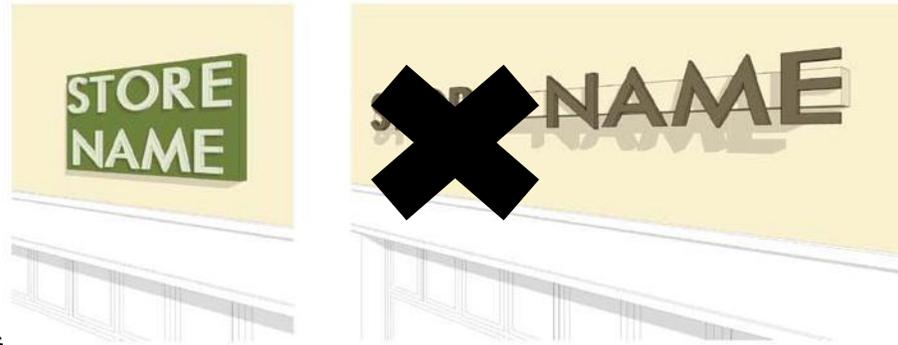
4. Single-Color LED Sign Standards. Single-color LED signs **are** permitted under **the display restrictions of** Section 10-50.100.040(C)(2)(g) **and** shall be considered as internally illuminated signs, and shall not have their lumen output counted toward the total outdoor light output limits of Section 10-50.70.050(**CB**). Any lighting extending beyond the area considered to be the sign area (as defined in this division) shall be treated as Class 3 lighting and shall comply with the lumen limits of Section 10-50.70.050(**CA**).

5. Time Limitations. All signs shall be turned off by 9:00 p.m. if located in Lighting Zone 1 and 11:00 p.m. if located in Lighting Zones 2, or when the business closes, whichever is later. Signs subject to time limitations are required to have functioning and properly adjusted automatic shut-off timers. See Section 10-90.40.020, Lighting Zone Map, for lighting zones.

D.G. Structure and Installation.

1. Raceway Cabinets. Raceway cabinets ~~shall only be used in building mounted signs when access to the wall behind the sign is not feasible,~~ shall not extend in width and height beyond the area of the sign, and shall match the color of the building to which it is attached. Where a raceway cabinet provides a contrast background to sign copy, the colored area is counted in the total allowable sign area permitted for the site or business. ~~Examples of raceway cabinets are shown in Figure 10-50.100.050K.~~

Figure 10-50.100.050K



Raceway Cabinets

2. Support Elements. Any angle iron, bracing, guy wires, or similar features used to support a sign shall not be visible to the extent technically feasible.

3. Electrical Service. When electrical service is provided to freestanding signs or landscape wall signs, all such electrical service is required to be underground and concealed. Electrical service to building mounted signs, including conduit, housings, and wire, shall be concealed or, when necessary, painted to match the surface of the structure upon which they are mounted. A building permit (electrical) shall be issued prior to installation of any new signs requiring electrical service.

~~4. Limitation on Attachments and Secondary Uses. All permitted sign structures and their associated landscape areas shall be kept free of supplemental attachments or secondary uses including, but not limited to, supplemental advertising signs not part of a permitted sign, light fixture, newspaper distribution rack, or trash container. The use of sign structures and associated landscape areas as bicycle racks or support structures for outdoor product display is prohibited.~~

~~5.4.~~ Durable Materials. All permanent signs permitted by this division shall be constructed of durable materials capable of withstanding continuous exposure to the elements and the conditions of an urban environment.

~~E. Sign Maintenance. It shall be unlawful for any person having lawful possession or control over a building, structure, or parcel of land to fail to maintain the property and all signs in compliance with the Zoning Code. Failure to maintain a sign constitutes a violation of this division, and shall be subject to enforcement action in compliance with the provisions of Division 10-20.110, Enforcement.~~

~~1.— Maintenance. All signs, whether or not in existence prior to adoption of this division, shall be maintained. Maintenance of a sign shall include periodic cleaning, replacement of flickering, burned out or broken light bulbs or fixtures, repair or replacement of any faded, peeled, cracked, or otherwise damaged or broken parts of a sign, and any other activity necessary to restore the sign so that it continues to comply with the requirements and contents of the sign permit issued for its installation and provisions of this division.~~

~~2.— Landscape Maintenance. Required landscaped areas contained by a fixed border, curbed area, or other perimeter structure shall receive regular repair and maintenance. Plant materials that do not survive after installation in required landscape areas are required to be replaced within six months or within the next planting season, whichever event comes first.~~

~~3.— Removal of Unused Sign Support Structures. Any vacant and/or unused sign support structures, angle irons, sign poles, or other remnants of old signs which are not currently in use or proposed for immediate reuse shall be removed. When a building mounted sign is removed, the wall shall be repaired and restored to its original condition.~~

~~4.— Obsolete Signs. Sign structures permitted as on-premises business signs may remain in place after the business vacates the premises, provided the sign is left nonilluminated and sign copy is removed within 30 days after the business vacates the premises. If an on-site use for the sign is not commenced within six months of the termination of the previous on-site use, the sign shall be deemed abandoned and subject to the provisions of Section 10-50.100.110, Nonconforming Signs.~~

~~5.— Removal of Unsafe Sign Structures. In addition to the remedies provided in Division 10-20.110, Enforcement, the Director shall have the authority to order the repair, maintenance, or removal of any sign or sign structure which has become dilapidated or represents a hazard to safety, health, or public welfare. If such a condition is determined by the Director to exist, the Director shall give notice by certified mail to the sign owner at the address shown on the sign permit, unless more recent information is available. If compliance has not been achieved within 30 days from service of notice, the Director may cause the sign to be removed or repaired, and the cost of such removal or repair to be charged against the sign owner and/or the property owner.~~

F.H. Sign Placement at Intersection. Applicable requirements for the placement of signs at intersections are provided in the *Engineering Standards*, Section 13-10-006-0002, Intersection Sight Triangles, Clear View Zones. **All new or relocated Freestanding Signs shall be reviewed and approved by the City Traffic Engineering Section.**

10-50.100.060050 Permanent Signs

~~A.—Applicability. Three levels of review standards are established in this division, some or all of which may be applied to the sign depending on where it is located within the City:~~

~~1.— All signs within the City of Flagstaff shall be reviewed based on the standards established in this division;~~

~~2.— Signs in the Flagstaff Central District are reviewed based on the standards established in Section 10-50.100.100.A., Flagstaff Central District, as well as the standards and requirements otherwise established in this division; and~~

~~3.— Signs in the Downtown Historic District, which have the highest standards of review in keeping with the historic character and urban scale of this district, are reviewed based on the standards in Section 10-50.100.100(B), Downtown Historic District, the Flagstaff Central District and the standards and requirements otherwise established in this division.~~

~~B.—Applicable to Transect Zones. Signs proposed in the transect zones shall comply with the standards established in the following sections:~~

~~1.— Transect Zone T6: Section 10-50.100.100.A., Flagstaff Central District, and Section 10-50.100.100.B., Downtown Historic District.~~

~~2.— Transect Zone T5 and T5-O: Section 10-50.100.100.A., Flagstaff Central District, and Section 10-50.100.100.B., Downtown Historic District, where applicable.~~

~~3.— Transect Zone T4N.1 and T4N.1-O: Section 10-50.100.100(A), Flagstaff Central District.~~

4. Transect Zone T3N.1: Section 10-50.100.100(A), Flagstaff Central District.

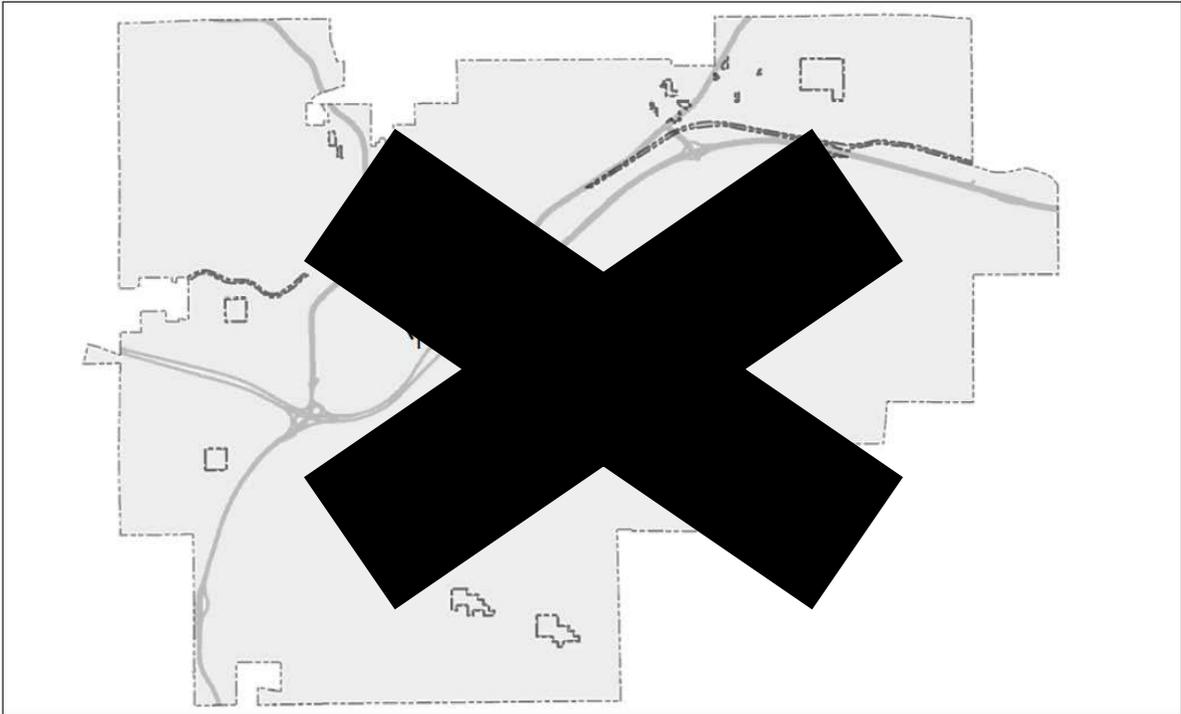


Figure A. Map Showing the Relationship Between the Standards Applied in the Downtown Historic District, Flagstaff Central District, and the City as a Whole

C.A. Permanent signs shall comply with the sign area, height, number, type and other requirements of this section and Table 10-50.100.060050.A, Standards for Permanent Signs by Use. ~~except as otherwise provided in subsections (D) and (E) of this section. Unless specifically indicated, sign permits are required for all permanent signs in accordance with Section 10-20.40.120, Sign Permit – Permanent Signs.~~

1. Signs in the Flagstaff Central District are reviewed based on the standards established in Section 10-50.100.100.A., Flagstaff Central District, as well as the standards and requirements otherwise established in this division; and

2. Signs in the Downtown Overlay Zone, which have the highest standards of review in keeping with the historic character and urban scale of this district, are reviewed based on the standards in Section 10-50.100.100.B., Downtown Overlay Zone, the Flagstaff Central District and the standards and requirements otherwise established in this division.

Table 10-50.100.060050.A: Standards for Permanent Signs by Use

Land Use	Allowed Sign Types	Number of Signs ¹	Max. Ht. (in ft.)	Max Area (sq. ft.)
Single-Family Residential or Duplex (includes Home Occupations and Bed and Breakfasts)				
	Building Mounted	1 ²⁻¹	6	6
	Freestanding	1 ²⁻¹	3	6
Single-Family Subdivision, Multifamily Developments, Manufactured Home Parks				
	Building Mounted	1 ⁴	4 25	2 24 ³
	Freestanding	1 ³⁻²	6	24
	Landscape Wall	1 ³⁻²	4	24
Master Planned Communities, Subdivisions, Manufactured Home Parks				
	Building Mounted ⁴	N/A	N/A	N/A
	Freestanding	1 ³⁻² per major vehicular entrance	8	36
	Landscape Wall	1 ³⁻² per major vehicular entrance	8	36
Institutional Use in All Zones				
	Building Mounted ⁴	1	6	24 ³
	Freestanding	1 ³⁻²	4	32
	Landscape Wall	1 ³⁻²	4	32
Nonresidential Uses in a Commercial or Industrial Zone – Live/Work, Single Tenant Building, and Detached Buildings within a Multi-Tenant Development or Shopping Center⁵				

Table 10-50.100.060050.A: Standards for Permanent Signs by Use

Land Use	Allowed Sign Types	Number of Signs [±]	Max. Ht. (in ft.)	Max Area (sq. ft.)
	Building Mounted – Single Building Frontage	Limited by max. sign area	25	1 sq. ft. to 1 linear foot of primary building frontage – 100 sq. ft. max ³
	Building Mounted – Multiple Building Frontages ⁴	Limited by max. sign area	25	1 sq. ft. to 1 linear foot of primary building frontage – 100 sq. ft. max ³
				1 sq. ft. to 0.5 2 linear foot feet of auxiliary building frontage – 80 sq. ft. max ³
	Single Tenant Freestanding Type A	Limited by frontage line length	8	32
	Type B		6	24
	Multi-Tenant Freestanding Type A	Limited by frontage line length	10	40
	Type B		6 8	24 32
Nonresidential Use in Commercial or Industrial Zone – Multi-Tenant Buildings, Development Sites, and Shopping Centers⁵				
Mixed-Used Developments				
	Building Mounted – Single Frontage ⁴ Residential Component	Limited by max. sign area-1	25	1 sq. ft. to 1 linear foot of primary building frontage – 100 sq. ft. max 24 ³

Table 10-50.100.060050.A: Standards for Permanent Signs by Use

Land Use	Allowed Sign Types	Number of Signs ¹	Max. Ht. (in ft.)	Max Area (sq. ft.)
	Building Mounted – Multiple Frontages^{4,6} Commercial Component⁴	Limited by max. sign area 1 per store front	25	1 sq. ft. to 1 linear foot of primary building commercial frontage – 100 sq. ft. max ³ 1 sq. ft. to 0.5 2 linear foot of auxiliary building frontage – 80 sq. ft. max
	Freestanding Type A	Limited by frontage line length	10	40
	Freestanding Type B	Limited by frontage line length	8	32

End Notes

~~¹Number of signs per development site or parcel.~~

²¹Either one building mounted or one freestanding sign permitted.

³²**Either** one freestanding or one landscape wall sign permitted.

⁴³**The** area of signs painted onto the wall of a building may be increased by 10 percent (~~see Table 10-50.100.060.C~~).

~~⁵Signs for single- and multi-tenant buildings or developments that contain elements exceeding the otherwise applicable area or height standards may only be approved in accordance with Sections 10-50.100.070, Comprehensive Sign Programs, and 10-50.100.080, Sign Design Performance Standards.~~

⁶⁴Multiple frontages include corner buildings or buildings with two or more frontages.

~~D. Signs for Residential Uses in All Zones.~~

~~1.— Building mounted and freestanding signs for detached single-family residences and duplexes are allowed without a sign permit. The standards in Table 10-50.100.060.A, Standards for Permanent Signs by Use, shall apply.~~

~~2.— Building mounted, freestanding and landscape wall signs for single-family subdivisions, multi-family developments and manufactured home parks are allowed with a sign permit subject to the standards established in Table 10-50.100.060.A, Standards for Permanent Signs by Use.~~

E.— Signs for All Nonresidential Uses in All Zones.

~~1.— Building mounted, freestanding, and landscape wall signs for institutional uses in all zones are allowed with a sign permit subject to the standards established in Table 10-50.100.060.A, Standards for Permanent Signs by Use.~~

~~2.— Building mounted and freestanding signs for all other nonresidential uses in all zones, including single tenant buildings, live/work units, detached buildings within a multi-tenant development or shopping center, and multi-tenant buildings, development sites, multi-use developments, or shopping centers are allowed with a sign permit subject to the standards established in Table 10-50.100.060.A, Standards for Permanent Signs by Use~~

~~3.— Hotel and Motel Room Rate Signs. Signs for hotels and motels that post room rates on an outdoor advertising sign shall comply with the requirements of Chapter 3-04, Motels and Hotels.~~

4-B. Standards for Specific Sign Types.

~~a.— All signs shall comply with the following standards. Each sign type listed in this section shall be included in the calculation of the total sign area allowed on a parcel or development site by this section, except as explicitly provided otherwise in this subsection. Each sign shall also comply with the sign area, height, and other requirements of Section 10-50.100.050, General Requirements for All Signs, and all other applicable provisions of this division. Any noncommercial message may be substituted for the sign copy on any commercial sign allowed by this division.~~

b.1. The following sign types are permitted, subject to the criteria listed under each sign type and within **Table 10-50-100.050.B**.

**Table 10-50.100.050.B
Permanent Sign Standards**

Sign Type	Max Area	Min Height	Max Height	Illumination	Max # of signs
Awning and/or Canopy	One square ft. of sign area per one linear foot of awning/canopy width. Included in the total allowable sign area for building mounted signs.	8 ft. from bottom of awning to nearest sidewalk.	25 ft. from the top of the sign.	No illumination permitted for awnings. Internal illumination only for letter or logos mounted on a canopy.	N/A
Building Mounted	See Table 10-50.100.050.A for maximum allowances.	N/A	25 ft. from the top of the sign.	Permitted in compliance with Division 10-50.070 Outdoor Lighting Standards.	N/A
Changeable Copy	No more than 20% of overall sign area. Included in the total allowable sign area for either building mounted or freestanding signs.	N/A	Apply either building mounted or freestanding standards.	Permitted in compliance with Division 10-50.070 Outdoor Lighting Standards.	N/A
Driveway	Three square ft. per sign face. Exempted from the total allowable sign area.	N/A	8 ft. for building mounted measured from the top of the sign. 3 ft. for freestanding sign.	Internal illumination only.	One sign per driveway or drive thru lane.
Directory	Signs not visible from the public right-of-way are limited to 16 square ft. in area and will not be counted in the total allowable sign area. Signs visible from the public right-of-way shall be counted towards the total allowable sign area.	N/A	12 ft for building mounted measured from the top of the sign. 6 ft. for freestanding sign.	Permitted in compliance with Division 10-50.070 Outdoor Lighting Standards.	One sign permitted per development site.

**Table 10-50.100.050.B
Permanent Sign Standards**

Sign Type	Max Area	Min Height	Max Height	Illumination	Max # of signs
Freestanding	See Table 10-50.100.050.A for maximum allowances.	N/A	See Table 10-50.100.050.A	Permitted in compliance with Division 10-50.070 Outdoor Lighting Standards.	One freestanding sign is permitted per frontage line under 400 feet. If a frontage line exceeds 500 ft a maximum of one Type A Sign and one Type B Sign is permitted separated by a minimum of a 150 ft.
Projecting and/or Suspended	16 square ft. Signs under 4 square ft. are not included in the total allowable building mounted sign area.	8 ft. from bottom of awning to nearest sidewalk.	25 ft. from the top of the sign.	Permitted in compliance with Division 10-50.070 Outdoor Lighting Standards.	One sign per business.
Roof Mounted	See Table 10-50.100.060.A for maximum allowances. Included in the total allowable building mounted sign area.	N/A	25 ft. from the top of the sign.	Permitted in compliance with Division 10-50.070 Outdoor Lighting Standards.	One of each sign per business.
Window	All signs shall not exceed 40% of the area of the window on or within which they are displayed. Permanent signs are included in the total allowable sign area for building mounted signs. Open signs are limited to a maximum of 2 square ft. and do not require a sign permit.	N/A	No higher than first story windows.	Neon illumination only. Fixed copy or display only.	N/A

(1)a. Awning **or Canopy** Sign.

(a1) Awning **or Canopy** signs are not permitted in residential zones.

(b2) ~~The standards provided in Table 10-50.100.060.B, Standards for Awning Signs, shall apply.~~ **Sign width shall not be greater than 80% of the width of the awning or canopy face or valance on which it is displayed.**

(3) If a canopy is placed on multiple storefronts, each business is granted signage no greater than 80% of the store width or tenant space directly adjacent to the canopy or awning.

(4) The awning may not project above the roofline of the building.

(5) Encroachment permit required for awnings projecting over public right-of-way.

Table 10-50.100.060.B: Standards for Awning Signs

	Standard	Other Requirements
Sign Area – (Copy, including logo)	1 sq. ft. of sign area per lineal foot of awning width.	Included in the total allowable sign area for building mounted signs.
Mounting Height	Max. 25 feet for ground floor awnings.	Min. of 8 feet from the bottom of the awning to the nearest grade or sidewalk.
Sign Placement	Only above the doors and windows of the ground floor of a building.	An awning shall not project above, below or beyond the edges of the face of the building wall or architectural element on which it is located. Displayed only on the vertical surface of an awning. Sign width shall not be greater than 60% of the width of the awning face or valance on which it is displayed. ¹
Valance Height	Max. 6 inches.	

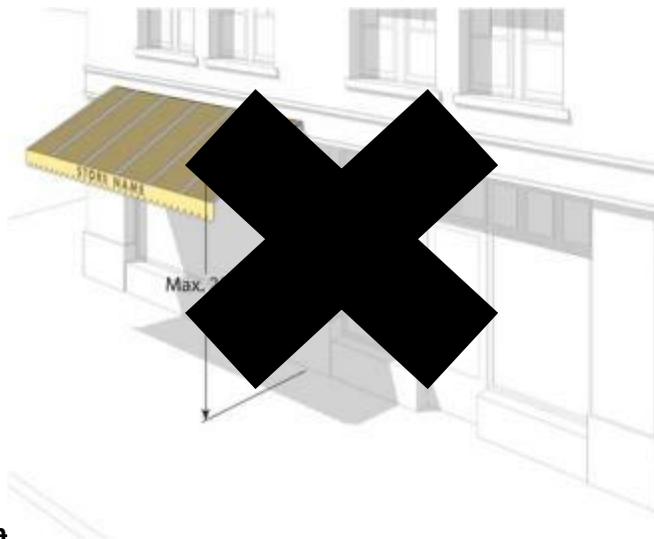
Table 10-50.100.060.B: Standards for Awning Signs

	Standard	Other Requirements
Setback from Back of Curb	Min. 18 inches.	
Illumination	Not permitted.	
Permitting	Sign permit is required.	

End Notes

¹If an awning is placed on multiple store fronts, each business is permitted signage no greater than 60 percent of the store width or tenant space.

Figure 10-50.100.060A



Awning Sign

(2)b. Building Mounted Sign.

(a1) ~~The standards provided in Table 10-50.100.060.C, Standards for Building Mounted Signs, shall apply to building mounted signs in all zones where allowed by Table 10-50.100.060.A, Standards for Permanent Signs by Use.~~ **Building mounted signs may not face an adjacent residentially zoned property.**

(2) The width of the sign shall not be greater than 80% of the width of the building element on which it is displayed.

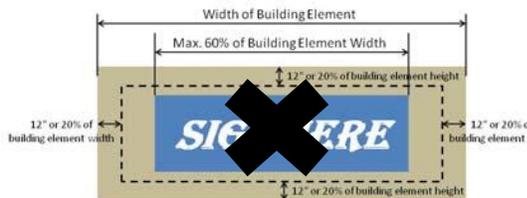
(3) Service Island Canopy signage are required to meet the standards for Building Mounted Signs.

(4) Increases in allowable sign area granted under Section 10-50.100.090, Sign Design Performance Standards, shall not be greater than 50% of the largest area permitted for Building Mounted Signs in Table 10-50.100.050.A, Standards for Permanent Signs by Use.

Table 10-50.100.060.C: Standards for Building Mounted Signs

	Standard
Sign Area	See this section and Table 10-50.100.060.A (Standards for Permanent Signs by Use).
Mounting Height	See Table 10-50.100.060.A (Standards for Permanent Signs by Use).

Sign Placement



The total sign area for signs on single-tenant or multi-tenant buildings may be placed on any building elevation, subject to the following standards:

(1) At least 1 sign shall be associated with the building entry zone⁴ (may be wall mounted, projecting, awning, etc.);

(12) No sign shall face an adjacent adjoining residentially zoned property;

(3) Signs shall be placed at least 12 inches or 20% of the width of the building element on which they are mounted, whichever is less, from the sides of the building element;

Table 10-50.100.060.C: Standards for Building Mounted Signs

	Standard
	<p>(24) The width of the sign shall be not greater than 80 % 60% of the width of the building element on which it is displayed;</p> <p>(5) Signs shall be placed at least 12 inches or 20% of the height of the building element on which they are mounted, whichever is less, from the top and bottom edge of the building element.</p> <p>If vertically placed on a mansard roof, structural supports shall be minimized, and secondary supports (angle irons, guy wires, braces) shall be enclosed/hidden from view.</p>
Total Allowable Sign Area	Max. sign area for businesses with multiple frontages, and for all building elevations on a single stand-alone business is 200 sq. ft., subject to the provisions of this section, including Sections 10-50.100.070 and 10-50.100.080.
2 or More Businesses Served by a Single Common Entrance	Considered 1 business sign for sign computation purposes; max. of 1.5 sq. ft. for each linear foot of building frontage of the entrance.
Sign for Non-Customer Service Entry	Max. 1 nonilluminated building-mounted sign; max. 6 sq. ft. in area; must be located adjacent to the entry.
Illumination	Permitted – See Section 10-50.100.050(C); except for single-family residences and duplexes.
Permitting	Sign permit is required, except for single-family residences and duplexes.
Special Provisions	

Table 10-50.100.060.C: Standards for Building Mounted Signs

	Standard
<p>Single Business with 1 Frontage— Increased Sign Area</p>	<p>Additional sign area is permitted if the owner forgoes display of a freestanding sign permitted for the site, to a max. of 1.5 sq. ft. per linear foot of building frontage, to a max. sign area of 100 sq. ft.^{2,3}</p>
<p>Corner Sign Area Incentive</p>	<p>Additional sign area is permitted for a sign mounted on the corner of a building and associated with a primary corner entrance; determined by adding 50% of the allowed sign area for the primary building frontage and 50% of the allowed sign area for the auxiliary building frontage (included in the total allowable sign area for building mounted signs).</p>
<p>Single Business with 2 or More Frontages— Increased Sign Area</p>	<p>Additional sign area is permitted for one or both building mounted signs if the owner forgoes display of one or both freestanding signs permitted for the site, to a max. of 1.5 sq. ft. per linear foot of building frontage along each street where no freestanding sign will be displayed, up to a max. sign area of 100 sq. ft. per building frontage.^{2,3}</p>
<p>Additional Increases in Sign Area</p>	<p>Additional sign area may be sought under Section 10-50.100.080, Sign Design Performance Standards.</p>
<p>Painted Wall Signs</p>	<p>Painted wall signs are permitted on any exterior building wall of an individual tenant space or building.</p> <hr/> <p>Painted wall signs shall be included in the total allowable area for building mounted signs.</p> <hr/> <p>The allowable area for a painted wall sign shall be increased by 10%. Shall be professionally painted.</p>

Table 10-50.100.060.C: Standards for Building Mounted Signs

	Standard
	Nonilluminated or externally illuminated with down directed, fully shielded fixtures only.

End Notes

~~¹Building entries in this context do not include service entries or separate doors for lodging rooms.~~

~~²Requests to use this provision are reviewed under the normal sign permit application procedure, in accordance with Section 10-20.40.120, Sign Permit – Permanent Signs.~~

~~³A release of rights to a freestanding sign for the duration of use of a larger building mounted sign is required with a sign permit, evidenced by a recordable form of acceptance signed by the property owner.~~

Figure 10-50.100.060B

Standards for Building Mounted Signs



~~(3) Canopy Sign.~~

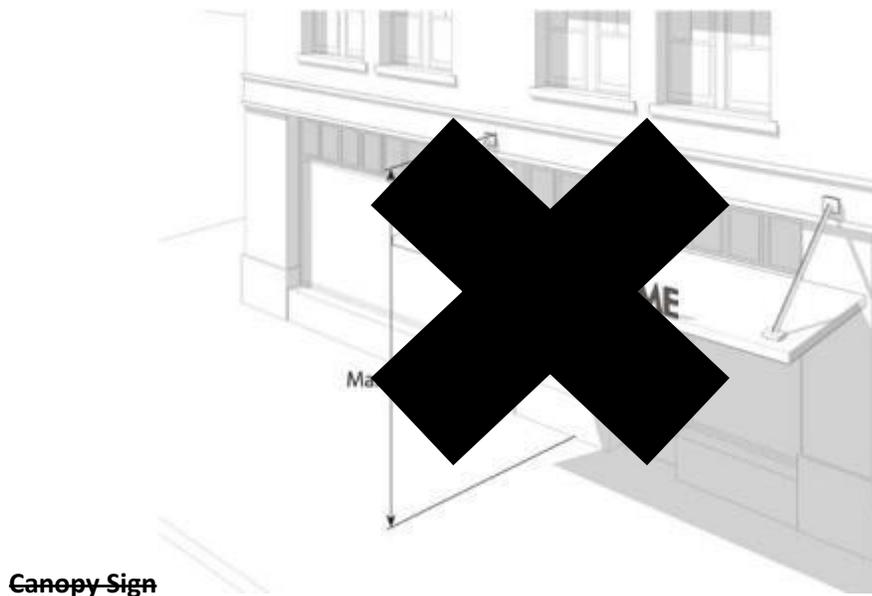
~~(a) Canopy signs are not permitted in residential zones.~~

~~(b) The standards provided in Table 10-50.100.060.D, Standards for Canopy Signs, shall apply.~~

Table 10-50.100.060.D: Standards for Canopy Signs		
	Standard	Other Requirements
Sign Area — (Copy, including logo)	1 sq. ft. of sign area per lineal foot of canopy width.	Included in the total allowable sign area for building mounted signs.
Mounting Height	Max. 25 feet for ground floor canopies. Min. of 8 feet from the bottom of the canopy to the nearest grade or sidewalk.	
Sign Placement	Only above the doors and windows of the ground floor of a building. A canopy shall not project beyond the edges of the face of the building wall or architectural element on which it is located. Shall not extend horizontally a distance greater than 60% of the width of the canopy on which it is displayed. ¹	
Setback from Back of Curb	Min. 18 inches	-
Illumination	Internal illumination only for the letters or logos mounted on a canopy. May also be nonilluminated.	
Permitting	Sign permit is required.	
End Notes		

¹If a canopy is placed on multiple store fronts, each business is permitted signage no greater than 60 percent of the store width or tenant space.

Figure 10-50.100.060C



(4)c. Changeable Copy Sign. ~~The standards provided in Table 10-50.100.060.E, Standards for Changeable Copy Signs, shall apply.~~

- (1) Permitted only as an integral part of a building mounted sign or a freestanding sign.**
- (2) Hotel and Motel Room Rate Signs. Signs for hotels and motels that post room rates on an outdoor advertising sign shall comply with the requirements of Chapter 3-04, Motels and Hotels.**

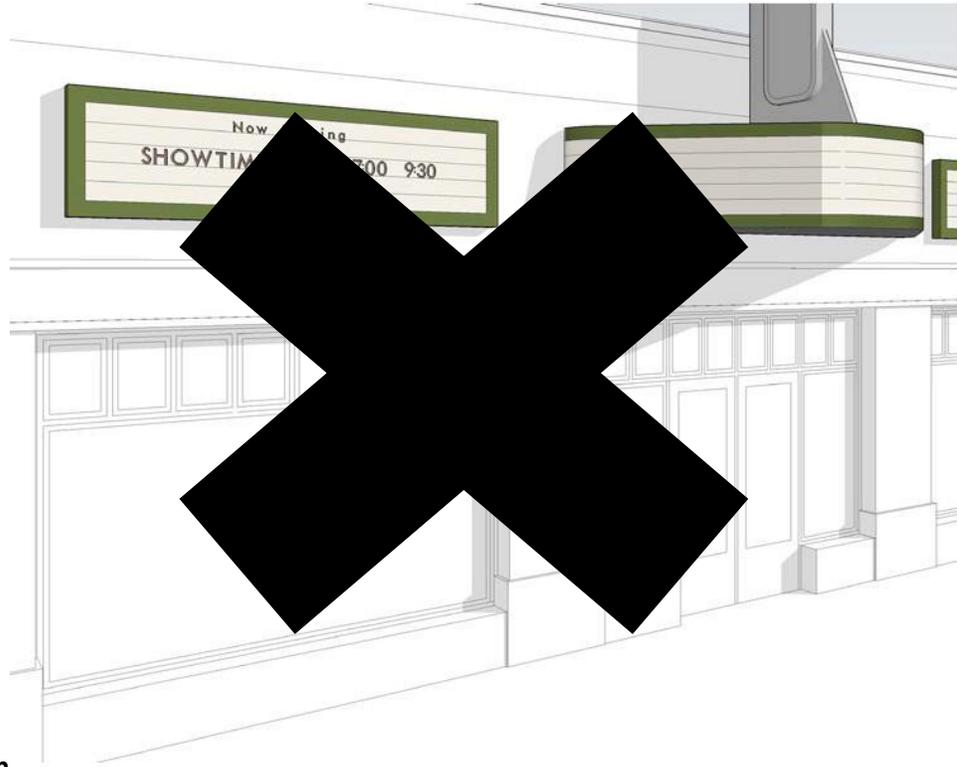
~~Table 10-50.100.060.E: Standards for Changeable Copy Signs~~

-	Standard
Sign Area	Max of 20% of the sign area (does not apply to signs required by law)
	Changeable copy sign area is included in the total allowable sign area.

Table 10-50.100.060.E: Standards for Changeable Copy Signs

-	Standard
Sign Placement	Permitted only as an integral part of a building mounted sign or a freestanding sign.
Background Color and Illumination	Illumination permitted – See Section 10-50.100.050(C), Sign Illumination, except that a white, off-white, or cream background is permitted when less than 20% of the maximum allowed sign area.
Permitting	Sign permit is required.

Figure 10-50.100.060D



Changeable Copy Sign

(5)d. Driveway Signs.

(a1) Driveway signs are exempted from the total allowable sign area permitted for each use. Driveway signs may be double sided.

(b2) The standards provided in Table 10-50.100.060.F, Standards for Driveway Signs, shall apply. A minimum 5-foot setback is required from all street frontage lines unless incorporated into a permitted fence/wall structure.

(3) Driveway signs shall be maintained in areas that are free and clear of weeds and debris.

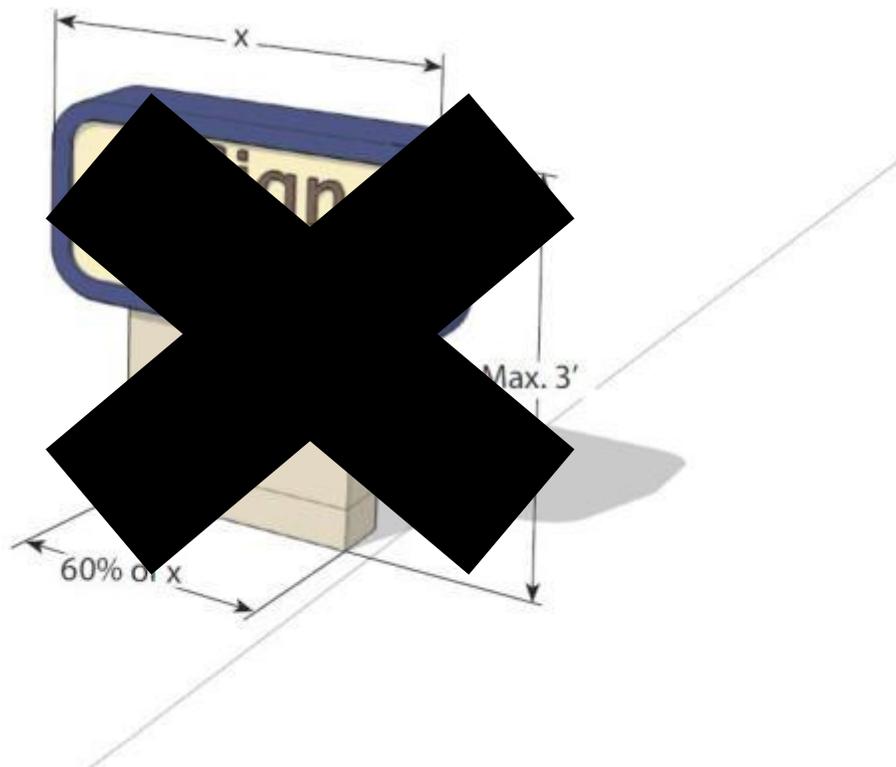
Table 10-50.100.060.F: Standards for Driveway Signs

	Standard	Other Requirements
Sign Area	3 sq. ft. per face.	May be double-sided.

Table 10-50.100.060.F: Standards for Driveway Signs

	Standard	Other Requirements
Mounting Height – Building Mounted Sign	Max. 8 feet from grade.	Flat against a wall of the building.
Mounting Height – Freestanding Sign	Max. 3 feet from grade.	
Number of Signs	Max. 1 at each driveway or drive-through lane.	
Illumination	Internal illumination only.	May also be nonilluminated.
Permitting	Sign permit is required.	

Figure 10-50.100.060E



~~(6)e. Directory Sign. The standards provided in Table 10-50.100.060.G, Standards for Directory Signs, shall apply.~~

(1) Directory signs shall be pedestrian oriented signs associated with the building entry zone of a multi-tenant building.

Table 10-50.100.060.G: Standards for Directory Signs		
-	Standard	Other Requirements
Sign Area	Signs ≤ 16 sq. ft. and not visible from the public right-of-way are not included in the total allowable sign area.	Signs > 16 sq. ft. in area or visible from the public right-of-way are counted in the total allowable sign area.
Mounting Height	Max. 12 feet.	
Freestanding Sign Height	Max. 6 feet.	
Sign Placement	Building mounted preferred; may be mounted on a low profile freestanding sign structure.	Shall be associated with the building entry zone of the businesses within a multi-tenant development, and/or within pedestrian-oriented open spaces.
Illumination	Nonilluminated, internally illuminated, or indirectly illuminated. See Section 10-50.100.050(C).	
Permitting	Sign permit is required.	

Figure 10-50.100.060.F.



~~Directory Sign~~

~~(7)f.~~ Freestanding Signs.

~~(a1)~~ The number and type of freestanding signs allowed for single and multiple tenant uses are derived from the use, zone, location, and length of development site frontage as outlined in this section and Table 10-50.100.060.050.A., Standards for Permanent Signs by Use.

(b2) Sign types are classified as “Type A” and “Type B” based on street designations established and mapped in the General Plan. These classifications are used to determine the number of signs allowed on a development site and their permitted size and height. Type A signs are allowed on street frontages longer than 100 feet on major arterials, while Type B signs are allowed on street frontages less than 100 feet on minor arterials or smaller street types.

(e3) A freestanding sign may consist of more than one sign panel provided all such sign panels are consolidated into one common integrated sign structure. In the event a sign is installed that does not utilize the maximum sign area permitted, any supplemental additions shall comply with, and be compatible with, the existing sign structure.

~~(d4) The standards provided in Table 10-50.100.060.H, Standards for Freestanding Signs, shall apply.~~ **A minimum 5-foot setback from all frontage lines is required unless the sign is incorporated into a permitted fence/wall structure. A minimum 15-foot setback is required from interior side property lines.**

(5) Freestanding signs may not be placed on frontage lines adjacent to Interstate Highways.

(6) On a development site where more than one freestanding sign is permitted, signs are not transferable in whole or in part, from one street frontage to another.

(7) Freestanding signs shall be maintained in areas that are free and clear of weeds and debris.

(8) Increases in allowable sign area granted under Section 10-50.100.090, Sign Design Performance Standards, shall not be greater than 50% of the largest area permitted for freestanding signs in Table 10-50.100.050.A, Standards for Permanent Signs by Use.

Table 10-50.100.060.H.: Standards for Freestanding Signs

Standard		
Sign Area	See Table 10-50.100.060.A, Standards for Permanent Signs by Use.	
Sign Height	See Table 10-50.100.060.A, Standards for Permanent Signs by Use. Elements to enhance the design of a sign structure may extend above the sign to a max. of 20% of the sign's allowed height, or 12 inches, whichever is greater.	
Number and Type of Signs	Determined by the length of the development site frontage line. ^{1,3}	
Street Type²	Major Arterials	Minor Arterials or Other Streets
Frontage line of ≤100 ft.	Max. 1 Type B Sign.	Max. 1 Type B Sign.
Frontage line >100 ft. but <500 ft.²	Max. 1 Type A Sign.	Max 1 Type B Sign.
Frontage line ≥500 ft.²	Max. 1 Type A Sign and Max. 1 Type B Sign, but the combined area of the Type A and Type B signs shall not exceed the maximum area permitted in Table 10-50.100.060.A. ³ Must be separated by min. 150 ft. measured on the street frontage line.	
Special Provisions	Standard	
Sign Width	The sign base must be a min. of 60% of the width of the sign cabinet or face. A freestanding sign may be mounted on 2 or more posts with a min. diameter/dimension of 8" if the sign complies with standards of Section 10-50.100.060.A Sign Design Performance Standards.	
Sign Placement	Freestanding signs may only be placed on the street frontage line on which the sign is authorized in accordance with this section and Table 10-50.100.060.A, Standards for Permanent Signs by Use, and not interstate highways.	

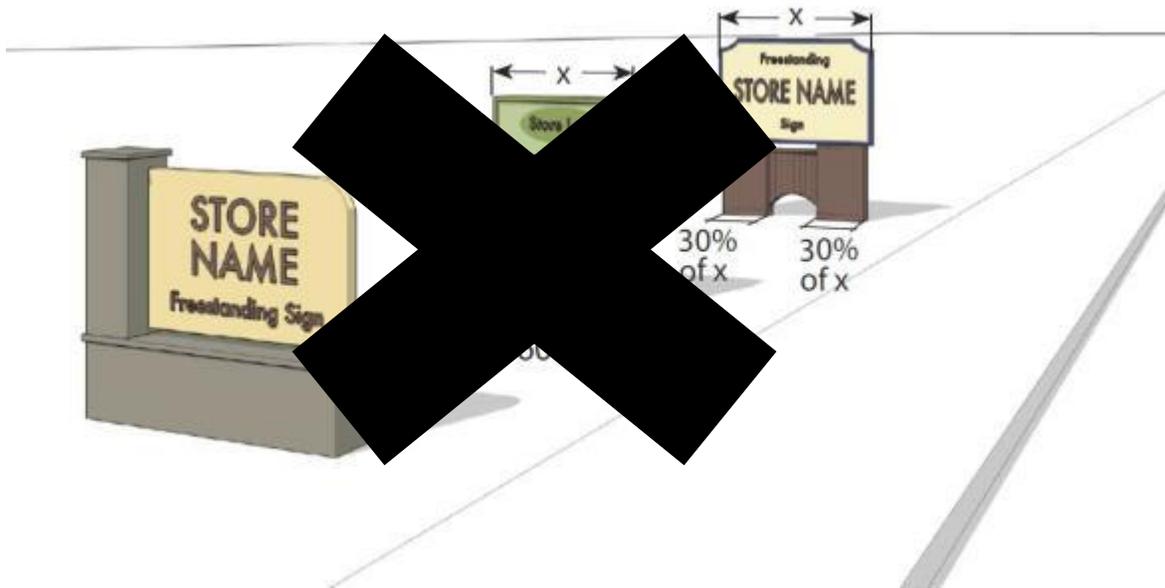
Table 10-50.100.060.H.: Standards for Freestanding Signs

	<p>On a development site where more than 1 freestanding sign is permitted, signs are not transferable in whole or in part, from 1 street frontage to another.</p> <p>Flag lot sites with frontage on a public street are permitted 1 sign on the frontage providing primary access to the site.</p>
Name of Shopping Center or Development Site	The name of a shopping center or development site is exempt from the area and height limits for freestanding signs; it may have a max. height of 2 feet and be no wider than the width of the sign.
Setbacks	<p>Min. of 5 feet from the street side property line.</p> <p>Min. of 15 feet from any interior side lot line.</p> <p>Min. of 30 feet from any residential district or use.</p>
Single or Multi-Tenant Development Site with Corner Location – Increased Sign Area^{1,2}	<p>When only 1 freestanding sign is proposed where 2 are permitted, the allowable sign face area may be increased to a max. of 35% over the largest freestanding sign permitted in Table 10-50.100.060.A, Standards for Permanent Signs by Use.</p> <p>A sign located at a corner is permitted in compliance with <i>Engineering Standards, Section 13-10-006-0002, Intersection Sight Triangles, Clear View Zones.</i></p>
Additional Increases in Sign Area	Increases in allowable sign area granted under Section 10-50.100.080, Sign Design Performance Standards, shall not be greater than 50% of the largest area permitted for freestanding signs in Table 10-50.100.060.A, Standards for Permanent Signs by Use.
Post Sign	<p>Max. 1 post sign per frontage.</p> <p>Sign permit is required unless the post sign advertises property or a portion of the property for sale, rent or lease, in which case no sign permit is required and the sign area will be included in the allowable area for portable signs. See Table 10-50.100.090-A.</p>

Table 10-50.100.060.H.: Standards for Freestanding Signs	
Landscaping	<p>A landscaped area consisting of shrubs and/or perennial ground cover plants with a max. spacing of 3 feet on center is required around the base of all freestanding signs. The landscape area must be minimum of 2.5 sq. ft. for each 1 sq. ft. of sign area.</p> <hr/> <p>Where appropriate, trees required under Division 10-50.60, Landscaping Standards, shall be planted in a manner to frame or accent the sign.</p>
Illumination	Permitted – See Section 10-50.100.050(C); except for single-family residences and duplexes.
Permitting	Sign permit is required, except for single-family residences and duplexes.
End Notes	
¹ For development sites with frontage on more than one street, the signage for each street shall be determined by the length of each individual frontage line of the site.	
² For multi-tenant buildings, developments sites, or shopping centers only, the frontage line length standard is reduced from 500 feet to 400 feet.	
³ Refer to Section 10-20.60.110, Nonconforming Signs, if an existing nonconforming sign is present.	
⁴ A sign permit issued under this provision requires a release of rights to additional freestanding signs for the duration of use of the single larger sign, evidenced by a recordable form of acceptance signed by the property owner.	

Figure 10-50.100.060G

Freestanding Sign



~~(8) Interpretative Sign. The standards provided in Table 10-50.100.060.I, Standards for Interpretative Signs, shall apply.~~

~~Table 10-50.100.060.I: Standards for Interpretative Signs~~

-	Standard	Other Requirements
Sign Area	-	Not included in the total allowable sign area for freestanding signs.
Low-profile sign	Max. 6 sq. ft.	
High-profile sign	Max. 12 sq. ft.	Max. of 3 high-profile signs may be combined as 1 sign panel.
Height	-	-
Low-profile sign	Max. 3 feet from grade.	
High-profile sign	Max. 7 feet from grade.	
Sign Characteristics	Pedestrian scaled and oriented.	
	Context sensitive design.	
	Shall not include advertising for any facility or organization.	

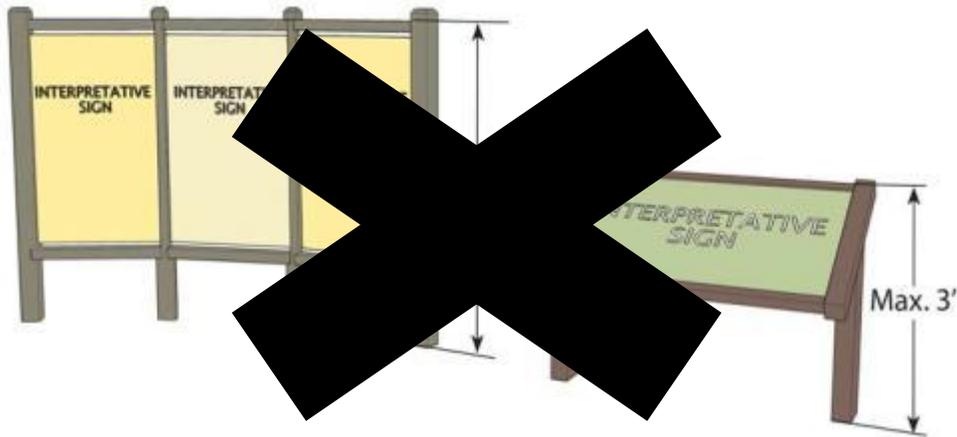
~~Table 10-50.100.060.I: Standards for Interpretative Signs~~

	Standard	Other Requirements
		Shall not direct a reader to another sight, event, or subject.
Number of Signs	No limit.	
Illumination	Not permitted.	
Permitting	Sign permit is required. ¹	
End Notes		

¹Interpretative signs for environmental purposes shall be submitted for content review by the Open Spaces Commission and interpretative signs for heritage, cultural, or historic purposes shall be submitted for content review by the Heritage Preservation Commission prior to staff review.

~~Figure 10-50.100.060H~~

~~High-Profile and Low-Profile Interpretative Sign~~



~~(9) Landscape Wall Sign. The standards provided in Table 10-50.100.060.J, Standards for Landscape Wall Signs, shall apply.~~

Table 10-50.100.060.J: Standards for Landscape Wall Signs

	Standard	
Sign Area	Nonresidential Use in Commercial or Industrial Zone	Max. 24 sq. ft.
-	Single-family Subdivision, Multi-family Developments, or Manufactured Home Parks	Max. 24 sq. ft.
-	Master Planned Communities	Max. 36 sq. ft.
-	Institutional Uses in All Zones	Max. 32 sq. ft.
-	Landscape Wall Signs are included in the total allowable sign area for building mounted signs. May also be considered a freestanding sign, e.g., when used as a subdivision entry sign.	-
Height of Landscape Wall	Max. 5 feet from grade.	
Mounting Height	The sign copy shall be a min. of 6 inches below the top of the wall and 12 inches above ground level. Signs shall not project above or beyond the top or sides of the landscape wall.	
Number of Signs	Multiple signs are permitted to a maximum of 24 sq. ft., and sign(s) shall not cover more than 40% of the landscape wall's background area.	
Sign Placement	Perimeter/screen walls and all signs located at a corner shall comply with <i>Engineering Standards, Section 10-06-020, Intersection Sight Triangles, Clear View Zones</i> , unless the wall on which the sign is located is less than 30 inches in height.	
Illumination	Permitted — See Section 10-50.100.050(C).	
Permitting	Sign permit is required.	

Figure 10-50.100.060I



Landscape Wall Sign

(10)g. Projecting **and/or Suspended** Sign. ~~The standards provided in Table 10-50.100.060.K, Standards for Projecting Signs, shall apply.~~

- (1) Projecting Signs shall not extend more than 4 feet from the wall of a building.**
- (2) Suspended Signs shall extend beyond the edge of the building façade or overhang on which it is placed.**

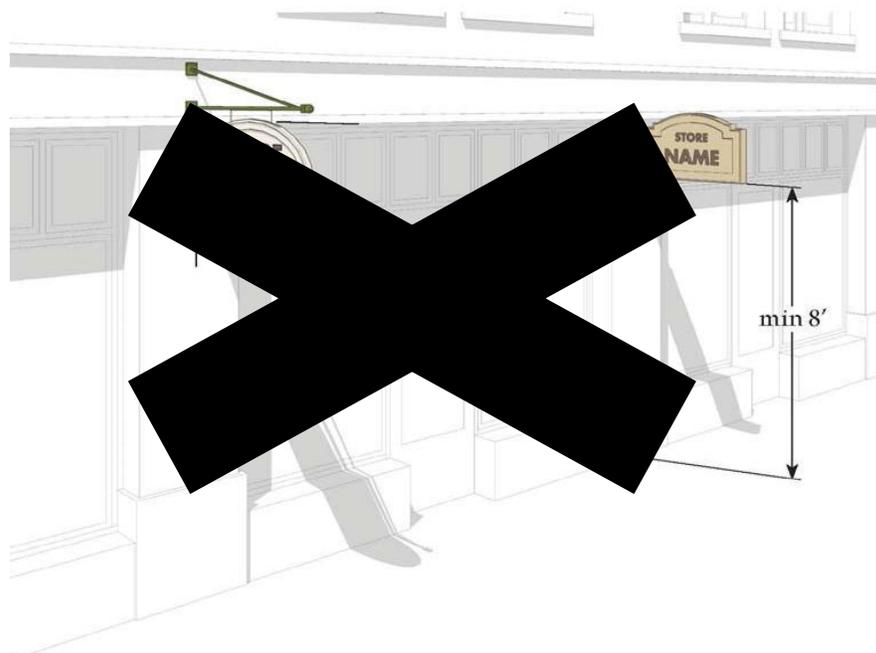
Table 10-50.100.060.K: Standards for Projecting Signs

Standard	
Sign Area	Max. 16 sq. ft. (included in the total allowable sign area for building mounted sign area).
Mounting Height	Min. of 8 feet from the bottom of the sign to the nearest grade or sidewalk.
Number of Signs	Max. 1 per business.
Maximum Projection	Shall extend a max. of 4 feet from the building.
Illumination	Nonilluminated or externally illuminated with down directed, fully shielded fixtures only.

~~Table 10-50.100.060.K: Standards for Projecting Signs~~

	Standard
Permitting	Sign permit is required.

~~Figure 10-50.100.060J~~



Projecting Sign

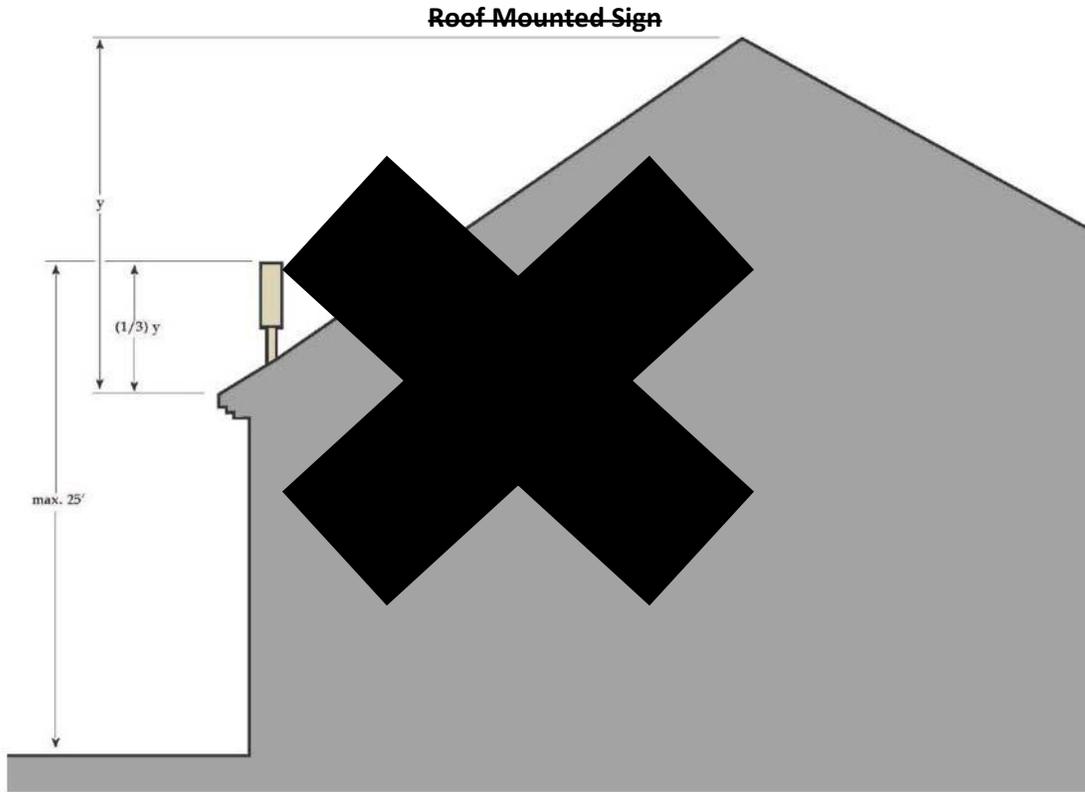
~~(1)h.~~ Roof Mounted Sign. ~~The standards provided in Table 10-50.100.060.L, Standards for Roof Mounted Signs, shall apply.~~

- (1) Roof Mounted Signs are only permitted on slope roofed buildings.
- (2) Roof Mounted Signs shall not project above the roof peak or break the silhouette of the building as viewed from the front of the sign face.
- (3) Roof Mounted Sign structural supports shall be minimized.

~~Table 10-50.100.060.L: Standards for Roof Mounted Signs~~

-	Standard	Other Requirements
Sign Area	See Table 10-50.100.060.A, Standards for Permanent Signs by Use.	Such signs are included in the total allowable sign area for building mounted signs.
Mounting Height	Max. 25 feet from grade.	
Number of Signs	See Table 10-50.100.060.A, Standards for Permanent Signs by Use.	
Sign Placement	Permitted on sloped roof buildings only where no walls exist to accommodate a building mounted sign. Only on the lowest 1/3 of the slope of the roof, such that the sign does not project above the roof peak or break the silhouette of the building as viewed from the front of the sign face.	
Installation	Roof mounted signs shall be installed so that the structural supports of the sign are minimized. Angle irons, guy wires, braces or other secondary supports shall appear to be an integral part of the roof or roof sign.	
Illumination	Permitted – See Section 10-50.100.050(C).	
Permitting	Sign permit is required.	

Figure 10-50.100.060K

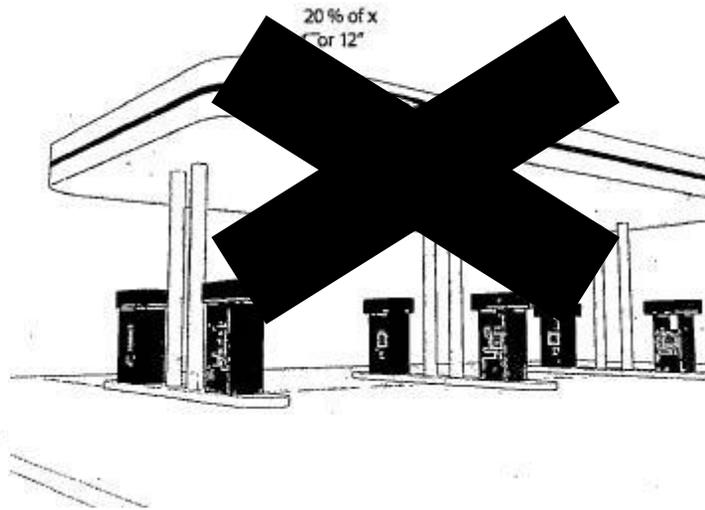


(12) Service Island Canopy Sign. The standards provided in Table 10-50.100.060.M, Standards for Service Island Canopy Signs, shall apply.

Table 10-50.100.060.M: Standards for Service Island Canopy Signs	
	Standard
Sign Area	Included in the total allowable building mounted sign area— See Table 10-50.100.060.C.
Illumination	Permitted— See Section 10-50.100.050(C).
Permitting	Sign permit is required.

Figure 10-50.100.060L

Service Island Canopy Sign

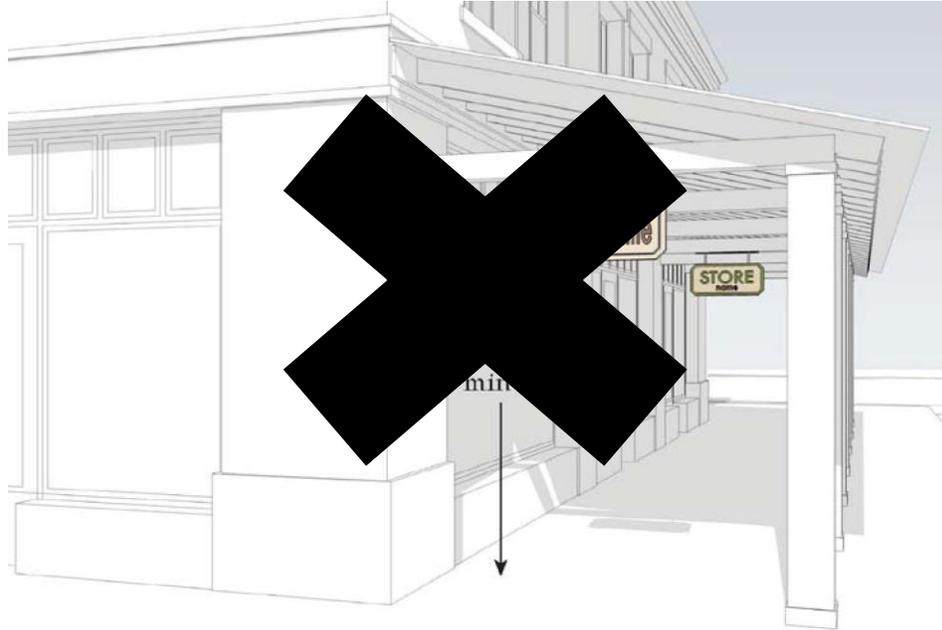


~~(13) Suspended Sign. The standards provided in Table 10-50.100.060.N, Standards for Suspended Signs, shall apply.~~

Table 10-50.100.060.N: Standards for Suspended Signs

	Standard	Other Requirements
Sign Area	Signs ≤ 4 sq. ft. are not included in the total allowable sign area for building mounted sign area.	Signs > 4 sq. ft. in area are included in the total allowable building mounted sign area.
Sign Placement	On or immediately adjacent to the business the sign identifies.	Min. of 8 feet from the bottom of the sign to nearest grade/sidewalk. Sign shall not extend beyond the edge of the building facade or overhang on which it is placed.
Number of Signs	Max. 1.	
Illumination	Permitted — See Section 10-50.100.050(C).	
Permitting	Sign permit is required.	

Figure 10-50.100.060M



Suspended Sign

(14)i. Window Sign. ~~The standards provided in Table 10-50.100.060.O, Standards for Permanent Window Signs, shall apply.~~

(1) Window Signs shall be mounted on the interior side of the window.

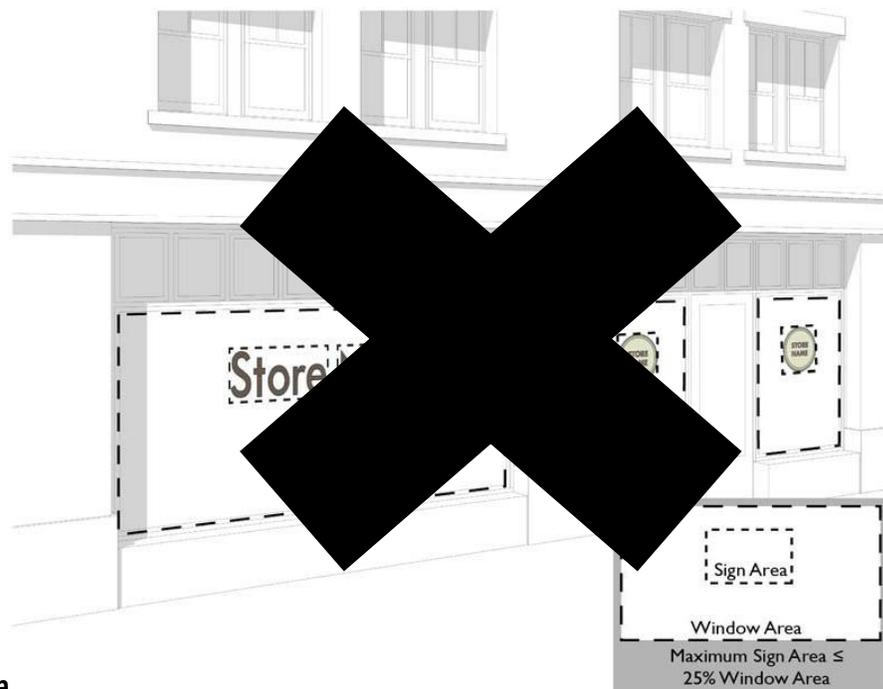
~~Table 10-50.100.060.O: Standards for Permanent Window Signs~~

-	Standard	Other Requirements
Sign Area	Combined area of temporary and permanent window signs shall not exceed 40% of the area of the window on or within which they are displayed.	Signs constructed of perforated vinyl or painted on the window shall be included as part of the 40% area calculation. Permanent window signs are included in the total allowable sign area for building mounted signs.
Sign Placement	No higher than first story windows.	Inside mounting required.

Table 10-50.100.060.O: Standards for Permanent Window Signs

	Standard	Other Requirements
Illumination	Neon illumination only.	Fixed copy or display only – no flashing, blinking, or moving text or images are permitted.
Permitting	Sign permit is required.	
Open Signs	Max. 2 sq. ft. Max. 1 per business.	Excluded from the total allowable building mounted sign area.
		No sign permit required.

Figure 10-50.100.060.N.



Window Sign

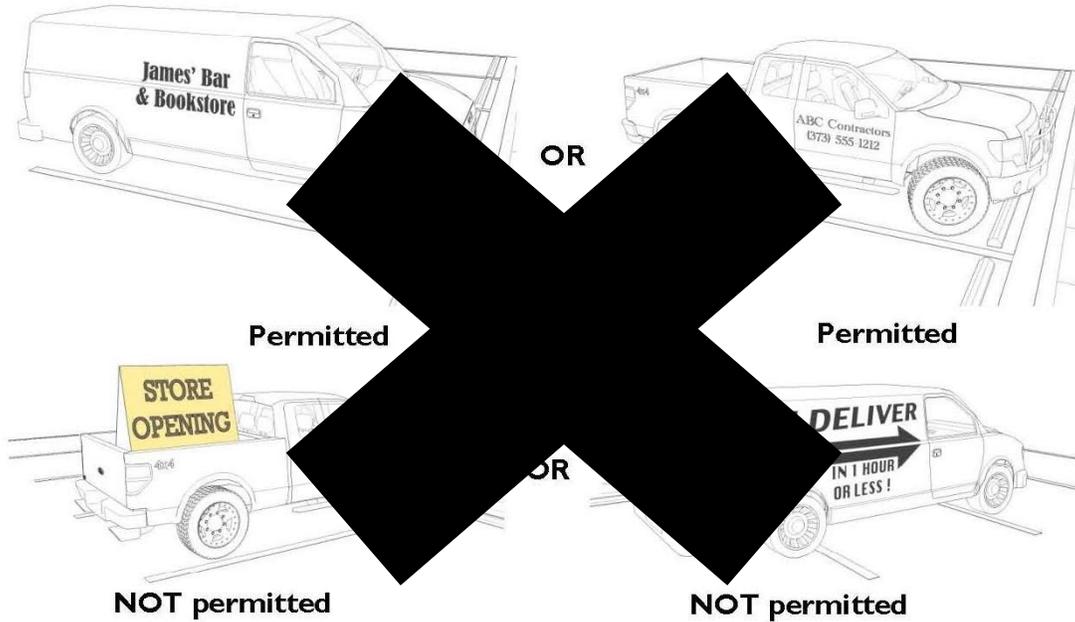
~~(15) Vehicle Signs. The standards provided in Table 10-50.100.060.P., Standards for Vehicle Signs, shall apply.~~

Table 10-50.100.060.P.: Standards for Vehicle Signs

-	Standard	Other Requirements
Vehicle Signs		
Vehicle Sign	<p>May be:</p> <p>(1) Permanently painted or wrapped on the surface of a vehicle;</p> <p>(2) Adhesive vinyl film affixed to a window; or</p> <p>(3) Magnetically attached to a vehicle.</p>	<p>May only indicate the name of the business and owner.</p>
Vehicle Use	<p>The vehicle must be regularly and consistently used in the normal daily conduct of the business, e.g., used for delivering or transporting goods or providing services related to the business.</p> <p>Vehicle shall be operable and properly licensed.</p> <p>When not in use the vehicle shall be parked in a lawful manner on the business property so as not to be visible from the public right-of-way, or if this is not possible, as far from the public right-of-way as possible.</p> <p>The intent of these regulations is to prohibit the use of vehicle signs as billboards or permanent freestanding signs.</p>	

Figure 10-50.100.060.O.

Signs on Vehicles Used for Business Purposes



10-50.100.070.060 Comprehensive Sign Programs

A. Purpose.

1. The purpose of this section is to provide a **voluntary** process to respond to special signage needs. ~~for proposed or existing multi-family residential and nonresidential uses, as well as to provide for sign design incentives that promote superior sign design, materials and methods of installation.~~

2. A comprehensive sign program provides ~~nonresidential and multi-family residential uses~~ **with** flexibility to develop innovative, creative, and effective signage ~~and~~ to improve the aesthetics of the **development City**. ~~This program also provides an alternative to minimum standard signage subject to sign design performance standards.~~ **Sign design incentives may be utilized to promote enhanced design, materials, and methods of installation.**

B. Applicability.

1. Comprehensive sign programs ~~apply to~~ **may only be used for mixed-use, multi-tenant buildings, and master planned communities.** ~~proposed or existing nonresidential and multi-family residential uses as follows:~~

~~1. A comprehensive sign program is required for:~~

~~a. All proposed nonresidential single-tenant, multi-tenant, or multi-story developments, and residential master planned communities; and~~

~~b. Existing nonresidential multi-tenant uses, when:~~

~~(1) A building addition and/or an increase of use is proposed in terms of gross floor area, seating capacity, or other units of measurement indicating an intensification of use of 25 percent or more; or~~

~~(2) An exterior structural remodeling of the building facade is proposed which affects signage.~~

~~2. A comprehensive sign program may voluntarily be developed and maintained by the owner, applicant, or representative of any new or existing nonresidential and multi-family residential use, when the owner, applicant or representative seeks allowed adjustments under Section 10-50.100.080, Sign Design Performance Standards. Any adjustments authorized under a comprehensive sign program using the sign design performance standards apply to all building mounted signs and freestanding signs within the boundaries of the subject site.~~

C. Review.

1. ~~Applications for a~~ **A** comprehensive sign program **shall require the submittal of a sign permit in accordance with Section 10-20.40.120 Sign Permit – Permanent Signs and is subject to the comprehensive sign program fee.** ~~, including a comprehensive sign program that utilizes the sign design performance standards provided in Section 10-50.100.080, Sign Design Performance Standards, shall be reviewed by the Director.~~

2. All comprehensive sign program submittals shall be reviewed for compliance with the requirements of this division, and the Director shall either approve, conditionally approve, or deny the **sign permit for the** proposed comprehensive sign program. ~~Following approval by the Director, a copy of the approved comprehensive sign program will be made available to the~~

~~applicant.~~ Individual signs for multi-tenant developments included within the approved comprehensive sign program are subject to the issuance of separate sign permits in compliance with this division. ~~A comprehensive sign program for a single tenant development requires only one sign permit.~~

~~3. The Planning Commission shall review all comprehensive sign programs that request an increase in allowable sign height and area beyond the limits established in Section 10-50.100.080, Sign Design Performance Standards, for freestanding and building-mounted signs for multi-tenant buildings and shopping centers.~~

D. Supplemental Provisions.

1. **Minor** Modifications, **as determined by the Director**, to an approved comprehensive sign program may be requested in compliance with the procedures set forth in this section **and subject to a standard sign permit fee.**
2. No sign identified in this section may be placed upon real property without the consent of the real property owner(s), who shall either sign and submit the application for a comprehensive sign program or designate in writing an authorized representative.
3. A comprehensive sign program may be implemented in phases.

E. Submittal Requirements. A complete application for comprehensive sign program review and approval ~~is required following, or in conjunction with, the approval of the required site plan for the development, and prior to issuance of a building permit. The application shall be signed by the property owner(s), and/or their authorized agent(s), if appropriate, of the property covered by the comprehensive sign program, and~~ shall include the following:

1. An accurate site plan of the overall development, including all parcels included within the multi-tenant development or master planned community, at a scale as determined by the Director;
2. The location(s) and sizes of existing and proposed buildings, parking lots, driveways, streets and landscaped areas of the development;
3. The size, location, height, color, lighting source, and orientation of all proposed signs for the development, with a computation of sign area for each sign type;

4. A complete set of sign standards, including but not limited to style, colors, type(s), placement, letter size, and number of signs, and sign material(s);
5. A narrative description of the development to demonstrate that the sign program meets the required ~~findings and/or~~ sign design standards;
6. A nonrefundable ~~sign permit~~ fee as provided in Appendix 2, Planning Fee Schedule; ~~and~~
7. Any other information ~~as~~ deemed necessary **by the Director; and to meet the findings noted above.**

8. The application shall be signed by the property owner(s), or their authorized agent(s).

F. Individual Signs Authorized by an Approved Comprehensive Sign Program. Sign permits, ~~which must be maintained in compliance with Section 10-20.40.120, Sign Permit – Permanent Signs,~~ are required for individual signs ~~authorized by an approved comprehensive sign program, provided:~~

- ~~1. The signs and~~ comply with all applicable conditions of the approved comprehensive sign program;
- ~~2. Sign permit applications are submitted within a time period specified as part of the conditions of the content or review of the comprehensive sign program, where applicable; and~~
- ~~3. Sign permit applications are submitted prior to any subsequent amendment to this division which is more restrictive than provisions existing when the comprehensive sign program was approved.~~

10-50.100.080070 Sign Design **Performance Standards Incentives**

A. Sign Design Elements. Increases in the allowable area and/or height of certain types of signs may be approved to encourage **enhanced design of** permanent signs **subject to the provisions below.** ~~with design features that are preferred by the City and the community at large.~~

The ~~preferred~~ **enhanced** design features detailed below shall apply to both freestanding and building mounted signs subject to the limitations in subsection (B) of this section. These design features are in addition to the base maximum area and height limitations in Table 10-50.100.060050.A, Standards for Permanent Signs by Use. ~~In addition, all signs located in multi-tenant centers are required to comply with the center's comprehensive sign program, if such a plan has been approved by the City.~~ **These**

design features do not apply to individual sign permits within an approved comprehensive sign programs unless permitted within that development’s comprehensive sign program.

1. Raised Letter Signs. This standard encourages the use of individual lettered business and logo design, ~~or where appropriate, signs containing copy, logo and/or decorative embellishments in relief on the face of the sign.~~ Such improved sign design enhances the readability of sign copy, ~~and projects a positive image of the business or use.~~ A sign area and/or height increase as established in Table 10-50.100.080070.A, Percentage Increases for Design Features Used, may be approved for sign designs that display either:

- a. Pan channel letters without raceways, or internal/indirect illuminated halo channel letters on an unlit or otherwise indistinguishable background on a freestanding sign or building wall; or
- b. ~~Where appropriate, carved~~ Signs with a three-dimensional textured surface that is integral to its design, ~~such as extensively carved, routed and/or sandblasted signs containing the business name and/or logo.~~

Figure 10-50.100.080070A



Raised Letter Sign

Figure 10-50.100.08070B



Carved Sign

2. Simplified Letter and/or Logo Copy. The purpose of this standard is to encourage easily recognizable business identification while simplifying the appearance of the City streetscape. **To meet this standard, a business may only include text in one font in addition to their logo.** A sign area and/or height increase, as established in Table 10-50.100.080.A, Percentage Increases for Design Features Used, may be approved for the signs utilizing this design standard.

3. **Freestanding** Sign Structure Materials. **A sign area and/or height increase as established in Table 10-50.100.070.A, Percentage Increases for Design Features Used, may be approved for signs that** ~~This standard encourages the use of native or natural materials in a minimum of 75 percent of the construction of sign support structures., resulting in improved and innovative sign design and an improved image of the business or development to which it refers. A sign area and/or height increase as established in Table 10-50.100.080.A, Percentage Increases for Design Features Used, may be approved for the sign designs in which a minimum of 75 percent of the sign structure and face are constructed of~~ **Approved** native or natural materials, **including include:** malpais rock, flagstone, river rock, redwood, cedar, treated pine, used brick, and/or unpainted or unfinished nonreflective metals.

Figure 10-50.100.080070C



Sign Structure Materials

4. **Freestanding** Sign Structure Which Blends with the Development Site. **A sign area and/or height increase as established in Table 10-50.100.070.A, Percentage Increases for Design Features Used, may be approved for sign designs that integrate major architectural elements or details of the development site into the building facade for a building mounted sign, or the support structure for a freestanding sign. This standard encourages the incorporation of a sign and sign structure into a major element of a building facade or significant landscape feature, resulting in the creation of a unique image for the development or premises on which it is located. A sign area and/or height increase as established in Table 10-50.100.080.A, Percentage Increases for Design Features Used, may be approved for the sign designs that integrate major architectural elements or details of the development site into the building facade for a building mounted sign, or the support structure for a freestanding sign.**

Figure 10-50.100.080070D

Sign Structure which Blends with Development Site



5. Freestanding Signs of Reduced Height. This standard encourages the reduction of **allowed** overall height for freestanding signs ~~as established in Table 10-50.100.060.H, Standards for Freestanding Signs, while maintaining sign and site compatibility and improving the image of the business or development.~~ See Table 10-50.100.080070.A, Percentage Increases for Design Features Used, for percentage increases allowed.

Table 10-50.100.080070.A: Percentage Increases for Design Features Used

Single Tenant Use	Freestanding Sign		Building Mounted Sign	
	Area Increase	Height Increase	Area Increase	Height Increase
1. Raised Letter	15%	10%	10%	5%
2. Simplified Letter and/or Logo Copy	15%	10%	10% ¹	5%
3. Freestanding Sign Structure Materials	15%	15%	N/A 10%	N/A 5%

Table 10-50.100.089070.A: Percentage Increases for Design Features Used

Single Tenant Use	Freestanding Sign		Building Mounted Sign	
	Area Increase	Height Increase	Area Increase	Height Increase
4. Freestanding Sign Structure Which Blends with Development Site	15%	15%	N/A 10%	N/A 5%
5. Freestanding Signs of Reduced Height	15% area increase for each 1 foot in height reduction below the maximum allowed		N/A	
Multi-Tenant Use				
1. Raised Letter	15%	10%	10%	5%
2. Simplified Letter and/or Logo Copy ²	15%	20%	N/A	
3. Freestanding Sign Structure Materials	15%	15%	N/A 10%	N/A 5%
4. Freestanding Sign Structure Which Blends with Development Site	15%	15%	N/A 10%	N/A 5%
5. Freestanding Signs of Reduced Height	15% area increase for each 1 foot in height reduction		N/A	

End Notes

¹Also applies to individual occupancy within a multi-tenant building, development, or shopping center.

²Applies to multi-tenant building, development or shopping center.

B. Cumulative Adjustments. Where more than one feature listed in subsection (A) of this section is proposed, the adjustment allowed for each individual feature is cumulative. **The maximum cumulative increase for both Building Mounted and Freestanding Sign Area shall not be greater than 50% of the**

largest area permitted in Table 10-50.100.050.A, Standards for Permanent Signs by Use. Such sign area and/or height adjustment is measured and based upon the permitted sign area and height for the applicable site as determined in Section 10-50.100.060, Permanent Signs. Cumulative adjustments for sign area and sign height for freestanding and building mounted signs are provided in Table 10-50.100.080.B, Cumulative Adjustments.

Table 10-50.100.080.B: Cumulative Adjustments				
# of Features Used	Freestanding Signs		Building Mounted Sign	
	Area	Height	Area	Height
2	30%	20-30%¹	20%	10%
3	45%	35-40%¹	30%	15%
4	60%	50%	40%	20%
Standard #5 w/Standards 1 – 4	Not to exceed 75% of original max. permitted sign area		N/A	N/A
Cumulative Maximum Sign Area Increase Allowed	50%	50%	50%	20%

End Notes

¹This percentage varies depending on which design features listed in Table 10-50.100.080.A are utilized.

10-50.100.090.080 Portable and/or Temporary Signs

A. Purpose. ~~The Council finds that the proliferation of portable signs is a distraction to the traveling public and creates aesthetic blight and litter that threatens the public health, safety, and welfare.~~ The purpose of these regulations is to ensure that portable **and temporary** signs do not create a distraction to the traveling public by eliminating the aesthetic blight and litter caused by portable **and temporary** signs.

B. General to All. Portable **and/or Temporary** signs must comply with the following:

1. **Portable signs do not require a sign permit. Temporary wall banners** require a permit. See Section 10-20.40.130, Sign Permits – Wall Banners. **Temporary construction signs require a permanent sign permit.**

~~2. There is no limitation on the length of time that a portable sign may be displayed except for wall banners (see Table 10-50.100.090.B, Standards for Specific Portable Sign Types).~~

~~3.2.~~ Portable **and/or Temporary** signs must not be placed on or affixed to any City property, including City rights-of-way, except as specifically authorized in connection with a special event permitted under Chapter 8-12, Special Events.

~~4.3.~~ Portable **and/or Temporary** signs shall not be placed in the clear view zone at street intersections or driveways (refer to Section 10-50.100.050040(F), Sign Placement at Intersection).

C. Standards for Portable **and/or Temporary** Signs. Portable **and/or Temporary** signs placed on private property are allowed ~~in all zones in compliance~~ with the following standards:

1. Portable and/or Temporary signs shall not create a hazard for pedestrian or vehicular traffic and shall not be placed on a sidewalk or pedestrian pathway.

2. Portable and/or Temporary signs may not include any form of illumination, animation, reflective material, or attachments.

~~3.~~ Time, Place, and Manner Restrictions for Portable **and/or Temporary** Signs on Private Property. Portable **and/or Temporary** signs on private property shall comply with the standards provided in Table 10-50.100.090080.A, Standards for All Portable **and Temporary** Signs on Private Property.

Table 10-50.100.080.A Standards for All Portable and Temporary Signs on Private Property					
Sign Type	Max Area	Max Height	Location/ Placement	Max #	Time Limitation
A-frame or Upright	12 square ft. per sign. No more than 24 square ft. per business or 48 square ft. per Multi-Tenant Bldg.	4 ft. above grade.	Only permitted in non-residential zones	No more than 4 signs.	N/A

<p align="center">Table 10-50.100.080.A Standards for All Portable and Temporary Signs on Private Property</p>					
Construction Site Sign	24 square ft.	8ft. above grade	May be placed on construction fencing or freestanding on the site as long as it meets sight triangle standards.	2 per site.	Signs may remain on the site until the building permit is completed.
Feather or Vertical Banner	12 square ft. per sign. No more than 24 square ft. per business or 48 square ft. per Multi-Tenant Bldg.	8 ft. above grade.	Only permitted in non-residential zones. Secure attachment to mounting pole required.	No more than 4 signs.	N/A
Yard	4 square ft. per sign. No more than 16 square ft. in residential zones. In non-residential zones, no more than 24 square ft. per business or 48 square ft. per Multi-Tenant Bldg.	3 ft. above grade.	Permitted in any zoning district. Must be installed securely in the ground.	No more than 4 signs.	N/A
Wall Banner	24 square ft. per sign. Not included in the total sign area for other portable signs.	25 ft. above grade.	Only permitted in non-residential zones. May only be mounted on a building wall.	One sign allowed per business.	30 days per calendar year. Shall not be used as permanent signage.
Window	See Table 10-50.100.050.B. Not included in the total sign area for other portable signs.	No higher than first story windows.	N/A	N/A	30 days per calendar year. Shall not be used as permanent signage

~~**Table 10-50.100.090.A: Standards for All Portable Signs on Private Property**~~

Standard

Table 10-50.100.090.A: Standards for All Portable Signs on Private Property

Standard	
Applicable to All Zones	
Placement	<p>Shall not create a hazard for pedestrian or vehicular traffic.</p> <hr/> <p>Shall not be placed on a sidewalk or pedestrian pathway.</p>
Height and Width	<p>Refer to Table 10-50.100.090.B for height and width standards for individual portable signs.</p>
Prohibited Elements	<p>Any form of illumination, including flashing, blinking, or rotating lights.</p> <hr/> <p>Animation.</p> <hr/> <p>Reflective materials.</p> <hr/> <p>Attachments, including, but not limited to, any balloons, ribbons, loudspeakers, etc.</p>
Design and Construction	<p>Professionally crafted.</p> <hr/> <p>Of sufficient weight and durability to withstand wind gusts, storms, etc.</p>
Commercial, Industrial, and Other Nonresidential Zones	
Period of Use	<p>No limitation, except for wall banners. Refer to Table 10-50.100.090.B.</p>
Area of All Portable Signs at Any One Time	<p>Max. 24 sq. ft. per business; excludes the area of temporary window signs and wall banner signs.</p> <hr/> <p>Exception: In the Flagstaff Central District, max. 12 sq. ft. per business; excludes the area of temporary window signs and wall banner signs. Refer to Section 10-50.100.100(A).</p>
Number of Signs	<p>Unlimited except that the total sign area of all portable signs must not exceed 24 sq. ft. per business.</p> <hr/> <p>Exception: Multi-tenant shopping centers or offices — Max. 2 portable signs per 150 linear feet of property frontage not to exceed 24 sq. ft. combined.</p>

Table 10-50.100.090.A: Standards for All Portable Signs on Private Property

Standard	
Permitting	Sign permit is not required, except for wall banner signs.
All Residential Zones	
Period of Use	No limitation.
Area of All Portable Signs at Any One Time	Max 16 sq. ft. per lot or parcel.
Number of Signs	Unlimited except that the total sign area of all portable signs shall not exceed 16 sq. ft.
Permitting	Sign permit is not required.

2. ~~Types of Portable Signs. Portable signs shall comply with the standards provided in Table 10-50.100.090.B, Standards for Specific Portable Sign Types.~~

Table 10-50.100.090.B: Standards for Specific Portable Sign Types

Portable Sign Type ¹	Standard			Other Requirements
	Height (Max.)	Width (Max.)	Area (Max.)	
A-Frame or Upright Sign	4' from grade	3'	12 sq. ft.	Only permitted in nonresidential zones.
Feather or Vertical Banner	8' from grade	2'	12 sq. ft.	Secure attachment to mounting pole required. Only permitted in nonresidential zones.
Yard Sign	3'	2'	4 sq. ft.	Installed securely in the ground.
Wall Banner	-	-	24 sq. ft.	May only be mounted on a building wall or on T-posts or stakes installed ≤ 6" from a wall on which the wall banner would be hung.

Table 10-50.100.090.B: Standards for Specific Portable Sign Types

Standard	Other Requirements
	<p>Mounting height – max. 25 feet from grade to the top of the wall banner.</p> <hr/> <p>Only permitted in nonresidential zones.</p> <hr/> <p>May only be displayed for 30 days per calendar year and shall not be used as permanent signs.</p> <hr/> <p>Not included in the total sign area for all portable signs.</p> <hr/> <p>Wall banner sign permit required.</p>
<p>Window Sign - - Refer to End Note²</p>	<p>Placed no higher than first story windows.</p> <hr/> <p>Inside mounting required.</p> <hr/> <p>Not included in the total sign area for all portable signs.</p>
<p>Number of Signs</p>	<p>See Table 10-50.100.090.A.</p>

End Notes

¹~~Other portable sign types may be allowed (e.g., fuel pump topper signs, wraps around waste receptacles, or balloon bobbers) provided the maximum area limitation for all portable signs is not exceeded.~~

²~~The area of temporary and permanent window signs combined (including signs constructed of perforated vinyl or painted on the window) shall not exceed 40% of the area of the window on or within which they are displayed.~~

3D. Standards for Temporary Civic and Nonprofit Event Signs on City Approved Sign Support Structures.

a1. Purpose. The City has installed banner sign support structures at certain locations within the community where banners advertising events organized and implemented by **civil civic** and nonprofit organizations, and events for which a special event permit has been approved by the Recreation Services Section, may be placed. ~~The purpose of these banner sign support structures is to provide a convenient, highly visible and safe location to display such banners, in order to minimize their proliferation within the community, which causes visual blight.~~

b2. Standards. Signs may be installed on City approved sign support structures in compliance with the standards provided in Table 10-50.100.090080.C, Standards for Signs on City-Approved Sign Support Structures.

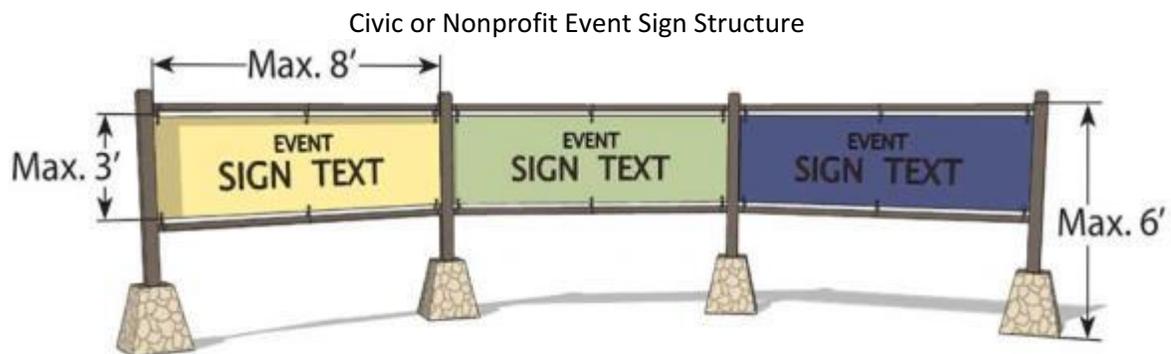
Table 10-50.100.090080.C: Standards for Signs on City-Approved Sign Support Structures

Number of Events	No more than 3 events per organization per year may be advertised on City-approved sign support structures.
Period of Use	Max. 7 days before an event.
Sign Placement	Only at approved locations (see subsection (C)(3)(c) of this section).
Sign Size and Area	Max. 3 feet by 8 feet; max. 24 sq. ft.
Banner Details	Grommets shall be placed at each of the corners of the banner for secure attachment to the support structure.
	Banners shall not have brand identification, such as “Sponsored by XYZ Corporation,” or a product brand across the face of the banner as a background.
	Logos for sponsors of the event or the banner shall be limited to max. 20% of the area of the banner.
Number of Signs	1 sign for each event per support structure, to a max. of 3 sign support structures.

Removal	Within 1 day after the event.
Illumination	Not permitted.
Permitting	No sign permit required – a reservation is needed for placement of a banner on a support structure. See Section 10-50.100.090(C D)(3)(c).

e3. An application may be submitted to the Director for the placement of up to three banners on City-approved sign support structures (illustrated in Figure 10-50.100.090A) for the purpose of promoting a forthcoming civic or nonprofit event, a City Recreation Services event, or an event for which a special event permit has been approved by the Recreation Services Section. Placement on these structures is reserved on a first come, first served basis up to three months in advance of the event. ~~The City map that shows the locations of the sign support structures is available on the City website.~~

Figure 10-50.100.~~090~~080A



4E. Standards for Sign Walkers. To promote pedestrian and traffic safety, sign walkers are subject to the following time, place and manner restrictions:

a1. Sign walkers are not permitted in any of the following locations:

~~(1)~~**a.** Within 10 feet of a street or driveway intersection measured from the back of the curb or edge of pavement if no curb exists;

~~(2)~~**b.** In parking aisles or stalls;

~~(3)~~c. In driving lanes; or

~~(4)~~d. On fences, walls, boulders, planters, other signs, vehicles, utility facilities or any other structure.

~~b~~2. Sign walkers may not interfere with traffic or block pedestrians or bicyclists.

~~e~~3. Sign walkers advertising for a business are only permitted to advertise during the business's hours of operation.

~~d~~4. Sign walker signs shall not exceed eight square feet in area or eight feet in height when held.

~~e~~5. Sign walker signs that include the following are prohibited:

~~(1)~~a. Any form of illumination, including flashing, blinking, or rotating lights;

~~(2)~~b. Animation on the sign itself.

~~f~~6. Spinning, waving, throwing the sign in the air or any other such erratic movement intended to attract attention is prohibited.

~~g~~7. Sign walkers are not required to get a sign permit.

10-50.100.100090 Sign Districts of Special Designation

A. Flagstaff Central District.

1. Purpose. ~~The additional sign regulations provided in this section for the~~ **The** Flagstaff Central District Area of Special Designation **sign regulations** are intended to recognize, preserve, and promote the inherent and unique qualities of Flagstaff's historic downtown area. ~~of the City which is an integral part of the City's economic stability and growth. The area designated as the Flagstaff Central District encompasses those areas of the City characterized by narrow streets, smaller lots and lot frontages, and buildings representative of the early development of Flagstaff.~~

2. Applicability.

a. The Flagstaff Central District is bounded by Columbus Avenue/Switzer Canyon Drive to the north, Butler Avenue to the south, Park Street to the west, and Elden Street to the east.

The Flagstaff Central District is mapped in Division 10-90.30: Overlay Maps, Section 10-90.30.040, Flagstaff Central District Map.

b. The standards provided in this section shall be applied in addition to the standards and requirements otherwise established in this division.

~~3. Permits. All applications for sign permits for signs to be located in the Flagstaff Central District shall follow the sign permitting requirements and procedures established in Section 10-20.40.120, Sign Permit – Permanent Signs, except that signs to be located in the Flagstaff Central District shall also be reviewed for approval by the Historic Preservation Officer.~~

43. Findings for Signs Proposed in the Central District. Signs proposed in the Flagstaff Central District shall be reviewed and approved based on application of the following findings to ensure that signs are:

a. Representative of the character of the surrounding district and adjacent architecture, as well as of the building on which they appear, when considered in terms of scale, color, materials, lighting levels, and adjoining uses;

~~b. In proper scale to, and expressive of, the business or activity for which they are displayed;~~

~~e b. Innovative in the use of **Three** dimensional **in** form (i.e., letters, logos, or other sign elements shall have a minimum relief of **.5 inches unless the sign is painted directly on the building. the lesser of one percent of the longest sign dimension or 1.5 inches**), profile, and iconographic representation;~~

~~d. Employed with exceptional lighting design;~~

~~e. Employed with exceptional graphic design, including the outstanding use of color, pattern, typography, and materials; and~~

~~f. Made of high quality and durable materials appropriate to an urban setting.~~



Figure 10-50.100.100.090.A.

Local Examples of Signs Appropriately Designed for the Flagstaff Central District

54. Standards **for Specific Sign Types.** Signs within the Flagstaff Central District shall comply with the standards and requirements otherwise established in this division as well as the **following standards provided below and in Table 10-50.100.090.A., Sign Standards in Flagstaff Central District:**

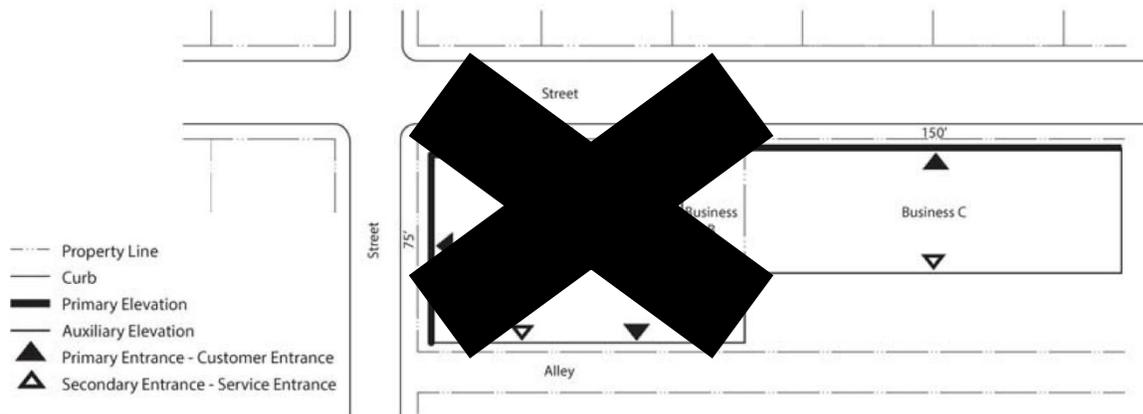
~~a. **Building Mounted Signs.** Building mounted signs provide simple business identification. The standards provided in Table 10-50.100.100.A., Standards for Building Mounted Signs in Flagstaff Central District, shall apply.~~

Table 10-50.100.100.A.: Standards for Building Mounted Signs in Flagstaff Central District	
Standard	Allowance
Total Sign Area for a Multi- and Single-Tenant Building	<p>The greater of:</p> <p>(1) The number of building entries¹ + 1 sign X 30 sq. ft. (e.g. if a building has 6 entries the Total Sign Area = 6 + 1 X 30 = 210 sq. ft.); or</p>

Table 10-50.100.100.A.: Standards for Building Mounted Signs in Flagstaff Central District	
Standard	Allowance
	(2) 100 sq. ft. max.
Individual Sign Area for Each Business in a Multi-Tenant Building	<p>The lesser of:</p> <p>(1) 1 sq. ft. to 1 linear ft. of the width of the business space served by an entrance²; or</p> <p>(2) 100 sq. ft. max.</p>
Number of Signs	Number of building entries ¹ + 1.
Sign Placement	<p>(1) No higher than the lesser of either:</p> <ul style="list-style-type: none"> - (a) The second story sill level; - (b) On or above the expression line of any building; - (c) Not above any visible roofing material on the building element; or - (d) Max. 25 feet. <p>(2) At least 1 sign shall be associated with the building entry zone (may be wall mounted, projecting, awning, etc.)</p> <p>(3) Sign copy on awnings is only permitted on first story windows.</p> <p>(4) Where multiple businesses use a common entrance, a common sign shall be placed adjacent to the sidewalk level building entry³.</p>
Painted Building Mounted Signs	<p>(1) Shall comply with Table 10-50.100.060.C.</p> <p>(2) The requirement for three dimensional form required in the Findings for Signs Proposed in the Central District shall not apply.</p>
Illumination	See Section 10-50.100.050.C.
Permitting	Sign permit is required.

Table 10-50.100.100.A.: Standards for Building Mounted Signs in Flagstaff Central District

Standard	Allowance
End Notes	
1. Building entries in this context do not include service entries or separate doors for lodging rooms. A series of doors grouped together shall be considered one building entry.	
2. Where a building has multiple frontages (i.e., a corner building), the shortest frontage shall apply.	
3. Two or more businesses served by a common entrance are considered one business for sign computation purposes.	



Business A:

Max. Total Bldg. Sign Area is $(3+1) \times 30 = 120$ sf

Max. Area for Sign 1 is $100 \times 1 = 100$ sf

Max. Area for Sign 2 is $75 \times 1 = 75$ sf

Max. Area for Sign 3 is $125 \times 1 = 125$ sf (100 sf max.)

Business B:

Max. Total Bldg. Sign Area is $(1+1) \times 30 = 60$ sf

Allowed = 100 sf

Max. Ind. Sign Area is $25 \times 1 = 25$ sf

Max. No. of signs is $1+1 = 2$

Since the sum of these exceeds 120 sf, one or more sign sizes must be reduced.

Max. No. of signs is 3+1 = 4

-

-

Business C:

Max. Total Bldg. Sign Area is
(1+1)x30 = 60 sf

Allowed = 100 sf

Max. Ind. Sign Area is 150x1 =
150 sf

Max. No. of signs is 1+1 = 2

Figure 10-50.100.100.B.

Total Sign Area for the Building and Individual Sign Area for Each Business

Table 10-50.100.090.A. Sign Standards in Flagstaff Central District					
Sign Type	Max Area	Min Height	Max Height	Illumination	Max #
Building Mounted - Single Tenant	The lesser of one sq. ft. to one linear ft. of building frontage or 100 sq. ft.	8 ft. from the bottom of the sign for any signs protruding more than six inches from the wall	No higher than second story sill level, on or above the expression line of the building, or 25 ft.	Permitted in compliance with Division 10 -50.070 Outdoor Lighting Standards	N/A
Building Mounted - Multi-Tenant	Tenants without direct exterior entrances shall be limited to 15 sq. ft. per tenant. Each tenant store front is allowed one sq. ft. to one linear ft. of the width of the business space served by an entrance to a maximum of 100 sq. ft.	8 ft. from the bottom of the sign for any signs protruding more than six in. from the wall	No higher than second story sill level, on or above the expression line of the building, or 25 ft.	Permitted in compliance with Division 10 -50.070 Outdoor Lighting Standards	N/A
Building Identification	Maximum 20% of total allowable sign area.	8 ft. from the bottom of the sign for any	No higher than second story sill level, on or	Permitted in compliance with Division 10	One sign per building.

		signs protruding more than six in. from the wall	above the expression line of the building, or 25 ft.	-50.070 Outdoor Lighting Standards	
Low-Profile & Suspended Freestanding	Max 24 sq. ft. for single tenant signs. Max 32 sq. ft. for multi-tenant signs. Max 18 sq. ft. for freestanding suspended signs.	N/A	Max six ft. for single tenant signs. Max eight ft. for multi-tenant signs. Max ten ft. to top of sign pole for freestanding suspended signs.	Externally illuminated only. Permitted in compliance with Division 10 -50.070 Outdoor Lighting Standards	One sign per lot or parcel

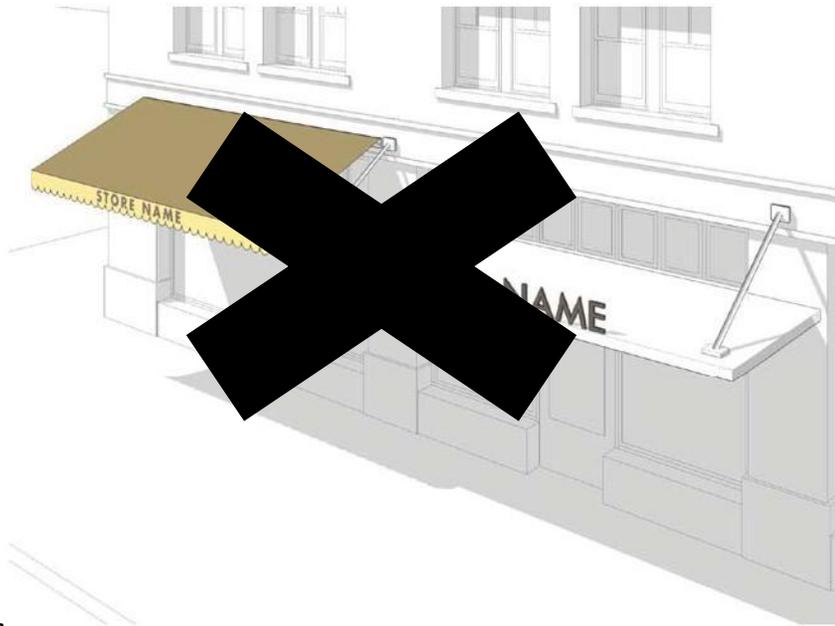
a. Building Mounted Signs.

(1) Signs painted directly on the building when the wall surface already has been painted in a uniform manner are permitted. Signs proposed for previously unpainted rock or brick are not permitted, and heritage signs shall not be defaced or obscured.

(2) Awning and Canopy Signs. Awning signs used to enhance a storefront or canopy signs used to accent building entries may be used in lieu of projecting signs, and may be used in coordination with flush building mounted signs. ~~Such signs are subject to the provisions in Section 10-50.100.060.C.4.b.(1) and (3).~~

(3) Roof mounted signs are not permitted in the Flagstaff Central District.

Figure 10-50.100.100C



Awning and Canopy Signs

~~(3) Building Identification Sign. The standards provided in Table 10-50.100.100.B, Standards for Building Identification Signs, shall apply.~~

~~Table 10-50.100.100.B: Standards for Building Identification Signs in the Flagstaff Central District~~

	Standard	Other Requirements
Sign Area	Signs ≤ 12 sq. ft. are not included in the total allowable sign area.	Signs > 12 sq. ft. are included in the total allowable area for building mounted signs.
Mounting Height	No limitation – shall not project above the roof peak or break the silhouette of the building.	
Sign Placement	Shall be placed above, or in relation to, the primary entrance to the building.	
Illumination	Not permitted.	
Permitting	Sign permit is required.	

Figure 10-50.100.100D



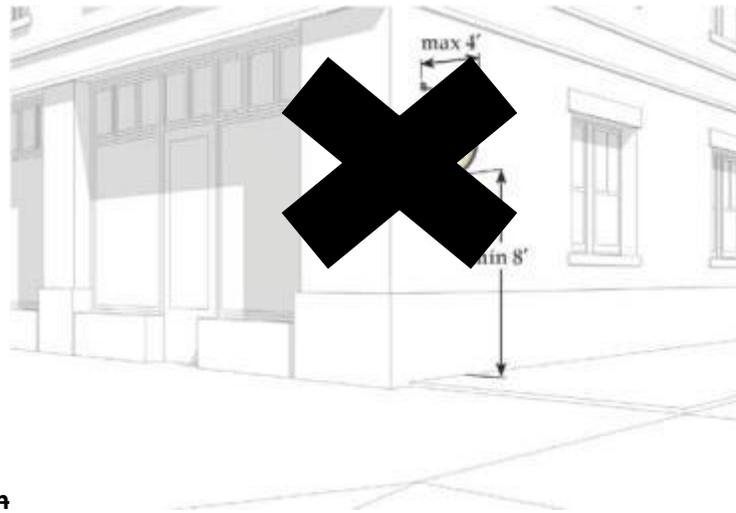
Building Identification Sign

~~(4) Projecting Signs. The standards provided in Table 10-50.100.100.C, Standards for Projecting Signs in the Flagstaff Central District, shall apply.~~

~~Table 10-50.100.100.C: Standards for Projecting Signs in the Flagstaff Central District~~

	Standard
Sign Area	Max. 16 sq. ft. (included in the total allowable sign area for building mounted signs)
Mounting Height	Min. of 8 feet from the bottom of the sign to the sidewalk, and mounted perpendicular to the building face or corner of the building.
Number of Signs	Max. 1 per business.
Sign Placement	Shall extend a max. of 4 feet from the building.
Illumination	Nonilluminated or externally illuminated. Down directed, fully shielded fixtures only.
Permitting	Sign permit is required.

~~Figure 10-50.100.100E~~



Projecting Sign

b. Freestanding Signs. Two styles of freestanding signs are permitted within the Flagstaff Central District: either a low profile freestanding sign, or a freestanding suspended sign, ~~either of which may also be used as a neighborhood or district sign.~~ The standards provided in Table 10-50.100.100.090.DA, ~~Standards for Freestanding Signs in Flagstaff Central District,~~ **Sign Standards in Flagstaff Central District** shall apply.

- (1) Low profile freestanding signs shall be mounted on 2 poles placed at the outmost sides of the sign face, or on a low-profile sign base.**
- (2) Suspended sign structures shall consist of a vertical pole and horizontal decorative sign support, and shall constructed of wood and metal (or other high-quality material that provides an appearance similar to wood or metal).**

Table 10-50.100.100.D: Standards for Freestanding Signs in Flagstaff Central District

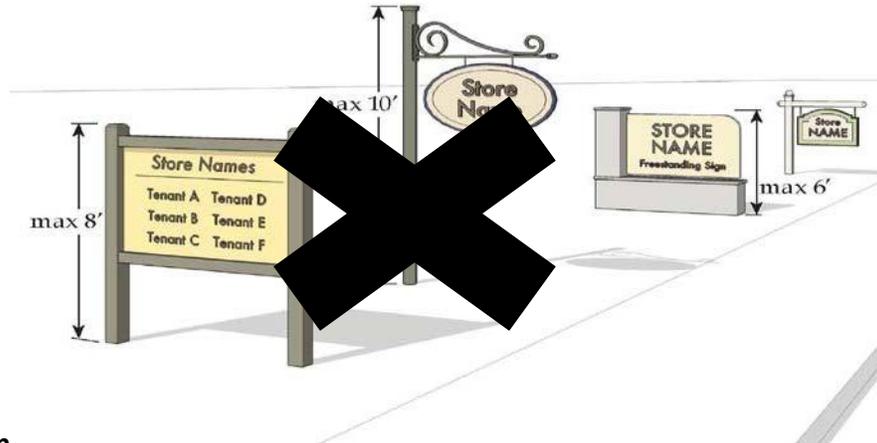
	Standard		Other Requirements
	Area ¹	Height	
Low Profile Freestanding Sign — Single Tenant Use	24 sq. ft.	6 feet	Shall be mounted on 2 poles placed at the outermost sides of the sign face, or on a low profile sign base.

Table 10-50.100.100.D: Standards for Freestanding Signs in Flagstaff Central District

	Standard		Other Requirements
	Area ¹	Height	
Low Profile Freestanding Sign – Multiple Tenant Use	32 sq. ft.	8 feet	Shall be mounted on 2 poles placed at the outermost sides of the sign face, or on a low profile sign base.
Freestanding Suspended Sign	18 sq. ft.	10 feet to top of sign pole	Sign structure shall consist of a vertical pole and horizontal decorative sign support, and shall be constructed of wood or metal.
Number of Signs	1 sign permitted per business.		
Illumination	See Section 10-50.100.050(C).	Externally illuminated with down directed and shielded fixtures only.	
		Neighborhood or district sign shall not be illuminated.	
Permitting	Sign permit is required.		
End Note			

¹The area of a neighborhood or district sign shall not be counted against the permitted sign area applicable to the use(s) existing on the property where the neighborhood or district sign will be erected.

Figure 10-50.100.100F



Freestanding Sign

~~c. Temporary Signs. Temporary signs proposed within the Flagstaff Central District shall comply with the standards established in Section 10-50.100.090, Temporary Signs.~~

B. Downtown ~~Historic District~~ **Overlay Zone.**

1. Purpose. This section establishes additional sign regulations for the Downtown ~~Historic District~~ **Overlay Zone. Refer to Division 10-30.30, Heritage Preservation Division 10-40.50, Overlay Zones.**

2. Applicability.

a. The Downtown ~~Historic District~~ **Overlay Zone** applies to all properties located within the T6 transect zone (refer to Section 10-40.40.100, T6 Downtown (T6) Standards) and the area bounded by the east side of Humphreys Street to the west side of Verde Street, and by the north side of Route 66 to the south side of Cherry Avenue, including portions of Flagstaff Townsite and Railroad Addition Subdivisions. The Downtown ~~Historic District~~ **Overlay Zone** is mapped on Map 10-90.30.030 (Downtown Historic District Overlay Zone Map), in Division 10-90.30 (Overlay Maps).

b. The standards provided in this section for the Downtown ~~Historic District~~ **Overlay Zone** shall be applied in addition to the standards and requirements otherwise established in this division.

3. Permits. All applications for sign permits ~~for signs to be~~ located in the Downtown ~~Historic District~~ **Overlay Zone** shall follow the sign permitting requirements and procedures established in

Section 10-20.40.120, Sign Permit – Permanent Signs, except that the Heritage Preservation Commission or Heritage Preservation Officer shall also review the sign permit application following the procedures established in Division 10-30.30, Heritage Preservation.

4. Design Standards. Signs within the Downtown ~~Historic District~~ **Overlay Zone** shall comply with the standards and requirements ~~established in subsections (A)(4) and (A)(5)~~ of this section applicable to the Flagstaff Central District as well as the **standards identified below. The** Development Design Standards and Guidelines for this district established in the Design Handbook for Downtown Flagstaff (1997) **shall be used for clarification purposes only.**

~~5. Portable Signs. Portable signs proposed within the Downtown Historic District shall comply with the standards established in Section 10-50.100.090, Portable Signs, except as provided below:~~

a. **Cabinet Signs are prohibited in the Downtown Overlay Zone. Individual letter signs without a raceway are permitted.**

b. **Wall mounted signs shall be placed to fit within the architectural features. Signs shall not be placed where they will obscure any architectural details per Section 10-50.100.040.A.6.**

c. **Sign materials shall be compatible with the building facade materials. Painted wood and non-reflective metal are preferred materials. Plastic should only be utilized when emulating a preferred sign material.**

d. Feather vertical banners are prohibited in the Downtown ~~Historic District~~ **Overlay Zone.**

C. Reserved for Future Use.

D. Flagstaff Auto Park District.

1. Purpose. The purpose of the Flagstaff Auto Park District Area of Special Designation is to recognize that the interior parcels of a large commercial center should be entitled to install the same kind of business signage as the perimeter parcels, and to promote the economic vitality and commercial viability of those businesses that do not have highway frontage.

2. Applicability.

a. Permits for signs in the Flagstaff Auto Park District Area of Special Designation may only be issued after a completed sign permit application (refer to Section 10-20.40.120, Sign Permit – Permanent Signs, and Section 10-20.40.130, Sign Permit – Wall Banners) has been reviewed by the Planning Director.

b. The Planning Director may approve, conditionally approve or deny a sign proposal for the off-premises auto park identification sign or an auto park entrance sign in the Flagstaff Auto Park District, and shall only approve an application that complies with the design standards established in subsection (D)(4) of this section.

4. Design Standards.

a. Primary Flagstaff Auto Park District Identification Sign. The primary Flagstaff Auto Park District identification sign shall comply with the following standards. Refer also to Figure 10-50.100.100H090B.

(1) Overall Sign Dimensions.

(a) Height. The maximum overall height of the sign shall be 22 feet and three inches measured from the highest finish grade at the base of the sign to the top of the sign. The maximum height of the sign body and base measured from the highest finish grade to the top of the sign body shall be nine feet.

(b) Diameter. The maximum diameter of the sign body (i.e., where the auto dealer logos will be placed) shall be 15 feet.

Figure 10-50.100.100H090B

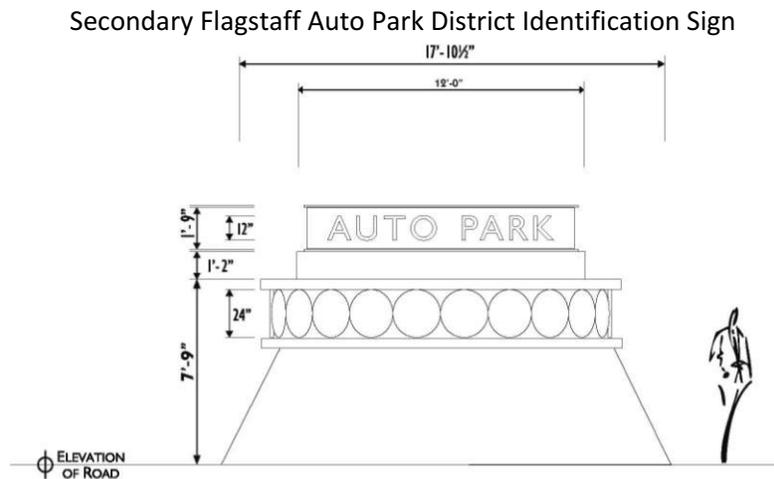
b. Secondary Flagstaff Auto Park District Identification Sign. The secondary Flagstaff Auto Park District identification sign shall comply with the following standards. Refer also to Figure 10-50.100.100.090C.

(1) Overall Sign Dimensions.

(a) Height. The maximum overall height of the sign (i.e., the sign body and base only) shall be nine feet measured from the highest finish grade at the base of the sign to the top of the sign.

(b) Diameter. The maximum diameter of the sign body (i.e., where the auto dealer logos will be placed) shall be 15 feet.

Figure 10-50.100.100.090C



(2) Sign Materials and Standards.

- (a) The sign base below where the auto dealer logos will be placed shall be constructed with natural stone or an authentic simulation of natural stone.
- (b) The sign copy identifying this sign for the Flagstaff Auto Park District shall be mounted without raceways.
- (c) Signs for individual auto dealers shall only be mounted on the sign body, and shall only include logos for those businesses, and not text.
- (d) The sign shall include a landscaped area located around the base of the sign equal to two and one-half square feet for each square foot of sign area and containing trees, shrubs and ground cover plants placed throughout the required landscape area. Shrubs and ground covers shall have a spacing of not greater than three feet on center.

~~5. Sign Maintenance. Signs shall be maintained in accordance with the provisions of Section 10-50.100.050(E).~~

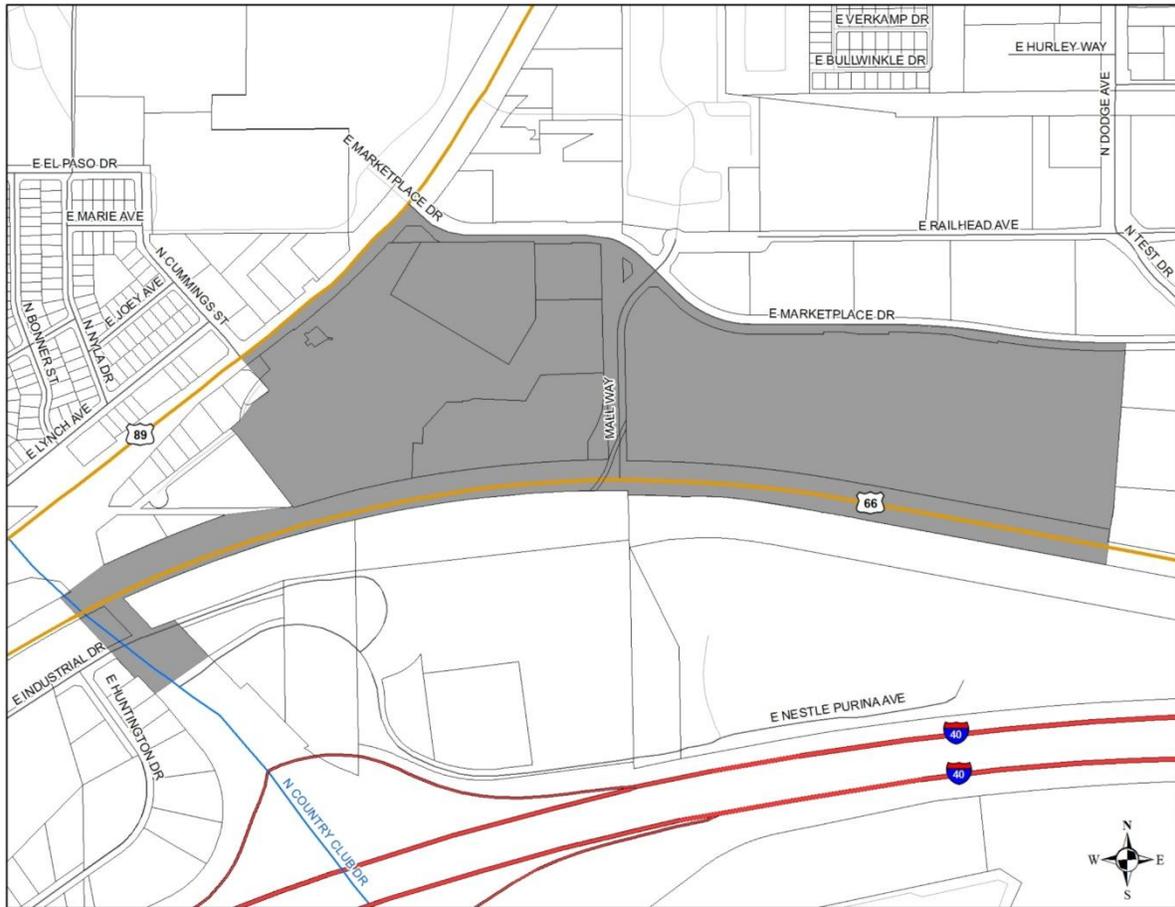
E. Flagstaff Mall and Marketplace District.

- 1. Purpose. This section establishes additional sign regulations for the Flagstaff Mall and Marketplace District.
- 2. Applicability.
 - a. The Flagstaff Mall and Marketplace District includes those lots developed as the Flagstaff Mall and Marketplace, a portion of Historic Route 66 between North Test Drive and North Country Club Drive, a portion of North Country Club Drive from Historic Route 66 to East Nestle Purina Avenue, and City owned property on the northeast corner of the intersection of North Country Club Drive and East Nestle Purina Avenue as illustrated in Figure 10-50.100.100.090D. The Flagstaff Mall and Marketplace District is not to be confused with any other district which may be designated for special consideration within the City of Flagstaff.
 - b. The special regulations for the Flagstaff Mall and Marketplace District apply only to an off-premises Flagstaff Mall and Marketplace identification sign located within an easement

area defined in Easement Agreement (Monument Sign) between the City of Flagstaff and Flagstaff Mall SPE LLC on City owned property on the northeast corner of the intersection of North Country Club Drive and East Nestle Purina Avenue. All other signs proposed on all lots and parcels within the Flagstaff Mall and Marketplace District shall comply with the applicable provisions of this division. Any real property located within both the Flagstaff Marketplace District and Flagstaff Auto Park District shall be considered as belonging to one or the other of these districts. No combination of districts is intended by the overlapping of the Flagstaff Mall and Marketplace District and the Flagstaff Auto Park District. The Flagstaff Mall and Marketplace identification sign referenced above may also include the name "Auto Park" within the sign name portion of the sign above the future tenant panels.

Figure 10-50.100.100.090D

Flagstaff Mall and Marketplace District



3. Permits.

- a. Permits for signs in the Flagstaff Mall and Marketplace District may only be issued after a completed sign permit application (refer to Section 10-20.40.120, Sign Permit – Permanent Signs, and Section 10-20.40.130, Sign Permit – Wall Banners) has been reviewed by the Planning Director.
- b. The Planning Director may approve, conditionally approve or deny a sign proposal for the off-premises Flagstaff Mall and Marketplace identification sign, and shall only approve an application that complies with the Design Standards established in subsection (E)(4) of this section.

4. Design Standards. The Flagstaff Auto Park and Marketplace District identification sign shall be designed and constructed in accordance with the approved Comprehensive Sign Plan dated January 10, 2006, for the Flagstaff Mall and Marketplace, and shall comply with the following standards. Refer also to Figure 10-50.100.100K090E.

a. Overall Sign Dimensions.

- (1) Height. The maximum overall height of the sign shall be 22 feet and six inches measured from the highest finish grade at the base of the sign to the top of the sign. The maximum height of the sign body (i.e., future tenant panels signage area) and sign base measured from the highest finish grade to the base of the sign shall be 20 feet.
- (2) Length. The maximum length of the sign base shall be 17 feet.
- (3) Width. The maximum width of the sign base shall be four feet.

- (2) The sign cabinet exterior shall be aluminum painted with no more than two complementary colors with a satin finish.
- (3) Eight removable aluminum routed faces mounted in two columns of four sign faces each shall be provided for future tenants of the Flagstaff Mall and Marketplace District.
- (4) A white acrylic, internally illuminated accent feature may be incorporated into the top of the sign cabinet.
- (5) The name used to identify this sign shall be "Flagstaff Mall & Marketplace Auto Park" and may be incorporated into the top of the sign cabinet.
- (6) Sign Area.
 - (a) The overall sign area shall not exceed 216 square feet on each side of the sign.
 - (b) The area for each of the future tenant panels shall not exceed two feet in height and a total width for both columns of panels of 14 feet and six inches.
 - (c) Each future tenant panel shall be separated from the sign face above or below it by no more than three inches.
 - (d) The total height of the signage area shall not exceed 14 feet and eight inches.

c. Sign Illumination.

- (1) The sign shall be internally illuminated only, and no external indirect illumination of the sign structure by any means is permitted.
- (2) Internally illuminated sign panels shall be constructed with an opaque background and translucent letters and symbols, or with a colored background and lighter letters and symbols. Where white or other night-bright colors are part of a logo, such colors are permitted in the logo only; provided, that the logo represents not more than 50 percent of the total sign area permitted.

~~5. Sign Maintenance. Signs shall be maintained in accordance with the provisions of Section 10-50.100.050(E).~~

F. West University Drive Entrance District.

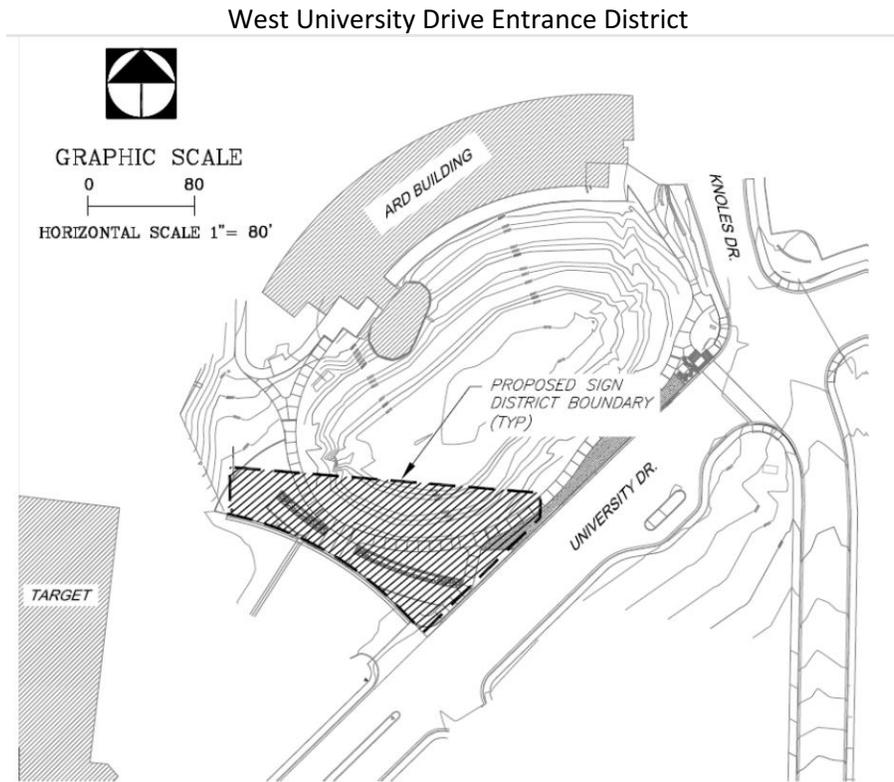
1. Purpose. The purpose of the West University Drive Entrance District is to allow Northern Arizona University to locate an entrance monument sign on land that is not currently owned by the university. West University Drive provides a major entrance to the central part of campus, and Northern Arizona University wishes to identify this as a major campus entrance by siting a monument sign at this location. Siting this sign on adjacent private property is desirable due to space constraints, primarily due to a large regional storm water basin immediately adjacent to University Drive, north of the proposed sign site.

2. Applicability.

a. The West University Drive Entrance District includes the northeastern portion of the commercial parcels as illustrated in Figure 10-50.100.100L090F. This area includes a right-of-way for a storm water culvert to the detention basin. The West University Drive Entrance District is not to be confused with any other district that may be designated for special consideration within the City of Flagstaff.

b. The special regulations for the West University Drive Entrance District apply only to an off-premises Northern Arizona University identification sign located on the northwesterly side of University Drive, north of the commercial parcel's east access drive and south of the storm water basin. All other signs proposed on lots and parcels within the West University Drive Entrance District shall comply with the applicable provisions of this division.

Figure 10-50.100.100L090F



3. Permits.

a. Permits for signs in the West University Drive Entrance District may only be issued after a completed sign permit application (refer to Section 10-20.40.120, Sign Permit—Permanent Signs and Section 10-20.40.130, Sign Permit – Wall Banners) has been reviewed by the Planning Director.

b. The Planning Director may approve, conditionally approve, or deny a sign proposal for the off-premises Northern Arizona University identification sign or a Northern Arizona University entrance sign in the West University Drive Entrance District, and shall only approve an application that complies with the design standards established in subsection (F)(4) of this section.

4. Design Standards. The primary Northern Arizona University West University Drive Entrance District identification sign shall comply with the following standards. Refer to Figures 10-50.100.100M090G and 10-50.100.100N090H.

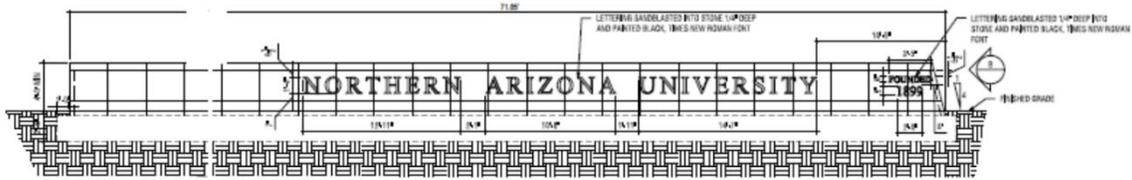


Figure 10-50.100.100.M.090G

Eastern Stone Wall Elevation with Signage Elevation South Face

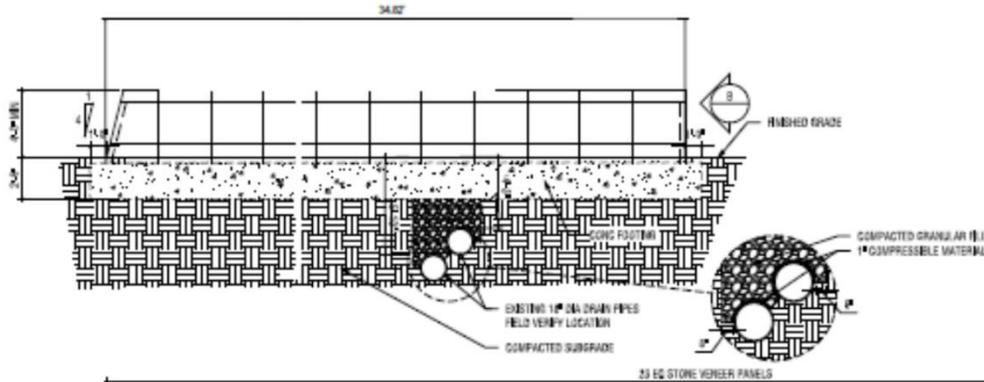


Figure 10-50.100.100.N.090H

Western Stone Wall Elevation with Signage Elevation South Face

5. Overall Sign Dimensions.

- a. Height. The maximum overall height of the sign shall be 4.10 feet measured from grade at the base of the sign to the top of the sign. The top surface of the sign shall be level.
- b. Width. The sign shall consist of two segments separated by a concrete walkway while forming an arc with a radius of 255.50 feet at the centerline of the sign. The width of the separation shall be 36.89 feet. This break in the signs is to facilitate Northern Arizona University snow removal relocation into the basin. The length of the westerly section of the sign shall be approximately 34.82 feet as measured at the base of the sign. The length of the easterly section of the sign shall be approximately 71.85 feet as measured at the base of the sign. Dimensions are given as approximate due to potential variations in the thickness of the stone veneer sign faces.

6. Sign Materials and Standards.

a. The core of the sign will be constructed of steel reinforced concrete and supported by a steel reinforced concrete footing 2.50 feet in depth and 3.08 feet in width. The exterior of the sign shall be covered with rose-colored sandstone veneer panels to match existing Northern Arizona University entrance monument signs.

b. The sign copy will consist of sandblasted text “Northern Arizona University” and “Founded 1899.” All text shall be painted or stained black for contrast and easy visibility.

c. The West University Drive Entrance District sign shall include a landscaped area located around the base of the sign equal to 2.5 square feet for each square foot of sign area and containing trees, shrubs, and ground cover plants. Shrubs and ground covers shall have a spacing of not greater than three feet on center.

7. Sign Illumination. Internal illumination is preferred. External illumination shall comply with Division 10-50.70, Outdoor Lighting Standards, and consist of LED tape in aluminum channel mounted under the sign cap above the sign text only.

~~8. Sign Maintenance. Signs shall be maintained in accordance with the provisions of Section 10-50.100.050.E.~~

G. Flagstaff Sign Free Zone.

1. Purpose and Applicability. The Council has determined that it is in the best interest of the City to designate a sign free zone in order to protect the scenic and aesthetic appeal of the area within the zone and maintain its appeal to tourists. The Flagstaff sign free zone, which has been established pursuant to A.R.S. § 16-1019 and is illustrated on Map 10-90.40.010, Flagstaff Sign Free Zone, has been determined based on the location of a predominance of commercial tourism, resort and hotel uses within this zone.

2. Standards.

a. Portable signs, including political signs, may not be placed within the public rights-of-way in the Flagstaff sign free zone. Portable signs are permitted on private property adjacent to the Flagstaff sign free zone.

b. The Director may remove or cause to be removed any portable sign erected or displayed in the public rights-of-way in the Flagstaff sign free zone.

10-50.100.~~110~~**100** Nonconforming Signs

Section 10-20.60.110, Nonconforming Signs, provides the standards and regulations for nonconforming signs.

10-50.100.~~120~~**110** Enforcement

A. It shall be unlawful for any person, firm or corporation to erect, construct, enlarge, alter, repair, display, or use a sign within the City contrary to, or in violation of, any provision of this division. The requirements of this division shall be enforced in compliance with the enforcement provisions of Division 10-20.110, Enforcement.

B. The Director may remove or cause to be removed any portable sign erected or displayed upon a public sidewalk, walkway or pedestrian thoroughfare within public right-of-way or within a clear view zone that creates a hazard to pedestrian or vehicular traffic.

10-50.100.~~130~~**120** Appeals

Any person, firm, or corporation aggrieved by a decision of the Director in interpreting, applying, or enforcing this section may file an appeal in compliance with the appeal provisions established in Section 10-20.80.020, Appeals of Interpretations by Zoning Code Administrator or Director.

10-50.100.~~140~~**130** Severability

A. If any section, sentence, clause, phrase, word, portion or provision of the division is held invalid or unconstitutional by any court of competent jurisdiction, such decision shall not affect, impair, or invalidate any other section, sentence, clause, phrase, word, portion, or provision of this division which can be given effect without the invalid provision.

B. The invalidation of the application of any section, sentence, clause, phrase, word, portion, or provision of this division to a particular property or structure, or any particular properties or structures, by any court of competent jurisdiction shall not affect the application of such section, sentence, clause, phrase, word, portion or provision to any other property or structure not specifically included in said invalidation.

Section 3. Amend Title 10 Flagstaff Zoning Code, Chapter 10-80: Definitions, Division 10-80.020 Definitions of Specialized Terms, Phrases, and Building Functions, Section 10-80.20.190: Definitions "S" as follows:

~~Sign: A structure, device, figure, display, message placard or other contrivance, or any part thereof, situated outdoors or indoors, which is designed, constructed, intended or used to advertise, provide information in the nature of advertising, provide historical, cultural, archeological, ideological, political, or social information, or direct or attract attention to an object, person, institution, business, product, service, message, event or location by any means, including branding, color bands, corporate colors, designs, figures, fixtures, illumination, letters, logos, symbols, and words.~~ **Any identification, description, illustration, symbol, or device which is affixed directly or indirectly upon a building, vehicle, structure, or land and which identifies or directs attention to a product, place, activity, person, institution, or business.**

~~Sign, District: See “Sign, Neighborhood or District.”~~

~~Sign, Fuel Pump: A sign mounted above, and integrated into the structure of, an operable fuel dispensing pump.~~

~~Sign, Fuel Pump Topper: A sign affixed to the top of an operable fuel dispensing pump used to advertise goods offered for sale on the same parcel on which the fuel pump is located.~~

Sign, **Heritage Historic or Culturally Significant**: An individual sign ~~of historic or cultural significance~~ worthy of special recognition and consideration because it may be unusual, significant, or meaningful to Flagstaff’s streetscape or history.

~~Sign, Individual Letter: A cut-out or etched letter or logo which is individually mounted on a landscape screen wall, building wall, or freestanding sign.~~

~~Sign, LED: A sign consisting of light emitting diodes (electronic components that let electricity pass in only one direction) that emit visible light when electricity is applied.~~

~~Sign, Logo: A stylized group of letters, words, symbols or combination thereof used to represent and distinguish a business or product from the competition.~~

~~Sign, Neighborhood or District: A sign erected to identify a neighborhood based on, but not limited to, its historic, architectural, social, or cultural characteristics.~~

Sign, Off-Premises: Any sign that directs attention to a business, commodity, service, entertainment, product, structure, use or property different from a structure or use existing on the property (**not**

including appurtenant easements) where the sign is located, and/or any sign on which space is rented, donated or sold by the owner of said sign or property for the purpose of conveying a message.

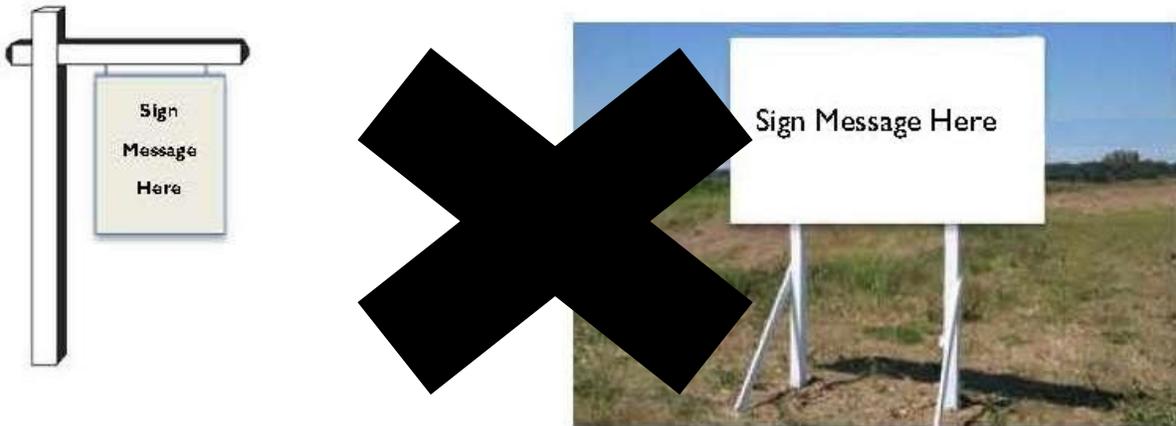
Sign, On-Site Advertising: ~~A sign used primarily to advertise goods or services offered on the same parcel on which the sign is located. Such a sign may include incidental nonadvertising information (time and temperature, for example). Does not include publicly owned signs providing general interest information exclusively (such as road names or highway conditions).~~

Sign Orientation: ~~To orient or position a single faced sign in a parallel position, or a double faced sign in a perpendicular placement toward a street frontage.~~

Sign, Painted Wall: ~~A sign painted directly onto the exterior wall of a building and having no sign structure.~~

Sign, Pan Channel: ~~A letter or shape constructed with side walls and a face making the shape a solid integral unit with a pan shaped cross section.~~

Sign, Post: ~~A sign mounted on either a single post or two or more posts as illustrated below:~~

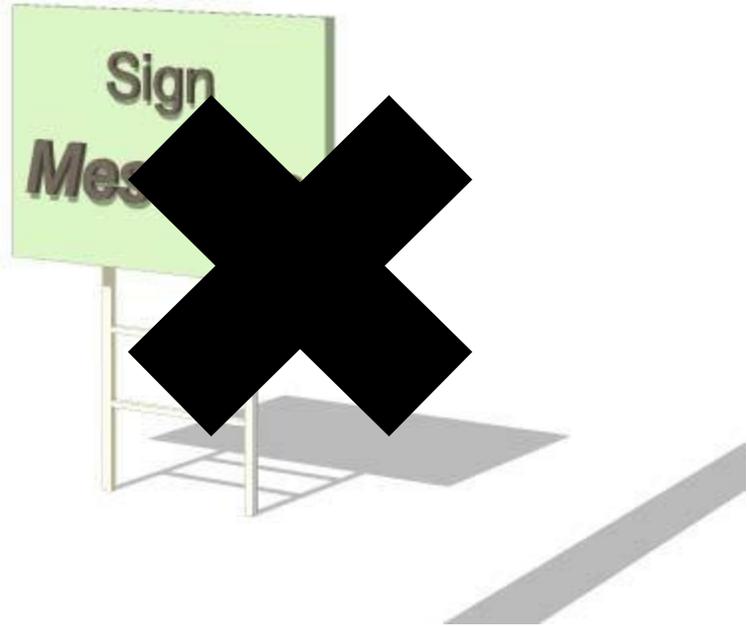


Sign, Sandwich: See "Sign, A-Frame."

Sign, Time and Temperature: ~~A sign whose only function is to display information about the current time and/or temperature in an electronic or digital manner.~~

Sign, Type A: ~~Freestanding signs that are associated with larger frontage sites located on major arterials.~~

Sign, Type B: Freestanding signs that are generally smaller and shorter, and are associated with smaller sites and/or with frontages on minor arterials or smaller street type.



Heritage Preservation Commission

7. B.

From: Tiffany Antol, Zoning Code Manager

DATE: 02/19/2025

SUBJECT: Work session on upcoming Zoning Code Text Amendments to address the requirements of SB 2721 and a potential Zoning Code Text Amendment addressing Adaptive Reuse of commercial buildings.

STAFF RECOMMENDED ACTION:

Discussion only.

Executive Summary:

Request for a work session with the Heritage Preservation Commission to discuss and receive feedback on upcoming Zoning Code Text Amendments to address the requirements of SB 2721 which requires the allowance of missing middle housing types (duplex, triplex, fourplex, and townhomes) in all zones that allow single-family residential uses and a potential Zoning Code Text Amendment addressing Adaptive Reuse of commercial buildings.

Policy Impact:

Attachments

HB 2721
Presentation

Senate Engrossed House Bill
municipal zoning; middle housing

State of Arizona
House of Representatives
Fifty-sixth Legislature
Second Regular Session
2024

HOUSE BILL 2721

AN ACT

AMENDING TITLE 9, CHAPTER 4, ARTICLE 6.1, ARIZONA REVISED STATUTES, BY
ADDING SECTION 9-462.10; RELATING TO MUNICIPAL ZONING.

(TEXT OF BILL BEGINS ON NEXT PAGE)

1 Be it enacted by the Legislature of the State of Arizona:

2 Section 1. Title 9, chapter 4, article 6.1, Arizona Revised
3 Statutes, is amended by adding section 9-462.10, to read:

4 9-462.10. Zoning; development; middle housing; applicability;
5 definitions

6 A. ON OR BEFORE JANUARY 1, 2026, A MUNICIPALITY WITH A POPULATION
7 OF SEVENTY-FIVE THOUSAND PERSONS OR MORE MUST AUTHORIZE BY ORDINANCE AND
8 INCORPORATE INTO ITS DEVELOPMENT REGULATIONS, ZONING REGULATIONS AND OTHER
9 OFFICIAL CONTROLS THE DEVELOPMENT OF DUPLEXES, TRIPLEXES, FOURPLEXES AND
10 TOWNHOMES AS A PERMITTED USE ON BOTH OF THE FOLLOWING:

11 1. ALL LOTS ZONED FOR SINGLE-FAMILY RESIDENTIAL USE WITHIN ONE MILE
12 OF THE MUNICIPALITY'S CENTRAL BUSINESS DISTRICT.

13 2. AT LEAST TWENTY PERCENT OF ANY NEW DEVELOPMENT OF MORE THAN TEN
14 CONTIGUOUS ACRES.

15 B. THE MUNICIPALITY MAY NOT DO ANY OF THE FOLLOWING:

16 1. DISCOURAGE THE DEVELOPMENT OF MIDDLE HOUSING THROUGH
17 REQUIREMENTS OR ACTIONS THAT INDIVIDUALLY OR CUMULATIVELY MAKE
18 IMPRACTICABLE THE PERMITTING, SITING, OR CONSTRUCTION OF MIDDLE HOUSING.

19 2. RESTRICT MIDDLE HOUSING TYPES TO LESS THAN TWO FLOORS.

20 3. RESTRICT MIDDLE HOUSING TYPES TO A FLOOR AREA RATIO OF LESS THAN
21 FIFTY PERCENT.

22 4. SET RESTRICTIONS, PERMITTING OR REVIEW PROCESSES FOR MIDDLE
23 HOUSING THAT ARE MORE RESTRICTIVE THAN THOSE FOR SINGLE-FAMILY DWELLINGS
24 WITHIN THE SAME ZONE.

25 5. REQUIRE OWNER OCCUPANCY OF ANY STRUCTURES ON THE LOT.

26 6. REQUIRE ANY STRUCTURES TO COMPLY WITH A COMMERCIAL BUILDING CODE
27 OR TO CONTAIN A FIRE SPRINKLER.

28 7. REQUIRE MORE THAN ONE OFF-STREET PARKING SPACE PER UNIT.

29 C. THIS SECTION DOES NOT PROHIBIT THE GOVERNING BODY OF A
30 MUNICIPALITY FROM ALLOWING EITHER OF THE FOLLOWING:

31 1. SINGLE-FAMILY DWELLINGS IN AREAS ZONED FOR SINGLE-FAMILY
32 DWELLINGS.

33 2. ADDITIONAL TYPES OF MIDDLE HOUSING NOT REQUIRED UNDER THIS
34 SECTION.

35 D. THIS SECTION DOES NOT APPLY TO ANY OF THE FOLLOWING:

36 1. AREAS THAT ARE NOT INCORPORATED.

37 2. AREAS THAT LACK SUFFICIENT URBAN SERVICES.

38 3. AREAS THAT ARE NOT SERVED BY WATER AND SEWER SERVICES.

39 4. AREAS THAT ARE NOT ZONED FOR RESIDENTIAL USE.

40 5. AREAS THAT ARE NOT INCORPORATED AND ARE ZONED UNDER AN INTERIM
41 ZONING DESIGNATION THAT MAINTAINS THE AREA'S POTENTIAL FOR PLANNED URBAN
42 DEVELOPMENT.

43 6. AREAS COVERED UNDER TITLE 48, CHAPTER 6, ARTICLE 4.

44 7. ANY LAND WITHIN THE TERRITORY IN THE VICINITY OF A PUBLIC
45 AIRPORT AS DEFINED IN SECTION 28-8486 OR TO THE EXTENT THIS SECTION WOULD

1 INTERFERE WITH THE PUBLIC AIRPORT'S ABILITY TO COMPLY WITH THE LAWS,
2 REGULATIONS AND REQUIREMENTS OF THE UNITED STATES RELATED TO APPLYING FOR,
3 RECEIVING OR SPENDING FEDERAL MONIES.

4 8. ANY LAND WITHIN THE TERRITORY IN THE VICINITY OF A MILITARY
5 AIRPORT AS DEFINED IN SECTION 28-8461.

6 E. IF A MUNICIPALITY DOES NOT ADOPT THE REGULATIONS REQUIRED BY
7 THIS SECTION ON OR BEFORE JANUARY 1, 2026, MIDDLE HOUSING SHALL BE ALLOWED
8 ON ALL LOTS IN THE MUNICIPALITY ZONED FOR SINGLE-FAMILY RESIDENTIAL USE
9 WITHOUT ANY LIMITATIONS.

10 F. THIS SECTION DOES NOT CHANGE OR OTHERWISE IMPAIR THE TERMS OF
11 ANY DEVELOPMENT AGREEMENT THAT EXISTS ON THE EFFECTIVE DATE OF THIS
12 SECTION.

13 G. NOTWITHSTANDING SUBSECTION A OF THIS SECTION, A UTILITY PROVIDER
14 IMPACTED BY A DEVELOPMENT BEING DEVELOPED PURSUANT TO THIS SECTION SHALL
15 HAVE THE OPPORTUNITY TO REVIEW AND APPROVE THE SITE PLAN FOR THE
16 DEVELOPMENT.

17 H. FOR THE PURPOSE OF THIS SECTION:

18 1. "BUILDING CODE":

19 (a) MEANS A CONSTRUCTION CODE ADOPTED BY A MUNICIPALITY.

20 (b) INCLUDES A MODEL BUILDING CODE, COMMERCIAL CODE, PLUMBING AND
21 MECHANICAL CODE, ELECTRIC CODE, ENERGY CONSERVATION CODE, FIRE CODE,
22 PROPERTY MAINTENANCE CODE, NEIGHBORHOOD PRESERVATION CODE, ANTI-BLIGHT
23 CODE OR OTHER SIMILAR CODE.

24 2. "CENTRAL BUSINESS DISTRICT" MEANS AN AREA OR SERIES OF AREAS
25 DESIGNATED BY A MUNICIPALITY THAT ARE PRIMARILY NONINDUSTRIAL AND THAT
26 ATTRACT COMMUNITY ACTIVITY, INCLUDING THE ENTIRE GEOGRAPHIC AREA THAT THE
27 MUNICIPALITY HAS OFFICIALLY DESIGNATED AS ITS DOWNTOWN OR EQUIVALENT ON
28 THE EFFECTIVE DATE OF THE SECTION.

29 3. "DUPLEX" MEANS TWO DWELLING UNITS ON THE SAME PARCEL OR LOT IN
30 ATTACHED, DETACHED OR SEMI-DETACHED ARRANGEMENTS THAT ARE DESIGNED FOR
31 RESIDENTIAL OCCUPANCY BY NOT MORE THAN TWO HOUSEHOLDS LIVING INDEPENDENTLY
32 FROM EACH OTHER.

33 4. "FLOOR AREA RATIO" MEANS THE RATIO OF ALLOWED SQUARE FOOTAGE IN
34 A MIDDLE HOUSING PROJECT TO THE SQUARE FOOTAGE OF THE PARCEL ON WHICH IT
35 IS BUILT.

36 5. "FOURPLEX" MEANS FOUR DWELLING UNITS ON THE SAME PARCEL OR LOT
37 IN ATTACHED, DETACHED OR SEMI-DETACHED ARRANGEMENTS THAT ARE DESIGNED FOR
38 RESIDENTIAL OCCUPANCY BY NOT MORE THAN FOUR HOUSEHOLDS LIVING
39 INDEPENDENTLY FROM EACH OTHER.

40 6. "HOUSEHOLD" MEANS EITHER:

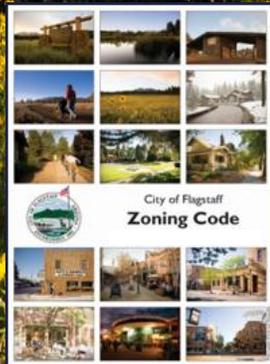
41 (a) A SINGLE PERSON LIVING OR RESIDING IN A DWELLING OR PLACE OF
42 RESIDENCE.

43 (b) TWO OR MORE PERSONS LIVING TOGETHER OR RESIDING IN THE SAME
44 DWELLING OR PLACE OF RESIDENCE.

- 1 7. "MIDDLE HOUSING":
2 (a) MEANS BUILDINGS THAT ARE COMPATIBLE IN SCALE, FORM AND
3 CHARACTER WITH SINGLE-FAMILY HOUSES AND THAT CONTAIN TWO OR MORE ATTACHED,
4 DETACHED, STACKED OR CLUSTERED HOMES.
5 (b) INCLUDES DUPLEXES, TRIPLEXES, FOURPLEXES AND TOWNHOUSES.
6 8. "PERMITTED USE" MEANS THE ABILITY FOR A DEVELOPMENT TO BE
7 APPROVED WITHOUT REQUIRING A PUBLIC HEARING, VARIANCE, CONDITIONAL USE
8 PERMIT, SPECIAL PERMIT OR SPECIAL EXCEPTION, OTHER THAN A DISCRETIONARY
9 ZONING ACTION TO DETERMINATION THAT A SITE PLAN CONFORMS WITH APPLICABLE
10 ZONING REGULATIONS.
11 9. "TOWNHOUSES" MEANS DWELLING UNITS THAT ARE CONSTRUCTED IN A ROW
12 OF TWO OR MORE ATTACHED UNITS IN WHICH EACH DWELLING UNIT SHARES AT LEAST
13 ONE COMMON WALL WITH AN ADJACENT UNIT AND THAT ARE ACCESSED BY SEPARATE
14 OUTDOOR ENTRANCES.
15 10. "TRIPLEX" MEANS THREE DWELLING UNITS ON THE SAME PARCEL OR LOT
16 IN ATTACHED, DETACHED OR SEMI-DETACHED ARRANGEMENTS THAT ARE DESIGNED FOR
17 RESIDENTIAL OCCUPANCY BY NOT MORE THAN THREE HOUSEHOLDS LIVING
18 INDEPENDENTLY FROM EACH OTHER.

Missing Middle, Adaptive Reuse, & Single-Use Residential in Commercial Zones

Tiffany Antol, AICP
Zoning Code Manager





Missing Middle New Legislation

Required Changes to City Code

The conclusion of fiscal year 2023-2024 saw the passage of several bills requiring amendments to City Code including the Zoning Code. The following will need to be addressed in upcoming amendments:

- [House Bill 2721](#) necessitates municipalities to enact ordinances, by or before January 1, 2026, to allow the construction of duplexes, triplexes, fourplexes, and townhomes, as a permitted use, on all lots zoned for single-family residential use.



Missing Middle Housing

On or before January 1, 2026, a municipality with a population of 75,000 or more must authorize by ordinance and incorporate into its development regulations, zoning regulations and other official controls the development of duplexes, triplexes, fourplexes and townhomes as a permitted use on both of the following:

- All lots zoned for single-family residential use within one mile of the municipality's central business district.
- At least twenty percent of any new development of more than ten contiguous acres.

If a municipality does not adopt the regulations required by this section on or before January 1, 2026, middle housing shall be allowed on all lots in the municipality zoned for single-family residential use without any limitations.



HB 2721

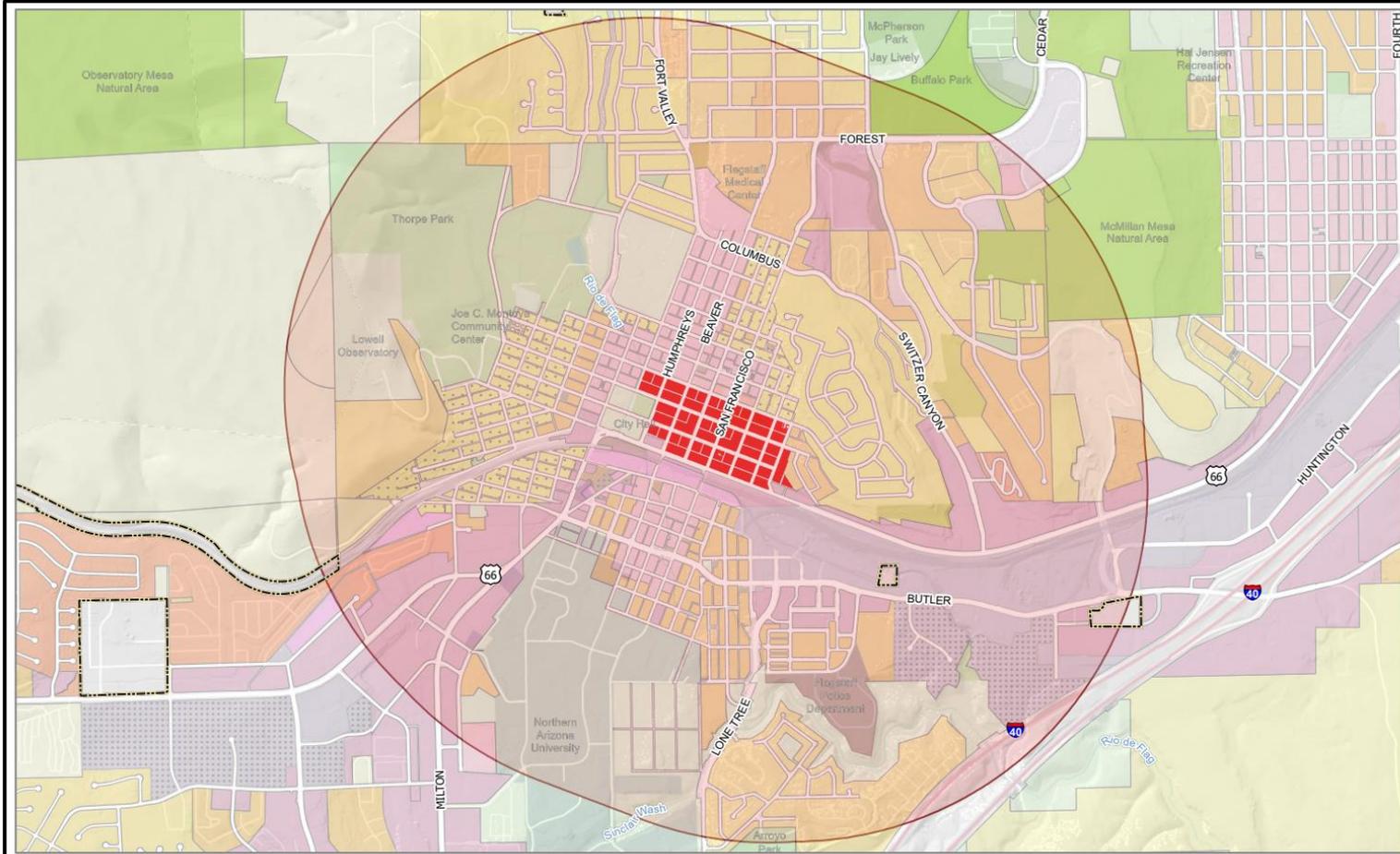
Missing Middle Housing

The municipality may not do any of the following:

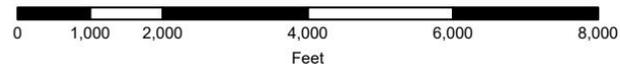
- Discourage the development of middle housing through requirements or actions that individually or cumulatively make impracticable the permitting, siting, or construction of middle housing.
- Restrict middle housing types to less than two floors.
- Restrict middle housing types to a floor area ratio of less than fifty percent.
- Set restrictions, permitting or review processes for middle housing that are more restrictive than those for single-family dwellings within the same zone.
- Require owner occupancy of any structures on the lot.
- Require any structures to comply with a commercial building code or to contain a fire sprinkler.
- Require more than one off-street parking space per unit.



One Mile Buffer



Central Business Zoning 1 Mile Buffer



City of Flagstaff maps and data are updated on a regular basis from data obtained from various sources. The City of Flagstaff endeavors to provide accurate information, but accuracy is not guaranteed. You are strongly encouraged to obtain any information you need for a business or legal transaction from a surveyor, engineer, title company, or other licensed professional as appropriate. Information is provided subject to the express condition that you knowingly waive any and all claims for damages against the City of Flagstaff relating to use of this information.



1/15/2025 8:48 AM



Single-Use Residential in Commercial Zones



- Single-Use residential (100% residential project) is only permitted in most commercial zones with a Conditional Use Permit (CUP).
- Would you support removing the requirement for a CUP if the residential project provided affordable housing units?
 - 15 to 20% of all units for rent serving 90% AMI
 - 10 to 15% of all units for ownership serving 120% AMI



Adaptive Reuse



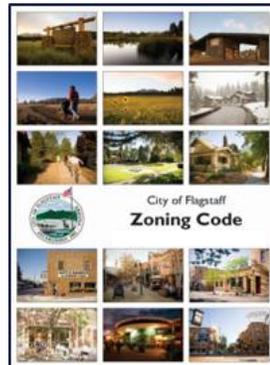
- Would you support allowing Single Use Residential projects in commercial zones where an existing building would be utilized (i.e. old motel)?
- Would you support allowing new uses within existing commercial buildings to forgo additional parking?



Zoning Code Text Amendments



Questions?



Heritage Preservation Commission

7. C.

From: Lauren Clementino, Senior Planner/Heritage Preservation Officer

DATE: 02/19/2025

SUBJECT: Historic Signs and Facades Grant Tracking - February 2025 Update.

STAFF RECOMMENDED ACTION:

Discussion only.

Executive Summary:

Spreadsheet updated to reflect extension request for 601 W Cherry Avenue and payment for 803 1/2 W Aspen Avenue projects.

Policy Impact:

Attachments

HSFG Tracking February 2025

HSFG Grants July 2024 - June 2025

Address	Property Owner(s)	Grant Amount (\$)	Meeting Date	Status
314 W Birch Avenue	Robert and Dorothy Best	\$20,000	November-23	Paid
Yogaert / 3 E Aspen	Samantha		Mar-24	Forfeited
601 W Cherry Avenue	Erik Schiefer-Stan & Amanda Schiefer-Stan	\$10,000	Apr-24	Request a one-year extension
614 W Santa Fe Avenue	Mac Axelrod, Trustee (Tesano representative)	\$20,000	Apr-24	Permits issued
Sego Lily House	Townsite CLT	\$20,000	Jul-24	Paid
1625 N Sunset Drive	Claire DeChambre and Nicholas Geib	\$10,000	Aug-24	Paid
416 S San Francisco Street	Enrique Valdivia	\$5,000	Aug-24	Inspection complete - payment pending
823 W Aspen Ave	Caitlin Kelly	\$20,000	Aug-24	Paid
314 N Mogollon	Jeff and Karen Kramarczyk	\$10,000	Sep-24	Paid
302E Route 66	Harry Curtin	\$10,000	Sep-24	Paid
803 1/2 W Aspen Ave	Greg Hadden	\$20,000	Sep-24	Permits issued
104 E Route 66	Bob Harris (contractor)	\$10,000	Nov-24	Permits Issued
FY25 Funding		\$160,000		
Available funds		\$5,000		

Heritage Preservation Commission

8. A. 1.

From: Lauren Clementino, Senior Planner/Heritage Preservation Officer

DATE: 02/19/2025

SUBJECT: Certificate of No Effect for 223 1/2 W. Cherry Avenue

PROPERTY INFO:

Permit Number(s): PZ-24-00234

Address: 223 1/2 W. Cherry Avenue

Type of Approval: Certificate of No Effect

Approval Date: 01/08/2025

FINDINGS:

The building is not a contributor to the Flagstaff Townsite National Register District. The building has lost integrity due to substantial alterations and loss of original elements.

INFORMATION:

Property owner proposed to add an exterior chimney to the east facade of building.

Attachments

Improvement Plans including Chimney Work

Certificate of No Effect Application



City of Flagstaff

Community Development Division

211 W. Aspen Ave
Flagstaff, AZ 86001
www.flagstaff.az.gov

P: (928) 213-2618
F: (928) 779-7684

HPC-C

Date Received		Application to Heritage Preservation for a Certificate within an Overlay		File Number
Property Owner(s)	Title	Phone	Email	
Mailing Address			City, State, Zip	
Applicant	Title	Phone	Email	
Mailing Address			City, State, Zip	
Property Interest of Applicant(s) (Owner, contractual interest, or agent)				
Site Address			City, State, Zip	
Project Name				
Parcel Number(s)		Zoning District(s), including Overlays		
Property Information:	<input type="checkbox"/> Yes <input type="checkbox"/> No	Listed individually on the National or Arizona Register of Historic Places? (Name: _____)		
	<input type="checkbox"/> Yes <input type="checkbox"/> No	Located in a National Register Historic District? (Name: _____)		
	<input type="checkbox"/> Yes <input type="checkbox"/> No	Is a structure on the property considered contributing to the District?		
	<input type="checkbox"/> Yes <input type="checkbox"/> No	Located in a Historic or Landmark Overlay? (Name: _____)		
	<input type="checkbox"/> Yes <input type="checkbox"/> No	Is the structure over 50 years old at the time of application?		
	<input type="checkbox"/> Yes <input type="checkbox"/> No	Does this application include review of a sign in an overlay or the Central Sign District?		
Type of HPC Application Requested:	<input type="checkbox"/>	Certificate of No Effect (May be reviewed by the Heritage Preservation Officer or the Commission)		
	<input type="checkbox"/>	Certificate of Appropriateness (Must be reviewed by the Heritage Preservation Commission)		
	<input type="checkbox"/>	Certificate of Economic Hardship (Must be reviewed by the Heritage Preservation Commission)		
Note: Applications which are incomplete or not accompanied by the required information will not be accepted.				
Property Owner Signature:	Date:	Applicant Signature:	Date:	
For City Use				
Date Filed: _____		HPC Hearing Date: _____		
Fee Receipt #: _____		Amount: _____	Date: _____	
Action by HPC:	<input type="checkbox"/> Consent Approval by HPO	<input type="checkbox"/> Denied		
	<input type="checkbox"/> Approved	<input type="checkbox"/> Continued		
	<input type="checkbox"/> Approved with Conditions	Staff Initial: _____	Date: _____	

Submittal Requirements

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1. Completed Application including all signatures and payment of fees. If applying for multiple types of HPC reviews only one fee is collected at the time of the first application for the same work.
2. An electronic copy and one copy of drawings or documents as needed to describe the proposal, which may include a Site Plan, Floor Plans, Exterior Elevations, Building Sections, Exterior Details, Lighting Plan, and a Landscape Plan. All drawings shall be drawn to scale and dimensioned and shall clearly and accurately represent the natural and built conditions of the context area and the project, including both existing conditions and proposed work.
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4. A Color Board depicting all exterior materials and finishes associated with the work (if requested).
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HPC-C

Project Description

[Empty box for Project Description]

Explanation of how the project meets the applicable overlay and relevant sections of the Zoning Code

[Empty box for Explanation of how the project meets the applicable overlay and relevant sections of the Zoning Code]

Insert additional pages if necessary



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Summary Statement of Significance:

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- b. It embodies distinctive characteristics of type, period, region, artistic values, or methods of construction, including being the oldest of its type or the best example of its type, or, if it represents the work of, or for, an important individual.
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Original Construction Date: _____

Describe Previous Major Alterations (Include dates and changes of use):

Describe the Significance of the Resource (In terms of a. or b., and c., above):

Source(s) of Information Used:

Describe the Level of Integrity of the Resource (Existing and proposed):

Heritage Preservation Commission

8. A. 2.

From: Lauren Clementino, Senior Planner/Heritage Preservation Officer

DATE: 02/19/2025

SUBJECT: Certificate of No Effect for 713 W. Birch Avenue Unit 1

PROPERTY INFO:

Permit Number(s): PZ-25-00003

Address: 713 W. Birch Avenue

Type of Approval: Certificate of No Effect

Approval Date: 01/03/2025

FINDINGS:

Re-roofing is considered a minor alteration that has a limited impact in relation to the total cultural resource. The building was constructed in 1958 and is not a contributor to the Flagstaff Townsite National Register District.

INFORMATION:

Property owner and contractor propose to remove and replace roofing in-kind.

Attachments

Certificate of No Effect Application



City of Flagstaff

Community Development Division

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F: (928) 779-7684

HPC-C

Date Received		Application to Heritage Preservation for a Certificate within an Overlay		File Number
Property Owner(s) 713 W Birch Ave, Flagstaff, AZ 86001		Title	Phone (928) 607-3497	Email birchave713@gmail.com
Mailing Address 1 EAST TERRACE AVE NO 1 FLAGSTAFF, AZ 86001				City, State, Zip
Applicant Andrew Bird, Mission Restoration - Operations Mgr		Title	Phone 480-229-5764	Email abird@missionrestoration.com
Mailing Address 2848 N Omaha, Mesa, AZ 85215				City, State, Zip
Property Interest of Applicant(s) (Owner, contractual interest, or agent) Contractor				
Site Address 713 W Birch Ave, Flagstaff, AZ 86001				City, State, Zip
Project Name MR24-9454				
Parcel Number(s) 100-16-019			Zoning District(s), including Overlays FLAGSTAFF TOWNSITE Block: 2G Lot: 17 AND:- Lot: 18	
Property Information: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Listed individually on the National or Arizona Register of Historic Places? (Name: _____) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Located in a National Register Historic District? (Name: <u>Townsite Overlay Zone</u>) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Is a structure on the property considered contributing to the District? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Located in a Historic or Landmark Overlay? (Name: <u>Townsite Overlay Zone</u>) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Is the structure over 50 years old at the time of application? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Does this application include review of a sign in an overlay or the Central Sign District?				
Type of HPC Application Requested: <input checked="" type="checkbox"/> Certificate of No Effect (May be reviewed by the Heritage Preservation Officer or the Commission) <input type="checkbox"/> Certificate of Appropriateness (Must be reviewed by the Heritage Preservation Commission) <input type="checkbox"/> Certificate of Economic Hardship (Must be reviewed by the Heritage Preservation Commission)				
Note: Applications which are incomplete or not accompanied by the required information will not be accepted.				
Property Owner Signature: e-Signed by Daniel Darby		Date: 01/02/2025	Applicant Signature: 	Date: 1/2/24
For City Use				
Date Filed: _____		HPC Hearing Date: _____		
Fee Receipt #: _____		Amount: _____		Date: _____
Action by HPC: <input type="checkbox"/> Consent Approval by HPO		<input type="checkbox"/> Denied		
<input type="checkbox"/> Approved		<input type="checkbox"/> Continued		
<input type="checkbox"/> Approved with Conditions		Staff Initial: _____		
		Date: _____		

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3. Photographs of the context, including the property, surrounding properties, and the neighborhood.
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HPC-C

Project Description

Remove and replace 41 squares roofing and associated roofing accessories (underlayment, starter course, ice & water shield, roof vents and flashings), haul off waste materials.

Explanation of how the project meets the applicable overlay and relevant sections of the Zoning Code

Standard re-roofing in accordance with all locally and federally adopted building codes. No changes to structural, sheathing, framing, etc.

Insert additional pages if necessary



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Summary Statement of Significance:

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Original Construction Date: 1958

Describe Previous Major Alterations (Include dates and changes of use):

Describe the Significance of the Resource (In terms of a. or b., and c., above):

Source(s) of Information Used:

Describe the Level of Integrity of the Resource (Existing and proposed):

Heritage Preservation Commission

8. A. 3.

From: Lauren Clementino, Senior Planner/Heritage Preservation Officer

DATE: 02/19/2025

SUBJECT: Certificate of No Effect for 23 E Aspen Avenue

PROPERTY INFO:

Permit Number(s): CC-24-03270, PZ-25-00001

Address: 23 E Aspen Avenue

Type of Approval: Certificate of No Effect

Approval Date: 02/03/2025

FINDINGS:

This building is a contributor to the Railroad Addition Historic District and located within the Downtown Overlay Zone. The new double-sided hanging sign and vinyl decals/wrap are compliant with the Design Handbook for Downtown Flagstaff's guidelines for signs. The channel letter sign shapes are being replaced in-kind using existing raceways and are exempt from the current sign guidelines. Using the existing raceways and sign type will also have minimal impact on the stone exterior, compared with installing a new sign type and removing the raceways and filling drill holes.

INFORMATION:

23 E Aspen Avenue has a new tenant, Urban Pine Eatery. The signage project proposes to:

- Remove the existing "Pita Pit" channel letter shapes and replace them with new "Urban Pine Eatery" channel letter shapes on two existing raceways.
- Install one new double-sided hanging sign.
- Install new vinyl window wrap and decals.

Attachments

Certificate of No Effect Application

Urban Pine Eatery Sign Proof



City of Flagstaff

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HPC-C

Date Received		Application to Heritage Preservation for a Certificate within an Overlay		File Number												
Property Owner(s) Aspen Grove, LLC	Title Owner	Phone 928-773-9300	Email David@FlagstaffRealtyPro.com													
Mailing Address 15 E. Cherry Avenue		City, State, Zip Flagstaff, Arizona 86001														
Applicant Terry Freeman	Title Tenant	Phone 480-862-0096	Email terryfreeman01@gmail.com													
Mailing Address 23 E. Aspen Ave		City, State, Zip Flagstaff, Arizona 86001														
Property Interest of Applicant(s) (Owner, contractual interest, or agent) Terry Freeman																
Site Address 23 E. Aspen Ave		City, State, Zip Flagstaff, Arizona 86001														
Project Name Urban Pine Eatery																
Parcel Number(s) 100-20-015		Zoning District(s), Including Overlays Downtown Flagstaff														
Property Information: <table border="0"> <tr> <td><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</td> <td>Listed Individually on the National or Arizona Register of Historic Places? (Name: _____)</td> </tr> <tr> <td><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</td> <td>Located in a National Register Historic District? (Name: <u>Railroad Add.</u>)</td> </tr> <tr> <td><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</td> <td>Is a structure on the property considered contributing to the District?</td> </tr> <tr> <td><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</td> <td>Located in a Historic or Landmark Overlay? (Name: <u>Downtown Flagstaff</u>)</td> </tr> <tr> <td><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</td> <td>Is the structure over 50 years old at the time of application?</td> </tr> <tr> <td><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</td> <td>Does this application include review of a sign in an overlay or the Central Sign District?</td> </tr> </table>					<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Listed Individually on the National or Arizona Register of Historic Places? (Name: _____)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Located in a National Register Historic District? (Name: <u>Railroad Add.</u>)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Is a structure on the property considered contributing to the District?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Located in a Historic or Landmark Overlay? (Name: <u>Downtown Flagstaff</u>)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Is the structure over 50 years old at the time of application?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Does this application include review of a sign in an overlay or the Central Sign District?
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Property Owner Signature: <i>David Stephens</i> MEMBER/MANAGER		Date: 1/28/25	Applicant Signature: <i>[Signature]</i>													
			Date: 01/27/2025													
For City Use																
Date Filed: _____		HPC Hearing Date: _____														
Fee Receipt #: _____		Amount: _____ Date: _____														
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		Staff Initial: _____ Date: _____														

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HPC-C

Project Description

Provide and install one (1) 36"w x 36"h - Double Sided hanging HDU sandblasted sign with wood grain background texture and four paint colors.

Remove existing "Pita Pit" channel letters from existing raceway cabinets and install new "Urban Pine" freeformed LED illuminated cabinets on existing grandfathered cabinet structures.

Explanation of how the project meets the applicable overlay and relevant sections of the Zoning Code

Suspended sign is made of high quality material with 3-dimension texture with proper scaling (using HDU sandblasted signage).

Two (2) illuminated building cabinets will have the same exact dimensions and lighting as the grandfathered "Pita Pit" signs, which have been on the building for over (20) twenty years.

Insert additional pages if necessary



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HPC-C

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- It is associated with events or persons in the architectural, engineering, archeological, scientific, technological, economic, agricultural, educational, social, political, military, or cultural annals of the City of Flagstaff, the State of Arizona, or the United States of America.
- It embodies distinctive characteristics of type, period, region, artistic values, or methods of construction, including being the oldest of its type or the best example of its type, or, if it represents the work of, or for, an important individual.
- A resource is generally not significant if it is less than fifty (50) years old, or, if the features, materials, patterns, and relationships that establish its significance are no longer present or no longer have integrity. The integrity of a resource is judged by how evident the general character of the significant period is, the degree to which the characteristics that define its significance are present, and the degree to which incompatible elements are reversible.

Original Construction Date: 1907/1911

Describe Previous Major Alterations (Include dates and changes of use):

ASPEN STREET FACADE RESTORED 2002

Describe the Significance of the Resource (In terms of a, or b., and c., above):

SEE ATTACHED ARIZONA STATE HISTORIC
PROPERTY INVENTORY

Source(s) of Information Used:

SEE ATTACHED

Describe the Level of Integrity of the Resource (Existing and proposed):

SEE ATTACHED

ARIZONA STATE HISTORIC PROPERTY INVENTORY

PROPERTY NAME Second Post Office (Babbitt Block)		Significant	PHR 120
LOCATION 19-25 E. Aspen			
CITY/TOWN/VICINITY Flagstaff		COUNTY Coconino	
OWNER David Babbitt Industries			
OWNER'S ADDRESS Flagstaff AZ 86001			
FORM COMPLETED BY Janus Design for the			
ADDRESS Flagstaff Historic Sites Commission City of Flagstaff			
PHOTO BY Pat Stein		DATE 8-78	
VIEW Looking Southwest			
PRESENT USE Commercial		ACREAGE Less/acre	
STYLE OR CULTURAL PERIOD Local variation--cast iron commercial			
SIGNIFICANT DATES 1907			



PHYSICAL DESCRIPTION

The Second Post Office Block is a one story stone structure measuring 50' by 80'. Four bays face north onto Aspen Avenue and 2 pairs of doors and double hung windows face east onto San Francisco Street. A 20' by 35' addition in stone has been put up on the rear facing San Francisco. Walls are of tufa laid in an ashlar pattern; pilasters divide the bays on the north facade; openings are supported by cast iron lintels. The corner bay, which was used as the post office, retains many original elements. The other three bays have been modified but could be restored. The building has a flat roof.

STATEMENT OF SIGNIFICANCE

This building is the only remaining major structure from the 1900 to 1910 building period. It was constructed by David Babbitt, one of the leaders in the community. It is a good example of the use of a local volcanic rock known as tufa. From 1907 to 1917 the first bay of the building served as the local Post Office.

VERBAL BOUNDARY DESCRIPTION

Block 5; eastern portions of Lots 19, 20 & 21



Name: **Urban Pine Eatery**

Date: **01.27.2025**

INV #: **00000**

Rev #: **0**

CUSTOMER'S APPROVAL

- Approved
- Revise and Proof Again

Signature _____
Date _____

SIGN SPECS

- Radius Corners in.
- Holes Punched
 - Center Top & Bottom
 - All Four Corners
- Hems Grommets

PRODUCTION STAGES

- Design Material
- Printed / Cut
- Production Install

DONE R4I
Signature _____ Date _____



2333 E. Spruce Avenue,
Flagstaff, AZ 86004

Phone: (928) 714-0740
Email: signs@sarflagstaff.com
Web: www.SARflagstaff.com



Illuminated Aluminum Custom Channel Letter Shapes / Qty. [x2]
 5" Deep illuminated custom shaped aluminum channel letter pieces. Sign face will have Latex printed translucent vinyl graphics, with block out behind. Sign will have black trim caps, with black returns. Current raceway painted to match existing raceway color

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Color: 0000 0000 PMS 0000 PMS 0000

Notes: **26.6 Sqft [total]**



Name: Urban Pine

Eatery

Date: 01.27.2025

INV #: 00000

Rev #: 0

CUSTOMER'S APPROVAL

- Approved
- Revise and Proof Again

Signature _____

Date _____

SIGN SPECS

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- Holes Punched
 - Center Top & Bottom
 - All Four Corners
- Hems Grommets

PRODUCTION STAGES

- Design Material
- Printed / Cut
- Production Install

DONE R4I

Signature _____ Date _____

Signarama
FLAGSTAFF

2333 E. Spruce Avenue,
Flagstaff, AZ 86004

Phone: (928) 714-0740
Email: signs@sarflagstaff.com
Web: www.SARflagstaff.com



Day

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Color:



PMS 0000



PMS 0000



PMS 0000



PMS 0000

Notes:



Name: **Urban Pine**

Eatery

Date: **01.27.2025**

INV #: **00000**

Rev #: **0**

CUSTOMER'S APPROVAL

- Approved
- Revise and Proof Again

Signature _____

Date _____

SIGN SPECS

- Radius Corners
- Holes Punched
 - Center Top & Bottom
 - All Four Corners
- Hems Grommets

PRODUCTION STAGES

- Design Material
- Printed / Cut
- Production Install

DONE R4I

Signature _____

Date _____

Signarama
FLAGSTAFF

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Flagstaff, AZ 86004

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Web: www.SARflagstaff.com



Night

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Color:



PMS 0000



PMS 0000



PMS 0000



PMS 0000

Notes:



Name: Urban Pine

Eatery

Date: 01.27.2025

INV #: 00000

Rev #: 0

CUSTOMER'S APPROVAL

- Approved
- Revise and Proof Again

Signature _____

Date _____

SIGN SPECS

- Radius Corners
- Holes Punched
 - Center Top & Bottom
 - All Four Corners
- Hems Grommets

PRODUCTION STAGES

- Design Material
- Printed / Cut
- Production Install

DONE R4I

Signature _____ Date _____



Signarama
FLAGSTAFF

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Flagstaff, AZ 86004

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Color:



PMS 0000



PMS 0000



PMS 0000



PMS 0000

Notes:



Name: Urban Pine

Eatery

Date: 01.27.2025

INV #: 00000

Rev #: 0

CUSTOMER'S APPROVAL

- Approved
- Revise and Proof Again

Signature _____

Date _____

SIGN SPECS

- Radius Corners in.
- Holes Punched
 - Center Top & Bottom
 - All Four Corners
- Hems Grommets

PRODUCTION STAGES

- Design Material
- Printed / Cut
- Production Install

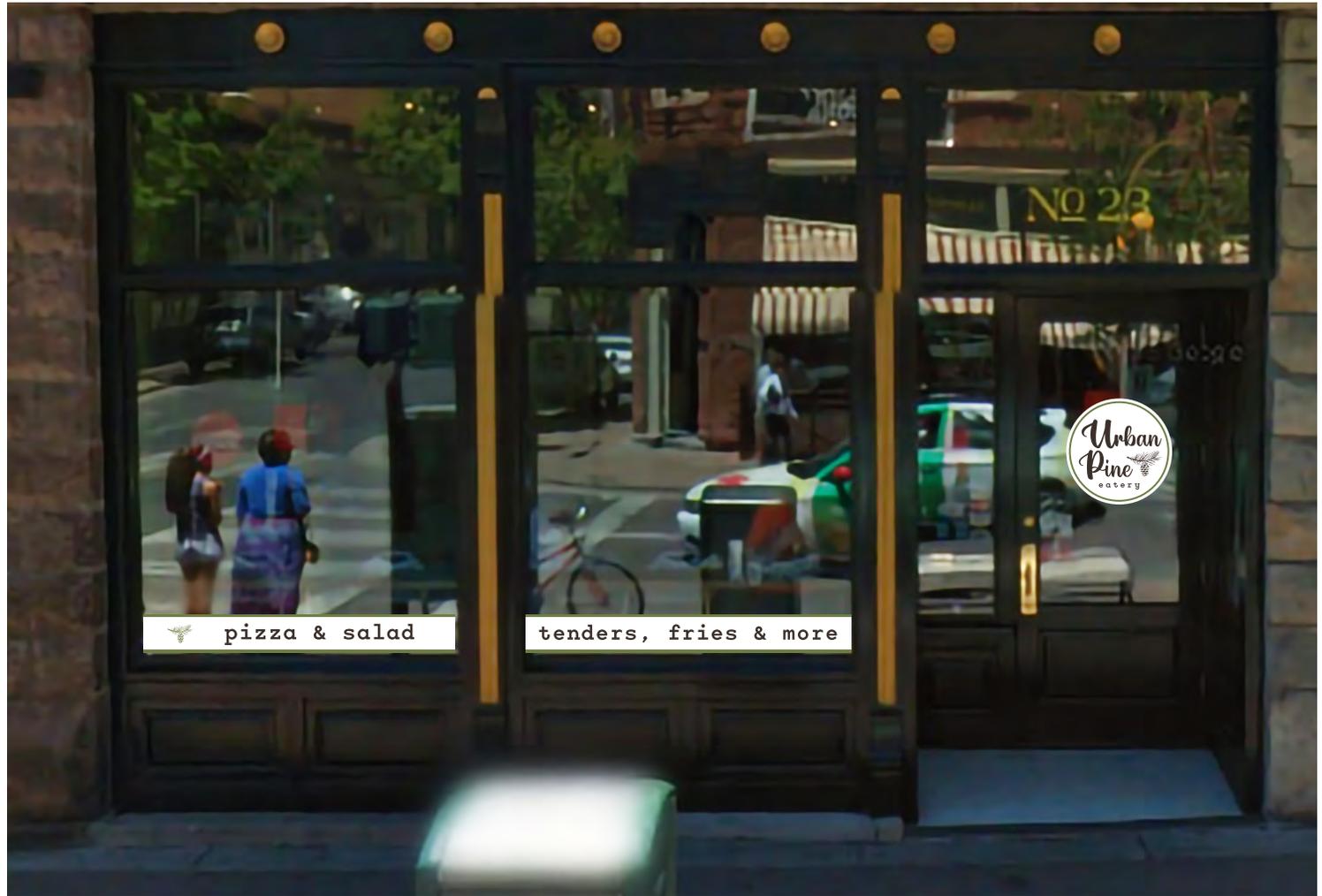
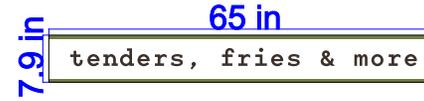
DONE R4I

Signature _____ Date _____

Signarama
FLAGSTAFF

2333 E. Spruce Avenue,
Flagstaff, AZ 86004

Phone: (928) 714-0740
Email: signs@sarflagstaff.com
Web: www.SARflagstaff.com



Window Decals / Qty. [x1 EACH]

Contour cut latex printed calendar vinyl graphics with matte laminate.

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Color:



PMS 0000



PMS 0000



PMS 0000



PMS 0000

Notes:



Name: **Urban Pine Eatery**

Date: **01.03.2024**

INV #: **00000**

Rev #: **0**

CUSTOMER'S APPROVAL

- Approved
- Revise and Proof Again

Signature _____

Date _____

SIGN SPECS

- Radius Corners in.
- Holes Punched
 - Center Top & Bottom
 - All Four Corners
- Hems Grommets

PRODUCTION STAGES

- Design Material
- Printed / Cut
- Production Install

DONE R4I

Signature _____

Date _____

Signarama
FLAGSTAFF

2333 E. Spruce Avenue,
Flagstaff, AZ 86004

Phone: (928) 714-0740
Email: signs@sarflagstaff.com
Web: www.SARflagstaff.com



Frosted Vinyl Window Wrap & Decals / Qty. [x1 EACH]

Frosted vinyl window vinyl wrap with contour cut latex printed calendar vinyl graphics and matte laminate.

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Color:



PMS 0000



PMS 0000



PMS 0000



PMS 0000

Notes:



Name: **Urban Pine**

Eatery

Date: **01.27.2025**

INV #: **00000**

Rev #: **0**

CUSTOMER'S APPROVAL

- Approved
- Revise and Proof Again

Signature _____

Date _____

SIGN SPECS

- Radius Corners in.
- Holes Punched
 - Center Top & Bottom
 - All Four Corners
- Hems Grommets

PRODUCTION STAGES

- Design Material
- Printed / Cut
- Production Install

DONE R4I

Signature _____

Date _____



Signarama
FLAGSTAFF

2333 E. Spruce Avenue,
Flagstaff, AZ 86004

Phone: (928) 714-0740
Email: signs@sarflagstaff.com
Web: www.SARflagstaff.com

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Color:



PMS 0000



PMS 0000



PMS 0000



PMS 0000

Notes:



Name: Urban Pine

Eatery

Date: 01.27.2024

INV #: 00000

Rev #: 0

CUSTOMER'S APPROVAL

- Approved
- Revise and Proof Again

Signature _____

Date _____

SIGN SPECS

- Radius Corners
- Holes Punched
 - Center Top & Bottom
 - All Four Corners
- Hems Grommets

PRODUCTION STAGES

- Design Material
- Printed / Cut
- Production Install

DONE R4I

Signature _____ Date _____

Signarama
FLAGSTAFF

2333 E. Spruce Avenue,
Flagstaff, AZ 86004

Phone: (928) 714-0740
Email: signs@sarflagstaff.com
Web: www.SARflagstaff.com



Window Decals / Qty. [x1 EACH]

Contour cut latex printed calendar vinyl graphics with matte laminate.

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Color:



PMS 0000



PMS 0000



PMS 0000



PMS 0000

Notes:



Name: **Urban Pine Eatery**

Date: **01.27.2025**

INV #: **00000**

Rev #: **0**

CUSTOMER'S APPROVAL

- Approved
- Revise and Proof Again

Signature _____
 Date _____

SIGN SPECS

- Radius Corners in.
- Holes Punched
 - Center Top & Bottom
 - All Four Corners
- Hems Grommets

PRODUCTION STAGES

- Design Material
- Printed / Cut
- Production Install

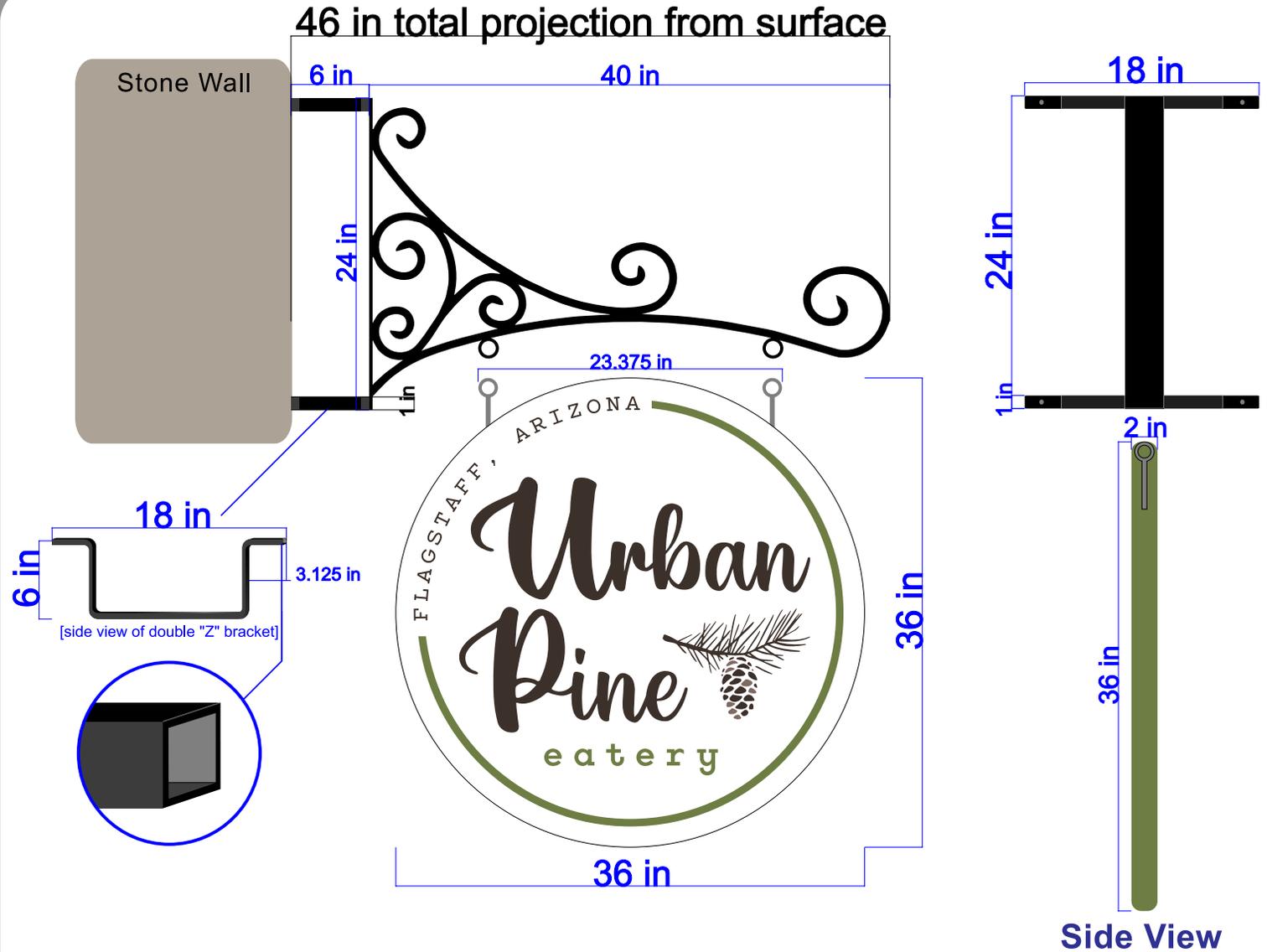
DONE R4I

Signature _____ Date _____



2333 E. Spruce Avenue,
Flagstaff, AZ 86004

Phone: (928) 714-0740
 Email: signs@sarflagstaff.com
 Web: www.SARflagstaff.com



Sandblasted HDU Sign / Qty. [x1]

2" deep Double sided HDU sandblasted sign with four painted colors.
 Text and logo will be recessed into pebbled texture surface. Include eyebolts
 for suspended installation on 40" Palermo Arch Hanging Blade Sign Bracket.
 Sign Bracket to be mounted to stone surface with [x2] 1" tube steel double "Z" brackets.

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Color: PMS 0000 PMS 0000 PMS 0000 PMS 0000

Notes: **9 Sqft**



Name: **Urban Pine Eatery**

Date: **01.27.2025**

INV #: **00000**

Rev #: **0**

CUSTOMER'S APPROVAL

- Approved
- Revise and Proof Again

Signature _____

Date _____

SIGN SPECS

- Radius Corners _____ in.
- Holes Punched
 - Center Top & Bottom
 - All Four Corners
- Hems Grommets

PRODUCTION STAGES

- Design Material
- Printed / Cut
- Production Install

DONE R4I

Signature _____ Date _____

Signarama
FLAGSTAFF

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Flagstaff, AZ 86004

Phone: (928) 714-0740

Email: signs@sarflagstaff.com

Web: www.SARflagstaff.com

[x2] double "Z" brackets suspend sign holder 6" from stone surface

46" total projection from building surface



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Color:



PMS 0000



PMS 0000



PMS 0000



PMS 0000

Notes:

Heritage Preservation Commission

8. A. 4.

From: Lauren Clementino, Senior Planner/Heritage Preservation Officer

DATE: 02/19/2025

SUBJECT: 6930 N Rain Valley Road Letter Report Cultural Resource Study

PROPERTY INFO:

Permit Number(s): PZ-25-00025

Address: 6930 N Rain Valley Road

Type of Approval: Letter Report Cultural Resource Study

Approval Date: 02/11/2025

FINDINGS:

Report reviewed and accepted by HPO. No cultural resources identified.

INFORMATION:

The property owner/applicant proposes to develop a single-family dwelling with detached garage. Report prepared by Cornerstone Environmental Consulting, LLC documenting survey of proposed project area and HPC-CRS application submitted by property owner.

Attachments

HPC-CRS Application

Letter Report CRS



City of Flagstaff

Community Development Division

211 W. Aspen Ave
Flagstaff, AZ 86001
www.flagstaff.az.gov

P: (928) 213-2618
F: (928) 779-7684

HPC-CRS

Date Received 1/23/25		Application to Heritage Preservation for a Cultural Resource Study		File Number PZ-24-00025	
Property Owner(s)		Title	Phone	Email	
Mailing Address				City, State, Zip	
Applicant		Title	Phone	Email	
Mailing Address				City, State, Zip	
Property Interest of Applicant(s) (Owner, contractual interest, or agent)					
Site Address				City, State, Zip	
Project Name					
Parcel Number(s)			Zoning District(s), including Overlays		
Property Information:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Listed individually on the National or Arizona Register of Historic Places? (Name: _____) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Located in an existing Historic District? (Name: _____) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Has the structure every been inventoried or evaluated for the National Register? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Is the structure over 50 years old at the time of application? <input type="checkbox"/> Yes <input type="checkbox"/> No Was all or a portion of the structure built before World War II as housing? Is the subject property: <input type="checkbox"/> Developed <input type="checkbox"/> Vacant Land?			
Type of HPC Application Requested:		Cultural Resource Study Review - Please check all that apply: <input type="checkbox"/> Letter Report (May be reviewed by the Heritage Preservation Officer or the Commission) <input type="checkbox"/> Phase I (Must be reviewed by the Heritage Preservation Commission) <input type="checkbox"/> Phase II (Must be reviewed by the Heritage Preservation Commission) <input type="checkbox"/> Phase III (Must be reviewed by the Heritage Preservation Commission) May require redaction			
Note: Applications which are incomplete or not accompanied by the required information will not be accepted.					
Property Owner Signature: 		Date:	Applicant Signature:		Date:
For City Use					
Date Filed: _____			HPC Hearing Date: _____		
Fee Receipt #: _____			Amount: _____		Date: _____
Action by HPC:		<input type="checkbox"/> Consent Approval by HPO		<input type="checkbox"/> Denied	
		<input type="checkbox"/> Approved		<input type="checkbox"/> Continued	
		<input type="checkbox"/> Approved with Conditions		Staff Initial: _____	
				Date: _____	

Submittal Requirements

An application to the Heritage Preservation Commission and Historic Preservation Officer shall contain at least the following information:

1. Completed Application including all signatures and payment of fees. If applying for multiple types of HPC reviews only one fee is collected at the time of the first application for the same work.
2. A Cultural resource study, prepared by professionals qualified in accordance with the Secretary of the Interior's Standards and Guidelines for Archeology and Historic Preservation (36 CFR 61 Appendix A) as currently amended and annotated by the National Park Service.
3. Photographs of the context, including the property, surrounding properties, and the neighborhood.
4. Proof of ownership, or letter of authorization from the current property owner, if the applicant and owner are not the same.
5. List of content which may be confidential under federal law.
6. Any other information which the applicant feels would be helpful and/or pertinent to the request.
7. Any other information as may be required by the Historic Preservation Officer or Heritage Preservation Commission to assist in the review of the requested application.

Timing of Submission and Completeness Review

The Heritage Preservation Commission meets to review applications monthly on the third Wednesday of the month. If you are submitting an application for review of a Phase I, Phase II, or Phase III Cultural Resource Study, the Community Development counter must receive your application by the submittal deadline posted to the Heritage Preservation program website.

In order for your item to be added to an agenda, the Heritage Preservation Officer (HPO) must deem the application complete and the information in it correct within 5 working days. The HPO will contact applicants for additional information as necessary.

Please also note that per the Flagstaff Zoning Code, the Heritage Preservation Officer may refer any application, including Letter Reports to the Commission for any reason. If the Heritage Preservation Officer refers the application, you will not need to resubmit, but additional materials may be requested.

If the Cultural Resource Study being submitted contains information that may be confidential under the National Historic Preservation Act or the Native American Grave Protection and Repatriation Act, please notify the HPO in advance of submitting your application for instructions on redaction(s).

Approval of a Cultural Resource Study does not indicate a final approval of a demolition permit, site plans, building plans, permanent sign permits and other applications that will be required prior to demolition, modification or construction.

If mitigation is approved as part of the study approval, final design of mitigation must meet all the requirements of the Flagstaff Zoning Code or Building Code, unless otherwise stated in Flagstaff City Code, Section 10-30.30 or in the requirements of the overlay zone. The Heritage Preservation Officer or Commission may elect to hold an application until a review by the InterDivision staff is completed and substantive comments have been provided to the applicant, if the mitigation proposed would require additional approvals by planning, building, or other city staff.

We encourage you to reach out early in designing your projects so that the HPO may assist you.

HPO contact information: Lauren Clementino, Phone: (928) 213-2633; Email: lclementino@flagstaffaz.gov

Description of the need for the Resource Study (i.e, demolition, alteration, grading, etc.)

Insert additional pages if necessary

**CULTURAL RESOURCES SURVEY OF 0.5 ACRES OF PRIVATE PROPERTY IN
FLAGSTAFF, COCONINO COUNTY, ARIZONA**

Prepared for
City of Flagstaff

Prepared by
Samuel Hemsley, M.A., RPA

Cornerstone Environmental Consulting, LLC
320 North Leroux Street, Suite A
Flagstaff, Arizona 86001

January, 2025



1. REPORT TITLE

1a. Report Title: Cultural Resources Survey of 0.5 Acres of Private Property in Flagstaff, Coconino County, Arizona

1b. Report Author(s): Samuel Hemsley, M.A., RPA

1c. Date: January 2, 2025

1d. Report Number: CEC 24-179

2. PROJECT REGISTRATION/PERMITS

2a. ASM Accession Number: NA

2b. AAA Permit Number: NA

2c. ASLD Lease Application Number(s): NA

2d. Other Permit Number(s): NA

3. ORGANIZATION/CONSULTING FIRM

3a. Name: Cornerstone Environmental Consulting, LLC (Cornerstone; CEC)

3b. Internal Project Number: CEC 24-179

3c. Internal Project Name: COF Rain Valley

3d. Contact Name: Michael Pitts

3e. Contact Address: 320 N. Leroux Street, Suite A, Flagstaff, Arizona 86001

3f. Contact Phone: (928) 522-4148

3g. Contact Email: MPitts@cornerstone-environmental.com

4. SPONSOR/LEAD AGENCY

4a. Sponsor: Private

4b. Lead Agency: City of Flagstaff

4c. Agency Project Number(s): NA

4d. Agency Project Name: NA

4e. Funding Source(s): Private

4f. Other Involved Agencies: NA

4g. Applicable Regulations: Per the City of Flagstaff Zoning Code Section 10-30.30 cultural resource studies are required for all public and private developments involving the development of undeveloped land.

5. DESCRIPTION OF PROJECT OR UNDERTAKING:

Cornerstone was contracted by Steven Terry (Client) to conduct a Class II pedestrian archaeological survey of approximately 0.5 acres of undeveloped, private land near Flagstaff in Coconino County, Arizona (Figure 1; Photograph 1; Photograph 2). The survey area consists of two small noncontiguous parcels in the vicinity of N.

Rain Valley Road. The survey was performed to comply with City of Flagstaff zoning and heritage management codes which indicate that the development of undeveloped land requires a cultural resource survey and was conducted prior to the construction of a private residence and garage. The entire survey was located on private land and only the proposed construction location was surveyed.

6. PROJECT AREA/AREA OF POTENTIAL EFFECTS:

The survey area consists of approximately 0.5 acres of private land in Flagstaff in Coconino County, Arizona located in Township 21N, Range 8E, Section 3. The project consists of two parcels in the vicinity of N. Rain Valley Road, ranging from 0.33 acres to 0.23 acres. Both parcels are entirely on private land.

7. PROJECT LOCATION

- 7a. **Address:** 6930 N. Rain Valley Rd
- 7b. **Route:** NA
- 7c. **Mileposts Limits:** NA
- 7d. **Nearest City/Town:** Flagstaff, Arizona
- 7e. **County:** Coconino
- 7f. **Project Locator UTM:** 0450636 m E / 3899611 m N
- 7g. **NAD 83**
- 7h. **Zone:** 12
- 7i. **Baseline & Meridian:** Gila & Salt River Baseline and Meridian
- 7j. **USGS Quadrangle(s):** Flagstaff East
- 7k. **Legal Description(s):** Township 21N, Range 8E, Section 3

8. SURVEY AREA

- 8a. **Total Acres:** 0.5
- 8b. **Survey Area**

1. Land Jurisdiction	2. Total Acres Surveyed	3. Total Acres Not Surveyed	4. Justification for Areas Not Surveyed
Private	0.5	NA	NA

9. ENVIRONMENTAL CONTEXTS

- 9a. **Landform:** River terrace immediately north of Rio de Flag.
- 9b. **Elevation:** 2,021 meters (6,633 feet) above sea level
- 9c. **Surrounding Topographic Features:** Rio de Flag is immediately south. The parcels are 1.2 miles east of Sheep Hill, Wildcat Hill is 1.1 miles to the southwest, and 1.81 miles northwest of Turkey Hills. The summit of Elden Mountain is 3.2 miles to the west.
- 9d. **Nearest Drainage:** The survey area is 180 feet north of Rio de Flag.

9e. Local Geology: The local geology consists of Holocene to middle Pliocene basaltic rocks (0–4 million years ago). These are volcanic igneous deposits consisting of basalt, andesite, dacite, and rhyolite. (Richard et al. 2000).

9f. Vegetation: Biotically, the area is classified as Petran Montane Conifer Forest transitioning to Plains and Great Basin Grassland (Brown 1994). Vegetation includes scattered ponderosa pine (*Pinus ponderosa*) and various grasses, forbs, and shrubs, with seasonally abundant wildflowers.

9g. Soils/Deposition: The survey area consists of Jacques clay loam soils, which are well drained and not considered suitable for prime farmland. (USDA NRCS 2008). Deposition is alluvial and is estimated to be at least 30 centimeters based off drainage depths.

9h. Buried Deposits: Buried cultural deposits are possible within the survey area.

9i. Justification: The survey area is within the floodplain of Rio de Flag, which has caused increased sediment deposition. There are numerous known cultural sites in the vicinity, and the heavy deposition could be obscuring additional cultural materials. Sites within one mile of the project area include habitation sites which have a high potential for buried cultural deposits.

10. BUILT ENVIRONMENT

The survey area is within a dispersed residential area and the surroundings include private residences, lawns, landscaping features, gardens, fencing, livestock corrals, meadows, drainages, roads, utility lines, and driveways. No houses or structures are present within the project area.

11. INVENTORY CLASS COMPLETED

11a. Class I Inventory:

11b. Researcher(s): Samuel Hemsley

11c. Class II Survey:

11d. Sampling Strategy: 100%

11e. Class III Inventory:

12. BACKGROUND RESEARCH SOURCES

12a. AZSITE:

12b. ASM Archaeological Records Office:

12c. SHPO Inventories and/or SHPO Library:

12d. NRHP Database:

12e. ADOT Portal:

12f. GLO Maps: Plat # 187957 (1879), Plat # 187961 (1904), Plat # 187963 (1915), Plat #187969 (1921),

12g. Land-Managing Agency Files: NA

12h. Tribal Cultural Resources Files: NA

12i. Local Government Websites: NA

12j. Other: USGS Topographic maps: 1886, 1891, 1894, 1899 San Francisco Mtns, AZ (1:250,000); 1908, 1912, 1947, 1954, 1958, 1960, 1962 Flagstaff, AZ (1:250,000); 1962 Flagstaff, AZ (1:24,000)

13. BACKGROUND RESEARCH RESULTS

Cornerstone personnel conducted a site file search on AZSITE to identify previous projects and sites which intersect the survey area. AZSITE records indicate no previous projects intersecting with the survey area and 13 previous projects within one mile of the survey area (Figure 2). AZSITE records identified 74 previously recorded archaeological sites within one mile, with no sites intersecting with the survey area (Figure 3). Site types within one mile of the survey area include artifact scatters, field houses, log cabins, pithouses, pueblos, masonry structures, multicomponent sites, railroads, rock art, and historic roads. At least three sites have undergone surface collection by ASM. Picture Canyon Archaeological Site (AZ I:14:346[ASM]) is listed on the NRHP (reference #07001349). A review of the Bureau of Land Management’s GLO land survey plats did not identify any features within the survey area.

13a. Previous Projects Within the Survey Area.

1. Project Reference Number	2. Project Name	3. Author(s)	4. Year
NA			

13b. Previously Recorded Cultural Resources Within the Survey Area.

1. Site Number/Name	2. Affiliation	3. Site Type	4. Eligibility Status	5. Associated Reference(s)
NA				

13c. Historic Buildings/Districts/Neighborhoods:

1. Property Name or Address	2. Year	3. Eligibility Status
NA		

14. CULTURAL CONTEXTS

14a. Prehistoric Culture: Archaic, Sinagua, Kayenta Ancestral Pueblo, Cohonina.

14b. Protohistoric Culture: Diné (Navajo), Havasupai, Hopi, Hualapai, Western Apache, Zuni.

14c. Indigenous Historic Culture: Fort Mojave Indian Tribe, Fort McDowell Yavapai Nation, Havasupai Tribe, Hualapai Tribe, Hopi Tribe, Navajo Nation, Pueblo of Zuni, San Carlos Apache Tribe, Tonto Apache Tribe, White Mountain Apache Tribe, Yavapai Apache Nation, Yavapai Prescott Indian Tribe (AZSHPO and SRP-MIC 2024).

14d. Euro-American Culture: 1542 CE to present.

15. FIELD SURVEY PERSONNEL

15a. Principal Investigator: Joshua Edwards

15b. Field Supervisor: Samuel Hemsley
 15c. Crew: NA
 15d. Fieldwork Date(s): December 23, 2024

16. SURVEY METHODS

16a. Transect Intervals: 20 m
 16b. Coverage (%): 100
 16c. Site Recording Criteria: NA, no sites recorded
 16d. Ground Surface Visibility: Visibility is good, averaging 50 percent open, with the remaining ground surface obscured by heavy vegetation and some duff.
 16e. Observed Disturbances: The survey area is within an undeveloped private lot. There is a cinder road driveway leading up to the survey area, but the survey area itself appears to be undisturbed.

17. FIELD SURVEY RESULTS

17a. No Cultural Resources Identified:
 17b. Historical In-Use Structures Identified: ; Form(s) Attached:
 17c. Number of IOs Recorded: 0
 17d. Table of IOs:

1. IO Number	2. Description	3. Date Range	4. UTM's	
			Easting	Northing
	NA			

18. COMMENTS

Cornerstone archaeologist Samuel Hemsley surveyed the 0.5-acre proposed construction location, in compliance with the requested Class II (sample) survey. Cornerstone encountered no IOs and no archaeological sites or other cultural material within the survey area.

19. ATTACHMENTS

19a. Project Location Map:
 19b. Land Jurisdiction Map:
 19c. Background Research Map(s):
 19d. GLO Map(s):
 19e. References:

20. CONSULTANT CERTIFICATION

I certify the information provided herein has been reviewed for content and accuracy and all work meets applicable agency standards.



Signature

Principal Investigator

Title

21. DISCOVERY CLAUSE

In the event that previously unreported cultural resources are encountered during ground disturbing activities, all work must immediately cease within 30 meters (100 feet) until a qualified archaeologist has documented the discovery and evaluated its eligibility for the Arizona or National Register of Historic Places in consultation with the lead agency, the SHPO, and Tribes, as appropriate. Work must not resume in this area without approval of the lead agency.

If human remains are encountered during ground-disturbing activities, all work must immediately cease within 30 meters (100 feet) of the discovery and the area must be secured. The Arizona State Museum, lead agency, SHPO, and appropriate Tribes must be notified of the discovery. All discoveries will be treated in accordance with NAGPRA (Public Law 101-601; 25 U.S.C. 3001-3013) or Arizona Revised Statutes (A.R.S. § 41-844 and A.R.S. § 41-865), as appropriate, and work must not resume in this area without authorization from ASM and the lead agency.

REFERENCES

Arizona State Museum (ASM)

1993 *Archaeological Site Recording Manual*. Arizona State Museum, University of Arizona, Tucson.

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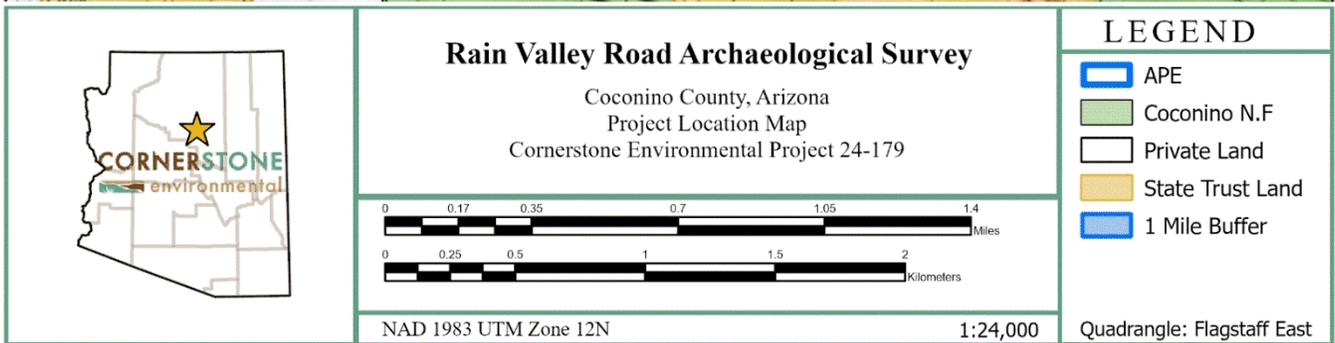
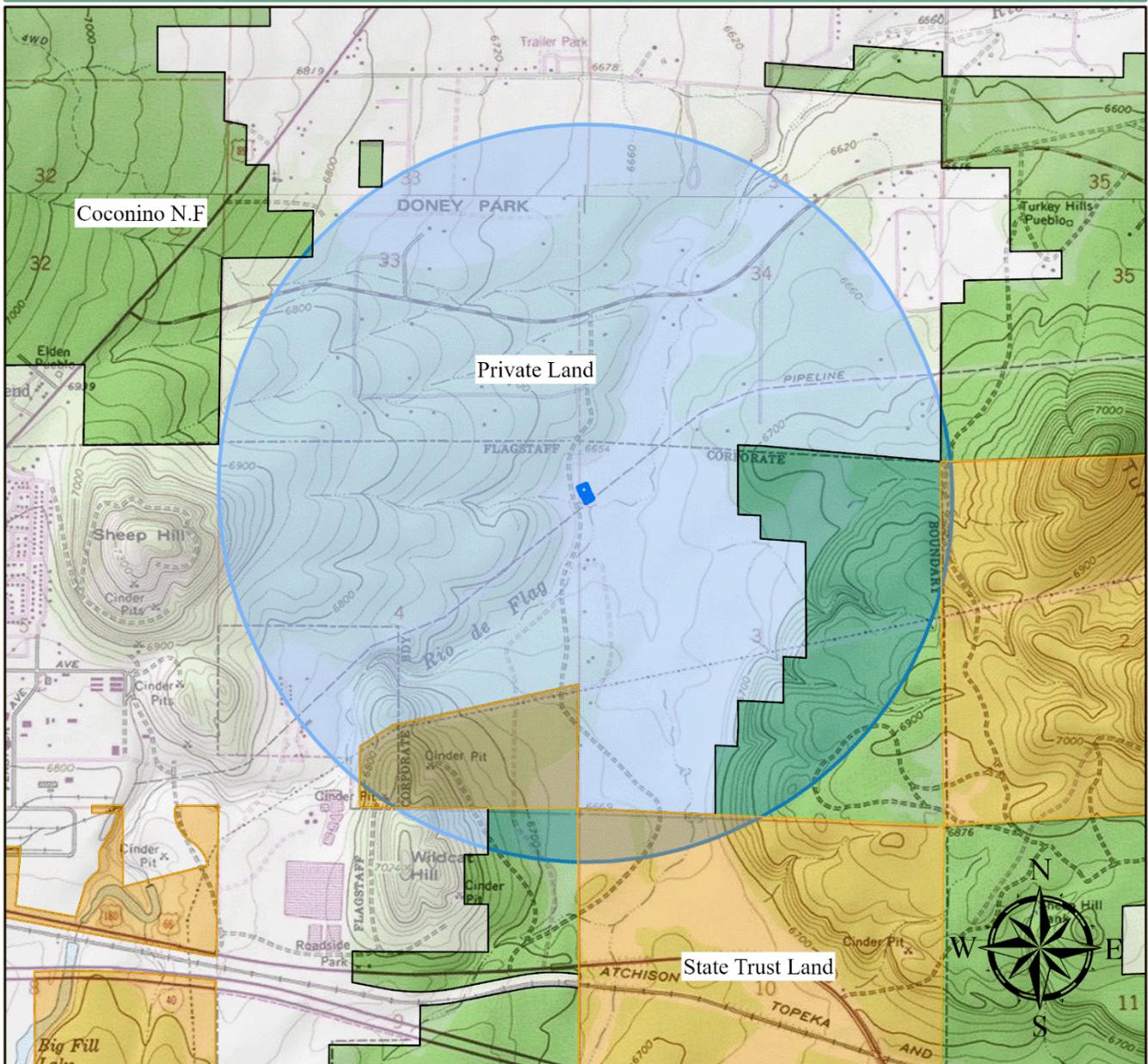
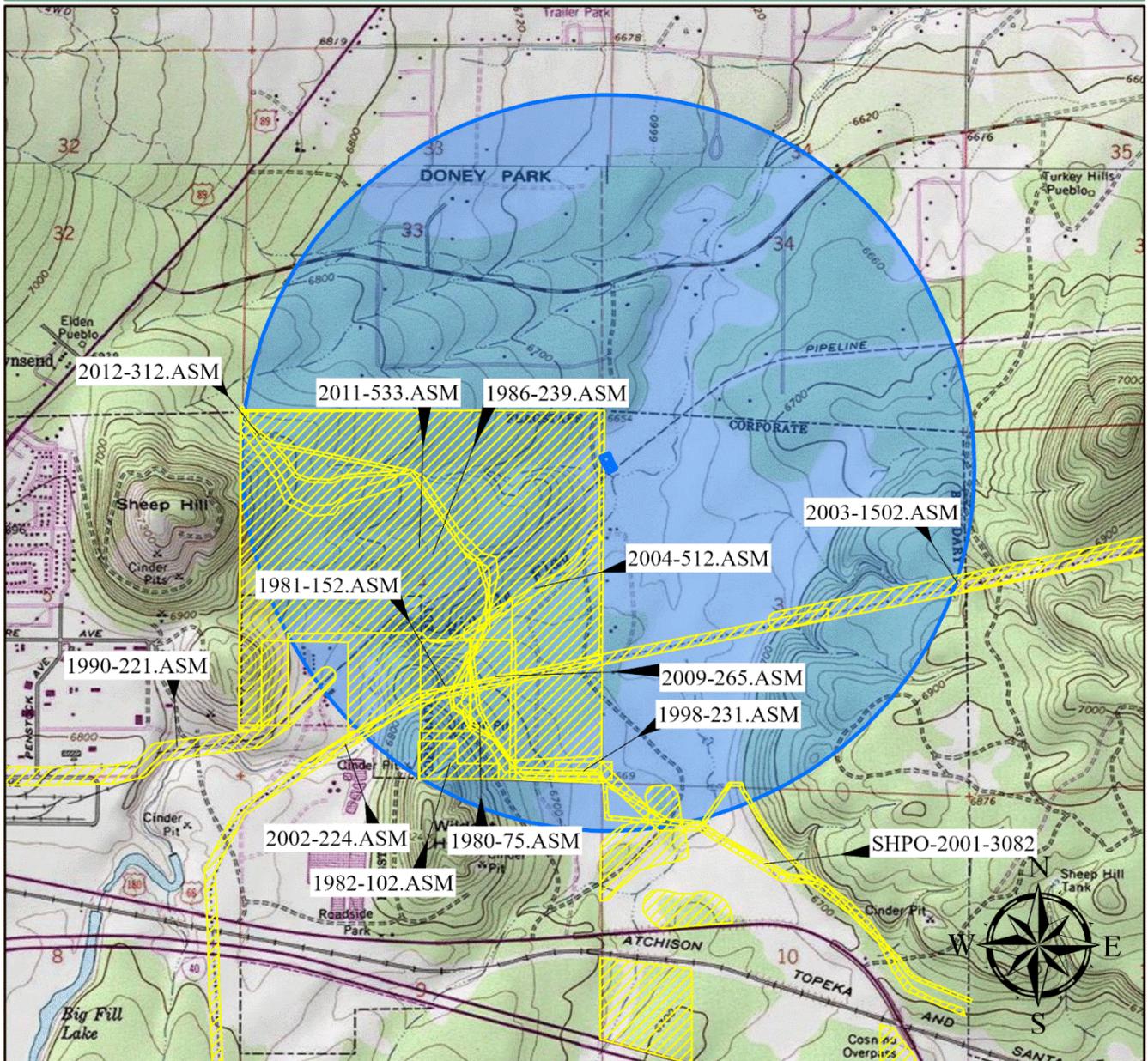


Figure 1. Topographic map showing survey area and land jurisdiction.



	<p>Rain Valley Road Archaeological Survey</p>	<p>LEGEND</p>	
	<p>Coconino County, Arizona Previous Projects Map Cornerstone Environmental Project 24-179</p>	<ul style="list-style-type: none"> APE 1 Mile Buffer Projects 	
	<p>0 0.17 0.35 0.7 1.05 1.4 Miles 0 0.25 0.5 1 1.5 2 Kilometers</p>		
	<p>NAD 1983 UTM Zone 12N</p>	<p>1:24,000</p>	<p>Quadrangle: Flagstaff East</p>

Figure 2. Previous projects within one mile of the survey area.



Photograph 1. Project area overview, facing south.



Photograph 2. Project area overview, facing northwest.