

## NOTICE AND AGENDA

HERITAGE PRESERVATION COMMISSION  
WEDNESDAY  
MARCH 19, 2025

COUNCIL CHAMBERS  
211 WEST ASPEN AVENUE  
4:00 P.M.

### PUBLIC COMMENT PROTOCOL

To participate in the meeting virtually use the following link:  
[Join the Meeting Online](#)

The public can submit comments that may be read at the dais by a staff member to the Commission liaison, [sdechter@flagstaffaz.gov](mailto:sdechter@flagstaffaz.gov).

#### 1. Call to Order

### NOTICE OF OPTION TO RECESS INTO EXECUTIVE SESSION

*Pursuant to A.R.S. §38-431.02, notice is hereby given to the members of the Heritage Preservation Commission and to the general public that, at this regular meeting, the Heritage Preservation Commission may vote to go into executive session, which will not be open to the public, for legal advice and discussion with the City's attorneys for legal advice on any item listed on the following agenda, pursuant to A.R.S. §38-431.03(A)(3).*

#### 2. Roll Call

*NOTE: One or more Commission Members may be in attendance telephonically or by other technological means.*

EMILY DALE, CHAIR  
ALYCIA HAYES, VICE CHAIR  
ABBEY BUCKHAM  
BERNADETTE BURCHAM

JESSE DOMINGUEZ  
AMY HORN  
DUFFIE WESTHEIMER

#### 3. LAND ACKNOWLEDGEMENT

*The Heritage Preservation Commission humbly acknowledges the ancestral homelands of this area's Indigenous nations and original stewards. These lands, still inhabited by Native descendants, border mountains sacred to Indigenous peoples. We honor them, their legacies, their traditions, and their continued contributions. We celebrate their past, present, and future generations who will forever know this place as home.*

#### 4. Public Comment

*At this time, any member of the public may address the Commission on any subject within their jurisdiction that is not scheduled before the Commission on that day. Due to Open Meeting Laws, the Commission cannot discuss or act on items presented during this portion of the agenda. To address the Commission on an item that is on the agenda, please wait for the Chair to call for Public Comment at the time the item is heard.*

#### 5. APPROVAL OF MINUTES

Approval of minutes from the regular meeting on Wednesday February 19, 2025. [Agenda - View Meetings \(All\) \(4334908669\)](#)

6.

**PUBLIC HEARING**

A. 603 W Birch Ave Certificate of Appropriateness

**PROPERTY INFORMATION:**

**Address:** 603 W Birch Ave  
**Assessor's Parcel Number:** 100-16-009B  
**Property Owner:** Christopher Weller  
**Applicant:** Christopher Weller  
**City Staff:** Lauren Clementino, HPO

**REQUESTED ACTION:**

Approve a Certificate of Appropriateness for the demolition of a garage and the construction of a new accessory dwelling unit per the application and submitted documentation.

**RECOMMENDED ACTION:**

Approve a Certificate of Appropriateness for the proposed plans for a new accessory dwelling unit and demolition of the garage unit at 603 W Birch Ave.

B. 15 N Leroux Updated Certificate of Appropriateness

**PROPERTY INFORMATION:**

**Address:** 15 N Leroux Street  
**Assessor's Parcel Number:** 100-20-028  
**Property Owner:** High Brass Realty LLC (Anthony Rosales)  
**Applicant:** Samantha Olendorff  
**City Staff:** Lauren Clemetino, HPO

**REQUESTED ACTION:**

Approve an updated Certificate of Appropriateness for two new additions to the previously approved plans:

- 1) Filling in an upper rear window to match the rest of facade.
- 2) Adding a new gutter on the lower rear roof to match existing on the upper roof.

**RECOMMENDED ACTION:**

Staff recommends that the Heritage Preservation Commission approve an updated Certificate of Appropriateness for the changes to the upper rear window and installation of a new rear gutter at 15 N Leroux St.

7.

**GENERAL BUSINESS**

A. Staff seeks direction on the Land Availability and Suitability Study and Code Analysis Project (LASS+CAP) draft [Code Concepts Reports](#) to identify the focus of the next phase, which includes refining the core development standards, incentives, and concepts into more detailed, actionable recommendations for either specific code amendments or further analysis.

For discussion purposes only.

B. Open Meeting Law Refresher Training

Discussion only.

C. Historic Signs and Facades Grant Tracking - March 2025 Update

Discussion only.

8. REPORTS

A. APPROVALS

1. Exemption for Roof Repair at 702 W Birch Ave  
Permit Number(s): OTC-25-00684  
Address: 702 W Brich Ave  
Type of Approval: Over the Counter Reroofing permit  
Approval Date: 3/11/2025

B. CONSULTATIONS

9. MISCELLANEOUS ITEMS TO/FROM COMMISSION MEMBERS

10. ADJOURNMENT

CERTIFICATE OF POSTING OF NOTICE

The undersigned hereby certifies that a copy of the foregoing notice was duly posted at Flagstaff City Hall on \_\_\_\_\_, at \_\_\_\_\_ a.m./p.m. This notice has been posted on the City's website and can be downloaded at [www.flagstaff.az.gov](http://www.flagstaff.az.gov).

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

\_\_\_\_\_  
Sara Dechter, Comprehensive Planning Manager

*In compliance with the Americans with Disabilities Act, if you need assistance to participate in this meeting, please contact staff at 928-213-2611 (or 774-5281 TDD).*

*Notification at least 48 hours in advance will enable the City to make reasonable arrangements.*

**Heritage Preservation Commission**

6. A.

**From:** Lauren Clementino, Senior Planner/Heritage Preservation Officer

**DATE:** 03/19/2025

**SUBJECT:** 603 W Birch Ave Certificate of Appropriateness

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**PROPERTY INFORMATION:**

**Address:** 603 W Birch Ave

**Assessor's Parcel Number:** 100-16-009B

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**Applicant:** Christopher Weller

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**REQUESTED ACTION:**

Approve a Certificate of Appropriateness for the demolition of a garage and the construction of a new accessory dwelling unit per the application and submitted documentation.

**RECOMMENDED ACTION:**

Approve a Certificate of Appropriateness for the proposed plans for a new accessory dwelling unit and demolition of the garage unit at 603 W Birch Ave.

**ALTERNATIVE ACTIONS:**

- (1) The Commission can approve the recommended motion;
- (2) The Commission can approve with additional conditions related to the standards and guidelines applicable to the case;
- (3) The Commission can request additional information and continue to a date certain; or
- (4) Deny Certificate of Appropriateness and require Certificate of Economic Hardship or submittal of an alternative design that meets all Townsite Overlay Requirements

**HAS THERE BEEN PREVIOUS COMMISSION DECISION ON THIS:**

No

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**Attachments**

Staff Report  
Certificate of Appropriateness Application  
ADU Plans  
City Street Improvement Plans  
Inventory Form 1  
Inventory Form 2  
603 W Birch 1940 Census  
Photograph of Comparison to Neighbor Property  
Photograph of Garage Below Street Level  
Photograph of Wheeler Park WWII Memorial

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# CITY OF FLAGSTAFF HERITAGE PRESERVATION COMMISSION

## STAFF REPORT

**CERTIFICATE OF APPROPRIATENESS**  
**PZ-23-00209-05**  
**ADDRESS: 603 W Birch Ave**

**DATE: March 7, 2025**  
**MEETING DATE: March 19, 2025**  
**REPORT BY: Lauren Clementino**

### **REQUEST**

The applicant proposes to demolish the existing garage along Birch Ave, citing that the building has been subjugated to an elevation below street and is now at risk of flooding. The garage building is also reported by the applicant to be in “dilapidated” condition. The applicant also proposes to construct a new 715 square foot accessory dwelling unit in the southwest corner of the property, set back from the existing building and the current garage location. The entrance and driveway parking for the unit would be from Birch Ave. The scope of work does not include alterations to the primary structure (603 W Birch Units 1 and 2).

### **STAFF RECOMMENDATION**

Staff recommends that the Heritage Preservation Commission approve a Certificate of Appropriateness for the proposed plans for a new accessory dwelling unit and demolition of the garage unit at 603 W Birch Ave.

### **PROJECT BACKGROUND**

The primary structure located at 603 W Birch Ave is contributing to the Townsite National Register District (under the address 121 N Bonito) and is noted as a distinctive representative of the Bungalow style. Per the property’s inventory form completed in 1985, it was constructed ca. 1910-1616 and the garage is listed as an outbuilding. The garage construction date is unknown. The property is within the Townsite Overlay and subject to Townsite design criteria/standards for demolition of the garage and construction of the new accessory dwelling unit.

### **PAST DECISIONS AND OTHER REVIEWS**

In November 2024, a Certificate of No Effect was approved for work on the existing building which was classified as a duplex (603 W Birch Units 1 and 2). Work included replacing windows, reroofing, and repairing of chimney and stucco on existing duplex only. It did not include the scope of the current proposal. This certificate approval was reported to the Commission during the December 2024 Commission meeting by Sara Dechter, Comprehensive Planning Manager.

Amendments to Flagstaff City Code Section 10-40.60.030 were passed by City Council on October 15, 2024 and became effective on November 14, 2024. In compliance with House Bill 2720, the Code now allows an attached or interior and a detached accessory dwelling unit (ADU) on the same property. The Code retained that an ADU may have a “gross floor area of up to 800 square feet regardless of the size of the single-family dwelling so long as all the requirements of the ADU specific-to-use section are met.” The determined interior ADU at 603 W Birch is less than 800 square feet, and therefore, it meets the definition of a single family dwelling with an interior ADU. The new unit being proposed in this

application is therefore allowed as a detached ADU.

### **INTENT**

The Townsite Overlay is a hybrid of a historic and character overlay that “allows preservation, restoration, new construction, remodeling and demolition.” 10-30.30.060 Development of a Landmark Property and Property within a Historic Overlay Zone, Process “C”: “Prior to the granting of any required approvals or permits and prior to the commencement of any work on a landmark property or within a historic overlay zone, the Heritage Preservation Commission or the Historic Preservation Officer shall review all work proposed and approve or conditionally approve the work in the form of a certificate of no effect, certificate of appropriateness, or certificate of economic hardship”.

### **STAFF REVIEW**

#### **Scope of Work**

The Certificate of Appropriateness is “appropriate if the proposed work alters a cultural resource but does so in such a way that is compatible with the historic or archaeological character of the resource and all major impacts are mitigated such that the work does not diminish, eliminate, or adversely affect the significance or integrity of the resource.” (Flagstaff Zoning Code 10-30.30.060.E).

#### **Findings**

“Prior to the granting of any required approvals or permits and prior to the commencement of any work on a landmark property or within a historic overlay zone, the Heritage Preservation Commission or the Historic Preservation Officer shall review all work proposed and approve or conditionally approve the work in the form of a certificate of no effect, certificate of appropriateness, or certificate of economic hardship” (Flagstaff Zoning Code 10-30.30.060 Development of a Landmark Property and Property within a Historic Overlay Zone).

The Flagstaff Zoning Code 10-30.30.060E states:

#### **Criteria for Approval.**

*When approving a certification of appropriateness, the Heritage Preservation Commission shall find that:*

- a. The proposed work is consistent with the purpose and intent of this division;*
- b. The proposed work is compatible with its context:*
  - (1) The appropriate context for a landmark or a historic property is the property itself and, to a much lesser extent, the surrounding properties and neighborhood;*
  - (2) The appropriate context of work in a historic overlay zone is the significant portions of the property itself, the surrounding properties, and the neighborhood;*
- c. The cultural resources associated with the proposed work have been sufficiently sought, identified and evaluated;*
- d. Major impacts on cultural resources are sufficiently mitigated; and*

*e. The proposed work is consistent with applicable development standards and design guidelines. See also subsection (G) of this section, Development Standards and Guidelines.*

## **Townsite Overlay**

“The Townsite Overlay (TO) zone applies to areas of the City subject to the Townsite Historic Design Review Overlay District Design Standards and Guidelines and design review by the Heritage Preservation Commission for the development of properties located within the boundaries of the zone” (Flagstaff Zoning Code 10-40.50.030 Overlay Zones).

Flagstaff Townsite Historic Overlay District Design Standards and Guidelines states “The Flagstaff Townsite Historic Residential District was listed in the National Register of Historic Places in 1986 via the National Park Service (NPS). The district represents a strong historical image of time and place with mature landscaping, original road widths and block configurations.”

The following design criteria/standards apply to this case:

### **A . Style**

1. Flagstaff Townsite developed from a natural evolution of a variety of architectural styles in smaller homes such as Craftsman, Victorian, cottage/bungalow, Queen Anne, and Edwardian. The district’s overall style is mixed in terms of landscaping and architecture. As the District exists to preserve the historic character, variations of the above mentioned styles shall be adopted to ensure continuity in the neighborhood.

2. Secondary dwellings and secondary structures/outbuildings do not dominate the main structure.

### **B. Site**

1. Homes reflect early life in Flagstaff through small size, yards, and relationship to the street lending more to community interaction. The following shall occur:

a. Front doors shall have a relationship close to the street – dwellings relate to the street frontage and are not pushed back to the alleys. This preserves neighbor-to-neighbor contact.

b. All dwellings shall have main access from the street.

2. New driveways and parking spaces shall be located beside homes.

4. Secondary dwellings are any structures not considered the original home and in which people reside. They shall be subservient in bulk, size, scale, design and materials to the main dwelling. Historic homes shall remain the main home.

6. Interior yards or rear yards are desirable. If there are two structures on site, a central or side yard shall occur – locating the structure at the back of the lot allows for the interior yard. Excluding the front yard and driveway, a minimum of 1000 square feet of contiguous yard shall occur.

### **D. Development Massing, Height, and Proportions**

1. Structures that exist at the time of the district designation are the primary structure. In case of multiple existent structures at that time, the structure closest to the street is the primary structure. New primary structures shall be placed forward on the site relative to all other structures.

3. For all other structures, no point shall exceed 16 feet in height, measured from existing or natural grade, excluding chimneys, towers, and similar non-habitable architectural projections. *(NOTE: This provision is no longer applicable to ADUs under the current City Zoning Code and up to 25 feet is allowed for an ADU in the Townsite Overlay per Section 10-40.50.030(C) Building form Standards)*

#### E. Roof Pitch

1. Pitches for main roofs in new construction shall be over 6:12. Porches, dormers, and similar lesser roofed areas may have shallower pitches.

#### F. Architecture, Materials, Details, and Colors

1. Materials, details, and colors shall be compatible with historic structures on an individual property and compatible with the surrounding neighborhood.

#### H. Demolition

1. If a building is over fifty years old and is to be demolished, it is required that an archival record be created with photographs taken, building construction materials and techniques documented, historical knowledge or value recorded, and a file created and deposited in a designated location (public library archive, Pioneer Historical Museum or NAU Special Collections). Follow the Arizona State Historic Preservation Office Guidelines for documentation of resources being destroyed. Documentation must be approved by the Historic Preservation Commission prior to obtaining a permit for demolition.

#### K. Exceptions

1. The Historic Preservation Commission may, at its sole discretion, modify the requirements of these standards and guidelines when in the opinion of the Commission, an exception is warranted based for design consistency such as in the case of alterations to existing non-conforming structures, cases 8 where an exception is necessary to accommodate an appropriate architectural style, cases where an exception is warranted based on the development of immediately adjacent properties, and other similar circumstances determined by the Commission.

The following design criteria/guidelines apply to this case:

3. Architectural details that are typical can be seen on existing historic homes and these homes can be used as models for future designs

6. Preserve neighbor viewscapes and privacy and minimize impact to neighbors. Respectful orientation to neighbors' views and privacy should be an ongoing concern throughout the design process. Look at your design from the neighbors' lots.

a. Orient windows to protect neighbors' privacy. You may not want to see them anymore than they want to see you. Placing windows higher or using translucent glass respects privacy.

b. Buildings on the lot could be sited to not block views. There is no City mandate on views – this is strictly between you and the neighbor. Visit neighbors' houses to see the impact your new building may have on views.

c. Windows at streetside are to scale with neighborhood character in order to maintain visual continuity with respect to size, style and height.

## **DISCUSSION**

### **Basis of Report:**

The information in this summary discussion was derived from the application to the Heritage Preservation Commission.

### **Evaluation of Effects**

Requiring a cultural resource study or “an archival record be created with photographs taken, building construction materials and techniques documented, historical knowledge or value recorded” for the garage would yield little information of research value as the garage is not the primary structure of the property, which will remain. Demolition of the detached garage unit would have no adverse effect on the primary structure, which retains sufficient integrity to contribute to the Flagstaff Townsite Historic Residential District.

The proposed accessory dwelling unit is subservient to the primary dwelling and compatible with Townsite Overlay criteria. The materials and colors are compatible with the Townsite neighborhood, yet also differentiate is as new construction compared to the primary historic structure. The accessory is set back from the street and subservient in mass, scale, and height. The accessory is voluntarily designed under the 16-foot height guideline at 14 feet 6 inches. An interior yard of 1,060 square feet exceeds the 1,000 square feet requirement. The accessory also meets the 6:12 slope roof minimum standard. The site meets requirements for street relationship, driveway, and parking.

## **COMMISSION OPTIONS**

- (1) The Commission can approve the recommended motion;
- (2) The Commission can approve with additional conditions related to the standards and guidelines applicable to the case;
- (3) The Commission can request additional information and continue to a date certain; or
- (4) Deny Certificate of Appropriateness and require Certificate of Economic Hardship or submittal of an alternative design that meets all Townsite Overlay Requirements.

## **STAFF CONCLUSION:**

The proposed new accessory dwelling unit conforms to the Flagstaff Zoning Code and Townsite Historic Design Review Overlay District Design Standards and Guidelines. Demolition of the garage unit will have no adverse effect on the existing building and a cultural resource study of the garage unit would yield little information of research value. It is appropriate for the Commission to approve a Certificate of Appropriateness based on the findings.



# City of Flagstaff

# Community Development Division

211 W. Aspen Ave  
 Flagstaff, AZ 86001  
 www.flagstaff.az.gov

P: (928) 213-2618  
 F: (928) 779-7684

**HPC-C**

Date Received		<b>Application to Heritage Preservation for a Certificate within an Overlay</b>		File Number												
Property Owner(s) CHRISTOPHER WELLER	Title	Phone (904)-955-4856	Email CHRISTWELLER@YAHOO.COM													
Mailing Address 2652 N DOVES NEST LN, FLAGSTAFF, AZ 86001			City, State, Zip													
Applicant	Title	Phone	Email													
Mailing Address			City, State, Zip													
Property Interest of Applicant(s) (Owner, contractual interest, or agent) OWNER																
Site Address 603 W BIRCH UNIT 1 & 2			City, State, Zip FLAGSTAFF, AZ 86001													
Project Name																
Parcel Number(s) APN: 10016007B		Zoning District(s), including Overlays FLAGSTAFF TOWNSITE														
Property Information: <table border="0"> <tr> <td><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</td> <td>Listed individually on the National or Arizona Register of Historic Places? (Name: _____)</td> </tr> <tr> <td><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</td> <td>Located in a National Register Historic District? (Name: FLAGSTAFF TOWNSITE)</td> </tr> <tr> <td><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</td> <td>Is a structure on the property considered contributing to the District?</td> </tr> <tr> <td><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</td> <td>Located in a Historic or Landmark Overlay? (Name: FLAGSTAFF TOWNSITE)</td> </tr> <tr> <td><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</td> <td>Is the structure over 50 years old at the time of application?</td> </tr> <tr> <td><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</td> <td>Does this application include review of a sign in an overlay or the Central Sign District?</td> </tr> </table>					<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Listed individually on the National or Arizona Register of Historic Places? (Name: _____)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Located in a National Register Historic District? (Name: FLAGSTAFF TOWNSITE)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Is a structure on the property considered contributing to the District?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Located in a Historic or Landmark Overlay? (Name: FLAGSTAFF TOWNSITE)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Is the structure over 50 years old at the time of application?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Does this application include review of a sign in an overlay or the Central Sign District?
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<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Does this application include review of a sign in an overlay or the Central Sign District?															
Type of HPC Application Requested: <table border="0"> <tr> <td><input type="checkbox"/> Certificate of No Effect (May be reviewed by the Heritage Preservation Officer or the Commission)</td> </tr> <tr> <td><input checked="" type="checkbox"/> Certificate of Appropriateness (Must be reviewed by the Heritage Preservation Commission)</td> </tr> <tr> <td><input type="checkbox"/> Certificate of Economic Hardship (Must be reviewed by the Heritage Preservation Commission)</td> </tr> </table>					<input type="checkbox"/> Certificate of No Effect (May be reviewed by the Heritage Preservation Officer or the Commission)	<input checked="" type="checkbox"/> Certificate of Appropriateness (Must be reviewed by the Heritage Preservation Commission)	<input type="checkbox"/> Certificate of Economic Hardship (Must be reviewed by the Heritage Preservation Commission)									
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<b>Note: Applications which are incomplete or not accompanied by the required information will not be accepted.</b>																
Property Owner Signature: Christopher Weller		Date: 2/24/25	Applicant Signature: Christopher Weller													
			Date: 2/24/25													
<b>For City Use</b>																
Date Filed: _____		HPC Hearing Date: _____														
Fee Receipt #: _____		Amount: _____		Date: _____												
Action by HPC: <table border="0"> <tr> <td><input type="checkbox"/> Consent Approval by HPO</td> <td><input type="checkbox"/> Denied</td> </tr> <tr> <td><input type="checkbox"/> Approved</td> <td><input type="checkbox"/> Continued</td> </tr> <tr> <td><input type="checkbox"/> Approved with Conditions</td> <td></td> </tr> </table>					<input type="checkbox"/> Consent Approval by HPO	<input type="checkbox"/> Denied	<input type="checkbox"/> Approved	<input type="checkbox"/> Continued	<input type="checkbox"/> Approved with Conditions							
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<input type="checkbox"/> Approved with Conditions																
		Staff Initial: _____		Date: _____												



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[www.flagstaff.az.gov](http://www.flagstaff.az.gov)

HPC-C

### Project Description

603 W BIRCH UNITS 1 & 2 (APN: 1001600915)  
THIS PROJECT PROPOSES THE REPLACEMENT OF THE CURRENT GARAGE STRUCTURE WITH A NEWLY BUILT DETACHED ACCESSORY DWELLING UNIT (ADU). BASED ON THE ARIZONA STATE BILL 1415, THIS PROPERTY IS ALLOWED BOTH AN ATTACHED AND DETACHED DWELLING UNIT ON THE LOT WITH A SINGLE-FAMILY DWELLING. THE NEW ADU WILL REPLACE THE GARAGE THAT IS IN DISREPAIR AND BELOW STREET LEVEL, CAUSING FLOODING RISK.

### Explanation of how the project meets the applicable overlay and relevant sections of the Zoning Code

603 W BIRCH WAS BUILT IN 1912. THE ADDITIONAL DWELLING UNIT BEING PROPOSED WILL REPLACE THE EXISTING GARAGE. PLEASE SEE ATTACHED IMAGES. THE GARAGE WAS ORIGINALLY BUILT WITH LAP SIDING, THEN LATER COVERED BY STUCCO. THE NEW UNIT WILL CONFORM TO THE ORIGINAL DESIGN FROM 1912, NOT ONLY THROUGH MATERIALS, BUT ALSO IN THE TRADITIONAL FORM OF THE STRUCTURES SEEN THROUGHOUT THE TOWNSITE DISTRICT. INCREASING THE DENSITY OF THIS LOT IN A TASTEFUL MANNER IS OUR PRIORITY. IN TANDEM WITH THIS PROPOSED UNIT, THE MAIN STRUCTURE (SINGLE-FAMILY WITH AN ATTACHED ADU) IS BEING UPGRADED WITH MUCH NEEDED REPAIRS TO IMPROVE THE CURB APPEAL.

Insert additional pages if necessary



# City of Flagstaff Community Development Division

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www.flagstaff.az.gov



## Summary Statement of Significance:

National Register of Historic Places documentation or a Cultural Resource Study can be submitted in lieu of completing this page to demonstrate significance (Attach additional pages as necessary).

The significance of a resource is generally based on its potential to contribute to our understanding of the past. An object, structure, site, place, or area is significant if:

- a. It is associated with events or persons in the architectural, engineering, archeological, scientific, technological, economic, agricultural, educational, social, political, military, or cultural annals of the City of Flagstaff, the State of Arizona, or the United States of America.
- b. It embodies distinctive characteristics of type, period, region, artistic values, or methods of construction, including being the oldest of its type or the best example of its type, or, if it represents the work of, or for, an important individual.
- c. A resource is generally not significant if it is less than fifty (50) years old, or, if the features, materials, patterns, and relationships that establish its significance are no longer present or no longer have integrity. The integrity of a resource is judged by how evident the general character of the significant period is, the degree to which the characteristics that define its significance are present, and the degree to which incompatible elements are reversible.

Original Construction Date: BASED ON NEWSPAPER FLOOR UNDERLAYMENT : 1912

Describe Previous Major Alterations (Include dates and changes of use):

BASED ON "AZ STATE HISTORICAL PROPERTY INVENTORY" JUNE 1985 : STUCCO AND THE PORCHES AREN'T ORIGINAL. DO NOT KNOW EXACT TIME THOSE ALTERATIONS WERE MADE.

Describe the Significance of the Resource (In terms of a. or b., and c., above):

PROPERTY WAS OWNED, POSSIBLY BUILT BY R.E. GOBLE. 1940 CENSUS SHOW KENNETH R. COLE LIVED IN ONE OF THE UNITS. HIS NAME IS ON THE WHEELER PARK WWII MEMORIAL. HE WAS KILLED DURING THE BATTLE OF THE BULGE. CONSTRUCTION OF THE NEW UNIT WILL USE PERIOD APPROPRIATE LAP SIDING (THE ORIGINAL MATERIAL FOR THE DUPLEX). THERE IS NO HISTORICAL SIGNIFICANCE TO THE GARAGE STRUCTURE.

Source(s) of Information Used:

CITY DEED RECORDS, U.S. CENSUS, INTERNET SOURCES, ARIZONA MEMORY PROJECT

Describe the Level of Integrity of the Resource (Existing and proposed):

EXISTING GARAGE IS BEYOND REPAIR AND BELOW STREET LEVEL (SEE ATTACHED). PROPOSED UNIT WILL REMOVE PROPOSE ELIMINATE FLOOD RISK, RESTORE PERIOD DESIGN

Last Updates 5/2023 (BOTH WINDOWS, SIDING, AND OTHER ARCHITECTURAL STANDARDS), AND ENTRANCE CURB APPEAL.

**EXISTING SITE INFO**

ADDRESS: 603 W. BIRCH AVE  
FLAGSTAFF, AZ 86001  
OWNER: CHRISTOPHER & SHERRILL WELLER  
1410 N AZTEC DR FLAGSTAFF, AZ 86001  
USE: DWELLING, DUPLEX  
APN: 100-16-009B  
ZONING: R1N  
OVERLAY ZONE: FLAGSTAFF TOWNSITE OVERLAY (TOZ)  
HISTORIC ZONE: FLAGSTAFF TOWNSITE HISTORIC RESIDENTIAL DISTRICT  
SETBACKS: FRONT- 15'  
SIDE- 6'  
REAR- 15'  
MAX HEIGHT: 25'-0" (TOWNSITE) 16'-0" (SECONDARY STRUCTURES)  
E.T.R. DUPLEX HEIGHT: 19'-0"  
LOT AREA: 6,970 S.F. (.16 ACRE)  
FLOOD ZONE: ZONE X (UNSHADED)  
LIGHTING ZONE: ZONE II  
E.T.R. DUPLEX: CONSTRUCTED IN 1912

**PROJECT DATA**

EXISTING USE: DWELLING, DUPLEX  
PROPOSED USE: SFD  
CONSTRUCTION TYPE: 5-B  
STORIES: 1  
GAS SERVICE: UTILITY  
ELECTRIC SERVICE: UTILITY  
WATER SUPPLY: CITY  
FIRE PROTECTION: NO SPRINKLERS  
EXTERIOR LIGHTING: TO BE APPROVED AT BUILDING PERMIT  
PARKING: 2 PER SFD : 2 SPACES  
1 PER ATTACHED ADU: 1 SPACE  
1 PER DETACHED ADU: 1 SPACES  
TOTAL: 4 SPACES  
PARKING PROVIDED: 4 SPACES

**AREA CALCULATIONS**

PARCEL AREA: 6,970 SF  
EXISTING  
E.T.R. SFD: 650 SF  
E.T.R. ATTACHED ADU: 650 SF  
DEMOLISHED GARAGE: 540 SF  
TOTAL E.T.R. FOOTPRINT: 1,301  
PROPOSED ADDITION  
PROPOSED ADU: 715 SF  
PROPOSED COVERED PATIO: 27 SF  
TOTAL: 742  
TOTAL LIVABLE AREA: 2,016 SF

**PROJECT DESCRIPTION**

THIS PROJECT PROPOSES THE CONSTRUCTION OF A NEW ADU ON A LOT WITH AN EXISTING DUPLEX THAT IS BEING RECLASSIFIED AS A SINGLE FAMILY DWELLING WITH AN ATTACHED ADU.

**PROJECT TEAM**

DESIGNER  
POSNER ARCHITECTURAL DESIGN, LLC  
AUSTIN POSNER  
a.posner@posner-arc.com  
(928)864-9818

STRUCTURAL ENGINEER  
T.B.D.

PARCEL/BUILDING OWNER  
CHRISTOPHER & SHERRILL WELLER  
1410 N AZTEC DR FLAGSTAFF, AZ 86001  
(904) 955-4856

CONTRACTOR  
T.B.D.

**APPLICABLE CODES**

2018 INTERNATIONAL RESIDENTIAL CODE (IRC)  
2018 INTERNATIONAL MECHANICAL CODE (IMC)  
2018 INTERNATIONAL PLUMBING CODE (IPC)  
2018 INTERNATIONAL FUEL GAS CODE (IFGC)  
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)  
2017 NATIONAL ELECTRICAL CODE (NEC)  
CITY OF FLAGSTAFF CODES & ORDINANCES  
FLAGSTAFF TOWNSITE OVERLAY

**STORMWATER**

DRAINAGE STATEMENT  
THIS PROJECT DOES NOT PROPOSE ADDITIONAL IMPERVIOUS AREAS IN EXCESS OF 5,000 SF THERE WILL BE NO INCREASE IN POTENTIAL DAMAGE TO ADJACENT PROPERTIES. ON THE ADDITION, STORMWATER WILL BE HANDLED USING RAINGUTTERS ATTACHED TO DOWNSPOUTS IN RAINWATER HARVESTING TANKS. WHERE NOT AFFECTED BY THE WORK, SURFACE DRAINAGE WILL REMAIN AS EXISTING. THE PARKING AREAS SHOWN WILL BE COVERED IN GRAVEL

IMPERVIOUS SURFACE	
EXISTING IMPERVIOUS SF	
(E) STRUCTURE:	1,901 SF
(E) SIDEWALKS:	108 SF
(E) STEPS:	20 SF
(E) CONCRETE PATIO (DEMO)	160 SF
(E) CONCRETE PATIO:	130 SF
(E) GARAGE (DEMO):	540 SF
(E) GRAVEL PARKING (DEMO 336 SF) :	920 SF
TOTAL EXISTING IMPERVIOUS SURFACE	3,619 SF
PROPOSED IMPERVIOUS SF	
PROPOSED CASITA:	715 SF
PROPOSED PATIOS:	117 SF
PROPOSED PAVER PATIO (REPLACES DEMO PATIO):	90 SF
PROPOSED CONCRETE DRIVEWAY (REPLACES SOME GRAVEL DRIVE):	336 SF
TOTAL PROPOSED IMPERVIOUS SURFACE	1,258 SF
SUBTRACT EXISTING SURFACES TO BE REPLACED:	
292 SF OF NEW IMPERVIOUS SURFACE	
TOTAL IMPERVIOUS SURFACE:	3,911 SF

**COMMON SPACE AREA**

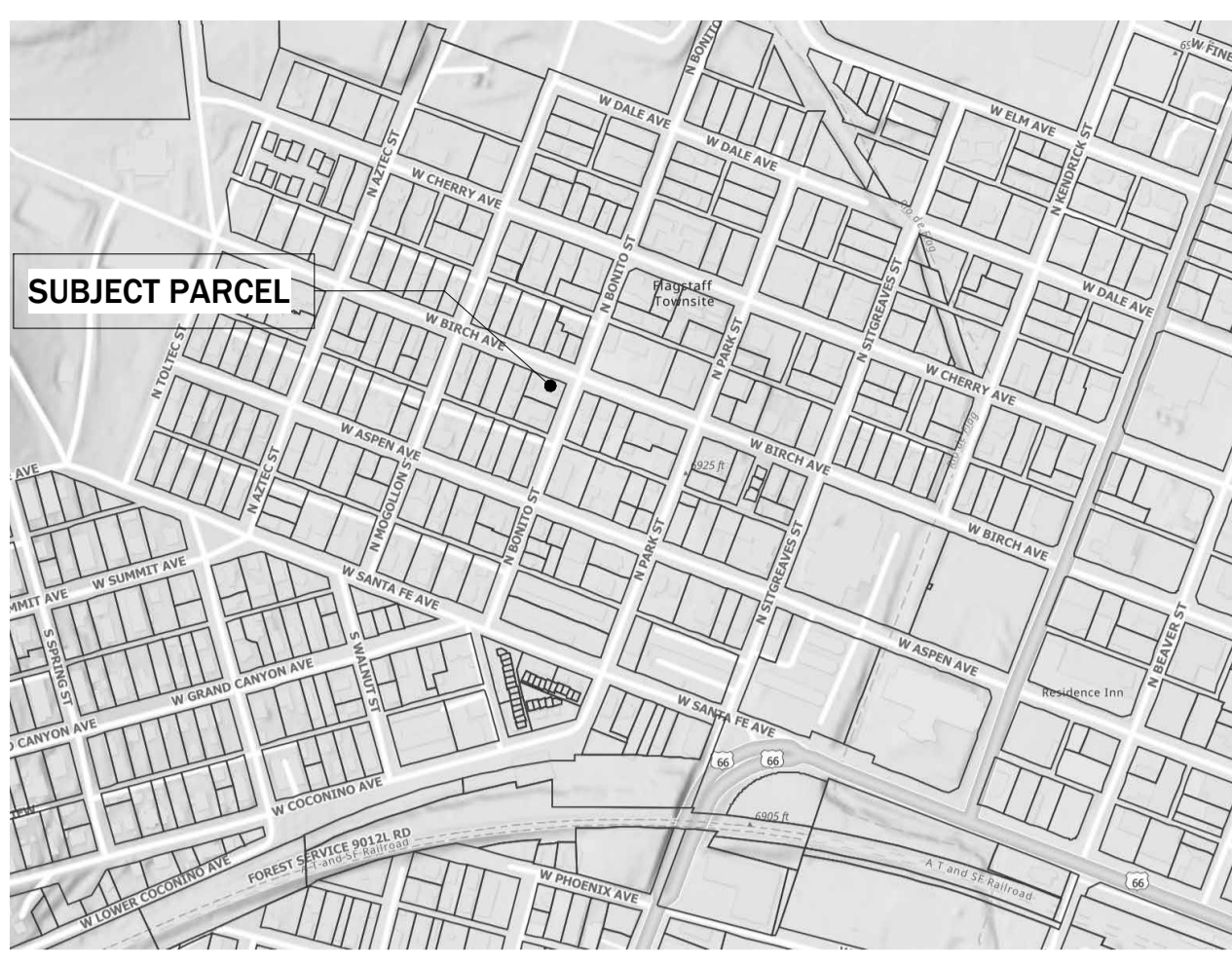
REQUIRED COMMON SPACE: 15% PARCEL (1,045 SF)  
PROPOSED COMMON SPACE: 1,060 SF (SEE SITEPLAN)

**CONTINUOUS YARD AREA**

REQUIRED CONTINUOUS YARD: 1,000 SF MIN. PER TOWNSITE  
PROPOSED COMMON SPACE: 1,060 SF (SEE SITEPLAN)

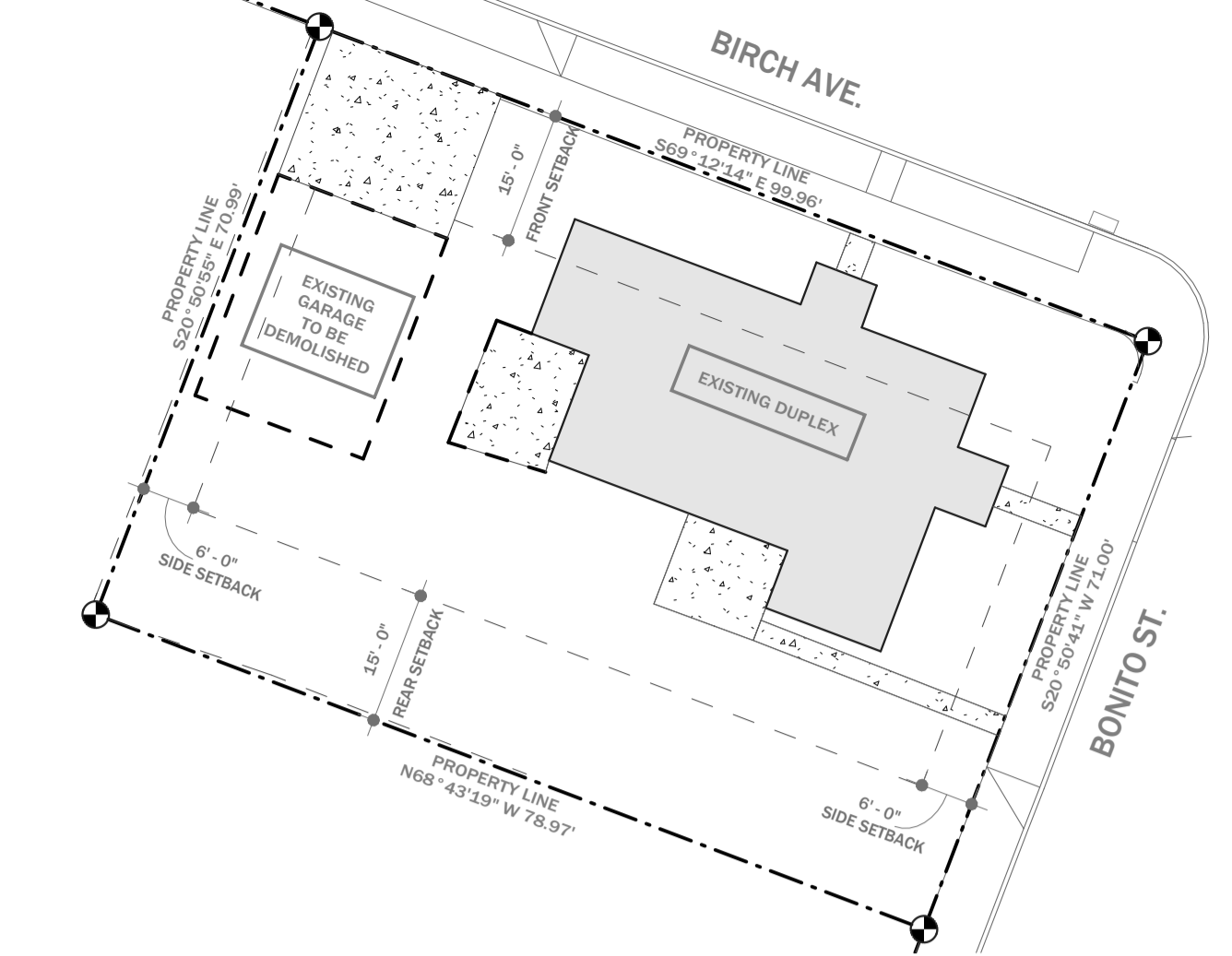
**DRAWING INDEX**

- A0.0 COVER SHEET
- A1.0 FLOOR PLAN
- A1.1 ROOF PLAN
- A2.0 ELEVATIONS
- A2.1 ELEVATIONS
- A4.0 MATERIAL BOARD



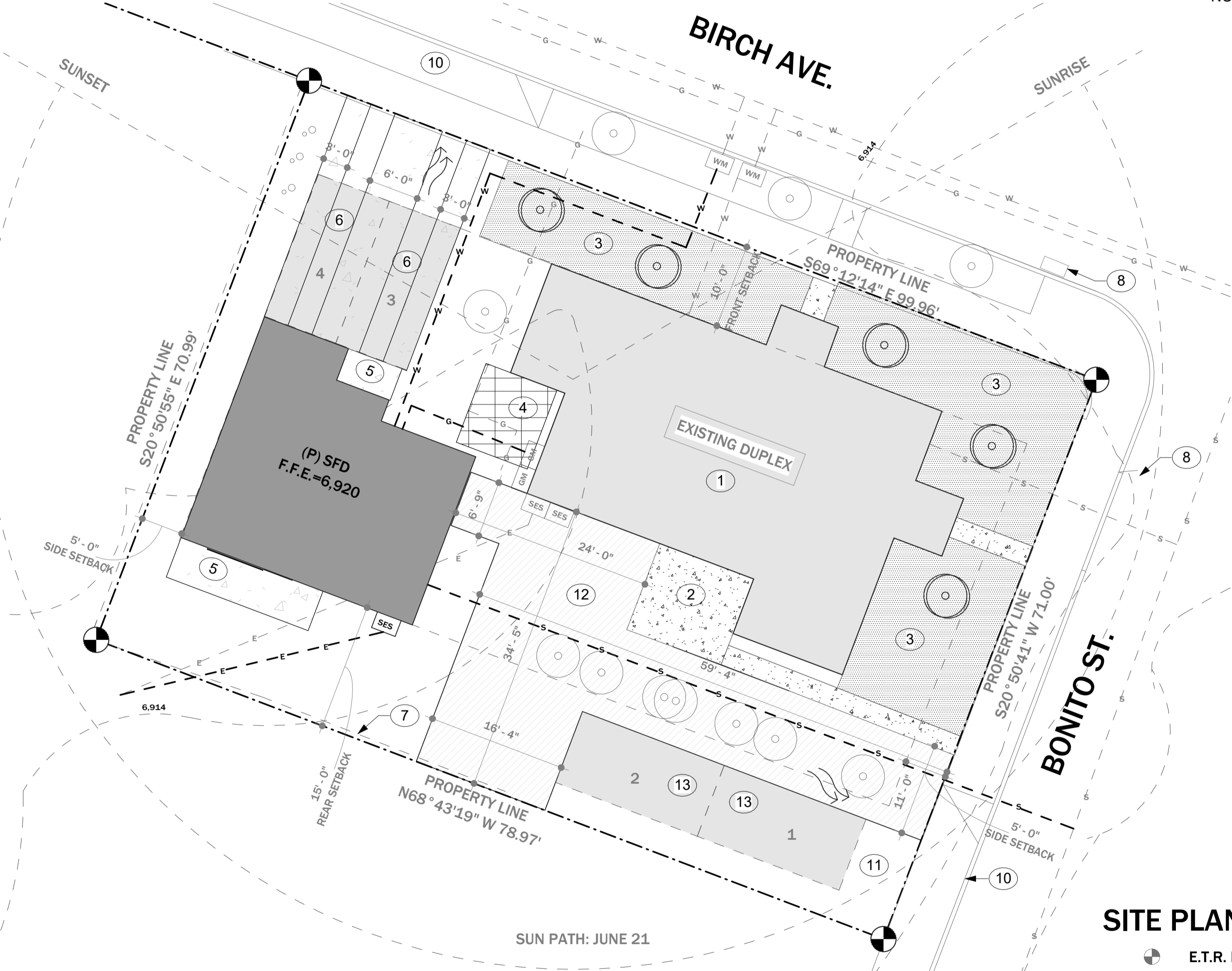
**VICINITY MAP**

N.T.S. NORTH



**SITE PLAN EXIST (R1N)**

SCALE: 1" = 20'-0" NORTH



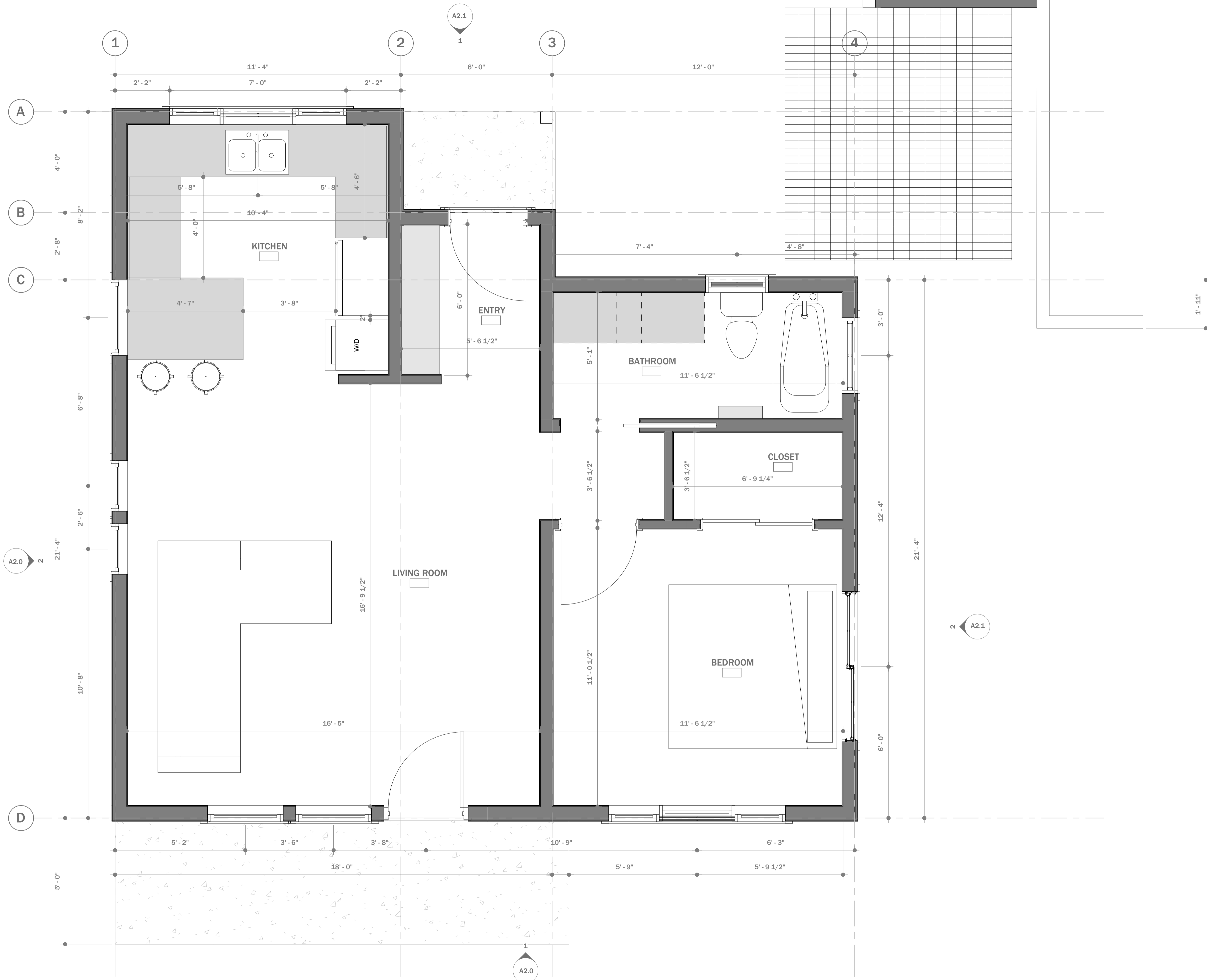
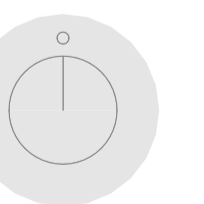
**PROPOSED SITE PLAN (MR)**

SCALE: 1" = 10'-0" NORTH

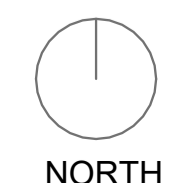
**SITE PLAN LEGEND**

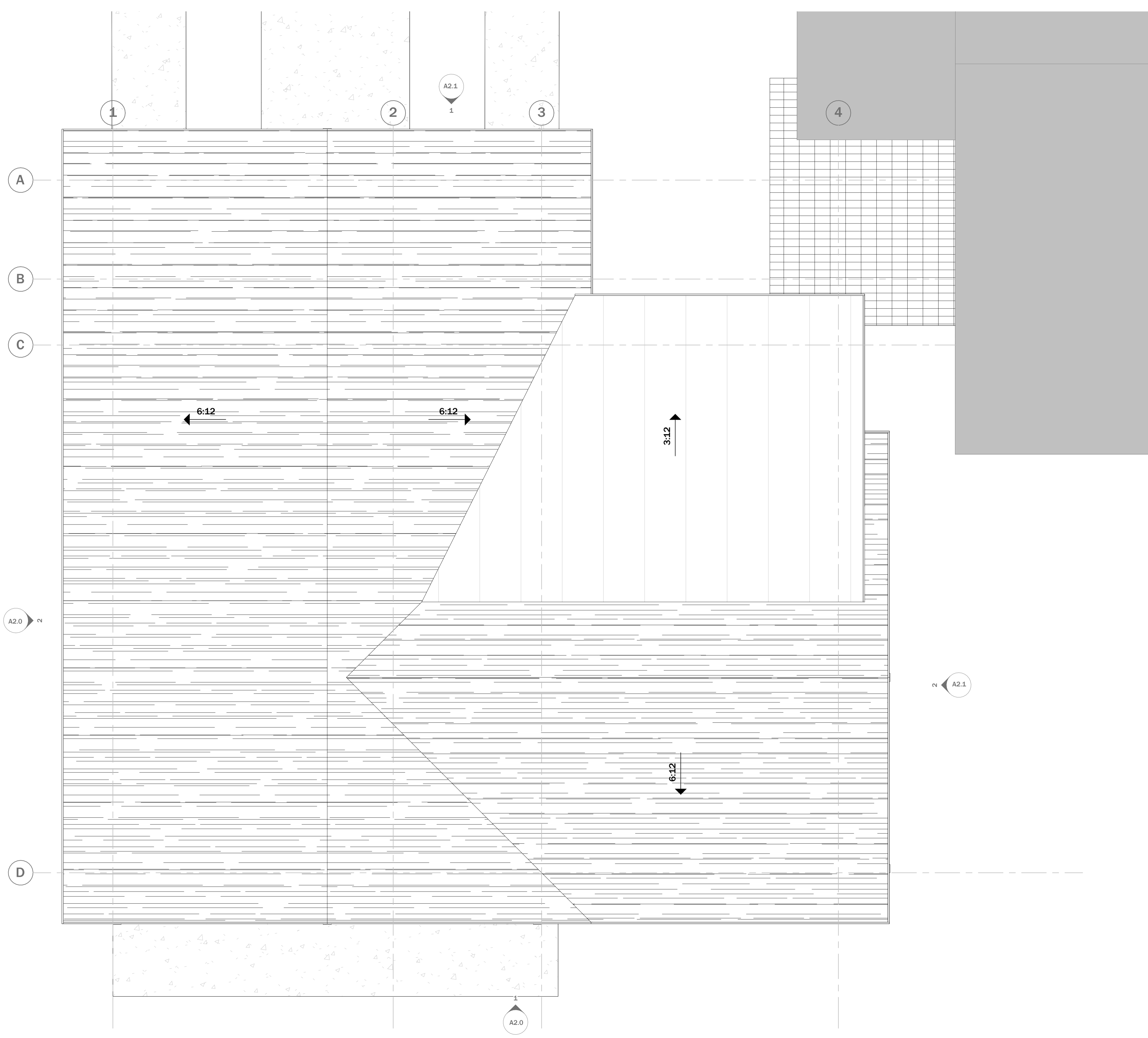
- ⊕ E.T.R. PROPERTY CORNER
- SES NEW ELECTRIC SERVICE ENTRANCE
- SES E.T.R. ELECTRIC SERVICE ENTRANCE
- GM E.T.R. GAS METER
- WM E.T.R. WATER METER
- E- NEW OVERHEAD ELECTRIC LINE
- E- E.T.R. OVERHEAD ELECTRIC LINE
- G- NEW GAS LINE
- G- E.T.R. GAS LINE
- W- NEW WATER LINE
- W- E.T.R. WATER LINE
- S- NEW SEWER LINE
- S- E.T.R. SEWER LINE
- ~ DRAINAGE PATH

KEYNOTES	
NOTE	VALUE
1	E.T.R. DUPLEX
2	E.T.R. CONCRETE PATIO
3	PROPOSED LANDSCAPE AREA, SEE LANDSCAPE CALCULATION ON SHEET A0.1
4	PROPOSED PAVER PATIO
5	PROPOSED CONCRETE PATIO
6	3 FOOT WIDE CONCRETE STRIPS OVER ABC FOR PROPOSED DRIVEWAY AND 9'X18'PARKING SPACES FOR EXISTING DUPLEX
7	E.T.R. FENCE
8	STORM DRAIN INLET
10	E.T.R. CURB CUT FOR PARKING SPACES
11	E.T.R. GRAVEL DRIVEWAY
12	CONTINUOUS YARD SPACE/, SEE CALCULATION ON SHEET A0.0
13	PROPOSED GRAVEL 9'X18' DOUBLE LOADED PARKING SPACE FOR PROPOSED CASITA



**1 FLOOR PLAN**  
SCALE: 1/2" = 1'-0"

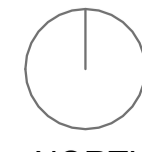




1

**ROOF PLAN**

SCALE: 1/2" = 1'-0"



NORTH

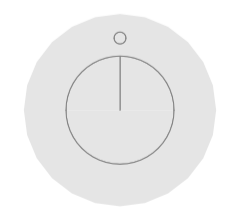
Project No. 2024-03  
APN 100-16-0098

**02/23/2024**

HPC-C REVIEW 02-23-24

Notes

Project North



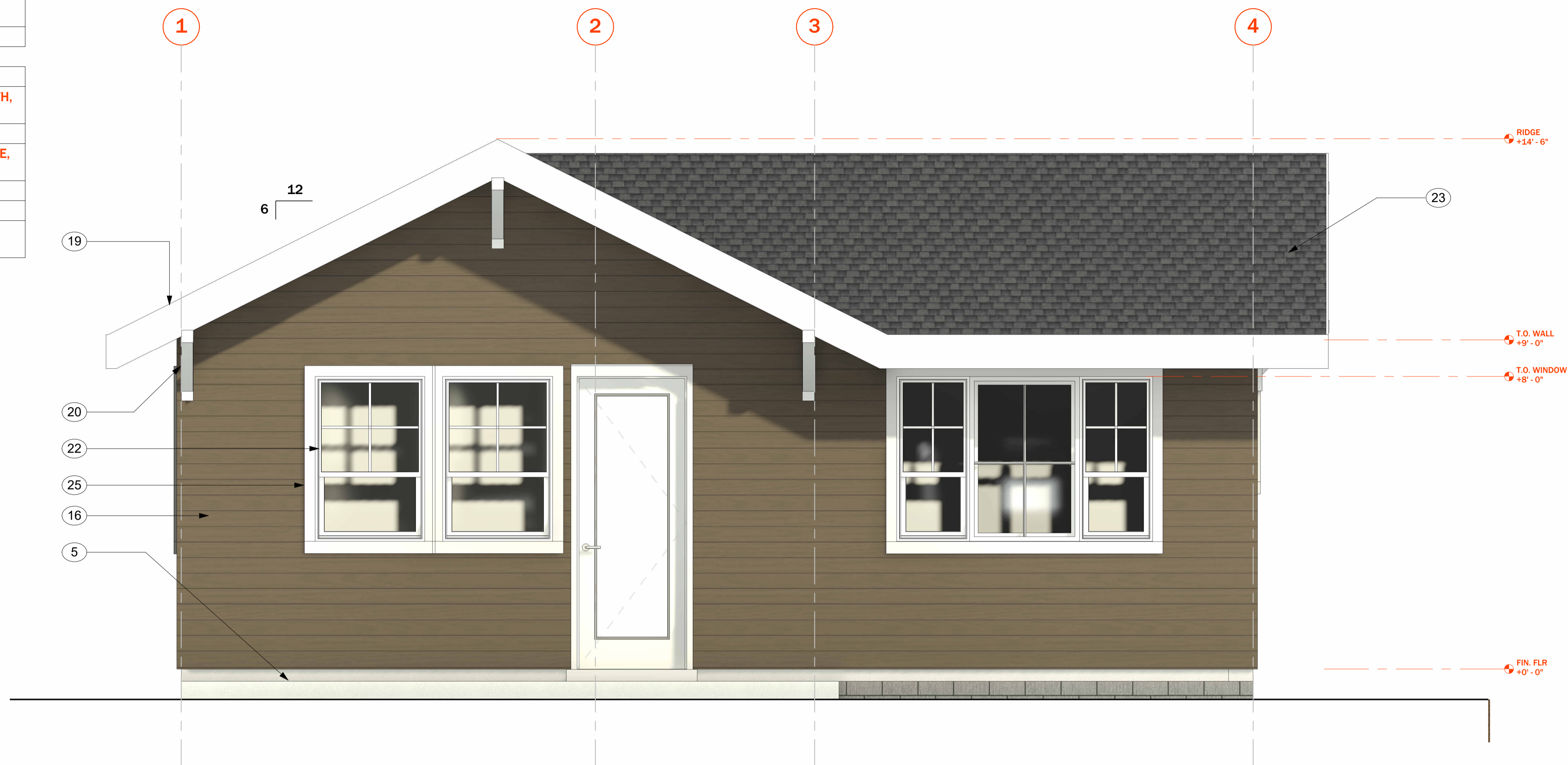
Scale 1/2" = 1'-0"

**ROOF PLAN**

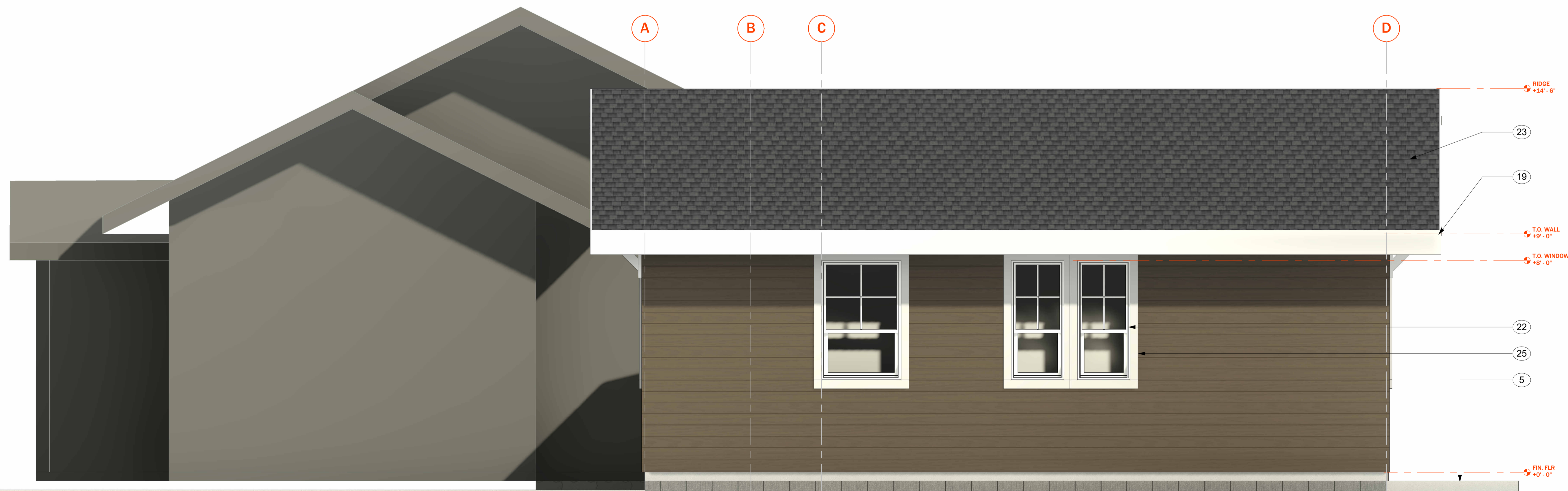
**A1.1**

Sheet No. ©2021

KEYNOTES	
NOTE	VALUE
5	PROPOSED CONCRETE PATIO
16	PROPOSED COMPOSITE LAP SIDING, HARDIE PLANK BRAND IN SMOOTH FINISH, 5.25 INCH WIDTH, PAINT WITH 2 COATS OF PAINT IN BENJAMIN MOORE NORTHWOOD BROWN, LRV 13.4
19	12 INCH COMPOSITE FASCIA, PAINT IN BENJAMIN MOORE SPANISH WHITE, LRV 76.28
20	DECORATIVE CORBELS TO MATCH EXISTING DUPLEX, PAINT IN BENJAMIN MOORE SPANISH WHITE, LRV 76.28
22	PROPOSED WINDOWS AND DOORS BY ANDERSON IN WHITE
23	PROPOSED SHINGLE ROOF BY LANDMARK IN CHARCOAL BLACK
25	PROPOSED 4 INCH DOOR AND WINDOW TRIM, PAINT IN BENJAMIN MOORE SPANISH WHITE, LRV 76.28



**1 REAR (SOUTH) ELEVATION**  
SCALE: 1/2" = 1'-0"



**2 SIDE (WEST) ELEVATION**  
SCALE: 1/2" = 1'-0"



KEYNOTES	
NOTE	VALUE
16	PROPOSED COMPOSITE LAP SIDING, HARDIE PLANK BRAND IN SMOOTH FINISH, 5.25 INCH WIDTH, PAINT WITH 2 COATS OF PAINT IN BENJAMIN MOORE NORTHWOOD BROWN, LRV 13.4
17	PROPOSED COMPOSITE BOARED AND BATTEN SIDING, HARDIE PANEL IN SMOOTH FINISH, PAINT WITH 2 COATS OF PAINT IN BENJAMIN MOORE NORTHWOOD BROWN, LRV 13.4
18	12 INCH TRIM BOARD, PAINT WITH 2 COATS OF PAINT IN BENJAMIN MOORE SPANISH WHITE, LRV 76.28
19	12 INCH COMPOSITE FASCIA, PAINT IN BENJAMIN MOORE SPANISH WHITE, LRV 76.28
20	DECORATIVE CORBELS TO MATCH EXISTING DUPLEX, PAINT IN BENJAMIN MOORE SPANISH WHITE, LRV 76.28
21	POST AND BEAM, PAINT IN BENJAMIN MOORE SPANISH WHITE, LRV 76.28
22	PROPOSED WINDOWS AND DOORS BY ANDERSON IN WHITE
23	PROPOSED SHINGLE ROOF BY LANDMARK IN CHARCOAL BLACK
24	PROPOSED METAL ROOF BY WESTERN STATES IN CHARCOAL GRAY
25	PROPOSED 4 INCH DOOR AND WINDOW TRIM, PAINT IN BENJAMIN MOORE SPANISH WHITE, LRV 76.28



**1 FRONT (NORTH) ELEVATION**  
SCALE: 1/2" = 1'-0"



**2 SIDE (EAST) ELEVATION**  
SCALE: 1/2" = 1'-0"



# Northwood Brown

1000

A balanced, easygoing brown with a warm, organic quality.

LRV 13.41

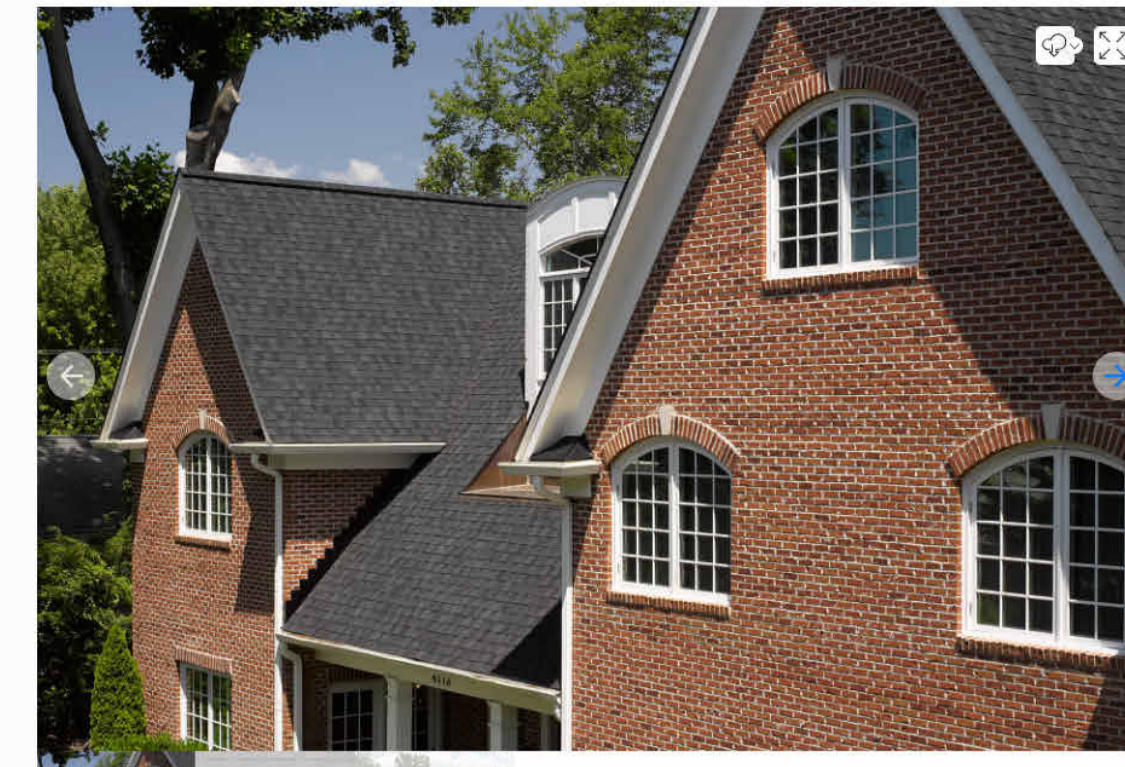
# Spanish White

943

The barest touch of cream brings Old World elegance to this soft shade of white.

LRV 76.28

Also Known As  
OC-35



**Landmark®**  
Landmark shingles provide durability and aesthetics. They feature Class A fire resistance and StreakFighter® algae resistance, with a multi-layer design and various colors.

Showing product availability in

Colors (21)  
Click on the color swatches below to see the selected products in the gallery.

[2024 Limited Warranty - Asphalt Shingle - Residential](#) | [Brochure - Integrity Roof System](#)  
[Installation Guide - Landmark Series](#) | [Warranty - SureStart](#)

[VIEW DOCUMENTS](#)

## BODY PAINT

MFR: BENJAMIN MOORE  
COLOR: NORTHWOOD BROWN  
LRV: 13.41

## ACCENT AND TRIM PAINT

MFR: BENJAMIN MOORE  
COLOR: SPANISH WHITE  
LRV: 76.28

## ROOF 1

MFR: CERTAINTEED  
MTL: ASPHALT SHINGLE  
STYLE: LANDMARK  
COLOR: CHARCOAL BLACK

**WESTERN STATES METAL ROOFING**  
(877) 787-5467 | WESTERNSTATESMETALROOFING.COM

COLOR SELECTION GUIDE  
**STANDARD COLORS (PVDF)**

Colors represented on this chart may not exactly match actual material. All colors should be verified using actual metal samples.

**STANDARD COLORS:**

Regal Blue	Royal Blue	Slate Blue	Regal Red	Colonial Red	Terra Cotta	Classic Green
Matte Black	Dark Bronze	Medium Bronze	Mansard Brown	Burnished Slate	Charcoal Gray	Gun Metal Gray
Slate Gray	Dolphin Gray	Dove Gray	Ash Gray	Desert Tan	Sandstone	Almond

**PREMIUM COLORS – METALLIC FINISH:**

Bone White	Regal White	Silver Metallic <sup>1</sup>	Zinc Metallic <sup>2</sup>	Champagne <sup>1</sup>	Copper Penny <sup>1</sup>
------------	-------------	------------------------------	----------------------------	------------------------	---------------------------

<sup>1</sup>This material is batch sensitive and directional. Do not mix batches or coil lots. Premium Colors. Slightly higher prices.

Phoenix: (602) 495-0048 | sales@westernstatesmetalroofing.com  
Tucson: (520) 574-4247 | Washington: (509) 418-2833 | Texas: (972) 843-4343

**Find your style**  
Your home is a blank canvas. Experiment with a variety of Hardie® Plank siding styles, textures, and stunning colors featuring our ColorPlus® Technology finishes to create your masterpiece.

**Select your siding texture**

Select Cedar®	Smooth	Beaded Select Cedar®	Beaded Smooth
Unavailable in your area	Unavailable in your area	Custom Colonial Roughsawn	Custom Colonial Smooth

**Select your color collection**

Statement Collection®	Magnolia Home   James Hardie Collection	Primed for Paint
-----------------------	---	------------------

Primed for Paint product samples are not available. Please check with your contractor or local dealer for availability in your area.

**Find your style**  
Your home is a blank canvas. Experiment with a variety of Hardie® Panel siding styles, textures, and stunning colors featuring our ColorPlus® Technology finishes to create your masterpiece.

**Select your siding texture**

Select Cedar®	Smooth	Steno®	Unavailable in your area	Stucco
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**Select your color collection**

Statement Collection®	Magnolia Home   James Hardie Collection	Primed for Paint
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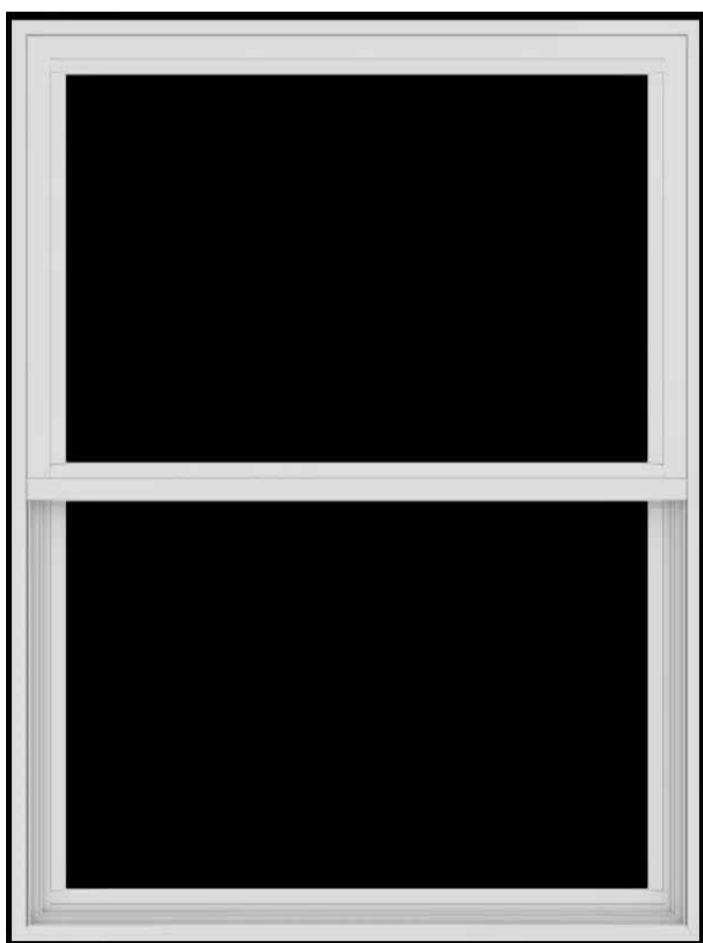
Primed for Paint offers unlimited color opportunities for your home's exterior. Primed and ready for field painting. It's a durable, high-performance canvas for your vision.

## ROOF 2

MFR: WESTERN STATES  
MTL: METAL  
STYLE: STANDING SEAM 1.75" SNAP LOCK  
COLOR: MATTE CHARCOAL GRAY

## LAP SIDING

MFR: JAMES HARDIE  
MTL: COMPOSITE  
STYLE: SMOOTH DFINISH PRIMED FOR PAINT  
COLOR: NORTHWOOD BROWN



## WINDOWS

MFR: PELLA IMPERVIA  
MTL: COMPOSITE  
COLOR: WHITE

## BOARD AND BATTEN SIDING

MFR: JAMES HARDIE  
MTL: COMPOSITE  
STYLE: PLANK, SMOOTH FINISH  
COLOR: NORTHWOOD BROWN



## DOORS

MFR: PELLA  
MTL: WOOD  
COLOR: BENJAMIN MOORE SPANISH WHITE, LRV 76.28

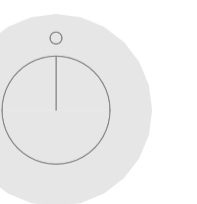
Project No. 2024-03  
APN 100-16-0098

02/23/2024

HPC-C REVIEW 02-23-24

Notes

Project North



Scale

MATERIAL BOARD

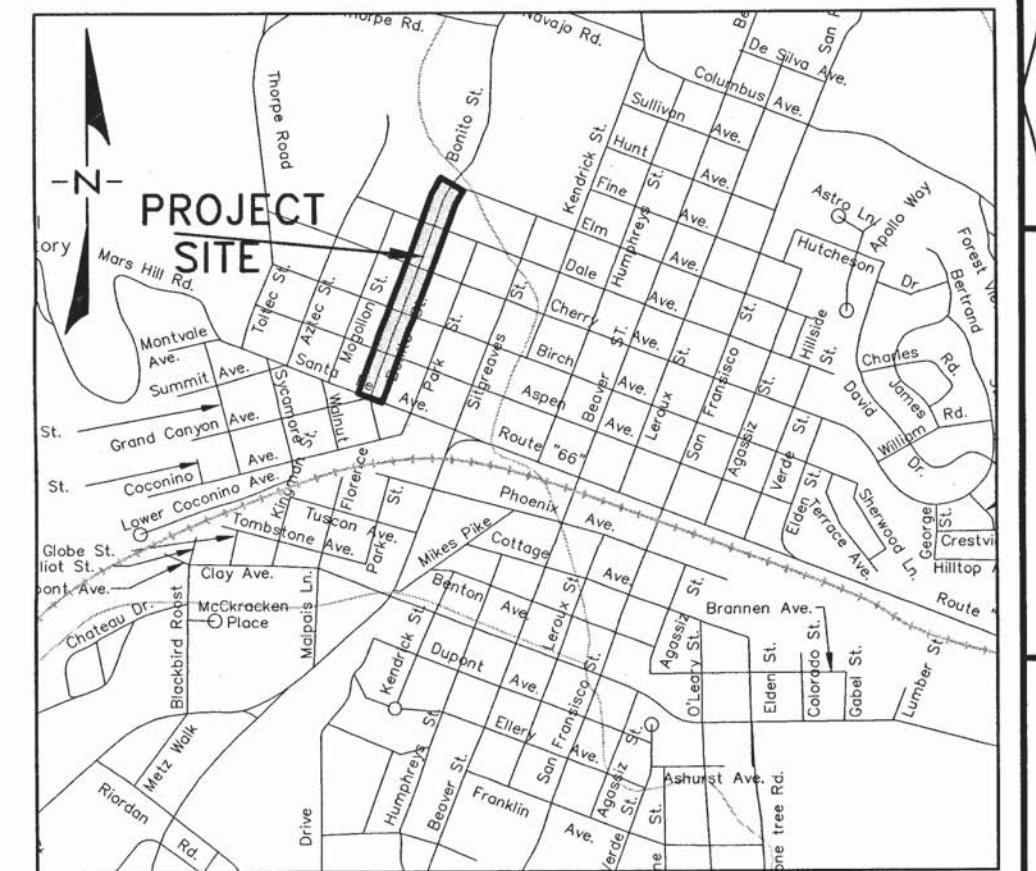
**A4.0**

Sheet No.

©2024

# BONITO STREET IMPROVEMENT PLANS CONSTRUCTION PLANS

A PROPOSED IMPROVEMENT IN A PORTION OF SECTION 16, TOWNSHIP 21  
NORTH, RANGE 7 EAST, GILA AND SALT RIVER BASE AND MERIDIAN,  
COCONINO COUNTY, ARIZONA



CITY OF FLAGSTAFF  
VICINITY MAP  
NOT TO SCALE

3/9/15

WOODSON ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN ST. • FLAGSTAFF, AZ 86001 • PHONE: (928) 774-4636 FAX: (928) 774-4646

113801

BONITO STREET  
IMPROVEMENT PLANS  
CONSTRUCTION PLANS

DRAWN BY: AAS  
DATE: 12/15/14  
PROJ. NO.: 113801  
FN: 01 Cover

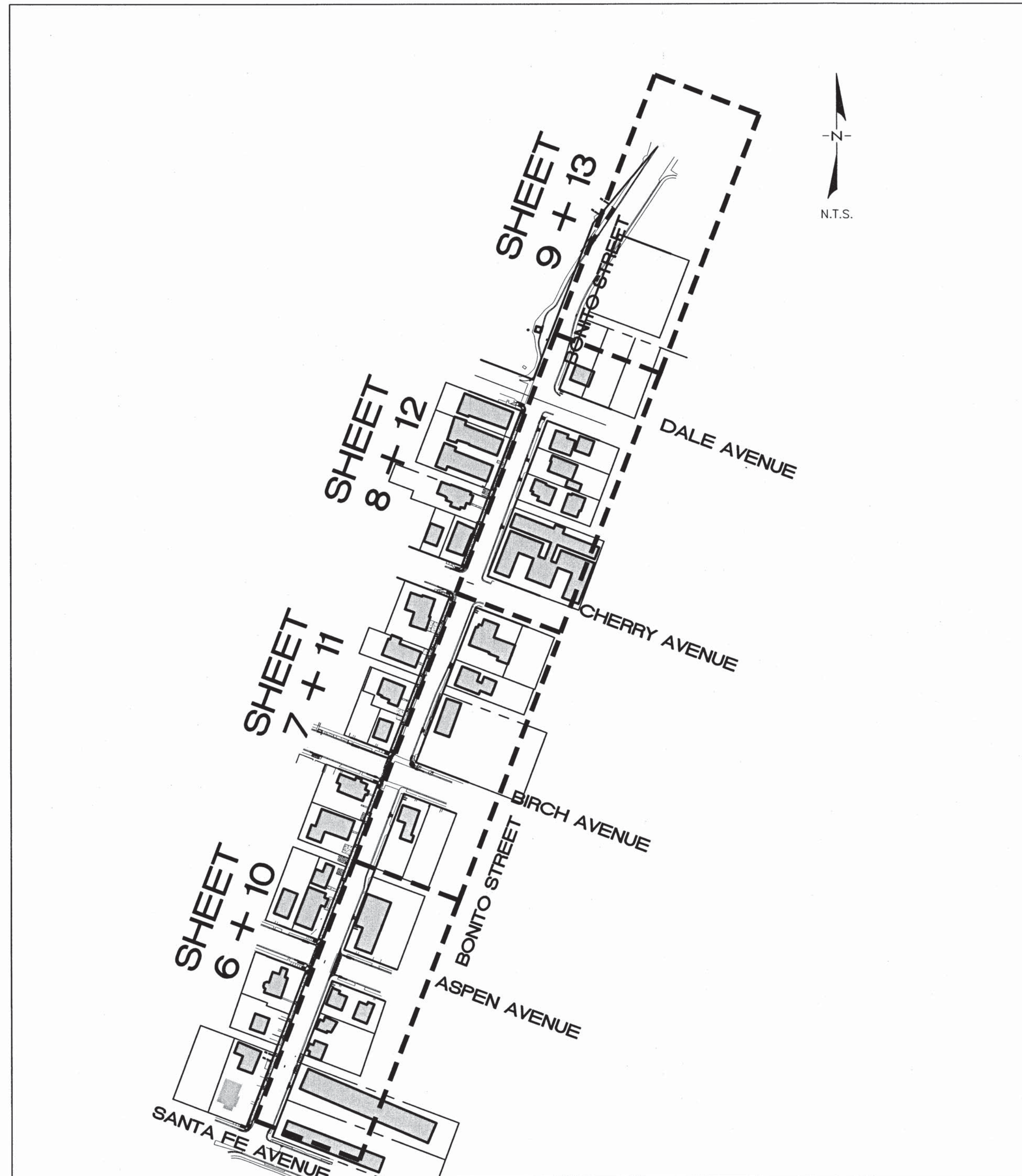
## LEGEND

	EXISTING PROPERTY LINE
	EXISTING ROAD CENTERLINE
	EXISTING EASEMENT
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING FLOWLINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM DRAIN
	EXISTING GAS LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING CABLE TV LINE
	EXISTING TELEPHONE LINE
	EXISTING FIBER OPTIC LINE
	EXISTING CHAIN LINK FENCE
	EXISTING WOOD FENCE
	EXISTING WALL
	EXISTING CONCRETE
	EXISTING STRUCTURE
	EXISTING PAVEMENT
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED STORM DRAIN
	PROPOSED CONCRETE
	PROPOSED PAVEMENT REPLACEMENT
	PROPOSED MILL AND OVERLAY
	EXISTING WATER VALVE
	EXISTING WATER METER
	EXISTING FIRE HYDRANT
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM DRAIN MANHOLE
	EXISTING CATCH BASIN
	EXISTING GAS VALVE
	EXISTING GAS METER
	EXISTING ELECTRIC METER
	EXISTING MISCELLANEOUS MANHOLE
	EXISTING UTILITY POLE
	EXISTING GUY ANCHOR
	EXISTING LIGHT POLE
	EXISTING SIGN POST
	EXISTING BOLLARD
	EXISTING TREE TO REMAIN (DIAMETER AND P=PINE, J=JUNIPER, D=DECIDUOUS)
	FOUND RIGHT-OF-WAY MONUMENT AS NOTED
	FOUND REBAR AS NOTED
	FOUND MONUMENT AS NOTED
	FOUND NAIL AS NOTED
	PROPOSED WATER VALVE
	PROPOSED WATER METER
	PROPOSED FIRE HYDRANT
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER CLEANOUT
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED CATCH BASIN
	PROPOSED AIR RELEASE VALVE

## SHEET INDEX

- 1 COVER SHEET
- 2 TYPICAL NOTES SHEET
- 3 OVERALL UTILITY PLAN AND QUANTITIES SHEET
- 4 DETAILS SHEET
- 5 DETAILS SHEET
- 6 PAVING AND GRADING
- 7 PAVING AND GRADING
- 8 PAVING AND GRADING
- 9 PAVING AND GRADING
- 10 WATER AND SEWER
- 11 WATER AND SEWER
- 12 WATER AND SEWER
- 13 WATER AND SEWER
- 14 UTILITY CROSSING PROFILES
- 15 STORM DRAIN PLAN AND PROFILE
- 16 STORM DRAIN PLAN AND PROFILE
- 17 STORM DRAIN LATERAL PROFILES
- 18 ASPEN INTERSECTION GRADING
- 19 BIRCH INTERSECTION GRADING
- 20 CONTROL SHEET
- 21 SWPPP SHEET
- 22 SWPPP SHEET

8B PAVING AND GRADING  
8C PAVING AND GRADING



## UTILITY ACKNOWLEDGEMENT

BY LETTER	01/05/15
ARIZONA PUBLIC SERVICE	DATE
BY LETTER	01/22/15
UNISOURCE ENERGY	DATE
BY LETTER	01/07/15
CENTURY LINK	DATE
BY LETTER	12/29/14
SUDDEN LINK	DATE

## CITY OF FLAGSTAFF APPROVAL

<i>Robert D. Bennett</i>	3/12/15
CITY ENGINEER	DATE
<i>Eric Sellers</i>	3-12-2015
PUBLIC WORKS DIRECTOR	DATE
<i>Randley M. Hill</i>	11 MARCH 2015
UTILITIES DIRECTOR	DATE

## ADEQ APPROVAL

APPROVAL TO CONSTRUCT 20150017	2/4/15
WATER	DATE
CONSTRUCTION AUTHORIZATION 20150017	01/28/15
SEWER	DATE

## IMPERVIOUS AREA CALCULATION

NO ADDITIONAL IMPERVIOUS AREA IS BEING PROPOSED FOR THIS PROJECT.

## GENERAL NOTE

THESE PLANS WERE PREPARED UNDER THE 2012 EDITION OF THE CITY OF FLAGSTAFF ENGINEERING DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AND THE 2013 EDITION OF THE MAG UNIFORM STANDARD SPECIFICATIONS AND DETAILS.

## CONCEPT APPROVAL

THE CITY OF FLAGSTAFF APPROVES THESE PLANS FOR CONCEPT ONLY. ALL LIABILITY FOR ERRORS OR OMISSIONS IS THE RESPONSIBILITY OF THE DESIGN ENGINEER.

## AUTHORIZATION TO CONSTRUCT

THE SIGNATURES ABOVE ARE REQUIRED BEFORE THE CONTRACTOR CAN COMMENCE. UNSIGNED, THESE PLANS HAVE NOT BEEN COMPLETED WITH RESPECT TO AGENCY REVIEW AND APPROVAL.

## OWNER/DEVELOPER

CITY OF FLAGSTAFF  
UTILITIES DEPARTMENT  
211 W. ASPEN AVE.  
FLAGSTAFF, AZ 86001  
(928) 774-7685

## ENGINEER

WOODSON ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN ST.  
FLAGSTAFF, AZ 86001  
(928) 774-4636

## SUMMARY OF UTILITY CONFLICTS

SHEET 10	
SEWER MAIN AND GAS MAIN	STA 10+50
SEWER MAIN AND 16" WATER MAIN	STA 10+50
SEWER MAIN AND STORM DRAIN	STA 12+15
SEWER MAIN AND RECLAIMED WATER	STA 12+20
SEWER MAIN AND WATER MAIN	STA 12+40
SEWER MAIN AND STORM DRAIN	STA 12+50
SHEET 11	
SEWER MAIN AND STORM DRAIN	STA 14+12
SEWER MAIN AND WATER MAIN	STA 15+80
SEWER MAIN AND STORM DRAIN	STA 16+22
SEWER MAIN AND GAS MAIN	STA 17+60
WATER MAIN AND GAS MAIN	STA 17+60
SEWER MAIN AND WATER MAIN	STA 17+65
SHEET 12	
WATER MAIN AND SEWER MAIN	STA 21+17
WATER MAIN AND STORM DRAIN	STA 23+95
SHEET 13	
WATER MAIN AND STORM DRAIN	STA 24+38
WATER MAIN AND GAS MAIN	STA 25+95

AS-BUILT DRAWINGS

DATE: 3/28/16  
BY: ALICIA STOFFERS, PE

**WOODSON**  
ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN DR.,  
FLAGSTAFF, AZ 86001  
PHONE NO. (928) 774-4636

EXPIRES 9/30/2015

# WOODSON

ENGINEERING AND SURVEYING, INC.

124 N. ELDEN ST.  
FLAGSTAFF, AZ 86001

PHONE: (928) 774-4636 FAX: (928) 774-4646



FF57A

COF #03-13012  
SHEET 1 OF 22



C.O.F. GENERAL NOTES

13-06-007-0001 GENERAL NOTES
1. APPROVAL OF THESE PLANS BY THE CITY ENGINEER IS FOR A ONE-YEAR PERIOD, SUBSEQUENT TO THE DATE OF APPROVAL. IF CONSTRUCTION WORK IS NOT STARTED WITHIN THE ONE-YEAR PERIOD OR HAS BEEN DISCONTINUED FOR ANY REASON FOR LONGER THAN ONE YEAR, THE PLANS SHALL BE RESUBMITTED FOR REVIEW AND RE-APPROVAL.
2. PLAN REVIEW BY THE CITY DOES NOT EXTEND TO MATERIAL QUANTITIES SHOWN ON THE PLANS.
3. A PUBLIC WORKS PERMIT, ISSUED BY THE CITY, IS REQUIRED FOR ALL WORK IN CITY RIGHTS-OF-WAY OR EASEMENTS AND FOR CONSTRUCTION OF ANY IMPROVEMENTS INTENDED TO BECOME PUBLIC PROPERTY.
4. THE CITY SHALL BE NOTIFIED 24 HOURS PRIOR TO BEGINNING DIFFERENT PHASES OF CONSTRUCTION SO THAT CITY INSPECTORS MAY BE SCHEDULED.
5. ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE FLAGSTAFF CITY CODE TITLE 13 "ENGINEERING DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS", THE CURRENT "MAG UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION", THE CITY OF FLAGSTAFF STORMWATER DESIGN MANUAL, AND WITH GENERALLY ACCEPTED ENGINEERING DESIGN AND GOOD CONSTRUCTION PRACTICE. ALL WORK AND MATERIALS WHICH DO NOT CONFORM TO THE STANDARDS AND SPECIFICATIONS ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING CHAPTER 21 OF THESE (FLAGSTAFF DESIGN) STANDARDS WHICH MAKES MINOR MODIFICATIONS TO CERTAIN MAG SPECIFICATIONS AND DETAILS.
6. ANY WORK PERFORMED WITHOUT THE KNOWLEDGE AND APPROVAL OF THE CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVE, IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
7. THE CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVE MAY SUSPEND THE WORK BY WRITTEN NOTICE WHEN, IN HIS JUDGEMENT, PROGRESS IS UNSATISFACTORY, WORK BEING DONE IS UNAUTHORIZED OR DEFECTIVE, WEATHER CONDITIONS ARE UNSUITABLE, OR THERE IS DANGER TO THE PUBLIC HEALTH OR SAFETY.
8. THE CITY ENGINEER MAY ORDER ANY OR ALL MATERIALS USED IN THE WORK TO BE TESTED ACCORDING TO THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) AND THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) STANDARDS. THE CONTRACTOR SHALL, AT HIS EXPENSE, SUPPLY ALL SAMPLES REQUIRED FOR TESTING.
9. ACCESS WHICH MEETS SECTION 13-13-004-0001, FIRE HYDRANTS, WATER MAINS AND STREET NAME SIGNS SHALL BE IN PLACE AND APPROVED BEFORE AND AT ALL TIMES DURING ON-SITE COMBUSTIBLE CONSTRUCTION AND/OR PRIOR TO ISSUANCE OF BUILDING PERMITS IN NEW SUBDIVISIONS. FIRE DEPARTMENT AND ENGINEERING SECTION APPROVAL IS REQUIRED FOR OBSTRUCTION OF ACCESS OR WATER SYSTEM SHUTDOWN.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE STREETS AND OF PARTIALLY COMPLETED PORTIONS OF THE WORK UNTIL FINAL ACCEPTANCE OF THE WORK. THE CONTRACTOR SHALL SUBMIT TO THE CITY ENGINEER FOR APPROVAL A CONSTRUCTION SCHEDULE FOR ANY STREETS REQUIRED TO BE CLOSED OR PARTIALLY CLOSED FOR THE CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL REOPEN THE STREETS NO LATER THAN THE OPENING DATE SHOWN ON THE CONSTRUCTION SCHEDULE OR UPON ORDER OF THE CITY ENGINEER. THE REGULATION AND CONTROL OF CONSTRUCTION TRAFFIC SHALL BE AS DIRECTED BY THE CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVE.
11. APPROVAL OF A PORTION OF THE WORK IN PROGRESS DOES NOT GUARANTEE ITS FINAL ACCEPTANCE. TESTING AND EVALUATION MAY CONTINUE UNTIL WRITTEN FINAL ACCEPTANCE OF A COMPLETE WORKABLE UNIT. ANY DEFECTS WHICH APPEAR IN THE WORK WITHIN ONE YEAR FROM THE DATE OF ACCEPTANCE AND WHICH ARE DUE TO IMPROPER WORKMANSHIP OR INFERIOR MATERIALS SUPPLIED SHALL BE CORRECTED BY OR AT THE EXPENSE OF THE OWNER/DEVELOPER OR THE CONTRACTOR.
12. ACCEPTANCE OF COMPLETED PUBLIC IMPROVEMENTS WILL NOT BE GIVEN UNTIL DEFECTIVE OR UNAUTHORIZED WORK IS REMOVED, AND FINAL CLEAN-UP IS COMPLETE.
13. LOCATION OF UNDERGROUND UTILITIES BEFORE WORK IS BEGUN IS TO BE ACCOMPLISHED IN ACCORDANCE WITH ARS 40-360.22.
14. IF WORK IS DONE ON PRIVATE PROPERTY IN RELATION TO A PROJECT CONSTRUCTED UNDER THESE STANDARDS, THE CONTRACTOR WILL PROVIDE THE CITY WITH WRITTEN AUTHORIZATION FROM THE PROPERTY OWNER TO DO SO.
15. THE ESTABLISHMENT AND USE OF TEMPORARY CONSTRUCTION YARDS SHALL CONFORM TO THE CURRENT CITY ZONING CODE STANDARDS FOR "TEMPORARY USES".
16. ALL EXCAVATED MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE CITY CODES AND REGULATIONS. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED CITY APPROVALS AND PERMITS, AS DEEMED NECESSARY BY THE CITY TO DISPOSE OF EXCAVATED MATERIAL.
17. ALL CONSTRUCTION STAKING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER AND PERFORMED UNDER THE DIRECT SUPERVISION OF A REGISTERED LAND SURVEYOR OR CIVIL ENGINEER.
18. ALL TRAFFIC SIGN SHEETING SHALL BE TYPE VIII AS DESIGNED BY ASTM D4956-07a1 STANDARD SPECIFICATIONS FOR RETROREFLECTIVE SHEETING FOR TRAFFIC CONTROL, UNLESS SPECIFIED OTHERWISE ON THE CONSTRUCTION PLANS.
19. WHEN THE CONSTRUCTION PLANS SPECIFY GRAFFITI CONTROL ON BRIDGES OR OTHER STRUCTURES, THE CONTRACTOR SHALL SEAL THE STRUCTURE FIRST USING MONOCHEM AQUASEAL ME 12 AND THEN APPLY MONOCHEM PERMASHIELD, SACRIFICIAL GRAFFITI CONTROL SYSTEM (OR APPROVED EQUAL).
20. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED AND RESEDED IN ACCORDANCE WITH CHAPTER 13-17 OF THIS TITLE. IN THE EVENT THAT THE CONSTRUCTION ACTIVITY DISTURBS MORE THAN ONE ACRE, A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE PREPARED IN ORDER TO OBTAIN A CONSTRUCTION GENERAL PERMIT FROM ADEQ.
C.O.F. WATER AND SEWER NOTES
ALL DESIGN, CONSTRUCTION, TESTING AND INSPECTION SHALL CONFORM TO THE ADEQ REQUIREMENTS: WATER DISTRIBUTION IN ACCORDANCE WITH BULLETINS 10 AND 8, AND SEWER COLLECTION IN ACCORDANCE WITH AAC TITLE 18. IN THE EVENT THE ADEQ REQUIREMENTS CONFLICT WITH THESE STANDARDS, THE MORE RESTRICTIVE SHALL APPLY.
A. ROUGH GRADING SHALL BE COMPLETED WITHIN ONE-TENTH OF A FOOT OF PLANNED GRADE AND APPROVED BY THE CITY ENGINEER'S AUTHORIZED REPRESENTATIVES PRIOR TO INSTALLATION OF UNDERGROUND UTILITIES.
B. NO TRENCH SHALL BE FILLED WITH BEDDING MATERIAL OR BACKFILL UNTIL THE EXCAVATION AND PIPE LAYING, RESPECTIVELY, HAVE BEEN APPROVED BY THE CITY ENGINEER'S AUTHORIZED REPRESENTATIVE.
C. A WATER PRESSURE TEST IS REQUIRED OF ALL WATER LINES AND A HYDROSTATIC OR AIR TEST IS REQUIRED OF ALL SEWER LINES AND MANHOLES. TESTS ARE TO BE CONDUCTED AFTER BACKFILLING IS COMPLETE AND COMPACTED ON ALL PUBLIC AND/OR PRIVATE UNDERGROUND UTILITIES
D. WATER AND SEWER SERVICE LINES ARE TO BE MARKED AS SHOWN ON THE STANDARD SERVICE DETAILS.
E. WATER LINE DISINFECTION IS TO BE ACCOMPLISHED AS OUTLINED IN ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (A.D.E.Q.) "BULLETIN NO. 8."

C.O.F. WATER AND SEWER NOTES CONT'D

F. WATER PIPE CLASSIFICATION SHALL BE CLASS 305 FOR A.W.W.A. C-900 PVC AND CLASS 350 FOR DUCTILE IRON UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. C-900 SHALL CONFORM TO THE CURRENT MAG UNIFORM STANDARD SPECIFICATIONS AND HAVE ELASTOMERIC GASKETS AND COUPLINGS. ALL DUCTILE IRON PIPE LINES SHALL BE POLYETHYLENE ENCASED IN ACCORDANCE WITH MAG SPECIFICATIONS.
G. ALL MATERIALS THAT COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NSF STANDARD 61 INCLUDING, BUT NOT LIMITED TO, GASKETS, LUBRICANTS, PIPE FITTINGS, AND VALVES. (NSF-PW SEAL) (R18-4-119B).
H. ALL PUBLIC SANITARY SEWER LINES AND PRIVATE SEWER SERVICE LINES WITHIN A PUBLIC UTILITY EASEMENT OR RIGHT-OF-WAY WILL BE INSPECTED PRIOR TO ACCEPTANCE BY THE CITY.
I. WATER AND SEWER MAINS SHALL BE SEPARATED IN ORDER TO PROTECT PUBLIC WATER SYSTEMS FROM POSSIBLE CONTAMINATION. ALL DISTANCES ARE MEASURED PERPENDICULARLY FROM THE OUTSIDE OF THE SEWER MAIN TO THE OUTSIDE OF THE WATER MAIN. SEPARATION REQUIREMENTS ARE AS FOLLOWS:
1. A WATER MAIN SHALL NOT BE PLACED:
(A) WITHIN SIX FEET, HORIZONTAL DISTANCE, AND LESS THAN TWO FEET, VERTICAL DISTANCE, ABOVE THE TOP OF A SEWER MAIN UNLESS EXTRA PROTECTION IS PROVIDED. EXTRA PROTECTION SHALL CONSIST OF CONSTRUCTING THE SEWER MAIN WITH MECHANICAL JOINT DUCTILE IRON PIPE OR WITH SLIP-JOINT DUCTILE IRON PIPE IF JOINT RESTRAINT IS PROVIDED. ALTERNATE EXTRA PROTECTION SHALL CONSIST OF ENCASED BOTH THE WATER AND SEWER MAINS IN AT LEAST SIX INCHES OF CONCRETE FOR AT LEAST TEN FEET BEYOND THE AREA COVERED BY THIS PARAGRAPH.
(B) WITHIN TWO FEET HORIZONTALLY AND TWO FEET BELOW THE SEWER MAIN. WHEN A WATER MAIN IS PLACED BELOW THE SEWER MAIN, EXTRA PROTECTION IS ALWAYS REQUIRED REGARDLESS OF THE VERTICAL SEPARATION.
2. NO WATER PIPE SHALL PASS THROUGH OR COME INTO CONTACT WITH ANY PART OF A SEWER MANHOLE. THE MINIMUM HORIZONTAL SEPARATION BETWEEN WATER MAINS AND MANHOLES SHALL BE SIX FEET, MEASURED FROM THE CENTER OF THE MANHOLE.
3. THE MINIMUM SEPARATION BETWEEN FORCE MAINS OR PRESSURE SEWERS AND WATER MAINS SHALL BE TWO FEET VERTICALLY AND SIX FEET HORIZONTALLY UNDER ALL CONDITIONS. WHERE A SEWER FORCE MAIN CROSSES ABOVE OR LESS THAN SIX FEET BELOW A WATER LINE, THE SEWER MAINS SHALL BE ENCASED IN AT LEAST SIX INCHES OF CONCRETE OR CONSTRUCTED USING MECHANICAL JOINT DUCTILE IRON PIPE FOR TEN FEET ON EITHER SIDE OF THE WATER MAIN.
4. EVEN WHEN EXTRA PROTECTION IS UTILIZED, THE MINIMUM CLEARANCE BETWEEN WATER AND SEWER SHALL BE ONE FOOT (1').
5. THE SEPARATION REQUIREMENTS DO NOT APPLY TO BUILDING, PLUMBING, OR INDIVIDUAL HOUSE SERVICE CONNECTIONS.
J. WHEN HYDROSTATIC TESTING IS PERFORMED, SEWER LINES SHALL BE TESTED FOR INFILTRATION/EXFILTRATION PER ARIZONA ADMINISTRATIVE CODE R18-9-E301(D)(2). MANHOLES SHALL BE TESTED BY FILLING THE MANHOLE WITH WATER. THE APPLICANT SHALL ENSURE THAT THE DROP IN WATER LEVEL DOES NOT EXCEED 0.001 OF THE TOTAL MANHOLE VOLUME IN ONE HOUR.
WHEN AIR TESTING IS PERFORMED, SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH ASTM F1417-92. MANHOLES SHALL BE TESTED IN ACCORDANCE WITH ASTM C1244-93.
K. SEWER PIPE SHALL BE SDR 35, ASTM D3034 FOR PVC PIPE, OR CLASS 150 DIP LINED WITH PROTECTO 401 CERAMIC EPOXY OR HDPE ASTM F894. ALL DUCTILE IRON PIPELINES SHALL BE POLYETHYLENE ENCASED IN ACCORDANCE WITH MAG SPECIFICATIONS. SPECIAL DESIGN CONSIDERATIONS MAY REQUIRE A HIGHER CLASS RATING OF DIP.
L. NO WATER SETTLING OF TRENCH FILL MATERIAL IS ALLOWED.
M. ALL WATER AND SEWER DESIGN AND CONSTRUCTION SHALL CONFORM TO THE CURRENT ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (A.D.E.Q.) REQUIREMENTS. WHEN A.D.E.Q. REQUIREMENTS ARE IN CONFLICT WITH THESE STANDARDS, THE MORE RESTRICTIVE SHALL APPLY.
N. TRACER WIRES AND TAPES SHALL BE INSTALLED PRIOR TO TESTING THE WATER OR SEWER MAIN AS REQUIRED BY C.O.F. STANDARDS SECTION 13-09-001-0002. (STRIP WIRE 2 INCHES AT TERMINATION OF THE SERVICE)
O. WATER VALVES SHALL BE ADJUSTED PER C.O.F. DETAIL NO. 9-03-060 AND MANHOLES SHALL BE ADJUSTED PER C.O.F. DETAIL NO. 9-03-062.
P. ONE HUNDRED PERCENT (100%) OF THE SEWER LINE SHALL BE TESTED FOR UNIFORM SLOPE BY REMOTE CAMERA AND TESTED FOR SHORT-TERM DEFLECTION.
1. WHEN A SEWER SERVICE IS REQUIRED TO BE ABANDONED, IT SHALL BE ABANDONED AT THE PROPERTY LINE AND CAPPED USING THE APPROPRIATE MATERIALS (PVC, CLAY, OR CONCRETE).
2. WHEN AN EXISTING WATER SERVICE IS REQUIRED TO BE ABANDONED, IT SHALL BE ABANDONED AT THE MAIN. THE SADDLE AND CORP. STOP SHALL BE REMOVED AND THE MAIN CLAMPED WITH AN APPROVED FULL CIRCLE REPAIR CLAMP.
Q. THE LOCATION OF WATER SERVICES SHALL BE IDENTIFIED BY BRANDING A "W" ON THE TOP OR FACE OF CURB.
R. SEWER SERVICE LOCATIONS SHALL BE IDENTIFIED BY BRANDING A "S" ON THE TOP OR FACE OF CURB.

C.O.F. PAVING NOTES

A. EXCEPT POINT OF MATCHING TERMINATION AND OVERLAY, IF NECESSARY, SHALL BE DETERMINED IN THE FIELD BY THE CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVE. WHEN A LONGITUDINAL JOINT ASSOCIATED WITH A TRENCH PATH, PAVEMENT MATCH OR OTHER OCCURS ON A STREET WITH A BIKE LANE, THE JOINT SHALL BE LOCATED OUTSIDE OF THE BIKE LANE.
B. NO JOB WILL BE CONSIDERED COMPLETE UNTIL: A) ALL CURBS, PAVEMENTS, SIDEWALKS, CATCH BASINS, STORM DRAINS, AND MANHOLES HAVE BEEN CLEANED OF ALL DIRT AND DEBRIS; B) SURVEY MONUMENTS ARE INSTALLED AND STAMPED; C) ALL FRAMES, COVERS AND VALVE BOXES ARE ADJUSTED TO GRADE.
C. NO PAVING CONSTRUCTION SHALL BE STARTED UNTIL ALL UTILITY LINES ARE COMPLETED AND APPROVED UNDER PROPOSED PAVED AREAS.
D. BASE COURSE WILL NOT BE PLACED UNTIL SUBGRADE HAS BEEN APPROVED BY THE CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVE.
E. THE LOCATION OF ALL WATER VALVES, FIRE HYDRANTS, AND MANHOLES MUST AT ALL TIMES DURING CONSTRUCTION BE REFERENCED AND MADE ACCESSIBLE TO THE CITY.
F. UTILITY FACILITIES IN CONFLICT WITH THIS WORK WILL BE RELOCATED BY THE PERMITTEE OR THE UTILITY OWNER. THIS ACTIVITY SHALL BE COORDINATED WITH THE OWNER OF THE UTILITY TO PREVENT ANY UNNECESSARY INTERRUPTION OF SERVICE TO EXISTING CUSTOMERS.
G. EXISTING STREET NAME SIGNS, TRAFFIC SIGNS AND DEVICES ASSOCIATED WITH THE PROJECT SHALL BE MAINTAINED DURING CONSTRUCTION AND RELOCATED BY THE CONTRACTOR AS SHOWN ON THE APPROVED PLANS.
H. ANY CHANGES OR ADDITIONS TO PAVEMENT MARKINGS CAUSED BY PAVEMENT OVERLAY, CHIP SEAL OR INSTALLATION OF UNDERGROUND FACILITIES SHALL BE SHOWN ON THE APPROVED PLANS.

I. A CHIP SEAL IS REQUIRED ON ALL PUBLIC PAVING PROJECTS. ON PROJECTS WHERE THE CONTRACTOR CAUSES EXCESSIVE DAMAGE TO AN EXISTING PAVED STREET OR THERE ARE MULTIPLE STREET CUTS (MAXIMUM OF FOUR IN 500 FEET) AN ASPHALT OVERLAY SHALL BE REQUIRED.

J. A PRIME COAT IS NOT REQUIRED UNLESS SO SPECIFIED IN THE SOILS AND PAVEMENT REPORT AND/OR SHOWN ON THE PLANS.

K. ALL CURB AND GUTTER, SIDEWALK, DRIVEWAYS, AND SIDEWALK RAMPS SHALL BE CONSTRUCTED ON A MINIMUM 3 INCHES OF AGGREGATE BASE COURSE (ABC). THE ABC SHALL BE CONSTRUCTED PER MAG SECTION 310 AND SHALL BE COMPACTED TO 95 % RELATIVE DENSITY. ALL PRECAST STRUCTURES SUCH AS MANHOLE BASES, CATCH BASINS, AND BOX CULVERTS SHALL BE CONSTRUCTED ON A MINIMUM OF 3 INCHES ABC.

L. PERMANENT PAVEMENT MARKINGS.
1. TRANSVERSE PAVEMENT MARKINGS SUCH AS STOP BARS, CROSSWALKS, ARROWS AND LEGENDS SHALL BE INSTALLED PER ADOT STANDARD SPECIFICATION 705, TYPE 1.
2. LONGITUDINAL PAVEMENT MARKINGS SHALL BE INSTALLED PER ADOT SPECIFICATION 708 AND SHALL BE APPLIED IN TWO COATS.

M. TEMPORARY PAVEMENT MARKINGS.
1. TEMPORARY PAVEMENT MARKINGS WHEN APPROVED, SHALL BE INSTALLED PER ADOT STANDARD SPECIFICATION 701-3.05.
2. THE USE OF TEMPORARY MARKINGS IS STRONGLY DISCOURAGED AND MAY ONLY BE USED WITH PRIOR APPROVAL.
a. WHEN IT IS USED, THE CONTRACTOR MUST BE AVAILABLE TO RESTRIPE AS NEEDED UNTIL THE PERMANENT MARKINGS CAN BE INSTALLED.

NOTE: WHEN IT IS IMPRACTICAL FOR THE CONTRACTOR TO PROVIDE PERMANENT MARKINGS THE CITY PUBLIC WORKS DEPARTMENT MAY INSTALL THE MARKINGS ON BEHALF OF THE CONTRACT PROVIDED THE FEE FOR THE WORK IS AGREED UPON AND PAID FOR IN ADVANCE.

N. THE MAXIMUM THICKNESS OF A SINGLE LIFT OF PAVEMENT SHALL BE 4 INCHES.

ADEQ STANDARD NOTES

THE STATE LAW, ARS SECTION 49-104.B.10, REQUIRES THAT CONSTRUCTION OF THE PROJECT MUST BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY. THIS CERTIFICATE WILL BE VOID IF CONSTRUCTION HAS NOT STARTED WITHIN ONE YEAR OF THE APPROVAL DATE. UPON REQUEST A WRITTEN TIME EXTENSION MAY BE GRANTED BY THE DEPARTMENT.

A DEFLECTION TEST OF THE TOTAL LENGTH OF ALL SEWER LINES MADE OF PLASTIC SHALL BE REQUIRED TO ENSURE THAT THE INSTALLATION MEETS OR EXCEEDS THE MANUFACTURER'S RECOMMENDATIONS PER AAC R18-9-E301(D)2(i).

ALL PVC WATERLINES AND FITTINGS SHALL HAVE NSF-PW SEAL. ALL MATERIALS AND PRODUCTS USED IN DRINKING WATER SYSTEM SHALL CONFORM TO NSF STANDARD 61.

PIPE, FITTINGS, VALVES, FIRE HYDRANTS AND OTHER APPEARANCES SHALL CONFORM THE CURRENT STANDARDS OF THE AMERICAN WATER WORKS ASSOCIATION, AMERICAN STANDARDS ASSOCIATION OR THE FEDERAL GOVERNMENT.

EXFILTRATION/INFILTRATION FROM MANHOLES SHALL BE LIMITED TO 0.1 GALLON/HOUR/VERT FOOT.

INSTALLATION OF PVC SEWERS MUST BE IN CONFORMANCE WITH CURRENT STANDARD SPECIFICATION ASTM D2321.

PER AAC R18-9-301(D)(2)(b)(i), MINIMUM COVER REQUIRED FOR SEWER SERVICE MAINS IS 3'.

MANHOLES WILL BE TESTED PER AAC R18-9-E301(D)93(e) USING THE WATERTIGHTNESS METHOD OR NEGATIVE AIR PRESSURE TESTING.

TEST EACH SEGMENT OF THE SEWER LINE FOR LEAKAGE USING THE APPLICABLE METHOD LISTED IN AAC R18-9-E301(D)(2)(j).

WOODSON ENGINEERING GENERAL NOTES

THE WORK SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT EDITION(S) OF THE FOLLOWING SPECIFICATIONS AND THESE PLANS: MAG UNIFORM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, CITY OF FLAGSTAFF ENGINEERING DESIGN AND CONSTRUCTION STANDARDS, ADHS (ADEQ) ENGINEERING BULLETINS NO. 8 AND 10 AND ARIZONA ADMINISTRATIVE CODE R18-4 (WATER SYSTEMS), ARIZONA ADMINISTRATIVE CODE R18-9-E301 (SEWER WORKS), AWWA STANDARDS, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AND ADOT STANDARD SPECIFICATIONS AND DRAWINGS.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COPIES OF THE ABOVE STANDARDS, SPECIFICATIONS, AND DETAILS, AS WELL AS ALL OTHER STANDARDS AND SPECIFICATIONS WHICH MAY BE NECESSARY TO COMPLETELY AND ACCURATELY INTERPRET THESE PLANS.

ALL QUANTITIES SHOWN ARE APPROXIMATE AND ARE FURNISHED SOLELY FOR THE CONTRACTOR'S CONVENIENCE. THEY DO NOT NECESSARILY CORRESPOND TO BID SCHEDULE ITEMS. PAYMENT WILL BE BASED ON BID SCHEDULE ITEMS FOR THE ENTIRE JOB AS SHOWN OR INFERRED BY THESE PLANS. THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR INDEPENDENTLY ESTIMATING QUANTITIES PRIOR TO BIDDING.

THE LOCATION OF EXISTING FEATURES INDICATED ON THE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR MAKING COMPLETE AND ACCURATE ON-SITE DETERMINATIONS OF THE LOCATIONS OF ALL UTILITIES, STRUCTURES AND FIELD CONDITIONS, WHICH MAY AFFECT THE PROGRESS OF THE WORK.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING WHAT PERMITS WILL BE REQUIRED FOR THE WORK AND OBTAINING AT HIS OWN EXPENSE ALL PERMITS REQUIRED UNLESS STATED OTHERWISE IN THE CONTRACT.

CERTIFICATION OF PRIVATE/NON-BUILDING STRUCTURES MAY BE REQUIRED BY THE CITY OF FLAGSTAFF. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY REQUIRED CERTIFICATIONS.

ALL ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS (EXCEPT AS NOTED).

THE REGISTRANTS DUTY TO SEAL PROFESSIONAL DOCUMENTS DOES NOT EXTEND TO STANDARD DETAILS. SPECIFICATIONS THAT HAVE BEEN OFFICIALLY ADOPTED AND PROVIDED BY THE AGENCY THAT HAS JURISDICTION OVER THIS PROJECT. THE STANDARD DETAILS AND SPECIFICATIONS SHOWN WITH THESE DOCUMENTS ARE INCLUDED TO PROVIDE CLEAR AND COMPLETE INFORMATION AND WERE NOT PREPARED BY THE REGISTRANT.

GENERAL STRIPING NOTES

ALL PAVEMENT STRIPING SHALL CONFORM TO THE APPLICABLE ADOT SPECIFICATIONS FOR PAINT, MATERIALS, STRIPING, AND MARKING. WHITE PAINT SHALL BE USED AND TREATED FOR REFLECTIVITY. ALL STRIPING SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

EROSION PROTECTION

THE CONTRACTOR IS RESPONSIBLE FOR STABILIZATION OF SOILS AND PREVENTION OF EROSION DURING CONSTRUCTION WHERE SLOPE STABILIZATION REQUIRES THE ESTABLISHMENT OF PLANTS. EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL PLANTS ARE ESTABLISHED TO THE SATISFACTION OF THE OWNER AND THE APPROVING AGENCY.

RESOURCE PROTECTION

THE CITY PLANNING DIRECTOR OR HIS AUTHORIZED REPRESENTATIVE MAY SUSPEND THE WORK BY WRITTEN NOTICE WHEN, IN HIS JUDGMENT, LAND DISTURBANCE IS OCCURRING IN RESOURCE PROTECTED AREAS.

TEMPORARY TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY ON-SITE CONSTRUCTION OR GRADING ACTIVITIES. FENCING SHALL CONSIST OF 6' HIGH CHAIN LINK SECURED TO 1-POST OR SNOW FENCING SECURED TO T-POST, WITH TOP

JOB SITE SAFETY

NEITHER THE PROFESSIONAL ACTIVITIES OF THE DESIGN PROFESSIONAL, NOR THE PRESENCE OF THE DESIGN PROFESSIONAL OR HIS OR HER EMPLOYEES AND SUB CONSULTANTS AT A CONSTRUCTION SITE, SHALL RELIEVE THE GENERAL CONTRACTOR AND ANY OTHER ENTITY OF THEIR OBLIGATIONS, DUTIES, AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING OR COORDINATING ALL PORTIONS OF THE WORK OF CONSTRUCTION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. THE DESIGN PROFESSIONAL AND HIS OR HER PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR OTHER ENTITY OR THEIR EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PRECAUTIONS. THE CLIENT AGREES THAT THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOBSITE SAFETY, AND WARRANTS THAT THIS INTENT SHALL BE MADE EVIDENT IN THE CLIENT'S AGREEMENT WITH THE GENERAL CONTRACTOR. THE CLIENT ALSO AGREES THAT THE CLIENT, THE DESIGN PROFESSIONAL AND THE DESIGN PROFESSIONAL'S CONSULTANTS SHALL BE INDEMNIFIED AND SHALL BE MADE ADDITIONAL INSUREDS UNDER THE GENERAL CONTRACTOR'S GENERAL LIABILITY INSURANCE POLICY.

RIGHT-OF-WAY AND TRAFFIC CONTROL

THE CONTRACTOR SHALL PROVIDE ANY NECESSARY TRAFFIC CONTROL DEVICES REQUIRED FOR THE CONTROL OF VEHICLE AND PEDESTRIAN TRAFFIC AFFECTED BY THE CONSTRUCTION. ALL TRAFFIC CONTROL PLANS MUST BE APPROVED BY THE OWNER OR HIS REPRESENTATIVE PRIOR TO IMPLEMENTATION.

CONSTRUCTION STAKES, LINES AND GRADES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR RETAINING A REGISTERED LAND SURVEYOR, LICENSED TO PRACTICE IN ARIZONA WHO SHALL BE RESPONSIBLE FOR PROVIDING ALL STAKES NECESSARY TO ESTABLISH CONSTRUCTION LINES AND GRADES. STAKES PROVIDED SHALL BE OF SUFFICIENT NUMBER TO SATISFY THE ENGINEER THAT THE WORK MAY BE CONSTRUCTED IN ACCORDANCE WITH THE PLANS.

ALL COSTS ASSOCIATED WITH STAKING ARE TO BE BORNE BY THE CONTRACTOR. NO ADDITIONAL PAYMENT TO THE CONTRACTOR FOR EXTRA STAKES OR FOR RESTAKING WILL BE ALLOWED.

UTILITIES

UNDERGROUND UTILITY LOCATIONS SHOWN ON THESE PLANS WERE DETERMINED FROM FIELD MEASUREMENTS, CONSTRUCTION PLANS, RECORD PLANS OR UTILITY MAPS FURNISHED BY OTHERS. LOCATIONS OF UNDERGROUND UTILITIES ARE TO BE REGARDED AS APPROXIMATE ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ESTABLISH IN THE FIELD THE ACTUAL LOCATIONS OF ALL UNDERGROUND LINES WHICH MAY IN ANY WAY AFFECT THE WORK.

IT IS NOT WITHIN THE SCOPE OF THE PLANS FOR THE ENGINEER TO LOCATE, IDENTIFY OR FORESEE EVERY UTILITY CONFLICT WHICH MAY ARISE DURING THE CONSTRUCTION PHASE OF THE PROJECT. BUT IT IS THE INTENT OF THE OWNER TO REASONABLY COMPENSATE THE CONTRACTOR FOR THE WORK REQUIRED TO RELOCATE OR ADJUST UTILITIES CONFLICTING WITH THE CONSTRUCTION OF THE PROJECT. TO THAT END, UTILITIES (AS DEFINED IN MAG 101.2) WHICH ARE ENCOUNTERED WILL BE ADDRESSED AS FOLLOWS:

1) UTILITY RELOCATIONS OR ADJUSTMENTS NOTED ON THE PLANS SHALL BE PAID FOR PER THE BID SCHEDULE.

2) UTILITY RELOCATIONS OR ADJUSTMENTS NOT NOTED ON THE PLANS SHALL BE ADDRESSED ON A CASE BY CASE BASIS. THE ENGINEER SHALL DETERMINE WHAT WORK IS REQUIRED TO PRODUCE THE DESIRED FINAL PRODUCT. IF A UNIT AND PRICE DOES NOT EXIST THEN COMPENSATION MUTUALLY ACCEPTABLE TO THE OWNER, CONTRACTOR, AND ENGINEER SHALL BE MADE.

IN EITHER SITUATION, WORK ON THE SPECIFIC CASE SHALL NOT PROCEED UNTIL THE AMOUNT OF COMPENSATION IS AGREED UPON.

COMPENSATION FOR UTILITY RELOCATIONS AND ADJUSTMENTS SHALL NOT INCLUDE COSTS FOR REPAIR TO THE UTILITY DAMAGED BY THE CONTRACTOR OR HIS SUBCONTRACTOR(S). THE CONTRACTOR IS NOT RELIEVED OF THE RESPONSIBILITY FOR DETERMINING THE LOCATION OF ALL UTILITIES AFFECTING THE WORK.

THE APPROPRIATE UTILITY COMPANIES SHALL BE NOTIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. THE "BLUE STAKE" NUMBER IS 1-800-STAKEIT. CONTRACTOR SHALL ALLOW TWO WORKING DAYS AFTER "BLUE STAKE" IS NOTIFIED, BEFORE COMMENCING ANY EXCAVATION WORK IN THE PROXIMITY OF BURIED UTILITIES.

AT LEAST 48 HOURS PRIOR NOTICE IS REQUIRED BEFORE DISRUPTING EXISTING UTILITY SERVICE TO MAKE CONNECTIONS OR DISCONNECTIONS. THE NOTICE MUST INCLUDE THE EXACT TIME OF THE DISRUPTION OF SERVICE AND THE EXPECTED DURATION OF THE LOSS OF SERVICE.

CERTAIN UTILITIES ARE TO REMAIN IN SERVICE DURING THE CONSTRUCTION OF THE FILL AND UPON COMPLETION OF THE CONTRACT. THESE UTILITIES SHALL BE PROTECTED DURING THE CONSTRUCTION AND CUT OR FILL PLACEMENT SHALL NOT PROHIBIT MAINTENANCE ACCESS TO THESE UTILITIES.

DRAINAGE MAINTENANCE DURING CONSTRUCTION

ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR PROPERTY OWNER.

CONSTRUCTION DRAINS SHALL BE PROVIDED AS NEEDED TO ENABLE WATER TO DRAIN FROM THE CONSTRUCTION AREA RAPIDLY AND WITHOUT DAMAGING THE WORK IN PROGRESS. TO FURTHER PROMOTE GOOD DRAINAGE OF THE SITE, DRAINAGE CHANNELS, CULVERTS, AND STRUCTURES, SHALL BE CONSTRUCTED FROM DOWNSTREAM TO UPSTREAM IN SUCH A WAY THAT, DURING CONSTRUCTION, THEY DO NOT IMPEDE THE FLOW OF WATER FROM THE CONSTRUCTION AREA.

NO EXTENSION OF TIME SHALL BE GRANTED ON ACCOUNT OF THE TIME REQUIRED TO MAKE SUCH REPAIRS.

FILL CONSTRUCTION

SITE PREPARATION, EXCAVATION AND PLACEMENT SHALL BE IN ACCORDANCE WITH THE CITY OF FLAGSTAFF ENGINEERING STANDARDS, MAG UNIFORM STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION OR AS INDICATED ON THE PLANS. THE BID SCHEDULE ITEM FOR FILL CONSTRUCTION IS INTENDED TO INCLUDE FULL PAYMENT FOR ALL MATERIAL REQUIRED TO BUILD THE PROJECT AND THE DISPOSAL OF ANY EXCESS MATERIAL FROM THE SITE.

MISCELLANEOUS REMOVALS AND OTHER WORK

REMOVALS NECESSITATED BY THE WORK AS IT PROGRESSES AND NOT SPECIFICALLY CALLED OUT ON THE PLANS WILL BE CONSIDERED INCIDENTAL WORK.

WATER SUPPLY

THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND PROVIDE ALL NECESSARY WATER FOR HIS CONSTRUCTION OPERATION AT HIS OWN EXPENSE.

CLEANUP AND DUST CONTROL

THROUGHOUT ALL PHASES OF THE CONSTRUCTION THE CONTRACTOR SHALL KEEP THE WORK AREA, ADJACENT PROPERTIES AND STREETS CLEAN AND FREE FROM UNDESIRABLE EXCESS MATERIALS, DUST AND DEBRIS GENERATED BY THE CONSTRUCTION ACTIVITY.

DESIGN STANDARDS

GRAVITY SEWER SLOPE REQUIREMENTS

Table with columns DIA, MIN, MAX. Rows for 8", 15", 27", 30" diameters.

MOST CONSERVATIVE SLOPE REQUIREMENT USED
MIN - PER AAC R18-9-E301
MAX - PER FLAGSTAFF ENGINEERING STANDARDS 9-02-050, n=0.010

SEWER SERVICE SEPARATIONS PER COF 13-109-001-0004

WATER MAIN MUST BE 6" ABOVE SEWER SERVICES OR SEWER SERVICES MUST BE 1' OVER A WATER MAIN

AS-BUILT DRAWINGS stamp with date 3/28/16, by Alicia Stoffers, PE, and WOODSON ENGINEERING AND SURVEYING, INC. logo.



Signature of Alicia Stoffers, dated 3/28/16, expires 9/30/2017.

EROSION CONTROL

THE CONTRACTOR SHALL COMPLY WITH ALL OF THE PROVISIONS OF THE CITY OF FLAGSTAFF STORMWATER DESIGN MANUAL RELATING TO EROSION CONTROL.

STORMWATER POLLUTION PREVENTION PLANS ARE REQUIRED FOR ANY LAND DISTURBING ACTIVITY BETWEEN 1 AND 5 ACRES.

THE CONTRACTOR SHALL RESEED ALL DISTURBED AREA. THE WORK SHALL CONSIST OF FURNISHING, HAULING, PLACING, AND APPLYING EROSION CONTROL (SEED, MULCH, AND EROSION CONTROL BLANKETS) TO ALL DISTURBED AREAS WITHIN THE PROJECT AREAS AS SHOWN ON THE PLANS.

PERMANENT OR TEMPORARY SOIL STABILIZATION SHOULD BE APPLIED TO DENuded AREAS WITHIN FIFTEEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION SHOULD ALSO BE APPLIED WITHIN FIFTEEN DAYS TO DENuded AREAS WHICH MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN SIXTY DAYS.

APPLICABLE PRACTICES INCLUDE BUT ARE NOT LIMITED TO TEMPORARY EROSION CONTROL MATERIAL, VEGETATIVE ESTABLISHMENT, MULCHING AND THE EARLY APPLICATION OF A GRAVEL BASE IN AREAS TO BE PAVED.

ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE MAINTAINED AND REPAIRED AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION. DAMAGES WHICH MAY OCCUR TO ADJACENT PROPERTY DURING CONSTRUCTION ARE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR THE PERMITTEE.

NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) NOTE

THE ENVIRONMENTAL PROTECTION AGENCY (EPA) REGULATES STORM WATER DISCHARGES FROM CONSTRUCTION SITES UNDER THE NATIONAL STORM WATER PROGRAM. THE PROJECT OWNER AND THE CONSTRUCTION CONTRACTOR SHARE RESPONSIBILITY AND LIABILITY UNDER THIS PROGRAM. ACTIVITIES COVERED UNDER THIS PROGRAM INCLUDE CLEARING, GRADING, AND EXCAVATION. PROJECTS THAT ARE INCLUDED HAVE DISTURBED AREAS WITH MORE THAN 1 ACRES. UNDER NPDES THE CONTRACTOR MUST PREVENT POLLUTANTS FROM THE SITE FROM ENTERING WATERS OF THE US.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTROL EROSION AND RUNOFF FROM A CONSTRUCTION SITE. TO COMPLY WITH REGULATIONS, THE CONTRACTOR MUST FILE A NOTICE OF INTENT TO DISCHARGE (NOI) 2 DAYS BEFORE CONSTRUCTION BEGINS. A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MUST BE DEVELOPED BY BOTH THE OWNER AND THE CONTRACTOR AS PART OF COMPLIANCE WITH THESE REGULATIONS. THE OWNER AND THE CONTRACTOR MUST ALSO IMPLEMENT THE SWPPP. DURING CONSTRUCTION, BOTH THE OWNER AND THE CONTRACTOR MUST CERTIFY THAT ALL WORK PERFORMED PER NPDES REGULATIONS. AFTER CONSTRUCTION IS COMPLETE, THE OWNER AND THE CONTRACTOR MUST FILE A NOTICE OF TERMINATION. ALL WORK DESCRIBED ABOVE MUST BE PERFORMED IN ACCORDANCE WITH NPDES AND THE NATIONAL STORM WATER PROGRAM REGULATIONS.



113801

WOODSON ENGINEERING AND SURVEYING, INC. 124 N. ELDEN ST. • FLAGSTAFF, AZ 86001 • PHONE: (928) 774-4636 FAX: (928) 774-4646

3/9/15

BONITO ST. IMPROVEMENT PLANS CITY OF FLAGSTAFF CONSTRUCTION PLANS

Call two working days before you dig. 1-800-STAKE-IT. 1-800-782-5348. (OUTSIDE MARICOPA COUNTY)

Table with columns for REVISIONS and drawing details.

WOODSON ENGINEERING AND SURVEYING, INC. logo and signature of Alicia Stoffers.

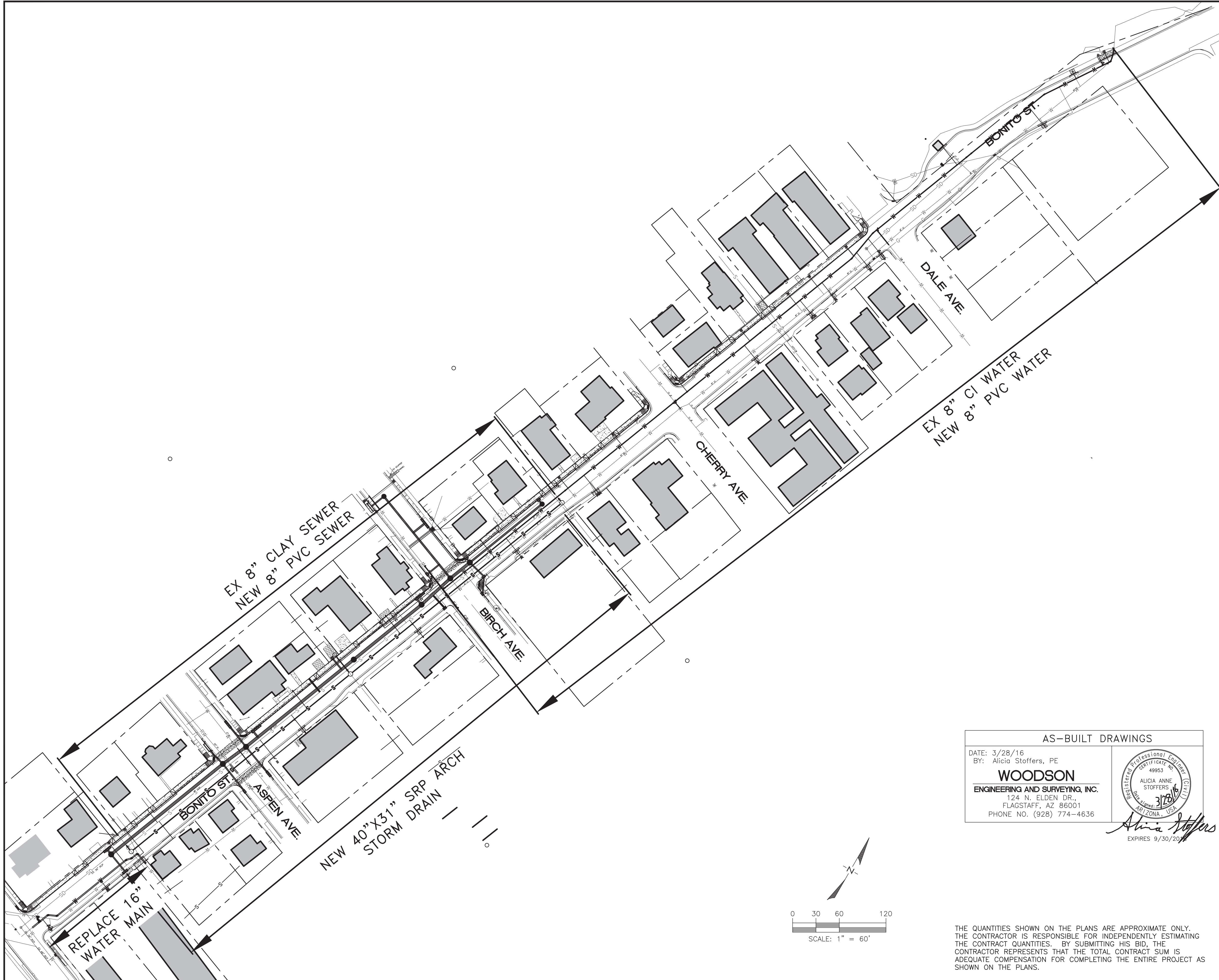
WOODSON ENGINEERING AND SURVEYING, INC. 124 N. ELDEN ST. FLAGSTAFF, AZ 86001. PHONE: (928) 774-4636 FAX: (928) 774-4646

BONITO STREET

TYPICAL NOTES FF57A

Table with columns for drawing scales and project information.

DESIGNED BY: AAS DRAWN BY: AAS CHECKED BY: RLS



### APPROXIMATE QUANTITIES PUBLIC IMPROVEMENTS

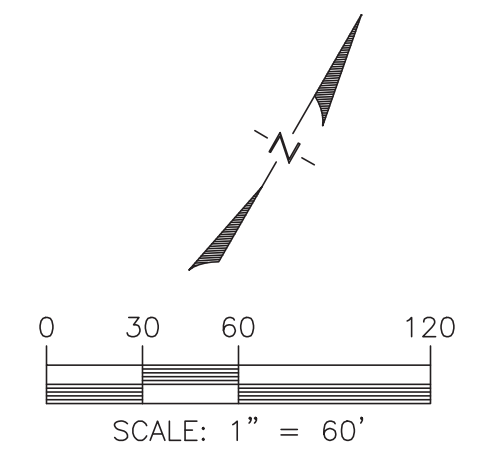
ITEM	QUANTITY
Sawcut, Remove & Dispose Existing Pavement	4,042 SY
Sawcut, Remove & Dispose Existing Concrete	7,615 SF
Sawcut, Remove & Dispose Existing Curb and Gutter	566 LF
Install Survey Monument	4 EA
Mill and Remove Exist. A.C. Pavement and Remove Trees	1,947 SY
A.C. Pavement 4" A.C. on 6" A.B.C	3,729 SY
Asphaltic Concrete for Overlay (2" Thick)	1,947 SY
AC Pavement (T-Top COF SD 9-01-030)	448 SY
Valley Gutter per COF Std Dtl 08-06-010	1,189 SF
6" Vertical Curb & Gutter	1,084 LF
Concrete Sidewalk (MAG SD 230)	4,710 SF
Sidewalk Ramp Type 1	3 EA
Sidewalk Ramp Type 2	2 EA
Residential Driveway Type 1	2,354 SF
Residential Driveway Type 2	338 SF
Remove and Replace Existing Driveway	110 SF
Sidewalk Ramp Type 3	3 EA
Sidewalk Ramp Type 4	1 EA
AC Pavement (T-Top in Mill 2" / 6")	337 EA
Remove and Replace Existing sign	6 EA
Concrete Slope (18" wide)	750 SF
Remove and Replace Dry Stack Wall	1 EA
18" SRP	304 LF
40"x31" (36" Equiv) SRP Arch	594 LF
24" SRP	302 LF
Connect Existing Storm Drain to New MH	1 EA
Catch Basin (MAG 534 E-single)	6 EA
Catch Basin (MAG 532 C, L=12')	2 EA
5' Storm Manhole	7 EA
Catch Basin (MAG 534 E-double)	2 EA
Catch Basin (MAG 534 E-3 units)	2 EA
Catch Basin (MAG 534 E-4 units)	3 EA
4' Storm Manhole	2 EA
Catch Basin (MAG 537 G)	1 EA
Remove & Dispose Existing Water Valve	9 EA
Abandon Water Main in Place	1 EA
20" DIP Class 350 Reclaimed Water	15 LF
8" PVC C-900 Waterline (with fittings)	1,160 LF
Remove & Replace 3/4" Water Service	13 EA
Remove & Replace 1" Water Service	3 EA
Remove & Replace 2" Water Service	3 EA
Connect to Existing Waterline	8 EA
8"X8" Tee	2 EA
Remove, Salvage and Replace Fire Hydrant Assembly	4 EA
8" Gate Valve (w/box & cover)	9 EA
8"X8" Cross	1 EA
8" 45° Bend	3 EA
8" 11.25° Bend	3 EA
Air Release Valve	2 EA
8" DIP Class 350 Water	80 LF
8" DIP Class 350 Water Vertical Realignment	28 LF
1" Water Service to 2-3/4" manifold	2 EA
16" DIP Class 350 Water	185 LF
16" 22.5° Bend	2 EA
16" 45° Bend	3 EA
16" Gate Valve (w/box & cover)	2 EA
16" 90° Bend	1 EA
16" Stub	1 EA
16" Tee	2 EA
Adjust Existing Valve to Grade	1 EA
Remove & Replace 3/4" Water Service	1 EA
Remove & Replace 3/4" Water Service	1 EA
Remove & Replace 1" Water Service (103 N Birch)	1 EA
Remove Exist Manhole	3 EA
8" DIP Class 150 Sewer Line	65 LF
8" PVC SDR 35 Sewer Line	687 LF
Remove & Replace 4" Sewer Service	4 EA
4' Sanitary Sewer Manhole	1 EA
5' Sanitary Sewer Manhole	3 EA
Remove & Replace 6" Sewer Service	1 EA
Connect to Exist Manhole	3 EA
Abandon Service	3 EA
Concrete Encasement of Ex Sewer	74 LF
Traffic Control	1 LS
SWPPP	1 LS

**AS-BUILT DRAWINGS**

DATE: 3/28/16  
BY: Alicia Stoffers, PE

**WOODSON**  
ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN DR.,  
FLAGSTAFF, AZ 86001  
PHONE NO. (928) 774-4636

*Alicia Stoffers*  
EXPIRES 9/30/2016



THE QUANTITIES SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY ESTIMATING THE CONTRACT QUANTITIES. BY SUBMITTING HIS BID, THE CONTRACTOR REPRESENTS THAT THE TOTAL CONTRACT SUM IS ADEQUATE COMPENSATION FOR COMPLETING THE ENTIRE PROJECT AS SHOWN ON THE PLANS.

FF57A

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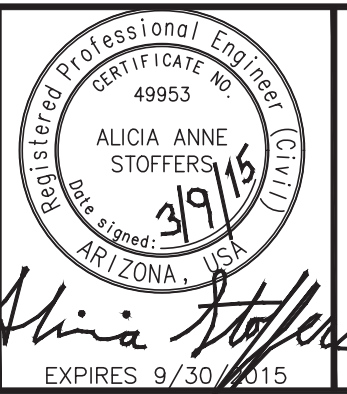
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3/9/15

BONITO ST. IMPROVEMENT PLANS  
CITY OF FLAGSTAFF  
CONSTRUCTION PLANS



REVISIONS:  
2/2/15 PER ADEQ PIPE MATERIAL TYPES ADDED



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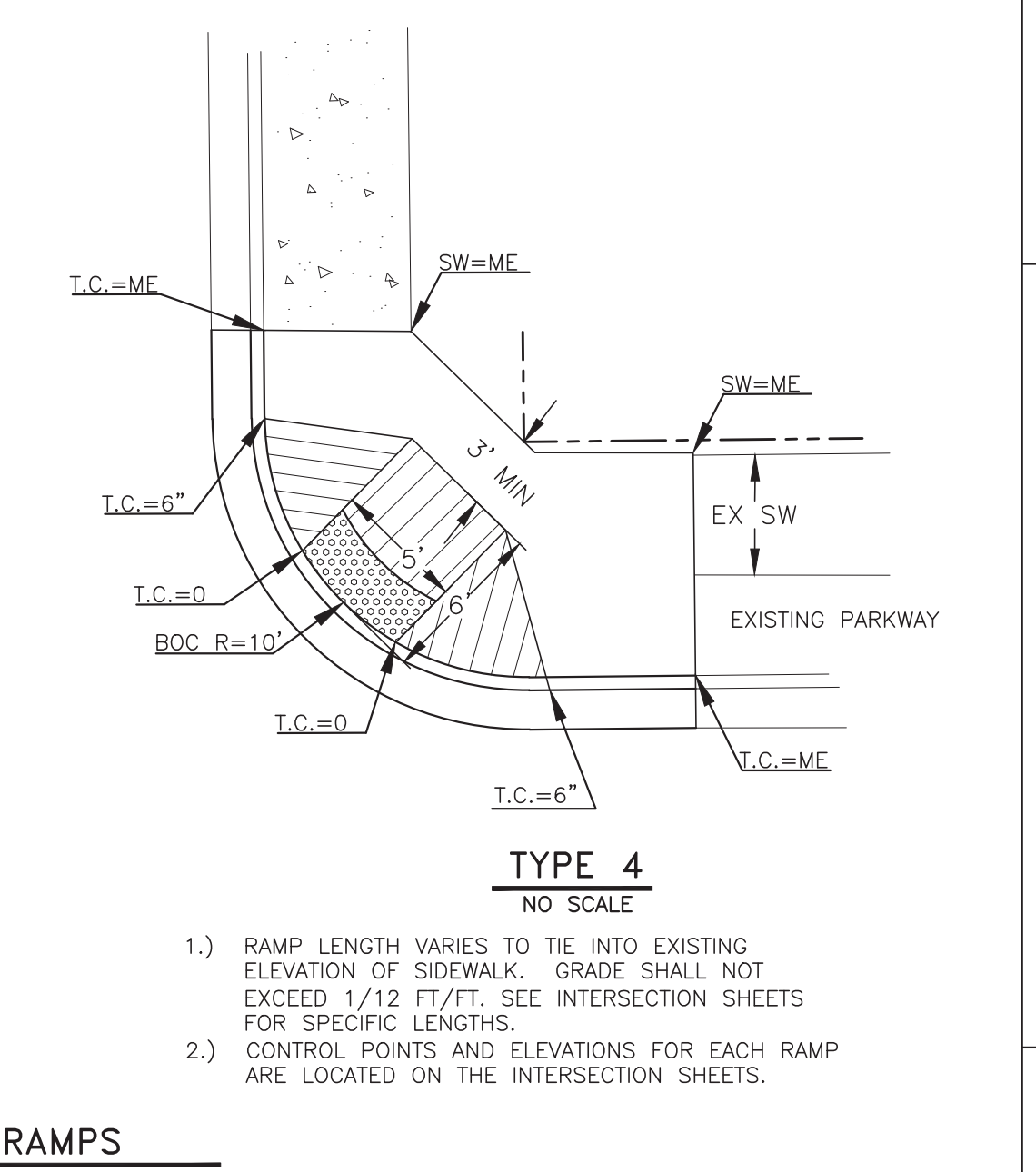
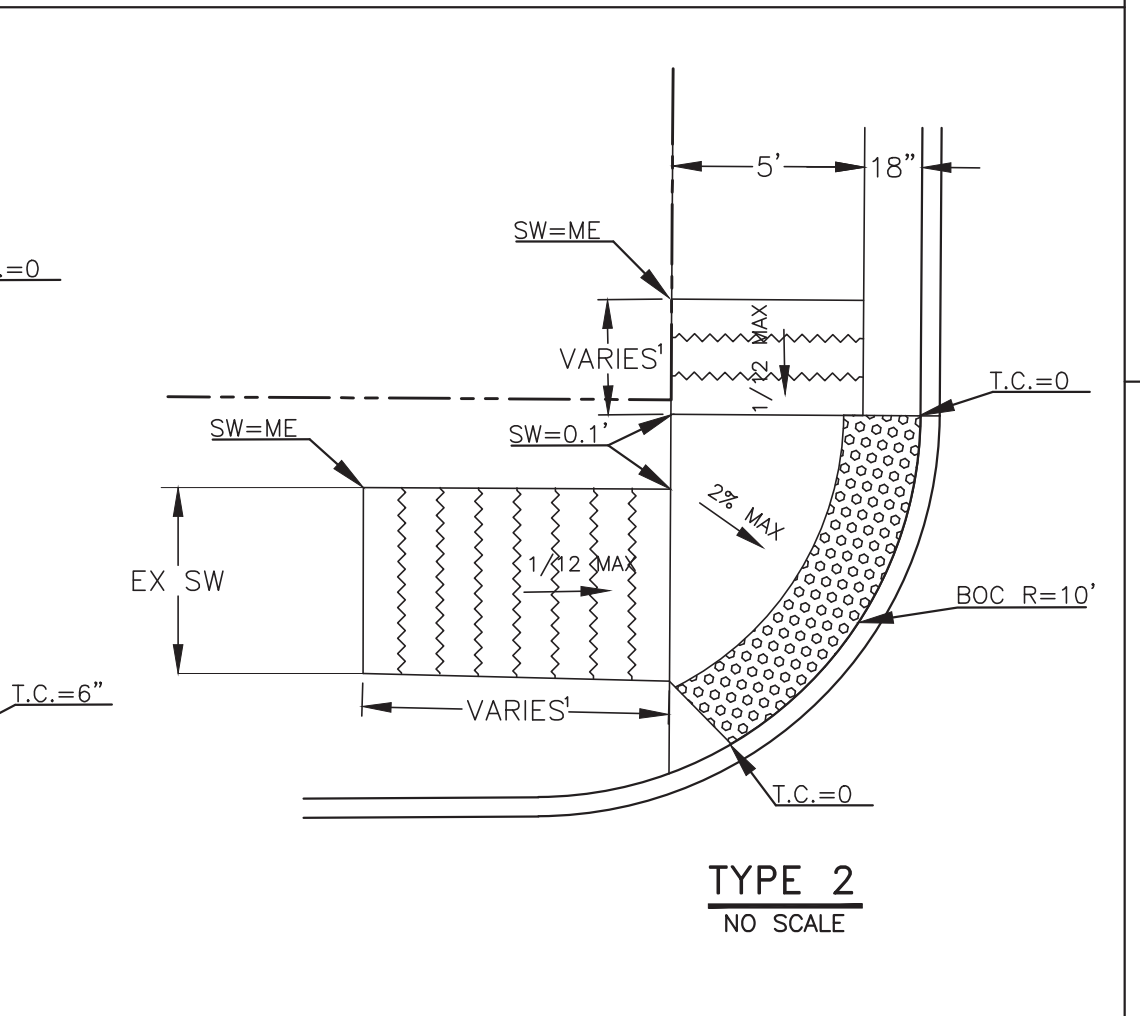
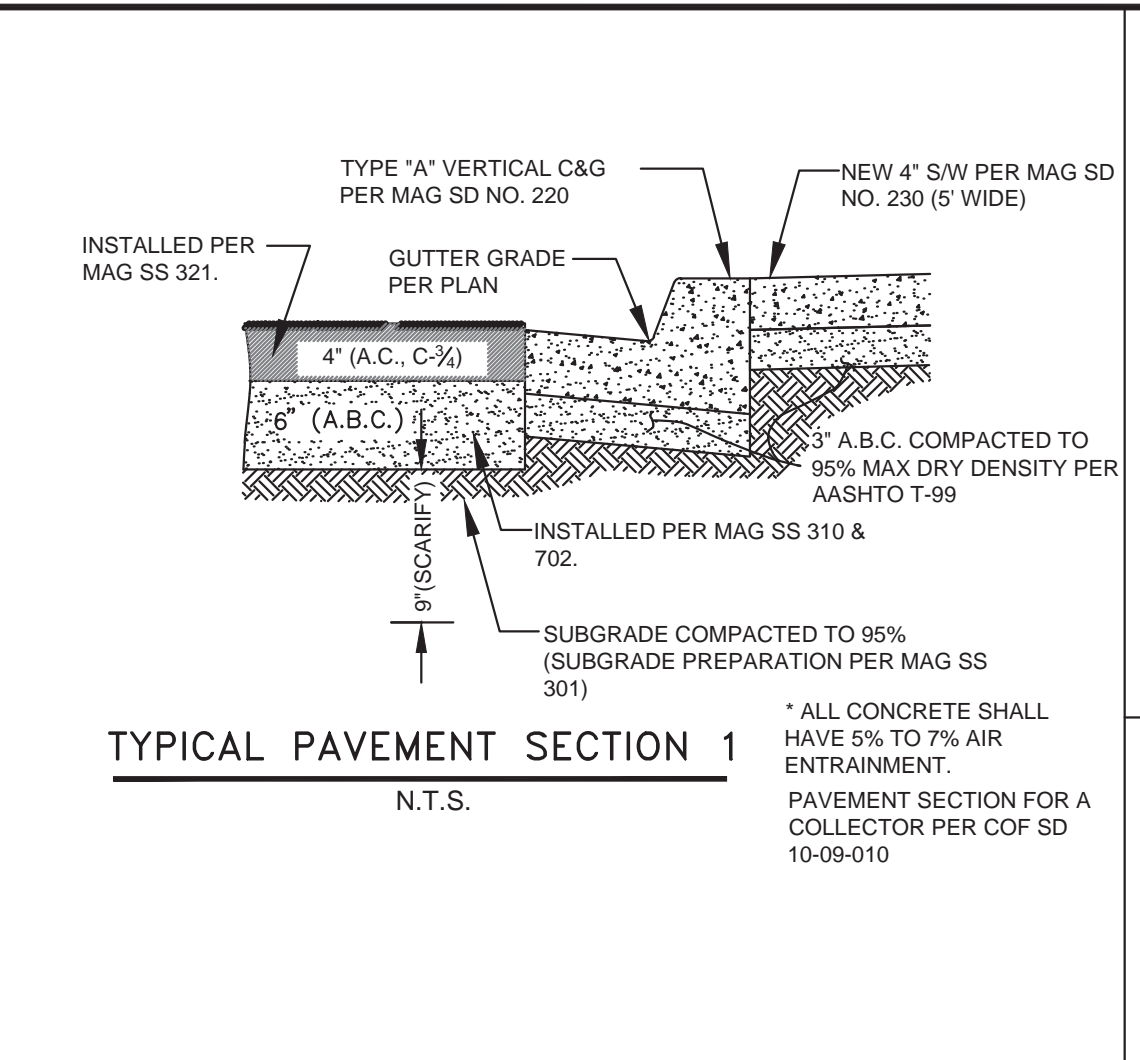
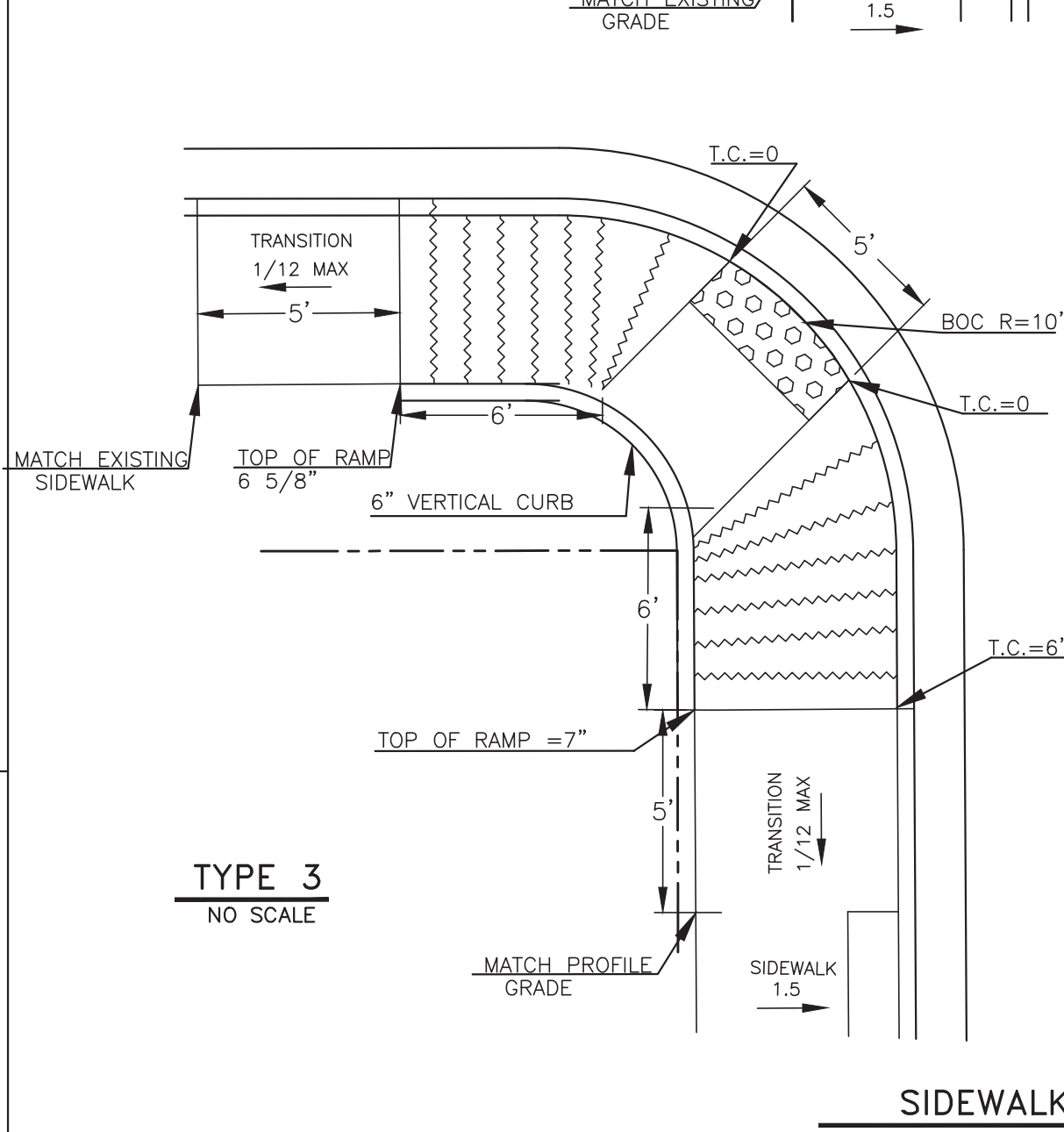
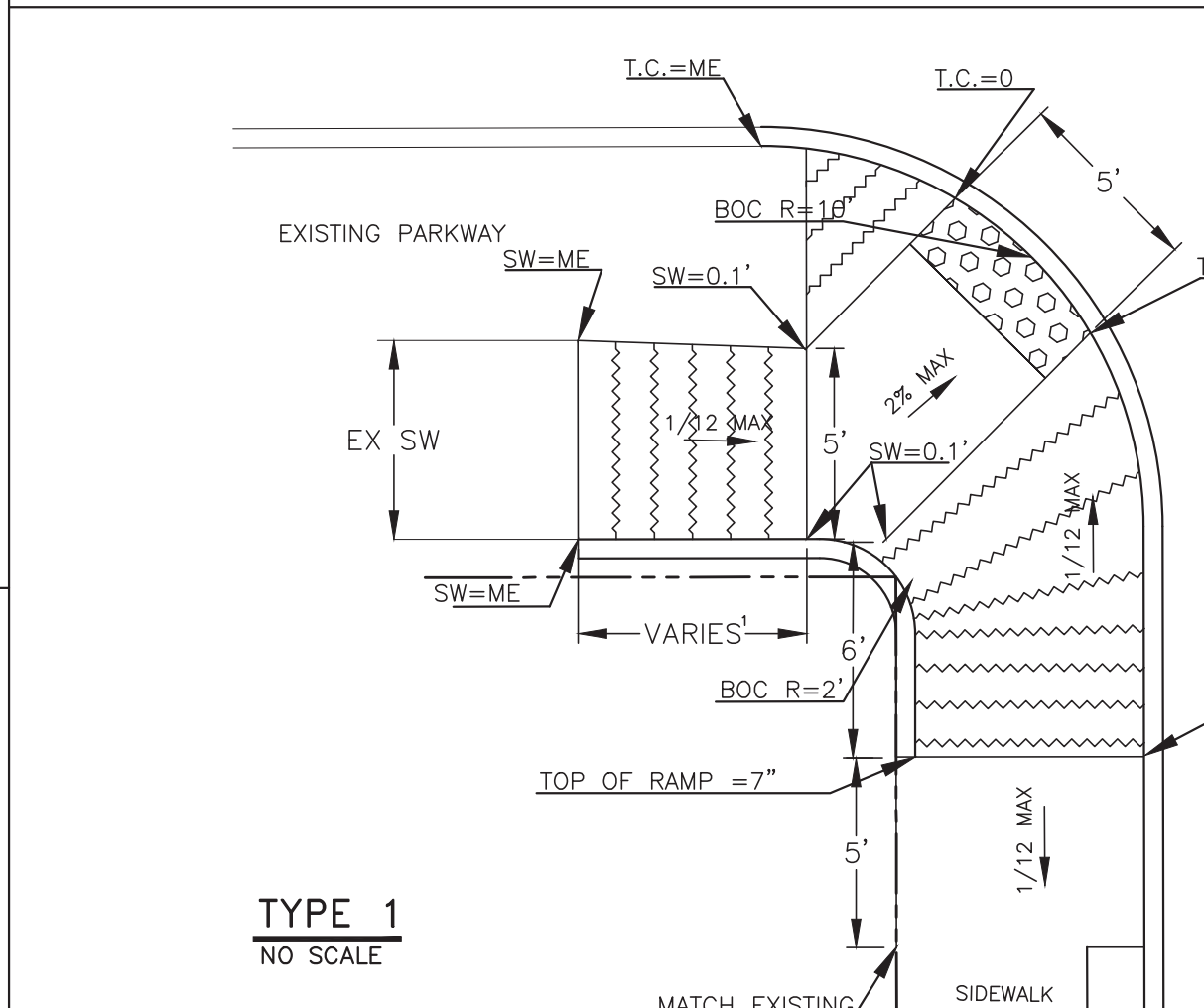
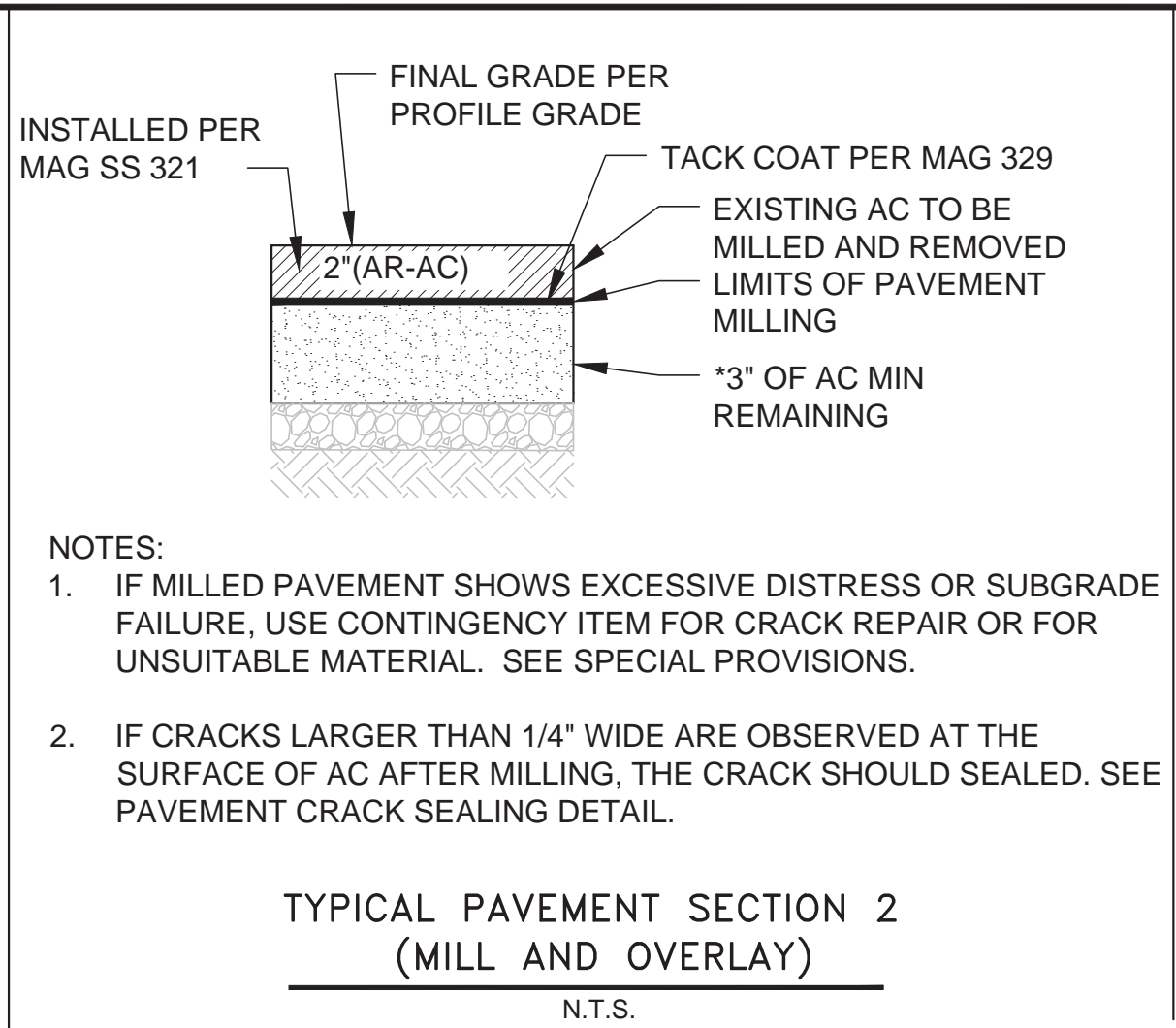
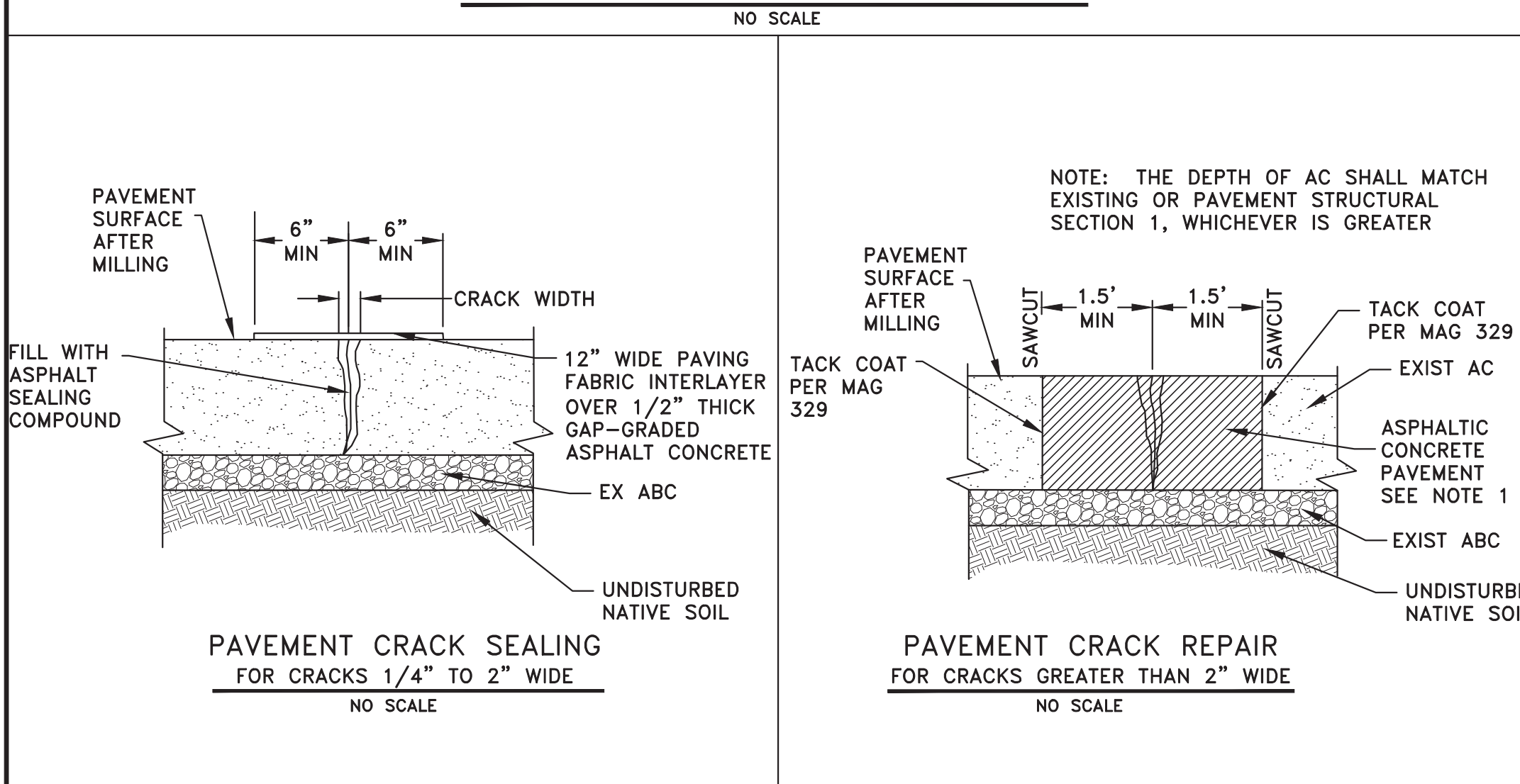
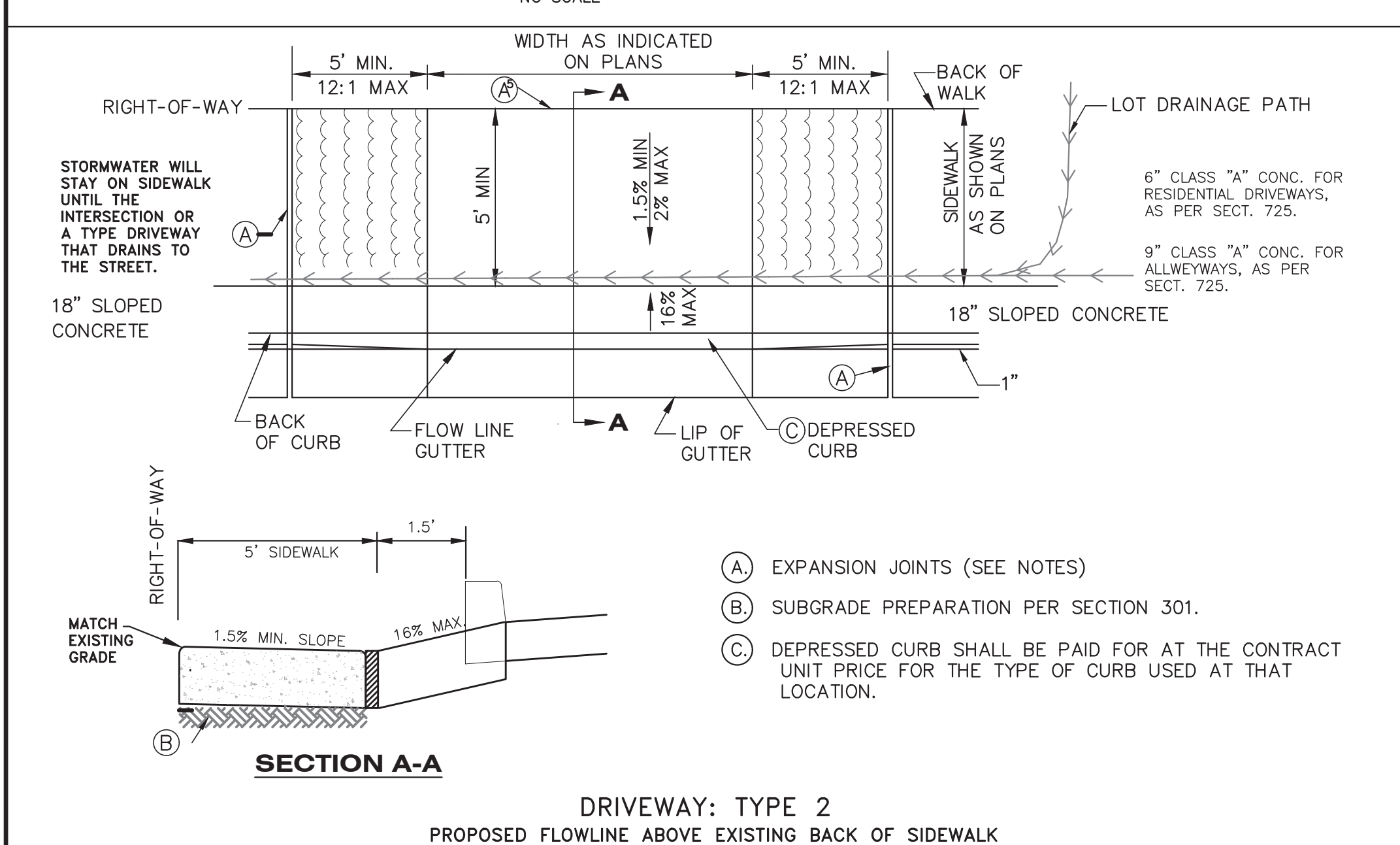
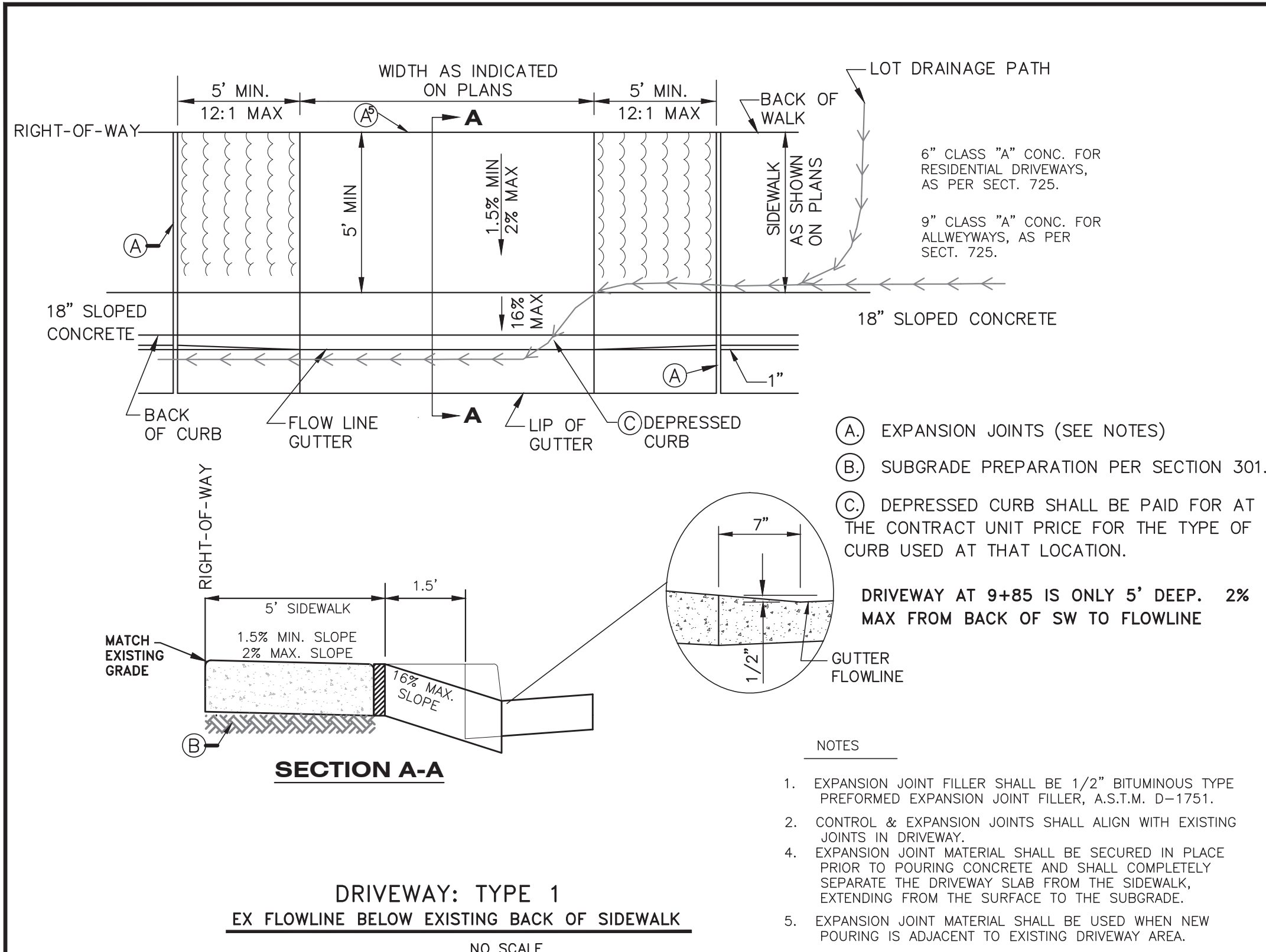
BONITO STREET

### OVERALL UTILITY PLAN & QUANTITIES

HOR SCALE: 1"=20'
VERT SCALE: 1"=2'
DATE: 3/9/15
PROJECT NO.: 113801
AGENCY NO.: 03-13012
SHEET NO.: 3 OF 22

DESIGNED BY: AAS  
DRAWN BY: AAS  
CHECKED BY: RLS



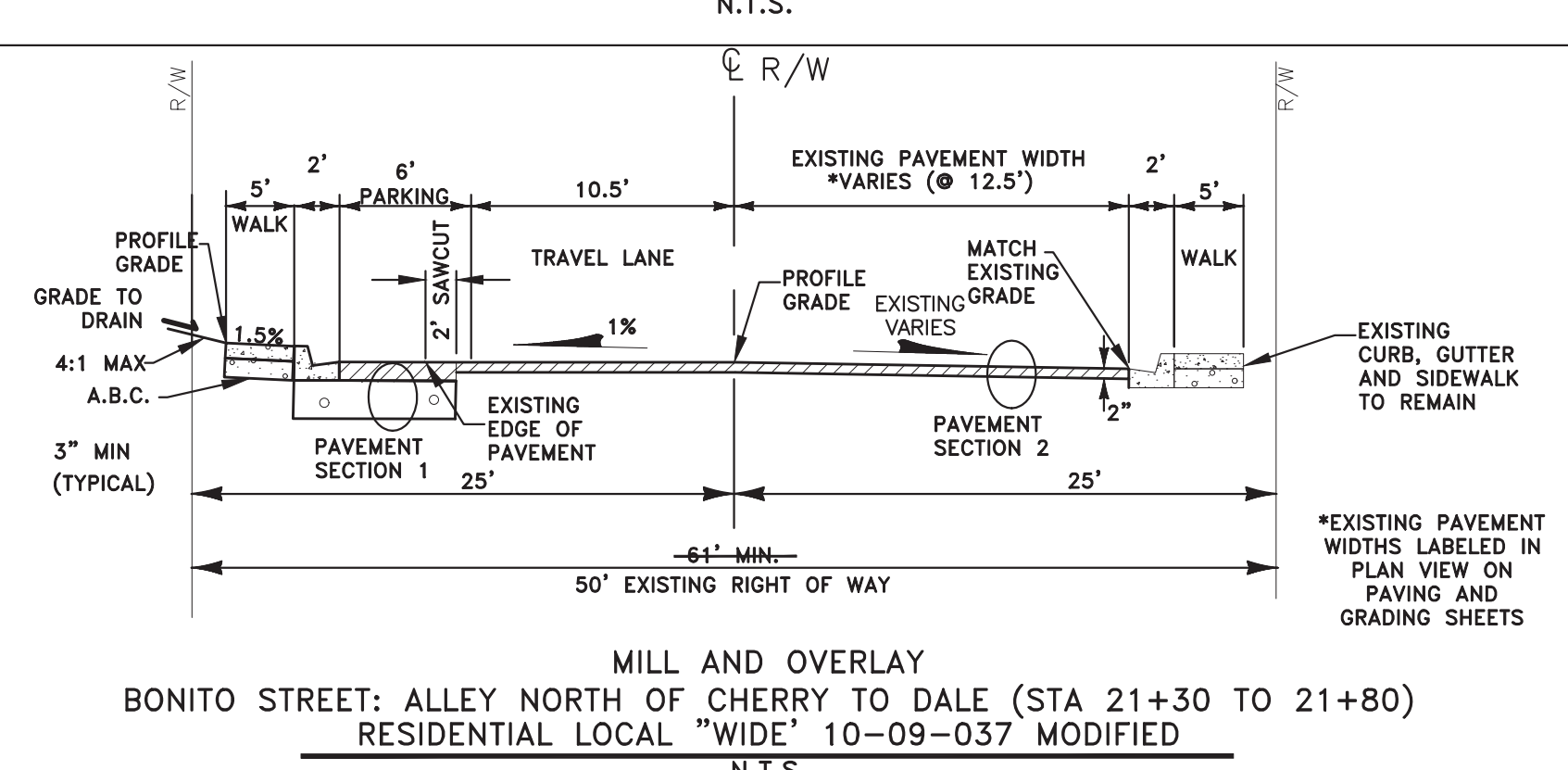
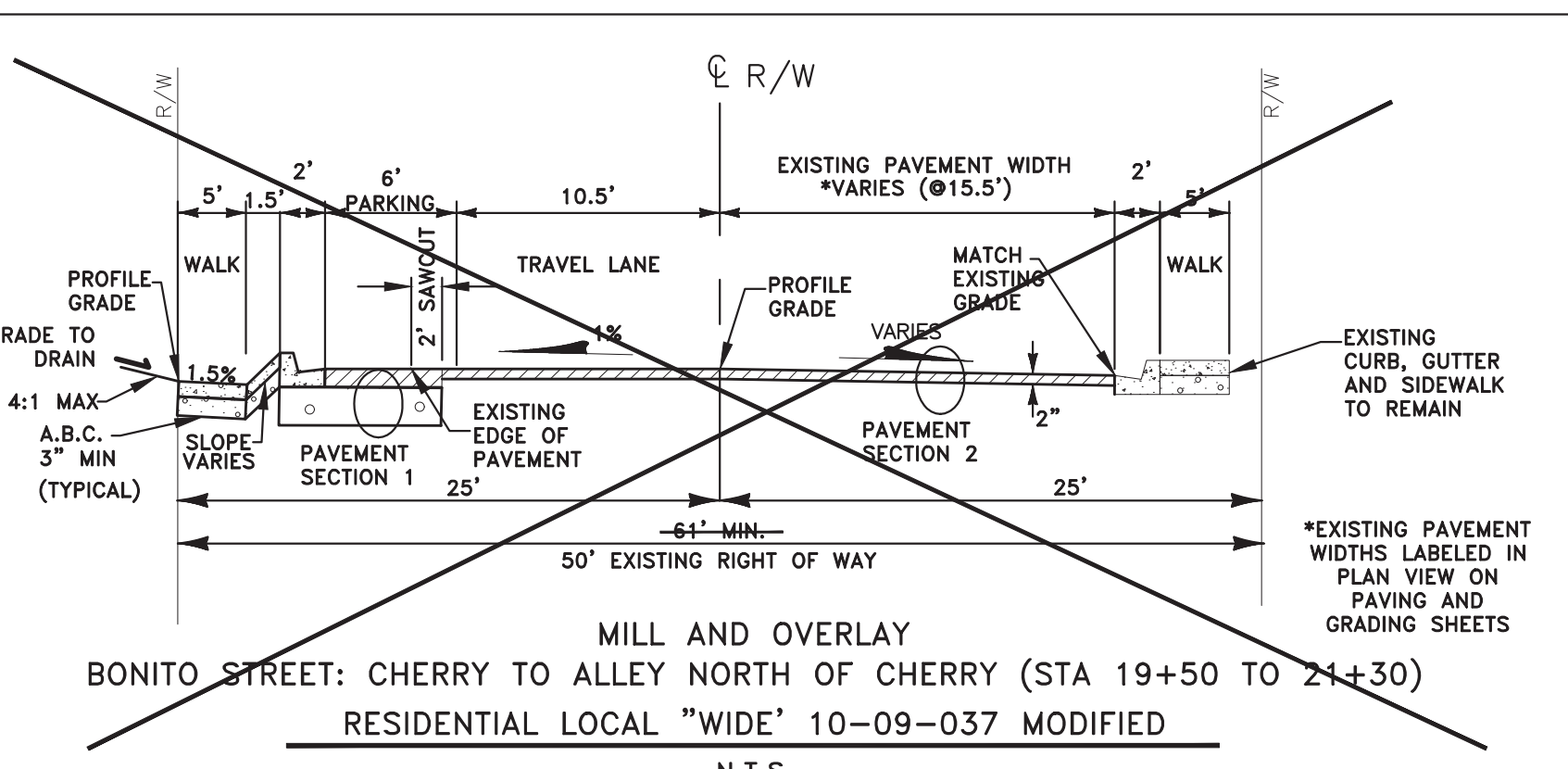
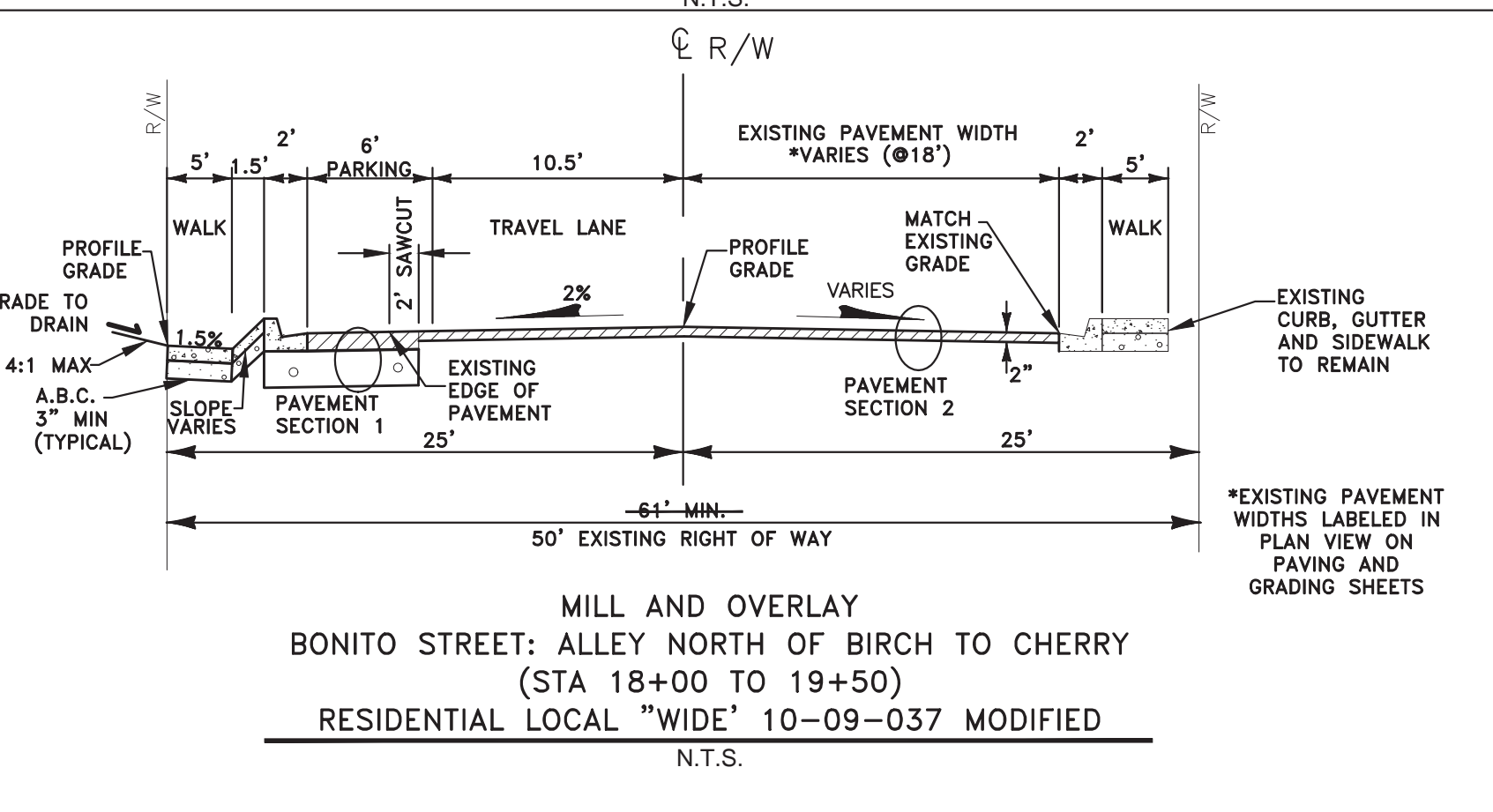
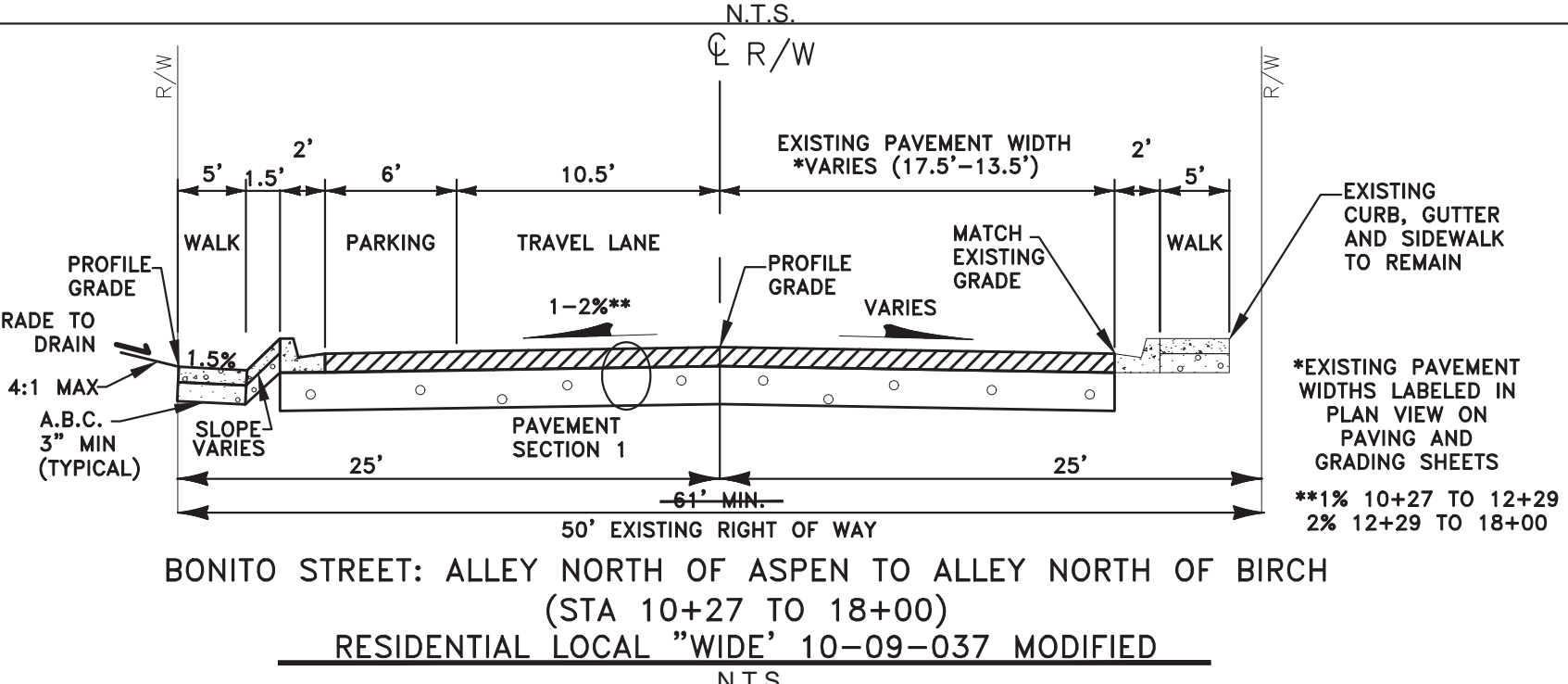
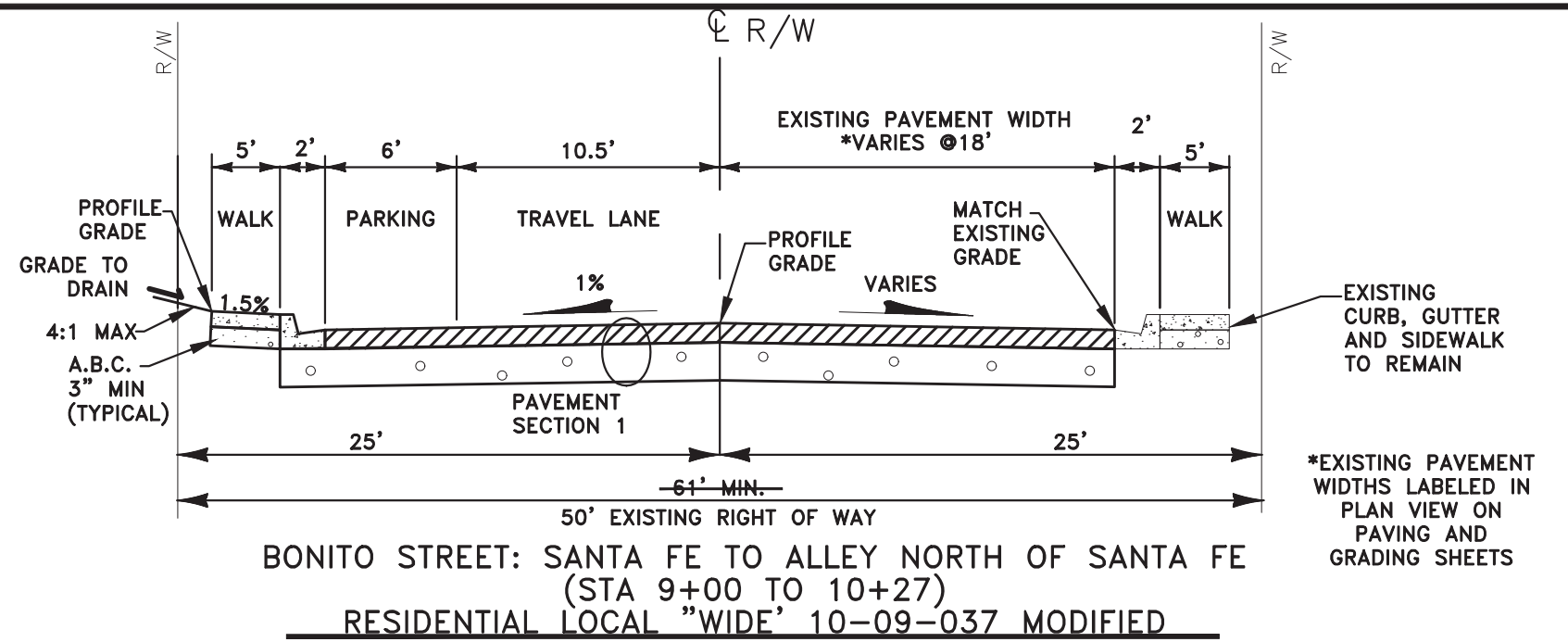


**AS-BUILT DRAWINGS**

DATE: 3/28/16  
BY: Alicia Stoffers, PE

**WOODSON**  
ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN DR.,  
FLAGSTAFF, AZ 86001  
PHONE NO. (928) 774-4636

REGISTERED PROFESSIONAL ENGINEER  
CERTIFICATE NO. 49953  
ALICIA ANNE STOFFERS  
FLAGSTAFF, ARIZONA, USA  
3/28/16  
EXPIRES 9/30/20



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1-800-782-5348  
(OUTSIDE MARICOPA COUNTY)

FN: 05 DETAILS

REVISIONS:


REGISTERED PROFESSIONAL ENGINEER  
CERTIFICATE NO. 49953  
ALICIA ANNE STOFFERS  
FLAGSTAFF, ARIZONA, USA  
3/9/16  
EXPIRES 9/30/2015

*Alicia Stoffers*

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PHONE: (928) 774-4636 FAX: (928) 774-4646

**BONITO STREET**

**PAVING AND GRADING DETAILS**

FF57A

HOR SCALE: NA  
VERT SCALE: NA  
DATE: 3/9/15  
PROJECT NO.: 113801  
AGENCY NO.:  
SHEET NO.: 5 OF 22

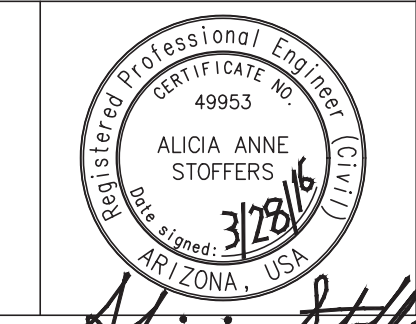
113801  
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3/9/15  
BONITO ST. IMPROVEMENT PLANS  
CITY OF FLAGSTAFF  
CONSTRUCTION PLANS

CONSTRUCTION NOTES  
PUBLIC IMPROVEMENTS

- 603 (2135 S.Y.) SAWCUT AND REMOVE EXISTING A.C. PAVEMENT AND SOIL MATERIAL TO A DEPTH OF 10" FROM FINISH GRADE. SCARIFY SUBGRADE TO 9" DEPTH AND COMPACT TO 95% STANDARD DENSITY. DISPOSE OF MATERIAL OFFSITE AT AN APPROVED LOCATION.
- 604 (2949 S.F.) SAWCUT, REMOVE AND DISPOSE OF EXISTING CONCRETE SIDEWALK AND VALLEY GUTTERS.
- 605 (216 L.F.) SAWCUT, REMOVE AND DISPOSE OF EXISTING CURB AND GUTTER.
- 606 (1 EA.) INSTALL STANDARD SURVEY MONUMENT AND BENCHMARK IN ACCORDANCE WITH COF SD NO. 11-01-010 TYPE A. REFER TO CONTROL SHEET FOR COORDINATES
- 609 (1 EA.) REMOVE AND DISPOSE OF EXISTING TREE.
- 661 (1968 S.Y.) INSTALL NEW ASPHALT CONCRETE AND AGGREGATE BASE COURSE IN ACCORDANCE WITH MAG SS 310 & 321 AND PER TYPICAL SECTIONS AND PAVEMENT STRUCTURAL SECTION 1 ON SHEET 5.
- 664 (800 S.F.) INSTALL 8' VALLEY GUTTER PER COF SD 8-06-010.
- 665 (364 L.F.) CONSTRUCT 6" (TYPE "A") VERTICAL CURB AND GUTTER IN ACCORDANCE WITH MAG SD NO. 220, MODIFIED TO PLACE 3" AB UNDER ALL CURB.
- 666 (1618 S.F.) CONSTRUCT 5' WIDE SIDEWALK IN ACCORDANCE WITH MAG SD NO. 230, MODIFIED TO PLACE 3" AB UNDER ALL SIDEWALK.
- 667 (2 EA.) CONSTRUCT SIDEWALK RAMP TYPE 1 PER TYPICAL DETAIL ON SHEET 5 AND PER CONTROL POINTS ON THIS SHEET OR THE INTERSECTION GRADING SHEET.
- 668 (1 EA.) CONSTRUCT SIDEWALK RAMP TYPE 2 PER TYPICAL DETAIL ON SHEET 5 AND PER CONTROL POINTS ON THIS SHEET OR THE INTERSECTION GRADING SHEET.
- 669 (817 S.F.) CONSTRUCT DRIVEWAY ENTRANCE TYPE 1 PER DETAIL ON SHEET 5. WIDTH AS SHOWN ON PLAN.
- 671 (110 S.F.) REMOVE AND REPLACE EXISTING DRIVEWAY ENTRANCE. MATCH EXISTING CONFIGURATION AND GRADES.
- 690 (2 EA.) REMOVE AND RELOCATE EXISTING SIGN (STOP AND STREET NAME ON ONE POLE).
- 692 (279 S.F.) CONSTRUCT 18" WIDE CONCRETE SLOPE IN ACCORDANCE WITH MAG SD NO. 230, MODIFIED TO PLACE 3" AB UNDER ALL CONCRETE.

AS-BUILT DRAWINGS

DATE: 3/28/16  
By: Alicia Stoffers, PE  
**WOODSON**  
ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN ST. DR.  
FLAGSTAFF, AZ 86001  
PHONE NO. (928) 774-4636



POINT TABLE

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
5006	4187.55	9669.03	6911.82	FL
5007	4159.54	9658.29	6911.71	FL
5010	4190.06	9662.49	6912.02	EG
5011	4162.05	9651.75	6911.86	EG
5012	4111.77	9639.96	6911.47	fl
5013	4100.56	9635.67	6911.40	fl
5014	4221.96	9682.22	6911.94	fl
5015	4248.10	9692.25	6912.03	fl
5023	4113.74	9634.83	6911.58	EG
5024	4102.53	9630.53	6911.51	EG
5025	4224.47	9675.69	6912.20	EG
5026	4250.61	9685.71	6912.34	EG
5071	4022.44	9594.35	6910.40	FL-ME
5072	4028.63	9607.54	6911.31	boc
5073	4032.99	9609.21	6911.35	BOC
5074	4022.60	9602.44	6910.77	fl
5075	4029.23	9601.07	6910.87	sw
5076	4029.77	9601.02	6911.37	boc
5082	4034.80	9604.55	6911.43	SW
5083	4033.16	9591.44	6911.56	SW-ME

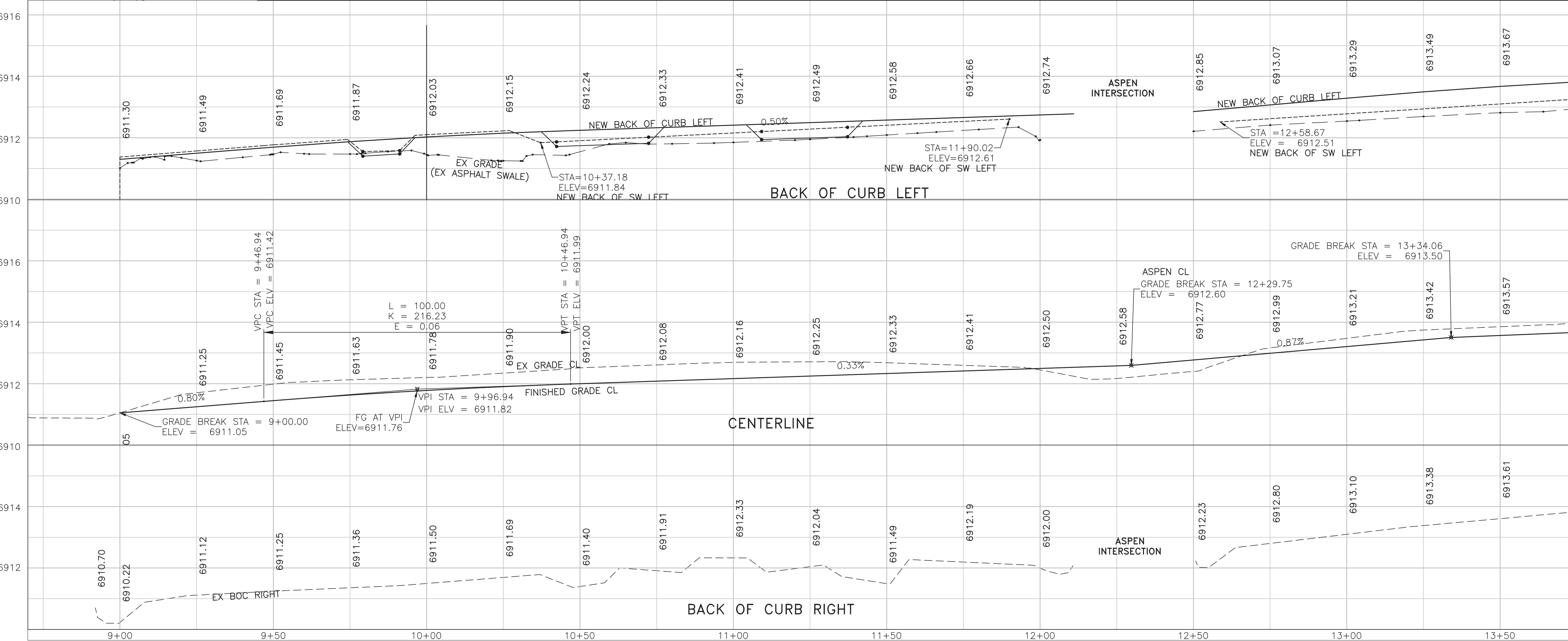
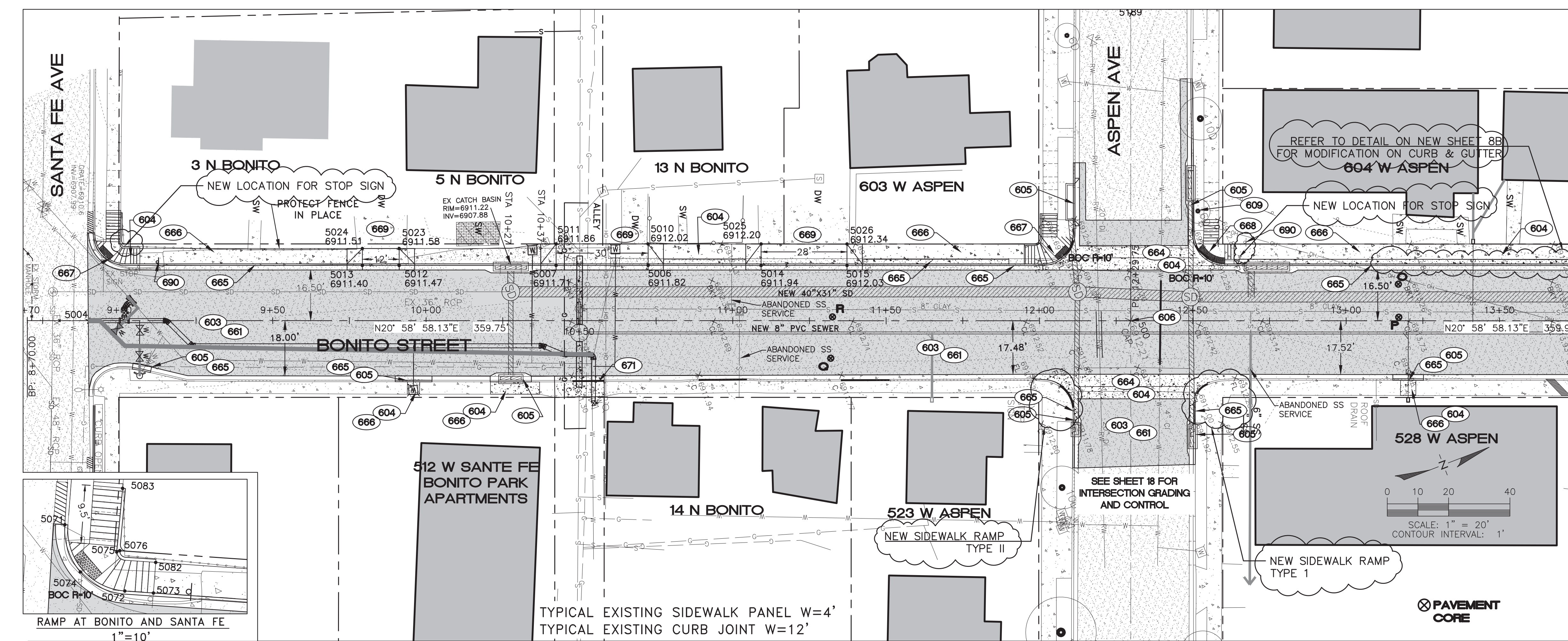
GENERAL NOTES

FIELD TOPOGRAPHY AND BOUNDARY SURVEY INFORMATION USED TO PREPARE THIS DRAWING WERE MADE BY WOODSON ENGINEERING & SURVEY, INC. IN AUGUST, 2013.

CENTERLINE CONTROL IS SHOWN ON SHEET 20.

ALL ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS (EXCEPT AS NOTED).

THE INFORMATION ON THESE CONSTRUCTION PLANS CONCERNING THE TYPE, SIZE, AND LOCATION OF UTILITIES HAS BEEN SHOWN BASED ON THE BEST INFORMATION AVAILABLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINATION OF EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES, IN PLACE, UNLESS OTHERWISE NOTED OR SPECIFIED.



CALL TWO WORKING DAYS BEFORE YOU DIG  
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1-800-782-5348  
(OUTSIDE MARICOPA COUNTY)

REVISIONS:

NO.	DATE	DESCRIPTION

**WOODSON**  
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**BONITO STREET**

**PAVING AND GRADING**  
STA 8+90 TO STA 13+75

FF57A

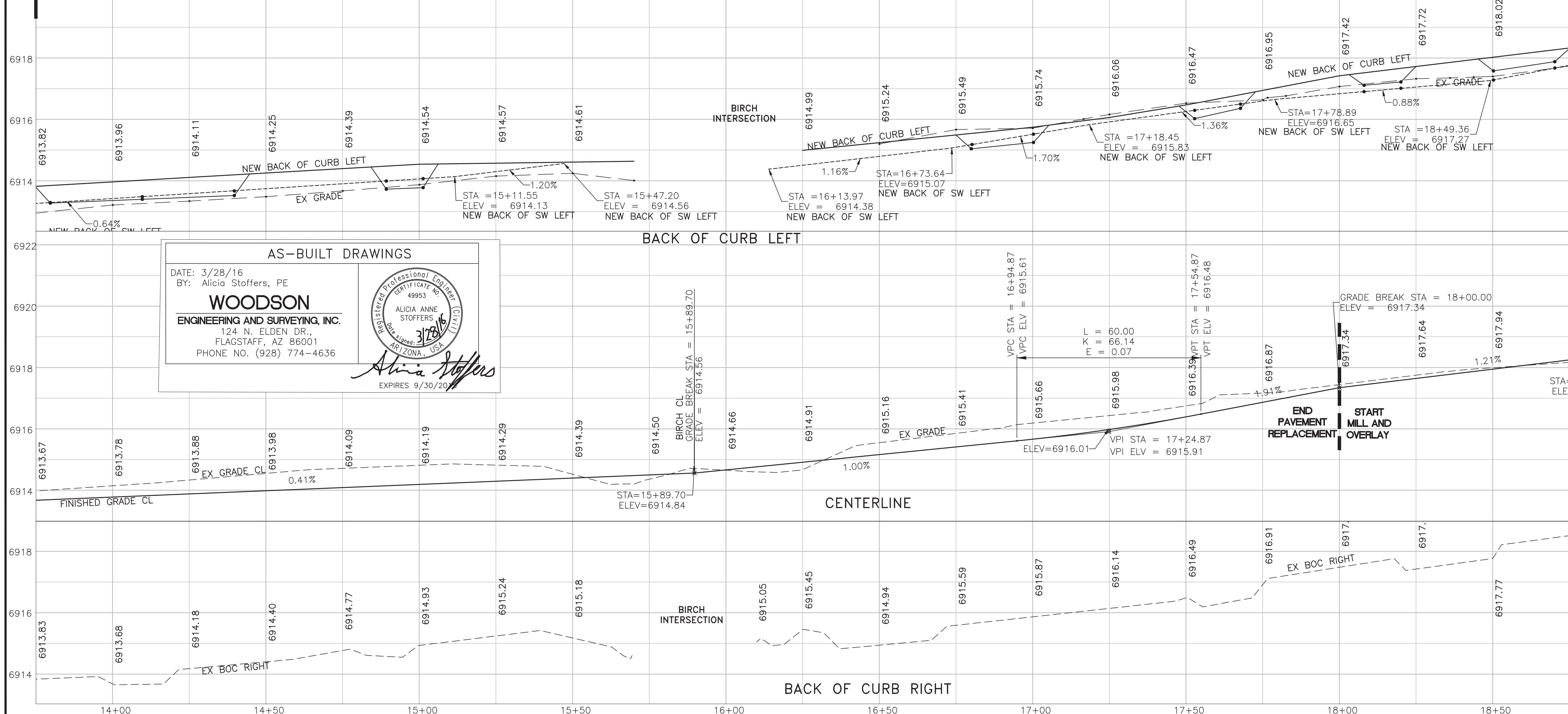
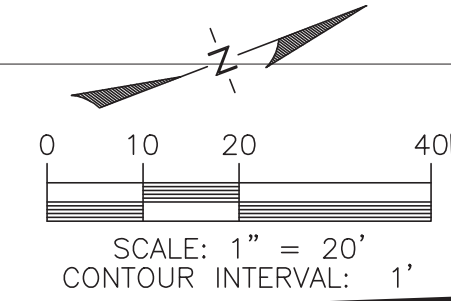
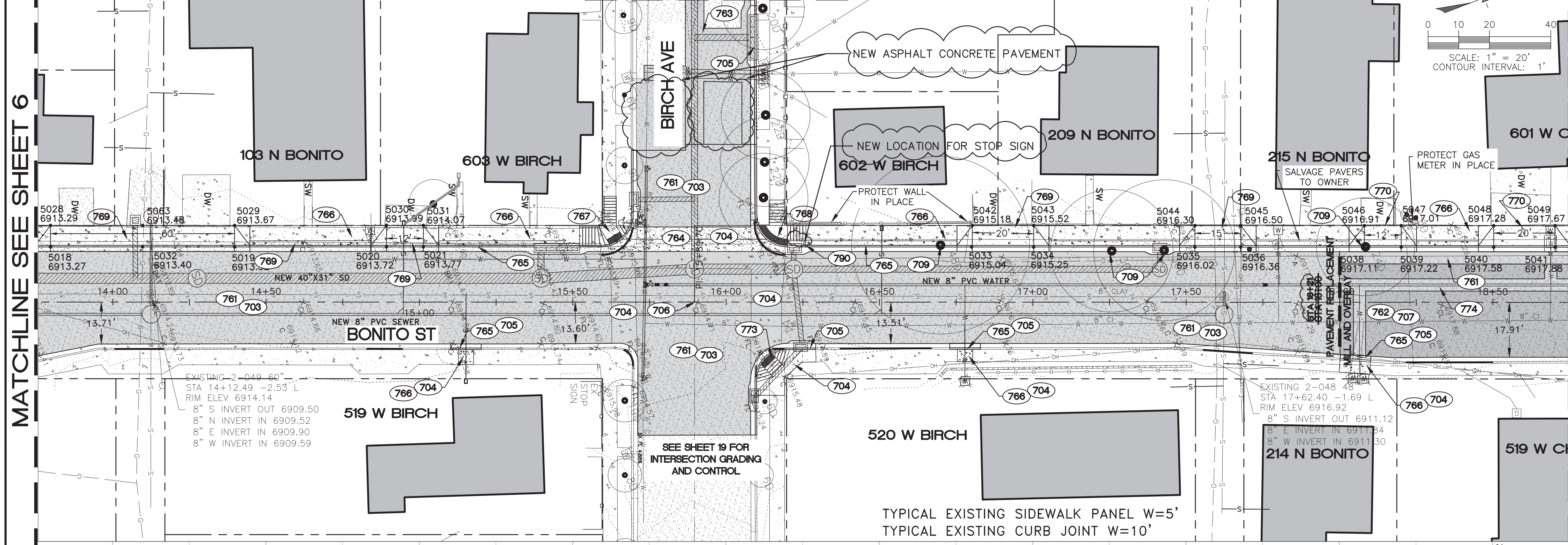
HOR SCALE: 1"=20'
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DATE: 3/9/15
PROJECT NO.: 113801
AGENCY NO.: 03-13012
SHEET NO.: 6 OF 22

113801  
**WOODSON ENGINEERING AND SURVEYING, INC.**  
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 3/9/15  
 BONITO ST. IMPROVEMENT PLANS  
 CITY OF FLAGSTAFF  
 CONSTRUCTION PLANS  
 DESIGNED BY: AAS  
 DRAWN BY: AAS  
 CHECKED BY: RLS

MATCHLINE SEE SHEET 19

MATCHLINE SEE SHEET 6

MATCHLINE SEE SHEET 8



**AS-BUILT DRAWINGS**  
 DATE: 3/28/16  
 BY: Alicia Stoffers, PE  
**WOODSON**  
 ENGINEERING AND SURVEYING, INC.  
 124 N. ELDEN DR.  
 FLAGSTAFF, AZ 86001  
 PHONE NO. (928) 774-4636

- CONSTRUCTION NOTES**  
**PUBLIC IMPROVEMENTS**
- 703 (1845 S.Y.) SAWCUT AND REMOVE EXISTING A.C. PAVEMENT AND SOIL MATERIAL TO A DEPTH OF 10" FROM FINISH GRADE. SCARIFY SUBGRADE TO 9" DEPTH AND COMPACT TO 95% STANDARD DENSITY. DISPOSE OF MATERIAL OFFSITE AT AN APPROVED LOCATION.
  - 704 (3380 S.F.) SAWCUT, REMOVE AND DISPOSE OF EXISTING CONCRETE SIDEWALK AND VALLEY GUTTERS.
  - 705 (192 L.F.) SAWCUT, REMOVE AND DISPOSE OF EXISTING CURB AND GUTTER.
  - 706 (1 EA.) INSTALL STANDARD SURVEY MONUMENT AND BENCHMARK IN ACCORDANCE WITH COF SD NO. 11-01-010 TYPE A.
  - 707 (253 S.Y.) MILL AND REMOVE EXISTING PAVEMENT 2" BELOW FINISHED GRADE AT CENTERLINE PER PROFILE. DISPOSE OF MATERIAL OFFSITE AT AN APPROVED LOCATION.
  - 709 (4 EA.) REMOVE AND DISPOSE OF EXISTING TREE.
  - 761 (1696 S.Y.) INSTALL NEW ASPHALT CONCRETE AND AGGREGATE BASE COURSE IN ACCORDANCE WITH MAG SS 310 & 321 AND PER PAVEMENT STRUCTURAL SECTION 1 ON SHEET 5.
  - 762 (253 S.Y.) INSTALL NEW 2" ASPHALT PAVEMENT OVER MILLED SURFACE IN ACCORDANCE WITH MAG SS 321 AND PER PAVEMENT STRUCTURAL SECTION 2 ON SHEET 5.
  - 763 (221 S.Y.) INSTALL NEW ASPHALT CONCRETE AND AGGREGATE BASE COURSE IN ACCORDANCE WITH MAG SS 310 & 321 AND PER TRENCHING AND BACKFILL COF SD 9-01-030. STORM DRAIN TRENCH PER 8-02-010.
  - 764 (389 S.F.) INSTALL 8" VALLEY GUTTER PER COF SD 8-06-010.
  - 765 (309 L.F.) CONSTRUCT 6" (TYPE "A") VERTICAL CURB AND GUTTER IN ACCORDANCE WITH MAG SD NO. 220, MODIFIED TO PLACE 3" AB UNDER ALL CURB.
  - 766 (1239 S.F.) CONSTRUCT 5' WIDE SIDEWALK IN ACCORDANCE WITH MAG SD NO. 230, MODIFIED TO PLACE 3" AB UNDER ALL SIDEWALK.
  - 767 (1 EA.) CONSTRUCT SIDEWALK RAMP TYPE 1 PER TYPICAL DETAIL ON SHEET 5 AND PER CONTROL POINTS ON THIS SHEET OR THE INTERSECTION GRADING SHEET.
  - 768 (1 EA.) CONSTRUCT SIDEWALK RAMP TYPE 2 PER TYPICAL DETAIL ON SHEET 5 AND PER CONTROL POINTS ON THIS SHEET OR THE INTERSECTION GRADING SHEET.
  - 769 (1215 S.F.) CONSTRUCT DRIVEWAY ENTRANCE TYPE 1 PER DETAIL ON SHEET 5. WIDTH AS SHOWN ON PLAN.
  - 770 (338 S.F.) CONSTRUCT DRIVEWAY ENTRANCE TYPE 2 PER DETAIL ON SHEET 5. WIDTH AS SHOWN ON PLAN.
  - 773 (1 EA.) CONSTRUCT SIDEWALK RAMP TYPE 4 PER TYPICAL DETAIL ON SHEET 5 AND PER CONTROL POINTS ON THIS SHEET OR THE INTERSECTION GRADING SHEET.
  - 774 (45 S.Y.) INSTALL NEW ASPHALT CONCRETE AND AGGREGATE BASE COURSE IN ACCORDANCE WITH MAG SS 310 & 321 AND PER TRENCHING AND BACKFILL COF SD 9-01-030. TOP 2 INCHES OF AC INCLUDED IN THE OVERLAY QUANTITY.
  - 790 (1 EA.) REMOVE AND RELOCATE EXISTING SIGN (STOP AND STREET NAME ON ONE POLE).
  - 792 (332 S.F.) CONSTRUCT 18" WIDE CONCRETE SLOPE IN ACCORDANCE WITH MAG SD NO. 230, MODIFIED TO PLACE 3" AB UNDER ALL CONCRETE.
  - 794 (1 EA.) REMOVE AND REPLACE DRY STACK WALL AS NECESSARY FOR WATER SERVICE REPLACEMENT.

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
5018	4474.49	9779.07	6913.27	fl
5019	4530.51	9800.56	6913.52	fl
5020	4576.77	9818.30	6913.72	fl
5021	4587.97	9822.60	6913.77	fl
5028	4476.99	9772.54	6913.29	EG
5029	4533.01	9794.02	6913.67	EG
5030	4579.27	9811.76	6913.99	EG
5031	4590.48	9816.06	6914.07	EG
5032	4502.50	9789.81	6913.40	FL
5033	4754.87	9886.63	6915.04	FL
5034	4773.79	9893.89	6915.25	FL
5035	4822.86	9912.73	6916.02	FL
5036	4836.82	9918.08	6916.36	FL
5038	4874.44	9932.52	6917.11	FL
5039	4885.64	9936.82	6917.22	FL
5040	4913.82	9947.63	6917.58	FL
5041	4932.49	9954.81	6917.88	FL
5042	4757.60	9880.18	6915.18	EG
5043	4776.29	9887.36	6915.52	EG
5044	4825.37	9906.19	6916.30	EG
5045	4839.32	9911.54	6916.50	EG
5046	4876.94	9925.99	6916.91	EG
5047	4888.15	9930.29	6917.01	EG
5048	4916.32	9941.10	6917.28	EG
5049	4935.00	9948.26	6917.67	EG
5063	4505.00	9783.28	6913.48	eg

**GENERAL NOTES**

FIELD TOPOGRAPHY AND BOUNDARY SURVEY INFORMATION USED TO PREPARE THIS DRAWING WERE MADE BY WOODSON ENGINEERING & SURVEY, INC. IN AUGUST, 2013.

CENTERLINE CONTROL IS SHOWN ON SHEET 20.

ALL ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS (EXCEPT AS NOTED).

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CALL TWO WORKING DAYS BEFORE YOU DIG  
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 1-800-782-5348  
 (OUTSIDE MARICOPA COUNTY)

REVISIONS:

NO.	DATE	DESCRIPTION

**WOODSON**  
 ENGINEERING AND SURVEYING, INC.  
 124 N. ELDEN ST.  
 FLAGSTAFF, AZ 86001  
 PHONE: (928) 774-4636 FAX: (928) 774-4646

**BONITO STREET**

**PAVING AND GRADING**  
 STA 13+75 TO STA 18+75

FF57A

HOR SCALE: 1"=20'
VERT SCALE: 1"=2'
DATE: 3/9/15
PROJECT NO.: 113801
AGENCY NO.: 03-13012
SHEET NO.: 7 OF 22

113801

WOODSON ENGINEERING AND SURVEYING, INC.  
 124 N. ELDEN ST. • FLAGSTAFF, AZ 86001 • PHONE: (928) 774-4636 FAX: (928) 774-4646

3/9/15

BONITO ST. IMPROVEMENT PLANS  
 CITY OF FLAGSTAFF  
 CONSTRUCTION PLANS

DESIGNED BY: AAS  
 DRAWN BY: AAS  
 CHECKED BY: RLS

CONSTRUCTION NOTES  
PUBLIC IMPROVEMENTS

- 803 (62 S.Y.) SAWCUT AND REMOVE EXISTING A.C. PAVEMENT AND SOIL MATERIAL TO A DEPTH OF 10" FROM FINISH GRADE. SCARIFY SUBGRADE TO 9" DEPTH AND COMPACT TO 95% STANDARD DENSITY. DISPOSE OF MATERIAL OFFSITE AT AN APPROVED LOCATION.
- 804 (1082 S.F.) SAWCUT, REMOVE AND DISPOSE OF EXISTING CONCRETE SIDEWALK AND VALLEY GUTTERS.
- 805 (125 L.F.) SAWCUT, REMOVE AND DISPOSE OF EXISTING CURB AND GUTTER.
- 806 (2 EA.) INSTALL STANDARD SURVEY MONUMENT AND BENCHMARK IN ACCORDANCE WITH COF SD NO. 11-01-010 TYPE A.
- 807 (1694 S.Y.) MILL AND REMOVE EXISTING PAVEMENT 2" BELOW FINISHED GRADE AT CENTERLINE PER PROFILE. DISPOSE OF MATERIAL OFFSITE AT AN APPROVED LOCATION.
- 809 (2 EA.) REMOVE AND DISPOSE OF EXISTING TREE.
- 861 (65 S.Y.) INSTALL NEW ASPHALT CONCRETE AND AGGREGATE BASE COURSE IN ACCORDANCE WITH MAG SS 310 & 321 AND PER PAVEMENT STRUCTURAL SECTION 1 ON SHEET 5.
- 862 (1694 S.Y.) INSTALL NEW 2" ASPHALT PAVEMENT OVER MILLED SURFACE IN ACCORDANCE WITH MAG SS 321 AND PER PAVEMENT STRUCTURAL SECTION 2 ON SHEET 5.
- 863 (13 S.Y.) INSTALL NEW ASPHALT CONCRETE AND AGGREGATE BASE COURSE IN ACCORDANCE WITH MAG SS 310 & 321 AND PER TRENCHING AND BACKFILL COF SD 9-01-030.
- 865 (351 L.F.) CONSTRUCT 6" (TYPE "A") VERTICAL CURB AND GUTTER IN ACCORDANCE WITH MAG SD NO. 220, MODIFIED TO PLACE 3" AB UNDER ALL CURB.
- 866 (1642 S.F.) CONSTRUCT 5' WIDE SIDEWALK IN ACCORDANCE WITH MAG SD NO. 230, MODIFIED TO PLACE 3" AB UNDER ALL SIDEWALK.
- 869 (322 S.F.) CONSTRUCT DRIVEWAY ENTRANCE TYPE 1 PER DETAIL ON SHEET 5. WIDTH AS SHOWN ON PLAN.
- 872 (3 EA.) CONSTRUCT SIDEWALK RAMP TYPE 3 PER TYPICAL DETAIL ON SHEET 5 AND PER CONTROL POINTS ON THIS SHEET OR THE INTERSECTION GRADING SHEET.
- 874 (292 S.Y.) INSTALL NEW ASPHALT CONCRETE AND AGGREGATE BASE COURSE IN ACCORDANCE WITH MAG SS 310 & 321 AND PER TRENCHING AND BACKFILL COF SD 9-01-030. TOP 2 INCHES OF AC IN T-TOP PATCH INCLUDED IN THE OVERLAY QUANTITY.
- 890 (3 EA.) REMOVE AND RELOCATE EXISTING SIGN (STOP AND STREET NAME ON ONE POLE).
- 892 (189 S.F.) CONSTRUCT 18" WIDE CONCRETE SLOPE IN ACCORDANCE WITH MAG SD NO. 230, MODIFIED TO PLACE 3" AB UNDER ALL CONCRETE.

PAVEMENT CORE

AS-BUILT DRAWINGS

DATE: 3/28/16  
By: Alicia Stoffers, PE

**WOODSON**  
ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN DR.,  
FLAGSTAFF, AZ 86001  
PHONE NO. (928) 774-4636

*Alicia Stoffers*  
EXPIRES 9/30/2015

POINT TABLE

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
5050	5092.13	10016.08	6918.49	FL
5051	5110.80	10023.25	6918.06	FL
5052	5161.86	10042.85	6917.08	FL
5053	5173.07	10047.15	6916.94	FL
5054	5094.10	10010.95	6918.60	EG
5055	5112.77	10018.12	6918.17	EG
5056	5163.83	10037.71	6917.19	EG
5057	5175.03	10042.01	6917.05	EG

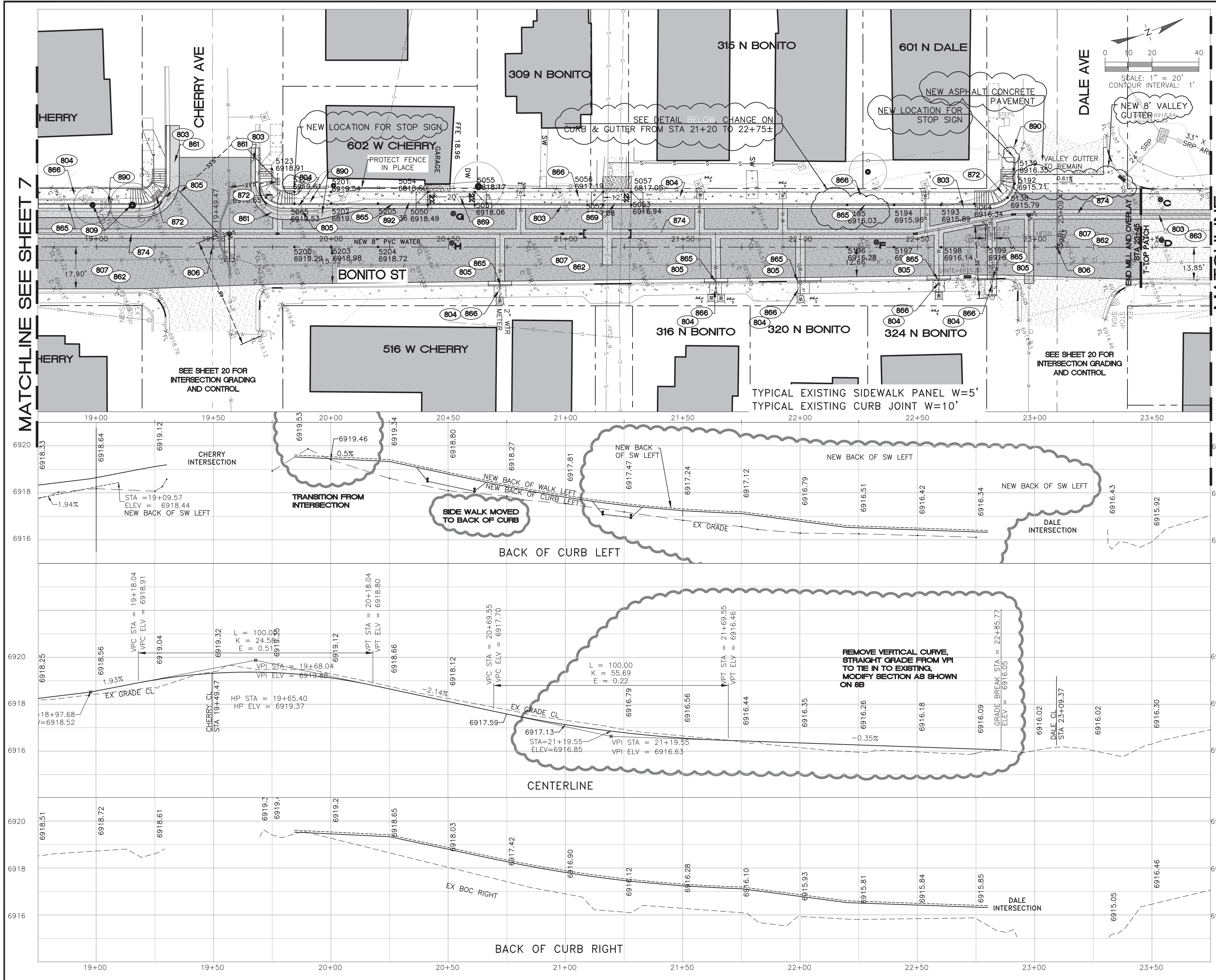
GENERAL NOTES

FIELD TOPOGRAPHY AND BOUNDARY SURVEY INFORMATION USED TO PREPARE THIS DRAWING WERE MADE BY WOODSON ENGINEERING & SURVEY, INC. IN AUGUST, 2013.

CENTERLINE CONTROL IS SHOWN ON SHEET 20.

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MATCHLINE SEE SHEET 7

MATCHLINE SEE SHEET 9

CALL TWO WORKING DAYS BEFORE YOU DIG  
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1-800-782-5348  
(OUTSIDE MARICOPA COUNTY)

REVISIONS:

*Alicia Stoffers*  
EXPIRES 9/30/2015

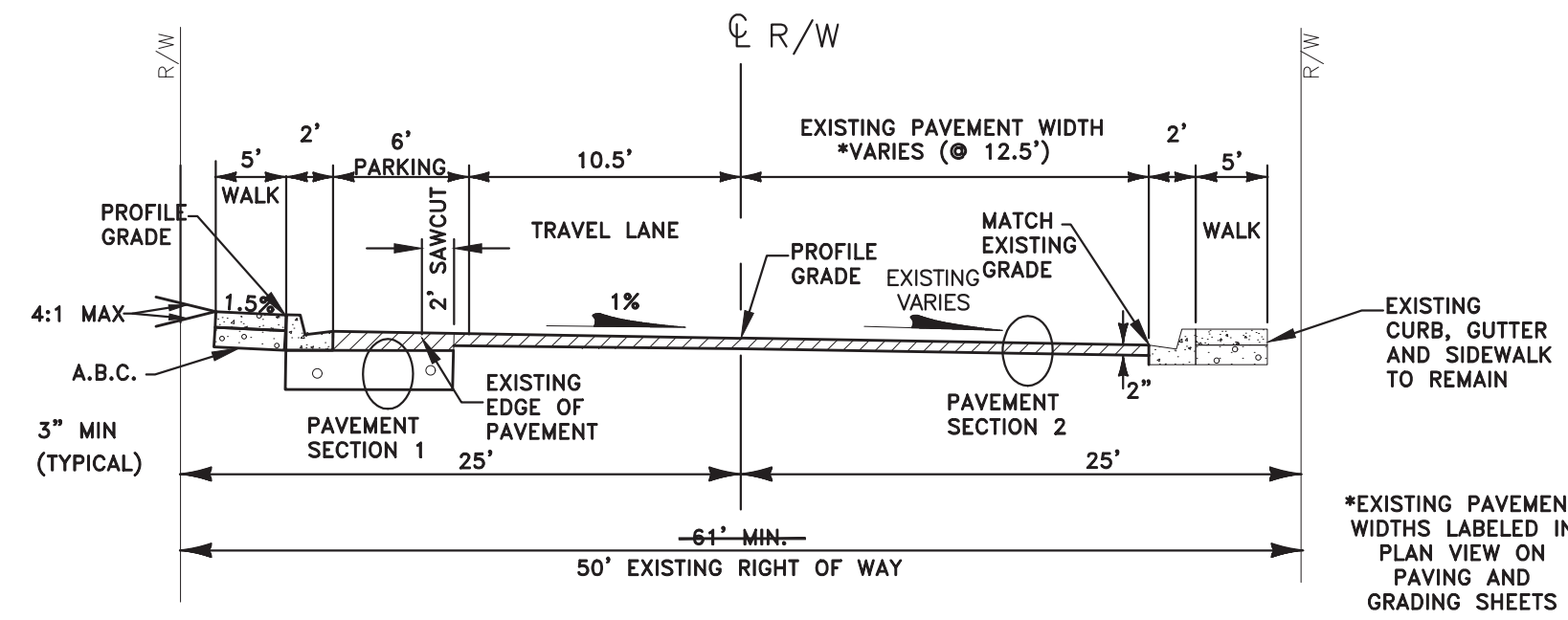
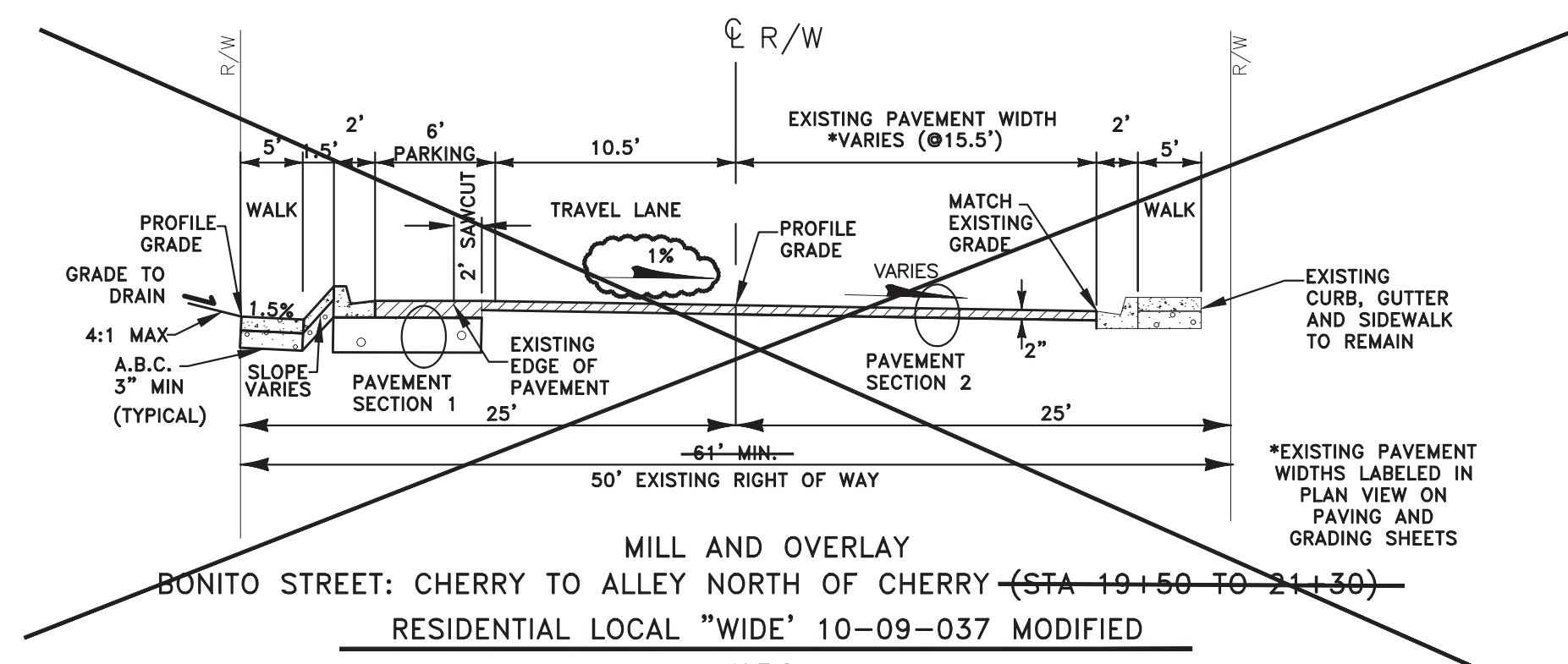
**WOODSON**  
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124 N. ELDEN ST.  
FLAGSTAFF, AZ 86001  
PHONE: (928) 774-4636 FAX: (928) 774-4646

BONITO STREET

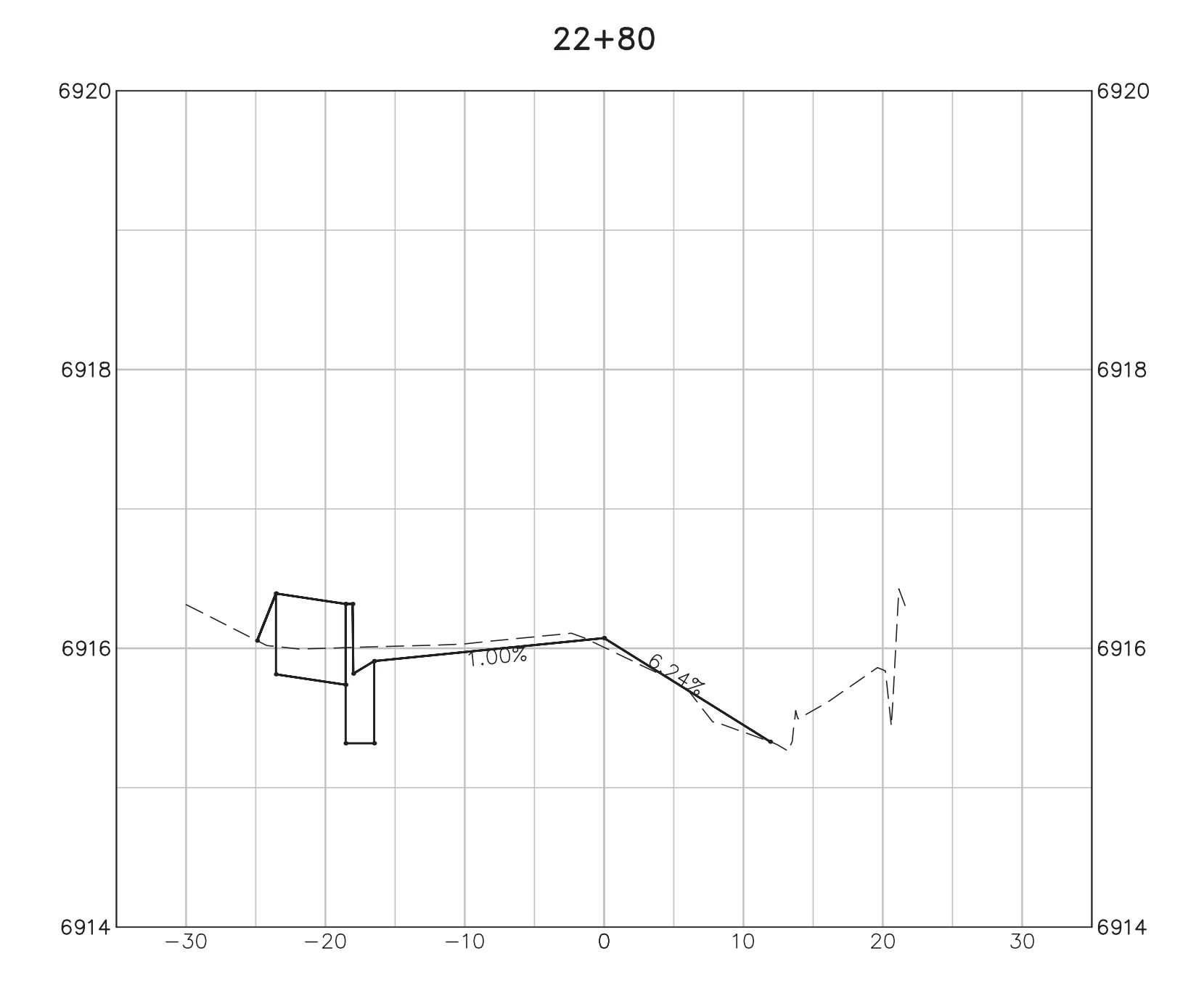
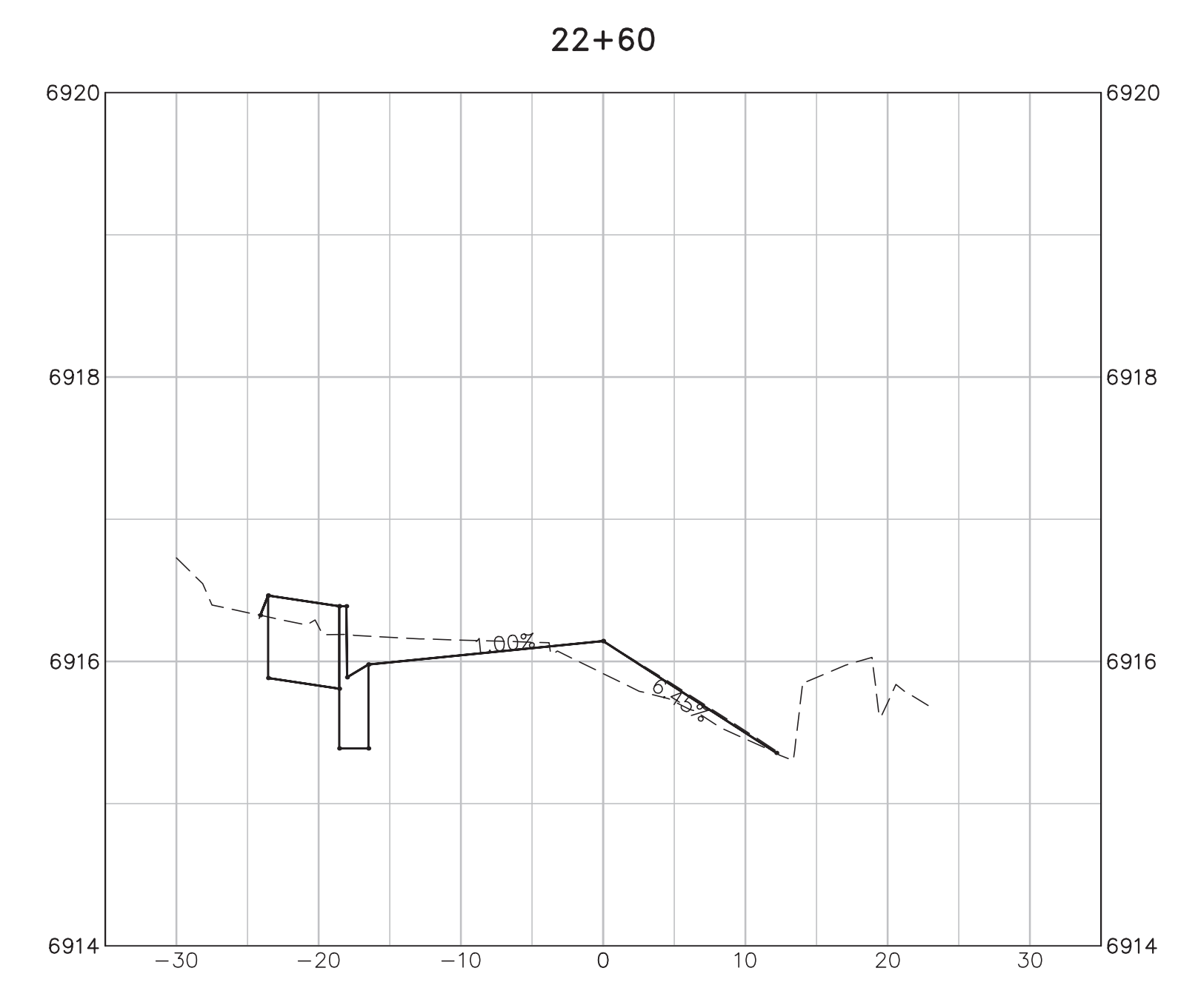
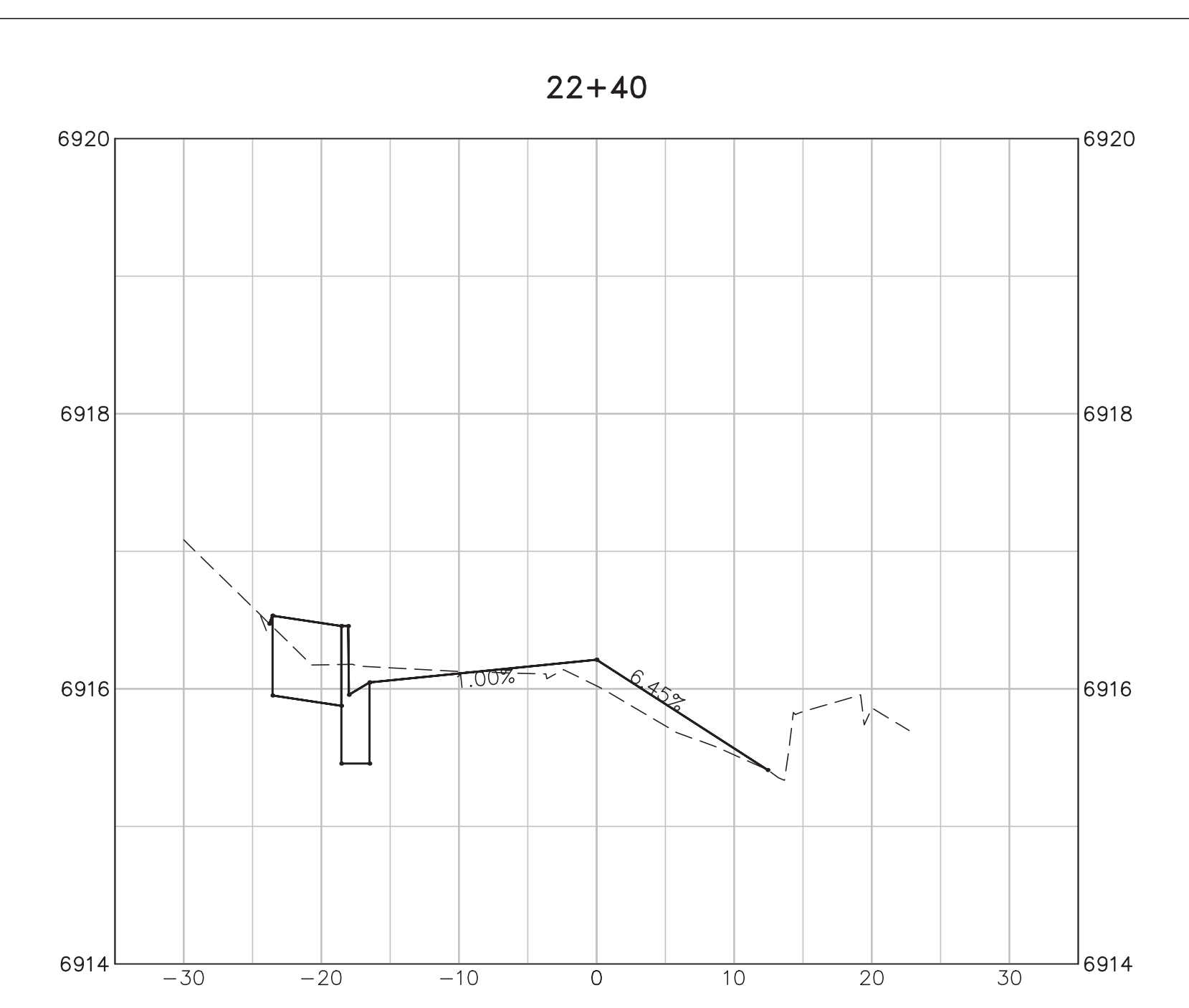
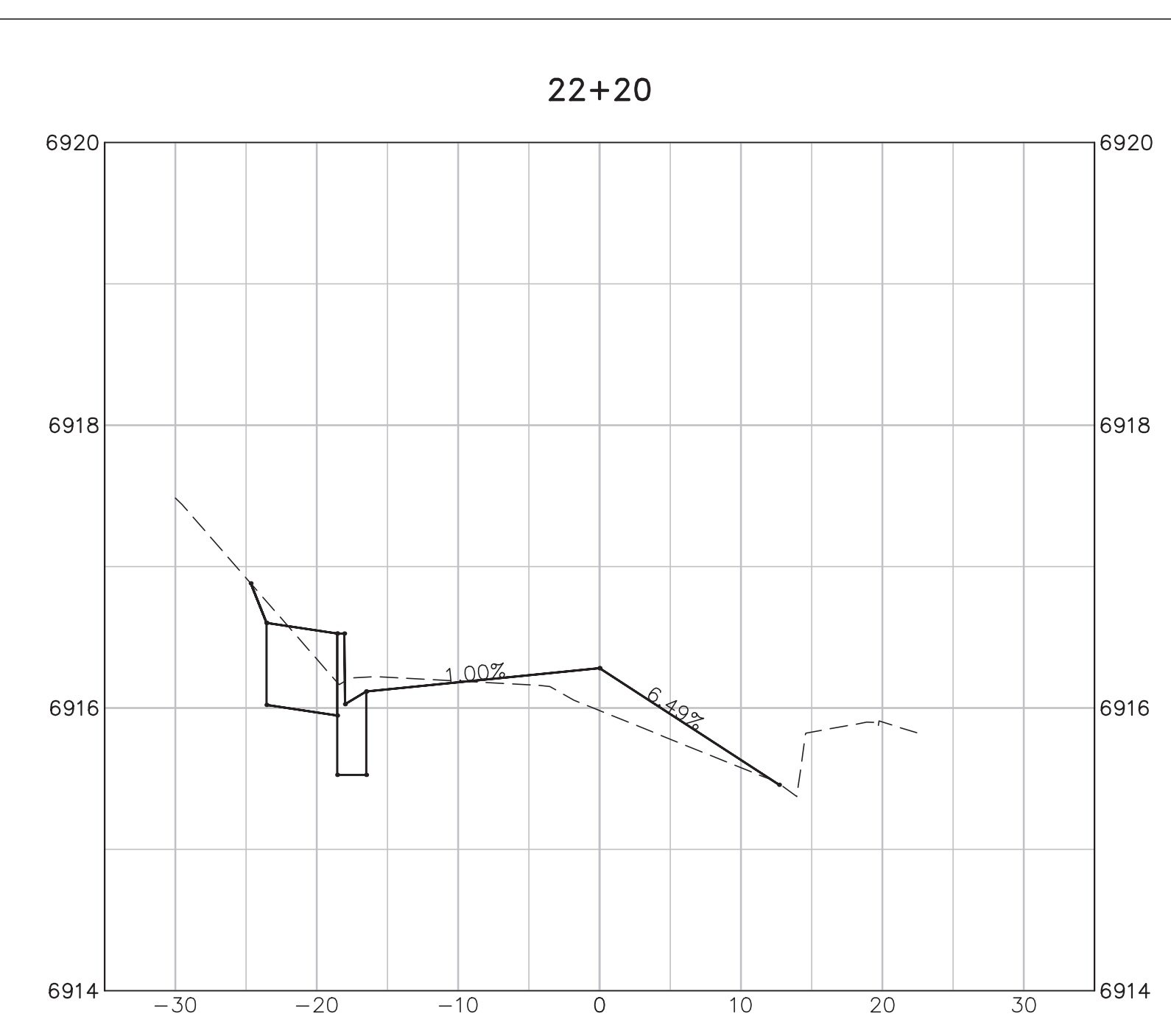
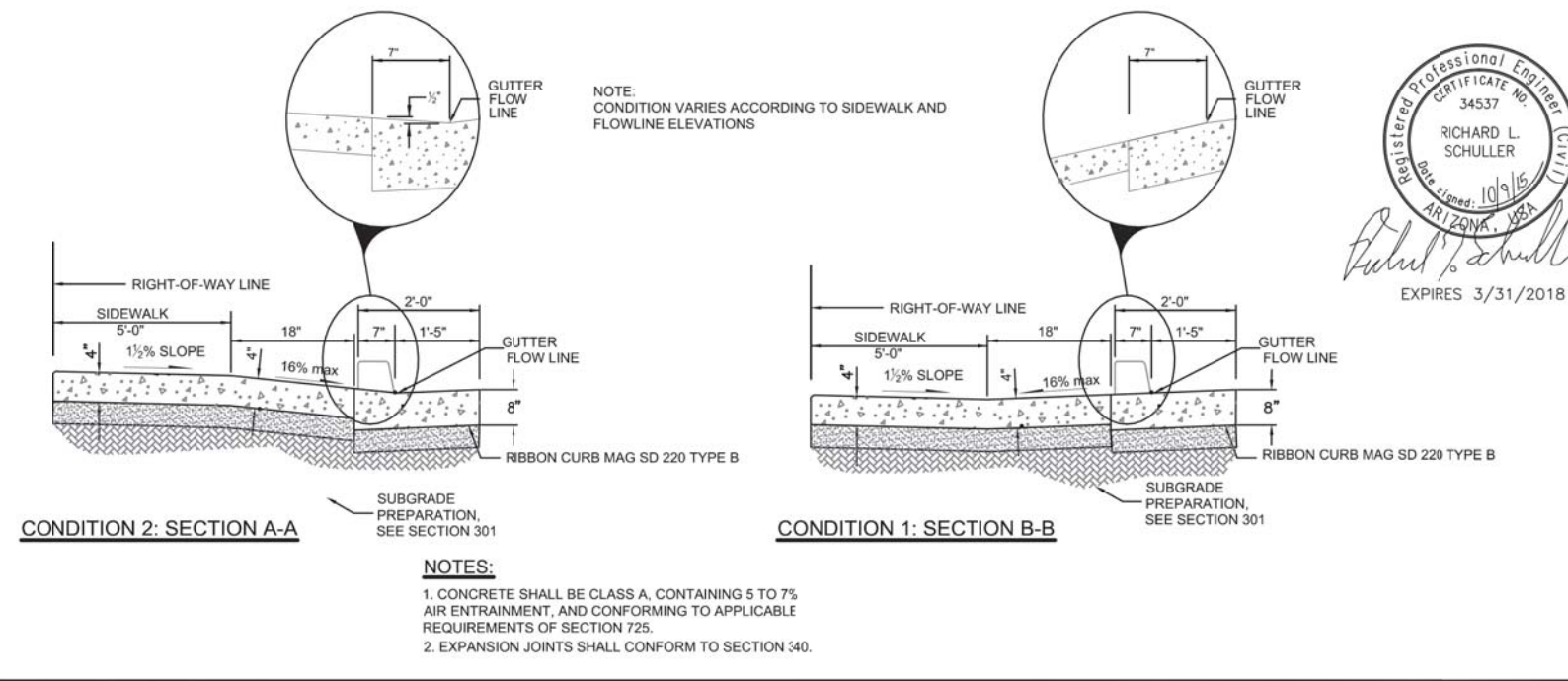
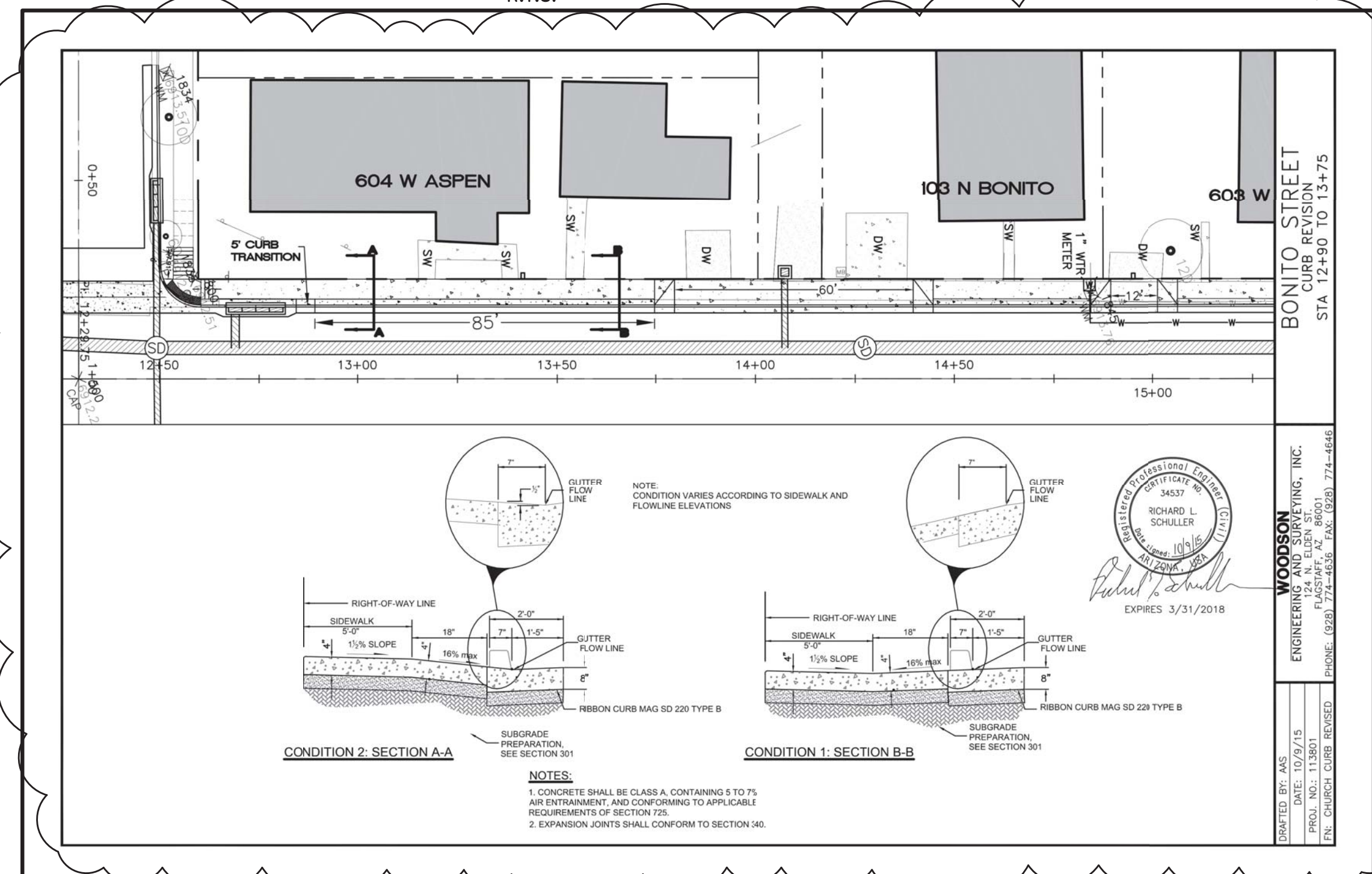
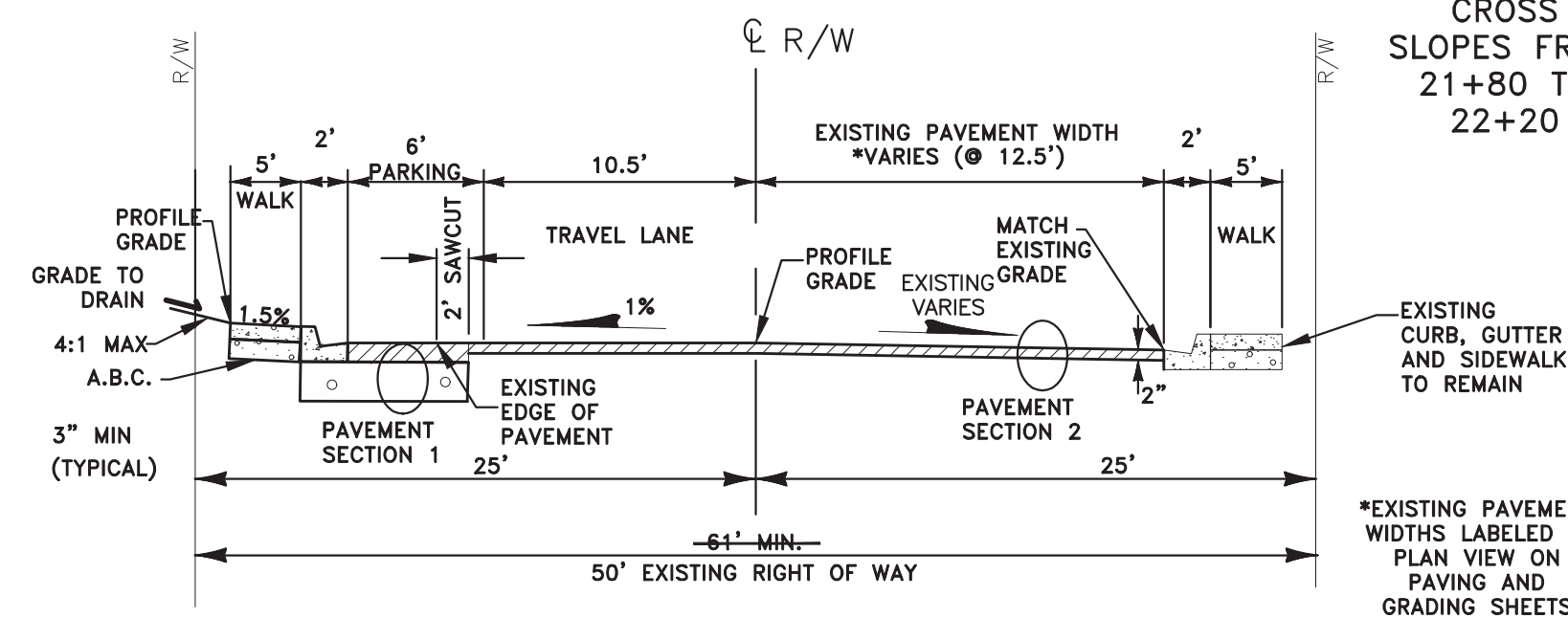
PAVING AND GRADING  
STA 18+75 TO STA 23+75

HOR SCALE: 1"=20'
VERT SCALE: 1"=2'
DATE: 3/9/15
PROJECT NO.: 113801
AGENCY NO.: 03-13012
SHEET NO.: 8 OF 22

WOODSON ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN ST. • FLAGSTAFF, AZ 86001 • PHONE: (928) 774-4636 FAX: (928) 774-4646  
3/9/15  
BONITO ST. IMPROVEMENT PLANS  
CITY OF FLAGSTAFF  
CONSTRUCTION PLANS  
113801  
DESIGNED BY: AAS  
DRAWN BY: AAS  
CHECKED BY: RLS



TRANSITION BETWEEN  
CROSS  
SLOPES FROM  
21+80 TO  
22+20



H: 1"=10'  
V: 1"=1'

AS-BUILT DRAWINGS

DATE: 3/28/16  
BY: Alicia Stoffers, PE

**WOODSON**  
ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN DR.,  
FLAGSTAFF, AZ 86001  
PHONE NO. (928) 774-4636

REGISTERED PROFESSIONAL ENGINEER  
ALICIA ANNE STOFFERS  
EXPIRES 9/30/2018

**GENERAL NOTES**

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**NEW SHEET**

CALL TWO WORKING DAYS BEFORE YOU DIG  
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1-800-782-5348  
(OUTSIDE MARICOPA COUNTY)

REVISIONS:

9/2/15 GRADING REVISION	▲
9/15/15 GRADING REVISION	▲

REGISTERED PROFESSIONAL ENGINEER  
ALICIA ANNE STOFFERS  
EXPIRES 9/30/2015

**WOODSON**  
ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN ST.  
FLAGSTAFF, AZ 86001  
PHONE: (928) 774-4636 FAX: (928) 774-4646

BONITO STREET

TYPICAL SECTIONS  
STA 22+20 TO STA 22+80

HOR SCALE: 1"=20'
VERT SCALE: 1"=2'
DATE: 3/9/15
PROJECT NO.: 113801
AGENCY NO.: 03-13012
SHEET NO.: BB OF 22

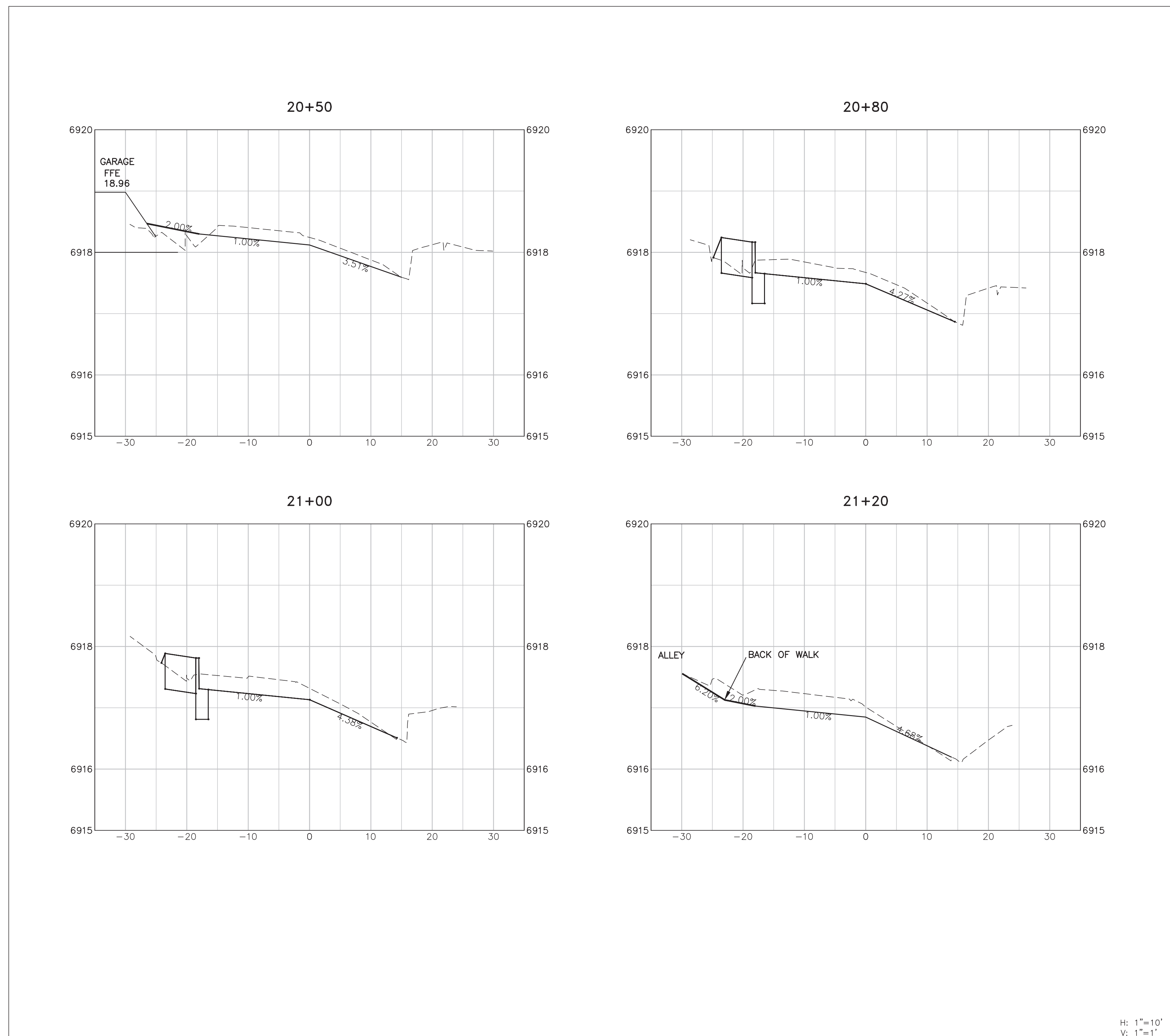
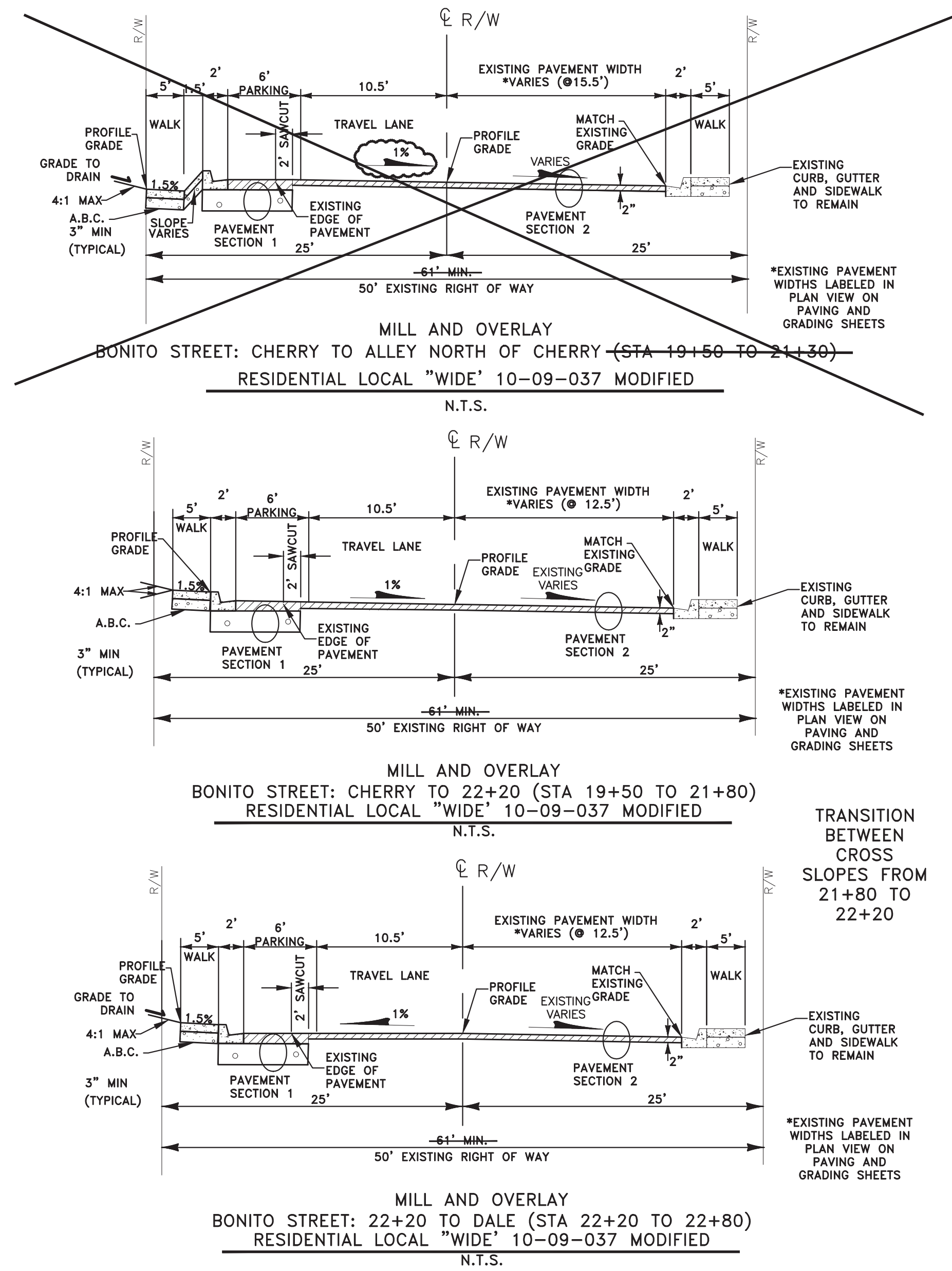
DESIGNED BY: AAS  
DRAWN BY: AAS  
CHECKED BY: RLS

113801

**WOODSON ENGINEERING AND SURVEYING, INC.**  
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9/15/15

BONITO ST. IMPROVEMENT PLANS  
CITY OF FLAGSTAFF  
CONSTRUCTION PLANS



AS-BUILT DRAWINGS

DATE: 3/28/16  
 BY: Alicia Stoffers, PE

**WOODSON**  
 ENGINEERING AND SURVEYING, INC.  
 124 N. ELDEN DR.,  
 FLAGSTAFF, AZ 86001  
 PHONE NO. (928) 774-4636

*Alicia Stoffers*  
 EXPIRES 9/30/2016

**GENERAL NOTES**

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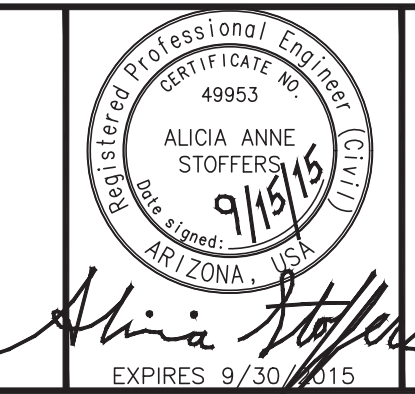
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**NEW SHEET**



REVISIONS:	
9/2/15 GRADING REVISION	▲
9/15/15 GRADING REVISION	▲



**WOODSON**  
 ENGINEERING AND SURVEYING, INC.

124 N. ELDEN ST.  
 FLAGSTAFF, AZ 86001  
 PHONE: (928) 774-4636 FAX: (928) 774-4646

BONITO STREET

TYPICAL SECTIONS  
 STA 20+50 TO STA 21+50

HOR SCALE: 1"=20'
VERT SCALE: 1"=2'
DATE: 3/9/15
PROJECT NO.: 113801
AGENCY NO.: 03-13012
SHEET NO.: BC OF 22

113801

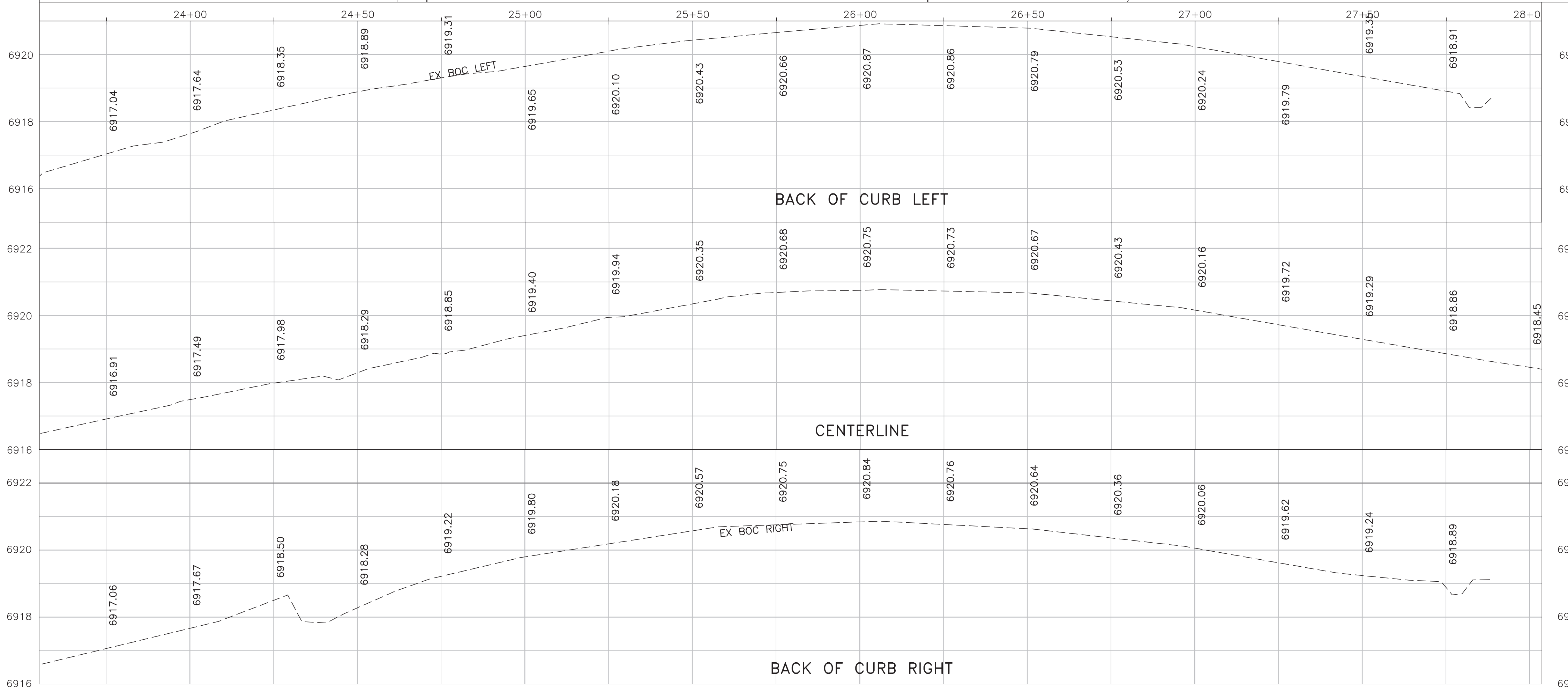
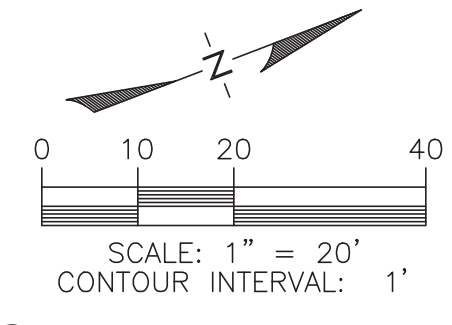
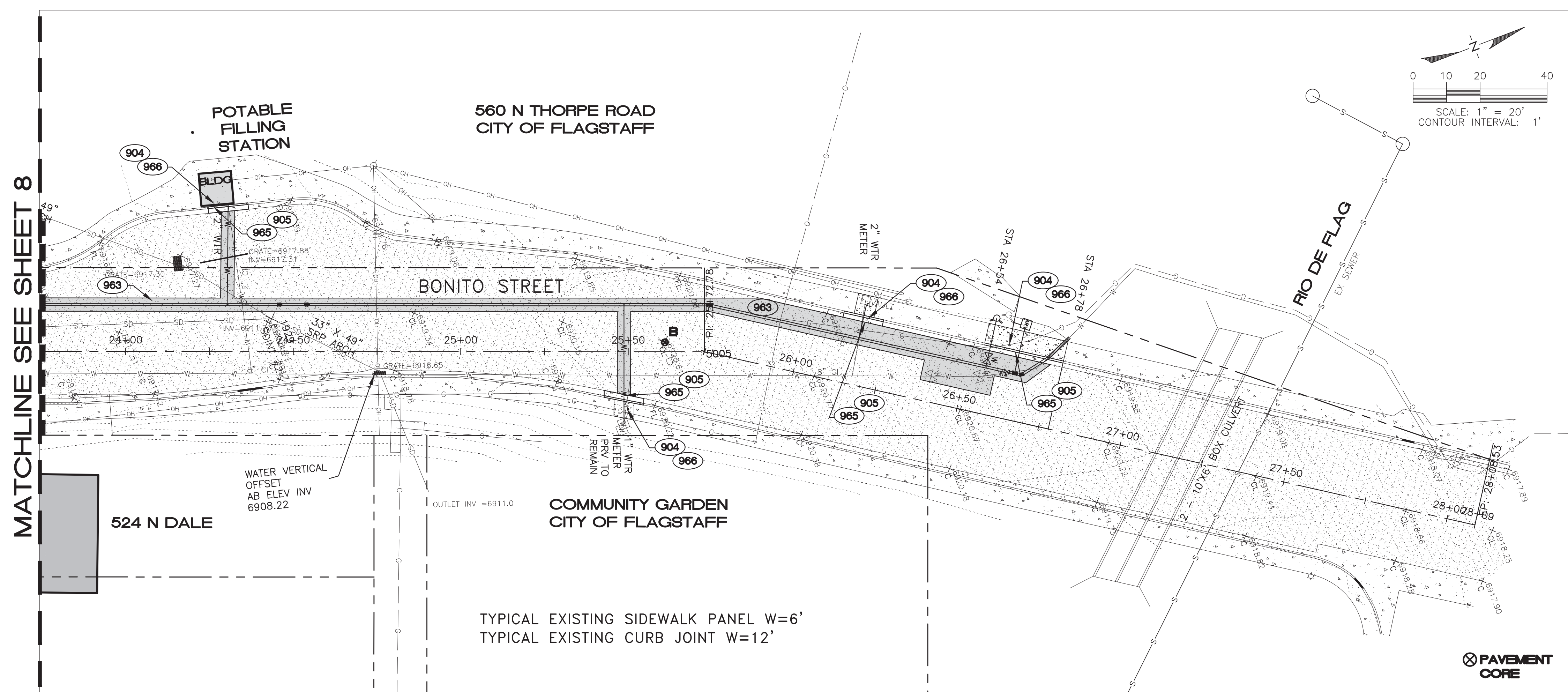
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 124 N. ELDEN ST. • FLAGSTAFF, AZ 86001 • PHONE: (928) 774-4636 FAX: (928) 774-4646

9/15/15

BONITO ST. IMPROVEMENT PLANS  
 CITY OF FLAGSTAFF  
 CONSTRUCTION PLANS

CONSTRUCTION NOTES  
PUBLIC IMPROVEMENTS

- 904 (204 S.F.) SAWCUT, REMOVE AND DISPOSE OF EXISTING CONCRETE SIDEWALK AND VALLEY GUTTERS.
- 905 (33 L.F.) SAWCUT, REMOVE AND DISPOSE OF EXISTING CURB AND GUTTER.
- 963 (214 S.Y.) INSTALL NEW ASPHALT CONCRETE AND AGGREGATE BASE COURSE IN ACCORDANCE WITH MAG SS 310 & 321 AND PER TRENCHING AND BACKFILL COF SD 9-01-030.
- 965 (60 L.F.) CONSTRUCT 6" (TYPE "A") VERTICAL CURB AND GUTTER IN ACCORDANCE WITH MAG SD NO. 220, MODIFIED TO PLACE 3" AB UNDER ALL CURB.
- 966 (211 S.F.) CONSTRUCT 5' WIDE SIDEWALK IN ACCORDANCE WITH MAG SD NO. 230, MODIFIED TO PLACE 3" AB UNDER ALL SIDEWALK.



**AS-BUILT DRAWINGS**

DATE: 3/28/16  
BY: Alicia Stoffers, PE

**WOODSON**  
ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN DR.,  
FLAGSTAFF, AZ 86001  
PHONE NO. (928) 774-4636

*Alicia Stoffers*  
EXPIRES 9/30/2016

**PER PLAN**

**GENERAL NOTES**

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1-800-782-5348  
(OUTSIDE MARICOPA COUNTY)

REVISIONS:

NO.	DESCRIPTION

*Alicia Stoffers*  
EXPIRES 9/30/2016

**WOODSON**  
ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN ST.  
FLAGSTAFF, AZ 86001  
PHONE: (928) 774-4636 FAX: (928) 774-4646

**BONITO STREET**

**PAVING AND GRADING**  
STA 23+75 TO STA 28+09

HOR SCALE: 1"=20'
VERT SCALE: 1"=2'
DATE: 3/9/15
PROJECT NO.: 113801
AGENCY NO.: 03-13012
SHEET NO.: 9 OF 22

DESIGNED BY: AAS  
DRAWN BY: AAS  
CHECKED BY: RLS

MATCHLINE SEE SHEET 8

113801

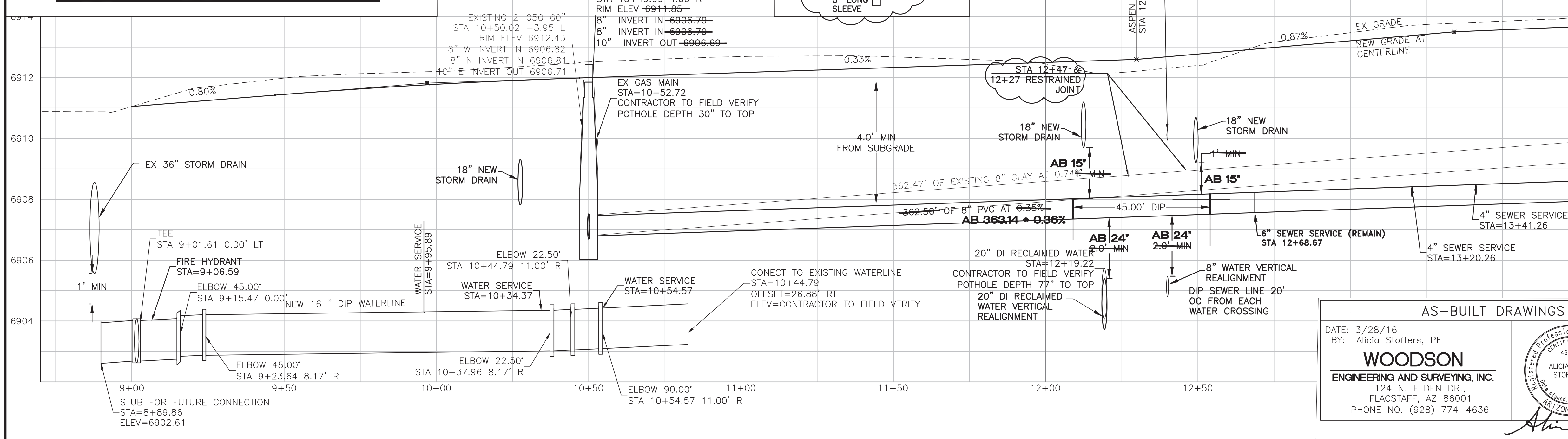
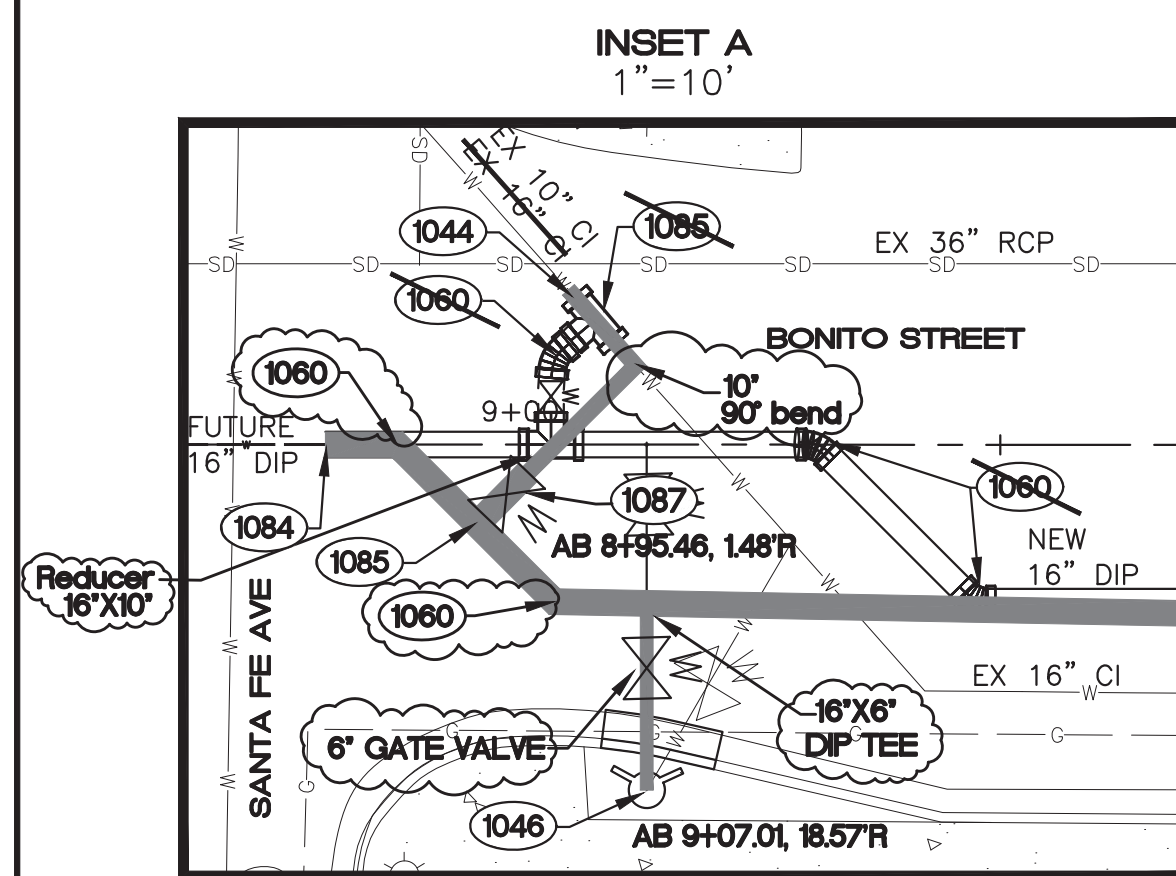
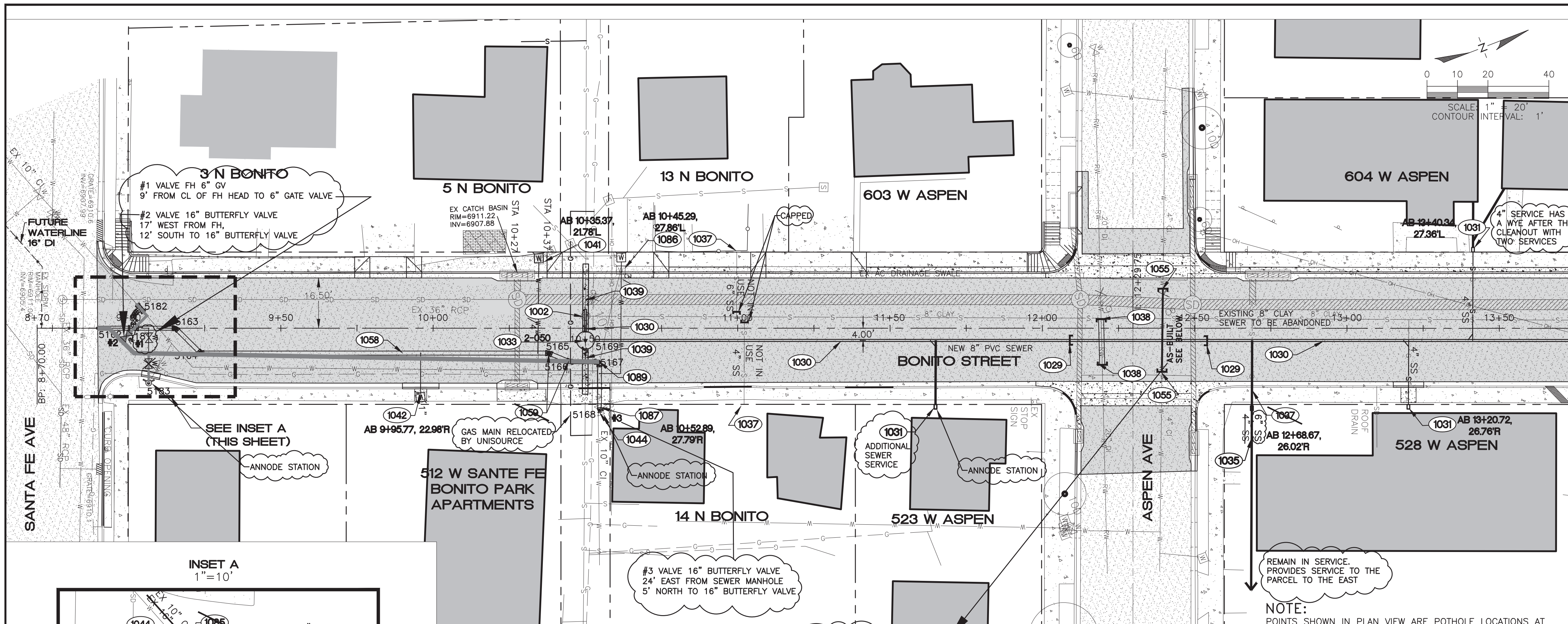
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3/9/15

BONITO ST. IMPROVEMENT PLANS  
CITY OF FLAGSTAFF  
CONSTRUCTION PLANS

CONSTRUCTION NOTES  
PUBLIC IMPROVEMENTS

- 1002 (1 EA) REMOVE EXISTING SEWER MANHOLE. DISPOSE OF MATERIAL OFFSITE AT AN APPROVED LOCATION. EXTEND EXISTING PIPES TO NEW MANHOLE AT EXISTING GRADE. PREVENT DEBRIS FROM ENTERING EXISTING SYSTEM. BULKHEAD EXISTING PIPES TO BE ABANDONED PER MAG SD 427.
- 1029 (45 L.F.) INSTALL 8" DIA. DI (CLASS 150, LINED) SEWER LINE IN ACCORDANCE WITH MAG SS 601 & 615. TYPICAL TRENCHING AND BACK FILL PER COF SD NO. 9-01-030.
- 1030 (288 L.F.) INSTALL 8" DIA. PVC (SDR 35) SEWER LINE IN ACCORDANCE WITH MAG SS 601 & 615. TYPICAL TRENCHING AND BACK FILL PER COF SD NO. 9-01-030.
- 1031 (2 EA) REMOVE AND REPLACE 4" DIA. PVC SANITARY SEWER SERVICE, FROM MAIN TO RIGHT OF WAY, IN ACCORDANCE WITH MODIFIED MAG SD NO. 440-3. INSTALL 4" DIA. PVC DEEP SANITARY SEWER SERVICE WHERE REQUIRED IN ACCORDANCE WITH COF SD NO. 9-02-080. CONNECT TO EXISTING SERVICE PER DETAIL ON SHEET 4. CONTRACTOR SHALL FIELD VERIFY SIZE OF SERVICE.
- 1033 (1 EA) CONSTRUCT 60" DIAMETER MANHOLE IN ACCORDANCE WITH MAG SD NO. 420 & NO. 424. ADJUST FRAME AND COVER IN ACCORDANCE WITH COF SD NO. 9-03-062.
- 1037 (3 EA) ABANDON EXISTING SEWER SERVICE IN PLACE. CAP AT THE PROPERTY LINE WITH CONCRETE. VERIFY SERVICE IS NOT IN USE PRIOR TO ABANDONMENT.
- 1038 (15 L.F.) INSTALL 20" DIA. DI RECLAIMED WATERLINE (CLASS 350) COMPLETE INCLUDING ALL APPURTENANCES PER MAG SS 601 AND SS 610. TYPICAL TRENCHING AND BACK FILL PER COF SD NO. 9-01-030. DEFLECT JOINT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. INCLUDES BENDS AS NECESSARY FOR VERTICAL REALIGNMENT PER MAG SD 370.
- 1039 (37 L.F.) CONCRETE ENCASE 8" SANITARY SEWER PER MAG SD 404.
- 1041 (1 EA) REMOVE AND REPLACE 3/4" WATER SERVICE, FROM MAIN TO RIGHT OF WAY, IN ACCORDANCE WITH COF 9-03-070 ON SHEET 4.
- 1042 (1 EA) REMOVE AND REPLACE 1" WATER SERVICE, FROM MAIN TO RIGHT OF WAY, IN ACCORDANCE WITH COF 9-03-070 ON SHEET 4.
- 1044 (2 EA) NEW 16" WATER LINE TO EXISTING 10" WATER LINE CONNECTION WITH FITTINGS AND BENDS AS NECESSARY FOR ANY VERTICAL ALIGNMENT PER MAG SD 370.
- 1046 (1 EA) REMOVE AND REPLACE FIRE HYDRANT ASSEMBLY IN ACCORDANCE WITH COF SD NO. 13-03-011. WITH 16" MJ X 6" FLANGE TEE, 6" FLANGE X 6" MJ VALVE, VALVE BOX, AND COVER TO FINISHED GRADE. SALVAGE REMOVED HYDRANT TO FLAGSTAFF YARD.
- 1055 (28 L.F.) INSTALL 8" DIA. DI WATERLINE (CLASS 350) COMPLETE INCLUDING ALL APPURTENANCES PER MAG SD 404 AND MAG SS 601 AND SS 610. TYPICAL TRENCHING AND BACK FILL PER COF SD NO. 9-01-030. DEFLECT JOINT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. INCLUDES FITTINGS FOR CONNECTION TO EXISTING 4" CI AND BENDS AS NECESSARY FOR VERTICAL REALIGNMENT PER MAG SD 370.
- 1058 (185 L.F.) INSTALL 16" DIA. DI WATERLINE (CLASS 350) COMPLETE INCLUDING ALL APPURTENANCES PER MAG SD 404 AND MAG SS 601 AND SS 610. TYPICAL TRENCHING AND BACK FILL PER COF SD NO. 9-01-030. DEFLECT JOINT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 1059 (2 EA) INSTALL 16" DIA. 22.5' BEND. THRUST BLOCK IN ACCORDANCE WITH MAG SD NO. 380.
- 1060 (3 EA) INSTALL 16" DIA. 45' BEND. THRUST BLOCK IN ACCORDANCE WITH MAG SD NO. 380.
- 1084 (1 EA) STUB WITH WATERTIGHT SEAL 16" DI WATERLINE FOR FUTURE CONNECTION.
- 1085 (2 EA) NEW 16"x16" PVC TEE. THRUST BLOCK PER MAG SD 380.
- 1086 (1 EA) REMOVE AND REPLACE 3/4" WATER SERVICE NON TYPICAL, FROM MAIN TO RIGHT OF WAY, IN ACCORDANCE WITH COF 9-03-070. TRAFFIC RATED, LID REQUIRED. CONNECT TO EXISTING SERVICE PER DETAIL ON SHEET 4. ITEM INCLUDES BENDS AS NECESSARY FOR VERTICAL AND HORIZONTAL ALIGNMENT.
- 1087 (2 EA) INSTALL GATE VALVE ON 16" WATERLINE (INCL. VALVE BOX AND COVER) IN ACCORDANCE WITH MAG SD NO. 301 AND MAG SS 610. INSTALL AND ADJUST VALVE BOX AND COVER PER MAG SD 391.
- 1089 (1 EA) INSTALL 16" DIA. 90' BEND. THRUST BLOCK IN ACCORDANCE WITH MAG SD NO. 380.
- 1135 (1 EA) INSTALL 6" SEWER SERVICE



SEE SHEET 14 FOR UTILITY CROSS SECTIONS, PROFILES AND NOTES

NOTE:  
POINTS SHOWN IN PLAN VIEW ARE POTHOLE LOCATIONS AT ROADWAY GRADE.

POINT NO.	NORTHING	EASTING	DESCRIPTION
5162	4010.69	9620.48	WTR-FIELD VERIFY
5163	4034.60	9629.64	BEND
5164	4039.30	9640.20	BEND
5165	4146.04	9681.14	BEND
5166	4151.40	9686.22	BEND
5167	4160.54	9689.73	BEND
5168	4154.83	9704.60	GV
5169	4158.77	9681.55	MH
5181	4021.66	9624.68	TEE
5182	4026.13	9619.44	TEE
5183	4019.86	9643.26	FH

GENERAL NOTES

FIELD TOPOGRAPHY AND BOUNDARY SURVEY INFORMATION USED TO PREPARE THIS DRAWING WERE MADE BY WOODSON ENGINEERING & SURVEY, INC. IN AUGUST, 2013.

CENTERLINE CONTROL IS SHOWN ON SHEET 20.

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AS-BUILT DRAWINGS

DATE: 3/28/16  
BY: Alicia Stoffers, PE

**WOODSON**  
ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN DR.,  
FLAGSTAFF, AZ 86001  
PHONE NO. (928) 774-4636

EXPIRES 9/30/2016

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1-800-782-5348  
(OUTSIDE MARICOPA COUNTY)

REVISIONS:


EXPIRES 9/30/2015

**WOODSON**  
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124 N. ELDEN ST.  
FLAGSTAFF, AZ 86001  
PHONE: (928) 774-4636 FAX: (928) 774-4646

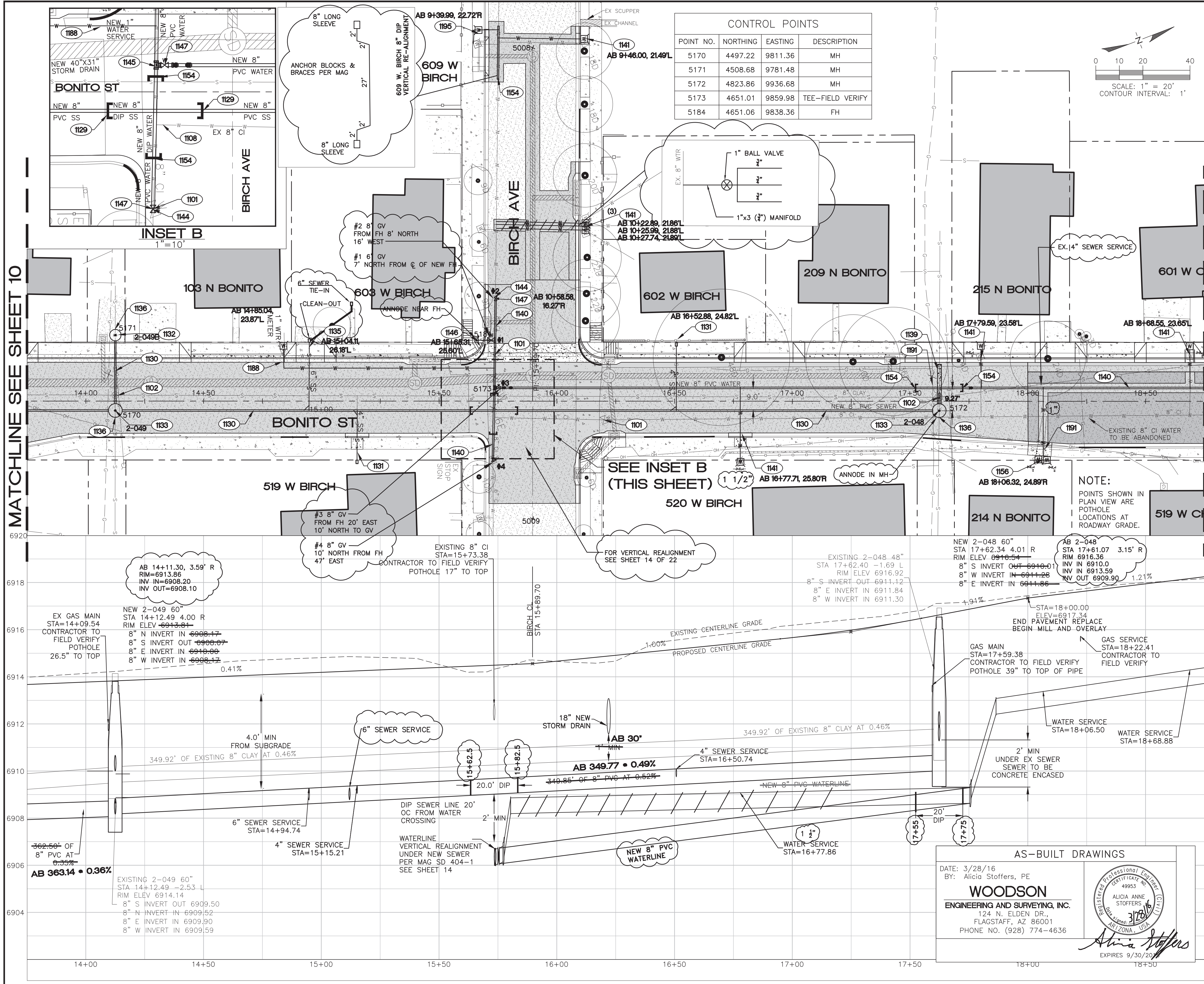
BONITO STREET

WATER AND SEWER  
STA 8+70 TO STA 13+75

HOR SCALE: 1"=20'  
VERT SCALE: 1"=2'

DATE: 3/9/15

DESIGNED BY: AAS  
DRAWN BY: AAS  
PROJECT NO.: 113801  
AGENCY NO.: 03-13012  
SHEET NO.: 10 OF 22



**CONSTRUCTION NOTES  
PUBLIC IMPROVEMENTS**

- (101) (3 EA.) REMOVE EXISTING WATER VALVE. DISPOSE OF MATERIAL OFFSITE AT AN APPROVED LOCATION. BULKHEAD ALL OPEN PIPES OF ABANDONED PIPES.
- (102) (2 EA.) REMOVE EXISTING SEWER MANHOLE. DISPOSE OF MATERIAL OFFSITE AT AN APPROVED LOCATION. EXTEND EXISTING PIPES TO NEW MANHOLE AT EXISTING GRADE. PREVENT DEBRIS FROM ENTERING EXISTING SYSTEM. BULKHEAD EXISTING PIPES TO BE ABANDONED PER MAG SD 427.
- (108) (1 EA.) ABANDON WATER MAIN SEAL ENDS OF PIPES.
- (109) (20 L.F.) INSTALL 8" DIA. DI (CLASS 150, LINED) SEWER LINE IN ACCORDANCE WITH MAG SS 601 & 615. TYPICAL TRENCHING AND BACK FILL PER COF SD NO. 9-01-030.
- (130) (399 L.F.) INSTALL 8" DIA. PVC (SDR 35) SEWER LINE IN ACCORDANCE WITH MAG SS 601 & 615. TYPICAL TRENCHING AND BACK FILL PER COF SD NO. 9-01-030.
- (131) (2 EA.) REMOVE AND REPLACE 4" DIA. PVC SANITARY SEWER SERVICE, FROM MAIN TO RIGHT OF WAY, IN ACCORDANCE WITH MODIFIED MAG SD NO. 440-3. INSTALL 4" DIA. PVC DEEP SANITARY SEWER SERVICE WHERE REQUIRED IN ACCORDANCE WITH COF SD NO. 9-02-080. CONNECT TO EXISTING SERVICE PER DETAIL ON SHEET 4. CONTRACTOR SHALL FIELD VERIFY SIZE OF SERVICE.
- (132) (1 EA.) CONSTRUCT 48" DIAMETER MANHOLE IN ACCORDANCE WITH MAG SD NO. 420 & NO. 424. ADJUST FRAME AND COVER IN ACCORDANCE WITH COF SD NO. 9-03-062.
- (133) (2 EA.) CONSTRUCT 60" DIAMETER MANHOLE IN ACCORDANCE WITH MAG SD NO. 420 & NO. 424. ADJUST FRAME AND COVER IN ACCORDANCE WITH COF SD NO. 9-03-062.
- (135) (1 EA.) REMOVE AND REPLACE 6" DIA. PVC SANITARY SEWER SERVICE, FROM MAIN TO RIGHT OF WAY, IN ACCORDANCE WITH MAG SD NO. 440-3, MODIFIED PER DETAIL ON SHEET 4. INSTALL 6" DIA. PVC DEEP SANITARY SEWER SERVICE WHERE REQUIRED IN ACCORDANCE WITH COF SD NO. 9-02-080. CONNECT TO EXISTING SERVICE PER DETAIL ON SHEET 4. CONTRACTOR SHALL FIELD VERIFY SIZE OF SERVICE.
- (136) (3 EA.) CONNECT EXISTING SEWER LINE TO NEW MANHOLE. PREVENT DEBRIS FROM ENTERING EXISTING SYSTEM. ADJUST PIPE AS NEEDED.
- (139) (17 L.F.) CONCRETE ENCASE 8" SANITARY SEWER PER MAG SD 404.
- (140) (328 L.F.) INSTALL 8" DIA. PVC WATERLINE (C-900/CL 200) COMPLETE INCLUDING ALL APPURTENANCES PER MAG SS 601 AND SS 610. TYPICAL TRENCHING AND BACK FILL PER COF SD NO. 9-01-030. DEFLECT JOINT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- (141) (7 EA.) REMOVE AND REPLACE 3/4" WATER SERVICE, FROM MAIN TO RIGHT OF WAY, IN ACCORDANCE WITH COF 9-03-070. CONNECT TO EXISTING SERVICE PER DETAIL ON SHEET 4.
- (144) (2 EA.) NEW 8" WATER LINE TO EXISTING 8" WATER LINE CONNECTION WITH BENDS AS NECESSARY FOR ANY VERTICAL ALIGNMENT.
- (145) (1 EA.) NEW 8"x8" PVC TEE. THRUST BLOCK PER MAG SD 380.
- (146) (1 EA.) REMOVE AND REPLACE FIRE HYDRANT ASSEMBLY IN ACCORDANCE WITH COF SD NO. 13-03-011. WITH 8" MJ X 6" FLANGE TEE, 6" FLANGE X 6" MJ VALVE, VALVE BOX, AND COVER TO FINISHED GRADE. SALVAGE REMOVED HYDRANT TO FLAGSTAFF YARD.
- (147) (3 EA.) INSTALL 8" GATE VALVE (INCL. VALVE BOX AND COVER) IN ACCORDANCE WITH MAG SD NO. 301 AND MAG SS 610. INSTALL AND ADJUST VALVE BOX AND COVER PER COF SD 9-03-062.
- (154) (60 L.F.) INSTALL 8" DIA. DI WATERLINE (CLASS 350) COMPLETE INCLUDING ALL APPURTENANCES PER MAG SS 601 AND SS 610. TYPICAL TRENCHING AND BACK FILL PER COF SD NO. 9-01-030. DEFLECT JOINT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. INCLUDES BENDS AS NECESSARY FOR VERTICAL REALIGNMENT PER MAG SD 370.
- (156) (1 EA.) INSTALL 1" DIA. COPPER WATER SERVICE CONNECTION PER COF STANDARD DETAIL NO. 9-03-081 ON SHEET 4. CONSTRUCT COPPER MANIFOLD WITH 1" DIA. WATER SERVICE CONNECTION AND 2 3/4" DIA. COPPER WATER SERVICE CONNECTIONS FOR 3/4" METERS. LOCATION PER DETAIL ON SHEET 4.
- (188) (1 EA.) REMOVE AND REPLACE 1" WATER SERVICE (NON-TYPICAL), FROM MAIN TO RIGHT OF WAY AS SHOWN, IN ACCORDANCE WITH COF 9-03-070 ON SHEET 4. ITEM INCLUDES BENDS AS NECESSARY FOR VERTICAL AND HORIZONTAL ALIGNMENT.
- (191) (INCIDENTAL) COORDINATE VERTICAL RELOCATION OF GAS LINE WITH UNISOURCE.
- (195) (1 EA.) RELOCATE 3/4" WATER SERVICE (NON-TYPICAL), FROM MAIN TO RIGHT OF WAY AS SHOWN, IN ACCORDANCE WITH COF 9-03-070 ON SHEET 4. ITEM INCLUDES BENDS AS NECESSARY FOR VERTICAL AND HORIZONTAL ALIGNMENT PER MAG SD 370 AND TO CONNECT TO EXISTING SERVICE.

SEE SHEET 14 FOR UTILITY CROSS SECTIONS, PROFILES AND NOTES

**GENERAL NOTES**

FIELD TOPOGRAPHY AND BOUNDARY SURVEY INFORMATION USED TO PREPARE THIS DRAWING WERE MADE BY WOODSON ENGINEERING & SURVEY, INC. IN AUGUST, 2013.

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MATCHLINE SEE SHEET 10

MATCHLINE SEE SHEET 12

**NOTE:**  
POINTS SHOWN IN PLAN VIEW ARE POTHOLE LOCATIONS AT ROADWAY GRADE.

**AS-BUILT DRAWINGS**

DATE: 3/28/16  
BY: Alicia Stoffers, PE

**WOODSON**  
ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN DR.,  
FLAGSTAFF, AZ 86001  
PHONE NO. (928) 774-4636

*Alicia Stoffers*  
EXPIRES 9/30/2016

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REVISIONS:


*Alicia Stoffers*  
EXPIRES 9/30/2016

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BONITO STREET

WATER AND SEWER  
STA 13+75 TO STA 18+75

HOR SCALE: 1"=20'
VERT SCALE: 1"=2'
DATE: 3/9/15
PROJECT NO.: 113801
AGENCY NO.: 03-13012
SHEET NO.: 11 OF 22

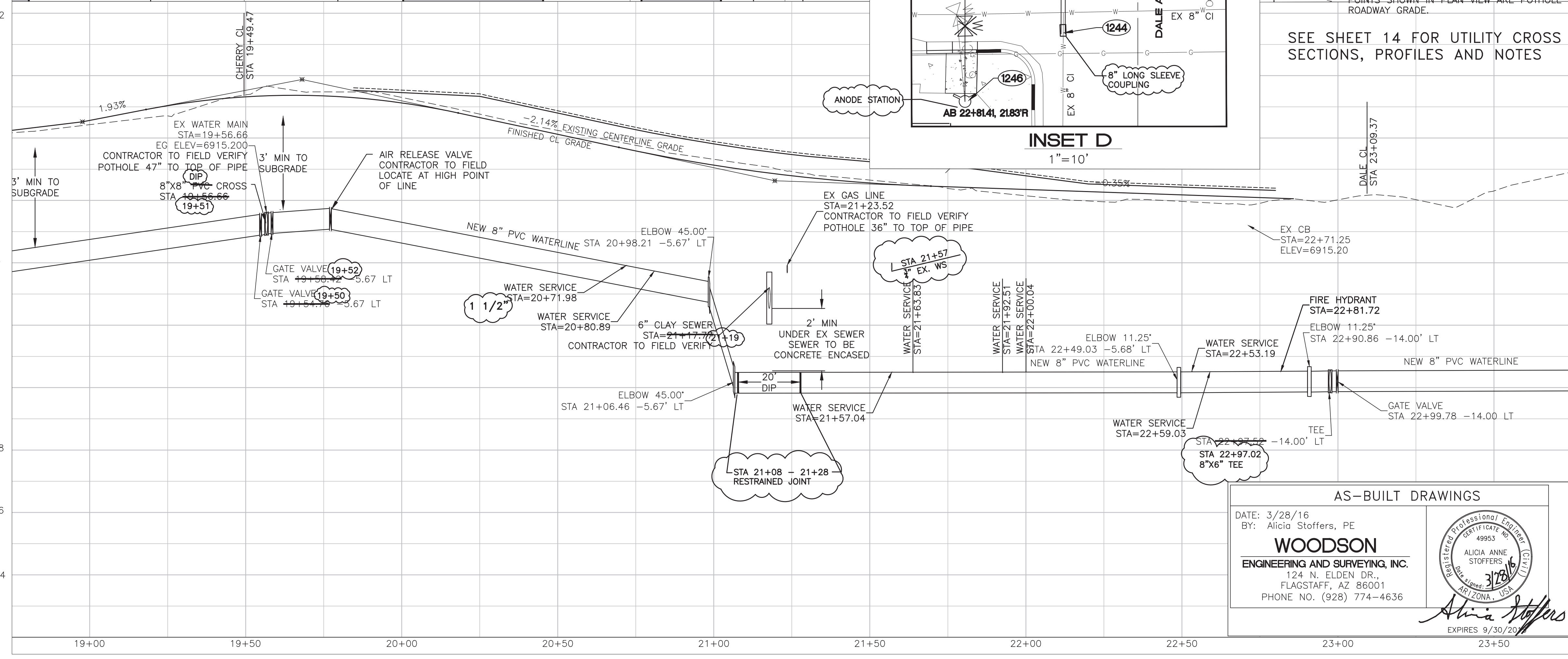
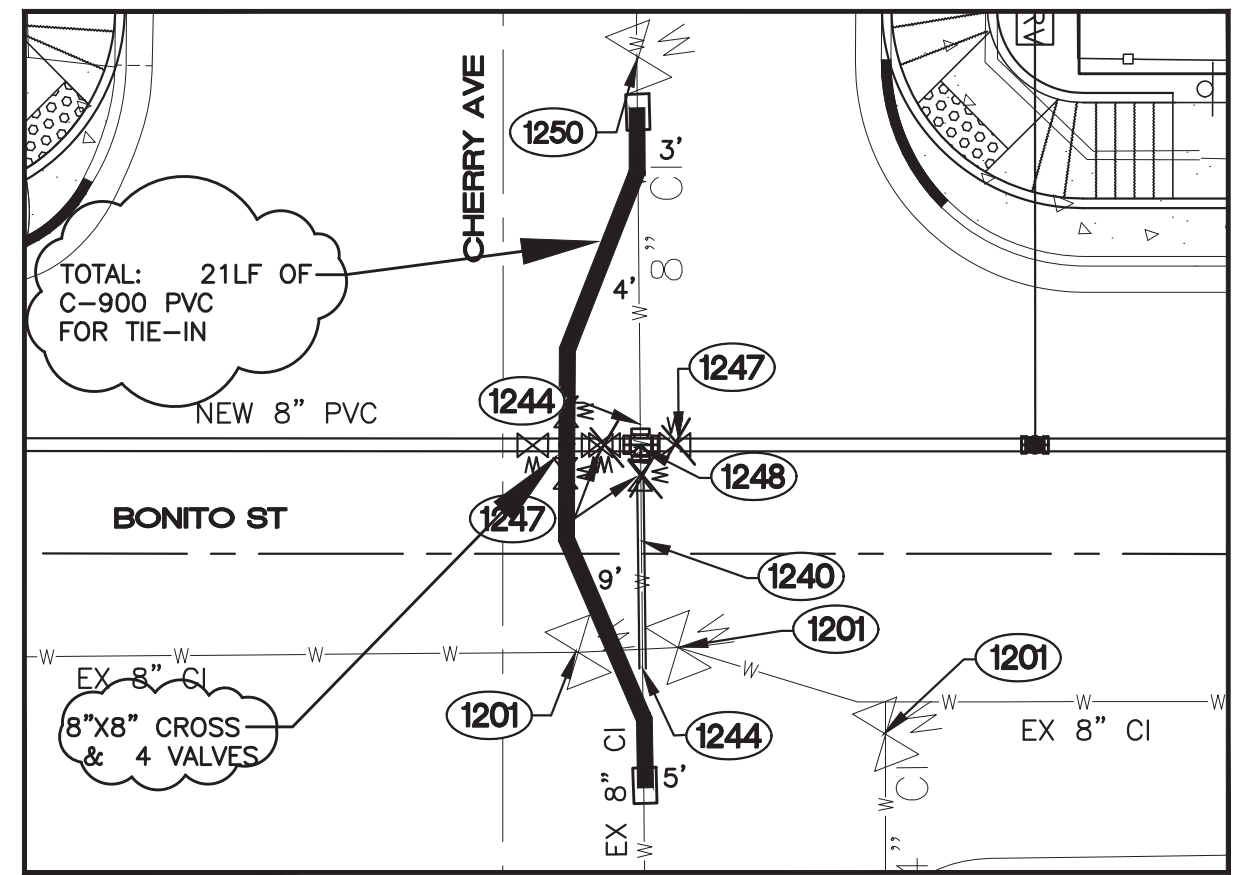
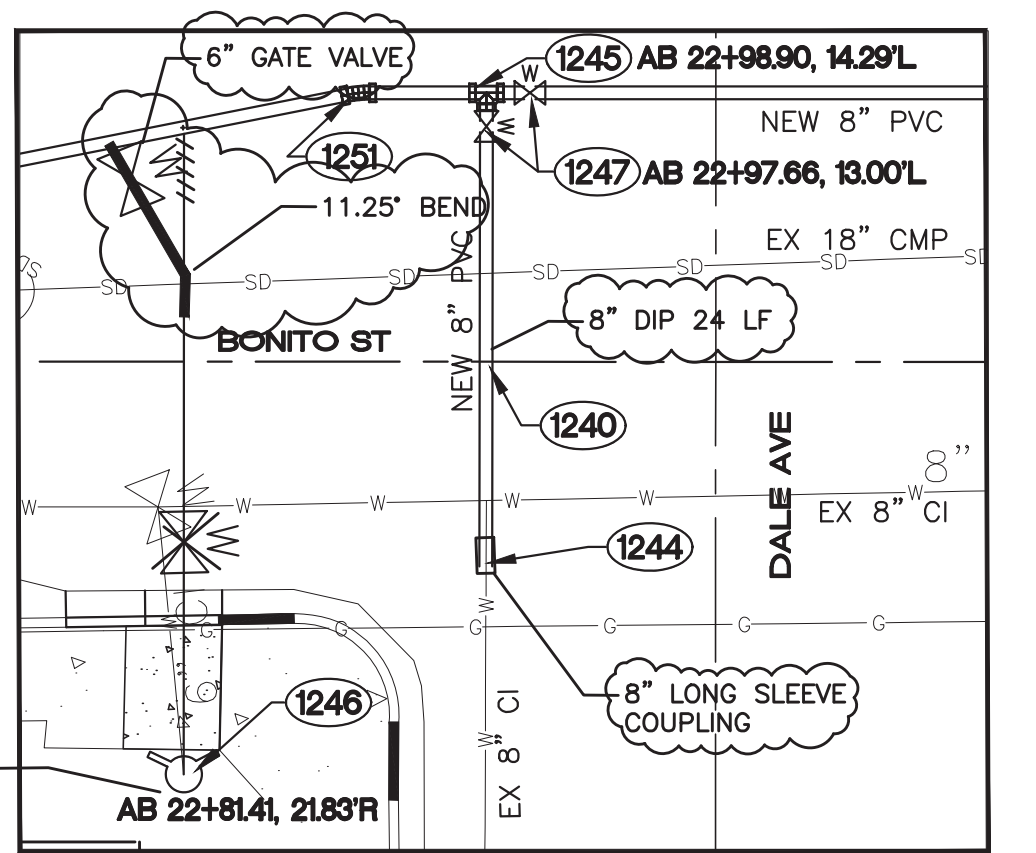
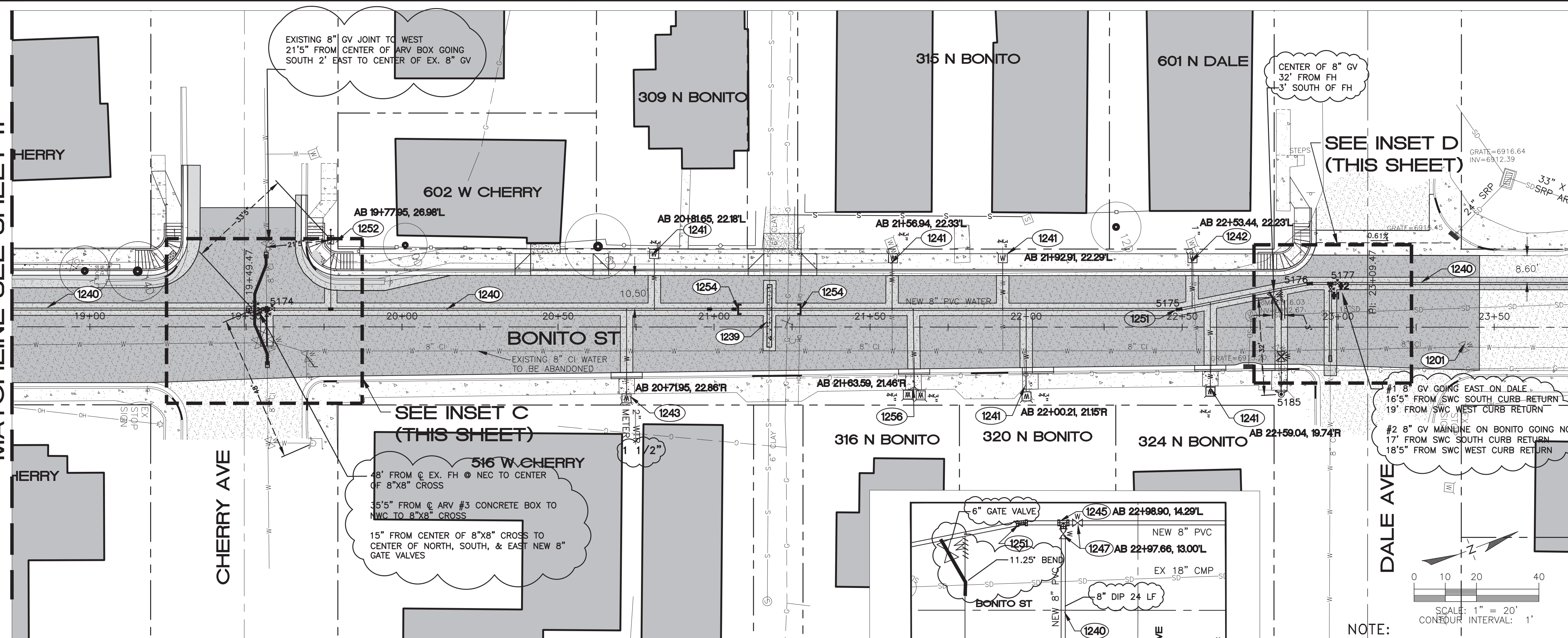
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3/9/15  
BONITO ST. IMPROVEMENT PLANS  
CITY OF FLAGSTAFF  
CONSTRUCTION PLANS  
113801

MATCHLINE SEE SHEET 11

MATCHLINE SEE SHEET 13

CONSTRUCTION NOTES  
PUBLIC IMPROVEMENTS

- 1201 (4 EA.) REMOVE EXISTING WATER VALVE. DISPOSE OF MATERIAL OFFSITE AT AN APPROVED LOCATION. BULKHEAD ALL OPEN PIPES REMAINING.
- 1239 (20 L.F.) CONCRETE ENCASE 8" SANITARY SEWER PER MAG SD 404.
- 1240 (532 L.F.) INSTALL 8" DIA. PVC WATERLINE (C-900/CL 200) COMPLETE INCLUDING ALL APPURTENANCES PER MAG SS 601 AND SS 610. TYPICAL TRENCHING AND BACK FILL PER COF SD NO. 9-01-030. DEFLECT JOINT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 1241 (5 EA.) REMOVE AND REPLACE 3/4" WATER SERVICE, FROM MAIN TO RIGHT OF WAY, IN ACCORDANCE WITH COF 9-03-070. CONNECT TO EXISTING SERVICE PER DETAIL ON SHEET 4.
- 1242 (1 EA.) REMOVE AND REPLACE 1" WATER SERVICE, FROM MAIN TO RIGHT OF WAY, IN ACCORDANCE WITH COF 9-03-070 ON SHEET 4.
- 1243 (1 EA.) REMOVE AND REPLACE 2" WATER SERVICE, FROM MAIN TO EXISTING METER VAULT, IN ACCORDANCE WITH COF 9-03-070. CONNECT TO EXISTING SERVICE PER DETAIL ON SHEET 4.
- 1244 (3 EA.) NEW 8" WATER LINE TO EXISTING 8" WATER LINE CONNECTION WITH BENDS AS NECESSARY FOR ANY VERTICAL ALIGNMENT.
- 1245 (1 EA.) NEW 8"x8" PVC TEE. THRUST BLOCK PER MAG SD 380.
- 1246 (1 EA.) REMOVE AND REPLACE FIRE HYDRANT ASSEMBLY IN ACCORDANCE WITH COF SD NO. 13-03-011. WITH 8" MJ X 6" FLANGE TEE, 6" FLANGE X 6" MJ VALVE, VALVE BOX, AND COVER TO FINISHED GRADE. SALVAGE REMOVE HYDRANT TO FLAGSTAFF YARD.
- 1247 (5 EA.) INSTALL 8" GATE VALVE (INCL. VALVE BOX AND COVER) IN ACCORDANCE WITH MAG SD NO. 301 AND MAG SS 610. INSTALL AND ADJUST VALVE BOX AND COVER PER COF SD 9-03-062.
- 1248 (1 EA.) NEW 8"x8" PVC CROSS. THRUST BLOCK PER MAG SD 380.
- 1250 (1 EA.) ADJUST VALVE BOX AND COVER PER COF SD 9-03-062.
- 1251 (2 EA.) INSTALL 8" DIA. 11.25" BEND. THRUST BLOCK IN ACCORDANCE WITH MAG SD NO. 380.
- 1252 (1 EA.) INSTALL 1" AIR RELEASE VALVE PER DETAIL ON SHEET 4. CONTRACTOR TO FIELD LOCATE AT HIGH POINT IN LINE.
- 1254 (20 L.F.) INSTALL 8" DIA. DI WATERLINE (CLASS 350) COMPLETE INCLUDING ALL APPURTENANCES PER MAG SS 601 AND SS 610. TYPICAL TRENCHING AND BACK FILL PER COF SD NO. 9-01-030. DEFLECT JOINT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. INCLUDES BENDS AS NECESSARY FOR VERTICAL REALIGNMENT.
- 1256 (1 EA.) INSTALL 1" DIA. COPPER WATER SERVICE CONNECTION PER COF STANDARD DETAIL NO. 9-03-081 ON SHEET 4. CONSTRUCT COPPER MANIFOLD WITH 1" DIA. WATER SERVICE CONNECTION AND 2 3/4" DIA. COPPER WATER SERVICE CONNECTIONS FOR 3/4" METERS. LOCATION PER DETAIL ON SHEET 4.



NOTE: POINTS SHOWN IN PLAN VIEW ARE POTHOLE LOCATIONS AT ROADWAY GRADE.

SEE SHEET 14 FOR UTILITY CROSS SECTIONS, PROFILES AND NOTES

AS-BUILT DRAWINGS

DATE: 3/28/16  
By: Alicia Stoffers, PE

**WOODSON**  
ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN DR.,  
FLAGSTAFF, AZ 86001  
PHONE NO. (928) 774-4636

CONTROL POINTS			
POINT NO.	NORTHING	EASTING	DESCRIPTION
5174	5008.73	9997.28	CROSS-FIELD VERIFY
5175	5281.66	10102.04	BEND
5176	5323.73	10109.26	BEND
5177	5329.95	10111.65	TEE
5185	5302.53	10139.14	FH

**GENERAL NOTES**

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113801

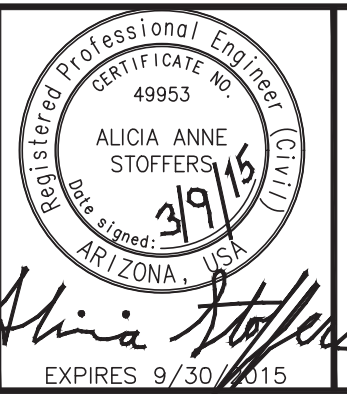
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3/9/15

BONITO ST. IMPROVEMENT PLANS  
CITY OF FLAGSTAFF  
CONSTRUCTION PLANS



REVISIONS:



**WOODSON**  
ENGINEERING AND SURVEYING, INC.

124 N. ELDEN ST.  
FLAGSTAFF, AZ 86001  
PHONE: (928) 774-4636 FAX: (928) 774-4646

BONITO STREET

WATER AND SEWER  
STA 18+75 TO STA 23+75

HOR SCALE: 1"=20'
VERT SCALE: 1"=2'
DATE: 3/9/15
PROJECT NO.: 113801
AGENCY NO.: 03-13012
SHEET NO.: 12 OF 22

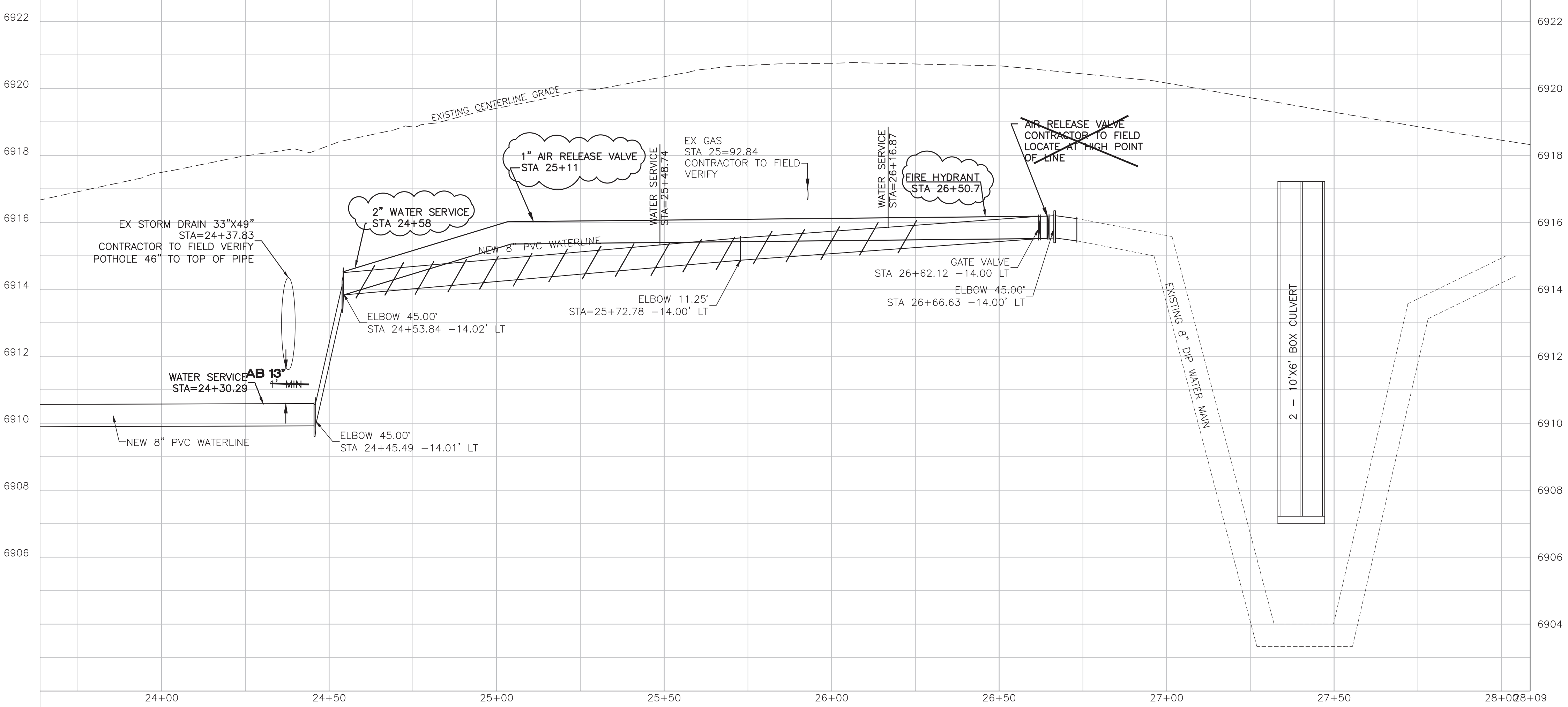
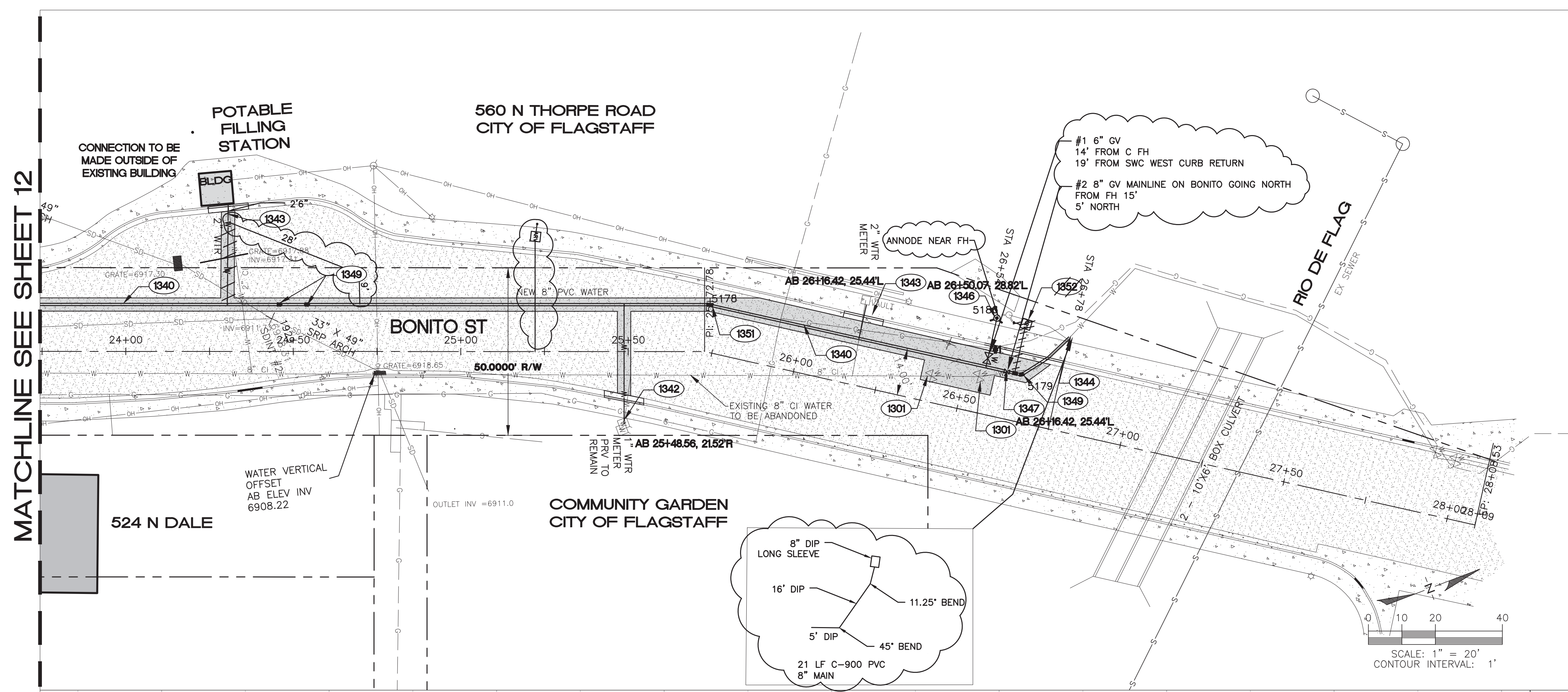
DESIGNED BY: AAS  
DRAWN BY: AAS  
CHECKED BY: RLS

CONSTRUCTION NOTES  
PUBLIC IMPROVEMENTS

- 1301 (2 EA.) REMOVE EXISTING WATER VALVE. DISPOSE OF MATERIAL OFFSITE AT AN APPROVED LOCATION. BULKHEAD ALL OPEN PIPES REMAINING.
- 1340 (300 L.F.) INSTALL 8" DIA. PVC WATERLINE (C-900/CL 200) COMPLETE INCLUDING ALL APPURTENANCES PER MAG SS 601 AND SS 610. TYPICAL TRENCHING AND BACK FILL PER COF SD NO. 9-01-030. DEFLECT JOINT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 1342 (1 EA.) REMOVE AND REPLACE 1" WATER SERVICE, FROM MAIN TO RIGHT OF WAY, IN ACCORDANCE WITH COF 9-03-070. CONNECT TO EXISTING SERVICE PER DETAIL ON SHEET 4.
- 1343 (2 EA.) REMOVE AND REPLACE 2" WATER SERVICE, FROM MAIN TO EXISTING METER VAULT, IN ACCORDANCE WITH COF 9-03-070. CONNECT TO EXISTING SERVICE PER DETAIL ON SHEET 4.
- 1344 (1 EA.) NEW 8" WATER LINE TO EXISTING 8" WATER LINE CONNECTION WITH BENDS AS NECESSARY FOR ANY VERTICAL ALIGNMENT.
- 1346 (1 EA.) REMOVE EXISTING AND INSTALL A NEW FIRE HYDRANT ASSEMBLY IN ACCORDANCE WITH COF SD NO. 13-03-011. WITH 8" MJ X 6" FLANGE TEE, 6" FLANGE X 6" MJ VALVE, VALVE BOX, AND COVER TO FINISHED GRADE. SALVAGE REMOVED HYDRANT TO FLAGSTAFF YARD.
- 1347 (1 EA.) INSTALL 8" GATE VALVE (INCL. VALVE BOX AND COVER) IN ACCORDANCE WITH MAG SD NO. 301 AND MAG SS 610. INSTALL AND ADJUST VALVE BOX AND COVER PER MAG SD 391.
- 1349 (3 EA.) INSTALL 8" DIA. 45' BEND. THRUST BLOCK IN ACCORDANCE WITH MAG SD NO. 380.
- 1351 (1 EA.) INSTALL 8" DIA. 11.25' BEND. THRUST BLOCK IN ACCORDANCE WITH MAG SD NO. 380.
- 1352 (1 EA.) INSTALL 1" AIR RELEASE VALVE PER DETAIL ON SHEET 4. CONTRACTOR TO FIELD LOCATE AT HIGH POINT IN LINE.

NOTE:  
POINTS SHOWN IN PLAN VIEW ARE POTHOLE LOCATIONS AT ROADWAY GRADE.

MATCHLINE SEE SHEET 12



AS-BUILT DRAWINGS

DATE: 3/28/16  
By: Alicia Stoffers, PE

**WOODSON**  
ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN DR.,FLAGSTAFF, AZ 86001  
PHONE NO. (928) 774-4636

*Alicia Stoffers*  
EXPIRES 9/30/2016

CONTROL POINTS			
POINT NO.	NORTHING	EASTING	DESCRIPTION
5178	5588.38	10210.84	BEND
5179	5667.79	10263.71	BEND
5186	5666.96	10245.27	FH

**GENERAL NOTES**

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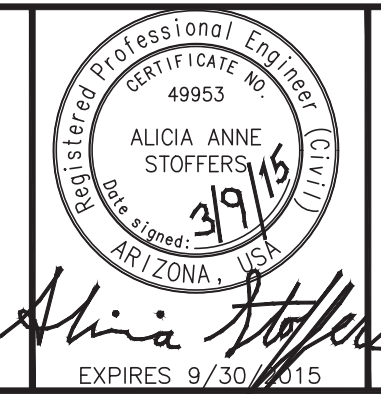
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REVISIONS:

NO.	DATE	DESCRIPTION



**WOODSON**  
ENGINEERING AND SURVEYING, INC.

124 N. ELDEN ST.  
FLAGSTAFF, AZ 86001  
PHONE: (928) 774-4636 FAX: (928) 774-4646

BONITO STREET

WATER AND SEWER  
STA 23+75 TO STA 28+09

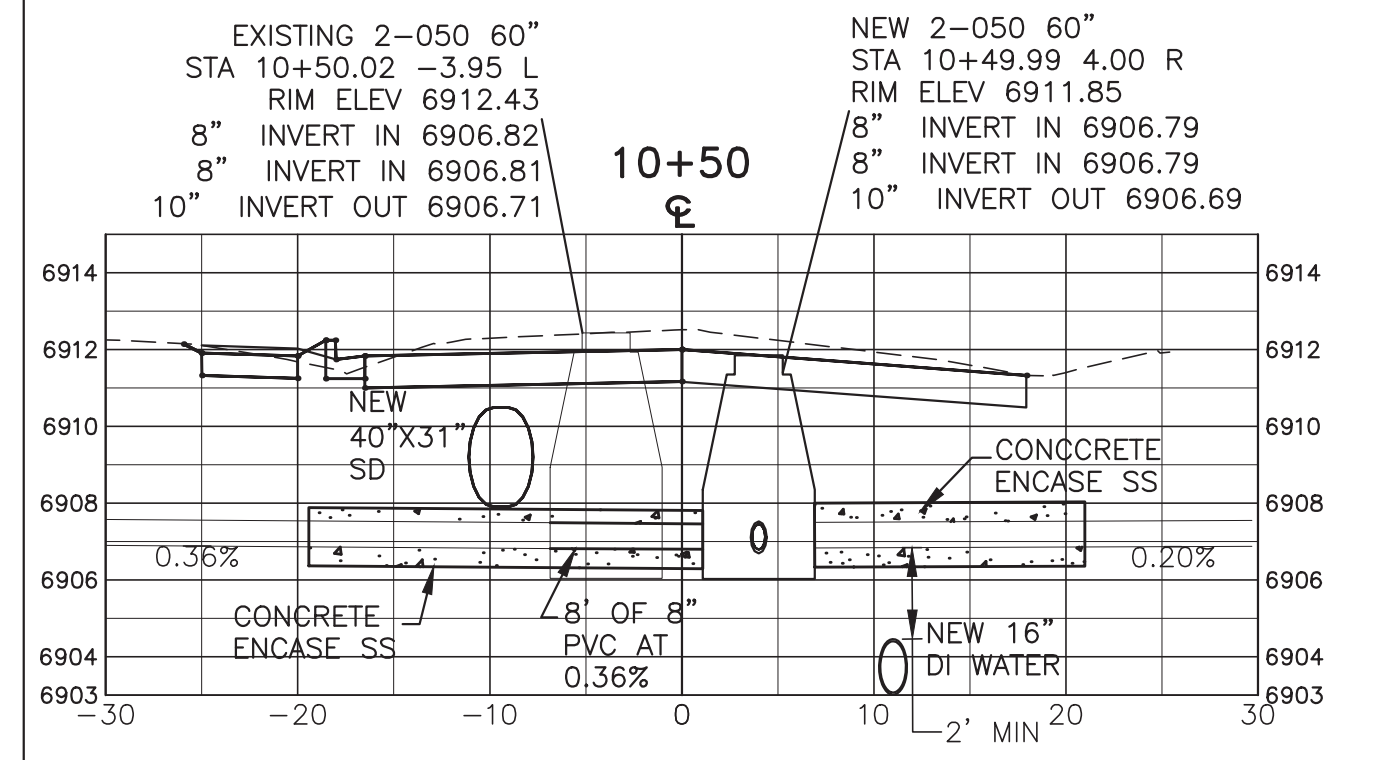
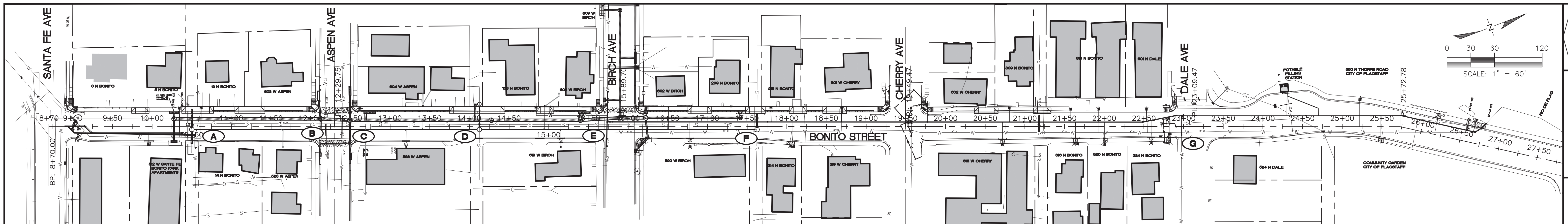
HOR SCALE: 1"=20'
VERT SCALE: 1"=2'
DATE: 3/9/15
PROJECT NO.: 113801
AGENCY NO.: 03-13012
SHEET NO.: 13 OF 22

113801

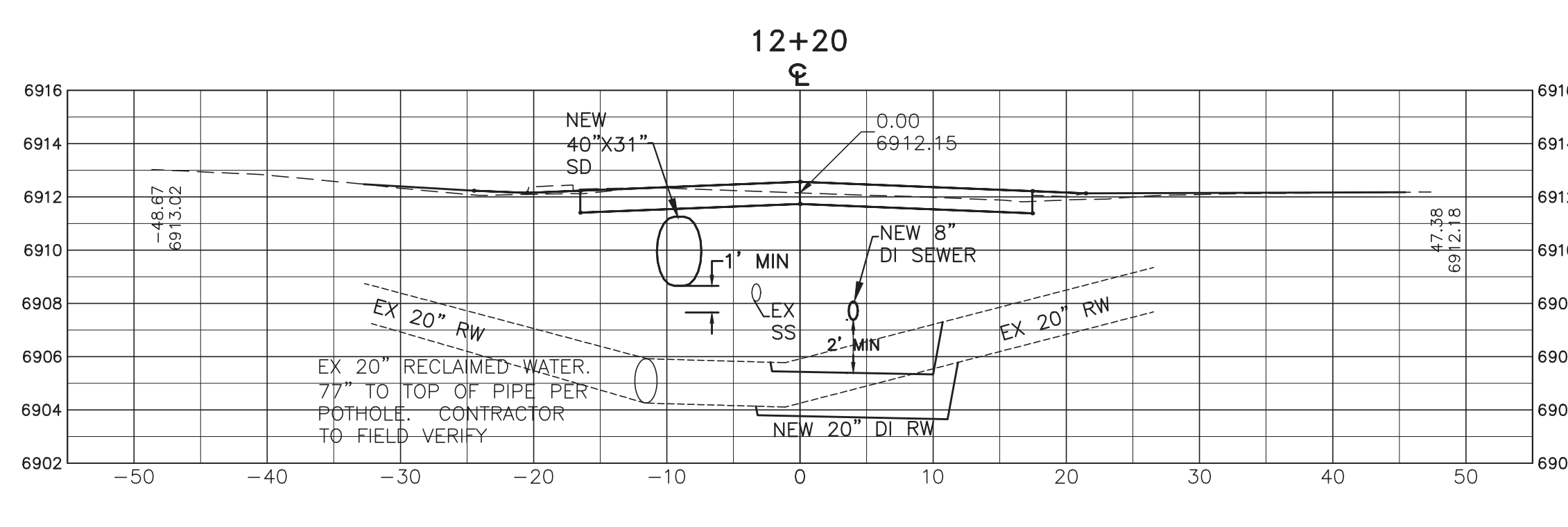
WOODSON ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN ST. • FLAGSTAFF, AZ 86001 • PHONE: (928) 774-4636 FAX: (928) 774-4646

3/9/15

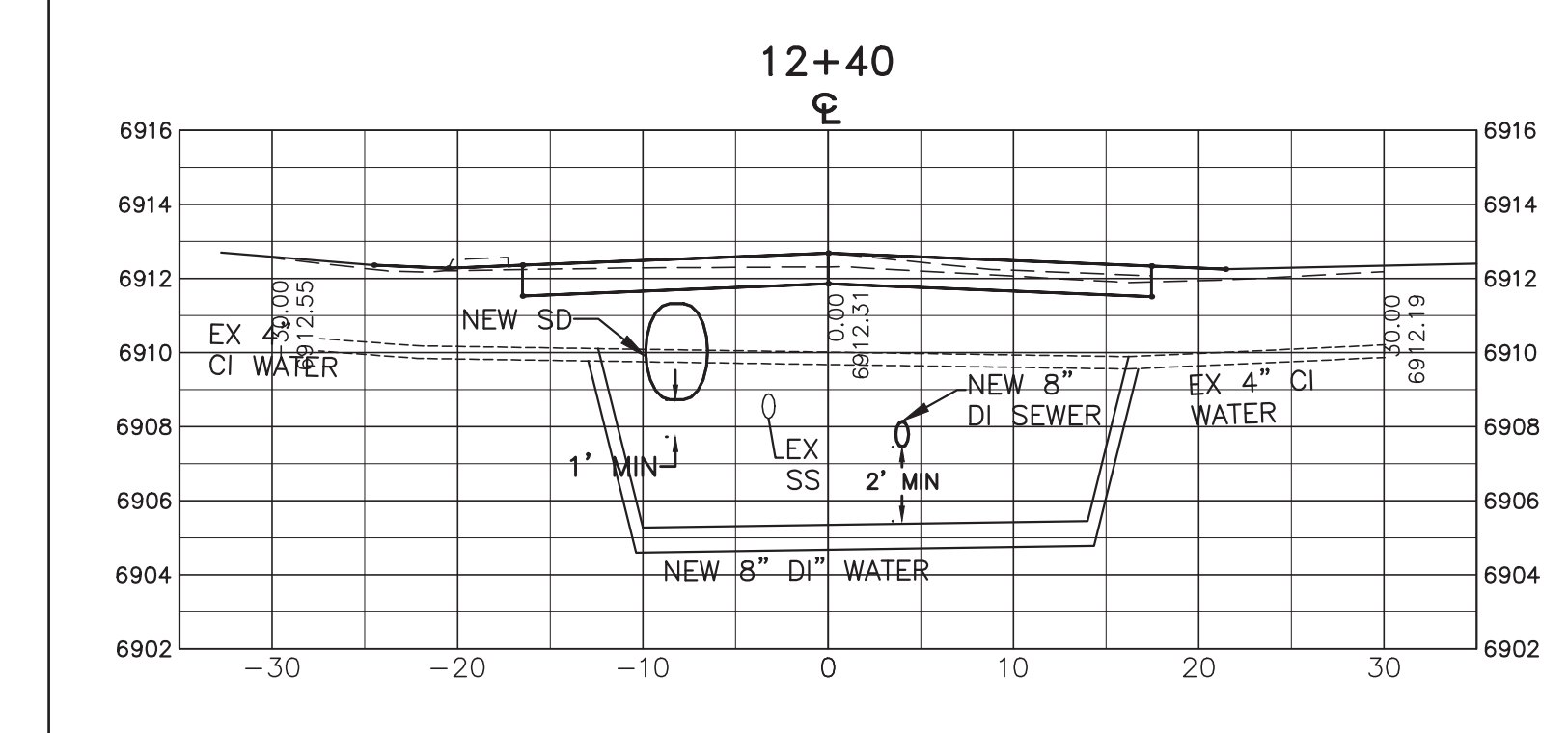
BONITO ST. IMPROVEMENT PLANS  
CITY OF FLAGSTAFF  
CONSTRUCTION PLANS



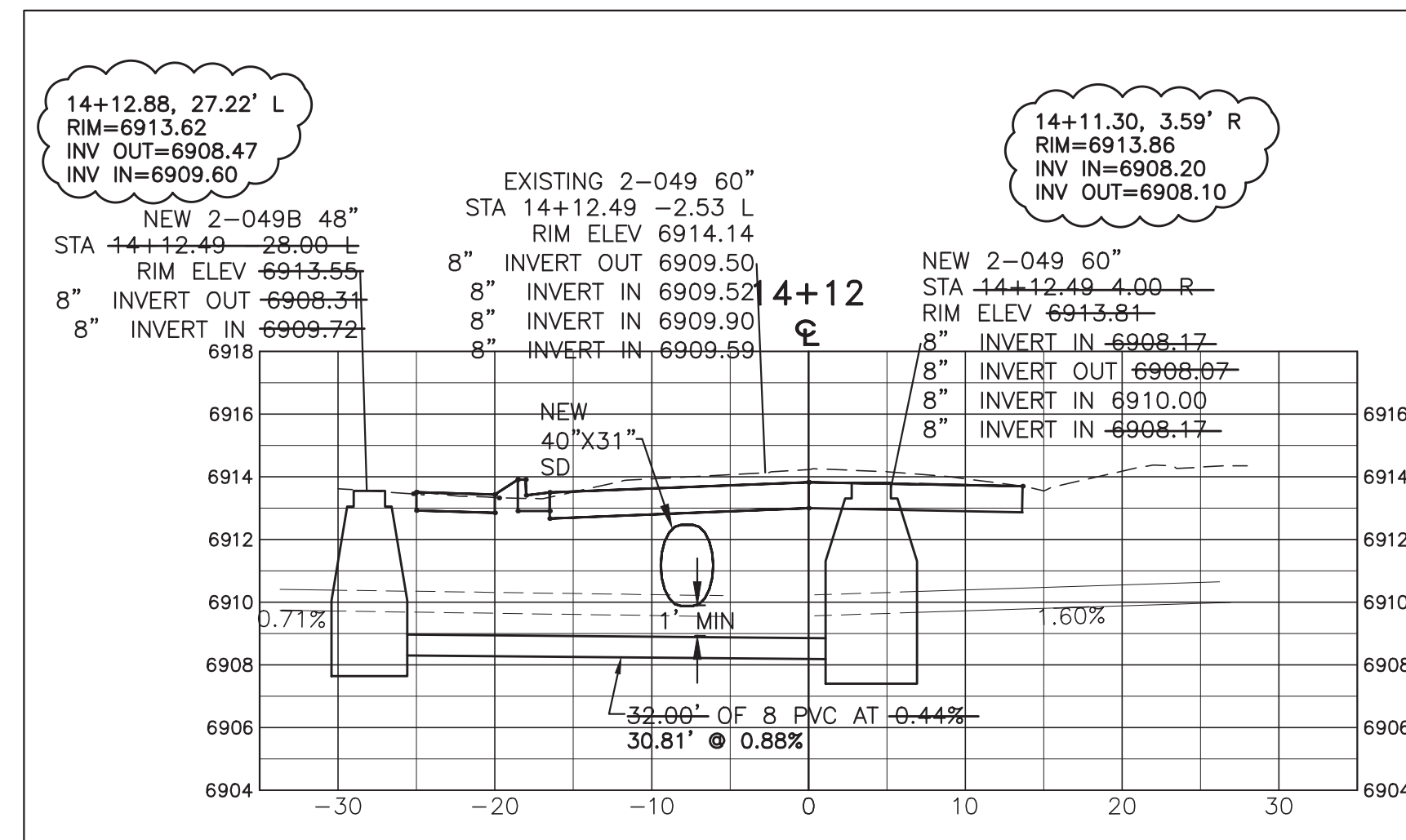
**A** BONITO STREET STA 10+50  
H: 1"=10'  
V: 1"=5'



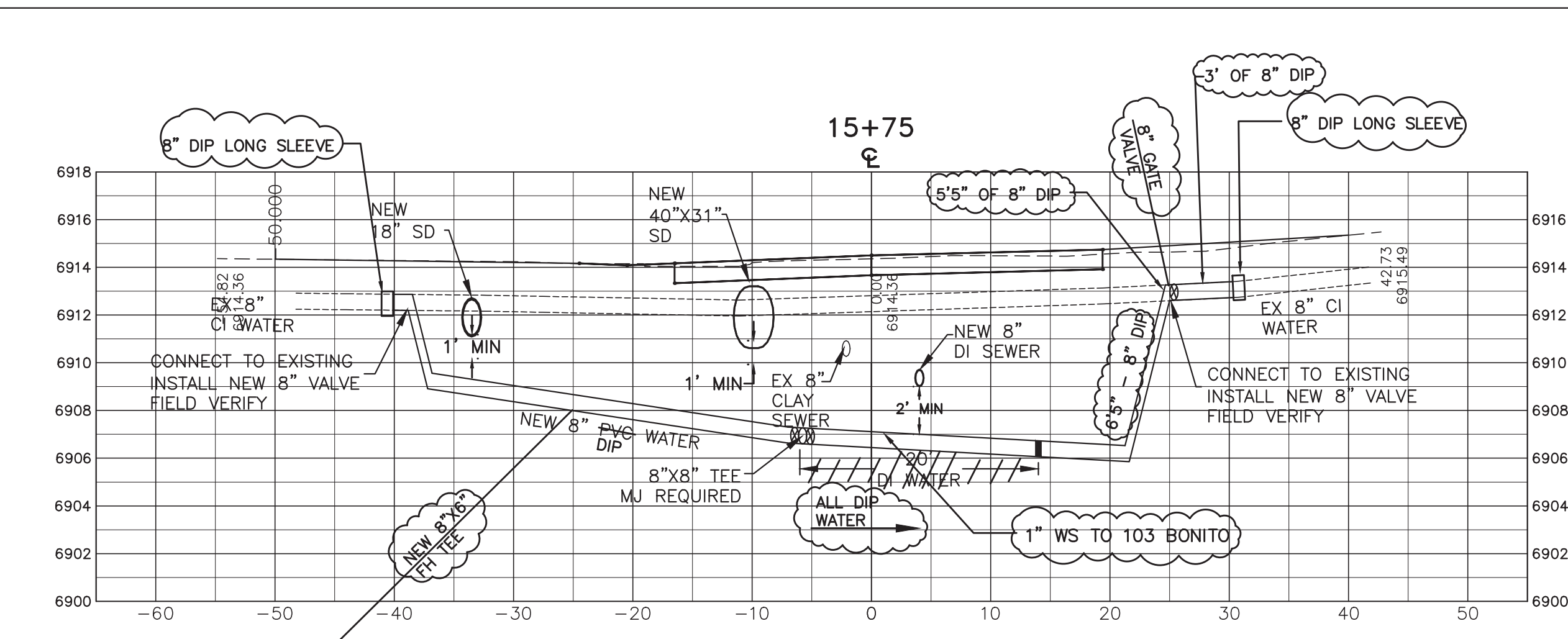
**B** BONITO STREET STA 12+20  
H: 1"=10'  
V: 1"=5'



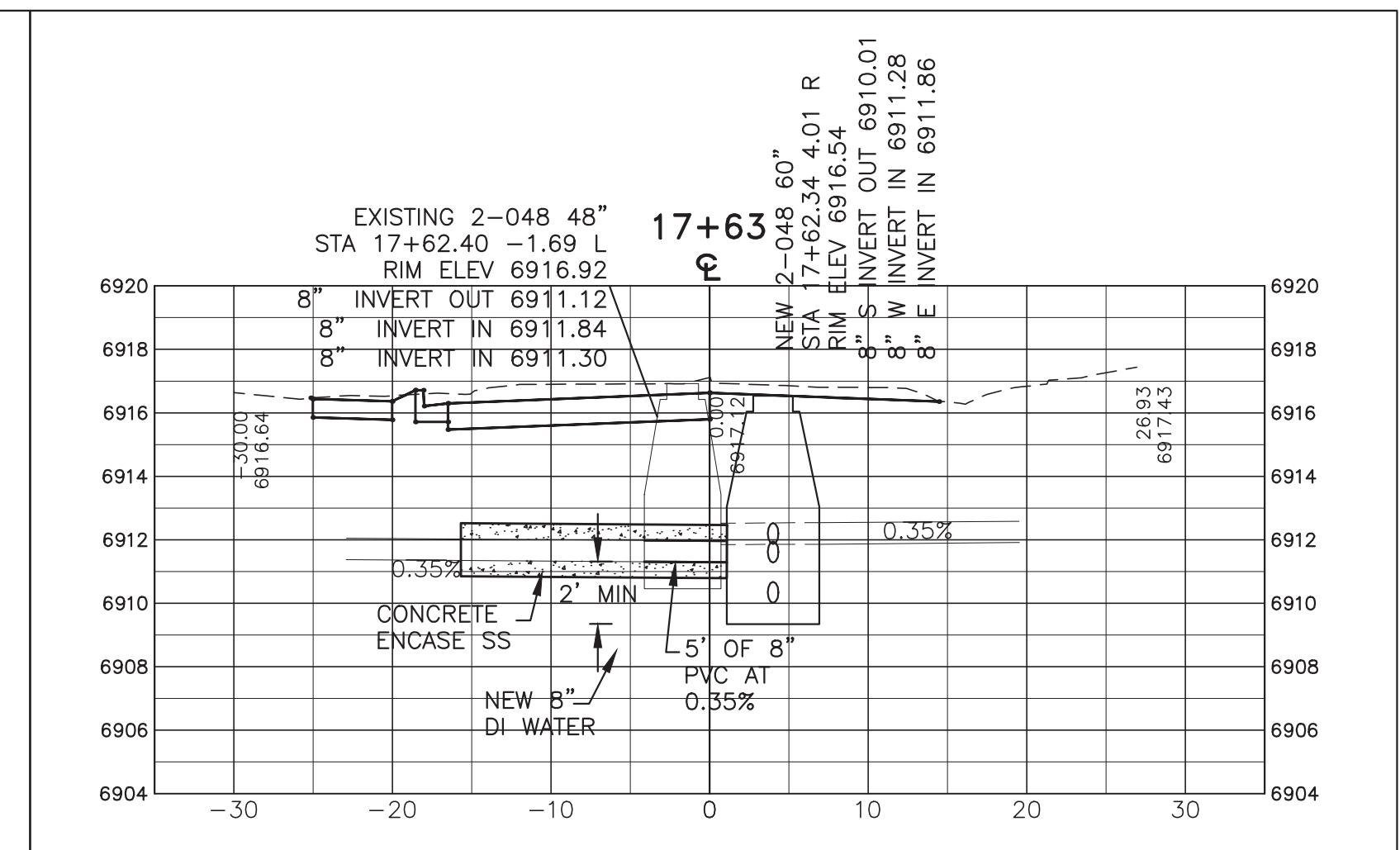
**C** BONITO STREET STA 12+40  
H: 1"=10'  
V: 1"=5'



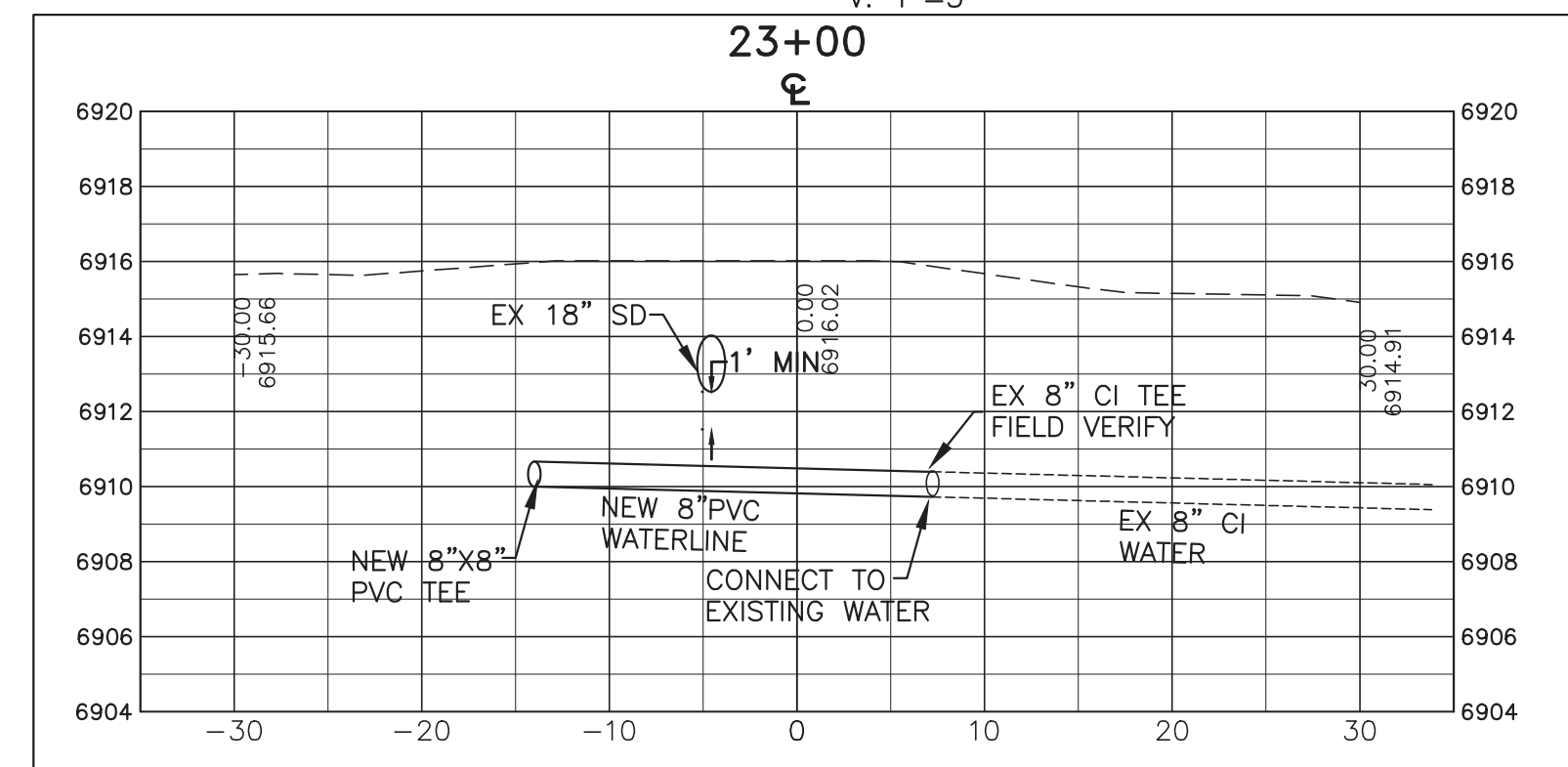
**D** BONITO STREET STA 14+12  
H: 1"=10'  
V: 1"=5'



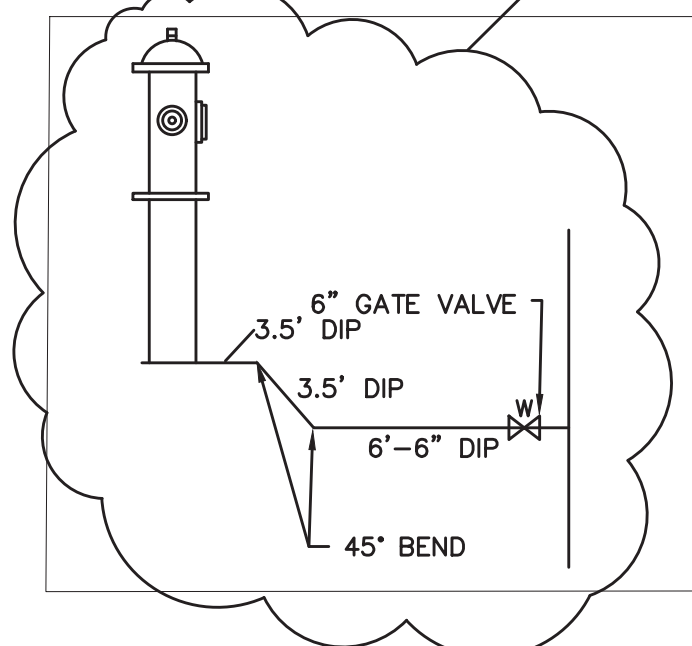
**E** BONITO STREET STA 15+75  
H: 1"=10'  
V: 1"=5'



**F** BONITO STREET STA 17+63  
H: 1"=10'  
V: 1"=5'



**G** BONITO STREET STA 23+00  
H: 1"=10'  
V: 1"=5'



**NOTES**

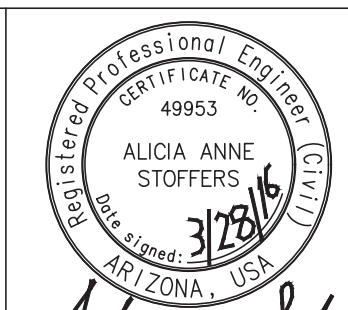
UTILITY SEPARATION MUST BE IN ACCORDANCE WITH MAG SS 310 AND MAG SD 404.

STORM DRAIN SEPARATION PER COF SS 13-09-001-0003.

UNIT COSTS ON SHEETS 11-13 SHALL INCLUDE ALL APPURTENANCES AND FITTINGS NECESSARY TO MEET SEPARATION REQUIREMENTS.

**AS-BUILT DRAWINGS**

DATE: 3/28/16  
BY: Alicia Stoffers, PE  
**WOODSON**  
ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN DR.,  
FLAGSTAFF, AZ 86001  
PHONE NO. (928) 774-4636



**GENERAL NOTES**

FIELD TOPOGRAPHY AND BOUNDARY SURVEY INFORMATION USED TO PREPARE THIS DRAWING WERE MADE BY WOODSON ENGINEERING & SURVEY, INC. IN AUGUST, 2013.

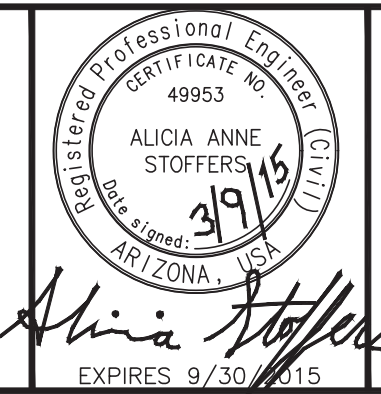
CENTERLINE CONTROL IS SHOWN ON SHEET 20.

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REVISIONS:



**WOODSON**  
ENGINEERING AND SURVEYING, INC.  
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FLAGSTAFF, AZ 86001  
PHONE: (928) 774-4636 FAX: (928) 774-4646

BONITO STREET

UTILITY CONFLICT  
PROFILES

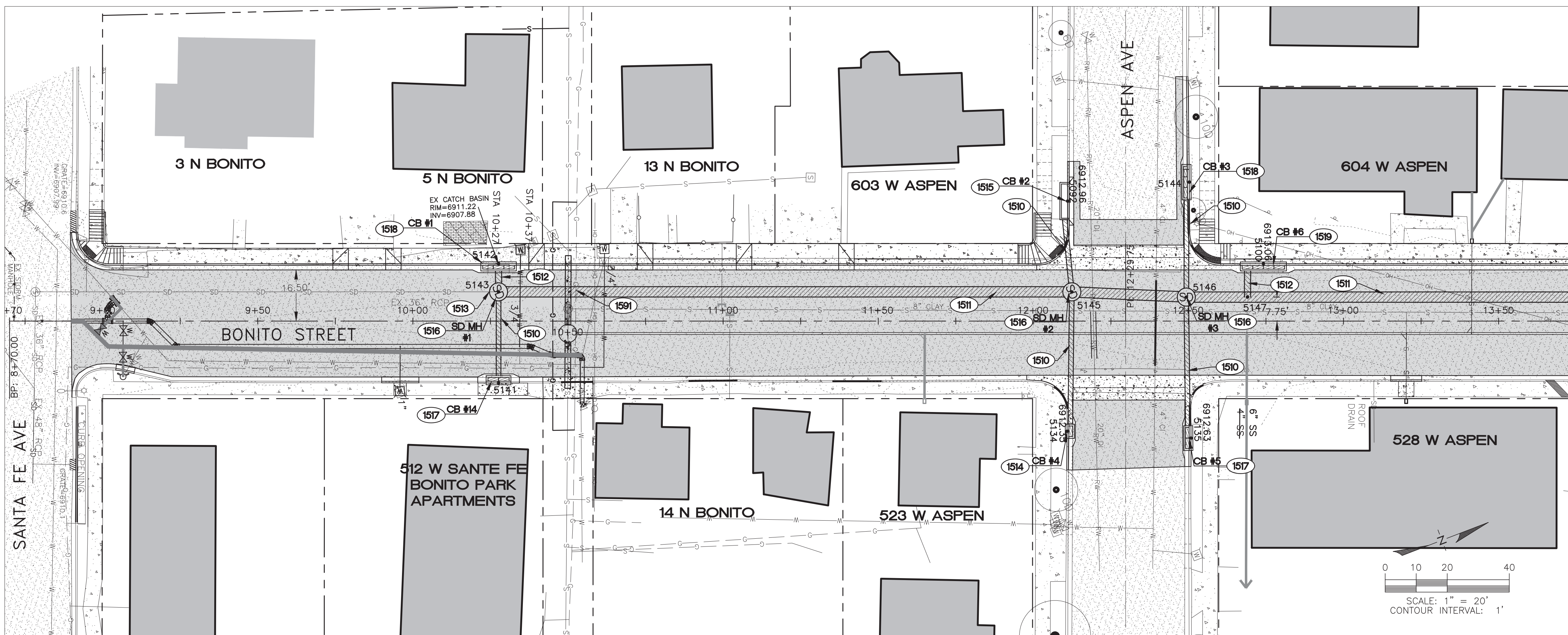
HOR SCALE: 1"=20'
VERT SCALE: 1"=2'
DATE: 3/9/15
PROJECT NO.: 113801
AGENCY NO.: 03-13012
SHEET NO.: 14 OF 22

113801

WOODSON ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN ST. • FLAGSTAFF, AZ 86001 • PHONE: (928) 774-4636 FAX: (928) 774-4646

3/9/15

BONITO ST. IMPROVEMENT PLANS  
CITY OF FLAGSTAFF  
CONSTRUCTION PLANS



**CONSTRUCTION NOTES  
PUBLIC IMPROVEMENTS**

1510 (182 L.F.) INSTALL 18" SMOOTH SRP (14 GA.) IN ACCORDANCE WITH MAG SS 601 & 621. INSTALL AT LOCATIONS NOTED ON PLAN.

1511 (348 L.F.) INSTALL 40"x31" SMOOTH SRP (36" EQUIV) (14 GA.) IN ACCORDANCE WITH MAG SS 601 & 621. INSTALL AT LOCATIONS NOTED ON PLAN.

1512 (18 L.F.) INSTALL 24" SMOOTH SRP (14 GA.) IN ACCORDANCE WITH MAG SS 601 & 621. INSTALL AT LOCATIONS NOTED ON PLAN.

1513 (1 EA.) CONNECT EXISTING STORM DRAIN PIPE TO NEW STORM MANHOLE. FIELD VERIFY LOCATION OF EXISTING STORM DRAIN.

1514 (1 EA.) CONSTRUCT TYPE "E" CATCH BASIN, SINGLE UNIT IN ACCORDANCE WITH MAG SD NO. 534. LOCATE PER THE CONTROL POINT AT BACK OF CURB IN THE MIDDLE OF THE CATCH BASIN.

1515 (1 EA.) CONSTRUCT TYPE "C" CATCH BASIN, SINGLE UNIT IN ACCORDANCE WITH MAG SD NO. 532, MODIFIED FOR 11' OPENING. LOCATE PER THE CONTROL POINT AT BACK OF CURB IN THE MIDDLE OF THE CATCH BASIN.

1516 (3 EA.) CONSTRUCT STORM DRAIN MANHOLE IN ACCORDANCE WITH MAG SD NO. 520 AND NO. 522, SHALLOW MANHOLE MODIFIED TO 60" DIAMETER. INSTALL AT LOCATIONS NOTED ON PLAN.

1517 (2 EA.) CONSTRUCT TYPE "E" CATCH BASIN, DOUBLE UNIT IN ACCORDANCE WITH MAG SD NO. 534. LOCATE PER THE CONTROL POINT AT BACK OF CURB IN THE MIDDLE OF THE CATCH BASIN.

1518 (2 EA.) CONSTRUCT TYPE "E" CATCH BASIN IN ACCORDANCE WITH MAG SD NO. 534, MODIFIED TO HAVE THREE GRATES. LOCATE PER THE CONTROL POINT AT BACK OF CURB IN THE MIDDLE OF THE CATCH BASIN.

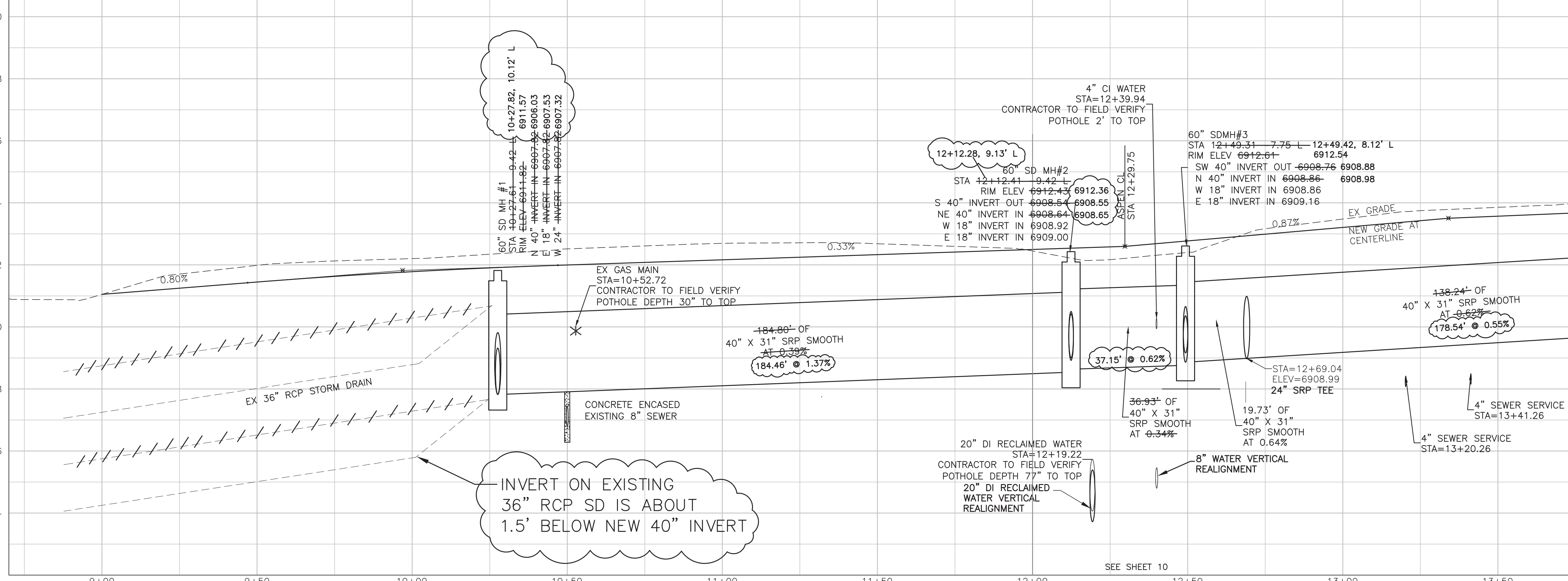
1519 (1 EA.) CONSTRUCT TYPE "E" CATCH BASIN IN ACCORDANCE WITH MAG SD NO. 534, MODIFIED TO HAVE FOUR GRATES. LOCATE PER THE CONTROL POINT AT BACK OF CURB IN THE MIDDLE OF THE CATCH BASIN.

1591 (INCIDENTAL) COORDINATE VERTICAL RELOCATION OF GAS LINE WITH UNISOURCE.

**NOTES:**  
SEE SHEET 17 FOR STORM DRAIN LATERAL PROFILES. QUANTITIES NOTED ON THIS SHEET.

SCALE: 1" = 20'  
CONTOUR INTERVAL: 1'

MATCHLINE  
SEE SHEET 16



POINT NO.	NORTHING	EASTING	DESCRIPTION
5092	4324.43	9699.37	BOC-CB
5100	4376.13	9740.81	BOC-CB
5134	4297.71	9768.58	BOC-CB
5135	4334.22	9784.93	BOC-CB
5141	4132.17	9688.43	BOC-CB
5142	4145.93	9652.53	BOC-CB
5143	4142.68	9661.01	SD MH
5144	4363.23	9707.70	BOC-CB
5145	4315.22	9727.18	SD MH
5146	4349.07	9741.95	SD MH
5147	4367.49	9749.02	TEE

**AS-BUILT DRAWINGS**

DATE: 3/28/16  
BY: Alicia Stoffers, PE

**WOODSON  
ENGINEERING AND SURVEYING, INC.**  
124 N. ELDEN DR.,  
FLAGSTAFF, AZ 86001  
PHONE NO. (928) 774-4636

REGISTERED PROFESSIONAL ENGINEER  
49953  
ALICIA ANNE STOFFERS  
ARIZONA, USA  
EXPIRES 9/30/2016

**GENERAL NOTES**

FIELD TOPOGRAPHY AND BOUNDARY SURVEY INFORMATION USED TO PREPARE THIS DRAWING WERE MADE BY WOODSON ENGINEERING & SURVEY, INC. IN AUGUST, 2013.

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1-800-782-5348  
(OUTSIDE MARICOPA COUNTY)

FN: 15 SD

REVISIONS:


REGISTERED PROFESSIONAL ENGINEER  
49953  
ALICIA ANNE STOFFERS  
ARIZONA, USA  
3/9/15  
EXPIRES 9/30/2015

**WOODSON**  
ENGINEERING AND SURVEYING, INC.

124 N. ELDEN ST.  
FLAGSTAFF, AZ 86001  
PHONE: (928) 774-4636 FAX: (928) 774-4646

**BONITO STREET**

**STORM DRAIN  
STA 8+90 TO STA 13+75**

HOR SCALE: 1"=20'  
VERT SCALE: 1"=2'

DATE: 3/9/15  
PROJECT NO.: 113801  
AGENCY NO.: 03-13012  
SHEET NO.: 15 OF 22

WOODSON ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN ST. • FLAGSTAFF, AZ 86001 • PHONE: (928) 774-4636 FAX: (928) 774-4646

113801

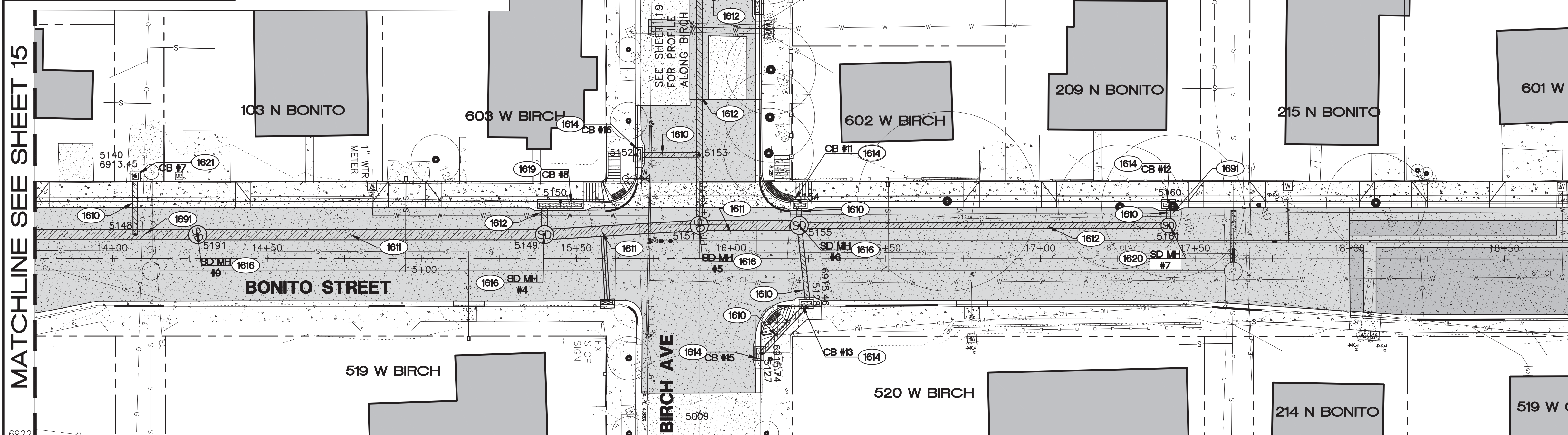
3/9/15

BONITO ST. IMPROVEMENT PLANS  
CITY OF FLAGSTAFF  
CONSTRUCTION PLANS

DESIGNED BY: AAS  
DRAWN BY: AAS  
CHECKED BY: RLS

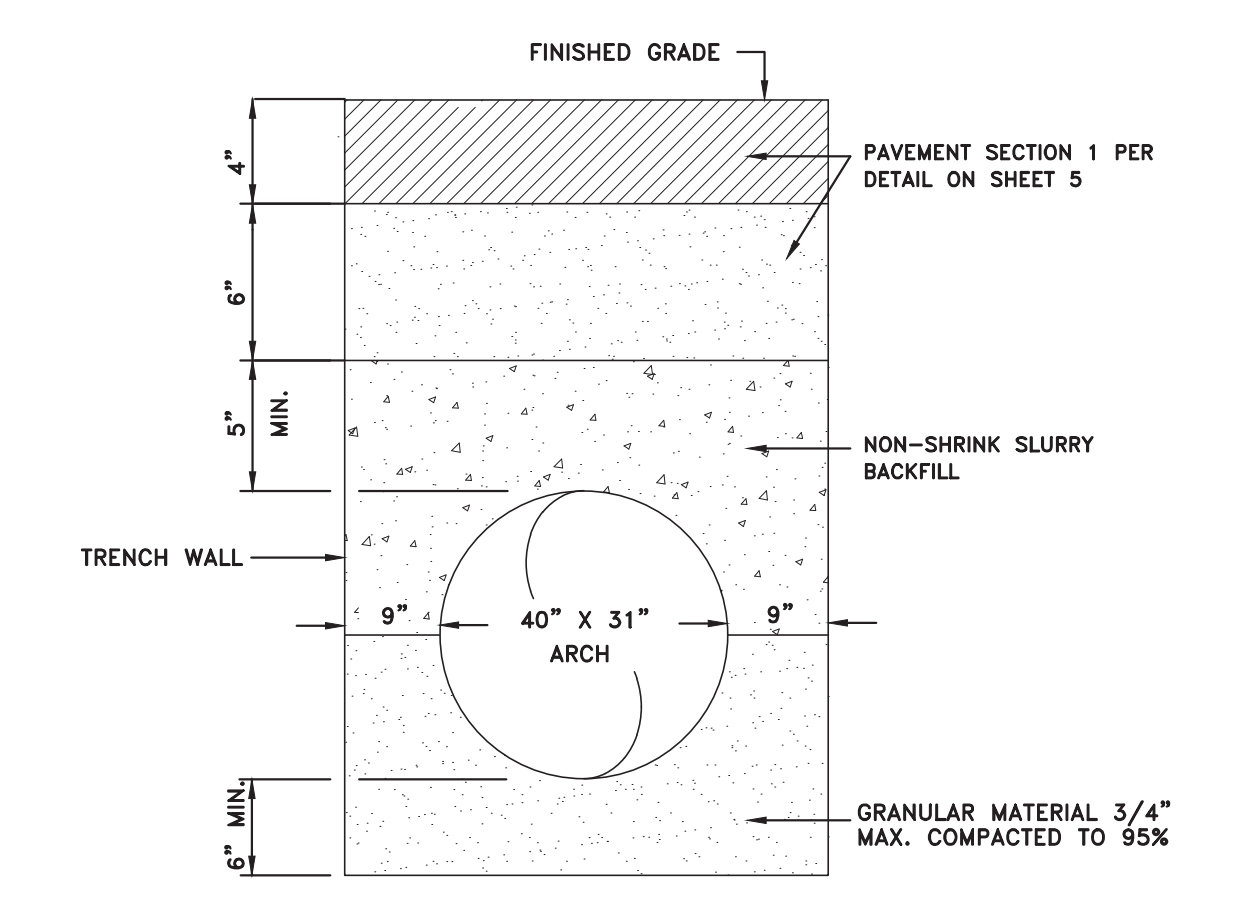
CONTROL POINTS			
POINT NO.	NORTHING	EASTING	DESCRIPTION
5127	4672.04	9906.95	BOC-CB
5128	4690.83	9897.95	boc-cb
5140	4503.34	9780.85	CB CENTER
5148	4496.56	9798.52	TEE
5149	4620.20	9845.86	SD MH
5150	4628.81	9837.72	BOC-CB
5151	4667.97	9861.04	SD MH
5152	4656.90	9832.44	BOC-CB
5153	4676.11	9839.81	TEE
5154	4701.16	9865.48	BOC-CB

CONTROL POINTS			
POINT NO.	NORTHING	EASTING	DESCRIPTION
5155	4698.13	9872.62	SD MH
5156	4713.74	9797.74	BOC-CB
5157	4716.53	9734.43	SD MH
5158	4697.37	9726.95	BOC-CB
5159	4695.03	9790.47	TEE
5160	4812.40	9908.09	boc-cb
5161	4809.60	9915.40	SD MH
5191	4515.44	9805.76	SD MH

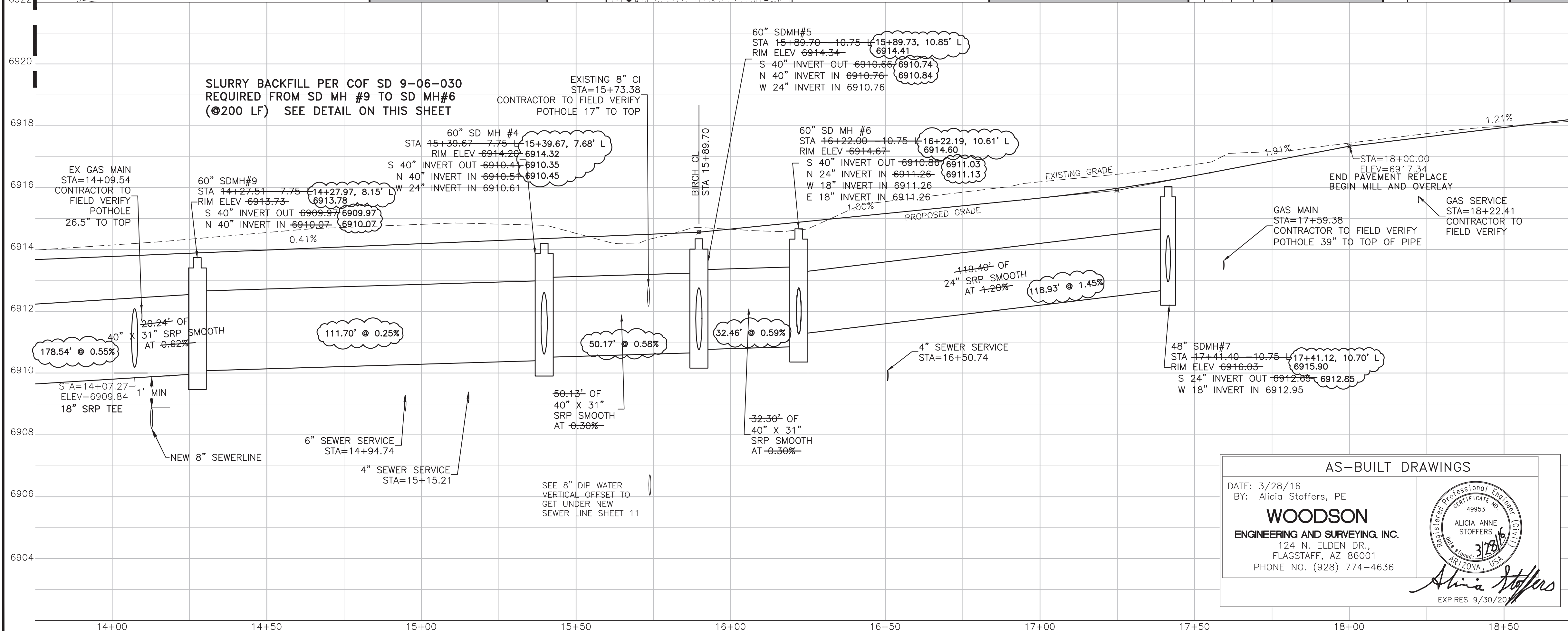


- ### CONSTRUCTION NOTES PUBLIC IMPROVEMENTS
- 1610 (122 L.F.) INSTALL 18" SMOOTH SRP (14 GA.) IN ACCORDANCE WITH MAG SS 601 & 621. INSTALL AT LOCATIONS NOTED ON PLAN.
  - 1611 (246 L.F.) INSTALL 40"x31" SMOOTH SRP (36" EQUIV) (14 GA.) IN ACCORDANCE WITH MAG SS 601 & 621. INSTALL AT LOCATIONS NOTED ON PLAN.
  - 1612 (284 L.F.) INSTALL 24" SMOOTH SRP (14 GA.) IN ACCORDANCE WITH MAG SS 601 & 621. INSTALL AT LOCATIONS NOTED ON PLAN.
  - 1614 (5 EA.) CONSTRUCT TYPE "E" CATCH BASIN, SINGLE UNIT IN ACCORDANCE WITH MAG SD NO. 534. LOCATE PER THE CONTROL POINT AT BACK OF CURB IN THE MIDDLE OF THE CATCH BASIN.
  - 1615 (1 EA.) CONSTRUCT TYPE "C" CATCH BASIN IN ACCORDANCE WITH MAG SD NO. 532, MODIFIED FOR 12' OPENING. LOCATE PER THE CONTROL POINT AT BACK OF CURB IN THE MIDDLE OF THE CATCH BASIN.
  - 1616 (4 EA.) CONSTRUCT STORM DRAIN MANHOLE IN ACCORDANCE WITH MAG SD NO. 520 AND NO. 522, SHALLOW MANHOLE MODIFIED TO 60" DIAMETER. INSTALL AT LOCATIONS NOTED ON PLAN.
  - 1619 (2 EA.) CONSTRUCT TYPE "E" CATCH BASIN IN ACCORDANCE WITH MAG SD NO. 534, MODIFIED TO HAVE FOUR GRATES. LOCATE PER THE CONTROL POINT AT BACK OF CURB IN THE MIDDLE OF THE CATCH BASIN.
  - 1620 (2 EA.) CONSTRUCT 48" STORM DRAIN MANHOLE IN ACCORDANCE WITH MAG SD NO. 520 AND NO. 522. INSTALL AT LOCATIONS NOTED ON PLAN.
  - 1621 (1 EA.) CONSTRUCT TYPE "G" CATCH BASIN SINGLE GRATE IN ACCORDANCE WITH MAG SD NO. 537. LOCATE PER THE CONTROL POINT AT CENTER OF THE CATCH BASIN.
  - 1691 (INCIDENTAL) COORDINATE VERTICAL RELOCATION OF GAS LINE WITH UNISOURCE.

NOTES:  
SEE SHEET 17 FOR STORM DRAIN LATERAL PROFILES. QUANTITIES NOTED ON THIS SHEET.



NON-SHRINK SLURRY BACKFILL IN ACCORDANCE WITH STD. 9-06-030 AND DETAIL 9-06-030. BACKFILL SHALL BE PROPORTIONED AS FOLLOWS: 2,600 LBS OF 3/8" MINUS AGGREGATE, 800 LBS SAND, 94 LBS CEMENT AND 11 GALLONS WATER.



STORM DRAIN TRENCH  
STA 14+25 TO 16+22  
NO SCALE

### GENERAL NOTES

FIELD TOPOGRAPHY AND BOUNDARY SURVEY INFORMATION USED TO PREPARE THIS DRAWING WERE MADE BY WOODSON ENGINEERING & SURVEY, INC. IN AUGUST, 2013.

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CALL TWO WORKING DAYS BEFORE YOU DIG  
**1-800-STAKE-IT**  
1-800-782-5348  
(OUTSIDE MARICOPA COUNTY)

REVISIONS:

NO.	DESCRIPTION

REGISTERED PROFESSIONAL ENGINEER  
CERTIFICATE NO. 49953  
ALICIA ANNE STOFFERS  
3/9/15  
ARIZONA, USA  
EXPIRES 9/30/2015

**WOODSON**  
ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN ST.  
FLAGSTAFF, AZ 86001  
PHONE: (928) 774-4636 FAX: (928) 774-4646

AS-BUILT DRAWINGS  
DATE: 3/28/16  
BY: Alicia Stoffers, PE

**WOODSON**  
ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN DR.,  
FLAGSTAFF, AZ 86001  
PHONE NO. (928) 774-4636

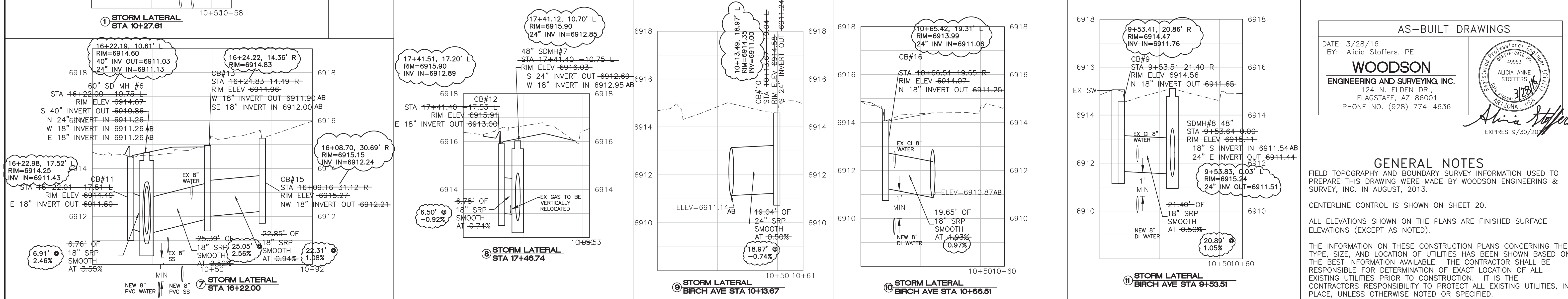
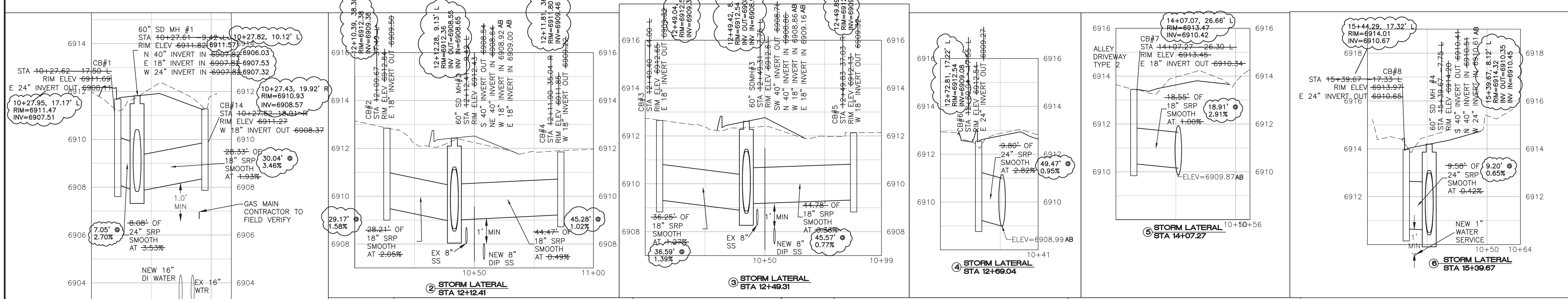
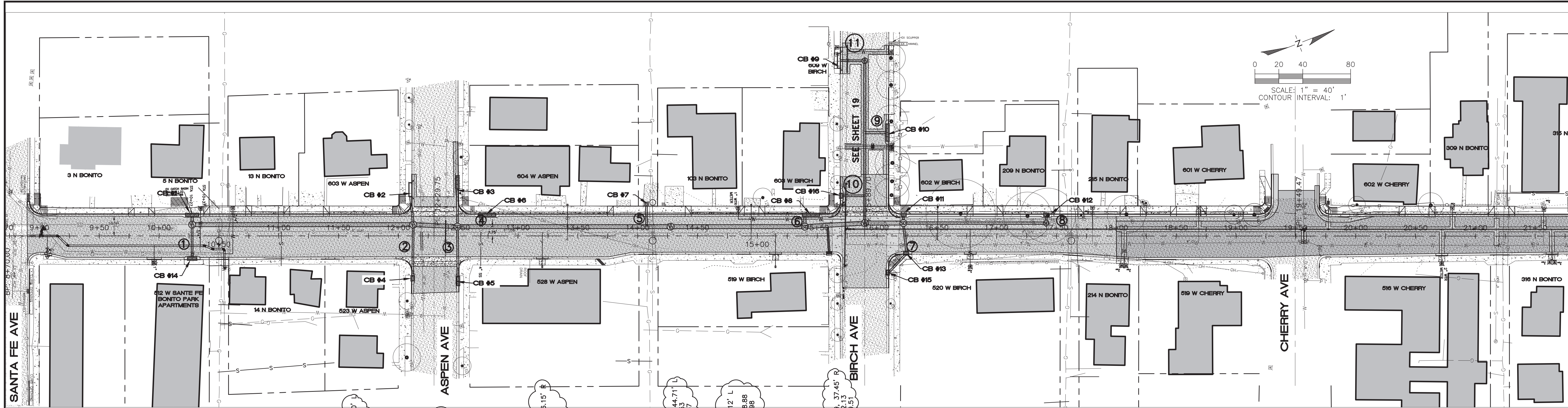
REGISTERED PROFESSIONAL ENGINEER  
CERTIFICATE NO. 3128  
ALICIA ANNE STOFFERS  
ARIZONA, USA  
EXPIRES 9/30/2016

BONITO STREET

STORM DRAIN  
STA 13+75 TO STA 18+75

HOR SCALE: 1"=20'
VERT SCALE: 1"=2'
DATE: 3/9/15
PROJECT NO.: 113801
AGENCY NO.: 03-13012
SHEET NO.: 16 OF 22

113801  
 WOODSON ENGINEERING AND SURVEYING, INC.  
 124 N. ELDEN ST. • FLAGSTAFF, AZ 86001 • PHONE: (928) 774-4636 FAX: (928) 774-4646  
 3/9/15  
 BONITO ST. IMPROVEMENT PLANS  
 CITY OF FLAGSTAFF  
 CONSTRUCTION PLANS  
 DESIGNED BY: AAS  
 DRAWN BY: AAS  
 CHECKED BY: RLS



**AS-BUILT DRAWINGS**

DATE: 3/28/16  
 BY: Alicia Stoffers, PE

**WOODSON**  
 ENGINEERING AND SURVEYING, INC.  
 124 N. ELDEN DR.,  
 FLAGSTAFF, AZ 86001  
 PHONE NO. (928) 774-4636

*Alicia Stoffers*  
 REGISTERED PROFESSIONAL ENGINEER  
 CERTIFICATE NO. 49553  
 ALICIA ANNE STOFFERS  
 ARIZONA, USA  
 EXPIRES 9/30/2018

**GENERAL NOTES**

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 1-800-782-5348  
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REVISIONS:


REGISTERED PROFESSIONAL ENGINEER  
 CERTIFICATE NO. 49553  
 ALICIA ANNE STOFFERS  
 ARIZONA, USA  
*Alicia Stoffers*  
 EXPIRES 9/30/2018

**WOODSON**  
 ENGINEERING AND SURVEYING, INC.

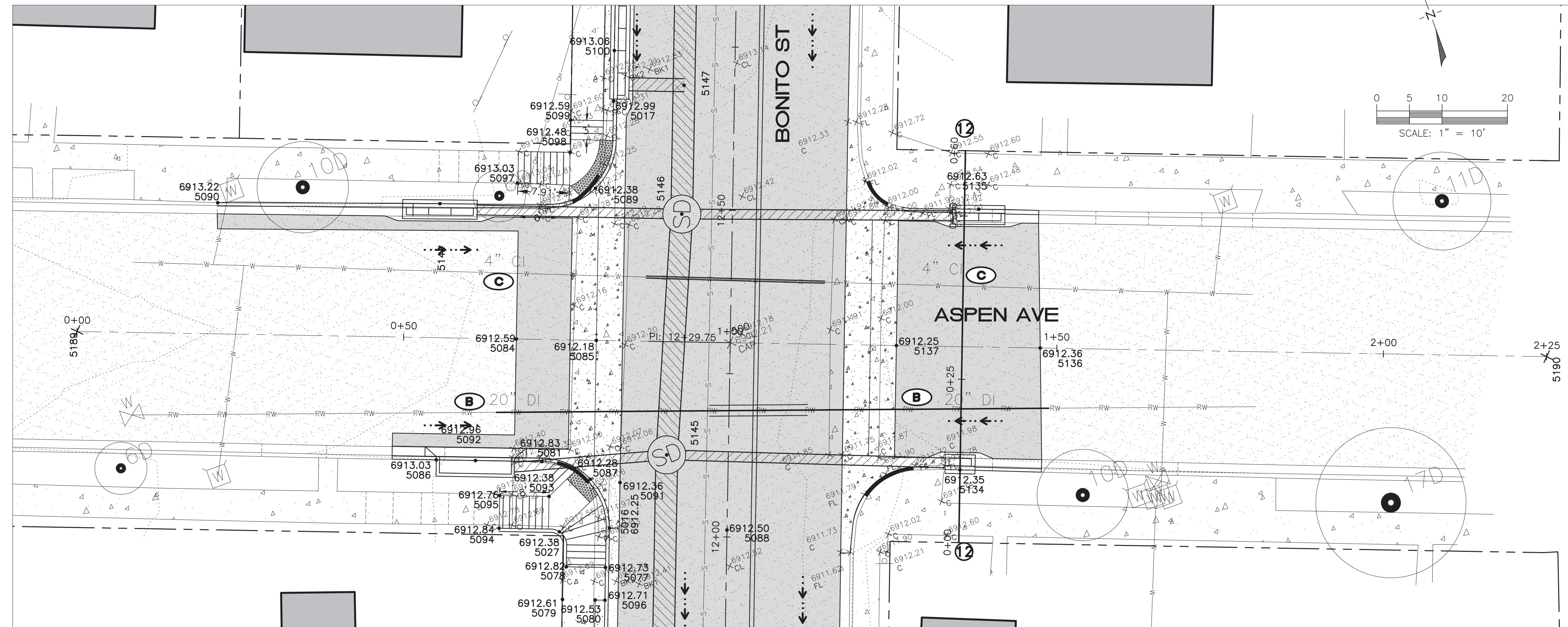
124 N. ELDEN ST.  
 FLAGSTAFF, AZ 86001  
 PHONE: (928) 774-4636 FAX: (928) 774-4646

BONITO STREET IMPROVEMENT PLANS  
 CITY OF FLAGSTAFF  
 CONSTRUCTION PLANS

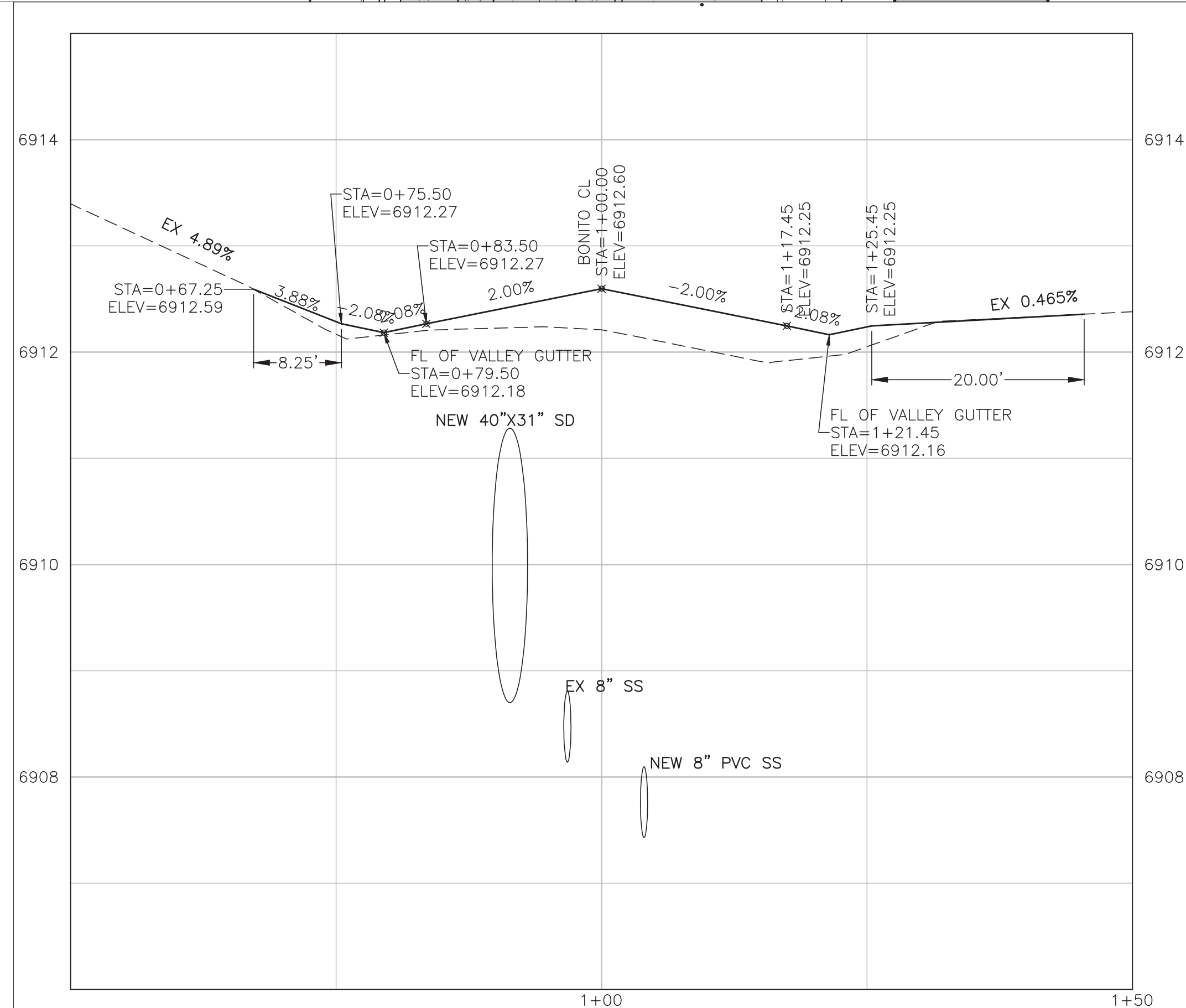
DESIGNED BY: AAS  
 DRAWN BY: AAS  
 CHECKED BY: RLS

HOR SCALE: 1"=20'  
 VERT SCALE: 1"=2'

DATE: 3/9/15  
 PROJECT NO.: 113801  
 AGENCY NO.: 03-13012  
 SHEET NO.: 17 OF 22



POINT TABLE				
POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
5016	4307.70	9715.11	6912.25	FL
5017	4368.89	9738.04	6912.99	boc
5027	4309.77	9707.71	6912.38	SW
5077	4302.23	9712.47	6912.73	BOC
5078	4304.38	9706.87	6912.82	SW
5079	4299.89	9704.62	6912.61	SW-ME
5080	4298.10	9709.28	6912.53	SW
5081	4320.80	9708.87	6912.83	BOC
5084	4339.77	9711.61	6912.59	CL-ME
5085	4335.38	9723.04	6912.18	FL
5086	4326.57	9693.77	6913.03	BOC-ME
5087	4315.74	9714.89	6912.28	FL
5088	4301.26	9731.91	6912.50	CL
5089	4357.30	9730.88	6912.38	FL
5090	4375.01	9675.79	6913.22	BOC-ME
5091	4313.69	9719.01	6912.36	SE
5092	4324.43	9699.37	6912.96	BOC-CB
5093	4315.42	9708.07	6912.38	SW
5094	4313.46	9699.22	6912.84	SW-ME
5095	4318.13	9701.01	6912.76	SW-ME
5096	4297.57	9710.68	6912.71	BOC
5097	4362.13	9719.94	6913.03	SW-ME
5098	4363.79	9729.12	6912.48	SW
5099	4368.42	9730.90	6912.59	SW-ME
5100	4376.13	9740.81	6913.06	BOC-CB
5134	4297.71	9768.58	6912.35	BOC-CB
5135	4334.22	9784.93	6912.63	BOC-CB
5136	4311.04	9786.50	6912.36	CL-ME
5137	4318.92	9765.93	6912.25	CL
5189	4363.85	9648.82	0.00	CL
5190	4283.28	9858.90	0.00	CL



**ASPEN CENTERLINE**

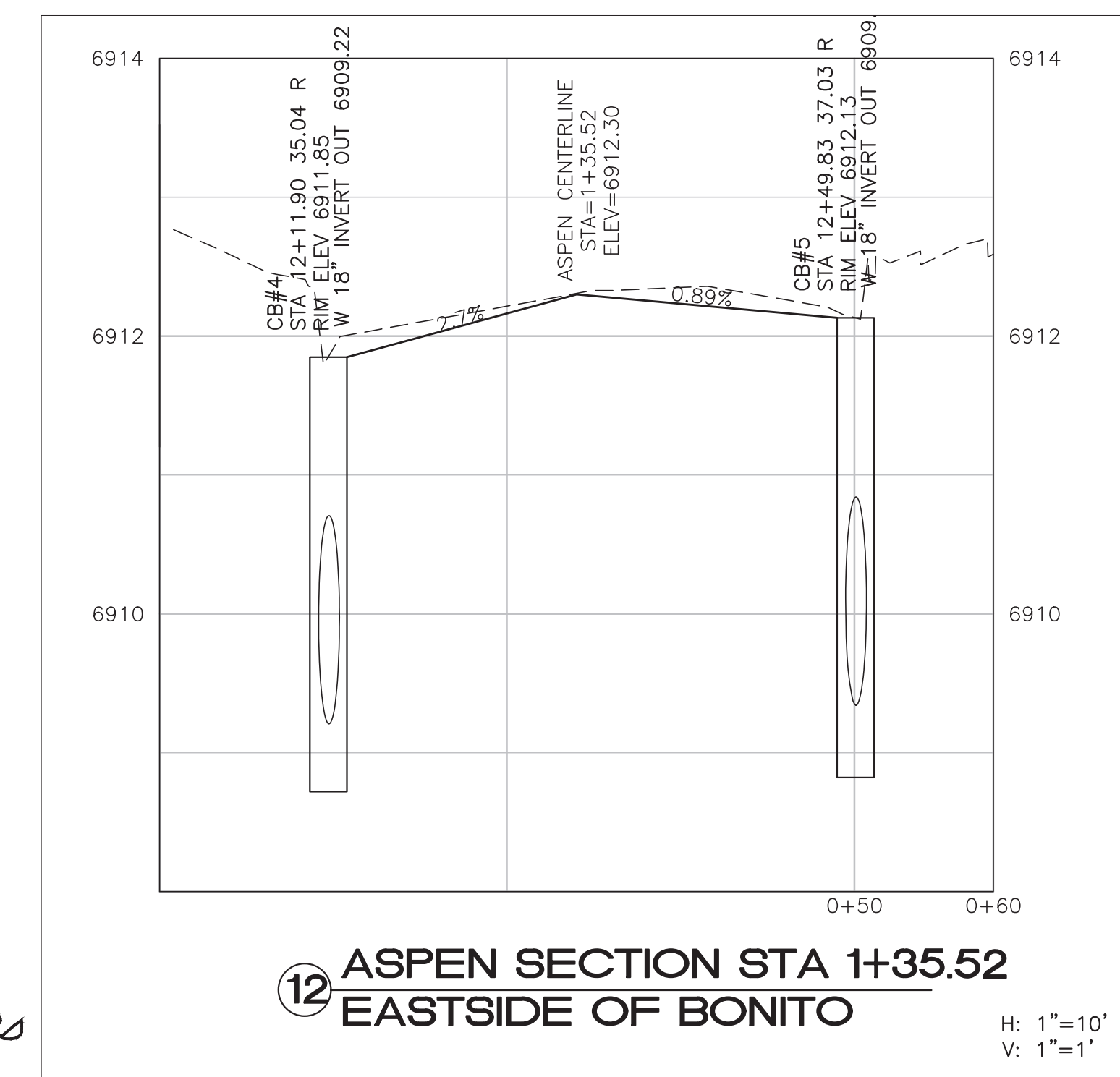
H: 1"=10'  
V: 1"=1'

**AS-BUILT DRAWINGS**

DATE: 3/28/16  
BY: Alicia Stoffers, PE

**WOODSON**  
ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN DR.,  
FLAGSTAFF, AZ 86001  
PHONE NO. (928) 774-4636

**PER PLAN**

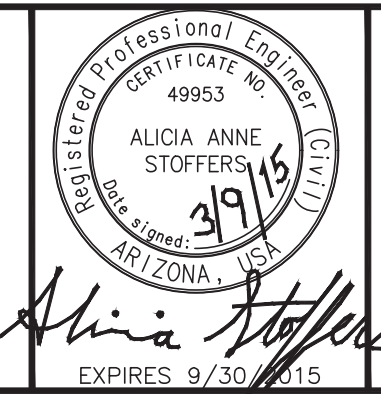


**12 ASPEN SECTION STA 1+35.52  
EASTSIDE OF BONITO**

H: 1"=10'  
V: 1"=1'



REVISIONS:



**WOODSON**  
ENGINEERING AND SURVEYING, INC.

124 N. ELDEN ST.  
FLAGSTAFF, AZ 86001  
PHONE: (928) 774-4636 FAX: (928) 774-4646

BONITO STREET

ASPEN AVE  
INTERSECTION

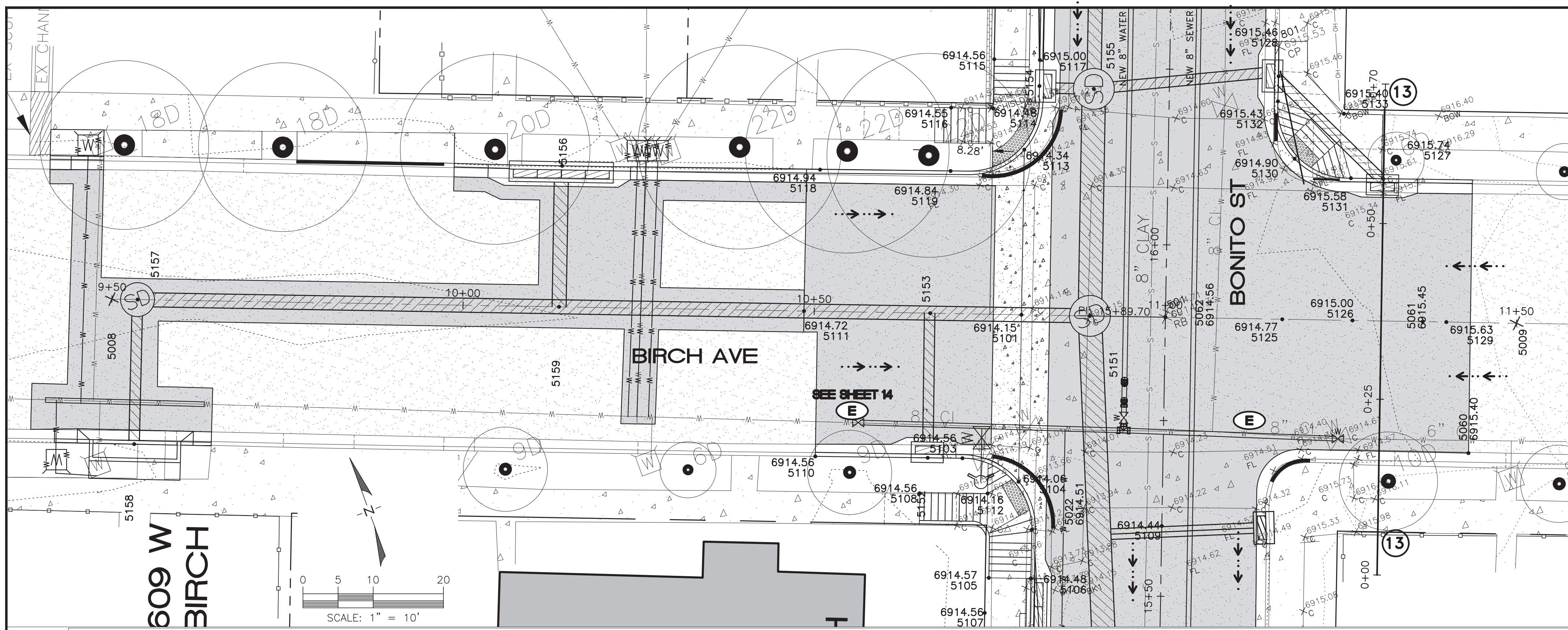
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VERT SCALE: 1"=2'  
DATE: 3/9/15  
PROJECT NO.: 113801  
AGENCY NO.: 03-13012  
SHEET NO.: 18 OF 22

BONITO ST. IMPROVEMENT PLANS  
CITY OF FLAGSTAFF  
CONSTRUCTION PLANS

3/9/15

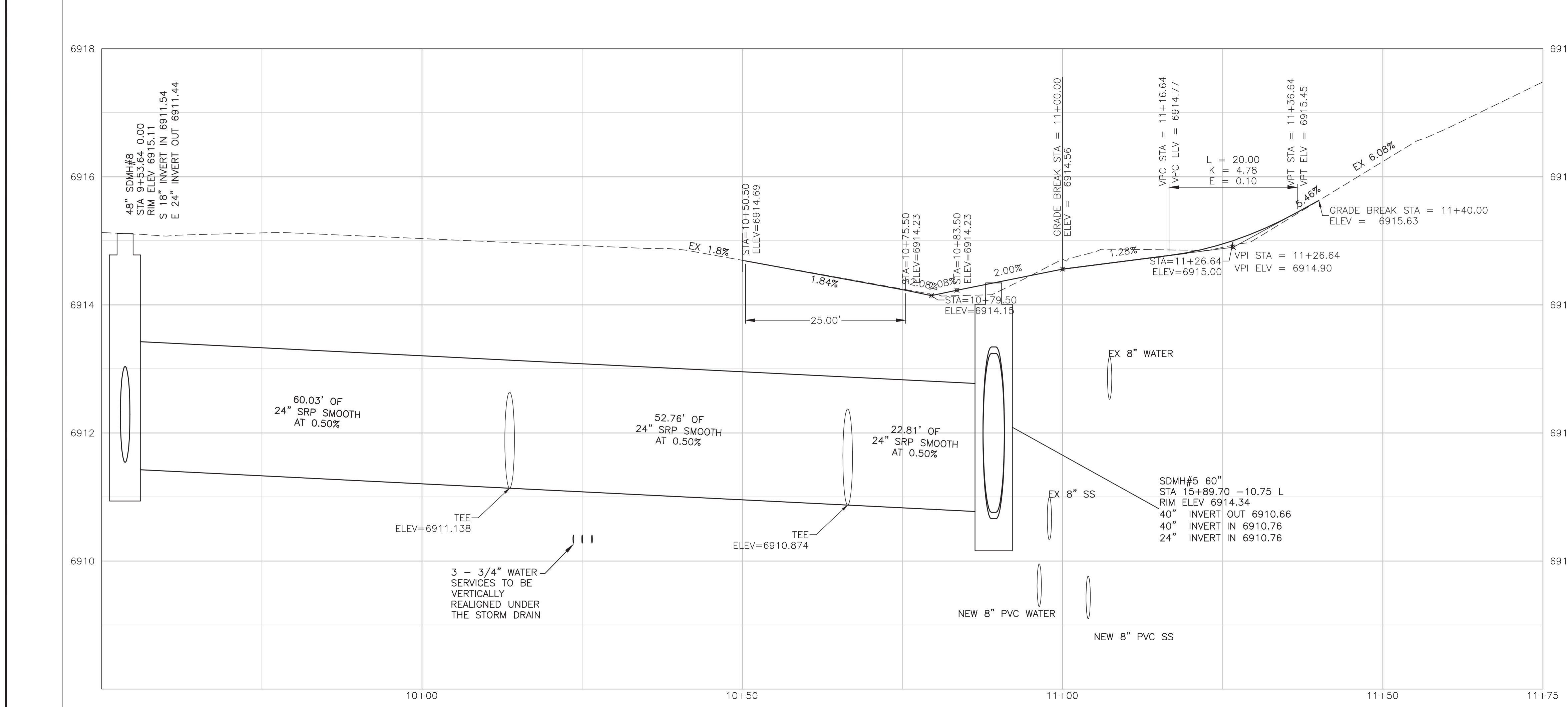
**WOODSON ENGINEERING AND SURVEYING, INC.**  
124 N. ELDEN ST. • FLAGSTAFF, AZ 86001 • PHONE: (928) 774-4636 FAX: (928) 774-4646

113801



POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
5022	4642.21	9842.86	6914.51	fl
5060	4631.20	9905.01	6915.40	ME LIP
5061	4651.00	9905.29	6915.45	CL -VPT
5062	4664.12	9871.08	6914.56	FG
5101	4671.46	9851.94	6914.15	FL
5103	4655.15	9837.07	6914.56	BOC
5104	4649.28	9843.43	6914.06	FL
5105	4637.88	9834.78	6914.57	SW
5106	4635.74	9840.37	6914.48	BOC
5107	4633.39	9832.52	6914.56	SW-ME
5108	4652.53	9829.65	6914.56	SW-ME
5109	4636.39	9860.44	6914.44	CL
5110	4662.57	9817.47	6914.56	BOC-ME
5111	4682.53	9823.04	6914.72	CL
5112	4649.22	9838.72	6914.16	SW
5113	4693.39	9860.36	6914.34	FL
5114	4700.41	9858.21	6914.48	SW-ME
5115	4706.94	9860.74	6914.56	SW-ME
5116	4702.56	9852.61	6914.55	SW-ME
5117	4704.61	9866.81	6915.00	BOC

POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
5118	4700.66	9832.07	6914.94	BOC-ME
5119	4694.13	9849.45	6914.84	BOC
5125	4658.15	9886.61	6914.77	CL-VPC
5126	4654.58	9895.95	6915.00	CL VPI
5127	4672.04	9906.95	6915.74	BOC-CB
5128	4690.83	9897.95	6915.46	BOC-CB
5129	4649.79	9908.43	6915.63	CL-ME
5130	4679.01	9896.08	6914.90	FL
5131	4673.67	9902.66	6915.58	BOC
5132	4687.51	9896.64	6915.43	BOC
5133	4682.63	9904.87	6915.40	SE-ME

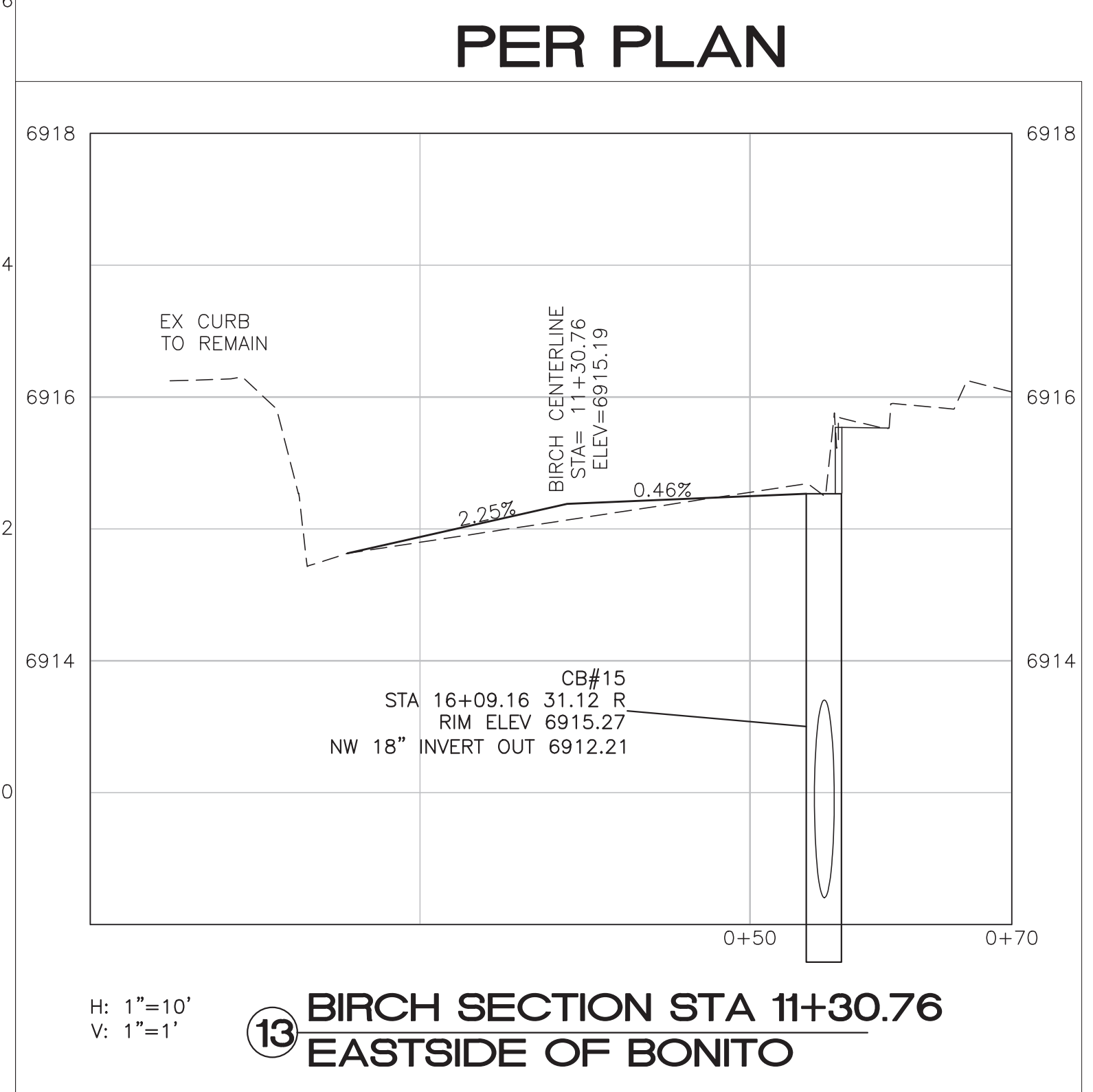


**AS-BUILT DRAWINGS**

DATE: 3/28/16  
 BY: Alicia Stoffers, PE

**WOODSON**  
 ENGINEERING AND SURVEYING, INC.  
 124 N. ELDEN DR.,  
 FLAGSTAFF, AZ 86001  
 PHONE NO. (928) 774-4636

*Alicia Stoffers*  
EXPIRES 9/30/2016



**BIRCH CENTERLINE**

H: 1"=10'  
V: 1"=1'

CALL TWO WORKING DAYS BEFORE YOU DIG  
**1-800-STAKE-IT**  
 1-800-782-5348  
 (OUTSIDE MARICOPA COUNTY)

REVISIONS:

NO.	DESCRIPTION

*Alicia Stoffers*  
EXPIRES 9/30/2015

**WOODSON**  
 ENGINEERING AND SURVEYING, INC.

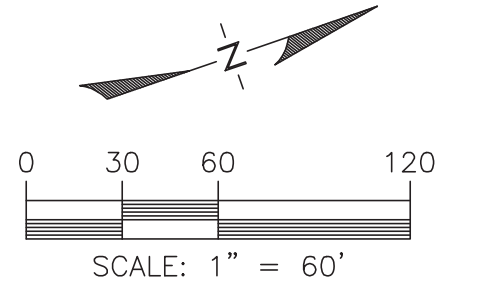
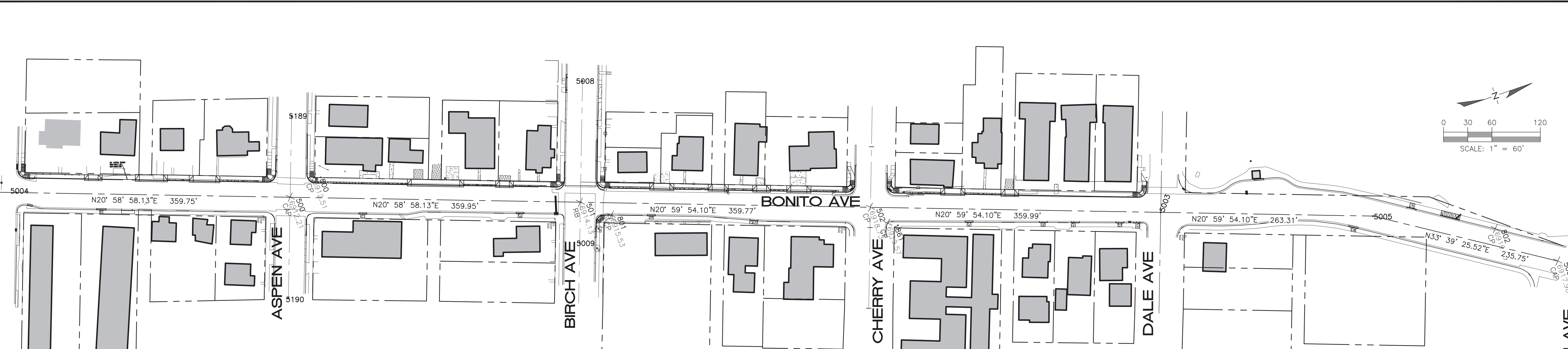
124 N. ELDEN ST.  
 FLAGSTAFF, AZ 86001  
 PHONE: (928) 774-4636 FAX: (928) 774-4646

BONITO STREET

BIRCH AVE INTERSECTION

HOR SCALE: 1"=20'
VERT SCALE: 1"=2'
DATE: 3/9/15
PROJECT NO.: 113801
AGENCY NO.: 03-13012
SHEET NO.: 19 OF 22

113801  
**WOODSON ENGINEERING AND SURVEYING, INC.**  
 124 N. ELDEN ST. • FLAGSTAFF, AZ 86001 • PHONE: (928) 774-4636 FAX: (928) 774-4646  
 3/9/15  
 BONITO ST. IMPROVEMENT PLANS  
 CITY OF FLAGSTAFF  
 CONSTRUCTION PLANS  
 DESIGNED BY: AAS  
 DRAFTER BY: AAS  
 CHECKED BY: RLS



### CENTERLINE CONTROL

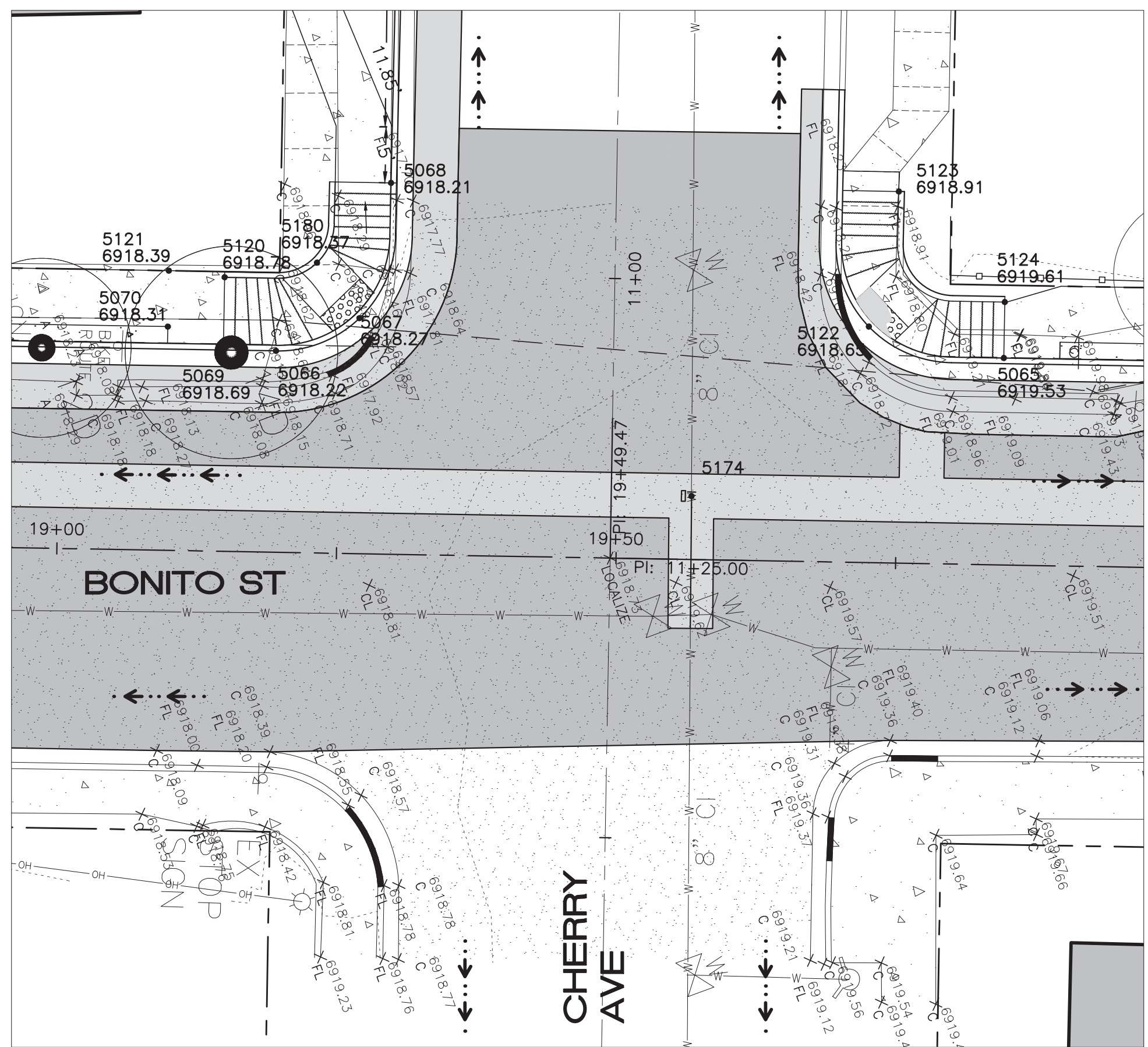
1"=60'

CONTROL POINTS			
POINT NO.	NORTHING	EASTING	DESCRIPTION
5003	5336.09	10129.00	CL
5004	4010.82	9620.52	CL
5005	5581.91	10223.36	CL
5008	4717.83	9731.02	BIRCH CL
5009	4646.21	9917.76	CL
5189	4363.85	9648.82	CL
5190	4283.28	9858.90	CL

CONTROL POINT TABLE				
POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
500	4328.04	9742.18	6912.21	AC "LS 25083"
501	4664.12	9871.08	6914.13	1/2" REBAR IN HH
502	5000.00	10000.00	6918.73	1/2" REBAR IN HH
503	5778.15	10354.02	6917.98	2" AC IN HH

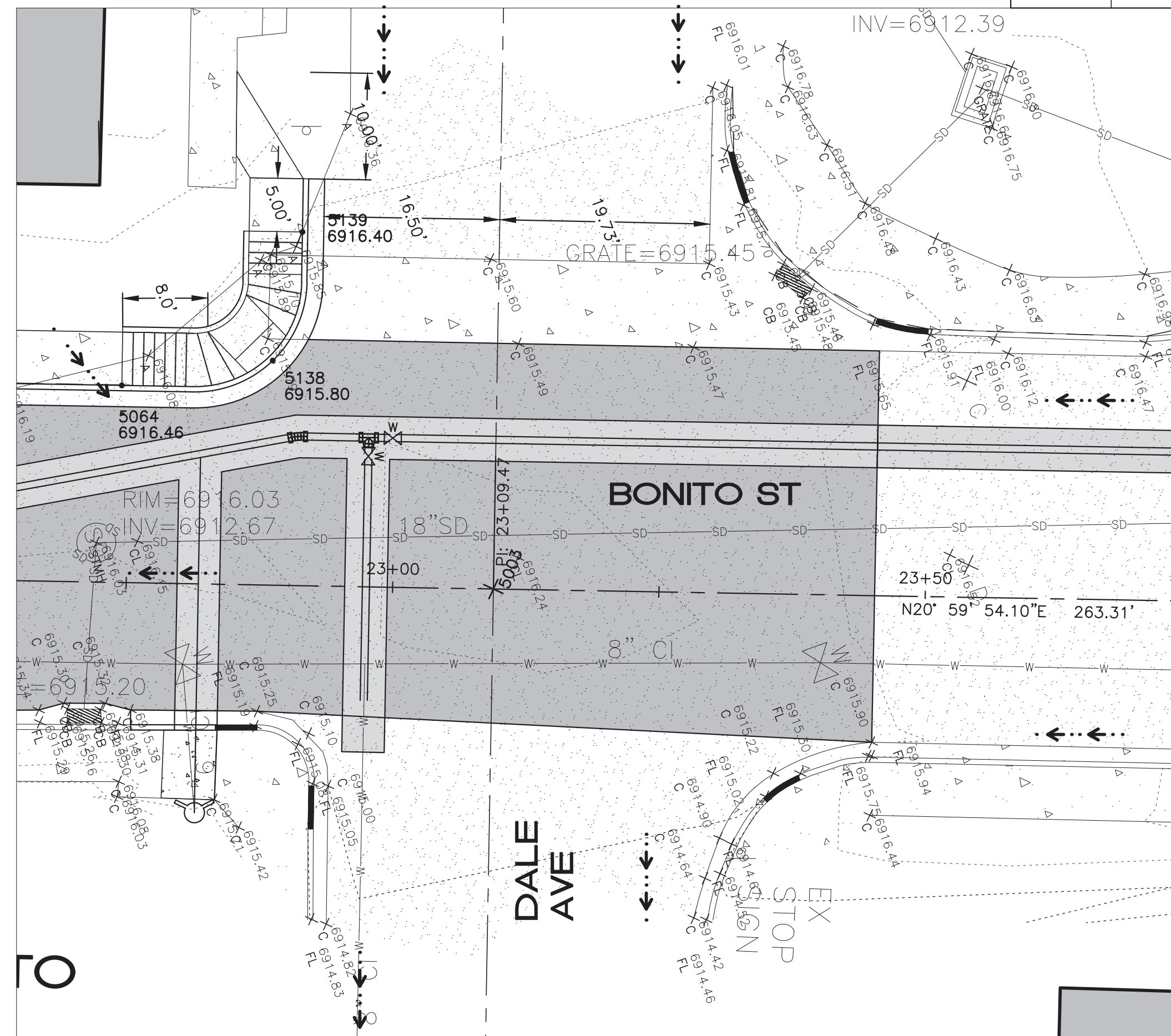
### SURVEY NOTES

FIELD MEASUREMENTS USED TO PREPARE THIS MAP WERE MADE IN AUGUST, 2013.  
 BASIS OF BEARINGS: DERIVED FROM GPS OBSERVATIONS  
 BASIS OF ELEVATIONS: NAVD 88  
 GPS OBSERVATIONS MADE UTILIZING CORS STATION: NAU FLAGSTAFF CORS ARP: PID - DL1882  
 NAD 83(2011) POSITION: 35° 10' 38.30178" N  
 111° 39' 25.29096" W  
 NAVD 88 ORTHO HEIGHT: 6929.1 FEET



### CHERRY INTERSECTION

1"=10'



### DALE INTERSECTION

1"=10'

### GRADING CONTROL POINTS

POINT TABLE				
POINT NO.	NORTHING	EASTING	ELEVATION	DESCRIPTION
5064	5309.86	10099.12	6916.46	BOC
5065	5039.19	9995.23	6919.53	BOC
5066	4978.26	9972.38	6918.22	FL
5067	4986.27	9972.18	6918.27	FL-HP
5068	4993.06	9961.78	6918.21	BOC-ME
5069	4974.04	9970.22	6918.69	BOC
5070	4969.91	9967.03	6918.31	SW
5120	4976.19	9964.62	6918.78	SW
5121	4971.71	9962.36	6918.39	SW-ME
5122	5028.81	9988.47	6918.65	FL
5123	5035.46	9978.03	6918.91	SW-ME
5124	5040.98	9990.56	6919.61	SW
5138	5323.96	10101.77	6915.80	FL
5139	5330.71	10091.39	6916.40	BOC
5180	4984.40	9966.21	6918.37	SW

AS-BUILT DRAWINGS

DATE: 3/28/16  
 BY: Alicia Stoffers, PE

**WOODSON**  
 ENGINEERING AND SURVEYING, INC.  
 124 N. ELDEN DR.  
 FLAGSTAFF, AZ 86001  
 PHONE NO. (928) 774-4636

*Alicia Stoffers*  
 EXPIRES 9/30/2021

113801

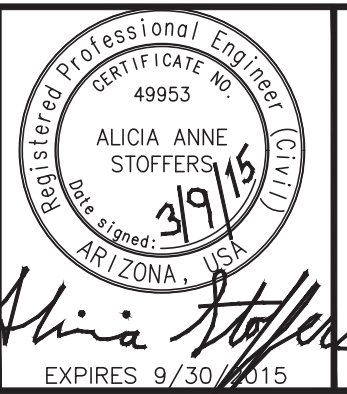
**WOODSON ENGINEERING AND SURVEYING, INC.**  
 124 N. ELDEN ST. • FLAGSTAFF, AZ 86001 • PHONE: (928) 774-4636 FAX: (928) 774-4646

3/9/15

BONITO ST. IMPROVEMENT PLANS  
 CITY OF FLAGSTAFF  
 CONSTRUCTION PLANS



REVISIONS:



**WOODSON**  
 ENGINEERING AND SURVEYING, INC.  
 124 N. ELDEN ST.  
 FLAGSTAFF, AZ 86001  
 PHONE: (928) 774-4636 FAX: (928) 774-4646

BONITO STREET

CONTROL SHEET

HOR SCALE: 1"=20'
VERT SCALE: 1"=2'
DATE: 3/9/15
PROJECT NO.: 113801
AGENCY NO.: 03-13012
SHEET NO.: 20 OF 22

DESIGNED BY: AAS  
 DRAFTER BY: AAS  
 CHECKED BY: RLS

**LEGEND**

- RIGHT-OF-WAY
- (B) [Symbol] STORM DRAIN INLET PROTECTION
- [Symbol] DUST CONTROL, BMP 43-46
- SEDIMENT LOG

**CONSTRUCTION SEQUENCING:**

EROSION CONTROL SILT FENCE PER PLAN AND STABILIZED CONSTRUCTION ENTRANCES AT ALL CONSTRUCTION ENTRANCES TO THE SITE.

SITE CLEARING.  
GENERAL SITE GRADING AND UTILITY INSTALLATIONS.  
SEED/SOD STABILIZATION WITHIN TWO WEEKS AFTER COMPLETION OF FINAL GRADING OR DISTURBANCE.

REMOVE CONSTRUCTION SEDIMENT FROM DETENTION STORAGE AREAS AND STORM SEWER AS NECESSARY TO RE-ESTABLISH SITE TO SPECIFICATIONS INDICATED ON THE PLAN.

AFTER STABILIZATION, REMOVE SILT FENCE WITH MINIMAL DISTURBANCE.

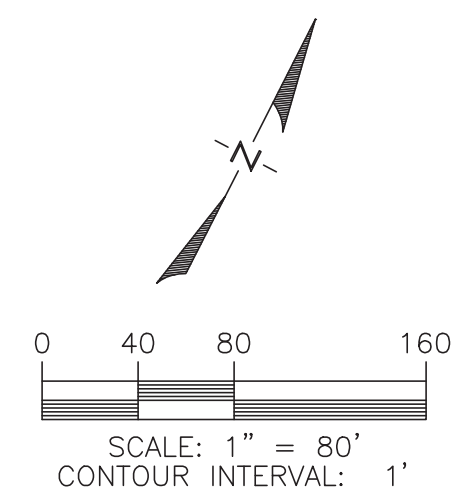
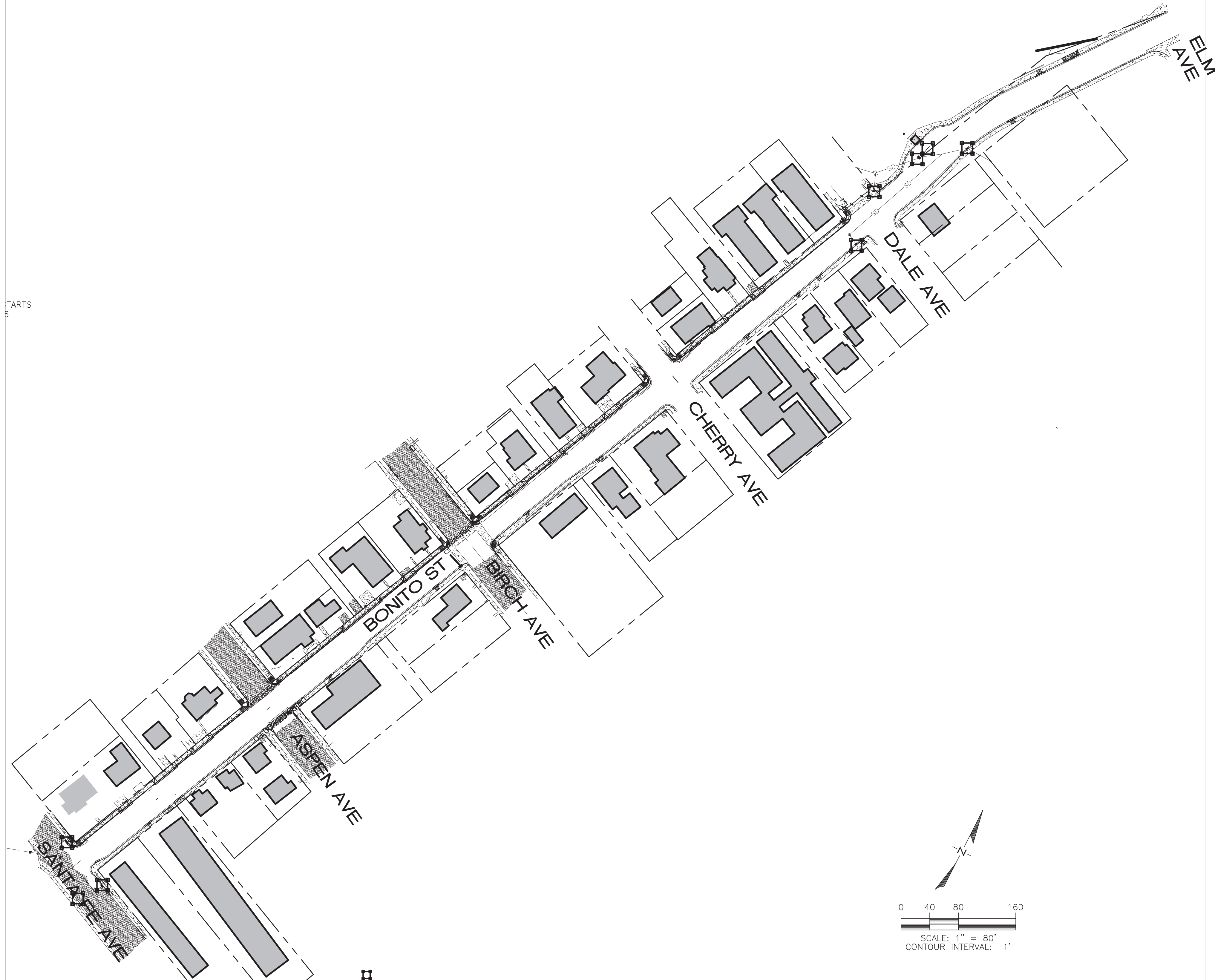
**SWPPP CONSTRUCTION NOTES:**

1. DUST CONTROL WILL BE ACHIEVED ACCORDING TO BMP STANDARDS AS SHOWN ON THE DETAIL BMP 43-46 ON SHEET 17.
2. ALL SUBCONTRACTORS WILL BE RESPONSIBLE FOR CLEANOFF OF MUD OR DIRT PRIOR TO ENTRY ONTO CITY STREETS.
3. NO MAINTENANCE OF VEHICLES WILL BE DONE ONSITE.
4. A FENCED YARD FOR EQUIPMENT WILL BE MAINTAINED AT THE SITE. SUBCONTRACTORS WILL FURNISH FENCE TO MAINTAIN SUPPLIES AND MINIMIZE WIND BLOWING DEBRIS. ALL DEBRIS TO BE PICKED UP ON A DAILY BASIS.
5. ANY GAS OR OIL SPILLED WILL REQUIRE IMMEDIATE NOTIFICATION TO OWNER AND APPROPRIATE CLEAN-UP. ANY CONTAMINATED SOIL SHALL BE HAULED TO HAZARDOUS WASTE LOCATION.

**NOTE:**  
INLET PROTECTION SHALL BE PROVIDED FOR ALL STORM DRAIN(S) DURING CONSTRUCTION TO ENSURE THEY ARE NOT SILTED IN. PROVIDE INLET SEDIMENT CONTROL WITH CURB FILTER PER DETAIL ON SHEET 17.

**OWNER/DEVELOPER**

SIGNATURE OF PERMITEE/CONTRACTOR \_\_\_\_\_ DATE \_\_\_\_\_

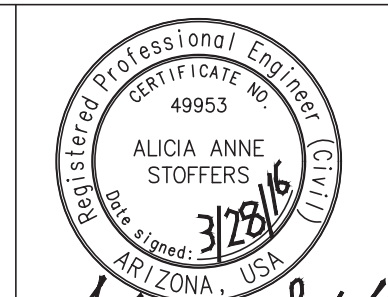


**NOTES FOR STORMWATER POLLUTION PREVENTION PLAN**

1. A COPY OF THE APPROVED GRADING & DRAINAGE PLAN FOR THIS PROJECT, TOGETHER WITH A COPY OF THE NOTICE OF INTENT (NOI) AND THIS STORM WATER POLLUTION PREVENTION PLAN (SWPPP), SHALL BE MAINTAINED ON THE SITE AND AVAILABLE FOR REVIEW. THOSE ELEMENTS OF THE GRADING & DRAINAGE PLAN PERTINENT TO OR REFERENCED ON THE SWPPP SHALL BE CONSIDERED A PART OF THE SWPPP. OPERATOR SHALL POST A SIGN INDICATING THE AZPDES NOI AUTHORIZATION OR NUMBER, CONTACT NAMES AND PHONE NUMBERS AND A BRIEF PROJECT DESCRIPTION.
2. THE PERMITEE SHALL MAINTAIN RECORDS OF DATES WHEN MAJOR GRADING OPERATIONS OCCUR, AND WHEN STABILIZATION IS INITIATED AND COMPLETED. INDICATE ANY REASON FOR DELAYS.
3. THE PERMITEE SHALL PERFORM, AT A MINIMUM, A VISUAL INSPECTION OF THE CONSTRUCTION SITE ONCE EVERY 14 DAYS AND WITHIN 24 HOURS OF RAINFALL GREATER THAN OR EQUAL HALF AN INCH OR MORE. THE OPERATOR SHALL PREPARE A REPORT DOCUMENTING HIS/HER FINDINGS ON PROBLEM AREAS. SEE SWPPP CHECKLIST, PART IV, H.5 FOR INSPECTION REPORT REQUIREMENTS. THE OPERATOR'S REPORT IS TO BE MAINTAINED ON THE SITE. FACILITIES SHALL BE MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, ALL TEMPORARY SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND/OR CONSTRUCTION IS COMPLETE, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS BEEN MINIMIZED BY SITE STABILIZATION ACCORDING TO THE PROJECT CONSTRUCTION PLANS.
4. ALL SEDIMENT ACCUMULATED AT SILTATION CONTROLS, INCLUDING DETENTION BASINS, SHALL BE REMOVED AFTER EACH RAINFALL EVENT.
5. THE PERMITEE SHALL AMEND THIS PLAN WITHIN TWO WEEKS AS NECESSARY DURING THE COURSE OF CONSTRUCTION TO RESOLVE ANY PROBLEM AREAS WHICH BECOME EVIDENT DURING THE CONSTRUCTION AND/OR DURING RAINFALLS OR TO ADDRESS ANY CHANGES IN DESIGN OR PROJECT SCOPE.
6. THE PERMITEE SHALL FILE A NOTICE OF TERMINATION (NOT) AFTER COMPLETION OF CONSTRUCTION AND PLACEMENT OF FINAL LANDSCAPE MATERIALS. THE NOT IS TO BE SUPPLIED TO THE DEVELOPMENT SERVICES DEPARTMENT PROJECT ENGINEERING INSPECTOR TO FINAL THE SWPPP PERMIT.
7. THE PERMITEE SHALL SAVE ALL RECORDS, INCLUDING THE NOI, SWPPP AND NOT AND INSPECTION REPORTS ON FILE FOR A MINIMUM OF THREE (3) YEARS FROM THE DATE OF FILING THE NOT.
8. THE IMPLEMENTATION OF THESE PLANS AND CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE FACILITIES IS THE RESPONSIBILITY OF THE PERMITEE/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED AND THE NOT SUBMITTED.
9. THE FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING ACTIVITIES IN SUCH A MANNER AS TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS. AND MUST BE INSTALLED AND IN OPERATION PRIOR TO ANY GRADING, UTILITY INSTALLATION OR LAND CLEARING, WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL BUFFERS.
10. THE PERMITEE'S/CONTRACTOR'S NOI MUST BE RECEIVED PRIOR TO THE SWPPP PERMIT BEING ISSUED. THE OPERATOR/CONTRACTOR THAT WILL BE PULLING THE GRADING & DRAINAGE PERMIT MUST HAVE THE SWPPP PERMIT ISSUED IN THE NAME.

**AS-BUILT DRAWINGS**

DATE: 3/28/16  
BY: Alicia Stoffers, PE  
**WOODSON**  
ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN DR.  
FLAGSTAFF, AZ 86001  
PHONE NO. (928) 774-4636



EXPIRES 9/30/2016

113801

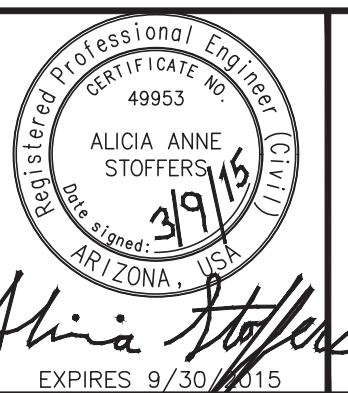
**WOODSON ENGINEERING AND SURVEYING, INC.**  
124 N. ELDEN ST. • FLAGSTAFF, AZ 86001 • PHONE: (928) 774-4636 FAX: (928) 774-4646

3/9/15

BONITO ST. IMPROVEMENT PLANS  
CITY OF FLAGSTAFF  
CONSTRUCTION PLANS



REVISIONS:



**WOODSON**  
ENGINEERING AND SURVEYING, INC.  
124 N. ELDEN ST.  
FLAGSTAFF, AZ 86001  
PHONE: (928) 774-4636 FAX: (928) 774-4646

BONITO STREET

SWPPP

HOR SCALE: 1"=20'  
VERT SCALE: 1"=2'  
DATE: 3/9/15  
PROJECT NO.: 113801  
AGENCY NO.: 03-13012  
SHEET NO.: 21 OF 22

DESIGNED BY: AAS  
DRAWN BY: AAS  
CHECKED BY: RLS

**SYMBOL** D.C. **DUST CONTROL BMP-43**

**DEFINITION**  
A COMPREHENSIVE PLAN TO LIMIT OFF-SITE SEDIMENTATION BY CONTROLLING THE SITES POTENTIAL FOR PRODUCING AIR BORNE FUGITIVE DUST AND TRACK-OUT OF SEDIMENTS.

**PURPOSE**  
SEDIMENTS WHICH ARE TRANSPORTED FROM CONSTRUCTION SITES BY STORMWATER RUNOFF, WIND, EROSION AND VEHICLE TRACKOUT ARE OFTEN RE-DISPERSED TO THE AIR BY SUBSEQUENT VEHICULAR TRAFFIC AND HIGH WINDS. LIKEWISE, THESE SEDIMENTS MAY BE TRANSPORTED BY THE NEXT RAINFALL INTO PUBLIC STORM SEWER SYSTEMS. IMPLEMENTATION OF CONTROL MEASURES TO MINIMIZE THE GENERATION OF FUGITIVE DUST FROM CONSTRUCTION SITES WILL ALSO LIMIT QUANTITY OF SEDIMENTS IN STORMWATER.

**APPROPRIATE APPLICATIONS**  
PRIMARY SOURCES OF DUST FROM DEVELOPMENT AND CONSTRUCTION ACTIVITIES ARE:  
GRADING OPERATIONS (LAND CLEARING AND EARTHMOVING)  
DRILLING AND BLASTING  
BATCH DROP OPERATIONS (LOADER OPERATION)  
EXPOSED AREAS, CLEARED UNSTABILIZED AREA  
VEHICLE TRAFFIC ON UNPAVED SURFACES  
SEDIMENT TRACKING ON PAVED SURFACES  
BLASTING AND WRECKING BALL OPERATIONS  
SOIL AND DEBRIS STORAGE PILES

**SYMBOL** D.C. **DUST CONTROL BMP-44**

**PERMITS REQUIRE THE USE OF REASONABLY AVAILABLE DUST CONTROL MEASURES. ENFORCE VISIBLE OPACITY EMISSION LIMITS TO DETERMINE COMPLIANCE REQUIRE DUST CONTROL PLANS FOR CONSTRUCTION OR LAND CLEARING PROJECTS. ENFORCEMENT ACTIVITIES WITH PRIORITY GIVEN TO CITIZEN COMPLAINTS REQUIRE CONTRACTORS TO MAINTAIN RECORDS.**

**PLANNING CONSIDERATIONS**  
MANY OF THE REASONABLY AVAILABLE CONTROL MEASURES FOR CONTROLLING FUGITIVE DUST FROM CONSTRUCTION SITES CAN ALSO BE IMPLEMENTED AS BEST MANAGEMENT PRACTICES FOR STORMWATER POLLUTION PREVENTION. THOSE BEST MANAGEMENT PRACTICES INCLUDE:  
PAVE, VEGETATE, OR CHEMICALLY STABILIZE ACCESS POINTS TO PAVED ROADS.  
PROVIDE COVERS FOR TRUCKS TRANSPORTING MATERIALS THAT CONTRIBUTE DUST.  
PROVIDE FOR WET SUPPRESSION OR CHEMICAL STABILIZATION OF EXPOSED SOILS.  
PROVIDE FOR RAPID CLEANUP OF SEDIMENTS DEPOSITED ON PAVED ROADS.  
FURNISH STABILIZED CONSTRUCTION ROAD ENTRANCES AND VEHICLE WASH DOWN AREAS.  
STABILIZE UNPAVED HAUL ROADS, PARKING AND STAGING AREAS.  
IMPLEMENT DUST CONTROL, SEDIMENT-LADEN STORMWATER ONTO PAVED SURFACES.  
STABILIZE ABANDONED CONSTRUCTION SITE USING VEGETATION OR CHEMICAL STABILIZATION METHODS.  
LIMIT THE AMOUNT OF AREAS DISTURBED BY CLEARING AND EARTH MOVING OPERATIONS BY SCHEDULING THESE ACTIVITIES IN PHASES.

**MAINTENANCE REQUIREMENTS**  
DUST CONTROL IS AN ONGOING PROCESS DURING SITE CONSTRUCTION. RE-APPLICATION OF DUST CONTROL MEASURE MAY BE NECESSARY UNTIL CONSTRUCTION IS COMPLETE.

**SYMBOL** D.C. **DUST CONTROL BMP-45**

FIELD CONDITION	PERMANENT VEGETATION	MULCHING	WET SUPPRESSION (WATERINGS)	CHEMICAL DUST SUPPRESSION	GRAVEL OR ASPHALT SURFACING	SAND FENCES	TEMPORARY GRAVEL CONSTRUCTION ENTRANCES/EQUIPMENT WASH DOWN	HAUL TRUCK COVERS	MINIMIZE EXTENT OF AREA DISTURBED
DISTURBED AREAS NOT SUBJECT TO TRAFFIC	X	X	X	X	X				
DISTURBED AREAS SUBJECT TO TRAFFIC			X	X	X				X
MATERIAL STOCK PILE STABILIZATION			X	X		X			
DEMOLITION			X	X			X	X	
CLEARING/EXCAVATION			X	X					X
TRUCK TRAFFIC ON UNPAVED ROADS			X	X	X			X	
MUD/DIRT CARRYOUT					X		X		

**SYMBOL** D.C. **DUST CONTROL BMP-46**

**COMMONLY USED CHEMICAL DUST PALLIATIVES**

CHEMICAL TYPES	SALTS		LIGNOSULFATES		BITUMENS	
	DELiquesCENT AND HYDROSCOPIC CHEMICALS	CALCIUM CHLORIDE MAGNESIUM CHLORIDE NATURAL BRINES	ORGANIC NON-BITUMINOUS BINDERS	CALCIUM LIGNOSULFONATE SODIUM LIGNOSULFONATE AMMONIUM LIGNOSULFONATE	PETROLEUM BASED PRODUCTS*	BUNKER OIL ASPHALT PRIMER EMULSIFIED ASPHALT
<b>LIMITATIONS</b>	CAN LOSE EFFECTIVENESS IN DRY PERIODS WITH LOW HUMIDITY. LEACHES FROM ROAD IN HEAVY RAIN.	NOT AFFECTED BY DRY WEATHER AND LOW HUMIDITY. LEACHED FROM ROAD IN HEAVY RAIN IF NOT SUFFICIENTLY CURED.	GENERALLY EFFECTIVE REGARDLESS OF CLIMATE CONDITIONS MAY POTHOLE IN WET WEATHER.	BEST PERFORMANCE ON GRAVEL ROADS WITH 5-10% FINES.		
<b>COMMENTS</b>	CALCIUM CHLORIDE IS POPULAR, MAY BECOME GRAVEL SURFACES WITH HIGH FINES.	INEFFECTIVE ON GRAVEL SURFACES LOW IN FINES. MAY BECOME SLIPPERY WHEN WET ON GRAVEL SURFACES WITH HIGH FINES CONTENT.	CREATES A HARDENED CRUST.			

\*MOTOR OILS AND OIL TREATMENTS ARE NOT RECOMMENDED DUE TO ADVERSE EFFECTS ON PLANT LIFE AND GROUNDWATER.  
\*NOT RECOMMENDED DUE TO ADVERSE EFFECTS ON PLAN LIFE.

**DANDY CURB SACK™ SPECIFICATIONS**

NOTE: THE DANDY CURB SACK™ WILL BE MANUFACTURED IN THE U.S.A. FROM A WOVEN MONOFILAMENT FABRIC THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4632	kN (lbf)	1.78 (400) x 1.40 (315)
Grab Tensile Elongation	ASTM D 4632	%	18 x 18
Puncture Strength	ASTM D 4633	kN (lbf)	0.97 (150)
Mullen Burst Strength	ASTM D 3786	kPa (lbf/ft²)	5508 (800)
Trapezoid Tear Strength	ASTM D 4533	kN (lbf)	0.67 (150) x 0.33 (75)
UV Resistance	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	l/min/m² (gal/min/ft²)	2852 (70)
Permeability	ASTM D 4491	sec	0.90

**HI-FLOW DANDY CURB SACK™ (SAFETY RATING)**

Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4632	kN (lbf)	1.62 (365) x 0.89 (200)
Grab Tensile Elongation	ASTM D 4632	%	24 x 10
Puncture Strength	ASTM D 4633	kN (lbf)	0.40 (90)
Mullen Burst Strength	ASTM D 3786	kPa (lbf/ft²)	3297 (450)
Trapezoid Tear Strength	ASTM D 4533	kN (lbf)	0.51 (115) x 0.33 (75)
UV Resistance	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	mm (US Std Sieve)	0.425 (40)
Flow Rate	ASTM D 4491	l/min/m² (gal/min/ft²)	5937 (145)
Permeability	ASTM D 4491	sec	2.1

\*Note: All Dandy Sacks™ can be ordered with our optional oil absorbent pillows

**SYMBOL** I.P. **STORM DRAIN INLET PROTECTION BMP-69**

**DEFINITION**  
A SEDIMENT FILTER OF AN EXCAVATED IMPOUNDING AREA AROUND A STORM DRAIN, DROP INLET OR CURB INLET.

**PURPOSE**  
TO PREVENT SEDIMENT FROM ENTERING STORM DRAINAGE SYSTEMS PRIOR TO PERMANENT STABILIZATION OF THE DISTURBED AREA.

**APPROPRIATE APPLICATIONS**  
WHERE STORM DRAIN INLETS ARE TO BE MADE OPERATIONAL BEFORE PERMANENT STABILIZATION OF THE DISTURBED DRAINAGE AREA. DIFFERENT TYPES OF STRUCTURES ARE APPLICABLE TO DIFFERENT CONDITIONS:  
A. FILTER FABRIC FENCE - APPLICABLE WHERE THE INLET DRAINS A RELATIVELY SMALL (LESS THAN 1 ACRE) FLAT AREA (LESS THAN 5 PERCENT SLOPE). DO NOT PLACE FABRIC UNDER GRATE AS THE COLLECTED SEDIMENT MAY FALL INTO THE DRAIN WHEN THE FABRIC IS RETRIEVED.  
B. EXCAVATED DROP INLET SEDIMENT TRAP - PROTECTION AGAINST SEDIMENT ENTERING A STORM DRAIN INLET CAN BE PROVIDED BY EXCAVATING AN AREA IN THE APPROACH TO THE DRAIN. THE DRAINAGE AREA FOR A DRAIN PROTECTED IN THIS MANNER IS ONE ACRE. PROVIDE WEEP HOLES TO DRAIN THE SHALLOW POOL.

• **ADVANTAGES:**  
INLET PROTECTION PREVENTS SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM AND CLOGGING IT.

**SYMBOL** I.P. **STORM DRAIN INLET PROTECTION BMP-70**

**LIMITATIONS**  
PONDING WILL OCCUR AT THE INLET WITH POSSIBLE SHORT TERM FLOODING.  
CURB INLETS ON SLOPES CANNOT BE EFFECTIVELY PROTECTED BECAUSE THE STORMWATER WILL BYPASS THE INLET AND CONTINUE DOWNGRADE.  
FILTER FABRIC FENCES ARE LIMITED TO STORM DRAIN INLETS FOR SMALL DRAINAGE AREAS OF FIVE ACRES OR LESS. FOR LARGER DRAINAGE AREAS, SMALLER SEDIMENT CATCHMENT AREAS ARE RECOMMENDED.

**PLANNING CONSIDERATIONS**  
WHERE STORM SEWERS ARE MADE OPERATIONAL BEFORE THEIR DRAINAGE AREA IS STABILIZED, OR WHERE CONSTRUCTION IS ADJACENT TO AN EXISTING STORM SEWER, LARGE AMOUNTS OF SEDIMENT MAY ENTER THE STORM SEWER SYSTEM. IN CASES OF EXTREME SEDIMENT LOADING, THE STORM SEWER ITSELF MAY CLOG AND LOSE A MAJOR PORTION OF ITS CAPACITY. TO AVOID THESE PROBLEMS, IT IS NECESSARY TO PREVENT SEDIMENT FROM ENTERING THE SYSTEM AT THE INLETS.

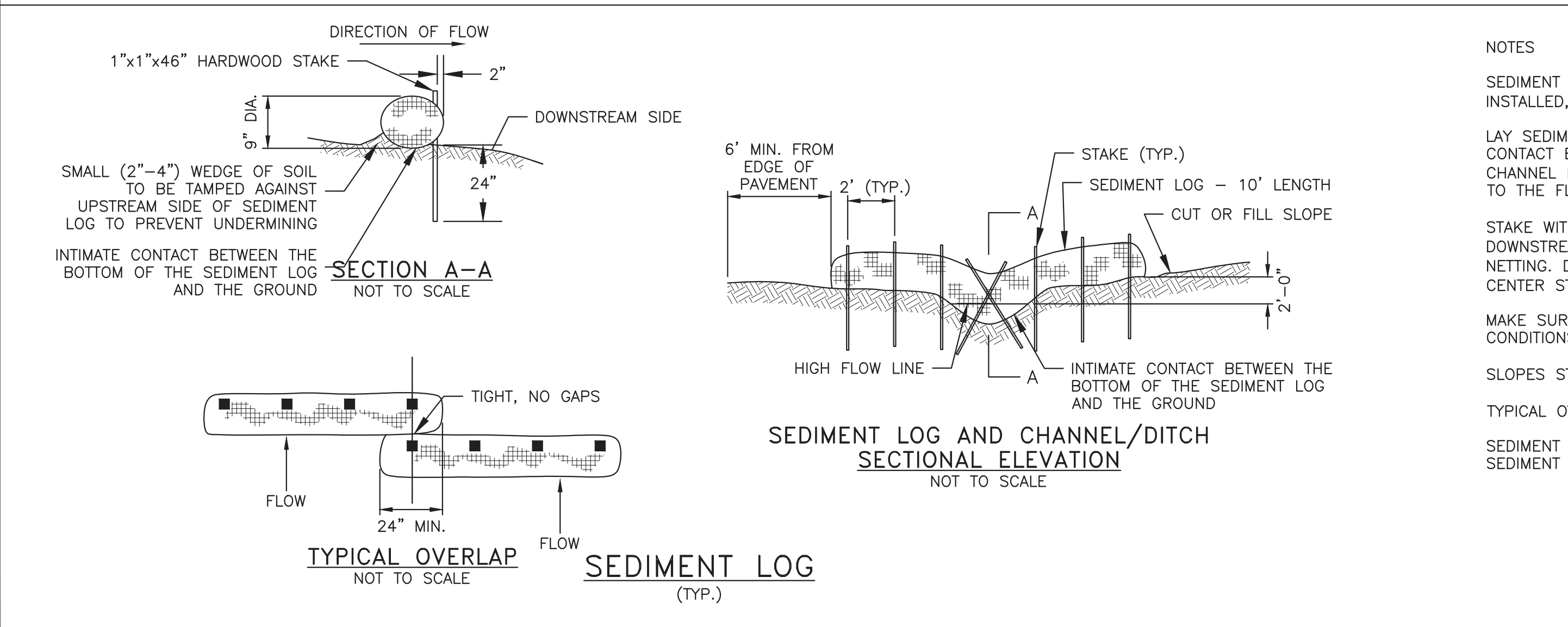
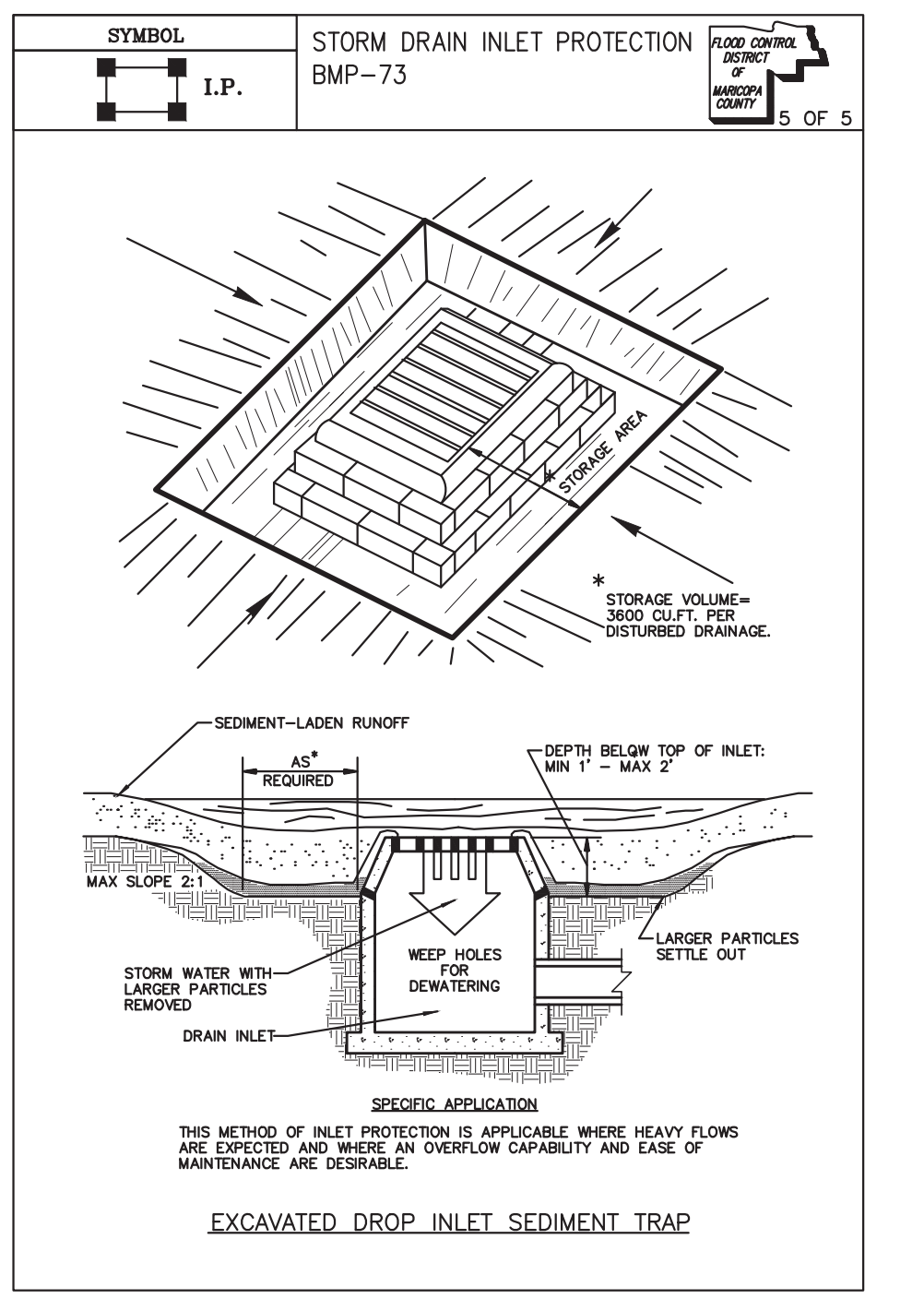
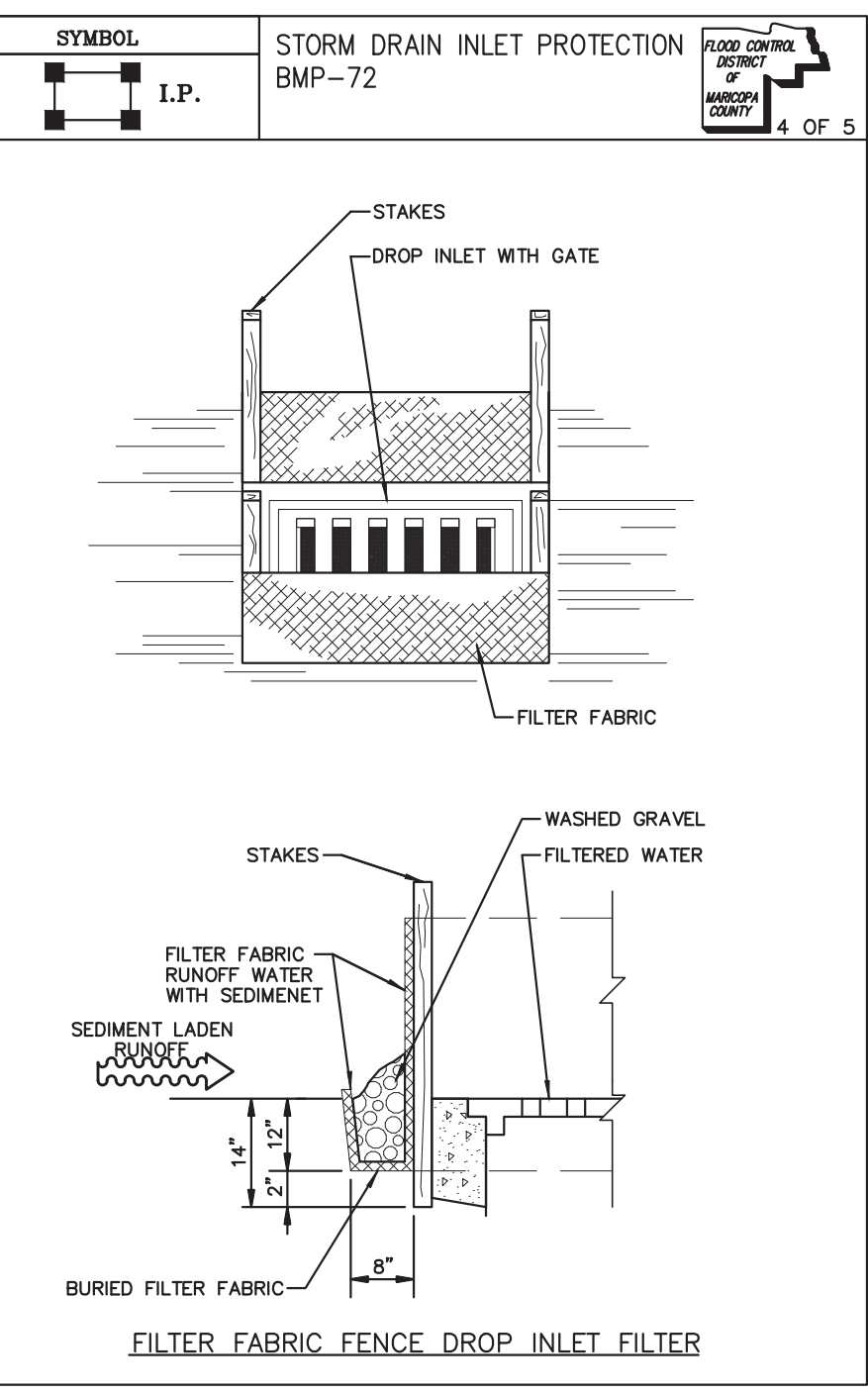
**DESIGN AND SIZING CRITERIA**  
GRATES AND SPACES OF ALL INLETS SHOULD BE SECURED TO PREVENT SEEPAGE OF SEDIMENT-LADEN WATER. ALL INLET PROTECTION MEASURES SHOULD INCLUDE SEDIMENT SIMPS OF 1 TO 2 FEET IN DEPTH AND WITH 2:1 SIDE SLOPES. INSTALLATION PROCEDURE FOR FILTER FABRIC FENCE:  
A. PLACE 2 INCH BY 2 INCH WOODEN STAKES AROUND THE PERIMETER OF THE INLET A MAXIMUM OF 3 FEET APART AND DRIVE THEM AT LEAST 8 INCHES INTO THE GROUND. THE STAKES MUST BE AT LEAST 3 FEET LONG.

**SYMBOL** I.P. **STORM DRAIN INLET PROTECTION BMP-71**

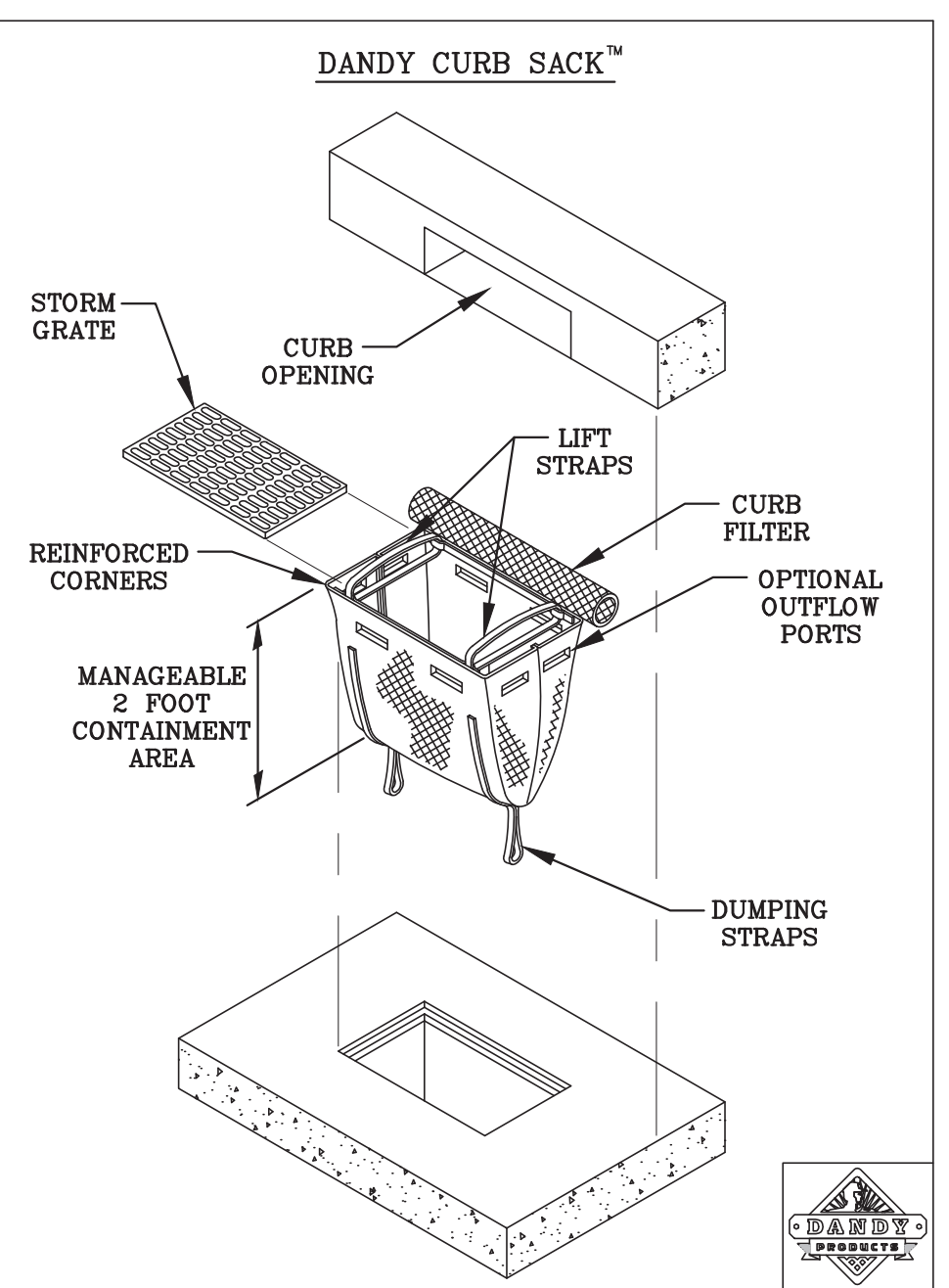
**DESIGN AND SIZING CRITERIA**  
B. EXCAVATE A TRENCH APPROXIMATELY 8 INCHES WIDE AND 12 INCHES DEEP AROUND THE OUTSIDE PERIMETER OF THE STAKES.  
C. STAPLE THE FILTER FABRIC (FOR MATERIALS AND SPECIFICATIONS, SEE SILT FENCE BMP) TO WOODEN STAKES SO THAT 32 INCHES OF THE FABRIC EXTENDS OUT AND CAN BE FORMED INTO THE TRENCH. USE HEAVY-DUTY STAPLES AT LEAST 1/2 INCH IN LENGTH.  
D. BACKFILL THE TRENCH WITH 3/4 INCH OR LESS WASHED GRAVEL ALL THE WAY AROUND.

**MAINTENANCE REQUIREMENTS**  
FOR SYSTEMS USING FILTER FABRIC: INSPECTIONS SHOULD BE MADE ON A REGULAR BASIS, ESPECIALLY AFTER LARGE STORM EVENTS. IF THE FABRIC BECOMES CLOGGED, IT SHOULD BE REPLACED. SEDIMENT SHOULD BE REMOVED WHEN IT REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE FENCE. IF A SUMP IS USED, SEDIMENT SHOULD BE REMOVED WHEN IT FILLS APPROXIMATELY ONE-HALF THE DEPTH OF THE HOLE.

REFERENCES (1, 3, 11, 14, 23)



**NOTES**  
SEDIMENT LOGS SHALL BE LOCATED AS INDICATED IN PLANS OR AS DIRECTED BY THE ENGINEER. THEY SHALL BE SELECTED, INSTALLED, AND MAINTAINED WITH MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICES.  
LAY SEDIMENT LOG ACROSS PREPARED CHANNEL. TRENCHING OR BURIAL OF SEDIMENT LOGS IS NOT REQUIRED. THE INTIMATE CONTACT BETWEEN THE BOTTOM OF THE LOG AND THE GROUND IS MANDATORY. THE LOGS SHALL BE INSTALLED IN THE SWALE OR CHANNEL BOTTOM AND SHALL CONTINUE UP THE SIDE SLOPES 2'-0" ABOVE THE HIGH FLOW LINE, MEASURED PERPENDICULARLY TO THE FLOW OF WATER.  
STAKE WITH 1" x 1" x 46" MIN. HARDWOOD STAKES ON 2 FEET CENTERS. THE STAKE SHALL BE PLACED THROUGH THE DOWNSTREAM SIDE ONLY 2" INTO THE LOG. IT IS ONLY NECESSARY FOR THE STAKES TO GRAB ONE OR TWO INCHES OF THE NETTING. DO NOT DRIVE THE STAKES THROUGH THE CENTER OF THE LOG. THE STAKES MUST BE DRIVEN INTO THE GROUND 24". CENTER STAKES SHALL BE PLACED IN AN "X" PATTERN.  
MAKE SURE NO GAPS EXIST BETWEEN THE SOIL AND THE SEDIMENT LOGS. REPAIR ANY RILLS OR GULLIES PROMPTLY. IN ROCKY CONDITIONS, THE ENGINEER WILL EVALUATE THE PLACEMENT OF SEDIMENT LOGS.  
SLOPES STEEPER THAN 4:1 SHALL APPLY ROCK RIPRAP FOR CHANNEL/DITCH LINING OR CHECK DAMS WHEN SUITABLE.  
TYPICAL OVERLAP APPLIES ONLY TO THE SITUATION WHERE CHANNEL/DITCH IS WIDER THAN THE LENGTH OF ONE SEDIMENT LOG.  
SEDIMENT LOGS AND STAKES TO BE REMOVED ONCE CONSTRUCTION ACTIVITIES ARE COMPLETE. CONTRACTOR SHALL DISPOSE OF SEDIMENT LOGS, STAKES, AND ANY TRAPPED SEDIMENT MATERIAL AND FILL SHALLOW TRENCH CREATED BY SEDIMENT LOGS.



**AS-BUILT DRAWINGS**

DATE: 3/28/16  
By: Alicia Stoffers, PE

**WOODSON ENGINEERING AND SURVEYING, INC.**  
124 N. ELDEN DR.  
FLAGSTAFF, AZ 86001  
PHONE NO. (928) 774-4636

ALICIA ANNE STOFFERS  
REGISTERED PROFESSIONAL ENGINEER  
EXPIRES 9/30/2016

CALL TWO WORKING DAYS BEFORE YOU DIG  
**1-800-STAKE-IT**  
1-800-782-5348  
(OUTSIDE MARICOPA COUNTY)

REVISIONS:

**WOODSON ENGINEERING AND SURVEYING, INC.**  
124 N. ELDEN ST.  
FLAGSTAFF, AZ 86001  
PHONE: (928) 774-4636 FAX: (928) 774-4646

REGISTERED PROFESSIONAL ENGINEER  
EXPIRES 9/30/2016

**BONITO STREET**

**SWPPP**

HOR SCALE: 1"=20'  
VERT SCALE: 1"=2'  
DATE: 3/9/15  
PROJECT NO.: 113801  
AGENCY NO.: 03-13012  
SHEET NO.: 22 OF 22

# ARIZONA STATE HISTORIC PROPERTY INVENTORY

### IDENTIFICATION

SURVEY AREA NAME: Flagstaff Multiple Resource Area

HISTORIC NAME: \_\_\_\_\_ House

ADDRESS/LOCATION: 121 N. Bonito

CITY/TOWN: Flagstaff

TAX PARCEL NUMBER: 100-24-9B

OWNER: \_\_\_\_\_

OWNER ADDRESS: 496 Kiowa Trail  
Kachina Village; Flagstaff, AZ 86001

HISTORIC USE: residence

PRESENT USE: residence

BUILDING TYPE: house

STYLE: Bungalow

CONSTRUCTION DATE: 1910-1916

ARCHITECT/BUILDER: \_\_\_\_\_

INTEGRITY: altered minor

CONDITION: good

COUNTY: Coconino SURVEY SITE: 3-50

USGS QUAD: \_\_\_\_\_

T \_\_\_\_\_ R \_\_\_\_\_ S \_\_\_\_\_ / \_\_\_\_\_  $\frac{1}{4}$  OF THE \_\_\_\_\_  $\frac{1}{4}$  UTM

### Description (contd.)

ROOF TYPE: gable

ROOF SHEATHING: asphalt shingles

EAVES TREATMENT: exposed rafters

WINDOWS: 3/1 double hung wood

ENTRY: central projecting with round arches - non-original

PORCHES: \_\_\_\_\_

STOREFRONTS: Not Applicable

### DESCRIPTION

STORIES: 1 DIMENSIONS: (l) 40 (w) 25

STRUCTURAL MATERIAL: wood

FOUNDATION MATERIAL: stone

WALL SHEATHING: stucco

APPLIED ORNAMENT: \_\_\_\_\_

NOTABLE INTERIOR: Unknown

OUTBUILDINGS: garage

ALTERATIONS: stucco/porch

PHOTOGRAPH \_\_\_\_\_

PHOTOGRAPHER: Woodward

### SKETCH MAP:

See Attached Survey Map



SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE\_\_\_ COMMUNITY PLANNING\_\_\_ ECONOMICS\_\_\_  
EXPLORATION/SETTLEMENT X GOVERNMENTAL\_\_\_ MILITARY\_\_\_ RELIGION\_\_\_ SCIENCE\_\_\_  
THEATRE\_\_\_ TRANSPORTATION\_\_\_ TOURISM\_\_\_ OTHER(specify)\_\_\_  
INDUSTRY\_\_\_ ARCHITECTURE X

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Occupied in 1929 by postal mail carrier M.J. Ginsberg.

RELATIONSHIP TO LOCAL DEVELOPMENT Illustrates the development of residential district during Flagstaff's second major building boom.

CULTURAL AFFILIATIONS

ARCHITECTURAL MERIT A distinctive representative of the Bungalow style.

MAJOR ARCH. FORM/MATERIAL

ENGINEERING/STRUCTURAL

DISTRICT/STREETScape CONTRIBUTION

DISCUSSION AS REQUIRED:

CONTEXT: ISOLATED/RURAL\_\_\_ RESIDENTIAL STREET X COMMERCIAL\_\_\_ CENTRAL SQUARE\_\_\_  
CBD:\_\_\_ OTHER:\_\_\_

BIBLIOGRAPHY/SOURCES: SEE SURVEY REPORT BIBLIOGRAPHY

LISTING IN OTHER SURVEYS: \_\_\_\_\_

NATIONAL REGISTER STATUS:

LISTED\_\_\_ DETERMINED ELIGIBLE\_\_\_ DETERMINED NOT ELIGIBLE\_\_\_ NOT EVALUATED\_\_\_

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR Woodward SURVEY DATE 1985 DATE FORM COMPLETED 6/85

Your report is required by Act of Congress. This Act makes it unlawful for the Bureau to disclose any facts, including names or identity, from your census reports. Only your census employees will use your statements. Data collected will be used solely for preparing statistical tabulations concerning the Nation's population, resources, and business activities. Your Census Reports Cannot Be Used for Purposes of Taxation, Regulation, or Investigation.

16-582A

State Arizona  
County Cochise

Incorporated place Flagstaff City  
Township or other division of county C.D. 1

Ward of city  
Block Nos.

Unincorporated place  
Institution

DEPARTMENT OF COMMERCE—BUREAU OF THE CENSUS  
SIXTEENTH CENSUS OF THE UNITED STATES: 1940  
POPULATION SCHEDULE

S. D. No. 1 E. D. No. 3-2A Sheet No. 11 B  
Enumerated by me on April 16, 1940.  
Elaine A. Jabl Enumerator.

Main census table with columns: LOCATION, HOUSEHOLD DATA, NAME, RELATION, PERSONAL DESCRIPTION, EDUCATION, PLACE OF BIRTH, RESIDENCE, APRIL 1, 1935, PERSONS 14 YEARS OLD AND OVER—EMPLOYMENT STATUS. Includes handwritten entries for various individuals like Douglas Lillie, Thomas John, Mary Agnes, etc.

SUPPLEMENTARY QUESTIONS  
For Persons Enumerated on Lines 55 and 68

FOR PERSONS OF ALL AGES  
PLACE OF BIRTH OF FATHER AND MOTHER, MOTHER TONGUE OR NATIVE LANGUAGE, VETERANS, SOCIAL SECURITY

FOR PERSONS 14 YEARS OLD AND OVER  
USUAL OCCUPATION, INDUSTRY, AND CLASS OF WORKER

FOR OFFICE USE ONLY—DO NOT WRITE IN THESE COLUMNS  
Grid for marital status, children, and other demographic data.

SYMBOLS AND EXPLANATORY NOTES  
Col. 1. VALUE OF HOME, IF OWNED; Col. 2. COLOR OR RACE; Col. 11. AGE AT LAST BIRTHDAY; Col. 14. HIGHEST GRADE OF SCHOOL COMPLETED; Col. 16. CITIZENSHIP OF THE FOREIGN BORN; Col. 21. WAS THIS PERSON AT WORK?; Col. 24. DID THIS PERSON HAVE A JOB?; Col. 25. CLASS OF WORKER; Col. 26. WAS ON MILITARY SERVICE?



ALAMO  
FENCE CO., INC.  
Flagstaff AZ. 928-526-2602



WORLD WAR II

DONNELLY R. McMILLAN  
JOSEPH L. SHARBER, JR.  
BOBBY J. WILLIAMS  
ROBERT C. BURNHELM  
JOSEPH L. NICHOLS  
JAMES SEDILLO  
MARVIN B. ADKINS  
WILLIAM H. HUDGENS, JR.  
GORDON S. TENNANT  
HARRY V. NEWMAN  
LUIS G. CORTEZ  
GEORGE TYSON  
ARMAN PETERSON  
DAVID LOWERY  
GEORGE RAWSON  
KENNETH R. COLE  
PATRICK J. MCGINLEY

**Heritage Preservation Commission**

6. B.

**From:** Lauren Clementino, Senior Planner/Heritage Preservation Officer

**DATE:** 03/19/2025

**SUBJECT:** 15 N Leroux Updated Certificate of Appropriateness

---

**PROPERTY INFORMATION:**

**Address:** 15 N Leroux Street

**Assessor's Parcel Number:** 100-20-028

**Property Owner:** High Brass Realty LLC (Anthony Rosales)

**Applicant:** Samantha Olenorff

**City Staff:** Lauren Clemetino, HPO

**REQUESTED ACTION:**

Approve an updated Certificate of Appropriateness for two new additions to the previously approved plans:

- 1) Filling in an upper rear window to match the rest of facade.
- 2) Adding a new gutter on the lower rear roof to match existing on the upper roof.

**RECOMMENDED ACTION:**

Staff recommends that the Heritage Preservation Commission approve an updated Certificate of Appropriateness for the changes to the upper rear window and installation of a new rear gutter at 15 N Leroux St.

**ALTERNATIVE ACTIONS:**

1. The Commission can approve with additional conditions related to the standards and guidelines applicable to the case;
2. The Commission can request additional information and continue to a date certain; or
3. The Commission can deny the application with instructions for resubmittal.

**HAS THERE BEEN PREVIOUS COMMISSION DECISION ON THIS:**

At the April 17, 2024 meeting, the Heritage Preservation Commission voted to approve a Certificate of Appropriateness for this project with the following conditions:

1. Repair the stucco with the gentlest means in removing peeling paint and surface coating repair.
2. Follow best practices and historic foundation work that reflects the 1897 construction techniques and follow the recommendations of the structural engineer.
3. Submit a separate HPC application for a certificate of no effect to review signs and lighting.
4. Allow for the HPO to monitor and ensure that window modifications meet historic preservation guidelines in the current energy code.
5. Add a historic interpretive sign on the front facade of the building.

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**Attachments**

Updated Certificate of Appropriateness Application

Original Certificate of Appropriateness Application

Original Project Plans

Approved Interpretive Sign

Loy Family History

Original Notice of Decision

Staff Report Addendum

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# City of Flagstaff

# Community Development Division

211 W. Aspen Ave  
Flagstaff, AZ 86001  
www.flagstaff.az.gov

P: (928) 213-2618  
F: (928) 779-7684

**HPC-C**

<b>Date Received</b>		<b>Application to Heritage Preservation for a Certificate within an Overlay</b>		<b>File Number</b>
<b>Property Owner(s)</b>	<b>Title</b>	<b>Phone</b>	<b>Email</b>	
<b>Mailing Address</b>			<b>City, State, Zip</b>	
<b>Applicant</b>	<b>Title</b>	<b>Phone</b>	<b>Email</b>	
<b>Mailing Address</b>			<b>City, State, Zip</b>	
<b>Property Interest of Applicant(s)</b> (Owner, contractual interest, or agent)				
<b>Site Address</b>			<b>City, State, Zip</b>	
<b>Project Name</b>				
<b>Parcel Number(s)</b>		<b>Zoning District(s), including Overlays</b>		
<b>Property Information:</b>	<input type="checkbox"/> Yes <input type="checkbox"/> No	Listed individually on the National or Arizona Register of Historic Places? (Name: _____)		
	<input type="checkbox"/> Yes <input type="checkbox"/> No	Located in a National Register Historic District? (Name: _____)		
	<input type="checkbox"/> Yes <input type="checkbox"/> No	Is a structure on the property considered contributing to the District?		
	<input type="checkbox"/> Yes <input type="checkbox"/> No	Located in a Historic or Landmark Overlay? (Name: <u>Downtown</u> )		
	<input type="checkbox"/> Yes <input type="checkbox"/> No	Is the structure over 50 years old at the time of application?		
	<input type="checkbox"/> Yes <input type="checkbox"/> No	Does this application include review of a sign in an overlay or the Central Sign District?		
<b>Type of HPC Application Requested:</b>	<input type="checkbox"/>	Certificate of No Effect (May be reviewed by the Heritage Preservation Officer or the Commission)		
	<input type="checkbox"/>	Certificate of Appropriateness (Must be reviewed by the Heritage Preservation Commission)		
	<input type="checkbox"/>	Certificate of Economic Hardship (Must be reviewed by the Heritage Preservation Commission)		
<b>Note: Applications which are incomplete or not accompanied by the required information will not be accepted.</b>				
<b>Property Owner Signature:</b>	<b>Date:</b>	<b>Applicant Signature:</b>	<b>Date:</b>	
<i>Anthony Rosales-President</i>		<i>[Signature]</i>		
<b>For City Use</b>				
<b>Date Filed:</b> _____		<b>HPC Hearing Date:</b> _____		
<b>Fee Receipt #:</b> _____		<b>Amount:</b> _____	<b>Date:</b> _____	
<b>Action by HPC:</b>	<input type="checkbox"/> Consent Approval by HPO	<input type="checkbox"/> Denied		
	<input type="checkbox"/> Approved	<input type="checkbox"/> Continued		
	<input type="checkbox"/> Approved with Conditions	<b>Staff Initial:</b> _____	<b>Date:</b> _____	

## Submittal Requirements

An application to the Heritage Preservation Commission and Historic Preservation Officer shall contain at least the following information:

1. Completed Application including all signatures and payment of fees. If applying for multiple types of HPC reviews only one fee is collected at the time of the first application for the same work.
2. An electronic copy and one copy of drawings or documents as needed to describe the proposal, which may include a Site Plan, Floor Plans, Exterior Elevations, Building Sections, Exterior Details, Lighting Plan, and a Landscape Plan. All drawings shall be drawn to scale and dimensioned and shall clearly and accurately represent the natural and built conditions of the context area and the project, including both existing conditions and proposed work.
3. Photographs of the context, including the property, surrounding properties, and the neighborhood.
4. A Color Board depicting all exterior materials and finishes associated with the work (if requested).
5. A list of related permits and development applications that have been or will need to be submitted.
6. Proof of ownership, or letter of authorization from the current property owner, if the applicant and owner are not the same.
7. Statement of approval from a subdivision or property owners association, if applicable.
8. Any other information which the applicant feels would be helpful and/or pertinent to the request.
9. Any other information as may be required by the Historic Preservation Officer or Heritage Preservation Commission to assist in the review of the requested application.

## Timing of Submission and Completeness Review

The Heritage Preservation Commission meets to review applications monthly on the third Wednesday of the month. If you are submitting an application for review of a Certificate of Appropriateness, a Certificate of Economic Hardship, Community Development must receive your application by the submittal deadline posted to the [Heritage Preservation program website](#).

For your item to be added to an agenda, the Heritage Preservation Officer (HPO) must deem the application complete and the information in it correct within 5 working days. The HPO will contact applicants for additional information as necessary.

Please also note that per the Flagstaff Zoning Code, the HPO refer any application, including Certificates of No Effect to the Commission for any reason. If the HPO refers the application, you will not need to resubmit, but additional materials may be requested.

Applications pertaining to Certificates for properties with the Townsite Overlay Zone must also be properly noticed 15 days prior to the public hearing in accordance with *Section J of the Townsite Historic Design Review Overlay District Design Standards and Guidelines*.

Approval of a Certificate does not indicate a final approval of site plans, building plans, permanent sign permits and other applications that will be required prior to demolition, modification, or construction. Approval of all Certificates will be conditioned on their conformance with Zoning Code and Building Code standards. The Heritage Preservation Officer may elect to hold an application until a review by the InterDivision staff is completed and substantive comments have been provided to the applicant.

If this application includes the review of a sign within the Downtown Overlay, Central Sign District or the Townsite Overlay, a permanent sign application must be submitted prior to the submission of the HPC-C application and the comments provided in that review should be attached to this application.

We encourage you to reach out early in designing your projects so that the HPO may assist you and your clients. HPO contact information: Lauren Clementino, Phone: (928) 213-2633; Email: [lclementino@flagstaffaz.gov](mailto:lclementino@flagstaffaz.gov)



# City of Flagstaff

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Flagstaff, AZ 86001

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[www.flagstaff.az.gov](http://www.flagstaff.az.gov)

**HPC-C**

## Project Description

[Empty box for Project Description]

## Explanation of how the project meets the applicable overlay and relevant sections of the Zoning Code

[Empty box for Explanation of how the project meets the applicable overlay and relevant sections of the Zoning Code]

Insert additional pages if necessary



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## Summary Statement of Significance:

National Register of Historic Places documentation or a Cultural Resource Study can be submitted in lieu of completing this page to demonstrate significance (attach additional pages as necessary).

The significance of a resource is generally based on its potential to contribute to our understanding of the past. An object, structure, site, place, or area is significant if:

- a. It is associated with events or persons in the architectural, engineering, archeological, scientific, technological, economic, agricultural, educational, social, political, military, or cultural annals of the City of Flagstaff, the State of Arizona, or the United States of America.
- b. It embodies distinctive characteristics of type, period, region, artistic values, or methods of construction, including being the oldest of its type or the best example of its type, or, if it represents the work of, or for, an important individual.
- c. A resource is generally not significant if it is less than fifty (50) years old, or, if the features, materials, patterns, and relationships that establish its significance are no longer present or no longer have integrity. The integrity of a resource is judged by how evident the general character of the significant period is, the degree to which the characteristics that define its significance are present, and the degree to which incompatible elements are reversible.

Original Construction Date: \_\_\_\_\_

Describe Previous Major Alterations (Include dates and changes of use):

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Describe the Significance of the Resource (In terms of A. or B., and C., above):

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---



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Source(s) of Information Used:

---



---

Describe the Level of Integrity of the Resource (Existing and proposed):

---



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**HPC-C**

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<b>Applicant</b>	<b>Title</b>	<b>Phone</b>	<b>Email</b>	
<b>Mailing Address</b>			<b>City, State, Zip</b>	
<b>Property Interest of Applicant(s)</b> (Owner, contractual interest, or agent)				
<b>Site Address</b>			<b>City, State, Zip</b>	
<b>Project Name</b>				
<b>Parcel Number(s)</b>		<b>Zoning District(s), including Overlays</b>		
<b>Property Information:</b>	<input type="checkbox"/> Yes <input type="checkbox"/> No Listed individually on the National or Arizona Register of Historic Places? (Name: _____ ) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Located in a National Register Historic District? (Name: <u>Railroad Addition</u> ) <input type="checkbox"/> Yes <input type="checkbox"/> No Is a structure on the property considered contributing to the District? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Located in a Historic or Landmark Overlay? (Name: <u>Downtown</u> ) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Is the structure over 50 years old at the time of application? <input type="checkbox"/> Yes <input type="checkbox"/> No Does this application include review of a sign in an overlay or the Central Sign District?			
<b>Type of HPC Application Requested:</b>	<input type="checkbox"/> Certificate of No Effect (May be reviewed by the Heritage Preservation Officer or the Commission) <input type="checkbox"/> Certificate of Appropriateness (Must be reviewed by the Heritage Preservation Commission) <input type="checkbox"/> Certificate of Economic Hardship (Must be reviewed by the Heritage Preservation Commission)			
<b>Note: Applications which are incomplete or not accompanied by the required information will not be accepted.</b>				
<b>Property Owner Signature:</b>	<b>Date:</b>	<b>Applicant Signature:</b>	<b>Date:</b>	
				
<b>For City Use</b>				
<b>Date Filed:</b> _____		<b>HPC Hearing Date:</b> _____		
<b>Fee Receipt #:</b> _____		<b>Amount:</b> _____	<b>Date:</b> _____	
<b>Action by HPC:</b>	<input type="checkbox"/> Consent Approval by HPO <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions		<input type="checkbox"/> Denied <input type="checkbox"/> Continued	
			<b>Staff Initial:</b> _____	<b>Date:</b> _____

## Submittal Requirements

An application to the Heritage Preservation Commission and Historic Preservation Officer shall contain at least the following information:

1. Completed Application including all signatures and payment of fees. If applying for multiple types of HPC reviews only one fee is collected at the time of the first application for the same work.
2. An electronic copy and one copy of drawings or documents as needed to describe the proposal, which may include a Site Plan, Floor Plans, Exterior Elevations, Building Sections, Exterior Details, Lighting Plan, and a Landscape Plan. All drawings shall be drawn to scale and dimensioned and shall clearly and accurately represent the natural and built conditions of the context area and the project, including both existing conditions and proposed work.
3. Photographs of the context, including the property, surrounding properties, and the neighborhood.
4. A Color Board depicting all exterior materials and finishes associated with the work (if requested).
5. A list of related permits and development applications that have been or will need to be submitted.
6. Proof of ownership, or letter of authorization from the current property owner, if the applicant and owner are not the same.
7. Statement of approval from a subdivision or property owners association, if applicable.
8. Any other information which the applicant feels would be helpful and/or pertinent to the request.
9. Any other information as may be required by the Historic Preservation Officer or Heritage Preservation Commission to assist in the review of the requested application.

## Timing of Submission and Completeness Review

The Heritage Preservation Commission meets to review applications monthly on the third Wednesday of the month. If you are submitting an application for review of a Certificate of Appropriateness, a Certificate of Economic Hardship, Community Development must receive your application by the submittal deadline posted to the [Heritage Preservation program website](#).

For your item to be added to an agenda, the Heritage Preservation Officer (HPO) must deem the application complete and the information in it correct within 5 working days. The HPO will contact applicants for additional information as necessary.

Please also note that per the Flagstaff Zoning Code, the HPO refer any application, including Certificates of No Effect to the Commission for any reason. If the HPO refers the application, you will not need to resubmit, but additional materials may be requested.

Applications pertaining to Certificates for properties with the Townsite Overlay Zone must also be properly noticed 15 days prior to the public hearing in accordance with *Section J of the Townsite Historic Design Review Overlay District Design Standards and Guidelines*.

Approval of a Certificate does not indicate a final approval of site plans, building plans, permanent sign permits and other applications that will be required prior to demolition, modification, or construction. Approval of all Certificates will be conditioned on their conformance with Zoning Code and Building Code standards. The Heritage Preservation Officer may elect to hold an application until a review by the InterDivision staff is completed and substantive comments have been provided to the applicant.

If this application includes the review of a sign within the Downtown Overlay, Central Sign District or the Townsite Overlay, a permanent sign application must be submitted prior to the submission of the HPC-C application and the comments provided in that review should be attached to this application.

We encourage you to reach out early in designing your projects so that the HPO may assist you and your clients. HPO contact information: Mark Reavis, Phone: (928) 213-2633; Email: [Mark.Reavis@flagstaffaz.gov](mailto:Mark.Reavis@flagstaffaz.gov)



# City of Flagstaff Community Development Division

211 W. Aspen Ave

P: (928) 213-2618

Flagstaff, AZ 86001

F: (928) 779-7684

[www.flagstaff.az.gov](http://www.flagstaff.az.gov)

**HPC-C**

## Project Description

[Empty box for Project Description]

## Explanation of how the project meets the applicable overlay and relevant sections of the Zoning Code

[Empty box for Explanation of how the project meets the applicable overlay and relevant sections of the Zoning Code]

Insert additional pages if necessary



# City of Flagstaff

# Community Development Division

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Flagstaff, AZ 86001  
www.flagstaff.az.gov

P: (928) 213-2618  
F: (928) 779-7684



## Summary Statement of Significance:

National Register of Historic Places documentation or a Cultural Resource Study can be submitted in lieu of completing this page to demonstrate significance (Attach additional pages as necessary).

The significance of a resource is generally based on its potential to contribute to our understanding of the past. An object, structure, site, place, or area is significant if:

- a. It is associated with events or persons in the architectural, engineering, archeological, scientific, technological, economic, agricultural, educational, social, political, military, or cultural annals of the City of Flagstaff, the State of Arizona, or the United States of America.
- b. It embodies distinctive characteristics of type, period, region, artistic values, or methods of construction, including being the oldest of its type or the best example of its type, or, if it represents the work of, or for, an important individual.
- c. A resource is generally not significant if it is less than fifty (50) years old, or, if the features, materials, patterns, and relationships that establish its significance are no longer present or no longer have integrity. The integrity of a resource is judged by how evident the general character of the significant period is, the degree to which the characteristics that define its significance are present, and the degree to which incompatible elements are reversible.

Original Construction Date: \_\_\_\_\_

Describe Previous Major Alterations (Include dates and changes of use):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Describe the Significance of the Resource (In terms of a. or b., and c., above):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Source(s) of Information Used:

\_\_\_\_\_  
\_\_\_\_\_

Describe the Level of Integrity of the Resource (Existing and proposed):

\_\_\_\_\_  
\_\_\_\_\_



# insomnia cookies

## Insomnia Cookies #286 • Flagstaff, AZ

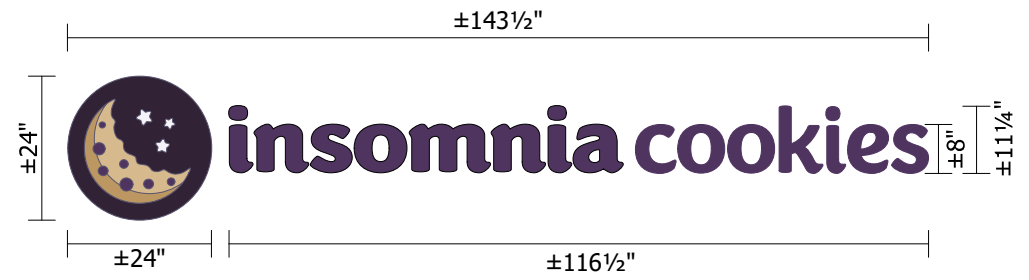
<b>R3</b>	AS PER COMMENTS - ADD CROSS SECTION	14/03/24	VG
<b>R2</b>	AS PER COMMENTS	13/03/24	VG
<b>R1</b>	AS PER COMMENTS	13/03/24	VG
<b>PRELIMINARY</b>		29/02/24	DG

REF# xxxxx



CLEARANCE:  
±161" FOR CITY ONLY

PROPOSED



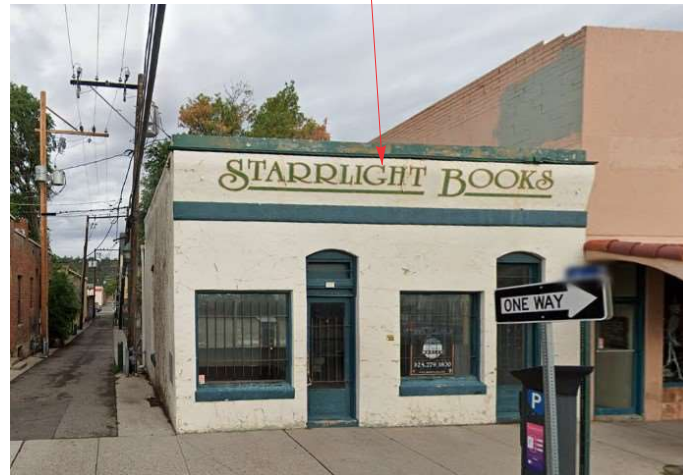
**A** NEW 1/2" PVC LETTERS AND 1/2" PVC LOGO WITH 1/4" PVC BUILD-UP  
SCALE: 3/8"=1'-0"

- AREA: 23.92 ft<sup>2</sup>
- TOTAL WEIGHT: ±80 lbs
- PANTONE 2627 C
- PANTONE 276 C
- PANTONE 467 C
- PANTONE 465 C
- PANTONE 663 C

DETAILS "LOGO & INSOMNIA COOKIES"	
DESCRIPTION:	PVC LETTERS
SIDE:	PURPLE LOGO PURPLE LETTERS
FACE:	LOGO GRAPHICS PURPLE LETTERS

EXISTING BUILDING  
TO BE PAINTED BY OTHERS

EXISTING



**PRELIMINARY**

**Insomnia Cookies #286 • Flagstaff, AZ**



CLIENT:	Insomnia Cookies
ADDRESS:	ONE SOUTH BROAD STREET, SUITE 120
CITY:	PHILADELPHIA, PA P.C.: 19107
TEL:	FAX:

SITE:	Insomnia Cookies #286 • Flagstaff, AZ
ADDRESS:	15 N LEROUX STREET,
CITY:	FLAGSTAFF, AZ P.C.: 86001
TEL:	FAX:

DRAWING:	DATE:	REV. DATE:
	SCALE:	DRAWN BY:
DIR: WIP2024\INSOMNIA_COOKIES\286_FLAGSTAFF AZ \CDR		

5790 Ferrier  
Mont-Royal QC CA  
H4P 1M7  
Tel: (514) 937-0044  
Fax: (514) 938-2056

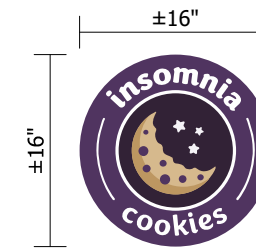


CLEARANCE:  
±161" FOR CITY ONLY

PROPOSED

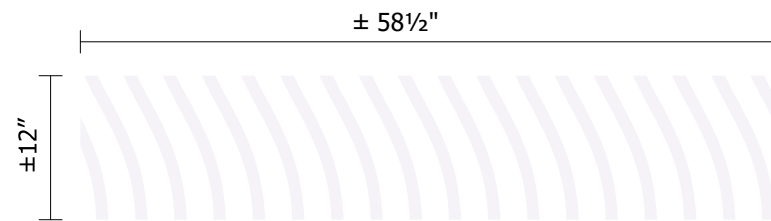


**B** NEW BACK APPLIED PRINTED 3M GRAPHIC  
SCALE: 1/2"=1'-0"  
AREA: 5.66 ft<sup>2</sup> **X1**

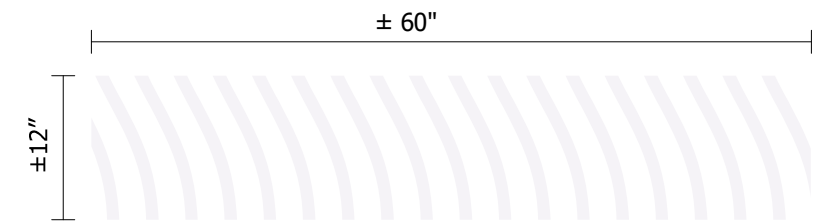


**C** NEW FRONT APPLIED PRINTED 3M GRAPHIC  
SCALE: 1"=1'-0"  
AREA: 1,78 ft<sup>2</sup> **X1**

EXISTING BUILDING  
TO BE PAINTED BY OTHERS



AREA: 4.88 ft<sup>2</sup>



AREA: 5 ft<sup>2</sup>

**D** NEW FRONT APPLIED PRINTED 3M GRAPHIC  
SCALE: 3/8"=1'-0"

**PRELIMINARY**

**Insomnia Cookies #286 • Flagstaff, AZ**

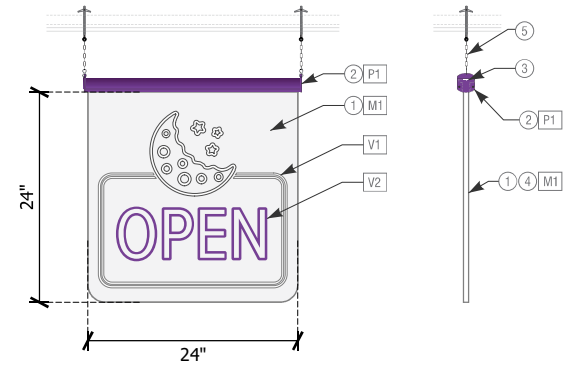


<b>CLIENT:</b> Insomnia Cookies	<b>SITE:</b> Insomnia Cookies #286 • Flagstaff, AZ	<b>DRAWING:</b>	5790 Ferrier Mont-Royal QC CA H4P 1M7 Tel: (514) 937-0044 Fax: (514) 938-2056
ADDRESS: ONE SOUTH BROAD STREET, SUITE 120	ADDRESS: 15 N LEROUX STREET,	DATE: _____	REV. DATE: _____
CITY: PHILADELPHIA, PA P.C.: 19107	CITY: FLAGSTAFF, AZ P.C.: 86001	SCALE: _____	DRAWN BY: _____
TEL: _____ FAX: _____	TEL: _____ FAX: _____	DIR: WIP2024\INSOMNIA_COOKIES\286_FLAGSTAFF AZ\CDR	



CLEARANCE:  
±161" FOR CITY ONLY

PROPOSED

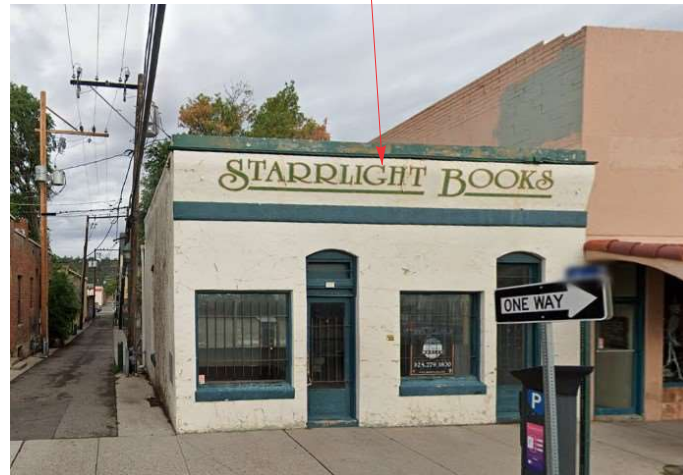


SIGN SPECIFICATIONS	
<b>Colors &amp; Finishes</b>	
M1, S1	Background: 1/2" Clear Acrylic
P1	Bracket: SW Insomnia Purple PMS 2627C Custom Match
V1	Vinyl: Insomnia Purple PMS 2627C (2nd Surface)
V2	Vinyl: White 3630-20 (2nd Surface)
<b>Sign Construction</b>	
1. Background: 1/2" Thick Clear Acrylic	
2. Bracket: 1996 Sign Comp Extrusion Painted P1 with Custom 1/8" Aluminum End Caps Painted P1. Secure with Countersunk Screws, exposed areas Painted P1	
3. Electrical: Bitro LED Light Tape BT-1047-V24BWGS. Plug in 24V 1.5 Amp 36 Watt Power Supply	
4. Perimeter: Applied Translucent White Vinyl	
<b>Installation Hardware</b>	
5. Hardware: Chain and S Hooks attached to sign bracket, to attach to snap toggle with eye bolt at ceiling.	
<b>Building Conditions</b>	
6. Ceiling: TBD	

**E ILLUMINATED HANGED SIGN (FAUX NEON)**  
**INSTALLED BY I.N. FABRICATED BY OTHER X1**  
**AREA: 4 ft<sup>2</sup>**

EXISTING BUILDING  
TO BE PAINTED BY OTHERS

EXISTING



**PRELIMINARY**

**Insomnia Cookies #286 • Flagstaff, AZ**

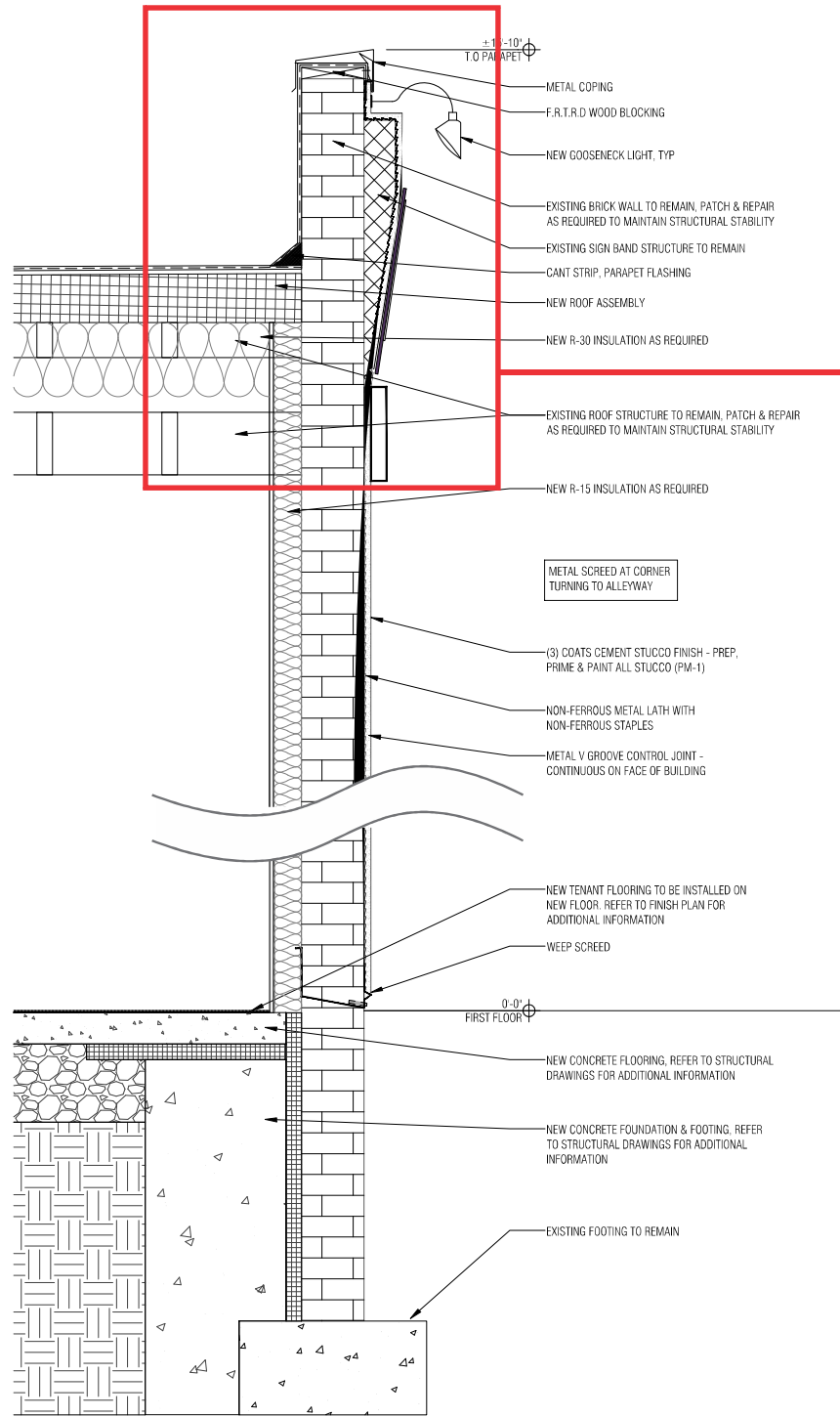


**CLIENT:** Insomnia Cookies  
**ADDRESS:** ONE SOUTH BROAD STREET, SUITE 120  
**CITY:** PHILADELPHIA, PA **P.C.:** 19107  
**TEL:** \_\_\_\_\_ **FAX:** \_\_\_\_\_

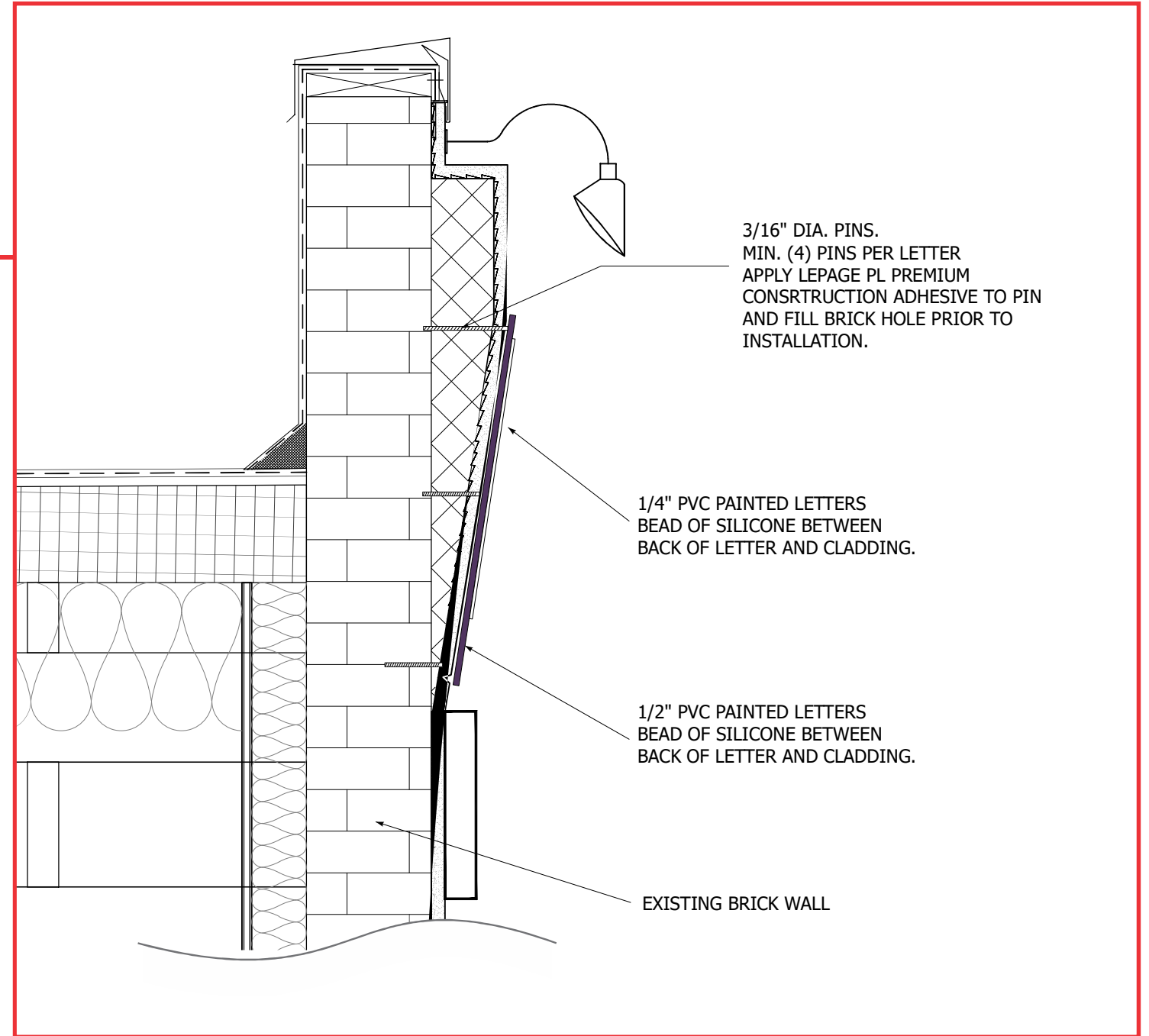
**SITE:** Insomnia Cookies #286 • Flagstaff, AZ  
**ADDRESS:** 15 N LEROUX STREET,  
**CITY:** FLAGSTAFF, AZ **P.C.:** 86001  
**TEL:** \_\_\_\_\_ **FAX:** \_\_\_\_\_

**DRAWING:**  
**DATE:** \_\_\_\_\_ **REV. DATE:** \_\_\_\_\_  
**SCALE:** \_\_\_\_\_ **DRAWN BY:** \_\_\_\_\_  
**DIR:** WIP2024\INSOMNIA\_COOKIES\286\_FLAGSTAFF AZ \CDR

5790 Ferrier  
 Mont-Royal QC CA  
 H4P 1M7  
 Tel: (514) 937-0044  
 Fax: (514) 938-2056



EXTERIOR STOREFRONT SECTION



**A** NEW 1/2" PVC LETTERS AND 1/2" PVC LOGO WITH 1/4" PVC BUILD-UP  
 SCALE: 3/8"=1'-0"

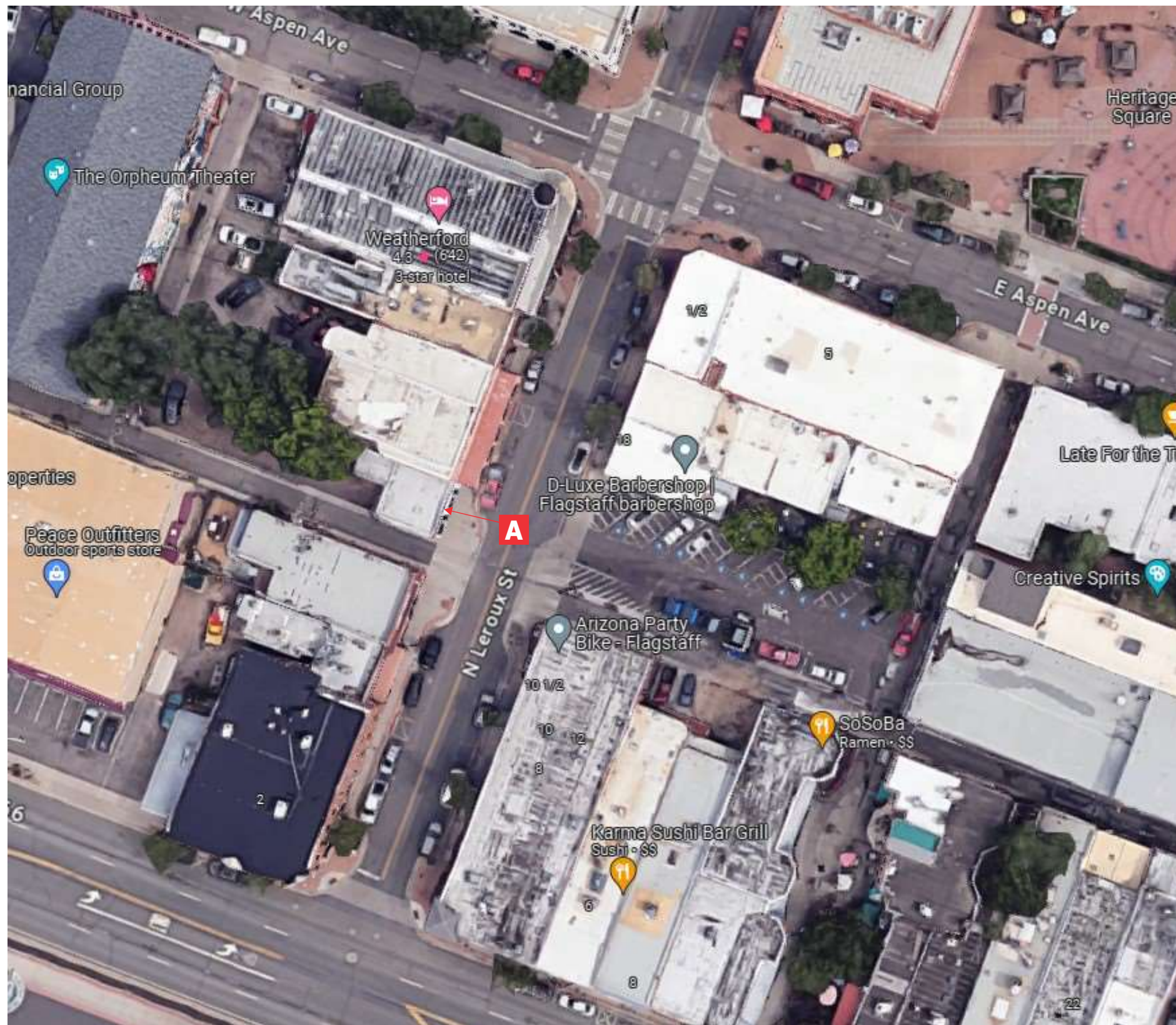
**PRELIMINARY**

**Insomnia Cookies #286 • Flagstaff, AZ**



<b>CLIENT:</b> Insomnia Cookies	<b>SITE:</b> Insomnia Cookies #286 • Flagstaff, AZ	<b>DRAWING:</b>	
<b>ADDRESS:</b> ONE SOUTH BROAD STREET, SUITE 120	<b>ADDRESS:</b> 15 N LEROUX STREET,	<b>DATE:</b> _____	<b>REV. DATE:</b> _____
<b>CITY:</b> PHILADELPHIA, PA <b>P.C.:</b> 19107	<b>CITY:</b> FLAGSTAFF, AZ <b>P.C.:</b> 86001	<b>SCALE:</b> _____	<b>DRAWN BY:</b> _____
<b>TEL:</b> _____ <b>FAX:</b> _____	<b>TEL:</b> _____ <b>FAX:</b> _____	<b>DIR:</b> WIP2024\INSOMNIA_COOKIES\286_FLAGSTAFF AZ \CDR	

5790 Ferrier  
 Mont-Royal QC CA  
 H4P 1M7  
 Tel: (514) 937-0044  
 Fax: (514) 938-2056



**AERIAL VIEW**

**PRELIMINARY**

**Insomnia Cookies #286 • Flagstaff, AZ**



<b>CLIENT:</b> Insomnia Cookies	<b>SITE:</b> Insomnia Cookies #286 • Flagstaff, AZ	<b>DRAWING:</b>	
ADDRESS: ONE SOUTH BROAD STREET, SUITE 120	ADDRESS: 15 N LEROUX STREET,	DATE: _____	REV. DATE: _____
CITY: PHILADELPHIA, PA P.C.: 19107	CITY: FLAGSTAFF, AZ P.C.: 86001	SCALE: _____	DRAWN BY: _____
TEL: _____ FAX: _____	TEL: _____ FAX: _____	DIR: WIP2024\INSOMNIA_COOKIES\286_FLAGSTAFF AZ \CDR	

5790 Ferrier  
 Mont-Royal QC CA  
 H4P 1M7  
 Tel: (514) 937-0044  
 Fax: (514) 938-2056



Name: **Insomnia**

**Cookies**

Date: **02.19.2025**

INV #: **00000**

Rev #: **0**

**CUSTOMER'S APPROVAL**

- Approved
- Revise and Proof Again

Signature \_\_\_\_\_

Date \_\_\_\_\_

**SIGN SPECS**

- Radius Corners  in.
- Holes Punched
  - Center Top & Bottom
  - All Four Corners
- Hems  Grommets

**PRODUCTION STAGES**

- Design  Material
- Printed / Cut
- Production  Install

DONE  R4I

Signature \_\_\_\_\_ Date \_\_\_\_\_

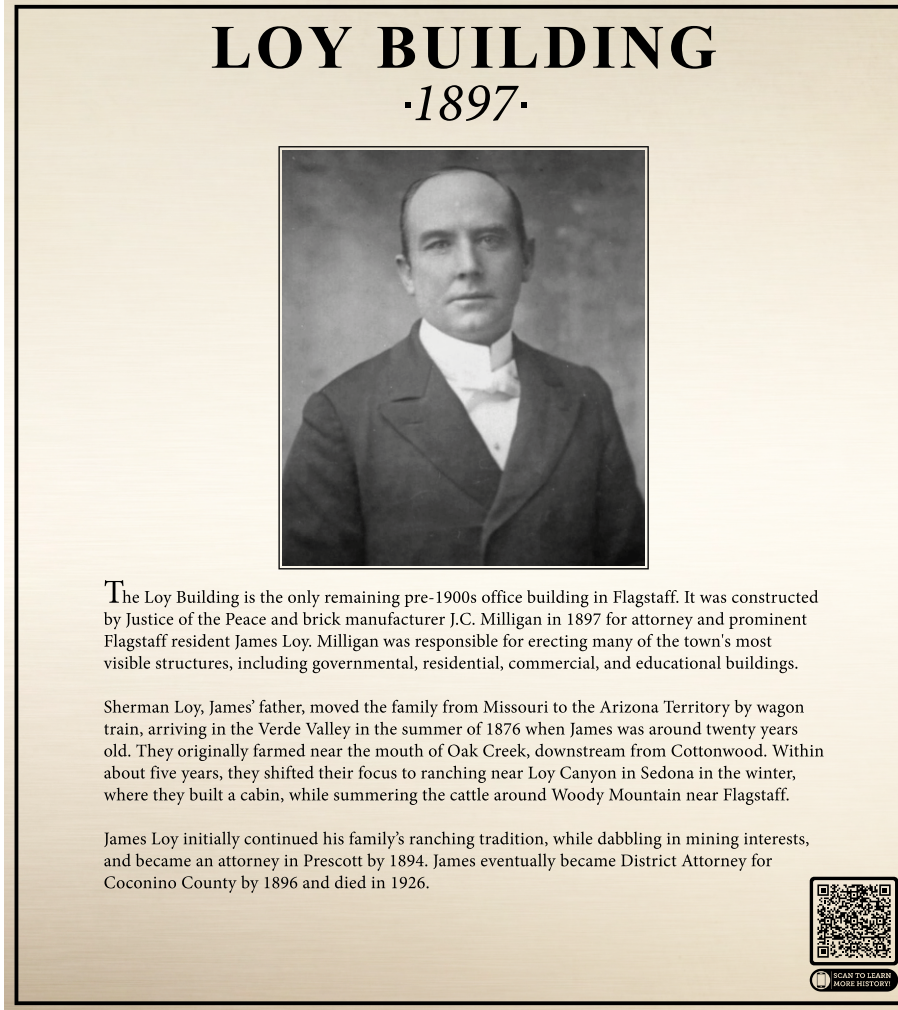


2333 E. Spruce Avenue,  
Flagstaff, AZ 86004

Phone: (928) 714-0740  
Email: signs@sarflagstaff.com  
Web: www.SARflagstaff.com

18 in

20 in



**Etched Brass Plaque / Qty. [x1]**

1/4" thick Etched brass plaque with UV printed graphics. Sign will have satin surface finish and squared edges. Sign will be blind stud mounted to building exterior.

This design and drawing submitted for your review and approval is the exclusive property of SIGNARAMA. It may not be reproduced, copied, exhibited or utilized for any purpose, in part or in whole by any individual inside out outside without written consent of SIGNARAMA.

Color:



PMS 0000



PMS 0000



PMS 0000



PMS 0000

Notes: **new QR code inserted**



Name: **Insomnia**

**Cookies**

Date: **02.19.2025**

INV #: **00000**

Rev #: **0**

CUSTOMER'S APPROVAL

- Approved
- Revise and Proof Again

Signature \_\_\_\_\_

Date \_\_\_\_\_

SIGN SPECS

- Radius Corners
- Holes Punched
  - Center Top & Bottom
  - All Four Corners
- Hems  Grommets

PRODUCTION STAGES

- Design  Material
- Printed / Cut
- Production  Install

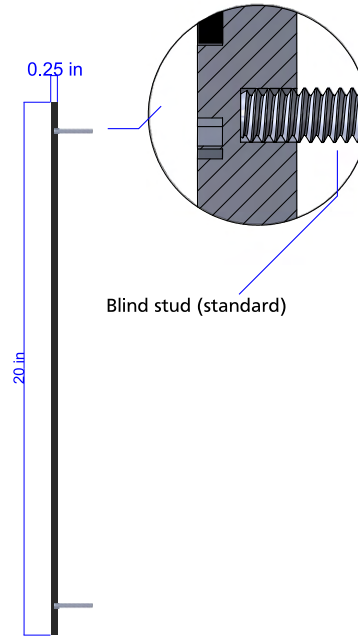
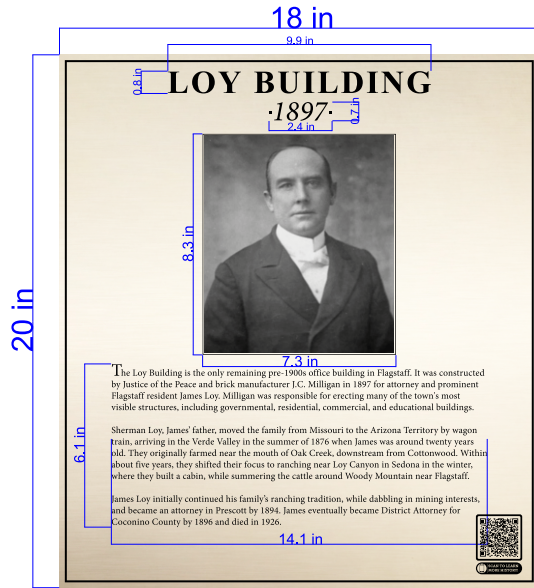
DONE  R4I

Signature \_\_\_\_\_ Date \_\_\_\_\_

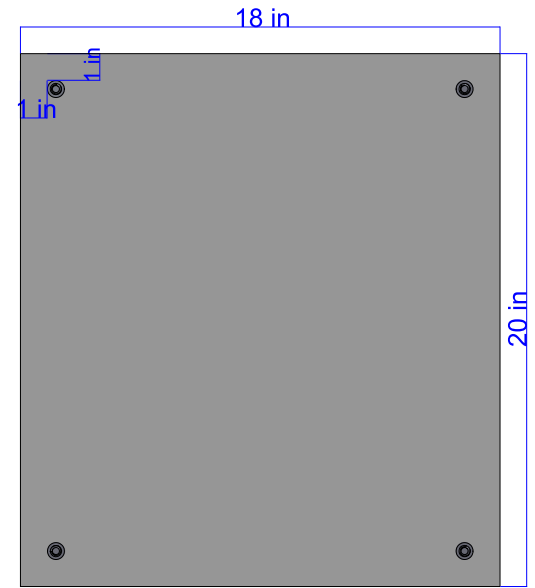
**Signarama**  
FLAGSTAFF

2333 E. Spruce Avenue,  
Flagstaff, AZ 86004

Phone: (928) 714-0740  
Email: signs@sarflagstaff.com  
Web: www.SARflagstaff.com



side view  
[showing blind stud mount]

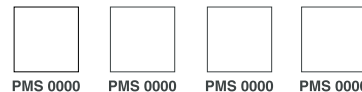


back view

## Measurements and Blind Stud Installation.

This design and drawing submitted for your review and approval is the exclusive property of SIGNARAMA. It may not be reproduced, copied, exhibited or utilized for any purpose, in part or in whole by any individual inside out outside without written consent of SIGNARAMA.

Color:



Notes: new QR code inserted

**The Loy Family**  
**As of 6 February 2017**  
**By: Janet Cassagio**  
**For: The Cornville Historical Society**

## **The Loy Family**

*Note: The only Loy's I found in Cornville came from the family of Samuel & Jane Loy. Robert Loy confirmed this on November 18, 2015.*

### **Samuel & Jane Loy (the parents):**

From records at [www.ancestry.com](http://www.ancestry.com):

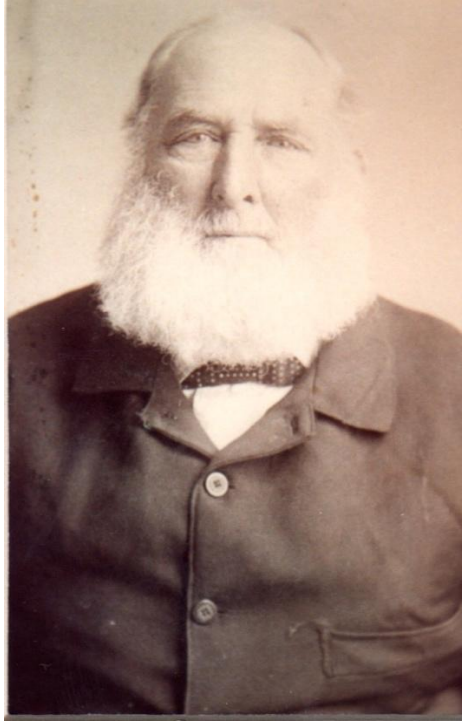
Samuel Loy was born in Hampshire County, VA on July 3, 1820. In 1853, in Chariton, MO, he married Jane Mirenda Sinnett. Jane was born on September 13, 1826 in Franklin County, OH. Between 1856 and 1864, while living in Missouri, Samuel and Jane had 5 children, James, John, Mary (aka Mollie), William and Harriet Anne (aka Hattie). Mary and William were twins. Sometime between 1870 and 1880 the family moved from Saline county in Missouri to the Verde Valley. Maybe the Grasshopper Plagues that occurred during the 1870s in Missouri had something to do with their move.

Jane Loy died on February 12, 1894 in Oak Creek and was buried in Camp Verde. On the 1900 Federal census, Samuel Loy was a widow, a gardener, living in Middle Verde with his son, William. Samuel Loy died on March 29, 1901 in Cornville and was buried in Camp Verde.

Samuel Loy was the son of Jacob and Mary (Slane) Loy. Jane Mirenda Loy was the daughter of William and Mary (Coil) Sinnett.

A record, transcribed originally by Betty Wilson, from the Chariton County, Missouri Land Deeds, Volume L, page 229, 25 Feb 1849, shows that in payment of her debt to her daughter, Mary Sinnett gave Jane three slaves, Eva (age 23), Sarah (age 4) and Benjamin (a child). A note added by Grady Loy on the site states that Eva, and two additional children Joseph and a different Sarah were all still with Jane in 1870, after emancipation, and they all used the last name Sinnett. He also believes Eva's son Benjamin, and his wife Mary, was living next door to Jane and using the last name Wilson in the 1870 census.

Photos saved by a family member, Meg Heinle Davis, on [www.ancestry.com](http://www.ancestry.com) include:



Samuel Loy



Jane Loy

*From Sharlot Hall Museum Archives (copies in CHS People files):*

Samuel Loy was born in Hampshire, VA on July 3, 1820 and died in Cornville, AZ (Territory) on Mar 29, 1901. He was buried in Middle Verde Cemetery and there is a photo of his headstone on-line at <http://arizonagravestones.org>. His spouse was Jane Merinda Sinnette; his parents were Jacob & Mary (Slane) Loy. Samuel was a farmer. From "Those Early Days; Jerome Mining News March 1901: Samuel Loy, an old and highly esteemed resident of Cornville, Yavapai county, died at that place on Mar 29, 1901. He

was a native of Virginia, and moved from there to Missouri, where he was married in 1853. He came to Arizona in 1876 and took up residence in Prescott, but afterwards removed to the Verde valley, where he lived until he passed over the river of death, reaching the ripe old age of 81 years. Deceased leaves three sons, James, John and William Loy, and two daughters Mrs. Mary Bristow and Mrs. Hattie Munds, to mourn his loss. His eldest son James A. Loy, ex-district attorney of Coconino county, and a well known resident of Flagstaff, returned from a visit to his aged parent last week. In the death of Mr. Loy Yavapai county loses one of her most respected citizens. – Coconino Sun”

Jane Merinda Loy was born in Columbus, OH on September 13, 1826 and died in Oak Creek, AZ (Territory) on February 12, 1894. She was buried in Middle Verde Cemetery and there is a photo of her headstone on-line at <http://arizonagravestones.org>. Her spouse was Samuel Loy and her parents were William & Mary (Kyle) Sinnette. Jane was a homemaker.

Sharlot Hall Museum Archives contain the Munds-Benedict Collection (DB 628 F. 1-4) which contains in file 4 a DVD containing digital copies of photographs of many of the Loy family members. Related materials include photographs of William Loy Family, Bristow Family, Cornville, etc. (PB 164, F. 44b), a photograph of Lindsay, Myron, Inez and Edward Loy (PB 129, F. 3, I. 1) the Sherman & Martha Loy Photograph Collection (PB 10, F. 3) and an oral history from Sherman Loy.

*From Pioneer Stories of Arizona's Verde Valley, The Verde Valley Pioneers Association; 1954; pages 65 – 67, written by J. M. W., a grandchild of Samuel Loy (probably Jennie Munds Wingfield, daughter of Hattie Loy Munds Wingfield):*

“Samuel Loy was born near Columbus, Ohio in 1820. He joined the gold seekers in 1849 and crossed the plains with an ox team to California, where he spent four years, tilling the soil rather than digging for gold. At the end of four years he left his California farm and went by boat to New York, carrying with him a goodly sum of gold and a determination to make his home in the West.”

He married Jane Sinnette in 1853 in Missouri, bought a home and had 5 children. When his youngest daughter was 12, in the summer of 1876, the family started West. They arrived in the Verde Valley on August 13, 1876 but went on to Prescott for the winter. In the spring they returned to the valley and bought land from Riley Casner near the mouth of Oak Creek. Samuel planned to be a farmer.

She also gives a list of neighbors (when the Loy family arrived in 1877), written in 1933, as follows:

“Beginning at the upper end of the valley lived the Hawkins family who were farming land located on the banks of Peck Lake. Jim O. Bristow lived on the place that later became the home of Mrs. Mary Willard. She erected the brick house that still stands to mark the place. On down the river the farm known now as the Jerome Dairy belonged to Dave Strahan. Later his father and mother made their home on a part of this land. Joining the Strahan's place, Bill and Henry Wingfield lived. The Wingfield brothers soon bought cattle and moved to the Mogollon mountains. This place later became the homes of Dolph Willard and Tom Carrol.”

“Isaac Jones and family lived for a number of years on the east side of the river where the Nicholas family later erected a stone house.”

“The land at the lower part of the upper Verde was owned by Jim and Ben Barney and a man by the name of Anderson. Later these places became the well-known homes of Scott, Van Deren and Lew Willard. William Munds and family first located in Williamson Valley, moved to the east side of the river, south of Bridgeport.”

“The next settlement on the river, known as Middle Verde, was the home of Parson Bristow, one of the first ministers in the Valley. R. A. Windes was another pioneer minister to settle in this

section. These men held meetings in crudely built school houses or in the open air under some cottonwood tree for shade. There were no churches built until later years. Other early settlers on the Middle Verde were Buffords, Gaddis, Davidsons; and this was the home of the Mar brothers who owned the first cattle in this section.”

“On Oak Creek settled the Tiptons, Mulhollands, and Dickinsons. Wales Arnold owned a place on Beaver Creek that later became the home of William Back and family. A family by the name of Pratt cleared land father down the creek.”

“The large farms on lower Verde were cleared by Brown, Davis, John Woods and John and Elijah Lay. George Hance was living on the Cienega Ranch at this time, but later moved to lower Verde.”

“Each settlement afforded a school house. The first ones were crudely built of pickets with benches hewn out of logs. As these reached the tumbling stage, they were replaced by others. The teachers of this early day, who put forth every effort to impart knowledge to the boys and girls, were L. M. Olden, Bill Houston, John Hicks, and Dan Robinson.”

She also mentions two stores, one on the bank of the river, three miles north of Camp Verde, owned by G. W. Hull, and the other at Camp Verde.

From [www.ancestry.com](http://www.ancestry.com), re: Riley Casner Family:

According to an obituary from the Prescott Journal Miner, Riley Casner, who died on November 27, 1909, came to Arizona in 1875 accompanied by his four brothers – John, William, Dan and Moses and his mother. “They settled at Cottonwood on the old Indian ditch in 1877, but later moved into the Verde Valley settling along Beaver Creek.”

Another document attached to Riley Casner’s Profile, that looks like a photocopy from some book, with no source cited, states that Riley was born on July 9, 1843 in Oregon, he married a woman named Nancy, they had four children and both the wife and two of the children died enroute to California. He then married a woman named Rebecca and they traveled together to the Verde Valley, while she was pregnant with their first child in 1875. They moved to several places in Middle Verde (and to the Gila River for a short time) from 1875 – 1879 before settling permanently in Beaver Creek in 1879. Riley and Rebecca had 11 children together. (Note: In Pioneer Stories, page 50, Rebecca Casner says she moved to Beaver Creek in 1889, not 1879, but she was 75 at the time she was writing.)

From Pioneer Stories of Arizona’s Verde Valley, The Verde Valley Pioneers Association; 1954; pages 194 – 95, written by Dora Dickison, daughter-in-law of Cornville land patent holder, William G. Dickison, wife of Albert G. (Dutch) Dickison:

Dora Dickison was the daughter of James and Mary Human. Mary Human was the daughter of Reverend James C. Bristow. The family came to the Verde Valley in August 1875. Dora was born in Camp Verde in 1884. In the story “Among the Early Settlers” in this book, referring to Middle Verde, she relates: “My father and mother moved several places in that settlement. When I was quite small they bought or traded for a small farm of 40 acres, they farmed there and when I was seven years old they bought another farm from John Loy and his father Samuel Loy, a mile from where we lived. We moved there and later on they put in a small grocery store and mother was appointed Postmaster for Aultman Post Office in 1897.” She later adds that due to her mother’s failing health the family leased the Loy farm to tenants from 1901 to 1909. In 1909 they sold the Loy farm to Bill Boren from Oregon.

*Note: Dora Dean Human Dickison (1884 – 1974) would have been seven in around 1891.*

From *"The Loy Family, Another Family with Many Landmarks Named for Them,"* by Inez Lay, pages 146 – 147, copy in the CHS People files for Samuel Loy but name of book not identified (note: this was from *Those Early Days*, by The Sedona Westerners, 1968):

Inez Lay (granddaughter, daughter of William), relates almost the same story as J. M. W. in Pioneer Stories mentioned above but adds a few details. She mentions the family joined a wagon train heading to Oregon but on hearing how fertile the Verde Valley was they came here instead. Since they were using horses to pull their wagons they were able to make money by using those same horses and wagons to haul freight from Prescott to the Verde Valley the first winter they were in Arizona. Shortly after arriving Mary married Conway Bristow. William and Harriet attended school in a log school house in Prescott during the school year 1876 – 1877.

She also says, the land purchased from Riley Casner was unimproved land, so the family rented the Anderson place near Bridgeport and farmed there while building a ditch onto their own land. (Note: *James Anderson patented land southwest of the current Cornville postal area in 1891.*) Inez explains that in 1877 Alexander Strahan gave a piece of land in Cottonwood to be used for a school and a cemetery and that William and Harriet attended school there in 1877 – 1878, along with the Munds and Wingfield children.

Inez also tells us that in those early years the area was covered with high grass which held rain water and made the ground spongy but prevented flooding. She states, "the Verde River was more or less a series of pools that were grown over with moss and made good breeding places for mosquitos that spread malaria." She adds the since most people came to the valley with horses, cattle and sheep, that within a few years the stock ate the grass down and trampled the spongy land down to solid ground and made the rain water run into the river channel and make it about 100 feet wide. With the high grass gone and the river water running higher they didn't have a problem with malaria anymore.

Inez mentions Loy Butte, Loy Canyon and Loy Trail, all west of Sedona, near FR 525, as being named for the family. She says, "Jane Loy was never very well so Samuel and his son James hewed logs and built a cabin in Loy Canyon where it was cooler and the water was purer and the malaria was not so bad. Loy Canyon is one of the main tributaries of Spring Creek." The Loy's also built a cabin on the slope of what is known as Woodie Mountain and moved their stock there for the summer months. They would milk the cows to make and preserve butter during the summer. Samuel Loy would make furniture during the winter months. Their life was pleasant and easy until the late 1880s when there was a drought and the family had to move to Oak Creek where the water never failed. A depression followed the drought but the family was able to raise a garden and feed the animals. There was a grist mill nearby to grind corn into meal and they were able to sell enough eggs to buy sugar, salt and coffee. Jane Loy died on February 12, 1894. Samuel lived on with his youngest son, William, and family.

From *Images of America Verde Valley*, by William L. Cowan, 2011, pages 67 and 79:

Bill writes, "In 1877, Samuel Loy settled opposite the mouth of Oak Creek and began to farm the rich bottomland along the river."

On page 79 he has a photo from the Sedona Historical Society. The caption reads, "Samuel Loy and family settled at the confluence of Oak Creek and the Verde River in 1877. Loy later ranched west of Sedona near what became known as Loy Butte. The family moved cattle up Loy Canyon to the summer range at Woods Mountain. Sam's son William (*shown in the photo with a herd of Angora goats*) married Eleanor Carrier, and the family ranched along lower Oak Creek."

From *Interview of Sherman Loy (son of Myron, grandson of William, great-grandson of Samuel)* by Mona McCrosky of Prescott, conducted February 21, 1996 in Sedona:

Samuel arrived in 1876 (at 59 years old) and “initially started farming at the mouth of Oak Creek, just downstream from Cottonwood.” After four or five years the Verde washed out everything and he moved to the Upper Verde Valley – to Loy Butte for several years. His cattle ranged up in the high country just south of Flagstaff, Rogers Lake and Woody Mountain in summer, in the winter just north of the Shuermans (Red Rock Loop area). After several years that country dried up and they moved back on Oak Creek.

*From visit with Robert and Virginia Loy at their house with Dan Derrick on Wednesday, November 18, 2015:*

Robert told me that as far as he knows no other Loys came to the Verde Valley other than Samuel Loy and his family in the 1870s. He never heard any family stories of Samuel being in the military during the civil war. He thinks Lindsay said the family may have owned slaves in Missouri, but really had no idea if this was true or not. *(Note: Per 1860 Federal Census – Slave Schedule, Samuel Loy owned 4 slaves, a female age 35, and 3 males ages 13, 11 and 3, all listed as black.)*

Both Robert and Virginia confirmed that the old stone building, the lean-to and the hay barn belonged to the Gybergs. Robert and Virginia are the only Loys still on Loy Road; their daughter Janet lives on Loy Lane.

Per Virginia, Ma Greenwell was Katherine Greenwell (1884 – 1956), married to Joseph Greenwell (1882 – 1967). They had four children: Albert Carl and Kenneth (twins), Floyd and Anita (married Gale Hallet). She said they came from Kentucky to Arizona via Texas around 1908 – 1910. She said once they moved to Cornville around 1917 they never left. Joe and Katherine lived just below Tuzigoot, then lived in a tent in Clarkdale. Katherine was born in Choctaw, Texas. They had Shady Nook (gas pumps and beer and wine from the 1930s until 1955. The road was paved in 1937.

Virginia explained the Greenwells had a house then built one to the east for the Hallets. The store was south of the vacant lot now, was a shotgun style with the store in front, then the kitchen, living room and bedrooms. There was a garage behind the house and they had a hog operation.

*Some observations: James W. Anderson obtained a land patent for 40 acres southeast of Bridgeport, on the Verde River (NWNW, Sec 18, 15N4E) on November 9, 1891 in a cash entry. This could be the Anderson place but it is not very near the mouth of Oak Creek and it would seem that the improvements would have been made long before the purchase.*

*Per records found at the Yavapai Recorder’s Office on December 7, 2015:*

I did not find any records with Casner as the grantor or Loy as the grantee from 1864 – 1890. From the stories of the Casner family and the Loy family in various publications, it is probable that Samuel bought the land from Riley Casner in 1877 in Middle Verde. I just didn’t find a record of the transaction.

From U. S. Bureau of Land Management Tract Book, Arizona, Vol. 4, Samuel Loy applied for a homestead for NENE, SENE Section 19 and SWSE Section 18, T15NR4E, on 5 Sep 1881, receipt #161, 160 acres. The notation is incorrect; it only shows 120 acres in sections but 160 as the total. This is probably all the land that Louis Tiszo patented in 1911. James Loy applied for a homestead on 3 Jul 1878 in NWSW Section 17 and NESE and S2NE Section 18, T15NR4E. This land was eventually patented by Ada Andrews (1919), Dea Mee Get (1914) and Edward Putnam (1938). Only the portion of Edward Putnam’s land patent was in the Cornville Planning Area.

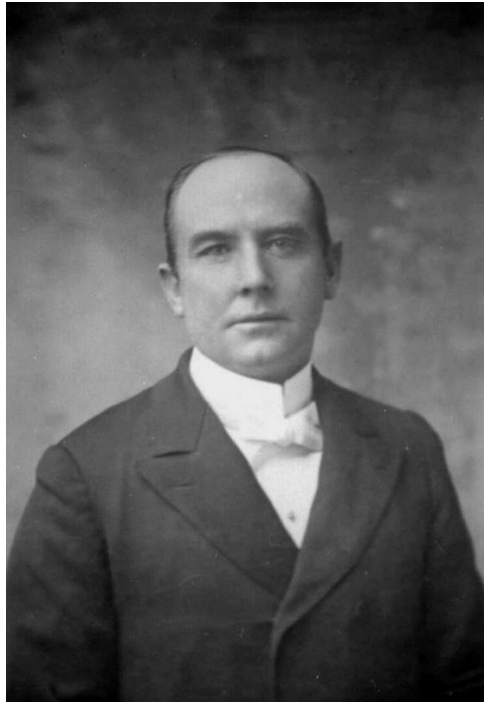
### **James Loy (eldest son)**

*From records at [www.ancestry.com](http://www.ancestry.com):*

James Loy, eldest son of Samuel and Jane Loy, was born October 9, 1856 in Glasgow, MO. On August 1, 1888 he married Sarah Eliza (Sallie) Ballinger in Fayette, MO and they had a daughter, Ruby Mae Loy on September 16, 1889 in Prescott, AZ. The couple divorced and on April 17, 1902 James married Mary (Mollie) Dillon Culp in Phoenix, AZ. On June 21, 1906 James and Mary had a son, James Dillon Loy. This marriage also ended in divorce. James was a lawyer in Prescott for many years. He died on December 5, 1926 in Phoenix and was buried in Middle Verde Cemetery in Camp Verde, AZ.

His daughter, Ruby Mae, married Elmer Murray Jacquemin and had two sons, Elmer Murray and Ralph Eugene Jacquemin.

Photo saved by a family member, Meg Heinle Davis, on [www.ancestry.com](http://www.ancestry.com) include:



James Loy

*From Sharlot Hall Museum Archives:*

James Loy was born October 9, 1856 in Missouri and died December 5, 1926 in Phoenix, AZ. He was buried in Middle Verde cemetery. He was married to Mary Culp Lewis; his parents were Samuel & Jane (Cennet) Loy. His occupation was attorney and according to his Arizona Death Certificate cause of death was arteriosclerosis myocarditis.

According to his father's obituary, he was a district attorney for Coconino county.

*From "1885: Our Cattle Interest; September 5, 1885; Part 1," The Verde Independent, Thursday, September 6, 2012, (copy in our People files, Samuel Loy):*

*"James Loy has hoed a hard row, but is now doing well. He has 300 head of fine cattle ranging west of the Verde at Jumping Springs, eight miles distant. He makes this showing in six years from a start of four horses."*

*From U.S. Congressional Edition, Volume 4043, dated 1901:*

A letter dated May 14, 1900 to the Commissioner of Indian Affairs in Washington, D.C., signed by numerous Coconino County officials and residents, including William D. Powell, merchant and James Loy, district attorney, suggests that mining operations on the Navajo reservation lands would not interfere with the Indians water supply or use of the land.

*From The Coconino Sun, Flagstaff, Arizona, Sunday, June 23, 1900, page 12:*

“James Loy, district attorney, accompanied by Fred Bunker, left Monday on a trip to Tuba City, Fredonia and that portion of Coconino county lying north of the Colorado river. The trip is made for the purpose of finding out the amount of taxable property in that section, and Mr. Loy expects to make a handsome increase in the tax roll, and to add a considerable sum to the cash in the County Treasurer’s office from unpaid taxes on property in that section of the country.”

*From The Coconino Sun, Flagstaff, Arizona, Saturday, January 4, 1902, page 6:*

“The expense district attorney for 1901 includes \$250.00 paid to James Loy account 1900, but not claimed by him until after expiration of his term in office.” (Note: \$250 in 1900 is worth about \$7,250 in 2015; the average farmer in the U.S. was making between \$120 and \$200 per year in 1900.)

An application for the placement of the Ashurst House in Flagstaff on the National Register of Historic Places in 1984 mentions that J. C. Milligan, Contractor and Builder, Manufacturer of Brick and Lime, built the James Loy building on Leroux Street in 1897.

The story of “The Padre Canyon Incident,” available at [www.prescottcoral.org](http://www.prescottcoral.org), mentions that James Loy was the district attorney of Coconino County in April, 1900.

*From Interview of Sherman Loy (son of Myron, grandson of William, great-grandson of Samuel) by Mona McCrosky of Prescott, conducted February 21, 1996 in Sedona:*

James was a lawyer in Prescott, and when Coconino County split off he was 1<sup>st</sup> district attorney until the first election took place.

*Per records found at the Yavapai Recorder’s Office on December 7, 2015:*

November 2, 1895, Book 56, page 583, sale James M. Williams to James Loy for \$186, 120 acres, W1/2NE1/4 and NE1/4NW1/4 Section 11, T14NR4E, filed at the request of William Loy on January 20, 1902. Witnessed by Reese M. Ling and John H. Wilson. This is in Middle Verde.

May 3, 1901, Book 56, page 585, Bargain and Sale Deed James Loy to William Loy for \$1 and other consideration, 120 acres, W1/2NE1/4 and NE1/4NW1/4 Section 11, T14NR4E, filed at the request of William Loy on January 20, 1902.

February 1, 1905, Book 73, pages 166 – 167, sale from James and Mary Loy to Conway and Mollie Bristow, for 160 acres, ½ interest N2SW, SESW and SWNW, Section 3, T13NR2E.

January 24, 1918, petition for divorce between James and Mary Loy.

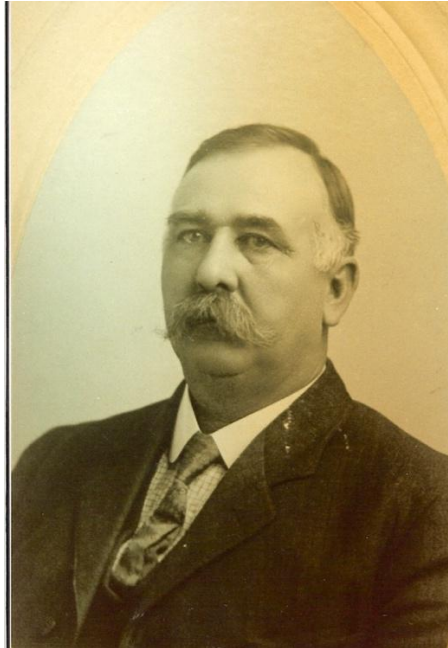
From additional records at the Recorder’s Office, James Loy had many land transactions and mining deeds in the Flagstaff, Ash Creek, McCabe and Cherry area from the late 1880s through the mid 1910s, although there could have been more.

## John C. Loy (2<sup>nd</sup> son)

From records at [www.ancestry.com](http://www.ancestry.com):

Samuel & Jane Loy's second son, John (JC) Loy was born on July 24, 1858 in Saline, MO and died on September 24, 1927 in Camp Verde, AZ. He was buried in Citizen's Cemetery in Flagstaff, AZ. He married Beatrice (Bertie) Toole on April 3, 1909. As far as I can tell, the couple did not have any children. John is listed as a farmer on the 1880, 1900, 1910 and 1920 Federal census forms.

Photos saved by a family member, Meg Heinle Davis, on [www.ancestry.com](http://www.ancestry.com) include:



John Loy

From *Sharlot Hall Museum Archives*:

John Loy was born on July 24, 1858 in Glasgow, Maryland (s/b MO) and died on September 24, 1927 in the Verde Valley, Yavapai, AZ. His body was shipped to Flagstaff and he was buried in the Masonic Section of Citizen's Cemetery. His wife's name was Bertie and his parents were Samuel Loy and Jane N. Sinnette. He was a farmer. Cause of death was dilation of the heart.

*"100 Years Ago Today: 6 April 1909 p. 4.5*

SCHOOL TEACHER WEDS – Cornville the scene of a pretty marriage ceremony and reception. The home of Mr. and Mrs. J. O. Hart of Cornville was the scene of a very pretty wedding Saturday at high noon when Miss Bertie Toole and John Loy were united in the bonds of matrimony. Rev. Eugene Keene of Camp Verde officiated in the presence of a large number of friends. A reception and wedding breakfast followed. The bride has been the popular teacher of the Cornville school during the last term. She is a charming and accomplished young woman. The groom is a prosperous farmer and stockman of the Mogollon mountains. His ranch is located twenty miles south of Flagstaff. They left for his place Sunday, where they will reside."

From *Images of America Verde Valley*, by William L. Cowan, 2011, page 70:

The page contains two photos. The first is of James and Hattie Munds and the second is of Schnebly Hill Road. The captions read:

1. "James and Hattie Munds ranched along Oak Creek above Page Springs, with a summer range at Munds Park. The couple had two daughters, Getha and Jennie. Jim was accidentally killed at Munds Park, and John Loy, Hattie's brother, came to help with the ranching. He homesteaded a farm west of the summer headquarters, where he raised potatoes. (Courtesy of Frank Benedict.)"
2. "The Munds family moved cattle and horses to their summer range up a trail that was gradually improved. Originally known as the Munds Trail, it later became known as Schnebly Hill Road. Started by John Loy, the roadway was finished by Jim Thompson and adopted as a Coconino County road in 1902. (Courtesy of William Cowan.)"

*From Pioneer Stories of Arizona's Verde Valley, The Verde Valley Pioneers Association; 1954; pages 194 – 95, written by Dora Dickison, daughter-in-law of Cornville land patent holder, William G. Dickison, wife of Arthur G. (Dutch) Dickison:*

Dora Dickison was the daughter of James and Mary Human. Mary Human was the daughter of Reverend James C. Bristow. The family came to the Verde Valley in August 1875. Dora was born in Camp Verde in 1884. In the story "Among the Early Settlers" in this book, referring to Middle Verde, she relates: "My father and mother moved several places in that settlement. When I was quite small they bought or traded for a small farm of 40 acres, they farmed there and when I was seven years old they bought another farm from John Loy and his father Samuel Loy, a mile from where we lived. We moved there and later on they put in a small grocery store and mother was appointed Postmaster for Aultman Post Office in 1897." She later adds that due to her mother's failing health the family leased the Loy farm to tenants from 1901 to 1909. In 1909 they sold the Loy farm to Bill Boren from Oregon.

*Note: Per records found at the Yavapai Recorder's Office on December 7, 2015: On January 6, 1884, Middleton Jones sold to James Human, for \$300, W1/2NE1/4, SE1/4W1/2, SE1/4NE1/4 Section 3 T14NR4E and 1/48 of OK Ditch. Then on March 21, 1893, John Loy sold to James W. Human, 56 acres for \$1,250, SE1/4NW1/4 and NE1/4SW1/4 Section 3 T14NR4E, described as beginning 1,025 ½ feet west of the NE corner of the SE1/4 of the NW1/4 and running in a SE course to a point 840 feet west of the SE corner of the NE1/4 of the SW1/4 of of section and twp mentioned above, being 56 acres more or less and making a certain fence, now treated in said line to the be the permanent west boundary of above described land.*

*From Interview of Sherman Loy (son of Myron, grandson of William, great-grandson of Samuel) by Mona McCrosky of Prescott, conducted February 21, 1996 in Sedona:*

John homesteaded at Munds Park. He was Coconino County Supervisor?? John worked on Schnebly Hill Road. Sherman shared a photo of John setting off dynamite at the road.

*Note: The Friday, September 29, 1922 edition of The Coconino Sun mentions John Loy is up for election to the board of supervisors. A 1920 edition refers to John Loy being on the board of supervisors.*

*Per records found at the Yavapai Recorder's Office on December 7, 2015:*

March 21, 1893, Book 33, page 1, Deed, John Loy sold to James W. Human, 56 acres for \$1,250, SE1/4NW1/4 and NE1/4SW1/4 Section 3 T14NR4E, described as beginning 1,025 ½ feet west of the NE corner of the SE1/4 of the NW1/4 and running in a SE course to a point 840 feet west of the SE corner of the NE1/4 of the SW1/4 of of section and twp mentioned above, being 56 acres more or less and making a certain fence, now treated in said line to the be the permanent west boundary of above described land.

April 10, 1911, Book 89, page 284, Quit Claim Deed, Conway and Mollie Bristow to John Loy, 56 acres for \$1 and other valuable consideration, SE1/4NW1/4 and NE1/4SW1/4 Section 3 T14NR4E, described as

beginning 1,025 ½ feet west of the NE corner of the SE1/4 of the NW1/4 and running in a SE course to a point 840 feet west of the SE corner of the NE1/4 of the SW1/4 of section and twp mentioned above, being 56 acres more or less and making a certain fence, now treated in said line to be the permanent west boundary of above described land. Witnesses were W. H. Wylie and H. F. Gaddis. This is the same land John Loy sold to James W. Human 18 years earlier; somehow his sister now owned it with her husband and sold it back to him and 9 days later he sold again to James W. Human, again!

April 19, 1911, Book 89, page 286, Quit Claim Deed, John and Bertie Loy to James W. Human, 56 acres for \$1 and other valuable consideration, SE1/4NW1/4 and NE1/4SW1/4 Section 3 T14NR4E, described as beginning 1,025 ½ feet west of the NE corner of the SE1/4 of the NW1/4 and running in a SE course to a point 840 feet west of the SE corner of the NE1/4 of the SW1/4 of section and twp mentioned above, being 56 acres more or less and making a certain fence, now treated in said line to be the permanent west boundary of above described land. See note in previous paragraph.

### **Mary Loy (eldest daughter)**

*From records at [www.ancestry.com](http://www.ancestry.com):*

Mary (Mollie) Loy was born on July 12, 1861 in Cambridge, MO and died December 4, 1937 in Prescott, AZ. She was buried in Middle Verde Cemetery in Camp Verde, AZ. Her twin brother was William Loy. She married M. Conway Bristow (son of James Oliver and Sarah Bristow), on June 3, 1877 in Yavapai county. The 1880 census shows her and Conway living in Camp Verde with 2-year-old daughter, Martha. Mary and Conway had four children: Martha Jane born November 16, 1878; Samuel Oliver born October 22, 1880; Grover Daniel born in March 1887; and Clyde Merrill born September 15, 1896. Her husband Conway died on July 16, 1918 in Phoenix, AZ. Some time around 1920 she married Edward Brown and he died in 1936.

Photo saved by a family member, Meg Heinle Davis, on [www.ancestry.com](http://www.ancestry.com):



## Mary Loy

*From Sharlot Hall Museum Archives:*

Mary Loy Bristow Brown was born July 12 1861 in Cambridge, MO and died at the Arizona Pioneer's Home in Prescott, AZ on December 4, 1937. She was buried in Middle Verde Cemetery and there is a photo of her headstone at <http://arizonagravestones.org>. Her spouses were (1) Conway Bristow and (2) Edward Brown. Her parents were Sam & Jane (Sinett) Loy. She was a housewife. Her Arizona Death Certificate states cause of death as a cerebral hemorrhage. She was a resident of the Arizona Pioneer Home and her headstone reads Mary Bristow Brown. Her obituary is in the Belle Monroe collection and says her survivors included her daughter, Mrs. Martha J. Lewis of Phoenix and a sister Hattie Wingfield of Camp Verde. (Note: It doesn't mention her son, Samuel "Bud" Bristow, who was alive too.)

*Per records found at the Yavapai Recorder's Office on December 7, 2015:*

April 10, 1911, Book 89, page 284, Quit Claim Deed, Conway and Mollie Bristow to John Loy, 56 acres for \$1 and other valuable consideration, SE1/4NW1/4 and NE1/4SW1/4 Section 3 T14NR4E, described as beginning 1,025 ½ feet west of the NE corner of the SE1/4 of the NW1/4 and running in a SE course to a point 840 feet west of the SE corner of the NE1/4 of the SW1/4 of of section and twp mentioned above, being 56 acres more or less and making a certain fence, now treated in said line to the be the permanent west boundary of above described land. Witnesses were W. H. Wylie and H. F. Gaddis. This is the same land John Loy sold to James W. Human 18 years earlier; somehow his sister now owned it with her husband and sold it back to him and 9 days later he sold again to James W. Human, again!

February 1, 1906, Book 73, page 166, for a sale from James Loy to Conway Bristow, for 160 acres, ½ interest N2SW, SESW, SWNW, Section 3, T13NR2E.

*From records at Yavapai County Recorder's Office, 20 Apr 2016:*

Book 20, pages 486 – 488, 24 Dec 1884, Alonzo Bristow to Conway Bristow, \$386.66, NWSW, Section 2, T14NR4E, 40 acres and 1 share or 1/24 interest in OK Ditch.

Book 24, pages 232 – 234, 13 Jul 1885, Conway Bristow to James E. Bristow, \$800, NWSW, Section 2, T14NR4E, 40 acres and 1 share or 1/24 interest in OK Ditch.

February 1, 1905, Book 73, pages 166 – 167, sale from James and Mary Loy to Conway and Mollie Bristow, for 160 acres, ½ interest N2SW, SESW and SWNW, Section 3, T13NR2E.

### **William Loy (3<sup>rd</sup> son)**

*From records at [www.ancestry.com](http://www.ancestry.com):*

William M. (Will) Loy, youngest son of Samuel and Jane Loy, was born on July 12, 1861 in Cambridge, MO. He was the twin to Mary Loy Bristow Brown. William died on June 29, 1932 in Cornville and was buried in Cottonwood Cemetery. He married Eleanor (Nellie) Carrier, daughter of Dr. Myron A. and Harriet (Lindsay) Carrier, on February 11, 1889 in Cherry, AZ.

William and Nellie had four children: Inez Marion born January 16, 1890 in Aultman; Myron Samuel (Budge) born January 3, 1893 in Oak Creek; Edward Anson born September 20, 1896 in Aultman; and Lindsay Felix born August 30, 1901 in Aultman, AZ. The children (Samuel's grandchildren) went on to have families of their own in the Verde Valley as follows:

Inez Marion Loy (1890 – 1986) married Joseph Lewis Lay (1884 – 1981; son of Elijah and Mary Lay) on December 23, 1906 at the Hurst Ranch in Page Springs and they had seven children, four girls and three boys. These children had families as follows:

Alice Adele Lay (1907 – 2010) married Jesse Harold Hudson (1903 – 1992) in 1925 and they had one daughter, Alice Marie Hudson Hall Warner (1927 – 2011). Alice Adele also married William Francis Sheehan in 1947 and may have married Hosea L. Reed (1907 – 1998).

John Franklin Lay (1909 – 1989) married Mary Louella Golden (1913 – 1993) in 1932 and they had two children, Franklin Dixon Lay (1933 – 2010) and Rachel Delphine Lay Thompson (1934 – 1969).

Joseph Lewis (Duke) Lay (1911 – 1988) married Clara Evelyn Montgomery (1917 – 1999) in 1935 and they had three children: Joanne Dobrzensky, Kenneth Virgil and Helen Carol Williams.

Mary Eleanor Lay (1917 – 2001) married Loren Francis Heinle (1914 – 1997) in 1939 and they had six children: Eleanor Grace Andrade, Loren Eugene, Marjorie (Margie) Lorraine Petry, Mary Evelyn (Meg) Davis, William Joseph, and Lewis Albert (1941 – 2006).

Marion Elizabeth (Betty) Lay (1923 - ?) married Joseph Radetich (1919 - ?) in 1944 and they had two children: John Joseph and David Alan. The couple lives in California.

Mildred Grace Lay (1926 – 1966) married John Kovacovich (1924 – 2008) in 1946 and had three children: Grace Marie Neal, Walter John and Betty Ann.

Walter (Buck) Lay (1932 – 2001) married Laverne Brumley (1936 – 2008) in 1957 and they had four children: David Edward, Michael Eugene, Mary Ann Baker and Steven Earl.

Myron Samuel (Budge) Loy (1893 – 1972) married Frieda Schuerman (1898 – 1983) on December 2, 1924 in Prescott, AZ. They had two children:

Sherman Adelbert Loy (1926 – 2011) married Elizabeth (Betty) Lockhard (1928 – 2013). They had five children: Mary Loy Dean, John Loy, William (Bill) Loy, Kathleen (Kathy) Loy-Gouhin and Debi Loy McNiff.

Martha Loy (1933 - ?) currently living in Sedona, AZ.

Edward Anson Loy (1896 – 1966) married Priscilla Graves (1895 – 1987) on June 1, 1921 in Prescott, AZ. They had six children, five of whom survived to adulthood:

Linda Ruth (Ruth) Loy (1923 - ?) married Perry Wilson Scott (1920 – 2005) in 1943 and had four children: Perrie Ann Brown (1944 – 1987), Sylvia Silva, Steven Loy and Myron Edward.

Robert Graves Loy (1924 - ?) married Virginia Greenwell (1928 - ?), daughter of Kenneth & Della Purtyman Greenwell, and they had five children: Beverly Jean Raskin, Janet Elaine (Heydorn), Kenneth Lindsey, Robin Adele Shambach and Phyllis Ann (McDaniel). The couple lives on Loy Rd. in Cornville, AZ.

Eugene William (Gene) Loy (1926 - ?) married Marion Johnson (1931 - ?) and had six children: Edward Thomas, Gary Eugene, David Michael, Catherine Anne, Robert William and Cynthia Jean Steckel.

David Edward Loy (1928 – 1928)

Shirley Ann Loy Jackman (1929 – 2011) married Charles D. Jackman (1930 – 1986). I don't believe the couple had any children.

Richard Anson (Dick) Loy (1930 – 1998) married Virginia Grace (Ginger) Swift (1931 – 2002) in 1956 in Socorro, NM. They had two sons: Grady Loy and Douglas Anson Loy.

Lindsay Felix Loy (1901 – 1986) married Henrietta Phelan Smith (1902 – 1991), the widow of James Albert Smith. Henrietta had four children with James Smith: Alberta, Louis (1929 – 1984), Jesse and Barbara Jane. Lindsay and Henrietta did not have any children.

On the Federal census forms for 1880, 1900, 1910 and 1930, William is listed as a farmer. I have not been able to find the 1920 census for anyone living in Cornville, including William. According to these reports, in 1880, William was living with his father near the mouth of Oak Creek. In 1900, William is living in Middle Verde Precinct and his neighbors include the families of Conway Bristow (his sister), James Byrum, Robert Dickinson, Evert Jordan and Charles Gaddis. It is important to mention here that on this same census, on the next page, shown in the same precinct are the Edward Hendricks, William Fain, David Hart, Samuel Dickinson, Alfred Dickinson, David Dumas and John Lay families. So, William may have been living in Cornville at this time. In the 1910 census William is living in Oak Creek and the neighbors include the families of Dolph Willard, Abraham Smith, John Simmons, Charles Chestnut, Alphonse LaPlant and James Page. In 1930 the census shows William living in Oak Creek District and his neighbors include the families of Charles Chick, Joe Greenwell, Gale Hallett, Edward A. Loy and Julius Warlop. In the 1940 census, Nellie Loy is listed as living in Cornville with her son, Lindsey Loy. Her neighbors in 1940 include the Cornelison, Lee, Holcomb, Chick, Greenwell, Purtyman and Gyberg families along with her son Edward A. and his family, her daughter Inez Loy Lay and her family and Inez' mother-in-law and brother-in-law, Mary and John Lay.

Two photos saved by a family member, Grady Loy, on [www.ancestry.com](http://www.ancestry.com):



Nellie, Molly (Mary) and William Loy c. 1890



William Loy Family c. 1911 - 1912

Describing the photo above at [www.ancestry.com](http://www.ancestry.com), Grady Loy wrote:

Probably at Red Rock near the old Y. Joe Lay convinced William Loy to leave Lower Oak Creek in either 1910 or 1911. In Aunt Inez words "The same year Charlie Stemmer bought the Schnebly place and the Lays rented it from him. John Lay moved his wife to Sedona and Dave Lay also came. Aunt Mack suffered a stroke and she was moved into the Schnebly Hotel and a Mrs. Brown stayed with them to care for her and take care of the post office. Dave and John Lay soon bought land and built the house where Mrs. L. E. Hart now lives. Soon Mrs. Brown got married and the post office was moved to the new house and the William Loy family came to take care of Aunt Mack and the post office." "The pupils in the first school in Sedona [it appears to have started in 1911-1912] were Lloyd, Dolly and Iva Van Deren, Myron, Edward and Lindsay Loy, Henry and Lum Farley, Lewis Thompson and Frank Owenby. [There was of course a school in Oak Creek Canyon from 1891 and it was located at Indian Gardens from 1899 with Ellsworth Schnebly Senior teaching. It operated until 1906]" "In 1917 the Lay families sold their ranch and Figure 2 cattle to Fred and Les Mickle, and the William Loy family sold their interest in X L cattle and the two families bought adjoining farms at Cornville."

*Note: In this description, Joe Lay, son of Elijah Lay, was married to William Loy's daughter, Inez. According to the Coconino Sun of March 25, 1910, Mary Stemmer and her son, Charlie Stemmer had bought the Schnebly ranch by then and he was working on "fixing it up." John Lay, brother of Elijah Lay, was married to America (Aunt Mack) Brown Lay. Dave Lay was also a son of Elijah Lay. Elijah Lay had a sister, Lavisia Lay Brown, who married James S. Brown. She was mainly based in California but may have stayed with her sister-in-law at this time, as the Mrs. Brown referred to here. I'm not sure about this, but her husband died in 1910, so it is possible; I did not find a record of her marrying again, so this is conjecture. Lloyd, Dolly and Iva Van Deren were the children of Robert Lee "Lee" Van Deren and Nettie Lacy Mason Van Deren. Myron, Edward and Lindsay Loy were the sons of William Loy. Henry and Lum Farley were the sons of John Farley and Margaret (Maggie) Champion Farley. Frank Owenby was the son of Frank and Nancy Ware Owenby.*

Another excerpt from [www.ancestry.com](http://www.ancestry.com), written by Grady Loy:

William had many interests - he apparently was interested in the mines in the black hills and left a collection of rocks in the Old House at Cornville when he died including some specimens of malachite formed on quartz crystals and some nice bornite. Aunt Inez (Lay) related in one of her writings that he always wanted to live in a house where he could see the black hills with their vast mineral wealth. I am not aware that he ever did any mining himself. He apparently worked (with his father) hauling things (hay etc. from the Fort) through Cherry from Prescott to the Verde Valley (and was even married in Cherry) before the depression there at the end of the 19th century ruined that town. His father in law also spent at least part of the year in Jerome with his medical practice (Summers I think he spent a lot of time in Munds Park) and his father in law's father in law William Munds and his sons also apparently dabbled in mining before the crash (I assume somewhere between Jerome and Cherry). I have heard that Lindsay worked at the smelter and of course other family members since worked in the mines at Jerome for brief periods, and James and John Munds I think were involved in a mine (as investors certainly) in Dewey/Humboldt (lead and silver?) in 1900 but I have never heard that William was ever involved in mining, apparently being exclusively devoted to ranching, farming and teamstering.

Another of his hobbies was supposed to have been winemaking and there was an elderberry tree next to the ditch in front of his house at Cornville (which was there to the 1980's). I would not be surprised if the apricot and apple trees by Ed's and Priscilla's house did not supply raw materials for his experiments as well. I do not think any of his wine was based on grapes. I do not think he ever got the hang of it and it was said that after drinking it he would get particularly nasty headaches and be in a bad mood.

In fairness though, the apple tree and the apricot and peach trees (like the one in Lindsay's yard) provided materials for "canning" in jars. The basement across the ditch from their house had dozens of jars of ancient preserves as late as 1968 when I saw them that were certainly from Nellie's era (I do not think Henrietta, Lindsay's wife was interested in making preserves-I could be wrong. I know grandmother Priscilla did and actually watched once in the late 1960's. But she stored everything she made at her

house). I am sure some of my elder relatives have better recollections of such things and I hope I remember to ask. The above story of wine making was told by Lindsay to my father Richard and I heard it from him.

*Note: William's father was Samuel Loy, his father-in-law was Dr. Myron Carrier, Aunt Inez was his daughter, and his father-in-law's father-in-law was William Munds whose sons were William's brother-in-law James T. Munds, Cornelius (Neil) Munds who died in 1886, and John Lee (Johnny) Munds who married Frances Willard. Lindsay and Edward are William's sons and Priscilla is his daughter-in-law (and Grady's grandmother). Nellie was William's wife.*

From the Prescott Courier, April 15, 1945, as posted by Grady Loy at [www.ancestry.com](http://www.ancestry.com), the obituary of Nellie Loy reads:

**"Mrs. William Loy of Cornville Dies.** Another of Arizona's pioneer passed away when Mrs. William Loy of Cornville died Easter Sunday morning in the Marcus J. Lawrence Memorial Hospital in Cottonwood after a week's illness."

"Nellie M. Carrier was born April 9, 1870 in Nebraska. She lived in Nebraska, Michigan, and New York until 1887 when she came to Arizona. She was married February 11, 1889 to William Loy. Her father was Dr. Myron A. Carrier a pioneer doctor who practiced medicine from Jerome to Camp Verde in the horse and buggy days."

"Mrs. Loy is survived by her sister, Mrs. Clifford Shaw, of Covina, California, four children, Mrs. Joe Lay, Myron, Edward and Lindsay Loy, all of Cornville, Arizona, fourteen grandchildren, and nine great grandchildren. She has three grandsons in the service."

"Thomas B. Jones, an old friend, conducted graveside services on April 14 at the Cottonwood cemetery for Mrs. Loy. It was in fulfillment of a request of hers that he have charge. The Reverend Mr. Henry Richter, pastor of the Verde Baptist Church, and Miss Stella Jordan sang appropriate funeral hymns."

Grady Loy added a note to this post stating that her grandsons, Sherman Loy (son of Myron), Robert G. Loy and Eugene W. Loy (both sons of Edward) were in the service during WWII. While possible, he didn't know if any of her daughter, Inez Lay' sons were in the service. If so the paper would be incorrect. He also said the name Richter could be Ruckler, it was hard to read.

Grady Loy also shared Myron Loy's obituary from the [Arizona Republic](http://www.ancestry.com) on Sunday October 8, 1972 at [www.ancestry.com](http://www.ancestry.com): "Myron Loy dies at 79; son of Verde pioneers. SEDONA – Graveside services for Myron Loy, 79, who died in Marcus J. Lawrence Hospital in Cottonwood, will be at 2 p.m. tomorrow in Cottonwood Cemetery, Sedona Home for Funerals announced."

"Mr. Loy, a retired rancher, who had lived in the Verde Valley and Sedona area all his life, was the son of William and Nellie Loy, who came to the Verde Valley as children."

"Before his retirement, he worked for the U. S. Forest Service. A veteran of World War I, he was a member of the American Legion and for 25 years a member of the Red Rock School Board."

"He is survived by his wife, Frieda; a son, Schuerman of Sedona; a daughter Martha of Phoenix; a sister, Mrs. Joe Lay and a brother Lindsay, both of Cottonwood, and five grandchildren."

Grady added a note to this: "the Work for the Forest Service consisted in at least some part in Fire Spotting at a tower that I think was in or near Barney Pasture up on the Rim to the Northwest of Sedona. Regarding his ranching, I heard he was started on a place his father-in-law had bought from Mr. Chavez about the time his son was born. He told me that he had at times ridden for different outfits in the area

and up on the Coconino plateau and had ridden as far as the Grand Canyon and looked off the edge. His last foray into ranching I am aware of was the roundup probably in May 1970 when he worked the gate in the branding shoot at the roundup at Munds Park. It was the May round up, I could be off a year either way.”

*From Sharlot Hall Museum Archives:*

William Loy was born in Missouri on July 12, 1861 and died in Cornville on June 29, 1932. He was buried in Cottonwood cemetery, plat C 465. His spouse was Eleanor (Nellie) and his parents were Samuel & Jane (Sinette) Loy. He was a farmer. His death certificate shows cause of death as apoplexy. The 1910 census shows he was married 21 years to Nellie and lived on Oak Creek in the Cottonwood area.

William and Nellie’s daughter-in-law, wife of son, Myron, Frieda Margaretha Schuerman Loy is a member of the Territorial Women’s Memorial Rose Garden at Sharlot Hall Museum in Prescott, AZ.

Records at Sharlot Hall Museum Archives include an interview with Sherman Loy conducted by Mona McCroskey on February 21, 1996 (Tape Number 1115, format: Cassette, there is a transcript) in which one of the subjects discussed is the William Loy family from 1900 – 1950.

*Per records found at the Yavapai Recorder’s Office on December 7, 2015:*

November 2, 1895, Book 56, page 583, sale James M. Williams to James Loy for \$186, 120 acres, W1/2NE1/4 and NE1/4NW1/4 Section 11, T14NR4E, filed at the request of William Loy on January 20, 1902. Witnessed by Reese M. Ling and John H. Wilson. This is in Middle Verde.

May 3, 1901, Book 56, page 585, Bargain and Sale Deed James Loy to William Loy for \$1 and other consideration, 120 acres, W1/2NE1/4 and NE1/4NW1/4 Section 11, T14NR4E, filed at the request of William Loy on January 20, 1902.

January 16, 1902, Book 57, page 240, Warranty Deed, for \$400, William and Nellie Loy to Everett A. Jordan, 120 acres, W1/2NE1/4 and NE1/4NW1/4 Section 11, T14NR4E and all buildings and other improvements thereon.

July 20, 1907, Book 80, page 549, Warranty Deed, Joseph T. and Sarah Jane Farley to William Loy for \$700, N1/2SE1/4 Section 26, T16R4E, 80 acres. This was just south of the Page ranch and was the land the Marion Fix originally received a land patent on March 1, 1904.

August 16, 1910, Book 88, page 134, William Loy to Minerva Brown, for \$2,500, N1/2SE1/4 Section 26, T16R4E, 80 acres. The notary (word crossed out and Justice of the Peace written in) on this document is J. P. Girdner, Justice of the Peace.

June 23, 1917, Book 105, page 520, Nicholas and Carrie Schroeder to William Loy, for \$5,250, N1/2SW1/4 and fifty feet in width, ½ mile long in length along the north side of S1/2SW1/4 Section 10 T15NR4E, 80 acres and 1/6 interest in Oak Creek Ditch and all water rights.

*Per records found at the Yavapai Recorder’s Office Document Search On-Line:*

Quit Claim Deed, dated May 17, 1954, from J. T. Greenwell and Katherine Greenwell, his wife, and Marjorie Lee Hallett and Harold Hallett, her husband, to Willie Gene Fuller and Hugh K. Fuller, her husband, a tract of land in the N1/2NW1/4 of Section 10, T15NR4E, containing 26.14 acres and including all improvements thereon and all water and all water rights thereto. *Note: Marjorie and Willie Gene were the granddaughters of J. T. and Katherine Greenwell.*

Quit Claim Deed, dated May 17, 1954, from J. T. Greenwell and Katherine Greenwell, his wife, and Willie Gene Fuller and Hugh K. Fuller, her husband, to Marjorie Lee Hallett and Harold Hallett her husband, a tract of land in the NW1/4NW1/4NW1/4 of Section 10, T15NR4E, containing 1.576 acres and including all improvements thereon and all water and all water rights thereto. *Note: Marjorie and Willie Gene were the granddaughters of J. T. and Katherine Greenwell.*

Quit Claim Deed, dated May 17, 1954, from J. T. Greenwell and Katherine Greenwell, his wife, and Marjorie Lee Hallett and Harold Hallett, her husband, and Willie Gene Fuller and Hugh K. Fuller, her husband, to Kenneth Greenwell and Della Greenwell, his wife, a tract of land in the N1/2N1/2N1/2SW1/4NW1/4 and a portion of the N1/2NW1/4 of Section 10, T15NR4E, containing 25.07 acres and including all improvements thereon and all water and water rights thereto. *Note: Kenneth Greenwell is the son of J. T. and Katherine Greenwell and the uncle to Marjorie and Willie Gene.*

Joint Tenancy Deed, dated July 27, 1970, from Kenneth and Della Greenwell to Melvin R. Gunnarson and Gloria L. Gunnarson, his wife, for a tract of land in the N1/2N1/2N1/2SW1/4NW1/4 of Section 10, T15NR4E.

Satisfaction of Mortgage, dated January 28, 1957, Book 144, page 363, from Jesse Chick to Richard and Mildred Grace Loy.

*From the "Voice of the Verde Historical Society," newsletter of the Verde Historical Society Clemenceau Heritage Museum, January 2013 edition, pages 7 – 8:*

In an edited story taken from the Verde Valley Horseman Council oral history series taped in 1982 – 1983, the article relates the interview of "Lindsay Loy, Early Verde Valley Settler." Lindsay states he was born in 1901 in Middle Verde, son of Nellie and William Loy. He mentions the family called the ranch "Middle Verde" and it was located below the OK Ditch. They mainly did farming not ranching and his father also hauled ore from up in the hills to Conger Dam (just below the mouth of Oak Creek) between farming work. They built a dam on the river and put in a big (water) wheel so they could crush ore. This was done by his father, uncle and others. He remembers the first automobile in Jerome in 1909; it belonged to his uncle (mom's sister's husband) Dr. L. Hawkins (D.D.S.). He also talks about several moves the family made back and forth to Middle Verde. These included moving up on Oak Creek in 1902; staying there in the winter and moving cattle up to Munds Park in the summer. He says his father (*William*) worked with his uncle, John Loy, in both Oak Creek and Munds Park. He says they had a grain farm in Munds Park along with the cattle. He remembers, "We owned several places on Oak Creek, mostly on lower Oak Creek near Page Springs. (Dad and Uncle John) never seemed satisfied, you know they'd sell one place and try to get a little better and then move on. We just called the area Oak Creek before the area became known as Cornville. Some of my family have been in the Cornville area ever since."

He mentions his father had the XL brand in Cornville and Munds Park but lost the brand when they couldn't afford to pay the renewal fee for it. His dad then started the LOY brand for a number of years then sold it, quit ranching and went back to farming in Cornville. Lindsay and his brother Ed went into the cattle business right about the time their father died (*in 1932*) and ranched together for about 31 years until Ed died in 1966. He mentions they had cabins in Woods Canyon and by Robber's Roost. He says most ranchers had camps on the mountain up there to use for a couple of weeks and then they'd come down and work on their farms, growing hay, fruit and so on. He says the farms on Oak Creek were not very large because there wasn't much level land there. He said he concentrated on hay and feed for the cattle and horses.

*From the 1916 Brand Book:*

William had a brand registered prior to 1916. It was the name LOY written vertically as:

L

O  
Y

*From Cottonwood, Clarkdale and Cornville History, Clemenceau Heritage Museum, by Cottonwood Chapter 2021 American Association of Retired Persons, Copyright 1984, Revised Edition, July 1997, page 48:*

In an "Interview with Mrs. Edward (Priscilla) Loy at Her Home On Loy Road, Cornville," by Isabel Simmons, Priscilla Graves Loy states she was born in DeWitt, Nebraska and her family came to Prescott in 1917 for health reasons. She taught in Beaver Creek School in 1917 – 1918, then in Cornville in 1919. She says, "the new school was in a kind of machine shop right where the barn is now." Since this interview took place in 1983, this would mean the barn that was on the Loy Road property close to her house at that time. Priscilla married Edward Anson Loy in 1921 and they had six children, raising five. She said, "We lived in this house but it was much smaller. Later one of my sons put all the rocks around it and enlarged it. I love this house."

Describing life in Cornville, she went on, "We never worried about entertainment. I liked to read and we had a radio and we enjoyed programs like the Singing Troubadore. The children played and swam in the creek a lot. I guess they had a few close calls but there were enough of them to rise to the occasion. They hiked all over the hills too, and they had a horse to ride."

"At that time there were just a few houses, two or three, down what is now Lower Oak Creek Estates. The roads weren't very good and we didn't go to Sedona much as it was too far. We did most of our shopping in Cottonwood. Casey had a little store in Clarkdale way back then before the well known one in Casey's Corners."

"We had a great big orchard with lots of apples and also raised apricots and peaches. We made a lot of cider. We had 80 acres here and ran cattle too."

"The children were healthy and we didn't need medical care too much. We took care of most things at home. We could go to the hospital in Jerome and later in Cottonwood. Doctors made house calls any time of the day or night then. It cost me \$40 each when I had my children."

Asked about the biggest changes in the Verde Valley during her lifetime, she responded the transportation and roads had the greatest improvement in her 62 years in Cornville.

*From Pioneer Stories of Arizona's Verde Valley, The Verde Valley Pioneers Association; 1954; pages 141 – 142, "The William Loy Family," by Mrs. Joseph L. Lay:*

Inez Loy, wife of Joseph Lay, daughter of William Loy, wrote that William Loy was born in Saline county, Missouri on July 12, 1861 and arrived in Prescott, AZ on August 28, 1876, at the age of 15 with his family. Since they brought horses with them, they found ready work hauling freight to Camp Verde. She mentions the family moved to the Verde Valley the following year and William took up farming and cattle raising. She states the only roads into the Verde Valley at this time were Copper Canyon road from the southeast and the old Beaver Head road from the northeast. This story was written in 1954 and she mentions, "the new surveyed and under construction Black Canyon highway follows near these old roads."

She states that William married Nellie M. Carrier on February 11, 1889 and the couple had four children. Nellie was born on April 9, 1870 in Elkhorn, Nebraska and came to Arizona at the age of 17. The four children were Inez (Mrs. Joseph L. Lay), Myron, Edward and Lindsay and in 1954 they all lived in the Cornville district. She goes on to describe the difficult life of the pioneer cattlemen. She describes a snow storm that took place in the Verde Valley on December 8, 1898 and lasted for four days. She says, "the snow was so deep one could not see light between an average size man's legs. The weather became cold and the snow stayed on the ground for weeks and weeks." The cattle in the valley had a hard time

foraging for food and in the spring many were found dead along the river banks. She also says, "Birds froze to death in great numbers, and people gathered them and ate them since it was impossible to get to the store for food. Schools also had to be closed."

She adds, "The only means of heating and cooking was with wood and after the big snow storm, it was so cold and we had to use so much wood, we wondered if our supply would last until the snow was gone, but that problem was solved by the weight of the snow breaking down the shed and we had wood right at our door."

Inez tells us that William bought part of the place homesteaded by William G. Dickison on Lower Oak Creek in 1917. William lived there until his death on June 29, 1932 and his wife, Nellie, continued to live there until her death on April 1, 1945. She tells us, "They spoke often of never wanting to live where they could not see the Black Hills, so rich in mineral deposits, and with the lights of Jerome looking down over all like a guardian angel."

She also tells us that as of 1954, Edward and Lindsay still owned the "old place." She also says, "This place is irrigated by the Lower Oak Creek ditch, one of the oldest water rights in the Valley. The places originally irrigated by it were settled by the Dickisons, Fains, Birches and Copples."

*From Pioneer Stories of Arizona's Verde Valley, The Verde Valley Pioneers Association; 1954; page 212:*

Picture at right: The Lay family. Standing, l. to r., Joe, Lou Lay (Derrick), Mary, Janie Lay (Farley); Seated, Elijah, Mary Ann Lay (Petty), and Jim (Doc).



*From The Coconino Sun, February 3, 1911, page 3:*

William Loy of Sedona was visiting with old neighbors in Cornville last week.

From Those Early Days, the Sedona Westerners, printed by the Verde Independent, 1968, pages 155 – 160, article entitled, “A Forest Ranger’s Experience in Sedona,” by Fred W. Croxen 1<sup>st</sup>, the author shares his memories as the Munds Park-Sedona forest ranger from 1912 – 1915. He mentions joining the Oak Creek pool roundup in 1912 to get to know the cowboys. He says that “Biscuit Bill” Dickinson (*sp, Dickison*) was the roundup boss. He thinks either Walt VanDeren or Dick Mason was the cook. He adds others included Charlie Dickinson, one of Johnnie Lee’s sons, Bill Loy, Joe Lay, Ira Hart, Haydee Lane, Edgar Page, Harry Stephens, Fritz Schuerman, “Pretty Bill” Back, Alf Dickinson, Con Fredericks and Dutch Dickison. He also relates that during this time (1912 – 1915), Mr. and Mrs. Johnny Lay were living across Soldier Wash on Soldier Point and that when the wife died the place was sold to the Lee VanDeren family. Farther down the creek was the Elijah Lay and Dave Lay ranch that was later sold to Mr. and Mrs. Ed Hart. He tells us in order to take advantage of the Sedona Public School, Joe and Inez Lay had a winter home nearby. Their summer home was at Willard Spring. He mentions the principle means of entertainment were dances held at the school with fiddlers Walt VanDeren and Frank Derrick (a left-handed fiddler) and Jess Purtyman and Albert Thompson playing accordions. He also tells us, “Back in the day of which I am writing, before parcel post, the mail was carried by saddle horses, from Cornville, Arizona, on lower Oak Creek. Each patron had a small mail sack in which the mail was placed. This sack hung on a post or was placed in a box at its destination. The mail rider gathered them on his return trip and hung each over the saddle horn as he came to them.” The mail went to the post office at Indian Gardens. During the 3.5 years he was there, the mail riders were Tom Hunt, a nephew of Mrs. Lee VanDeren and Wallace Willard.

From Those Early Days, the Sedona Westerners, printed by the Verde Independent, 1968, pages 167 – 169, article entitled, “Early Builders of Sedona,” by Inez Lay, she tells us, John and America Lay came to Lower Verde in the 1880s. She adds that their nephew, Dave Lay, came to them. She goes on, “Elijah Lay, Dave’s father was never satisfied in Tennessee after Dave left home. As soon as he could gather his crops and sell his home the next year, he and his wife Mary and five children embarked on what was called an immigrant train from Jasper, Tennessee. In those days an immigrant train would take your belongings right along with you. They arrived in Prescott, Arizona, on March 22, 1892. They still had two days more to travel before reaching the Verde Valley. They found land to rent and were soon farming again in a new country to them. After two years they moved to Camp Verde and lived in part of the adobe buildings that are now the Fort Verde Museum. After two more years they moved to Oak Creek and homesteaded 40 acres in the Cornville area. Later they sold that farm and bought another place up the creek a ways.” Inez goes on to describe Elijah’s son, Joe Lay’s forays into the cattle business starting at eight years old. *This would have been around 1892.* She talks about the different cattle brands he had and relates that when he bought one from William Loy his daughter must have been included in the deal. Joe Lay and Inez Loy married on December 23, 1906. She goes on, “In 1908 the family made another move, this time to Sedona. Elijah Lay homesteaded 40 acres on the east side of the creek, south of the bridge and Joe took 40 acres joining it farther down. They built two houses on those homesteads.” She also tells us, “The same year Charley Stemmer bought the Schnebly Place and the Lays rented it from him. John Lay moved his wife to Sedona and Dave Lay also came. Aunt Mack suffered a stroke and she was moved into the Schnebly Hotel and a Mrs. Brown stayed with them to care for her and take care of the post office. Dave and John Lay soon bought land and built the house where Mrs. L. E. Hart now lives. Soon Mrs. Brown got married and the post office was moved to the new house and the William Loy family came to take care of Aunt Mack and the post office.” She goes on to tell us that with so many moving to Sedona they needed a school. The families got together and hauled lumber from Flagstaff and built a one-room school house. The students in the first class included Loyd, Dolly and Iva VanDeren; Myron, Edward and Lindsey Loy; Henry and Lum Farley; Lewis Thompson and Frank Owenby. They had three teachers that first term, finishing the year with Charley Stemmer. She says, “Elijah and Joe Lay sold their homesteads to L. E. Hart and his son Ed, about 1913,” and sold their cattle brand to Ira Hart. Soon after, they bought a brand, cattle and the Clay Park (later Foxboro) ranch from Walt and Lee VanDeren. Because Joe’s daughter, Alice had no school in Clay Park, they built a house in Sedona on land leased from George Black. They had trouble with that because they had to put the children in a wheelbarrow and use a pulley system to get them across the creek when the water rose. In 1917, the Lays sold the ranch, cattle and brand and moved to Cornville. William Loy sold his cattle brand and moved adjacent to the Lay’s in Cornville. Elijah Lay and William Loy stayed there for the rest of their lives. Joe and Inez Lay stayed there 45 years then moved to a retirement home in Cottonwood. A copy of this article is in the Elijah Lay file in the CHS People files.

*From visit with Robert and Virginia Loy at their house with Dan Derrick on Wednesday, November 18, 2015:*

Priscilla was good friends with Enone Waldroup.

The Loy's had community permits for grazing in Dry Creek with Earl Van Deren, Dale Girdner and one other rancher.

Before 1966, Ed bought from Mrs. Chick the property from the edge of Banker Insulation (the land she lived on) all the way down to Erwin Koulacre. Ed gave Robert one acre and he bought another 2.5 acres from his mother.

*From emails between Grady Loy (great-grandson of Samuel, grandson of William, son of Edward Anson Loy) and Judith Miller (CHS President), 2009 – 2013:*

At one point, when describing the Cornville ditch and who was involved in it, he mentions the Gyberg's and goes on to say: "Everyone thought well of the Gyberg's because they were very prominent (and he was nice enough back as I recall at least to me and mine) but Cornville being Cornville there was probably a little mix of envy and awe. We are quite a bit more wordly and diverse in our origins now. I believe Grandmother Priscilla, who was a sensible Yankee in a sea of more impressionable souls from the wagon trains from Missouri and Arkansas, thought such sentiments were not wholly productive. She was often involved helpfully as I recall with Mrs. Gyberg's concerns after Mr. Gyberg died (my grandfather died first but Mrs. Gyberg was the more fragile widow I think) and an old high school friend of mine (Danene Hills) was much involved apparently in seeing that Mrs. Gyberg was looked after."

He continues, "Though death is not usually a subject we entertain positive thoughts about, I think my grandfather (*Ed Loy*) died well though he was missed. He was on Peanuts his favorite horse and his dog was with him. He had just ridden from the section of Oak Creek above the Deer Pass Ranch. There was a trail and wash rise about 200 feet to a classic pass through a ridge of red sandstone and then the trail winds down into Lower Dry Creek Gorge. Sitting on his horse atop the pass he was looking down at the end of day on his cattle grazing by Oak Creek. He was apparently utterly content. He was stricken by a heart attack, fell from his horse and died on the spot a few seconds later. I understand a heart attack can be unspeakably painful but I do think he had a few good moments before he went. His dog and horse, they say, stayed by his side until Lindsay came and found him that night."

"Grandmother Priscilla had two very important effects on Cornville. Starting with the Loy's, as school teacher, she corrected everyone's Missourian pronunciation (a true Cornvillian still says "Missoura" instead of "Missouri" like Eric Cartman on South Park although I think Uncle Robert may have given it up). And at some point in the misty past of the early twentieth century Priscilla became registrar locally. She was a Republican. She came of age after women had gotten the vote and it never once entered her mind to be anything else (her father's people were from Vermont and mothers people were from upstate New York and she talked like it. She could tell a joke in such a deadpan way and with such a dry wit that I remember people actually breaking out laughing quite a long time after she had finished telling the joke. And some of her jokes were quite wicked though never off color. She was that generation that, though she was not actively religious, she sternly would not tolerate any bad words or disrespectful comments about the Bible in her house)."

"Priscilla had come out to Prescott with two of her Nebraskan aunts and her grandmother (who had been born in the vast dark forests of Oneida, New York) and she went to the Verde Valley to teach school, a year in Beaver Creek (1919 I am guessing) and then she was transferred to Cornville. William Loy was one of the people that had to be helpful about keeping the school going so Priscilla boarded with the Loy's in the old wood house in 1919 – 1920 I think. She quickly decided to marry Ed Loy (he was a taciturn person so she may not have had to have worked so hard to correct his diction. Actually I think he may have been the one person who was not so much affected by her pedagogical efforts. Mother always said and I

suppose she may have heard from him that he wanted to be a doctor like Dr. Carrier but the opportunity simply never presented itself. So he developed a love of ranching instead)."

"Anyway, to get on with the story, most of the people who were in the Cornville part of the valley were Thomas Benton style Democrats (interestingly one of the most prominent early senators of the old Southwest was Thomas Benton Catron, a Republican New Mexican but he was a convert and had fought in the Confederate forces in Missouri). These folks probably were not entirely sure what a Republican was but the story goes that when grandmother was so forthrightly registering people to vote they did not have the heart to ask her to register them Democrat (this in the 1930s). Obviously with Roosevelt's repeated reelection, Cornville's importance should not be overstated. And I doubt her influence spread over the entire district. I asked her and she laughed and said she would have been happy to register anyone Democrat who wanted to be one. I think secretly she was abetted by her mother-in-law Nellie Loy who like her had been born in Nebraska on one of Dr. Carrier's earlier tragic adventures and whose people came from a town in New York only 2 to 3 miles from where Priscilla's grandmother came from. I can only wonder what poor Nellie thought of Dr. Carrier yanking her out of nice safe civilized New York and planting her on what was left of the last frontier. She married right away (it may be she felt funny with a step-mother – Melvina Munds – close to her age though as far as I know they got on very well.) Her sister Ethel married Dr. Lee Hawkins (a man in almost the same profession as her father). I thought he might be the homesteader at the confluence of Spring Creek and Oak Creek but that would appear to be Charlie Hawkins and if they are related I do not know it." (Note: Per Judy Miller, Andrew Jackson was at the confluence, Walter E. Hawkins got a land patent just west on the Jackson land in 1922.)

"Grandmother Priscilla was an excellent cook and her bread and doughnuts were locally well known (though the other local matrons were also similarly skilled) but the thing she will be remembered for was her Ward Cake that she used to make for me (my nickname was Ward) but grandmother was never one to let anyone get w swelled head so she would say, 'it was not named for *you* but for a man named War out in Beaver Creek who used to make it.' It was a particularly good chocolate cake with walnuts and chocolate chips. The walnuts were from a walnut tree that I am quite sure supplied our Dilzhe (*Tonto Apache*) predecessors that as far as I know is still standing below the old house (now a couple of places over)."

"Priscilla and Ed married at the beginning of the 20s. They had some sort of party or picnic in a cave near Grays Mountain in West Sedona (which at the time was entirely deserted, all settlement being at the Y and on the creek). She and grandfather were dispatched to the Stuck place (on your homestead map) apparently within a year of its being homesteaded. They worked for a while there and then, for whatever reason they went back to the main Loy place which Ed began to put in order (the preceding generation of Loy's had two types of men – those who worked until they dropped and when work was finished went looking for some more and those who liked to smell the roses. John, the initiator of the road down Schnebly hill was of the former persuasion and James, the lawyer, and his younger brother William were of the latter. William liked ranching and I know why."

"One reason was that William Munds – the Loy's were pretty firmly mixed with the Munds in those days – talked anybody who could not run away into running cattle – he really liked it. And the other reason – I know this from experience – is that cattle raising is a job you can dump endless energy into or you can afford to take easy depending on your temperament. The ranch isn't liable to fail either way since the cattle are hardy little devils. William was not anxious to get rich and cattle raising and his amusing and energetic son-in-law Joseph Lay, the consummate cowboy, suited him perfectly. When he had enough he and Joe decided to settle in Cornville and he did not want to work harder than need be."

"His son-in-law Joe I think already worked a few years and was enjoying farming (which William was happy to let him do) his son Myron was of like mind and though he could work as hard as any and certainly twice as hard as I can (and was one of the sweetest people I ever met) did not have a pretentious or for that matter ambitious bone in his body. He married Frieda Schuerman in Red Rock and

was son-in-law to Henry Schuerman who was the exact opposite in personality. Henry bought I think it was part of the Chavez place for Myron to develop and he was dutifully working on it when his son Sherman was born. He left the shovel in the field and once he looked at his son it is said he was entranced and never gave his father-in-laws project another thought (Sherman had and they say retains a certain charm). Myron (as he told me) rode for ranches as far afield as the Grand Canyon (which he only looked off into once when he was on a roundup) and I believe he eventually worked for the forest service spotting fires from a tower somewhere near Barney pasture. Both jobs suitable for one (as I have attested) who enjoys solitude and contemplation. Lindsay was ambitious and hardworking but did not care for solitude and grandfather (like brother, Myron) liked solitude and nature but had a habit of filling his days with backbreaking work like his Uncle John.”

“With William retiring Ed wanted to ranch but William wasn’t interested and Ed did not have the chance until the 30s when he was part of a community allotment on upper Dry Creek. After a while at the Stuck place I have an idea he got bored, and came back home to the Loy Place and enlisted Lindsay and started making all the improvements on his father’s place he thought his father should be making. The prickly commentary comes from my great uncle Lindsay who was an upstanding fellow and estimable in many ways but let us just say I am glad he did not write a fifth gospel lest Christianity be doomed from the start. He could see the faults in others though they be minute, subtle and craftily concealed behind a two-inch slab of granite and his humorous and satisfying (though with great equity and never quite vindictive) ways of relating the failings and weaknesses of our fellow man could keep grown men out at the back garden fence, faces rapt with attention for a full hour on a hot summer day. It used to exasperate some of the women in the family who I expect felt they had been unfairly infringed in what should by rights have been their own exclusive preserve. I well remember it.”

“Lindsay said William planted a few fruit trees and made homemade wine which he greatly enjoyed (Cornville’s first vintner). Some of it was from grapes, some from apples and some from elderberries (there was an elderberry tree there until recently *(from 2009)*). This was unmistakably during the years of prohibition (moved back in 1917 died in 1932) so he was also technically a bootlegger. But there was a lot more interesting stuff than wine to be had. There are still the ruins of stills about if one knows where to look (I remember one at the Bullard place up above Hidden Valley).”

“Grandfather continued to try to find something productive to do and somehow (Robert told me this) he and some government extension person decided it would be good to have a gasoline station in Cornville. He and Priscilla left their house by the river (well they probably went back and forth) and had a gas station in a house north of where Loy Road hits Cornville Road (across from the old Chick house). I think it was called Martinez place at the time. The Great Depression hit and shortly after and the station failed but probably in conjunction with that they all got automobiles (which given the economics of the time was quite a step). Robert says there was not store there until about 1960 when the Sobleys ran one for a few years. Then there was nothing commercial in town until the mid 70s (I think by then Casey having relocated from Clarkdale was up and running). There was also a dance hall.”

(Note: Charles S. Chick sold a part Section 3 to Ramon Martinez on April 10, 1914. There was another sale on November 25, 1914 from Charles S. Chick et ux, et al to Ramon Mosturo, in the same section. I need to verify where these sales were in Section 3)

In an email three days later than the previous quotes, Grady adds, “Inez Lay, in “Those Early Days” 1975 enlarged edition page 169, ‘In 1917 the Lay families sold their ranch and 2 Figure 2 cattle (*at this point they lived just south of the 179 bridge in Sedona – GEL*) to Fred and Les Mickle, and the William Loy family sold their interest in the X L cattle and the two families bought adjoining farms at Cornville Ranch, forty-five years and raising and educating 7 children, the Joe Lays moved to Cottonwood, Arizona to a retirement home.” (Note: This would be around 1962.)

In an email from 2011, Grady wrote, "The Loys were in Cornville from sometime in the 1890s I think (William Loy may have come earlier on account of the Munds settlement on Spring Creek) until sometime just before 1910 (W. A. Munds died I think 1903 and Myron Carrier in 1907 so that may have something to do with their relocating briefly to Sedona for about 6 or 8 years). Dad suggested they lived just below the Page ranch on Oak Creek. I think they may have lived just above it but his sources, whatever they are, are probably better. When we moved back it was to the place we lived for the rest of the 20<sup>th</sup> century on Loy Road."

*From Interview of Sherman Loy (son of Myron, grandson of William, great-grandson of Samuel) by Mona McCrosky of Prescott, conducted February 21, 1996 in Sedona:*

Sherman shared a photo of William Loy in 1906 in front of his home. Sherman explained it was actually the house that Sherman was living in 1996; it didn't belong to William Loy back then, people just stayed in other people's places while their children went to school.

Sherman said that at one time William had 1,000 head of Angora goats that he ran in the Lower Verde Valley but most ended up around Middle Verde. He added that William came to Cornville in 1917 and bought land there.

He said his parents, Myron and Frieda lived where Crescent Moon Ranch is today, then Forest Park, then to the house that Sherman was currently living in.

He mentioned that William's father-in-law, Dr. Carrier, bought Pinewood and created the "Verde Cut-Off," a route from Flagstaff, to Munds Park, across the Verde Valley and up to Jerome.

He said they were all interrelated, the Loys, Schuermans, Wingfields, Benedicts and Hawkins.

He said Williams goats ran all over, a 'hunter-gatherer-type' of thing.

William Loy was 'known as a trader by his family to the extent of some ridicule, because he would trade everything.' He continues, "And when old Samuel Loy died, he had a fair amount of property in the Middle Verde area, and James Loy, the lawyer, undertook to settle his estate. And when it came time to give William Loy his share, James elected to put it in William's wife's name, so that Bill couldn't trade it off quite so fast. They did in time but they held onto it for a little while. The area they were in was called Aultman."

Sherman Loy moved to his grandmother's house in Cornville for tenth and eleventh grade (about two years). He rode the Cornville school bus to Clarkdale. He spent his last year at home, the school superintendent had a home in Oak Creek Canyon and would take kids who lived near him to school in his car. Sherman graduated high school in 1944. He signed up for the WWII draft in Cornville; he remembered Jesse Chick. Said the Chicks had a big property on the corner of Cornville/McGuireville Road and Loy Road.

He remembered the dance hall and the wild parties through a great many years in the 1930s and 1940s. He refers to Red Rock Loop area as the Upper Verde.

He shared several years' worth of school records. For example, the 1910 school roster for the area around Red Rock Loop included Don, Walter and Ralph Dickerson, Fritz and Della Purtyman.

Sherman did a "First Families of Arizona" presentation on the Loy family, the did the same presentation on video for Arizona State and shared it with the Sedona Historical Society.

He mentioned the Wingfield's owned Apache Maid ranch for a while.

Included in Mona's files were a copy of [The Scheurman Family Red Rock Pioneers](#), by Frieda Scheurman Loy and a photo of a sugar purchase certificate dated July 1, 1942 (ration) for Helena Owenby in Cornville.

*In an email sent to the Cornville Historical Society on September 18, 2008 by Dave Girdner (son of Dale), he sends us a copy of two stories written by his grandmother on a large piece of brown paper that resembled a brown paper bag and transcribed by his wife, Rila. Nola Girdner was remembering two incidents from her time in Jerome. The first incident is recounted in full here as follows:*

"You are Mrs. Johnson's sister aren't you?" "Yes," I replied, "but you have the advantage, I'm sorry but I'm afraid I do not recognize you." "No, you do not. I just knew you must be Mrs. Johnson's sister. Your likeness to her is a match. I'm Mrs. Bill Loy of Oak Creek and I'm told you are headed for our part of the country." "Yes, we plan to buy a ranch on Oak Creek and I'm glad to meet one of my future neighbors. You are the first acquaintance from there and we are anxious to know people and conditions of the vicinity of our chosen habitat. Mrs. Loy, I hope we can come to know each other well. I feel so alone except of course, for Etta, when I get to her. I haven't seen her for years – I believe it has been fifteen. You have social affairs out here I'm sure, and I shall meet your friends, who I hope will be mine for I shall be worthy." "Ours are a sociable bunch and I think you will like them. We live simply but well." That's my introduction to Oak Creek by an advance representative whom I met in a general store in Jerome on day in February 1908.

In a document that Dale Girdner wrote, entitled "What the Schools Were Like When I Was a Kid," and that his son Dave Girdner guessed was written somewhere around 1974, Dale recalls some very specific information about the early days of the Oak Creek schools. His son Dave went through this document over the years and made some notes and revisions. In this document, Dale reports that William Loy was the Oak Creek school trustee for the year 1907.

*From notes that Betsy Cook gave to Judy Miller when she was moving away from Cornville (c. 2013):*

Freida Schuerman Loy, Priscilla Loy, and Della Greenwell Loy were all artists.

From the U. S. Bureau of Land Management Tract Books, Arizona, Volume 4, page 189 (online page 193), available at [www.familysearch.org](http://www.familysearch.org), it shows William Loy filed for a homestead on the W2SW Section 26, T16N4E, on 9 Jan 1891, and it was cancelled on 24 Jul 1894. The land in this area was never patented.

### **Hattie Loy (youngest daughter)**

*From records at [www.ancestry.com](http://www.ancestry.com):*

Harriet Ann (Hattie) Loy was born on March 5, 1864 in Cambridge, Missouri and died March 11, 1953 in Cottonwood, AZ. She married James Thomas Munds (1862 – September 1892), son of William Madison Munds and Sarah Jane Cox Munds, on September 25, 1882 in Upper Verde, AZ. Hattie and James had two daughters:

Edna Agetha (Getha) Munds, born in Spring Creek, AZ, (1883 – 1966) married Oliver Avery Benedict (1877 – 1960) on July 19, 1906 in Camp Verde and they had five children:

Franklin Jeril Benedict (1907 -1997) married Hazel Comfort Nickels (1907 – 2005)

Joel Avery Benedict (1909 – 2001) married Frances Giroux (1906 – 1977)

Mary Lois Benedict (1911 – 2001) married Philip Samuel (Phil) Thompson (1906 – 1990)

James Thomas Benedict (1919 – 1998) married Lois Elaine Smith (1922 – 1993) and had three children, one of which was John Thomas Benedict (1945 – 2007) who married Victoria Ruth Moore and had two sons, Jeffrey and Mark.

John Samuel Benedict (1921 – 2015) married Kay ? and they had three sons, Bruce J., Jeril S., and Brett.

Sarah Jane (Jennie) Munds (1885 – 1975) married David W. Wingfield (1884 – 1961) on April 11, 1906 in Yavapai County and they had two children:

Ruth Harriet Wingfield (1908 – 2007) married Clarence E. (Hy) Kennedy (1901 – 1986) in 1931 and they had three children, Joanne Kennedy Wochner, Mary Kennedy Pyles and David Kennedy.

David Kenneth Wingfield (1916 – 2012) married Nina Adeline Basham (1918 – 2012) on May 9, 1936 and had two children, Gary and Janice.

After the death of James Thomas Munds in September 1892 in an accident in Munds Park, Hattie married James Henry (Henry, Hank) Wingfield (1848 – 1926) in 1905 in Yavapai County. James Henry had been married to Sarah M. England (1852 – 1904) on February 10, 1870 and the couple had 11 children (7 sons and 4 daughters) of whom five sons and 2 daughters lived to adulthood, but only four were surviving in 1905 (3 sons, 1 daughter). James and Sarah's son, David W. married James Henry's stepdaughter Jennie Munds about a year after he married her mother, Hattie.

*From emails between Grady Loy (great-grandson of Samuel, grandson of William, son of Edward Anson Loy) and Judith Miller (CHS President), 2009 – 2013:*

Grady provided the following chronology of the Loy's in Cornville:

Loys first pass Oak Creek – October 1876

Loys purchase Casner place near mouth of Oak Creek – about March 1877

Loys locate at Bridgeport on "Anderson place" begin ditch work Casner place – 1877 (*Note: Is this the OK Ditch or some other one?*)

Loys begin raising cattle and summering in Loy Canyon in 1878

Loys go to Casner place (about 1879)

James Loy leaves and goes to Prescott to become attorney (circa 1882?)

Hattie Loy marries James Munds moves to Spring Creek in winters

Drought ends Loy cattle ranching – move to Oak Creek (probably Munds Ranch) 1888

William Loy marries Eleanor Carrier (stepdaughter to Melvina Munds) in Cherry 1889

Inez Loy (daughter William) born Aultman Middle Verde Arizona 1890

Myron Samuel Loy born Oak Creek (Spring Creek) 1893

James Munds killed Munds Park, John Loy relocates to support Hattie Munds 1893 (*Note: James died Sep 1892*)

Jane Sennett Loy dies Oak Creek (Spring Creek) buried Middle Verde Cemetery 1894

Edward Loy (son of William) born Aultman Middle Verde 1896

Loys leave Aultman entirely go to Jerome then upper Cornville 1897 – 1898

Samuel Loy dies Cornville 1901

Lindsay Loy (son of William) born Cornville 1901

Inez Loy and Joe Lay marry at Spring Creek ranch 1906 (Joe gave an interview describing all this.

Census shows Loys at Spring Creek or Oak Creek next to Dolph Willard 1910

Loys and Lays move to Charly Stemmer Place at Y in Sedona 1910

Loys purchase Loy Ranch (Rafter L) from W. G. Dickison in Cornville 1917

He then summarized this saying, "So we have sort of an on again off again relationship to Oak Creek. We were in Aultman till 1888/90 then on Oak Creek until 1894, then back to Aultman (different place) until about 1897/98 then back to upper Cornville until 1910. Because of the Munds ranch we were probably there on and off almost continuously."

Photos saved by a family member, Meg Heinle Davis, on [www.ancestry.com](http://www.ancestry.com) include:



Hattie and James T. Munds



Jennie, Hattie and Getha Munds



Hattie Loy Munds Wingfield c. 1953

*From Sharlot Hall Museum Archives:*

Harriet H. (Hattie) Wingfield was born in Cambridge, MO on March 5, 1864 and died in Camp Verde, Yavapai, Arizona on March 8, 1953. She was buried on Middle Verde cemetery. There is a photo of her headstone on-line at [arizonagravestones.org](http://arizonagravestones.org). Hattie was married twice: She married James Thomas

Munds on September 24, 1882 and she married James Henry Wingfield on April 30, 1905. She married both times in Yavapai County. Her parents were Sam & Jane M. (Sinnett) Loy. She came to the Verde Valley in 1876. There is a death certificate.

*From Images of America Verde Valley, by William L. Cowan, 2011, page 70:*

The page contains two photos. The first is of James and Hattie Munds and the second is of Schnebly Hill Road. The captions read:

1. "James and Hattie Munds ranched along Oak Creek above Page Springs, with a summer range at Munds Park. The couple had two daughters, Getha and Jennie. Jim was accidentally killed at Munds Park, and John Loy, Hattie's brother, came to help with the ranching. He homesteaded a farm west of the summer headquarters, where he raised potatoes. (Courtesy of Frank Benedict.)"
2. "The Munds family moved cattle and horses to their summer range up a trail that was gradually improved. Originally known as the Munds Trail, it later became known as Schnebly Hill Road. Started by John Loy, the roadway was finished by Jim Thompson and adopted as a Coconino County road in 1902. (Courtesy of William Cowan.)"

*From Pioneer Stories of Arizona's Verde Valley, The Verde Valley Pioneers Association; 1954; pages 129 – 130, "Pioneers," by Jennie Wingfeld (James T. and Hattie Munds's daughter):*

Jennie Wingfield begins by relating, "James T. Munds was born in Roseburg, Oregon, and came to Arizona in 1875 with his parents William and Sarah Munds; one sister, Melvina, who later married Dr. Carrier; a brother, John L., who was at one-time sheriff of Yavapai County; and a brother, Neal, who was killed by a horse while he was yet in his teens." She also tells us that William Munds was engaged in sheep and cattle raising in Oregon when he became interested in doing the same in Northern Arizona and moved the family here. He then opened a butcher shop in Jerome in the early 1890s and was elected Jerome's first mayor.

She continues, "James T. (Jim) attended school with Harriet A. Loy (Hattie) in Cottonwood and they were married in 1882. Hattie Loy was born near Cambridge, Missouri, in 1864 and came with her parents, Samuel and Jane M. Loy; three brothers, James, John and Will; and one sister, Mary (Mollie), who soon after arriving in the Verde Valley married Conway Bristow, a member of the J. O. Bristow family. Conway and Mollie had four children: Martha, Samuel (Bud), Grover, and Clyde. Also they gave a home to Conway's two sisters and one brother." (Note: J. O. Bristow died in 1881.)

Jennie writes, "James Loy studied law and was admitted to the bar in Prescott and practiced law there for many years. John and Will became farmers."

She goes on to explain that Jim and Hattie began homesteading a tract of land in Munds Park in the spring of 1883. They spent seven months of each year there until they got title to the land. Jim and Hattie had two daughters, Getha, born in 1883 who married O. A. Benedict, and Jennie, born in 1885 who married D. W. Wingfield of Camp Verde. The family spent the winters on Oak Creek, bringing their cattle with them. Jim was one of the first ranchers to bring Hereford cattle to the valley. He used a JT brand. He helped build Munds Trail to bring the cattle from the high rim to Oak Creek.

Jennie writes of her father, "In the prime of life when the future looked bright, Jim met his untimely death in September 1892. In the evening after a hard day's ride on the range, he set his rifle down by the yard gate at the house and rode to the corral to turn the horses in. As he rode back to the house he leaned over and picked up the gun and it discharged. He died in a few hours, before the family could reach his bedside. He was buried beside his brother, Neal, in a group of pines near the farm." After Jim died, Hattie sold the cattle and her brother John came to farm the Munds Park land. He also leased some adjoining land and raised Irish potatoes and grain.

Jennie mentions that while farming in Munds Park, John Loy enlisted the help of George Babbitt, Coconino County Supervisor, to build a road from Munds Park to the rim and down the hill to Sedona. This road created a shorter route from Flagstaff to Jerome through the Verde Valley.

Jennie closes her story with, "Hattie married J. H. Wingfield in 1905 and they lived near Camp Verde until his death July 26, 1926. Hattie died at Marcus J. Lawrence Memorial Hospital, Cottonwood, on March 11, 1953, at the age of 89. She lies at rest in Middle Verde Cemetery where many of her relatives were buried." (Note: James T. Munds is buried in Cottonwood Cemetery and James H. Wingfield is buried in Clear Creek Cemetery in Camp Verde.)

*From Pioneer Stories of Arizona's Verde Valley, The Verde Valley Pioneers Association; 1954; pages 125, "An Old Pioneer," by Rowena Van Deren:*

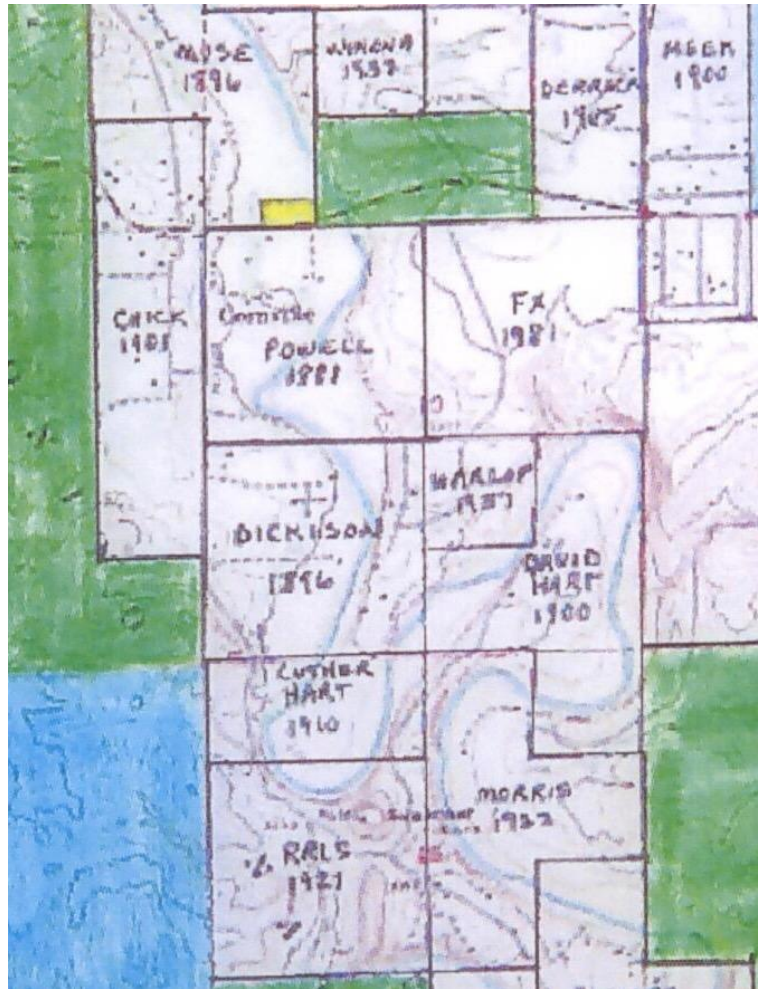
Charles Dickinson bought a little farm from Mrs. Hattie Munds in 1893.  
(Note: don't know if this is her Hidden Valley farm or somewhere else.)

*From visit with Robert and Virginia Loy at their house with Dan Derrick on Wednesday, November 18, 2015:*

James T. Munds' property is now Hidden Valley.

*From Cornville Federal Land Records Review Project Compiled by Judith A. Miller and Published by the Cornville Historical Society December 2008:*

A land patent for SW1/4, Section 10, 15N4E, was issued April 28, 1896 to William Goff Dickison, for 160 acres, paid in cash. The Dickison property was just south of a land patent for NW1/4, Section 10, 15N4E, issued to William D. Powell on April 21, 1888, 160 acres paid by cash; just north of the 80 acres of land patented by Luther Hart on October 10, 1910, a homestead (N1/2 NW1/4, Section 15, 15N4E); just east of the 160 acres of land patented by Charles S. Chick on August 29, 1901, a homestead (SESE, Sec 4; NENE, SENE, NESE, Sec 9; 15N4E); west of the 160 acres of land patented by David F. Hart on October 12, 1900, a homestead (NESE, S2SE, Sec 10; NENE, Sec 15, 15N4E); and west of the 40 acres of land patented by Julius Warlop on January 29, 1937, a homestead (NWSE, Sec 10, 15N). The.



William and Hannah Dickison arrived in the Verde Valley sometime after August 1881 when his youngest daughter was born in Blanco, Texas and before he obtained his land patent in 1896. We can probably narrow this a bit more, his 2<sup>nd</sup> eldest daughter was married in Blanco, Texas in 1884 and his eldest son was married in Middle Verde in 1894. Since he paid cash for his land entry he did not have to follow the homesteading rule to live on the land for five years before qualifying for the land patent. His grandson, John William Byrom, son of Gertie and James Byrom, was born on March 18, 1893 in Cornville. So we can probably narrow the date of his arrival to between 1884 and the spring of 1893.

An interesting note, sometime between 1937, when Julius Warlop received his land patent and prior to his death in 1945, Arthur and Dora Dickison purchased the land adjacent to the original Dickison property, the 40 acres Julius Warlop owned and the 40 acres directly south that belonged to David Hart in 1900. Maybe they owned the south 40 after they married in 1903 and added on to it when Julius Warlop sold out?

*From visit with Robert and Virginia Loy at their house with Dan Derrick on Wednesday, November 18, 2015:*

Robert remembers Frank Gyberg as an extreme conservative (belonged to John Birch Society). He was a McCarthy supporter. He was very much into books and reading; he had a large collection of books. He wrote a column called "Gyberg Gripes" for the Arizona Farmer magazine and some others.

Robert told us Frank once got him and Emory Kosalrich to go into what he referred to as “jackpots” in which he got you to go into a cattle drive with him. Robert and Emory got left handling the cattle, then Emory saw the rest of House Mountain and took off home; Robert was left driving the cattle all the way home, alone. Either starting point or ending point was Lon Crane’s pasture (I didn’t specify in my notes.)

Robert said William Loy bought in Cornville at the same time as the Lays. He also said the Lays owned Clay Park (Foxboro). He mentioned Loy Butte and said Lindsay said they drove cattle on the Verde.

Robert said the Loys sold 23 acres to ???

He said Shirley McMenamin took care of Louise Gyberg after Frank died. Dan remembered seeing Frank in swim trunks and a cowboy hat when he went swimming in the creek. He also said Louise gave piano lessons. Robert added she kicked him out of lessons because he wouldn’t count out loud. Dan added he took painting lessons from Priscilla Loy and he remembers she had stacks of Arizona Highways in the back room. Dan cut the grass for Priscilla for years. He also mucked out stalls and worked in the barn when they were away from home. He remembers Priscilla would dump all her garbage in the ditch in front of the house and it would run over the cliff and into the creek. Virginia said her family did the same thing.

Virginia also mentioned Robert’s cousin found his dog tags in the dump by the Cornville ruins many, many years after he was out of the service. Some discussion was had about the ranch dumps on Stewart Hill and then the ridge road and by the Cornville ruins.

Virginia stated that the Greenwells had Shady Nook and it was located by the ditch; it was named for the cottonwoods by it.

Robert lived in Cornville from his birth in 1924 until he went into the service in 1943. The Ed Loy house was originally the 1<sup>st</sup> house on Sexton Ranch Road and they moved it to by the creek where it still is now. He also mentioned the old Loy house belonged to the Copples and William bought it and moved it to their place. The Ed Loy house was board and batten on the outside and wallpaper on the inside with no studs or inside walls. In 1948, Robert was working in the mine (until 1948), so was Gene. Gene decided to rock up the house, then Dick and Ed finished the job. Dan mentioned the interesting rock used on the fireplace, it has fern fossils in it.

Robert explained the smelter used to assess crop damage once a year and the family used the money from that one year to build the barn.

Robert remembers working for Cal Fox cowboying in 1942. Foxboro was a summer school for wealthy easterners. Dan remembered it being for actor’s kids from LA in the 1960s when he worked there. Foxboro was Clay Park originally.

Dan said Linn Derrick bought land from the Lays then had some mental issues and Vinn Derrick took over.

Robert mentioned his sister Ruth’s children Sylvia and Myron Scott spending time in Cornville.

*From emails between Grady Loy (great-grandson of Samuel, grandson of William, son of Edward Anson Loy) and Judith Miller (CHS President), 2009 – 2013:*

According to Grady Loy, the W. G. Dickison place was what became the old Loy (and Lay) place in 1917. The place was just south of the Powell place which became the Greenwell place (and may have been owned by Mrs. Greenwell’s people, the Purtyman’s first) by Garden Lane. He mentioned the south part of the Powell place went to Frank Gyberg, then Art Coppinger and finally Georgia Frontiere (Indian Creek Ranch).

Following the above description, in the same long email dated September 23, 2009, he wrote:

“The old W. G. Dickison place had a couple of tiers of fields. I do not know how many he prepared but part of the work was left for my grandfather and it almost killed him (grubbing mesquites out of the rocky upper field near the ditch). The main ditch of course ran along the west side of the Powell place by (now) Loy Road and skirted a hill in the middle of the Dickison place. That hill was sparsely covered with mesquites and catclaws and my grandfather and his brother Lindsay managed to flatten about half of it into a sandy ‘upper field.’ There was apparently a substantial Indian settlement there and the family used to say that it was probably the work camp for the Sugarloaf or Cornville Road ruin communities. I had always thought so but the pottery was quite different, much rougher and more easily broken than the Sugarloaf pottery and with fewer decorations (there were hundreds of little pieces littered in the fields and in the Bosque. I rather suspect now that it was the winter camp of some of the Apache. They were fond of mesquite beans of which there were an abundance (and there were grapes on the creek though I would not make a guess as to how that worked out seasonally). The mesquite provided excellent cover and the land was dry and out of traditional flood paths. My grandfather Ed, when preparing the field, found a shallow burial. I think most Native Americans do not inhume the way we do so unless it was one of Onate’s Spaniards (the caliche would easily have preserved the bones) or a Hispanic or Anglo who wandered far from home a long time ago I cannot guess whose skeleton it might have been. Grandfather was a very serious person and dug a six-foot hole in the field and buried him with his goods right where he was, and with the caliche being what it is almost certainly remains to this day.”

He continues, “William Loy bought the place in 1917. I do not know when the Dickinson’s started working on the Cornville ditch (it had to be them. There was a Dickinson at the head of the ditch, another one on the end and one other ranch (Muse) in the middle. In the old days there were not so many farms along the ditch so everyone took turns being ditch boss. Dad was unable to turn it down and did it for a long time after we came back in the ‘60s. I remember being out with the tractors with Kenneth Greenwell and Jim Derrick and Dad (I don’t think Mr. Gyberg was up to it any more – he died shortly after we came back).”

*Note: According to Dan Derrick and looking at USGS maps from 1960 on Saturday, November 14, 2015 with him, the Cornville ditch appears to have started near the south end on Merritt Ranch Road, which would mean the end was on Edward Dickinson’s land, the head on Samuel Dickinson’s and it ran through James Muse’s land before entering William Powell’s land.*

Three days after the 1<sup>st</sup> email to Judy Miller, Grady continues, “The Loy place purchased from W. G. Dickinson in 1917 was bounded on the north by the Powell place which was purchased eventually by Frank Gyberg. I do not now who had the Gyberg place in 1917. Probably someone named Burnett. Powell had long since sold and moved on apparently (I would love to know the history of the “Powell homestead” south of the Cornville Road. When I was a boy Kenneth Greenwell had the north half of it and Frank Gyberg the south. Kenneth Greenwell sold and all the houses on Garden Lane came from that land. Gyberg’s place is of course Indian Creek but I do not know who had the land between Kenneth Greenwell and Frank Gyberg on the one hand and William Powell on the other). Someone Midgley owned the Greenwell place just prior to the Greenwells and Burnett owned the Gyberg place prior to the Gybergs. In both cases it appears the transaction may have been in the 1920’s (Information from my uncle Robert Loy). Robert thinks the Fains may have been on the Gyberg place. The Fains were listed in 1910 between Charles Chick and the Harts at the south end of Cornville Road, given the size of their operation, they would have had to have been located at the Powell place.”

“Now back to your actual question: Joe Lay settled on the southern half of the W. G. Dickison homestead and as far as I know either Joe or some combination of Joe and his elders among the Lays held the entire 80-acre place. It was divided up among descendants and purchasers when Joe and Inez went to Cottonwood. I remember in 1968 Jim Derrick owned a section of the old Lay place near the creek (my brother and I wandered on the creek a couple of times with his son Danny – Forest Service now? Once or

twice back then. He was older and was soon gone). I believe Jim's wife was a Lay or so I had heard. In the middle I think there was a man named Matthews. Finally, up near where Loy Road reaches Lay Hill, Walter Kovacovich has a house. This land came to him from his parents, Johnny and Mildred Kovacovich. Mildred was Joe and Inez' daughter."

"The total 160 acres was split into a northern 80 acres (Loys) and a southern 80 acres (Lays). Lay Hill (which is the first hill Loy Road skirts around about a mile south of the intersection with the Cornville Road) overlooked the old Lay place. I believe both the Loy and Lay places crossed to the far side of Oak Creek initially."

"Charles Chick as the map shows patented a lot of mesquite bosque to the east of present Loy Road and later, after his death, Edward and Lindsay Loy, William's sons who remained in Cornville, purchased most of that south of Cornville Road from Mrs. Chick. This former Chick land was divided up and inherited and by now for the most part sold by different children of Edward Loy. Robert Loy still lives on a piece of that land."

In an email from 2011, Grady wrote, "Dad wrote that the Gyberg place had been owned by the Fains before Gyberg bought it. I knew the Fains had lived somewhere in the immediate area. The Fains must have bought their place from William Powell though an intermediate step is not out of the question."

*From notes that Betsy Cook gave to Judy Miller when she was moving away from Cornville (c. 2013):*

Greenwells owned from Loy Road to the Creek and to Garden Lane. They had a service station called "Shady Nook" that also sold beer and wine. It was on corner lot at Loy Road and Cornville Road, a little house built in the 1930s. It eventually became Maxfields.

The rock house on Indian Creek Ranch, down by the creek was built by Ed and Priscilla Loy as a board and batten house. Their son Gene many years later added the rock all around it; sometime after WWII, he started, Richard finished it. It is about 1,000 square feet.

Old Loy house was where William (Bill) and Nellie Loy lived; they got the property in 1916/17.

Stage building, rock structure was for Butterfield stage on Gyberg's place.

The Tonto Apache called the Cornville-Page Springs area "the place the lizard hollered (or shouted)!" in Apache language.

Shirley Loy had a house next door to Priscilla Loy. Sold to Indian Creek 5/6 years ago (from early 2013). Both houses were empty. (*May have had water damage or were near the water, she just writes "water."*) Earl Weatherwax now lives in Shirley's house.

Freida Schuerman Loy, Priscilla Loy, and Della Greenwell Loy were all artists.

*Per Dan Derrick on November 7, 2015:*

When he was growing up on Loy Road in the 1950s his neighbors starting at the corner of Cornville Road and Loy Road were the Greenwell, Gyberg, Loy, Derrick and Lay families. Dick Loy lived next to the Gyberg place, on what today is Indian Creek Ranch and next to that the Loy property was divided with Lindsey Loy living near the road and Ed Loy living closer to the creek. Ed married Priscilla and their house was down on Priscilla Lane. Dan's uncle bought part of the Lay property to create their place. He also mentioned he does not believe that either Jesse F. Derrick or Elijah Lay ever lived on the land for which they received land patents. Jesse F. Derrick dug the ditch on the land where Casey's Corner (and Grasshopper Grill) are

today, but in doing so he ended up with a heart condition and had to sell the land and move to Clarkdale where he was a janitor in the school and supported himself that way.

*Per Dan Derrick on November 10, 2015:*

The old Loy barn and stone house are closest to Rafter Lane. The old barn is on Rafter Lane and owned by Ron & Lori Stavropoulos. The old barn located on Indian Creek Ranch is the old Gyberg barn. (Note: per Yavapai GIS Mapping, Marc & Lori Stavropoulos live at 10100 E Rafter Lane.)

*Per Dan Derrick on November 14, 2015:*

Lindsay Loy had a house next to the old Loy place when Dan was growing up in the 1950s and 1960s. It was part limestone and rock on the west side.

Gyberg had a small pond, not the larger one on the ranch now.

The rock house past Merkin Vineyards on Loy Road belonged to the Heinle family.

Dan's father, Jim Derrick spoke about taking the stage to Cornville sometime between 1910 and 1920.

Dan thinks Earle Weatherwax lives in the house just north of Ed and Priscilla's old rock house. There is a lien-to just south of her house.

The Cornville Ditch starts just off the end of Merritt Ranch Road. No one has water rights for the ditch until Sheepshead.

Kenneth's mother was "Ma Greenwell." The store closed when Dan was in grade school (mid to late 1950s), it was where the vacant lot at the corner of Loy Road and Cornville Road is today, the one owned by Maynard Keenan. The pumps were still there in 1958. The Hallett's lived there later on and tore down both the house and store. Dan helped with the demolition when he was in high school.

Dave and Pat Soblely had gas pumps near the old post office.

The Joe Lay house was moved to just past Maggie Lane, still on Loy Road.

PIC – stood for Phoenix Investment Company. They came in the early 1960s. A 1960 USGS map shows the roads already in place.

*Per records found at the Yavapai Recorder's Office on November 12, 2015:*

Warranty deed, dated May 17, 1898 transferring ownership of SW1/4, Section 10, T15N4E, 160 acres, and a 1/3 interest in the Lower Oak Creek irrigating ditch from William G. Dickison to Hannah E. Dickison, his wife, for \$1.

Warranty deed, dated December 2, 1899 transferring ownership of SW1/4, Section 10, T15N4E, 160 acres, and a 1/3 interest in the Lower Oak Creek irrigating ditch from Hannah E. Dickison to E. L. Hendricks, for \$1,250.

Warranty deed, dated December 9, 1904 transferring ownership of SW1/4, Section 10, T15N4E, 160 acres, and a 1/3 interest in the Lower Oak Creek irrigating ditch from E. L. Hendricks to Charles S. Chick, for \$2,500.

Warranty deed, dated May 14, 1917 transferring ownership of all that portion of land lying on the westerly side of Oak Creek, S1/2, SW1/4, Section 10, T15N4E, excepting the northerly 50 feet of the tract, and a 1/6 interest in the Lower Oak Creek irrigating ditch from Thomas J. Hunt and his wife Josie E. Hunt to Joseph L. Lay and Elijah Lay, for \$10. The deed also specifies that the description of the Lower Oak Creek irrigating ditch is identical to the one recorded on March 30, 1916, Book of Deeds 105, page 414, when Virgil Selna transferred the interest to Thomas J. and Josie E. Hunt.

*Per records found at the Yavapai Recorder's Office on December 7, 2015:*

December 17, 1910, Book 88, page 172, Warranty Deed, C. S. Chick to I. P. Burnett and Nicholas Schroeder, for \$1,200, SW1/4 Section 10, T15NR4E and 1/3 interest in Lower Oak Creek Ditch. Witnesses were Jno. J. Hawkins, E. L. Hendricks and M. B. Hazeltine.

January 26, 1914, Book 100, page 46, Warranty Deed, I. P. Burnett to Nicholas Schroeder, for \$1 and other valuable consideration, 80 acres and all improvements, N1/2SW1/4 Section 10 T15NR4E and the north 50 feet of the S1/2SW1/4 Section 10 T15NR4E, also a 1/6 interest in the Lower Oak Creek Ditch. *(Note: Only information I found on I. P. Burnett was at [www.ancestry.com](http://www.ancestry.com), U.S. Find a Grave, saying he was born in 1857 and died in 1935 in Prescott and was buried in Prescott. In the US Directories he was in the Prescott City from 1916 – 1923.)*

March 31, 1915, Book 103, page 426, Warranty Deed, I. P. Burnett to Virgil Selna, for \$1,562.59, 80 acres less 50 feet along the north line of the S1/2SW1/4 Section 10 T15NR4E and 1/6 interest in Lower Oak Creek Ditch.

June 23, 1917, Book 105, page 520, Warranty Deed, Nicholas and Carrie Schroeder to William Loy, for \$5,250, N1/2SW1/4 and fifty feet in width, ½ mile long in length along the north side of S1/2SW1/4 Section 10 T15NR4E, 80 acres and 1/6 interest in Oak Creek Ditch and all water rights. *(Note: From [www.ancestry.com](http://www.ancestry.com), Nick Schroeder was born February 17, 1866 in Schnectady, NY and died July 27, 1935 in Prescott. He was married to Carrie Rokabe Schroeder (1861 – 1923) on November 25, 1911.)*

March 23, 1921, Book 124, page 275, Warranty Deed, W. W. Midgley and Lulu M. Midgley, his wife, to J. T. Greenwell and Katherine Greenwell, his wife and E. R. Abell, an unmarried man, for \$10 and other good and valuable consideration, NW1/4NW1/4 Section 10 and all that portion of the SW1/4NW1/4 of Section 10 bounded and described as follows: commencing at the SW corner of the NW1/4 of the NW1/4 of Section 10, thence running in an easterly direction along the north line of the SW1/4 of the NW1/4 of Section 10 to Oak Creek, thence running in a southerly direction along Oak Creek for 165 feet, thence running in a westerly direction to a point on the section line between Sections 10 and 9, thence north along said section line a distance of 165 feet to the place of beginning. Also, all that portion of the NE1/4NW1/4 lying west of Oak Creek. All in Section 10 T15NR4E. (Simply put, all the land in the NW1/4 Section 10, west of Oak Creek.)

September 12, 1922, Book 131, page 304, Warranty Deed, E. R. Abell, an unmarried man, to J. T. Greenwell and Katherine Greenwell, his wife, all of Cornville, for \$10 and other good and valuable consideration, a ½ interest in NW1/4NW1/4 Section 10 and all that portion of the SW1/4NW1/4 of Section 10 bounded and described as follows: commencing at the SW corner of the NW1/4 of the NW1/4 of Section 10, thence running in an easterly direction along the north line of the SW1/4 of the NW1/4 of Section 10 to Oak Creek, thence running in a southerly direction along Oak Creek for 165 feet, thence running in a westerly direction to a point on the section line between Sections 10 and 9, thence north along said section line a distance of 165 feet to the place of beginning. Also, all that portion of the NE1/4NW1/4 lying west of Oak Creek. All in Section 10 T15NR4E. (Simply put, all the land in the NW1/4 Section 10, west of Oak Creek that they bought together on March 21, 1921 and E. R. Abell is now selling his ½ to the Greenwells.) Also note, Katherine Greenwell's mother was an Abell and Katherine had an

uncle named Robert Emmett Abell, who is sometimes listed as E. Robert Abell on census forms. He lived in Jerome in 1920 and 1930, but he was a married man both times.

Other than those mentioned herein, I did not find any additional records for Section 10, T15NR4E, in the name of Loy as a grantor from 1890 – 1897, nor the names Loy or Greenwell as grantees from 1917 – May 15, 1926.

*Per records found at the Yavapai Recorder's Office, Document Search on-line:*

Improvements made on parcel 407-05-021X, current owners Marc & Lori Stavropoulos include a barn built in 1934, 3,060 square feet, 60' x 70' with about 2/3 of it dirt floor. The property showed previous owners as of dates of sale, 12/30/97 Walter & Rebecca Watson to Michael & Marguerite Clark, 12/13/2001 to Robert & Cynthia Cunningham; 9/6/2011 Federal National Mortgage to Marc & Lori Stavropoulos (with another transfer to them on 2/3/2015).

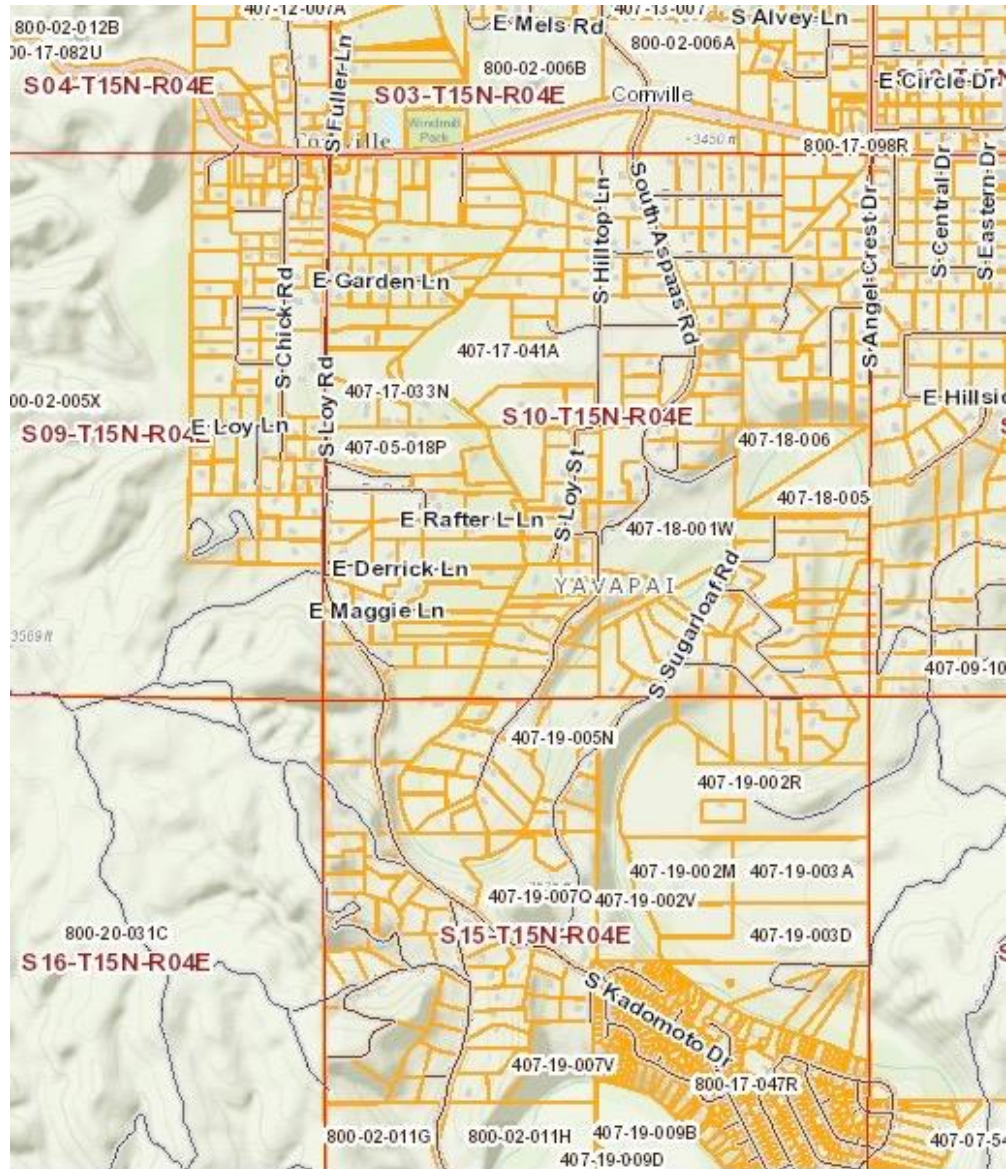
Sale of parcels 407-05-039B, 407-05-018H and 407-05-018P, by Grady E. Loy, representative of Virginia Swift Loy, deceased, to Indian Creek Ranch, L.L.C. (signed by Georgia Frontiere) in April 2005 for \$1,150,000. The improvements for this property show a 2,741 square foot single family residence (a 1,705 square foot home built in 1944, with a 1,036 addition built in 1987 and a 672 square foot attached garage), a 960 square foot affixed mobile home built in 1971, a 620 square foot enclosed mobile home yard built in 1993, a 9,400 square foot two-story retail store built in 2007 and a residential yard including a 1,575 square foot detached storage shed and a 1,600 square foot detached garage both built in 1985. The 2,741 square foot residence was originally a 1,705 square foot residence built in 1944 with a 1,036 square foot addition built in 1987 and a 672 square foot attached garage not included in the total.

Sale of parcel 407-05-018Q, 10020 E. Greenfield Road (same as Priscilla Lane) by Shirley Jackman (signed by her brother, Robert G. Loy) to Indian Creek Ranch in August 2007 for \$450,000. The improvements shown for this property include two homes, one a 2,118 square foot with a 576 square foot attached garage, with no date specified and the other a 1,191 square foot house original 1900, E. A. 1951 and update estimated 1964, with no water or septic and floor and foundation issues with an inferior roof. Shirley was the daughter of Edward and Priscilla Loy; she died in 2011.

A Quit Claim Deed dated December 10, 1951, between Jess Edward Self and Sylvia Pearl Self, his wife; Fred Hart Jr. and Clara Hart, his wife; Joseph L. Lay and Inez M. Lay, his wife; and Linn V. Derrick, a widower; all of Cornville; Fred Hart Sr. and Nellie M. Hart, his wife of Sedona; Lena Rosenauer the former Madge Bunch, unmarried, of Cottonwood, Grantors and William Bunch, a widower, of Cornville, the Grantee, for \$1 and other good and valuable consideration, a tract of land in the SE1/4SW1/4, Section 10, T15N4E comprising 12.39 acres or less and conveyed with all improvements thereon and all existing water rights and subject to any and all rights-of-way, easements, etc. as of record.

A joint tenancy deed dated September 12, 1972 shows Vira Derrick (wife of Vinn Derrick) selling ½ acre in SW1/4 of Section 10 to Justin L. and Carol Jean Elmer.

*From Yavapai County GIS Mapping System:*



**In Summary:**

William Powell obtained a land patent for the NW1/4 of Section 10, T15NR4E, 160 acres, on April 21, 1888 for a cash payment of \$200. He sold this land to Cary Burch Fain, wife of William Marion Fain, on July 23, 1889 for \$2,250. The purchase included a 1/3 interest in the Lower Oak Creek Irrigation Ditch. The Fains lived on the property until William's death in 1912 and Cary sold the 160 acres and the 1/3 interest in the ditch to Warren Cluff on December 26, 1916 for \$8,500. Warren Cluff sold the 160 acres and 1/3 interest in the ditch to Major Wilmot Whitworth Midgley and his wife, Lulu, on December 11, 1917. Major Midgley and his wife sold the S1/2 west of Oak Creek to Frank Gyberg after WWI and the N1/2 west of the creek to Joseph T. and Katherine Greenwell and E. R. Abell on March 23, 1921. E. R. Abell sold his interest to Joseph T. and Katherine Greenwell on September 12, 1922. The Greenwells started subdividing the property between family members and from there selling to others until today when there are more than 25 parcels on the original N1/2 west of Oak Creek, that was at one time owned by the Greenwell family, Virginia Loy's parents and grandparents. Frank and Louise (Frank's wife) Gyberg held on to the S1/2 west of the creek until Frank's death. Louise Gyberg sold the ranch to B D Ranches, Inc. (Arthur D. Copping) in 1971. The north 40 acres were subdivided into 5 parcels & changed hands numerous times. By

1999 Indian Creek Ranch owned 4 of them. The Loy family continued to own much of the N1/2 of the SW1/4 until 2007.

**Old Loy Place** – William and Nellie’s home. Although this house is clearly visible from Loy Road, the Yavapai County GIS Mapping System does not include it on parcel number 407-05-018P and therefore, has no information on when it was built or how big it is. The Site Plan for Indian Creek Ranch on file with the county clearly shows it as being on this parcel but very close to the property line of parcel number 407-17-033K. The Yavapai County GIS Mapping System does not include the structure on this parcel either. Robert Loy mentioned the old Loy house belonged to the Copples and William bought it and moved it to their place. It appears to be of board and batten constructions with a tin roof.



**Ed and Priscilla Loy’s home** – Located at end of Priscilla Lane. Robert Loy told me: The Ed Loy house was originally the 1<sup>st</sup> house on Sexton Ranch Road and they moved it to by the creek where it still is now. The Ed Loy house was board and batten on the outside and wallpaper on the inside with no studs or inside walls. In 1948, Robert was working in the mine (until 1948), so was Gene. Gene decided to rock up the house, then Dick and Ed finished the job. Dan mentioned the interesting rock used on the fireplace, it has fern fossils in it. Yavapai County records say that the house was built in 1900, improved in 1964 and that it is 1,191 square feet. The county also says it does not have water or septic. The house next to this one is a 2,118 square foot with a 576 square foot attached garage, with no date specified by the county. Shirley Loy Jackman used to live in this house and it is said the Earl Weatherwax now lives there. Unfortunately, there was no photo available of the old rock house, but you can see the roof line on Google Maps:



**Loy barn** – All Loys owned and used. Ed and Lindsay built it. Yavapai County records show barn was built in 1934 and that it is 3,060 square feet, about 60' x 70' with about 2/3 of it dirt floor. Located on Rafter Lane, not on Indian Creek Ranch. Robert Loy told me: The smelter used to assess crop damage once a year and the family used the money from that one year to build the barn.



## Loy Family Timeline: The Family of Seven that Came to Arizona

Prepared by: Janet Cassagio, The Cornville Historical Society

As of: December 13, 2015

Jul 20, 1820	Samuel Loy is born in Hampshire County, Virginia
Sep 13, 1826	Jane Mirenda Sinnett is born in Columbus, Ohio
1849 - 1853	Samuel travels to California overland and returns by sea
1853	Samuel & Jane marry in Chariton, Missouri
Oct 9, 1856	James Loy is born in Glasgow, Missouri
Jul 24, 1858	John Loy is born in Saline, Missouri
Jul 12, 1861	William & Mary (Mollie) Loy are born in Cambridge, Missouri
Mar 5, 1864	Harriet Ann (Hattie) Loy is born in Cambridge, Missouri
Summer 1876	Family joins a wagon train going from Missouri to the Verde Valley; arrive in August but go on to Prescott for the winter.
Winter 1876 – Spring 1877	Haul freight from Prescott to the Verde Valley using the horses & wagons that came west with them. William & Hattie attend school in Prescott.
Spring 1877	Purchase unimproved land from Riley Casner at mouth of Oak Creek & begin digging a ditch. Rent & live at the Anderson place near Bridgeport.
Jun 3, 1877	Mary marries M. Conway Bristow, son of James Oliver & Sarah Bristow in Middle Verde.
1877 - 1878	William & Hattie attend school in Cottonwood with the Wingfield and Munds children.
Feb 16, 1878	Mary & Conway Bristow have 1 <sup>st</sup> child, a daughter, Martha Jane. Martha marries 3 times and has 1 surviving son.
1879	Move to the Casner place at the mouth of Oak Creek. This area becomes Aultman (Post Office established same day as Cornville, July 9, 1885).
Oct 22, 1880	Mary & Conway Bristow have 2 <sup>nd</sup> child, a son, Samuel Oliver, born in Beaver Creek.
1879 - 1885	<i>From the Verde Independent on September 6, 2012: Describing cattle interests in the Verde in 1885, "James Loy has 300 head of fine cattle from a start of four horses."</i>
Summers 1877 – late 1880s	Live, farm & ranch in Loy Canyon & Loy Butte (west of Sedona) where, according to Inez Loy Lay, "it is cooler, the water is purer & the malaria is not so bad." Also build a cabin on Woody Mountain, near Flagstaff for summer grazing.
Winters 1877 - 1888	Live, farm & ranch at the confluence of Oak Creek and the Verde River.
1880s	Inez Loy Lay says, "life is pleasant & easy... family milks cows, makes & preserves butter in summer... Samuel builds furniture in the winter." James Loy becomes a lawyer, practicing in Prescott.
Sep 25, 1882	Hattie Loy marries James Thomas Munds, son of William & Sarah Cox Munds. They met in school. William Munds obtained 3 land patents (1 south of Bridgeport & 2 on Spring Creek) between 1885 & 1893. James & Hattie begin homesteading land in Munds Park in 1883.
Nov 18, 1883	Hattie & James Munds have 1 <sup>st</sup> child, a daughter, Edna Agatha (Getha), born in Spring Creek. Getha marries Oliver Avery Benedict in 1906 & they have 5 children.
Mar 3, 1885	Hattie & James Munds have 2 <sup>nd</sup> child, a daughter, Sarah Jane (Jennie). Jennie marries David W. Wingfield in 1906 & has 2 children.
1888	Grady Loy says they moved to Oak Creek (probably the Munds ranch) in 1888 due to drought & financial depression. They give up cattle ranching.
Aug 1, 1888	James Loy marries Sallie Ballinger in Fayette, Missouri. The couple later divorces.
Feb 11, 1889	William Loy marries Eleanor (Nellie) Carrier, daughter of Dr. Myron A. & Harriet Lindsay Carrier in Cherry, Arizona.
Mar 17, 1889	Mary & Conway Bristow have 3 <sup>rd</sup> child, a son, Grover Daniel, born in Aultman, Arizona. Grover Daniel dies January 23, 1907 in Prescott, Arizona.
Sep 16, 1889	James & Sallie Loy have a daughter, Ruby Mae Loy. Ruby marries Elmer Murray Jacquemin & has 2 sons.
Dec 16, 1889	James T. Munds obtains a land patent for 80 acres in what is now Hidden Valley. The couple uses this property 5 months a year (winters) & the other 7 months (summers) in Munds Park on a homestead they started in 1883.
Jan 26, 1890	William & Nellie Loy have 1 <sup>st</sup> child, a daughter, Inez Marion, born in Aultman. Inez marries Joseph Lewis Lay, son of Elijah & Mary Lay, in 1906 & they have 7 children. Elijah Lay obtained a land patent near Page Springs Road (just north of Jesse Derrick) in 1891; his brother John D. Lay obtained a land patent just north & west of him in 1899.
Sep 1892	James T. Munds dies in an accident at his home in Munds Park. Hattie sells the cattle & turns to farming.

Jan 3, 1893	William & Nellie Loy have 2 <sup>nd</sup> child, a son, Myron Samuel, born in Oak Creek. Myron marries Frieda Schuerman, daughter of Henry & Dorothy Schuerman, in 1924 & they have 2 children.
Mar 21, 1893	John Loy sells ranch at mouth of Oak Creek (in Aultman) to James & Mary Human. Some time later they sell it to Conway & Mary Bristow, then they sell it to John Loy in 1911 & he sells it to James & Mary Human 9 days later.
1893	John Loy arrives in Munds Park to help his sister, Hattie, with her farm & he homesteads a farm west of her property. He also enlists help to build Munds Trail (later named Schnebly Hill Road) to get a shorter route from Flagstaff to Jerome, through the Verde Valley. Coconino County makes this official road in 1902.
Feb 12, 1894	Jane Sinnett Loy dies in Oak Creek (Spring Creek).
1894 – 1902	Samuel, William, Nellie & family move back to Aultman to the “Middle Verde” ranch. The 1900 census says they live in Middle Verde & in an interview with Lindsay Loy in 1982 he says he was born on the “Middle Verde” ranch located below the O.K. Ditch in 1901. Yavapai records show James buys land in Middle Verde in 1895; sells it to William in 1901. William & Nellie sell it to Everett A. Jordan in 1902. William & Nellie move the family to Upper Oak Creek.
Sep 15, 1896	Mary & Conway Bristow have 4 <sup>th</sup> child, a son, Clyde Merrill, born in Camp Verde. Clyde marries Ilese Campbell; they have 2 children who die young. Clyde, a mounted customs inspector, is murdered in Nogales in 1932.
Sep 20, 1896	William & Nellie have 3 <sup>rd</sup> child, a son, Edward Anson, born in Aultman. Edward marries Priscilla Graves in 1921 & they have 5 surviving children.
1898 - 1900	James Loy is elected District Attorney for Coconino County. He has a building constructed on Leroux St. in Flagstaff in 1897.
Mar 29, 1901	Samuel Loy dies in Cornville (although this is probably Middle Verde).
Aug 30, 1901	William & Nellie have 4 <sup>th</sup> child, a son, Lindsay Felix, born at Middle Verde ranch. Lindsay marries Henrietta Smith, a widow of James A. Smith with 4 children.
Apr 17, 1902	James Loy marries Mary Dillon Culp. The couple divorce in 1918.
1905	Hattie Loy Munds marries James Henry (Hank) Wingfield. Hank is a widower with 4 surviving children (born between 1871 and 1890).
Jun 21, 1906	James & Mary Loy have a son, James Dillon Loy. James Dillon marries Verna & has 2 children in Los Angeles, California.
Dec 23, 1906	William & Nellie’s daughter, Inez marries Joseph Lewis Lay.
Jul 20, 1907	William Loy buys 80 acres just south of Page ranch, from Joseph T. & Sarah Jane (Lay) Farley for \$700. This land was patented by Marion Fry on March 1, 1904.
Apr 6, 1909	John Loy marries Cornville teacher, Miss Bertie Toole at home of Mr. & Mrs. J. O. Hart in Cornville.
Aug 16, 1910	William Loy sells the 80 acres just south of Page ranch to Minerva Brown for \$2,500.
1910 - 1917	William & Nellie move to Sedona, along with Joe & Inez Lay, to take care of Joe’s uncle Johnnie’s wife, Aunt Mack & to run the post office. Dates are estimates. Dick Loy says family spent a few years in Sedona & then returned to Cornville, but next land transaction found is 1917.
May 14, 1917	Joseph and Elijah Lay buy 80 acres (the south half less top 50’ of southwest quarter of Section 10) & 1/6 interest in Oak Creek Irrigation Ditch from Thomas & Josie Hunt. Joe & Inez settle here on Loy Road for 45 years, until they retire to Cottonwood.
Jun 23, 1917	William Loy buys 80 acres (the north half plus top 50’ of south half of southwest quarter of Section 10) & 1/6 interest in Oak Creek Irrigation Ditch, from Nicholas & Carrie Schroeder for \$5,250. William & Nellie settle here on Loy Road permanently.
Dec 5, 1926	James Loy dies in Phoenix, Arizona.
Sep 24, 1927	John Loy dies in Camp Verde, Arizona. His wife, Bertie, dies on February 24, 1926.
Jun 29, 1932	William Loy dies in Cornville, Arizona. His wife Nellie continues to live in Cornville until she dies on April 15, 1945.
Dec 4, 1937	Mary Loy Bristow Brown dies in Prescott, Arizona. After her husband M. Conway Bristow dies in 1918, she marries Edward Brown; he dies in 1936.
Mar 11, 1953	Hattie Loy Munds Wingfield dies in Cottonwood, Arizona. Her 2 <sup>nd</sup> husband, James Henry Wingfield dies in 1926.



**James Loy**  
1856–1926



When James Loy was born on October 9, 1856, in Glasgow, Missouri, his father, Samuel, was 35 and his mother, Jane, was 30. He married Sarah Eliza Ballinger and they had one daughter together. He then married Mary Ann "Mollie" Dillon and they had one son together. He died on December 5, 1926, in Phoenix, Arizona, at the age of 70, and was buried in Apache, Arizona.



**Ruby Mae Loy**



**James Loy**



**Samuel Loy**



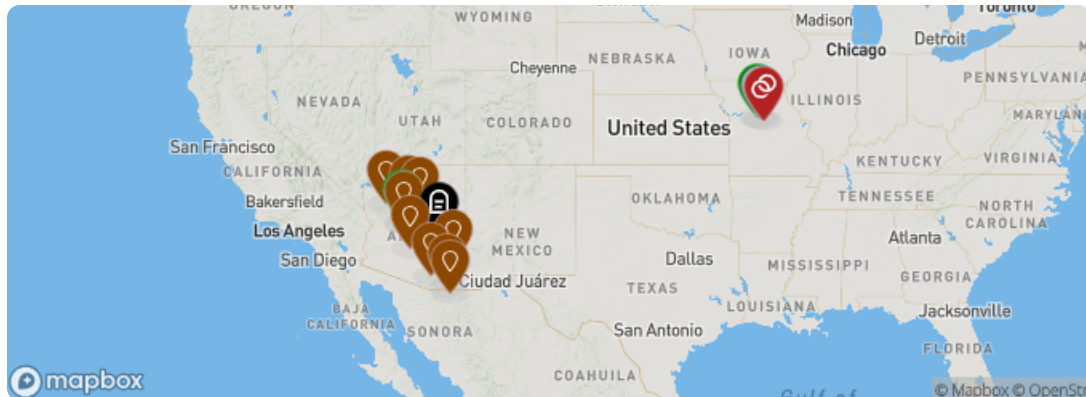
**Sarah Eliza Ballinger**



**Jane Mirenda Sinnett**



**Click to see map**



**Birth**

James Loy was born on October 9, 1856, in Glasgow, Missouri, to Jane Mirenda Sinnett, age 30, and Samuel Loy, age 35.

9 October 1856 • Glasgow, Howard County, Missouri USA



**Birth of brother**

His brother John J C was born on July 24, 1858, in Glasgow, Missouri, when James was 1 year old.



**John J C Loy**  
1858–1927

24 July 1858 • Glasgow, Howard County, Missouri, USA

1860

## Residence

James Loy lived in Cambridge, Missouri, in 1860.

1860 • Cambridge, Saline, Missouri

---

1861

## Birth of brother

His brother William M was born on July 12, 1861, in Yavapai, Arizona, when James was 4 years old.



**William M Loy**  
1861-1932

July 12, 1861 • Aultman, Yavapai County, Arizona Terr. USA

---

1861

## Birth of sister

His sister Mary was born on July 12, 1861, in Cambridge, Missouri, when James was 4 years old.



**Mary Loy**  
1861-1937

12 July 1861 • Cambridge, Saline County, Missouri, USA

---

1864

## Birth of sister

His sister Harriett Ann was born on March 5, 1864, in Glasgow, Missouri, when James was 7 years old.



**Harriett Ann Loy**  
1864-1953

5 March 1864 • Glasgow, Howard County, Missouri, USA

---

1870

## Residence

1870 • Jefferson, Saline, Missouri

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1880

## Residence

James Loy lived in Yavapai, Arizona, in 1880.

1880 • Yavapai, Arizona, United States

---

1885

**James and Samuel Loy file brands in Yavapai**

"Pedestrian excursions" is the latest "gag" for leaving the country on Shank's mare.

"The." Eggers, will, it is said, fill the position of Circular General to the new skating rink.

J. A. and Lee Mahan, of Beaver Creek and Samuel and James Loy, of Oak Creek, have filed their respective brands with the County Recorder.

Billy Holden contemplates embarking in the book canvassing business. If a cast-iron cheek is of any benefit in such a line of business, Billy will undoubtedly succeed.

The City Council met at 1 p. m. to-day as a Board of Equalization, but adjourned

1885-04-10 • Prescott, Arizona

1885

**Newspapers.com - The Weekly Arizona Miner - 10 Apr 1885 - Page 3**

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10 Apr 1885

1887

**James Loy accused of drawing a gun on Lockwood**

success of the fair last year, have been re-elected. John A. Lee, president and Jesse M. Wheelock secretary.

The case of the territory against James Loy charged with drawing a pistol on W. E. Lockwood, which has already been tried twice, the jury disagreeing both times, has been dismissed at the request of the prosecutors attorney. A cross charge brought by Loy against Lockwood was also dismissed in the same manner.

Don't fail to try P. J. Brannen's Peerless brand of coffee. It is an exquisite combination of the finest Java

9 Apr 1887 • Peach Springs, Arizona

---

1888

**James Loy suit against W. E. Lockwood**

No 1491. Referred. Esser vs Esser; John Howard for plaintiff.

No 1496. John Clark vs A M B R R Co et al; Herndon & Hawkins for plaintiff; Wilson & Norris for defendant.

No 1502. James Loy, plaintiff and respondent, vs W E Lockwood, defendant and appellant, on appeal from probate court; E M Sanford for plaintiff, T G Norris and Herndon & Hawkins for defendant.

No 1504. T H Rumsey, administrator, vs A M B R R Co; E M Sanford for plaintiff, Wilson & Norris for defendant.

No 1506. Kennedy & Holtzman v A M B R R Co; Herndon & Hawkins

30 May 1888 • Prescott, Arizona

---

## 1888 Marriage

James Loy married Sarah Eliza Ballinger in Howard, Missouri, on August 1, 1888, when he was 31 years old.



**Sarah Eliza Ballinger**

1867-1944

1 August 1888 • Howard County, Missouri, USA

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## 1888 Marriage

James Loy married Sarah Eliza Ballinger in Howard, Missouri, on August 1, 1888, when he was 31 years old.



**Sarah Eliza Ballinger**

1867-1944

1 August 1888 • Howard County, Missouri, USA

---

## 1889 Birth of daughter

His daughter Ruby Mae was born on September 16, 1889, in Prescott, Arizona.



**Ruby Mae Loy**

1889-1988

16 September 1889 • Prescott, Yavapai County, Arizona, USA

---

## 1891 James Loy as juror

plaintiff.  
 Territory vs Lauterio Aguilar;  
 assault with intent to commit murder on the person of Chas. McRea. The following jury was impaneled to try the case: E. M. Jennings, Wm. A. Deering. I. P. Burnett, Richard DeKuhn, Joseph Dickson, John C. Duff, G. S. Ferguson, H. L. Boetcher, B. A. Hussey, James Loy, Grant Carter, G. W. Kirkland. Case tried and argued and submitted to the jury at 9 o'clock p. m.  
 Adjourned until 10 o'clock a. m. Friday.  
 FRIDAY, June 12.  
 MORNING SESSION.

17 Jun 1891 • Prescott, Arizona

---

## 1894 James Loy, rookie attorney, early case

is expected in Prescott soon to register, chinese.

The JOURNAL-MINER has no fault to find with treatment received from the year 1893. It has proven a good friend.

James Loy, the recently admitted attorney has been appointed to defend Simmons and Tucker, accused of selling whisky to Indians.

H. T. Andrews will resign as justice of the peace of Prescott precinct and James Loy is an applicant for the position.

Watch the old year out and the New Year in at the M. E. Church

3 Jan 1894 • Prescott, Arizona

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## 1894 Occupation

Admitted to the practice of law in Arizona.

3 January 1894 • Prescott, Yavapai County, Arizona Territory, USA

---

## 1894 Death of mother

His mother Jane Mirenda passed away on February 2, 1894, in Yavapai, Arizona, at the age of 67.



**Jane Mirenda Sinnett**  
1826-1894

2 February 1894 • Oak Creek, Yavapai County, Arizona, USA

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1895

## Ashurst v. Willard

Doe, R E Morrison.  
 W E Hazeltine vs Yavapai county, answer—Johnston & Sloan, R E Morrison.

Geo H Schuerman vs C Anderson, answer—Andrews & Ling, Johnston & Sloan.

W H Ashurst vs C D Willard et al —James Loy, Herndon & Norris motion dissolved atta—demurrer.

Samuel Hill vs Morning Glory M & M Co, answer—Andrews & Ling, James H Wright.

Geo W Henry vs Joseph Mayer et al, answer—W H Barnes & J F Wilson, Andrews & Ling & Herndon & Norris.

A E Smith vs Gilbert D Johnson

29 May 1895 • Prescott, Arizona

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1895

## Newspapers.com - Weekly Journal-Miner - 29 May 1895 - Page 2

DOE, R E MORRISON.  
 W E Hazeltine vs Yavapai county, answer—Johnston & Sloan, R E Morrison.

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A E Smith vs Gilbert D Johnson

29 May 1895

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1896

## James Loy runs for Coconino County DA

I. E. Fulliam and Charles Broyles are candidates for recorder before the democratic convention. The republicans so far have no candidate for this office.

The district attorney office will be contended for by J. E. Jones and James Loy in the democratic convention. E. S. Clark will be the choice of the republicans.

N. G. Layton is the only republican candidate for the office of probate judge. The democrats have not yet suggested a candidate.

The important office of member of

10 Sep 1896 • Flagstaff, Arizona

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1896

## Divorce

James Loy and Sarah Eliza Ballinger were divorced on September 30, 1896, in Flagstaff, Arizona, after 8 years of marriage. He was 39 years old.

District Court, Judge Owen T. Rouse



**Sarah Eliza Ballinger**  
1867-1944

30th September 1896 • Flagstaff, Coconino County, Arizona Territory, USA

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1896

**Loy (James and Sarah) Divorce 1 Oct 1896**

Company—Judgment for plaintiff in the sum of \$22.50.

T. A. Cliff vs. A. L. Barry—Jury failed to agree.

The following divorces were granted: W. J. Gregg vs. Anna Gregg; James Loy vs. Sarah E. Loy; Thomas Simmons vs. Juanita C. Simmons; Mamie M. Duncan vs. J. M. Duncan; C. W. Doty vs. Nancy J. Doty.

The following aliens were admitted to citizenship: Chas. Knop, Andy Horson, Christ Jorgerson, Chas. A. Sparr, Matt Yost, Jake Salzman, Al-

1 Oct 1896 • Flagstaff, Arizona

1897

**Bricklaying starts on James Loy's Flagstaff Office**

railroad in a few months, but she will also have a smelter.

Dr. Perrin, a large sheep grower of Williams, was looking after business matters here Monday.

Attorney James Loy will soon have a neat brick office. The brick masons commenced laying brick this week.

When in need of a hat you can get a better selection in quality, style and price at the Cash Store than elsewhere.

The Santa Fe Pacific railroad company are arranging to move the divis-

18 Nov 1897 • Flagstaff, Arizona

1898

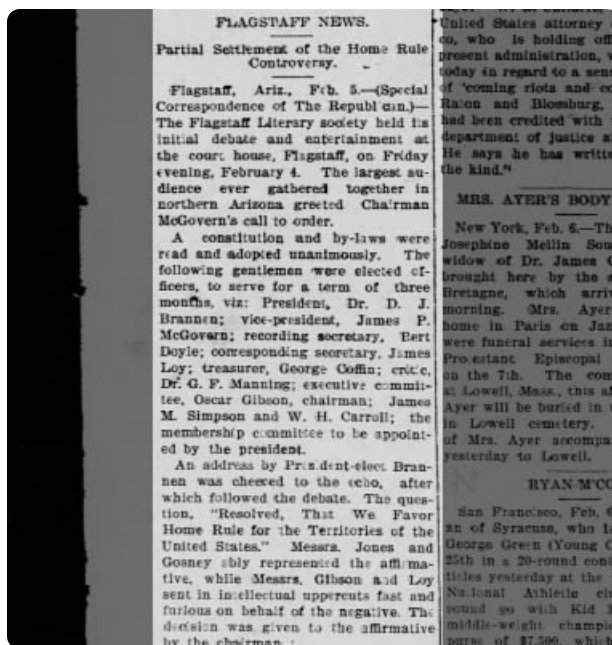
## James Loy and the Flagstaff Literary Society



5 Feb 1898 • Flagstaff, Arizona

1898

## The Flagstaff Literary Society



7 Feb 1898 • Phoenix, Arizona

1900

## James Loy Coconino AG Salary from budget

BOARD OF SUPERVISORS.	
The Board of Supervisors held their second quarterly meeting on Monday. There were present J. C. Phelan, J. B. Jones, T. E. Pulliam, clerk.	
The following claims against the county were allowed:	
W. S. Robinson, county physician	\$ 112 50
Babbitt Bros., supplies	44 35
Babbitt Bros., interest certificates	352 39
Babbitt Bros., supplies	34 70
Babbitt Bros., burying pauper	22 00
Babbitt Bros., furniture Assessor's office	48 50
Babbitt Bros., supplies	22 05
James Loy, salary	312 50
James Loy, expenses District Attorney's office	177 50
H. W. Cone, constable fees	52 60
H. E. Brooks, justice fees	123 75
A. L. & T. Co., lumber	29 67
J. F. Hawks, meals prisoners	408 80
J. F. Hawks, care indigent sick	297 04
A. G. Rounseville, professional services	25 00

7 Apr 1900 • Flagstaff, Arizona

1900

## Coconino D A James Loy on tax fact finding junket

the interest of the ladies to reserve orders for Mrs. Lobdell. \*

James Loy, district attorney, accompanied by Fred Bunker, left Monday on a trip to Tuba City, Fredonia and that portion of Coconino county lying north of the Colorado river. The trip is made for the purpose of finding out the amount of taxable property in that section, and Mr. Loy expects to make a handsome increase in the tax roll, and to add a considerable sum to the cash in the County Treasurer's office from unpaid taxes on property in that section of the country.

23 Jun 1900 • Flagstaff, Arizona

1900

## Residence

James Loy lived in Flagstaff, Arizona, in 1900.

1900 • Flagstaff, Coconino County, Arizona Territory, USA

1901

## Death of father

His father Samuel passed away on March 29, 1901, in Cornville, Arizona, at the age of 79.



**Samuel Loy**  
1821-1901

29 March 1901 • Cornville, Verde Valley, Yavapai County, Arizona, USA

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1901

## James Loy claims land



17 Jul 1901 • Prescott, Arizona

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1901

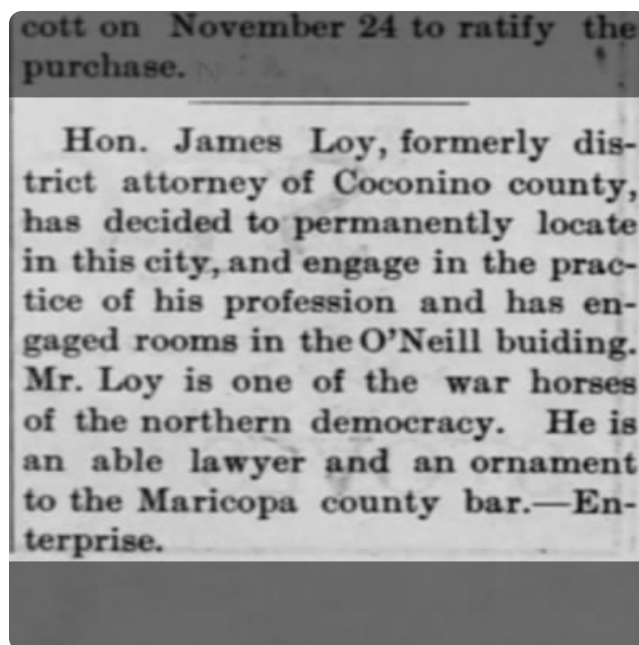
## James Loy land claim



17 Jul 1901 • Prescott, Arizona

1901

## James Loy moves to Phoenix



9 Nov 1901 • Williams, Arizona

1901

## Move to Phoenix and New Offices

Chance mine in the Grand Canyon this week and says that work on the mine has developed large bodies of ore which the former owners believed existed there.

Hon. James Loy, formerly district attorney of Coconino county, has engaged rooms in the O'Neill building and will locate in Phoenix. Mr. Loy is known as an able lawyer and will practice his profession here.—Gazette.

Harry Hoxworth and family left yesterday morning for Agua Caliente, where they will spend the winter. Mr. Hoxworth intends to develop his mining claims and has engaged E. A. Baker

9 Nov 1901 • Flagstaff, Arizona

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1902

## Marriage

James Loy married Mary Ann "Mollie" Dillon in Phoenix, Arizona, on April 17, 1902, when he was 45 years old.



**Mary Ann "Mollie" Dillon**

1873–1956

17 April 1902 • Phoenix, Maricopa County, Arizona Territory, USA

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1902

## Humorous account of James & Mary Loy's engagement

the mountain and others are still in the Verde valley. They claim that the season in the south has been a bad one for sheep.

It is reported on good authority that James Loy, formerly district attorney of Coconino county, has filed a lien on a mate in Phoenix, and has replevied a valuable assortment of bliss, and expects to detain'er if possible. And you can mandamus if it isn't so.

Through the efforts of W. D. Powell, president of the Black Rock Gold and Copper Company, additional copper claims have been added to those already

3 May 1902 • Flagstaff, Arizona

1903

## James Loy visits Tucson

He is described as a "well known" Flagstaff Politician.

Captain Thomas J. Roush, it is learned, has retired from the customs service and has gone into business in Chicago. The captain has been in the service many years, being stationed at Nogales, Tucson and Deming in recent years.

James Loy, a former well known politician of Flagstaff, is here from Phoenix.

Frank Proctor is now making his headquarters at the San Rafael ranch at Lochiel, Santa Cruz county.

Captain C. B. Kelton left this morning for Tombstone to see how matters are going on at the Old Glory mines, which he bonded several months ago.

15 Dec 1903 • Tucson, Arizona

1903

## Residence

James Loy lived in Phoenix, Arizona, in 1903.

1903 • Phoenix, Arizona, USA

1904

**James Loy vs Kloss**

warded to St. Louis.—Courier.

In the district court yesterday, suit for \$1800 was filed by James Loy against David Kloss. This sum is alleged to be due by Loy for attorney's fees, earned by acting as the attorney for the defendant in a number of cases, the service extending over considerable time. The services, he claims, were reasonably worth \$2000, and Kloss has paid him on account \$120.—Phoenix Gazette, March 15.

Arizona is to have a theatrical

19 Mar 1904 • Williams, Arizona

---

1904

**James Loy vs David Kloss over unpaid legal fees**

warded to St. Louis.—Courier.

In the district court yesterday, suit for \$1800 was filed by James Loy against David Kloss. This sum is alleged to be due by Loy for attorney's fees, earned by acting as the attorney for the defendant in a number of cases, the service extending over considerable time. The services, he claims, were reasonably worth \$2000, and Kloss has paid him on account \$120.—Phoenix Gazette, March 15.

Arizona is to have a theatrical

19 Mar 1904 • Williams, Arizona

---

1905

## James Loy visits Phoenix from Prescott on business

**Here from Wickenburg.**

Frank Howard, an old time resident of this county, is here on a visit from the Wickenburg section.

**On Professional Business.**

Attorney James Loy of this city left on the southbound for Phoenix last evening on a professional visit.

**It Was Needed.**

A new sidewalk has replaced the old one along Goodwin street, fronting the lots east of the Fashion Stables.

18 Oct 1905 • Prescott, Arizona

1906

## James Loy Purchase and Sale of Property to Sister

Boile mine, Hass dist.

L. T. Smith and wife to C. Bristow and S. O. Holsapple, w. deed, \$1,000, N. hf. of SW qr., SE qr. of SW qr., and SW qr of NW qr. sec. 3, 13 N., 2 E.

S. O. Holsapple to James Loy, w. deed, \$500;; ; 1-2 int. in same property.

James Loy and wife to Conway Bristow and wife, w. deed, same property.

Edmund and Maud E. Owens incorporate the Union Congregational

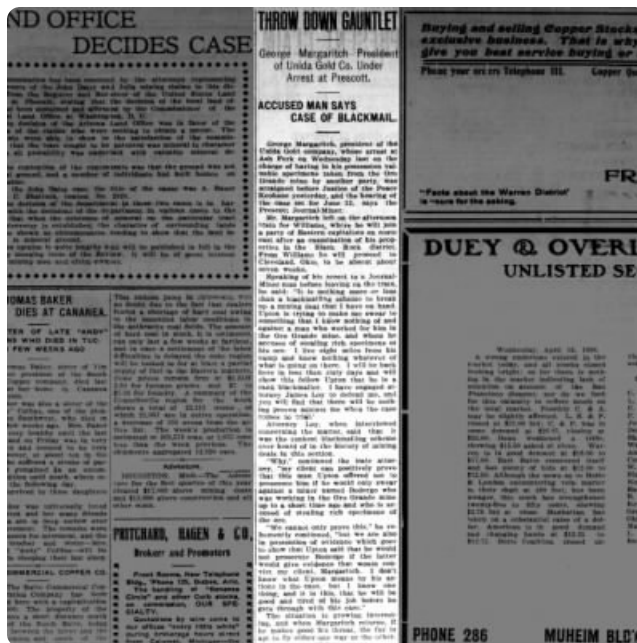
11 Apr 1906 • Prescott, Arizona

1906 Margaritch extortion case



18 Apr 1906 • Prescott, Arizona

1906 Extortion case handled James Loy



19 Apr 1906 • Bisbee, Arizona

1906 Birth of son

His son James Dillon was born on June 21, 1906, in Arizona.

 **James Dillon Loy**  
1906-1976

21 June 1906 • Arizona, USA

1909

## James Loy finds rich ore in Crown King



1 Aug 1909 • Bisbee, Arizona

1909

## James Loy finds rich ore in Crown King



1 Aug 1909 • Bisbee, Arizona

1910

# Loy Cleary Debate



7 Sep 1910 • Prescott, Arizona

1911

# James Loy runs for Superior Court Judge



11 Oct 1911 • Prescott, Arizona

1911

## James Loy's speech on Judicial recall

and again at the same place last night.

One of the interesting features of the meeting last night was the fact that James Loy, a prominent democrat, made a speech in which he outlined the policy of the democratic party regarding the recall of the judiciary. It is the opinion of G. W. Hill and S. L. Milner that if Mr. Loy correctly represented the democratic idea on that subject, that it "needs fixing." And they authorized the Journal-Miner reporter to say that if the democratic position was

22 Nov 1911 • Prescott, Arizona

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1912

## A criminal case handled by James Loy

Weekly Journal Miner Page 5

Clair, robbery, Attorney James Loy  
 Louis Green, robbery, who refused  
 counsel.  
 Henry Moore, robbery, Attorney  
 J. E. Russell.  
 Jose Lopez and Gabriel Lopez,  
 robbery, Attorney R. P. Talbot.  
 Samuel Escanante, robbery, At-  
 torney James Loy.  
 Charles Fulton, forgery, who re-  
 fused counsel.  
 Arthur King and James Pigg,  
 burglary, Attorney Richard Lamson

**TO ENTER**

24 April 1912 • Prescott, Arizona

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1912

## Lawsuit against James Loy

James Loy was sued by Clarence Williams

missed by agreement of counsel for plaintiff and defendant.

The case of Burton Jones vs. the Arizona Power company, was ordered placed on the calendar and the trial set for May 3.

The case of Clarence Williams vs. James Loy, was placed on the calendar and the trial set for May 3.

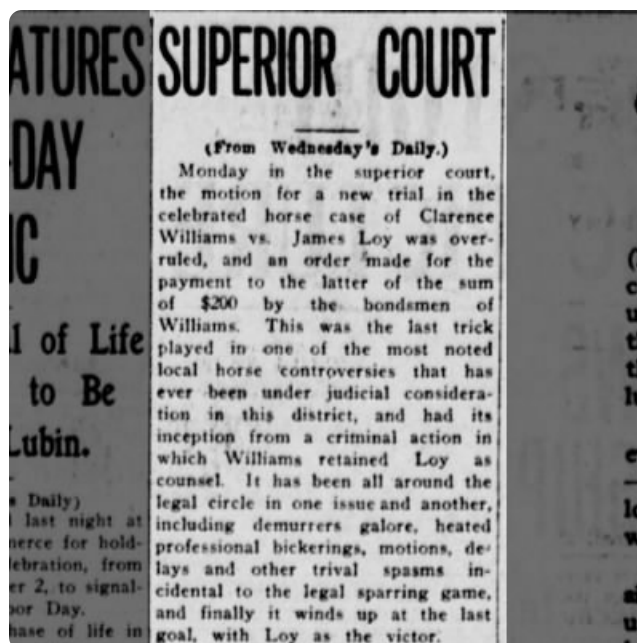
The case of Joe Larson vs. G. W. Hull, was placed on the calendar and the trial set for May 4.

In the case of J. T. Dowdy and E. L. Gibson vs. Edward Zeiger, Judge Smith made an order that some su-

1912-05-01 • Prescott, Arizona

1912

## James Loy vs Clarence Williams final



24 Jul 1912 • Prescott, Arizona

1912

# James Loy prevails over Clarence Williams in suit

It was a suit over an unpaid legal fee.



31 Jul 1912 • Prescott, Arizona

1913

# Mary Loy leads a protest against cap punishment



14 May 1913 • Prescott, Arizona

1913

### Mary Loy petitions for anti capital punishment

Total receipts for April, 1913 .....\$464.40

It appearing to the Board that a semi-monthly pay-day is required by the Laws of the State of Arizona for all County employees, it was ordered that the first and third Mondays of each month be designated as regular pay days for employees of Yavapai County.

It was ordered by the Board that 13-24 of the Nancy patented mine, \$320, and 1-3 of the Chautauqua patented mine, \$195, situated in the Verde mining district, be stricken from the assessment of L. Gadette, and assessed to unknown owners, the same not being the property of Mr. L. Gadette, and that the Treasurer refund the sum of \$1442 to Mr. Gadette, account erroneous assessment.

Mr. John S. Jones appeared before the Board in the matter of a reduction of his taxes, and the matter was taken under consideration by the Board, no action being taken at this time.

It was ordered by the Board that the Treasurer refund to Malcolm A. Fraser the sum of \$268, on account of erroneous assessment on Lot 14, Block 8, East Prescott.

Mrs. James Loy appeared before the Board and asked for the use of the Court room for the purpose of holding a mass meeting for protest against capital punishment. Mrs. Loy was requested by the Board to take the matter up with Superior Judge F. O. Smith.

The report of P. J. Farley, Clerk of the Superior Court, for fees collected during the month of April, 1913, totaling \$353, was checked, found to be correct and ordered filed.

The report of J. M. W. Moore, Justice of the Peace, Prescott Precinct, for the month of April, 1913, was checked, approved and ordered filed.

The report of B. R. Marks, Justice of the Peace, Crown King Precinct, for the month of April, 1913, was checked, approved and ordered filed.

The report of Chas. H. McLane, Justice of the Peace, Prescott Precinct, for the month of April, 1913, was checked, approved and ordered filed.

The report of Harry T. Southworth, County Physician, for the month of April, 1913, was received, approved and ordered filed.

The appointment of A. L. Jones by P. J. Farley as Deputy Clerk of the Superior Court, was approved and confirmed by the Board.

The appointment of N. A. Vyne by L. S. Colwell as registration officer, was approved and confirmed by the Board.

The resignation of David Foley as Justice of the Peace, McCabe Precinct, was received and accepted by the Board.

21 May 1913 • Prescott, Arizona

1914

### James Loy caught in a small pox Quarantine

Consistent in bringing the two...  
 The treaty was finally...  
 It is claimed by the United...  
 government in 1854 after the...  
 of Cochise. Up to this time...  
 Jeffords had been appointed...  
 agent for the Apaches through...  
 office of General Howard and...  
 until the treaty between...  
 him and the government in...  
 when he resigned his position...  
 General Miles took command...  
 forces for his campaign against...  
 in 1855 he enlisted the...  
 of Jeffords and he served...  
 a time in that campaign as...  
 major and courier. For three...  
 years he was post...  
 at Fort Huachuca. Later, by...  
 the suggestion of his friend...  
 H. H. Head, about 25 miles north...  
 and has not been seen...  
 since by his friends.

Historic writings of the 1890...  
 article offered by General...  
 for the bringing in of Co...  
 1871 by Captain Jeffords was...  
 first meeting by H. Harrison...  
 H. knows nothing more, who...  
 the first witness at Magda...  
 le. Harrison was at that time...  
 at Fort McKee near Canonada...  
 about 100 miles west of...  
 N. M. He knew Captain...  
 well having first met him in...  
 Indians had been ordered to...  
 go to Canonada. Almonson...  
 and stayed but Coehline had...  
 out. Crews offered a prize...  
 to anyone who could bring...  
 in.

That night while sleeping Harrison...  
 dreamed in Jeffords and the...  
 company with several others...  
 on their trip to the camp of Coehline...  
 efforts persuaded Coehline to...  
 go, promising that there were...  
 miners in Canonada. Almonson...  
 agreed, but when they next

**PRESCOTT LAWYER IS QUARANTINE VICTIM**

Gees To Collect Debts But Falls Into Smallpox Scare Instead

(Special to The Republican)

PRESCOTT, Feb. 23.—Imprisoned in a room at a hotel immediately after his arrival, altercation with all of the town authorities, treated to an anesthetic bath and inoculation and finally vaccinated, all against his own wishes, are the experiences told by Attorney James Loy upon his return to this city from Wickenburg.

Loy states that he went to Wickenburg to make collections for clients of outstanding claims. He went to a hotel and obtained a room, put his papers in readiness and was ready to start his campaign when the Mayor appeared and informed him that he must stay bottled up, was under quarantine as a smallpox patient as there were four well developed cases of the disease in the building. A riotous mob followed which brought all of the town officials to his room led by the health officer.

After several hours in the room Loy effected a compromise whereby he agreed to undergo an antiseptic bath. This completed, fumigation followed, and then vaccination was insisted upon. The Prescott attorney was then permitted to go and made haste to catch the train as it was leaving the station, fearing the results of further delay in the town that had given him so much experience in preventive measures on smallpox spread.

age that may possibly be...  
 voted.

That the dam is practically...  
 an engineering standpoint...  
 cited last fall by Col. Egan...  
 president of the Southern...  
 Mexico and Arizona Eastern...  
 That it is commercially...  
 feasible is now certain. His...  
 conclusion has been checked...  
 up by other of national...  
 reputation and to be...  
 correct.

Col. Randolph and his...  
 are looking into their...  
 legal and should no serious...  
 objection or state...  
 development will proceed...  
 to finance the...  
 To do so will require from...  
 \$1 to \$20,000,000. His...  
 associate...  
 Ralph H. Cameron, former...  
 police from Arizona, then...  
 in the house of...  
 Eugene S. Ives, one of the...  
 distinguished lawyers of the...  
 Cameron lives in Phoenix,...  
 capital, Flagstaff and...  
 Tucson.

Col. Randolph will be...  
 the engineer and railroad...  
 who went to the assistance...  
 Imperial Valley of California...  
 His foundation was...  
 threatened...  
 Colorado river in 1906. A...  
 country is below sea level. It...  
 broke through its banks and...  
 the Salton Sea. Randolph...  
 it back into its proper...  
 channel...  
 carries the waters to the...  
 California.

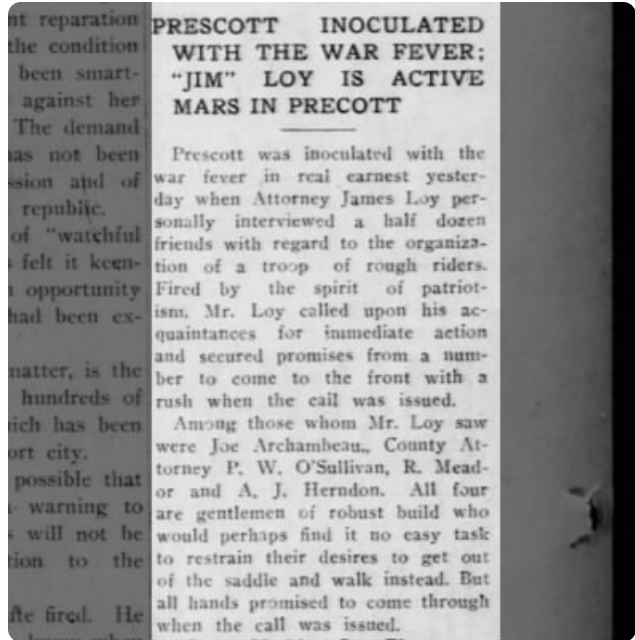
Cameron has owned a home...  
 the rim of the Grand Canyon...  
 he was a boy. It is at this...  
 point the dam will be built.

It will be of concrete...  
 as are now built. It will be...  
 a dam and the material will...  
 not be the suits of the canyon. It...  
 is not to detach great...  
 boulders by...  
 of dynamite, hurling them...

24 Feb 1914 • Phoenix, Arizona

1914

### James Loy recruits a group of rough riders for WWI

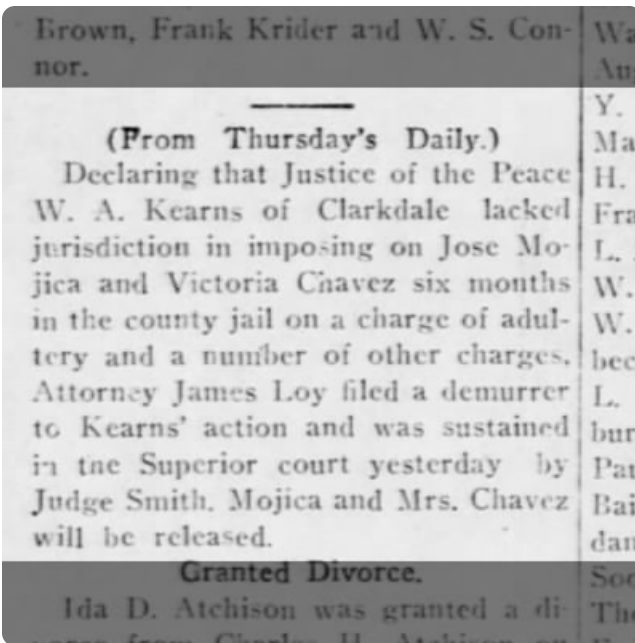


22 Apr 1914 • Prescott, Arizona

1916

### From Today's Daily

James Loy defends an adultery case.



19 Jan 1916 • Prescott, Arizona

1916

## Mary Loy visits Pheonix

(From Saturday's Daily)

**Broker Visitor.**  
Robert Zeiger, prominent broker of Jerome, was in the city yesterday on a business trip.

**Leave For Winter.**  
Mrs. James Loy and children left yesterday for Phoenix to remain for the Winter with relatives.

**Back From Coast.**  
Stanley A. Day, well known local business man, returned from San Francisco yesterday after several weeks absence.

**Going to the Fair**

15 Nov 1916 • Prescott, Arizona

1916

## Child Support action by Mary (Culp) Loy

**NON-SUPPORT OF SON  
CHARGED BY MRS. LOY**

(From Wednesday's Daily.)

The case against James Loy, local attorney, charged with non-support of James Dillon Loy, the minor son of the couple, upon complaint lodged by the wife, Mrs. Mary Loy, did not get very far along yesterday afternoon before Justice of the Peace McLane.

A few witnesses were examined, their testimony tending to show non-support of the wife. Objection was made by Robert E. Morrison, attorney for the defendant that the proof did not conform to the accusation. A continuance was granted until today, when the original hearing will go on. In the meantime an additional complaint will be lodged against Loy by the county attorney's office, charging him with non-support of his wife.

27 Dec 1916 • Prescott, Arizona

1916

## Residence

James Loy lived in Prescott, Arizona, in 1916.

1916 • Prescott, Arizona, USA



1918

# Court Calendar Date for Loy Divorce



9 Jan 1918 • Prescott, Arizona

1918

# Divorce

James Loy and Mary Ann "Mollie" Dillon were divorced on January 19, 1918, in Prescott, Arizona, after 15 years of marriage. He was 61 years old.



**Mary Ann "Mollie" Dillon**  
1873-1956

19 January 1918 • Prescott, Yavapai County, Arizona USA

# 1918 Divorce of James and Mary Dillon Loy

Mary Dillon Loy filed for divorce based on non-support. James Loy cross complained and filed for divorce based on abandonment. Jame's Loy's cross complaint was acknowledged by the court and the divorce was granted.



23 Jan 1918 • Prescott, Arizona

# 1918 James Loy defends Apache rights to buy perfume.



20 Mar 1918 • Tucson, Arizona

1918

## James Loy moves to challenge a "biased" Judge

estate of the late Joseph S. Thompson.

Alleging that Judge Sweeney was biased and prejudiced, Attorney James Loy yesterday afternoon filed a motion asking that an outside judge be brought here to try the divorce case of John Emmett vs. Alice Emmett. Attorney Loy did not go into details as to why he believed Judge Sweeney prejudiced, but the court at once named Judge Lyman of Phoenix to hear the case when it is called for trial.

### A GOOD MOVE

MOSCOW, April 6.—The British

10 Apr 1918 • Prescott, Arizona

1918

## Criticism of Loy for representing an I.W.W Member

whatever of good can be gleaned from a disaster, it is the duty of everyone to glean. Thrift is this thing, and can best be cultivated by taking advantage of the government's War Savings plan.

### BOTH SHOULD BE IMPRISONED

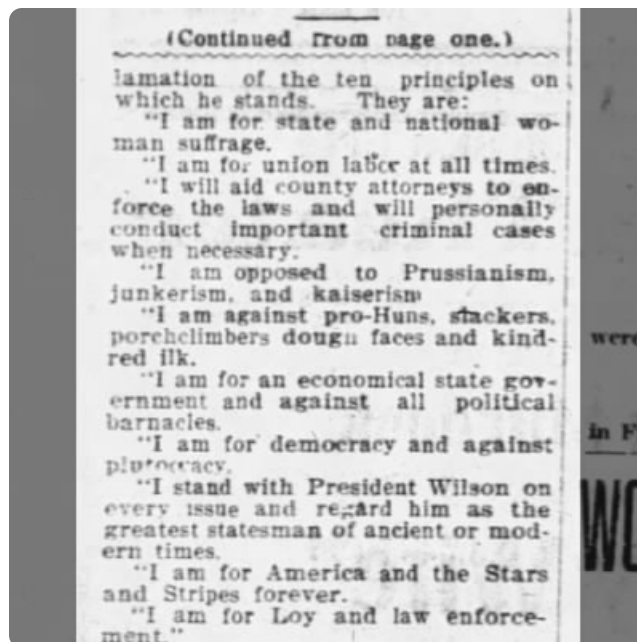
About a week ago an I. W. W. was arrested at Cottonwood, over in Yavapai county, for interfering with the operation of the Liberty loan. The man was brought before the U. S. Commissioner at Jerome and was defended by an attorney named James Loy. The defendant had told many people that the Liberty Loan was only for the rich, and as the rich had precipitated the great war it was up to them to pay for it. Loy made the statement to the court that whether the loan was good or bad was merely individual opinion, and that so far as he was concerned the Liberty Loan was unworthy of patronage. At least that is the way his remarks have been reported. Loy should have been incarcerated with his I.W.W. client. No man who expresses sentiments such as Loy expressed is a worthy citizen of the state of Arizona.—Kingman Miner.

"And they builded good roads and their people were happy ever afterwards." Especially applicable to Cochise county, where men who know how build our roads.

26 May 1918 • Tombstone, Arizona

1918

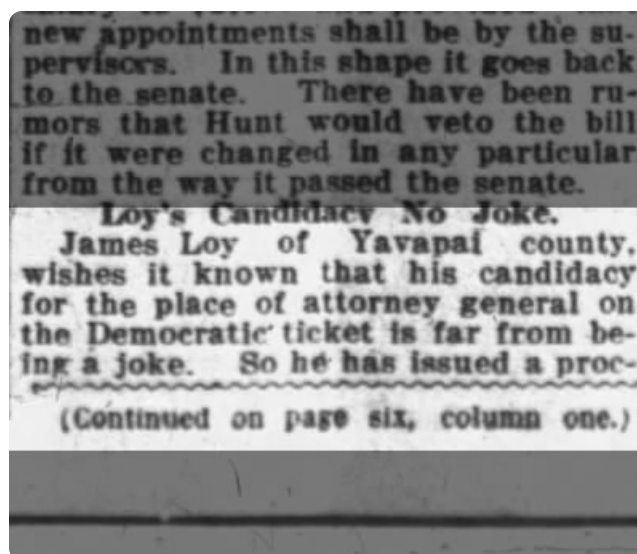
## James Loy's candidacy is no joke part II



7 Jun 1918 • Tucson, Arizona

1918

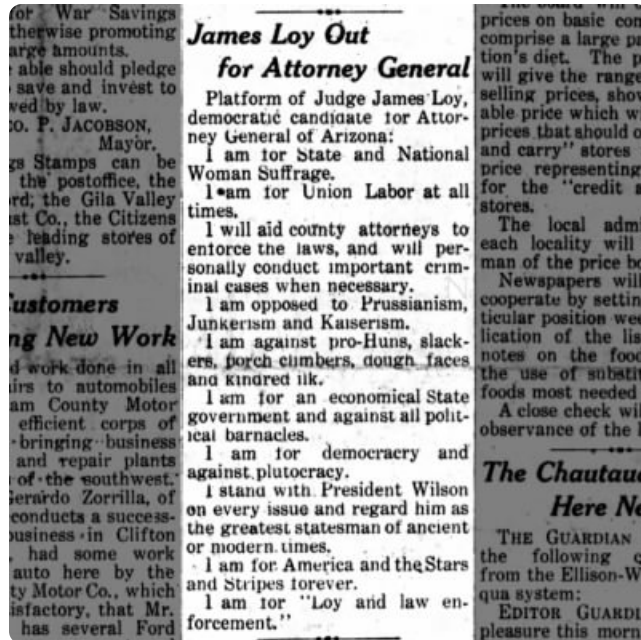
## James Loy insists his AG candidacy is no joke.



7 Jun 1918 • Tucson, Arizona

1918

### James Loy Runs for Az AG 1918



14 Jun 1918 • Safford, Arizona

1918

### James Loy kicks off his 1918 campaign for AG of Az



19 Jun 1918 • Prescott, Arizona

1918 A Jibe at Loy's and Riley's legal "license."

**FRED GARING.**  
 be a million American  
 rance by July 1st, and  
 illion more on their way.  
 d has been cranked by  
 lson to run on the Re-  
 t for United States sen-  
 r of Austria has ban-  
 ther-in-law—which goes  
 are some advantages in  
 -king, even in wartime.  
 headline in the Chicago  
 I Don't Pay more to Eat;  
 ink So." The "purely"  
 stuff seems to be hav-  
 ing here.  
 s in The Sun ads, catch  
 ell the goods. They are  
 out, but new and up-  
 —made as you want  
 own shop.  
 still for the manufac-  
 was discovered and rath-  
 up by the roots by local  
 rime the other day. The  
 don't seem to favor en-  
 —they let people make  
 they want to and never  
 out it.  
 ture is still legislating  
 ope of their getting  
 the full sixty days ex-  
 have passed the Council  
 I; anti-loafing bill, the  
 vehicles caught haul-

**LOY, JONES AND BLACKSTONE.**  
 Lamar Cobb asks the legislature to  
 impeach Wiley Jones, who has been  
 acting up as attorney generally for  
 Arizona. Wiley is a peach anyhow  
 and merely "im" or "ex"-peaching  
 him won't be a smear to the batch of  
 fruit Judge James Loy will grow on  
 this old mossback. What the people  
 need is brains and law—not neces-  
 sarily brains, but law nohow. Law  
 west of the Pecos are what the people  
 need—and if it don't read right, we  
 want a man strong enough to mark  
 out the wrong words in the statoots  
 and hand us out stuff hot off'en the  
 bat; a man as which and what knows  
 more about law than as them what  
 made it and what can hend us maver-  
 icks back from side trails into the  
 main morality road—a cordin' to his  
 own peculiar beliefs. "Sufficient unto  
 the day is the evil thereof"—conse-  
 quently the people should have fresh  
 laws every day—BUT, why should a  
 friend forget and—what'll's the law  
 among friends?  
 Old Blackstone himself couldn't beat  
 either Loy or Jones in this state—  
 they believe in "whetstone"—we need  
 more law and are bound to have it, no  
 matter what it costs. Law is the fun-  
 damental principles of a clothes-line  
 war and where grey matter is colored  
 red; the young lady with a dish-towel  
 around here eyes, holding up a pair  
 of stillards balancing "justice," is a  
 nice looking young lady, but out in  
 Arizona there is a suggestion running  
 rife that she had better pull that towel  
 off her eyes and look around some.

When the flag is w  
 stationary flagstaff or  
 saluted with the hand.  
 In decorating, the flag  
 be festooned or draped.  
 flat. If hung with strig  
 union should be in upp  
 If hung perpendicularly,  
 be in upper right corner  
 When the flag is carr  
 or when crossed with of  
 stars and stripes should  
 the right.  
 The law specifically f  
 of and representation o  
 any manner or in any c  
 merchandise for sale.  
 The flag should be rail  
 and lowered at sunset.  
 be displayed on stormy  
 cept when under fire o  
 left out over night. Alt  
 no authoritative ruling  
 civilians to lower the fl  
 good taste should imp  
 low the traditions of t  
 navy in this sundown c  
 marly the flag is raise  
 and secondarily, the fl  
 to be guarded, treasur  
 dition holds it shall not b  
 the darkness. To leave t  
 night, unattended, is p  
 lessness, or at least care  
 On Memorial Day th  
 be displayed at half-mast  
 until noon, and at peak  
 until sunset. It should,  
 tired, never be allow  
 ground.  
 When the "Star Span  
 is played or sung, uncov  
 remain standing. IN SII

21 Jun 1918 • Flagstaff, Arizona

1918 James Loy Challenges his opponents to a debate

as that on April 19th, the delin-  
 ts were arrested at Camp Verde by  
 deputy Sheriff McDermid and Con-  
 stable Spicer, two or six cases of  
 opium having been found by the offi-  
 cers in possession of Taylor and  
 Wilson. The officers started the  
 prisoners on the way to Prescott,  
 and it is stated that when the Cherry  
 creek grade was reached, one of the  
 prisoners offered McDermid \$500 if  
 an officer would release himself and  
 Wilson. The officer refused to do  
 so at the office and the proposition  
 was again made to him as the party  
 was crossing Jackson flat west of  
 Prescott.  
 McDermid on the stand yesterday  
 afternoon told the court that when  
 an offer was made the second time,  
 he told the prisoner that he would  
 accept it to see the value of the latter's  
 money if he meant business. Wilson  
 and Taylor thereupon produced a roll  
 of bills and asked the officer to ac-  
 cept it and let them go at once but  
 the officer refused. When they  
 reached Prescott, McDermid  
 told the prisoners that he would  
 accept the money if they would  
 sign a confession that they had  
 committed the crime. They refused  
 to do so and were taken to the  
 jail. The money was for, and they  
 said to have realized that it was  
 a trap and snare. McDermid says  
 at that point he got the cash  
 his pocket and told the men that  
 the money was only a donation  
 they might as well continue their trip  
 to Prescott. He said he placed the  
 money on the men again and came  
 back to the jail where he found

**DEFI ISSUED BY LOY  
 TO OTHER CANDIDATES**  
 (From Saturday's Daily)  
 Prescott, Ariz., June 21, 1918.  
 Editor Journal-Miner,  
 Prescott, Arizona.  
 Dear Sir:  
 I hand you copy of my challenge  
 to Jones and Hawkins for a joint  
 debate here on July 4th. I have  
 mailed one to each of them today.  
 Please publish this challenge. If one  
 or both of my opponents accepts  
 this challenge it will draw ten thou-  
 sand people to Prescott for the Fourth  
 of July. It will be the biggest draw-  
 ing card Prescott ever got. I am  
 headed to the grounds for the debate  
 and will be prepared to maintain my  
 record as a lawyer and orator if I  
 can induce these men to meet me.  
 Cordially yours,  
**JAMES LOY,**  
 Democratic Candidate for Attor-  
 ney General of Arizona.  
 Prescott, Ariz., June 21, 1918.  
 Hon Wiley E. Jones and  
 Hon. A. S. Hawkins,  
 Democratic Candidates for Attor-  
 ney General.  
 Gentlemen:  
 I hereby challenge each one of you  
 to a joint debate on the political is-  
 sues of the day, and our respective  
 merits as lawyers, democrats and as  
 to which one of us is most compe-  
 tent and capable to be the stand-  
 ard-bearer of the Democratic party for  
 attorney general of Arizona. The  
 first debate to take place on the  
 Prescott plaza, July 4th, 1918.  
 Dated Prescott, Ariz., June 21,  
 1918.  
**JAMES LOY,**  
 Democratic Candidate for Attor-  
 ney General of Arizona.

stock which opened at 30 cents  
 here, under the pressure of buy-  
 orders in New York, from Arizona  
 reached a high of 87 1/2 cents before  
 the Curb season closed. It is be-  
 lieved that the stock will touch 82 1/2  
 on this score. Orders for it aggregat-  
 ing over 11,000 shares went out of  
 Logan & Bryan wire alone yesterday  
 and probably as many more went  
 west East either over the E. F. Har-  
 ris & Co. wire or by the Western  
 Union.  
 The late Major A. J. Doran is  
 superintendent of the Silver King  
 about 25 years ago when it was  
 great producer. Silver became  
 depressed in price that it became  
 impossible to mine the low-grade  
 ore. The old company refused to  
 dig up any more money to devel-  
 op the property and Major Doran  
 tried to close it down. Being con-  
 vinced that he was securing a new  
 party at that time, the major, to se-  
 cure his own property, worked to  
 force a few days longer, and his  
 judgment was confirmed to strike  
 a larger and richer body of ore than  
 had ever before been opened up  
 by both hands on the ore, except  
 with water and the secret of it  
 was retained with him to the  
 day of his death. The mine was  
 shut down until two years ago when  
 a new company acquired the prop-  
 erty. Major Doran who related to  
 the writer, stated that the  
 new company offered to pay him  
 \$10,000 if he would go to the mine  
 and point out the location of the  
 ore veins. He accepted the offer  
 and was waiting in Prescott for it  
 when he was sent to him when he  
 was stricken with an illness which  
 proved fatal.  
 The old workings were abandoned  
 and the new company will not

26 Jun 1918 • Prescott, Arizona

1918 More Candidates 1918 Az AG contest

MORE CANDIDATES ARE NOW ON LIST

To the long list of petitions already filed in the office of secretary of state by candidates for nomination on the democratic ticket yesterday were added those of Wiley E. Jones of Phoenix and James Loy of Prescott, both for the office of attorney general, making three candidates for nomination on the democratic ticket for that office, Jones, Loy and A. S. Hawkins.

There remain, so far as is known, only three other petitions yet to be filed by candidates before the list will have been completed. Fred Colter will file for the democratic nomination for governor, and Lamar Cobb will file a petition for the democratic nomination for the same office.

Jesse L. Boyce will file a petition for nomination or re-election on the democratic ticket for state auditor, his candidacy being uncontested.

Sidney P. Osborn, secretary of state, has announced that Saturday, July 20, will be the final day for filing petitions.

Phelps-Dodge H. B. Rice company, Do Robert Ra Douglas, W. B. Geh Mining comp Alfred Pau B. M. Go bank, Phoeni R. N. Fred State bank. Neill E. B vice, Washin LeRoy And Prescott. O. S. Stap Mesa. Charles Ho C. W. Davi F. S. Vile, company, Pr ERNEST IS S Ernest H. charged with \$500 by J. L.

19 Jul 1918 • Phoenix, Arizona

1918 James Loy files to run for attorney general of Az

MORE STATE CANDIDATES ARE NOW ON LIST PHOENIX, July 19.--To the long list of petitions already filed in the office of secretary of state by candidates for nomination on the democratic ticket yesterday were added those of Wiley E. Jones of Phoenix and James Loy of Prescott, both for the office of attorney general, making three candidates for nomination on the democratic ticket for that office, Jones, Loy, and A. S. Hawkins. There remain, so far as is known, only three other petitions yet to be filed by candidates before the list will have been completed. Fred T. Colter will file for the democratic nomination for governor, and Lamar Cobb will file a petition for the democratic nomination for the same office. Jesse L. Boyce will file a petition for nomination for re-election on the democratic ticket for state auditor, his candidacy being uncontested. Sidney P. Osborn, secretary of state has announced that Saturday, July 20, will be the final days for filing petitions.

21 Jul 1918 • Tombstone, Arizona

1918

# James Loy criticizes his opponents in 1918 poll

**OPEN LETTER OF JAMES LOY TO HIS RIVALS**

Mr. James Loy, of Prescott, one of the candidates for the Democratic nomination for attorney general, advises to fight it out on the hustings where he will be pleased to meet the other candidates for the nomination in the absence of the people. He has addressed to Attorney General Jones and A. S. Hawkins the following open letter, a copy of which has been mailed to this office by Miss Campbell, manager with a request that it be given publication, but in the present emergency state of the United States postal service, the copies mailed to his opponents may miscarry.

Prescott, Ariz., August 4, 1918.  
Messrs. Jones and Hawkins,

Both of you have ignored my challenge in a joint debate, yet you invite the judiciary to remain in the race for attorney general of Arizona.

Are you afraid to present your claims and merits to the people by way of joint debate?

I notice in your campaign advertisements that both of you pretend to be great lawyers; both of you would like to have the people believe that your legal ability is wonderful and unprecedented. One of you claims that he is a great lawyer for Arizona, and the other claims that he is a great lawyer for the United States.

I notice in your advertisements that both of you pretend to be great lawyers; both of you would like to have the people believe that your legal ability is wonderful and unprecedented. One of you claims that he is a great lawyer for Arizona, and the other claims that he is a great lawyer for the United States.

The other alleged candidate says he never had a case in Arizona. Will he please tell us what case he ever had in the Supreme Court of the state?

**LAMARA**  
Never a better picture value  
**JACK PICKFORD**  
**HIS MAJESTY BUNKER BEAN**  
One Long Roll-Up  
Added—Grey Comedy Cartoon

12 Aug 1918 • Phoenix, Arizona

1918

# The background of the 1918 Az AG Dem Primary

opposed for the Democratic nomination for Congress and his war record promises to be the paramount issue of the Congressional campaign.

There are a number of spirited contests for places on the Democratic state ticket.

Judge A. C. Baker is giving Justice Alfred Franklin a hot race for Judge of the Supreme Court but Judge Franklin has the Hunt backing Vaughn stands a good chance to win.

Mrs. Frances W. Munds of Prescott is opposing Mitt Simms for secretary of state but Simms is the Hunt man and will probably land.

Harry S. Ross of Cochise county is opposed by Loren F. Vaughn of Phoenix for state treasurer but while Ross has the Hunt backing Vaughn stands a good chance to win.

There are three candidates for attorney general, Wiley Jones, incumbent, Judge A. S. Hawkins and James Loy. Hawkins is from Phoenix and Loy from Prescott. While both these men have made a vitrollic fight against Jones, the wiley old bird has the Hunt and prohibition backing and is scheduled to win the nomination.

C. O. Case is unopposed for state school superintendent on the Democratic ticket.

Sam Bradner, secretary of the livestock board, A. W. Cole, present incumbent and Dave Johnson, state treasurer and of San Diego fame are fighting over the nomination for corporation commissioner. Bradner is the Hunt man and will probably win.

G. H. Bolin, incumbent is opposed by Tom C. Foster for mine inspector. Bolin will probably win the nomination. He is pretty well liked.

Jesse Boyce, also of San Diego fame, is unopposed for the nomination for state auditor.

There are some spirited battles on both sides in Pima county for nominations. Judge Samuel L. Pattee is on the Democratic

10 Sep 1918 • Tucson, Arizona

1918

## Democratic Primary Returns 1918 Election Yavapai



18 Sep 1918 • Prescott, Arizona

1918

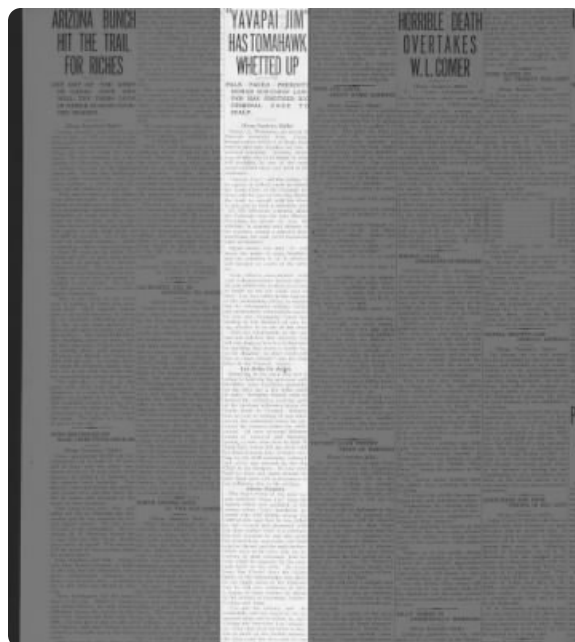
## James Loy lost 1918 Democratic Party primary for AG

Baker, 3,346; Alfred Franklin, 1,987.  
 Governor—Fred T. Colter, 2,297;  
 Fred Sutter, 1,357; Sidney P. Osborn,  
 1,708.  
 Secretary of state—Mit Simms, 3,393;  
 Mrs. Frances W. Munds, 2,009.  
 State auditor—Jesse Boyce, 5,503.  
 State treasurer—Loren F. Vaughn,  
 3,218; Harry S. Ross, 1,880.  
 Attorney general—Wiley E. Jones,  
 2,909; A. S. Hawkins, 1,918; James  
 Loy, 662.  
 Superintendent of public instruc-  
 tion—C. O. Case, 4,427.  
 Corporation commission—David F.  
 Johnson, 1,746; Sam B. Bradner, 1,659;  
 A. W. Cole, 1,553.  
 State mine inspector—G. H. Bolin,  
 2,587; Tom C. Foster, 2,194.  
 County Ticket Results  
 Sheriff—Jeff D. Adams, 2,943; W.

20 Sep 1918 • Phoenix, Arizona

1919

## James Loy represents Cocopah Chief.

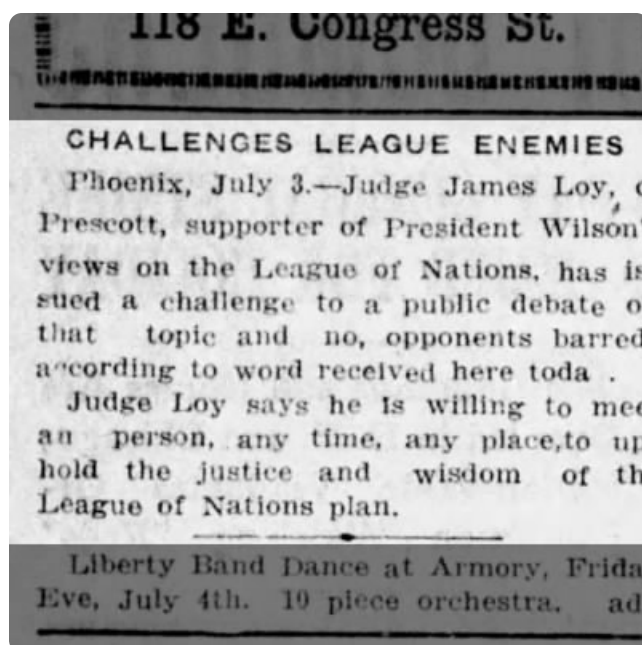


2 Apr 1919 • Prescott, Arizona

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1919

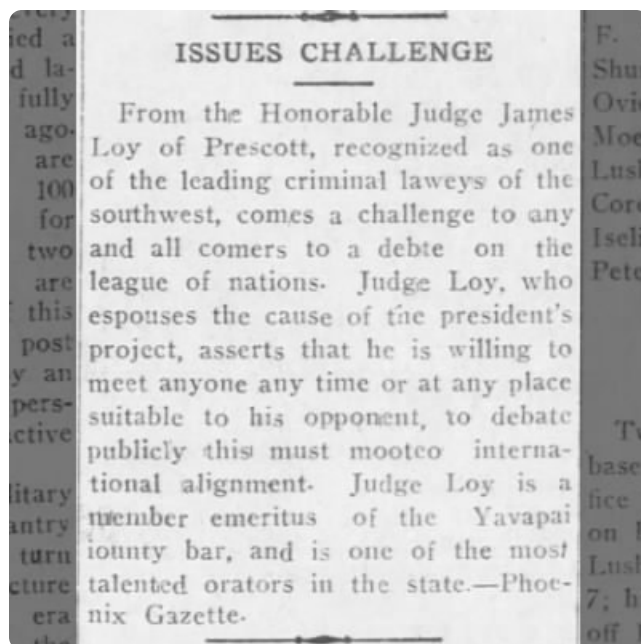
## James Loy to debate all comers in support of LON



4 Jul 1919 • Tucson, Arizona

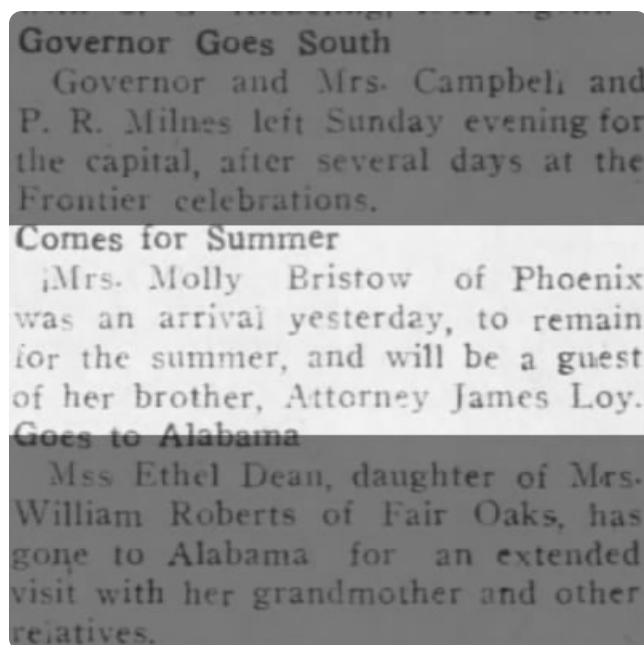
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1919

**Judge James Loy the orator**

9 Jul 1919 • Prescott, Arizona

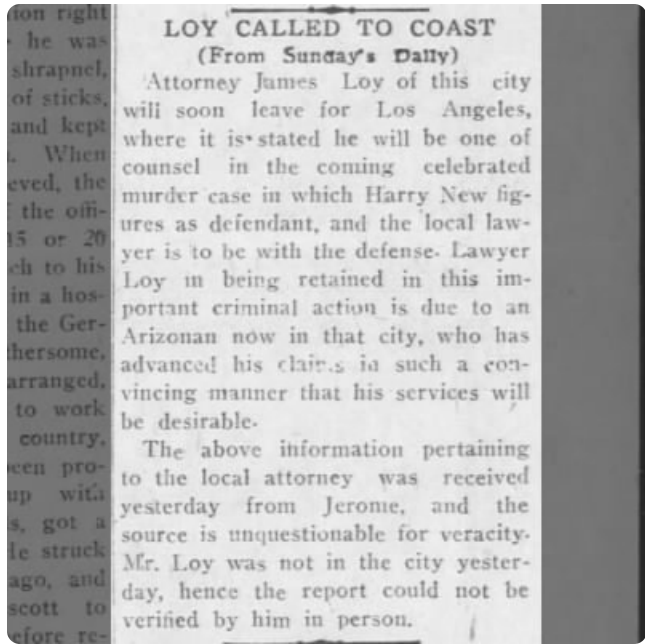
1919

**Mary Loy Visits bro. James Loy for the summer.**

9 Jul 1919 • Prescott, Arizona

1919

# James Loy goes to take a case on the West Coast



23 Jul 1919 • Prescott, Arizona

1920

# Complaint (Divorce Action and Summons)

James Loy represented the plaintiff in an action for divorce.



18 Feb 1920 • Prescott, Arizona

1920 James Loy rep. Plaintiff in a Divorce



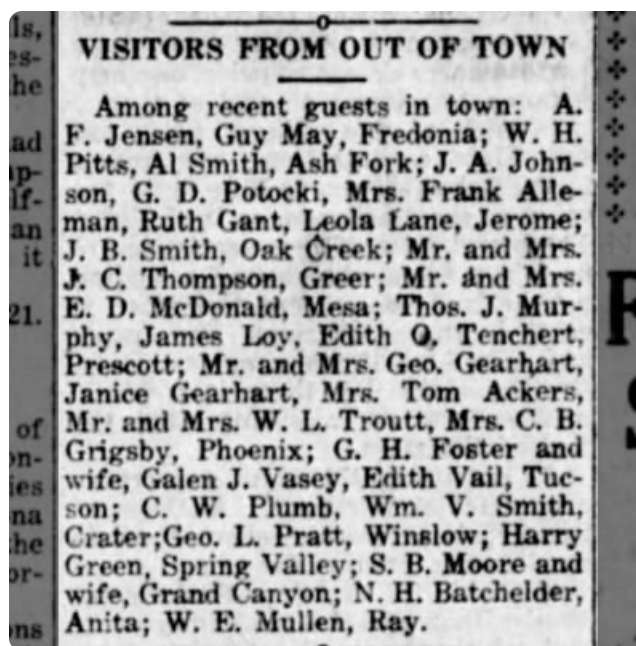
25 Feb 1920 • Prescott, Arizona

1920 Residence

James Loy lived in Prescott, Arizona, in 1920.

1920 • Prescott, Yavapai County, Arizona, USA

1921 Visited Flagstaff



5 Aug 1921 • Flagstaff, Arizona

1921

### New Brick Office Building for James Loy

During the year the city hall was built at a cost of \$3,000. J. F. Hawks Temple Bar building was erected at a cost of \$2,500. (Picture of both buildings, which still stand, are shown on this page.)

J. C. Milligan, contractor, who built both of the above named, just put up a brick cottage for himself at Aspen and Park, and a brick office building 25x25 on Leroux street for James Loy.

J. C. Grimm, contractor, during the year built a frame residence at Park and Birch for E. S. Gosney, a frame cottage on Aspen for J. W. Thurber. A. B. Binkley erected a dwelling south of the tracks. The Catholic school-

18 Nov 1921 • Flagstaff, Arizona

1921

### Donahue v Babbitt case

<p><b>DL ONS TTER</b></p> <p>turned from and Boston, three other Cool Growers, connected with industry, in of mind over and the mem- from the east, rribly unfav- which the working. The about to rec- ncy tariff on ruary 1. The begged the extension in- tariff bill is</p>	<p><b>DONOHUE-BABBITT CASE UP MONDAY</b></p> <p>The trial of the case of J. J. Donohue vs. Babbitt Bros., will begin on Monday.</p> <p>This case, which involves a demand for an accounting in connection with the Commercial hotel property, which Mr. Donohue formerly owned, and which he still claims an equity in, has been several times set, without result. The late judge E. M. Doe formerly represented defendants, and James Loy, old-timer here but now of Prescott, the plaintiff. Armstrong, Lewis &amp; Kramer of Phoenix now represent defendants and Henderson Stockton is principal counsel associated with Mr. Loy for plaintiff.</p> <p>Jury has been summoned. The case will be heard by judge Joseph S. Jenckes, the third judge for Maricopa county, who was recently appointed by virtue of an act of the last legislature. His appearance in judge Jones' place will be his first judicial visit to Flagstaff.</p>	<p><b>ROY GAR FAN CA</b></p> <p>Roy Gardn whose startli and jails hav sations on th Tuesday nigh clerk Herma while attemp Fe mail car. Enderlied gun from Ga same instant in the face. to the officer a short time run. A rew by the gove aside from t at least \$10, authorities.</p> <p><b>TO TELL PC IN C</b></p> <p>President</p>
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18 Nov 1921 • Flagstaff, Arizona

1922

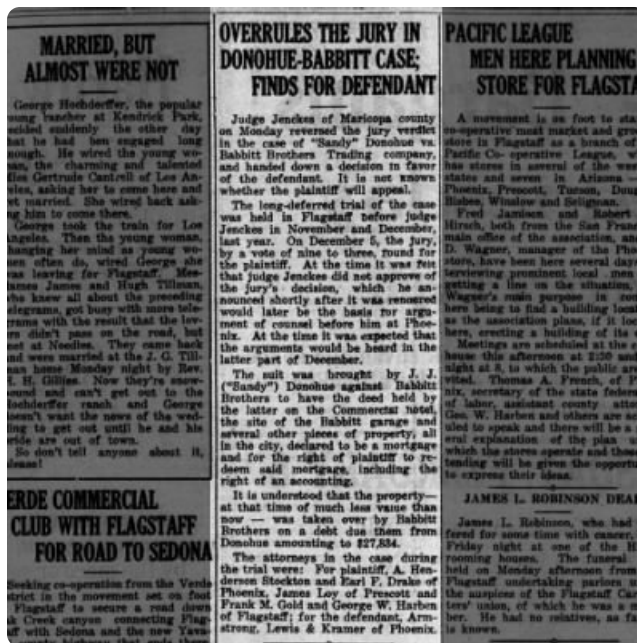
# James Loy's lawsuit over a suit



18 Jan 1922 • Prescott, Arizona

1922

# James Loy and the Donohue Babbitt case

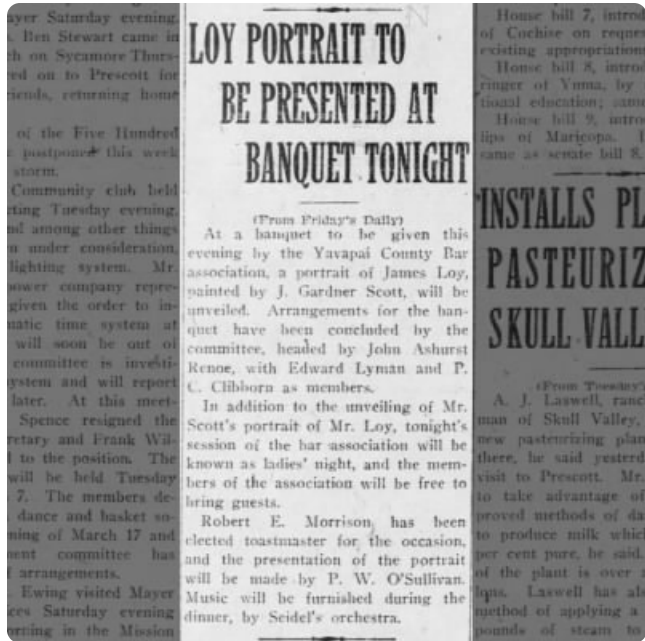


3 Feb 1922 • Flagstaff, Arizona

1922

# Portrait of James Loy unveiled at Bar Association

Probably painted from James Loy's "Napoleon" pose photograph. Jame's Loy's colleagues apparently good naturedly compared him to the French General turned Emperor, my suspicion is because he was a little testy, liked attention, was an aggressive combatant



1 Mar 1922 • Prescott, Arizona

1922

# James Loy represents Mr Morin in Divorce



9 Aug 1922 • Prescott, Arizona

1922

# Details of the Acker Trial with atty James Loy



27 Sep 1922 • Prescott, Arizona

1922

# James Loy in a trial



27 Sep 1922 • Prescott, Arizona

1922

# James Loy defends the Acker case before AzSC



26 Nov 1922 • Phoenix, Arizona

1922

# James Loy client William Acker's Trial



29 Nov 1922 • Phoenix, Arizona

1923

# Residence

James Loy lived in Prescott, Arizona, in 1923.

1923 • Prescott, Arizona, USA

1924

## Residence

James Loy lived in Yavapai, Arizona, on May 5, 1924.

5 May 1924 • Yavapai, Arizona, USA

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1926

## Death

James Loy died on December 5, 1926, in Phoenix, Arizona, when he was 70 years old.

5 December 1926 • Phoenix, Maricopa County, Arizona, USA

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## Burial

Middle Verde Cemetery, Yavapai Apache nation, Yavapai County, Arizona, USA

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# City of Flagstaff

4/18/2024

RE: **NOTICE OF DECISION** – Approval of acceptance of Certificate of Appropriateness Downtown Overlay.  
15 N Leroux Street, Historic Loy Officer Building, (aka Starlight books) Insomnia Cookies.  
Samantha

The Heritage Preservation Commission, in accordance with Section 10-30.30 of the Flagstaff Zoning Code, and the *Downtown Historic Design Review Overlay District Design Guidance “The Design Handbook for Buildings in Downtown Flagstaff, Arizona December 1990 updated April 1997”* has considered the application for acceptance of a certificate of appropriateness for heritage compliance on the property located at 15 N Leroux Street, Flagstaff, AZ – Parcel 100-19-001-A commonly known as Loy Office Building (AKA Starlight books), an existing property that has proposed historic compatibility improvements within the Downtown Overlay. By reference the US Secretary of Interior’s Standards for the Treatment of Historic Properties and their Guidelines are applicable.

The Heritage Preservation Commission held a public hearing on April 17th, 2024, in regard to this application. The Commission found and determined that, based on the information provided in the staff report dated April 10, 2024 and at the public hearing, introduced by Heritage Preservation Officer (HPO) Reavis, HPO Reavis highlighted areas of the staff report and noted the basic design improvements to the east facade. The Architect presented detailed information about the design. Additional public comment was asked for, but no comments. Some questioning took place between HPO and Heritage Preservation Commission members and applicant architect regarding the design with some discussion regarding structural improvements and façade work as well as the historic nature of the building. The facts exist as required by Section 10-30.30 of the Zoning Code of the City of Flagstaff, specific to 10-30.30.060 Overlay Zone.

Motion:

**Approve a certificate of appropriateness following conditions:**

- (1) Repair the stucco with the gentlest means in removing peeling paint and surface coating repair,**
- (2) Follow best practices in historic foundation work that reflects the 1887 construction techniques and follows the recommendation of the structural engineer,**
- (3) Submit a separate HPC application for a Certificate of No Effect to review signs and lighting, and**
- (4) Allow for the HPO to monitor and ensure that window modifications meet historic preservation guidelines and the current Energy Code, and**
- (5) Add a historic interpretive sign (plaque) placed appropriately (re building history).**

**Vote:** 6 – 0 – Unanimously

Based upon the aforementioned findings, the Commission acceptance of the Certificate of Appropriateness.

This action became final and effective ten (10) calendar days after the Heritage Preservation Commission Public Hearing on the matter.

Should you have any questions, comments, or concerns, please do not hesitate to contact me.

Sincerely,

Mark Reavis, AICP NCARB  
City of Flagstaff, Heritage Preservation  
P. 928-213-2633  
Mark.Reavis@flagstaffaz.gov

cc: Sara Dechter, Michelle McNulty

**211 West Aspen Avenue, Flagstaff, Arizona 86001**

**CITY OF FLAGSTAFF HERITAGE PRESERVATION COMMISSION  
STAFF REPORT – ADDENDUM**

**CERTIFICATE OF APPROPRIATENESS**

**PZ-25-00047**

**ADDRESS: 15 N Leroux St**

**DATE: March 10, 2025**

**MEETING DATE: March 19, 2025**

**REPORT BY: Lauren Clementino**

**REQUEST**

Approve an updated Certificate of Appropriateness for two new additions to the previously approved project plans:

- 1) Filling in an upper rear window to match the rest of facade.
- 2) Adding a new gutter on the lower rear roof to match existing on the upper roof.

The work on the rear window was completed before this application was submitted and a Certificate of Appropriateness is requested now to correct the lack of prior approval. The work on the gutter has not yet been completed.

**PROJECT BACKGROUND**

The property is a contributing element within the Railroad Addition National Register District and is within the Downtown Overlay Design Review District. The historic Loy Building is a stuccoed brick storefront and dates from 1897 as the oldest surviving pre-1900 office building in Flagstaff. Its unique features are its conservative size and proportions. It was recently rehabilitated to house a new business, Insomnia Cookies.

**STAFF RECOMMENDATION**

Staff recommends that the Heritage Preservation Commission approve an updated Certificate of Appropriateness for the changes to the upper rear window and installation of a new rear gutter at 15 N Leroux St.

**PAST DECISIONS AND OTHER REVIEWS**

At the April 17, 2024 meeting, the Heritage Preservation Commission voted to approve a Certificate of Appropriateness for this project with the following conditions:

- Repair the stucco with the gentlest means in removing peeling paint and surface coating repair.
- Follow best practices and historic foundation work that reflects the 1897 construction techniques and follow the recommendations of the structural engineer.
- Submit a separate HPC application for a certificate of no effect to review signs and lighting.
- Allow for the HPO to monitor and ensure that window modifications meet historic preservation guidelines in the current energy code.
- Add a historic interpretive sign on the front facade of the building.

The first four conditions have been met, with the exception that the exterior lighting over the storefront signage was removed from the scope of work and therefore did not require further review. The interpretive sign design (attached in agenda packet) has been approved by the HPO and is in production. In addition to the sign text and photograph, a QR code was added to the sign to provide additional

interpretive information online. The QR code links to the Loy Family History PDF (also attached in agenda packet) that is now housed online in the [Heritage Preservation Resource Center](#).

## **INTENT**

The purpose of the Downtown Overlay is to review the appropriateness of proposed changes to historic buildings with guidance by the Design Handbook for Downtown Flagstaff: *“This handbook is included as a guide to the Commission in making consistent decisions on the appropriateness of proposed changes. Interpretation should be neither overly strict nor too permissive. In making its decisions, the Commission will consider the historic value of the building, its prominence and significance to the district, the state of physical deterioration, and the economic factors of repair, replacement, or renovation.”*

The Secretary of the Interior’s Standards for the Treatment of Historic Properties are incorporated into reviews by reference.

## **STAFF REVIEW**

### **Scope of Work**

The Certificate of Appropriateness is “appropriate if the proposed work alters a cultural resource but does so in such a way that is compatible with the historic or archaeological character of the resource and all major impacts are mitigated such that the work does not diminish, eliminate, or adversely affect the significance or integrity of the resource.” (Flagstaff Zoning Code 10-30.30.060.E).

### **Findings**

“Prior to the granting of any required approvals or permits and prior to the commencement of any work on a landmark property or within a historic overlay zone, the Heritage Preservation Commission or the Historic Preservation Officer shall review all work proposed and approve or conditionally approve the work in the form of a certificate of no effect, certificate of appropriateness, or certificate of economic hardship” (Flagstaff Zoning Code 10-30.30.060 Development of a Landmark Property and Property within a Historic Overlay Zone).

The Flagstaff Zoning Code 10-30.30.060E states:

#### **Criteria for Approval.**

*When approving a certification of appropriateness, the Heritage Preservation Commission shall find that:*

- a. The proposed work is consistent with the purpose and intent of this division;*
- b. The proposed work is compatible with its context:*
  - (1) The appropriate context for a landmark or a historic property is the property itself and, to a much lesser extent, the surrounding properties and neighborhood;*
  - (2) The appropriate context of work in a historic overlay zone is the significant portions of the property itself, the surrounding properties, and the neighborhood;*

- c. The cultural resources associated with the proposed work have been sufficiently sought, identified and evaluated;*
- d. Major impacts on cultural resources are sufficiently mitigated; and*
- e. The proposed work is consistent with applicable development standards and design guidelines. See also subsection (G) of this section, Development Standards and Guidelines.*

### **Downtown Historic Overlay Design Guidelines**

“The Downtown Overlay (DOZ) zone applies to areas of the City subject to the Downtown Historic Design Review Overlay District Guidelines and Design Standards and Guidelines with design review by the Heritage Preservation Commission for the development of properties located within the boundaries of the zone.” (Flagstaff Zoning Code 10-40.50.030 Overlay Zones).

The Design Handbook for Downtown Flagstaff states “Downtown Flagstaff contains a rich variety of buildings representing a range of architectural styles and building types. Early Victorian era buildings exhibit decorative cornices and window arches while later Moderne and Art Deco buildings emphasize flowing streamlined forms. More formal neoclassical styles add accent to the scene. All are important aspects of the community's heritage and each style's unique features merit preservation.”

The following rehabilitation guidelines apply to this case:

- H3 – Avoid removing or altering any historic material or significant architectural features.
- H6 – Minimize the removal of historic elements.
- R13 – Avoid new additions or alterations that would hinder the ability to interpret the design character of the original building.

### **Basis of Report**

The information in this summary discussion was derived from the application to the Heritage Preservation Commission.

### **Evaluation of Effects**

As stated above, the upper rear window has already been filled in (see photo below). The extent of the water infiltration or if other treatments (aside from filling in the opening) would have resolved the water issue are unknown. Reversing this work may not be possible without causing further damage and it is unknown if the original window was retained or is encapsulated within. However, as the window was a minor feature on the rear of the building, the overall impact is minor. The opening recess was preserved, which allows for interpreting the original window placement and design.

The installation of the additional gutter on the lower rear roof is a minor modification that will match the gutter already installed on the upper portion of the rear roof. The gutter will also help prevent further water damage to the building. It is also located on the rear of the building and not the primary façade and will not cover or obscure any significant architectural features.

Overall, the changes will have no adverse effect on the building as they are minor, located on the rear of the building, and do not alter any significant features or the façade. The building retains sufficient integrity to convey its significance and retain its National Register eligibility.



*Photo of rear (West) elevation taken by author on December 27, 2024.*

**COMMISSION OPTIONS**

- 1) The Commission can approve the recommended motion;
- 2) The Commission can approve with additional conditions related to the standards and guidelines applicable to the case;
- 3) The Commission can request additional information and continue to a date certain; or
- 4) The Commission can deny the application with instructions for resubmittal.

**STAFF CONCLUSION:**

Staff recommends that the Heritage Preservation Commission approve an updated Certificate of

Appropriateness for the changes to the upper rear window and installation of a new rear gutter at 15 N Leroux St. and accept the additional interpretive materials provided in addition to the previously required interpretive sign as mitigation. Overall, the changes will have no adverse effect on the building as they are minor, located on the rear of the building, and do not alter any significant features or the façade. It is appropriate for the Commission to approve an updated Certificate of Appropriateness based on the findings.

**Heritage Preservation Commission**

7. A.

**From:** Tiffany Antol, Zoning Code Manager

**DATE:** 03/19/2025

**SUBJECT:** Staff seeks direction on the Land Availability and Suitability Study and Code Analysis Project (LASS+CAP) draft [Code Concepts Reports](#) to identify the focus of the next phase, which includes refining the core development standards, incentives, and concepts into more detailed, actionable recommendations for either specific code amendments or further analysis.

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**STAFF RECOMMENDED ACTION:**

For discussion purposes only.

**Policy Impact:**

The purpose of the CAP is to analyze and evaluate the City's development codes and processes to understand and identify ways to overcome barriers to the City's 10-Year Housing Plan and Carbon Neutrality Plan.

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**Attachments**

Staff Report  
Presentation

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**DATE:** March 19, 2025  
**TO:** Heritage Preservation Commission  
**FROM:** Michelle McNulty, AICP, Planning Director  
Tiffany Antol, AICP, Zoning Code Manager  
Genevieve Pearthree, AICP, Sustainability Analyst  
Jennifer Mikelson, Housing Planning Manager



**RE: LASS + CAP Code Concepts Report**

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**I. Purpose of the Work Session:**

Staff seeks direction on the Land Availability and Suitability Study and Code Analysis Project (LASS+CAP) draft [Code Concepts Reports](#) to identify the focus of the next phase, which includes refining the core development standards, incentives, and concepts into more detailed, actionable recommendations for either specific code amendments or further analysis.

**II. Project Purpose:**

The purpose of the CAP is to analyze and evaluate the City’s development codes and processes to understand and identify ways to overcome barriers to the City’s 10-Year Housing Plan and Carbon Neutrality Plan. Through these plans, the City has committed to achieving the following goals:

**The 10-Year Housing Plan** aims to reduce the affordable housing need in our community by half over the next ten years through two elements:

1. Impact at least 6,000 low-to-moderate income Flagstaff residents through a combination of unit creation or subsidy provision.
2. Create or preserve 7,976 housing units by 2031 with a minimum of 10% of them being affordable. This will increase the overall supply of market rate, workforce, and affordable housing occupied by local residents.

**The Carbon Neutrality Plan** has three primary goals:

1. Achieve **carbon neutrality** by 2030 through a 44% reduction in greenhouse gas emissions.
2. Prepare Flagstaff’s communities, systems, and resources to be more **resilient** to climate change impacts.
3. Address climate change in a manner that **prioritizes those most impacted** and ensures the costs and benefits of climate adaptation and mitigation are equitably distributed.

**III. Project Overview:**

The CAP already produced a [Code Diagnostic Report](#), which identified and analyzed barriers to key outcomes in the 10-Year Housing Plan and the Carbon Neutrality Plan. The current phase explores options for code updates to address the most significant barriers. The report is organized into:

1. **Code Concepts** focus on conceptual updates to address key barriers associated with the following code sections/topics:
  1. Sustainable Development Standards and Incentives, including Transportation Demand Management (TDM)
  2. Resource Protection Overlay Zone
  3. Reduced Street Widths
  4. Winter Parking Ordinance and Snow Removal

The Code Concepts are independent of, and intended to complement and inform, the three scenarios for core development standards and incentives.

2. **Scenarios for Core Development Standards and Incentives** focus on how different combinations and calibrations of interrelated core development standards and incentives impact housing and climate outcomes associated with new development and redevelopment. They are packaged into three conceptual scenarios, each of which explores variations on:

- |   |                                    |
|---|------------------------------------|
| 2. Use Regulations and Housing Types by Zone District | 5. Minimum Parking Requirements    |
| 3. Maximum Density                                    | 6. Affordable Housing Incentives   |
| 4. Floor Area Ratio (FAR)                             | 7. Sustainable Building Incentives |
|   | 8. Menu of Sustainable Development |

#### V. **Summary of Findings: Code Concepts**

The report proposes concepts for updating key code provisions that may have a significant impact on the City's desired housing and sustainability outcomes:

1. **Menu of Sustainability and Transportation Demand Management (TDM) Standards.** This code concept proposes adopting a menu or points-based approach to require and incentivize a sustainable design in all projects, consistent with Scenario 2. TDM should be conceived as a critical component of the menu or points-based system.
2. **Resource Protection Overlay.** This code concept proposes migrating from a broad overlay zone that requires site-specific inventories to a more focused overlay that focuses on resources that were inventoried as part of a citywide study. This concept could apply to both forest and slope resources. Resource Protection standards should not restrict density more than base zoning and should allow overlapping slope and forest resources to count towards meeting both requirements.
3. **Reduced Street Widths.** This code concept proposes new options for narrower street designs that would allow slightly higher density for some development types, reduce street construction costs for all developments, and calm traffic speeds.
4. **Winter Parking Ordinance and Snow Removal.** Based on a review of snow removal and parking management programs in comparison cities, alternative code concepts to the existing Winter Parking Ordinance include:
  - a. Designate specific streets for snow removal based on traffic volumes and necessity for emergency services.
  - b. Implement a form of alternate/odd-even parking limitations so that at least one side of a public street is available for overnight, on-street parking during snow removal operations.
  - c. Only prohibit on-street parking during a declared snow accumulation event based on a specific amount of snow and ice accumulations so that on-street parking is available during non-accumulation.

#### VI. **Summary of Findings: Scenarios - Calibrating Core Development Standards and Incentives**

Each of the following scenarios represents a different calibration of the core development standards and incentives, showing how different sets of changes can advance the City's housing and climate goals to varying degrees. Each scenario is analyzed below against the key housing and climate outcomes identified in the CAP Code Diagnostic Report.

In addition, the consultant team identified the following key findings and implications:

1. On an absolute basis, the existing development environment is extremely challenging. The high cost of construction and land appear to be rendering residential development infeasible in many situations.
2. Across all scenarios, parking reductions were critical to the market feasibility of higher density prototypes.
3. Scenario 1 shows that increasing the attractiveness of incentives presents a viable opportunity to incentivize affordable housing and elevated sustainable design but is unlikely to increase the overall housing stock on its own. It is also the lowest risk option for Proposition 207 claims.
4. Scenario 2 shows that it is viable to elevate sustainability standards for all new development and increase market-rate housing production by pairing these standards with increased density and reduced parking, but is unlikely to increase the affordable housing stock on its own. Scenario 2 also shows that FAR caps can regulate development intensity and promote smaller housing units.
5. Scenario 3 shows that increasing density and reducing parking can increase market-rate housing production, but achieves fewer sustainability outcomes than Scenario 2 and is unlikely to increase the affordable housing stock on its own.
6. **Ultimately, City Council may provide direction on a final scenario based on the code concepts, core development standards, and incentives. It may include a combination of elements from each of the three scenarios that best advance housing and climate goals.**

A summary of each scenario and its anticipated housing and climate outcomes are described below. These outcomes were first explored in the Code Diagnostic Report, which evaluated the extent to which the City’s development codes and processes are a barrier (or not) to these desired outcomes.

**Scenario 1 – Optimize Incentives for Sustainable Design and Affordable Housing**

This scenario optimizes the benefits that developers would receive from taking either the Affordable Housing or the Sustainable Residential Building Incentives by significantly increasing the density bonuses and parking reductions from taking these incentives. No other code changes are proposed.

Scenario 1: Anticipated Impacts on Housing and Climate Outcomes			
10-Year Housing Plan: <b>Moderate Impact</b>		Carbon Neutrality Plan: <b>Low Impact</b>	
Abundant Housing Supply	<b>Low</b>	Community Resilience, Health & Safety	<b>Moderate</b>
Diversity of Housing Types	<b>Moderate</b>	Sustainable Transportation Networks and Neighborhoods	<b>Low</b>
Lower Cost Market Rate Housing Production	<b>Low</b>	Electric Mobility	<b>Low</b>
Income-Restricted Affordable Housing Production	<b>High</b>	Energy	<b>Low</b>
Mixed-Use Development and Neighborhoods	<b>Low</b>	Waste and Water	<b>Low</b>
Infill Development and Compact Land Use Patterns	<b>Moderate</b>	Healthy Forests and Carbon Dioxide Removal	<b>Moderate</b>
Equity and Fair Housing	<b>Moderate</b>		

**Scenario 2 – Elevate Sustainable Design and Increase Market Rate Housing Production**

This scenario focuses on substantial updates to the core development standards (base code) along with smaller updates to the incentives, including:

1. A menu of sustainable design standards for developers to choose from
2. Substantial increases in maximum allowed density
3. Substantial decreases in minimum parking standards
4. Floor Area Ratio (FAR) caps in most zones
5. Single-use residential buildings in commercial zones
6. A small increase in the density bonus and a large decrease in minimum parking for projects that use either Affordable Housing or Sustainability Residential Building Incentives
7. Additional sustainable design features for projects that use the Sustainability Residential Building Incentives

Scenario 2: Anticipated Impacts on Housing and Climate Outcomes			
10-Year Housing Plan: High Impact		Carbon Neutrality Plan: High Impact	
Abundant Housing Supply	Moderate	Community Resilience, Health & Safety	Moderate
Diversity of Housing Types	High	Sustainable Transportation Networks and Neighborhoods	High
Lower Cost Market Rate Housing Production	High	Electric Mobility	High
Income-Restricted Affordable Housing Production	Low	Energy	High
Mixed-Use Development & Neighborhoods	High	Waste and Water	High
Infill Development and Compact Land Use Patterns	High	Healthy Forests & Carbon Dioxide Removal	Moderate
Equity and Fair Housing	High		

**Scenario 3 – Increase Density to Support Market Rate Housing Production and Indirectly Support Sustainability \***

This scenario proposes the same updates as Scenario 2, but it includes higher density increases in commercial zones and does not include FAR caps and the menu of sustainable design standards.

*\* Note: the Scenario 3 title was revised for clarity. Former title: 'Support Sustainability Through Density and Maximize Housing Production.'*

Scenario 3: Anticipated Impacts on Housing and Climate Outcomes			
10-Year Housing Plan: High Impact		Carbon Neutrality Plan: Moderate Impact	
Abundant Housing Supply	High	Community Resilience, Health & Safety	Moderate
Diversity of Housing Types	High	Sustainable Transportation Networks and Neighborhoods	High
Lower Cost Market Rate Housing Production	Moderate	Electric Mobility	Moderate
Income-Restricted Affordable Housing Production	Low	Energy	Moderate
Mixed-Use Development & Neighborhoods	High	Waste and Water	Moderate
Infill Development and Compact Land Use Patterns	High	Healthy Forests & Carbon Dioxide Removal	Moderate
Equity and Fair Housing	High		

**VII. Decision Points:**

City staff are seeking direction on the questions below. Decisions will inform LASS+CAP Task Five to prepare final recommendations for code, incentive, and policy changes.

1. **Which outcomes are preferred to address housing and climate outcomes together?**
  - a. Are there any zoning districts that should be excluded or treated differently?
2. **Should by right density increases be limited to areas that have Low Vehicles Miles Traveled or some similar geography?** This may require area-wide rezoning, a new overlay zone, or new zoning standards that incentivize transit-oriented projects.
  - a. Do we want to increase density allowances for affordable housing projects (those that serve a certain Area Median Income—AMI) or all Market Rate Housing?
3. **Floor Area Ratio (FAR) caps**
  - a. Do you support managing the intensity of residential land uses with a tool like FAR caps? Density increases will impact the current High Occupancy Housing (HOH) standards, which are intended to address the intensity of residential land uses.
4. **Do you support moving forward with substantial reductions in parking minimums?**
  - a. Should parking be left to the developer or market to decide? (No minimum standards). Or should there still be standards?
  - b. Should on-street parking be addressed in conjunction with reducing parking requirements?
5. **Sustainability and Transportation Demand Management (TDM)**
  - a. Do you support creating a menu of sustainable design standards for developers to choose from? This would provide flexibility while raising standards. These standards would be accompanied by an increase in density and reduction in parking.
  - b. Should a wider menu of TDM strategies (such as carpooling, transit-oriented design, bicycle facilities, transit passes, site design, etc.) be included as part of this menu, in addition to standards focused reductions in energy, water, waste, and greenhouse gas emissions?
6. **Reduced Street Width:**
  - a. Do you support developing a strategy and outlining a process for creating a narrower local street design option?
7. **Winter Parking Ordinance:**
  - b. Do you support developing a strategy and outlining a process for replacing the current Winter Parking Ordinance?

# Heritage Preservation Commission

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March 19, 2025

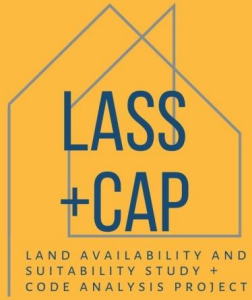


**LASS  
+CAP**  
LAND AVAILABILITY AND  
SUITABILITY STUDY +  
CODE ANALYSIS PROJECT

**CITY OF FLAGSTAFF**

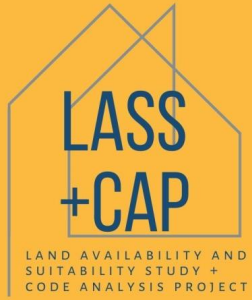
CODE ANALYSIS PROJECT—  
CODE CONCEPTS REPORT

NOVEMBER 2024 DRAFT



# Agenda

1. City of Flagstaff Housing & Climate Goals
2. LASS+CAP purpose and progress
3. Code Concepts Overview
  - Code Concepts
  - Scenarios
  - Key findings
4. Decision Points / Q&A



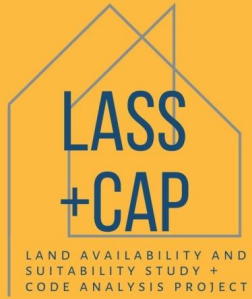
# City Housing and Climate Goals

**The 10-Year Housing Plan aims to reduce the affordable housing need in our community by half over the next ten years through two elements:**

1. Impact at least 6,000 low-to-moderate income Flagstaff residents through a combination of unit creation or subsidy provision
2. Create or preserve 7,976 housing units by 2031 with a minimum of 10% of them being affordable. This will increase the overall supply of market rate, workforce, and affordable housing occupied by local residents

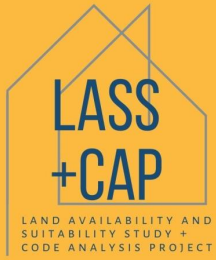
**The Carbon Neutrality Plan has three primary goals:**

1. Achieve carbon neutrality by 2030 through a 44% reduction in greenhouse gas emissions
2. Prepare Flagstaff's communities, systems, and resources to be more resilient to climate change impacts
3. Address climate change in a manner that prioritizes those most impacted and ensures the costs and benefits of climate adaptation and mitigation are equitably distributed



# Overview & Objectives of the LASS+CAP Project

- The Land Availability & Site Suitability Study (LASS) examines the suitability of available land to determine opportunities and barriers to housing development (**Complete**)
- The Code Analysis Project (CAP) is intended to evaluate development codes and processes to identify areas of improvement towards the City's housing and climate goals. The project has been broken into three separate tasks:
  - Code Diagnostic Report (**Complete**)
  - **Code Concepts to address highest priority barriers** (**We are here**)
  - Final Code Recommendations



# Code Diagnostic Report Identified Key Code Barriers:



Residential Zones



Commercial Zones



Parking Requirements



High Occupancy Housing



ZONING MAP AMENDMENT PROCESS



SUBDIVISION PROCEDURES



STREET WIDTH AND DESIGN



WINTER PARKING ORDINANCE



Resource Protection Overlay



Affordable Housing Incentives



Sustainable Building Incentives



STREET CONNECTIVITY



TRANSPORTATION IMPACT FEES



TRANSPORTATION DEMAND MANAGEMENT FOR TIAS.

# Code Concepts Report Methodology


## **Impact Modeling – Prototypes**

- Tests both the revenue impacts of potential code changes and the cost of impacts of code changes, in addition to options to reduce costs

## **Impact Modeling – Spatial Analysis**

- Tests the impact of the code concepts on the capacity for new housing in certain locations across the City for the purpose of reducing transportation-related greenhouse gas emissions

## **Best Practices Research**

- Sustainability Standards and Incentives
  - Resource Protection Overlay Zone
  - Reduced Street Widths
  - Winter Parking Ordinance and Snow Removal
- 

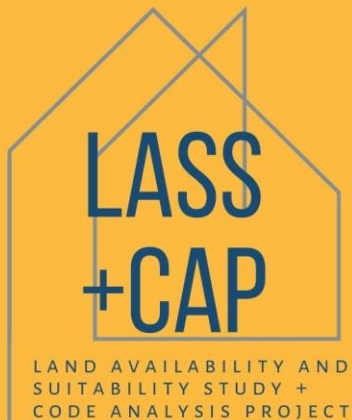
# Code Concepts Report

## Code Concepts

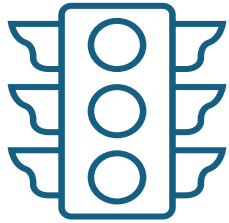
1. Sustainability Standards and Incentives
2. Resource Protection Overlay Zone
3. Reduced Street Widths
4. Winter Parking Ordinance and Snow Removal

## Scenarios for Core Standards and Incentives

1. Use Regulations and Housing Types by Zone District
2. Maximum Density
3. Floor Area Ratio (FAR)
4. Minimum Parking Requirements
5. Affordable Housing Incentives
6. Sustainable Building Incentives
7. Menu of Sustainable Development Standards



# Code Concepts



## Menu of Sustainability and Transportation Demand Management (TDM) Standards

- **Menu or points-based approach** of standards and incentives that developers can choose from to foster a higher level of sustainable design in all projects
- **TDM is a critical component** (carpooling, transit-oriented design, bicycle facilities, transit passes, site design, etc.)



## Resource Protection Overlay

- Migrate from a broad overlay zone that requires site-specific inventories to a more **focused overlay that focuses on resources that were inventoried as part of a city-wide study** (could apply to both forest and slope resources)
- Resource protection standards should **not restrict density more than base zoning** and should allow overlapping slope and forest resources to count towards meeting both requirements

# Code Concepts



## Reduced Street Widths

- **New options for narrower street designs** that would allow slightly higher density for some development types, reduce street construction costs for all developments, and calm traffic speeds



## Winter Parking Ordinance and Snow Removal

Alternative code concepts include:

- **Designating specific streets for snow removal** based on traffic volumes and necessity for emergency services
- Implementing a form of **alternative/odd-even parking limitations** so that at least one side of a public street is available for overnight parking during snow removal
- **Only prohibiting on-street parking during a declared snow accumulation** event based on a specific amount of snow and ice accumulation so that on-street parking is available during non-accumulation

# Scenarios for Core Standards and Incentives

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- Scenario 1** – Optimize Incentives for Sustainable Design and Affordable Housing
- Scenario 2** – Elevate Sustainable Design and Increase Market Rate Housing Production
- Scenario 3** – Increase Density to support Market Rate Housing Production and Indirectly Support Sustainability\*

\*Scenario 3 was formerly titled 'Support Sustainability Through Density and Maximize Housing Production'

**City Council may provide direction on a final scenario based on the code concepts, core development standards, and incentives. It may include a combination of elements from each of the three scenarios that best advance housing and climate goals.**

# Scenario 1

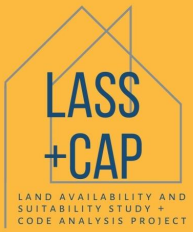
Scenario	By-Right Standards	Incentives
Existing Code	<ul style="list-style-type: none"><li>• Density from 6-29 units per acre</li><li>• Parking from 1-3 spaces per unit</li></ul>	<ul style="list-style-type: none"><li>• Density bonus for sustainability: 25%</li><li>• Density bonus affordable units: Up to 45%</li><li>• Parking reduction limited to affordable units at 1 space at unit</li></ul>
<b>Scenario 1 –</b> Optimize incentives for sustainable design and affordable housing	<ul style="list-style-type: none"><li>• No increase in max density</li><li>• No parking reduction</li></ul>	<ul style="list-style-type: none"><li>• No change to incentive requirements</li><li>• Major increase in density bonus and major parking reduction for incentive projects</li></ul>

## Scenario 2

Scenario	By-Right Standards	Incentives
<b>Scenario 2 –</b> Elevate Sustainable Design and Increase Housing Production	<ul style="list-style-type: none"><li>• Increase max density to 10-80 units per acre</li><li>• Reduce base parking to between 1-1.5 spaces per unit</li><li>• Single-use residential buildings permitted in commercial zones</li><li>• Introduce FAR caps in most zones</li><li>• Apply new sustainability requirements to all projects.</li></ul>	<ul style="list-style-type: none"><li>• Elevated sustainability standards for projects that use sustainability incentives</li><li>• Minor increases in density bonus for incentive projects</li><li>• Major parking reduction for incentive projects</li></ul>

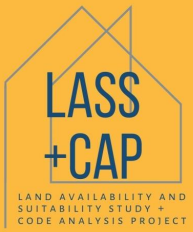
## Scenario 3

Scenario	By-Right Standards	Incentives
<b>Scenario 3 – Support Sustainability Through Density and Maximize Housing Production</b>	<ul style="list-style-type: none"><li>• Increase max density to 10-80 units per acre</li><li>• Reduce base parking to between 1-1.5 spaces per unit</li><li>• Single-use residential buildings permitted in commercial zones</li></ul>	<ul style="list-style-type: none"><li>• No change to incentive requirements.</li><li>• Minor increase in density bonus for incentive projects</li><li>• Major parking reduction for incentive projects</li></ul>



# Key Findings & Implications from Scenarios

- **Scenario 1: increasing the attractiveness of incentives presents a viable opportunity to incentivize affordable housing and elevated sustainable design**
  - Unlikely to increase the overall housing stock on its own
  - Lowest risk option for Proposition 207 claims
- **Scenario 2: it is viable to elevate sustainability standards for all new development and increase market-rate housing production by pairing these standards with increased density and reduced parking**
  - Unlikely to increase affordable housing stock on its own
  - FAR caps can regulate development intensity and promote smaller housing units
- **Scenario 3: increasing density and reducing parking can increase market-rate housing production but achieves fewer sustainability outcomes than Scenario 2**
  - Unlikely to increase the affordable housing stock on its own

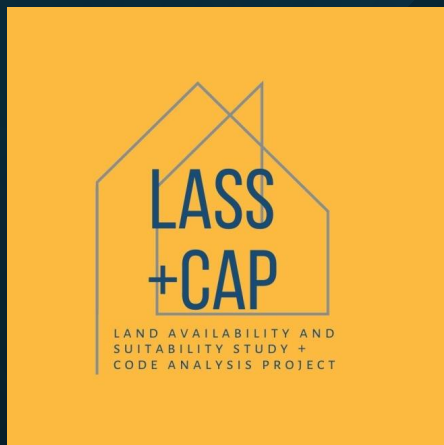


# Key Findings & Implications from Scenarios

1. On an absolute basis, the existing development environment is extremely challenging due to the high cost of construction and land
2. Across all scenarios, parking reductions are critical to the market feasibility of higher-density housing
3. If the City desires to concentrate density in areas where households are likely to drive less, then targeted rezoning, a new overlay zone, or proximity-based code regulations would be more effective than using existing base zones
4. If the policy goal is to broadly increase density throughout the community (Scenarios 2 and 3), then updating the core development standards is the most effective approach
5. The increase in housing capacity under Scenario 1 is highly dependent on increased uptake of density bonuses under the incentive program

# Decision Points

## Q1: Outcomes



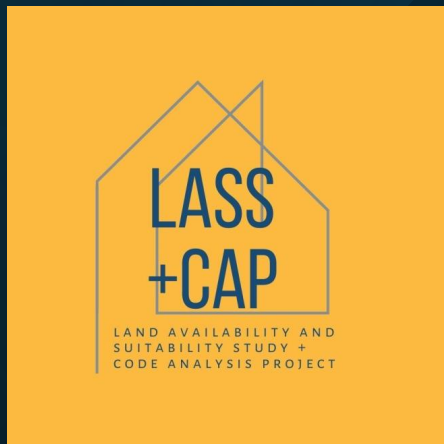
**Which outcomes are preferred to address housing and climate outcomes together?**

Anticipated Housing and Climate Outcomes by Scenario			
	Scenario 1	Scenario 2	Scenario 3
10-Year Housing Plan	Moderate	High	High
Carbon Neutrality Plan	Low	High	Moderate

**Are there any zoning districts that should be excluded or treated differently?**

# Decision Points

## Q2: Density



## Where and how should we increase density?

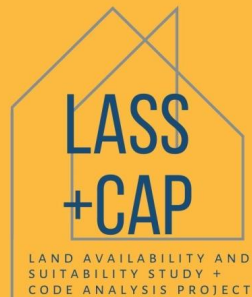
- **Should by-right density increases be limited to areas where people tend to drive less?**
  - The report identified areas where people tend to drive less than average.
  - Concentrating density in these areas may require area-wide rezoning, a new overlay zone, or new zoning standards that incentivize transit-oriented projects
- **Do we want to increase density allowances for affordable housing projects (those that serve a certain Area Median Income—AMI) or all Market Rate Housing?**

# Decision Points

## Q3: FAR

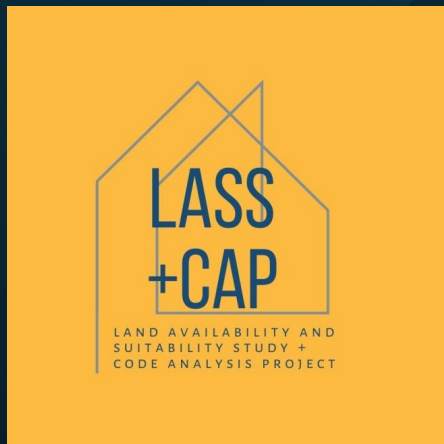
### Do you support managing the intensity of residential land uses with floor area ratio (FAR) caps?

- FAR caps are another tool to regulate the intensity of new development and can encourage smaller unit sizes
  - The City's commercial zones currently have FAR caps
- Density increases will impact the current High Occupancy Housing (HOH) standards, which are intended to address the intensity of residential land uses



# Decision Points

## Q4: Parking

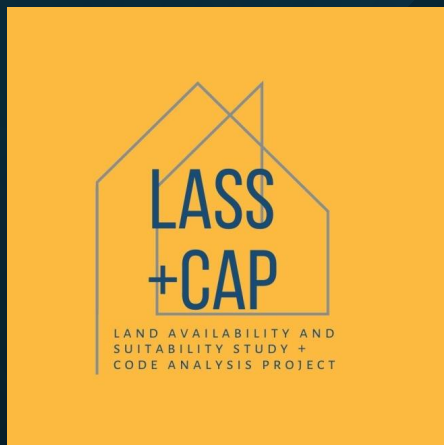


### **Do you support moving forward with parking reductions?**

- Should parking be left to the developer or the market to decide (no minimum standards)?
- Or, should there be standards?
- Should on-street parking be addressed in conjunction with reducing parking standards?

# Decision Points

## Q5: Menu of Sustainability Options



**Do you support creating a menu of sustainable design standards for developers to choose from?**

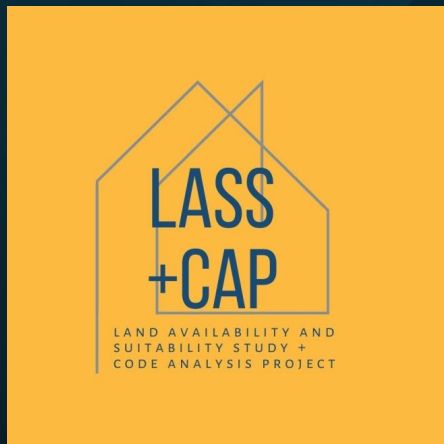
- A menu or points-based approach would provide flexibility while raising standards for reducing energy and water use, waste, and greenhouse gas emissions
- These standards would be accompanied by an increase in density and a reduction in parking

**Should a wider menu of Transportation Demand Management (TDM) strategies (such as carpooling, transit-oriented design, bicycle facilities, transit passes, site design, etc.) be included in this menu?**

- The Code Concepts Report found TDM is a critical component of a sustainable design standards menu

# Decision Points

## Q6: Reduced Street Widths



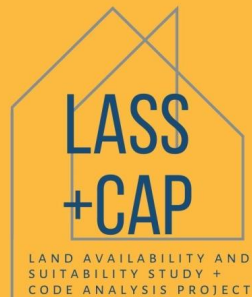
### **Reduced Street Widths**

These code concepts propose new options for narrower street designs that would allow slightly higher density for some development types, reduce street construction costs for all developments, and calm traffic speeds.

**Do you support developing a strategy and outlining a process for creating a narrower local street design option?**

# Decision Points

## Q7: Winter Parking Ordinance



Alternative code concepts include:

- Designating specific streets for snow removal based on traffic volumes and necessity for emergency services.
- Implementing a form of alternative/odd-even parking limitations so that at least one side of a public street is available for overnight parking during snow removal.
- Only prohibiting on-street parking during a declared snow accumulation event based on a specific amount of snow and ice accumulation so that on-street parking is available during non-accumulation.

**Do you support developing a strategy and outlining a process for replacing the current Winter Parking Ordinance?**

# Next Steps

## Public Outreach

- Will occur at several points in the overall process
- Town Hall

Resolve outstanding Decision Point questions for consulting team

Formal Code Recommendations

Preparation and adoption of Code Amendments



**Heritage Preservation Commission**

7. B.

**From:** Lauren Clementino, Senior Planner/Heritage Preservation Officer

**DATE:** 03/19/2025

**SUBJECT:** Open Meeting Law Refresher Training

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**STAFF RECOMMENDED ACTION:**

Discussion only.

**Executive Summary:**

Georganna Staskey, Deputy City Clerk, will provide a presentation on Open Meeting Law which is provided to the City of Flagstaff Boards and Commissions. A discussion to follow with Q & A.

**Policy Impact:**

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**Attachments**

Refresher BAC Training 2025

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# FLAGSTAFF BOARDS AND COMMISSIONS

## Open Meeting Law Refresher





# FLAGSTAFF BOARDS AND COMMISSIONS

## Today's Agenda

- Review Roles of Commissions
- Refresher in Open Meeting Law
- Review Conflict of Interest Law
- Questions



# FLAGSTAFF BOARDS AND COMMISSIONS



## December Appointments

- Thank you for continued service for the community!
  - Abbey Buckham
  - Bernadette Burcham

## February Appointment

- Welcome!
  - Jesse Dominguez



# FLAGSTAFF BOARDS AND COMMISSIONS

## Roles

- Board and Commission Role
  - Make recommendations to Council
- Staff Liaison Role
  - Ensure compliance with Open Meeting Law
  - Answer questions related to city policies and procedures
  - Coordinate the involvement of other departments or commissions
  - Reporting commission recommendations to Council



# FLAGSTAFF BOARDS AND COMMISSIONS



## Open Meeting Law

- Meetings shall be open to the public and follow requirements
  - When and where the meeting will occur
  - Information to inform the public of the matters to be discussed or decided
  - Minimum 24-Hour public notice is required
- Legal action (motions and votes) must take place in a public meeting
- Only agenda items may be discussed
- Executive Sessions (exception to rule)
  - Executive sessions require prior consent of City Attorney and staff liaison



# FLAGSTAFF BOARDS AND COMMISSIONS



## Why do we have an Open Meeting Law?

- To protect the public.
  - To avoid decision-making in secret.
  - To promote accountability by encouraging public officials to act responsively and responsibly.
- To protect public officials.
  - To avoid being excluded (notice).
  - To prepare and avoid being blind sided (agenda).
  - To accurately memorialize what happened (minutes).
- Maintain Integrity of government.
- Better informed citizenry.
- Build trust between government and citizenry.



# FLAGSTAFF BOARDS AND COMMISSIONS



## What constitutes a meeting?

- A meeting is a gathering, in person or through technological devices, of a quorum of a public body at which they discuss, propose, or take legal action, including deliberations. ARS § 38-431(4).
  - This includes telephone and e-mail communications.
    - DO NOT “reply all”
    - Public does not have access
    - E-Mails regarding commission business are a public record
- Quorum Requirement



# FLAGSTAFF BOARDS AND COMMISSIONS

## Open Meeting Law

- Penalties
  - If found guilty of an Open Meeting Law violation, a court may:
    - Levy a fine up to \$500 against the commissioner for each violation
    - The commissioner **personally** must pay the fine
  - The commissioner is subject to removal from office



# FLAGSTAFF BOARDS AND COMMISSIONS



## Decorum

- The chair is the presiding officer in all commission proceedings. During the absence of the chair, the vice-chair acts as chair.
- Members may speak after recognition by the chair and the chair shall not unreasonably withhold such recognition.
  - When two or more members wish to speak, the chair shall determine the order of speaking and recognize the first speaker.
  - While a member is speaking, no other member shall interrupt except to make a point of order or a point of personal privilege.



# FLAGSTAFF BOARDS AND COMMISSIONS



## Tips for Meetings

- Refrain from side conversations during the meeting
- Turn off your phone ringer/computer sounds
- Wait for the previous person to finish their comments
- Speak clearly for the audience
- If you are unable to attend a meeting in person, please contact your staff liaison to attend virtually
  - As a general rule, a commission may recommend the removal of any member who is absent for more than two consecutive regular meetings without prior notification.



# FLAGSTAFF BOARDS AND COMMISSIONS



## Conflict of Interest

- Substantial
  - Generally, any interest that affects your, or your relative's, financial (pecuniary) or property (proprietary) interests
  - Refrain from voting on or participating in the decision (please "leave the room")
  - Make the conflict of interest known in the official record
- Remote
  - Remote interests are financial and property interests deemed to be so minor as not to trigger the reporting and non-participation requirements
  - May still vote
- Gifts and Bribes:
  - Tickets to concert, dinner gift certificates, etc. considered gifts

# Board and Commission Members' Rules and Operations Manual

[georganna.staskey@flagstaffaz.gov](mailto:georganna.staskey@flagstaffaz.gov)



**Heritage Preservation Commission**

7. C.

**From:** Lauren Clementino, Senior Planner/Heritage Preservation Officer

**DATE:** 03/19/2025

**SUBJECT:** Historic Signs and Facades Grant Tracking - March 2025 Update

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**STAFF RECOMMENDED ACTION:**

Discussion only.

**Executive Summary:**

Spreadsheet updated to reflect extension awarded for 601 W Cherry Avenuen project.

**Policy Impact:**

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**Attachments**

HSFG Tracking March 2025

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## HSFG Grants July 2024 - June 2025

Address	Property Owner(s)	Grant Amount (\$)	Meeting Date	Status
314 W Birch Avenue	Robert and Dorothy Best	\$20,000	November-23	Paid
Yogaert / 3 E Aspen	Samantha		Mar-24	Forfeited
601 W Cherry Avenue	Erik Schiefer-Stan & Amanda Schiefer-Stan		Apr-24	\$10,000 award - extended to FY26
614 W Santa Fe Avenue	Mac Axelrod, Trustee (Tesano representative)	\$20,000	Apr-24	Permits issued
Sego Lily House	Townsite CLT	\$20,000	Jul-24	Paid
1625 N Sunset Drive	Claire DeChambre and Nicholas Geib	\$10,000	Aug-24	Paid
416 S San Francisco Street	Enrique Valdivia	\$5,000	Aug-24	Inspection complete - payment pending
823 W Aspen Ave	Caitlin Kelly	\$20,000	Aug-24	Paid
314 N Mogollon	Jeff and Karen Kramarcy	\$10,000	Sep-24	Paid
302E Route 66	Harry Curtin	\$10,000	Sep-24	Paid
803 1/2 W Aspen Ave	Greg Hadden	\$20,000	Sep-24	Permits issued
104 E Route 66	Bob Harris (contractor)	\$10,000	Nov-24	Permits Issued
FY25 Funding		\$160,000		
Available funds		\$15,000		

**Heritage Preservation Commission**

8. A. 1.

**From:** Sara Dechter, AICP, Comprehensive Planning Manager

**DATE:** 03/19/2025

**SUBJECT:** Exemption for Roof Repair at 702 W Birch Ave

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**PROPERTY INFO:**

**Permit Number(s):** OTC-25-00684

**Address:** 702 W Brich Ave

**Type of Approval:** Over the Counter Reroofing permit

**Approval Date:** 3/11/2025

**FINDINGS:**

The Building Official has certified that the hole in the roof is an imminent hazard, for which no temporary corrective measures will suffice in protecting the public safety due to an incoming winter storm.

**INFORMATION:**

A whole is present in the roof of Unit 1 of this structure and there are two incoming winter storms this week. The Building Official determined that the need to approve the re roofing permit should be expedited for public safety in these circumstances.

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