

NOTICE AND AGENDA

HERITAGE PRESERVATION COMMISSION
WEDNESDAY
APRIL 16, 2025

COUNCIL CHAMBERS
211 WEST ASPEN AVENUE
4:00 P.M.

PUBLIC COMMENT PROTOCOL

To participate in the meeting virtually use the following link:
[Join the Meeting Online](#)

The public can submit comments that may be read at the dais by a staff member to the Commission liaison, sdechter@flagstaffaz.gov.

1. Call to Order

NOTICE OF OPTION TO RECESS INTO EXECUTIVE SESSION

Pursuant to A.R.S. §38-431.02, notice is hereby given to the members of the Heritage Preservation Commission and to the general public that, at this regular meeting, the Heritage Preservation Commission may vote to go into executive session, which will not be open to the public, for legal advice and discussion with the City's attorneys for legal advice on any item listed on the following agenda, pursuant to A.R.S. §38-431.03(A)(3).

2. Roll Call

NOTE: One or more Commission Members may be in attendance telephonically or by other technological means.

EMILY DALE, CHAIR
ALYCIA HAYES, VICE CHAIR
ABBEY BUCKHAM
BERNADETTE BURCHAM

JESSE DOMINGUEZ
AMY HORN
DUFFIE WESTHEIMER

3. LAND ACKNOWLEDGEMENT

The Heritage Preservation Commission humbly acknowledges the ancestral homelands of this area's Indigenous nations and original stewards. These lands, still inhabited by Native descendants, border mountains sacred to Indigenous peoples. We honor them, their legacies, their traditions, and their continued contributions. We celebrate their past, present, and future generations who will forever know this place as home.

4. Public Comment

At this time, any member of the public may address the Commission on any subject within their jurisdiction that is not scheduled before the Commission on that day. Due to Open Meeting Laws, the Commission cannot discuss or act on items presented during this portion of the agenda. To address the Commission on an item that is on the agenda, please wait for the Chair to call for Public Comment at the time the item is heard.

5. APPROVAL OF MINUTES

Approval of minutes from the regular meeting on Wednesday March 19, 2025. [Agenda - View Meetings \(All\) \(5172099984\)](#)

6.

PUBLIC HEARING

A. 615 W. Cherry Ave. Grant Application

PROPERTY INFORMATION:

Address: 615 W. Cherry Ave.
Assessor's Parcel Number: 100-12-014A
Property Owner: Cheryl Wahlgren
Applicant: Cheryl Wahlgren
City Staff: Lauren Clementino, HPO

REQUESTED ACTION:

Approval of a Level 1 Historic Signs and Facades Grant application to replace seven aluminum slider windows on the upper stories of the house at 615 W. Cherry Ave.

RECOMMENDED ACTION:

Approval of a Level 1 Historic Signs and Facades Grant application to replace seven aluminum slider windows on the upper stories of the house at 615 W. Cherry Ave., with conditions including that the Heritage Preservation Officer receive and review a Certificate of No Effect application for the project and the exterior window trim boards are retained.

The property was constructed circa 1910-1916 and is non-contributing to the Flagstaff Townsite Historic Residential District due to alterations including the upper story addition with aluminum slider windows (see attached inventory form). The owner/applicant proposes to replace the aluminum windows with white, vinyl windows. The window openings were designed for slider-style windows, and the owner/applicant proposes to keep the slider style to best conform to the opening size and shape. The historic first story windows will not be replaced. Replacing the windows with something more in character with the historic wooden windows on the first story of the property would meet grant guidelines for a Level 1 grant to reverse changes that diminished historic integrity. Due to the addition, the property would remain non-contributing to the district even with window replacement and, as such, it is not necessary to require upgraded windows (such as fiberglass instead of vinyl or double-hung instead of slider). However, the Commission could opt to add conditions requiring these upgrades with approval of the grant application to further restore integrity to the property and the district.

Sufficient grant funding for this fiscal year remain to award this project and no other grant applications have been submitted for consideration at this time. The Commission could also opt to require a condition that the project is completed within the current fiscal year to expend remaining fiscal year funds.

B. Grant Extension for 614 W. Santa Fe Ave.

PROPERTY INFORMATION:

Address: 614 W. Santa Fe Ave.
Assessor's Parcel Number: 100-23-007
Property Owner: Cattail Properties AZ LLC
Applicant: Mac Axelrod, Trustee
City Staff: Lauren Clementino, HPO

REQUESTED ACTION:

Approve a six-month extension for the \$20,000 Historic Signs and Facades Grant originally awarded in April 2024.

RECOMMENDED ACTION:

Approve a six-month extension for the \$20,000 Historic Signs and Facades Grant originally

awarded in April 2024.

C. 416 W. Birch Ave. Modification to the Certificate of Appropriateness

PROPERTY INFORMATION:

Address: 416 W. Birch Ave.
Assessor's Parcel Number: 100-11-015A
Property Owner: Pete Giovale
Applicant: Paul Moore (Architect)
City Staff: Lauren Clementino, HPO

REQUESTED ACTION:

Approve an modified Certificate of Appropriateness for two new additions to the previously approved plans:

- 1) Remove the existing chimney and replace with a new masonry chimney with a dry stack malpais stone veneer.
- 2) Replace a deck railing on the back (North) side of the house to match the existing railing on the existing front porch.

RECOMMENDED ACTION:

Approve an modified Certificate of Appropriateness for two new additions to the previously approved plans.

D. 3300 E. Route 66 Phase I Cultural Resource Study

PROPERTY INFORMATION:

Address: 3300 E. Route 66
Assessor's Parcel Number: 108-09-057A
Property Owner: Flagstaff Shelter Services
Applicant: Ross Schaefer, Executive Director, Flagstaff Shelter Services
City Staff: Lauren Clementino, HPO

REQUESTED ACTION:

Approval of a Phase I Cultural Resource Study and selection of measures to mitigate the major impact to historic The Crown Motel property. Mitigation measures will be presented by the applicant and their consultant during the meeting and will include the previously proposed replacement signage (attached).

RECOMMENDED ACTION:

Approval of a Phase I Cultural Resource Study with additional mitigation. In November 2024, the property owner self-reported a code compliance issue: historic signs and lighting had been removed from the restaurant portion of the building without their permission. At that time, staff requested a Phase 1 Cultural Resource Study be completed, and a mitigation proposal developed. The resulting Phase I Cultural Resource Study finds that, due in part to the removal of the neon "Restaurant" signs and edging at the Crown Railroad Cafe, the entire The Crown Motel property no longer retains sufficient integrity to convey its historic significance and association with Route 66. This constitutes a major impact requiring mitigation measures per Flagstaff City Code [10-30.30.050](#) Cultural Resources.

7. **GENERAL BUSINESS**

- A. Historic Signs and Facades Grant Tracking - April 2025 Update
Discussion only.

8. **REPORTS**

- A. **APPROVALS**

1. 111 N. Leroux St. Letter Report
Permit Number(s): PZ-25-00069
Address: 111 N. Leroux St.
Type of Approval: Cultural Resource Study - Letter Report
Approval Date: April 8, 2025

2. 123 N. Leroux St. Letter Report
Permit Number(s): PZ-25-00070
Address: 123 N. Leroux St.
Type of Approval: Cultural Resource Study - Letter Report
Approval Date: April 8, 2025

3. 111 N. Leroux St. Certificate of No Effect
Permit Number(s): PZ-25-00081
Address: 111 N. Leroux St.
Type of Approval: Certificate of No Effect
Approval Date: April 8, 2025

4. 123 N. Leroux St. Certificate of No Effect
Permit Number(s): PZ-25-00082
Address: 123 N. Leroux St.
Type of Approval: Certificate of No Effect
Approval Date: April 8, 2025

B. CONSULTATIONS

9. MISCELLANEOUS ITEMS TO/FROM COMMISSION MEMBERS

- Request for Heritage Preservation Commission participation in the 2025 AZ Preserve America Youth Summit taking place from June 2- 5, 2025.

10. ADJOURNMENT

CERTIFICATE OF POSTING OF NOTICE

The undersigned hereby certifies that a copy of the foregoing notice was duly posted at Flagstaff City Hall on _____, at _____ a.m./p.m. This notice has been posted on the City's website and can be downloaded at www.flagstaff.az.gov.

Dated this _____ day of _____, 2025.

 Sara Dechter, Comprehensive Planning Manager

In compliance with the Americans with Disabilities Act, if you need assistance to participate in this meeting, please contact staff at 928-213-2611 (or 774-5281 TDD).

Notification at least 48 hours in advance will enable the City to make reasonable arrangements.

Heritage Preservation Commission

6. A.

From: Lauren Clementino, Senior Planner/Heritage Preservation Officer

DATE: 04/16/2025

SUBJECT: 615 W. Cherry Ave. Grant Application

PROPERTY INFORMATION:

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Assessor's Parcel Number: 100-12-014A

Property Owner: Cheryl Wahlgren

Applicant: Cheryl Wahlgren

City Staff: Lauren Clementino, HPO

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Sufficient grant funding for this fiscal year remain to award this project and no other grant applications have been submitted for consideration at this time. The Commission could also opt to require a condition that the project is completed within the current fiscal year to expend remaining fiscal year funds.

ALTERNATIVE ACTIONS:

- Approve the Historic Signs and Facades Grant application with additional conditions, such as requiring fiberglass or double-hung windows or completion of the project within the current fiscal year.
- Deny the Historic Signs and Facades Grant application.

HAS THERE BEEN PREVIOUS COMMISSION DECISION ON THIS:

None.

Attachments

615 W Cherry HPC-G Application



City of Flagstaff

Community Development Division

211 W. Aspen Ave
Flagstaff, AZ 86001
www.flagstaff.az.gov

P: (928) 213-2618
F: (928) 779-7684

HPC-G

Date Received 3-14-25		Application to Heritage Preservation for a Historic Signs and Facades Grant		File Number PZ-25-00066
Property Owner(s) Cheryl Wahlgren	Title ms	Phone 512-497-7810	Email cheryl.wahlgren@gmail.com	
Mailing Address 615 W. Cherry Ave.		City, State, Zip Flagstaff, AZ 86001		
Applicant Cheryl Wahlgren	Title ms	Phone 512-497-7810	Email same	
Mailing Address 615 W. Cherry Ave		City, State, Zip Flagstaff, AZ 86001		
Property Interest of Applicant(s) (Owner, contractual interest, or agent) Owner				
Site Address 615 W. Cherry Ave		City, State, Zip Flagstaff, AZ 86001		
Project Name window replacement				
Parcel Number(s) 100-12-014A		Zoning District(s), including Overlays R1N TOZ		
Property Information:				
<input type="checkbox"/> Yes <input type="checkbox"/> No		Listed individually on the National or Arizona Register of Historic Places? (Name: _____)		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		Located in a National Register Historic District? (Name: TOWNSIZ)		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		Is a structure on the property considered contributing to the District?		
<input type="checkbox"/> Yes <input type="checkbox"/> No		Located in a City of Flagstaff Landmark Overlay? (Name: _____)		
<input type="checkbox"/> Yes <input type="checkbox"/> No		Has the structure every been inventoried or evaluated for the National Register?		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		Is the structure over 50 years old at the time of application?		
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		Was all or a portion of the structure built before World War II as housing?		
Note: Applications which are incomplete or not accompanied by the required information will not be accepted.				
Property Owner Signature: Cheryl Wahlgren		Date:	Applicant Signature: Cheryl Wahlgren	
For City Use				
Date Filed: 3-14-25		HPC Hearing Date: _____		
Fee Receipt #: _____		Amount: _____ Date: _____		
Action by HPC:				
<input type="checkbox"/> Consent Approval by HPO		<input type="checkbox"/> Denied		
<input type="checkbox"/> Approved		<input type="checkbox"/> Continued		
<input type="checkbox"/> Approved with Conditions		Staff Initial: _____ Date: _____		

Project Description

Window replacement for 2nd & 3rd stories
replace 7 upper story windows with new
white windows instead of ugly, deteriorating
aluminum windows.
Preserving 4 wooden windows original to home.

Explanation of how the project meets the applicable sections of the Zoning Code, Grant Guidelines and Secretary of the Interior Standards for the Treatment of Historic Properties.

My house was built in 1923 and a third story addition was added in 1954. Most of the windows, on second & third story are very old aluminum windows which are rusty & falling apart. They look awful! There are however 4 small old windows which I will not replace as they still seem to fit with the older heritage of my home. They are wood.

I would like to replace the decaying old aluminum windows with new white ones that will conform to the first floor original windows. They will look sooo much nicer than what is presently there! I try to maintain my home as best I can and add or repair parts every year as I can afford it on my retirement income to keep my home looking nice and preserving it for future generations.

Insert additional pages if necessary



Summary Statement of Significance:

National Register of Historic Places documentation or a Cultural Resource Study can be submitted in lieu of completing this page to demonstrate significance (Attach additional pages as necessary).

The significance of a resource is generally based on its potential to contribute to our understanding of the past. An object, structure, site, place, or area is significant if:

- a. It is associated with events or persons in the architectural, engineering, archeological, scientific, technological, economic, agricultural, educational, social, political, military, or cultural annals of the City of Flagstaff, the State of Arizona, or the United States of America.
- b. It embodies distinctive characteristics of type, period, region, artistic values, or methods of construction, including being the oldest of its type or the best example of its type, or, if it represents the work of, or for, an important individual.
- c. A resource is generally not significant if it is less than fifty (50) years old, or, if the features, materials, patterns, and relationships that establish its significance are no longer present or no longer have integrity. The integrity of a resource is judged by how evident the general character of the significant period is, the degree to which the characteristics that define its significance are present, and the degree to which incompatible elements are reversible.

Original Construction Date:

unknown

Describe Previous Major Alterations (Include dates and changes of use):

unknown

Describe the Significance of the Resource (In terms of a. or b., and c., above):

1923 home with 1954 addition.
aluminum windows on 2nd + 3rd story do
not add to the general appeal of the rest
of my beautiful old home. They are
deteriorating + need to be replaced to add

Source(s) of Information Used:

to the integrity of the structure + the neighborhood.

Describe the Level of Integrity of the Resource (Existing and proposed):

old rusty aluminum windows to be replaced
with new white windows matching the
lower, older part of the home.

Preservation Budget Summary:

Complete this section only for consideration of Historic Sign and Facades Grants (Attach additional pages as necessary). Ensure all work proposed for the grant meets the [Grant Guidelines](#))

Total Construction Budget (including matching fund provided by the applicant):

\$11,431.00

Preservation Work Budget Detail:

Item of Preservation Work:	Total Cost:	Grant Request:	Matching Funds:
EXAMPLE: New siding and paint	\$6,000	\$3,000	\$3,000
new windows	11,431.00	5,715.50	5,715.50
Totals:			

Notes:

1. Grant request cannot exceed 50% of Project Costs.
2. Grant request cannot exceed \$10,000 for Level 1 projects and \$20,00 for Level 2 projects.
3. Grant recipient or property owner labor cannot be used as matching funds.
4. Attach estimates, quotes and prices to verify the budget.

Reimbursement Requirements

Once the grant is approved, the property owner will need to submit a W-9 to the city before requesting reimbursement.

To request reimbursement, the property owner must provide documentation of completed work including photos and paid invoices and have had at least one on site inspection by the Heritage Preservation Officer. The Heritage Preservation Officer may be consulted throughout the project to confirm that ongoing work is in compliance with the Grant approval.

Well built
2000 Insulation

3000
4e

Phone:
1-855-DABELLA

Website:
www.dabella.us

Email:
customerservice@dabella.us

\$20,000.00

Monthly
Deposit: 50%
CR: 831

1000

Window(s) Project Solution

Bradson Graham (602)-663-1276

Appointment Date: _____ Your DaBella Representative: Anthony Barca

(928) 699-2404

	Option A	Option B	Option C
Project Description	9 GWDP	9 GWDP	6 GWDP
	low E	low E	low E
	Virgin Vinyl	Virgin Vinyl	Virgin Vinyl
Project Price 30 Day Bid	Grids	Full Function	Full Function
	Full Function	Lifetime Warranty	Lifetime Warranty
	Lifetime Warranty	16296	11445
			44545
			10300
Promo (If Applicable)			2575
			15242
			11431

DaBella is neither a broker nor a lender. Financing is provided by third-party lenders unaffiliated with DaBella, under terms and conditions arranged directly between the customer and such lender, all subject to credit requirements and satisfactory completion of finance documents. Any finance terms advertised are estimates only. DaBella does not assist with, counsel or negotiate financing, other than providing customers an introduction to lenders interested in financing DaBella's customers.

AZ ROC #317425 | DaBella Exteriors LLC is a D/B/A of DaBella. Anything referring to DaBella Exteriors LLC is going to be referring to DaBella. All rights reserved.

3400 SS
1400 Pension

4000
23005

04/2024

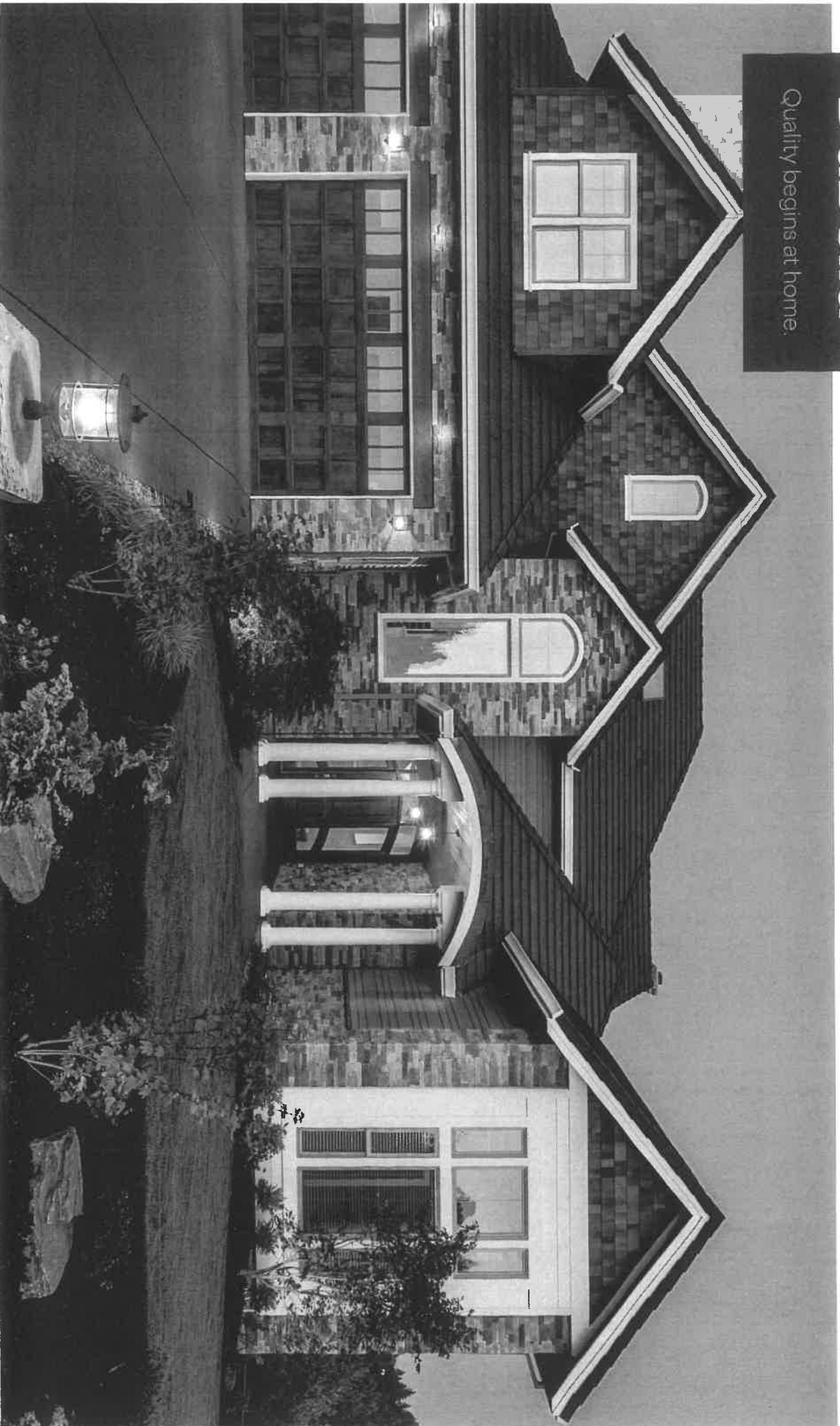


Dabella

Quality begins at home.

Glasswing

HIGH-PERFORMANCE PREMIUM VINYL WINDOWS



Window Styles

Glasswing windows offer a full selection of window styles to complement your home.

Sliding

Sliding windows take the lead in wide-open viewing with an unobstructed glass area. Operating sashes glide horizontally for smooth operation and lift out for easy cleaning.

- Narrowline frame and sashes with fusion-welded corners for exceptional beauty, strength and energy efficiency
- Insulated glass unit with triple-pane glass and Warm-Edge Structural Foam Spacer provides superior thermal protection and longevity
- Embedded, multi-chambered construction creates airtight insulating compartments for increased thermal performance and strength
- Non-conductive, composite reinforcement in the meeting rails allows for secure mounting of hardware and improves energy efficiency
- Nylon-encased dual brass roller system for easy-glide performance
- Hidden screen track for a neat, clean appearance

Double-Hung

Forever in style, double-hung windows feature classic detail and superb functionality – both sashes tilt in for easy cleaning of the window from inside your home.

- Narrowline frame and sashes with fusion-welded corners for exceptional beauty, strength and energy efficiency
- Insulated glass unit with triple-pane glass and Warm-Edge Structural Foam Spacer provides superior thermal protection and longevity
- Integrated sash-to-sill interlock creates a unified wall of strength, prevents the sash from bowing in extreme winds
- Non-conductive, composite reinforcement in the meeting rails allows for secure mounting of hardware and improves energy efficiency
- Block and tackle balance system provides smooth raising and lowering of sashes
- Hidden screen track for a neat, clean appearance

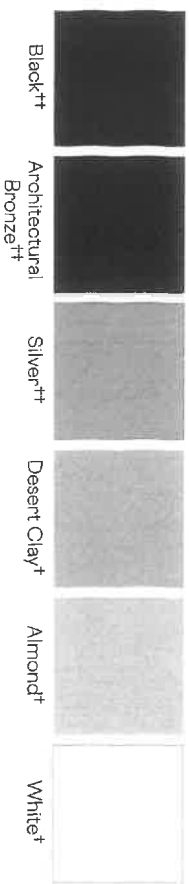


Decorative Options

Color Options

Interior finishes include White, Almond and Desert Clay. Exterior choices include White, Almond and Desert Clay, as well as high-performance colors in Black, Architectural Bronze and Silver. The cutting-edge polyurethane coating technology with heat-reflective pigments achieves a remarkably strong and fade-resistant finish for enduring style.

Exterior

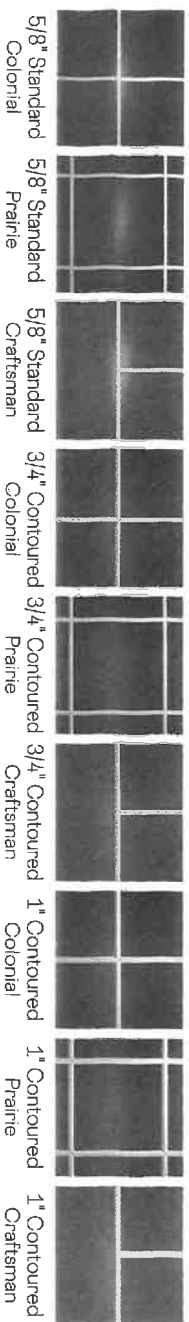


Interior



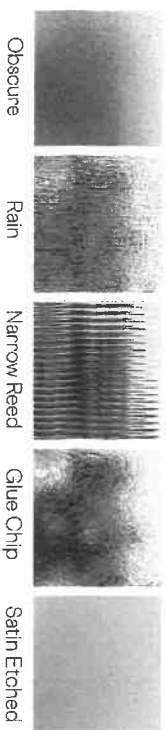
Interior Grids

Decorative grids lend an added measure of style and dimension to your windows. All grids are enclosed within the insulated glass unit for easy cleaning. Select a grid profile and pattern to achieve your ideal finished look.



Obscure Glass

Obscure glass styles offer privacy for bathrooms and other areas of your home without blocking the natural light.



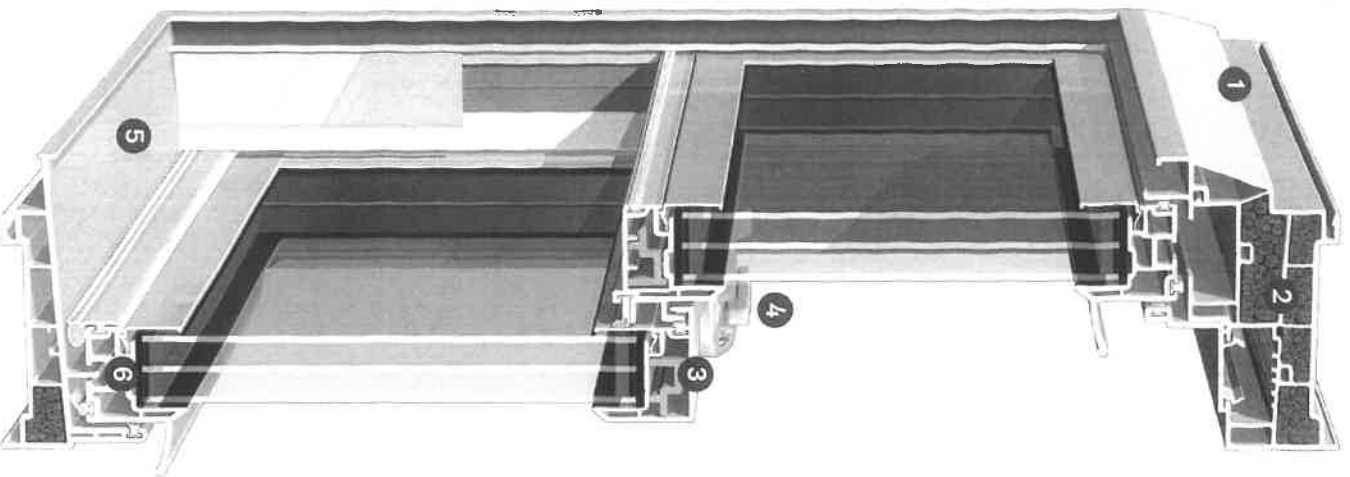
Dabella

3495 NE Alcock Drive • Hillsboro, Oregon 97124
855.322.3552 • www.dabella.us

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Glasswing windows are performance-engineered with all the features of superior window design - exceptional quality and energy efficiency, along with beautiful aesthetics and easy upkeep.



1 The design ingenuity of our EdgeForce narrowline frame and sashes begins with a sleek, refined construction featuring a larger glass area for greater daylighting. And while the clean-line aesthetic captures your attention, extruded chambers integrated in the assembly provide increased structural integrity, strength and energy efficiency.

2 Enhanced cavity foam insulation further maximizes the energy efficiency of Glasswing windows. This innovative technology incorporates carbonized foam liners in select channels of the head, jamb and sill to create a highly protective thermal barrier against energy loss.

3 Increased structural performance at the meeting rails of double-hung and sliding windows is assured with polyurethane fiberglass reinforcement. The composite technology also reduces the transfer of energy and fortifies the meeting rails for secure mounting of hardware.¹

4 Built tough with a positive end-of-throw cam shifting lock, our Defense-Tek low-profile locking system seals the sash tightly closed and features an indicator that lets you know if your windows are not locked.

5 The superior form and functionality of Glasswing windows is further assured with our Forecaster true sloped sill. This highly effective drainage system directs water runoff without the use of weep holes.²

At the same time, the HPP3 integrated telescoping sill dam provides triple benefits: increased structural stability, improved protection from air and water infiltration, and enhanced style.

6 Heavy-duty strength against harsh wind and weather is at the core of our Gatekeeper sash-to-sill interlock. Traditional sloped sill designs can allow the sash to bow during intense winds, but with Gatekeeper interlocking technology, the sash is channeled firmly into the window frame for a unified wall of resistance. Along with three layers of insulating weatherstripping, Gatekeeper stands ready to protect your home in the face of extreme weather.

Our protective Ocular screen bulb creates a tight fit to eliminate light penetration between the window frame and screen, as well as block insect access. The compression bulb also allows for easier installation and removal of the extruded aluminum screen.³

Four additional frame options also are available for enhanced visual appeal and installation ease.



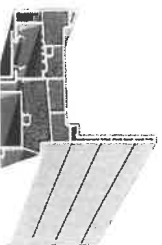
1" Nail Fin



1-3/8" Nail Fin Set Back



1-3/8" Nail Fin Set Back with J-Channel Adaptor



Stucco Fin

Glasswing Double-Hung Glass Performance Comparison ⁴		
	U-Factor	SHGC
Clear Glass	0.46	0.57
ClimateTech TK2 Plus Elite Extreme	0.17	0.12

⁴ Performance based on whole window unit.

¹ Double-hung case model will automatically be upgraded to ST (steel reinforcement) for all units ordered in sizes of 48" wide or 84" high. For larger units, please contact us for more specific DP/PG ratings; optional weep/performance package units are ordered.
² Available only with the full screen option.

Get to Know Your Glasswing Windows

Let's take a closer look at what makes Glasswing windows rise above the rest.



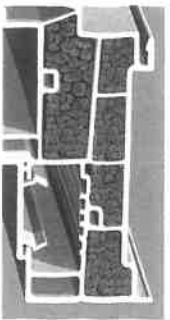
Fusion-Welded Frame and Sash Corners

Full-contact welding points at frame and sash corners provide superior strength and durability, as well as a clean, low-spread finished look.



Block and Tackle Balance System

This heavy-duty balance system in our double-hung windows ensures smooth and easy opening and closing of the sashes.



Multi-Chamber Construction

Airtight insulating spaces in the frame enhance thermal efficiency and structural integrity.



Protective Multi-Layer Weatherstripping

Integrated in the window design and construction, multi-layer weatherstripping delivers added protection against energy loss and the infiltration of outside elements.



High-Performance Cavity Foam Insulation

Carbonized foam liners in the window structure contain graphite, which creates a distinct silver-gray color and increases the insulating performance beyond typical EPS foam insulation.



Dual Vent Stops

Convenient and practical, dual vent stops allow for limited opening of the window for ventilation.



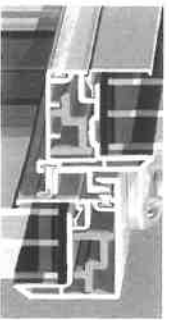
ClimaTech TK2 Plus Technology

This triple-pane unit is precision-built with a Warm-Edge Structural Foam Spacer System, two surfaces of low-emissivity (Low-E) glass and two air spaces filled with krypton insulating gas for maximum protection against energy loss.



Hidden Screen Track

Designed for a clean-line appearance, the hidden screen track enhances the aesthetics of your Glasswing windows. Half screens are standard; optional full screens are available.



Reinforced Sash Meeting Rails

Double-hung and sliding sash meeting rails are reinforced with polyurethane fiberglass to increase strength, resist flexing during heavy winds and allow for secure mounting of hardware.¹



CommandPlus Hardware

Featuring a corrosion-proof finish that's guaranteed for life, this heavy-duty hardware ensures long lasting ease of operation for casement and awning windows.















ARIZONA BUILDING INVENTORY "SHORT FORM"

SURVEY AREA NAME: Flagstaff Multiple Resource Area
 HISTORIC NAME: _____ House _____
 ADDRESS/LOCATION: 615 W. Cherry
 CITY/TOWN: Flagstaff
 TAX PARCEL NUMBER: 100-12-14
 OWNER: Bulowski, John & Velma
 OWNER ADDRESS: 615 W. Cherry; Flag. 86001
 HISTORIC USE: residence
 PRESENT USE: residence
 BUILDING TYPE: house
 STYLE: Bungalow
 CONSTRUCTION DATE: 1910-1916

BRIEF DESCRIPTIVE STATEMENT:
 2 story/clapboard siding - shingled wall -
 T-1-11/ gable roof

ALTERATIONS:
 second story modifications and aluminum
 slider windows

CONTEXT: RESIDENTIAL STREETScape X
 COMMERCIAL _____
 TOWN SQUARE _____
 CBD _____
 ISOLATED/RURAL _____

SURVEYOR: Jim Woodward
 DATE: June 1985

COUNTY: Coconino SURVEY SITE: 3-69
 USGS QUAD: _____
 T R S / 1/4 OF THE 1/4



PHOTOGRAPHER: Jim Woodward
 DATE: 6/85 VIEW: S
 NEGATIVE NUMBER: FMRA- 4-7

SKETCH MAP:
 SEE ATTACHED SURVEY MAP

Heritage Preservation Commission

6. B.

From: Lauren Clementino, Senior Planner/Heritage Preservation Officer

DATE: 04/16/2025

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City Staff: Lauren Clementino, HPO

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Approve a six-month extension for the \$20,000 Historic Signs and Facades Grant originally awarded in April 2024.

ALTERNATIVE ACTIONS:

Deny the grant extension request. Not providing the extension would mean the owner/applicant could not be reimbursed for the previously approved project.

HAS THERE BEEN PREVIOUS COMMISSION DECISION ON THIS:

The Commission originally approved the grant award on April 17, 2024.

Attachments

614 W Santa Fe 2024 Grant Application

614 W Santa Fe Grant Extension Request



City of Flagstaff

Community Development Division

211 W. Aspen Ave
Flagstaff, AZ 86001
www.flagstaff.az.gov

P: (928) 213-2618
F: (928) 779-7684

HPC-G

Date Received 4/2/24		Application to Heritage Preservation for a		File Number
		Historic Signs and Facades Grant		PZ-24-00061-01
Property Owner(s) Cattail Properties AZ LLC	Title	Phone 407-718-2344	Email axelrodmac@gmail.com	
Mailing Address 1212 Estancia Woods Loop, Windermere, FL 34786			City, State, Zip	
Applicant Mac Axelrod, Trustee	Title	Phone 407-718-2344	Email axelrodmac@gmail.com	
Mailing Address 1212 Estancia Woods Loop, Winderemere, FL 34786			City, State, Zip	
Property Interest of Applicant(s) (Owner, contractual interest, or agent) 100%				
Site Address 614 W Santa Fe, Flagstaff, AZ 86001			City, State, Zip	
Project Name England House Partial Foundation				
Parcel Number(s) 100-23-007		Zoning District(s), including Overlays Flagstaff Townsite		
Property Information:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Listed individually on the National or Arizona Register of Historic Places? (Name: _____)		
	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Located in a National Register Historic District? (Name: <u>Townsite</u>)		
	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Is a structure on the property considered contributing to the District?		
	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Located in a City of Flagstaff Landmark Overlay? (Name: <u>Townsite</u>)		
	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Has the structure ever been inventoried or evaluated for the National Register?		
	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Is the structure over 50 years old at the time of application?		
	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Was all or a portion of the structure built before World War II as housing?		
Note: Applications which are incomplete or not accompanied by the required information will not be accepted.				
Property Owner Signature:	Date:	Applicant Signature: <i>Vanessa Miller</i>	Date: 4/2/24	
For City Use				
Date Filed: _____		HPC Hearing Date: _____		
Fee Receipt #: _____		Amount: _____	Date: _____	
Action by HPC:	<input type="checkbox"/> Consent Approval by HPO	<input type="checkbox"/> Denied		
	<input type="checkbox"/> Approved	<input type="checkbox"/> Continued		
	<input type="checkbox"/> Approved with Conditions	Staff Initial: _____ Date: _____		

Submittal Requirements

An application to the Heritage Preservation Commission and Historic Preservation Officer shall contain at least the following information:

1. Completed Application including all signatures and payment of fees. If applying for multiple types of HPC reviews only one fee is collected at the time of the first application for the same work.
2. An electronic copy and one copy of drawings or documents as needed to describe the proposal, which may include Cultural Resource Studies, a Site Plan, Floor Plans, Exterior Elevations, Building Sections, Exterior Details, Lighting Plan, and a Landscape Plan. All drawings shall be drawn to scale and dimensioned, and shall clearly and accurately represent the natural and built conditions of the context area and the project, including both existing conditions and proposed work.
3. Photographs of the context, including the property, surrounding properties, and the neighborhood.
4. A Color Board depicting all exterior materials and finishes associated with the work (if requested).
5. Proof of ownership, or letter of authorization from the current property owner, if the applicant and owner are not the same.
6. Statement of approval from a subdivision or property owners association, if applicable.
7. Any other information which the applicant feels would be helpful and/or pertinent to the request.
8. Any other information as may be required by the Historic Preservation Officer or Heritage Preservation Commission to assist in the review of the requested application.

Timing of Submission and Completeness Review

The Heritage Preservation Commission meets to review applications monthly on the third Wednesday of the month. If you are submitting an application for a Historic Signs and Facades Grant, the Community Development counter must receive your application by the submittal deadline posted to the Heritage Preservation program website.

In order for your item to be added to an agenda, the Heritage Preservation Officer (HPO) must deem the application complete and the information in it correct within 5 working days. The HPO will contact applicants for additional information as necessary.

Historic Signs and Facades Grant are provided at the discretion of the Commission based on the criteria in the [grant guidelines](#) posted to the City's website. Grants are administered by the HPO and they are available for consultation through the process. Documentation of completed work and receipts must be provided within one year of approval by the Commission or an extension must be applied for in order to receive reimbursement.

Before submitting for a grant related to a sign, a permanent sign application must be submitted, and comments returned to the owner. If the application pertains to a historic sign that does not conform to current regulations of Permanent Signs (10-50.100) or meet the criteria for a non-conforming sign (10-20.60.110) then the Heritage Preservation Commission must first determine that the sign meets the criteria of an Individual Signs of Historic or Cultural Significance (10-30.30.040.E) and may require the sign be placed in a Landmark Overlay.

We encourage you to reach out early in designing your projects so that the HPO may assist you and your clients. HPO contact information: Phone: (928) 213-2633; Email: Mark.Reavis@flagstaffaz.gov



City of Flagstaff

Community Development Division

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Summary Statement of Significance:

National Register of Historic Places documentation or a Cultural Resource Study can be submitted in lieu of completing this page to demonstrate significance (Attach additional pages as necessary).

The significance of a resource is generally based on its potential to contribute to our understanding of the past. An object, structure, site, place, or area is significant if:

- a. It is associated with events or persons in the architectural, engineering, archeological, scientific, technological, economic, agricultural, educational, social, political, military, or cultural annals of the City of Flagstaff, the State of Arizona, or the United States of America.
- b. It embodies distinctive characteristics of type, period, region, artistic values, or methods of construction, including being the oldest of its type or the best example of its type, or, if it represents the work of, or for, an important individual.
- c. A resource is generally not significant if it is less than fifty (50) years old, or, if the features, materials, patterns, and relationships that establish its significance are no longer present or no longer have integrity. The integrity of a resource is judged by how evident the general character of the significant period is, the degree to which the characteristics that define its significance are present, and the degree to which incompatible elements are reversible.

Original Construction Date:

1901 _____

Describe Previous Major Alterations (Include dates and changes of use):

Describe the Significance of the Resource (In terms of a. or b., and c., above):

Source(s) of Information Used:

Describe the Level of Integrity of the Resource (Existing and proposed):

Preservation Budget Summary:

Complete this section only for consideration of Historic Sign and Facades Grants (Attach additional pages as necessary). Ensure all work proposed for the grant meets the Grant Guidelines)

Total Construction Budget (including matching fund provided by the applicant):

\$98,500.00

Preservation Work Budget Detail:

Item of Preservation Work:	Total Cost:	Grant Request:	Matching Funds:
EXAMPLE: New siding and paint	\$6,000	\$3,000	\$3,000
Remove the existing sandstone stem wall	\$2,000	\$1,000	\$1,000
Install a new footing and cinder block stem wall	\$10,000	\$5,000	\$5,000
Install a red stone facade on the new stem wall to match house	\$12,000	\$6,000	\$6,000
Interior and exterior paint	\$16,000	\$8,000	\$8,000
Totals:	\$40,000	\$20,000	\$20,000

Notes:

1. Grant request cannot exceed 50% of Project Costs.
2. Grant request cannot exceed \$10,000 for Level 1 projects and \$20,00 for Level 2 projects.
3. Grant recipient or property owner labor cannot be used as matching funds.
4. Attach estimates, quotes and prices to verify the budget.

Reimbursement Requirements

Once the grant is approved, the property owner will need to submit a W-9 to the city before requesting reimbursement.

To request reimbursement, the property owner must provide documentation of completed work including photos and paid invoices and have had at least one on site inspection by the Heritage Preservation Officer. The Heritage Preservation Officer may be consulted throughout the project to confirm that ongoing work is in compliance with the Grant approval.

City of Flagstaff Community Development Division
 211 W. Aspen Ave. P: (928) 213-2618
 Flagstaff, AZ 86001 F: (928) 779-7684
 www.flagstaff.az.gov

Application to Heritage Preservation for a Certificate with an Overlay File Number: **HPC-C**

Property Owner(s): **Central Properties AZ LLC** Title: **axelrod mac @ gmail.com** Phone: **487-718-2544** Email: **axelrod mac @ gmail.com**
 Mailing Address: **1550 N. Grand Canyon Wright Blvd** City, State, Zip: **Flagstaff, AZ 86001** Email: _____
 Applicant: **Mare Ave Truck** Title: **Trucker** Phone: _____
 Mailing Address: **No. B4-409 Scottsdale** City, State, Zip: **AZ 85306** Email: _____

Property Interest of Applicant(s) (Owner, contractual interest, or agent): **100%**

Site Address: **614 W Santa Fe**

Project Name: **England House Partial Foundation**

Parcel Number(s): **100-23-007**

Property Information: Yes No Listed individually on the National Register of Historic Places or other historic places? (Name: **INDISTINCT**)
 Yes No Located in a National Register Historic District (Name: **INDISTINCT**)
 Yes No Is a structure on the property considered contributing to the District?
 Yes No Located in a Historic or Landmark Overlay? (Name: **INDISTINCT**)
 Yes No Is the structure over 50 years old at the time of application?
 Yes No Does this application include review of a sign in an overlay or the Central Sign District?

Type of HPC Application Requested: Certificate of No Effect (May be reviewed by the Heritage Preservation Officer or the Commission on Certificate of Appropriateness (Must be reviewed by the Heritage Preservation Commission))
 Certificate of Economic Hardship (Must be reviewed by the Heritage Preservation Commission)

Note: Applications which are incomplete or not accompanied by the required information will not be accepted.

Property Owner Signature: **[Signature]** Date: **2/14/24**
 Applicant Signature: **[Signature]** Date: **2/14/24**

For City Use

Date Filed: _____ HPC Hearing Date: _____
 Fee Receipt #: _____ Amount: _____ Date: _____

Action by HPC: Denied Continued Approved Approved with Conditions

Staff Initial: _____ Date: _____

City of Flagstaff Seal

Extension of Heritage Foundation Grant

From Mac Axelrod <axelrodmac@gmail.com>

Date Thu 4/10/2025 5:22 AM

To Lauren Clementino <lclementino@flagstaffaz.gov>

Cc Thomas Phelan <tom@tesanocontracting.com>; Ryan Boyer <rboyer@boyerlaw.com>; Amanda Gagnon <agagnon@boyerlaw.com>

Ms Clemetino

My name is Mac Axelrod. I am the trustee of Cattail Properties, the company that owns the property at 614 W Santa Fe in Flagstaff. We have been fortunate to be the benefactor of a grant from The Heritage Foundation. Unfortunately, we will not complete all the renovation work within the originally prescribed terms of the grant. I would like to ask for an additional six-month extension of the grant to allow us to complete all this work. Thank you for your consideration.

Respectfully,

Mac Axelrod

Heritage Preservation Commission

6. C.

From: Lauren Clementino, Senior Planner/Heritage Preservation Officer

DATE: 04/16/2025

SUBJECT: 416 W. Birch Ave. Modification to the Certificate of Appropriateness

PROPERTY INFORMATION:

Address: 416 W. Birch Ave.

Assessor's Parcel Number: 100-11-015A

Property Owner: Pete Giovale

Applicant: Paul Moore (Architect)

City Staff: Lauren Clementino, HPO

REQUESTED ACTION:

Approve an modified Certificate of Appropriateness for two new additions to the previously approved plans:

- 1) Remove the existing chimney and replace with a new masonry chimney with a dry stack malpais stone veneer.
- 2) Replace a deck railing on the back (North) side of the house to match the existing railing on the existing front porch.

RECOMMENDED ACTION:

Approve an modified Certificate of Appropriateness for two new additions to the previously approved plans.

ALTERNATIVE ACTIONS:

1. The Commission can approve with additional conditions related to the standards and guidelines applicable to the case;
2. The Commission can request additional information and continue to a date certain; or
3. The Commission can deny the application with instructions for resubmittal.

HAS THERE BEEN PREVIOUS COMMISSION DECISION ON THIS:

At the May 15, 2024 meeting, the Heritage Preservation Commission voted to approve a Certificate of Appropriateness for renovations at 416 W. Birch Ave. with the condition to provide a roofing material that meets the US Secretary of the Interior's Standards for Rehabilitation or alternative material that meets the guidance of NPS Preservation Brief #16 to the Heritage Preservation Officer for approval. The roofing material was subsequently reviewed and approved by Mark Reavis, Heritage Preservation Officer, on June 7, 2024.

Attachments

Certificate of Appropriateness Application - April 2025

Updated Project Plans

Staff Report Addendum



City of Flagstaff

Community Development Division

211 W. Aspen Ave
 Flagstaff, AZ 86001
 www.flagstaff.az.gov

P: (928) 213-2618
 F: (928) 779-7684

HPC-C

Date Received	Application to Heritage Preservation for a Certificate within an Overlay			File Number												
Property Owner(s) Pete Giovale	Title	Phone 928 380 2023	Email pete@bellyroles.com													
Mailing Address 416 West Birch Ave Flagstaff AZ 86001			City, State, Zip													
Applicant Paul Moore	Title Architect	Phone 928 773 1624	Email paul@pwma.work													
Mailing Address 1665 North Turquoise Drive Flagstaff AZ 86001			City, State, Zip													
Property Interest of Applicant(s) (Owner, contractual interest, or agent) Architect																
Site Address 416 West Birch Flagstaff AZ 86001			City, State, Zip													
Project Name Giovale Yard Renovation																
Parcel Number(s) 100-11-015A		Zoning District(s), including Overlays CC or T4, Townsite														
Property Information: <table style="width: 100%; border: none;"> <tr> <td style="width: 15%;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</td> <td>Listed individually on the National or Arizona Register of Historic Places? (Name: _____)</td> </tr> <tr> <td><input type="checkbox"/> Yes <input type="checkbox"/> No</td> <td>Located in a National Register Historic District? (Name: _____)</td> </tr> <tr> <td><input type="checkbox"/> Yes <input type="checkbox"/> No</td> <td>Is a structure on the property considered contributing to the District?</td> </tr> <tr> <td><input type="checkbox"/> Yes <input type="checkbox"/> No</td> <td>Located in a Historic or Landmark Overlay? (Name: _____)</td> </tr> <tr> <td><input type="checkbox"/> Yes <input type="checkbox"/> No</td> <td>Is the structure over 50 years old at the time of application?</td> </tr> <tr> <td><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</td> <td>Does this application include review of a sign in an overlay or the Central Sign District?</td> </tr> </table>					<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Listed individually on the National or Arizona Register of Historic Places? (Name: _____)	<input type="checkbox"/> Yes <input type="checkbox"/> No	Located in a National Register Historic District? (Name: _____)	<input type="checkbox"/> Yes <input type="checkbox"/> No	Is a structure on the property considered contributing to the District?	<input type="checkbox"/> Yes <input type="checkbox"/> No	Located in a Historic or Landmark Overlay? (Name: _____)	<input type="checkbox"/> Yes <input type="checkbox"/> No	Is the structure over 50 years old at the time of application?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Does this application include review of a sign in an overlay or the Central Sign District?
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Listed individually on the National or Arizona Register of Historic Places? (Name: _____)															
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<input type="checkbox"/> Yes <input type="checkbox"/> No	Is the structure over 50 years old at the time of application?															
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Type of HPC Application Requested: <table style="width: 100%; border: none;"> <tr> <td><input checked="" type="checkbox"/> Certificate of No Effect (May be reviewed by the Heritage Preservation Officer or the Commission)</td> </tr> <tr> <td><input checked="" type="checkbox"/> Certificate of Appropriateness (Must be reviewed by the Heritage Preservation Commission)</td> </tr> <tr> <td><input type="checkbox"/> Certificate of Economic Hardship (Must be reviewed by the Heritage Preservation Commission)</td> </tr> </table>					<input checked="" type="checkbox"/> Certificate of No Effect (May be reviewed by the Heritage Preservation Officer or the Commission)	<input checked="" type="checkbox"/> Certificate of Appropriateness (Must be reviewed by the Heritage Preservation Commission)	<input type="checkbox"/> Certificate of Economic Hardship (Must be reviewed by the Heritage Preservation Commission)									
<input checked="" type="checkbox"/> Certificate of No Effect (May be reviewed by the Heritage Preservation Officer or the Commission)																
<input checked="" type="checkbox"/> Certificate of Appropriateness (Must be reviewed by the Heritage Preservation Commission)																
<input type="checkbox"/> Certificate of Economic Hardship (Must be reviewed by the Heritage Preservation Commission)																
Note: Applications which are incomplete or not accompanied by the required information will not be accepted.																
Property Owner Signature: 		Date: 03/07/2025	Applicant Signature: 													
			Date: 7 MAR 2025													
For City Use																
Date Filed: _____		HPC Hearing Date: _____														
Fee Receipt #: _____		Amount: _____		Date: _____												
Action by HPC: <table style="width: 100%; border: none;"> <tr> <td><input type="checkbox"/> Consent Approval by HPO</td> <td><input type="checkbox"/> Denied</td> </tr> <tr> <td><input type="checkbox"/> Approved</td> <td><input type="checkbox"/> Continued</td> </tr> <tr> <td><input type="checkbox"/> Approved with Conditions</td> <td></td> </tr> </table>					<input type="checkbox"/> Consent Approval by HPO	<input type="checkbox"/> Denied	<input type="checkbox"/> Approved	<input type="checkbox"/> Continued	<input type="checkbox"/> Approved with Conditions							
<input type="checkbox"/> Consent Approval by HPO	<input type="checkbox"/> Denied															
<input type="checkbox"/> Approved	<input type="checkbox"/> Continued															
<input type="checkbox"/> Approved with Conditions																
Staff Initial: _____			Date: _____													

Submittal Requirements

An application to the Heritage Preservation Commission and Historic Preservation Officer shall contain at least the following information:

1. Completed Application including all signatures and payment of fees. If applying for multiple types of HPC reviews only one fee is collected at the time of the first application for the same work.
2. An electronic copy and one copy of drawings or documents as needed to describe the proposal, which may include a Site Plan, Floor Plans, Exterior Elevations, Building Sections, Exterior Details, Lighting Plan, and a Landscape Plan. All drawings shall be drawn to scale and dimensioned and shall clearly and accurately represent the natural and built conditions of the context area and the project, including both existing conditions and proposed work.
3. Photographs of the context, including the property, surrounding properties, and the neighborhood.
4. A Color Board depicting all exterior materials and finishes associated with the work (if requested).
5. A list of related permits and development applications that have been or will need to be submitted.
6. Proof of ownership, or letter of authorization from the current property owner, if the applicant and owner are not the same.
7. Statement of approval from a subdivision or property owners association, if applicable.
8. Any other information which the applicant feels would be helpful and/or pertinent to the request.
9. Any other information as may be required by the Historic Preservation Officer or Heritage Preservation Commission to assist in the review of the requested application.

Timing of Submission and Completeness Review

The Heritage Preservation Commission meets to review applications monthly on the third Wednesday of the month. If you are submitting an application for review of a Certificate of Appropriateness, a Certificate of Economic Hardship, Community Development must receive your application by the submittal deadline posted to the [Heritage Preservation program website](#).

For your item to be added to an agenda, the Heritage Preservation Officer (HPO) must deem the application complete and the information in it correct within 5 working days. The HPO will contact applicants for additional information as necessary.

Please also note that per the Flagstaff Zoning Code, the HPO refer any application, including Certificates of No Effect to the Commission for any reason. If the HPO refers the application, you will not need to resubmit, but additional materials may be requested.

Applications pertaining to Certificates for properties with the Townsite Overlay Zone must also be properly noticed 15 days prior to the public hearing in accordance with *Section J of the Townsite Historic Design Review Overlay District Design Standards and Guidelines*.

Approval of a Certificate does not indicate a final approval of site plans, building plans, permanent sign permits and other applications that will be required prior to demolition, modification, or construction. Approval of all Certificates will be conditioned on their conformance with Zoning Code and Building Code standards. The Heritage Preservation Officer may elect to hold an application until a review by the InterDivision staff is completed and substantive comments have been provided to the applicant.

If this application includes the review of a sign within the Downtown Overlay, Central Sign District or the Townsite Overlay, a permanent sign application must be submitted prior to the submission of the HPC-C application and the comments provided in that review should be attached to this application.

We encourage you to reach out early in designing your projects so that the HPO may assist you and your clients. HPO contact information: Lauren Clementino, Phone: (928) 213-2633; Email: lclementino@flagstaffaz.gov



City of Flagstaff Community Development Division

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Flagstaff, AZ 86001

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www.flagstaff.az.gov

HPC-C

Project Description

Owner intends to remove brick face that was applied to the original cobble stone chimney. During demolition work, it has been discovered that the original stone chimney is no longer structurally sound. Therefore, the owner is proposing to construct a new masonry chimney with a "dry stack" malpais stone veneer.

Furthermore, during demolition it has become necessary to replace a deck railing on the back North side of the house. The intent is use detailing to match the existing railing on the existing Front Porch. It is a painted wood railing with flat 2x4 top and bottom rails and 2x4 vertical pickets with 4" spaces.

The final selection on metal roofing is an aluminum shingle supplied by Zappone.com. Color is to be Dark Bronze.

Explanation of how the project meets the applicable overlay and relevant sections of the Zoning Code

Insert additional pages if necessary



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Summary Statement of Significance:

National Register of Historic Places documentation or a Cultural Resource Study can be submitted in lieu of completing this page to demonstrate significance (attach additional pages as necessary).

The significance of a resource is generally based on its potential to contribute to our understanding of the past. An object, structure, site, place, or area is significant if:

- a. It is associated with events or persons in the architectural, engineering, archeological, scientific, technological, economic, agricultural, educational, social, political, military, or cultural annals of the City of Flagstaff, the State of Arizona, or the United States of America.
- b. It embodies distinctive characteristics of type, period, region, artistic values, or methods of construction, including being the oldest of its type or the best example of its type, or, if it represents the work of, or for, an important individual.
- c. A resource is generally not significant if it is less than fifty (50) years old, or, if the features, materials, patterns, and relationships that establish its significance are no longer present or no longer have integrity. The integrity of a resource is judged by how evident the general character of the significant period is, the degree to which the characteristics that define its significance are present, and the degree to which incompatible elements are reversible.

Original Construction Date: See attached original submittal.

Describe Previous Major Alterations (Include dates and changes of use):

Describe the Significance of the Resource (In terms of A. or B., and C., above):

Source(s) of Information Used:

Describe the Level of Integrity of the Resource (Existing and proposed):

Roofing

Zappone
Aluminum Shingle
Dark Bronze



Railing

Painted Wood
to match
existing



Stone Skirt

Grey Malpais Stone "Dry Stack"
with Brown Concrete Cap
Top of wall equals floor elevation..



Chimney

Grey Malpais Stone
"Dry Stack"





City of Flagstaff

Community Development Division

211 W. Aspen Ave P: (928) 213-2618
 Flagstaff, AZ 86001 F: (928) 779-7684
 www.flagstaff.az.gov

HPC-C

Date Received		Application to Heritage Preservation for a Certificate within an Overlay		File Number
Property Owner(s) Pete Giovale	Title	Phone 928-380-2023	Email pete@bellyroles.com	
Mailing Address 416 W. Birch Ave		City, State, Zip Flagstaff, AZ 86001		
Applicant Kevin Peterson	Title	Phone 928-607-4258	Email goodoakinc@yahoo.com	
Mailing Address PO Box 725		City, State, Zip Flagstaff, AZ 86002		
Property Interest of Applicant(s) (Owner, contractual interest, or agent) Owner, Contractor				
Site Address 416 W. Birch Ave		City, State, Zip Flagstaff, AZ 86001		
Project Name Giovale Yard Renovation				
Parcel Number(s) 100-11-015a		Zoning District(s), including Overlays CC or T4 Townsite		
Property Information:		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Listed individually on the National or Arizona Register of Historic Places? (Name: _____) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Located in a National Register Historic District? (Name: _____) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Is a structure on the property considered contributing to the District? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Located in a Historic or Landmark Overlay? (Name: _____) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Is the structure over 50 years old at the time of application? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Does this application include review of a sign in an overlay or the Central Sign District?		
Type of HPC Application Requested:		<input checked="" type="checkbox"/> Certificate of No Effect (May be reviewed by the Heritage Preservation Officer or the Commission) <input type="checkbox"/> Certificate of Appropriateness (Must be reviewed by the Heritage Preservation Commission) <input type="checkbox"/> Certificate of Economic Hardship (Must be reviewed by the Heritage Preservation Commission)		
Note: Applications which are incomplete or not accompanied by the required information will not be accepted.				
Property Owner Signature: <i>[Signature]</i>		Date: 4-3-24	Applicant Signature: <i>[Signature]</i>	
			Date: 4-3-24	
For City Use				
Date Filed: _____		HPC Hearing Date: _____		
Fee Receipt #: _____		Amount: _____ Date: _____		
Action by HPC:		<input type="checkbox"/> Consent Approval by HPO <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied <input type="checkbox"/> Continued		
		Staff Initial: _____ Date: _____		

Submittal Requirements

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For your item to be added to an agenda, the Heritage Preservation Officer (HPO) must deem the application complete and the information in it correct within 5 working days. The HPO will contact applicants for additional information as necessary.

Please also note that per the Flagstaff Zoning Code, the HPO refer any application, including Certificates of No Effect to the Commission for any reason. If the HPO refers the application, you will not need to resubmit, but additional materials may be requested.

Applications pertaining to Certificates for properties with the Townsite Overlay Zone must also be properly noticed 15 days prior to the public hearing in accordance with *Section J of the Townsite Historic Design Review Overlay District Design Standards and Guidelines*.

Approval of a Certificate does not indicate a final approval of site plans, building plans, permanent sign permits and other applications that will be required prior to demolition, modification, or construction. Approval of all Certificates will be conditioned on their conformance with Zoning Code and Building Code standards. The Heritage Preservation Officer may elect to hold an application until a review by the InterDivision staff is completed and substantive comments have been provided to the applicant.

If this application includes the review of a sign within the Downtown Overlay, Central Sign District or the Townsite Overlay, a permanent sign application must be submitted prior to the submission of the HPC-C application and the comments provided in that review should be attached to this application.

We encourage you to reach out early in designing your projects so that the HPO may assist you and your clients. HPO contact information: Mark Reavis, Phone: (928) 213-2633; Email: Mark.Reavis@flagstaffaz.gov



HPC-C

Project Description

Proposed renovations include roofing, fencing, paving and yard improvements. New roofing and most of fencing to be matching metal with wrought iron detailing. An integral color textured concrete is proposed as a skirt for house, planters and fencing with a top at first Floor elevation. Walkways and patios will also be integral color textured concrete. Deck railings and gates to be wrought iron.

Explanation of how the project meets the applicable overlay and relevant sections of the Zoning Code

The majority of the existing home construction will remain as is. The concrete "Skirt" is intended to blend with new hard surfaces and establish a continuous horizontal line consistent with Craftsman style detailing. The metal roofing and fencing are intended to have clean, simple lines that will not distract from the existing historic dwelling.



City of Flagstaff

Community Development Division

211 W. Aspen Ave

P: (928) 213-2618

Flagstaff, AZ 86001

F: (928) 779-7684

www.flagstaff.az.gov



Summary Statement of Significance:

National Register of Historic Places documentation or a Cultural Resource Study can be submitted in lieu of completing this page to demonstrate significance (Attach additional pages as necessary).

The significance of a resource is generally based on its potential to contribute to our understanding of the past. An object, structure, site, place, or area is significant if:

- a. It is associated with events or persons in the architectural, engineering, archeological, scientific, technological, economic, agricultural, educational, social, political, military, or cultural annals of the City of Flagstaff, the State of Arizona, or the United States of America.
- b. It embodies distinctive characteristics of type, period, region, artistic values, or methods of construction, including being the oldest of its type or the best example of its type, or, if it represents the work of, or for, an important individual.
- c. A resource is generally not significant if it is less than fifty (50) years old, or, if the features, materials, patterns, and relationships that establish its significance are no longer present or no longer have integrity. The integrity of a resource is judged by how evident the general character of the significant period is, the degree to which the characteristics that define its significance are present, and the degree to which incompatible elements are reversible.

Original Construction Date: 1913

Describe Previous Major Alterations (Include dates and changes of use):

A two car Garage was added on the west. Main floor and second floor covered decks were added on back (North) side.

Describe the Significance of the Resource (In terms of a. or b., and c., above):

- a. Built for George N Baty. Occupied by Dr. A. H, Schermann 1929.
- b. A sophisticated example of Bungalow style typical of Flagstaff's second building boom. Clapboard siding, Craftsman detailing, recessed entry porch
- c. Built in 1913

Source(s) of Information Used:

Arizona State Historical Property Inventory. June 1985

Describe the Level of Integrity of the Resource (Existing and proposed):

Substantial Integrity of main house and front, Significant alterations on West and North sides.







City of Flagstaff

5/16/2024

Giovale Home, 416 W Birch, Flagstaff, AZ 86001

Paul Moore (for Giovale's),

Paul@PWMA.work

RE: **NOTICE OF DECISION** – Approval of acceptance of Certificate of Appropriateness Townsite.

Mr. Moore;

The Heritage Preservation Commission, in accordance with Section 10-30.30 of the Flagstaff Zoning Code, and the *Townsite Historic Design Review Overlay District Design Standards and Guidelines and Historic Preservation Resources April 2007*, and *US Secretary of the Interior Standards for Rehabilitation and NPA Preservation Brief #16* for a contributing historic property within the Townsite Overlay and Townsite Historic District has considered the application for this property for acceptance of a certificate of appropriateness for heritage compliance on the property located at 416 W Birch Ave, Flagstaff, AZ – Parcel #100-11-015A commonly known as the Gopvale House, an existing property that has proposed compatibility improvements within the Townsite Overlay.

The Heritage Preservation Commission held a public hearing on May 15th, 2024, in regard to this application. The Commission found and determined that, based on the information provided in the staff report dated 5/9/2024 and at the public hearing, introduced by Heritage Preservation Officer (HPO) Reavis, HPO Reavis highlighted areas of the 5/9/2024 staff report and noted the design improvements with review focused on roofing materials. Architect Paul Moore was present and answered questions about the design. The property owner Pete Giovale spoke in support of the design, additional public comment took place in support from an adjacent homeowner. Some questioning took place between HPO and Heritage Preservation Commission members and the Architect. The facts exist as required by Section 10-30.30 of the Zoning Code of the City of Flagstaff, specific to 10-30.30.060 Overlay Zone.

Some guidance was provided to the HPO from the Heritage Preservation Commission regarding the appropriateness of proposed metal roofing. In general terms corrugated (wavey) metal roofing was not an acceptable material but metal roofing with a similar appearance to standing seam was. Such metal roof products as “Simulated Rib” and “Snap Lock” approach the look of true standing seam with standing seam meeting the best visual and physical performance. Hidden anchorage of roofing is also important for a non-industrial appearance and watertight performance. Final approval was placed on the judgement of the HPO, the HPO will work with the architect on roof material selection that is of an appropriate appearance and provides the best longevity of performance that protects the historic structure for an extended life.

Motion: Commissioner Buckham **moved** Commissioner Dea **seconded** the motion (with amended word changing “or” to “for” Chair Dale amended):

Approve a Certificate of Appropriateness for 416 W Birch Ave with the condition to provide a material that meets the US Secretary of the Interior’s Standards for Rehabilitation for alternative material that meets the guidance of NPS Preservation Brief #16 to Heritage Preservation Officer approval.

Vote: 7 – 0 – Unanimously

Based upon the aforementioned findings, the Commission acceptance of the Certificate of Appropriateness.

This action became final and effective ten (10) calendar days after the Heritage Preservation Commission Public Hearing on the matter.

Should you have any questions, comments, or concerns, please do not hesitate to contact me.

211 West Aspen Avenue, Flagstaff, Arizona 86001

City of Flagstaff

Sincerely,
Mark Reavis, AICP NCARB
City of Flagstaff, Heritage Preservation
P. 928-213-2633
Mark.Reavis@flagstaffaz.gov

cc: Sara Dechter, Michelle McNulty

CITY OF FLAGSTAFF HERITAGE PRESERVATION COMMISSION
STAFF REPORT – 416 Birch Bungalow

CERTIFICATE OF APPROPRIATENESS

PZ-24-00063

Address: 416 W Birch Ave

DATE:5/9/2024

MEETING DATE: 5/15/2024

REPORT BY: Mark Reavis, AICP, NCARB

BACKGROUND

The House is located at 416 W Birch Ave was constructed in 1913 for Geaoge Baty, it is noted in the inventory form as “A sophisticated example of the Bungalow Style”. The home is listed as contributing to the Townsite National Register District and within the Townsite Overlay. It is noteworthy for its architecture with a recessed entry porch, clapboard siding and shingled dormer that reflects the Bungalow style. The project is located within the Townsite Overlay Zone and subject to its design review requirements and Secretary of the Interior Standards and Guidelines focused on Rehabilitation and additional NPS resource documents.

PREVIOUS HP DECISIONS

There are no previous Historic Preservation Commission decisions on this home.

REQUEST

The applicant had requested a Certificate of No Effect for improvements to the back of the home. The application provided additional supplemental information with improvements to the street facing façade and roof. Staff determined the façade and roof changes met the criteria for a “Certificate of Appropriateness” and is forwarding this application to the commission to review the front and rear façade changes.

STAFF RECOMMENDATION & FINDINGS

Staff finds that the architectural plan set submitted for back porch improvements, concrete work and fencing projects is not subject to review for both the Townsite overlay design requirements and the US Secretary of the Interior’s Standards and Guidelines for Rehabilitation. As a tertiary façade that was an addition to the home this work does not affect the historic aspects of the home. The plan set includes concrete work and perimeter fencing, noting that Townsite design review does not review fencing.

Supplemental information in a revised application includes modification to the primary façade and the introduction of a metal roof. The submission proposes stone facing to the brick planter and skirting on the home. The 1985 inventory form shows that the brick planter was added to the front of the homes porch as well as brick added to chimneys covering of the original stone chimneys after 1985. The 1985 photo also indicates a carport vs. an enclosed garage with detailing indicating it was a later addition. The introduction of stone facing to the planter is consistent with Townsite materials and would also be appropriate for chimney restoration.

The introduction of the metal roofing (corrugated or standing seam) is not consistent with Townsite guidance or US Secretary of the Interior’s Standards for Rehabilitation. Preservation Brief #16 provides guidance on substitute materials and provides allowances if material matches in pattern, color and general appearance, this being a shingle appearance. The application indicates additional detailing with photos that requires clarification and is required to meet the Secretary’s Standards.

RECOMMENDED MOTION

Approve a Certificate of Appropriateness for 416 W Birch Ave with the condition to provide a material that meets the US Secretary of the Interior's Standards for Rehabilitation or alternative material that meets the guidance of NPS Preservation Brief #16 to Heritage Preservation Officer approval.

INTENT

The purpose of the Townsite Overlay is to address "many concerns of property owners with regard to construction of homes that are significantly larger than surrounding historic homes, designs not in keeping with the neighborhood, and siting that intrudes upon privacy or blocks the light and views of existing homes." The Townsite Overlay is a hybrid of a historic and character overlay that "allows preservation, restoration, new construction, remodeling and demolition. The Secretary of the Interior's Standards are incorporated into this document by reference."

10-30.30.060 Development of a Landmark Property and Property within a Historic Overlay Zone, Process "C": "Prior to the granting of any required approvals or permits and prior to the commencement of any work on a landmark property or within a historic overlay zone, the Heritage Preservation Commission or the Historic Preservation Officer shall review all work proposed and approve or conditionally approve the work in the form of a certificate of no effect, certificate of appropriateness, or certificate of economic hardship".

Scope of Work

The Certificate of Appropriateness is applicable (Flagstaff Zoning Code 10-30.30.060E.) in the case of 416 W Birch Ave requires design review within the Townsite Overlay zone. As a Contributing property to the Townsite Historic District additional compliance per the US Secretary of the Interior Standards for the Treatment of Historic Properties and accompanying documents. The project proposes work on the back of the home as well as the primary street facing façade and the homes roof, only changes to the primary street façade and visible sides are subject to review. The project review will also consider impacts to the significance of this properties integrity and of surrounding historic properties and the compatibility with the design standards and guidelines for the Townsite district, these are the primary considerations for this level of review.

Required Findings for:

E. Certification of Appropriateness.

1. Applicability. This approval is appropriate if the proposed work alters a cultural resource, but does so in such a way that is compatible with the historic or archaeological character of the resource and all major impacts are mitigated such that the work does not diminish, eliminate, or adversely affect the significance or integrity of the resource.

2. Criteria for Approval. When approving a certification of appropriateness, the Heritage Preservation Commission shall find that:

a. The proposed work is consistent with the purpose and intent of this division;

b. The proposed work is compatible with its context:

(1) The appropriate context for a landmark or a historic property is the property itself and, to a much lesser extent, the surrounding properties and neighborhood;

- 2) The appropriate context of work in a historic overlay zone is the significant portions of the property itself, the surrounding properties, and the neighborhood;
- c. The cultural resources associated with the proposed work have been sufficiently sought, identified, and evaluated;
- d. Major impacts on cultural resources are sufficiently mitigated; and
- e. The proposed work is consistent with applicable development standards and design guidelines. See also subsection (G) of this section, Development Standards and Guidelines.

Townsite Historic Overlay Design Guidelines

The Townsite Overlay (TO) zone applies to areas of the City subject to the Townsite Historic Design Review Overlay District Design Standards and Guidelines and design review by the Heritage Preservation Commission for the development of properties located within the boundaries of the zone.” (Flagstaff Zoning Code 10-40.50.030 Overlay Zones).

The Townsite Historic Design Review Overlay District Design Standards and Guidelines and Historic Preservation Resources states “New construction, additions, or alterations shall follow the design of the district's certain recognizable qualities.”

The following Townsite design guidelines apply to this case:

Architecture, Materials, Details, and Colors

Architectural styles and building materials are not limited to the existing neighborhood examples, but new work shall be compatible with the neighborhood and maintain high quality of design. Unique local materials already found in the neighborhood (malpais stone, red sandstone, limestone, obsidian, pine, clapboard of varying widths, and shingles) shall continue to be used to preserve the architectural continuity and connection to the local environment. 1. Materials, details, and colors shall be compatible with historic structures on an individual property and compatible with the surrounding neighborhood.

US Secretary of the Interior’s Standards for the Treatment of Historic Properties

The Secretary’s Standards and Guidelines are referenced and are to be used when evaluating work on designated historic properties. The focus should be on the Rehabilitation Standard where new compatible work is performed to solve an issue so that a historic property can be utilized.

Additional guidance can be obtained from accompanying Preservation Briefs and other available related technical resources and approved examples.

NPS Preservation Brief #16 – The use of substitute Materials on Historic Building Exterior

(Excerpt below, full document included in agenda item)

The Secretary of the Interior's Standards for Rehabilitation generally require that deteriorated distinctive architectural features of a historic property be repaired rather than replaced. Standard 6 of the Standards for Rehabilitation further states that when replacement of a distinctive feature is necessary, the new feature must “match the old in composition, design, color, texture, and other visual properties, and, where possible, materials” (emphasis added). While the use of matching materials to replace historic ones is always preferred under the

Standards for Rehabilitation, the Standards also purposely recognize that flexibility may sometimes be needed when it comes to new and replacement materials as part of a historic rehabilitation project. Substitute materials that closely match the visual and physical properties of historic materials can be successfully used on many rehabilitation projects in ways that are consistent with the Standards.

The term substitute materials is used to describe building materials that have the potential to match the appearance, physical properties, and related attributes of historic materials well enough to make them alternatives for use in current preservation practice when historic materials require replacement. Compelling reasons to use a substitute material instead of the historic material include the unavailability or poor performance of the historic material, or environmental pressures or code-driven requirements that necessitate a change in material. When using a substitute material for replacement it is critical that it match the historic material in all of its visual and physical properties to preserve the historic character of the building and minimize the impact on its integrity

Exceptions

The Historic Preservation Commission may, at its sole discretion, modify the requirements of these standards and guidelines when in the opinion of the Commission, an exception is warranted based for design consistency such as in the case of alterations to existing non-conforming structures, cases where an exception is necessary to accommodate an appropriate architectural style, cases where an exception is warranted based on the development of immediately adjacent properties, and other similar circumstances determined by the Commission.

DISCUSSION

PROPOSED CHANGES

The project proposes improvements to the rear of the home and the street facing façade that is the subject to design review under the standards of the Townsite Overlay and compliance with Secretary of the Interior Standards. A significant change is proposed for roofing materials. The dormer wall shingles and existing shingle roof are consistent Townsite materials associated with the Bungalow style. Proposed stone facing on the added brick planter is visible as part of the primary facade. Wrought iron detailing is called out to be used but not located.

Perimeter concrete wall and flatwork and fencing is proposed but not subject to review. The portion of the drawing set for the perimeter fencing is not subject to Townsite Requirements or US Secretary of the Interior Standards as not directly impacting the historic home.

DESIGN CRITERIA

The project proposes to modify an existing back porch roof and wood deck are on a Tertiary (North) facade of an existing home. The wood deck to be replaced with concrete and new historically detailed wood posts installed, all in approximately the same location. Other concrete amenities added along with new concrete deck. Porch roof and deck to extend only an additional 1 foot. New fencing would be installed around the perimeter of the home' sides and back yard and front yard screening the back improvements from the street.

The detailing of the stone facing on the skirting is indicated on the architect's submission and uses native stone

typically utilized within Townsite. It tends to reverse the appearance of the added planter after 1985 with more typical Bungalow style material utilized in Townsite, this work is consistent with the original stone chimneys that were bricked over in later renovation. The proposed planter facing with stone meets both Townsite and the Secretary of the Interior Standards.

The Home is listed as contributing to the Townsite District and subject to the Secretary of the Interior Standards with a focus on the "Rehabilitation Standards" accompany Guidelines and additional guidance with NPS Preservation Brief #16. The replacement of a shingle roof with a corrugated or standing seam metal roof is not consistent with Rehabilitation Standards. If an alternate material is proposed for roofing it must meet Standards and guidance in Preservation Brief #16 *"match the old in composition, design, color, texture, and other visual properties, and, where possible, materials"*. There are metal shingles that can meet this criteria on the market or high quality asphalt shingles could meet the criteria.

According to the Townsite Overlay Standards the project design is to be compatible with the neighborhood with the exception of the proposed metal roofing.

Basis of Report:

The information in this summary discussion was derived from the application to the Heritage Preservation Commission, the Flagstaff Zoning Code, and the Townsite Historic Design Review Overlay District Design Standards and Guidelines and Historic Preservation Resources. US Secretary of the Interior's Standards for the Treatment of Historic Properties and Accompanying Guidelines. Depart of the Interior NPS Preservation Brief #16 was used in evaluation of substitute materials.

Evaluation of Effects

Staff (Mark Reavis, Heritage Preservation Officer, AICP, NCARB) finds that the project will not adversely affect a historic property if appropriate roofing materials are selected. The context of the property within the neighborhood is a critical component of the Townsite historic district. With this in mind, materials proposed should be evaluated and confirmed as compatible with the neighborhood with he recommended conditions. When viewed in its entirety the project does improve architectural compatibility within the context of the neighborhood when reviewed under the guidelines of the Townsite Overlay Zone and the Secretary of the Interior's Standards with the exception of the proposed metal roofing.

Consideration of past approvals in the Townsite Overlay

Staff has reviewed past approvals (consent and commission) in the Townsite Overlay. Reviews of historic property improvements have been generally based upon enhancements that improve compatibility within the neighborhood and the overlay zone. Non-contributing properties have been approved for metal roofing. Metal roofing and other fire resistant roofing materials are encouraged in the wildland urban interface to protect historic properties so long as they are compatible.

Posting Notices

Hearing Notices have been posted on site 15 days prior to the public hearing, while meeting information for review are posted electronically. Photo documentation of posting was received 15 days prior to the required posting date.

PHOTOS (1985 Inventory form and current street view)



OPTIONS FOR COMMISSION DECISION-MAKING:

The Historic Preservation Commission (HPC) may:

- (1) Approve per the staff recommended motion – or –
- (2) The Commission could request modifications to the proposal and include them as conditions of approval, such as including a letter report prior to demolition – or –
- (3) Continue the HPC review to a date certain and ask the applicant to come back with a modified

proposal that meets those conditions – or -

(4) Deny Certificate of Appropriateness and require Certificate of Economic Hardship or submittal of an alternative design that meets all Townsite Overlay Requirements.



Paul Wm Moore Architect <paul@pwma.work>

416 W Birch

Mark Reavis <mark.reavis@flagstaffaz.gov>

Fri, Jun 7, 2024 at 11:40 AM

To: Paul Wm Moore Architect <paul@pwma.work>

Cc: Pete Giovale <pete@bellyroles.com>, Kevin Peterson <goodoakinc@yahoo.com>, "Michelle J. McNulty" <Michelle.McNulty@flagstaffaz.gov>

Paul and Pete;

Thanks so much for the information of what has been chosen for the home. The aluminum shingle is such a great recommendation for both visual as well a practical reason. Even if installed without the coating they will gray like a natural shingle. They are light weight, resistant to snow and our high-altitude UV and heat loading. Also 100% recyclable. The product has years of testing with interlocking installation and all the detailing for ridge and valleys and penetrations.

This is a great solution Paul and I really appreciate all your professional investigation into the product. I look forward to the installation.

This is all I need for an approval.

Thanks so much for this as we move forward on making appropriate decisions for our historic homes so that they can continue to contribute to our historic districts.

Mark Reavis, HPO/Neighborhood Planner.

[Quoted text hidden]

ARIZONA STATE HISTORIC PROPERTY INVENTORY

IDENTIFICATION Flagstaff Multiple Resource Area
SURVEY AREA NAME: _____
HISTORIC NAME: George N. Baty House
ADDRESS/LOCATION: 416 W. Birch
CITY/TOWN: Flagstaff
TAX PARCEL NUMBER: 100-11-15A
OWNER: Higley, Wm. & Carol
OWNER ADDRESS: 416 W. Birch
Flagstaff, AZ 86001
HISTORIC USE: residence
PRESENT USE: residence
BUILDING TYPE: house
STYLE: Bungalow
CONSTRUCTION DATE: built 1913
ARCHITECT/BUILDER: _____
INTEGRITY: altered minor
CONDITION: good

DESCRIPTION
STORIES: 1 **DIMENSIONS:** (l) 60 (w) 40
STRUCTURAL MATERIAL: wood
FOUNDATION MATERIAL: concrete
WALL SHEATHING: clapboard
APPLIED ORNAMENT: rubble stone chimney

SKETCH MAP:

See Attached Survey Map

COUNTY: Coconino **SURVEY SITE:** 4-10
USGS QUAD: _____
T _____ **R** _____ **S** _____ / _____ **OF THE** _____ **UTM**

Description (contd.)
ROOF TYPE: gable
ROOF SHEATHING: asphalt shingles
EAVES TREATMENT: exposed rafters
WINDOWS: multi-pane over 3 part wood
ENTRY: central recessed Mission with 3 lite
PORCHES: recessed veranda
STOREFRONTS: Not Applicable

NOTABLE INTERIOR: wainscott, coffered ceilings, built-in cabinetry, light fixtures, tufa stone fireplace
OUTBUILDINGS: residential outbuilding
ALTERATIONS: garage added at east

PHOTOGRAPH
PHOTOGRAPHER: Woodward



ADDITIONAL DESCRIPTION/ANALYSIS (annotated form):

SIGNIFICANCE:

AREAS OF SIGNIFICANCE: COMMERCE___ COMMUNITY PLANNING___ ECONOMICS___
EXPLORATION/SETTLEMENT X GOVERNMENTAL___ MILITARY___ RELIGION___ SCIENCE___
THEATRE___ TRANSPORTATION___ TOURISM___ OTHER(specify)___
INDUSTRY___ ARCHITECTURE X

HISTORIC ASSOCIATIONS (be concise):

PROMINENT OCCUPANT/HISTORIC ASSOCIATION(S) Built as residence for George N. Baty in 1913 and occupied in 1929 by Dr. A.H. Schermann, local physician.

RELATIONSHIP TO LOCAL DEVELOPMENT Illustrates the residential development of the district during Flagstaff's second major building boom.

CULTURAL AFFILIATIONS

ARCHITECTURAL STYLE A sophisticated example of the Bungalow style.

MAJOR ARCH. FORM/MATERIAL Locally rare variation of the style with use of central of clapboard siding in wood frame residential construction. recessed entry porch; also illustrates the popular local use

ENGINEERING/STRUCTURAL

DISTRICT/STREETScape CONTRIBUTION

DISCUSSION AS REQUIRED:

CONTEXT: ISOLATED/RURAL___ RESIDENTIAL STREET X COMMERCIAL___ CENTRAL SQUARE___
CBD:___ OTHER:___

BIBLIOGRAPHY/SOURCES: SEE SURVEY REPORT BIBLIOGRAPHY

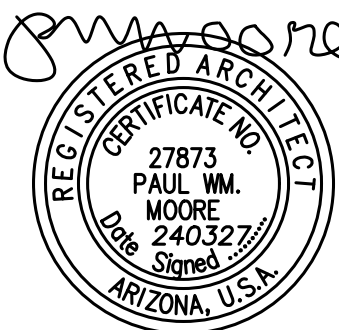
LISTING IN OTHER SURVEYS: _____

NATIONAL REGISTER STATUS:

LISTED___ DETERMINED ELIGIBLE___ DETERMINED NOT ELIGIBLE___ NOT EVALUATED___

COMMENTS/DEVELOPMENT PLANS/THREATS:

SURVEYOR Woodward SURVEY DATE 1985 DATE FORM COMPLETED 6/85



EXPIRES: 03/31/2027
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Drawn by: PWM
 Checked by: PWM
 Date: 27 Mar 2024
 Revisions: —
 1 5 Jun 2024 City Comments
 2 26 Jul 2024 Owner Revisions
 3 21 Feb 2025 Chimney, Deck, Details

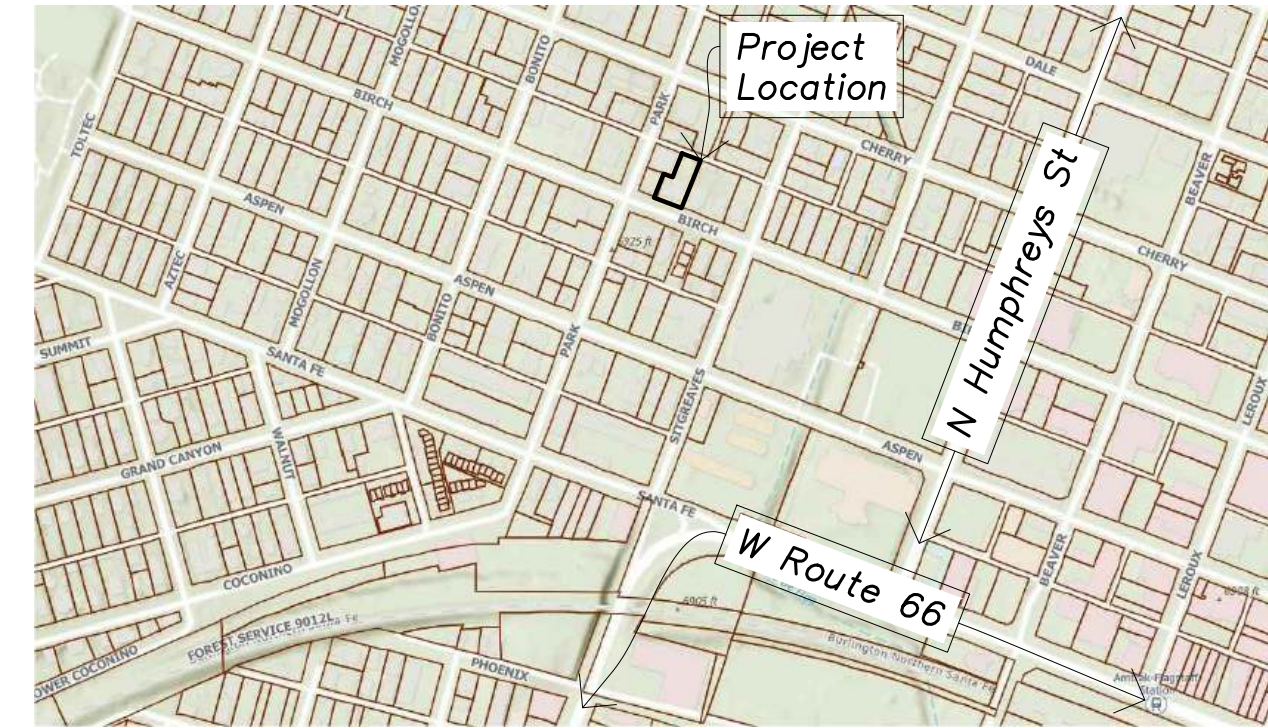


P W M A llc
 Paul Wm. Moore
 ARCHITECT
 (928) 773-1624
 1665 N. Turquoise Dr.
 Flagstaff, AZ 86001
 paul@pwma.work

Giovale Yard Renovation
 416 W. Birch Ave.

Cover Sheet & Site Plan
 1"=10'

A1.0



Vicinity Map

Scale: NTS

PROJECT DATA

Project Name: Giovale Yard Renovation
Narrative: Owners intend to construct improvements to single family home and yard, including new fence, patio, and walkways.
Contact Name: Pete Giovale
Phone Number: 928-380-2023
Email Address: pete@bellyroles.com
Mailing Address: 416 W. Birch Ave., Flagstaff AZ 86001

SITE SUMMARY

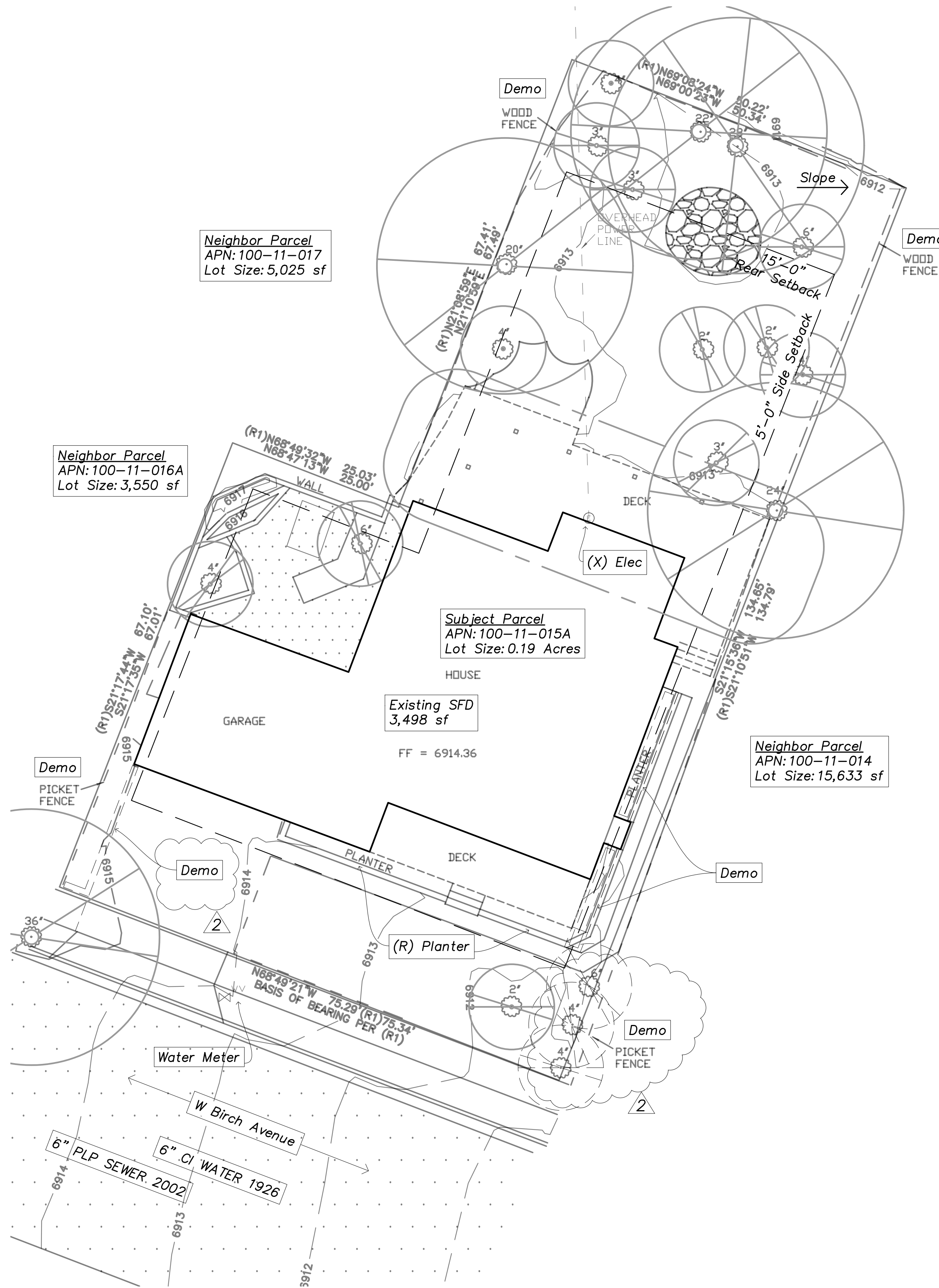
Project Address: 416 W. Birch Ave., Flagstaff AZ 86001
Subdivision: Flagstaff Townsite Blk 3D Lots, 8,9& part of 10
Parcel No: 100-11-015-A
Parcel Size: 0.19 Acres
Zoning: CC-Community Commercial or T4 Transect
Proposed Use:
Setbacks: Front: 0' Intr. Side: 5' Rear: 15'
Height: Allowed: Existing: Proposed:
Lot Coverage: Allowed: Proposed:
Agency: City of Flagstaff
Outdoor Lighting: Zone: 2 Allowable:
Flood: Zone: X (Unshaded) Map: 6809 Elevation: 6916

BUILDING AREAS

First Floor: 3,498 sf

DRAWING INDEX

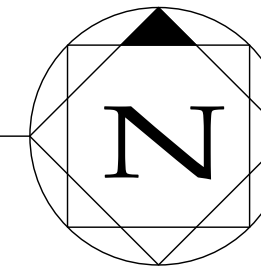
- A1.0 Cover and Site Plan
- A1.1 Yard Plan
- A2.0 Floor Plan
- A2.1 Foundation, Framing and Details
- A2.2 Deck Framing and New Chimney
- A3.0 Fence Elevations
- A4.0 General Notes
- S1 Structural Details

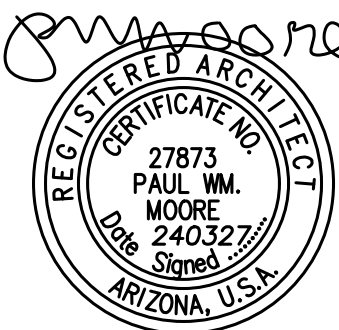


Site Plan

Site Plan based on Arizona Land Solutions survey # 23-058 dated 6/28/23

0' 10' 20' 50' Scale: 1" = 10'





EXPIRES: 03/31/2027
 © This drawing is copyrighted by PWMA llc. Use is granted through agreement and is for this project only. Drawings shall not be altered or copied without consent of the architect. All rights reserved.

Drawn by: PWM
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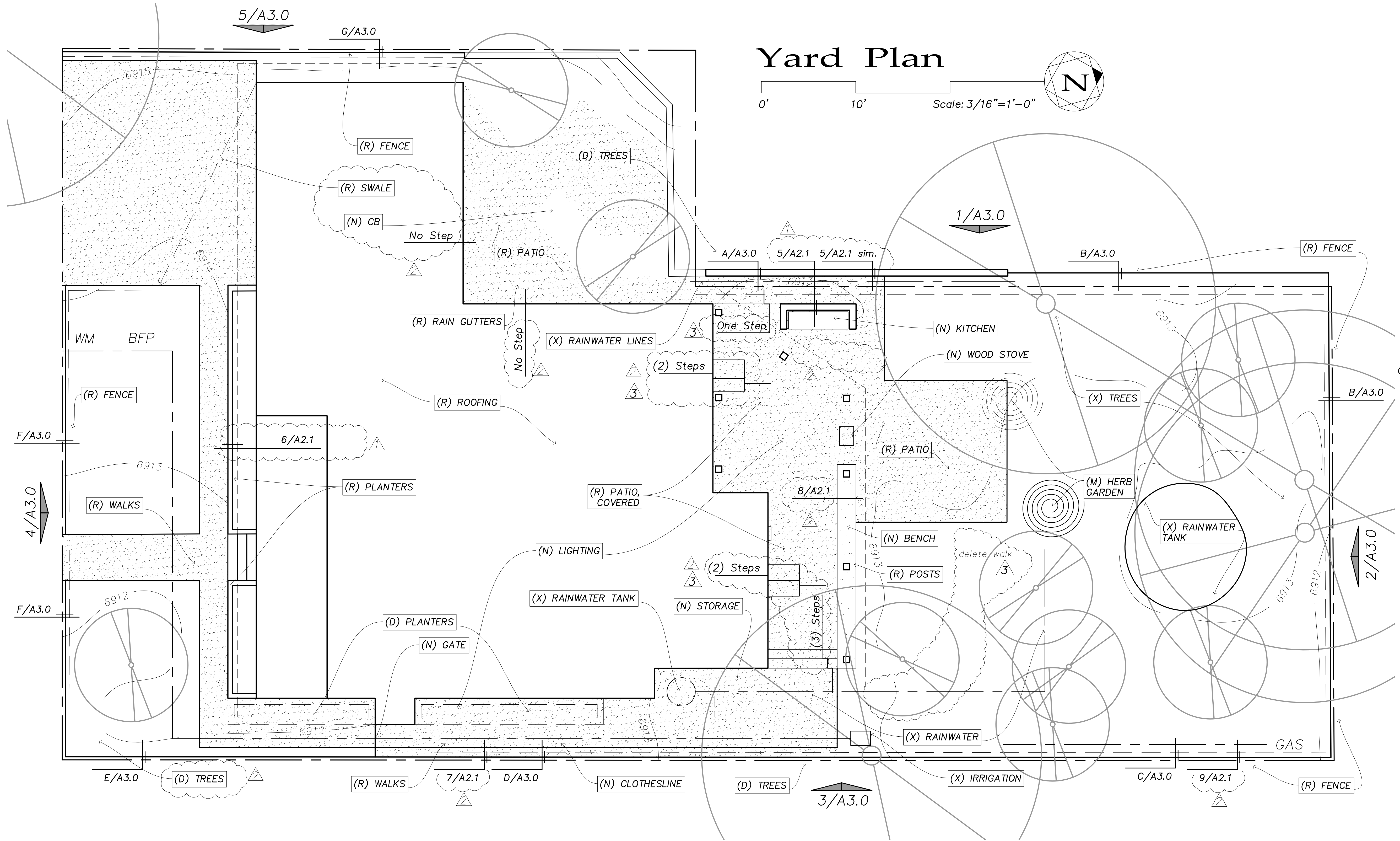
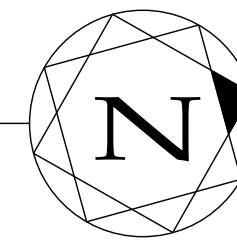
Giovale Yard Renovation
 416 W. Birch Ave.

Yard Plan
 3/16"=1'

A1.1

Yard Plan

0' 10' Scale: 3/16"=1'-0"



PLAN KEYNOTES
 (D)=Demo, (M)=Move, (N)=New, (R)=Replace, (X)=Existing to Remain.

(D) TREES Existing trees to be removed.
 (D) PLANTERS Existing brick planter to be demolished and removed.

(M) HERB GARDEN Relocate herb garden spiral. Protect from damage. Coordinate with Owner.

(N) BENCH New Bench. See Detail 8/A2.1
 (N) CLOTHESLINE New metal clothesline.
 (N) GATE New metal gate.

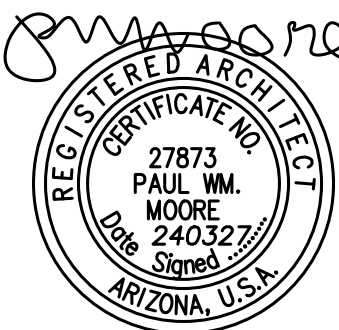
(N) KITCHEN New concrete wall surround and hinged metal cover for natural gas grill. See notes 1510 & 1600/A4.0 See Detail 5/A2.1
 (N) LIGHTING New exterior lighting.
 (N) STORAGE New metal tool storage box.
 (N) WOOD STOVE New wood stove and chimney to 3 ft above adjacent roof. See note 1510/A4.0

(R) FENCE Existing fence to be demolished and removed. Provide new site wall and metal fence. See Elevations and Details on A2.1 & A3.0.
 (R) PATIO Replace existing patios with new concrete slab on grade.

(R) PATIO, COVERED Replace existing decking with new concrete slab on grade. Existing roof to remain. New ceiling on existing rafters to be painted bead board similar to Front Porch.
 (R) PLANTERS Existing brick planters to be replaced with new stone & concrete wall.
 (R) POSTS Provide new structural posts and finish to be similar to front porch posts.
 (R) RAIN GUTTERS Reconfigure rain gutters to improve roof drainage and manage rainwater collection.
 (R) ROOFING Existing Roofing to be replaced with new Metal Shingles. See note 770/A4.0
 (R) WALKS Replace Existing walkways. Concrete slab on grade.

(X) IRRIGATION Existing backflow preventer and irrigation lines to remain. Protect from damage.
 (X) RAINWATER TANK Rainwater storage tank to remain. Protect from damage.
 (X) RAINWATER LINES Existing rainwater collection lines to remain. Protect from damage. Relocate, as necessary.
 (X) TREES Existing Trees to Remain.

(N) CB Provide new Catch Basin and drain to daylight.
 (R) SWALE Provide swale in new concrete similar to existing driveway slab.



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Giovale Yard Renovation
 416 W. Birch Ave.

House Plan
 1/4"=1'-0"

A2.0

HOUSE PLAN KEYNOTES

(D)=Demo, (N)=New, (R)=Replace, (X)=Existing to Remain

(N) Bench
 New Concrete Bench. See Detail 8/A2.1

(N) Kitchen
 New Outdoor Kitchen. Concrete Wall per Detail 5/A2.1. New natural gas BBQ. See note 1520/A4.0. Provide a weatherproof duplex receptacle. See note 1600/A4.0.

(N) Posts
 Replace existing Patio Roof Posts with new Wood Post per Framing Plan. Wrap Post with painted wood trim to match existing Front Porch Posts.

(R) Deck
 Replace existing second floor Deck with new waterproof membrane New Framing. See 1/A2.2.

(R) Patio
 Demolish existing wood deck and replace with new concrete slab on grade.

(R) Roofing
 Replace existing roofing with Metal Shingle Roofing on the entire House and Garage. See note 770/A4.0.

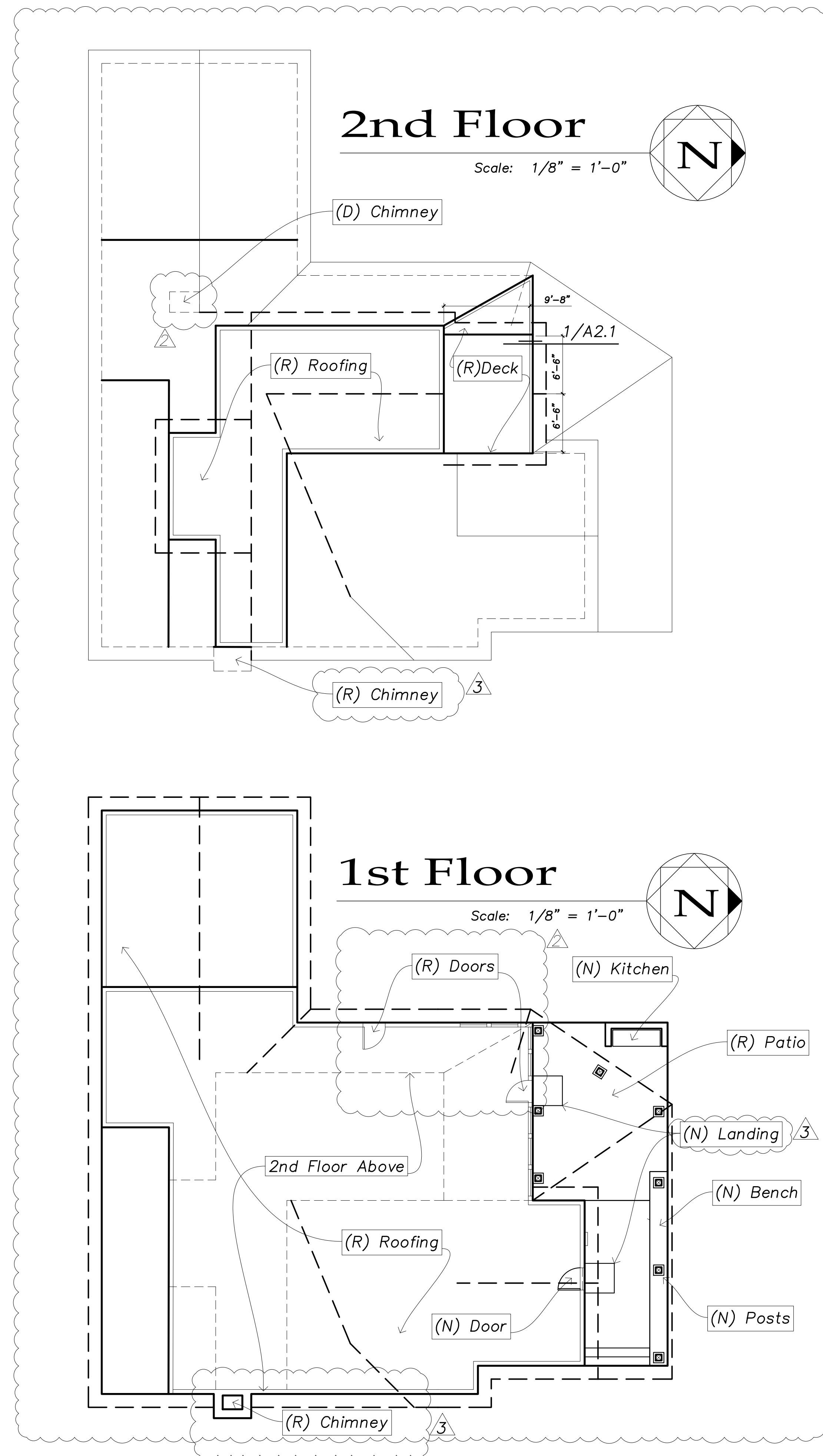
(N) Door
 Replace existing window opening with new door.

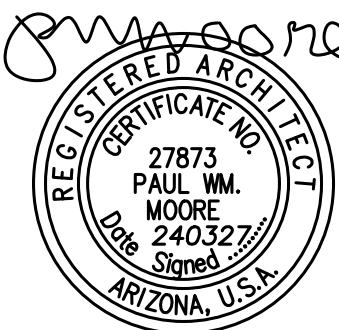
(R) Door
 Replace existing doors with new door. Two such.

(D) Chimney
 Demolish existing chimney to below roof sheathing. Maintain all existing structural elements.

(R) Chimney
 Demolish existing chimney and replace with new stone veneer on CMU. See Detail 2/A2.2

(N) Landing
 New 40" x 40" landing. Two such. Maximum riser 7-1/2". Make two riser heights equal.





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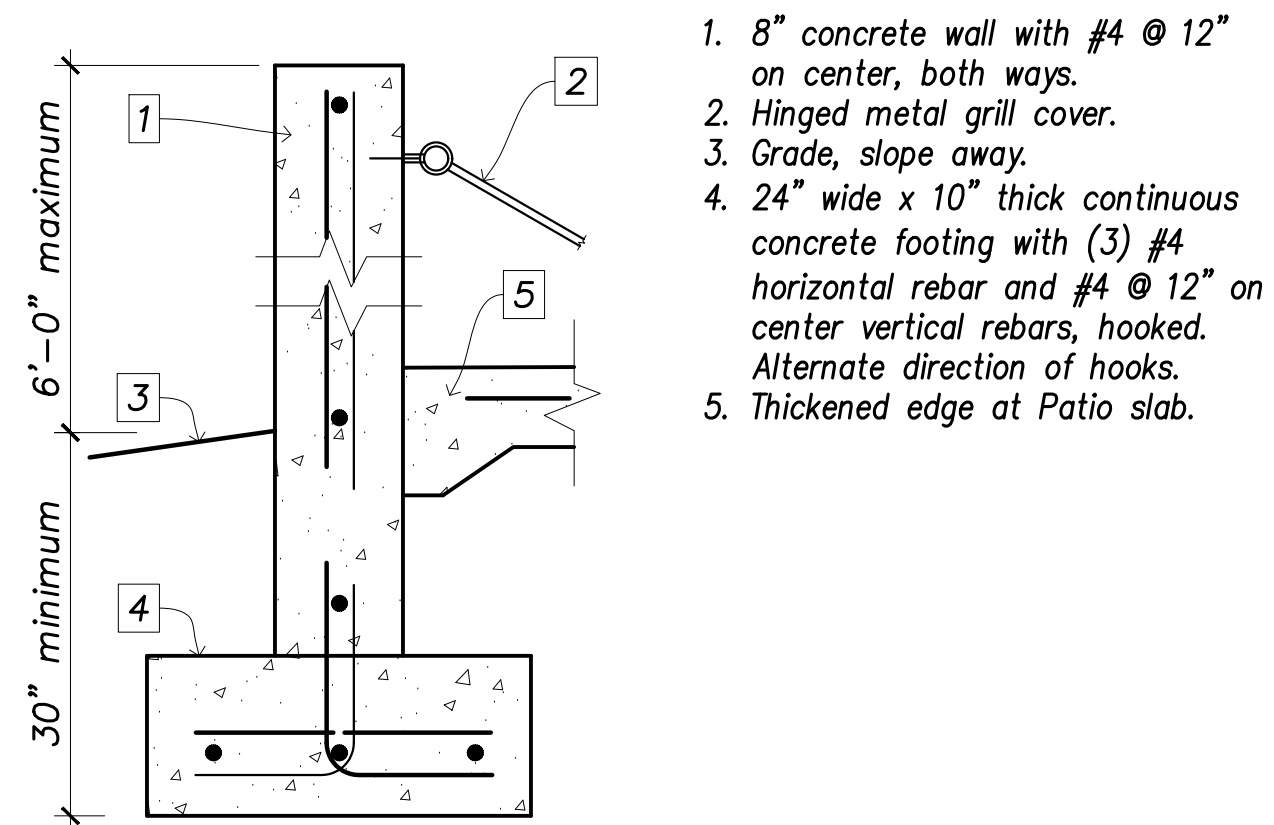


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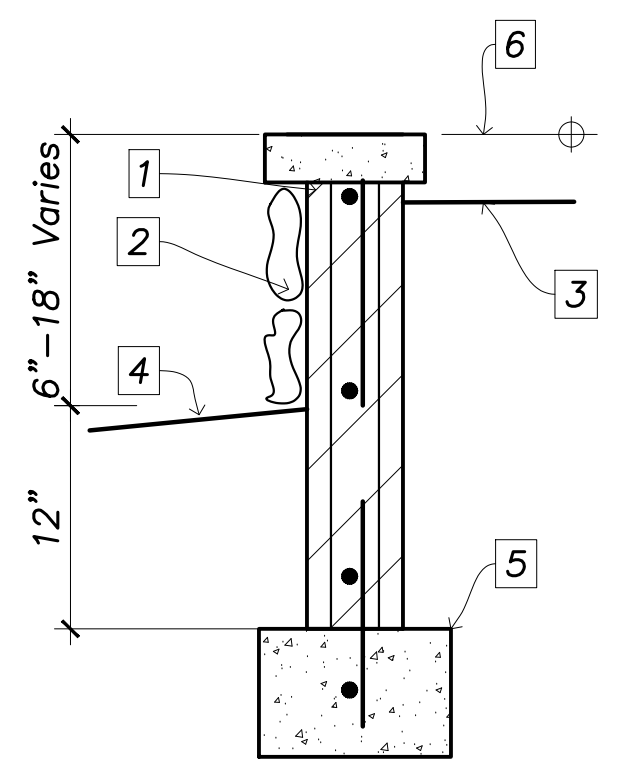
Foundation and Framing Plans
 1/4"=1'-0"

A2.1



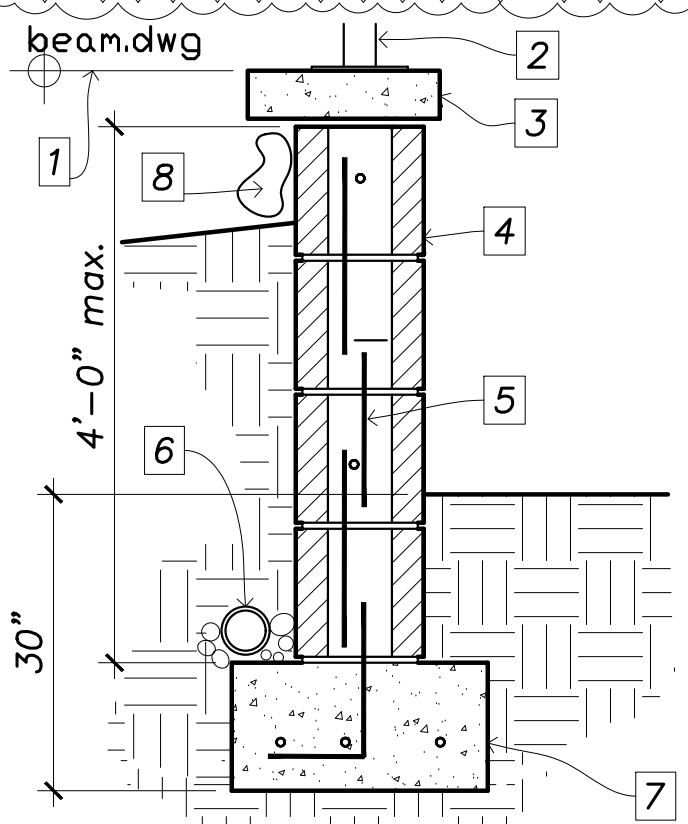
- 8" concrete wall with #4 @ 12" on center, both ways.
- Hinged metal grill cover.
- Grade, slope away.
- 24" wide x 10" thick continuous concrete footing with (3) #4 horizontal rebar and #4 @ 12" on center vertical rebars, hooked. Alternate direction of hooks.
- Thickened edge at Patio slab.

5 Kitchen Wall
 SCALE: 1" = 1'-0"



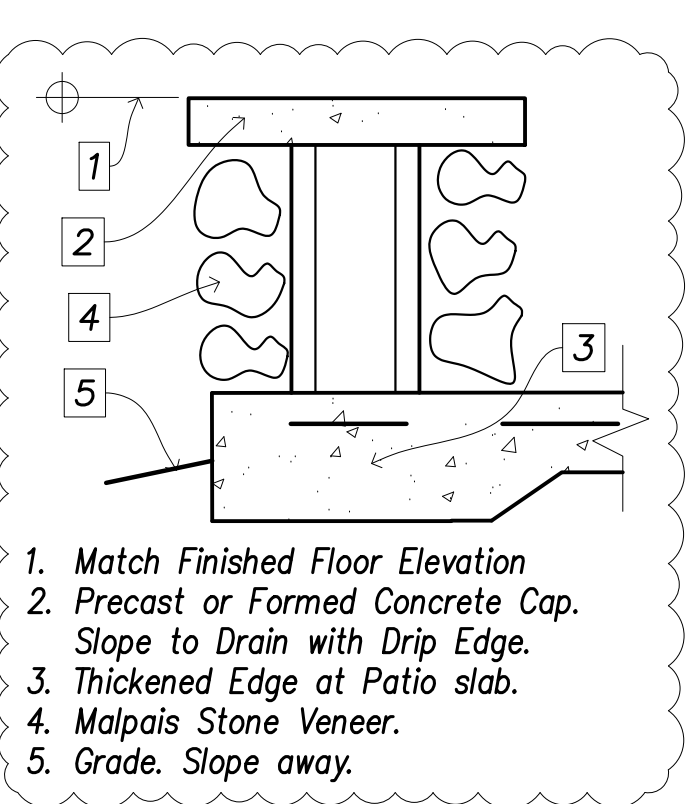
- 6" CMU wall with #3 @ 16" on center, both ways.
- Malpais Stone Veneer
- Planter Bed.
- Grade, slope away.
- 8" x 12" Concrete Footing
- Match top of wall to house floor elevation.

6 Planter Wall
 SCALE: 1" = 1'-0"

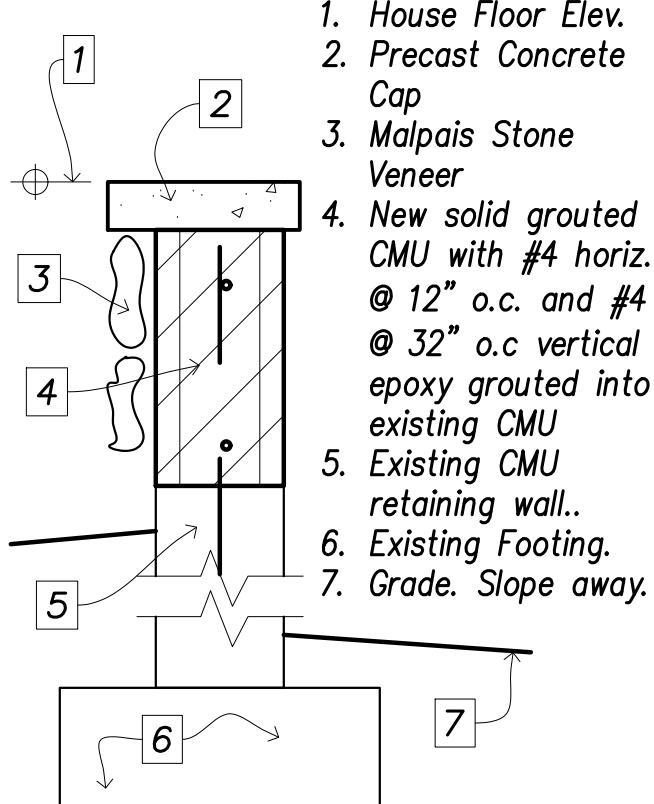


- Top of wall at House Floor Elevation.
- Steel Fence Posts anchored, where occurs.
- Precast Concrete Cap.
- 8" CMU retaining wall. Grout solid.
- Reinforcing. #4 @ 16" oc vertical set to backfilled side of wall. #4 @ 24" oc horizontal.
- 3" perforated drain tile. Slope to drain to daylight.
- 10" x 24" continuous concrete footing with 3 #4 continuous and "J" bar to match vertical reinforcing.
- Malpais Stone Veneer.

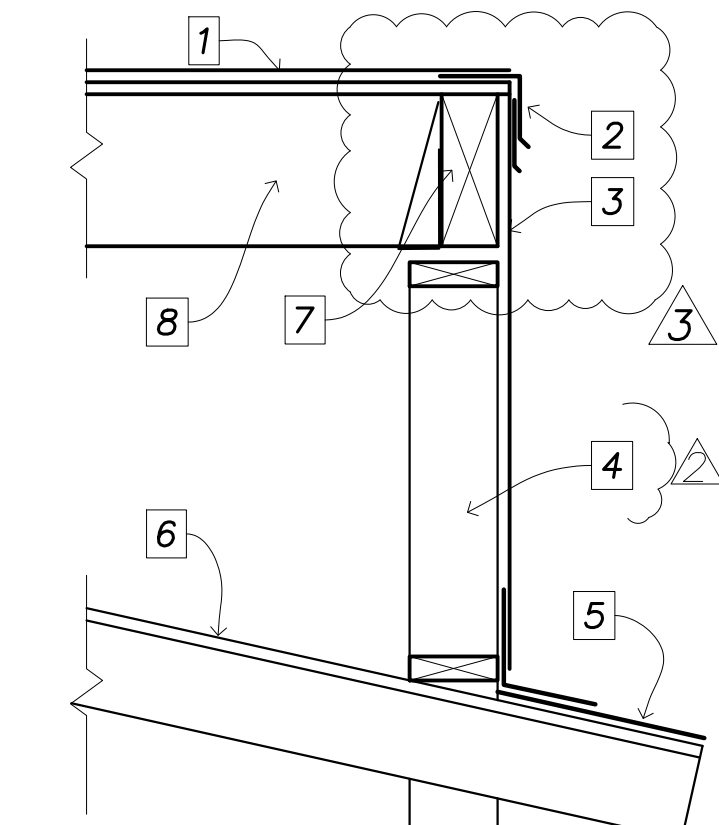
7 Retaining Wall
 SCALE: 1" = 1'-0"



8 Bench
 SCALE: 1" = 1'-0"

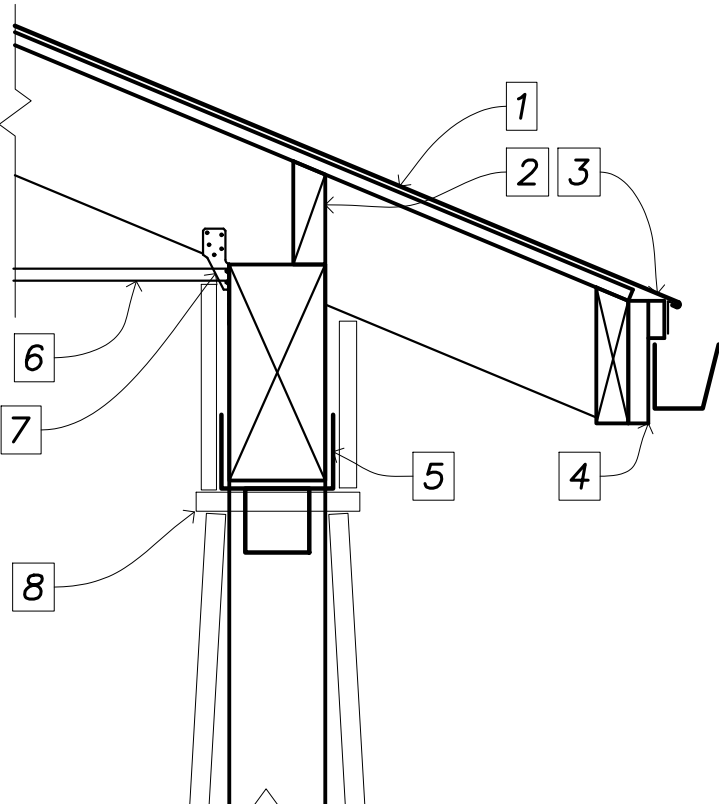


9 Wall Cap
 SCALE: 1" = 1'-0"



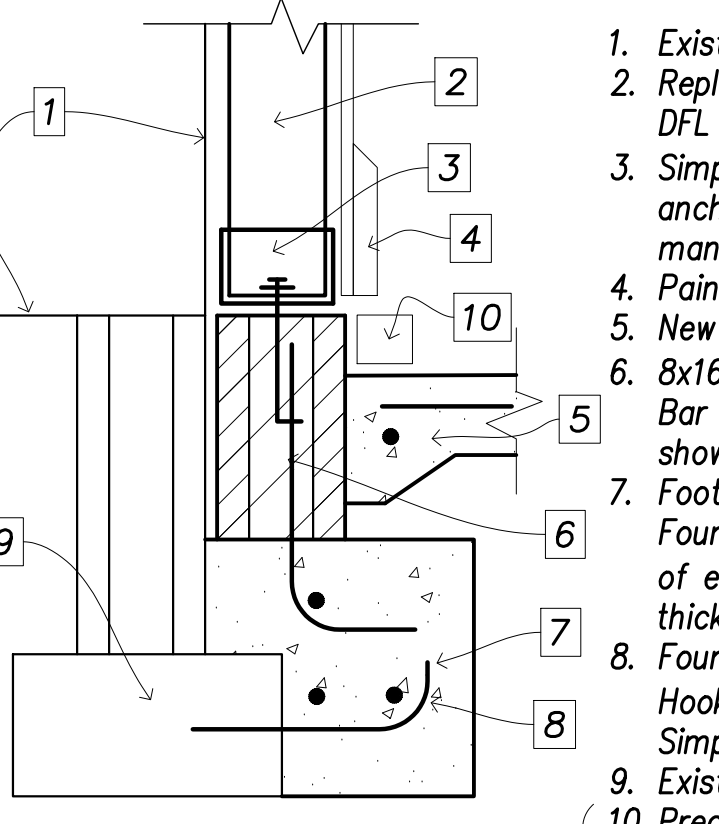
- New Waterproof Deck Coating over new Deck Sheathing over new Deck Framing. Slope 1/4" per foot.
- Fully Flashed and Counter-Flashed.
- New Painted Wall Sheathing.
- New non-bearing wall framing to close in underside of existing Deck.
- New Metal Roofing. Fully Flashed.
- Existing Roof Framing. No Structural changes.
- New Deck Beam.
- New Deck Framing. See 1/A2.2.

1 Existing Deck
 SCALE: 1" = 1'-0"



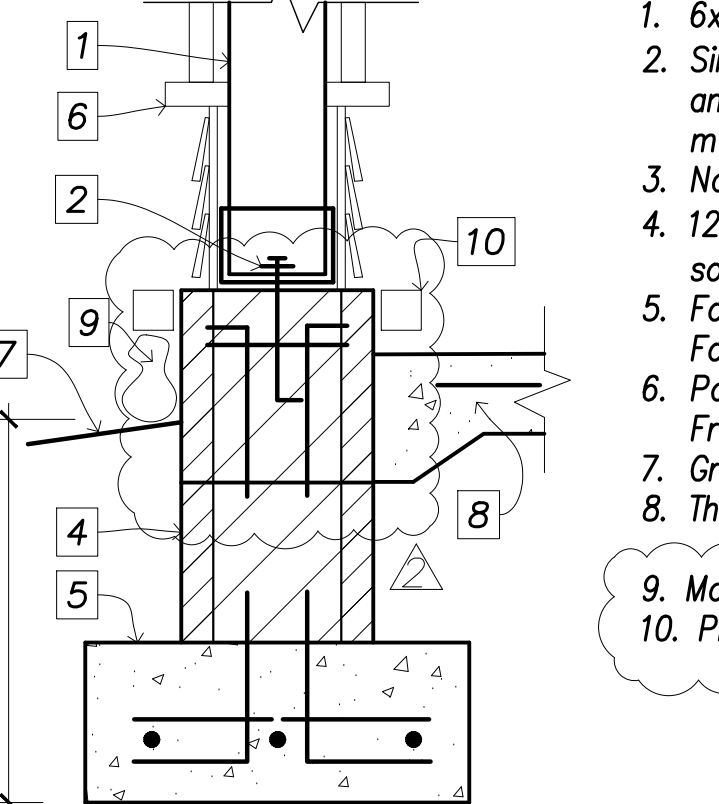
- Metal roofing over underlayment over roof sheathing over 2x8 @ 24" oc
- Solid blocking full height.
- Metal drip edge, gutter and downspouts.
- 4/4 x 2 shingle mold over 5/4 x 8 fascia over 2x sub-fascia. Match existing.
- 6x6 DFL #1 post with Simpson PC66.
- New ceiling on existing framing.
- Simpson H2.5A at each joint.
- Painted Wood Trim to match existing Front Porch posts.

2 Porch Post and Beam
 SCALE: 1" = 1'-0"



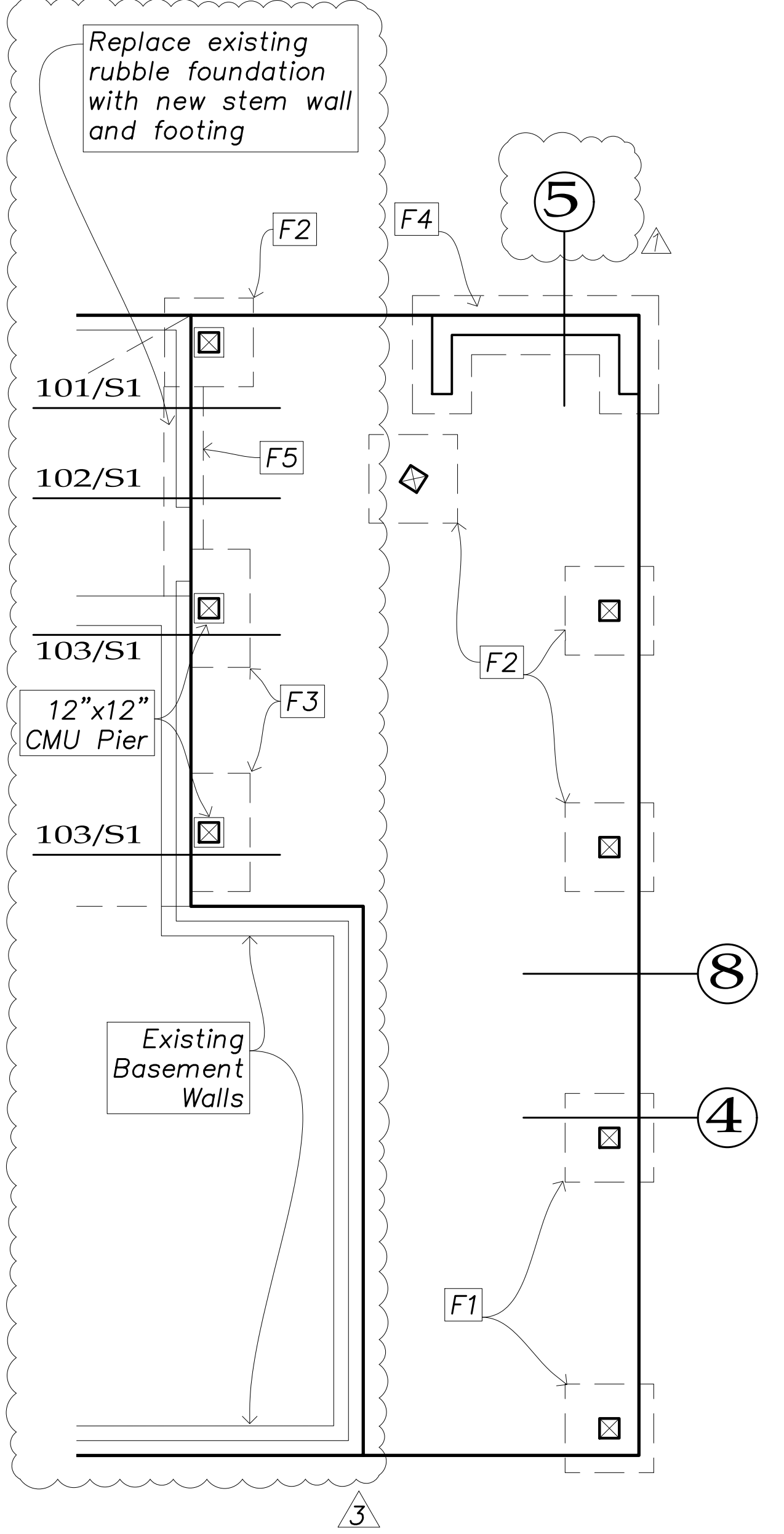
- Existing House.
- Replace existing Wood Post with new 6x6 DFL #1 Wood Post.
- Simpson ABU66Z with 1" stand-off and anchor bolt and fasteners per manufacturer.
- Painted Wood Finish and Trim.
- New Concrete Slab on Grade Patio.
- 8x16 solid grouted CMU Pier with (1)#4 Bar each cell with ACI Standard Hook, as shown.
- Footing Size and Reinforcing per Foundation Plan. Pour concrete over top of existing footing with minimum of 8" thickness.
- Foundation Reinforcing with ACI Standard Hook. Embed 5" into existing footing with Simpson Set-36 Adhesive.
- Existing Foundation.
- Precast Concrete Cap.

3 Post Footing at House
 SCALE: 1" = 1'-0"



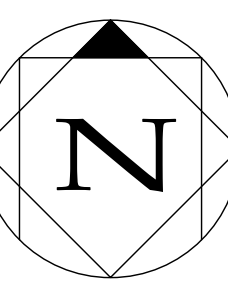
- 6x6 DFL #1 Wood Post
- Simpson ABU66Z with 1" stand-off and anchor bolt and fasteners per manufacturer.
- Not Used
- 12" square CMU pier with (2) #4 vertical, solid grouted. Horizontal ties @ 8" o.c.
- Footing Size and Reinforcing per Foundation Plan.
- Painted Wood Trim to match existing Front Porch Posts.
- Grade, slope away.
- Thickened edge at Patio slab.
- Malpais Stone Veneer.
- Precast Concrete Cap.

4 Post Footing
 SCALE: 1" = 1'-0"

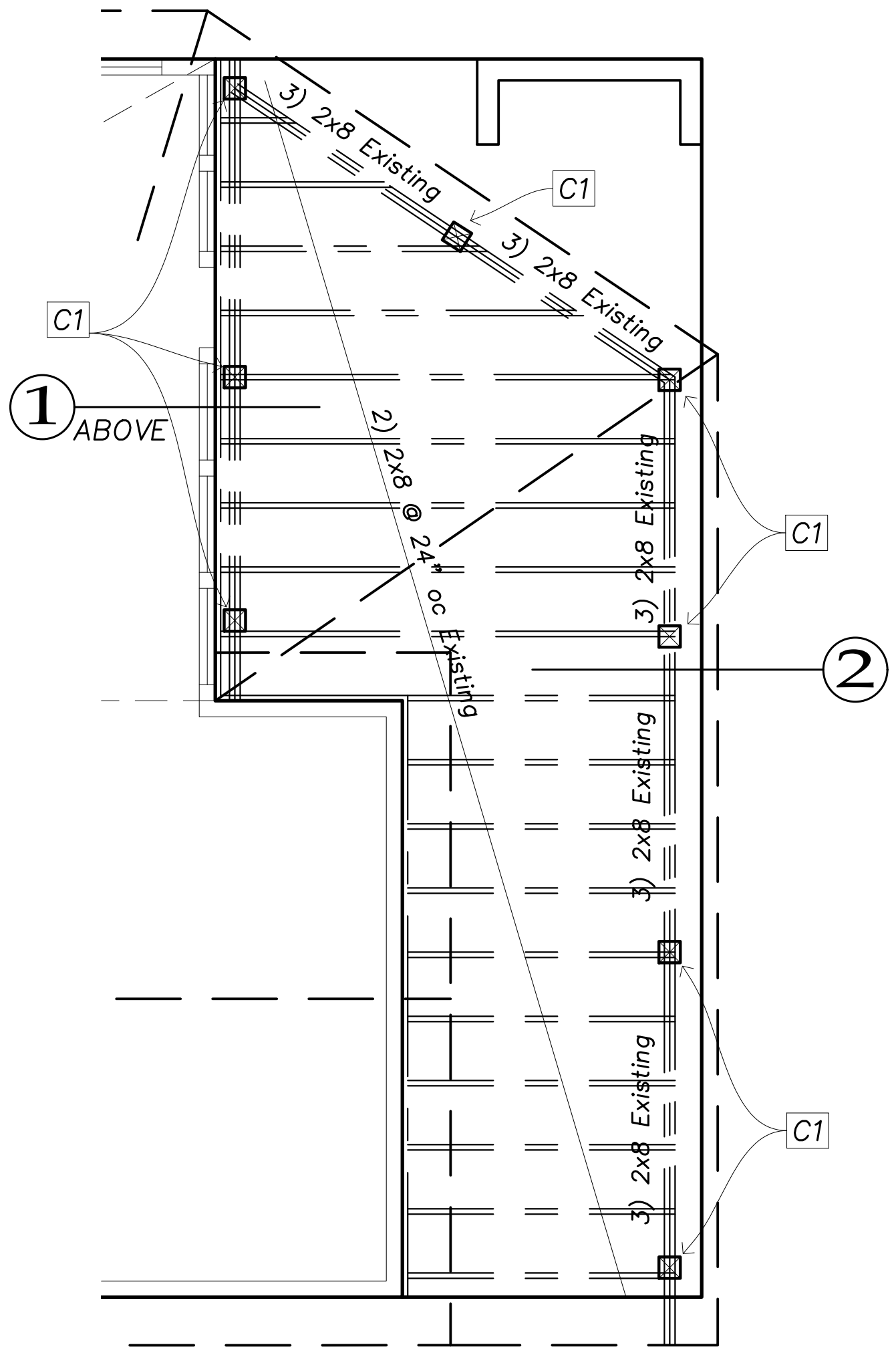


Foundation

Scale: 1/4" = 1'-0"

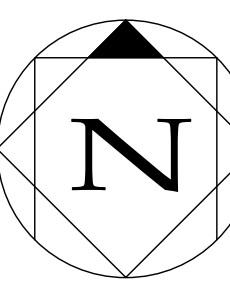


- F1
 2'-0" x 2'-0" x 10" Concrete Footing with (3) #4 each way. Simpson ABU66Z Post Base.
- F2
 3'-0" x 3'-0" x 10" Concrete Footing with (4) #4 each way. Simpson ABU66Z Post Base.
- F3
 4'-0" x 2'-0" Concrete Footing with (3) #4 longitudinal and (5) #4 transverse. Simpson ABU66Z Post Base.
- F4
 2'-0" x 10" continuous Concrete Footing with (3) #4 and #4 @ 12" on center, Hooked into footing. Alternate Direction. 8" Concrete Wall with #4 @ 12" o.c. each way.
- F5
 1'-4" x Continuous x 10" thick concrete footing with (2) #4 Bars continuous.



Framing

Scale: 1/4" = 1'-0"

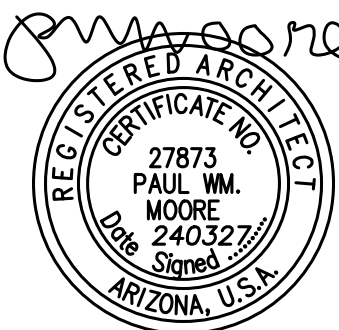


- C1
 Replace existing Wood Posts with 6x6 DFL #1 Wood Posts. Simpson ABU66Z Post Base. Simpson PC66 Post Cap.

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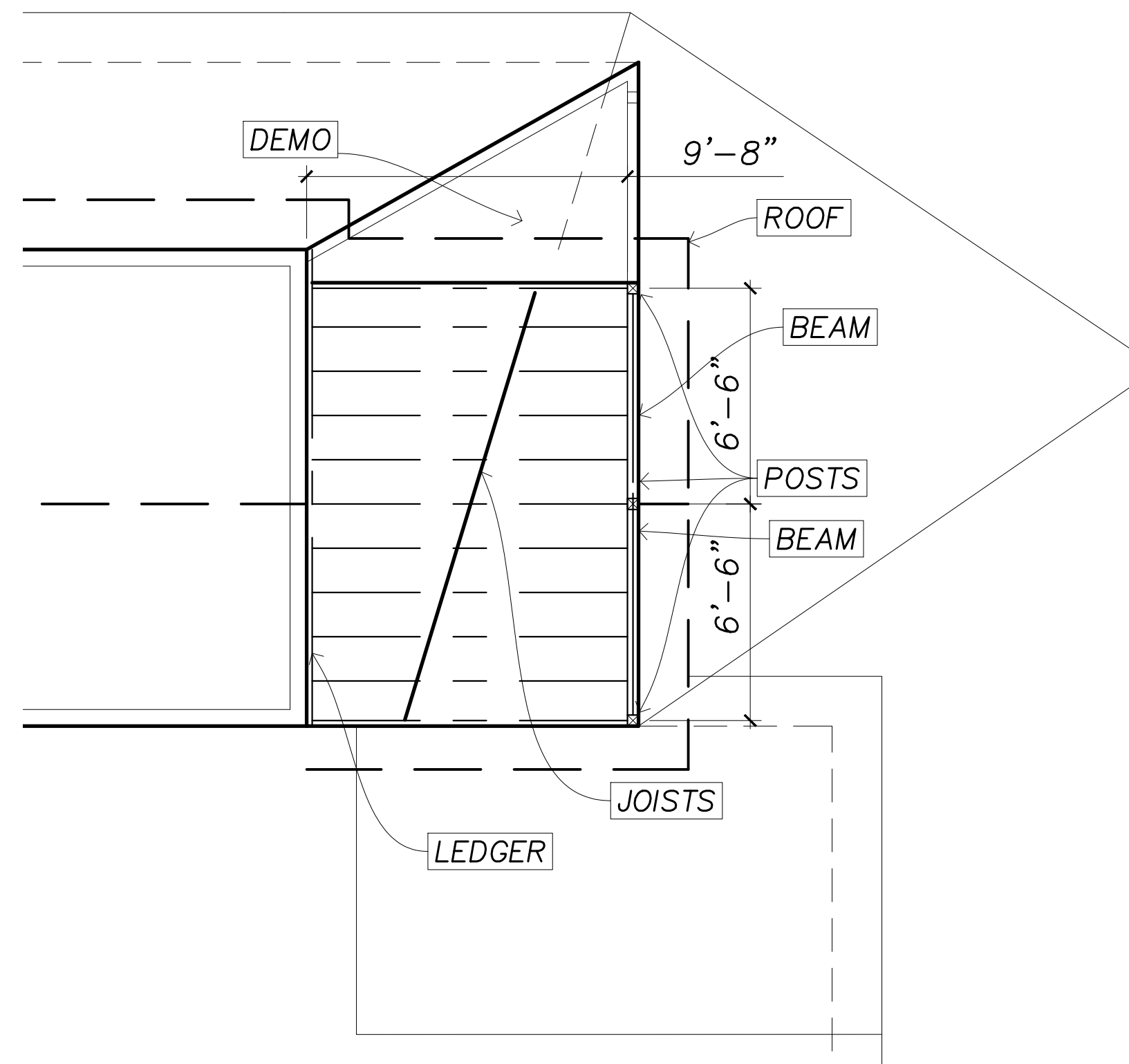
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Chimney and Deck Framing
 1/4" = 1'-0"
 A2.2



DEMO Demolish and remove existing Deck framing.

POSTS Three existing 4x4 posts from wall below to existing roof above to remain. Contractor to verify no rot or damage to the existing columns exists. Replace as required.

ROOF Existing roof to remain.

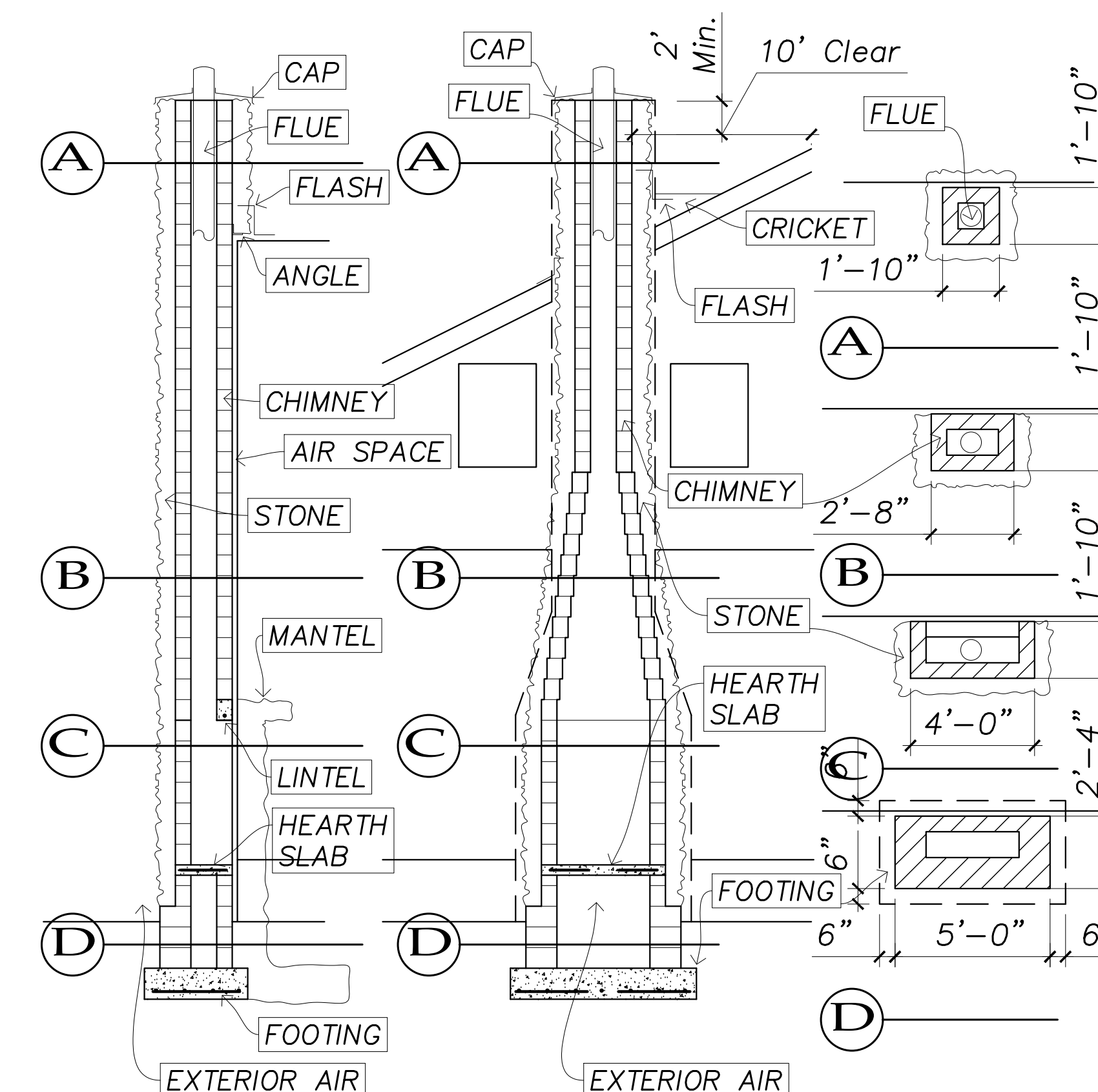
BEAM New Deck Beam. 4x8 DF#2. Connect to existing 4x4 posts with Simpson CJT4Z or HUC48.

JOISTS New 2x8 DF#1 Deck Joists @ 16" on center. Simpson LUS28 from joists to beam & ledger. Slope 1/4" per foot.

LEDGER 2x8 DF#2 Ledger with (2) Simpson SDWS22500DB screws at 8" OC max into existing rim board.

1 Deck Framing

Scale: 1/4" = 1'-0"



Masonry Chimney per IRC Chapter 10 summarized as follows:

CAP Provide a concrete or metal cap, sloped to shed water, a drip edge and a caulked bond break around flue.

FLUE Provide UL rated flue per fireplace insert requirements.

CRICKET Provide 10" cricket and flashing.

FLASH Flash and counterflash from chimney to roofing.

ANGLE 3-1/2" x 3-1/2" x 1/4" steel angle anchored to masonry chimney to carry stone veneer above roofing.

CHIMNEY 6" wide by 8" CMU solid grouted with 4) #4 verticals with standard hooks at bottom of footing and #3 ties @ 16" o.c. Provide two #3 ties at each bend of verticals. Provide minimum 10" x 10" chase for metal flue.

STONE Malpais stone veneer "dry stack" style.

AIR SPACE Provide one inch air space between new masonry and existing wood framing.

MANTEL Existing stone mantel and interior finished face of fireplace to remain. Pin to new masonry with Simpson epoxy anchors, as practical.

LINTEL 6" wide by 8" CMU lintel solid grouted with #4 continuous spanning fire box.

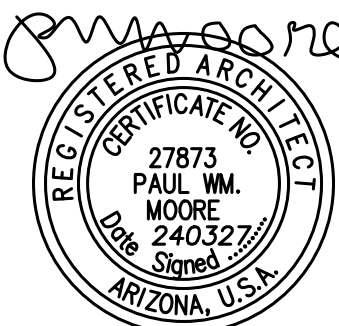
HEARTH SLAB 4" reinforced concrete slab with #4 @ 8" o.c. both ways.

EXTERIOR AIR Provide exterior combustion air with listed component per manufacturer. Cover opening with 1/4" corrosion resistant mesh.

FOOTING 12" thick reinforced concrete footing on undisturbed soil a minimum of 30 inches below adjacent grade. Provide #4 @ 9" o.c. both ways at bottom of footing. Project footing 6 inches beyond masonry. Pin to existing rock footing with Simpson epoxy anchors.

2 Chimney

Scale: 1/4" = 1'-0"



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Chimney, Deck, Details



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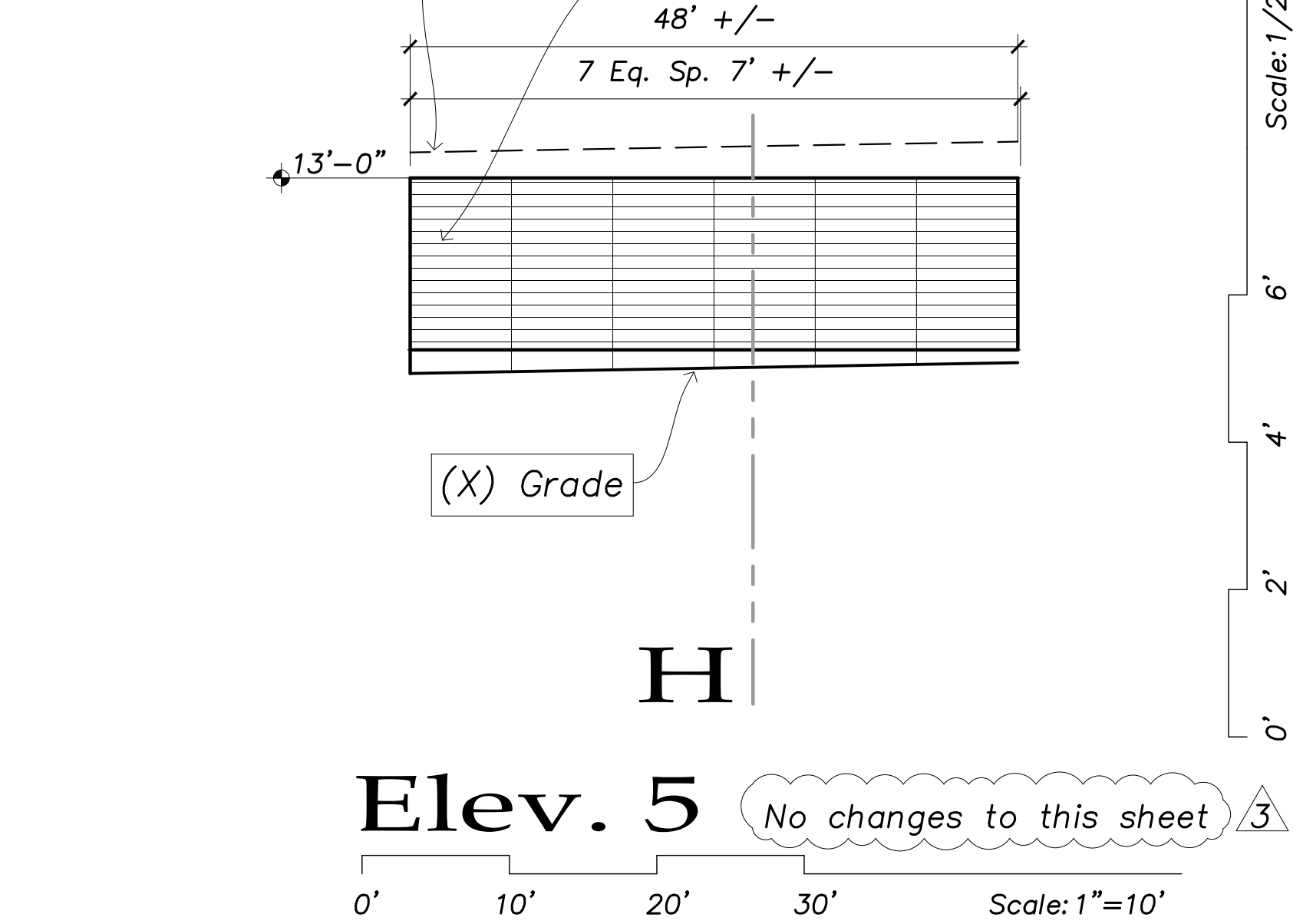
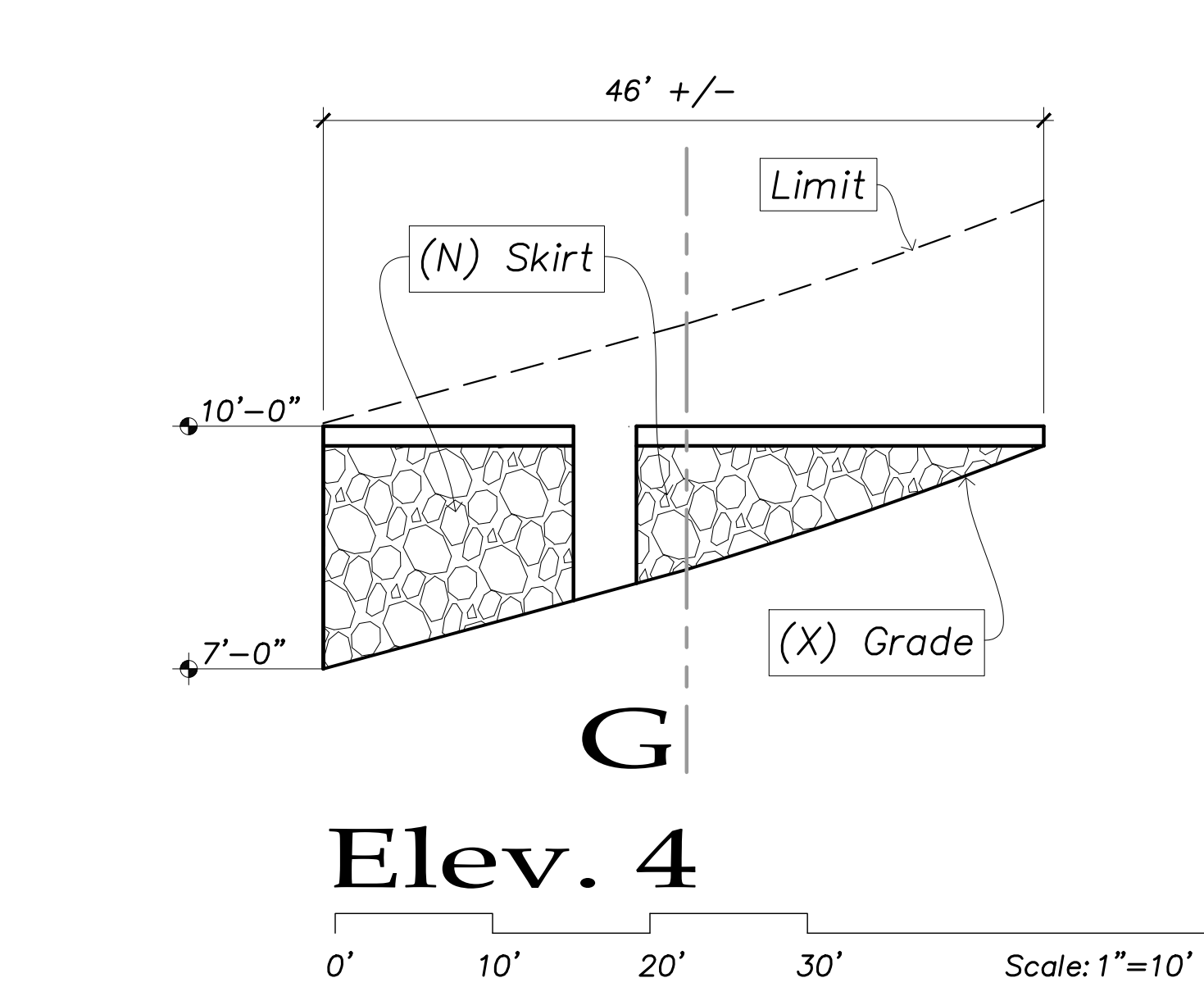
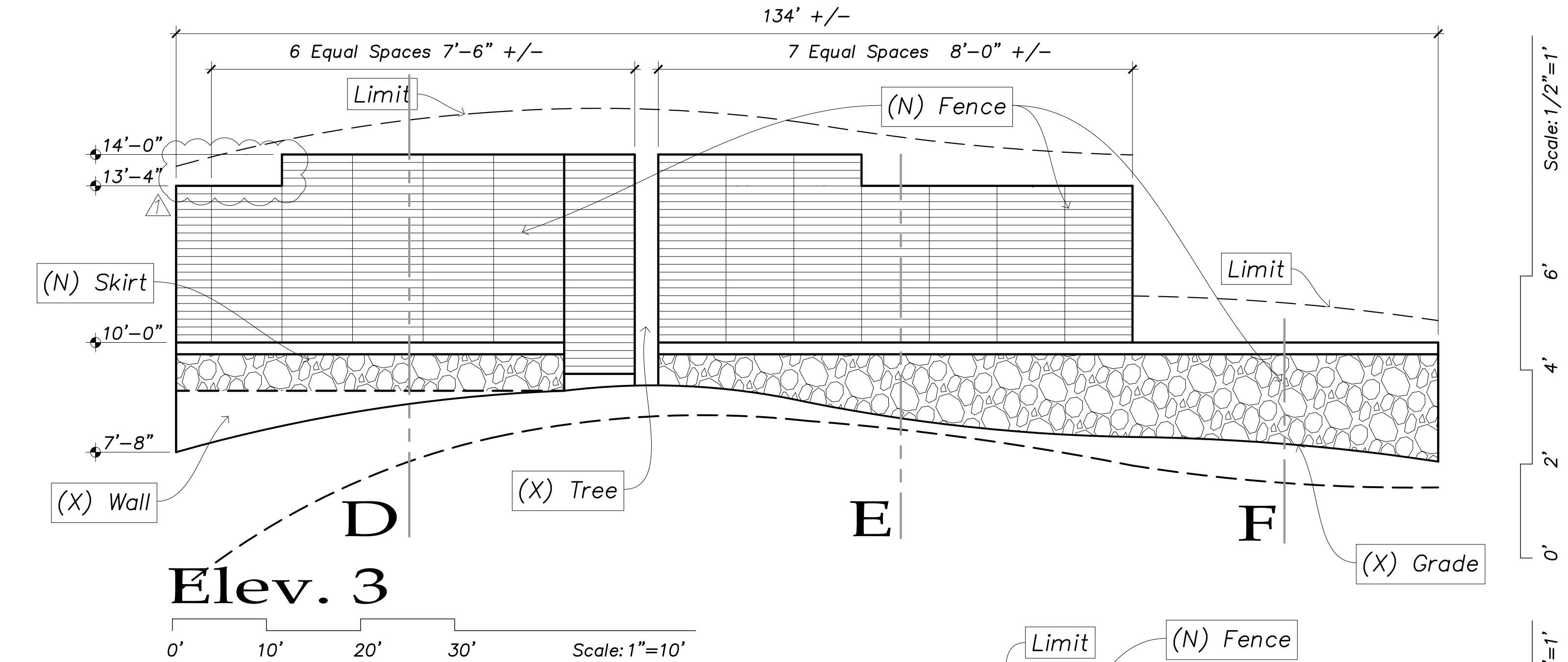
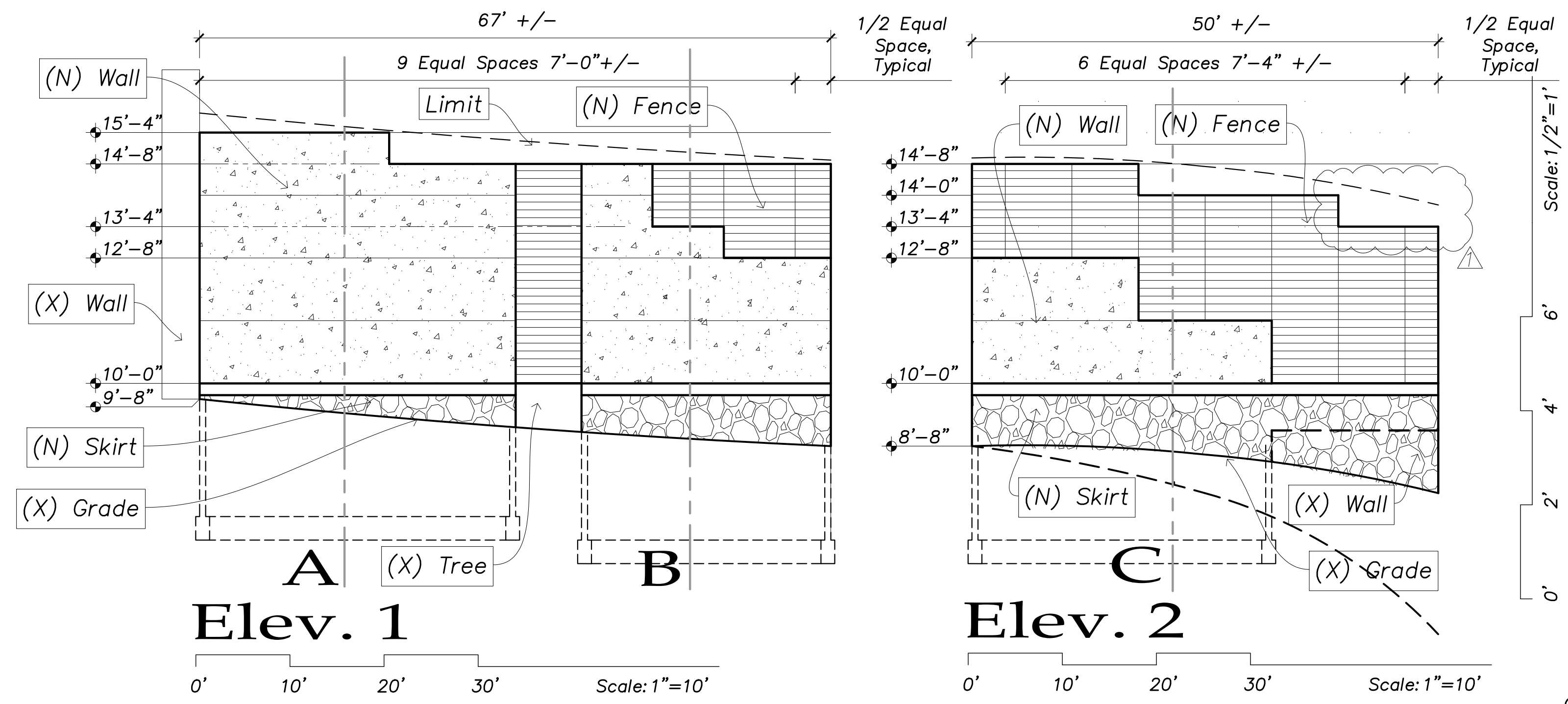
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Elevations

1/4"=1'-0"

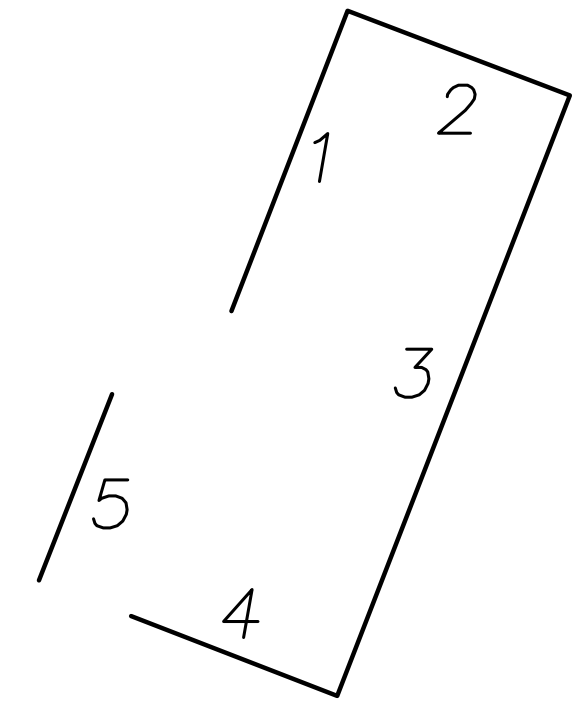
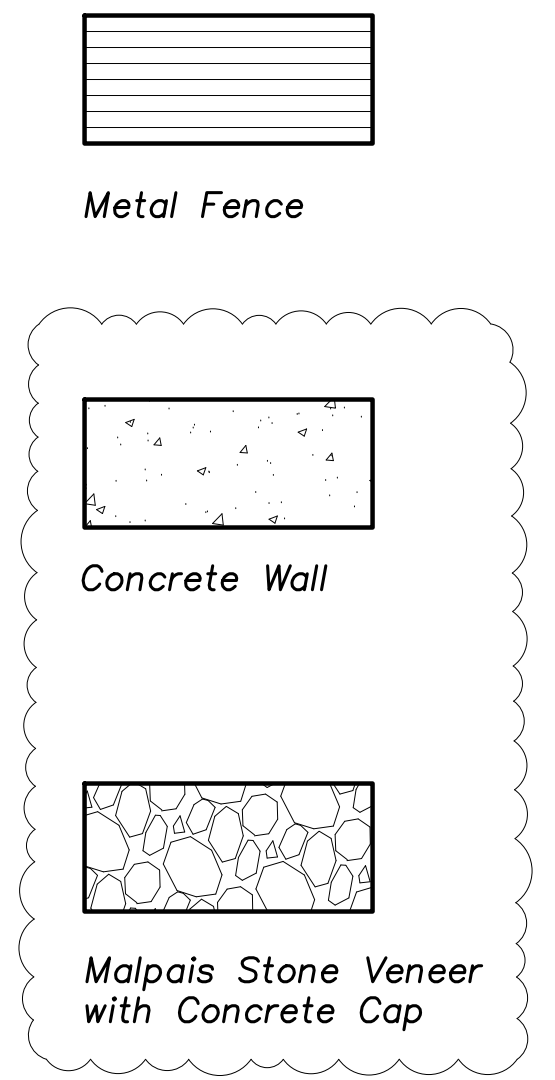
A3.0



FENCE ELEVATION KEYNOTES
(N)=New, (X)= Existing to Remain

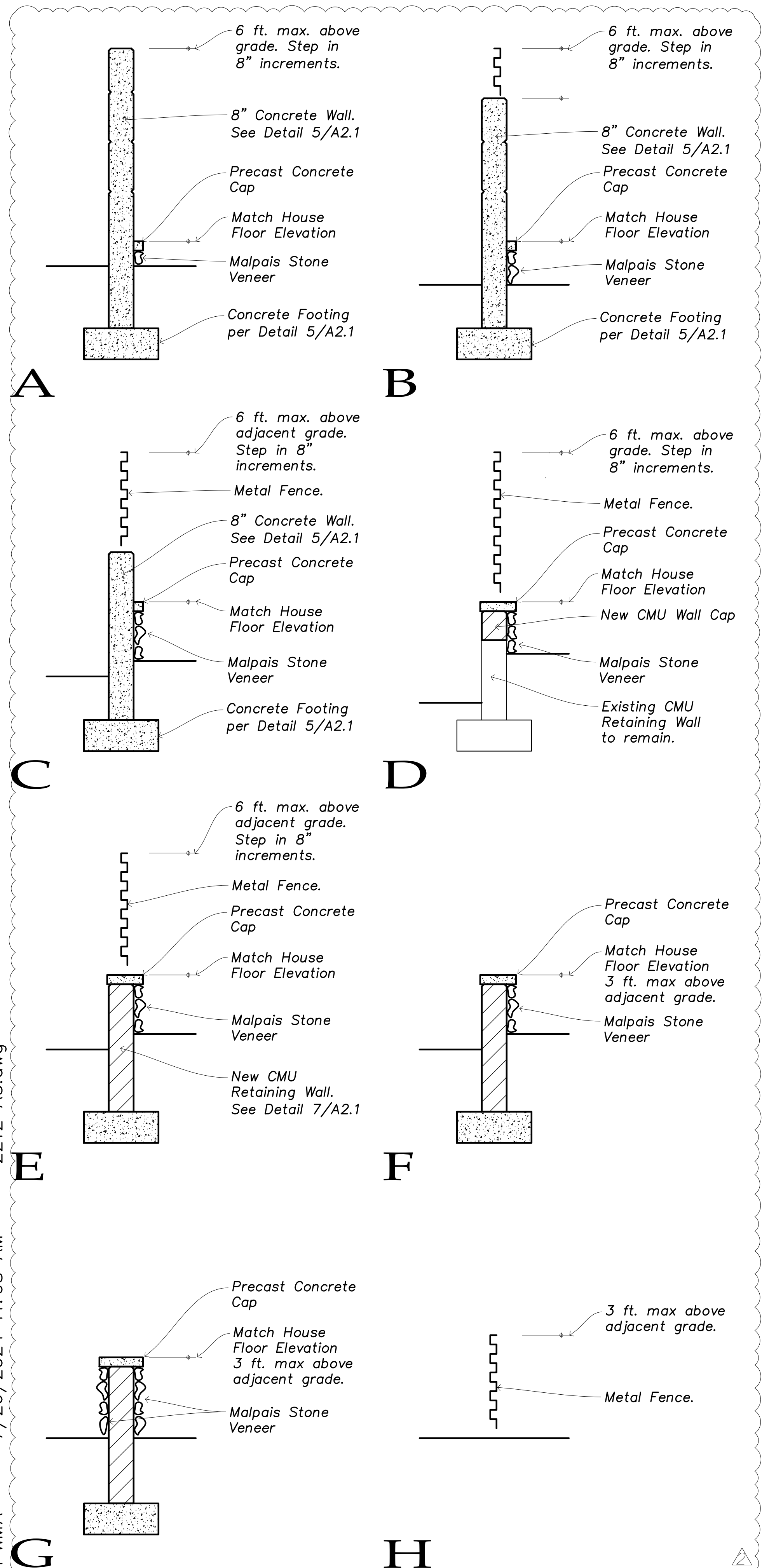
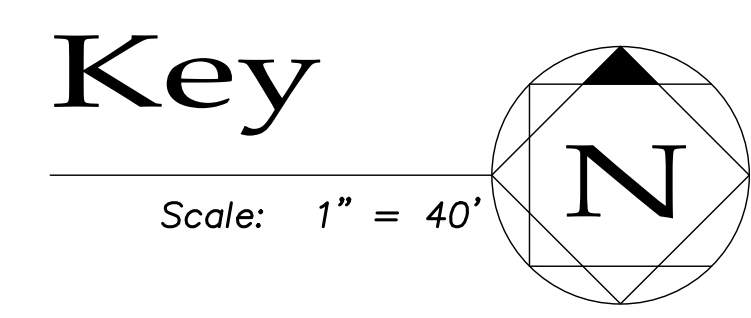
Limit
Limit Height of Fence to 6 ft. above grade in Rear Yard and 3 ft. above grade in Front Yard. Step top of Fence in 8" increments per Elevations.

(N) Fence
New Metal Fence.
(N) Skirt
Malpais Stone Veneer with Concrete Cap. Top Elevation to match House Floor Elevation,
(N) Wall
New Concrete Wall.
(X) Grade
Existing Grade to remain, as is. Dashed Line represents Grade on opposite side of wall.
(X) Tree
Existing Tree. Interrupt Metal Fence or span between Concrete Walls to avoid damage to tree roots.
(X) Walk
Existing Walk.
(X) Wall
Existing CMU Retaining Wall to remain.

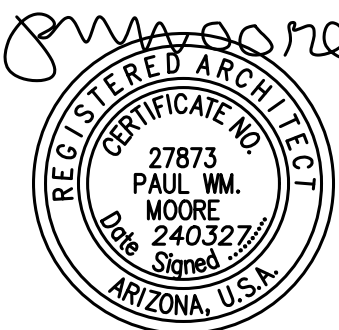


10'-0" = 6914.36'
House Floor Elevation

Note: Vertical and Horizontal scales are different for clarity.



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Notes

Not to Scale

A4.0

No changes to this sheet



770. Metal Roof Shingles
771. Install metal roof shingles according to manufacturer's recommendations over minimum 1/2" roof sheathing on minimum 3:12 roof pitch per R905.4. Remove all existing roofing, flashing, end metal and underlayment. Inspect and replace, as necessary, roof sheathing. Zappone Aluminum Shingles or equal.
772. Provide and install per manufacturer's recommendations, a self-adhering polymer-modified bitumen underlayment complying with ASTM D1970 per R905.1.1.
Polyglass - Polystick XFR fire resistant self-adhering underlayment. Install 60 mil TPO Roofing at back low slope roof section over porch.

773. Roof valley flashing per R905.4.6 shall extend 8" minimum from the centerline each wal and shall have a splash diverter rib of not less than 3/4" in height at the flow line formed as part of the flashing. Sections shall have an end lap of 4" minimum sealed with mastic. Install a continuous length of a second layer of underlayment under the valley.
774. Valley, flashing, ridge, end cap, etc. shall be of corrosion-resistant metal of the same material as the roof covering.
775. Use care to prevent any dissimilar metals or corrosive nonmetals from coming into contact with metal shingles and accessories. Do not allow water to flow from dissimilar metals to the shingles.
776. Install flashing and plumbing vent collars. Install ridge caps, hip caps, and roof edge.
777. Install roof jacks.

1510. Wood Stove
1511. Provide UL listed and labeled wood stove and chimney parts, including transition box at the ceiling and insulation and triple wall pipe from ceiling to 3 ft. above highest point on the roof.
1512. Fully flash, counter-flash and caulk at roofing penetration.
1513. Provide chimney cap and spark arrestor.
1514. Per IRC N1102.4.2, new wood-burning fireplaces shall have tight-fitting flue dampers and outdoor combustion air.
1515. Per IRC N1102.4.3.1. Fireplaces shall have gasketed doors.

1600. Electrical
1601. Provide weatherproof duplex receptacle in weathertight metallic box fed by rigid conduit.

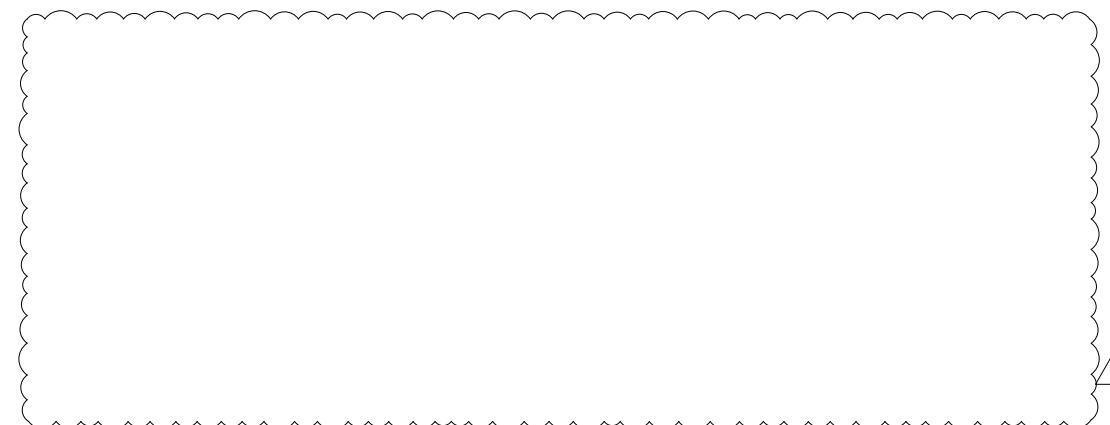
1520. Gas Piping
1521. All gas piping installed below ground level shall have a minimum earth cover of 18 inches and shall be installed with at least 12 inches of clearance in any direction from any other underground utility systems.
1522. All outdoor gas piping above grade shall be minimum 3-1/2" above adjacent ground or roof, be securely supported and protected from physical damage. Piping shall not be laid in contact with cinders.
1523. All gas piping shall be metallic per code, including provisions for cathodic protection, and have approved protective coating to protect against corrosion.
1524. Provide shut off valve at appliance.
1525. All gas appliances shall UL rated for outdoor use.

to have two studs or metal framing anchor bearing support at each end.
610. All interior openings 4'-0" wide or less shall have a minimum header of two 2 x 4 on edge. All exterior openings shall have a minimum header of two 2 x 6's, unless otherwise noted.
611. Joists framing from opposite sides of a beam or partition shall lap 3" min. Or provide 3/8" plywood scabs on one side 12" long.
612. Provide solid blocking at supports for joists and roof trusses, unless supported by metal hangers.
613. For interior wall sill plates, use powder driven fasteners @ 32" o.c. unless otherwise noted.
614. Attic areas shall be accessible by an opening of not less than 22" x 30".
615. Provide standard washers for all bolts through wood.
616. Provide metal or 1x4 cross bridging, or 2 solid blocking in rows at 8'-0" o.c. max. For floor joists 12" and deeper.
617. Attach wood frame walls to masonry or concrete with anchor bolts or other wall-to-slab anchors (see details).
618. Ends of wood girders entering masonry or concrete shall be provided with a 1/2" air space on tops, sides and ends.

Wood structural members:
Sawn lumber:
Member Species Grade
Bearing wall studs Hem Fir #2, U.O.N.
Misc Framing and Bl'king Hem Fir #2, U.O.N.
Top Plates Hem Fir Stnd and Btr
Bottom plates P.T. DFL Stnd and Btr
Ledgers DFL Stnd and Btr
Joist/Rafters DFL Stnd and Btr
Sawn Timbers/Beams DFL #1

Framing lumber shall comply with the latest edition of the grading rules of the western wood products association or the west coast lumber inspections bureau. All sawn lumber shall be stamped with the grade mark of an approved grading agency.

710. Sheathing
711. Minimum 6 inch clearance from lowest wood (usually siding) to finish grade.
712. Install siding over vapor barrier over sheathing over 2x6 @ 16" oc.
713. Attics to be cross-ventilated with net free vent area of not less than 1 sf per 150 sf of roof or under floor area. Use a combination of ridge vents and soffit vents.
714. Min. Nailing per IRC table R602.3(1) and IBC 2304.9.1 in addition to nailing, gluing is recommended for all floor sheathing.
715. Roof sheathing panels shall be laid with long dimension perpendicular to supports. Sheathing panel joints parallel to supports shall be staggered.



800. Doors and Windows
801. See schedules for door width. All doors 6"-8" high, unless otherwise noted.
802. Interior doors 1-3/8" thick. Exterior doors 1-3/4" thick.
804. Exit doors shall be openable from the inside without the use of a key or any special knowledge or effort.
803. Weather strip all exterior doors, including threshold.
804. Coordinate extended jamb widths as required.
805. Thresholds to be 1/2" maximum.
806. Exterior landings shall not slope more than 1/4" per foot.

307. Typically concrete coverage of reinforcing shall be as follows:
Concrete cast against earth.....3"
Exposed to weather larger than #5.....2"
#5 and smaller.....1-1/2"
308. Use expansion joints and control joints as necessary.
309. All wood forms used in placing concrete, and other temporary supports for construction, shall be removed before the structure receives final approval.

400. Masonry
401. Masonry work shall conform with all applicable codes.
402. Hollow concrete masonry units shall conform to ASTM C90 Grade N, type 1, Fm=1500 psi, all mortar shall be type S or M. (Type N shall not be allowed) minimum compressive strength shall be 1800 psi.
403. Grout minimum compressive strength shall be 2000 psi.
404. Units shall be placed in running bond unless otherwise shown. Grout solid all masonry units below grade.
405. Mechanically vibrate or hand rod all grout in vertical spaces immediately after placing. Provide cleanouts if grout lift exceeds 4'-0". Maximum grout lift shall be 8'-0" unless otherwise noted on the plans.
406. Unless noted otherwise on plans, place control joints in masonry walls such that no straight run of wall exceeds 24'-0".
407. All reinforced steel deformed bars shall be Grade 40. All steel shall be secured in place to prevent displacement during grouting. Provide continuous reinforcement wherever possible. Stagger splices where possible.
408. Vertical reinforcing:
#4 bars at 32 inch o.c. unless noted otherwise.
4 - #4 bars in columns unless noted otherwise.
Provide one vertical rebar at all corners and two rebar at ends of walls.
409. Distribute column bars at corners of columns and surround with 1 inch minimum grout. Locate single wall bars in center of grout at centers of wall. Extend continuous for full height of wall or column. Locate one bar at all corners, intersections, wall ends, and each side of control joints unless otherwise shown. Lap splices shall be 40 bar diameters for grade 40 bars. Dowel foundation with vertical reinforcing to match wall or column reinforcing.
410. Horizontal reinforcing: 2 - #5 bars top of wall unless noted otherwise.
411. Extend bond beam steel continuous through slab at door openings. Provide continuous connection to vertical reinforcement at any discontinuous horizontal run. Lap splices shall be 40 bar diameters for grade 40 bars. Provide reinforcing steel angles at corners with 40 bar diameter laps and minimum bend diameter per uniform building code.
412. No masonry shall be laid when the outside air temperature is below 40 degrees F unless acceptable protection is provided to prevent freezing for 48 hours.
413. Foundations supporting wood shall extend at least 8" above adjacent finish grade.
414. Anchor bolt requirements: 1/2" x 10" long and embedded 7", placed 4' o.c. and 12" from corners, maximum and 1 on each side of doors and a minimum of 2 per sill plate.

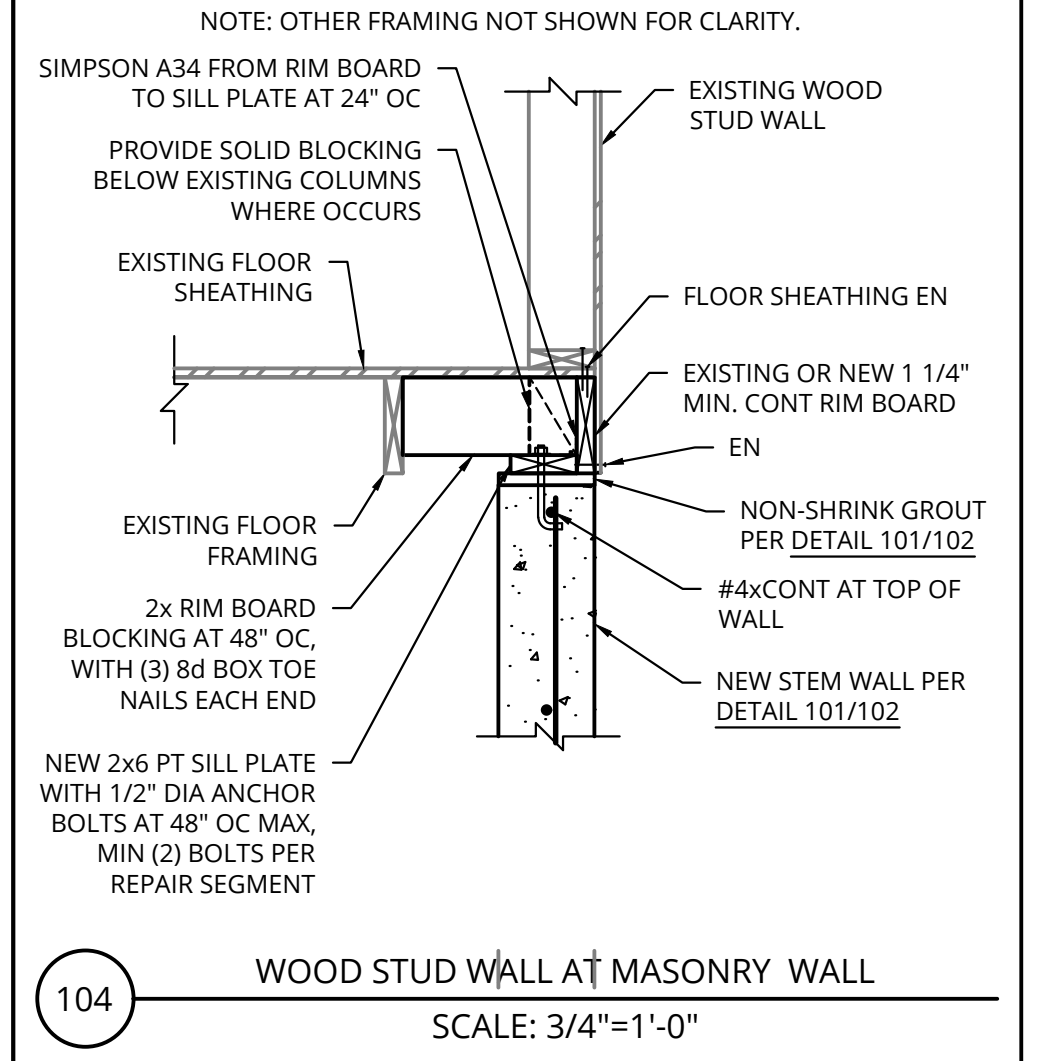
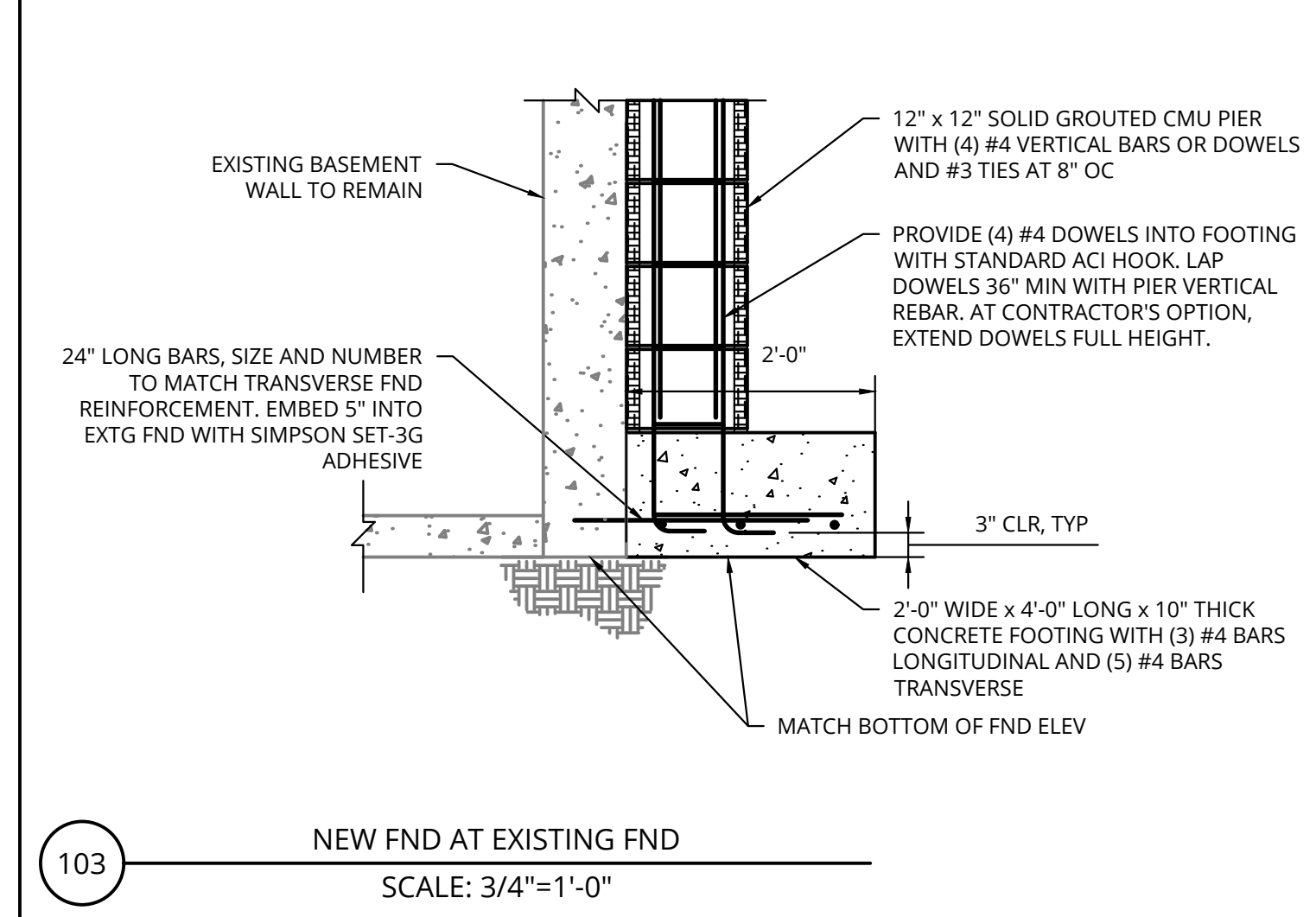
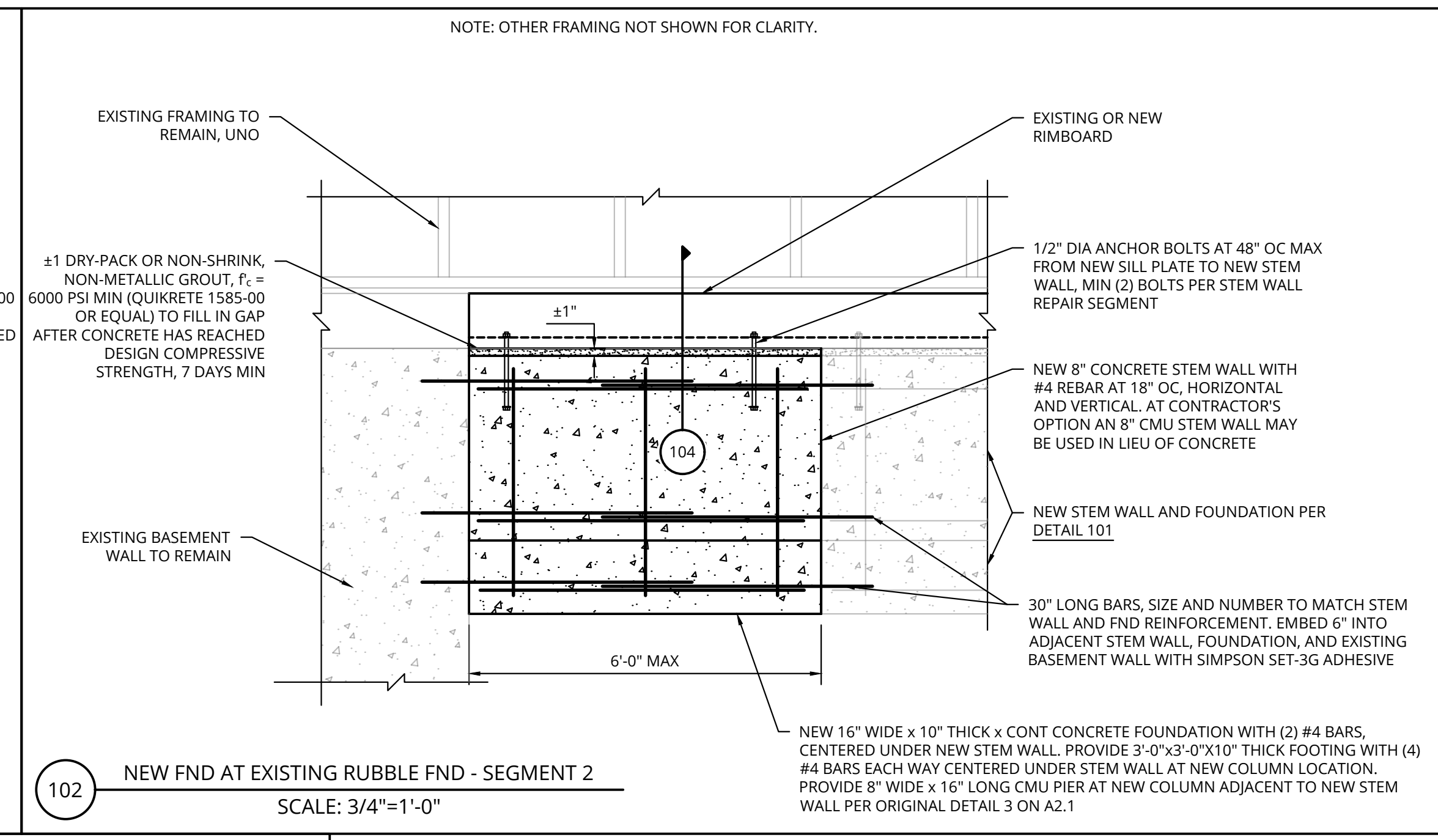
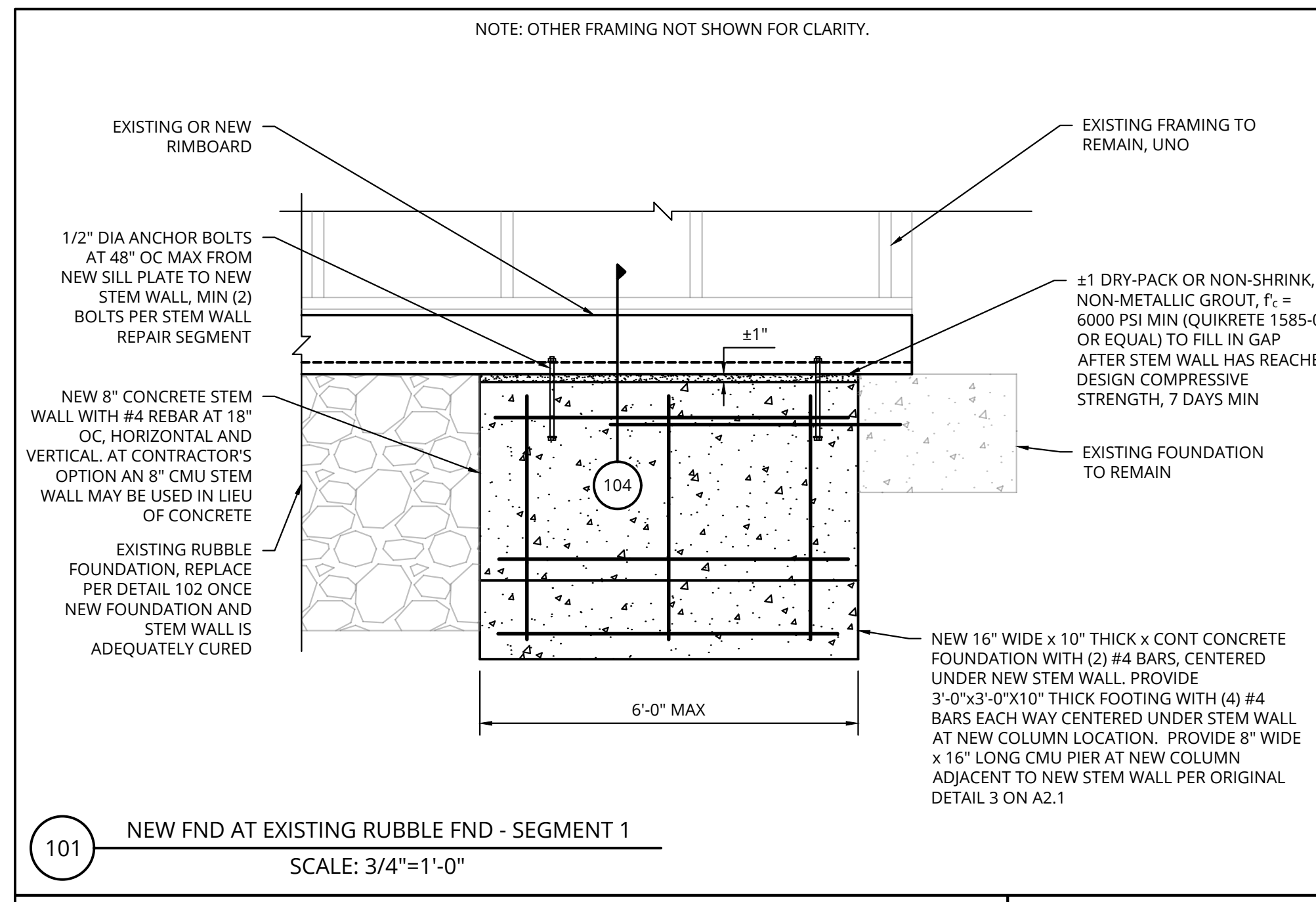
600. Wood Framing
601. Lumber for beams, headers, rafters and joists are to be #2 Douglas Fir / Larch, used at 19% maximum moisture content, unless noted otherwise.
602. All wood in contact with masonry or concrete, which is in contact with earth, and sills / plates or ledgers which rest on masonry foundations, shall be factory treated wood.
603. Exterior walls are to be 2x6 @ 16" oc, fully sheathed.
604. Provide 2 x 6 framing for plumbing walls to accommodate drilling and notching of vents and piping.
605. Where top or bottom plates are cut for plumbing, heating, or other pipes, a metal tie 1/8" thick and 1-1/2" wide shall be fastened to the plates across and to each side of the opening with not less than (4) 16d nails.
606. Trusses and joists shall have solid, 2 x blocking at bearing. Additionally, trusses or joists shall have Simpson H3 or equivalent connectors at each truss (typical).
607. Blocking is required under partition walls for proper plate nailing for wood floor systems. Double joists under parallel bearing partitions.
608. All joists, headers, beams, and rafters shall have a minimum solid bearing of 1-1/2" at each end, unless otherwise noted.
609. All headers and beams spanning 6'0" or more are

General Notes
Materials of Construction:
Structural Lumber #2 Douglas Fir, UON
Concrete F'C = 3000 PSI (28 DAYS)
Grout F'C = 2000 PSI
Cement ASTM. C150, TYPE II
Concrete Aggregate ASTM. C33
Reinforcing Steel ASTM. 615, GRADE 40
Structural Steel ASTM. A36
Bolts ASTM. 307

100. General Notes
101. All work shall comply with Federal, State, and local Codes and ordinances.
102. The Contractor shall verify all dimensions prior to starting work and shall notify the Architect of any discrepancies or inconsistencies in the plans.
103. Details take precedence over General Notes.
104. Dimensions take precedence over scale shown at drawing title.
105. Immediately notify the Architect of any undocumented and/or unanticipated conditions or any discrepancy between these drawings and existing conditions.
106. Dimensions are to face of studs and center of windows, unless otherwise noted.
107. When specific products or brand names are indicated, other products of equal performance and structural properties may be used, if approved by the Owner.
108. Construction materials shall be placed so that loads do not exceed design live loads.

200. Site Work
201. Positive drainage shall be provided away from the building exterior. Exterior paved areas adjacent to the building shall have a positive slope of 1/4 inch per foot minimum. Soils shall have a positive slope of 5% for a minimum distance of 10 feet.
202. Site drainage shall not be blocked by temporary storage of construction materials or equipment.
203. The Owner is responsible for identification of all property lines & for not building upon any easements.
204. Verify location and acceptability of existing utilities prior to start of construction. The Contractor shall make reasonable effort to locate and protect all existing and temporary utilities, property and work of other trades to avoid damage or personal injury.
205. The Contractor shall investigate the site during clearing, earth work, and footing excavation operations for buried structures, such as septic tanks, cisterns and foundations. Notify the Architect if any such items are found. The Contractor shall verify suitability of existing soils for bearing capacity and contact a Geotechnical Engineer when presence of expansive clay or rock is detected.
206. Remove all wood, grass, shrubs, concrete slabs, concrete footings and any other solid debris in the area of new construction.
207. Remove all unused underground pipes within 4' of any footing.
208. All stumps and roots shall be removed from the soil to a depth of at least 12" below the surface in the area to be occupied by proposed structures.
209. Dispose of all debris and waste in such a way that will not allow it to be transferred loosely to other areas on or around the site.
210. Protect from damage all existing features to remain, including all vegetation, paving, curbs and walks.
211. Fill below concrete slabs shall be granular non-expansive soil compacted to 90% relative compaction.
212. Utility trench backfill shall be mechanically compacted in layers similar to other fill materials.

300. Concrete
301. Footings, poured stems and interior slabs to be 3000 psi concrete.
302. Exterior flatwork to be min. 3000 psi concrete with 5 - 7% air entrainment.
303. Slabs on grade shall be at least 3-1/2" thick with 6 x 6 10/10 WWM or #3 @ 24" o.c.
304. All footings and thickened slab footings shall bear on firm natural soil or compacted engineered fill as indicated on the construction drawings and in accordance with the soils report at least 30" below grade.
305. All footing bottoms shall be level and cleared of all loose material prior to concrete placement.
306. Reinforcing steel shall be accurately placed and positively secured and/or supported by concrete blocks, metal chairs, spacers, or hangers, lap splices shall, in no case, be less than 30 bar diameters.



ARCHITECTURAL COORDINATION	
REV.	REFER TO ARCHITECTURAL DRAWINGS FOR PLANS, DETAILS NOT SHOWN, AND GENERAL NOTES.
SHORING	
REV.	DESIGN AND LOCATION OF REQUIRED SHORING OF EXISTING FRAMING BEFORE OR DURING CONSTRUCTION WAS NOT PROVIDED BY SIRIUS STRUCTURES. ALL REQUIRED SHORING OF THE NEW AND EXISTING FRAMING IS THE RESPONSIBILITY OF THE CONTRACTOR.
EXISTING STRUCTURE	
REV.	A FULL REVIEW AND DESIGN OF THIS STRUCTURE FOR COMPLIANCE WITH THE 2018 IRC AND/OR THE 2018 IBC HAS NOT BEEN PERFORMED UNDER THIS SCOPE. THIS SCOPE IS LIMITED TO A DESIGN OF THE ELEMENTS THAT ARE EXPLICITLY LISTED IN THE STRUCTURAL CALCULATION PACKET. ALL OTHER ELEMENTS OF THIS STRUCTURE ARE THE RESPONSIBILITY OF OTHERS. THE CONTRACTOR SHALL COORDINATE ALL REQUIRED DETAILS WITH THE ARCHITECTURAL DRAWINGS AND NOTIFY THE ENGINEER OF RECORD OF ANY DISCREPANCIES.
EXISTING CONDITIONS	
REV.	EXISTING FRAMING AND/OR FOUNDATION MEMBERS ARE NOT ALWAYS VISIBLE AT THE TIME OF THE DESIGN. THESE PLANS INCLUDE REASONABLE ASSUMPTIONS ABOUT THE SIZE, SPACING, AND ORIENTATION OF EXISTING STRUCTURAL MEMBERS. FIELD VERIFY THE EXISTING FOUNDATION AND FRAMING AND NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCY OBSERVED BETWEEN THE EXISTING CONDITIONS AND DESIGN ASSUMPTIONS SHOWN ON THE PLANS. VISUALLY INSPECT ALL EXISTING JOISTS, RAFTERS, BEAMS WALLS, AND OTHER STRUCTURAL ELEMENTS EXPOSED DURING DEMOLITION AND CONSTRUCTION. NOTIFY ARCHITECT AND ENGINEER OF ANY UNUSUAL PENETRATIONS, NOTCHES, SPLITS, ROT, OR OTHER DAMAGE.

SIRIUS STRUCTURES
BRIGHT MINDS | RIGHT SOLUTIONS



GIOVALE YARD RENOVATION
416 W. BIRCH AVE.
FLAGSTAFF, AZ 86001

PROJECT	DESCRIPTION
DATE	DATE
REV.	DATE
JOB: 23037	EGR: S. GIBSON
DRFT: S. GIBSON	DATE: 02/14/2025
SCALE: AS NOTED	SHEET NAME
FND DETAILS	
SHEET NUMBER	
S1	

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CITY OF FLAGSTAFF HERITAGE PRESERVATION COMMISSION

STAFF REPORT – ADDENDUM

CERTIFICATE OF APPROPRIATENESS
PZ-25-00073
ADDRESS: 416 W. Birch Ave.

DATE: April 7, 2025
MEETING DATE: April 16, 2025
REPORT BY: Lauren Clementino

REQUEST

Approve an updated Certificate of Appropriateness for two new additions to the previously approved project plans:

- 1) Remove the existing chimney and replace with a new masonry chimney with a dry stack malpais stone veneer.
- 2) Replace a deck railing on the back (North) side of the house to match the existing railing on the existing front porch.

STAFF RECOMMENDATION

Staff recommends that the Heritage Preservation Commission approve an updated Certificate of Appropriateness for the proposed plans for the chimney and deck railing replacement at 416 W. Birch Ave.

PROJECT BACKGROUND

The house located at 416 W. Birch Ave. was constructed in 1913 for George Baty. It is noted in the inventory form as “A sophisticated example of the Bungalow Style”. The home is listed as contributing to the Townsite National Register District. It is noteworthy for its architecture with a recessed entry porch, clapboard siding and shingled dormer that reflects the Bungalow style. The project is located within the Townsite Overlay Zone and subject to its design review requirements.

PAST DECISIONS AND OTHER REVIEWS

At the May 15, 2024 meeting, the Heritage Preservation Commission voted to approve a Certificate of Appropriateness for renovations including reroofing, fencing, paving, and yard improvements at 416 W. Birch Ave. with the condition to provide a roofing material that meets the US Secretary of the Interior’s Standards for Rehabilitation or alternative material that meets the guidance of NPS Preservation Brief #16 to the Heritage Preservation Officer for approval. The roofing material was subsequently reviewed and approved by Mark Reavis, Heritage Preservation Officer, on June 7, 2024.

In August 2024, updated plans were reviewed by the acting Heritage Preservation Officer, Sara Dechter. The scope of work had expanded to include demolition of the chimney on the West side of the house (by the garage) above the roofline. The acting HPO determined that the work was not a major impact and qualified for a Certificate of No Effect based on the fact that the chimney had been previously altered to a brick chimney from the original stone. Approval for this change in scope would normally have been documented through a formal Certificate process requiring the owner/applicant to submit a Certificate application before being approved. In this case, the acting HPO decided not to require submission of another Certificate by the applicant so soon after the last approval and approved administratively.

INTENT

The Townsite Overlay is a hybrid of a historic and character overlay that “allows preservation, restoration, new construction, remodeling and demolition. The Townsite Overlay is a hybrid of a historic and character overlay that “allows preservation, restoration, new construction, remodeling and demolition. The Secretary of the Interior’s Standards are incorporated into this document by reference.”

10-30.30.060 Development of a Landmark Property and Property within a Historic Overlay Zone, Process “C”: “Prior to the granting of any required approvals or permits and prior to the commencement of any work on a landmark property or within a historic overlay zone, the Heritage Preservation Commission or the Historic Preservation Officer shall review all work proposed and approve or conditionally approve the work in the form of a certificate of no effect, certificate of appropriateness, or certificate of economic hardship”.

STAFF REVIEW

Scope of Work

The Certificate of Appropriateness is “appropriate if the proposed work alters a cultural resource but does so in such a way that is compatible with the historic or archaeological character of the resource and all major impacts are mitigated such that the work does not diminish, eliminate, or adversely affect the significance or integrity of the resource.” (Flagstaff Zoning Code 10-30.30.060.E).

Findings

“Prior to the granting of any required approvals or permits and prior to the commencement of any work on a landmark property or within a historic overlay zone, the Heritage Preservation Commission or the Historic Preservation Officer shall review all work proposed and approve or conditionally approve the work in the form of a certificate of no effect, certificate of appropriateness, or certificate of economic hardship” (Flagstaff Zoning Code 10-30.30.060 Development of a Landmark Property and Property within a Historic Overlay Zone).

The Flagstaff Zoning Code 10-30.30.060E states:

Criteria for Approval.

When approving a certification of appropriateness, the Heritage Preservation Commission shall find that:

- a. The proposed work is consistent with the purpose and intent of this division;*
- b. The proposed work is compatible with its context:
 - (1) The appropriate context for a landmark or a historic property is the property itself and, to a much lesser extent, the surrounding properties and neighborhood;*
 - (2) The appropriate context of work in a historic overlay zone is the significant portions of the property itself, the surrounding properties, and the neighborhood;**
- c. The cultural resources associated with the proposed work have been sufficiently sought, identified and evaluated;*
- d. Major impacts on cultural resources are sufficiently mitigated; and*

e. The proposed work is consistent with applicable development standards and design guidelines. See also subsection (G) of this section, Development Standards and Guidelines.

Townsite Overlay

“The Townsite Overlay (TO) zone applies to areas of the City subject to the Townsite Historic Design Review Overlay District Design Standards and Guidelines and design review by the Heritage Preservation Commission for the development of properties located within the boundaries of the zone” (Flagstaff Zoning Code 10-40.50.030 Overlay Zones).

Flagstaff Townsite Historic Overlay District Design Standards and Guidelines states “The Flagstaff Townsite Historic Residential District was listed in the National Register of Historic Places in 1986 via the National Park Service (NPS). The district represents a strong historical image of time and place with mature landscaping, original road widths and block configurations.”

The following design criteria/standards apply to this case:

F. Architecture, Materials, Details, and Colors

1. Materials, details, and colors shall be compatible with historic structures on an individual property and compatible with the surrounding neighborhood.

K. Exceptions

1. The Historic Preservation Commission may, at its sole discretion, modify the requirements of these standards and guidelines when in the opinion of the Commission, an exception is warranted based for design consistency such as in the case of alterations to existing non-conforming structures, cases where an exception is necessary to accommodate an appropriate architectural style, cases where an exception is warranted based on the development of immediately adjacent properties, and other similar circumstances determined by the Commission.

DISCUSSION

Basis of Report

The information in this summary discussion was derived from the application to the Heritage Preservation Commission.

Evaluation of Effects

The reconstructed chimney will be in the same location and the same size as the original on the North side of the house. The main visual change will be the reintroduction of stone. As seen in the 1985 inventory form, the original chimney was “rubble stone.” At some point since 1985, the stone was removed, and the chimney is currently exposed brick. Use of a malpais stone veneer in the reconstructed chimney would bring back an original design element and reverse the later change to brick, restoring integrity. Malpais stone is a unique local material compatible with the Townsite design standards and the surrounding neighborhood. It would also be cohesive with the previously approved design for facing the brick planter and skirting on the home with stone.

As the back porch was an addition, the proposed work does not affect the historic aspects of the home. It is a minor alteration repeating a compatible design element from the front of the house.

COMMISSION OPTIONS

- (1) The Commission can approve the recommended motion;
- (2) The Commission can approve with additional conditions related to the standards and guidelines applicable to the case;
- (3) The Commission can request additional information and continue to a date certain; or
- (4) The Commission can deny the application with instructions for resubmittal.

STAFF CONCLUSION:

The proposed changes to the scope of work conform to the Townsite Historic Design Review Overlay District Design Standards and Guidelines and will have no adverse effect on the existing building. Reintroducing the malpais stone veneer to the chimney help restore integrity by bringing back an original design element. It is appropriate for the Commission to approve an updated Certificate of Appropriateness based on the findings.

Heritage Preservation Commission

6. D.

From: Lauren Clementino, Senior Planner/Heritage Preservation Officer

DATE: 04/16/2025

SUBJECT: 3300 E. Route 66 Phase I Cultural Resource Study

PROPERTY INFORMATION:

Address: 3300 E. Route 66

Assessor's Parcel Number: 108-09-057A

Property Owner: Flagstaff Shelter Services

Applicant: Ross Schaefer, Executive Director, Flagstaff Shelter Services

City Staff: Lauren Clementino, HPO

REQUESTED ACTION:

Approval of a Phase I Cultural Resource Study and selection of measures to mitigate the major impact to historic The Crown Motel property. Mitigation measures will be presented by the applicant and their consultant during the meeting and will include the previously proposed replacement signage (attached).

RECOMMENDED ACTION:

Approval of a Phase I Cultural Resource Study with additional mitigation. In November 2024, the property owner self-reported a code compliance issue: historic signs and lighting had been removed from the restaurant portion of the building without their permission. At that time, staff requested a Phase 1 Cultural Resource Study be completed, and a mitigation proposal developed. The resulting Phase I Cultural Resource Study finds that, due in part to the removal of the neon "Restaurant" signs and edging at the Crown Railroad Cafe, the entire The Crown Motel property no longer retains sufficient integrity to convey its historic significance and association with Route 66. This constitutes a major impact requiring mitigation measures per Flagstaff City Code [10-30.30.050](#) Cultural Resources.

ALTERNATIVE ACTIONS:

1. Request modifications to the study or proposed mitigation measures and include them as conditions of approval.
2. Continue the HPC review to a date certain and ask the applicant to come back with a modified proposal that meets specified conditions.

HAS THERE BEEN PREVIOUS COMMISSION DECISION ON THIS:

As consultation item at the January 15, 2025 meeting, the Commission reviewed and commented on proposed replacement neon signage (attached) as mitigation for removal of the historic neon "Restaurant" sign and edging at the Crown Railroad Cafe restaurant.

Attachments

Cultural Resource Study Application

Phase I Cultural Resource Study

Proposed Replacement Signage



City of Flagstaff



Community Development Division

211 W. Aspen Ave
Flagstaff, AZ 86001

P: (928) 213-2618
F: (928) 779-7684

www.flagstaff.az.gov

HPC-CRS

Date Received	Application to Heritage Preservation for a Cultural Resource Study			File Number
Property Owner(s) Ross Schaefer	Title Executive Director	Phone 928.228.2533	Email ross@flagshelter.org	
Mailing Address 4185 E Huntington Drive,			City, State, Zip Flagstaff, Arizona 86004	
Applicant Flagstaff Shelter Services	Title	Phone	Email	
Mailing Address same			City, State, Zip	
Property Interest of Applicant(s) (Owner, contractual interest, or agent)				
Site Address 3300 E Route 66			City, State, Zip Flagstaff, Arizona 86004	
Project Name The Crown Restaurant/Sign				
Parcel Number(s) 108-09-057A		Zoning District(s), including Overlays HC		
Property Information: <input type="checkbox"/> Yes <input type="checkbox"/> No Listed individually on the National or Arizona Register of Historic Places? (Name: _____) <input type="checkbox"/> Yes <input type="checkbox"/> No Located in an existing Historic District? (Name: _____) <input type="checkbox"/> Yes <input type="checkbox"/> No Has the structure every been inventoried or evaluated for the National Register? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Is the structure over 50 years old at the time of application? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Was all or a portion of the structure built before World War II as housing? Is the subject property: <input checked="" type="checkbox"/> Developed <input type="checkbox"/> Vacant Land?				
Type of HPC Application Requested: Cultural Resource Study Review - Please check all that apply: <input type="checkbox"/> Letter Report (May be reviewed by the Heritage Preservation Officer or the Commission) <input type="checkbox"/> Phase I (Must be reviewed by the Heritage Preservation Commission) <input type="checkbox"/> Phase II (Must be reviewed by the Heritage Preservation Commission) <input type="checkbox"/> Phase III (Must be reviewed by the Heritage Preservation Commission) May require redaction				
Note: Applications which are incomplete or not accompanied by the required information will not be accepted.				
Property Owner Signature: 		Date: 3/17/25	Applicant Signature: 	
			Date: 3/17/2025	
For City Use				
Date Filed: _____		HPC Hearing Date: _____		
Fee Receipt #: _____		Amount: _____		Date: _____
Action by HPC: <input type="checkbox"/> Consent Approval by HPO <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions		<input type="checkbox"/> Denied <input type="checkbox"/> Continued Staff Initial: _____ Date: _____		

Submittal Requirements

An application to the Heritage Preservation Commission and Historic Preservation Officer shall contain at least the following information:

1. Completed Application including all signatures and payment of fees. If applying for multiple types of HPC reviews only one fee is collected at the time of the first application for the same work.
2. A Cultural resource study, prepared by professionals qualified in accordance with the Secretary of the Interior's Standards and Guidelines for Archeology and Historic Preservation (36 CFR 61 Appendix A) as currently amended and annotated by the National Park Service.
3. Photographs of the context, including the property, surrounding properties, and the neighborhood.
4. Proof of ownership, or letter of authorization from the current property owner, if the applicant and owner are not the same.
5. List of content which may be confidential under federal law.
6. Any other information which the applicant feels would be helpful and/or pertinent to the request.
7. Any other information as may be required by the Historic Preservation Officer or Heritage Preservation Commission to assist in the review of the requested application.

Timing of Submission and Completeness Review

The Heritage Preservation Commission meets to review applications monthly on the third Wednesday of the month. If you are submitting an application for review of a Phase I, Phase II, or Phase III Cultural Resource Study, the Community Development counter must receive your application by the submittal deadline posted to the Heritage Preservation program website.

In order for your item to be added to an agenda, the Heritage Preservation Officer (HPO) must deem the application complete and the information in it correct within 5 working days. The HPO will contact applicants for additional information as necessary.

Please also note that per the Flagstaff Zoning Code, the Heritage Preservation Officer may refer any application, including Letter Reports to the Commission for any reason. If the Heritage Preservation Officer refers the application, you will not need to resubmit, but additional materials may be requested.

If the Cultural Resource Study being submitted contains information that may be confidential under the National Historic Preservation Act or the Native American Grave Protection and Repatriation Act, please notify the HPO in advance of submitting your application for instructions on redaction(s).

Approval of a Cultural Resource Study does not indicate a final approval of a demolition permit, site plans, building plans, permanent sign permits and other applications that will be required prior to demolition, modification or construction.

If mitigation is approved as part of the study approval, final design of mitigation must meet all the requirements of the Flagstaff Zoning Code or Building Code, unless otherwise stated in Flagstaff City Code, Section 10-30.30 or in the requirements of the overlay zone. The Heritage Preservation Officer or Commission may elect to hold an application until a review by the InterDivision staff is completed and substantive comments have been provided to the applicant, if the mitigation proposed would require additional approvals by planning, building, or other city staff.

We encourage you to reach out early in designing your projects so that the HPO may assist you.

HPO contact information: Lauren Clementino, Phone: (928) 213-2633; Email: lclementino@flagstaffaz.gov

Description of the need for the Resource Study (i.e, demolition, alteration, grading, etc.)

See attached report.

Insert additional pages if necessary

Phase 1 Cultural Resource Study for the Crown Motel in Flagstaff



Prepared for

Flagstaff Shelter Services, Inc.

Prepared by

Cornerstone Environmental Consulting, LLC



March 2025

**PHASE 1 CULTURAL RESOURCE STUDY FOR THE CROWN MOTEL
IN FLAGSTAFF**

Subject Property

The Crown Motel
3300 E. Route 66
Flagstaff, Arizona 86004
APN 108-09-057A

Prepared for

Ross Schaefer

Flagstaff Shelter Services, Inc.
4185 E. Huntington Drive
Flagstaff, Arizona 86004

Prepared by

Joshua S. Edwards

(with contributions from Mark Reavis)

Cornerstone Environmental Consulting, LLC

320 N. Leroux Street, Suite A
Flagstaff, Arizona 86001
(928) 522-4148
www.SWArchaeology.com

CEC Report No. 24-173
March 19, 2025 (Revised March 31, 2025)

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SUMMARY OF FINDINGS

Property Historic Name: Crown Motel and Restaurant

Street Address: 3300 E. Route 66

APN: 108-09-057A

Lot Size: 1.67 acres

Description: 72,000 ft², 58-room hotel and restaurant

Legal Description: SW ¼ of Section 12, Township 21 North, Range 7 East

Subdivision: Pine Park Manors, Block A, Lot 62

Construction Date: 1963 (the Crown Restaurant was built in 1967)

Period of Significance: 1926–1968 (Thomason 2005)

Major Alterations: 1988 Building 2 constructed (and a one-story storage room was possibly added to the endcap of Building 1 at that time), 1992? Crown Motel sign removed and oversized porte cochere added when it became a Howard Johnson's, 1996 awnings added during restaurant remodel, 2007 neon on restaurant roof changed from green to red, 2024 restaurant signs, neon, and porte cochere removed

Areas of Significance:

Commerce and Transportation (NPS 2002)

City of Flagstaff Criterion B (NRHP Criterion A)

Theme: Tourism and Commerce (1926–1970; Cleeland 1989; Stein 1996; Cassity 2004; Thomason 2005; Motley 2012)

Architecture

City of Flagstaff Criterion D (NRHP Criterion C)

Theme: Commercial Architecture

Property Type: Route 66 Motels/Tourist Courts (Cassity 2004)

Recommendations: The cumulative impacts of changes that have occurred outside of the period of significance have resulted in a property that no longer expresses its significance within its historic context. As a result of this study, the subject property is recommended as *not eligible* at the state and national level.

1.0 PROJECT LOCATION AND DESCRIPTION

The former Crown Motel and Restaurant at 3300 E. Route 66 in Flagstaff (APN 108-09-057A; 1.67 acres; Figures 1–7) was purchased by Flagstaff Shelter Services (FSS) in April of 2022. The project is called The Crown, A Hotel-to-Housing Project, and FSS has converted the hotel into permanent housing for individuals and families experiencing homelessness. In 2024, FSS leased the restaurant building to Los Tapatios Restaurant, the owners of which proceeded to remove the neon “Restaurant” signs from the east and west elevations of the building without the property owner’s permission, along with neon around the edge of the roof. In addition, the porte cochere was also removed by the owner.

Cornerstone Environmental Consulting, LLC (Cornerstone) was commissioned by FSS to conduct a Phase 1 Cultural Resource Study (CRS) pursuant to City of Flagstaff Zoning Code, Section 10-30.30.050.A. Among the goals of this study are providing a brief background of motels and Route 66 in Flagstaff, summarizing the results of limited archival research on the Crown Motel, and photo documenting the motel and restaurant buildings. The focus of this study, however, is to evaluate the impact of the removal of the neon “Restaurant” signs on the historical integrity of the property.

In 2005, a National Register of Historic Places (NRHP) Multiple Property Documentation form draft called Route 66 Motels of Flagstaff, Arizona, 1926–1968, recommended that the subject property is *not eligible* for listing on the National Register due to loss of integrity (Thomason 2005). In 2012, an inventory of historic resources along Route 66 throughout the state of Arizona recommended the Crown Motel as *individually eligible* (Motley 2012). More recently, as part of a 2023 effort by FSS to be eligible to receive Arizona state grant funding for historic preservation, the Arizona State Historic Preservation Office determined that the former Crown Motel is *eligible* for the National Register (email dated October 17, 2023, from Dr. William Collins).

2.0 REGULATORY CONTEXT

The purpose and content of a Phase 1 CRS is outlined in the Heritage Preservation Division of the City of Flagstaff (City) Zoning Code. As stated in the Zoning Code (30.30-10), a Phase 1 CRS shall evaluate the significance of identified and potential historical resources, assess identified and potential impacts, provide measures to mitigate major impacts on said resources, and advise whether a Phase 2 or Phase 3 CRS should be required.

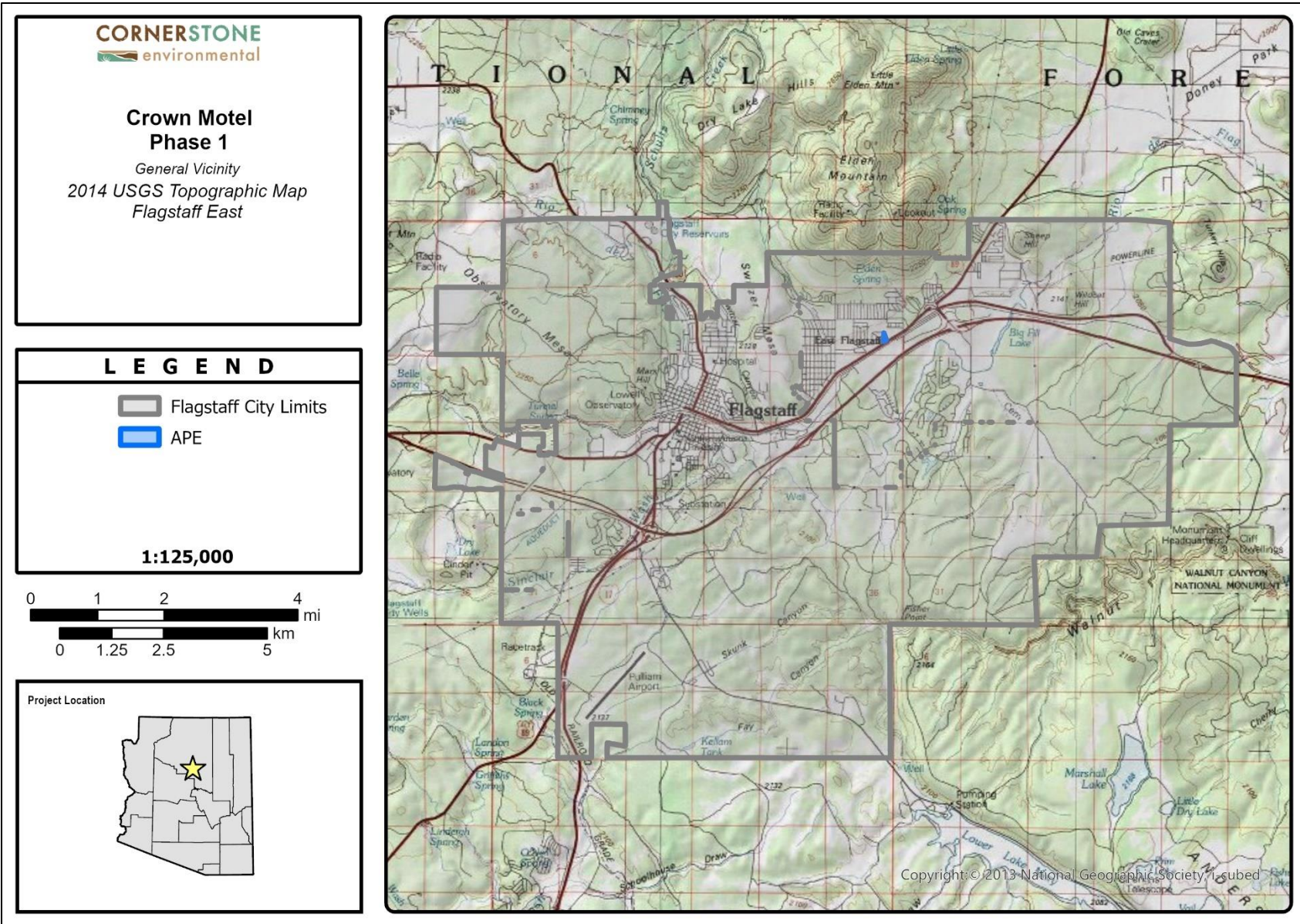


Figure 1. General project area location.

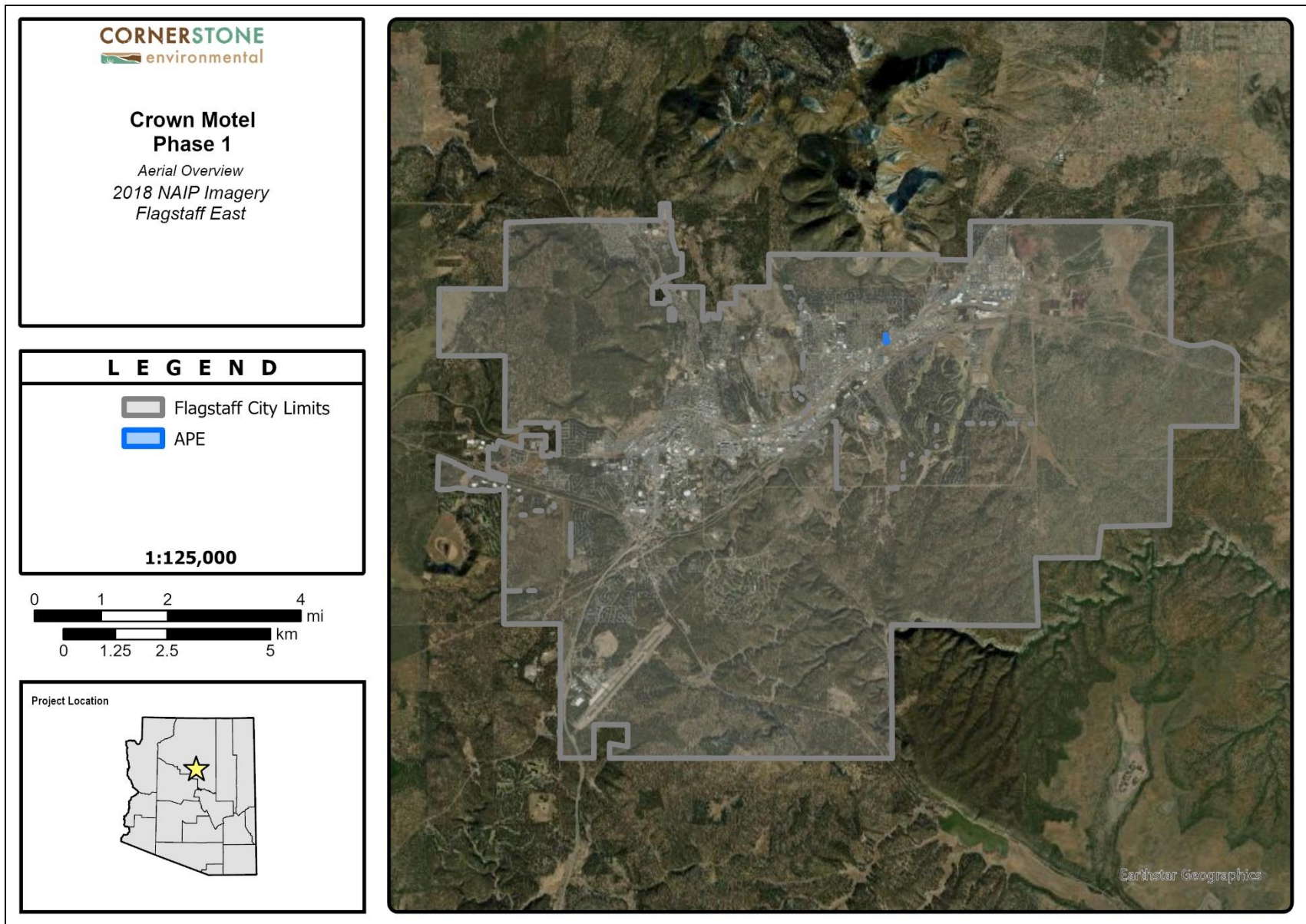


Figure 2. General project area location shown on aerial photo.

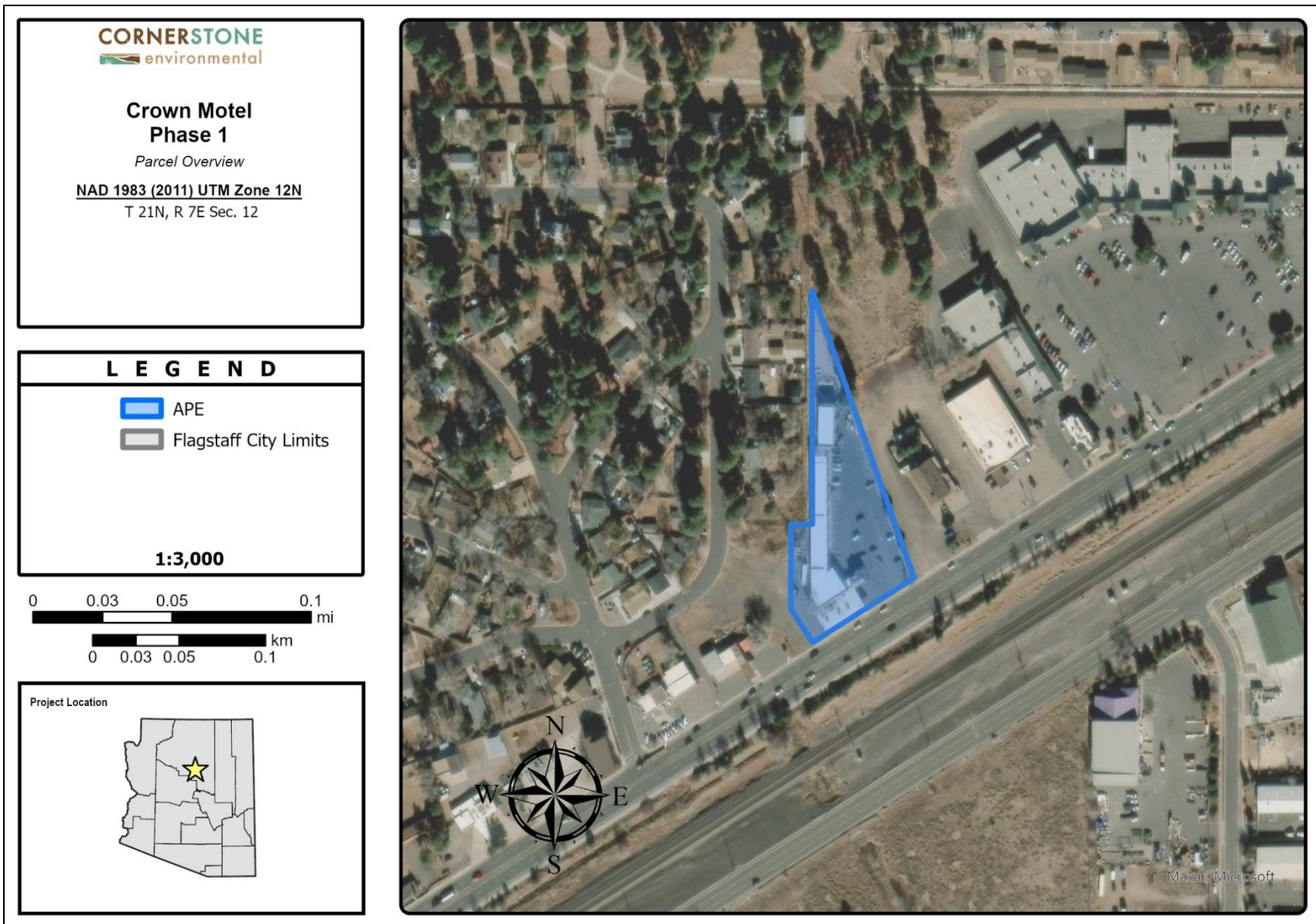


Figure 3. Project parcel depicted on aerial photo.



Figure 4. 2021 drone photo of Howard Johnson motel, facing northwest. Photo credit CMT Engineering (2021).



Figure 5. 2021 drone photo of Howard Johnson motel, facing west-southwest. Photo credit CMT Engineering (2021).



Figure 6. 2023 photo of the Crown Railroad Café, facing west-southwest.



Figure 7. 2025 photo of the Crown Railroad Café, facing west-southwest.

All buildings 50 years of age or older were identified as potential historical resources and were evaluated for significance and integrity to determine if they constituted significant historical resources per the Flagstaff Zoning Code. Buildings less than 50 years of age, which did not display exceptional significance, were recorded with minimal evaluation. The determination of significance for cultural resources is defined in Flagstaff Zoning Code (30.30-13) as the following:

The criteria for determining the significance of a historic resource are based on the potential of the historic resource to contribute to our understanding of the past.

1. A resource is significant if:
 - a. It is eligible as a National Historic Landmark, or for the National Register of Historic Places, or the Arizona Register of Historic Places; or
 - b. It is associated with events or persons in the architectural, engineering, archeological, scientific, technological, economic, agricultural, educational, social, political, military, or cultural annals of the City, the State of Arizona, or the United States of America; or
 - c. It represents the work of, or for, an important individual; or
 - d. It embodies distinctive characteristics of type, period, region, artistic values or methods of construction, including being the oldest of its type or the best example of its type; or
 - e. It has yielded, or may be likely to yield, information needed for scientific research, such as important archaeological resources.
2. A resource is generally not significant if:
 - a. It is less than 50 years old at the time of application; or
 - b. The features, materials, patterns and relationships that contributed to its significance are no longer present or no longer have integrity.
3. Requirement to Meet the Criteria, Regardless of Age: Properties that are 50 years old are not automatically significant. In order to be significant, all resources, regardless of age, must be demonstrated to meet the criteria for determining the significance of a cultural or historical resource.

Evaluation of significance and integrity and application of the National Register of Historic Places (NRHP) Criteria was conducted in accordance with the guidelines established by the U.S. Department of the Interior and National Park Service in U.S. Secretary of the Interior Standards and Guidelines for Archaeology and Historic Preservation (NPS 1983) and National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation (NPS 2002).

3.0 METHODOLOGY

The Phase 1 CRS for the Crown Motel entailed archival research, fieldwork, evaluation, and report preparation by Cornerstone's Principal Investigator Josh Edwards. Cornerstone conducted the research by searching historical records and visiting the subject property.

Archival and secondary research was conducted with the goal of establishing a building construction timeline and site history. Research methodology was based on the National Park Service guidance outlined in *National Register Bulletin 39: Researching a Historic Property* (NPS 1998). Locations of research materials included Northern Arizona University (NAU) Cline Library's Special Collections and Archives and Colorado Plateau Archives; public records at the Coconino County Recorder's Office and Assessor's Office; public records from the City of Flagstaff; the Arizona Memory Project collection; and various online newspaper databases. The following list details the types of documents and sources that were consulted during the course of this study:

- Aerial photographs
- AZSITE database
- City of Flagstaff/Coconino County plat maps (1878, 1889, 1909, 1919/1925, and 1939)
- Coconino County deed, tax assessment, and property records
- Existing cultural/historical resource studies and historic contexts
- Flagstaff Building Timeline Collection, 1890-2000 (Hooper n.d.)
- Flagstaff City Directories (1929–1989 [some years missing from record])
- Flagstaff Telephone Directories (1930–1989 [some years missing from record])
- Bureau of Land Management General Land Office maps
- Historical topographic maps
- Historical postcards
- Sanborn Fire Insurance Co. maps (1910, 1916, 1943, 1948, and 1956)
- National Register of Historic Places Focus database
- Newspaper archives
 - o Arizona Daily Sun
 - o The Coconino Sun
- Cline Library Special Collections, including oral history interviews

Fieldwork was conducted on September 22, 2023, February 19, 2024, and February 8, 2025, by Cornerstone Principal Investigator Josh Edwards and he was accompanied in the field by Flagstaff Historic Preservation Officer Mark Reavis on February 19, 2024. The subject parcel was visited to identify and document potential historical resources. Digital photographs were taken to document each significant resource present in the project area. A photograph log was created to describe the subject, facing, and location of each photograph.

3.1 METHODOLOGY FOR THE ANALYSIS OF SIGNIFICANCE AND INTEGRITY

For a resource to be considered a significant cultural/historical resource for the City of Flagstaff or to be considered eligible for listing in the NRHP or the Arizona Register of Historic Places (ARHP) the resource must possess both significance and integrity. Definitions of significance and integrity are found in the Flagstaff Zoning Code (30.30-13) and the NRHP Criteria for Evaluation (36 CFR § 60.4). Evaluation of significance and integrity and application of the NRHP Criteria for Evaluation was conducted in accordance with the guidelines established by the U.S. Department of the Interior and National Park Service in *U.S. Secretary of the Interior Standards and Guidelines for Archaeology and Historic Preservation* (NPS 1983), *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation* (NPS 2002), and *National Register Bulletin 32: Guidelines for Evaluating and Documenting Properties Associated with Significant Persons* (NPS 1989).

3.1.1 SIGNIFICANCE

For a resource to be considered significant it must meet City Criterion A (be at least 50 years old) and at least one other Criterion for Evaluation (B, C, D, or E; NRHP Criteria A, B, C, and D, respectively) by being associated with an important historical context, retain historic integrity of those features necessary to convey its significance, and have been built and used within the appropriate period of significance for the identified theme (NPS 2002). The period of significance is the date range in which properties eligible for the National Register must be demonstrated to have been associated with the appropriate theme. The ARHP utilizes the same criteria and process for determining significance. For means of ease of communication, NRHP Criteria will be used throughout this report. The NRHP Criteria for Evaluation (36 CFR § 60.4) are as follows:

The quality of significance in American history, architecture, archaeology, engineering, and culture is present in districts, sites, buildings, structures, and objects that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and:

- A. That are associated with events that have made a significant contribution to the broad patterns of our history; or*
- B. That are associated with the lives of significant persons in our past; or*
- C. That embody distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguished entity whose components may lack individual distinction; or*
- D. That have yielded, or may be likely to yield, information important in prehistory or history.*

The City of Flagstaff's criteria for determining significance of cultural/historical resources are similar to that of the NRHP but are not an exact replica. The criteria are defined in Flagstaff Zoning Code (30.30-13) as the following:

The criteria for determining the significance of a cultural resource is based on the potential of the cultural resource to contribute to our understanding of the past.

1. *A cultural resource is significant if:*
 - a. *It is eligible as a National Historic Landmark, or for the National Register of Historic Places, or the Arizona Register of Historic Places; or*
 - b. *It is associated with events or persons in the architectural, engineering, archeological, scientific, technological, economic, agricultural, educational, social, political, military, or cultural annals of the City, the State of Arizona, or the United States of America; or*
 - c. *It represents the work of, or for, an important individual; or*
 - d. *It embodies distinctive characteristics of type, period, region, artistic values or methods of construction, including being the oldest of its type or the best example of its type; or*
 - e. *It has yielded, or may be likely to yield, information needed for scientific research, such as important archaeological resources.*
2. *A resource is generally not significant if:*
 - a. *It is less than 50 years old at the time of application; or*
 - b. *The features, materials, patterns and relationships that contributed to its significance are no longer present or no longer have integrity.*
3. *Requirement to Meet the Criteria, Regardless of Age: Properties that are 50 years old are not automatically significant. In order to be significant, all resources, regardless of age, must be demonstrated to meet the criteria for determining the significance of a cultural resource.*

3.1.2 INTEGRITY

Integrity is defined as the ability of a property to convey its significance. The seven aspects of integrity are location, design, setting, materials, workmanship, feeling, and association. *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation* (NPS 2002) includes the following definitions of the seven aspects of integrity:

- **Location** *is the place where the historic property was constructed or the place where the historic event occurred.*
- **Design** *is the combination of elements that create the form, plan, space, structure, and style of a property.*
- **Setting** *is the physical environment of a historic property.*
- **Materials** *are the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property.*

- **Workmanship** is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory.
- **Feeling** is a property's expression of the aesthetic or historic sense of a particular period of time.
- **Association** is the direct link between an important historic event or person and a historic property.

Several steps are utilized to assess integrity. The first steps are to identify the character defining features, or essential physical features, that are required to demonstrate a resource's significance and to determine if these features are present and sufficiently visible to convey the resource's significance. The next step is to determine whether the resource should be compared with similar properties. This process may reveal which character defining features are necessary and is particularly important in cases where the resource is a rare surviving example (NPS 2002).

The last step is to determine which aspects of integrity are particularly relevant to the resource. A resource that retains historic integrity will likely retain most or all seven aspects of integrity. However, which aspects are most important to a certain resource will depend on the type of resource and under which NRHP Criteria the resource is significant. A building significant under NRHP Criteria A or B (association with significant events or persons, respectively), for example, may not need to retain as high a degree of design, workmanship, and materials as would be required for eligibility under NRHP Criterion C (architectural value). Likewise, for a building to be significant under Criterion D, the retention of location, setting, feeling, and association is less important than for a building eligible under Criteria A or B (NPS 2002).

4.0 HISTORICAL OVERVIEW

This historical overview was adapted from several existing historic contexts developed for the City of Flagstaff. Except where otherwise cited, this section closely follows the Flagstaff Multiple Resource Area NRHP Nomination Form (NPS 1986), the Route 66 Motels of Flagstaff NRHP Multiple Property Documentation Form (Thomason 2005), Cornerstone's Historical Resource Studies along Route 66 in Flagstaff (Edwards 2015, 2020; Clementino and Edwards 2015; Edwards and Lutes 2017; Edwards et al. 2017, 2018, 2019), and the draft La Plaza Vieja Neighborhood Historic Context (Lutes 2015). If the subject property demonstrated no association with a particular theme, that theme is not represented in this historical overview.

4.1 SETTLEMENT AND EARLY DEVELOPMENT OF FLAGSTAFF

The first attempt by non-native immigrants to settle the Flagstaff area began when two groups of pioneers from Boston, organized as the Arizona Colonization Company, surveyed an area near Leroux Spring in 1876. Lots and blocks for a townsite were laid out but, discouraged with the poor prospects for farming or mining, those first pioneers abandoned the site within a few months.

In the summer of 1880, Atlantic & Pacific Railroad surveyors, followed by the grading subcontractors for the new line, established a camp at Antelope Spring near the base of Mars Hill (Stein 2006). The railroad line was established along the southern boundary of Section 16, just south of Antelope Spring. Although the surveyors had located their construction terminus at the spring, which was also near the crossroads of the Overland Route (Beale Road) and Fort Valley Road, they did not plan a town at that location, since a division town had been laid out at Winslow and another planned for Seligman. Nevertheless, a construction terminus boom town began to grow in 1881 when Peter J. Brannen, a merchant from Prescott, located a branch store near the spring just north of the railroad's right-of-way. Other merchants and businessmen, operating saloons, restaurants, and dry good stores, began to erect log and tent structures along the railroad line west of Brannen's store. This early commercial focal point for Flagstaff would be known in the future as "Old Town." Archaeological excavations conducted in 1976 revealed the presence of some of those initial business sites, but no standing structures remain today.

In 1881 Edward E. Ayer, a lumberman with operations in Michigan and Wisconsin, contracted with the Atlantic & Pacific Railroad to supply all the ties for the roadbed construction and the lumber for bridges. Ayer erected a sawmill, which was in operation by the summer of 1882. Noted as the largest and most modern in the southwest, it was producing 150,000 board feet of lumber per day, two weeks before the arrival of the first train to Flagstaff in August of 1882.

The steep railroad grade up to the settlement at Antelope Spring forced the trains to stop on the flatter ground one half mile to the east, so a depot was erected at that location. Businesses began to relocate at this "New Town" in 1883. P.J. Brannen was the first to construct a stone store building on the corner of San Francisco Street and Railroad Avenue, also known as Front Street. Soon a large number of frame buildings sprang up along Railroad Avenue.

When most of Old Town burned down in a fire in 1884, the commercial center was relocated to be at the New Town location. A fire in that area in 1886 destroyed almost the entire new district, but it was largely rebuilt by early 1887 with the new buildings being built of brick or stone. Residential areas were also

developing in the late 1880s north of the commercial area to about Cherry Street, and along Leroux Street, then known as Gold Avenue.

The 1890s were important in Flagstaff's economic and political history. Two banks were established by 1890, the Arizona Bank and the Bank of Flagstaff. A private electric light plant was built in 1890 and that same year the beginning of a telephone system was installed. A fire department was also organized in the 1890s. In 1891 the Territorial Legislative Assembly passed an act that created Coconino County out of a portion of Yavapai County. Flagstaff was designated as the county seat by special election.

The Town of Flagstaff was incorporated on May 26, 1894, by an order of the Coconino County Board of Supervisors. The Supervisors appointed Gohram A. Bray as mayor and J.A. Vail, J.F. Daggs, P.J. Brannen, and David Babbitt as members of the Common Council. The first town elections were held in May 1895. During Julius Aubeneau's term as mayor in 1898, the town of Flagstaff held its first bond election. Voters approved the measure, which authorized \$95,000 to build a town-owned water line and reservoir.

The establishment of Flagstaff as the seat of Coconino County, the town's incorporation, and the initiation of its utility systems, helped provide the impetus for Flagstaff's first major building boom. By 1900 Flagstaff had a population of slightly under 2,000 people supported by a prosperous economy founded on the lumber, sheep, and freighting industries.

4.2 ROAD DEVELOPMENT

Seeking a quick, safe means of communication and travel to link the east and west coasts, the U.S. Congress authorized five surveys in seven years across the land between Texas and California: Sitgreaves' Expedition in 1851, Aubury's and Whipple's in 1853, Beale's in 1857–1859, and Ives' in 1858. Of particular significance to the local history of settlement routes is Beale's expedition, for Flagstaff has grown over and around the Beale Wagon Road (also known as the Beale Trail).

4.2.1 BEALE WAGON ROAD

From 1857 to 1859, Edward Fitzgerald Beale made two round trips across northern Arizona surveying the route for a wagon road (Beale 1858, 1860; Stacy 1970; Thompson 1983). In 1859, Beale's road construction party, accompanied by a trial run of military camels, passed through the Flagstaff area (Beale 1860). While earlier surveyors (Sitgreaves 1851 and Whipple 1853) had explored the region, Beale was the first to mark and construct a practical highway along the 35th parallel. The Beale expedition was particularly notable for its use of camels as pack animals.

As it avoided rough terrain to the north and south and offered instead cool pines and reliable springs, the Beale Wagon Road became favored by stockmen, mule packers, and emigrants in the last half of the nineteenth century. The route, moreover, was selected by General Palmer in 1867–1868 when he surveyed the railroad line across the northern Arizona Territory; the railroad and trail are less than a mile apart throughout most of the state. In Flagstaff today, the Beale Wagon Road can be traced through an East Flagstaff residential district, through the playground of Weitzel Elementary School, over McMillan Mesa, and across Museum of Northern Arizona grounds to Fort Valley.

Beginning in 1863, with the discovery of gold in Prescott, a new road was created to connect the area to the Beale Wagon Road and Flagstaff. The road can be divided into two segments: the 35 miles between Flagstaff and Lockett Springs (then called Lockwood Spring, which is southeast of Bill Williams Mountain) and the 50 miles between Lockett Springs and Prescott (Fort Whipple). This route became known as the Overland Road on General Land Office (GLO) maps, as well as the Prescott Cutoff of the Beale Wagon Road (Site AZ I:14:5[ASM], or 02-1672), and served as the major way of travel between the two communities from 1863 to 1882. The U.S. Army used the road extensively during those years, primarily to transport men and supplies Fort Whipple in Prescott from as far away as Fort Wingate and Santa Fe, New Mexico. Settlers in the region, and for a brief time, private stagecoach enterprises, also made use of it.

The junction of the Beale Wagon Road and the Prescott Cutoff is east of Buffalo Park in Flagstaff, near the present Weitzel's Puento de Hozho Bilingual Magnet School (Smith 1984). Judging from topography and the 1878 General Land Office map, the route climbs the east slope of McMillan Mesa (Switzer Mesa) before it heads towards Antelope Spring (O'Hara and Downum 2005). The current project area lies near the historic alignments of the Beale Wagon Road along the current alignment of Route 66.

4.2.2 NATIONAL OLD TRAILS ROAD

Flagstaff leaders focused renewed attention on the Beale Wagon Road as travel by automobile became popular. In the early 1910s, the U.S. Congress proposed to appropriate funds for construction of a coast-to-coast highway. Led by Flagstaff priest Cyprian Vabre, the Santa Fe-Grand Canyon-Needles National Highway Association, which was affiliated with the National Old Trails Association, urged Congress to route the highway along the Beale Wagon Road. Partially as a result of this lobbying effort, the route through northern Arizona towns such as Flagstaff, Winslow, and Williams was officially designated as the coast-to-coast "National Old Trails Road" in 1913.

By 1920, travel along the National Old Trails Road had increased to 12,000 vehicles annually. The Flagstaff business community kept pace with the needs of travelers by developing new lodging and automobile repair facilities. Chief among these were the Monte Vista and Ideal Hotels, the DuBeau Motel and Coconino Apartments, and tourist camps such as Harman's (later Barker Village), F.E. Brooks', Pine Grove, Mt. Elden, Kit Carson, and the B&M Camp. The C&M Garage, located at 204 South Mikes Pike Street, illustrates the development of the local auto repair industry resulting from automobile travel on the National Old Trails Road.

4.2.3 ROUTE 66

In 1926, U.S. Highway (Route) 66 was designated as a major east/west highway from Chicago to Los Angeles (Quinta and Kelly 1988). This designation led to the renaming of many alignments of the National Old Trails Road to Route 66 across central Arizona. In 1926, most of this road through Arizona had a dirt or gravel surface. The federally funded highway boosted Flagstaff's economy along with other important federal projects during the 1930s and 1940s. The highway was rebuilt through Northern Arizona in the early 1930s as part of depression-era work projects. In some places it was re-routed, and in others only widened.

Route 66 played an important role in the national transportation history of the mid-twentieth century and enhanced commerce between the Midwest and the west coast. The road was used in the 1930s by westward-moving migrants who were displaced by the climatic conditions of the Dust Bowl and the economic impacts of the Great Depression. Route 66 carried displaced "Dust Bowlers" during the depression and the later boom of migrants to the Sunbelt during the post-war era (Scott and Kelly 1988). Residents of Flagstaff watched as these destitute homeless people rumbled past their homes almost daily, some on foot, and others in their cars and trucks that were loaded with their possessions (Yount 1994). Route 66 was used intensively to transport troops and materials during World War II, and following the war, the all-weather road became popular for "open road adventure" (Kirvan and Rogge 2006).

The newly invented car culture and tourism spawned numerous roadside businesses that developed to provide gas, food, and sleeping quarters along nearly the entire length of the highway (NHR66F 2014). Motels not only provide lodging to customers, but they also often facilitate social interactions and act as meeting places for all types of people involved in travel, tourism, and western development. Auto travelers became a consistent source of revenue for the numerous businesses that sprung up along Route 66, and local communities like Flagstaff offered amenities from campgrounds to motels with diners to fashionable restaurants. And by the 1930s, motels were increasingly associated with gas stations and restaurants (Cassity 2004).

At the end of World War II, most commercial buildings in Flagstaff were one- and two-part commercial blocks in the downtown area. These multipurpose, closely built, buildings are characteristic of traditional streetscapes of small-town America at the time and had changed little since the dawn of the nation (Ryden 2010). The 1940s and 1950s saw the prevalence of more substantial standardized franchises that were characterized by uniformity (Scott and Kelly 1988). The independent operations that retain their vernacular designs remain distinct from the chain motels and are crucial artifacts that serve to chart the changing social dynamics associated with Route 66 and reflect broader transportation and social patterns in the nation (Cassity 2004). The locations, designs, and materials used to build these motels reflect the circumstances that gave purpose to a particular building.

As Flagstaff expanded outside of the downtown area, new businesses shifted from a focus on the commercial block to specialized architectural trends that focused on the automobile. Associated growth occurred at lower densities than in the past, resulting in businesses that were more widely dispersed (Ryden 2010). Customers and employees alike were then required to drive to their destinations. As a result, new building types and traffic management methods were developed to accommodate the growing automobile culture. Business owners were also forced to design their buildings and signage to compete citywide.

In 1968, the bypass around Flagstaff was complete with three interchanges, two at each end of where U.S. 66 split off from I-40 to enter the city and one at the I-17 interchange. An additional interchange at Butler Avenue was completed a year later (Arizona Daily Sun [ADS], October 21, 1971, p. B7). In 1985, state highway transportation officials voted to decertify Route 66 and remove all designation highway signs.

5.0 ARCHIVAL RESEARCH

Multiple resources were utilized during the course of archival research for this project (*see* Section 3.0 Methodology). A search of the Coconino County Assessor's office vault on January 10, 2025, resulted in no results, as expected given east Route 66 is not part of Flagstaff's original plat. However, online search of their records did yield the 1947 plat of neighboring Pine Park Manors, which shows the undeveloped subject parcel at Block A, Lot 62. Historical aerial photographs show the subject parcel as undeveloped land in 1954, with Building 1 shown on the 1964 aerial, the restaurant building on the 1974 aerial, and Building 2 on the 1992 aerial (Figures 8 and 9).



Figure 8. 1954 and 1964 aerial photos showing the study area.

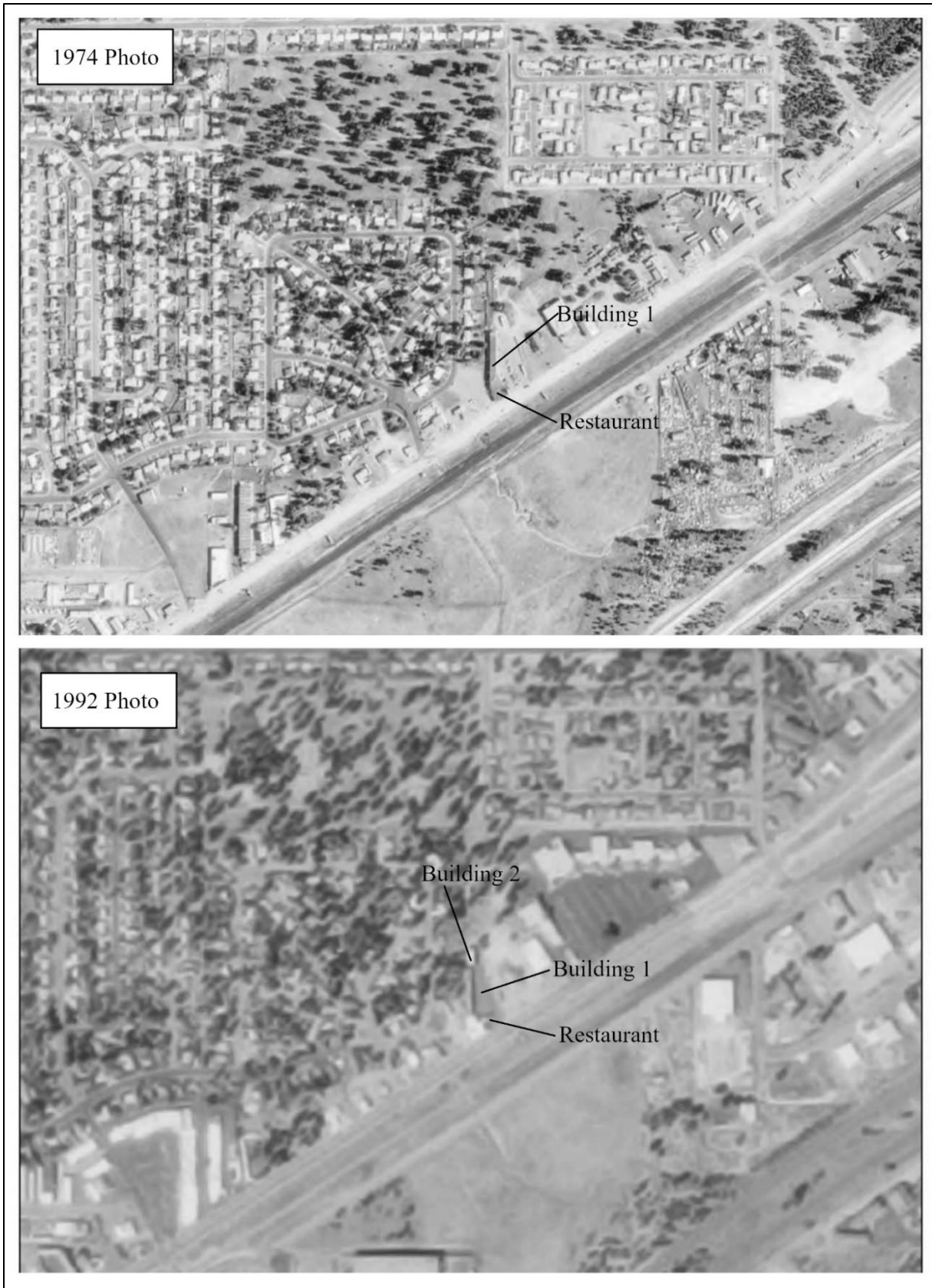


Figure 9. 1974 and 1992 aerial photos showing the study area.

5.1 CROWN MOTEL

The first mention of the Crown Motel in historical records is in 1963 when the warranty deed from Evie E. Richardson and Don M. Richardson to Crown Motel Co. is published (Arizona Daily Sun [ADS] July 22, 1963). The Crown Motel originally had 41 rooms with the address of 3300 E. Santa Fe Avenue and offered air conditioning and televisions in the rooms by 1968. However, the air conditioning may have been added during the 1967 restaurant addition, as observed in historical postcards that show HVAC units added to the roof of Building 1 between 1963 and 1967 (Figures 10 and 11). The motel remained a 41-unit lodge until at least 1968 (ADS June 28, 1968). By 1970 there were 42 rooms (ADS February 11, 1970) and by 1974 the Crown Motel had 45 rooms, each with free color televisions and telephones (ADS November 9, 1974). The addition of Building 2 in 1988 brought the total to 58 rooms.



Figure 10. 1963 Crown Motel postcard.



Figure 11. Post 1967 Crown Motel postcard.

Most results from online newspaper searches were employment listings, advertisements, and police reports, including vandalism, theft, assault, and the arrest of a murderer (ADS November 21, 1967; Figure 12). However, several other entries refer to the motel's management's involvement with the local Flagstaff charities and organizations. In 1964 the Arizona Daily Sun ran a Notice of Sale of Real Estate for Delinquent Assessment (ADS June 1, 1964). The 1965 Flagstaff City Directory lists Mickael Brymer as clerk, Glen Jonagan as manager, and Mary Jonagan as assistant manager. The same year, Mr. and Mrs. Corpening represented the Crown Motel at a Flagstaff Innkeepers Association luncheon at The Gables restaurant where they discussed plans for a Lake Mary Road trash clean up (ADS April 16, 1965; Figure 13).

COMING TO FLAGSTAFF'S WINTER FESTIVAL...?

MOTEL
Crown

ENJOY YOUR STAY AT THE
CROWN MOTEL

If you're an out-of-towner or if you have guests coming to Flagstaff's Winter Festival, everyone will enjoy their stay at the Crown. 42 full rooms available, TV, modern equipment. Make reservations now.

FULL SERVICE RESTAURANT
OPEN 5:30 A.M. - 10:30 P.M.

DAILY LUNCHEON SPECIALS
WE WELCOME THE OPPORTUNITY TO SERVE YOU!

- BANK AMERICARD • MASTER CHARGE • NATIONAL CREDIT CARDS

3300 E. SANTA FE ON U.S. 66 **PH. 774-5241**
—CONVENIENTLY LOCATED NEXT TO THE MUSEUM CLUB—

MOTEL
Crown

and
RESTAURANT
3300 East Santa Fe on Hwy 66

- 41 Units
- Air Conditioned
- TV in Rooms

"Close to all Points of Interest"
Restaurant Open 6 to 11 p.m. Daily

featuring: the "finest in dining" and some of the friendliest people in Northern Arizona to serve you.
"Homemade Pies"

- Carte Blanche
- American Express
- Diners Club

Figure 12. Crown Motel newspaper ads (ADS June 28, 1968, and February 11, 1970).

THE FLAGSTAFF INNKEEPERS...

WELCOME YOU TO

FLAGSTAFF and NORTHERN ARIZONA

- Amber Sky Motel
- Auto Lodge
- Arizonian
- Ben Franklin Motel
- Blue Spruce Motel
- Branding Iron Motel
- Crown Motel
- Flamingo Motel
- French Quarter
- Hi-Land Motel
- Holiday Inn
- Imperial "400"
- "L" Motel
- Monte Vista Hotel
- Motel Time
- Motel 66
- Nackards Downowner
- Nor Star Motel
- Park Plaza Motel
- Pony Soldier Motel

- Porter House
- Ramada Inn
- Rodeway Inn
- Saga Motel
- Sky Line Motel
- Spur Motel
- Timberline Motel
- Town & Country Motel
- Trail Riders Motel
- Vandevier Motel
- Weatherford Hotel
- Wonderland Motel



**TO THESE SCENIC WONDERS
That Are All Within a Day's Trip From Flagstaff**

- GRAND CANYON
- GLEN CANYON DAM
- SUNSET CRATER
- WUPATKI NATIONAL MONUMENT
- SKY RIDE — ARIZONA SNOW BOWL
- METEOR CRATER
- PAINTED DESERT
- WALNUT CANYON
- PETRIFIED FOREST
- OAK CREEK CANYON — RED ROCKS
- MONTEZUMA CASTLE, and OTHERS

MAKE ONE OF OUR MOTELS OR HOTELS YOUR HEADQUARTERS. WE CAN HELP YOU PLAN YOUR SIGHTSEEING. YOU'LL SEE MORE AND BE MORE RESTED!

Inn Keepers Strongly Support all Civic.....
and Community Activities... Because We Love Flagstaff.....

Welcome from The

Flagstaff Innkeepers

- Auto Lodge
- Ben Franklin Motel
- Branding Iron Motel
- Crown Motel
- Flamingo Motel
- French Quarter
- Hi-Land Motel
- Holiday Inn
- Hotel Monte Vista
- Imperial "400"
- Motel Time
- Motel 66
- Nackards Downowner
- Nor Star Motel
- Pony Soldier Motel
- Porter House
- Ramada Inn

- Rodeway Inn
- Saga Motel
- Spur Motel
- Town & Country Motel
- Weatherford Hotel
- ASSOCIATE MEMBERS**
- Flagstaff Realty & Insurance Agency
- Lumberjack Cafe & Curio Shop
- Mountain States Telephone Co.
- Hava-Hopi Tours Inc.
- Northern Arizona Gateways
- Rowan's Flagstaff Pharmacy
- Pepsi-Cola Bottling Co.



**TO THESE SCENIC WONDERS
That Are All Within a Day's Trip From Flagstaff**

- GRAND CANYON
- GLEN CANYON DAM
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MAKE ONE OF OUR MOTELS OR HOTELS YOUR HEADQUARTERS. WE CAN HELP YOU PLAN YOUR SIGHTSEEING. YOU'LL SEE MORE AND BE MORE RESTED!

Inn Keepers Strongly Support All Civic and Community
Activities... Because We Love Flagstaff.....

Figure 13. 1965 Flagstaff Innkeepers ads (ADS June 30, 1965, and June 29, 1966).

In 1966, the Crown Motel donated to the Flagstaff Ski Patrol, which was a volunteer organization founded in 1961 (ADS March 2, 1966). The following year, in 1967, the Crown Motel requested that the Flagstaff City Council approve installation of no parking signs for 228.8 feet of Route 66 in front of the motel (ADS October 23, 1967). The motel is also listed as a Member of the Flagstaff B.P.O. Elks in 1968 (ADS February 14, 1968), they donated to the Lions Club in 1969 (ADS November 8, 1969) and were a member of the Jaycees in 1970 (ADS January 21, 1970).

In the late 1960s, the Crown Motel and Restaurant signs were major reference points for this section of Route 66. Newspaper ads for Mack's Phillip's 66 to the west (ADS December 11, 1968) and the Museum Club to the east both say, "Next to the Crown Motel" (ADS October 3, 1968). One can only imagine that the Museum Club and the Crown Motel must have had an intimate relationship, not only from the late-night meal and stay after a show, but also among employees. This is exemplified by the 1971 entry in the Flagstaff City Directory listing Thelma C. Taggart as a waitress at the Crown Restaurant and her husband Curt as a musician at Museum Club.

Bob and Ina (Mike) Henderson managed the hotel and restaurant beginning in August of 1968 (ADS October 18, 1968). Bob Henderson had at least ten years of experience in the restaurant business, the previous five of which were spent managing his own restaurant in Williams, Arizona. Once Interstate 40 was constructed, much of the east-west traffic that previously passed in front of the restaurant along Route 66 was no longer. However, in 1969 Mrs. Jay Meister stated that business was booming, with the motel and restaurant being 50 and 78 percent, respectively, busier than the previous year (ADS June 27, 1969). Frank and Jackie Smith managed the restaurant and motel in 1974 (ADS November 9, 1974). Then in 1991 the Crown Motel joined the Howard Johnson hotel chain and by 1992 the address was changed to Route 66 (Bergstrom 2025; Figure 14).

**CROWN RESTAURANT
HO-JO-MOTEL**

John & Pat Johnson
*Invite you to enjoy your Breakfast, Lunch or Dinner at the
Crown Restaurant
On Route 66*

BREAKFAST		LUNCH OR DINNER
Biscuits & Gravy	\$.99	Chicken Fried Steak Mashed Potatoes & Gravy
Served 24 Hrs.		Vegetable & Dinner Roll

Starting Monday - Sunday, March 30th Through April 5th, 1992

ROUTE 66

MOTEL
Ho Jo

3300 E. SANTA FE Telephone 526-1826

Figure 14. 1992 Ho-Jo newspaper ad (ADS March 31, 1992).

5.2 CROWN RESTAURANT

Many Route 66 cafes began as lunchrooms with a lunch counter and stools as well as tables and chairs, and later, booths, and larger dining spaces were typically separated from the cooking area by a service window. Diners were often made more inviting with windows that made the building's interior visible from Route 66 and enabled potential customers to imagine themselves inside. The 1940s and 1950s saw

the prevalence of more substantial standardized franchises that were less defined by family roles and size and tended toward menu uniformity (NPS 1995). The Crown Restaurant was an exception, as it was characterized by the families that owned and managed it.

The Crown Restaurant was built in 1967 by Don and Evie Richardson as a coffee shop attached to the Crown Motel. Its most striking feature is an angled overhanging roof with a rugged fieldstone base below “like a Los Angeles Googie-style coffee shop transported to high-country Arizona” (Bergstrom 2025). The restaurant was “just a family and workingman’s place... with good, inexpensive food and fast, courteous service” that catered to truckers and traveling families and welcomed “ordinary people” (ADS November 9, 1974).

In August of 1968, Bob and Ina (Mike) Henderson took over management of the restaurant (ADS October 18, 1968). They were open from 6 AM to 11 PM and offered a luncheon special that was served daily in addition to a weekly fish and seafood Friday night festival. The menu included shrimp, a seafood platter, an all you can eat fish fry, Crab Louie, and lobster. Dinners were typically around \$1.10 each with all you can eat fried chicken on Sundays for \$1.49 (Figures 15 and 16). By 1974 the restaurant served breakfast 24 hours a day (ADS November 9, 1974).



Figure 15. 1960s Crown Restaurant newspaper ads (ADS January 27, 1968, April 4, 1969, and January 13, 1968).

Many Flagstaff locals worked at the Crown Restaurant through the years, including long-time cook Herbert Michael “Mickey” Witkoff, who worked there for 25 years from 1972 to 1997. Witkoff owned three restaurants in Tucson before moving to Flagstaff in 1972 (ADS September 26, 2000). The Crown

Restaurant continued to serve traditional Thanksgiving dinners into the 1990s, as seen in a newspaper ad for Al Kashey's Crown Restaurant in 1994 (ADS November 20, 1994).

Dempsey Nelson, and his son Dale Nelson, of Nelson Tile Company, laid the original tile in the restaurant (Elizabeth Cavolo, personal communication to Josh Edwards, January 10, 2025). While they were working on the floor there was a terrible storm, and they had to stay at the Crown Restaurant very late into the night until the storm passed.



Figure 16. Crown Restaurant newspaper article (ADS November 9, 1974).

5.3 CROWN RAILROAD CAFÉ

While the Crown Railroad Café did not operate during the period of significance, it was a cultural landmark on Flagstaff's eastside and is discussed briefly here. First called the Crown Restaurant & Railroad Diner, open 6AM–9PM (ADS December 26, 1996), The Crown Railroad Café was a train themed diner that was created by John F. Cavolo in 1996 (Figures 17–20). Mr. Cavolo was born in Yonkers, New York in 1958, and eventually earned a degree in business administration from Gettysburg

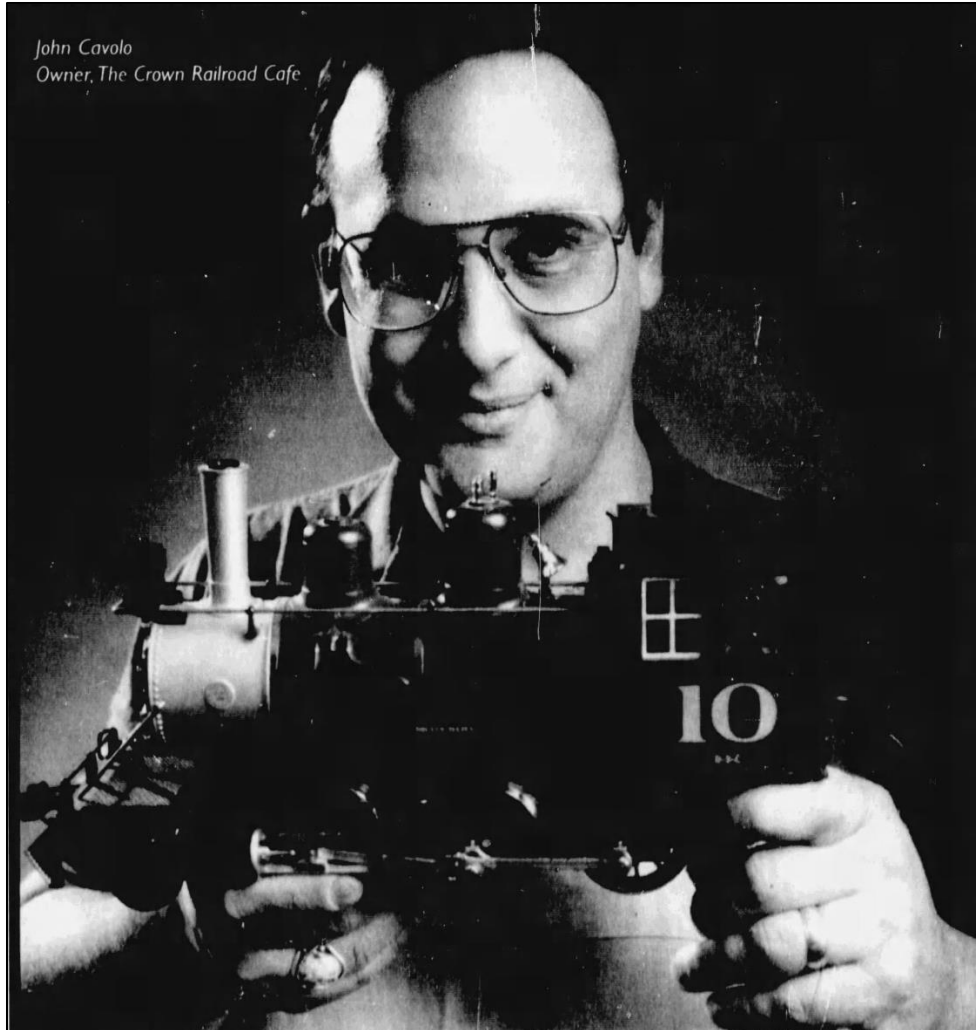


Figure 17. 1998 photo of John Cavolo (ADS, July 12, 1998).



Figure 18. Photo of John Cavolo greeting customers at the Crown Railroad Café (photo credit Elizabeth Cavolo).



Figure 19. Pre 2022 photo of Crown Railroad Café interior (photo credit Elizabeth Cavolo).



Figure 20. Pre 2022 photo of Crown Railroad Café electric train (photo credit Elizabeth Cavolo).

College in Pennsylvania in 1980 (ADS, September 18, 2018). After college, he opened and operated a Peter Piper Pizza franchise with his father and uncle in Scottsdale, Arizona. Then in 1982 John moved to Flagstaff with his wife, Christine (née Cupo). There he immersed himself in the community and was involved with Youth Football and the Special Olympics in addition to being on the Flagstaff City Council. He then opened an Italian restaurant on the west side of town called The Pasta Works. Cavolo applied for the liquor license for the Crown Restaurant and Railroad Café in 1997 (ADS June 16, 1997).

All of Mr. Cavolo's business were family oriented and focused on the customer's experience. He was known for personally greeting the many travelers and locals alike that came to the café and serving them "Scratch Cooking and Big Portions." John eventually converted The Pasta Works into The Crown Railroad Café West, and for a short time, owned a small Mexican restaurant named Tres Locas after his wife and two daughters (Elizabeth Cavolo, personal communication to Josh Edwards, January 6, 2025).

Aside from being known for John Cavolo's booming and welcoming voice, the Crown Railroad Café was renowned for its interior model train that ran around the perimeter of the dining room above the windows. As Northern Arizona's largest electric train display, their 1:22.5 scale electric trains were German-made Leman-Gross-Bahns. The steam, diesel, and trolley versions were meticulous reproductions of the full-sized originals. Mr. Cavolo sold advertising space on the side of the train cars, which were hand painted by Art Zeeb (who also painted the window signs), and would often eventually gift them to the advertisers. In the summers, Cavolo "would feed the hot shots on their way out of town and pack up brown bag lunches for them at a good rate" (Elizabeth Cavolo, personal communication to Josh Edwards, January 6, 2025).

The Crown Railroad Café was featured in Arizona Highways at least three times, made the cover of New Roads Magazine, has been the backdrop for several movies, and was an iconic stop for tourists. John Cavolo died in 2018, and the café closed its doors in August of 2023.

6.0 ARCHITECTURAL DESCRIPTION

By Mark Reavis and Joshua S. Edwards

The Crown is a two-story motor-lodge style motel with an attached one-story restaurant building. The complex represents a progression of compatible construction starting with the completion of the main motel building in 1963 (Building 1; Figure 21) and soon followed by construction of the Crown Restaurant in 1967, which fronts Route 66. Building 2 is an unattached, yet stylistically compatible, motel building that was constructed in 1988 behind and in parallel alignment with Building 1. Possibly the same

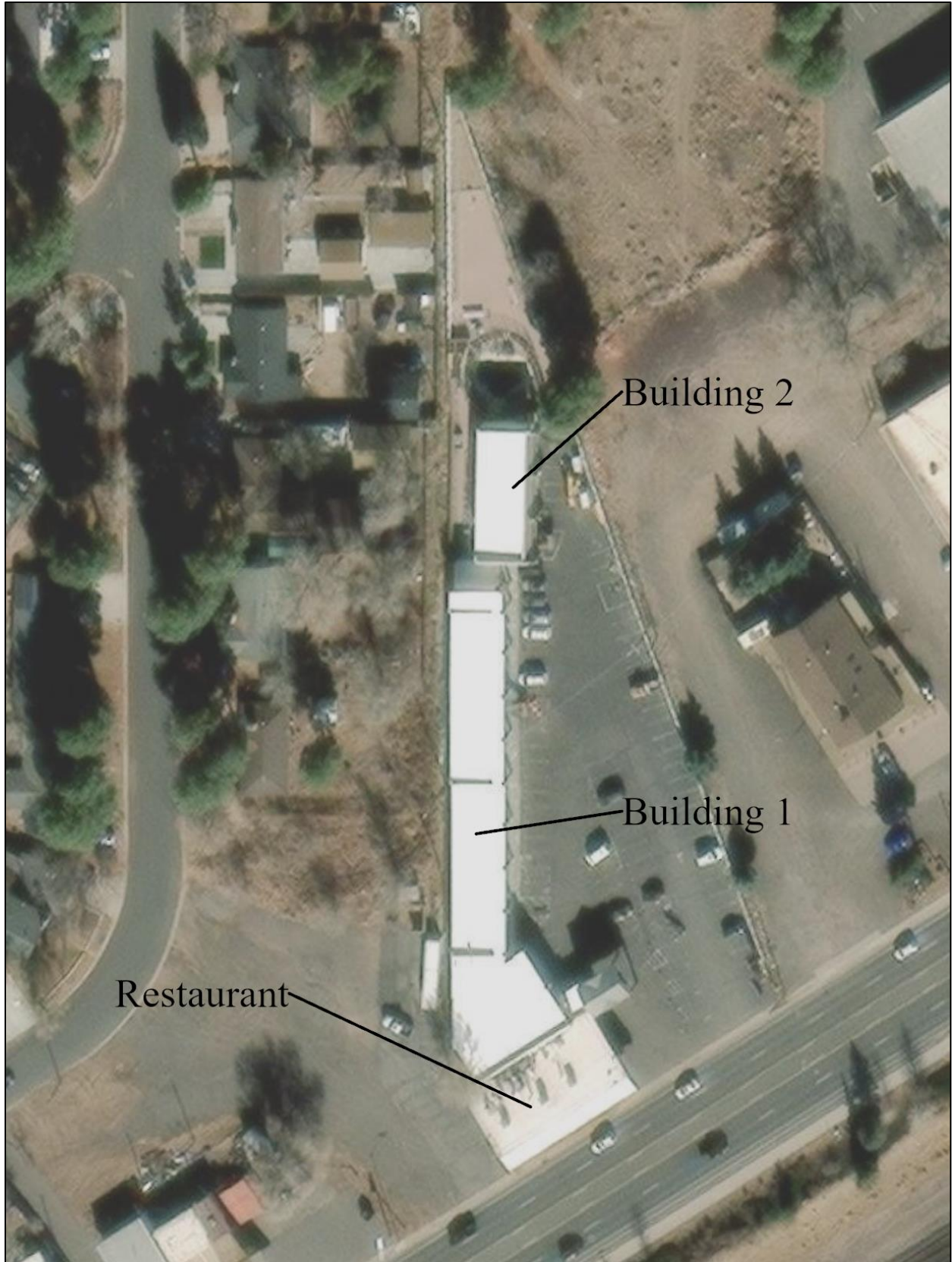


Figure 21. Aerial photo showing building numbers.



Figure 22. 2024 photo of porte cochere.



Figure 23. 2025 photo of porte cochere.

year, the original porte cochere (Figures 22 and 23) was modified into a much larger porte cochere that was an intrusive element with stylistic characteristics that were significantly different from the original in size and form. A portion of the original thinner horizontal sheltering porte cochere appeared to still be present until 2024.

6.1 BUILDING 1

Most of the footprint of the motel is oriented north to south with the western property line, but the southernmost portion that includes the restaurant is oriented to Route 66 on its east side and at an approximate 45-degree angle to the road on the west side. This section of the Building 1 has double-loaded rooms that are back-to-back with both west and east balconies and windows (Figures 24 and 25). The remainder of Building 1, which contains the majority of the rooms, is single room width and extends north along the property line. This portion of Building 1 has balconies and doors oriented to the east and the west face is blank, only punctuated by very small square openings containing two panel slider windows for each bathroom. The resulting overall shape creates a distinctive elbow bend in the footprint of the building. This motel wing has three projecting vertical firewalls extending above the roof plane and a north end cement masonry unit (CMU) wall. The low-sloped roof drains to the west.

Flagstaff's volcanic landscape provides an abundant supply of light volcanic cinders to be used as aggregate for these lightweight yet strong structural CMU wall blocks. This long-standing industry still operates locally as the Block-Lite company. The motel's south end-wall was purposely faced parallel to Route 66 and features a stacked bond CMU face, while the remainder of the building is oriented directly north. This stacked bond was popular in mid-century design for its distinctive modern look with a defined grid of both horizontal and vertical lines. Developments in construction methods during this period made stacked bond walls structurally possible and just as strong as more typical "running" brick bonds with staggered end joints.

By taking advantage of the extruded block and its U-shaped cavity at the block ends the stacked bond style allows for vertical reinforcing and filling with grout with an aligned vertical end joint no longer being structurally critical. The further use of CMU specialized blocks with an internal cradle configuration allows for placement of horizontal reinforcing steel and solid grout forming a horizontal bond-beam. Such an opening is evident in the south-wall and its second-floor opening facing Route 66 and at door and window headers. The hollow CMU was also ideal for the vertical columns that support the upper story for room access along the open balcony. The columns of the motel are a major architectural expression that tie into the balcony roof overhang that is faced with corrugated metal.

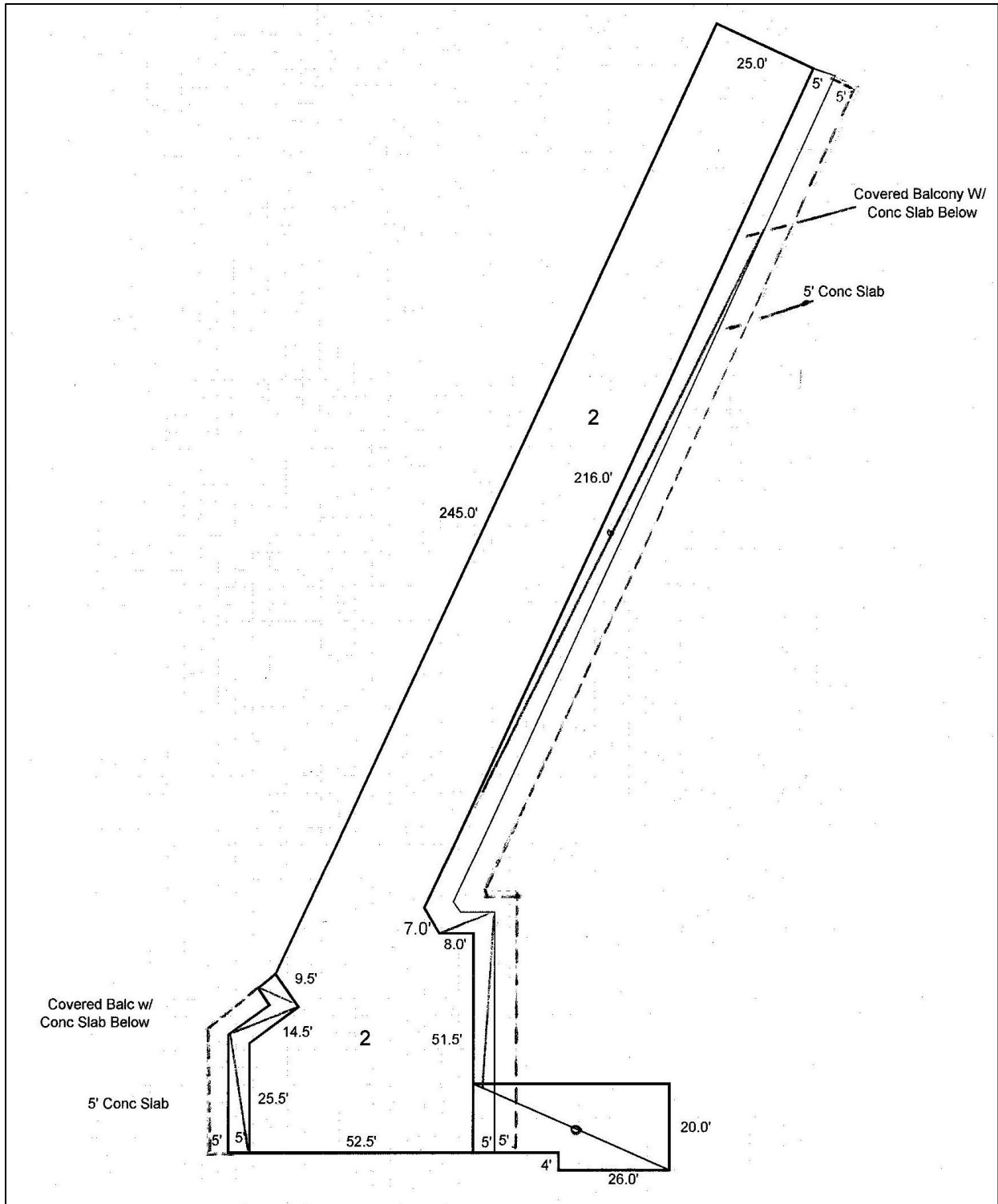


Figure 24. Building 1 plan drawing from Coconino County Assessor's Office 2004 Property Record Card.



Figure 25. Photo of Building 1, facing northwest.

The thin concrete balcony is supported by the primary architectural elements of the building complex, which are the CMU columns. Each column footprint is 8" x 24", utilizing "roman brick" proportioned CMU of 4" high x 16" long x 8" wide with half portions for the 8" face. These slender columns extend two stories and up past the roof plane segmenting the corrugated fascia. The use of 4" CMUs changes the appearance of more recognizable CMU of 8" x 8" x 16", resulting in a more horizontal appearance. This effect is exemplified in the central area of Building 1 just north of the porte cochere. Each area between vertical column frames two rooms on each level. Each of the room sets is mirrored with a centerline CMU dividing wall flanked by windows that are a slider (horizontal proportion) with two glazed frames (one of which is operable) with doors near the porch columns.

On the upper level, each two-room set steps up in height to the north, as the site is slightly inclined in that direction (Figure 26). At ground level, the southernmost of each two-room set has a step up into the room to accommodate for the rise in the sidewalk, while the north room entryway is flush with the sidewalk. The second floor has no step up to the rooms and has balconies that are horizontal for four bays of the central area. These subtle changes were addressed with architectural skill to maintain the horizontal balcony and roof line. When larger changes were required to maintain ceiling heights metal stairs were used for transitions.



Figure 26. Photo of motel rooms in Building 1, facing west-northwest.

A defining element of the motor lodge is an open-air first and second floor walkway (balcony) providing direct access to each of the rooms. The second-floor walkway is supported by full height concrete block columns that act as both structural and architectural elements. Metal railings enclose the upper walkway and uncovered stairs. Transitional stairs for the balcony are triangular metal pans with poured concrete steps. The current railings replaced a more horizontally oriented railing that would not meet protective spacing requirements of building codes today. The north end of Building 1 is an endcap to the design that was added at the same time as the restaurant building in 1967. The added bay is half the width of the other bays on the second floor with two half-width bays below, although the northernmost single story storeroom bay may have been added with Building 2 in 1988 or later (Figure 27).

The primary architectural character of the building is of a low-slung horizontal nature. The rooms' windows are large with horizontal proportioned openings and are equipped with bi-pass sliders. The current steel doors are likely not original. The air conditioning units are honestly expressed in each room's elevation. As a motor lodge it has a robust connection to the vehicle parking provided immediately adjacent. The rooms' windows and doors face the parking lot and are visible from the street, making the function of the building as a motel immediately evident. The stylistic elements of the building

are simple and bold, characteristic of the pre-franchise, mom-and-pop hotels, when significant funds for architectural detailing were rarely available.



Figure 27. Photo of Building 1 1967 endcap, facing west-northwest.

6.2 BUILDING 2

Building 2 is directly north of the original motel building and was added around 1988 outside the period of significance. This detached building contains twelve motel rooms and has stylistic elements that are compatible with the original motel building (Figures 28–30). Building 2 reflects some of the appearance of the original motel in its proportions but is executed much more massively with deeper columns and a partial sloped roof between the columns.

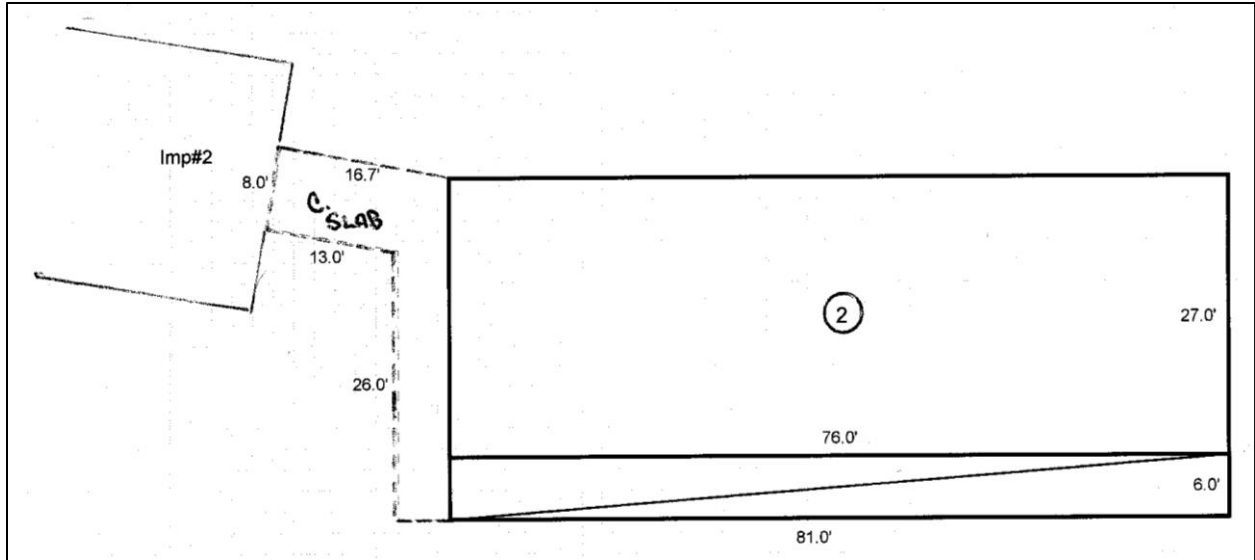


Figure 28. Building 2 plan drawing from Coconino County Assessor’s Office 2004 Property Record Card.



Figure 29. Photo of Building 2, facing northwest.



Figure 30. Photo of Building 2 and swimming pool, facing south.

6.3 CROWN RESTAURANT

The 1967 restaurant addition, tied into Building 1, provides much of the architectural interest of the building complex and faces Route 66 (Figure 31). The large wrap-around windows are characteristic of diner style restaurants that dot the Mother Road. The windows are a continuous band of glass that extends around the three elevation faces of the restaurant building. Each window that makes up the window band has a thin spaced mullion. The restaurant has a more visually dynamic design than the motel and has Gogie architectural elements. The architect allows the eye to pick up the corrugated metal of the balcony roof fascia and blends it into the restaurant’s delta/boomerang shaped roof. Whether purposeful or by chance the resulting design mimics the appearance of the many trains that pass by each day, with the restaurant as the locomotive pulling the cars behind.

Below the windows is a stone cladding (Figures 32–35) that is reminiscent of characteristic Flagstaff vernacular architecture that utilized native stone both structurally and as a facing material. The stone facing pattern could be described as an “Ashlar” pattern but has no horizontal alignment characteristics. It could be described as a European Ashlar with a look of collected field stones. This facing is distinctive in its randomized selection of distinctively shaped pieces mosaiced together. Also of note is the high degree of color variation in the selected stone facing. It is a unique aspect of this building and required

considerable craftsmanship to execute. This is an architectural detail, using unidentified igneous rock, that was mimicked by using the same stone in the planters that currently block the porte cochere and in the sign base at the opposite side of the parking lot along the street. The southernmost window on the diner's east elevation has thicker vertical separations from where the original pillars from the now removed freestanding Crown Motel sign are incorporated into the building.

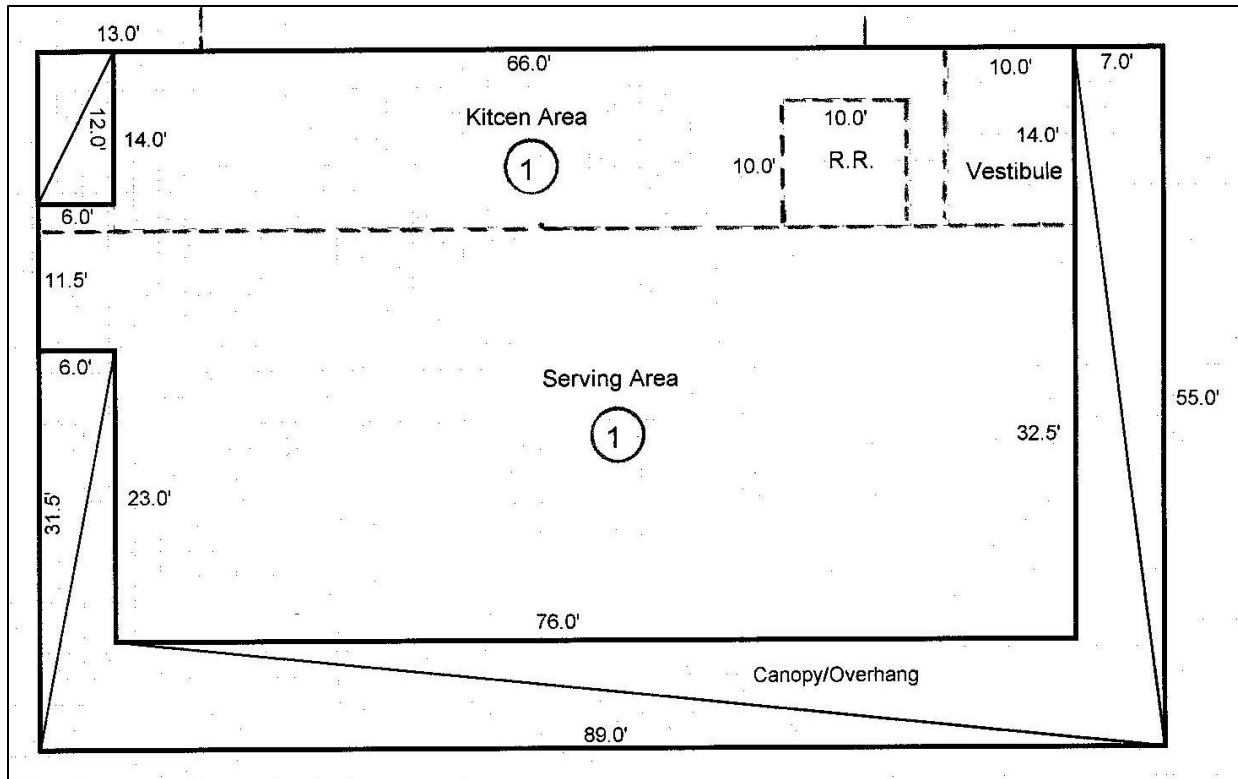


Figure 31. Restaurant plan drawing from Coconino County Assessor's Office 2004 Property Record Card.

Most noteworthy in the restaurant's architectural expression is the building's distinctive cantilevered roof. Its delta streamlined shape expresses movement and an aerodynamic form, while demonstrating the exposed structural elements and simple design of the period. The end roof is faced with a corrugated metal fascia. Its south face is accented with blocks bolted to the south fascia of the roof as a repeating pattern. It is not much of a stretch to conjecture that the roof form was inspired by a streamlined locomotive and following cars.



Figure 32. Photo of stone cladding.



Figure 33. 2023 photo of stone cladding and original porte cochere.



Figure 34. Photo of stone cladding.



Figure 35. Photo of stone cladding.

While not ornately decorated or styled, the subject property can comfortably be lumped into the general style of commercial architecture, and the restaurant has aspects of Googie architecture. Influenced by car culture, the atomic age, and the space age, Googie architecture is a type of futurist architecture that was popular from around 1945 to the early 1970s. With roots in Streamline Moderne architecture, Googie is part of the mid-century modern style and was common among roadside businesses like restaurants, gas stations, and motels.

The Crown Restaurant was constructed with an upswept roof with geometric shapes and conspicuous use of steel, glass, and neon. This “space age” design is symbolic of motion, as reflected in the boomerang cross-section shape of the saltbox roof. The Googie stylistic elements present on the Crown Restaurant building represent an architectural signboard whose marketing emphasis is on futuristic design. As time has passed, the Googie style has been scorned and less valued than others, with many buildings in this style being destroyed.

6.3.1 NEON SIGNS

Prior to 2024, two oversized neon signs reading “Restaurant” in channel lettering with a large, stylized cursive “R” extended above the tapered roofline on the east and west elevations (*see* Figures 6 and 7). The “Restaurant” sign on the east elevation was once directly beneath the Crown Motel sign that has since been removed (*see* Figures 10 and 11), probably in 1988 when Building 2 was added or in 1992 when the motel became part of the Howard Johnson’s chain. The neon lined cursive script was visible to travelers moving west to Los Angeles, or east to Chicago, and was emblematic of the mid 1960s architectural style of Route 66 (Figures 36 and 37).

1960s America was on the move, making it increasingly important for businesses to do more to entice customers to stop at their establishments. “Neon signs were designed as attention-grabbing grace notes in our landscape” (Barna and Homan 2018:9) whose warm colors signaled a welcome respite from driving. Along Route 66’s long stretches with only the occasional headlights to illuminate the road, the Mother Road’s neon signs oriented people among unfamiliar landscapes. The romantic images portrayed in these artworks not only evoked history but were time capsules that reminded people of the cultural climate in which they were created (Mahar 2002).

Commercial neon signs had their debut in the U.S. in the 1920s, more than a decade after the invention of the technology, but it was not until the late 1930s and 1940s that neon caught on in the U.S. Today, “Neon signs can act as powerful beacons of the past in our present landscapes, enabling that light to illuminate our future” (Barna and Homan 2018:13). “A simple decision to trim expenditures at the start,



Figure 36. Pre 2024 photo of the Crown Railroad Café, photo credit Austin Corbett.



Figure 37. 2024 photo of neon "Restaurant" sign, facing northeast.

by ‘adapting’ neon to LEDs, destroys not only the look and the cultural and historical value of a neon sign, but it destroys all that sign represented in the first place” (Barna and Homan 2018:11).

The Crown Restaurant’s neon signs were likely installed in 1967 by the Young Electric Sign Company (YESCO), who have been in operation since 1920. YESCO leased the neon signs to the Crown Restaurant and the Crown Railroad Café and still have an office in Flagstaff. In 2007, YESCO rehabilitated the signs with new neon and paint, removed the green neon that was bordering the edge of the roof on the east and west elevations and replaced it with red neon, and installed the train mural above the windows facing Route 66 (Figure 38). They also manufactured and installed 75’ of new illuminated awnings and recovered both the north and south elevation awnings at that time (Keith Roberts, personal communication to Josh Edwards, February 7, 2025).



Figure 38. 2024 photo of train mural, facing northwest.

While the space age architectural elements of the Crown Restaurant were interesting, it was the warm, welcoming neon that lured travelers to stop for a meal and potentially stay the night. And while western-themed or Streamline Modern buildings added to the kitschy character of Route 66, neon is the hallmark of America’s greatest highway and brought the Mother Road to life (Mahar 2002). Even with all the alterations to the Crown Motel through the years, the Crown Restaurant’s neon “Restaurant” signs helped to maintain the property’s geographical uniqueness and definitively shaped the identity of this incredibly significant historical stretch of Route 66 (Sonderman 2016).

7.0 EVALUATION OF SIGNIFICANCE AND INTEGRITY

The Crown Motel (now The Crown; 3300 E. Route 66 in Flagstaff) was constructed during the nation’s love affair with car culture and the space age. The legends and landscapes of Route 66, forever captured in song and on screen, were accessible to every traveler. The luxury of staying in a comfortable motel within futuristic architecture was a theme embodied in not only the lodgings of Arizona’s larger cities but also in the motels and motor courts that dotted the Mother Road throughout the high country (Ryden 2010).

With the increased growth of automobile tourism in the 1950s and 60s, and the associated increase in car size, the on-street parking and/or small business-adjacent parking lots became inadequate in size and accessibility. The necessity of sufficient parking areas led to commercial building adaptations that either grouped businesses together away from the street, which eventually led to the creation of shopping centers and strip malls, or to separate businesses from each other, but close to the street, as in the Crown Motel and surrounding businesses. Earlier commercial blocks had become relics of the past that were shunned by modern business owners who wanted a more modern look and feel.

This change in attitude spawned adaptations in the commercial landscape that catered to customers in cars who desired efficient roadways and ample parking. While many mid-century motels in Flagstaff were constructed as courts, some with a carport for each room, the Crown Motel took a strip form with box-and-canopy elements. Visibility also became essential to commercial business buildings along Route 66, leading to the adoption of large lighted signs that would beckon customers, like weary travelers driving along the mother road in need of lodging and food, to pick a particular place to stop among the veritable cornucopia of choices. The Crown Motel buildings have been associated with Route 66 since the time of their construction in 1963 (the Crown Railroad Café was built in 1967; the period of significance for the Route 66 historic context is 1926 to 1968; Thomason 2005), and they functioned as a motel and diner until recently. The subject property still has abundant available parking and maintains the massing, layout, and configuration of the main buildings.

In 2005, a draft National Register of Historic Places (NRHP) Multiple Property Documentation form called Route 66 Motels of Flagstaff, Arizona, 1926–1968, recommended that the subject property is *not eligible* for listing on the National Register due to loss of integrity (Thomason 2005). In 2012, an inventory of historic resources along Route 66 throughout the state of Arizona recommended the Crown Motel as Individually Eligible (Motley 2012). It is important to note that these comprehensive surveys completed in 2005 and 2012 (Thomason and Motley, respectively) only minimally touch on a building's history and largely depend upon basic visual assessments of all properties included in the inventory. More recently, as part of a 2023 effort by FSS to be eligible to receive Arizona state grant funding for historic preservation, the Arizona State Historic Preservation Office determined that the former Crown Motel is eligible for the National Register (email dated October 17, 2023, from Dr. William Collins).

7.1 SIGNIFICANCE

A cultural resource can be significant at a local level per the City of Flagstaff (COF) Zoning Code, at a state level eligible for listing in the ARHP, and/or at the national level eligible for listing in the NRHP. To be considered significant, a resource must be associated with an important historical context. At a local

level, the criteria for determining significance are established in the Flagstaff Zoning Code (30.30-13). The NRHP Criteria for Evaluation (36 CFR § 60.4) are used to evaluate resources for the ARHP and NRHP. Motels like the Crown Motel can be considered significant under COF Criterion B (NRHP Criterion A; association with events that have made a significant contribution to the broad patterns of our history) in the areas of transportation and commerce, or under COF Criterion D (NRHP Criterion C; architectural or engineering design significance) if they are a good example of a type, style, or period of construction.

The area of significance of Transportation and Commerce Along Route 66 (Cleeland 1989; Stein 1996; Cassity 2004; Thomason 2005; Motley 2012; Edwards 2021), under COF Criterion B (NRHP Criterion A), includes three associated historic themes, the most appropriate of which is Tourism and Commerce related to Route 66. For motels, eligibility under COF Criterion B (NRHP Criterion A) in the area of transportation and commerce requires that a motel show a clear association with, and convey a feeling of, personal and commercial traffic along Route 66 (Cassity 2004). The motel must be located near or accessible from Route 66, and “must retain its appearance from the period of historic significance” (Cassity 2004:315). The period of significance for this theme is 1926 to 1968, which is the timeframe that Route 66 was operational in Flagstaff prior to construction of Interstate 40. The last area of significance, Architecture, under COF Criterion D (NRHP Criterion C), includes the architectural styles described in the Historical Overview and the period with which each style is associated.

Eligibility under COF Criterion D (NRHP Criterion C) requires that a building must be a good example of an architectural type or style in its design, materials, and workmanship as it once appeared on Route 66. The Crown Motel Building 1 and Crown Restaurant building were associated with Route 66 from the time of their construction in 1963 and 1967, respectively, until 1968 when Interstate 40 was constructed, and functioned as a motel and café until 2022.

7.2 INTEGRITY

Integrity is defined as the ability of a property to convey its significance. Seven aspects are used to evaluate integrity: location, setting, design, materials, workmanship, feeling and association. To retain historic integrity, a property will usually possess most, if not all, of the aspects of integrity (NPS 2002). In order to evaluate the integrity of a property, it must be determined which of these seven aspects are most important to a property’s significance. Once these important aspects are identified for a property, integrity is evaluated based on the aspects cited above and how they relate to the property’s overall significance. NPS (2002) establishes four steps in assessing the overall integrity for a property:

- define the essential physical features that must be present for a property to represent its significance;
- determine whether those essential physical features are visible enough to convey significance;
- determine whether the property needs to be compared with similar properties; and
- determine, based on the significance and essential physical features, which aspects of integrity are particularly vital to the property being evaluated and if those aspects of integrity are present.

All properties change over time, and it is not necessary for a property to retain all of its historical physical characteristics in order to retain integrity and express its significance within an important historic context. However, the property must retain the essential features that enable it to convey its historic identity (NPS 2002). In order to be considered an essential physical feature, that characteristic must define *why* a property is significant, conveying a historic property’s association with applicable NRHP Criteria and Areas of Significance (NPS 2002). Secondly, an essential physical feature must define *when* a property is significant, expressing a historic property’s association with its period of significance. Without these historic character-defining features, a property cannot be identified within its historic context.

As discussed above, the Cown Motel is a representation of the commercial style that is characteristic of Transportation and Commerce (Motel/Tourist Court) along Route 66. Based on the federal guidelines for assessing integrity for historic properties (NPS 2002:45), most aspects of integrity have been negatively affected by changes that have occurred outside the period of significance. However, the property still has abundant available parking and maintains the layout and configuration of the two buildings that were constructed during the period of significance (Cassity 2004). Each aspect of integrity is described below in four levels of retention: strong, diminished, weak, and lost.

Location. The first aspect of integrity is *location*. Location is the place where a property was constructed. In order to retain this aspect, a historic property must be in the same place in which it was built; the relationship between a property and its historic associations is typically destroyed if a property is moved (NPS 2002).

The former Crown Motel, originally constructed as a mid-century motel, is in its original location of construction along Historic Route 66. As the relationship between the property and its historic location is maintained, the property retains a *strong* degree of location.

Design. Another aspect of integrity is that of *design*, which refers to the physical elements of a historic property “that create its form, plan, space, structure, and style” (NPS 2002:44). Design captures the historical functions and aesthetics of a property that were the result of human decisions and choices when

the property was first conceptualized. The organization of interior spaces, the proportion and scale of the exterior, the shape and form of a property, ornamentation (textures, colors, type, style, and arrangement), and materials are all related to design (NPS 2002).

The large wrap-around windows of the restaurant were once a continuous band of glass extending around three sides of the building. These windows, characteristic of diner style restaurants that dot the Mother Road, are now overhung by awnings that diminish the open feeling and visibility to the inside of the restaurant (although the awnings are not considered a permanent addition since they can be removed relatively easily). The former Crown Motel has *lost* integrity of design due to removal of several key components of the property's lighting, removal of the porte cochere, and additions made in 1988, outside of the period of significance.

Setting. The location of a property is complemented by its *setting*, which is another aspect of integrity. Setting is the actual physical environment of a historic property, and it includes many characteristics of a particular property's surroundings. Setting refers to the character of a property within its environment. Although it is much more abstract than location (a property's specific place), setting is very important in demonstrating how, not just where, a property fits within a larger landscape (NPS 2002).

The setting surrounding the former Crown Motel has changed over the decades, but it still retains this aspect of integrity (Figures 39 and 40). Historic Route 66 is now configured to accommodate more traffic, with four lanes plus a turning lane, which has negatively affected the historic setting. However, Route 66 still runs in front of the buildings and functions in relation to the subject property much the way it did during the period of significance, and so does the railroad. However, the berm between the railroad and Route 66 that was added in the 1990s does detract from the relationship between the railroad and the former Crown Motel. In addition, the area surrounding the former Crown Motel on both sides (including the Western Truck & Auto Repair to the west, the NRHP-listed Museum Club next door to the east, and Starlight Lanes to the east of that) represents one of the most intact groups of mid-century buildings along Route 66 in Arizona, and one could make a strong argument that this area should be its own historic district. The aspect of integrity of setting is *diminished* but not lost.

Materials and Workmanship. *Materials* is an aspect of integrity that addresses the physical elements that were used during a particular period of time and in a particular way to create a historic property. The materials used to construct a property reveal availability, style preferences, technologies, and traditions. A property must retain the key exterior materials dating from the period of significance for that property to have integrity of this aspect (NPS 2002). Closely related to materials is *workmanship*, which may be applied to a property as a whole or its individual components. Workmanship can be expressed in



Figure 39. Setting photo of Route 66, facing northeast.



Figure 40. Setting photo of berm, facing southeast.

vernacular methods of construction, not just elaborate ornamental detailing or finishes, and is the “physical evidence of the crafts of a particular culture or people during any given period in history or prehistory” (NPS 2002:45).

The former Crown Motel has *lost* the aspects of materials and workmanship due to changes to the property that occurred outside of the period of significance. Some of the additions, like the addition of Building 2, are difficult to recognize as being outside of the period of significance since they are similar to the style and construction of Building 1 and Building 1 was also remodeled at the same time. The exterior alterations that have had the most negative effect on these aspects of integrity are the removal of the port cochere, which covered and encompassed the original one, the removal of the neon “Restaurant” signs from the Crown Restaurant building, and the removal of the Crown Motel sign. The removal of original materials and substantial modifications to the exterior of the property have eliminated the suite of historic character-defining elements necessary to retain integrity of materials and workmanship.

Feeling. Another aspect of integrity is *feeling*, which is defined as a historic property’s expression of a particular time. As a whole, integrity of feeling is a property’s ability through its physical features to convey its historic character (NPS 2002). Often, feeling is the result of several aspects of integrity that, when taken together, relate a property’s place within a historical framework and period of significance. One measure of feeling is if someone staying at the motel during its period of significance would recognize the property if they were there today.

Changes to the setting, as discussed above, have impacted the feeling of a mid-1960s Route 66 motel. However, retention of many historic character-defining elements of the property help it to retain its mid-century “personality.” Those elements include:

- the general plan and massing of a two-story motor-lodge style motel with an attached one-story restaurant
- most room balconies and doors are oriented to the east creating a robust connection to the vehicle parking provided immediately adjacent
- stacked bond cement masonry unit face of the motel’s south end-wall with its distinctive modern look common in mid-century design with a defined grid of both horizontal and vertical lines
- slender columns that extend two stories and up past the roof plane segmenting the corrugated fascia are a major architectural expression that tie into the roof
- balcony roof overhang faced with corrugated metal
- open air first and second floor walkways (balcony) providing direct access to each of the rooms
- metal railings enclosing the upper walkway and uncovered stairs
- the building’s a low-slung horizontal profile
- simple and bold characteristics of a mom-and-pop hotel

- large wrap-around windows extending around the three elevation faces of the restaurant building are characteristic of many contemporaneous diner style restaurants
- stone cladding below the restaurant windows that is characteristic of Flagstaff vernacular architecture
- the delta shaped cantilevered restaurant roof that is streamlined to express movement and an aerodynamic form while incorporating exposed structural elements reflecting a mid-century architectural style

Those who stayed at the motel or ate at the diner during the period of significance would likely recognize the property, despite modifications to its surroundings, removal of the motel sign, removal of the oversized neon “Restaurant” signs, and removal of the port cochere. Therefore, the property still conveys a sense of a mid-century motel and retains a *weak* aspect of feeling.

Association. The last aspect of integrity is *association*. Association is the direct connection between a historic property and an important historic event or person. A property retains integrity of association if it is in the place where the event occurred and is “sufficiently intact to convey that relationship to an observer” (NPS 2002:45). Much like integrity of feeling, integrity of association is the ability to convey historic character through physical features.

While documented in the archival record, association also requires the presence of physical features to convey that relationship to an observer (NPS 2002). Association is the direct connection between either an important historic event or person and a historic property. As the discussion above illustrates, several key aspects of integrity are weak or lost due to changes that occurred outside of the period of significance. The Crown Restaurant building provides much of the architectural interest of the building complex and faces Route 66. The restaurant has a more visually dynamic design than the motel buildings and has Googie architectural elements. Therefore, changes to this building have a greater effect on the overall character and historic integrity of the subject property than buildings away from the road.

For over fifty years, the neon “Restaurant” signs of the former Crown Restaurant were beacons to travelers on Route 66 and were emblematic of the mid 1960s architectural style that characterized the Crown Motel. The removal of the neon signs and the porte cochere in 2024 had detrimental effects on the historic character of the former Crown Motel. The cumulative impacts of changes that occurred outside of the period of significance have resulted in a different property than existed during that time. The former Crown Motel no longer expresses association with its original context and period of use. Therefore, the former Crown Motel has *lost* association with Route 66.

8.0 SUMMARY AND RECOMMENDATIONS

The former Crown Motel and Restaurant at 3300 E. Route 66 were once a motel and diner associated with transportation and commerce along historic Route 66 during the mid-twentieth century. The Crown Motel buildings have recently been converted into permanent housing and the diner is being remodeled to continue its use as a restaurant. The two motel buildings lack ornamental detailing or finishes, with basic commercial building styles and materials that culminate in a unique feeling of a mom-and-pop, Route 66 motel. The motel evolved over time, with several major changes and alterations outside the period of significance, including:

- 1988 building 2 was constructed (and a one-story storage room was possibly added to the endcap of Building 1 at that time)
- 1992? the Crown Motel sign was removed and the oversized porte cochere was added when it became a Howard Johnson's
- 1996 addition of awnings to three sides of the Crown Restaurant building
- 2007 neon on the restaurant roof was changed from green to red
- 2024 neon "Restaurant" signs, neon, and porte cochere removed
- addition of new steel doors
- removal of exterior lighting on Building 1
- addition of a swimming pool
- changes to decorative elements like handrails, stair wells, and light fixtures.

In 2005, a National Register of Historic Places (NRHP) Multiple Property Documentation form draft focusing on Route 66 Motels of Flagstaff recommended the subject property as *not eligible* for listing on the National Register due to loss of integrity (Thomason 2005). In 2012, an inventory of historic resources along Route 66 throughout the state of Arizona recommended the Crown Motel as *individually eligible* (Motley 2012). In 2023, the Arizona State Historic Preservation Office determined that the former Crown Motel was eligible for the National Register (email dated October 17, 2023, from Dr. William Collins).

Prior to 2023, several key aspects of integrity were already weak or lost due to changes that occurred outside of the period of significance. In 2024, the property owner leased the restaurant building to new occupants who removed the neon "Restaurant" signs from the east and west elevations of the building, along with neon around the edges of the roof. In addition, the porte cochere was also removed by the owner. Even with all the prior alterations to the Crown Motel through the years, the neon and "Restaurant" signs continued to define the geographical identity of the property and this incredibly

significant historical stretch of Route 66 (Sonderman 2016). They were the most important character defining element of the property because they were visible to everyone who drove or walked along Route 66 in east Flagstaff, or rode on the train, especially at night. The cumulative impacts of changes that have occurred since 1968 have resulted in a property that no longer expresses its significance within its historic context.

As a result of this study, Cornerstone recommends that the former Crown Motel and Restaurant do not retain their association with the theme of tourism and commerce within the period of significance for Route 66 in Flagstaff of 1926–1968 (Thomason 2005). Therefore, the subject property is recommended as *not eligible* at the state and national level. Further mitigation measures for this project will be discussed during the Heritage Preservation Commission meeting on April 16, 2025.

9.0 PREPARER'S QUALIFICATIONS

Joshua S. Edwards, M.S., RPA (Principal Investigator)

Mr. Edwards is an archaeologist and historic preservation specialist who meets the Secretary of the Interior's Professional Qualification Standards in History and Archaeology. He has a Bachelor of Arts degree in Anthropology from the University of Arizona and a Master of Science degree in Quaternary Sciences from Northern Arizona University. He obtained specialized interdisciplinary academic training in soil geomorphology, fluvial systems studies, arid lands processes, paleoenvironmental reconstruction, and faunal analysis, and has over three decades of experience with archaeology and history of the American Southwest. This includes archaeological survey, testing, and data recovery at prehistoric and historic sites throughout Arizona and western New Mexico, and projects in California, Nevada, Colorado, Wyoming, and Texas. This experience is augmented by international experience in Mexico, Germany, and Peru.

Mr. Edwards has worked in the field of Cultural Resource Management for over thirty years and as a historic preservation professional for the past eleven years. He served as a Heritage Preservation Commissioner for the City of Flagstaff for two years, is currently a Commissioner on the City of Cottonwood Historic Preservation Commission and has exhaustive experience conducting National Register of Historic Places significance and eligibility studies for historical resources throughout the American Southwest.

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Name: Los Tapatios

Date: 12.17.2024

INV #: 00000

Rev #: 0

CUSTOMER'S APPROVAL

- Approved
- Revise and Proof Again

Signature _____

Date _____

SIGN SPECS

- Radius Corners in.
- Holes Punched
 - Center Top & Bottom
 - All Four Corners
- Hems Grommets

PRODUCTION STAGES

- Design Material
- Printed / Cut
- Production Install

DONE R4I

Signature _____ Date _____



2333 E. Spruce Avenue,
Flagstaff, AZ 86004

Phone: (928) 714-0740
Email: signs@sarflagstaff.com
Web: www.SARflagstaff.com



WEST ELEVATION

TOTAL: 33 SQFT

Neon Illuminated Channel Letters / LED Channel letters / Qty. [x1]
 5" Deep LED illuminated channel letters "LOS TAPATIOS" with translucent red faces, black trim caps and black returns. "RESTAURANT" will be 5" Deep ,open face aluminum channel letters, white interiors with red neon illumination.

This design and drawing submitted for your review and approval is the exclusive property of SIGNARAMA. It may not be reproduced, copied, exhibited or utilized for any purpose, in part or in whole by any individual inside out outside without written consent of SIGNARAMA.

Color:



PMS 0000



PMS 0000



PMS 0000



PMS 0000

Notes:



Name: Los Tapatios

Date: 12.17.2024

INV #: 00000

Rev #: 0

CUSTOMER'S APPROVAL

- Approved
- Revise and Proof Again

Signature _____

Date _____

SIGN SPECS

- Radius Corners
- Holes Punched
 - Center Top & Bottom
 - All Four Corners
- Hems Grommets

PRODUCTION STAGES

- Design Material
- Printed / Cut
- Production Install

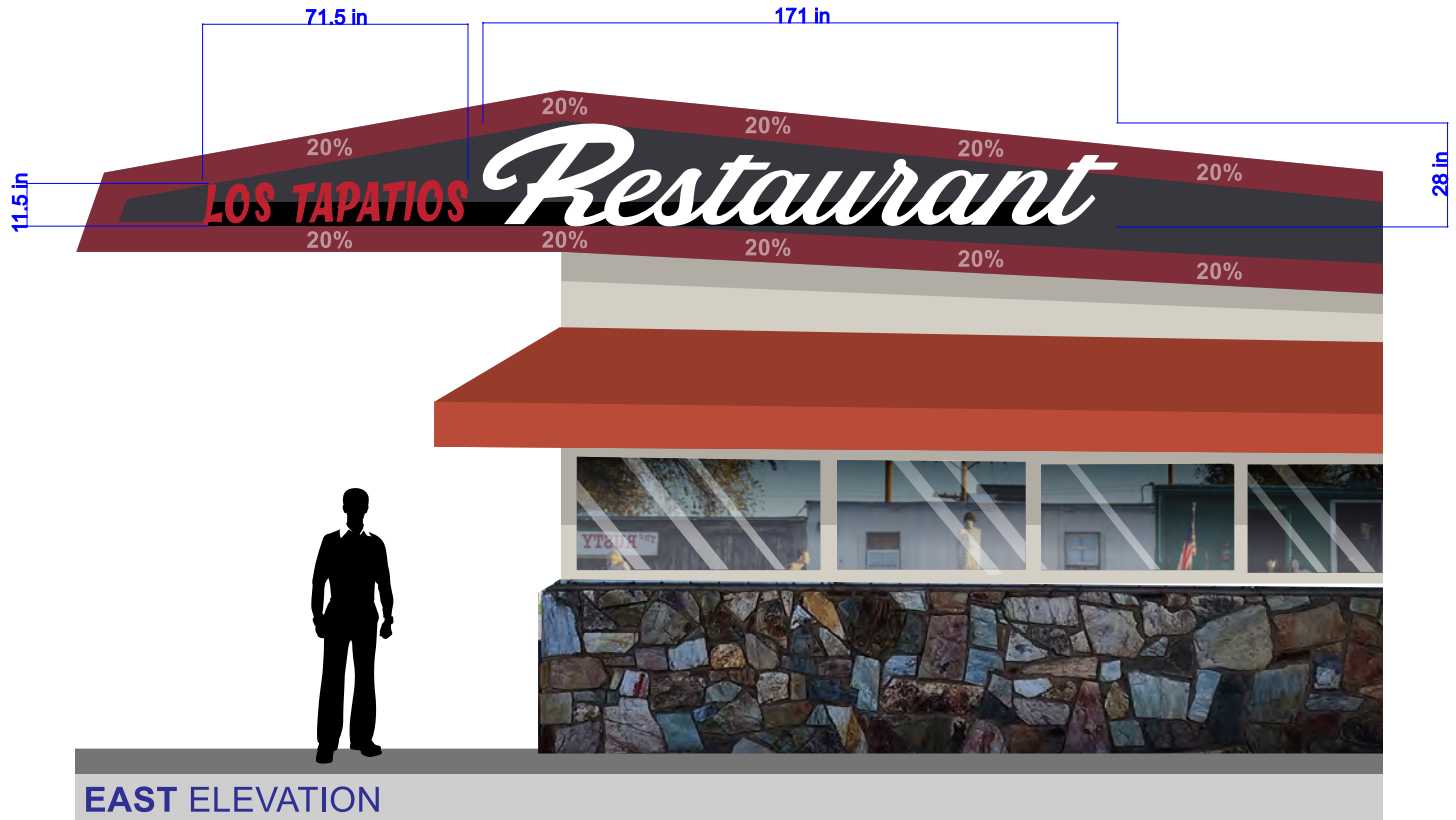
DONE R4I

Signature _____ Date _____



2333 E. Spruce Avenue,
Flagstaff, AZ 86004

Phone: (928) 714-0740
Email: signs@sarflagstaff.com
Web: www.SARflagstaff.com



EAST ELEVATION

TOTAL: 39 SQFT

Neon Illuminated Channel Letters / LED Channel letters / Qty. [x1]
 5" Deep LED illuminated channel letters "LOS TAPATIOS" with translucent red faces, black trim caps and black returns. "RESTAURANT" will be 5" Deep, open face aluminum channel letters, white interiors with red neon illumination.

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PMS 0000



PMS 0000



PMS 0000

Notes:

Heritage Preservation Commission

7. A.

From: Lauren Clementino, Senior Planner/Heritage Preservation Officer

DATE: 04/16/2025

SUBJECT: Historic Signs and Facades Grant Tracking - April 2025 Update

STAFF RECOMMENDED ACTION:

Discussion only.

Executive Summary:

No updates since the last report.

Policy Impact:

Attachments

HSFG Tracking April 2025

HSFG Grants July 2024 - June 2025

Address	Property Owner(s)	Grant Amount (\$)	Meeting Date	Status
314 W Birch Avenue	Robert and Dorothy Best	\$20,000	November-23	Paid
Yogaert / 3 E Aspen	Samantha		Mar-24	Forfeited
601 W Cherry Avenue	Erik Schiefer-Stan & Amanda Schiefer-Stan		Apr-24	\$10,000 award - extended to FY26
614 W Santa Fe Avenue	Mac Axelrod, Trustee (Tesano representative)	\$20,000	Apr-24	Permits issued
Sego Lily House	Townsite CLT	\$20,000	Jul-24	Paid
1625 N Sunset Drive	Claire DeChambre and Nicholas Geib	\$10,000	Aug-24	Paid
416 S San Francisco Street	Enrique Valdivia	\$5,000	Aug-24	Inspection complete - payment pending
823 W Aspen Ave	Caitlin Kelly	\$20,000	Aug-24	Paid
314 N Mogollon	Jeff and Karen Kramarcy	\$10,000	Sep-24	Paid
302E Route 66	Harry Curtin	\$10,000	Sep-24	Paid
803 1/2 W Aspen Ave	Greg Hadden	\$20,000	Sep-24	Permits issued
104 E Route 66	Bob Harris (contractor)	\$10,000	Nov-24	Permits Issued
FY25 Funding		\$160,000		
Available funds		\$15,000		

Heritage Preservation Commission

8. A. 1.

From: Lauren Clementino, Senior Planner/Heritage Preservation Officer

DATE: 04/16/2025

SUBJECT: 111 N. Leroux St. Letter Report

PROPERTY INFO:

Permit Number(s): PZ-25-00069

Address: 111 N. Leroux St.

Type of Approval: Cultural Resource Study - Letter Report

Approval Date: April 8, 2025

FINDINGS:

Report reviewed and accepted by HPO. The building at 111 N. Leroux St. was determined not to be eligible for listing in the National or Flagstaff Registers of Historic Places due to a lack of significance and integrity.

INFORMATION:

Cornerstone Environmental Consulting, LLC conducted a letter report evaluation of the building at 111 N. Leroux St. (APN 100-19-008-A) on behalf of the applicant (Capri, Inc.). This building was previously proposed for demolition for a mixed use development project, and exempted from a Cultural Resource Study because it was not 50 years old at the time. The building is now over 50 years old and proposed for demolition for a new project.

The applicant and property owner propose to demolish this building, along with structures on two adjacent parcels, in advance of proposed construction of a future hotel and parking garage. The proposed parking garage would be located on this parcel and the adjacent parcel at 123 N. Leroux St. (APN-100-19-007). The proposed hotel building would be located on the 19 W. Birch Ave. (APN-100-19-004-A) parcel. All three parcels are located within the Downtown Historic Overlay Zone, but are outside of the Railroad Addition Historic District.

The applications for Letter Reports for 123 N Leroux and this property are related to an upcoming hotel project that is mentioned in the Letter Report. These administrative approvals are limited to the ineligible buildings. The HPO has requested a Phase I Cultural Resource Study of the building at 19 W. Birch Ave. which has not yet been submitted for review. At this time no development application for the mentioned hotel has been submitted. The new hotel proposal will be subject to a Certificate of Appropriateness and scheduled during the development review process.

Certificate applications for the demolitions of 111 and 123 N. Leroux are separate agenda items.

Attachments

Cultural Resource Study Application
Letter Report CRS



City of Flagstaff

Community Development Division

211 W. Aspen Ave
Flagstaff, AZ 86001
www.flagstaff.az.gov

P: (928) 213-2618
F: (928) 779-7684

HPC-CRS

Date Received	Application to Heritage Preservation for a Cultural Resource Study	File Number
---------------	---	-------------

Property Owner(s) Bhavana Premg	Title	Phone 562-256-5813	Email bhavanaprema@gmail.com
Mailing Address			City, State, Zip

Applicant Capri Flagstaff LLC	Title	Phone 520-429-4256	Email jimecapriinc.com
Mailing Address 6867 W. Oracle STE 101 Tucson AZ 85704			City, State, Zip

Property Interest of Applicant(s) (Owner, contractual interest, or agent)
contractual interest

Site Address 111 N Leroux Street	City, State, Zip Flagstaff, Arizona, 86001
--	--

Project Name
Graduate Hotel and Parking Garage

Parcel Number(s) 100-19-008-A	Zoning District(s), including Overlays
---	--

Property Information:

Yes No Listed individually on the National or Arizona Register of Historic Places? (Name: _____)

Yes No Located in an existing Historic District? (Name: _____)

Yes No Has the structure every been inventoried or evaluated for the National Register?

Yes No Is the structure over 50 years old at the time of application?

Yes No Was all or a portion of the structure built before World War II as housing?

Is the subject property: Developed Vacant Land?

Type of HPC Application Requested: Cultural Resource Study Review - Please check all that apply:

Letter Report (May be reviewed by the Heritage Preservation Officer or the Commission)

Phase I (Must be reviewed by the Heritage Preservation Commission)

Phase II (Must be reviewed by the Heritage Preservation Commission)

Phase III (Must be reviewed by the Heritage Preservation Commission) May require redaction

Note: Applications which are incomplete or not accompanied by the required information will not be accepted.

Property Owner Signature: 	Date: 3/21/25	Applicant Signature: 	Date: 3/21/25
-------------------------------	-------------------------	--------------------------	-------------------------

For City Use

Date Filed: _____	HPC Hearing Date: _____
Fee Receipt #: _____	Amount: _____ Date: _____
Action by HPC: <input type="checkbox"/> Consent Approval by HPO	<input type="checkbox"/> Denied
<input type="checkbox"/> Approved	<input type="checkbox"/> Continued
<input type="checkbox"/> Approved with Conditions	Staff Initial: _____ Date: _____

Submittal Requirements

An application to the Heritage Preservation Commission and Historic Preservation Officer shall contain at least the following information:

1. Completed Application including all signatures and payment of fees. If applying for multiple types of HPC reviews only one fee is collected at the time of the first application for the same work.
2. A Cultural resource study, prepared by professionals qualified in accordance with the Secretary of the Interior's Standards and Guidelines for Archeology and Historic Preservation (36 CFR 61 Appendix A) as currently amended and annotated by the National Park Service.
3. Photographs of the context, including the property, surrounding properties, and the neighborhood.
4. Proof of ownership, or letter of authorization from the current property owner, if the applicant and owner are not the same.
5. List of content which may be confidential under federal law.
6. Any other information which the applicant feels would be helpful and/or pertinent to the request.
7. Any other information as may be required by the Historic Preservation Officer or Heritage Preservation Commission to assist in the review of the requested application.

Timing of Submission and Completeness Review

The Heritage Preservation Commission meets to review applications monthly on the third Wednesday of the month. If you are submitting an application for review of a Phase I, Phase II, or Phase III Cultural Resource Study, the Community Development counter must receive your application by the submittal deadline posted to the Heritage Preservation program website.

In order for your item to be added to an agenda, the Heritage Preservation Officer (HPO) must deem the application complete and the information in it correct within 5 working days. The HPO will contact applicants for additional information as necessary.

Please also note that per the Flagstaff Zoning Code, the Heritage Preservation Officer may refer any application, including Letter Reports to the Commission for any reason. If the Heritage Preservation Officer refers the application, you will not need to resubmit, but additional materials may be requested.

If the Cultural Resource Study being submitted contains information that may be confidential under the National Historic Preservation Act or the Native American Grave Protection and Repatriation Act, please notify the HPO in advance of submitting your application for instructions on redaction(s).

Approval of a Cultural Resource Study does not indicate a final approval of a demolition permit, site plans, building plans, permanent sign permits and other applications that will be required prior to demolition, modification or construction.

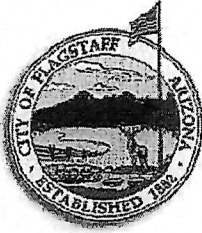
If mitigation is approved as part of the study approval, final design of mitigation must meet all the requirements of the Flagstaff Zoning Code or Building Code, unless otherwise stated in Flagstaff City Code, Section 10-30.30 or in the requirements of the overlay zone. The Heritage Preservation Officer or Commission may elect to hold an application until a review by the InterDivision staff is completed and substantive comments have been provided to the applicant, if the mitigation proposed would require additional approvals by planning, building, or other city staff.

We encourage you to reach out early in designing your projects so that the HPO may assist you.
HPO contact information: Lauren Clementino, Phone: (928) 213-2633; Email: lclementino@flagstaffaz.gov

Description of the need for the Resource Study (i.e., demolition, alteration, grading, etc.)

See attached Letter Report

Insert additional pages if necessary



City of Flagstaff
 Community Development Division
 Building Safety & Code Compliance Section
 211 W. Aspen Avenue
 Flagstaff, AZ 86001

Phone: (928) 213-2627 Email: Buildingpermits@flagstaffaz.gov

OWNER AUTHORIZATION FORM

I (property owner) do hereby authorize Jim O'Connell Capri Flagstaff LLC
Agent's Name and Company (if applicable)
 to act on my behalf for improvements at 111 N VERONX ST FLAGSTAFF AZ 86001
Property Address / Suite / Unit
 and to obtain building permit(s) on my behalf for the work specified below. If the property has more than one owner, I certify that I have authority to provide this authorization on behalf of all owners.

Residential:

<input type="checkbox"/>	New Build / SFR	<input type="checkbox"/>	Remodel
<input type="checkbox"/>	Addition (attached)	<input type="checkbox"/>	Accessory (detached)
<input type="checkbox"/>	Roof	<input type="checkbox"/>	Manufactured Home / Park Model
<input type="checkbox"/>	Demolition	<input type="checkbox"/>	Solar System
<input type="checkbox"/>	Mechanical	<input type="checkbox"/>	Plumbing
<input type="checkbox"/>	Gas	<input type="checkbox"/>	Fence / Walls
<input type="checkbox"/>	Electrical	<input type="checkbox"/>	Other (specify):

Commercial:

<input type="checkbox"/>	New Build	<input type="checkbox"/>	Tenant Improvements
<input type="checkbox"/>	Addition (attached)	<input type="checkbox"/>	Accessory (detached)
<input type="checkbox"/>	Roof	<input type="checkbox"/>	Modular Building
<input type="checkbox"/>	Demolition	<input type="checkbox"/>	Mechanical
<input type="checkbox"/>	Gas	<input type="checkbox"/>	Plumbing
<input type="checkbox"/>	Sign	<input type="checkbox"/>	Fence / Walls
<input type="checkbox"/>	Site Improvements	<input type="checkbox"/>	Change in Occupancy
<input type="checkbox"/>	Cell Tower	<input type="checkbox"/>	Other (specify): <u>Demolition of Building</u>

By signing this Form, I acknowledge and agree that I am not released from responsibility for: (1) the payment of any and all fees associated with the issuance of any permits, orders, notices, or other approvals ("Approvals") by the City of Flagstaff pursuant to my agent's application; (2) the satisfactory completion of all work authorized by such Approvals in compliance with all applicable county, state, and federal laws, codes, rules, regulations, and requirements; and (3) correcting any violations of the terms and conditions of such Approvals issued by the City of Flagstaff pursuant to my agent's application.

Property Owner's Signature:

Printed Name: Bhavana Prema
 Signature: Bhavana Prema
 Phone: 928 562 256 5813
 Email: bhavnaprema@gmail.com Date: 1/16/25



320 N. Leroux Street, Suite A
Flagstaff, Arizona 86001
Tel. (928) 522-4148

April 7, 2025

Lauren Clementino
Heritage Preservation Officer
City of Flagstaff
211 West Aspen Avenue
Flagstaff, Arizona 86001

Re: Historic Resource Study Letter Report for 111 North Leroux Street

Ms. Clementino,

Cornerstone Environmental Consulting, LLC conducted a Historic Resource Study (HRS) at 111 North Leroux Street (APN 100-19-008-A) on behalf of Capri, Inc. The property consists of a commercial building that is over 50 years old and a parking lot. The HRS was undertaken prior to the planned demolition of the building for the construction of a 4–6 floor parking garage on the property.

The building is not listed on any registers of historic buildings, though the property is within the Downtown Historic District Overlay Zone and is adjacent to the Railroad Addition Historic District. The subject property is recommended as not significant under any national, state, or local register criteria and/or lacks the required integrity to convey any such significance. No further archival work, study, or architectural documentation is recommended for the property.

Regards,

A handwritten signature in cursive script that reads "Samuel Hemsley".

Samuel Hemsley, M.A., RPA
Assistant Project Manager

LETTER REPORT FOR 111 NORTH LEROUX STREET

This letter report represents the findings of a Historic Resource Study (HRS) completed by Cornerstone Environmental Consulting, LLC (Cornerstone) on behalf of Capri, Inc. for 111 North Leroux Street (APN 100-19-008-A) in Flagstaff, Arizona (Photograph 1; Figure 2; Figure 2; Figure 3; Figure 4; Figure 5). The parcel is occupied by a vacant commercial building that is slated for demolition. This HRS is being conducted concurrently with studies at 123 North Leroux Street (APN-100-19-007) and 19 West Birch Avenue (APN-100-19-004-A), also by Cornerstone on behalf of Capri, Inc., in advance of the planned construction of a hotel at 19 West Birch Avenue with an associated 4–6 floor parking garage on the other two parcels.



Photograph 1. The exterior of 111 N Leroux Street, facing west, no parking sign roughly marks the beginning of the 1994 additions, which extends to north.

Street Address: 111 North Leroux Street

APN: APN 100-19-008-A (0.33 ac)

Subdivision: Flagstaff Townsite

Block: 19

Lots: 22, 23, 24, 25

Construction Date: 1949, 1994

Period of Significance: 1882–1975

Property Type: Commercial

Historic Resource Study Letter Report for 111 North Leroux Street
March 21, 2025

Areas of Significance: N/A

This work will assist the proponent to comply with the City of Flagstaff's zoning codes (10-30.30.050) regarding historic properties and cultural resources. Pursuant to Section 10-30.30.050.A.3.c.1 (Letter Reports) of the Flagstaff Zoning Code, a Letter Report is considered the appropriate level of study if site conditions, archival records, or previous research suggest that significant cultural resources are not likely present, the integrity of a cultural resource is already severely compromised, the proposed work will not compromise the integrity of the cultural resource, or when no mitigation measures are warranted.

The project area is in the southeastern corner of the southeast section of Section 16 of Township 21 North, Range 7 East. The property is within the Downtown Historic District Overlay Zone; however, this district has not undergone an evaluation and nomination process. The property is immediately adjacent to the Railroad Addition Historic District. This district designates one of the oldest and most central areas of historic Flagstaff and is discussed further below and partially overlaps with the Downtown Historic District Overlay Zone. This district will be used for historic context, background, architectural examples, and evaluation of significance and integrity (Janus 1979).

Cornerstone conducted the study by searching historical records and visiting the subject property. Historical records and their sources include, but are not limited to:

- Coconino County Assessor's Office: Property Record Cards, Transfer Cards, and Property Record History
- Coconino County online parcel viewer
- Flagstaff Historical Building Survey
- Flagstaff Telephone and City directories
- Northern Arizona University (Special Collections & Archives): Sanborn maps, Coconino County Plat Maps, Flagstaff building timeline project archive, Charlie Dryden Collection, Colorado Plateau Archive, and historical maps
- Historical Topographic Maps: 1900, 1908, 1912, 1947, 1954, 1960, 1962, 1974, 1982, and 1983
- Arizona Digital Newspaper Program and Newspapers.com: articles from period newspapers.

In addition to the above research, a site visit was performed by Cornerstone Archaeologists Jack Treichler, Samuel Hemsley, and Sam Mitchell on February 20, 2025. The visit entailed walking the exterior and interior of the property, photo-documenting the current condition of the building, taking notes on how the building has changed since the period of significance, and noting material types and changes to the setting.

Historical Background

This section briefly describes the history of the Flagstaff Railroad Addition Historic District, including the occupants/owners of 111 North Leroux Street, and provides a narrative of significant events that took place therein.

Flagstaff's Railroad Addition Historic District

The story of Flagstaff is a story shared by many railroad towns throughout the United States. Encouraged by large federal land grants which granted vast swaths of acreage to railroad companies, the companies established vital arteries connecting the eastern and western coasts of the United States together.

Project Locator

NW: 12N 440927m E, 3895339m N
NE: 12N 440966m E, 3895323m N
SW: 12N 440915m E, 3895308m N
SE: 12N 440954m E, 3895293m N

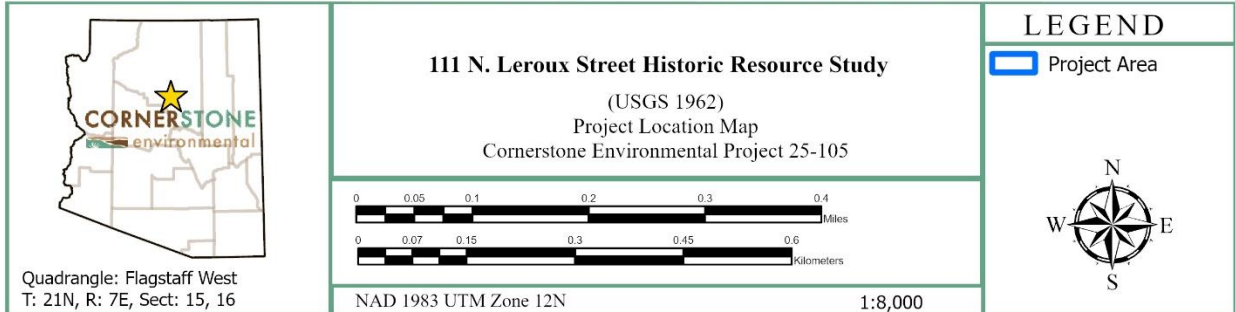


Figure 1. Topographic map showing project area.

Project Locator

NW: 12N 440927m E, 3895339m N
NE: 12N 440966m E, 3895323m N
SW: 12N 440915m E, 3895308m N
SE: 12N 440954m E, 3895293m N

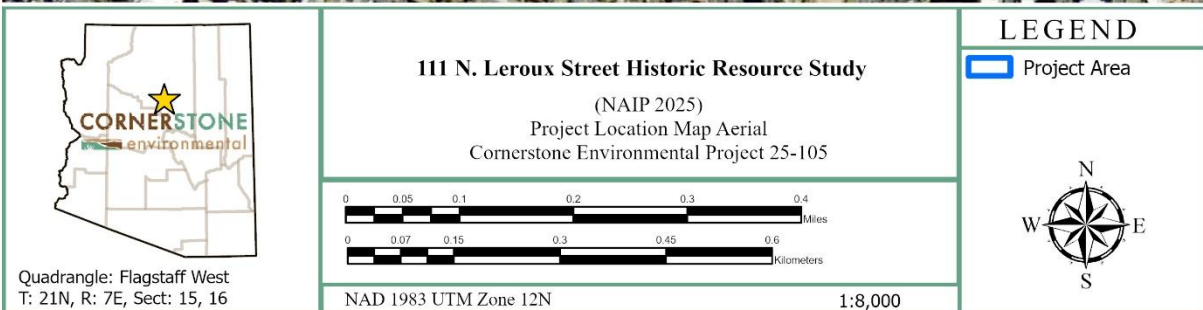
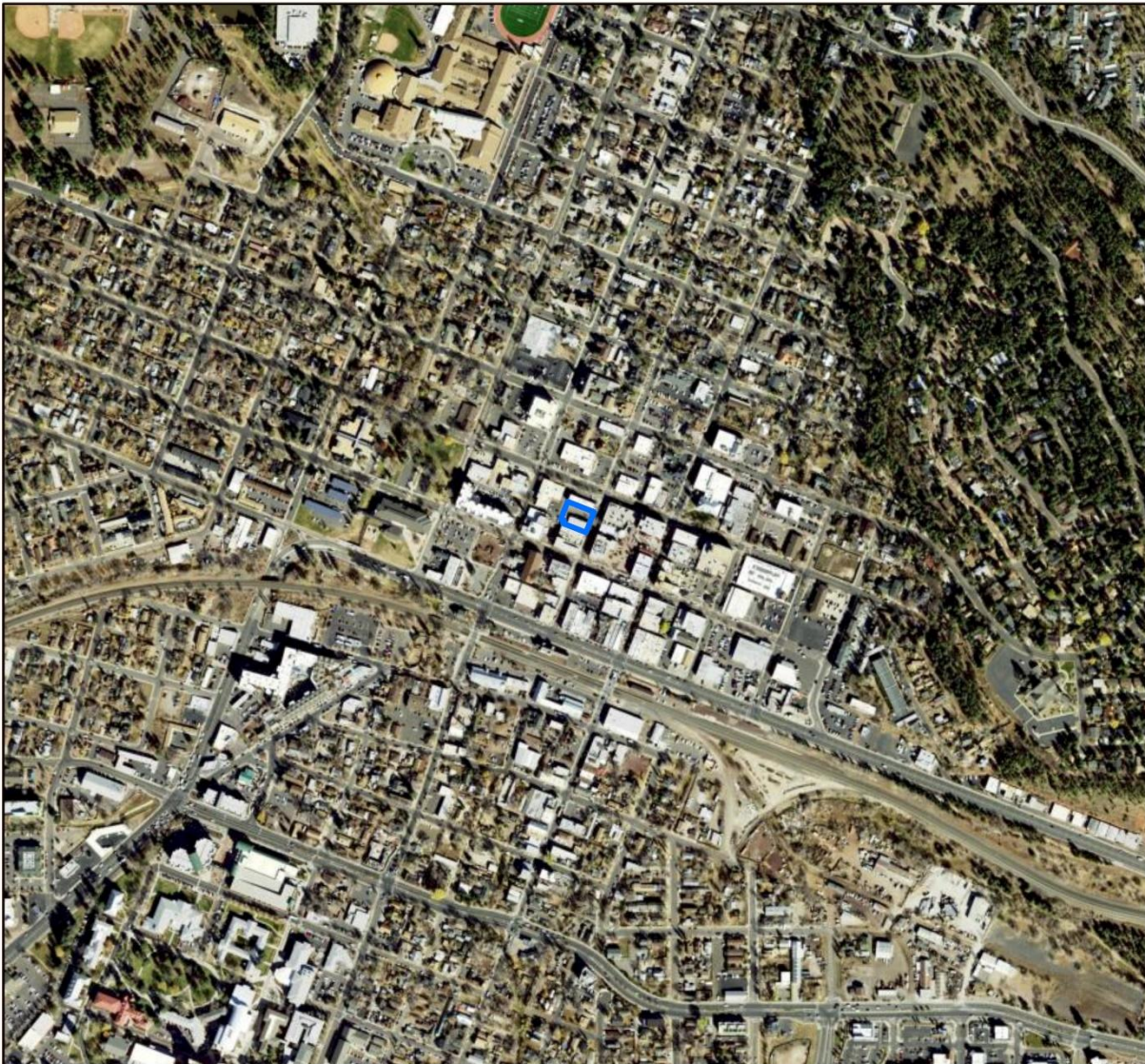


Figure 2. Aerial map showing project area.

Project Locator

NW: 12N 440927m E, 3895339m N
NE: 12N 440966m E, 3895323m N
SW: 12N 440915m E, 3895308m N
SE: 12N 440954m E, 3895293m N

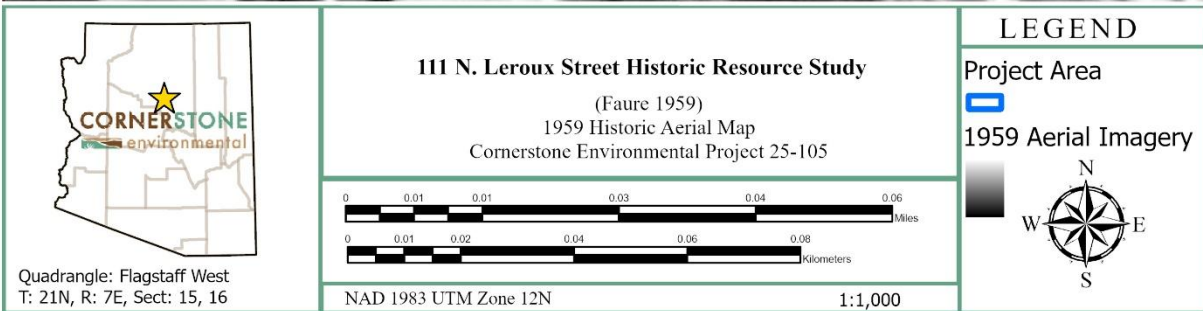


Figure 3. Historic aerial from 1959 showing project area. The building in question is in the bottom right of the project area polygon.

Project Locator

NW: 12N 440927m E, 3895339m N
NE: 12N 440966m E, 3895323m N
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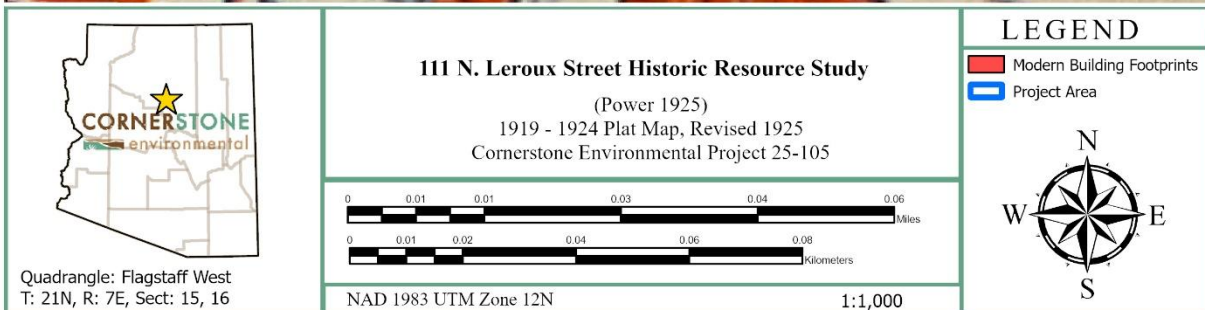


Figure 4. Historic plat map from 1925 showing project area and modern building footprint.

Project Locator

NW: 12N 440927m E, 3895339m N
NE: 12N 440966m E, 3895323m N
SW: 12N 440915m E, 3895308m N
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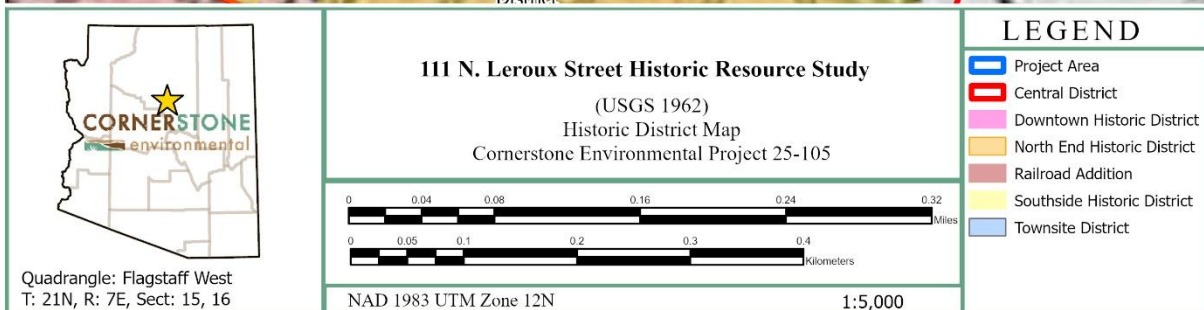
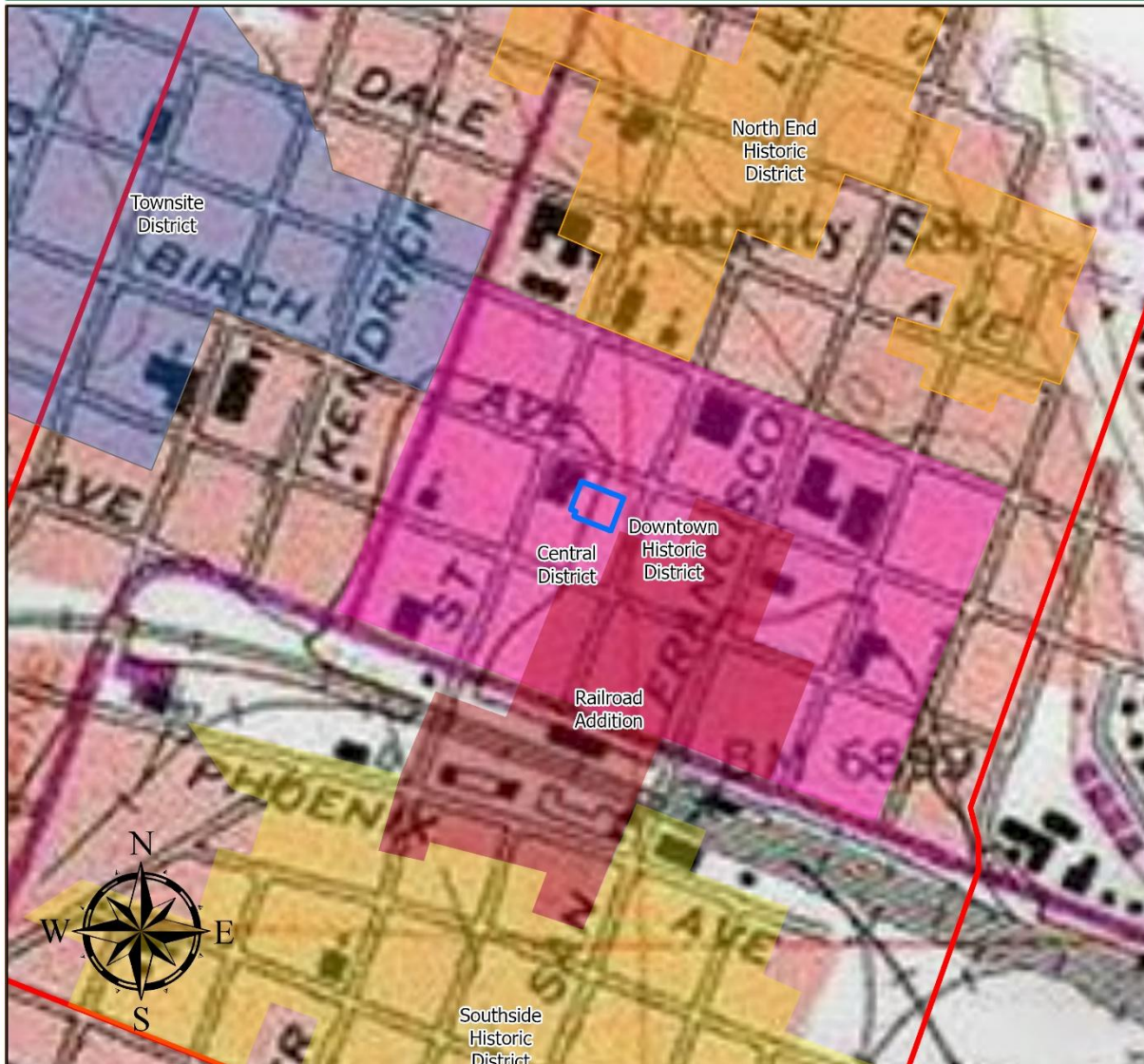


Figure 5. USGS topographic map showing the project area and nearby historic districts.

To help finance the continued construction and expansion of the railroads, the companies would subdivide and sell the land granted to them by the government to interested settlers (Paradis 2003). In this manner the Federal Government was able to solidify control over the western United States and simplify logistics, the railroad companies were able to both acquire the land needed for expansion and fund said expansion, and settlers were given easy access and ample opportunity to purchase or acquire land. Because of the importance of the railroad as the means of access to these newly exploitable areas, the railroad would understandably play a key role in community development (Paradis 2003).

Flagstaff's Railroad Addition Historic District has its origins in the New Town that was established in 1882 as a result of the Atlantic and Pacific Railroad (later known as the Santa Fe Railroad) not being able to reach the location of Old Town, which was set up along Antelope Spring, as a result of a steep grade. As a result, New Town was set up along a newly constructed sandstone depot where the train could stop, approximately a half a mile east of Old Town. Street grids were planned and laid out and New Town began to grow as people relocated to take advantage of the economic opportunities that proximity to the depot would bring (Paradis 2003). The two towns would continue to grow for the next few years, with settlers coming from as far away as New York and Kansas, until Old Town experienced a severe fire in 1884. As a result of the fire damage, recovery efforts, and people relocating to the other town site, New Town swiftly began to outpace Old Town in growth, and Old Town was no longer seen as the "true" Flagstaff townsite (Cline 1976; Janus 1979; Paradis 2003).

In a turn of fate, New Town itself was impacted by a fire in 1886 and 1888. As a result of the fires, new construction was required to use brick or stone to help minimize the impact of further fires, and water infrastructure was put into place to help fight any fires that may arise (Janus 1979; Paradis 2003). The fires and the growth associated with them also opened new opportunities for immigrants into the town, as the Babbitt brothers first arrived in 1886 shortly after the fires were quelled (Cline 1976). The town continued to grow, with buildings spreading out from the railroad depot. The Post Office from Old Town relocated to New Town, and the Bank of Flagstaff was organized and established in 1887 by Thomas McMillan (Janus 1979). As all new constructions now utilized more permanent, fireproof materials, the structural nature of the town structures shifted from wood and canvas to brick and stone.

In 1888, David Babbitt, then owner of a lumber yard and hardware business located on the corner of San Francisco and Aspen, began to buy out nearby merchants, such as P.J. Brannen. David partnered with his brother George Babbitt and formed the Babbitt Brothers Trading Company. Soon after, their brothers William, Charles, and Edward arrived to help expand and manage the swiftly growing company, which quickly became the leading merchant in the area through profits from cattle, trading posts, and real estate in Flagstaff and the surrounding areas (Cline 1976). The company office was a two-story brick and sandstone building which replaced the hardware store and was expanded over the years as the company grew (Janus 1979). The company building would become and remain a Flagstaff landmark, even after the company closure in 1987 (Paradise 2003).

In 1891, Governor John Irwin announced the formation of Coconino County, which was split from part of the existing Yavapai County. Flagstaff was chosen as the county seat for the new county and the town was fully incorporated in 1894, with Flagstaff's first city hall and courthouse being erected shortly thereafter. By 1890 Flagstaff had developed a fire department, fully realized water infrastructure, telephone and electrical power services (Cline 1976; Janus 1979).

Other industries and factors began to influence Flagstaff's economic development in the 1890s. A red sandstone quarry located to the east of town began to operate fully and was fulfilling material contracts for large cities such as Chicago and Los Angeles. In 1894, Percival Lowell located his observatory onto the mesa located to the west of the town center, which is now known as Mars Hill. Lowell's scientific observations contributed to putting Flagstaff on the map, though this was through scientific endeavor

rather than economic growth. Tourism began also began to play an important role in Flagstaff's economic development by 1895, when a stage line ran between Flagstaff and the Grand Canyon three times a week, and the influx of summer tourists seeking to escape the heat caused serious housing shortages in the town during the summer months. In 1899 the Flagstaff Normal School (now known as Northern Arizona University) opened its doors, and this along with several private and public schools in the town provided centers of education (Cline 1976; Janus 1979)

Flagstaff continued to steadily grow into the 1920s, with the Babbitts expanding their business portfolio and real estate, establishing a brick warehouse and three-story garage in 1915, and with competitors springing up such as Fred Hensing and Sam Finely who opened commercial ventures in large, commercial buildings in 1912 and 1915 respectively. These new constructions further changed the character of downtown, with Sam Finely's commercial building being the first three story tall building in the entire county, while also introducing a wave of new architectural styles into the area, such as Tudor and Greek Revival (Janus 1979; Paradis 2003)

This growth was swiftly followed by a slump, as Flagstaff was affected by the prohibition-era economic slump which impacted the rest of the country, and many buildings became abandoned or began to fall apart. To help combat this slump, the townsfolks constructed a new train depot at Leroux Street and established the Hotel Monte Vista in 1928. The increasing importance of the automobile was also of great benefit to Flagstaff, as Santa Fe Avenue would become part of the Old Trails National Highway system and later become Route 66, a vital artery bringing thousands to and through Flagstaff (Janus 1976).

However, the increasing use of automobiles also meant that the train depot locations were no longer vital nodes for commerce and tourists, and because of this change development soon stopped within what is now the Flagstaff Railroad Addition Historic District and focused instead along the route of Route 66, which was becoming increasingly accessible (Janus 1979).

Property History

The investigated property had a complicated chain of ownership in the late 19th century and early 20th century. According to County records and Sanborn Maps, the property appears to have been first owned by the Atlantic and Pacific Railroad Company in the 1880s, who transferred large blocks of land including the property over to one Henry Fulton, a prominent sheep herder and wool grower in the late 19th century. Henry Fulton and his wife, Julia, would then mortgage the property to one Julia Vories, mother of Merrell Vories Hitotsuyanagi, an architect and missionary, in July of 1893, though at least some parts of the property appear to have been seized by the Territory of Arizona in December of 1893 and sold for tax delinquency. The 1890 and 1892 Sanborn maps show a residential dwelling, stable and small outbuilding which would have been owned by the Fultons and were transferred along with the property in all following sales and transfers (Sanborn Map Company 1890; 1892). A.J. Cornish, the treasurer and tax collector of Coconino County, would then sell the property to the Arizona Lumber and Timber Company (AL&T) in 1896. The AL&T would hold onto the property for several years before selling it to Julia Vories in 1899, who had temporarily held the property in 1893. The property would again change hands in 1904 when the Vories sold the property to Mary Keller. Keller would retain the property until at least 1917, as evidenced by a Quit Claim Deed for the property which forfeited the easternmost 4 feet (ft) of the property to the city, likely for infrastructure construction.

Sanborn Maps from 1890 to 1948 show that there was a residential building and associated structures such as stables, auto garages, and small unlabeled buildings located on the property throughout this early period. The existence of structures on the lot is also confirmed by a 1925 Plat Map, which shows structures on Lots 22 through 25 of Block 19. As a result of missing or incomplete records, the chain of ownership after 1917 is unclear until the 1930s.

The building appears to have been a Social Security Board office in 1938 and likely several years prior. However, later in 1938 the Social Security office was no longer in the building and one ACME Cleaning Company, owned by Clyde P. Wing and Mildred V. Wing took over the property (Carney 2013) Records of sale or transfer of the property are incomplete, so it is unclear if or when the Wings bought the property or had the property transferred to them. Clyde P. Wing and Mildred V. Wing were both originally natives of Dewitt, Iowa. Clyde P. Wing was a WWI Navy Veteran while Mildred V. Wing was a businesswoman back in Iowa, and the president of the Dewitt branch of the Business and Professional Woman's Club. Her participation with the organization would continue in Flagstaff, and Mildred would become a key and long-term member of the Flagstaff branch (ADS 1954; 1955b). Once in town the Wings had an active social life and frequently had guests over for dinners and birthday parties (ADS 1950). ACME Cleaning would remain a downtown Flagstaff staple until April 1961, when the company last appeared in the city directory and a notice of sale by the Wings appears in the Arizona Daily Sun. The property would be sold to Warren and Jeanette Brinton, who would immediately sell the property to Ernest and Wilma Harris (ADS 1961a). After the sale to the Harris family in April, the business was noted to be closed down in a July 1961 Meeting of the Board of Supervisors for Coconino County and would be remain unlisted until 1962 when the property was noted to be the new location of Gene's Shoe Hospital, indicating the property had been obtained by Eugene "Gene" Anderson (Figure 6; ADS 1961; 1962). County records and notices of sale about the transfer of ownership are incomplete, so it is unclear if the property was bought from the Harris family.

Eugene Anderson and his family were originally from Coolidge, Arizona and prior to moving to Flagstaff they operated a shoe repair store in Globe, Arizona. The family moved to Flagstaff and opened the first



Figure 6. 1955 Arizona Daily Sun newspaper clipping showing Eugene Anderson at work in his shop.

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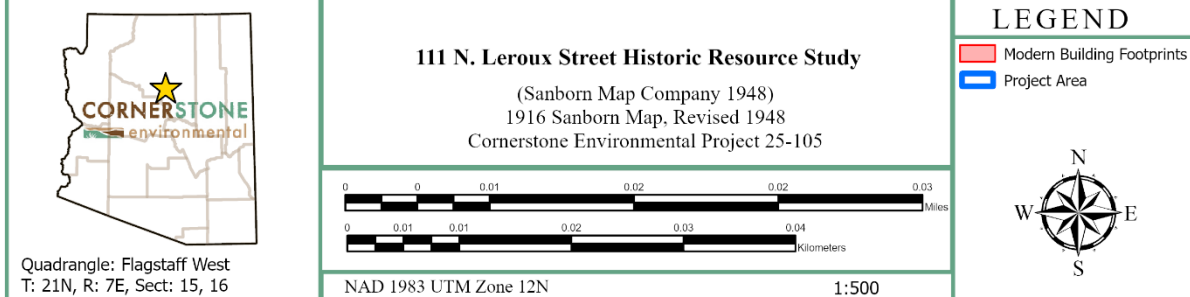
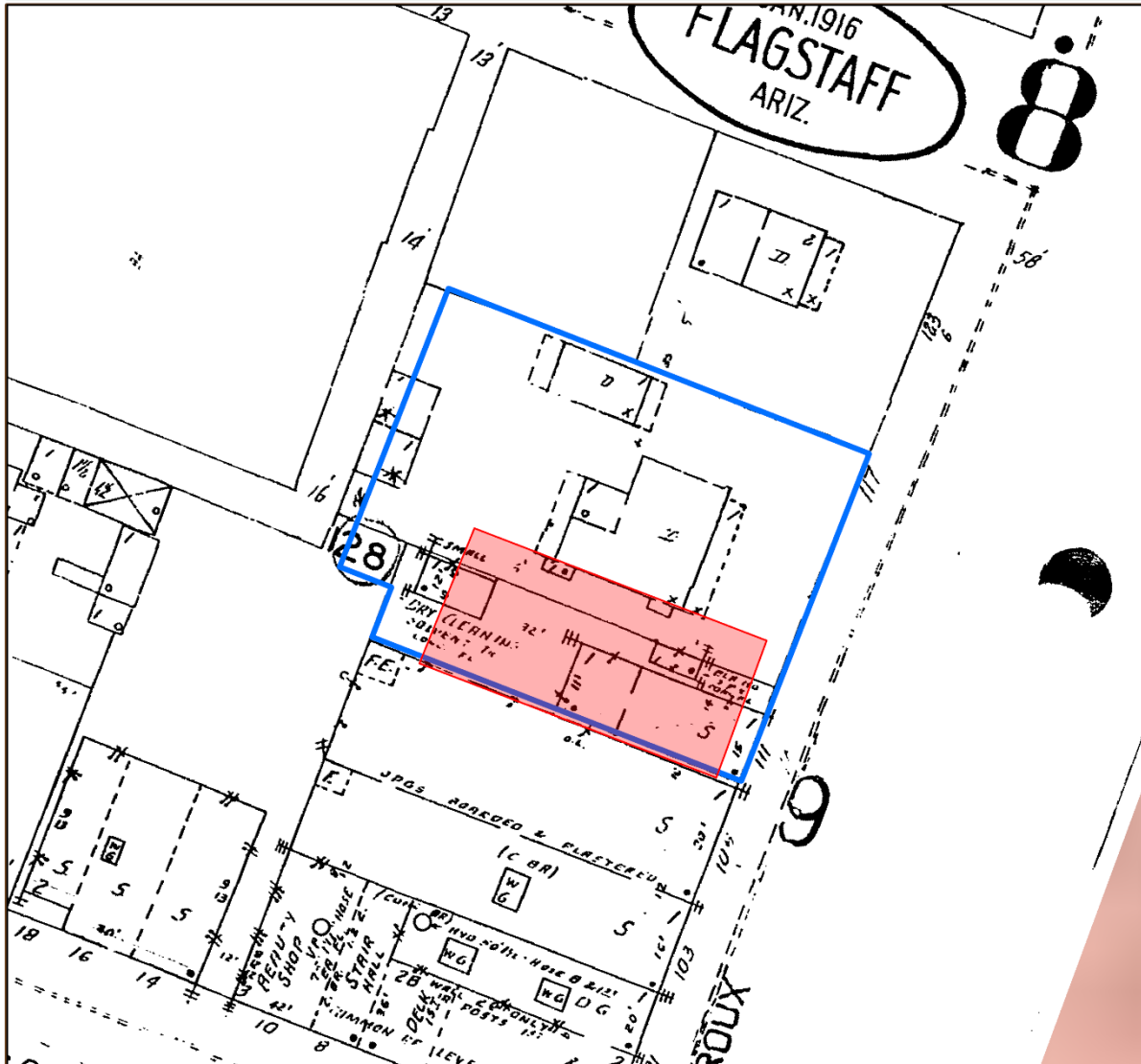


Figure 8. Sanborn Fire Insurance Company map from 1948 showing the original 1948 building floorplan with the modern building footprint overlaid.

north (Photograph 2; Photograph 3). The building has a partial basement toward the west (rear; Photograph 4). The building is one story high and does not appear to have ever had a second floor. The building has recently been gutted, exposing many internal construction elements.

Apart from the basement the building appears to be largely constructed atop a poured concrete pad foundation. The recent stripping of the interior has exposed bare cinder fill roughly within the footprint of the original 1949 structure. The building abuts and shares its southern wall with the historic building at 109 North Leroux Street. This wall is of unshaped malpais masonry. The west and north walls are a result of the 1994 remodeling and are of concrete masonry unit (CMU) construction, as well as a portion of the east wall. The portion of the east (front) wall corresponding to the original 1949 structure is partially timber framed and may be original. The remaining interior walls are of CMU construction and do not appear to be original. The roof is a single-plane shed-type roof descending from east to west, and based off the interior supports and framing it does not appear to be original.



Photograph 2. Photograph of 111 N. Leroux showing the eastern face of the building and the adjoining malpais structure. The portion of the building shown is part of the 1994 addition.

Windows and doors are all modern steel-framed construction and likely date to 1994. The exterior wall cladding is beige stucco over CMU, with a short brick façade footer running the length of the east and north elevations. A framed canopy runs the length of the east elevation and most of the north elevation, with CMU supports and a wood shingle roof. All exterior finishing appears modern and likely dates to the 1994 remodeling. The building does not possess any characteristics of a particular type or style of architecture.

Evaluation of Significance

The subject property is within the Flagstaff Downtown Historic District Overlay Zone. According to communications with the City of Flagstaff, this district is an overlay used for planning and development though it has not been evaluated nor nominated for the National Register of Historic Places (NRHP). The property is immediately adjacent to the Railroad Addition Historic District. This district designates one of the oldest and most central areas of historic Flagstaff and partially overlaps with the Downtown Historic



Photograph 3. Photograph of 111 N. Leroux showing the northern face of the building and the parking lot located on the northern side. The portion of the building shown is part of the 1994 addition.

District Overlay Zone. This letter report uses the Railroad Addition Historic District to provide historic context for the evaluation of significance and integrity (Janus 1979). The period of significance for the Flagstaff Railroad Addition Historic District is 1882–1975, beginning with the establishment of New Town in 1882, which would form the core of the district, and ending 50 years prior to this study. The possible areas of significance are Community Planning and Development (City of Flagstaff Criterion B; NRHP Criterion A), Significant Persons (City of Flagstaff Criterion C; NRHP Criterion B), and Architecture (City of Flagstaff Criterion D; NRHP Criterion C). The property is not eligible under City of Flagstaff Criterion A, as the property is not listed or eligible on the National Historic Landmark, NRHP or Arizona Register of Historic Places.

Eligibility for the NRHP under Criterion A (City of Flagstaff Criterion B) requires association with events that have made significant contribution to the patterns of history. The building at 111 North Leroux Street is located adjacent to the Flagstaff Railroad Addition Historic District, which is a significant part of Flagstaff's history and development. As discussed in the property history section of this letter report, through its existence the property has undergone development which broadly mirrors that of the adjacent



Photograph 4. The interior of 111 N Leroux Street, looking southwest, the access to the original 1949 basement is in the forefront of the image, while the westernmost section of the 1994 addition begins at the cinderblock wall behind the stairway. The malpais southern wall is original and is shared with the neighboring building.

Railroad Addition Historic District, starting off as being a residential plot in the later 1890s and early 1920s the property gradually developed and housed governmental buildings in the form of a Social Security office sometime after 1935 before hosting ACME Cleaners from 1938 to 1963, after which the parcel was sold and Gene's Western Wear and Shoe Hospital opened. Gene's would remain at 111 North Leroux Street for the remainder of its existence, finally closing its doors in 2013. While the parcel history broadly aligns with NRHP Criterion A (City of Flagstaff Criterion B), the property is not associated in important or substantial enough ways to be significant under NRHP Criterion A or City of Flagstaff Criterion B.

Eligibility for the NRHP under Criterion B (City of Flagstaff Criterion C) requires that a property is associated with the lives of significant persons. While the property was held by first the Wing Family and then the Anderson Family during the properties period of significance, it is difficult to argue that either family had a significant impact on the overall history of Flagstaff. While both families operated businesses, neither business had a significant or lasting impact on Flagstaff as a whole.

Eligibility for the NRHP under Criterion C (City of Flagstaff Criterion D) requires that a building must be a good example of an architectural type or style in its design, materials, and workmanship as it once appeared. The theme of Architecture refers to a property's significance for its physical design or construction that expresses aesthetic ideals or preferences that refer to the way in which a property was conceived, designed, or fabricated. Throughout its life the property has seen significant remodeling,

culminating in the 1994 remodeling which resulted in the property's modern appearance (Photograph 5). The fascia sign for Gene's Western Wear and Shoe Hospital is now completely covered up by a wooden eave and façade, though the sign is still extant. As a result of these severe changes to the architecture of the building, it is difficult to make the argument that the property is architecturally original or special.

The building at 111 North Leroux Street was built over 50 years ago but is recommended as not significant under any criteria. Records obtained from the Coconino County Assessor's Office and additional archival sources indicate that the building was built by 1948, although it was possibly built in the mid-1930s. Observations of design elements and construction techniques made during site visits do not contradict this construction date.

As a result of the development history of the parcel, the parcel and building interior has lost much of its integrity in the subsequent years since Gene's closed its doors. Significant remodeling, culminating in the 1994 remodeling which resulted in the property's modern appearance (*see* Photograph 5). The fascia sign for Gene's Western Wear and Shoe Hospital is now completely covered up by a wooden eave and façade, though the sign is still extant. As a result of the integrity of the exterior has been severely diminished. Additionally the building interior having been gutted in some spots down to the cinders and a significant addition being added onto the building sometime in 1994 (Photograph 6). As a result of the extensive remodeling and development at 111 North Leroux Street and the surrounding area since the period of significance, the property no longer retains aspects integrity such as design, setting, materials,



Photograph 5. The interior of 111 N Leroux Street, looking west, the original 1949 construction is located along the cinder area to the left. The southern wall of the building appears to be original and is shared with the neighboring building.



Photograph 6. The interior of 111 N Leroux Street, looking east out to Leroux Street, the original 1949 construction begins roughly at the beam and proceeds south, east, and west. All the interior of the building has been gutted, displaying structural elements.

workmanship, feeling, and association. As the property is recommended as not significant, an in-depth integrity assessment is not necessary.

Summary and Recommendations

Cornerstone recommends the ca. 1949 building at 111 North Leroux Street as not significant under any established theme or criteria for any national, state, or local register (NPS 2002). In this case such themes or criteria include community planning and development, significant persons, and architecture. Since the building was never significant, the aspects of integrity are irrelevant. The architectural integrity of original design, materials, and workmanship has been negatively impacted, to the extent that they are no longer retained. The aspect of integrity of feeling, when standing in front of the building, has also been diminished to the point that the building no longer conveys the feeling of a historic business.

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Heritage Preservation Commission

8. A. 2.

From: Lauren Clementino, Senior Planner/Heritage Preservation Officer

DATE: 04/16/2025

SUBJECT: 123 N. Leroux St. Letter Report

PROPERTY INFO:

Permit Number(s): PZ-25-00070

Address: 123 N. Leroux St.

Type of Approval: Cultural Resource Study - Letter Report

Approval Date: April 8, 2025

FINDINGS:

Report reviewed and accepted by the Historic Preservation Officer (HPO). The building at 123 N. Leroux St. was determined not to be eligible for listing in the National or Flagstaff Registers of Historic Places due to a lack of significance and integrity.

INFORMATION:

Cornerstone Environmental Consulting, LLC conducted a letter report evaluation of the building at 123 N. Leroux St. (APN-100-19-007) on behalf of the applicant/property owner (Capri, Inc.). This building has not been previously studied.

The applicant/property owner proposes to demolish this building, along with structures on two adjacent parcels, in advance of proposed construction of a future hotel and parking garage. The proposed parking garage would be located on this parcel and the adjacent parcel at 111 N. Leroux St. (APN 100-19-008-A). The proposed hotel building would be located on the 19 W. Birch Ave. (APN-100-19-004-A) parcel. All three parcels are located within the Downtown Historic Overlay Zone, but are outside of the Railroad Addition Historic District.

The applications for Letter Reports and Certificates of No Effect for 111N Leroux and this property are related to an upcoming hotel project that is mentioned in the Letter Report. These administrative approvals are limited to the ineligible buildings. The HPO has requested a Phase I Cultural Resource Study of the building at 19 W. Birch Ave., which has not yet been submitted for review. At this time, no development application for the hotel has been submitted. The new hotel proposal will be subject to a Certificate of Appropriateness and scheduled during the development review process.

Attachments

Cultural Resource Study Application
Letter Report CRS



City of Flagstaff

Community Development Division

211 W. Aspen Ave
Flagstaff, AZ 86001
www.flagstaff.az.gov

P: (928) 213-2618
F: (928) 779-7684

HPC-CRS

Date Received	Application to Heritage Preservation for a Cultural Resource Study		File Number
Property Owner(s) Capri Flagstaff LLC	Title Managing member	Phone	Email
Mailing Address 6867 N. Oracle STE 101	Tucson AZ 85704		City, State, Zip
Applicant Capri Flagstaff LLC	Title	Phone 520-429-4256	Email Jim
Mailing Address 6867 N. Oracle STE 101	Tucson AZ 85704		City, State, Zip
Property Interest of Applicant(s) (Owner, contractual interest, or agent) Owner			
Site Address 123 N Leroux Street		City, State, Zip Flagstaff, Arizona, 86001	
Project Name Graduate Hotel and Parking Garage			
Parcel Number(s) 100-19-007		Zoning District(s), including Overlays	
Property Information:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Listed individually on the National or Arizona Register of Historic Places? (Name: _____) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Located in an existing Historic District? (Name: _____) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Has the structure every been inventoried or evaluated for the National Register? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Is the structure over 50 years old at the time of application? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Was all or a portion of the structure built before World War II as housing? Is the subject property: <input checked="" type="checkbox"/> Developed <input type="checkbox"/> Vacant Land?		
Type of HPC Application Requested:	Cultural Resource Study Review - Please check all that apply: <input checked="" type="checkbox"/> Letter Report (May be reviewed by the Heritage Preservation Officer or the Commission) <input type="checkbox"/> Phase I (Must be reviewed by the Heritage Preservation Commission) <input type="checkbox"/> Phase II (Must be reviewed by the Heritage Preservation Commission) <input type="checkbox"/> Phase III (Must be reviewed by the Heritage Preservation Commission) May require redaction		
Note: Applications which are incomplete or not accompanied by the required information will not be accepted.			
Property Owner Signature: 	Date: 3/21/2025	Applicant Signature: 	Date: 3/21/2025
For City Use			
Date Filed: _____	HPC Hearing Date: _____		
Fee Receipt #: _____	Amount: _____ Date: _____		
Action by HPC:	<input type="checkbox"/> Consent Approval by HPO <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied <input type="checkbox"/> Continued		
	Staff Initial: _____ Date: _____		

Submittal Requirements

An application to the Heritage Preservation Commission and Historic Preservation Officer shall contain at least the following information:

1. Completed Application including all signatures and payment of fees. If applying for multiple types of HPC reviews only one fee is collected at the time of the first application for the same work.
2. A Cultural resource study, prepared by professionals qualified in accordance with the Secretary of the Interior's Standards and Guidelines for Archeology and Historic Preservation (36 CFR 61 Appendix A) as currently amended and annotated by the National Park Service.
3. Photographs of the context, including the property, surrounding properties, and the neighborhood.
4. Proof of ownership, or letter of authorization from the current property owner, if the applicant and owner are not the same.
5. List of content which may be confidential under federal law.
6. Any other information which the applicant feels would be helpful and/or pertinent to the request.
7. Any other information as may be required by the Historic Preservation Officer or Heritage Preservation Commission to assist in the review of the requested application.

Timing of Submission and Completeness Review

The Heritage Preservation Commission meets to review applications monthly on the third Wednesday of the month. If you are submitting an application for review of a Phase I, Phase II, or Phase III Cultural Resource Study, the Community Development counter must receive your application by the submittal deadline posted to the Heritage Preservation program website.

In order for your item to be added to an agenda, the Heritage Preservation Officer (HPO) must deem the application complete and the information in it correct within 5 working days. The HPO will contact applicants for additional information as necessary.

Please also note that per the Flagstaff Zoning Code, the Heritage Preservation Officer may refer any application, including Letter Reports to the Commission for any reason. If the Heritage Preservation Officer refers the application, you will not need to resubmit, but additional materials may be requested.

If the Cultural Resource Study being submitted contains information that may be confidential under the National Historic Preservation Act or the Native American Grave Protection and Repatriation Act, please notify the HPO in advance of submitting your application for instructions on redaction(s).

Approval of a Cultural Resource Study does not indicate a final approval of a demolition permit, site plans, building plans, permanent sign permits and other applications that will be required prior to demolition, modification or construction.

If mitigation is approved as part of the study approval, final design of mitigation must meet all the requirements of the Flagstaff Zoning Code or Building Code, unless otherwise stated in Flagstaff City Code, Section 10-30.30 or in the requirements of the overlay zone. The Heritage Preservation Officer or Commission may elect to hold an application until a review by the InterDivision staff is completed and substantive comments have been provided to the applicant, if the mitigation proposed would require additional approvals by planning, building, or other city staff.

We encourage you to reach out early in designing your projects so that the HPO may assist you.
HPO contact information: Lauren Clementino, Phone: (928) 213-2633; Email: lclementino@flagstaffaz.gov

Description of the need for the Resource Study (i.e, demolition, alteration, grading, etc.)

See attached Letter Report

Insert additional pages if necessary



320 N. Leroux Street, Suite A
Flagstaff, Arizona 86001
Tel. (928) 522-4148

April 7, 2025

Lauren Clementino
Heritage Preservation Officer
City of Flagstaff
211 West Aspen Avenue
Flagstaff, Arizona 86001

Re: Historic Resource Study Letter Report for 123 North Leroux Street

Ms. Clementino,

Cornerstone Environmental Consulting, LLC conducted a Historic Resource Study (HRS) at 123 North Leroux Street (APN 100-19-007) on behalf of Capri, Inc. The property consists of a commercial building that is over 50 years old and a parking lot. The HRS was undertaken prior to the planned demolition of the building for the construction of a 4–6 floor parking garage on the property.

The building is not listed on any registers of historic buildings, though the property is within the Downtown Historic District Overlay Zone and is adjacent to the Railroad Addition Historic District. The subject property is recommended as not significant under any national, state, or local register criteria and/or lacks the required integrity to convey any such significance. No further archival work, study, or architectural documentation is recommended for the property.

Regards,

A handwritten signature in black ink that reads "Samuel Hemsley". The signature is written in a cursive, flowing style.

Samuel Hemsley, M.A., RPA
Assistant Project Manager

LETTER REPORT FOR 123 NORTH LEROUX STREET

This letter report represents the findings of a Historic Resource Study (HRS) completed by Cornerstone Environmental Consulting, LLC (Cornerstone) on behalf of Capri, Inc. for 123 North Leroux Street (APN 100-19-007) in Flagstaff, Arizona (Photograph 1; Figure 1; Figure 2; Figure 3; Figure 4; Figure 5). The parcel is occupied by a vacant commercial building that is slated for demolition. This HRS is being conducted concurrently with studies at 111 North Leroux Street (APN-100-19-008-A) and 19 West Birch Avenue (APN-100-19-004-A), also by Cornerstone on behalf of Capri, Inc., in advance of the planned construction of a hotel at 19 West Birch Avenue with an associated 4–6 floor parking garage on the other two parcels.



Photograph 1. Photograph of 123 North Leroux Street showing the eastern face of the building, facing west across Leroux Street.

Street Address: 123 North Leroux Street

APN: APN 100-19-007 (0.23 ac)

Subdivision: Flagstaff Townsite

Block: 19

Lots: 19, 20, 21

Construction Date: 1951

Period of Significance: 1882–1975

Property Type: Commercial

Area of Significance: NA

This work will assist the proponent to comply with the City of Flagstaff's zoning codes (10-30.30.050) regarding historic properties and cultural resources. Pursuant to Section 10-30.30.050.A.3.c.1 (Letter Reports) of the Flagstaff Zoning Code, a Letter Report is considered the appropriate level of study if site conditions, archival records, or previous research suggest that significant cultural resources are not likely present, the integrity of a cultural resource is already severely compromised, the proposed work will not compromise the integrity of the cultural resource, or when no mitigation measures are warranted.

The project area is in the southeastern corner of the southeast section of Section 16 of Township 21 North, Range 7 East. The property is within the Downtown Historic District Overlay Zone; however, this district has not undergone an evaluation and nomination process. The property is immediately adjacent to the Railroad Addition Historic District. This district designates one of the oldest and most central areas of historic Flagstaff and is discussed further below and partially overlaps with the Downtown Historic District Overlay Zone. This district will be used for historic context, background, architectural examples, and evaluation of significance and integrity (Janus 1979).

Cornerstone conducted the study by searching historical records and visiting the subject property. Historical records and their sources include, but are not limited to:

- Coconino County Assessor's Office: Property Record Cards, Transfer Cards, and Property Record History
- Coconino County online parcel viewer
- Flagstaff Historical Building Survey
- Flagstaff Telephone and City directories
- Northern Arizona University (Special Collections & Archives): Sanborn maps, Coconino County Plat Maps, Flagstaff building timeline project archive, Charlie Dryden Collection, Colorado Plateau Archive, and historical maps
- Historical Topographic Maps: 1900, 1908, 1912, 1947, 1954, 1960, 1962, 1974, 1982, and 1983
- Arizona Digital Newspaper Program and Newspapers.com: articles from period newspapers

In addition to the above research, a site visit was performed by Cornerstone Archaeologists Jack Treichler, Samuel Hemsley, and Sam Mitchell on February 20, 2025. The visit entailed walking the exterior and interior of the property, photo-documenting the current condition of the building, taking notes on how the building has changed since the period of significance, and noting material types and changes to the setting.

Historical Background

This section briefly describes the history of the Flagstaff Railroad Addition Historic District, as well as the owners and occupants of 123 North Leroux Steet, and provides a narrative of significant events that took place therein.

Flagstaff's Railroad Addition Historic District

The story of Flagstaff is a story shared by many railroad towns throughout the United States. Encouraged by large federal land grants which granted vast swaths of acreage to railroad companies, the companies established vital arteries connecting the eastern and western coasts of the United States together. To help finance the continued construction and expansion of the railroads, the companies would subdivide and sell the land granted to them by the government to interested settlers (Paradis 2003). In this manner the Federal Government was able to solidify control over the western United States and simplify logistics, the

railroad companies were able to both acquire the land needed for expansion and fund said expansion, and settlers were given easy access and ample opportunity to purchase or acquire land. Because of the importance of the railroad as the means of access to these newly exploitable areas, the railroad would understandably play a key role in community development (Paradis 2003).

Flagstaff's Railroad Addition Historic District has its origins in the New Town that was established in 1882 as a result of the Atlantic and Pacific Railroad (later known as the Santa Fe Railroad) not being able to reach the location of Old Town, which was set up along Antelope Spring, as a result of a steep grade. As a result, New Town was set up along a newly constructed sandstone depot where the train could stop, approximately a half a mile east of Old Town. Street grids were planned and laid out and New Town began to grow as people relocated to take advantage of the economic opportunities that proximity to the depot would bring (Paradis 2003). The two towns would continue to grow for the next few years, with settlers coming from as far away as New York and Kansas, until Old Town experienced a severe fire in 1884. As a result of the fire damage, recovery efforts, and people relocating to the other town site, New Town swiftly began to outpace Old Town in growth, and Old Town was no longer seen as the "true" Flagstaff townsite (Cline 1976; Janus 1979; Paradis 2003).

In a turn of fate, New Town itself was impacted by a fire in 1886 and 1888. As a result of the fires, new construction was required to use brick or stone to help minimize the impact of further fires, and water infrastructure was put into place to help fight any fires that may arise (Janus 1979; Paradis 2003). The fires and the growth associated with them also opened new opportunities for immigrants into the town, as the Babbitt brothers first arrived in 1886 shortly after the fires were quelled (Cline 1976). The town continued to grow, with buildings spreading out from the railroad depot. The Post Office from Old Town relocated to New Town, and the Bank of Flagstaff was organized and established in 1887 by Thomas McMillan (Janus 1979). As all new constructions now utilized more permanent, fireproof materials, the structural nature of the town structures shifted from wood and canvas to brick and stone.

In 1888, David Babbitt, then owner of a lumber yard and hardware business located on the corner of San Francisco and Aspen, began to buy out nearby merchants, such as P.J. Brannen. David partnered with his brother George Babbitt and formed the Babbitt Brothers Trading Company. Soon after, their brothers William, Charles, and Edward arrived to help expand and manage the swiftly growing company, which quickly became the leading merchant in the area through profits from cattle, trading posts, and real estate in Flagstaff and the surrounding areas (Cline 1976). The company office was a two-story brick and sandstone building which replaced the hardware store and was expanded over the years as the company grew (Janus 1979). The company building would become and remain a Flagstaff landmark, even after the company closure in 1987 (Paradis 2003).

In 1891, Governor John Irwin announced the formation of Coconino County, which was split from part of the existing Yavapai County. Flagstaff was chosen as the county seat for the new county and the town was fully incorporated in 1894, with Flagstaff's first city hall and courthouse being erected shortly thereafter. By 1890 Flagstaff had developed a fire department, fully realized water infrastructure, telephone and electrical power services (Cline 1976; Janus 1979).

Other industries and factors began to influence Flagstaff's economic development in the 1890s. A red sandstone quarry located to the east of town began to operate fully and was fulfilling material contracts for large cities such as Chicago and Los Angeles. In 1894, Percival Lowell located his observatory onto the mesa located to the west of the town center, which is now known as Mars Hill. Lowell's scientific

Project Locator

NW: 12N 440936m E, 3895360m N
NE: 12N 440975m E, 3895345m N
SW: 12N 440927m E, 3895339m N
SE: 12N 440966m E, 3895323m N

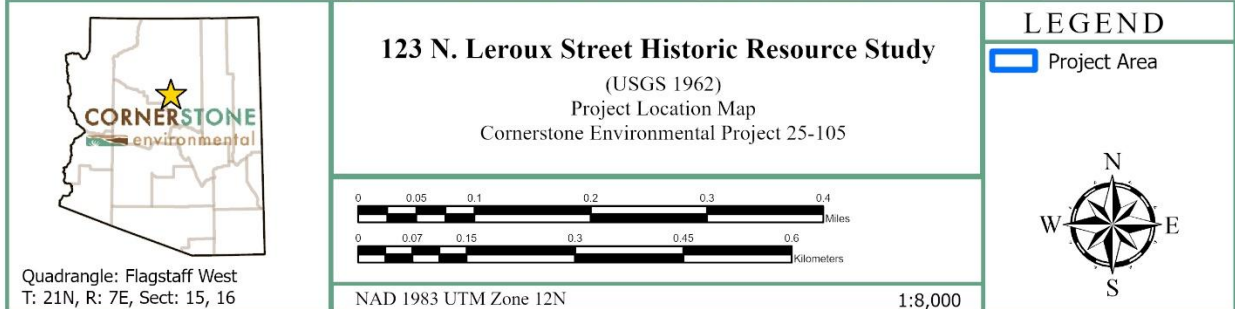
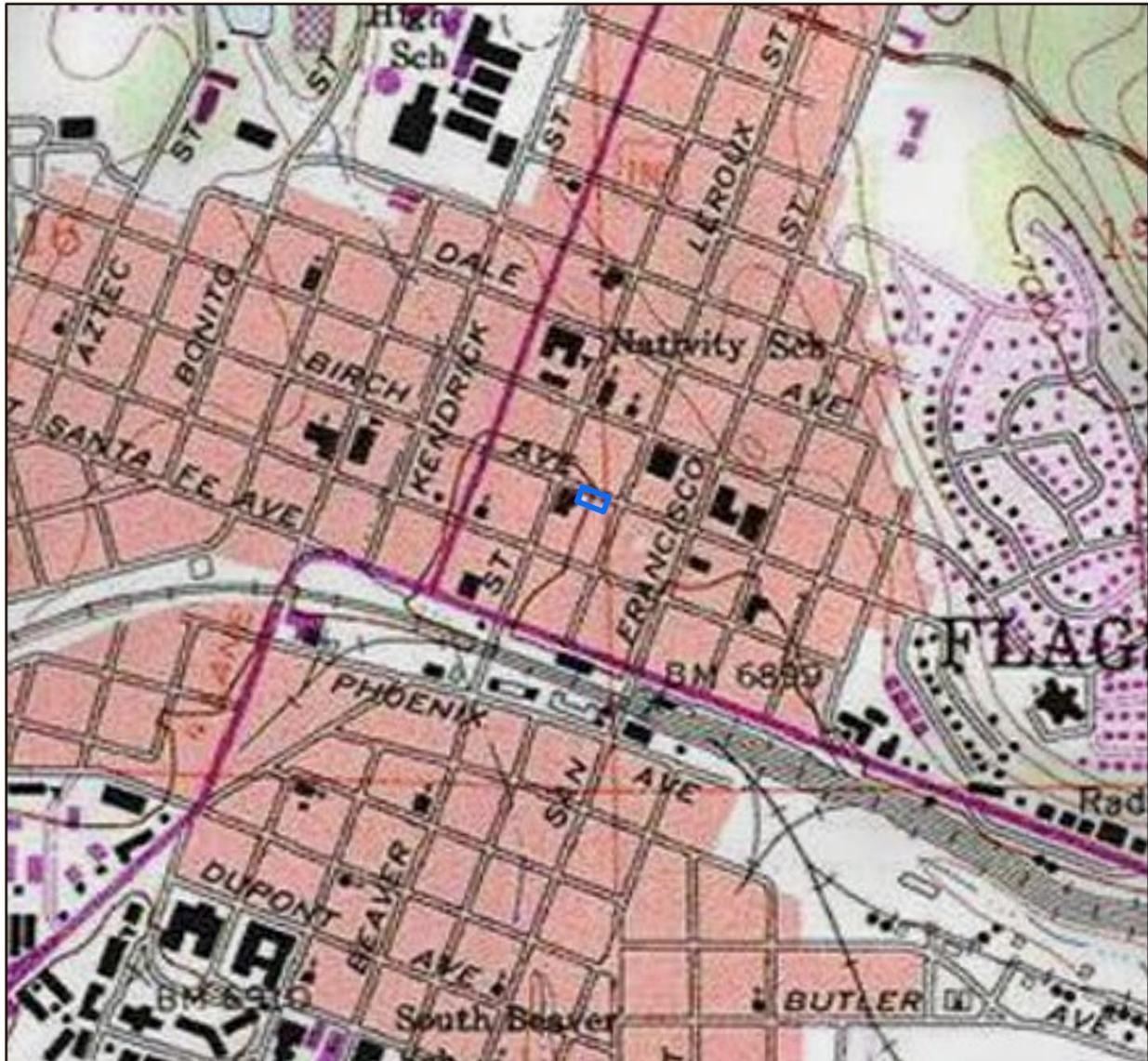


Figure 1. Topographic map showing project area.

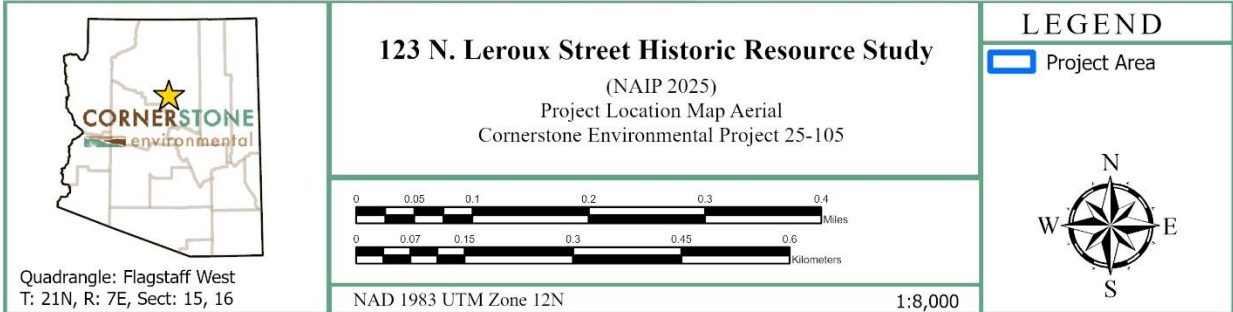
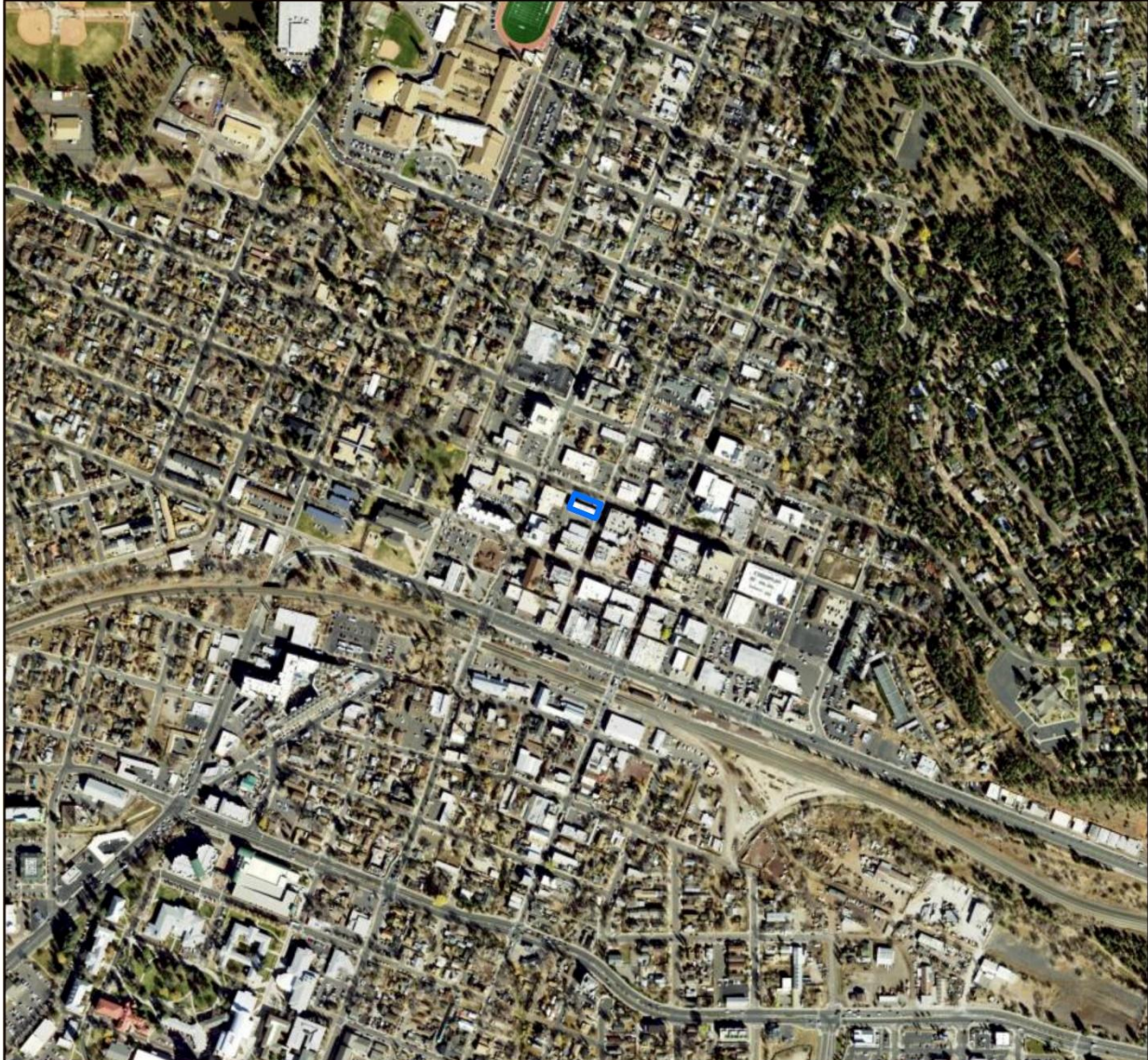


Figure 2. Aerial imagery showing the project area.

Project Locator

NW: 12N 440936m E, 3895360m N
NE: 12N 440975m E, 3895345m N
SW: 12N 440927m E, 3895339m N
SE: 12N 440966m E, 3895323m N

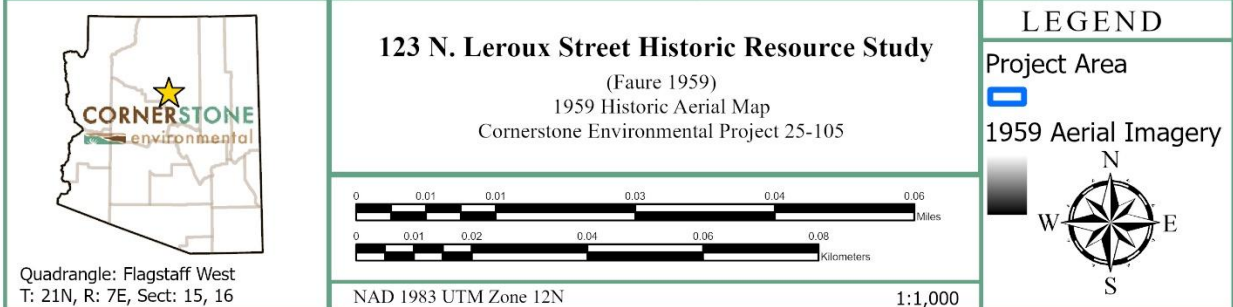


Figure 3. Historic aerial imagery from 1959 showing the project area.

Project Locator

NW: 12N 440936m E, 3895360m N
NE: 12N 440975m E, 3895345m N
SW: 12N 440927m E, 3895339m N
SE: 12N 440966m E, 3895323m N

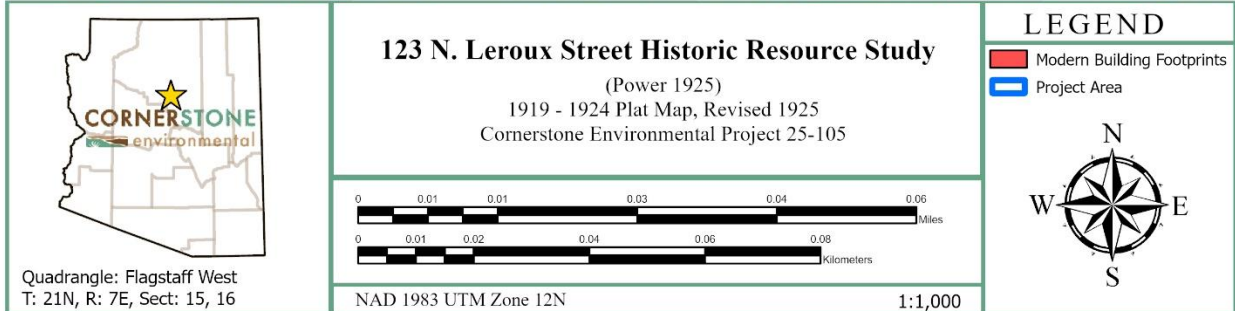
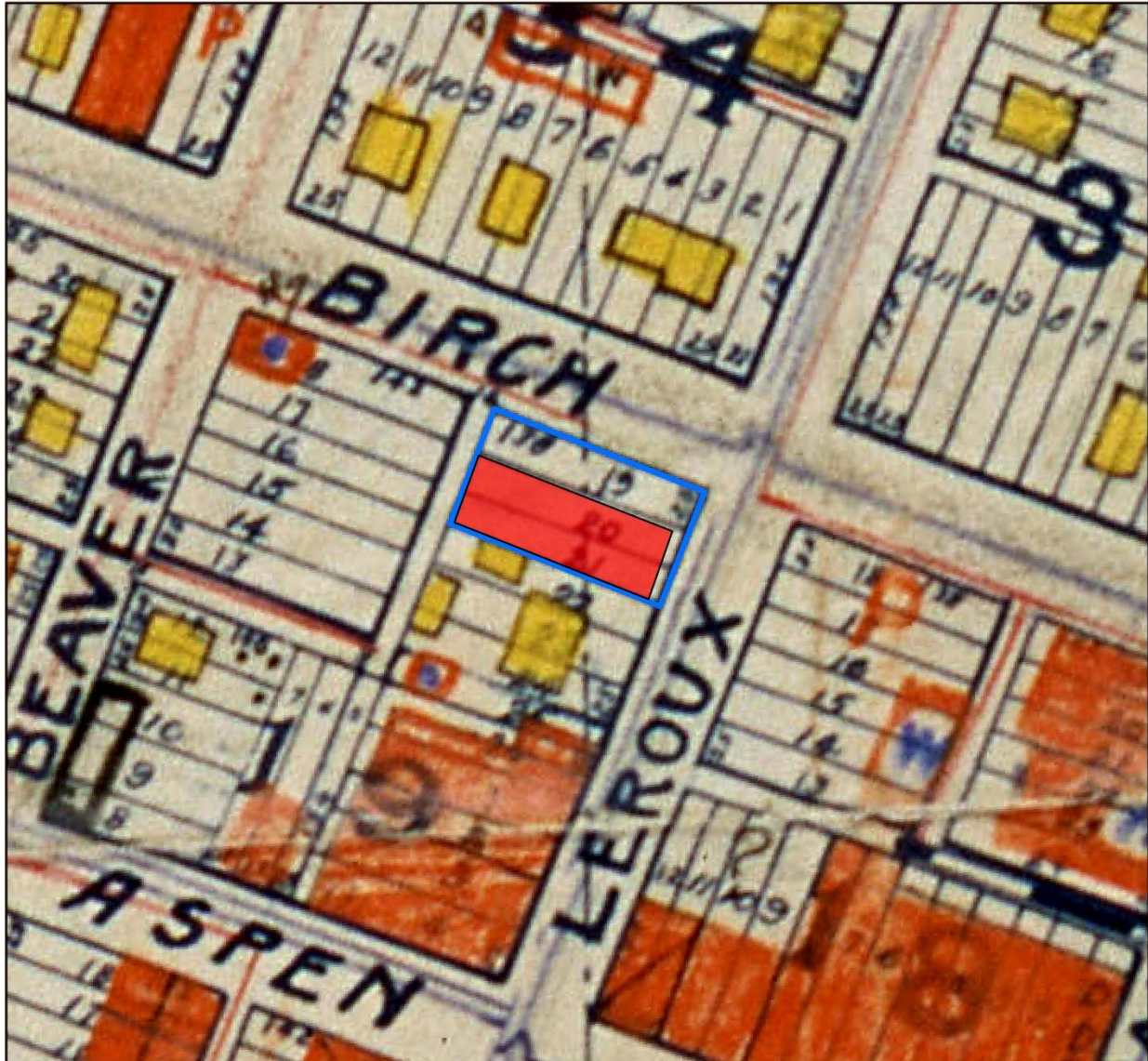
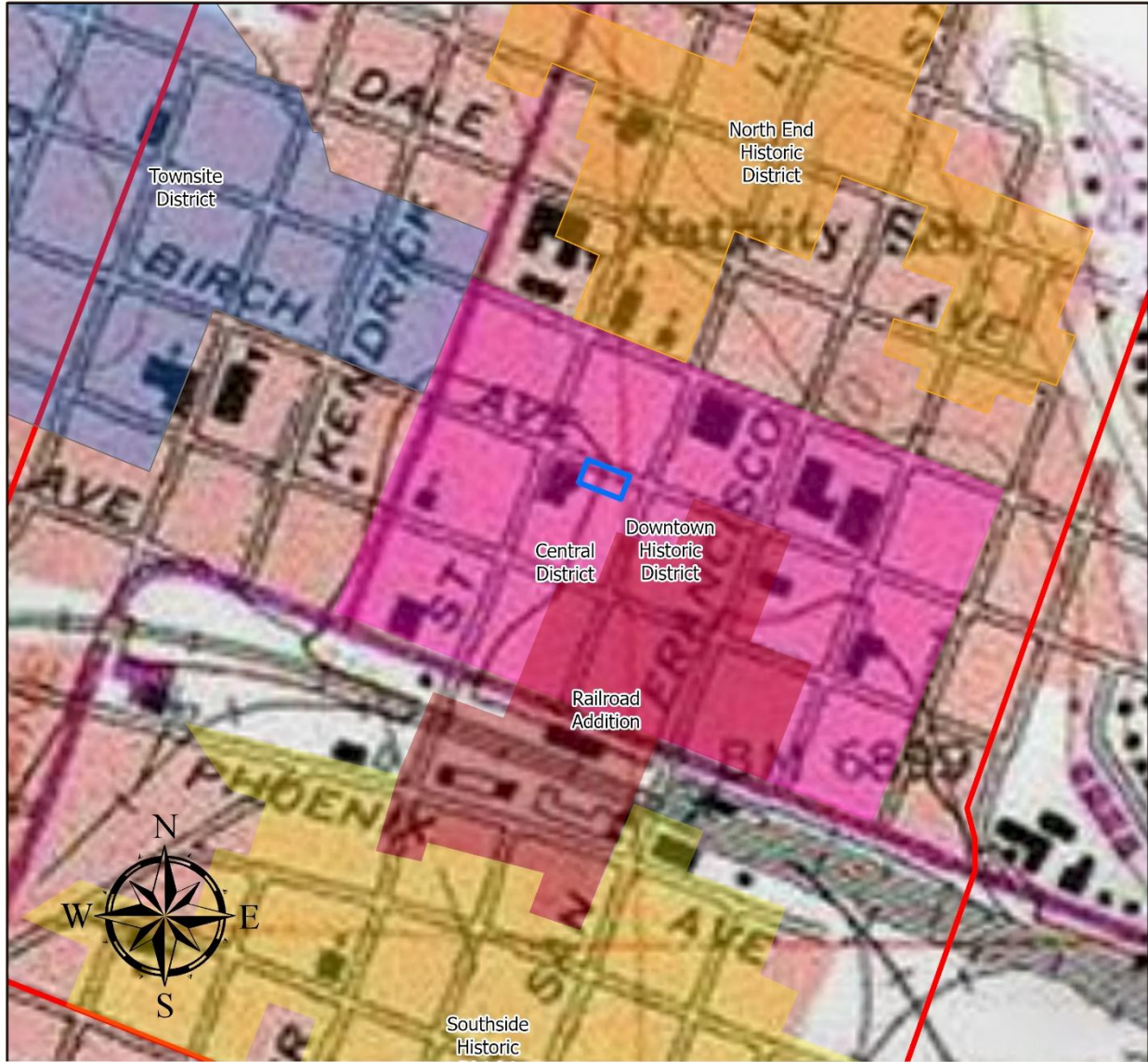


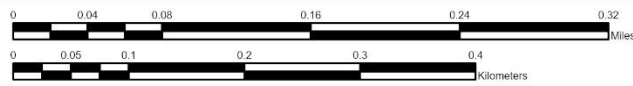
Figure 4. Historic plat map from 1925 showing project area and modern building footprint.



Quadrangle: Flagstaff West
T: 21N, R: 7E, Sect: 15, 16

123 N. Leroux Street Historic Resource Study

(USGS 1962)
Historic District Map
Cornerstone Environmental Project 25-105



NAD 1983 UTM Zone 12N

1:5,000

LEGEND

- ▭ Project Area
- ▭ Central District
- ▭ Downtown Historic District
- ▭ North End Historic District
- ▭ Railroad Addition
- ▭ Southside Historic District
- ▭ Townsite District

Figure 5. USGS topographic map showing the project area and surrounding historic districts.

observations contributed to putting Flagstaff on the map, though this was through scientific endeavor rather than economic growth.

Tourism also began to play an important role in Flagstaff's economic development by 1895, when a stage line ran between Flagstaff and the Grand Canyon three times a week, and the influx of summer tourists seeking to escape the heat caused serious housing shortages in the town during the summer months. In 1899 the Flagstaff Normal School (now known as Northern Arizona University) opened its doors, and this along with several private and public schools in the town provided centers of education (Cline 1976; Janus 1979)

Flagstaff continued to steadily grow into the 1920s, with the Babbitts expanding their business portfolio and real estate, establishing a brick warehouse and three-story garage in 1915, and with competitors springing up such as Fred Hensing and Sam Finely who opened commercial ventures in large, commercial buildings in 1912 and 1915 respectively. These new constructions further changed the character of downtown, with Sam Finely's commercial building being the first three story tall building in the entire county, while also introducing a wave of new architectural styles into the area, such as Tudor and Greek Revival (Janus 1979; Paradis 2003)

This growth was swiftly followed by a slump, as Flagstaff was affected by the prohibition-era economic slump which impacted the rest of the country, and many buildings became abandoned or began to fall apart. To help combat this slump, the townsfolks constructed a new train depot at Leroux Street and established the Hotel Monte Vista in 1928. The increasing importance of the automobile was also of great benefit to Flagstaff, as Santa Fe Avenue would become part of the Old Trails National Highway system and later become Route 66, a vital artery bringing thousands to and through Flagstaff (Janus 1976).

However, the increasing use of automobiles also meant that the train depot locations were no longer vital nodes for commerce and tourists, and because of this change development soon stopped within what is now the Flagstaff Railroad Addition Historic District and focused instead along the corridor of Route 66, which was becoming increasingly accessible (Janus 1979).

Property History

The investigated property had a complicated chain of ownership starting in the late 19th century. According to County records, the property appears to have been first owned by the Atlantic and Pacific Railroad Company in the 1880s who transferred large blocks of land including the property over to one M.E. Daggs, who appears to be a widow of one of the Daggs brothers, prominent sheep herders and landowners in Northern Arizona. In 1894, Daggs would then transfer the property to Charles A. Bush, who was the first elected county recorder, first Flagstaff fire chief, and at one time the deputy sheriff. Charles A. Bush would transfer the property over to his wife Anna Bush in 1895, who retained the property until 1905 when the property was sold to Thomas Pollack, the president of the Arizona Central Bank of Flagstaff and rancher in Flagstaff. In 1906 Pollack would then sell the property to George N. Baty, the interior designer for the Weatherford Hotel. Baty would retain the property until 1912 when it was sold to Charles Babbitt. The Babbitt family would retain the property until at least 1917, when Charles Babbitt and his wife appear on a Quit Claim deed forfeiting the easternmost four feet (ft) of the property to the City of Flagstaff, likely for infrastructure construction. Historic Sanborn maps from this period show a residential building present on the lot. This building was likely transferred along with the property to each new owner.

The property would act as a residential or possibly dual-use property between the 1920s and 1950s. In 1923 the property was listed in the Coconino Sun as the address for one Dr. R.M. Francis and his wife, Elizabeth (The Coconino Sun 1923). Entering the 1930s the property saw a plethora of temporary tenants,

including Gale Maude in 1934; Daniel Clarence Thomas, a general salesman, in 1936; Tom L. Moore, an employee at the COBar Livestock Company, in 1937; and Evan J. Overson, who was a chiroprapist, in 1939 (The Mountain State Telephone and Telegraph Company 1934; 1936; 1937; 1939). The property appears to have been left vacant until 1944 when the Womack family moved in. The Womack family presence at the address appears to have consisted of Ollie Womack, Thomas Roy Womack, and their children Robert Womack, Roland Womack, Jean Carol Womack, and Thomas William Womack (U.S Census Bureau 1940). Robert Womack would go on to receive a WWII Victory medal and the Womacks would reside at the address until 1949, when one Stacy Rose briefly appears on the records (ADS 1947; The Mountain State Telephone and Telegraph Company 1949).

In 1950 newspaper advertisements discuss the beginning of construction of the Bank of Flagstaff at the property, suggesting that the bank bought the property (ADS 1950). The construction would complete in 1951, and the Bank of Flagstaff would open May 14th of the same year (ADS 1951a). The Bank of Flagstaff would continue operating until 1957 when after a year of discussion, the bank formally merged with the Valley National Bank of Phoenix (ADS 1957). According to county records and newspaper advertisements in 1958, the property was still under the ownership of the Valley National Bank of Phoenix, and in the early 1980s the office then became the law firm of Aspey, Watkins, and Diesel (ADS 1958b; 1994; Sedillo 1983). Per the Coconino County Assessor's Office, the property would then transfer to the Bank of Arizona in 1994 after briefly being held by Spur Land and Cattle Co, and in 2007 it would change hands again to Leroux Street Ventures, LLC. In 2012 the property would again change hands to from Leroux Street Ventures, LLC to Geile Management, LLC at which point county records end. The property was most recently a Deckers Outdoor Corporation office, some signage of which remains.

Architecture and Structural History

Newspaper articles from 1950 and 1951 discuss the construction of the Bank of Flagstaff building and provide a sketch of the building in its original form (Figure 6; ADS 1950; 1951b). The building is described and portrayed as a rectangular, single-story building of cinderblock construction with provided dimensions of 40 by 80 ft. The east facing front of the building would be "western" in style and



Figure 6. Historic sketch in the Arizona Daily Sun portraying and describing the building in its original planned form (ADS 1950).

constructed from native sandstone and glass. A canopy and signage for the bank is also portrayed as being present on the eastern face. The north facing side of the building would have a drive-up teller window with a canopy, a night depository, and parking for customers.

Advertisements and a sketch for the Valley National Bank of Phoenix in 1958 show the building expanded from the original sketches, with the east facing canopy extending to the north through the parking area, with a sandstone column on the northern end for support (ADS 1958a; Figure 7). A large post sign is present on the canopy on the northern end which has the name of the bank, with the bank's eagle emblem, on it. The name of the bank on the east face of the building has also changed from Bank of Flagstaff to Valley National Bank.



Figure 7. Historic Arizona Daily Sun newspaper advertisement and sketch showing 123 North Leroux Street (ADS 1958a).

The structure again appears in a historic 1959 aerial which shows the building modified further from the earlier sketches. The current second story portion of the building first appears in the 1959 aerial, on the western end of the building. The extended canopy portrayed in the 1958 advertisement is also visible in the aerial.

Analysis of the utility hardware found throughout the building (including duct covers, sewage pipes and pumps, and HVAC equipment) supports the 1951 construction date. A Diebold, Incorporated (now Diebold Nixdorf, Incorporated) vault is present within the building. The presence of the vault supports that the current building was built as a bank as the security and construction requirements for the vault (including reinforced walls, floors, and ceilings) would be difficult to implement after the initial construction.

Based on the evidence provided by newspaper advertisements, articles, and historic imagery, a construction date of 1951 is indicated for the current structure, with some modifications such as the canopy extension and new signage being added by the Valley National Bank in 1958. A second story was present on the building by sometime between 1958 and 1959; it is not clear if it was added at this point or simply omitted from earlier drawings. Sanborn and Plat Maps leading up to 1948 do not show the modern structure, instead showing a residential structure with stables and sheds present on the property (Figure 8).

The current building has a roughly rectangular footprint and consists of a rectangular ground floor, a square second story, and a roughly rectangular basement level. Two stairways exist leading to the second floor, and two stairways exist leading to the basement level. Entryways for the building are on both the eastern and western faces of the building, with the eastern entry being the main (front) entrance for the building and consisting of a vestibule with two sets of doors. The extent of the first floor beyond the footprint of the second floor features a barrel roof. The second story roof is a single flat top roof with an HVAC chimney in the southwestern corner. All exterior walls consist of a beige stucco over concrete masonry unit (CMU) construction, with the north and east elevations having a sandstone slab footer. A steel canopy is present on the eastern elevation and extends slightly into the northern elevation, wrapping around the northeastern corner before terminating. Parts of this canopy may be original, but others appear to be more recent modifications. Sandstone slab trim is present around the windows of the eastern elevation, and the northern elevation has three sandstone slab piers extending from the ground surface up to the canopy (Photograph 3; Photograph 2).

The building interior has undergone renovation and remodeling since the original construction, with contemporary hardwood trim and murals decorating the interior of the building (Photograph 4). The vault space appears to have been repurposed as an office or storage space and features a rectangular room with an east facing vault door and reinforced walls and floors (Photograph 5). Five separate square rooms, possibly used as office spaces, are situated on the first floor, along with two bathrooms and the vault. The rooms are labeled with the names of streets in Flagstaff. The second floor of the building consists of six rooms, one of which serves as a utility room for the HVAC, while the other five possibly consisted of office rooms. The basement of the structure contains two bathrooms, a kitchenette, a server room with a historic Sedgwick dumbwaiter, and two office spaces (Photograph 6).

The building's windows and walls appear to all be modern construction installed when the interior was remodeled, the exterior window frames appear slightly weathered but in otherwise good condition, and match the trim and doors present within the structure. Stylistically, the building displays basic elements of midcentury modern architecture such as horizontal rectangular forms and the sandstone slab masonry trim.

Evaluation of Significance

The subject property is within the Flagstaff Downtown Historic District Overlay Zone. According to communications with the City of Flagstaff, this district is an overlay used for planning and development though it has not been evaluated nor nominated for the National Register of Historic Places (NRHP). The property is immediately adjacent to the Railroad Addition Historic District. This district designates one of the oldest and most central areas of historic Flagstaff and partially overlaps with the Downtown Historic District Overlay Zone. This letter report uses the Railroad Addition Historic District to provide historic context for the evaluation of significance and integrity (Janus 1979). The period of significance for the Flagstaff Railroad Addition Historic District is 1882–1975, beginning with the establishment of New Town in 1882, which would form the core of the district, and ending 50 years prior to this study. The possible areas of significance are Community Planning and Development (City of Flagstaff Criterion B; NRHP Criterion A), Significant Persons (City of Flagstaff Criterion C; NRHP Criterion B), and Architecture (City of Flagstaff Criterion D; NRHP Criterion C). The property is not eligible under City of Flagstaff Criterion A, as the property is not listed or eligible on the National Historic Landmark, NRHP or Arizona Register of Historic Places.

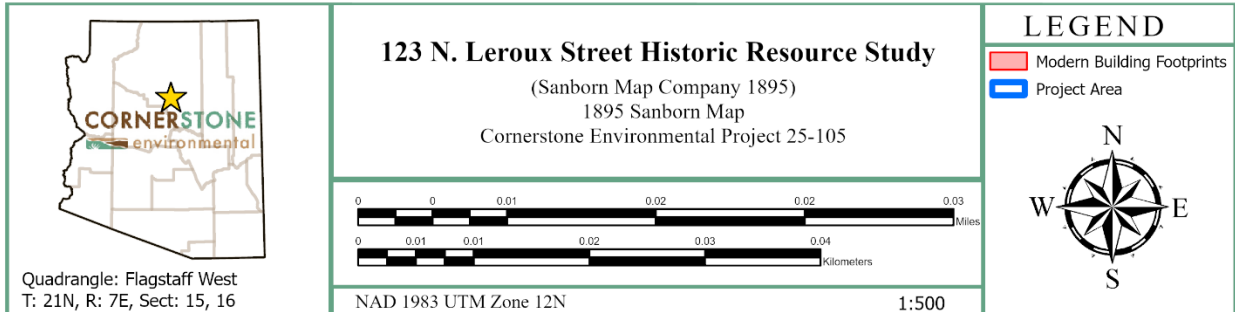
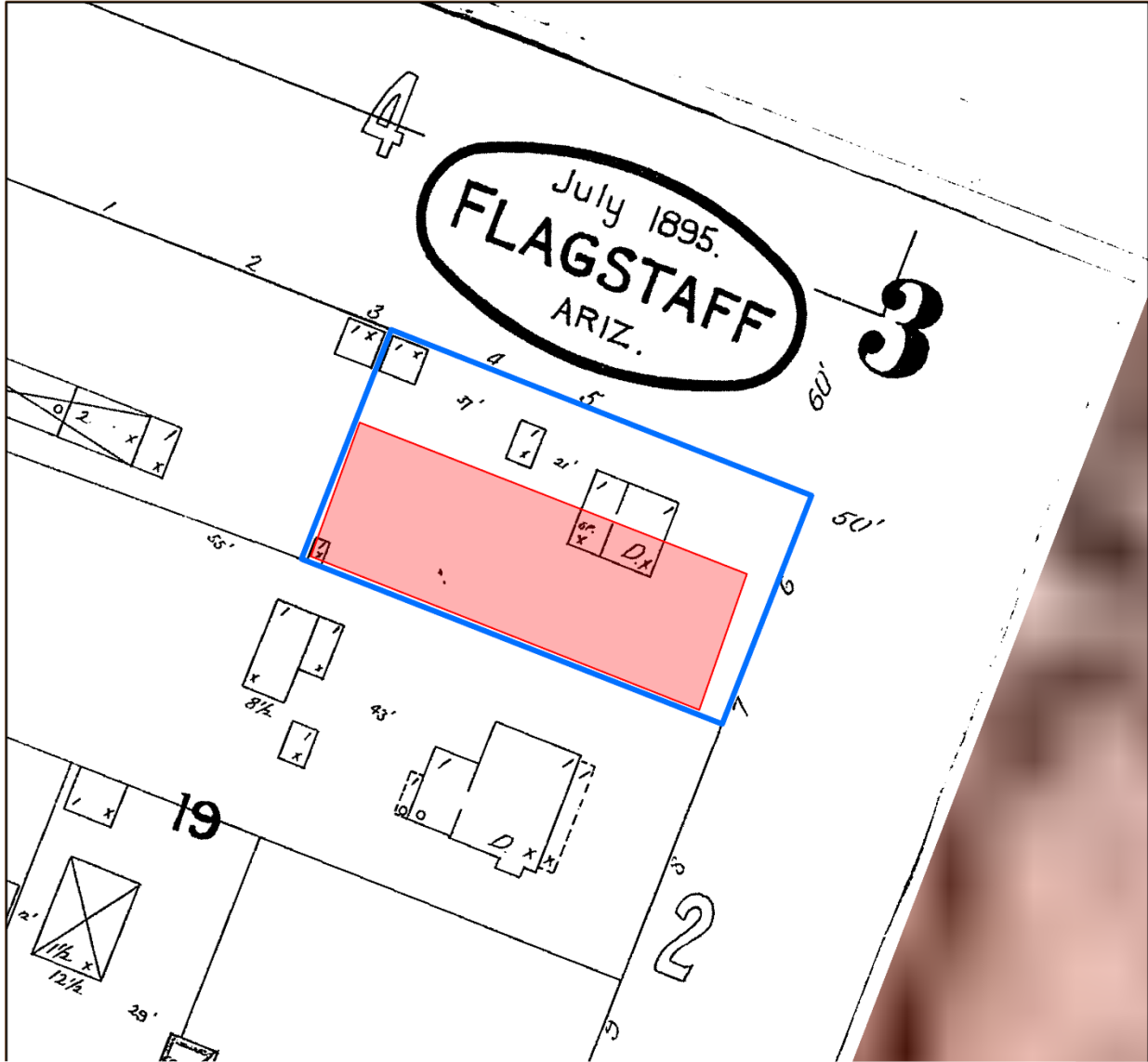


Figure 8. Historic Sanborn map from 1895 showing the existence of a residential structure and several small outbuildings in the project area.



Photograph 3. Southwest facing view of 123 North Leroux showing the northern and western faces of the building. The sandstone footers, vinyl canopy, and sandstone piers are visible in the photograph.



Photograph 2. North facing view of 123 North Leroux showing the southern face of the building and the parking lot adjacent to the building to the south.

Eligibility for the NRHP under Criterion A (City of Flagstaff Criterion B) requires association with events that have made significant contribution to the patterns of history. The building at 123 North Leroux Street is located adjacent to the Flagstaff Railroad Addition Historic District, which is a significant part of Flagstaff's history and development. As discussed in the property history section of this letter report, through its existence the property has undergone development which broadly mirrors that of the adjacent Railroad Addition Historic District during the district's period of significance. The property started as a residential plot in the late 1890s and continued to be residential in nature until late 1950, when the residential buildings were demolished, and construction began on the Bank of Flagstaff building. The Bank of Flagstaff building would be completed in early 1951 and the bank would open and operate until 1957 when Bank of Flagstaff merged with the Valley National Bank of Phoenix. The Valley National Bank of Phoenix would continue to operate in the building until the 1980s, when the building became home to a law firm. While the parcel history broadly aligns with NRHP Criterion A (City of Flagstaff Criterion B), the property is not associated in important or substantial enough ways to be significant under this criterion.

Eligibility for the NRHP under Criterion B (City of Flagstaff Criterion C) requires that a property is associated with the lives of significant persons. The property is not known to be associated with the lives of any significant persons to local or national history.

Eligibility for the NRHP under Criterion C (City of Flagstaff Criterion D) requires that a building must be a good example of an architectural type or style in its design, materials, and workmanship as it once appeared. The theme of Architecture refers to a property's significance for its physical design or construction that expresses aesthetic ideals or preferences that refer to the way in which a property was conceived, designed, or fabricated. Throughout its life the building appears to have seen significant remodeling and repurposing. While the eastern face of the modern building retains the original "western" modern design of native sandstone and glass, the north face of the modern building has undergone significant changes, with the removal of the bank teller window and associated canopy as well as the removal of the canopy which extended into the northern parking lot from the east face of the building. Additional windows appear to have been added to the north face of the modern building as they do not appear in either of the historic sketches of the building. A second story was likely added to the building sometime between 1958 and 1959 based on historic aerials and newspaper advertisements. As a result of these changes to the architecture of the building, it is difficult to make the argument that the property is architecturally original or special. The building shares generic elements of midcentury modern architecture with many other small commercial structures of the period.

The building at 123 North Leroux Street was built over 50 years ago but is recommended as not significant under any criteria. Records obtained from the Coconino County Assessor's Office and additional archival sources indicate that the building was built by 1959 and was likely built between 1948 and 1959. Observations of design elements, utility brands, and construction techniques made during site visits do not contradict this construction date.

The integrity of the building is diminished due to significant remodeling and repurposing throughout the years. The eastern face of the retains the original "western" modern design of native sandstone and glass, while the north face of the modern building has undergone significant changes, with the removal of the bank teller window and associated canopy as well as the removal of the canopy which extended into the northern parking lot from the east face of the building. Additional features such as windows have also been added to the north face of the modern building as they do not appear in either of the historic sketches of the building. Additionally, the interior of the building has undergone extensive remodeling and modernization at 123 North Leroux Street and the surrounding area since the period of significance. As the property is recommended as not significant, an in-depth integrity assessment is not necessary.



Photograph 4. First-floor interior photo, facing west from the eastern entryway. The first-floor interior features modern looking hardwood trim and murals.



Photograph 5. The "Doyle" vault room which was possibly utilized as an office or storage space, facing west from the doorway.



Photograph 6. A Sedgwick dumbwaiter located in the basement server room of 123 N. Leroux. The dumbwaiter was likely used during the property's existence as a bank, but remodeling has removed all other access points.

Summary and Recommendations

Cornerstone recommends the building at 123 N. Leroux Street as not significant under any established theme or criteria for any national, state, or local register (NPS 2002). In this case such themes or criteria include community planning and development, significant persons, and architecture.

Since the building was never significant, the aspects of integrity are irrelevant, but are still analyzed herein. The architectural integrity of original design, materials, and workmanship has been negatively impacted, to the extent that they are no longer retained. The aspect of integrity of feeling, when standing in front or inside of the building, has also been diminished greatly to the point that the building no longer conveys the feeling of a historic business or residency.

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Heritage Preservation Commission

8. A. 3.

From: Lauren Clementino, Senior Planner/Heritage Preservation Officer

DATE: 04/16/2025

SUBJECT: 111 N. Leroux St. Certificate of No Effect

PROPERTY INFO:

Permit Number(s): PZ-25-00081

Address: 111 N. Leroux St.

Type of Approval: Certificate of No Effect

Approval Date: April 8, 2025

FINDINGS:

Certificate of No Effect reviewed and accepted by HPO.

INFORMATION:

The applicant and property owner submitted a Certificate of No Effect for demolition of the building located at 111 N. Leroux St. The building is within the Downtown Historic Overlay Zone, but outside of the Railroad Addition Historic District. The building was determined not to be eligible for listing in the National or Flagstaff Registers of Historic Places due to a lack of significance and integrity - the letter report evaluating 111 N. Leroux St. is a separate agenda item. As the building is not an eligible cultural resource, the proposed demolition would have no effect and is subject to administrative review.

The scope of the Certificate of No Effect covers demolition only. Demolition of this building is proposed in advance of proposed construction of a future hotel and parking garage. The proposed parking garage would be located on this parcel and the adjacent parcel at 123 N. Leroux St. (APN-100-19-007). The proposed hotel building would be located on the 19 W. Birch Ave. (APN-100-19-004-A) parcel. The new hotel and parking garage proposal will be subject to a Certificate of Appropriateness and scheduled for Heritage Preservation Commission review during the development review process.

Attachments

Certificate of No Effect Application



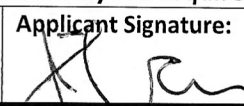
City of Flagstaff

Community Development Division

211 W. Aspen Ave
Flagstaff, AZ 86001
www.flagstaff.az.gov

P: (928) 213-2618
F: (928) 779-7684

HPC-C

Date Received		Application to Heritage Preservation for a Certificate within an Overlay		File Number	
Property Owner(s) Bhavna Prema/Sapnesh Amin		Title	Phone 562-256-5813	Email bhvanaprema@gmail.com	
Mailing Address 602 W Route 66 Flagstaff AZ 86001				City, State, Zip	
Applicant Capri Flagstaff LLC		Title	Phone 520-429-4256	Email jim@caprinc.com	
Mailing Address 6867 N Oracle Ste 101 Tucson AZ 85704				City, State, Zip	
Property Interest of Applicant(s) (Owner, contractual interest, or agent) Agent					
Site Address 111 N Leroux Street Flagstaff AZ 86001				City, State, Zip	
Project Name Demo Permit					
Parcel Number(s) 100-19-008-A			Zoning District(s), including Overlays Downtown Overlay		
Property Information:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Listed individually on the National or Arizona Register of Historic Places? (Name: _____)			
		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Located in a National Register Historic District? (Name: _____)			
		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Is a structure on the property considered contributing to the District?			
		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Located in a Historic or Landmark Overlay? (Name: _____)			
		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Is the structure over 50 years old at the time of application?			
		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Does this application include review of a sign in an overlay or the Central Sign District?			
Type of HPC Application Requested:		<input checked="" type="checkbox"/> Certificate of No Effect (May be reviewed by the Heritage Preservation Officer or the Commission) <input type="checkbox"/> Certificate of Appropriateness (Must be reviewed by the Heritage Preservation Commission) <input type="checkbox"/> Certificate of Economic Hardship (Must be reviewed by the Heritage Preservation Commission)			
Note: Applications which are incomplete or not accompanied by the required information will not be accepted.					
Property Owner Signature: Bhavna Prema		Date: 4/1/2025	Applicant Signature: 		Date: 4/1/2025
For City Use					
Date Filed: _____			HPC Hearing Date: _____		
Fee Receipt #: _____			Amount: _____ Date: _____		
Action by HPC: <input type="checkbox"/> Consent Approval by HPO			<input type="checkbox"/> Denied		
<input type="checkbox"/> Approved			<input type="checkbox"/> Continued		
<input type="checkbox"/> Approved with Conditions			Staff Initial: _____ Date: _____		

Submittal Requirements

An application to the Heritage Preservation Commission and Historic Preservation Officer shall contain at least the following information:

1. Completed Application including all signatures and payment of fees. If applying for multiple types of HPC reviews only one fee is collected at the time of the first application for the same work.
2. An electronic copy and one copy of drawings or documents as needed to describe the proposal, which may include a Site Plan, Floor Plans, Exterior Elevations, Building Sections, Exterior Details, Lighting Plan, and a Landscape Plan. All drawings shall be drawn to scale and dimensioned and shall clearly and accurately represent the natural and built conditions of the context area and the project, including both existing conditions and proposed work.
3. Photographs of the context, including the property, surrounding properties, and the neighborhood.
4. A Color Board depicting all exterior materials and finishes associated with the work (if requested).
5. A list of related permits and development applications that have been or will need to be submitted.
6. Proof of ownership, or letter of authorization from the current property owner, if the applicant and owner are not the same.
7. Statement of approval from a subdivision or property owners association, if applicable.
8. Any other information which the applicant feels would be helpful and/or pertinent to the request.
9. Any other information as may be required by the Historic Preservation Officer or Heritage Preservation Commission to assist in the review of the requested application.

Timing of Submission and Completeness Review

The Heritage Preservation Commission meets to review applications monthly on the third Wednesday of the month. If you are submitting an application for review of a Certificate of Appropriateness, a Certificate of Economic Hardship, Community Development must receive your application by the submittal deadline posted to the [Heritage Preservation program website](#).

For your item to be added to an agenda, the Heritage Preservation Officer (HPO) must deem the application complete and the information in it correct within 5 working days. The HPO will contact applicants for additional information as necessary.

Please also note that per the Flagstaff Zoning Code, the HPO refer any application, including Certificates of No Effect to the Commission for any reason. If the HPO refers the application, you will not need to resubmit, but additional materials may be requested.

Applications pertaining to Certificates for properties with the Townsite Overlay Zone must also be properly noticed 15 days prior to the public hearing in accordance with *Section J of the Townsite Historic Design Review Overlay District Design Standards and Guidelines*.

Approval of a Certificate does not indicate a final approval of site plans, building plans, permanent sign permits and other applications that will be required prior to demolition, modification, or construction. Approval of all Certificates will be conditioned on their conformance with Zoning Code and Building Code standards. The Heritage Preservation Officer may elect to hold an application until a review by the InterDivision staff is completed and substantive comments have been provided to the applicant.

If this application includes the review of a sign within the Downtown Overlay, Central Sign District or the Townsite Overlay, a permanent sign application must be submitted prior to the submission of the HPC-C application and the comments provided in that review should be attached to this application.

We encourage you to reach out early in designing your projects so that the HPO may assist you and your clients. HPO contact information: Lauren Clementino, Phone: (928) 213-2633; Email: lclementino@flagstaffaz.gov



City of Flagstaff

Community Development Division

211 W. Aspen Ave

P: (928) 213-2618

Flagstaff, AZ 86001

F: (928) 779-7684

www.flagstaff.az.gov

HPC-C

Project Description

Demo permit

Explanation of how the project meets the applicable overlay and relevant sections of the Zoning Code

Demo Permit

Insert additional pages if necessary



City of Flagstaff Community Development Division

211 W. Aspen Ave P: (928) 213-2618
Flagstaff, AZ 86001 F: (928) 779-7684
www.flagstaff.az.gov



Summary Statement of Significance:

National Register of Historic Places documentation or a Cultural Resource Study can be submitted in lieu of completing this page to demonstrate significance (attach additional pages as necessary).

The significance of a resource is generally based on its potential to contribute to our understanding of the past. An object, structure, site, place, or area is significant if:

- a. It is associated with events or persons in the architectural, engineering, archeological, scientific, technological, economic, agricultural, educational, social, political, military, or cultural annals of the City of Flagstaff, the State of Arizona, or the United States of America.
- b. It embodies distinctive characteristics of type, period, region, artistic values, or methods of construction, including being the oldest of its type or the best example of its type, or, if it represents the work of, or for, an important individual.
- c. A resource is generally not significant if it is less than fifty (50) years old, or, if the features, materials, patterns, and relationships that establish its significance are no longer present or no longer have integrity. The integrity of a resource is judged by how evident the general character of the significant period is, the degree to which the characteristics that define its significance are present, and the degree to which incompatible elements are reversible.

Original Construction Date: See Letter

Describe Previous Major Alterations (Include dates and changes of use):

Describe the Significance of the Resource (In terms of A. or B., and C., above):

Source(s) of Information Used:

Describe the Level of Integrity of the Resource (Existing and proposed):



City of Flagstaff
 Community Development Division
 Building Safety & Code Compliance Section
 211 W. Aspen Avenue
 Flagstaff, AZ 86001

Phone: (928) 213-2627 Email: Buildingpermits@flagstaffaz.gov

OWNER AUTHORIZATION FORM

I (property owner) do hereby authorize Jim OConnell Capri Flagstaff LLC
Agent's Name and Company (if applicable)
 to act on my behalf for improvements at 111 N VERDUX ST FLAGSTAFF AZ 86001
Property Address / Suite / Unit
 and to obtain building permit(s) on my behalf for the work specified below. If the property has more than one owner, I certify that I have authority to provide this authorization on behalf of all owners.

Residential:

New Build / SFR	Remodel
Addition (attached)	Accessory (detached)
Roof	Manufactured Home / Park Model
Demolition	Solar System
Mechanical	Plumbing
Gas	Fence / Walls
Electrical	Other (specify):

Commercial:

New Build	Tenant Improvements
Addition (attached)	Accessory (detached)
Roof	Modular Building
Demolition	Mechanical
Gas	Plumbing
Sign	Fence / Walls
Site Improvements	Change in Occupancy
Cell Tower	Other (specify): <u>Demolition of Building</u>

By signing this Form, I acknowledge and agree that I am not released from responsibility for: (1) the payment of any and all fees associated with the issuance of any permits, orders, notices, or other approvals ("Approvals") by the City of Flagstaff pursuant to my agent's application; (2) the satisfactory completion of all work authorized by such Approvals in compliance with all applicable county, state, and federal laws, codes, rules, regulations, and requirements; and (3) correcting any violations of the terms and conditions of such Approvals issued by the City of Flagstaff pursuant to my agent's application.

Property Owner's Signature:

Printed Name: Bhavana Prema
 Signature: Bhavana Prema
 Phone: 928 562 256 5813
 Email: bhavnaprema@gmail.com Date: 1/16/25

Heritage Preservation Commission

8. A. 4.

From: Lauren Clementino, Senior Planner/Heritage Preservation Officer

DATE: 04/16/2025

SUBJECT: 123 N. Leroux St. Certificate of No Effect

PROPERTY INFO:

Permit Number(s): PZ-25-00082

Address: 123 N. Leroux St.

Type of Approval: Certificate of No Effect

Approval Date: April 8, 2025

FINDINGS:

Certificate of No Effect reviewed and accepted by HPO.

INFORMATION:

The applicant and property owner submitted a Certificate of No Effect for demolition of the building located at 123 N. Leroux St. The building is within the Downtown Historic Overlay Zone, but outside of the Railroad Addition Historic District. The building was determined not to be eligible for listing in the National or Flagstaff Registers of Historic Places due to a lack of significance and integrity - the letter report evaluating 123 N. Leroux St. is a separate agenda item. As the building is not an eligible cultural resource, the proposed demolition would have no effect and is subject to administrative review.

The scope of the Certificate of No Effect covers demolition only. Demolition of this building is proposed in advance of proposed construction of a future hotel and parking garage. The proposed parking garage would be located on this parcel and the adjacent parcel at 111 N. Leroux St. (APN 100-19-008-A). The proposed hotel building would be located on the 19 W. Birch Ave. (APN 100-19-004-A) parcel. The new hotel and parking garage proposal will be subject to a Certificate of Appropriateness and scheduled for Heritage Preservation Commission review during the development review process.

Attachments

Certificate of No Effect Application



City of Flagstaff

Community Development Division

211 W. Aspen Ave
Flagstaff, AZ 86001
www.flagstaff.az.gov

P: (928) 213-2618
F: (928) 779-7684

HPC-C

Date Received		Application to Heritage Preservation for a Certificate within an Overlay		File Number	
Property Owner(s) Capri Flagstaff LLC		Title	Phone 520-429-4256	Email jim@caprinc.com	
Mailing Address 6867 N Oracle Ste 101 Tucson AZ 85704				City, State, Zip	
Applicant Capri Flagstaff LLC		Title	Phone 520-429-4256	Email jim@caprinc.com	
Mailing Address 6867 N Oracle Ste 101 Tucson AZ 85704				City, State, Zip	
Property Interest of Applicant(s) (Owner, contractual interest, or agent) owner					
Site Address 123 N Leroux Street Flagstaff AZ 86001				City, State, Zip	
Project Name Demo Permit					
Parcel Number(s) 100-19-008-A			Zoning District(s), including Overlays Downtown Overlay		
Property Information:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Listed individually on the National or Arizona Register of Historic Places? (Name: _____) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Located in a National Register Historic District? (Name: _____) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Is a structure on the property considered contributing to the District? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Located in a Historic or Landmark Overlay? (Name: _____) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Is the structure over 50 years old at the time of application? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Does this application include review of a sign in an overlay or the Central Sign District?			
Type of HPC Application Requested:		<input checked="" type="checkbox"/> Certificate of No Effect (May be reviewed by the Heritage Preservation Officer or the Commission) <input type="checkbox"/> Certificate of Appropriateness (Must be reviewed by the Heritage Preservation Commission) <input type="checkbox"/> Certificate of Economic Hardship (Must be reviewed by the Heritage Preservation Commission)			
Note: Applications which are incomplete or not accompanied by the required information will not be accepted.					
Property Owner Signature: 		Date: 4/1/2025	Applicant Signature: 		Date: 4/1/2025
For City Use					
Date Filed: _____			HPC Hearing Date: _____		
Fee Receipt #: _____			Amount: _____ Date: _____		
Action by HPC:		<input type="checkbox"/> Consent Approval by HPO <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions			
		<input type="checkbox"/> Denied <input type="checkbox"/> Continued Staff Initial: _____ Date: _____			

Submittal Requirements

An application to the Heritage Preservation Commission and Historic Preservation Officer shall contain at least the following information:

1. Completed Application including all signatures and payment of fees. If applying for multiple types of HPC reviews only one fee is collected at the time of the first application for the same work.
2. An electronic copy and one copy of drawings or documents as needed to describe the proposal, which may include a Site Plan, Floor Plans, Exterior Elevations, Building Sections, Exterior Details, Lighting Plan, and a Landscape Plan. All drawings shall be drawn to scale and dimensioned and shall clearly and accurately represent the natural and built conditions of the context area and the project, including both existing conditions and proposed work.
3. Photographs of the context, including the property, surrounding properties, and the neighborhood.
4. A Color Board depicting all exterior materials and finishes associated with the work (if requested).
5. A list of related permits and development applications that have been or will need to be submitted.
6. Proof of ownership, or letter of authorization from the current property owner, if the applicant and owner are not the same.
7. Statement of approval from a subdivision or property owners association, if applicable.
8. Any other information which the applicant feels would be helpful and/or pertinent to the request.
9. Any other information as may be required by the Historic Preservation Officer or Heritage Preservation Commission to assist in the review of the requested application.

Timing of Submission and Completeness Review

The Heritage Preservation Commission meets to review applications monthly on the third Wednesday of the month. If you are submitting an application for review of a Certificate of Appropriateness, a Certificate of Economic Hardship, Community Development must receive your application by the submittal deadline posted to the [Heritage Preservation program website](#).

For your item to be added to an agenda, the Heritage Preservation Officer (HPO) must deem the application complete and the information in it correct within 5 working days. The HPO will contact applicants for additional information as necessary.

Please also note that per the Flagstaff Zoning Code, the HPO refer any application, including Certificates of No Effect to the Commission for any reason. If the HPO refers the application, you will not need to resubmit, but additional materials may be requested.

Applications pertaining to Certificates for properties with the Townsite Overlay Zone must also be properly noticed 15 days prior to the public hearing in accordance with *Section J of the Townsite Historic Design Review Overlay District Design Standards and Guidelines*.

Approval of a Certificate does not indicate a final approval of site plans, building plans, permanent sign permits and other applications that will be required prior to demolition, modification, or construction. Approval of all Certificates will be conditioned on their conformance with Zoning Code and Building Code standards. The Heritage Preservation Officer may elect to hold an application until a review by the InterDivision staff is completed and substantive comments have been provided to the applicant.

If this application includes the review of a sign within the Downtown Overlay, Central Sign District or the Townsite Overlay, a permanent sign application must be submitted prior to the submission of the HPC-C application and the comments provided in that review should be attached to this application.

We encourage you to reach out early in designing your projects so that the HPO may assist you and your clients. HPO contact information: Lauren Clementino, Phone: (928) 213-2633; Email: lclementino@flagstaffaz.gov



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HPC-C

Project Description

Demo permit

Explanation of how the project meets the applicable overlay and relevant sections of the Zoning Code

Demo Permit

Insert additional pages if necessary



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HPC-C

Summary Statement of Significance:

National Register of Historic Places documentation or a Cultural Resource Study can be submitted in lieu of completing this page to demonstrate significance (attach additional pages as necessary).

The significance of a resource is generally based on its potential to contribute to our understanding of the past. An object, structure, site, place, or area is significant if:

- a. It is associated with events or persons in the architectural, engineering, archeological, scientific, technological, economic, agricultural, educational, social, political, military, or cultural annals of the City of Flagstaff, the State of Arizona, or the United States of America.
- b. It embodies distinctive characteristics of type, period, region, artistic values, or methods of construction, including being the oldest of its type or the best example of its type, or, if it represents the work of, or for, an important individual.
- c. A resource is generally not significant if it is less than fifty (50) years old, or, if the features, materials, patterns, and relationships that establish its significance are no longer present or no longer have integrity. The integrity of a resource is judged by how evident the general character of the significant period is, the degree to which the characteristics that define its significance are present, and the degree to which incompatible elements are reversible.

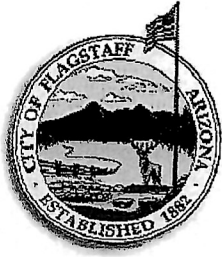
Original Construction Date: _____

Describe Previous Major Alterations (Include dates and changes of use):

Describe the Significance of the Resource (In terms of A. or B., and C., above):

Source(s) of Information Used:

Describe the Level of Integrity of the Resource (Existing and proposed):



City of Flagstaff
 Community Development Division
 Building Safety & Code Compliance Section
 211 W. Aspen Avenue
 Flagstaff, AZ 86001

Phone: (928) 213-2627 Email: Buildingpermits@flagstaffaz.gov

OWNER AUTHORIZATION FORM

I (property owner) do hereby authorize Capri Flagstaff LLC Jim O'Connell
Agent's Name and Company (if applicable)
 to act on my behalf for improvements at 123 N. Leroux
Property Address / Suite / Unit

and to obtain building permit(s) on my behalf for the work specified below. If the property has more than one owner, I certify that I have authority to provide this authorization on behalf of all owners.

Residential:

<input type="checkbox"/>	New Build / SFR
<input type="checkbox"/>	Addition (attached)
<input type="checkbox"/>	Roof
<input type="checkbox"/>	Demolition
<input type="checkbox"/>	Mechanical
<input type="checkbox"/>	Gas
<input type="checkbox"/>	Electrical

<input type="checkbox"/>	Remodel
<input type="checkbox"/>	Accessory (detached)
<input type="checkbox"/>	Manufactured Home / Park Model
<input type="checkbox"/>	Solar System
<input type="checkbox"/>	Plumbing
<input type="checkbox"/>	Fence / Walls
<input type="checkbox"/>	Other (specify):

Commercial:

<input type="checkbox"/>	New Build
<input type="checkbox"/>	Addition (attached)
<input type="checkbox"/>	Roof
<input checked="" type="checkbox"/>	Demolition
<input type="checkbox"/>	Gas
<input type="checkbox"/>	Sign
<input type="checkbox"/>	Site Improvements
<input type="checkbox"/>	Cell Tower

<input type="checkbox"/>	Tenant Improvements
<input type="checkbox"/>	Accessory (detached)
<input type="checkbox"/>	Modular Building
<input type="checkbox"/>	Mechanical
<input type="checkbox"/>	Plumbing
<input type="checkbox"/>	Fence / Walls
<input type="checkbox"/>	Change in Occupancy
<input type="checkbox"/>	Other (specify):

By signing this Form, I acknowledge and agree that I am not released from responsibility for: (1) the payment of any and all fees associated with the issuance of any permits, orders, notices, or other approvals ("Approvals") by the City of Flagstaff pursuant to my agent's application; (2) the satisfactory completion of all work authorized by such Approvals in compliance with all applicable county, state, and federal laws, codes, rules, regulations, and requirements; and (3) correcting any violations of the terms and conditions of such Approvals issued by the City of Flagstaff pursuant to my agent's application.

Property Owner's Signature:

Printed Name: Jim O'Connell
 Signature: [Handwritten Signature]
 Phone: 520-219-1856
 Email: jim@capriinc.com Date: 3/25/2025