



HPC RESPONSE LETTER

REGARDING:

Certificate of Appropriateness
402 W Birch Ave
Flagstaff, AZ 86001
Averbeck ADU

PREPARED BY:

Erin O'Loughlin
Project Architect
Updesign Studio Architects
304 S. Elden Street Suite 3
Flagstaff, Arizona 86001
408-705-0466
updesign.erin@gmail.com

ATTENTION:

Lauren Clementino
Senior Planner/Heritage Preservation Officer
City of Flagstaff
211 W. Aspen Ave
Flagstaff, AZ 86001
928-213-2633
lclementino@flagstaffaz.gov

Greetings Lauren,

Please see our attached Revision 02 documents for our application for a Certificate of Appropriateness for a new garage/ADU structure at 402 W Birch Ave. The following items have been revised from the Revision 01 documents that were reviewed by the HPC Commission on November 19, 2025.

- Lowered the main roof pitch from 8:12 to 6:12, which lowered the overall height by 1'-7".
- The bathroom facing N Sitgreaves was revised to occupy a smaller footprint and have a shed roof to make the mass feel smaller. Windows along this façade were re-designed to create more curb appeal.
- Eliminated the SW raised deck entirely & made the patio below smaller
- Delineated garage door for pedestrian scale and made the single 16'-0" wide door into two 8'-0" wide 7'-0" tall doors.
- The body colors were redesigned with the majority of the darker green on the bottom, with the lighter green on top.
- Changed window frame finish from black to cream to lighten the overall color palette.

- Relocated proposed structure in order to prevent the demolition of a century-old historical Gravenstein apple tree & create distance from the neighboring structure at the NW property corner.
- Added an additional 9'x18' off-street parking space behind the structure.
- Increased open space from 1,611 sf to 1,682 sf
- Decreased the amount of the existing low site rock wall to be demolished from 15'-6" to 12'-6"
- Both existing sheds along the West property line will be saved.

If you require anything else, please do not hesitate to contact us.

Sincerely,
Erin O'Loughlin
Project Architect



PROJECT NARRATIVE REV 02

AVERBECK ADU

REGARDING: Certificate of Appropriateness 402 W Birch Ave Flagstaff, AZ 86001 Averbeck ADU	PREPARED BY: Anne M. Mead, AIA, RA #54419 UPDESIGN Studio Architects 304 S. Elden Street Suite 3 Flagstaff, Arizona 86001 520-780-8746 updesign.anne@gmail.com	ATTENTION: Lauren Clementino Senior Planner/Heritage Preservation Officer City of Flagstaff 211 W. Aspen Ave Flagstaff, AZ 86001 928-213-2633 lclementino@flagstaffaz.gov
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Dear Ms. Clementino,

This project proposes the development of an accessory dwelling unit on the rear portion of the parcel located at 402 West Birch Avenue in the Flagstaff Townsite Historic Residential District. The scope of work also includes a front porch addition to the existing primary residence. This application is for a Certificate of Appropriateness for the proposed improvements.

The proposed ADU structure has been carefully sited on the Northwest corner of the subject property. This placement tucks the building behind the primary residence, assuring that it does not block viewsheds, light, or ventilation to the existing homes on the subject lot or the adjacent parcels. The existing century-old Gravenstein apple tree along the middle of the West property lien is able to be saved with the particular placement of the building.

The building has been designed as a carriage house with a two-car garage on the ground level with a surface parking spot behind the structure, providing three new on-site parking spaces in what was an under-utilized floodplain area. The placement of the garage at the back of the property with the driveway coming off the secondary street is consistent with the Townsite guidelines. The compact footprint of the new structure minimizes coverage and reinforces the structure's secondary nature.

The orientation of the front entry, which has a close relationship to North Sitgreaves Street, maintains privacy for the primary residence and creates privacy for the secondary dwelling. The new front porch is engaged to create a transitional space that indicates the entry and creates curb appeal.

The patio for the ADU has been integrated into the Southwest corner of the structure which is separated from the deck at the primary residence by a 1,682 SF interior common yard that promotes neighbor contact and a sense of community between the owner occupants and rental tenants.



December 08, 2025

The new building has an 6:12 roof pitch which is the shallowest pitch allowable for the main roof area in the Townsite to minimize the overall height of the structure. Accent roof area have a 3:12 pitch. The overall roof area has been subdivided into two smaller axis to reduce ridge lengths and the overall building massing while achieving an efficient living space above the garage.

The exterior materials and architectural detailing have been designed to be compatible with the primary residence while presenting a modest and subservient aesthetic. Attention has been paid to the orientation, scale, and proportion of the doors and windows for consistency with the character of the district.

To further demonstrate the dominance of the primary residence, a new front porch has been proposed. The porch projects towards Birch Avenue, engaging it with the street. A new picket fence will be installed to replace the existing chain link perimeter fence.

The majority of the malpais site wall along Sitgreaves will be maintained. Where the new driveway connects to the street, a section of the wall is required to be removed. The materials will be salvaged and repurposed as stone pilasters along the new fence on Birch Avenue. The landscaping will be improved and modified using approved COF plant species and native materials.

The intent of this development is to provide an efficient infill housing unit in one of Flagstaff's most desirable neighborhoods. The site placement, building massing, and materials have been carefully developed to integrate the new secondary structure in a way that does not diminish the presence of the primary structure or dilute the character of the Townsite District.

Thank you for your consideration in this matter. If there is any pertinent information that should be provided, please contact me directly.

Sincerely,

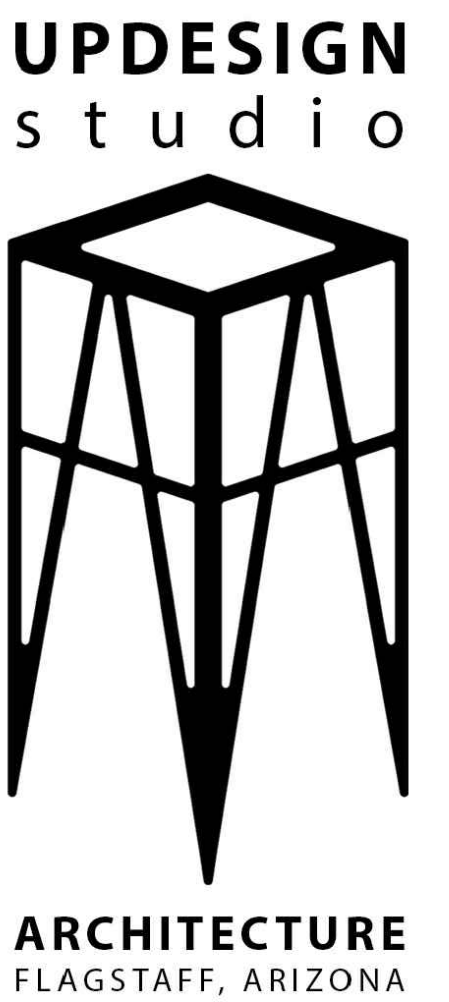
A handwritten signature in black ink that reads "Anne M. Mead". The signature is written in a cursive, flowing style.

Anne M. Mead, AIA, AZBTR RA 54419
Updesign.anne@gmail.com
520-780-8746

AVERBECK

ADU

402 W BIRCH
FLAGSTAFF
ARIZONA 86001

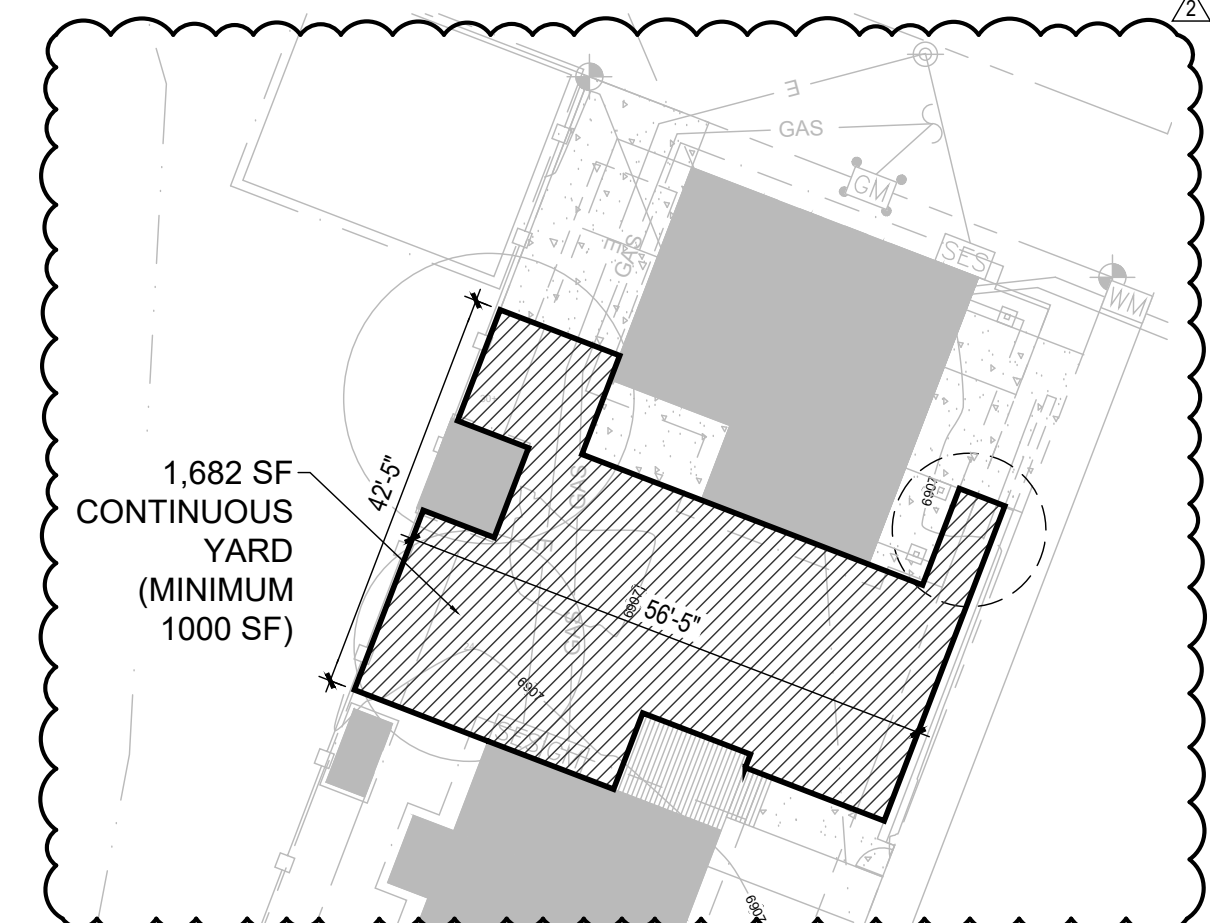


SITE PLAN LEGEND

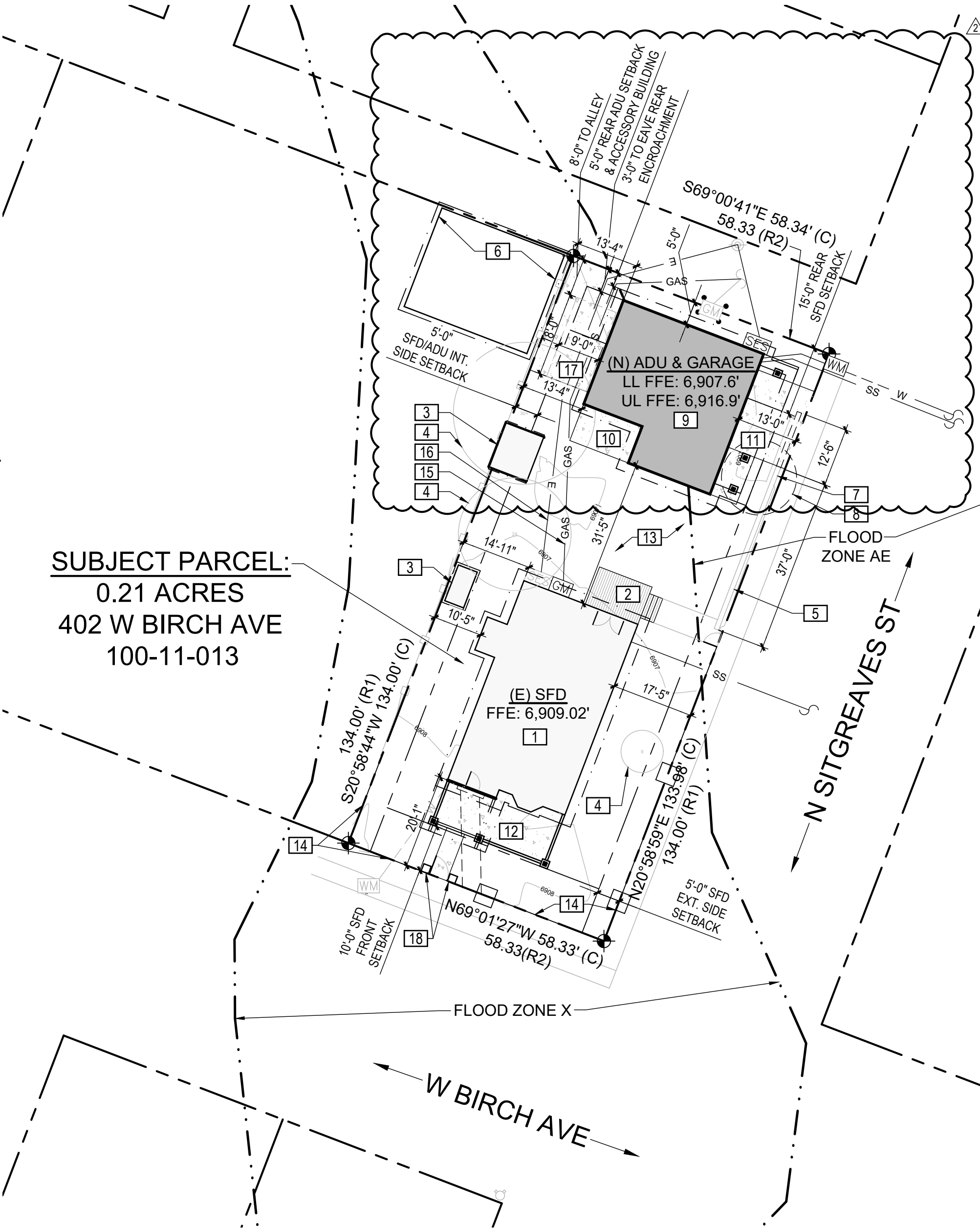
	E.T.R. PROPERTY CORNER
	E.T.R. POWER POLE
	E.T.R. STREET LIGHT
	E.T.R. ELECTRIC SERVICE ENTRY SECTION
	E.T.R. FIRE HYDRANT
	E.T.R. WATER METER
	E.T.R. GAS METER
	E.T.R. PROPERTY LINE
	E.T.R. SETBACK LINE
	E.T.R. FLOOD ZONE LINE
	E.T.R. FENCE
	E.T.R. GAS LINE
	E.T.R. WATER LINE
	E.T.R. SEWER LINE
	E.T.R. ELECTRIC LINE
	PROPOSED ELECTRIC SERVICE ENTRY SECTION
	PROPOSED WATER METER
	PROPOSED GAS METER
	PROPOSED GAS LINE
	PROPOSED WATER LINE
	PROPOSED SEWER LINE
	PROPOSED ELECTRIC LINE

SITE PLAN NOTES

- E.T.R. S.F.D.
- E.T.R. DECK & CONCRETE PATHWAY
- E.T.R. SHED
- E.T.R. TREE
- E.T.R. SECTION OF LOW SITE ROCK WALL
- E.T.R. NEIGHBORING STRUCTURE
- EXISTING SECTION OF ROCK WALL TO BE DEMOLISHED
- EXISTING TREE TO BE DEMOLISHED
- PROPOSED STRUCTURE FOOTPRINT
- PROPOSED CONCRETE PATIO
- PROPOSED CONCRETE DRIVEWAY
- PROPOSED PARTIALLY-COVERED FRONT PATIO AT S.F.D.
- PROPOSED SHARED CONTINUOUS YARD. SEE DIAGRAM 2/A0.0
- EXISTING CHAIN LINK SITE FENCE TO BE REMOVED & REPLACED W/ WHITE PICKET FENCING TO MATCH WEST NEIGHBOR. PLACE GATES AT EXISTING GATE LOCATIONS
- EXISTING GAS METER AND LINE TO BE RELOCATED AND REROUTED AT S.F.D., RESPECTIVELY. EXISTING BOLLARDS AROUND METER TO BE REMOVED.
- EXISTING ELECTRICAL LINE TO BE REROUTED UNDERGROUND
- PROPOSED EXTERIOR PARKING SPACE
- PROPOSED STONE PILASTERS FROM RE-USED SITE WALL MATERIAL



2. CONTINUOUS YARD DIAGRAM
SCALE: 1" = 20'-0"



1. SITE PLAN
SCALE: 1" = 20'-0"

PROJECT DIRECTORY

ARCHITECT
UPDESIGN STUDIO
ANNE M. MEAD AIA, RA 54419
304 S. ELDEN ST. SUITE 3
FLAGSTAFF, AZ 86001
520-780-8746

STRUCTURAL ENGINEER
T.B.D.

PARCEL / BUILDING OWNER
AVERBECK FAMILY TRUST
CONTACT: GEORGE & HOLLY AVERBECK
PO BOX 22446
FLAGSTAFF, AZ 86002
928-310-9084

CONTRACTOR
T.B.D.

PARCEL PROFILE

APN: 100-11-013
ADDRESS: 402 W BIRCH AVE
FLAGSTAFF, AZ 86001
SUBDIVISION: FLAGSTAFF TOWNSITE
ZONING: COMMUNITY COMMERCIAL (CC)
EXISTING USE: SINGLE FAMILY DWELLING
PROPOSED USE: S.F.D., DETACHED GARAGE/A.D.U.

DEVELOPMENT STANDARDS: (MR PER COF TABLE 10-40.30.040.B. FOOTNOTE 5)

S.F.D. SETBACKS:
FRONT (2ND FLR. & BELOW): 10'
SIDE EXTR.: 5'
SIDE INT.: 5'
REAR: 15'
REAR: 5'

A.D.U. SETBACKS:
SIDE INT.: 5'
REAR: 5'

MAX. HEIGHT:
25'-0" (PER TOWNSITE FOR BOTH S.F.D. & A.D.U. SUPERCEDES THE 35'-0" ALLOWABLE PER ZONE)

PROPOSED HEIGHT:
S.F.D.: 19'-10" (E.T.R.)
GARAGE/A.D.U.: 23'-4"

FLOOD ZONE:
F.Z.D. B.F.E.: AE & ZONE X
CLIMATE ZONE: 6,908.6'
LIGHTING ZONE: 5B
OVERLAY ZONE: II
HISTORIC ZONE: TOZ - TOWNSITE OVERLAY
FLAGSTAFF TOWNSITE HISTORIC RESIDENTIAL DISTRICT

CONSTRUCTION TYPE:
OCCUPANCY: R-3
E.T.R. S.F.D. BUILT: 1915

OFF-STREET PARKING:
S.F.D.: 2 SPACES REQUIRED
A.D.U.: 0 SPACE REQUIRED
TOTAL: 2 SPACES REQUIRED
TOTAL PROVIDED: 3 SPACES PROVIDED

AREA CALCULATIONS

PARCEL AREA: 0.21 ACRES (9,165 SF)
ALLOWABLE A.D.U. SF: 890 SF MAX. (75% OF S.F.D. SF)

E.T.R. LIVABLE AREA
E.T.R. S.F.D.: 1,186 SF

PROPOSED LIVABLE AREA
PROPOSED A.D.U.: 831 SF

ADDITIONAL AREA
E.T.R. SHED 1: 35 SF
E.T.R. SHED 2: 68 SF
PROPOSED LOWER GARAGE: 757 SF
PROPOSED LOWER ENTRY/STAIRS: 156 SF
TOTAL: 1,016 SF

COVERAGE
E.T.R. S.F.D. FOOTPRINT: 1,186 SF
E.T.R. SHED 1: 35 SF
E.T.R. SHED 2: 68 SF
PROPOSED GARAGE LVL. FOOTPRINT: 913 SF
TOTAL PROPOSED COVERAGE: 2,202 SF (24%)
MAX. ALLOWABLE COVERAGE: 3,666 SF (40%)

ADDITIONAL IMPERVIOUS SURFACES
REPLACED SFD FRONT WALKWAY: 43 SF
PROPOSED SFD FRONT PORCH: 271 SF
PROPOSED GARAGE FRONT PORCH: 65 SF
PROPOSED GARAGE REAR PATIO: 111 SF
PROPOSED REAR PARKING SLAB: 234 SF
PROPOSED GARAGE DRIVEWAY: 230 SF
TOTAL: 954 SF

GOVERNING CODES

CITY OF FLAGSTAFF ZONING CODE & AMENDMENTS
2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

PROJECT DESCRIPTION

NEW 1 BED/1 BATH A.D.U. ABOVE A NEW TWO CAR GARAGE ON A PARCEL WITH AN EXISTING SINGLE FAMILY DWELLING.

ABBREVIATIONS

A.B.	AGGREGATE BASE
A.D.U.	ACCESSORY DWELLING UNIT
A.F.F.	ABOVE FINISHED FLOOR
A.H.J.	AUTHORITY HAVING JURISDICTION
B.F.E.	BASE FLOOD ELEVATION
B.O.	BOTTOM OF/BACK OF
C.I.	CONTINUOUS INSULATION
CL	CENTERLINE
DIA.	DIAMETER
DIM.	DIMENSION
DTL.	DETAIL
DR.	DOOR
(E)EXIST.	EXISTING
ELEV.	ELEVATION
EQ.	EQUAL
E.T.R.	EXISTING TO REMAIN
EXTR.	EXTERIOR
FIN. FLR.	FINISHED FLOOR
F.F.E.	FINISHED FLOOR ELEVATION
F.O.	FRONT OF
F.R.P.	FIBERGLASS REINFORCED PANEL
F.Z.D.	FLOOD ZONE DETERMINATION
G.N.	GENERAL NOTES
H/H/HT	HIGH/HEIGHT
INTR.	INTERIOR
MIN.	MINIMUM
MFR.	MANUFACTURER
MAX.	MAXIMUM
(N)	NEW/PROPOSED
NSALED	NARROW SPECTRUM AMBER LED
OCC.	OCCUPANCY
O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED
O/	OVER
P.T.	PRESSURE TREATED
P.U.E.	PUBLIC UTILITY EASEMENT
REQS.	REQUIREMENTS
R.O.W.	RIGHT OF WAY
R.W.	RETAINING WALL
SECT.	SECTION
S.F.D.	SINGLE FAMILY DWELLING
SHT.	SHEET
SHTG.	SHEATHING
S.O.G.	SLAB ON GRADE
SPECS.	SPECIFICATIONS
STL.	STEEL
T.B.D.	TO BE DETERMINED
T.O.	TOP OF
TR/RE	TRASH & RECYCLING
TYP.	TYPICAL
V.I.F.	VERIFY IN FIELD
U.N.O.	UNLESS NOTED OTHERWISE
WNDW.	WINDOW
W/	WITH

DRAWING INDEX

A0.0	SITE PLAN, CONTINUOUS YARD DIAGRAM, & PROJECT DATA
A1.0	EXISTING/DEMO FLOOR PLAN
A1.1	PROPOSED LOWER LEVEL FLOOR PLAN
A1.2	PROPOSED UPPER LEVEL FLOOR PLAN
A1.3	EXISTING/DEMO ROOF PLAN
A1.4	PROPOSED ROOF PLAN
A2.0	EXTERIOR FRONT (SW) ELEVATIONS
A2.1	EXTERIOR SIDE (SE) ELEVATIONS
A2.2	EXTERIOR SIDE (NW) ELEVATIONS
A2.3	EXTERIOR REAR (NE) ELEVATIONS
A5.0	TYPICAL DETAILS
E1.0	PROPOSED LOWER LEVEL EXTR. LIGHTING PLAN
E1.1	PROPOSED UPPER LEVEL EXTR. LIGHTING PLAN

APN : 100-11-013

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SCHEMATIC DESIGN 1.0	01-28-2025

DESCRIPTION DATE

PROJECT NO 24_026

AVERBECK

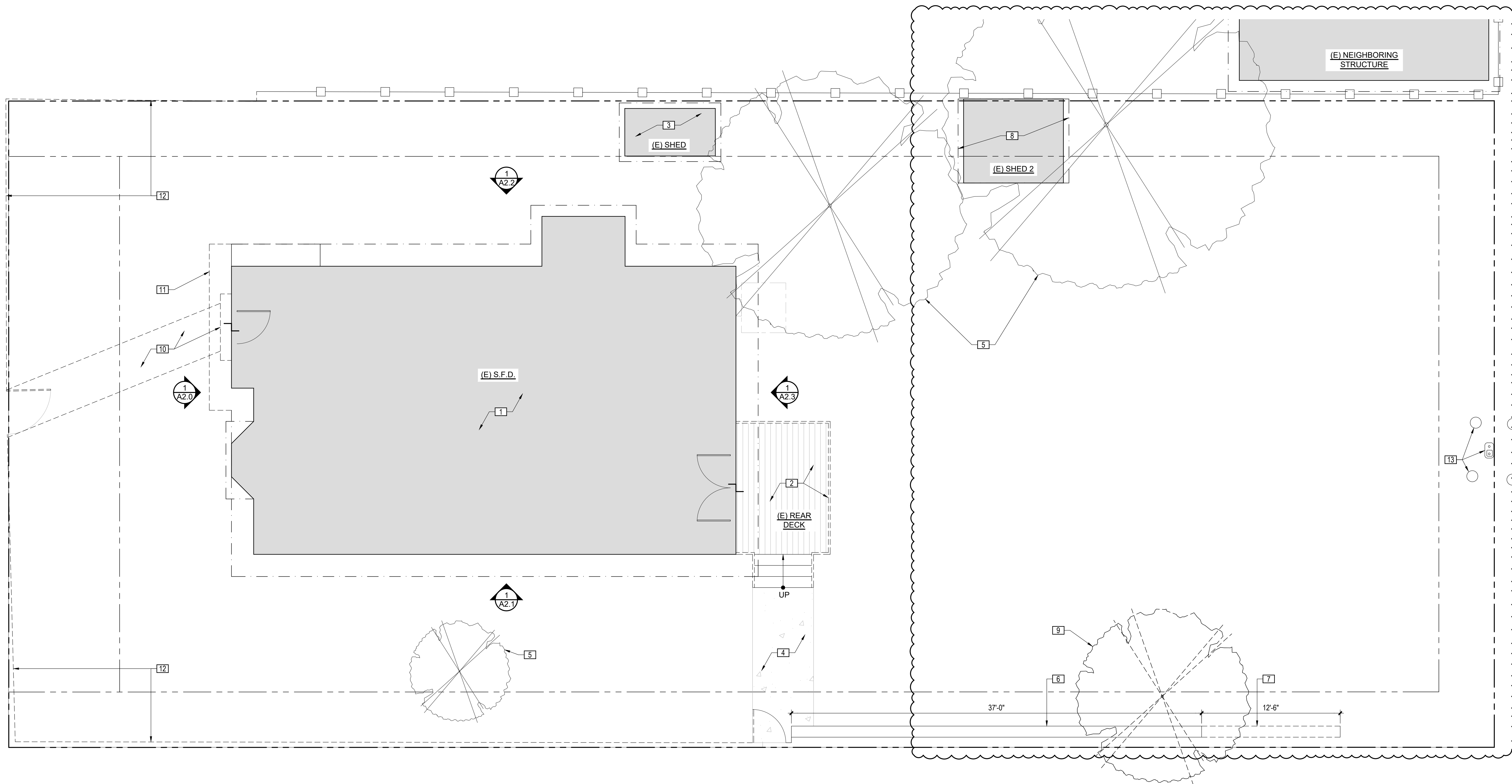
ADU

402 W BIRCH
FLAGSTAFF
ARIZONA 86001

SHEET TITLE:

SITE PLAN & PROJECT DATA

A0.0

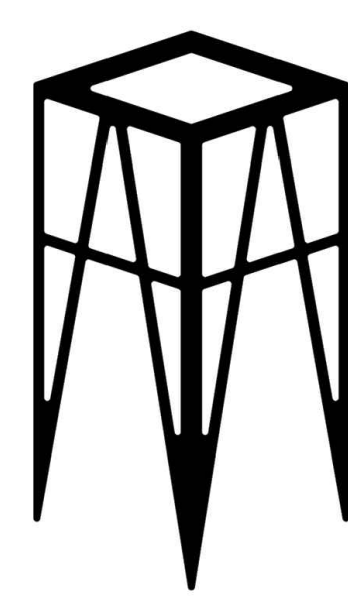


EXISTING/DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0"

EXISTING/DEMO FLOOR PLAN NOTES

1. E.T.R. S.F.D.
2. E.T.R. DECK. GUARDRAIL TO BE DEMOLISHED AND REPLACED WITH NEW GUARDRAIL PER PROPOSED FLOOR PLANS
3. E.T.R. SHED
4. E.T.R. CONCRETE PATHWAY
5. E.T.R. TREE
6. E.T.R. SECTION OF LOW SITE ROCK WALL
7. EXISTING SECTION OF ROCK WALL TO BE DEMOLISHED. MATERIAL TO BE RE-USED AT FRONT FENCE LINE.
8. EXISTING SHED TO BE DEMOLISHED
9. EXISTING TREE TO BE DEMOLISHED
10. EXISTING S.F.D. CONCRETE PATHWAY & FRONT STEP TO BE DEMOLISHED
11. EXISTING ROOFING & OUTRIGGERS TO BE DEMOLISHED. AREA TO BE PREPPED FOR NEW ROOF EXTENSION PER PROPOSED ROOF PLAN.
12. EXISTING CHAIN LINK SITE FENCE TO BE REPLACED PER PROPOSED FLOOR PLAN.
13. EXISTING S.F.D. GAS METER & BOLLARDS TO BE REUSED FOR A.D.U.



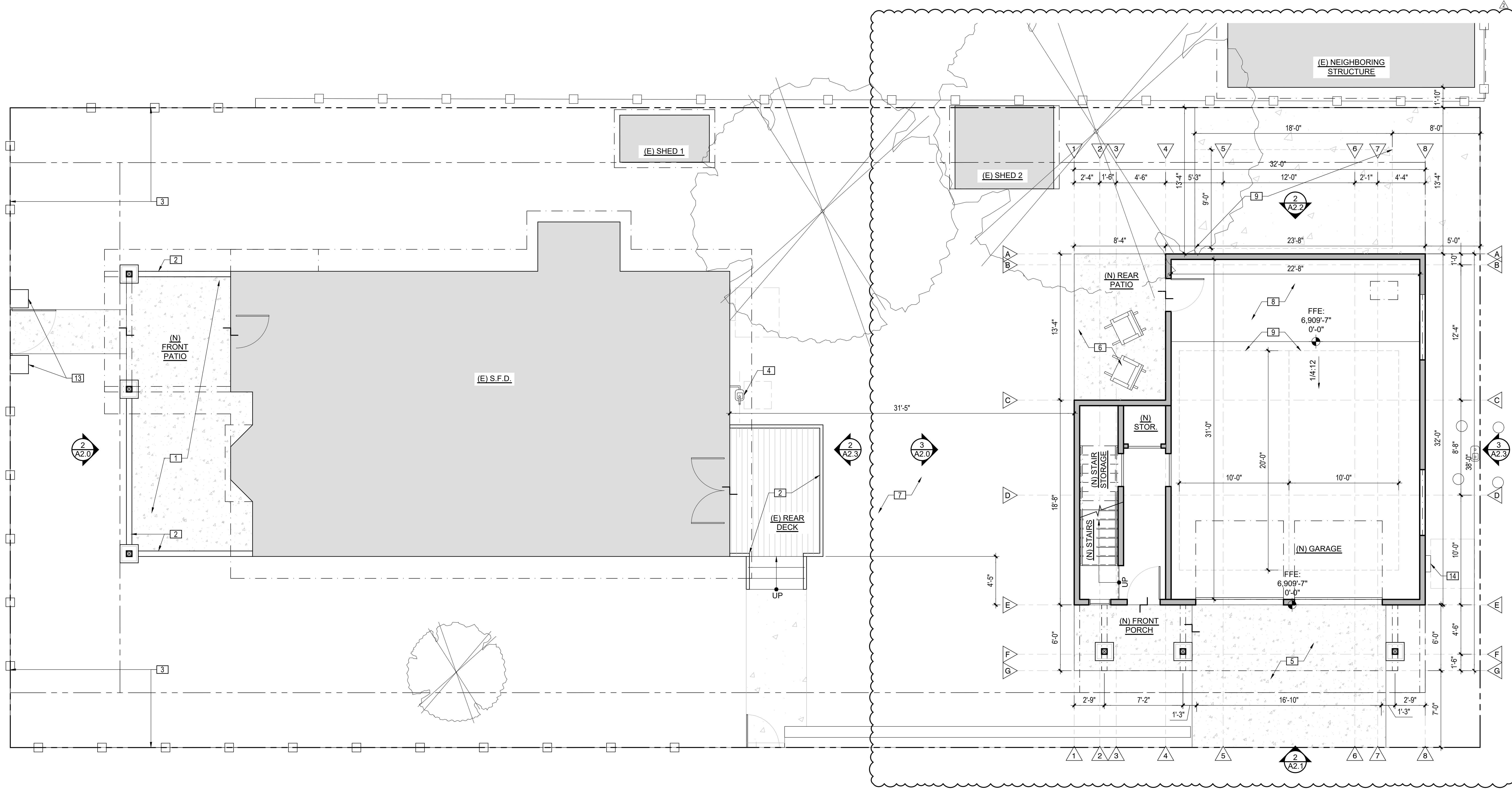
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SHEET TITLE:
 EXISTING/DEMO
 FLOOR PLAN
A1.0

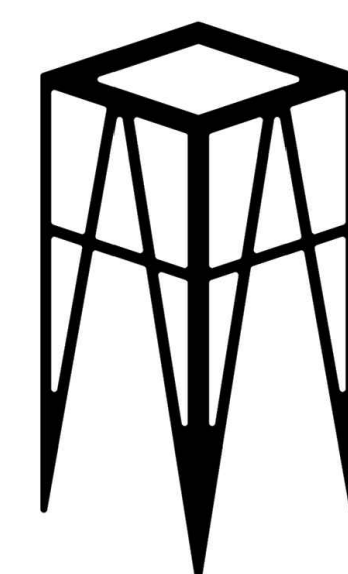


PROPOSED LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

PROPOSED FLOOR PLAN NOTES

1. PROPOSED PARTIALLY-COVERED FRONT PATIO AT S.F.D.
2. PROPOSED 36" H. GUARDRAIL W/ 4X4 POSTS @ 4'-0" O.C. MAX., WOOD GUARDS & WOOD TOP PLATE.
3. PROPOSED WHITE PICKET FENCING TO MATCH WEST NEIGHBOR. PLACE GATES AT EXISTING GATE LOCATIONS
4. RELOCATED S.F.D. GAS METER
5. PROPOSED CONCRETE DRIVEWAY
6. PROPOSED CONCRETE PATIO
7. PROPOSED SHARED CONTINUOUS YARD. SEE DIAGRAM 2/A0.0
8. PROPOSED GARAGE LOWER FLOOR OF PROPOSED STRUCTURE
9. PROPOSED (2) 10' X 20' INTR. PARKING SPACES & (1) 9'X18' INTR. PARKING SPACE. SEE A0.0 FOR PARKING CALC
10. PROPOSED TANK WATER HEATER. MOUNT ALL EQUIPMENT MIN. 1' ABOVE THE F.Z.D. B.F.E. PER A0.0.
11. PROPOSED ADU UPPER FLOOR OF PROPOSED STRUCTURE. SEE A0.0 FOR SQUARE FOOTAGE RESTRICTIONS.
12. NOTE NOT USED
13. PROPOSED STONE PILASTERS FROM RE-USED SITE WALL MATERIAL
14. PROPOSED A.D.U. ELECTRIC SERVICE ENTRY SECTION



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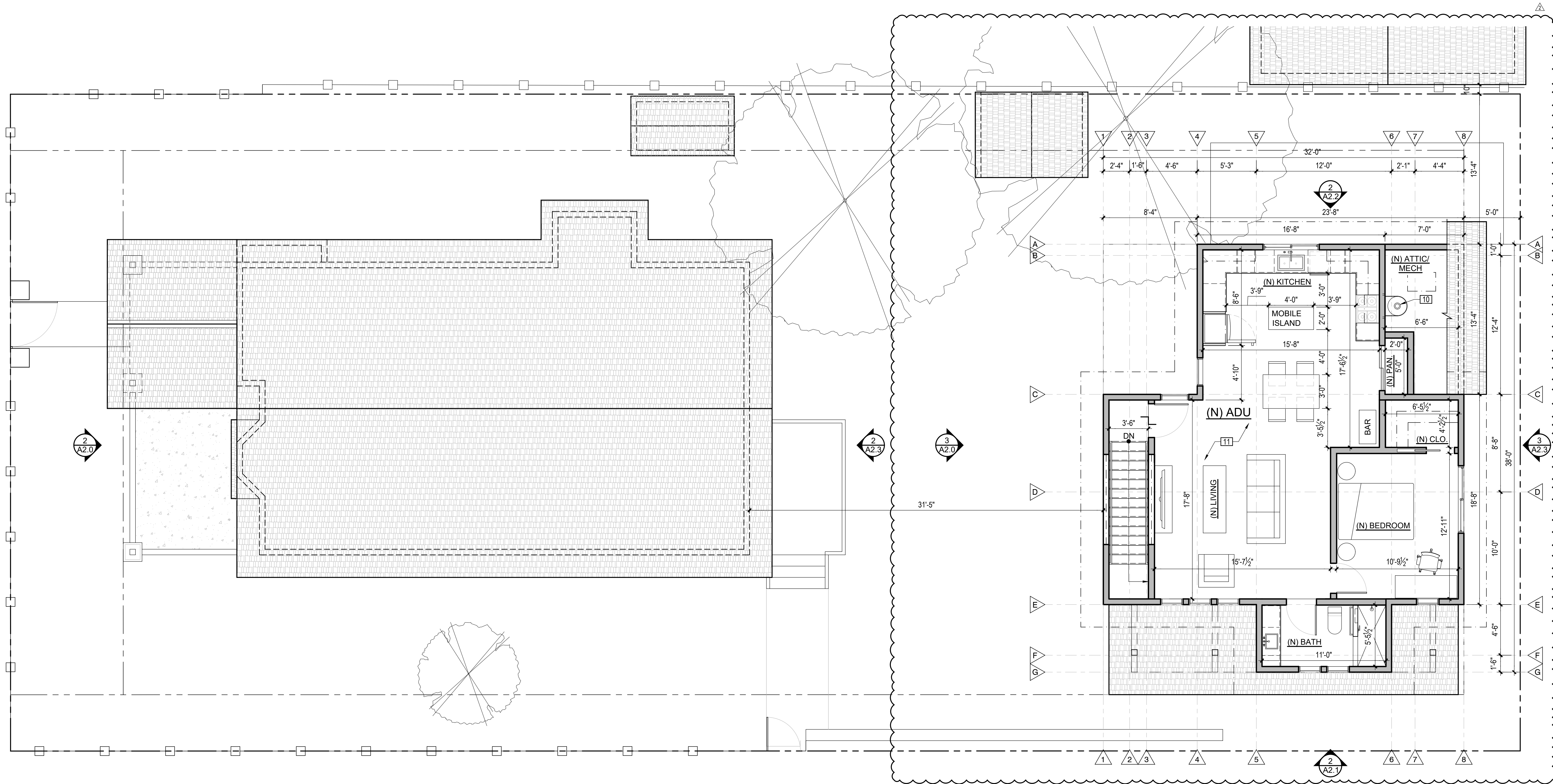
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SHEET TITLE:
PROPOSED LOWER LEVEL
FLOOR PLAN

A1.1

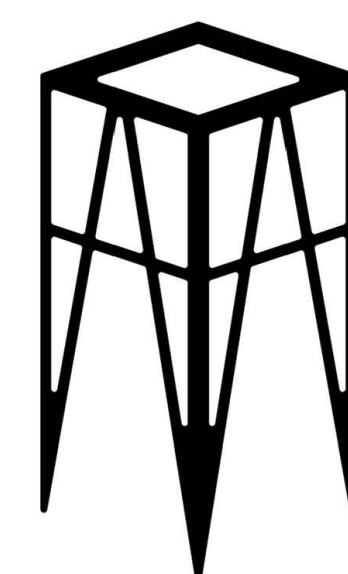


PROPOSED UPPER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

PROPOSED FLOOR PLAN NOTES

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12. NOTE NOT USED
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14. PROPOSED A.D.U. ELECTRIC SERVICE ENTRY SECTION



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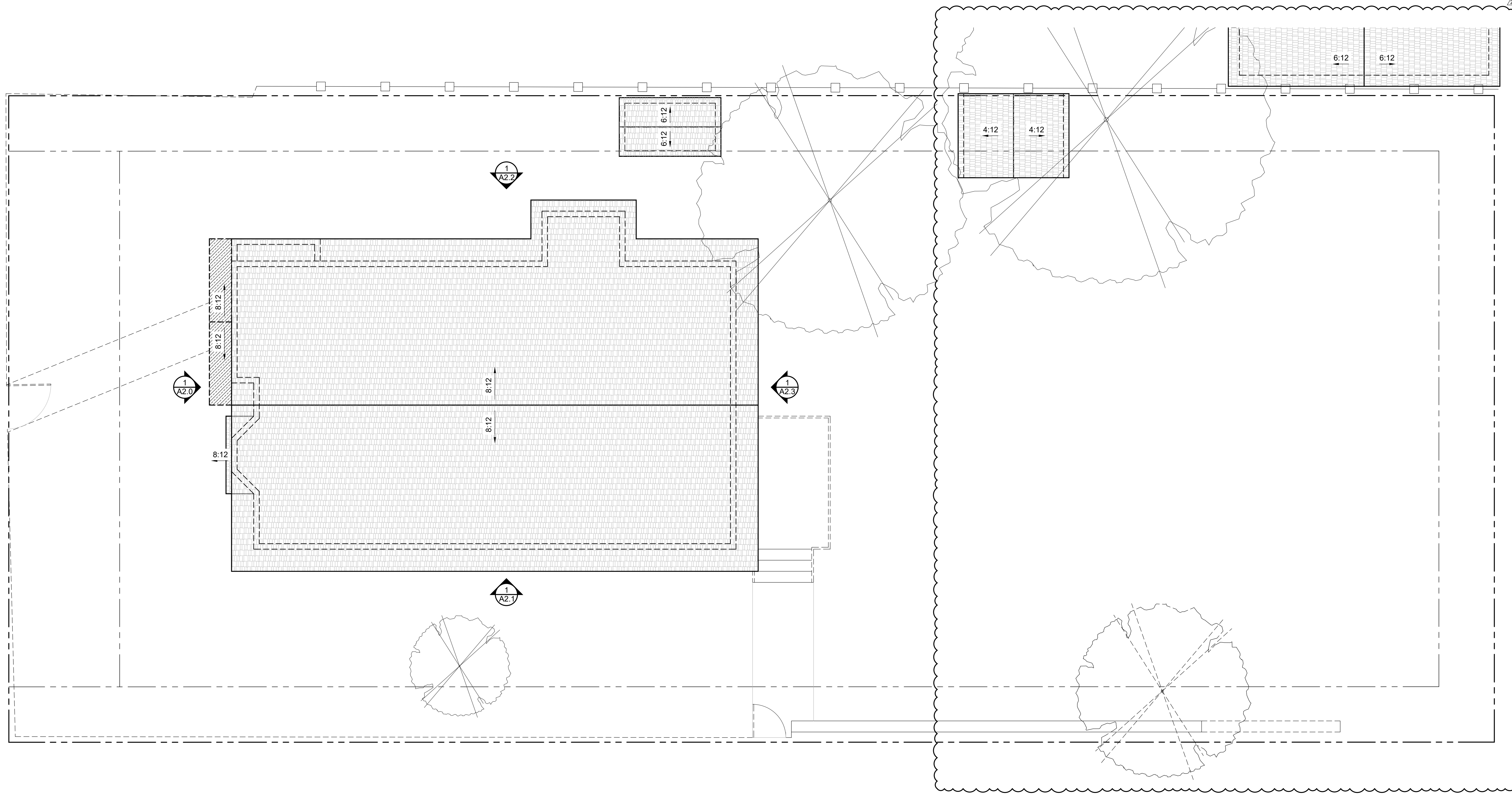
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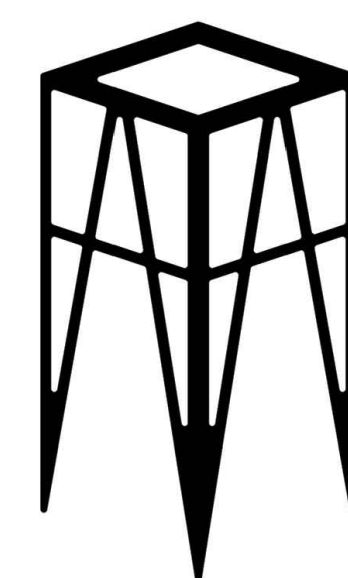
SHEET TITLE:
PROPOSED UPPER LEVEL
FLOOR PLAN

A1.2



EXISTING/DEMO ROOF PLAN

SCALE: 1/4" = 1'-0"



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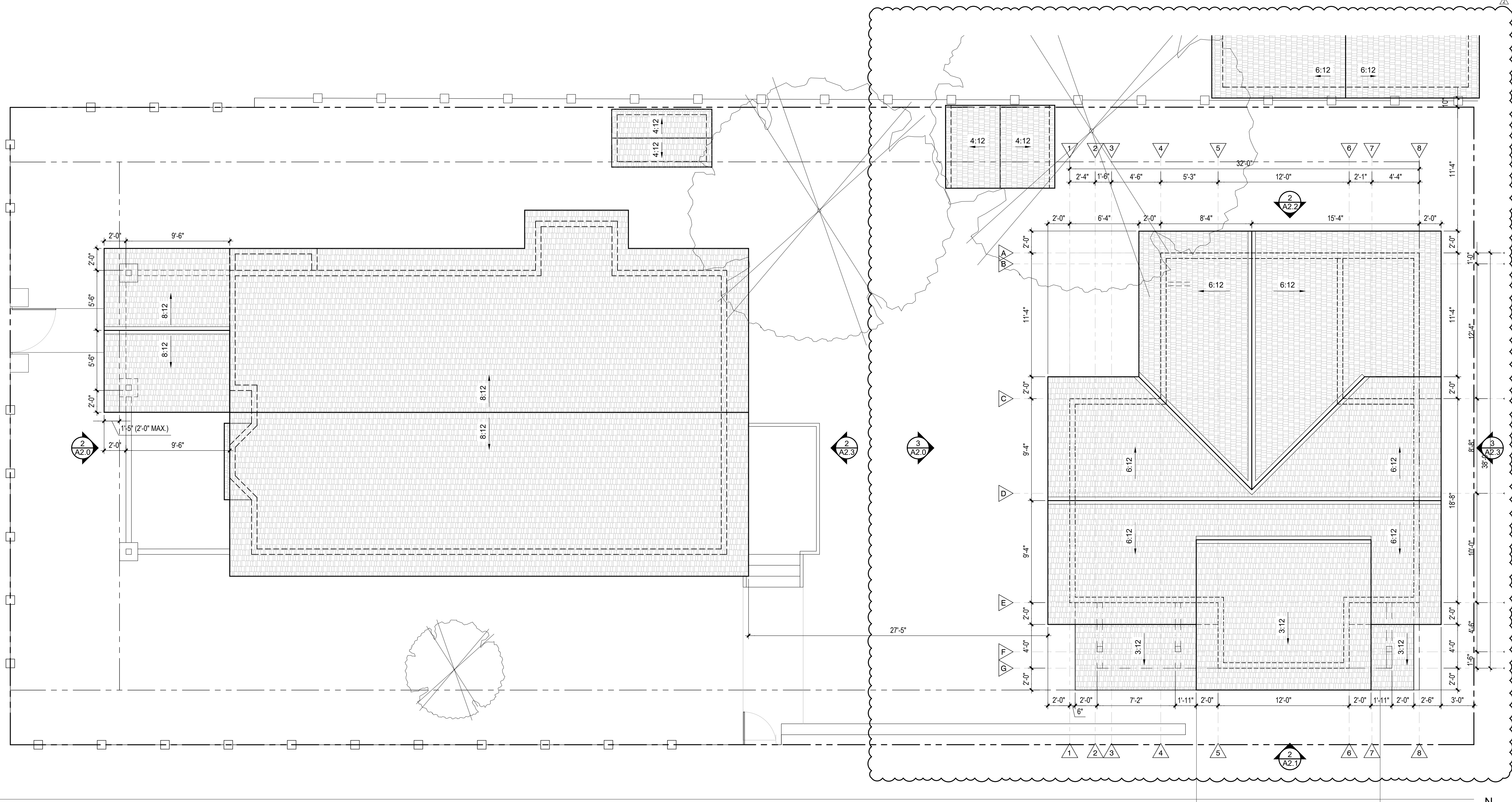
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SCHEMATIC DESIGN 1.3	04-07-2025
SCHEMATIC DESIGN 1.2	03-14-2025
SCHEMATIC DESIGN 1.1	02-19-2025
SCHEMATIC DESIGN 1.0	01-28-2025

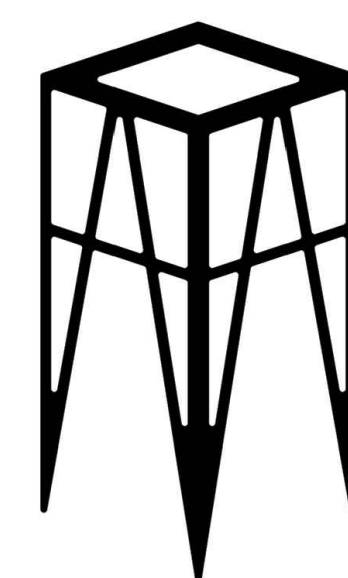
PROJECT NO 24_026

SHEET TITLE:
EXISTING/DEMO
ROOF PLAN
A1.3



PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"



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ADU 402 W BIRCH
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ARIZONA 86001



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PROJECT NO 24_026	

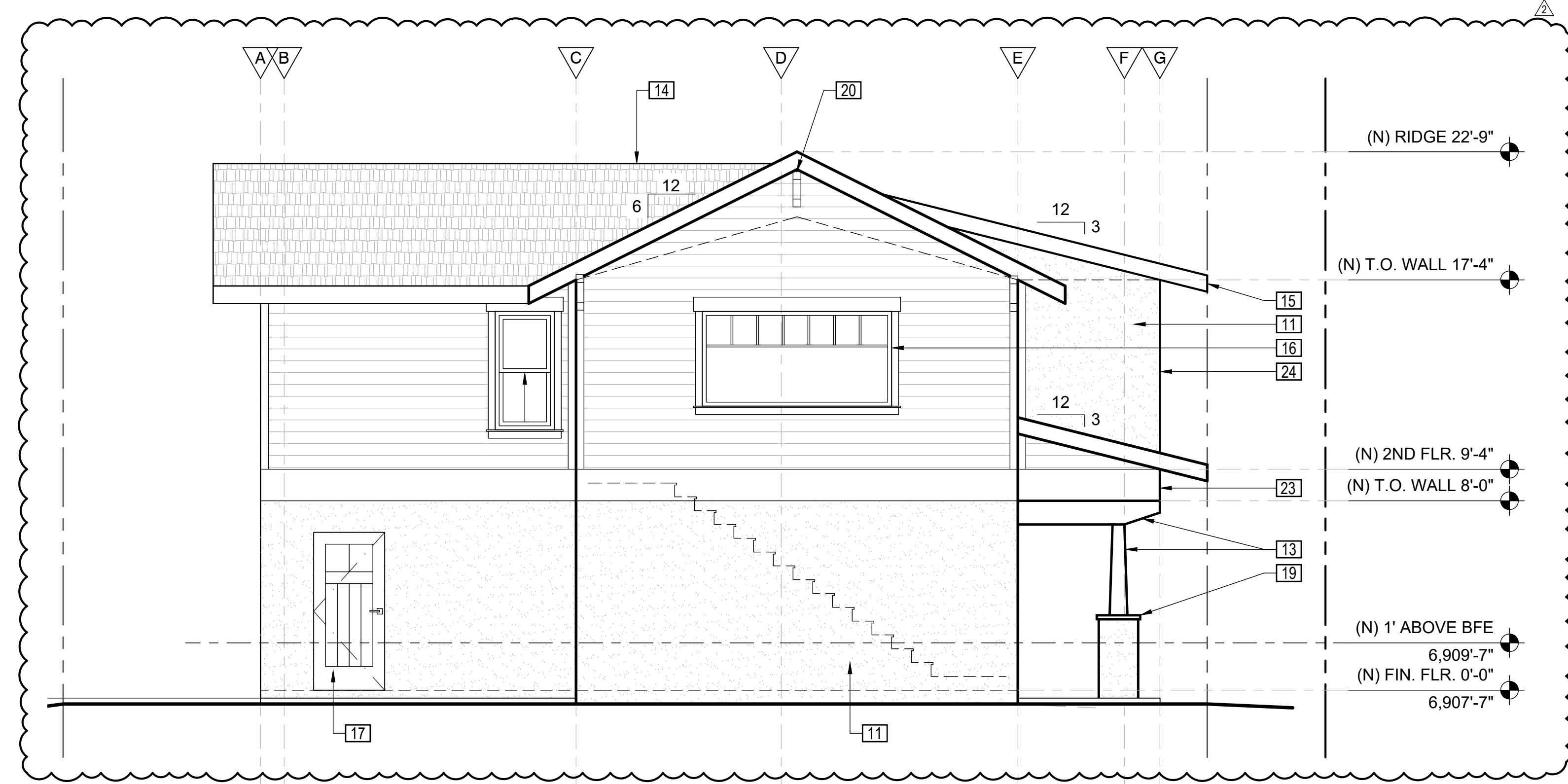
SHEET TITLE:

PROPOSED
ROOF PLAN

A1.4

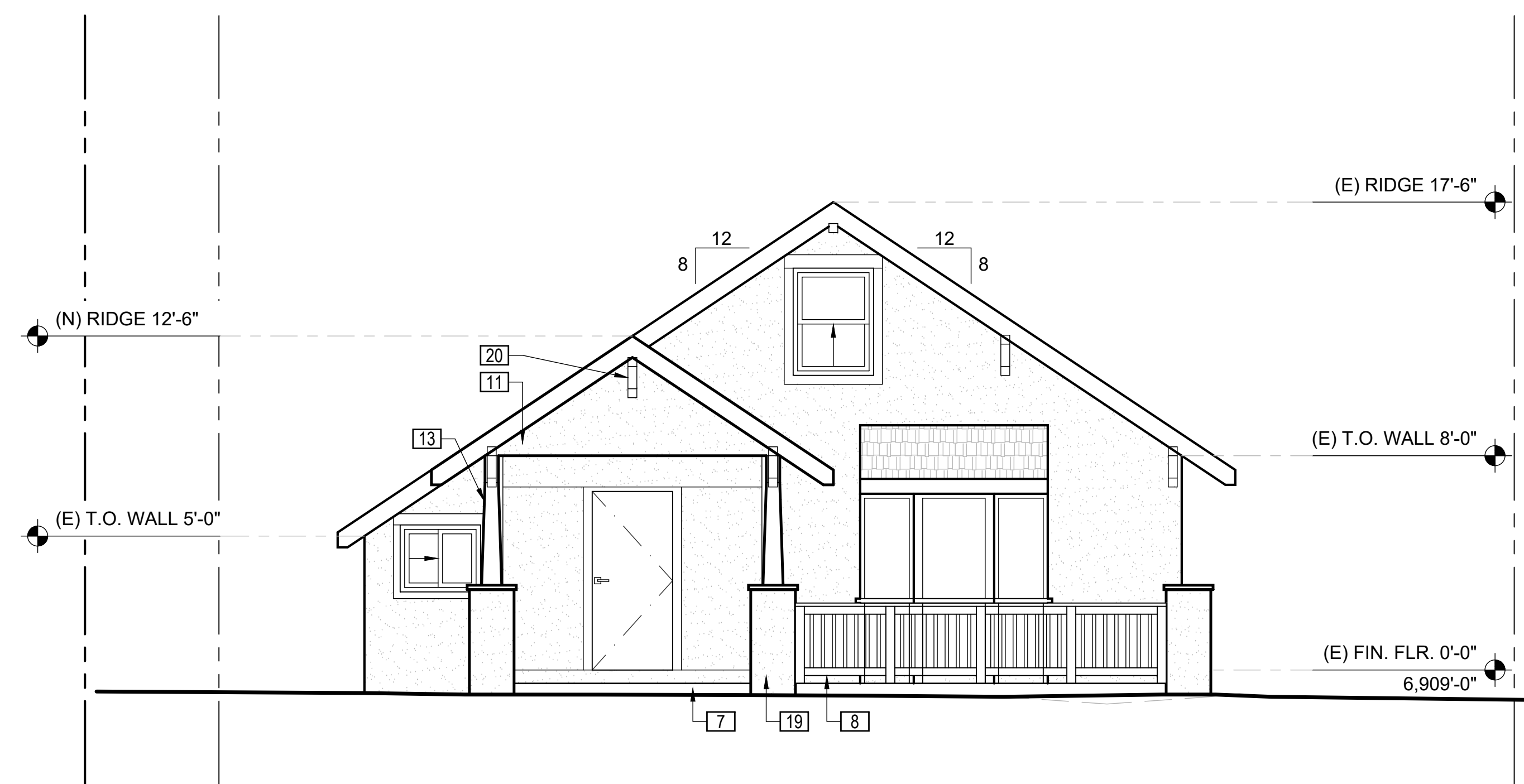
ELEVATION NOTES

1. E.T.R. S.F.D.
2. E.T.R. ELECTRIC SERVICE ENTRY SECTION FOR S.F.D.
3. E.T.R. DECK. GUARDRAIL TO BE DEMOLISHED AND REPLACED WITH NEW GUARDRAIL PER PROPOSED FLOOR PLANS
4. EXISTING ROOFING & OUTRIGGERS TO BE DEMOLISHED. AREA TO BE PREPPED FOR NEW ROOF EXTENSION PER PROPOSED ROOF PLAN.
5. EXISTING S.F.D. CONCRETE PATHWAY & FRONT STEP TO BE DEMOLISHED
6. E.T.R. GAS METER & BOLLARDS. LINE TO BE REROUTED TO A.D.U
7. PROPOSED PARTIALLY-COVERED FRONT PATIO AT S.F.D.
8. PROPOSED 36" H. GUARDRAIL W/ 4X4 POSTS @ 4'-0" O.C. MAX., WOOD GUARDS & WOOD TOP PLATE. STAIN IN "SW 3531 BLUE SHADOW" BY "SHERWIN WILLIAMS" LRV NOT AVAILABLE
9. RELOCATED GAS METER AT S.F.D.
10. NOTE NOT USED
11. PROPOSED STUCCO SIDING, PAINTED IN "SW 6209 - RIPE OLIVE" LRV 6 BY "SHERWIN WILLIAMS"
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15. PROPOSED FASCIA, PAINTED IN "SW 6342 SPICY HUE" LRV 12 BY "SHERWIN WILLIAMS"
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23. PROPOSED BELLY BAND. PAINT TO MATCH STUCCO
24. PROPOSED TRIM. PAINT TO MATCH LAP SIDING



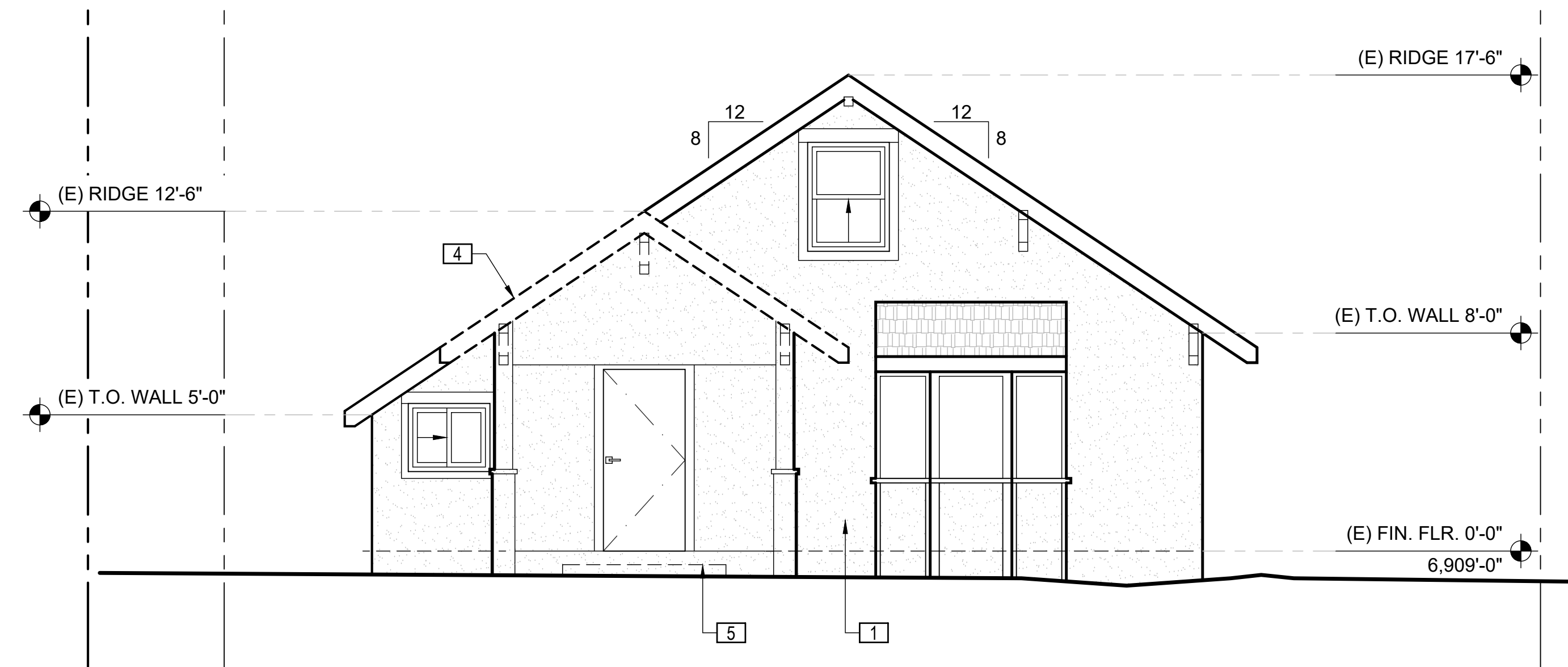
3. PROPOSED FRONT ADU (SW) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



2. PROPOSED SFD FRONT (SW) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



1. EXISTING/DEMO SFD FRONT (SW) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

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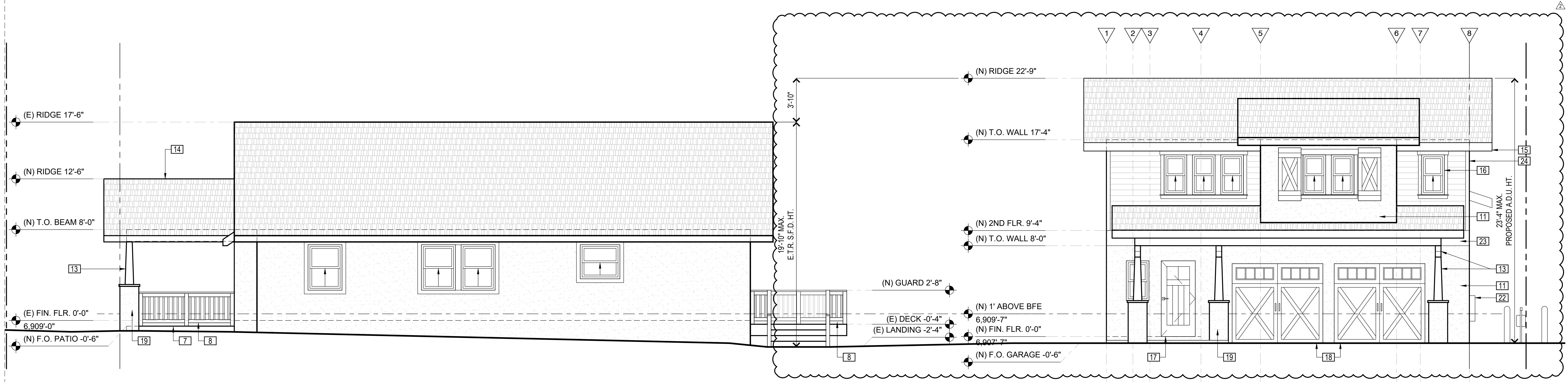


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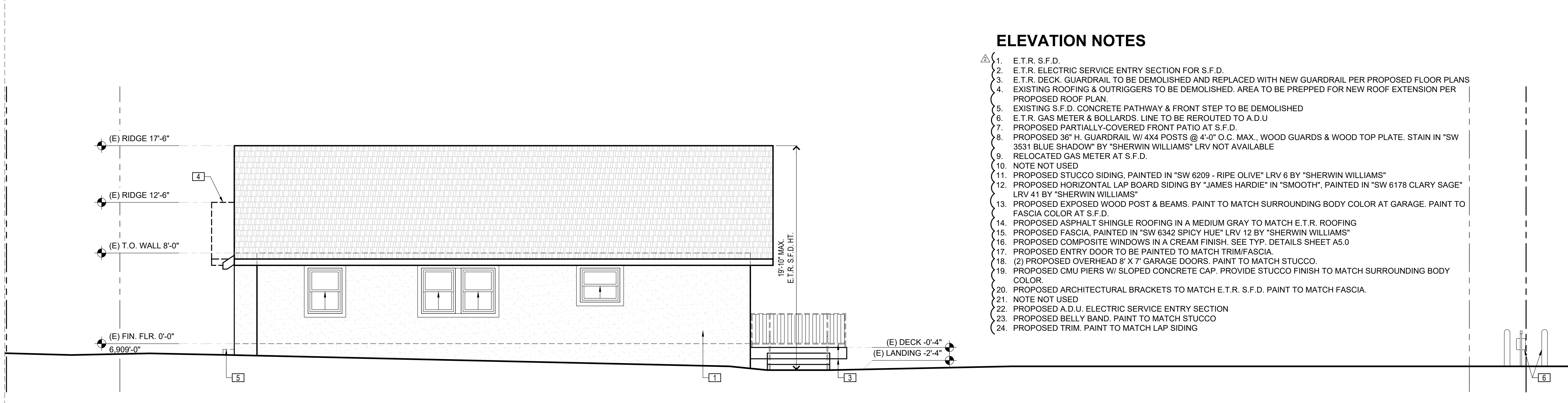
PROJECT NO 24_026

SHEET TITLE:
 EXTERIOR FRONT (SW)
 ELEVATIONS
A2.0



2. PROPOSED SIDE (SE) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

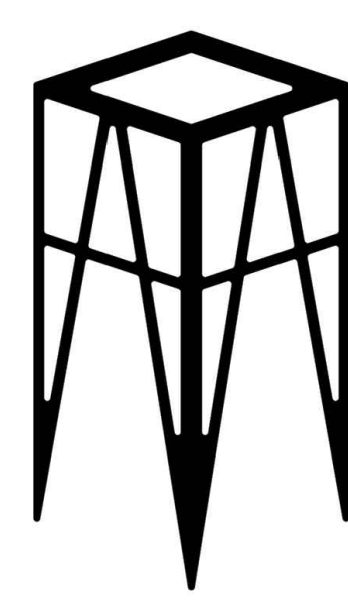


1. EXISTING/DEMO SIDE (SE) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. E.T.R. S.F.D.
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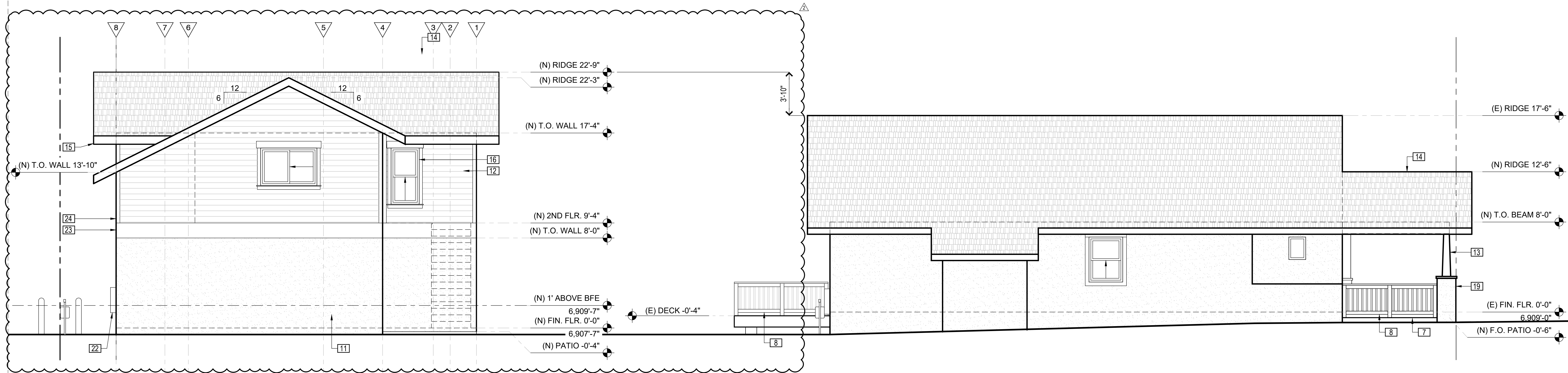
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PROJECT NO 24_026	

SHEET TITLE:
EXTERIOR SIDE
(SE) ELEVATIONS
A2.1

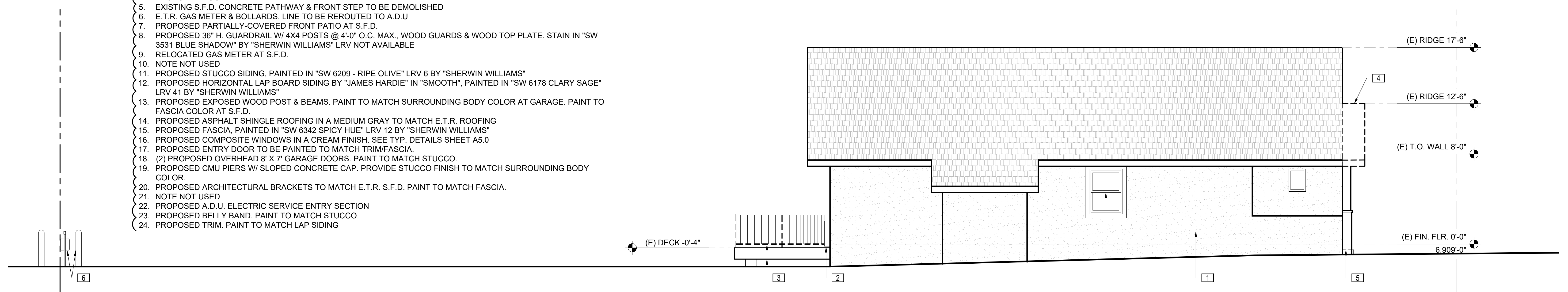


2. PROPOSED SIDE (NW) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

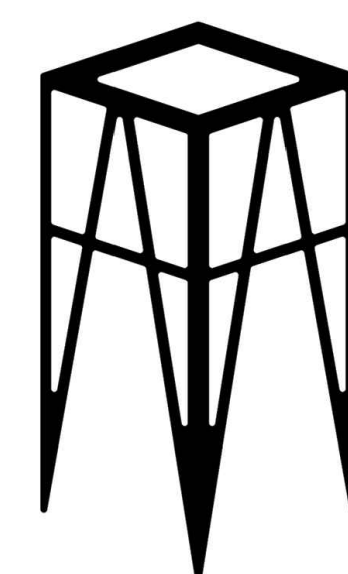
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24. PROPOSED TRIM. PAINT TO MATCH LAP SIDING



1. EXISTING/DEMO SIDE (NW) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



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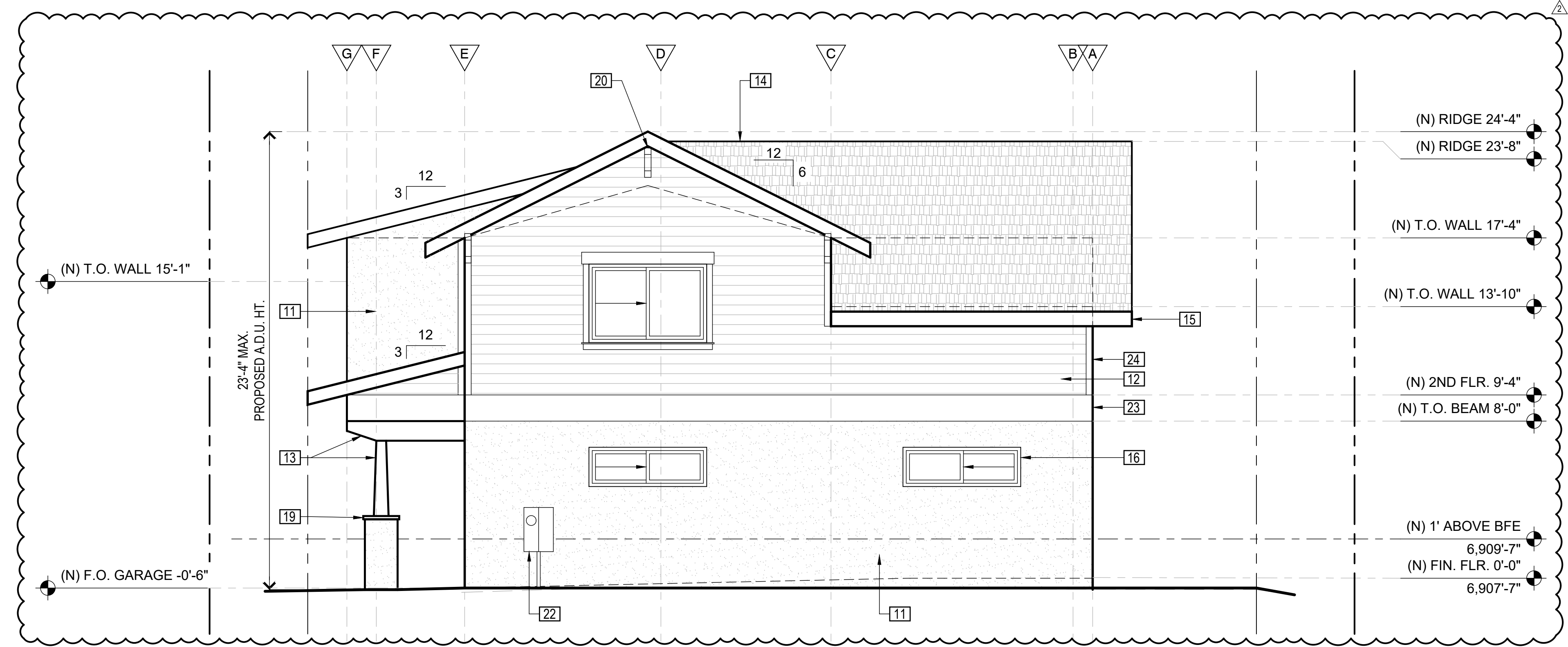
SHEET TITLE:

EXTERIOR SIDE
(NW) ELEVATIONS

A2.2

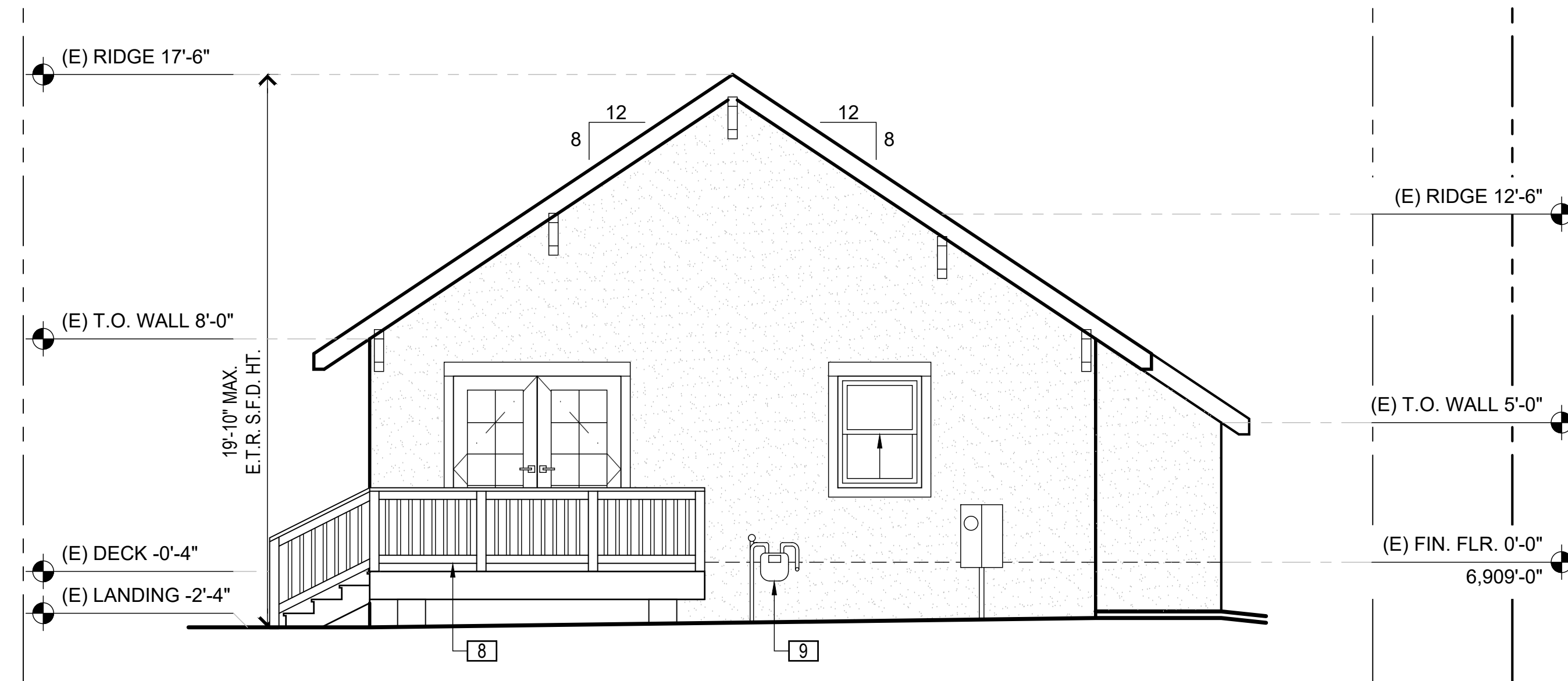
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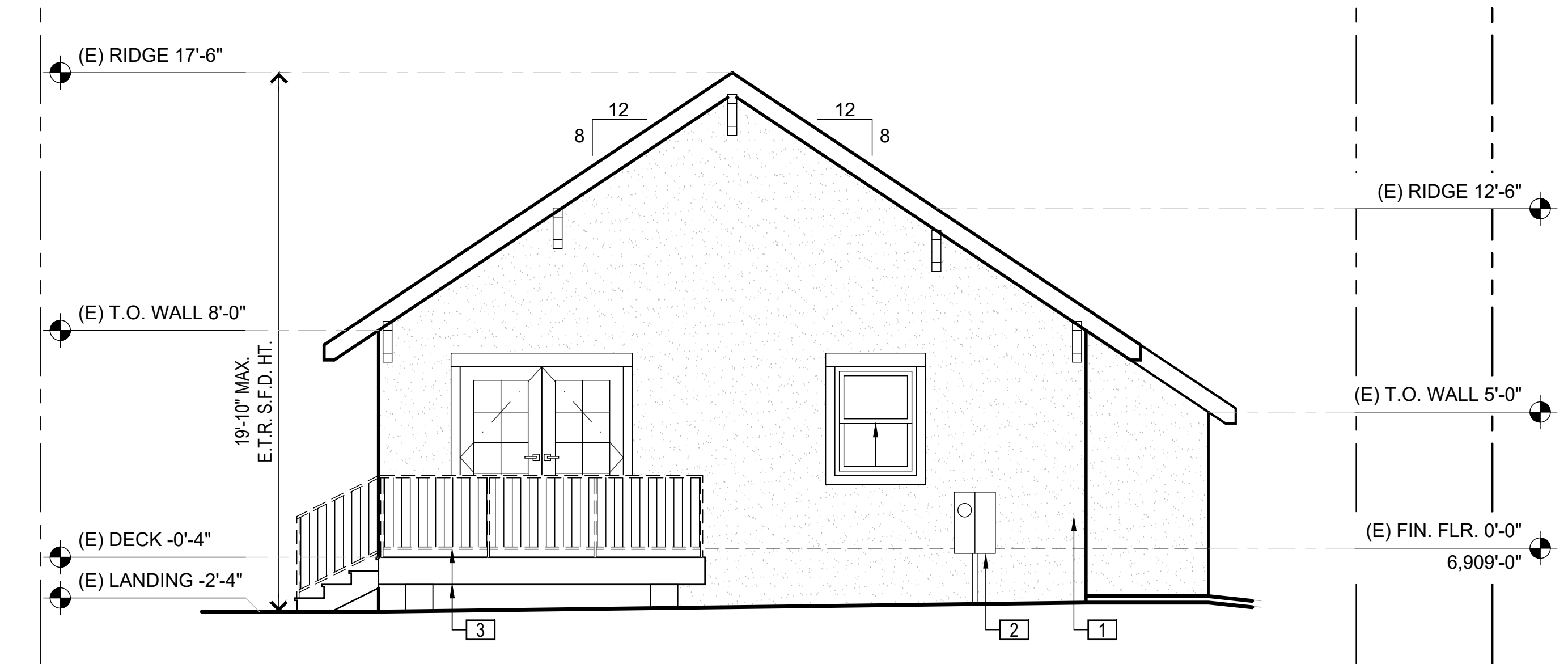
3. PROPOSED ADU REAR (NE) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



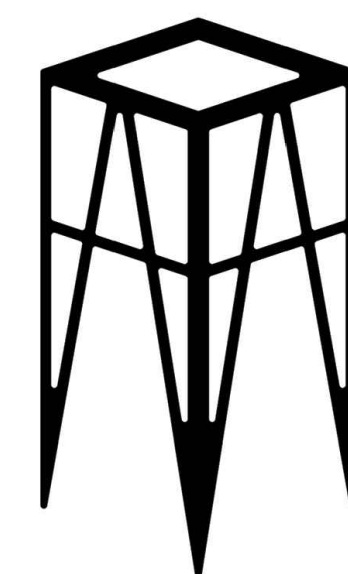
2. PROPOSED SFD REAR (NE) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



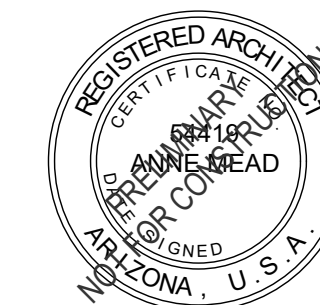
1. EXISTING/DEMO SFD REAR (NE) EXTERIOR ELEVATION

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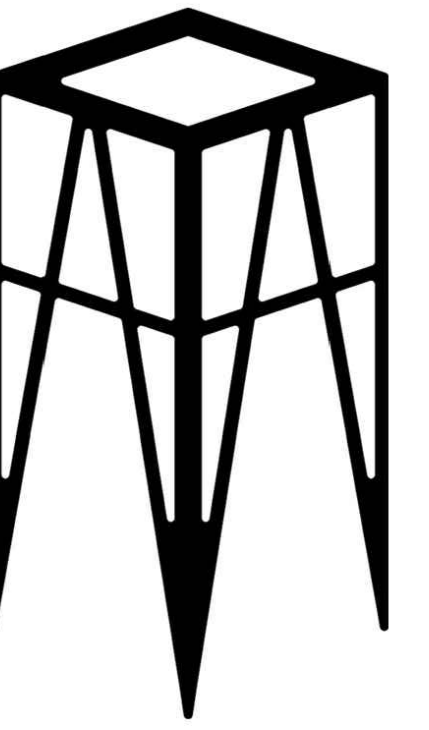
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SHEET TITLE:
EXTERIOR FRONT (SW) &
REAR (NE) ELEVATIONS

A2.3



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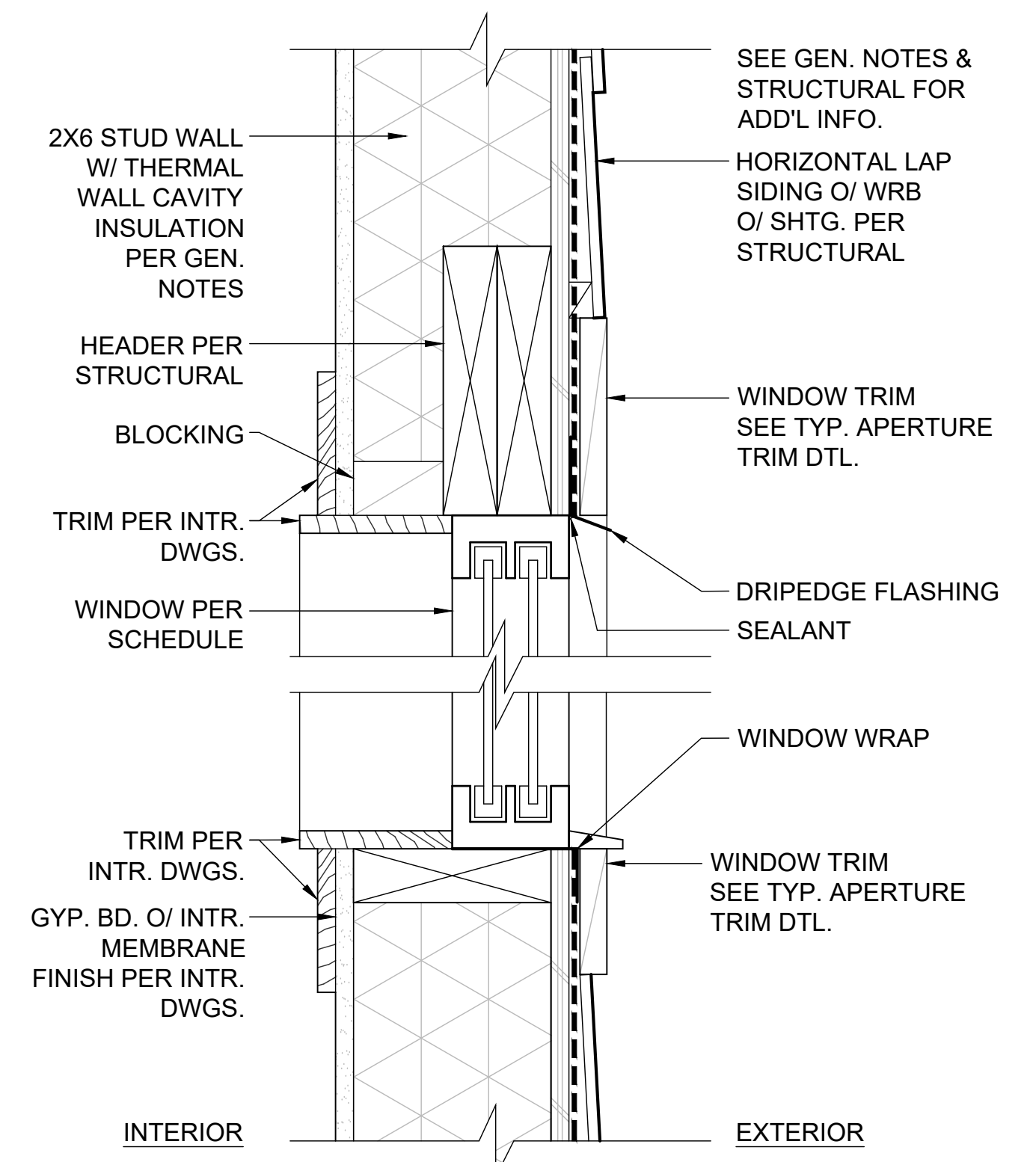
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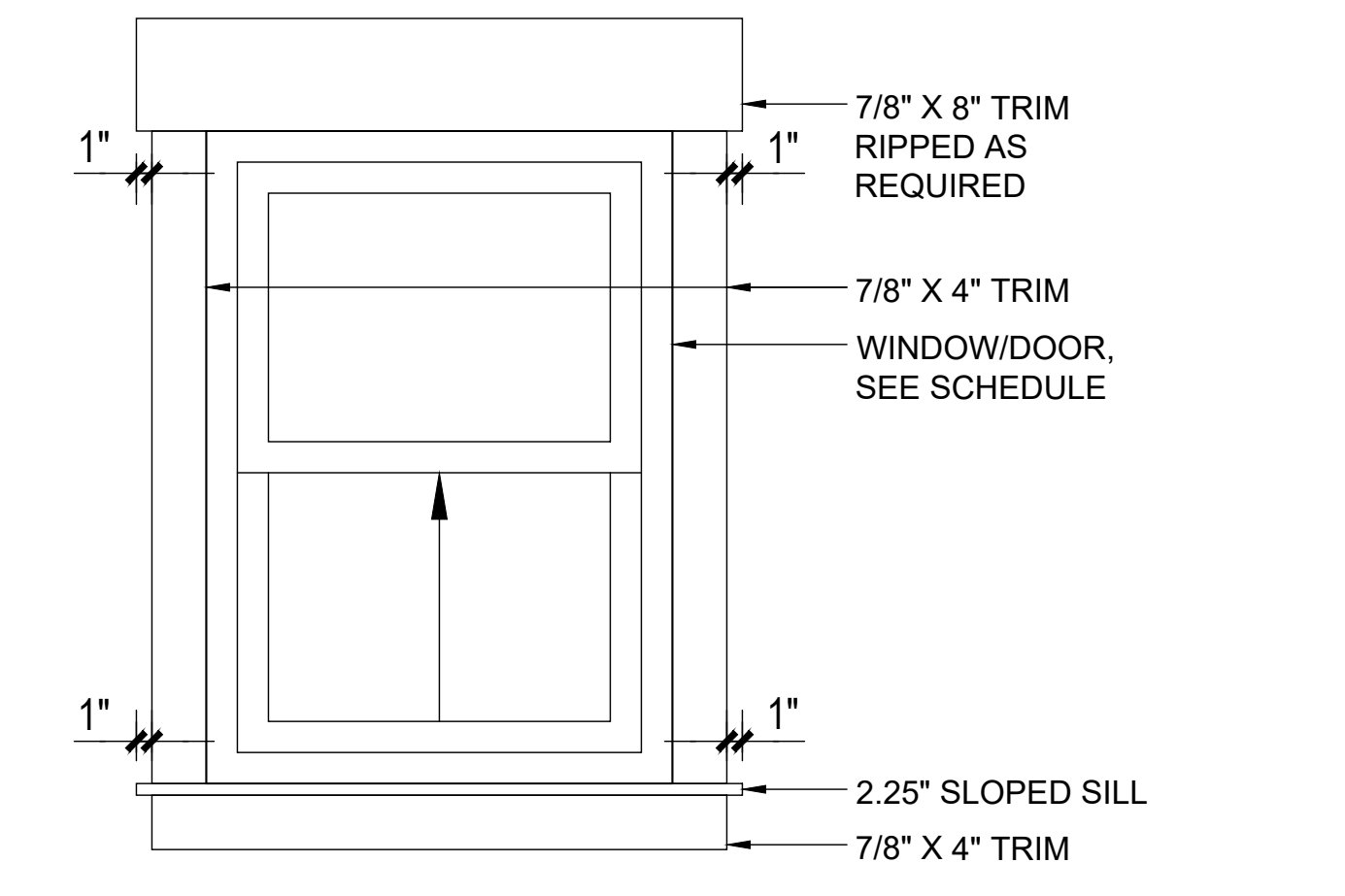
SHEET TITLE:

TYPICAL DETAILS

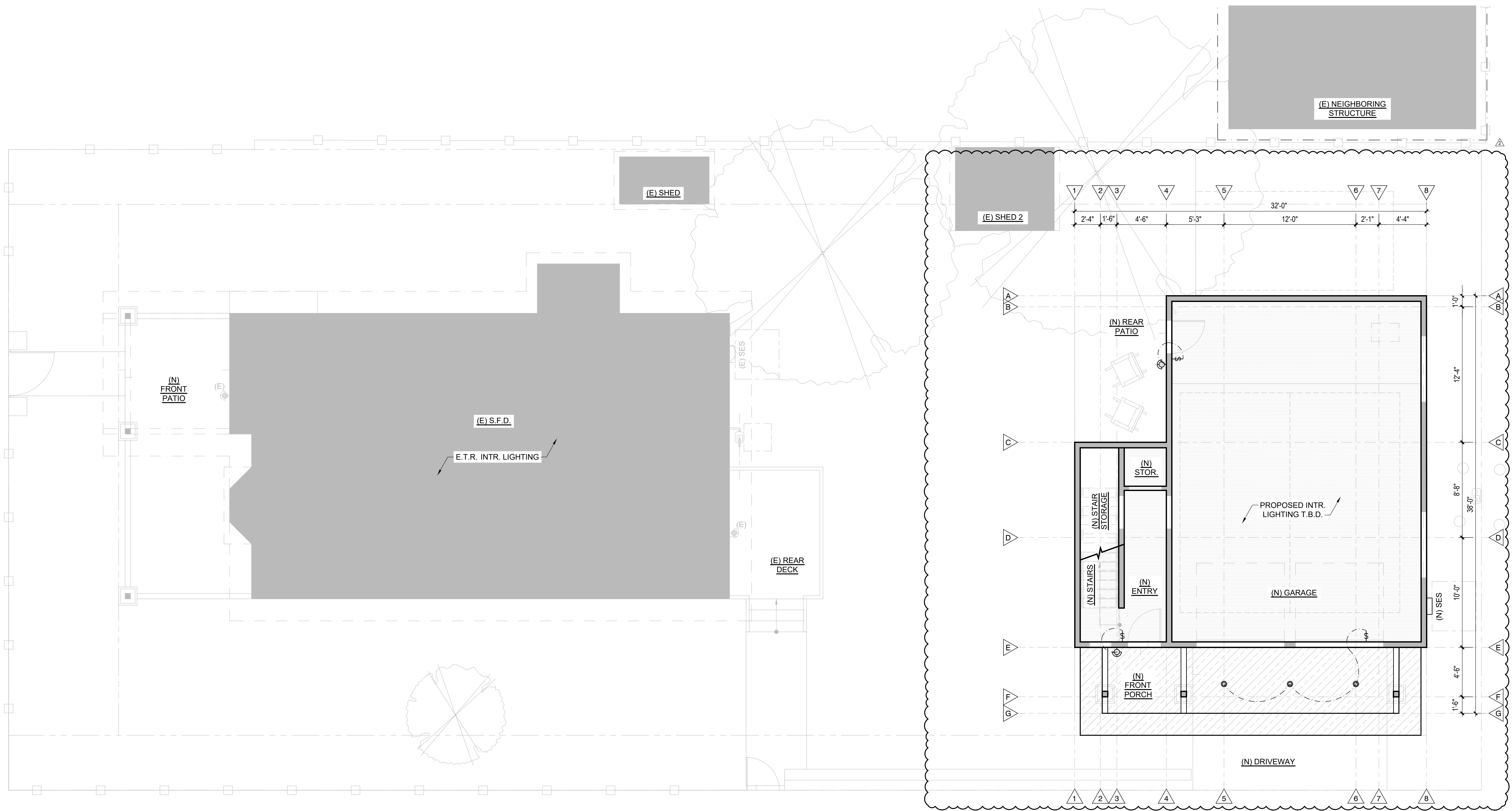
A5.0



2 TYP. EXTR WALL & APERTURE DETAIL
SCALE: 3" = 1'-0"



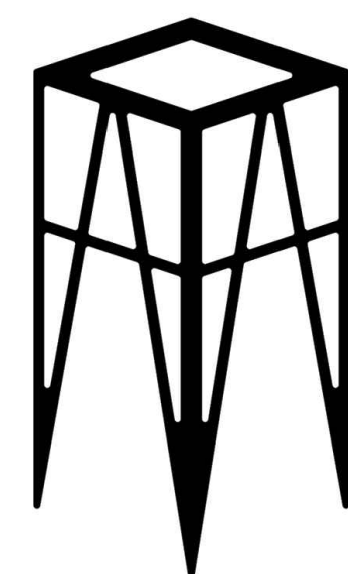
1 TYP. EXTR. APERTURE TRIM @ HOR. LAP SIDING
SCALE: 1" = 1'-0"



PROPOSED LOWER LEVEL EXTR. LIGHTING PLAN

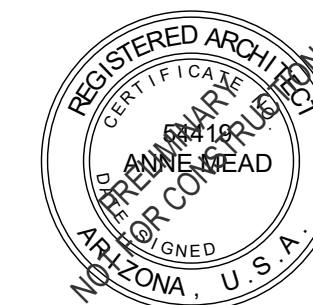
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*REFER TO SHEET E1.0 FOR KEYNOTES & LEGENDS, TYPICAL



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SHEET TITLE:
PROPOSED LOWER LEVEL
EXTR. LIGHTING PLAN

E1.0

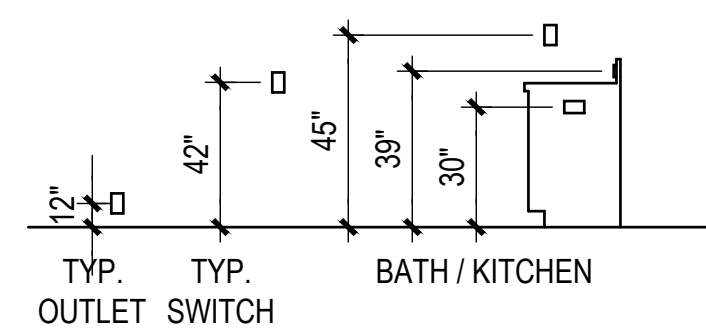
ELECTRICAL LEGEND

	INDICATES CEILING HEIGHT		EXHAUST FAN, MIN 5 AIR CHANGES/HR, SHALL EXTEND TO THE OUTSIDE, 3' FROM FRESH AIR INLETS PER IRC M1804.2.6
	EXTR. DARK SKY COMPLIANT WALL SCONCE		CARBON MONOXIDE DETECTOR, 110V, HARD WIRED W/ BATTERY BACK UP PER IRC R314
	RECESSED CAN LIGHT/SLIM PUCK EXTR. TO BE DARK SKY COMPLIANT		SMOKE DETECTOR 110V, HARD WIRED W/ BATTERY BACK UP PER IRC R314
	LOW VOLTAGE SOLAR LIGHTING EXTR. TO BE DARK SKY COMPLIANT		GARBAGE DISPOSAL
	PENDANT FIXTURE		COAX DATA / CABLE / PHONE OUTLET
	DECORATIVE CHANDELIER	OUTLETS (AFCI PER GENERAL ELEC. NOTE 2)	
	WALL SCONCE		DUPLEX OUTLET
	SPOT LIGHT		DUPLEX OUTLET GFCI
	MOTION LIGHT		DEDICATED APPLIANCE POWER. V.I.F W/ MFR.
	MOUNTED FIXTURE		DEDICATED APPLIANCE GFCI POWER. V.I.F. W/ MFR.
	SURFACE MOUNTED CEILING FIXTURE		DUPLEX OUTLET, RECESSED IN FLOOR
	CEILING FAN WITH LEGS FOR LIGHT KIT		DUPLEX OUTLET, RECESSED IN CEILING
	SURFACE MTD PANEL FIXTURE		FOURPLEX OUTLET
	GARAGE DOOR OPENER		HALF-HOT DUPLEX OUTLET ON SWITCH
	MULTI-LIGHT STRIP		JUNCTION BOX
	STRIP LIGHTING W/ THUMB SWITCH	ADDITIONAL OUTLET NOTATIONS:	
	ELECTRICAL CIRCUIT	WP	INDICATES WATERPROOF FIXTURE, GFCI PROTECTED
	EXISTING TO REMAIN	EV	INDICATES FUTURE ELEC. VEHICLE SUPPLY EQUIP. (SEE GENERAL ELECTRICAL NOTES)
	RELOCATED EXISTING	#	INDICATES ATYPICAL HEIGHT. V.I.F.
	STANDARD FIXTURE ON / OFF SWITCH	ADDITIONAL SWITCH NOTATIONS:	
		T	INDICATES TIMER
		D	INDICATES DIMMER
		OS	INDICATES OCCUPANT SENSOR
		3	INDICATES 3-WAY
		4	INDICATES 4-WAY

GENERAL ELECTRICAL/LIGHTING NOTES

- ALL ELECTRICAL SYSTEM MATERIALS, ACCESSORIES, INSTALLATION AND TESTING TO CONFORM TO THE ORDINANCES OF THE A.H.J., STATE LAWS & REGULATIONS, AND ALL CODES ADOPTED BY THE A.H.J. CONTRACTOR SHALL VERIFY LOCATIONS & REQUIREMENTS OF EQUIPMENT AND FIXTURES AS SHOWN ON THE PLANS W/ ACTUAL FIELD CONDITIONS.
- E3902.16 ARC-FAULT CIRCUIT INTERRUPTER PROTECTION. ALL BRANCH CIRCUITS THAT SUPPLY 120 VOLT, SINGLE PHASE, 15-AND 20-AMPERE OUTLETS INSTALLED IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS, AND OTHER LIVABLE AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT-INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT OR BY OTHER EQUIVALENT MEANS AS PERMITTED BY SECTION 3902.16
- PER 2018 IECC R404.1, NOT LESS THAN 90% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.
- RECESSED FIXTURES TO BE "ZERO CLEARANCE INSULATION COVER," (IC) APPROVED AT INSULATED AREAS.
- MAINTAIN ADEQUATE CLEARANCES AT ALL ELECTRICAL PANELS: 36" DX30"W OR WIDTH OF EQUIPMENT X 6'-6" H
- V.I.F. FUNCTION OF ALL EXISTING ELECTRICAL AND AT UPGRADED EQUIPMENT, WHERE APPLICABLE
- AT LEAST ONE REQUIRED GARAGE RECEPTACLE SHALL BE A 208/240-VOLT INDIVIDUAL BRANCH CIRCUIT FOR PURPOSES OF ELECTRIC VEHICLE (EV) CHARGING. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL PROVIDE A 50-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND A BRANCH CIRCUIT OVER CURRENT DEVICE. ELECTRIC VEHICLE SUPPLY EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH 2017-NFPA 70/NEC. SEE DEDICATED OUTLET ON PLAN LABELED "EV"
- PROVIDE SOLAR READY CONNECTION. CONDUIT SHALL BE INSTALLED FROM THE SERVICE PANEL TO A TERMINATION POINT AS INDICATED PER PLANS FOR FUTURE CONNECTION.
- PER IRC E3609.6 & E3609.7, PROVIDE BONDING TO THE INTERIOR METAL WATER PIPING AND ABOVE GROUND PORTION OF GAS PIPING SYSTEMS.
- PROVIDE UFER GROUND FOR NEW BUILDS.
- PER IRC E3703, PROVIDE A MINIMUM OF TWO (2) 20A RATED BRANCH CIRCUITS FOR RECEPTACLES LOCATED IN THE KITCHEN, PANTRY, BREAKFAST AND DINING AREAS, & A SEPARATE 20A RATED BRANCH CIRCUIT TO THE LAUNDRY, AND SEPARATE 20A RATED BRANCH CIRCUIT FOR BATHROOM RECEPTACLES.
- ALL MATERIALS AND EQUIPMENT SHALL BE UL LISTED.
- FIXTURES LOCATED AT THE EXTERIOR AND AT SHOWER AREAS TO BE WET-RATED.
- VERIFY LOCATIONS OF ALL EQUIPMENT PLATES SUCH THAT THEY DO NOT REQUIRE NOTCHING TRIM, BACKSLASHES, OR OTHER FINISH WORK
- MOUNT ALL LIGHT/CONTROL SWITCHES/ DIMMERS AT 42" A.F.F. TO ϵ OF THE CONTROL, U.O.N.
- PROVIDE REQUIRED IDENTIFICATION ON ALL CONDUIT OR OTHERWISE CONCEALED SYSTEM COMPONENTS
- WHERE EXISTING SYSTEMS ARE ABANDONED, REMOVE ALL COMPONENTS IN THEIR ENTIRETY.
- RECEPTACLES SHALL BE SPACED PER 2018 IRC E3901
- OUTDOOR LIGHT FIXTURES & TOTAL SITE LUMEN COUNT TO COMPLY WITH REQUIREMENTS PER THE CITY OF FLAGSTAFF ZONING CODE SECTION 10-50.70: OUTDOOR LIGHTING STANDARDS. PROVIDE NARROW SPECTRUM AMBER LED FULLY-SHIELDED FIXTURES EXCEPT WHERE ALLOWED PER CODE.

SWITCH/OUTLET REQ'S

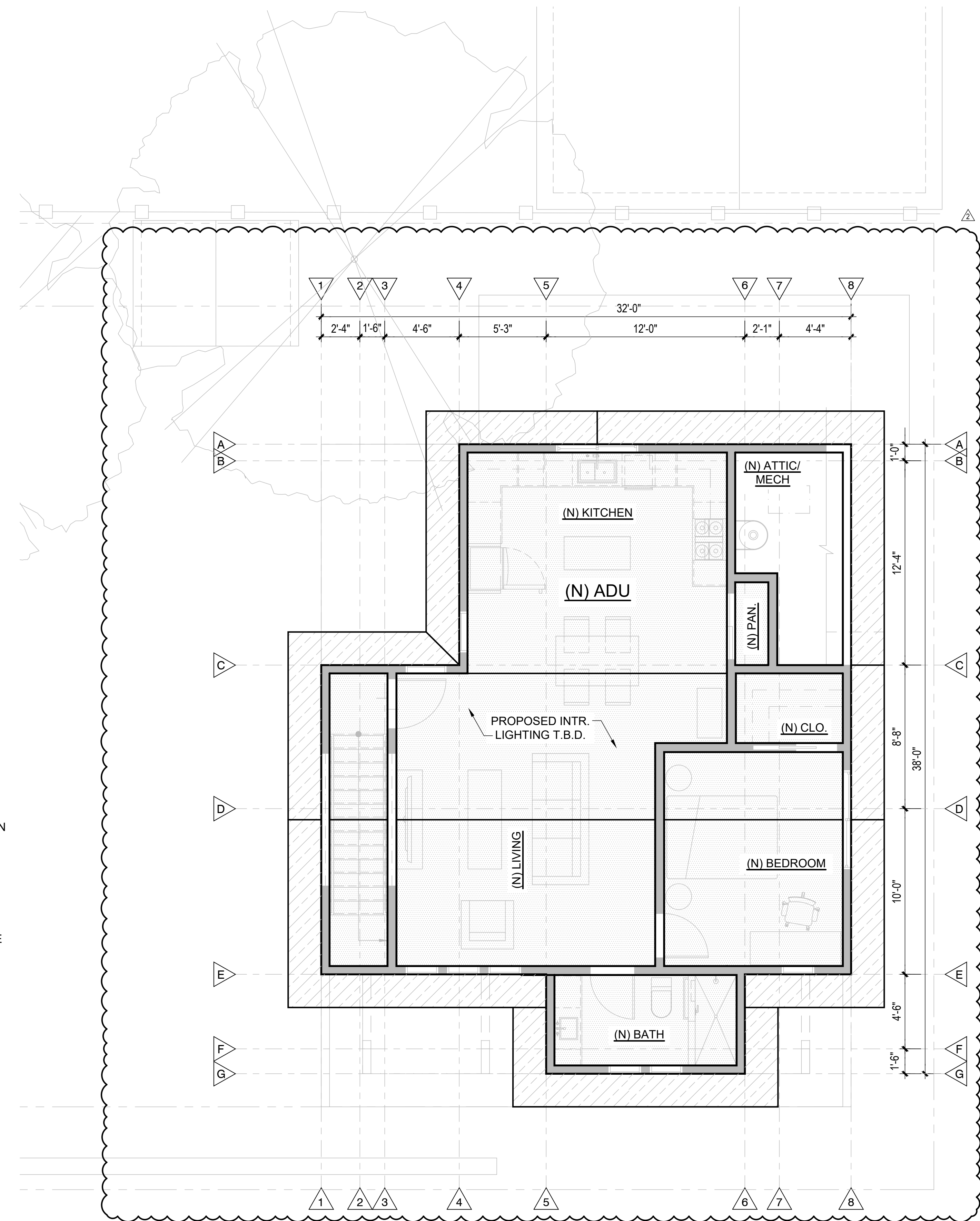


NOTES:

- MOUNT ALL LIGHT/CONTROL SWITCHES/DIMMERS AT 42" A.F.F. TO ϵ OF THE CONTROL, U.N.O.
- VERIFY LAYOUT WITH LOCAL CODES/NEC AND JOB SITE CONDITIONS
- VERIFY LOCATIONS DO NOT REQUIRE NOTCHING TRIM, BACKSLASHES, OR OTHER FINISH WORK

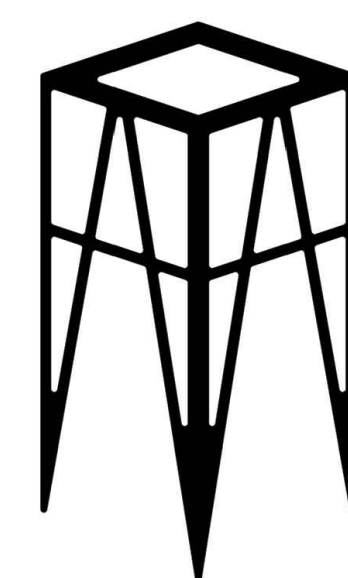
FINISH LEGEND

	GYPSUM BOARD
	COMPOSITE PANEL
	DECK UNDERSIDE



PROPOSED UPPER LEVEL EXTR. LIGHTING PLAN

SCALE: 1/4" = 1'-0"



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APN : 100-11-013	
DESCRIPTION	DATE
HPC REVIEW REV 02	12-08-2025
HPC REVIEW REV 01	10-14-2025
HPC REVIEW	09-23-2025
SCHEMATIC DESIGN 1.7	09-19-2025
SCHEMATIC DESIGN 1.6	09-05-2025
SCHEMATIC DESIGN 1.5	09-03-2025
SCHEMATIC DESIGN 1.4	08-22-2025
SCHEMATIC DESIGN 1.3	04-07-2025
SCHEMATIC DESIGN 1.2	03-14-2025
SCHEMATIC DESIGN 1.1	02-19-2025
SCHEMATIC DESIGN 1.0	01-28-2025
PROJECT NO 24_026	

SHEET TITLE:

PROPOSED UPPER LEVEL
EXTR. LIGHTING PLAN

E1.1



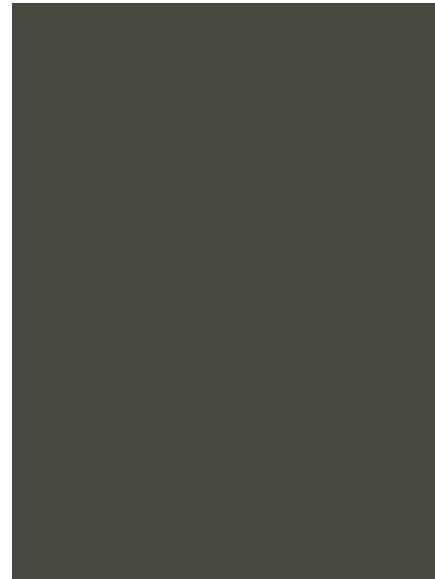
ROOFING

MTL: ASPHALT SHINGLE
MFR: TO MATCH EXISTING
COLOR: MEDIUM GRAY TO MATCH EXISTING
LRV: NOT AVAILABLE



LAP SIDING, TRIM, STUCCO PIERS, SHUTTERS

MATL: COMPOSITE HORIZONTAL LAP SIDING
TEXTURE: SMOOTH
MFR: JAMES HARDIE
PAINT:
MFR: SHERWIN WILLIAMS
COLOR: SW 6178 CLARY SAGE
LRV: 41



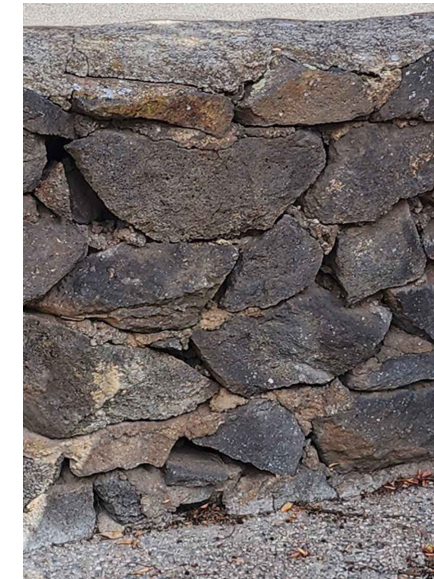
STUCCO SIDING, BELLY BAND, POST & BEAMS

MATL: STUCCO
PAINT:
MFR: SHERWIN WILLIAMS
COLOR: SW 6209 - RIPE OLIVE
LRV: 6



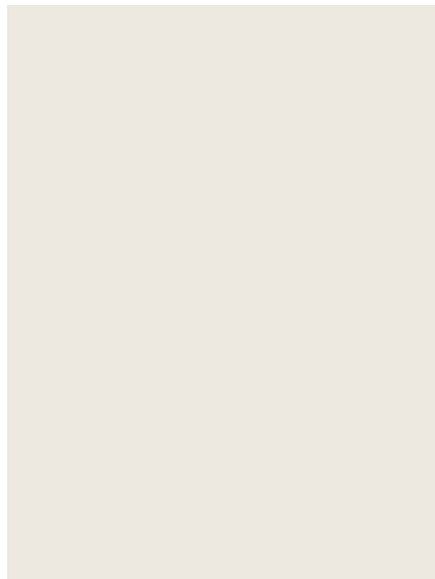
FASCIA, ARCH. BRACKETS, ENTRY DOORS

MATL: COMPOSITE
MFR: JAMES HARDIE
PAINT:
MFR: SHERWIN WILLIAMS
COLOR: SW 6342 SPICY HUE
LRV: 12



STONE VENEER

MATL: REUSED SITE WALL LOCAL MALPAIS
LRV: NOT AVAILABLE



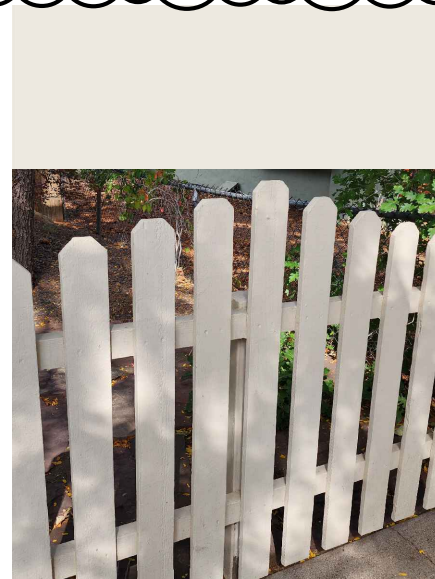
WINDOWS & DOORS

MATL: COMPOSITE
MFR: T.B.D.
FRAME COLOR: CREAM
LRV: NOT AVAILABLE



WOOD STAIN

LOCATION: GUARDRAILS
MFR: SHERWIN WILLIAMS
COLOR: SW 3531 BLUE SHADOW
LRV: NOT AVAILABLE



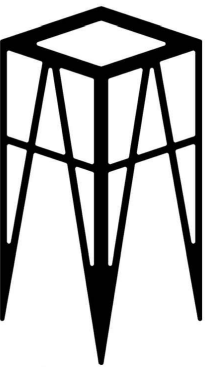
FENCING

LOCATION: SW & SE PROPERTY LINES
MTL: WOOD PICKETS
PAINT:
MFR: SHERWIN WILLIAMS
COLOR: SW 7001 - MARSHMALLOW
LRV: 82



DECKING

MFR: TREX
LINE: ENHANCE
COLOR: COASTAL BLUFF
LRV: NOT AVAILABLE



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HPC REVIEW REV 02 012-08-2025
HPC REVIEW REV 01 010-15-2025
HPC REVIEW 09-23-2025

DESCRIPTION DATE

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AVERBECK
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COLOR & MATERIAL BOARD