

NOTICE AND AGENDA

HERITAGE PRESERVATION COMMISSION
WEDNESDAY
DECEMBER 17, 2025

COUNCIL CHAMBERS
211 WEST ASPEN AVENUE
4:00 P.M.

PUBLIC COMMENT PROTOCOL

To participate in the meeting virtually use the following link:

[Join the Meeting Online](#)

The public can submit comments that may be read at the dais by a staff member to the Commission liaison, SDechter@flagstaffaz.gov

1. Call to Order

NOTICE OF OPTION TO RECESS INTO EXECUTIVE SESSION

Pursuant to A.R.S. §38-431.02, notice is hereby given to the members of the Heritage Preservation Commission and to the general public that, at this regular meeting, the Heritage Preservation Commission may vote to go into executive session, which will not be open to the public, for legal advice and discussion with the City's attorneys for legal advice on any item listed on the following agenda, pursuant to A.R.S. §38-431.03(A)(3).

2. Roll Call

NOTE: One or more Commission Members may be in attendance telephonically or by other technological means.

EMILY DALE, CHAIR
ALYCIA HAYES, VICE CHAIR
JESSE DOMINGUEZ
BERNADETTE BURCHAM
DUFFIE WESTHEIMER
ALEC (ACE) OVERMANN
JEANNE STEVENS

3. LAND ACKNOWLEDGEMENT

The Heritage Preservation Commission humbly acknowledges the ancestral homelands of this area's Indigenous nations and original stewards. These lands, still inhabited by Native descendants, border mountains sacred to Indigenous peoples. We honor them, their legacies, their traditions, and their continued contributions. We celebrate their past, present, and future generations who will forever know this place as home.

4. Open Call to the Public

At this time, any member of the public may address the Commission on any subject within their jurisdiction that is not scheduled before the Commission on that day. Due to Open Meeting Laws, the Commission cannot discuss or act on items presented during this portion of the agenda. To address the Commission on an item that is on the agenda, please wait for the Chair to call for Public Comment at the time the item is heard.

5. APPROVAL OF MINUTES

Approval of the minutes from the regular meeting on November 19, 2025. [Agenda - View Meetings \(All\)](#)

6. PUBLIC HEARING

A. 402 W. Birch Ave. Certificate of Appropriateness

PROPERTY INFORMATION:

Address: 402 W. Birch Ave.
Assessor's Parcel Number: 103-11-013
Property Owner: George and Holly Averbeck, Averbeck Family Trust
Applicant: Anne Mead, Architect, Updesign Studio
City Staff: Lauren Clementino, HPO

REQUESTED ACTION:

Approve a Certificate of Appropriateness to construct a new one bedroom, one bathroom Accessory Dwelling Unit (ADU) above a new garage at 402 W. Birch Ave. (APN 103-11-013), with access from Sitgreaves St. This new structure would be detached from the existing single-family dwelling structure. This property is in the Townsite Historic Design Review Overlay Zone and is a non-contributing property within the Flagstaff Townsite Historic Residential District.

RECOMMENDED ACTION:

Staff recommends that the Heritage Preservation Commission approve the Certificate of Appropriateness for the proposed plans for a new detached accessory dwelling unit and garage.

7. GENERAL BUSINESS

A. Chair and Vice Chair Elections.

B. Historic Signs and Facades Grant Tracking - December 2025 Update

STAFF RECOMMENDED ACTION:

Discussion only.

C. Invitation to Tour Historic Downtown Buildings

STAFF RECOMMENDED ACTION:

Discussion only.

8. MISCELLANEOUS ITEMS TO/FROM COMMISSION MEMBERS

9. ADJOURNMENT

Adjournment to an offsite holiday gathering.

CERTIFICATE OF POSTING OF NOTICE

The undersigned hereby certifies that a copy of the foregoing notice was duly posted at Flagstaff City Hall on _____, at _____ a.m./p.m. This notice has been posted on the City's website and can be downloaded at www.flagstaff.az.gov.

Dated this _____ day of _____, 2025.

Sara Dechter, Comprehensive Planning Manager

Heritage Preservation Commission

5.

From: Nancy Corbin-Fuller, Administrative Specialist

DATE: 12/17/2025

SUBJECT: APPROVAL OF MINUTES

Approval of the minutes from the regular meeting on November 19, 2025. [Agenda - View Meetings \(All\)](#)

STAFF RECOMMENDED ACTION:

Policy Impact:

Attachments

HPC minutes

MINUTES

**HERITAGE PRESERVATION COMMISSION
WEDNESDAY
NOVEMBER 19, 2025**

**COUNCIL CHAMBERS
211 WEST ASPEN AVENUE
4:00 P.M.**

1. Call to Order

- Chair Dale called the meeting to order at 4:02 P.M.

NOTICE OF OPTION TO RECESS INTO EXECUTIVE SESSION

Pursuant to A.R.S. §38-431.02, notice is hereby given to the members of the Heritage Preservation Commission and to the general public that, at this regular meeting, the Heritage Preservation Commission may vote to go into executive session, which will not be open to the public, for legal advice and discussion with the City's attorneys for legal advice on any item listed on the following agenda, pursuant to A.R.S. §38-431.03(A)(3).

2. Roll Call

NOTE: One or more Commission Members may be in attendance telephonically or by other technological means.

PRESENT:
EMILY DALE, CHAIR
ALYCIA HAYES, VICE CHAIR
JESSE DOMINGUEZ
DUFFIE WESTHEIMER
AMY HORN

EXCUSED:
BERNADETTE BURCHAM

3. LAND ACKNOWLEDGMENT

- The Land Acknowledgment was read by Vice Chair Hayes.

The Heritage Preservation Commission humbly acknowledges the ancestral homelands of this area's Indigenous nations and original stewards. These lands, still inhabited by Native descendants, border mountains sacred to Indigenous peoples. We honor them, their legacies, their traditions, and their continued contributions. We celebrate their past, present, and future generations who will forever know this place as home.

4. Open Call to the Public

- Public Comments Provided by:
 - Flagstaff Resident, David Stephens.
 - Newly appointed Commissioner, Alec "Ace" Overmann, introduced himself.

At this time, any member of the public may address the Commission on any subject within their jurisdiction that is not scheduled before the Commission on that day. Due to Open Meeting Laws, the Commission cannot discuss or act on items presented during this portion of the agenda. To address the Commission on an item that is on the agenda, please wait for the Chair to call for Public Comment at the time the item is heard.

5. APPROVAL OF MINUTES

A. Approval of the minutes from the regular meeting on September 17, 2025.

Moved by Jesse Dominguez, **seconded by** Amy Horn to approve the minutes from the regular meeting on September 17, 2025.

Vote: 5 - 0 - Unanimously

6. PUBLIC HEARING

A. 402 W. Birch Ave. Certificate of Appropriateness

PROPERTY INFORMATION:

Address: 402 W. Birch Ave.

Assessor's Parcel Number: 103-11-013

Property Owner: George and Holly Averbeck, Averbeck Family Trust

Applicant: Anne Mead, Architect, Updesign Studio

City Staff: Lauren Clementino, HPO

REQUESTED ACTION:

Approve a Certificate of Appropriateness to construct a new one bedroom, one bathroom Accessory Dwelling Unit (ADU) above a new garage at 402 W. Birch Ave. (APN 103-11-013), with access from Sitgreaves St. This new structure would be detached from the existing single-family dwelling structure. This request also includes adding a partially covered front porch and patio to the existing single-family dwelling structure and fencing modifications. This property is in the Townsite Historic Design Review Overlay Zone and is a non-contributing property within the Flagstaff Townsite Historic Residential District.

RECOMMENDED ACTION:

Staff recommends that the Heritage Preservation Commission approve the Certificate of Appropriateness for the proposed plans for a new detached accessory dwelling unit and garage, adding a partially covered front porch and patio to the existing single-family dwelling structure, and fencing modifications.

- Lauren Clementino, Heritage Preservation Officer, introduced Anne Mead, Architect with Updesign Studio.
- Anne Mead gave a presentation. A discussion followed, during which comments and questions from the Commissioners were addressed by:
 - Lauren Clementino
 - Sara Dechter, Comprehensive and Neighborhood Planning Manager
 - Anne Mead
- Public comment was provided by the property owner, Holly Averbeck.
- Discussion of possible modifications to the drawing;
 - Propose breaking up the front garage door into single eight-foot bays, reflecting the style of historic garages.
 - Explore the option of a slightly smaller second story to reduce visual impact and improve scale.
 - Consider whether the window above the garage could be extended in length for better proportion.
 - Evaluate the feasibility of flipping the floor plan so that the garage faces the alley which may require relocating the gas meter.
 - Discuss the possibility of lowering the roof pitch to reduce overall height or improve compatibility with surrounding structures.
 - Consider changing the Sitgreaves-facing gable to a shed dormer.
 - Reassess the second floor porch design, as it currently overlooks the neighbor's yard,

raising potential privacy concerns.

Moved by Jesse Dominguez, seconded by Alycia Hayes to approve the front porch and fencing as proposed.

Vote: 5 - 0 - Unanimously

Moved by Amy Horn, seconded by Alycia Hayes to continue the discussion and decision on the ADU portion of this property to the December meeting. The applicant may provide modified drawings at that time. No staff report is necessary to accompany this item.

Vote: 5 - 0 - Unanimously

B. 418 S. Leroux St. Phase 2 Cultural Resource Study

PROPERTY INFORMATION:

Address: 418 S. Leroux St.

Assessor's Parcel Number: 103-15-021

Property Owner: Flag Holdings LLC

Applicant: David Carpenter

City Staff: Lauren Clementino, HPO

REQUESTED ACTION:

Approve the Phase 2 Cultural Resource Study and additional LiDAR (Light Detection and Ranging) documentation, and approve the additional mitigation of creating an interactive 3D model map.

RECOMMENDED ACTION:

Approve the Phase 2 Cultural Resource Study and additional LiDAR documentation as meeting the required research and documentation required for a Phase 2 Cultural Resource Study and approve the additional mitigation of creating an interactive 3D model map.

The house at 418 S. Leroux St. is a contributor to the Flagstaff Southside Historic District listed on the National Register of Historic Places. The historic-age outbuilding on the parcel has not been previously evaluated. The property owner plans to demolish the existing structures and redevelop the parcel. A Phase 2 Cultural Resource Study is required when major impacts (including demolition) are proposed for a significant resource that has integrity and when no other mitigation measures are proposed that would maintain the significance and integrity of the resource. A Phase 2 Cultural Resource Study includes all of the contents of a Phase 1 Cultural Resource Study plus complete text descriptions, as-built plans, and archival grade photography that fully document all physical aspects of the resource, including its setting.

The submitted Phase 2 Cultural Resource Study includes the required study elements as well as LiDAR scans of the existing structures. The Phase 2 report, as-built plans, and a photo log of the archival photographs are attached to the agenda. Due to the large file sizes and format, the archival photographs and LiDAR scans are not attached to the agenda and are instead available by request from the Heritage Preservation Officer.

As an additional mitigation step, Cornerstone proposes to LiDAR scan the building materials during demolition to document and preserve the structural and architectural details. The resulting interactive 3D model will illustrate construction methods, materials, and historical context, and may be shared with the City of Flagstaff for public access and potential use in documenting other Southside historic structures.

- Lauren Clementino introduced the presenters for Cornerstone Environmental Consulting LLC.
- Sam Hemsley, Conerstone Environmental Consulting Archaeologist and Historian, introduced his team;
 - Samuel E. Mitchell, Staff Archaeologist

- Ash Mlazgar, Staff Archaeologist
- Michael Pitts, Senior Project Manager
- Sam Hemsley and Ash Mlazgar delivered a PowerPoint presentation followed by a discussion regarding potential design modification (see details below).
 - Creation of an interactive 3D model as additional mitigation.
 - The Phase 2 Cultural Resource Study be edited to reflect the corrections noted during the meeting, such as; distinction between Hispanic and Basque, correcting photograph numbers and correcting names to remove PROS.
 - Additional consultation with relevant community organizations, including the Southside Community Association and Flagstaff Nuestras Raices, be conducted.
 - The Heritage Preservation Officer may review and approve the final study and interaction 3D model administratively.
- The Commissioners' comments and questions were answered by Sam Hemsley and Ash Mlazgar.

Moved by Amy Horn, seconded by Alycia Hayes to approve the Phase 2 Cultural Resource Study and the additional LiDAR documentation as meeting the research and documentation requirements for a Phase 2 Cultural Resource Study. I also move to approve the proposed additional mitigation measure of creating an interactive 3D model. Furthermore, we request that the final report be edited to reflect the corrections that have been made, and that additional consultation with relevant community organizations be documented. The Heritage Preservation Officer may review these updates independently, and they do not need to be brought back to this Commission.

Vote: 5 - 0 - Unanimously

7. GENERAL BUSINESS

A. Training on Current Planning Development Applications

STAFF RECOMMENDED ACTION:
Discussion only.

- Alexandra Pucciarelli, Current Planning Manager, gave a PowerPoint presentation on Current Planning Development Applications. Comments and questions from the Commissioners' were addressed by Alexandra Pucciarelli and Sara Dechter.

B. Historic Signs and Facades Grant Tracking - November 2025 Update

STAFF RECOMMENDED ACTION:
Discussion only.

- Lauren Clementino provided an update and answered the Commissioners' questions.

8. REPORTS

A. APPROVALS

1. 204 W. Birch Ave. Certificate of No Effect

PROPERTY INFO:

Permit Number(s): PZ-25-00187, OTC-25-02762

Address: 204 W. Birch Ave.

Type of Approval: Certificate of No Effect

Approval Date: September 15, 2025

- Lauren Cementino provided an update.

2. 205 S. Park St. Phase I Cultural Resource Study Resubmittal

PROPERTY INFO:

Permit Number(s): PZ-25-00111

Address: 205 S. Park St.

Type of Approval: Phase I Cultural Resource Study

Approval Date: September 29, 2025

- Lauren Cementino provided an update.

3. Starlight Trail Letter Report Cultural Resource Study

PROPERTY INFO:

Permit Number(s): PZ-25-00202

Address: SE Corner of Woody Mountain Rd. and Interstate 40

Type of Approval: Letter Report Cultural Resource Study

Approval Date: October 8, 2025

- Lauren Cementino provided an update.

4. 5950 E. Walnut Canyon Road Letter Report Cultural Resource Study

PROPERTY INFO:

Permit Number(s): PZ-25-00221

Address: 5950 E. Walnut Canyon Road

Type of Approval: Letter Report Cultural Resource Study

Approval Date: October 21, 2025

- Lauren Clementino provided an update and answered the Commissioners' questions.

5. 523 W. Aspen Ave. Certificate of No Effect

PROPERTY INFO:

Permit Number(s): PZ-25-00229

Address: 523 W. Aspen Ave.

Type of Approval: Certificate of No Effect

Approval Date: November 12, 2025

- Lauren Cementino provided an update.

9. MISCELLANEOUS ITEMS TO/FROM COMMISSION MEMBERS

- Commission appointments: Lauren Clementino announced the appointment of two new Commissioners -- Alec (Ace) Overmann and Jeanne Stevens. Additionally, Vice Chair Hayes has been reappointed. Commissioner Horn's term is ending and this is her final meeting.
- Elections: Chair and Vice Chair elections will happen during the December meeting.
- Historic Preservation Fund Sign-on letter (attached): Lauren Clementino mentioned that the request to sign the letter came from Arizona Preservation Foundation and the letter has been sent to the City Clerk's office to add to a future City Council agenda.
- Flagstaff historic theme project public comment follow-up: Lauren Clementino provided staff follow-up and suggestions to the public comment made by Charlie Silver on behalf of John Westerlund during the September meeting.
- Two Spot Logging Train discussion update: Lauren Clementino provided an update on the discussion at the October Beautification and Public Art Commission meeting.
- Sara Dechter inquired about organizing the Commission's holiday gathering.
- Commissioner Westheimer mentioned that the National Preservation Partners Network is discussing cities requiring plans for replacement building be submitted before demolition is authorized. The Commission discussed this possibility in Flagstaff and Sara Dechter and Lauren Clementino answered questions.
- Chair Dale inquired about imposing a maximum length on public hearing item presentations.

10. ADJOURNMENT

- The meeting was adjourned at 7:49 pm.

Heritage Preservation Commission

6. A

From: Lauren Clementino, Senior Planner/Heritage Preservation Officer

DATE: 12/17/2025

SUBJECT: 402 W. Birch Ave. Certificate of Appropriateness

PROPERTY INFORMATION:

Address: 402 W. Birch Ave.

Assessor's Parcel Number: 103-11-013

Property Owner: George and Holly Averbeck, Averbeck Family Trust

Applicant: Anne Mead, Architect, Updesign Studio

City Staff: Lauren Clementino, HPO

REQUESTED ACTION:

Approve a Certificate of Appropriateness to construct a new one bedroom, one bathroom Accessory Dwelling Unit (ADU) above a new garage at 402 W. Birch Ave. (APN 103-11-013), with access from Sitgreaves St. This new structure would be detached from the existing single-family dwelling structure. This property is in the Townsite Historic Design Review Overlay Zone and is a non-contributing property within the Flagstaff Townsite Historic Residential District.

RECOMMENDED ACTION:

Staff recommends that the Heritage Preservation Commission approve the Certificate of Appropriateness for the proposed plans for a new detached accessory dwelling unit and garage.

ALTERNATIVE ACTIONS:

- 1) The Commission can approve with conditions related to the standards and guidelines applicable to the case; or
- 2) The Commission can request additional information and continue to a date certain.
- 3) Deny Certificate of Appropriateness and require Certificate of Economic Hardship or submittal of an alternative design that meets all Townsite Overlay Requirements.

HAS THERE BEEN PREVIOUS COMMISSION DECISION ON THIS:

The Heritage Preservation Commission reviewed a Certificate of Appropriateness application for this project at the November 19, 2025, meeting. The Commission found and determined that, based on the information provided in the staff report dated November 12, 2025, and at the public hearing, the facts exist as required by Section 10-30.30 of the Zoning Code to justify granting a Certificate of Appropriateness for a portion of the proposed project: adding a partially covered front porch and patio to the existing single-family dwelling structure and fencing modifications. Based upon the findings, the Commission approved a Certificate of Appropriateness by a vote of 5 -- 0 for the use and location described above, subject to the submitted plans.

The Commission also voted 5 -- 0 to continue discussion of the remainder of the proposed project scope (the construction of a new one bedroom, one bathroom Accessory Dwelling Unit (ADU) above a new garage until the December 17, 2025, Commission meeting and requested the applicant provide modified design drawings demonstrating ADU subservience to the primary structure based on the Commission's comments during the November 19, 2025 discussion. The modified design drawings, materials board, response letter, and project narrative are attached as well as the application packet and staff report discussed at the November 19, 2025, meeting.

Attachments

Certificate of Appropriateness Application November 2025
Staff Report November 2025



City of Flagstaff

Community Development Division

211 W. Aspen Ave P: (928) 213-2618
 Flagstaff, AZ 86001 F: (928) 779-7684
 www.flagstaff.az.gov

HPC-C

| | | | |
|---|---|--|--|
| Date Received | Application to Heritage Preservation for a Certificate within an Overlay | | File Number |
| Property Owner(s) <small>AVERBECK FAMILY TRUST CONTACT: GEORGE AVERBECK & HOLLY AVERBECK</small> | Title | Phone 928-310-9084 | Email geoaverbeck@earthlink.net, hollyjgramm@gmail.com |
| Mailing Address PO BOX 22446 | | City, State, Zip FLAGSTAFF, AZ 86002 | |
| Applicant UPDESIGN STUDIO (ANNE MEAD, A.O.R.) | Title | Phone 520-780-8746 | Email updesign.anne@gmail.com |
| Mailing Address 304 S. ELDEN ST. SUITE 3 | | City, State, Zip FLAGSTAFF, AZ 86001 | |
| Property Interest of Applicant(s) (Owner, contractual interest, or agent) AGENT, A.O.R. | | | |
| Site Address 402 W BIRCH AVE | | City, State, Zip FLAGSTAFF, AZ 86001 | |
| Project Name Averbeck ADU | | | |
| Parcel Number(s) 100-11-013 | | Zoning District(s), including Overlays COMMUNITY COMMERCIAL (CC), TOZ - TOWNSITE OVERLAY | |
| Property Information: | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Listed individually on the National or Arizona Register of Historic Places? (Name: _____) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Located in a National Register Historic District? (Name: _____) <small>FLAGSTAFF TOWNSITE HISTORIC RESIDENTIAL DISTRICT</small> <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Is a structure on the property considered contributing to the District? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Located in a Historic or Landmark Overlay? (Name: _____) <small>TOZ - TOWNSITE OVERLAY</small> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Is the structure over 50 years old at the time of application? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Does this application include review of a sign in an overlay or the Central Sign District? | | |
| Type of HPC Application Requested: | <input type="checkbox"/> Certificate of No Effect (May be reviewed by the Heritage Preservation Officer or the Commission) <input checked="" type="checkbox"/> Certificate of Appropriateness (Must be reviewed by the Heritage Preservation Commission) <input type="checkbox"/> Certificate of Economic Hardship (Must be reviewed by the Heritage Preservation Commission) | | |
| Note: Applications which are incomplete or not accompanied by the required information will not be accepted. | | | |
| Property Owner Signature: | Date: 09/23/25 | Applicant Signature: | Date: 9/24/2025 |
| For City Use | | | |
| Date Filed: _____ | | HPC Hearing Date: _____ | |
| Fee Receipt #: _____ | | Amount: _____ | Date: _____ |
| Action by HPC: | | | |
| <input type="checkbox"/> Consent Approval by HPO | | <input type="checkbox"/> Denied | |
| <input type="checkbox"/> Approved | | <input type="checkbox"/> Continued | |
| <input type="checkbox"/> Approved with Conditions | | | |
| | | Staff Initial: _____ | Date: _____ |

Submittal Requirements

An application to the Heritage Preservation Commission and Historic Preservation Officer shall contain at least the following information:

1. Completed Application including all signatures and payment of fees. If applying for multiple types of HPC reviews only one fee is collected at the time of the first application for the same work.
2. An electronic copy and one copy of drawings or documents as needed to describe the proposal, which may include a Site Plan, Floor Plans, Exterior Elevations, Building Sections, Exterior Details, Lighting Plan, and a Landscape Plan. All drawings shall be drawn to scale and dimensioned and shall clearly and accurately represent the natural and built conditions of the context area and the project, including both existing conditions and proposed work.
3. Photographs of the context, including the property, surrounding properties, and the neighborhood.
4. A Color Board depicting all exterior materials and finishes associated with the work (if requested).
5. A list of related permits and development applications that have been or will need to be submitted.
6. Proof of ownership, or letter of authorization from the current property owner, if the applicant and owner are not the same.
7. Statement of approval from a subdivision or property owners association, if applicable.
8. Any other information which the applicant feels would be helpful and/or pertinent to the request.
9. Any other information as may be required by the Historic Preservation Officer or Heritage Preservation Commission to assist in the review of the requested application.

Timing of Submission and Completeness Review

The Heritage Preservation Commission meets to review applications monthly on the third Wednesday of the month. If you are submitting an application for review of a Certificate of Appropriateness, a Certificate of Economic Hardship, Community Development must receive your application by the submittal deadline posted to the [Heritage Preservation program website](#).

For your item to be added to an agenda, the Heritage Preservation Officer (HPO) must deem the application complete and the information in it correct within 5 working days. The HPO will contact applicants for additional information as necessary.

Please also note that per the Flagstaff Zoning Code, the HPO refer any application, including Certificates of No Effect to the Commission for any reason. If the HPO refers the application, you will not need to resubmit, but additional materials may be requested.

Applications pertaining to Certificates for properties with the Townsite Overlay Zone must also be properly noticed 15 days prior to the public hearing in accordance with *Section J of the Townsite Historic Design Review Overlay District Design Standards and Guidelines*.

Approval of a Certificate does not indicate a final approval of site plans, building plans, permanent sign permits and other applications that will be required prior to demolition, modification, or construction. Approval of all Certificates will be conditioned on their conformance with Zoning Code and Building Code standards. The Heritage Preservation Officer may elect to hold an application until a review by the InterDivision staff is completed and substantive comments have been provided to the applicant.

If this application includes the review of a sign within the Downtown Overlay, Central Sign District or the Townsite Overlay, a permanent sign application must be submitted prior to the submission of the HPC-C application and the comments provided in that review should be attached to this application.

We encourage you to reach out early in designing your projects so that the HPO may assist you and your clients. HPO contact information: Lauren Clementino, Phone: (928) 213-2633; Email: lclementino@flagstaffaz.gov



City of Flagstaff

Community Development Division

211 W. Aspen Ave

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Flagstaff, AZ 86001

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HPC-C

Project Description

[Empty box for Project Description]

Explanation of how the project meets the applicable overlay and relevant sections of the Zoning Code

[Empty box for Explanation of how the project meets the applicable overlay and relevant sections of the Zoning Code]

Insert additional pages if necessary



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Summary Statement of Significance:

National Register of Historic Places documentation or a Cultural Resource Study can be submitted in lieu of completing this page to demonstrate significance (attach additional pages as necessary).

The significance of a resource is generally based on its potential to contribute to our understanding of the past. An object, structure, site, place, or area is significant if:

- a. It is associated with events or persons in the architectural, engineering, archeological, scientific, technological, economic, agricultural, educational, social, political, military, or cultural annals of the City of Flagstaff, the State of Arizona, or the United States of America.
- b. It embodies distinctive characteristics of type, period, region, artistic values, or methods of construction, including being the oldest of its type or the best example of its type, or, if it represents the work of, or for, an important individual.
- c. A resource is generally not significant if it is less than fifty (50) years old, or, if the features, materials, patterns, and relationships that establish its significance are no longer present or no longer have integrity. The integrity of a resource is judged by how evident the general character of the significant period is, the degree to which the characteristics that define its significance are present, and the degree to which incompatible elements are reversible.

Original Construction Date: _____

Describe Previous Major Alterations (Include dates and changes of use):

Describe the Significance of the Resource (In terms of A. or B., and C., above):

Source(s) of Information Used:

Describe the Level of Integrity of the Resource (Existing and proposed):



PROJECT NARRATIVE AVERBECK ADU

| | | |
|--|--|---|
| REGARDING: Certificate of Appropriateness 402 W Birch Ave Flagstaff, AZ 86001 Averbeck ADU | PREPARED BY: Anne M. Mead, AIA, RA #54419 UPDESIGN Studio Architects 304 S. Elden Street Suite 3 Flagstaff, Arizona 86001 520-780-8746 updesign.anne@gmail.com | ATTENTION: Lauren Clementino Senior Planner/Heritage Preservation Officer City of Flagstaff 211 W. Aspen Ave Flagstaff, AZ 86001 928-213-2633 lclementino@flagstaffaz.gov |
|--|--|---|

Dear Ms. Clementino,

This project proposes the development of an accessory dwelling unit on the rear portion of the parcel located at 402 West Birch Avenue in the Flagstaff Townsite Historic Residential District. The scope of work also includes a front porch addition to the existing primary residence. This application is for a Certificate of Appropriateness for the proposed improvements.

The proposed ADU structure has been carefully sited on the Northwest corner of the subject property. This placement tucks the building behind the primary residence, assuring that it does not block viewsheds, light, or ventilation to the existing homes on the subject lot or the adjacent parcels.

The building has been designed as a carriage house with a garage on the ground level which provides new on-site garage parking in what was an under-utilized floodplain area. The placement of the garage at the back of the property with the driveway coming off the secondary street is consistent with the Townsite guidelines. The compact footprint of the new structure minimizes coverage and reinforces the structure's secondary nature.

The orientation of the front entry, which has a close relationship to North Sitgreaves Street, maintains privacy for the primary residence and creates privacy for the secondary dwelling. The new front porch is engaged to create a transitional space that indicates the entry and creates curb appeal.

The patio and deck for the ADU have been integrated into the Southwest corner of the structure which is separated from the deck at the primary residence by a 1,600 SF interior common yard that promotes neighbor contact and a sense of community between the owner occupants and rental tenants.

The new building has an 8:12 roof pitch which will match the existing structure. The overall roof area has been subdivided into two smaller axis to reduce ridge lengths and the overall building massing while achieving an efficient living space above the garage.

The exterior materials and architectural detailing have been designed to be compatible with the primary residence while presenting a modest and subservient aesthetic. Attention has been paid to the orientation, scale, and proportion of the doors and windows for consistency with the character of the district.

To further demonstrate the dominance of the primary residence, a new front porch has been proposed. The porch projects towards Birch Avenue, engaging it with the street. A new picket fence will be installed to replace the existing chainlink perimeter fence.

The majority of the malapai site wall along Sitgreaves will be maintained. Where the new driveway connects to the street, a section of the wall is required to be removed. The materials will be salvaged and repurposed as stone pilasters along the new fence on Birch Avenue. The landscaping will be improved and modified using approved COF plant species and native materials.

The intent of this development is to provide an efficient infill housing unit in one of Flagstaff's most desirable neighborhoods. The site placement, building massing, and materials have been carefully developed to integrate the new secondary structure in a way that does not diminish the presence of the primary structure or dilute the character of the Townsite District.

Thank you for your consideration in this matter. If there is any pertinent information that should be provided, please contact me directly.

Sincerely,

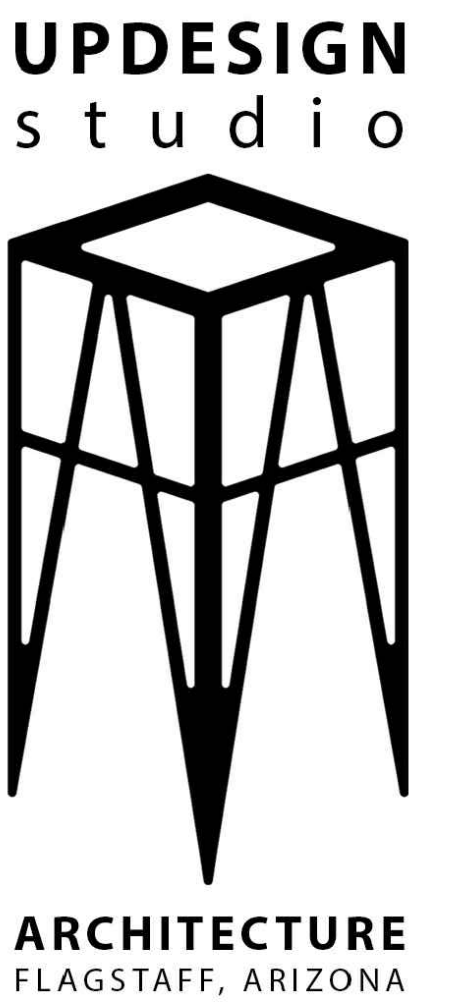


**Anne M. Mead, AIA, AZBTR RA 54419
Updesign.anne@gmail.com
520-780-8746**

AVERBECK

ADU

402 W BIRCH
FLAGSTAFF
ARIZONA 86001



SITE PLAN LEGEND

| | |
|--|---|
| | E.T.R. PROPERTY CORNER |
| | E.T.R. POWER POLE |
| | E.T.R. STREET LIGHT |
| | E.T.R. ELECTRIC SERVICE ENTRY SECTION |
| | E.T.R. FIRE HYDRANT |
| | E.T.R. WATER METER |
| | E.T.R. GAS METER |
| | E.T.R. PROPERTY LINE |
| | E.T.R. SETBACK LINE |
| | E.T.R. FENCE |
| | E.T.R. GAS LINE |
| | E.T.R. WATER LINE |
| | E.T.R. SEWER LINE |
| | E.T.R. ELECTRIC LINE |
| | PROPOSED ELECTRIC SERVICE ENTRY SECTION |
| | PROPOSED WATER METER |
| | PROPOSED GAS METER |
| | PROPOSED GAS LINE |
| | PROPOSED WATER LINE |
| | PROPOSED SEWER LINE |
| | PROPOSED ELECTRIC LINE |

SITE PLAN NOTES

- E.T.R. S.F.D.
- E.T.R. DECK & CONCRETE PATHWAY
- E.T.R. SHED
- E.T.R. TREE
- E.T.R. SECTION OF LOW SITE ROCK WALL
- EXISTING SECTION OF ROCK WALL TO BE DEMOLISHED
- EXISTING SHED TO BE DEMOLISHED
- EXISTING TREE TO BE DEMOLISHED
- PROPOSED STRUCTURE FOOTPRINT
- PROPOSED CONCRETE PATIO
- PROPOSED CONCRETE DRIVEWAY
- PROPOSED PARTIALLY-COVERED FRONT PATIO AT S.F.D.
- PROPOSED SHARED CONTINUOUS YARD. SEE DIAGRAM 2/A0.0
- EXISTING CHAIN LINK SITE FENCE TO BE REMOVED & REPLACED W/ WHITE PICKET FENCING TO MATCH WEST NEIGHBOR. PLACE GATES AT EXISTING GATE LOCATIONS
- EXISTING GAS METER AND LINE TO BE RELOCATED AND REROUTED AT S.F.D., RESPECTIVELY. EXISTING BOLLARDS AROUND METER TO BE REMOVED.
- EXISTING ELECTRICAL LINE TO BE REROUTED UNDERGROUND

PROJECT DIRECTORY

ARCHITECT
UPDESIGN STUDIO
ANNE M. MEAD AIA, RA 54419
304 S. ELDEN ST. SUITE 3
FLAGSTAFF, AZ 86001
520-780-8746

STRUCTURAL ENGINEER
T.B.D.

PARCEL / BUILDING OWNER
AVERBECK FAMILY TRUST
CONTACT: GEORGE & HOLLY
AVERBECK
PO BOX 22446
FLAGSTAFF, AZ 86002
928-310-9084

CONTRACTOR
T.B.D.

PARCEL PROFILE

APN: 100-11-013
ADDRESS: 402 W BIRCH AVE
FLAGSTAFF, AZ 86001

SUBDIVISION: FLAGSTAFF TOWNSITE
ZONING: COMMUNITY COMMERCIAL (CC)
EXISTING USE: SINGLE FAMILY DWELLING
PROPOSED USE: S.F.D., DETACHED GARAGE/A.D.U.

DEVELOPMENT STANDARDS: (MR PER COF TABLE 10-40.30.040.B. FOOTNOTE 5)

S.F.D. SETBACKS: FRONT (2ND FLR. & BELOW): 10'
SIDE EXTR.: 5'
SIDE INT.: 5'
REAR: 15'
REAR: 5'

A.D.U. SETBACKS: SIDE INT.: 5'
REAR: 5'

MAX. HEIGHT: 25'-0" (PER TOWNSITE FOR BOTH S.F.D. & A.D.U. SUPERCEDES THE 35'-0" ALLOWABLE PER ZONE)

PROPOSED HEIGHT: S.F.D.: 19'-10" (E.T.R.)
GARAGE/A.D.U.: 24'-11"

FLOOD ZONE: F.Z.D. B.F.E.: AE & ZONE X
CLIMATE ZONE: 5B
LIGHTING ZONE: II
OVERLAY ZONE: TOZ - TOWNSITE OVERLAY
HISTORIC ZONE: FLAGSTAFF TOWNSITE HISTORIC RESIDENTIAL DISTRICT

CONSTRUCTION TYPE: VB
OCCUPANCY: R-3
E.T.R. S.F.D. BUILT: 1915

OFF-STREET PARKING:
S.F.D.: 2 SPACES REQUIRED
A.D.U.: 0 SPACE REQUIRED
TOTAL: 2 SPACES REQUIRED
TOTAL PROVIDED: 2 SPACES PROVIDED

AREA CALCULATIONS

PARCEL AREA: 0.21 ACRES (9,165 SF)
ALLOWABLE A.D.U. SF: 890 SF MAX. (75% OF S.F.D. SF)

E.T.R. LIVABLE AREA
E.T.R. S.F.D.: 1,186 SF

PROPOSED LIVABLE AREA
PROPOSED A.D.U.: 862 SF

ADDITIONAL AREA
E.T.R. SHED: 35 SF
PROPOSED LOWER GARAGE: 757 SF
PROPOSED LOWER ENTRY/STAIRS: 156 SF
PROPOSED UPPER DECK: 205 SF
TOTAL: 1,153 SF

COVERAGE
E.T.R. S.F.D. FOOTPRINT: 1,186 SF
E.T.R. SHED: 35 SF
PROPOSED GARAGE LVL. FOOTPRINT: 913 SF
PROPOSED UPPER DECK: 205 SF
TOTAL PROPOSED COVERAGE: 2,339 SF (26%)
MAX. ALLOWABLE COVERAGE: 3,686 SF (40%)

ADDITIONAL IMPERVIOUS SURFACES
REPLACED SFD FRONT WALKWAY: 58 SF
PROPOSED SFD FRONT PORCH: 271 SF
PROPOSED GARAGE FRONT PORCH: 87 SF
PROPOSED GARAGE REAR PATIO: 205 SF (NOT COUNTED AS IT IS UNDER DECK)
PROPOSED GARAGE DRIVEWAY: 359 SF
TOTAL: 775 SF

CONTINUOUS YARD AREA
REQUIRED CONTINUOUS YARD: 1,000 SF MIN. (TOWNSITE)
PROPOSED CONTINUOUS YARD: 1,611 SF (SEE SHEET A0.0 FOR DIAGRAM)

GOVERNING CODES

CITY OF FLAGSTAFF ZONING CODE & AMENDMENTS
2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

PROJECT DESCRIPTION

NEW 1 BED/1 BATH A.D.U. ABOVE A NEW TWO CAR GARAGE ON A PARCEL WITH AN EXISTING SINGLE FAMILY DWELLING.

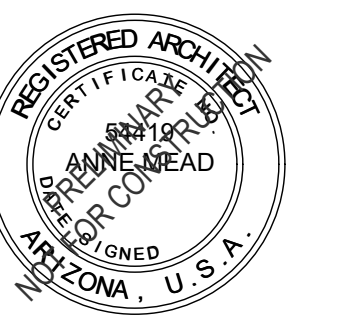
ABBREVIATIONS

| | |
|-----------|---------------------------------------|
| A.B. | AGGREGATE BASE |
| A.D.U. | ACCESSORY DWELLING UNIT |
| A.F.F. | ABOVE FINISHED FLOOR |
| A.H.J. | AUTHORITY HAVING JURISDICTION |
| B.F.E. | BASE FLOOD ELEVATION |
| B.O. | BOTTOM OF/BACK OF |
| C.I. | CONTINUOUS INSULATION |
| CL | CENTERLINE |
| DIA. | DIAMETER |
| DIM. | DIMENSION |
| DTL. | DETAIL |
| DR. | DOOR |
| (E)EXIST. | EXISTING |
| ELEV. | ELEVATION |
| EQ. | EQUAL |
| E.T.R. | EXISTING TO REMAIN |
| EXTR. | EXTERIOR |
| FIN. FLR. | FINISHED FLOOR |
| F.F.E. | FINISHED FLOOR ELEVATION |
| F.O. | FRONT OF |
| F.R.P. | FIBERGLASS REINFORCED PANEL |
| F.Z.D. | FLOOD ZONE DETERMINATION |
| G.N. | GENERAL NOTES |
| H/H.T. | HIGH/HEIGHT |
| INTR. | INTERIOR |
| MIN. | MINIMUM |
| MFR. | MANUFACTURER |
| MAX. | MAXIMUM |
| (N) | NEW/PROPOSED |
| NSAED | NARROW SPECTRUM AMBER LED |
| OCC. | OCCUPANCY |
| O.F.C.I. | OWNER FURNISHED, CONTRACTOR INSTALLED |
| O/ | OVER |
| P.T. | PRESSURE TREATED |
| P.U.E. | PUBLIC UTILITY EASEMENT |
| REQS. | REQUIREMENTS |
| R.O.W. | RIGHT OF WAY |
| R.W. | RETAINING WALL |
| SECT. | SECTION |
| S.F.D. | SINGLE FAMILY DWELLING |
| SHT. | SHEET |
| SHTG. | SHEATHING |
| S.O.G. | SLAB ON GRADE |
| SPECS. | SPECIFICATIONS |
| STL. | STEEL |
| T.B.D. | TO BE DETERMINED |
| T.O.F. | TOP OF |
| TR/RE | TRASH & RECYCLING |
| TYP. | TYPICAL |
| V.I.F. | VERIFY IN FIELD |
| U.N.O. | UNLESS NOTED OTHERWISE |
| WINDW. | WINDOW |
| W/ | WITH |

DRAWING INDEX

| | |
|------|--|
| A0.0 | SITE PLAN, CONTINUOUS YARD DIAGRAM, & PROJECT DATA |
| A1.0 | EXISTING/DEMO FLOOR PLAN |
| A1.1 | PROPOSED LOWER LEVEL FLOOR PLAN |
| A1.2 | PROPOSED UPPER LEVEL FLOOR PLAN |
| A1.3 | EXISTING/DEMO ROOF PLAN |
| A1.4 | PROPOSED ROOF PLAN |
| A2.0 | EXTERIOR FRONT (SW) ELEVATIONS |
| A2.1 | EXTERIOR SIDE (SE) ELEVATIONS |
| A2.2 | EXTERIOR SIDE (NW) ELEVATIONS |
| A2.3 | EXTERIOR REAR (NE) ELEVATIONS |
| A5.0 | TYPICAL DETAILS |
| E1.0 | PROPOSED LOWER LEVEL EXTR. LIGHTING PLAN |
| E1.1 | PROPOSED UPPER LEVEL EXTR. LIGHTING PLAN |

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APN : 100-11-013

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DESCRIPTION DATE

PROJECT NO 24_026

AVERBECK

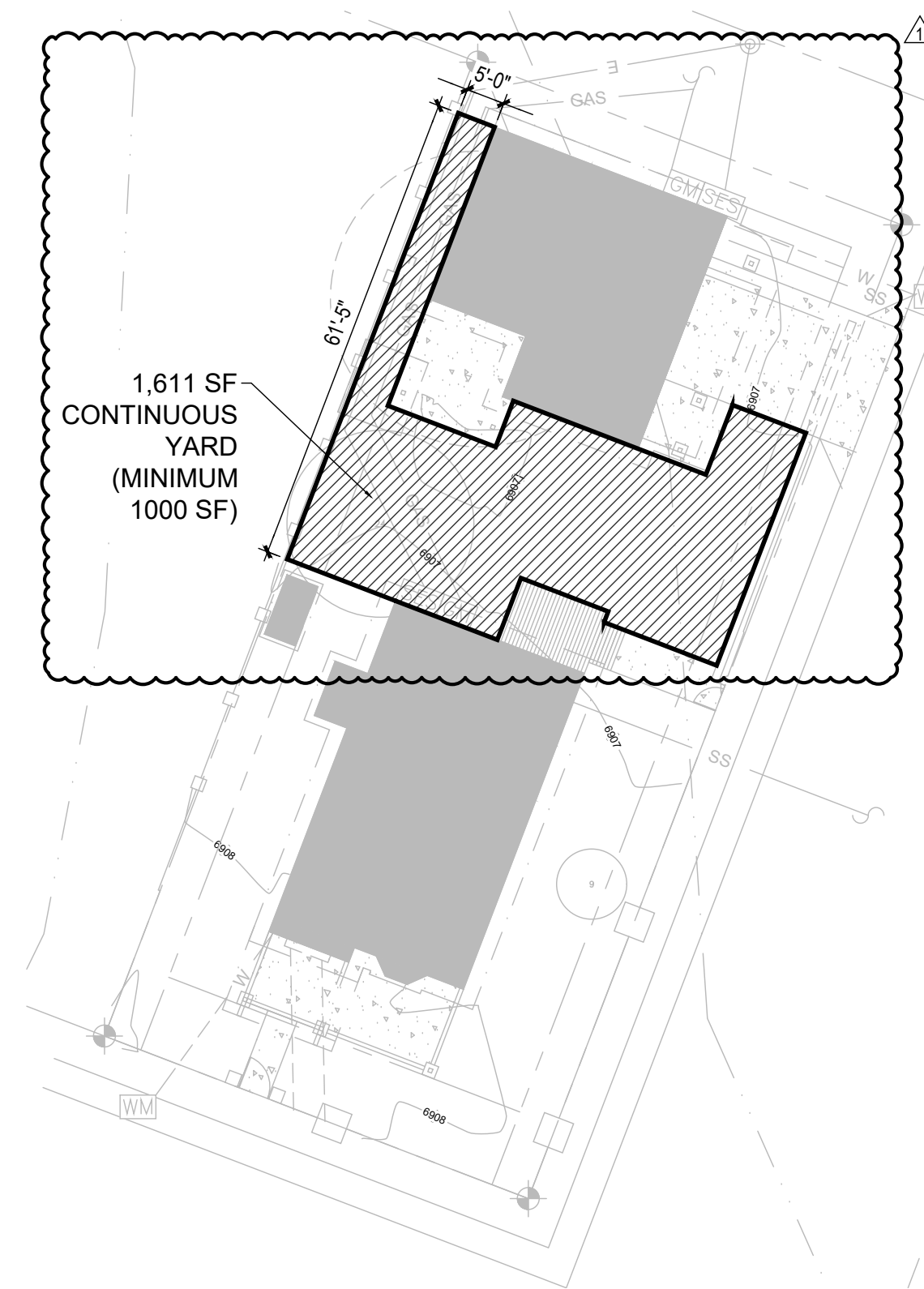
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ARIZONA 86001

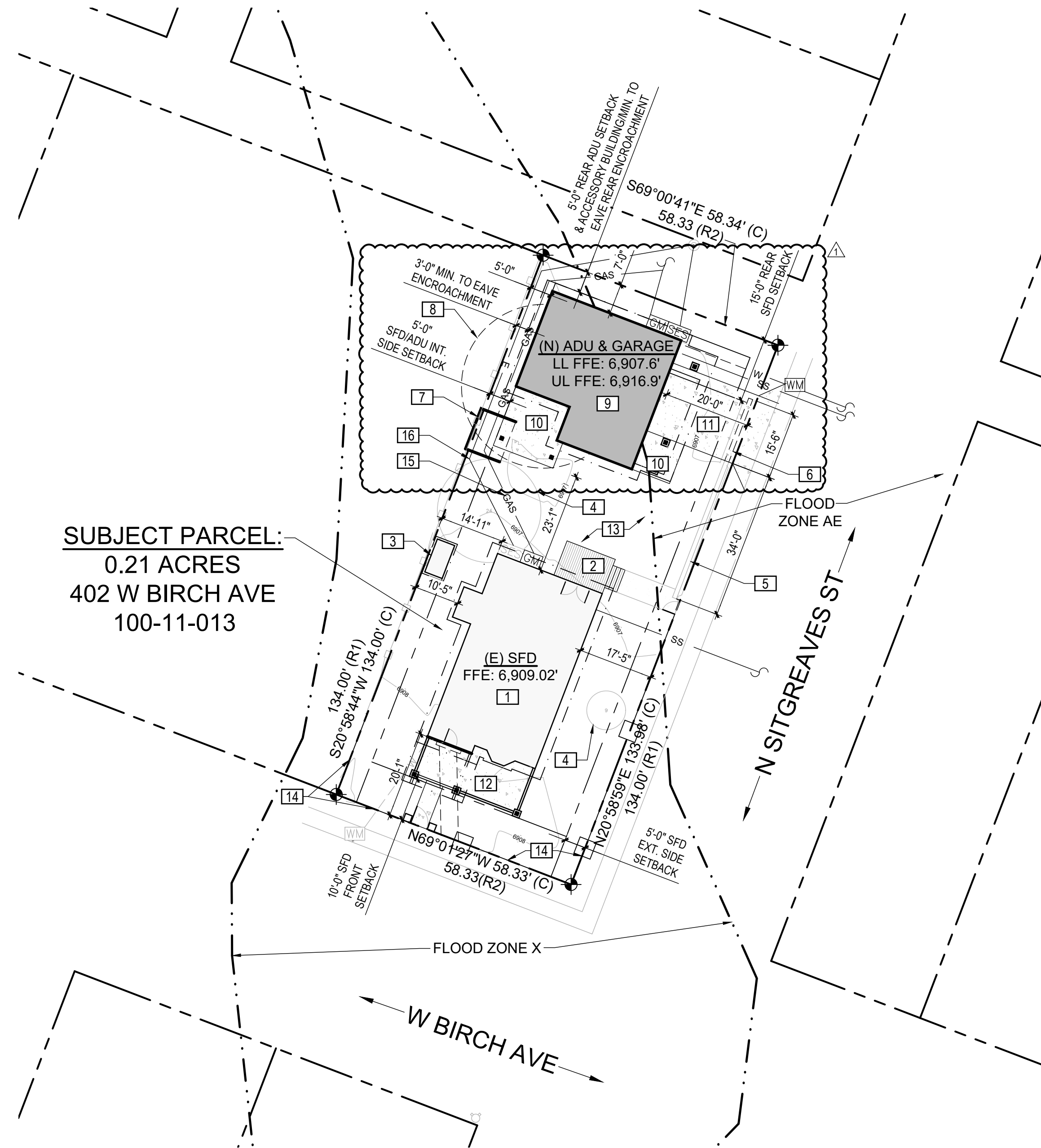
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SITE PLAN & PROJECT DATA

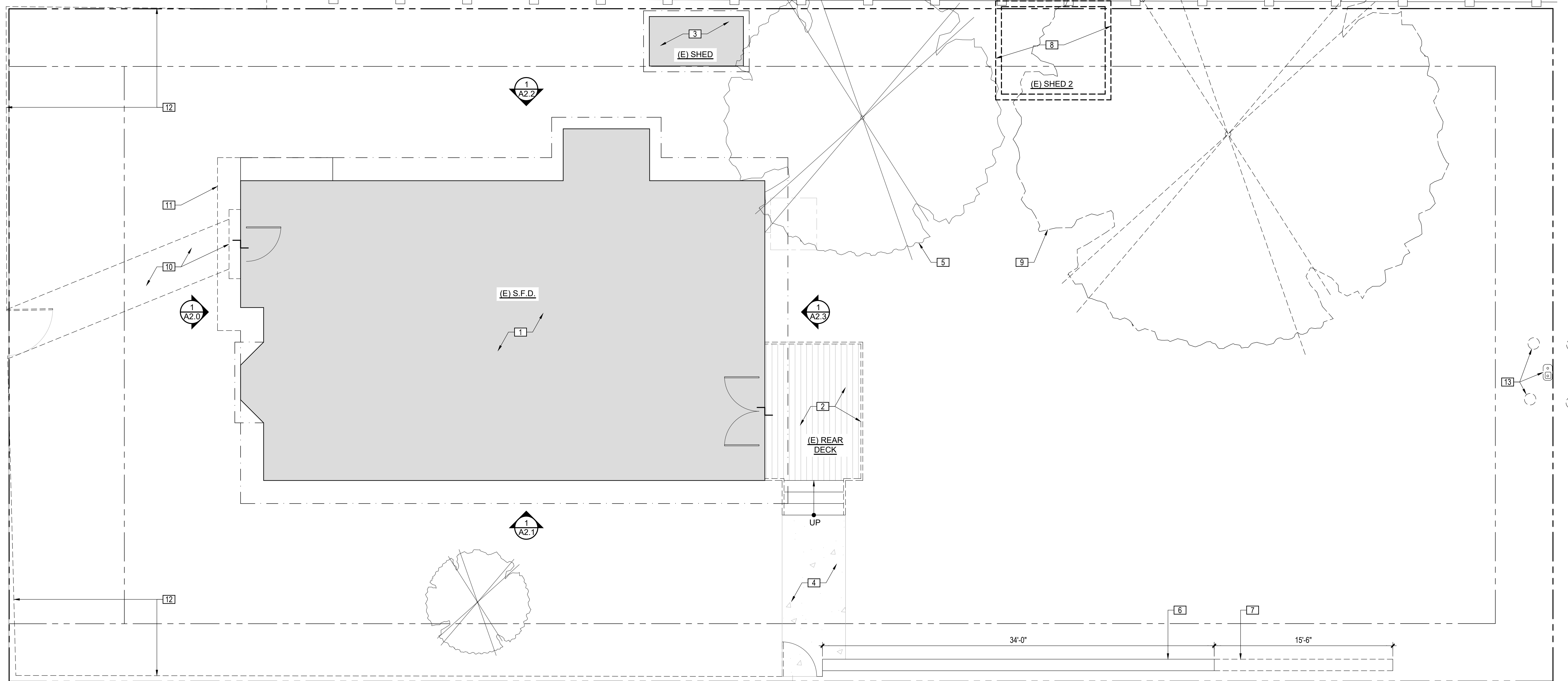
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2. CONTINUOUS YARD DIAGRAM
SCALE: 1" = 20'-0"



1. SITE PLAN
SCALE: 1" = 20'-0"

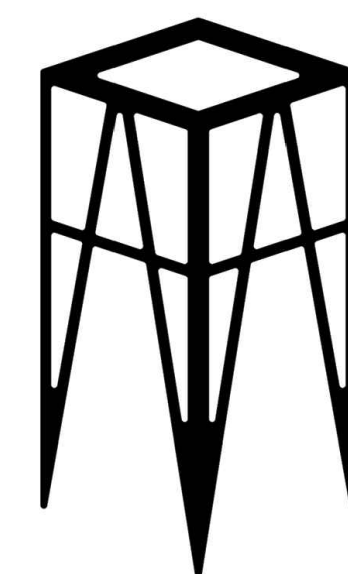


EXISTING/DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0"

EXISTING/DEMO FLOOR PLAN NOTES

1. E.T.R. S.F.D.
2. E.T.R. DECK. GUARDRAIL TO BE DEMOLISHED AND REPLACED WITH NEW GUARDRAIL PER PROPOSED FLOOR PLANS
3. E.T.R. SHED
4. E.T.R. CONCRETE PATHWAY
5. E.T.R. TREE
6. E.T.R. SECTION OF LOW SITE ROCK WALL
7. EXISTING SECTION OF ROCK WALL TO BE DEMOLISHED. MATERIAL TO BE RE-USED AT FRONT FENCE LINE.
8. EXISTING SHED TO BE DEMOLISHED
9. EXISTING TREE TO BE DEMOLISHED
10. EXISTING S.F.D. CONCRETE PATHWAY & FRONT STEP TO BE DEMOLISHED
11. EXISTING ROOFING & OUTRIGGERS TO BE DEMOLISHED. AREA TO BE PREPPED FOR NEW ROOF EXTENSION PER PROPOSED ROOF PLAN.
12. EXISTING CHAIN LINK SITE FENCE TO BE REPLACED PER PROPOSED FLOOR PLAN.
13. EXISTING GAS METER AND LINE TO BE RELOCATED AND REROUTED AT S.F.D., RESPECTIVELY. EXISTING BOLLARDS AROUND METER TO BE REMOVED.



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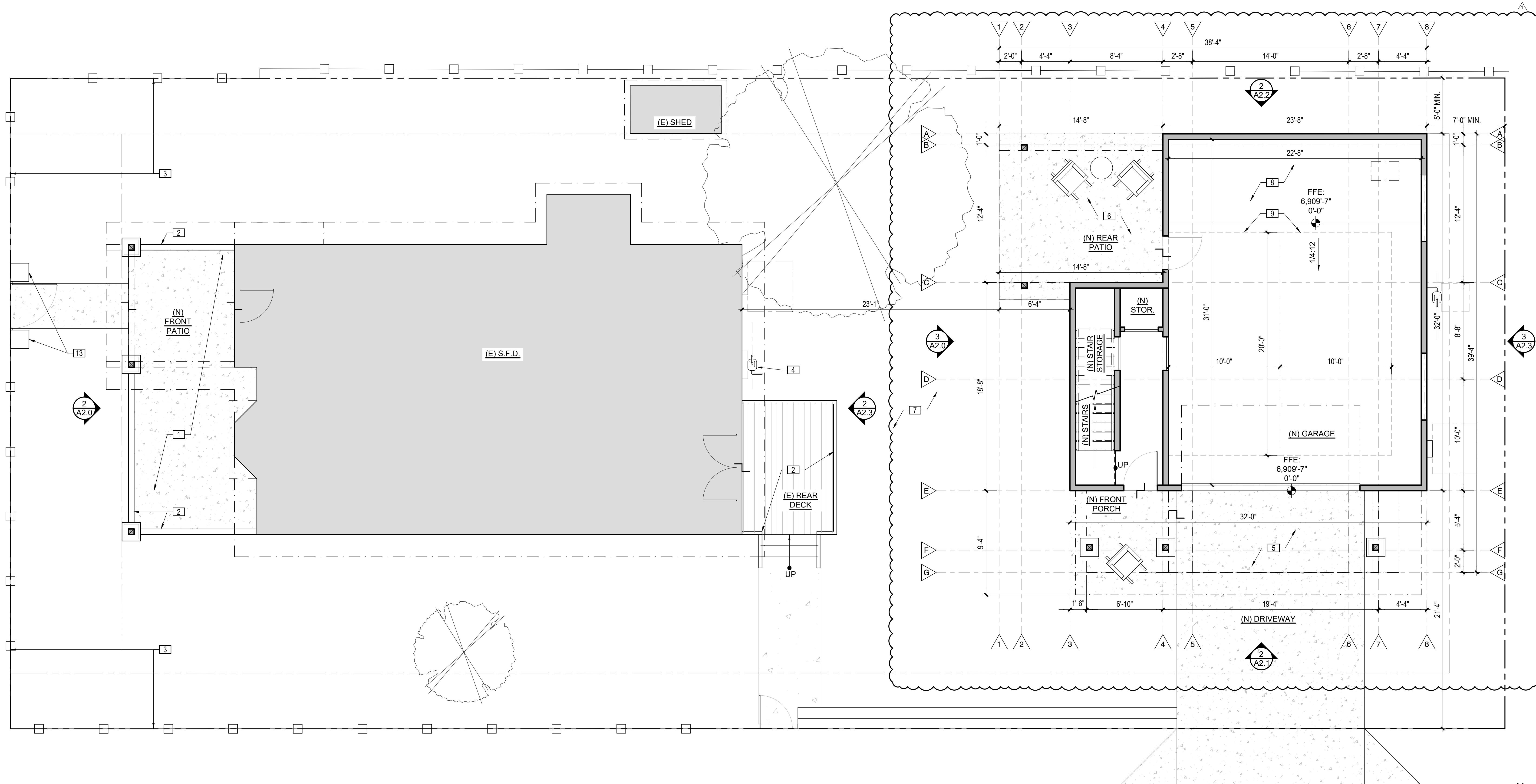


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| PROJECT NO 24_026 | |

SHEET TITLE:

EXISTING/DEMO
FLOOR PLAN

A1.0

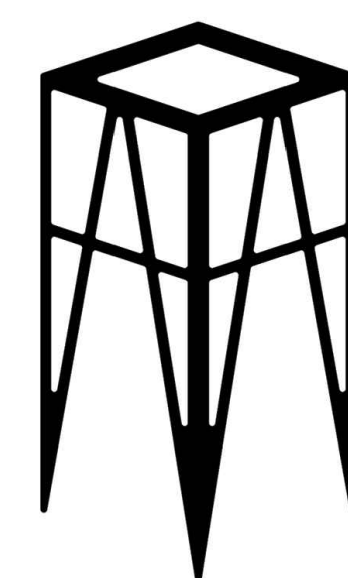


PROPOSED LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

PROPOSED FLOOR PLAN NOTES

1. PROPOSED PARTIALLY-COVERED FRONT PATIO AT S.F.D.
2. PROPOSED 36" H. GUARDRAIL
3. PROPOSED WHITE PICKET FENCING TO MATCH WEST NEIGHBOR. PLACE GATES AT EXISTING GATE LOCATIONS
4. RELOCATED GAS METER AT S.F.D.
5. PROPOSED CONCRETE DRIVEWAY
6. PROPOSED CONCRETE PATIO
7. PROPOSED SHARED CONTINUOUS YARD. SEE DIAGRAM 2/A0.0
8. PROPOSED GARAGE LOWER FLOOR OF PROPOSED STRUCTURE
9. PROPOSED (2) 10' X 20' PARKING SPACES. SEE A0.0 FOR PARKING CALC
10. PROPOSED TANK WATER HEATER. MOUNT ALL EQUIPMENT MIN. 1' ABOVE THE F.Z.D. B.F.E. PER A0.0.
11. PROPOSED ADU UPPER FLOOR OF PROPOSED STRUCTURE. SEE A0.0 FOR SQUARE FOOTAGE RESTRICTIONS.
12. PROPOSED RAISED DECK W/ 36" H. GUARDRAIL
13. PROPOSED STONE PILASTERS FROM RE-USED SITE WALL MATERIAL



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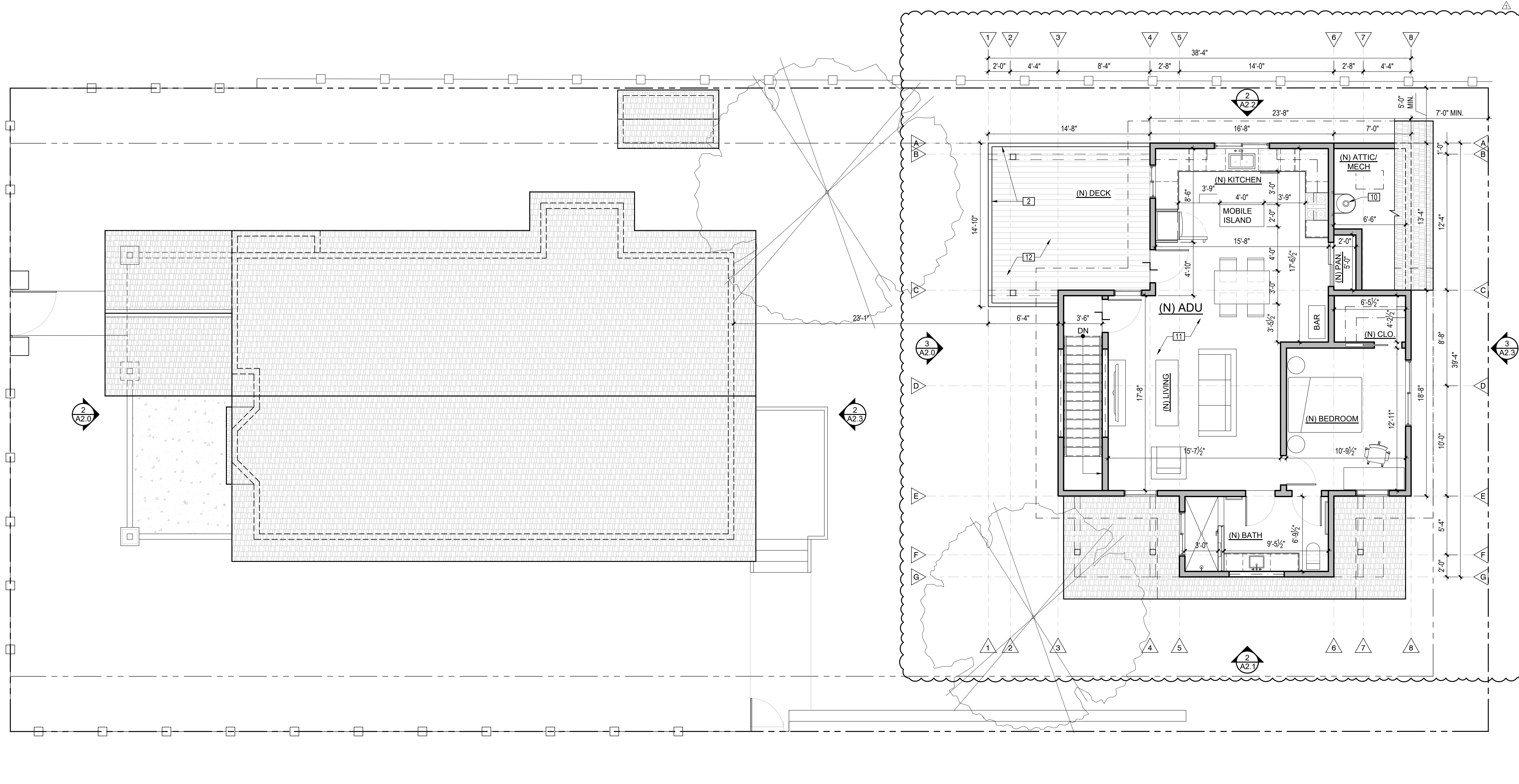
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SHEET TITLE:
PROPOSED LOWER LEVEL
FLOOR PLAN

A1.1

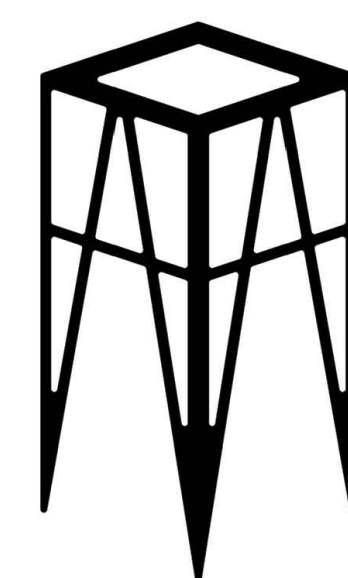


PROPOSED UPPER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

PROPOSED FLOOR PLAN NOTES

1. PROPOSED PARTIALLY-COVERED FRONT PATIO AT S.F.D.
2. PROPOSED 36" H. GUARDRAIL
3. PROPOSED WHITE PICKET FENCING TO MATCH WEST NEIGHBOR. PLACE GATES AT EXISTING GATE LOCATIONS
4. RELOCATED GAS METER AT S.F.D.
5. PROPOSED CONCRETE DRIVEWAY
6. PROPOSED CONCRETE PATIO
7. PROPOSED SHARED CONTINUOUS YARD. SEE DIAGRAM 2/A0.0
8. PROPOSED GARAGE LOWER FLOOR OF PROPOSED STRUCTURE
9. PROPOSED (2) 10' X 20' PARKING SPACES. SEE A0.0 FOR PARKING CALC
10. PROPOSED TANK WATER HEATER. MOUNT ALL EQUIPMENT MIN. 1' ABOVE THE F.Z.D. B.F.E. PER A0.0.
11. PROPOSED ADU UPPER FLOOR OF PROPOSED STRUCTURE. SEE A0.0 FOR SQUARE FOOTAGE RESTRICTIONS.
12. PROPOSED RAISED DECK W/ 36" H. GUARDRAIL
13. PROPOSED STONE PILASTERS FROM RE-USED SITE WALL MATERIAL



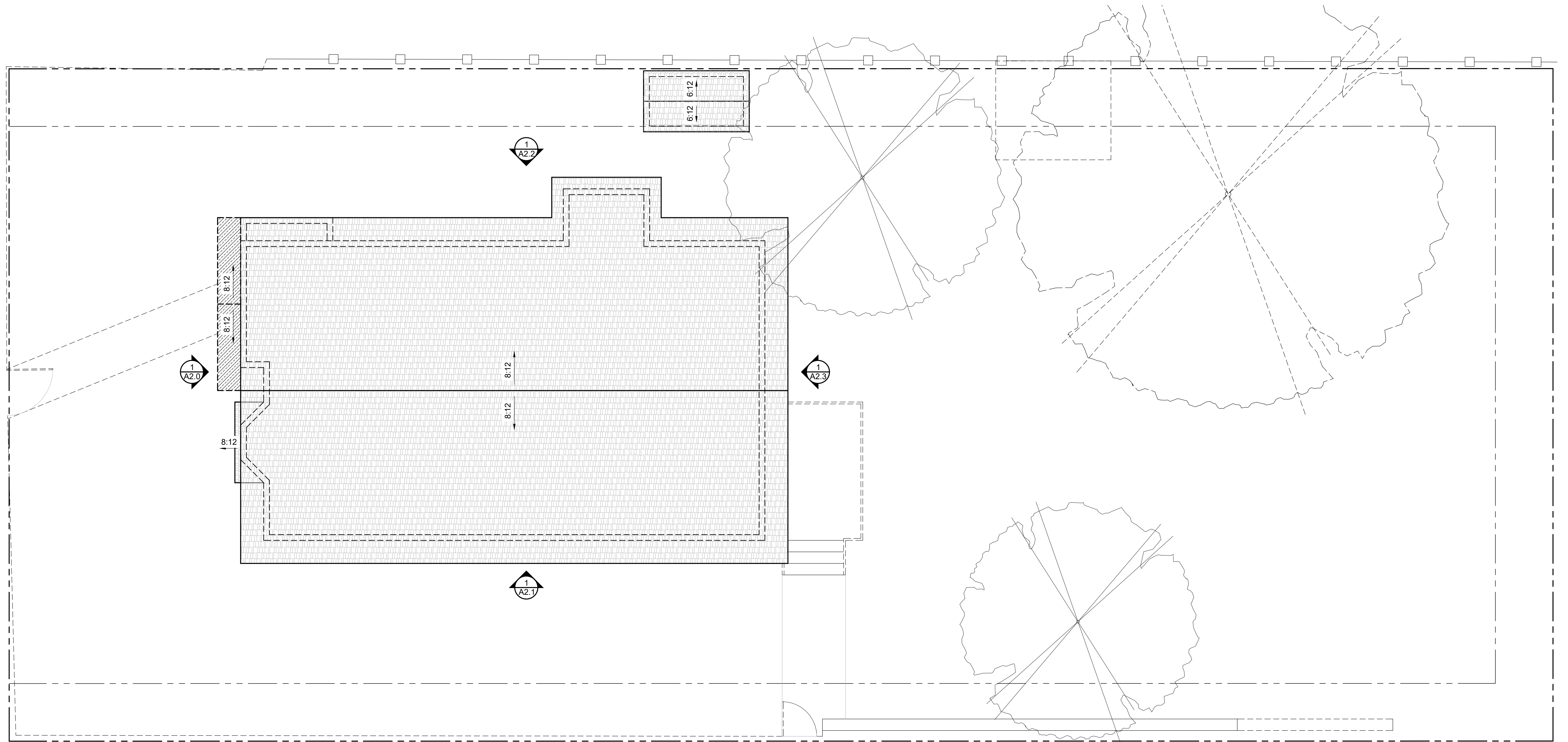
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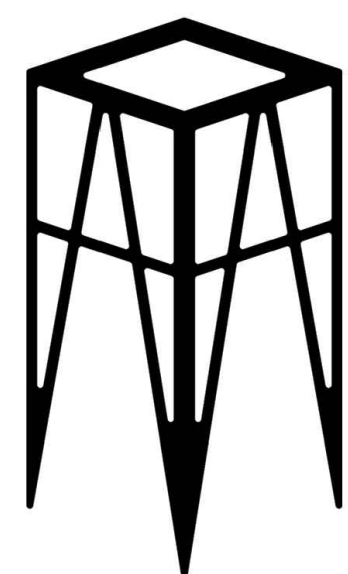
SHEET TITLE:
 PROPOSED UPPER LEVEL
 FLOOR PLAN
A1.2



EXISTING/DEMO ROOF PLAN

SCALE: 1/4" = 1'-0"

N



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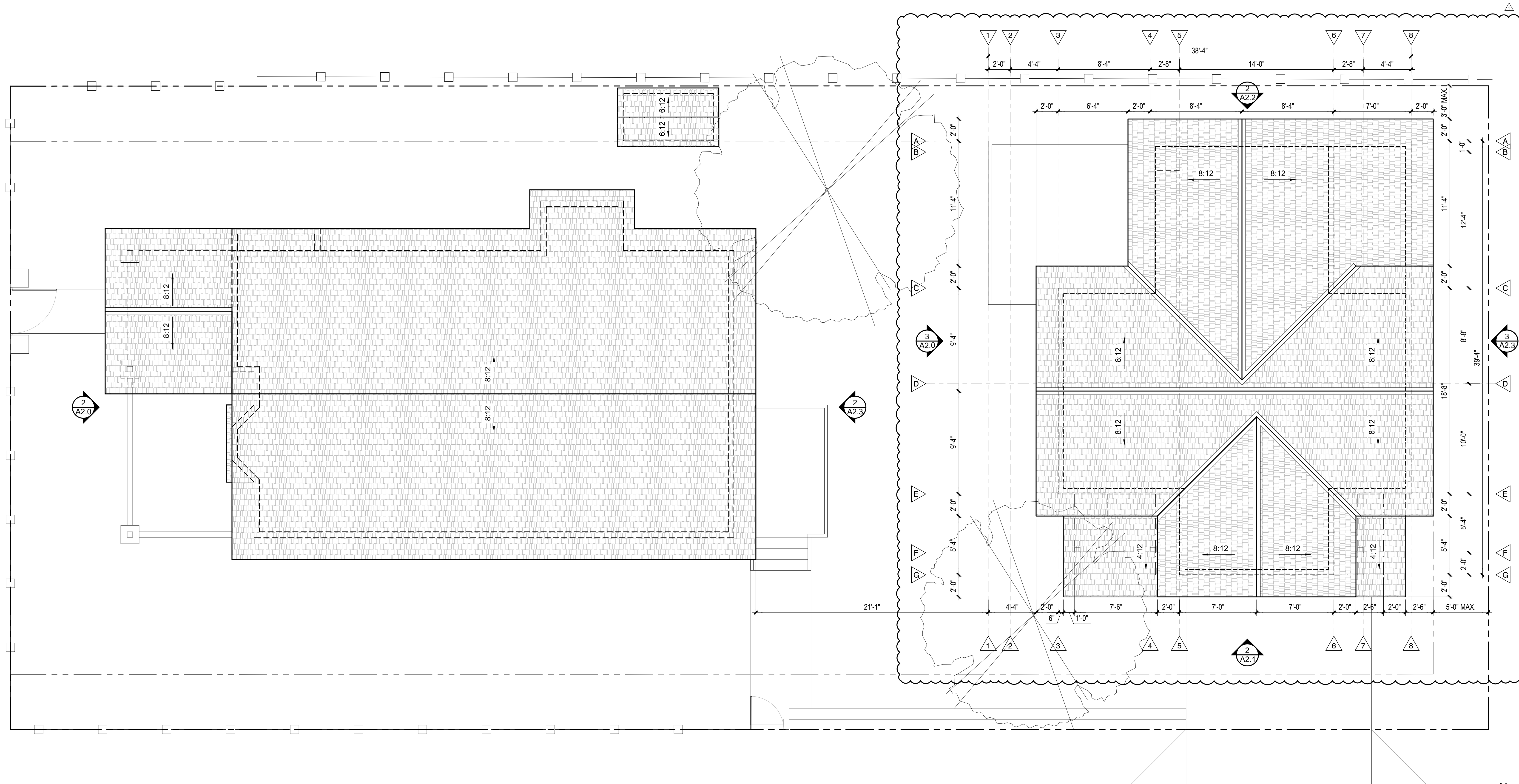
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PROJECT NO 24_026

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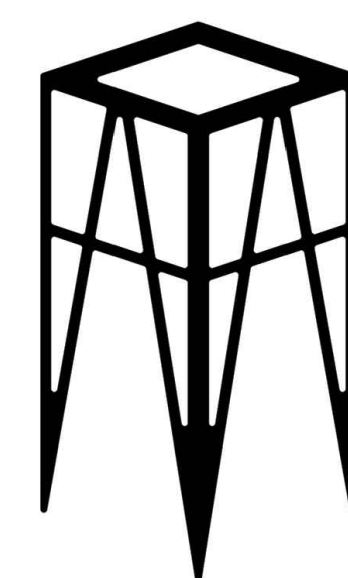
EXISTING/DEMO
ROOF PLAN

A1.3



PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"



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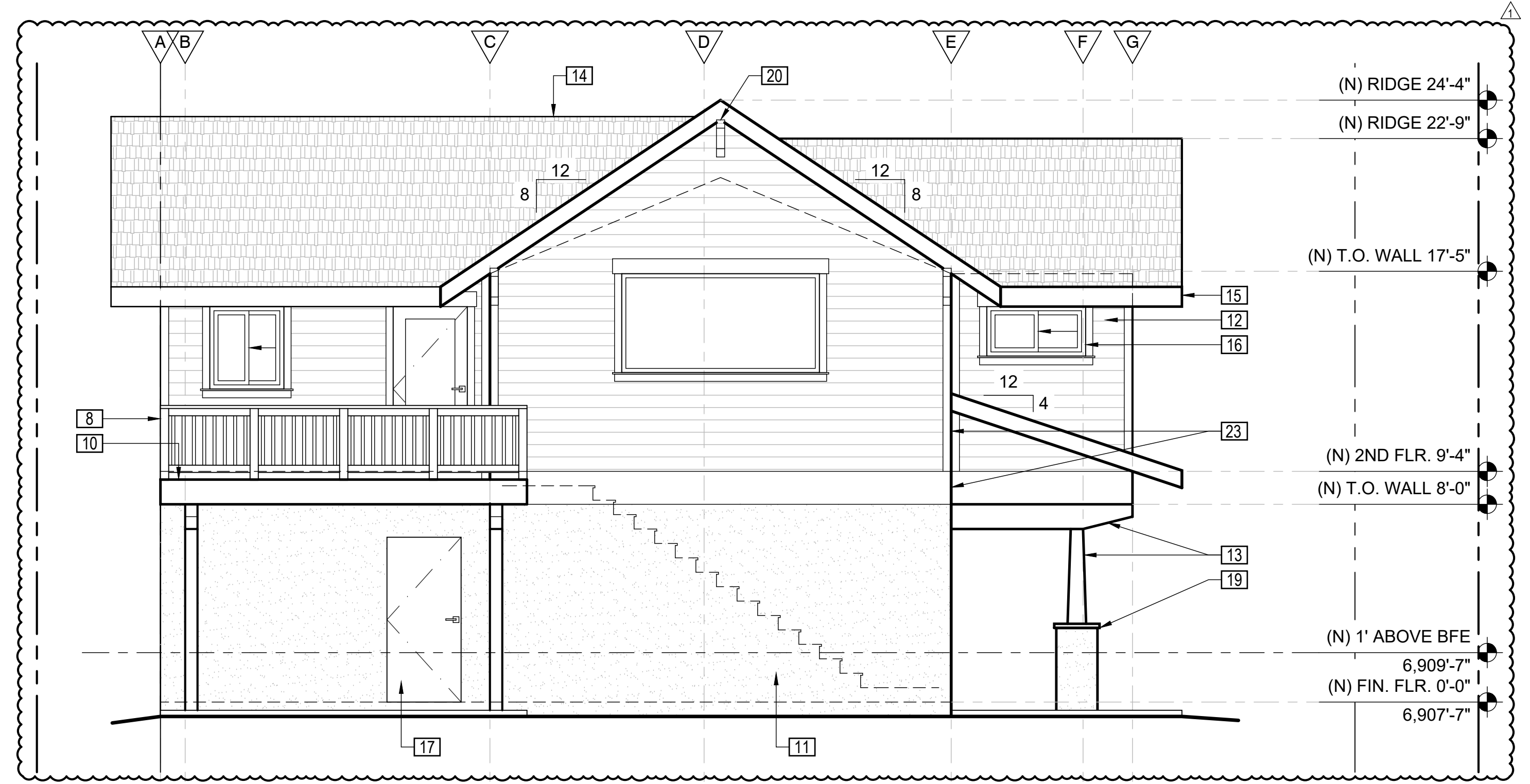


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| PROJECT NO 24_026 | |

SHEET TITLE:
PROPOSED
ROOF PLAN
A1.4

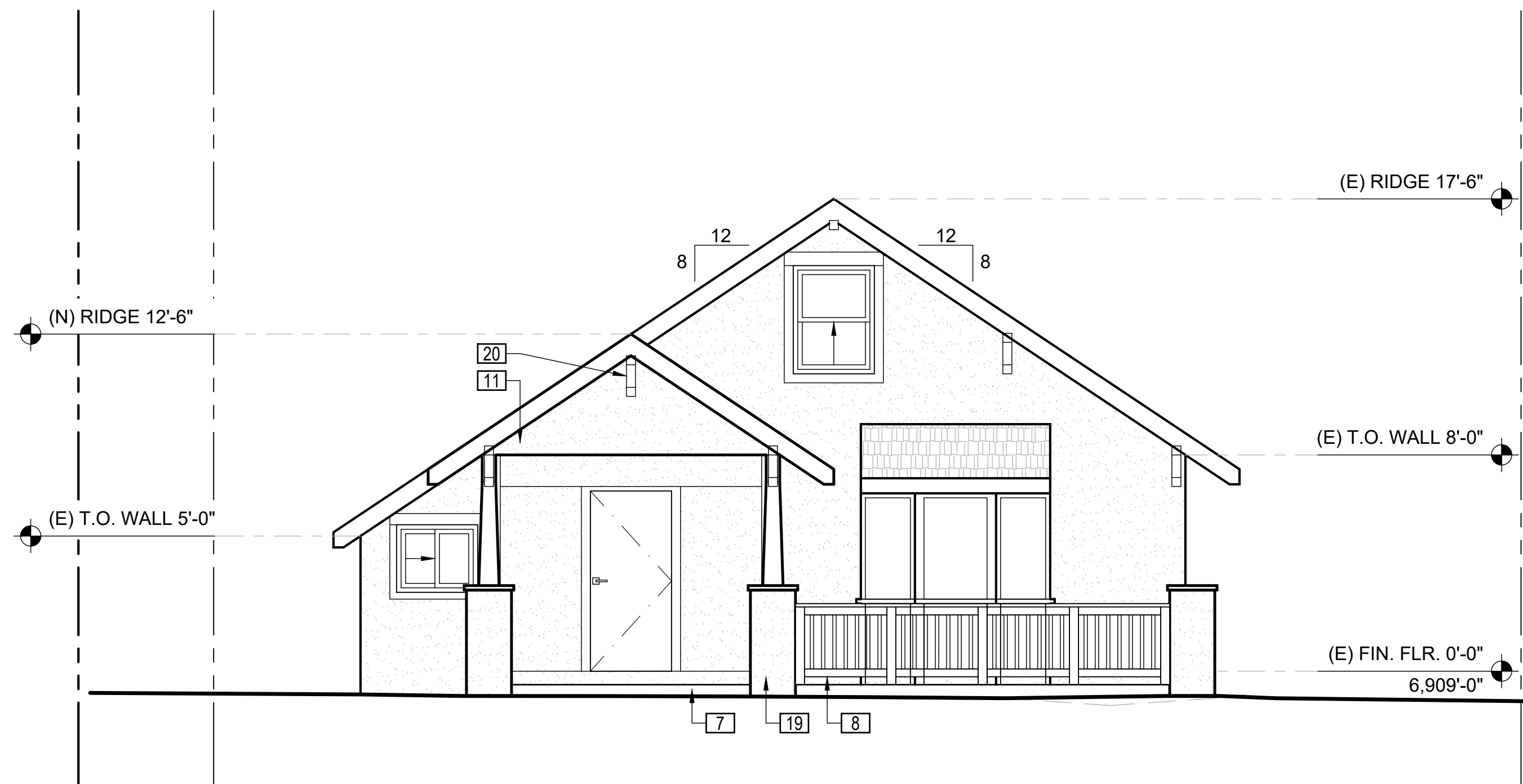
ELEVATION NOTES

1. E.T.R. S.F.D.
2. E.T.R. ELECTRIC SERVICE ENTRY SECTION FOR S.F.D.
3. E.T.R. DECK. GUARDRAIL TO BE DEMOLISHED AND REPLACED WITH NEW GUARDRAIL PER PROPOSED FLOOR PLANS
4. EXISTING ROOFING & OUTRIGGERS TO BE DEMOLISHED. AREA TO BE PREPPED FOR NEW ROOF EXTENSION PER PROPOSED ROOF PLAN.
5. EXISTING S.F.D. CONCRETE PATHWAY & FRONT STEP TO BE DEMOLISHED
6. EXISTING GAS METER AND LINE TO BE RELOCATED AND REROUTED AT S.F.D., RESPECTIVELY. EXISTING BOLLARDS AROUND METER TO BE REMOVED.
7. PROPOSED PARTIALLY-COVERED FRONT PATIO AT S.F.D.
8. PROPOSED 36" H. GUARDRAIL W/ 4X4 POSTS @ 4'-0" O.C. MAX., WOOD GUARDS & WOOD TOP PLATE. STAIN IN "SW 3531 BLUE SHADOW" BY "SHERWIN WILLIAMS" LRV NOT AVAILABLE
9. RELOCATED GAS METER AT S.F.D.
10. PROPOSED RAISED DECK, DECKING BY "TREX" IN "COASTAL BLUFF"
11. PROPOSED STUCCO SIDING, PAINTED IN "SW 6178 CLARY SAGE" LRV 41 BY "SHERWIN WILLIAMS"
12. PROPOSED HORIZONTAL LAP BOARD SIDING BY "JAMES HARDIE" IN "SMOOTH", PAINTED IN "SW 6209 - RIPE OLIVE" LRV 6 BY "SHERWIN WILLIAMS"
13. PROPOSED EXPOSED WOOD POST & BEAMS. PAINT TO MATCH LAP SIDING.
14. PROPOSED ASPHALT SHINGLE ROOFING IN A MEDIUM GRAY TO MATCH E.T.R. ROOFING
15. PROPOSED TRIM, BELLY BAND, & FASCIA, PAINTED IN "SW 6342 SPICY HUE" LRV 12 BY "SHERWIN WILLIAMS"
16. PROPOSED COMPOSITE WINDOWS IN A BLACK FINISH. SEE TYP. DETAILS SHEET A5.0
17. PROPOSED ENTRY DOOR TO BE PAINTED TO MATCH TRIM/FASCIA.
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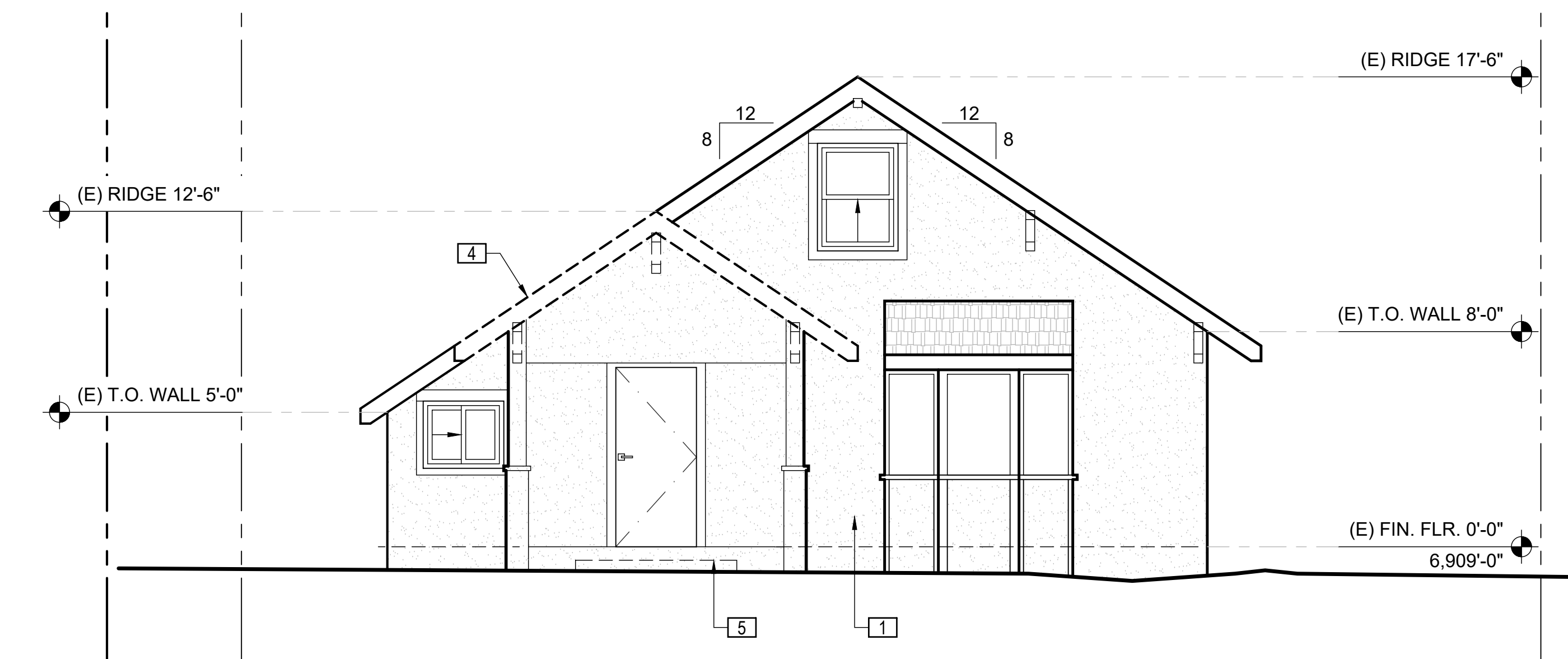
3. PROPOSED FRONT ADU (SW) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



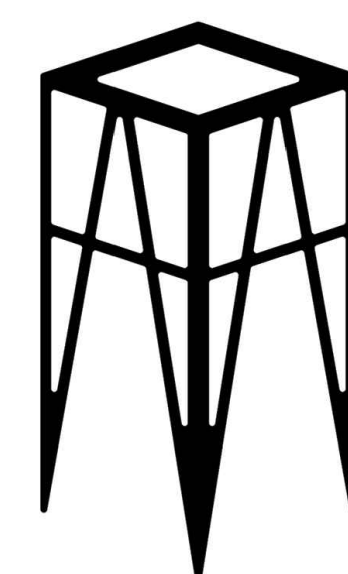
2. PROPOSED SFD FRONT (SW) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



1. EXISTING/DEMO SFD FRONT (SW) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



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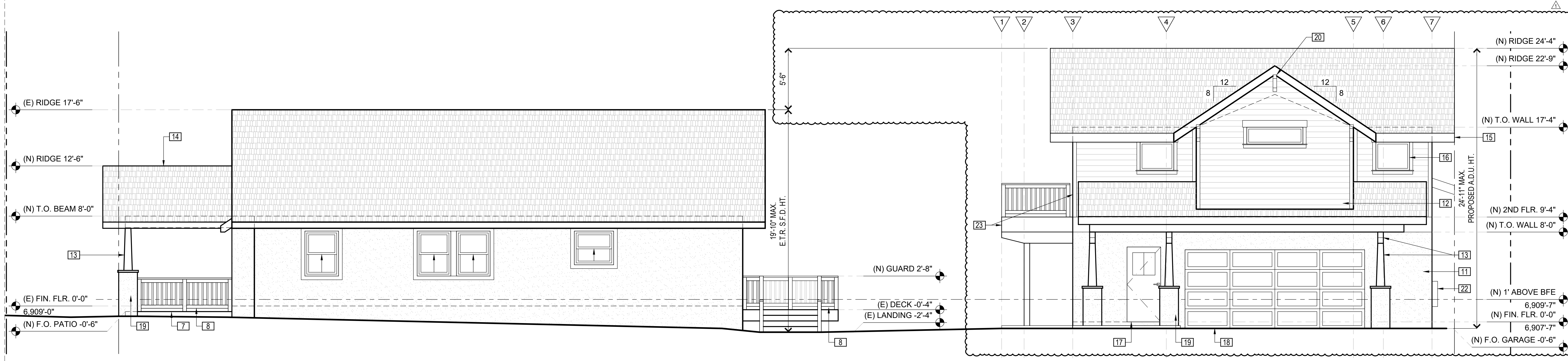
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| PROJECT NO 24_026 | |

SHEET TITLE:
EXTERIOR FRONT (SW)
ELEVATIONS

A2.0

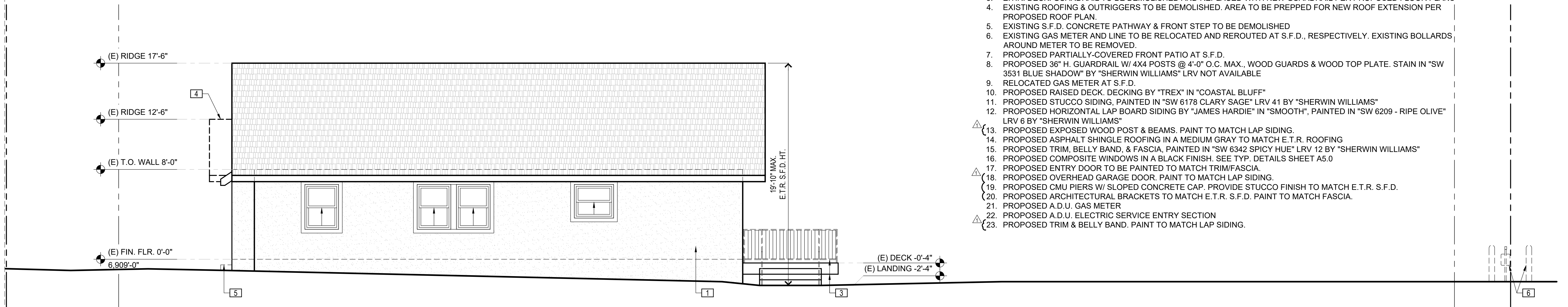


2. PROPOSED SIDE (SE) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

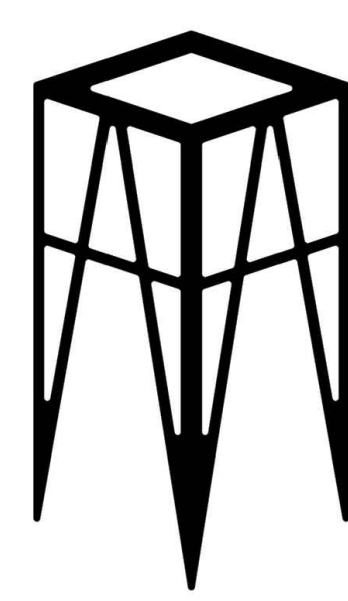
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1. EXISTING/DEMO SIDE (SE) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



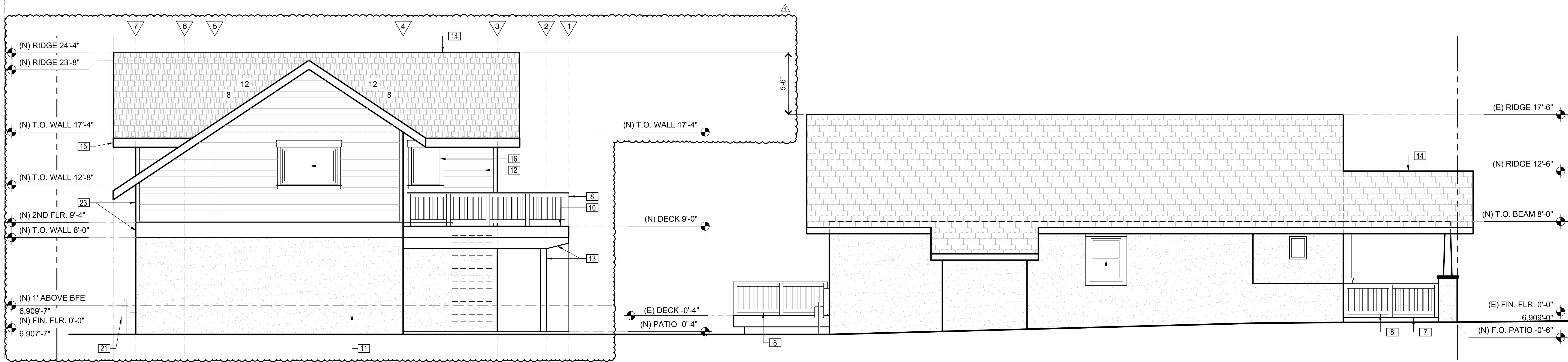
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SHEET TITLE:
EXTERIOR SIDE
(SE) ELEVATIONS
A2.1

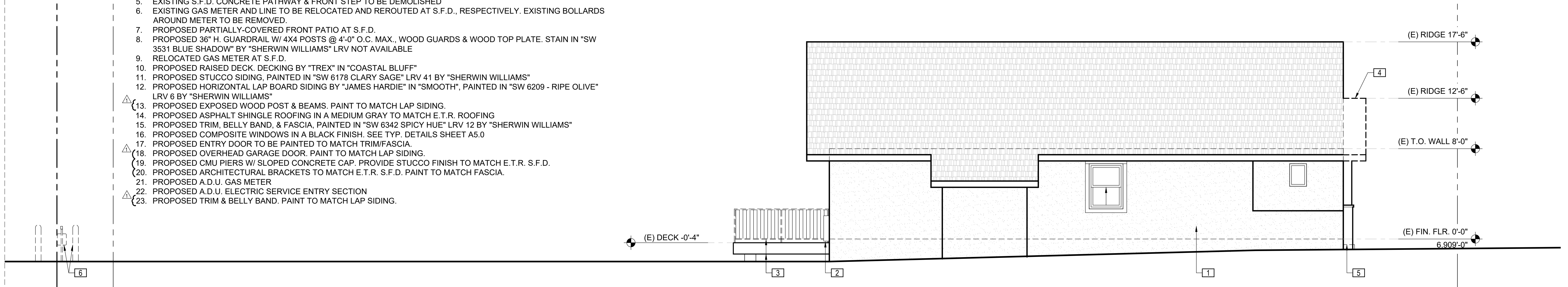


2. PROPOSED SIDE (NW) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

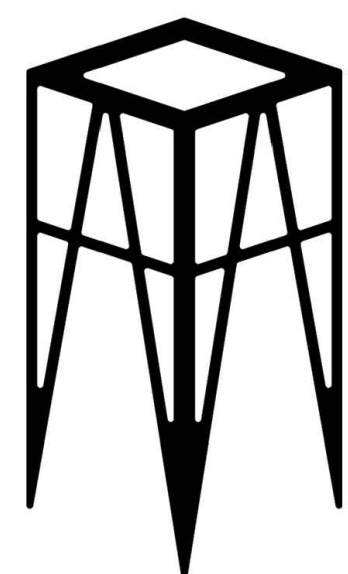
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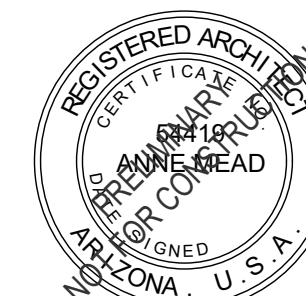
1. EXISTING/DEMO SIDE (NW) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



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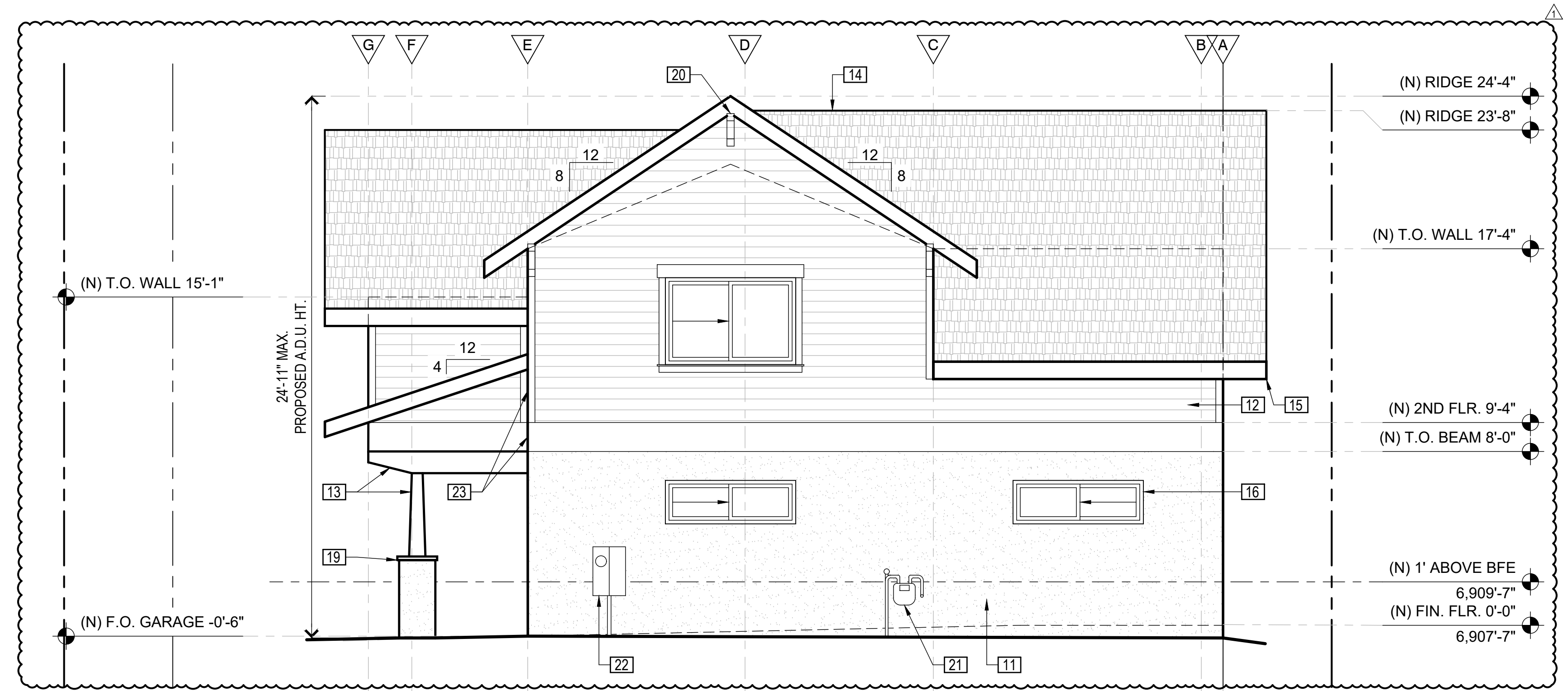


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SHEET TITLE:
EXTERIOR SIDE
(NW) ELEVATIONS
A2.2

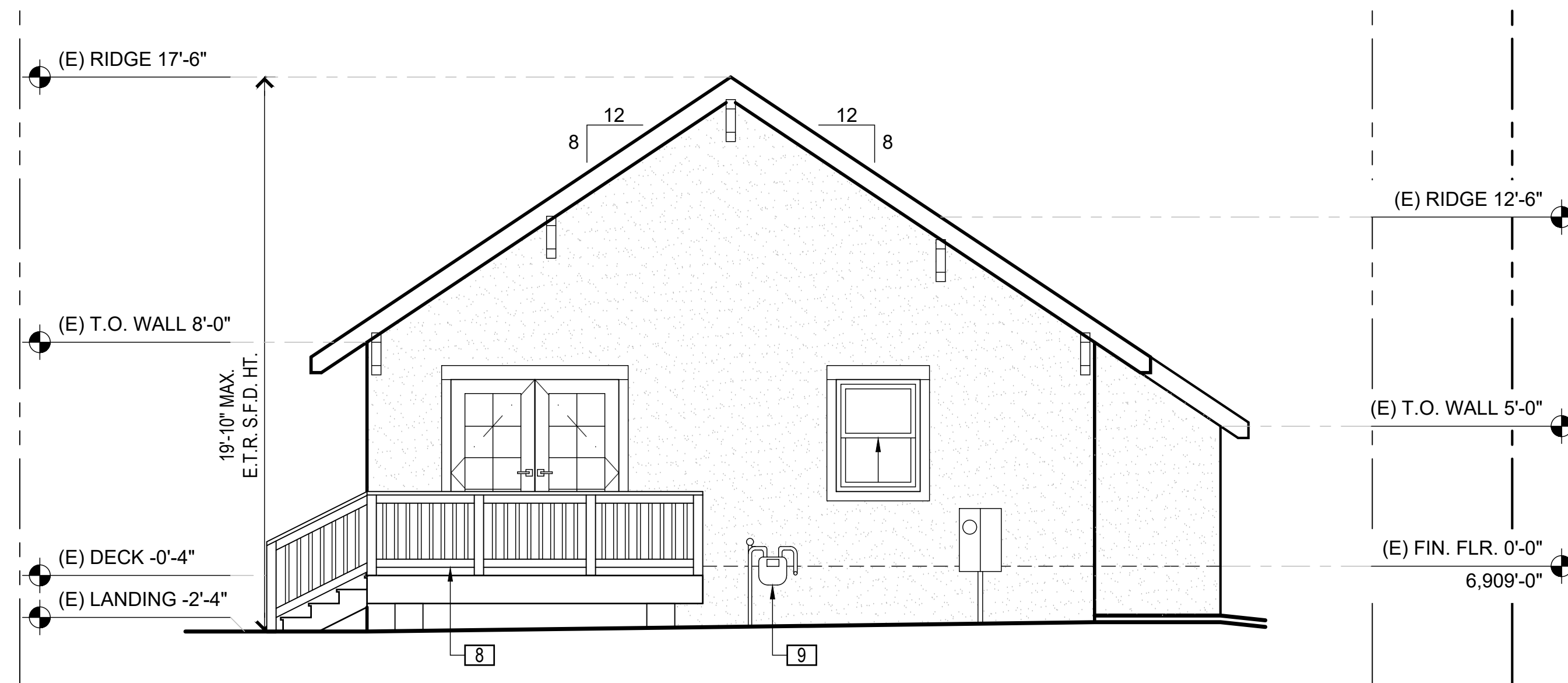
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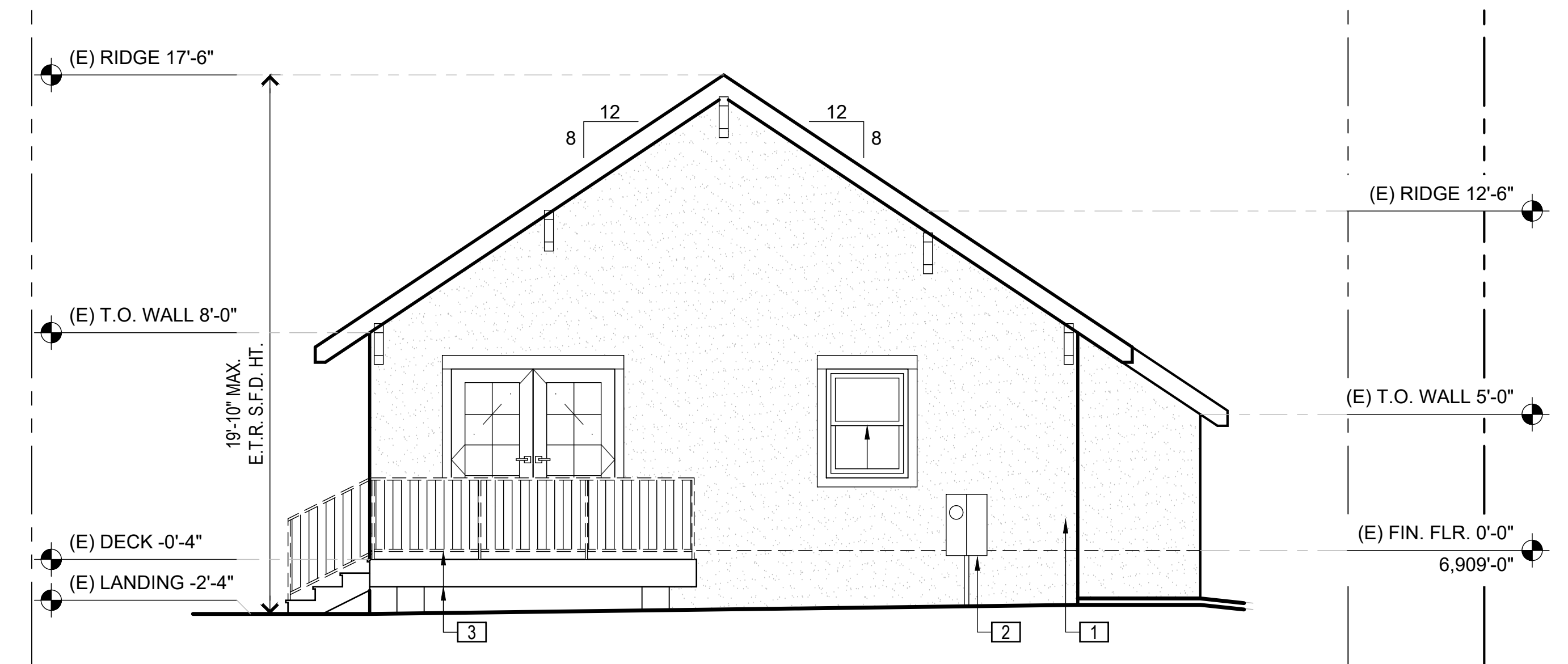
3. PROPOSED ADU REAR (NE) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



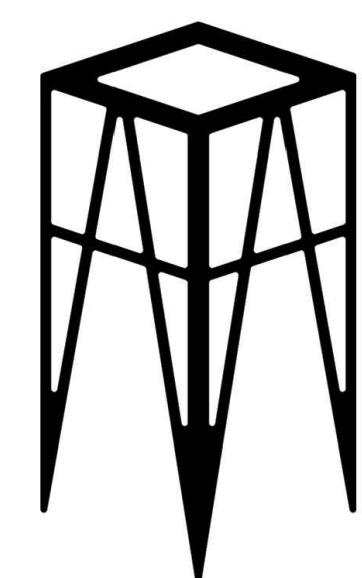
2. PROPOSED SFD REAR (NE) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



1. EXISTING/DEMO SFD REAR (NE) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



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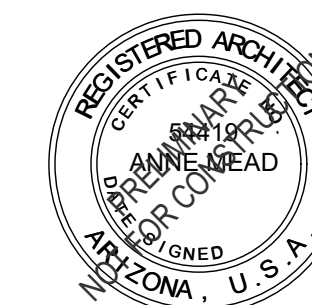
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SHEET TITLE:
EXTERIOR FRONT (SW) &
REAR (NE) ELEVATIONS

A2.3



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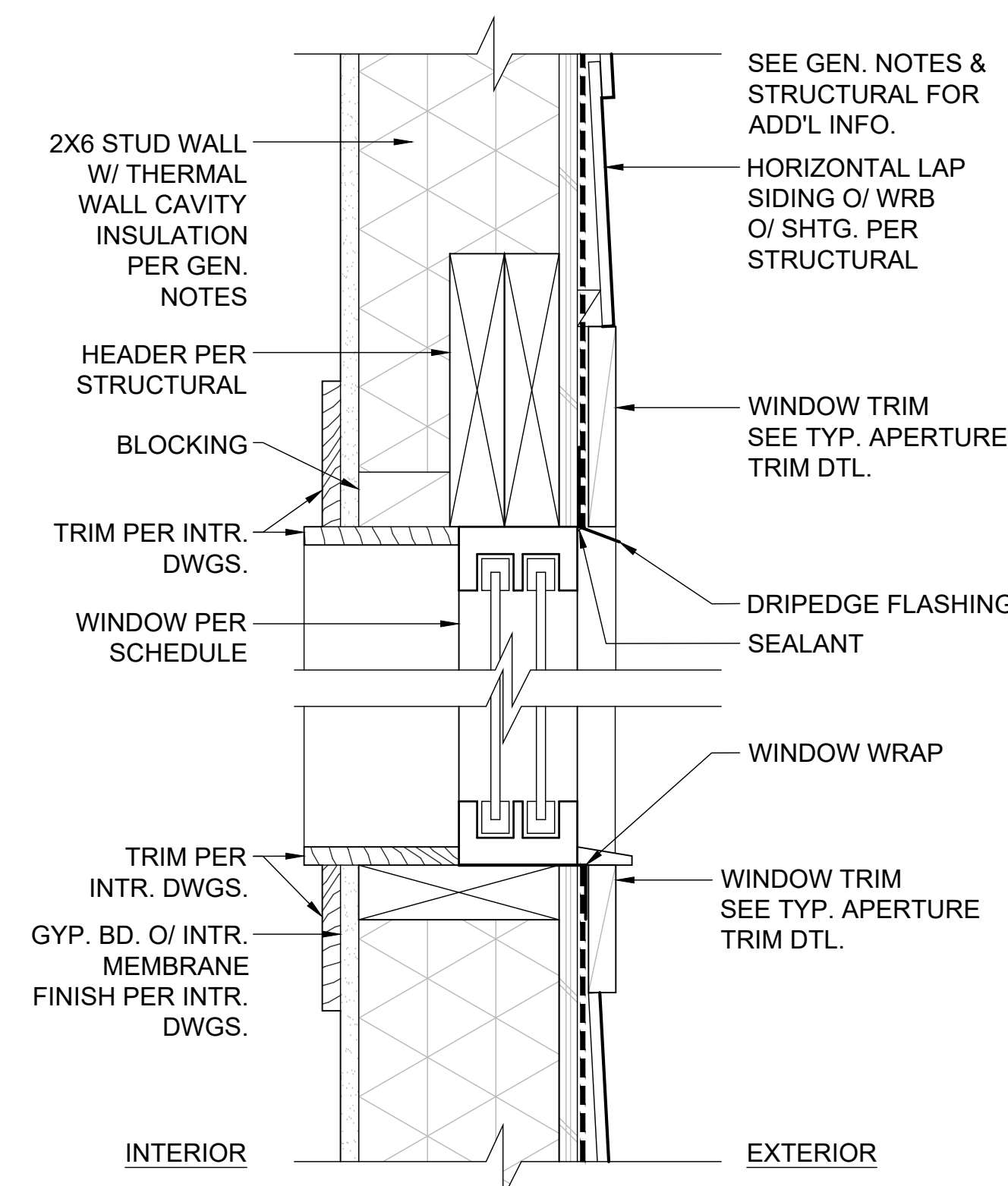
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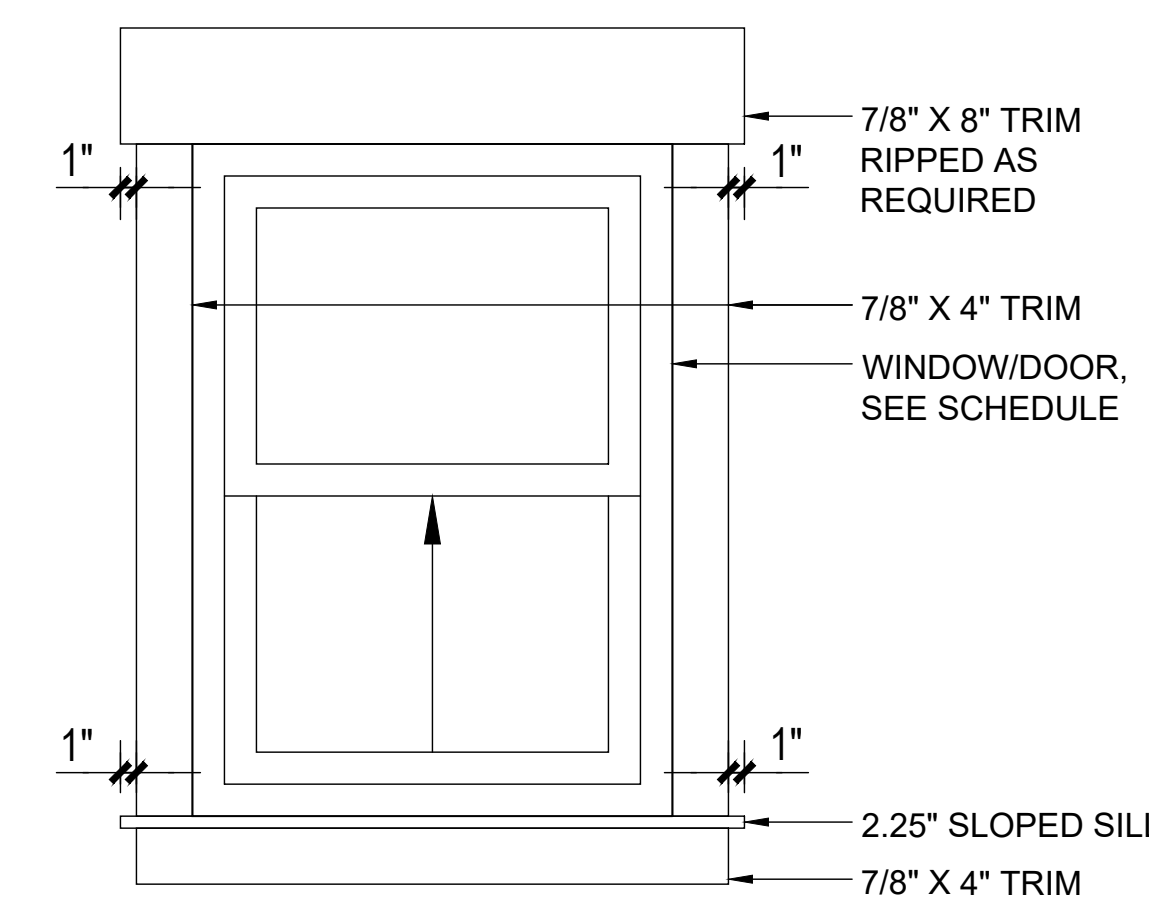
SHEET TITLE:

TYPICAL DETAILS

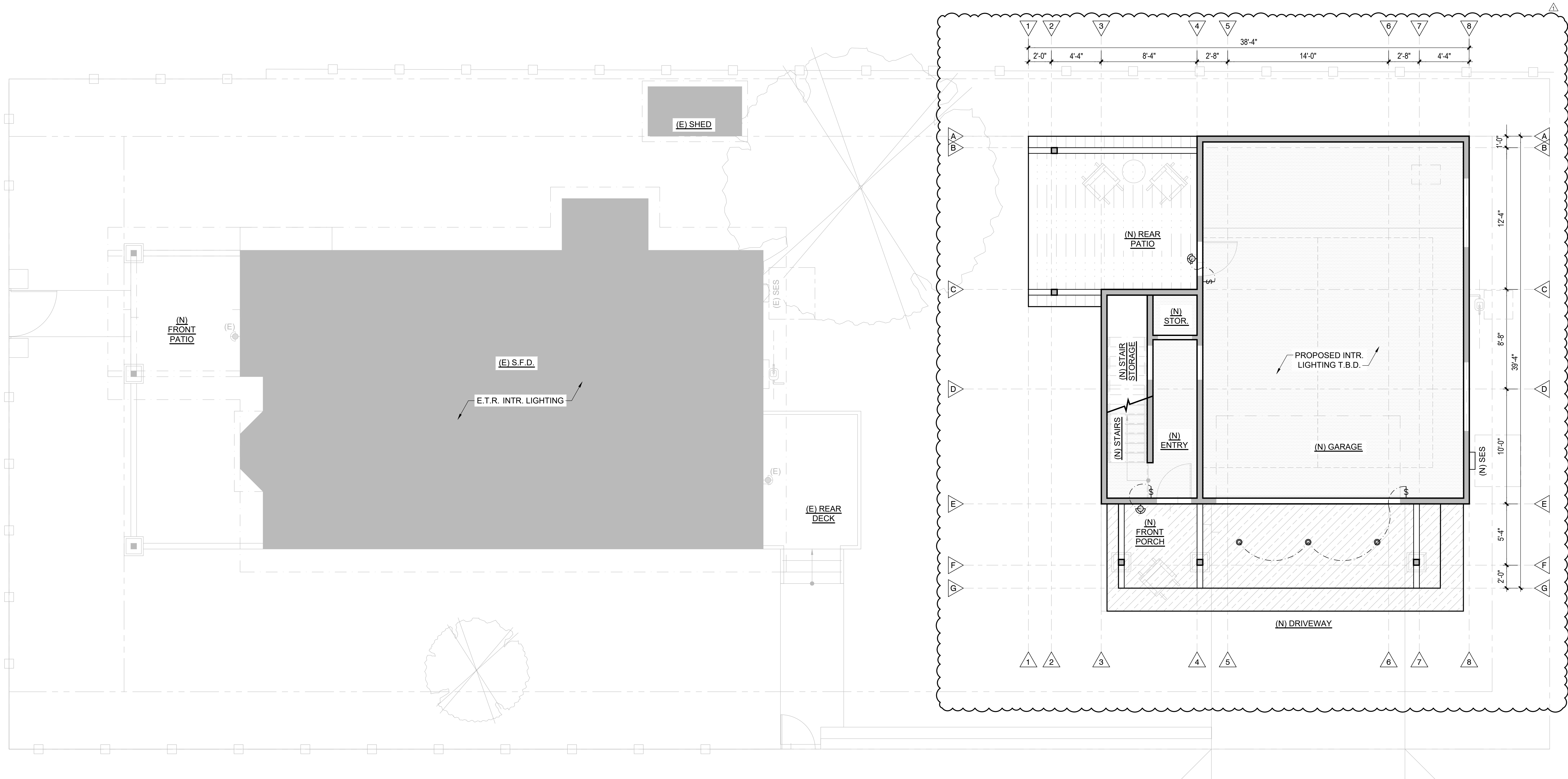
A5.0



2 TYP. EXTR WALL & APERTURE DETAIL
SCALE: 3" = 1'-0"



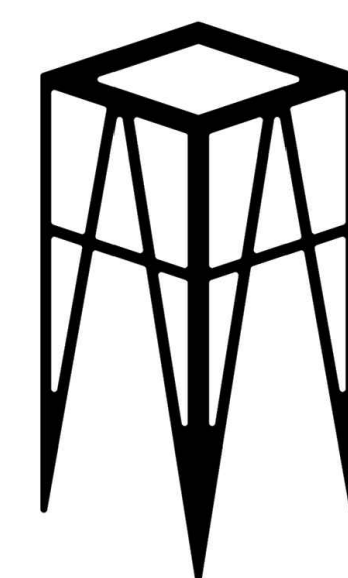
1 TYP. EXTR. APERTURE TRIM @ HOR. LAP SIDING
SCALE: 1" = 1'-0"



PROPOSED LOWER LEVEL EXTR. LIGHTING PLAN

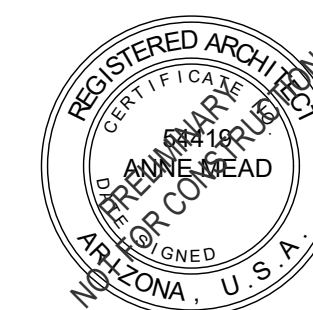
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*REFER TO SHEET E1.0 FOR KEYNOTES & LEGENDS, TYPICAL



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PROPOSED LOWER LEVEL
EXTR. LIGHTING PLAN

E1.0

N



ELECTRICAL LEGEND

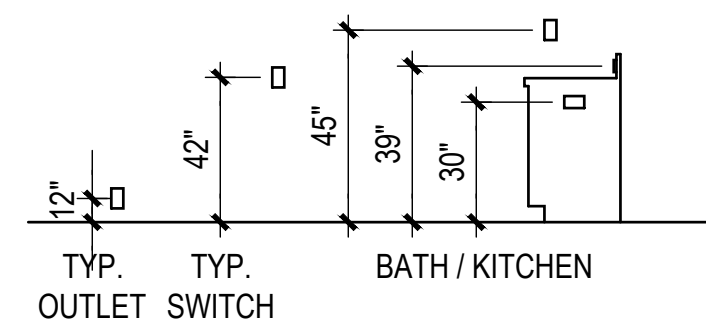
| | | | |
|--|--------------------------------------|--|--|
| | INDICATES CEILING HEIGHT | | EXHAUST FAN, MIN 5 AIR CHANGES/HR, SHALL EXTEND TO THE OUTSIDE, 3' FROM FRESH AIR INLETS PER IRC M1804.2.6 |
| | EXTR. DARK SKY COMPLIANT WALL SCONCE | | CARBON MONOXIDE DETECTOR, 110V, HARD WIRED W/ BATTERY BACK UP PER IRC R314 |
| | RECESSED CAN LIGHT/SLIM PUCK | | SMOKE DETECTOR 110V, HARD WIRED W/ BATTERY BACK UP PER IRC R314 |
| | EXTR. TO BE DARK SKY COMPLIANT | | GARBAGE DISPOSAL |
| | LOW VOLTAGE SOLAR LIGHTING | | COAX DATA / CABLE / PHONE OUTLET |
| | EXTR. TO BE DARK SKY COMPLIANT | OUTLETS (AFCI PER GENERAL ELEC. NOTE 2) | |
| | PENDANT FIXTURE | | DUPLEX OUTLET |
| | DECORATIVE CHANDELIER | | DUPLEX OUTLET GFCI |
| | WALL SCONCE | | DEDICATED APPLIANCE POWER. V.I.F. W/ MFR. |
| | SPOT LIGHT | | DEDICATED APPLIANCE GFCI POWER. V.I.F. W/ MFR. |
| | MOTION LIGHT | | DUPLEX OUTLET, RECESSED IN FLOOR |
| | MOUNTED FIXTURE | | DUPLEX OUTLET, RECESSED IN CEILING |
| | SURFACE MOUNTED CEILING FIXTURE | | FOURPLEX OUTLET |
| | CEILING FAN WITH LEGS FOR LIGHT KIT | | HALF-HOT DUPLEX OUTLET ON SWITCH |
| | SURFACE MTD PANEL FIXTURE | | JUNCTION BOX |
| | GARAGE DOOR OPENER | ADDITIONAL OUTLET NOTATIONS: | |
| | MULTI-LIGHT STRIP | WP | INDICATES WATERPROOF FIXTURE, GFCI PROTECTED |
| | STRIP LIGHTING W/ THUMB SWITCH | EV | INDICATES FUTURE ELEC. VEHICLE SUPPLY EQUIP. (SEE GENERAL ELECTRICAL NOTES) |
| | ELECTRICAL CIRCUIT | # | INDICATES ATYPICAL HEIGHT. V.I.F. |
| | EXISTING TO REMAIN | | |
| | RELOCATED EXISTING | | |
| | STANDARD FIXTURE ON / OFF SWITCH | | |

ADDITIONAL SWITCH NOTATIONS:
 T INDICATES TIMER
 D INDICATES DIMMER
 OS INDICATES OCCUPANT SENSOR
 3 INDICATES 3-WAY
 4 INDICATES 4-WAY

GENERAL ELECTRICAL/LIGHTING NOTES

- ALL ELECTRICAL SYSTEM MATERIALS, ACCESSORIES, INSTALLATION AND TESTING TO CONFORM TO THE ORDINANCES OF THE A.H.J., STATE LAWS & REGULATIONS, AND ALL CODES ADOPTED BY THE A.H.J. CONTRACTOR SHALL VERIFY LOCATIONS & REQUIREMENTS OF EQUIPMENT AND FIXTURES AS SHOWN ON THE PLANS W/ ACTUAL FIELD CONDITIONS.
- E3902.16 ARC-FAULT CIRCUIT INTERRUPTER PROTECTION. ALL BRANCH CIRCUITS THAT SUPPLY 120 VOLT, SINGLE PHASE, 15-AND 20-AMPERE OUTLETS INSTALLED IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS, AND OTHER LIVABLE AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT-INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT OR BY OTHER EQUIVALENT MEANS AS PERMITTED BY SECTION 3902.16
- PER 2018 IECC R404.1, NOT LESS THAN 90% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.
- RECESSED FIXTURES TO BE "ZERO CLEARANCE INSULATION COVER," (IC) APPROVED AT INSULATED AREAS.
- MAINTAIN ADEQUATE CLEARANCES AT ALL ELECTRICAL PANELS: 36" DX30"W OR WIDTH OF EQUIPMENT X 6'-6" H
- V.I.F. FUNCTION OF ALL EXISTING ELECTRICAL AND AT UPGRADED EQUIPMENT, WHERE APPLICABLE
- AT LEAST ONE REQUIRED GARAGE RECEPTACLE SHALL BE A 208/240-VOLT INDIVIDUAL BRANCH CIRCUIT FOR PURPOSES OF ELECTRIC VEHICLE (EV) CHARGING. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL PROVIDE A 50-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND A BRANCH CIRCUIT OVER CURRENT DEVICE. ELECTRIC VEHICLE SUPPLY EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH 2017-NFPA 70/NEC. SEE DEDICATED OUTLET ON PLAN LABELED "EV"
- PROVIDE SOLAR READY CONNECTION. CONDUIT SHALL BE INSTALLED FROM THE SERVICE PANEL TO A TERMINATION POINT AS INDICATED PER PLANS FOR FUTURE CONNECTION.
- PER IRC E3609.6 & E3609.7, PROVIDE BONDING TO THE INTERIOR METAL WATER PIPING AND ABOVE GROUND PORTION OF GAS PIPING SYSTEMS.
- PROVIDE UFER GROUND FOR NEW BUILDS.
- PER IRC E3703, PROVIDE A MINIMUM OF TWO (2) 20A RATED BRANCH CIRCUITS FOR RECEPTACLES LOCATED IN THE KITCHEN, PANTRY, BREAKFAST AND DINING AREAS, & A SEPARATE 20A RATED BRANCH CIRCUIT TO THE LAUNDRY, AND SEPARATE 20A RATED BRANCH CIRCUIT FOR BATHROOM RECEPTACLES.
- ALL MATERIALS AND EQUIPMENT SHALL BE UL LISTED.
- FIXTURES LOCATED AT THE EXTERIOR AND AT SHOWER AREAS TO BE WET-RATED.
- VERIFY LOCATIONS OF ALL EQUIPMENT PLATES SUCH THAT THEY DO NOT REQUIRE NOTCHING TRIM, BACKSLASHES, OR OTHER FINISH WORK
- MOUNT ALL LIGHT/CONTROL SWITCHES/ DIMMERS AT 42" A.F.F. TO ϵ OF THE CONTROL, U.O.N.
- PROVIDE REQUIRED IDENTIFICATION ON ALL CONDUIT OR OTHERWISE CONCEALED SYSTEM COMPONENTS
- WHERE EXISTING SYSTEMS ARE ABANDONED, REMOVE ALL COMPONENTS IN THEIR ENTIRETY.
- RECEPTACLES SHALL BE SPACED PER 2018 IRC E3901
- OUTDOOR LIGHT FIXTURES & TOTAL SITE LUMEN COUNT TO COMPLY WITH REQUIREMENTS PER THE CITY OF FLAGSTAFF ZONING CODE SECTION 10-50.70: OUTDOOR LIGHTING STANDARDS. PROVIDE NARROW SPECTRUM AMBER LED FULLY-SHIELDED FIXTURES EXCEPT WHERE ALLOWED PER CODE.

SWITCH/OUTLET REQ'S

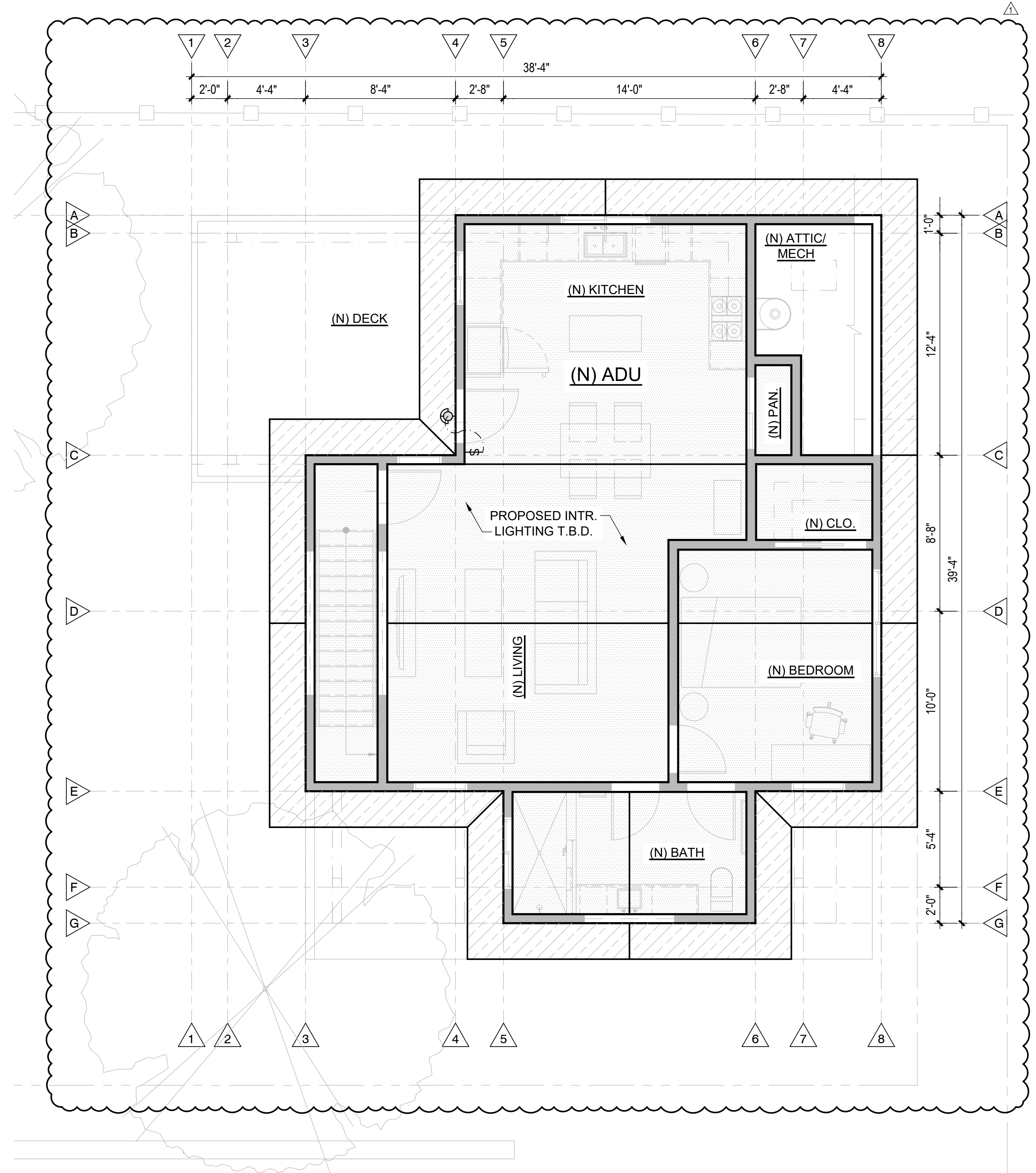


NOTES:

- MOUNT ALL LIGHT/CONTROL SWITCHES/DIMMERS AT 42" A.F.F. TO ϵ OF THE CONTROL, U.N.O.
- VERIFY LAYOUT WITH LOCAL CODES/NEC AND JOB SITE CONDITIONS
- VERIFY LOCATIONS DO NOT REQUIRE NOTCHING TRIM, BACKSLASHES, OR OTHER FINISH WORK

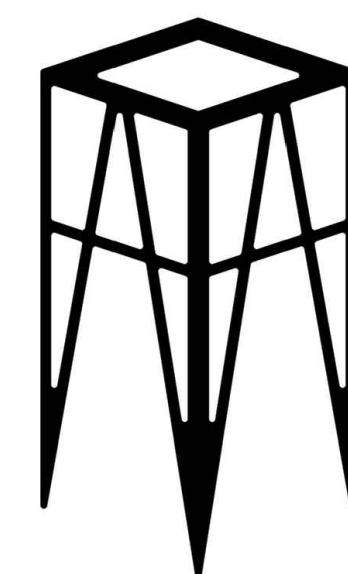
FINISH LEGEND

| | |
|--|-----------------|
| | GYPSUM BOARD |
| | COMPOSITE PANEL |
| | DECK UNDERSIDE |



PROPOSED UPPER LEVEL EXTR. LIGHTING PLAN

SCALE: 1/4" = 1'-0"



UPDESIGN studio
 ARCHITECTS
 520-760-8746_updesignarchitects.com
 UPDESIGN SOLUTIONS@GMAIL.COM
 304 S. ELDEN STREET STE 3
 FLAGSTAFF, ARIZONA 86001

AVERBECK
ADU 402 W BIRCH
 FLAGSTAFF
 ARIZONA 86001



| | |
|----------------------|------------|
| APN : 100-11-013 | |
| DESCRIPTION | DATE |
| HPC REVIEW REV 01 | 10-14-2025 |
| HPC REVIEW | 09-23-2025 |
| SCHEMATIC DESIGN 1.7 | 09-19-2025 |
| SCHEMATIC DESIGN 1.6 | 09-05-2025 |
| SCHEMATIC DESIGN 1.5 | 09-03-2025 |
| SCHEMATIC DESIGN 1.4 | 08-22-2025 |
| SCHEMATIC DESIGN 1.3 | 04-07-2025 |
| SCHEMATIC DESIGN 1.2 | 03-14-2025 |
| SCHEMATIC DESIGN 1.1 | 02-19-2025 |
| SCHEMATIC DESIGN 1.0 | 01-28-2025 |
| PROJECT NO 24_026 | |

SHEET TITLE:

PROPOSED UPPER LEVEL
 EXTR. LIGHTING PLAN

E1.1



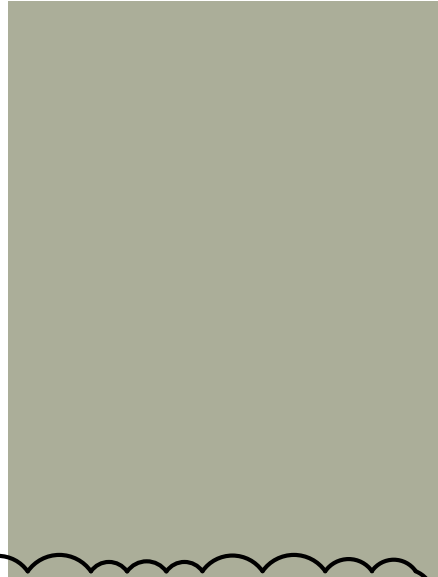
ROOFING

MTL: ASPHALT SHINGLE
MFR: TO MATCH EXISTING
COLOR: MEDIUM GRAY TO MATCH EXISTING
LRV: NOT AVAILABLE



LAP SIDING, TRIM, BELLY BAND, POST & BEAMS

MATL: COMPOSITE HORIZONTAL LAP SIDING
TEXTURE: SMOOTH
MFR: JAMES HARDIE
PAINT:
MFR: SHERWIN WILLIAMS
COLOR: SW 6209 - RIPE OLIVE
LRV: 6



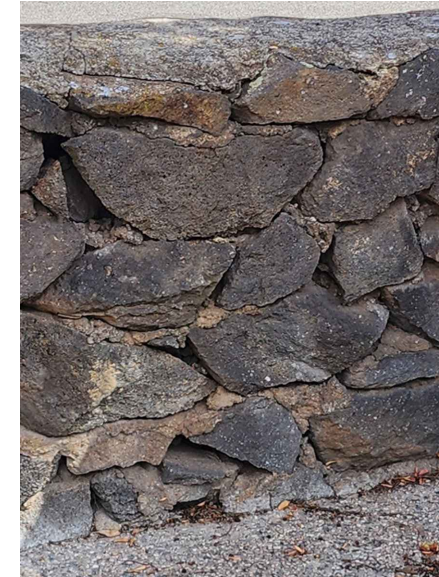
STUCCO SIDING, PIERS

MATL: STUCCO
PAINT:
MFR: SHERWIN WILLIAMS
COLOR: SW 6178 CLARY SAGE
LRV: 41



FASCIA, ARCH. BRACKETS, ENTRY DOORS

MATL: COMPOSITE
MFR: JAMES HARDIE
PAINT:
MFR: SHERWIN WILLIAMS
COLOR: SW 6342 SPICY HUE
LRV: 12



STONE VENEER

MATL: REUSED SITE WALL LOCAL MALPAIS
LRV: NOT AVAILABLE



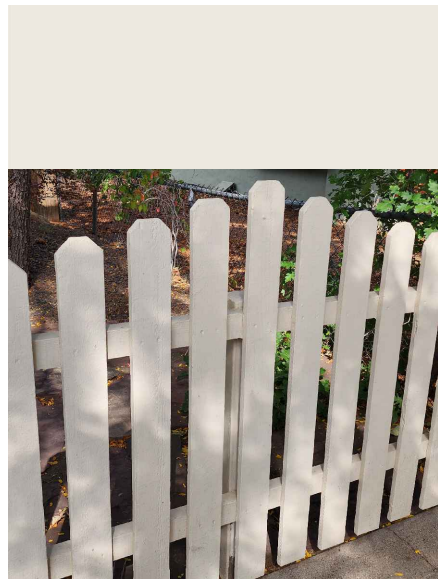
WINDOWS & DOORS

MATL: COMPOSITE
MFR: T.B.D.
FRAME COLOR: BLACK
LRV: NOT AVAILABLE



WOOD STAIN

LOCATION: GUARDRAILS
MFR: SHERWIN WILLIAMS
COLOR: SW 3531 BLUE SHADOW
LRV: NOT AVAILABLE



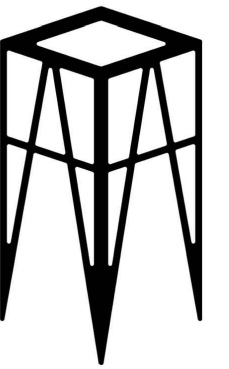
FENCING

LOCATION: SW & SE PROPERTY LINES
MTL: WOOD PICKETS
PAINT:
MFR: SHERWIN WILLIAMS
COLOR: SW 7001 - MARSHMALLOW
LRV: 82



DECKING

MFR: TREX
LINE: ENHANCE
COLOR: COASTAL BLUFF
LRV: NOT AVAILABLE





SUBJECT SITE - 402 W BIRCH AVE. - NORTH SIDE



SUBJECT SITE - 402 W BIRCH AVE. - WEST SIDE



SUBJECT SITE - 402 W BIRCH AVE. - EAST SIDE



SUBJECT SITE - 402 W BIRCH AVE. - SOUTH SIDE



IMMEDIATE NEIGHBOR TO EAST - 324 W BIRCH AVE.



IMMEDIATE NEIGHBOR TO WEST - 406 W BIRCH AVE.



IMMEDIATE NEIGHBOR TO NORTH - 215 N SITGREAVES ST.



IMMEDIATE NEIGHBOR TO SOUTH - 403 W BIRCH AVE.



SURROUNDING NEIGHBOR - 220 & 224 N SITGREAVES ST.



SURROUNDING NEIGHBOR - 314 W BIRCH AVE.



SURROUNDING NEIGHBOR - 217 & 219 N SITGREAVES ST.



SURROUNDING NEIGHBOR - 304 W BIRCH AVE.



SURROUNDING NEIGHBOR - 403 & 405 W CHERRY AVE.



SURROUNDING NEIGHBOR - 416 W BIRCH AVE.



SURROUNDING NEIGHBOR - 314 W CHERRY AVE.



SURROUNDING NEIGHBOR - 411 W BIRCH AVE.



LIST OF PERMITS

REGARDING:

Certificate of Appropriateness
402 W Birch Ave
Flagstaff, AZ 86001
Averbeck ADU

PREPARED BY:

Erin O'Loughlin
Project Architect
Updesign Studio Architects
304 S. Elden Street Suite 3
Flagstaff, Arizona 86001
408-705-0466
updesign.erin@gmail.com

ATTENTION:

Lauren Clementino
Senior Planner/Heritage Preservation Officer
City of Flagstaff
211 W. Aspen Ave
Flagstaff, AZ 86001
928-213-2633
lclementino@flagstaffaz.gov

Greetings Lauren,

Please see our attached documents for our application for a Certificate of Appropriateness for a new garage/ADU structure at 402 W Birch Ave. Since this is a residential project, we do not need to submit for Concept or Site Plan with the City of Flagstaff. After this Certificate of Appropriateness is approved, we plan to create a document set to submit to the City of Flagstaff for building permit. If you require anything else, please do not hesitate to contact us.

Sincerely,
Erin O'Loughlin
Project Architect
updesign.erin@gmail.com
408-705-0466



LETTER OF AUTHORIZATION

REGARDING:

Certificate of Appropriateness
402 W Birch Ave
Flagstaff, AZ 86001
Averbeck ADU

PREPARED BY:

Anne M. Mead, AIA, RA #54419
Updesign Studio Architects
304 S. Elden Street Suite 3
Flagstaff, Arizona 86001
520-780-8746
updesign.anne@gmail.com

ATTENTION:

Lauren Clementino
Senior Planner/Heritage Preservation Officer
City of Flagstaff
211 W. Aspen Ave
Flagstaff, AZ 86001
928-213-2633
lclementino@flagstaffaz.gov

Greetings Lauren,

Please see the attached documents for our application for a Certificate of Appropriateness for a new garage/ADU structure at 402 W Birch Ave. The parcel is owned by the Averbeck Family Trust. George Averbeck and Holly Averbeck are the grantors of this trust. They authorize Updesign Studio Architects to be the applicant for the certificate of appropriateness for this project. If you require anything else, please do not hesitate to contact us.

Sincerely,

A handwritten signature in black ink, appearing to read "Anne M. Mead".

Anne M. Mead, AIA, AZBTR RA 54419
Updesign.anne@gmail.com
520-780-8746

A handwritten signature in black ink, appearing to read "Holly Averbeck".

Holly Averbeck (owner)
hollyjgramm@gmail.com
928-310-9084



at the request of Pioneer Title Agency, Inc.

When recorded mail to
George G. Averbeck
Holly Stahl
P.O. Box 22446
Flagstaff, AZ 86002

00860984-WEE

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Tax Parcel No.: 100-11-013

WARRANTY DEED

For the consideration of Ten Dollars, and other valuable consideration, I or we,
Jeffrey G. Hall and Rachelle M. Hall, Husband and Wife, as Joint Tenants with Right of Survivorship
do/does hereby convey to

George G. Averbeck and Holly Stahl, Husband and Wife, as Community Property with Right of
Survivorship

the following real property situated in Coconino County, Arizona:

See Exhibit A attached hereto and made a part hereof.

SUBJECT TO: Current taxes and other assessments, reservations in patents and all easements, rights of
way, encumbrances, liens, covenants, conditions, restrictions, obligations and liabilities as may appear
of record.

The Grantor warrants the title against all persons whomsoever.

DATED: April 1, 2015

Jeffrey G. Hall

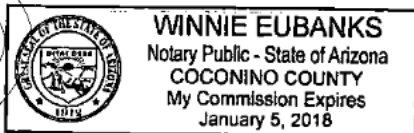
Rachelle M. Hall

State of Arizona }
County of Coconino } ss.

The foregoing instrument was acknowledged before me this 1st day of April, 2015, by
Jeffrey G. Hall and Rachelle M. Hall.

NOTARY PUBLIC

My commission expires: 1-5-2018



00860984-WEE

ACCEPTANCE OF COMMUNITY PROPERTY
WITH RIGHT OF SURVIVORSHIP
(Deed)

George G. Averbeck and Holly Stahl, Husband and Wife, as Community Property with Right of Survivorship, each being first duly sworn upon oath each for himself or herself and jointly but not one for the other deposes and says:

THAT I am one of the Grantees named in that certain Deed attached hereto and which is dated 4/1/2015 and executed by Jeffrey G. Hall and Rachelle M. Hall, Husband and Wife, as Joint Tenants with Right of Survivorship, as Grantors, to George G. Averbeck and Holly Stahl, Husband and Wife, as Community Property with Right of Survivorship, as Grantees, and which conveys certain premises described as:

See Exhibit A attached hereto and made a part hereof.

to the Grantees named therein, not as Tenants in Common nor as a Community Property Estate nor as Joint Tenants with Right of Survivorship, but as Community Property with Right of Survivorship.

THAT each of us individually and jointly as Grantees hereby assert and affirm that it is our intention to accept said conveyance as Community Property with Right of Survivorship and to acquire any interest we may have in said premises under the terms of said Deed as Community Property with Right of Survivorship.

DATED: April 1, 2015

George G. Averbeck
George G. Averbeck

Holly Stahl
Holly Stahl

State of Arizona

} ss.

County of Coconino

The foregoing instrument was acknowledged before me this 1st day of April, 2015, by George G. Averbeck and Holly Stahl.

Winnie Eubanks
NOTARY PUBLIC

My commission expires: 1-5-2018

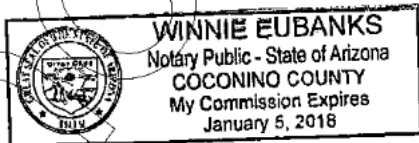


Exhibit A

Lots 1 and 2, and the Easterly 8 feet 4 inches of Lot 3, Block 3-D, TOWNSITE OF FLAGSTAFF, as shown on the plat thereof recorded in Book 1 of Maps, Page 16, records of Coconino County, Arizona.

Unofficial Copy



Account: R0022544

Location **Owner Information**

Situs Address 402 W BIRCH AVE
City FLAGSTAFF
Tax Area 0150 - SD#1 CITY OF FLAGSTAFF
Parcel Number 100-11-013
Legal Summary Subdivision: FLAGSTAFF TOWNSITE Block: 3D Lot: 1 AND:- Lot: 2
E 8' 4IN OF LOT 3 , Sixteenth: NE Quarter: SE Section: 16 Township: 21N Range: 07E
Legal Summary is not to be used for recording or legal purposes.
Neighborhood 01.14 - FLAGSTAFF TOWNSITE

Owner Name AVERBECK FAMILY TRUST DTD 11-19-24
Owner Address PO BOX 22446
FLAGSTAFF, AZ 86002

| Sale Date | Sale Price | Doc D |
|----------------------------|--|--|
| 04/01/2015 | \$0 \$400,000 | D Warran Special W SURV |

Images

- [Photo](#)
- [Sketch](#)
- [GIS](#)



When recorded return to:
Alexandra Shroufe, P.C.
809 W. Riordan Road, Ste 201
Flagstaff, AZ 86001

SPECIAL WARRANTY DEED

GRANTOR:

GEORGE G. AVERBECK and HOLLY STAHL, now known as Holly G. Averbeck, husband and wife,
P.O. Box 22446
Flagstaff, AZ 86002

GRANTEE:

George G. Averbeck and Holly G. Averbeck as Trustees of
The Averbeck Family Trust,
dated November 19, 2024
P.O. Box 22446
Flagstaff, AZ 86002

Subject Real Property:

See Exhibit A (attached)

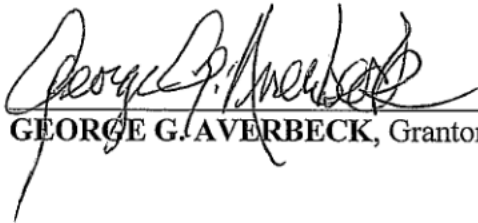
SUBJECT TO: Current taxes and other assessments, reservations in patents and all easements, rights of way, encumbrances, liens, covenants, conditions, restrictions, obligations, and liabilities as may appear of record.

AFFIDAVIT EXEMPT PURSUANT TO: A.R.S. § 11-1134(B)(8)


Disclosure Beneficiaries pursuant to A.R.S. §33-404:

George G. Averbeck and Holly G. Averbeck, P.O. Box 22446, Flagstaff, AZ 86002

For valuable consideration, Grantors convey to Grantees all right, title and interest of Grantors in Subject Real Property together with all rights and privileges appurtenant or to become appurtenant to Subject Real Property on the effective date, and warrants the title against acts of the Grantors and none other, subject to existing liens and encumbrances of record.



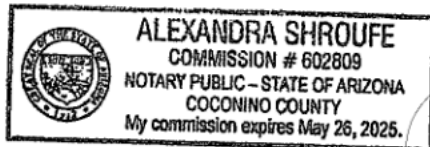
GEORGE G. AVERBECK, Grantor




HOLLY G. AVERBECK, Grantor

STATE OF ARIZONA)
) ss.
County of Coconino)

On this 19th day of November, 2024, before me personally appeared, GEORGE G. AVERBECK and HOLLY G. AVERBECK, whose identities were proved to me on the basis of satisfactory evidence to be the persons whose names are subscribed to this instrument, and acknowledged that they executed the same.





Notary Public

EXHIBIT A

Parcel 100-11-013

Lots 1 and 2, and the Easterly 8 feet 4 inches of Lot 3, Block 3-D, TOWNSITE OF FLAGSTAFF, as shown on the plat thereof recorded in Book 1 of Maps, Page 16, records of Coconino County, Arizona.

Parcel 101-23-047

Lots 8 and 9, Block B, PINECREST, as shown on the plat thereof recorded in Book 2 of Maps, Page 91, records of Coconino County, Arizona;

EXCEPT that part of said Lot 8 described as follows:

BEGINNING at the most Southerly corner of said Lot 8;

THENCE North 34°30' West, a distance of 40 feet;

THENCE North 55°30" East, a distance of 105.00 feet;

THENCE South 34°30' East, a distance of 40 feet along the Northeasterly line of said Lot 8;

THENCE South 55°30' West, a distance of 105.00 feet along the Southeasterly line of said Lot 8 to the POINT OF BEGINNING.

**CITY OF FLAGSTAFF HERITAGE PRESERVATION COMMISSION
STAFF REPORT - UPDATED**

**CERTIFICATE OF APPROPRIATENESS
PZ-25-00192
ADDRESS: 402 W. Birch Ave.**

**DATE: November 12, 2025
MEETING DATE: November 19, 2025
REPORT BY: Lauren Clementino, HPO**

REQUEST

This is a request for a Certificate of Appropriateness to construct a new one bedroom, one bathroom Accessory Dwelling Unit (ADU) above a new garage at 402 W. Birch Ave. (APN 103-11-013), with access from Sitgreaves St. This new structure would be detached from the existing single-family dwelling structure. This new structure would be detached from the existing single-family dwelling structure. This request also includes adding a partially covered front porch and patio to the existing single-family dwelling structure and fencing modifications. This property is in the Townsite Historic Design Review Overlay Zone and is a non-contributing property within the Flagstaff Townsite Historic Residential District.

STAFF RECOMMENDATION

Staff recommends that the Heritage Preservation Commission approve the Certificate of Appropriateness for the proposed plans for a new detached accessory dwelling unit and garage, adding a partially covered front porch and patio to the existing single-family dwelling structure, and fencing modifications.

PROJECT BACKGROUND

The existing single-family dwelling structure located at 402 W. Birch Ave. is non-contributing to the Flagstaff Townsite Historic Residential District. The structure is a one-story bungalow with a gabled roof and stucco cladding. According to Coconino County Assessor records, the structure was constructed in 1915. Per the property's inventory form completed in 1985, it was constructed ca. 1916-1935. At the time of the inventory, the structure had already seen façade modifications including a historically incompatible bay window and enclosure of the original entry porch. Assessor records show that a small bathroom addition was constructed on the west side of the structure in 1979. The age of the stone fence is unknown, and it was not included in the property description on the 1985 inventory form. The property is within the Townsite Overlay and subject to its design criteria/standards.

INTENT

The purpose of the Townsite Overlay zone is laid out in Section 10-40.50.030 of the Zoning Code. The requirements of the Townsite Overlay are intended to promote the preservation and unique character of the zone and all structures within the zone. The Townsite Overlay zone applies to areas of the City subject to the Townsite Historic Design Review Overlay District Design Standards and Guidelines and design review by the Heritage Preservation Commission for the development of properties located within the boundaries of the zone.

STAFF REVIEW:

Scope of Work

The Certificate of Appropriateness is “appropriate if the proposed work alters a cultural resource but does so in such a way that is compatible with the historic or archaeological character of the resource and all major impacts are mitigated such that the work does not diminish, eliminate, or adversely affect the significance or integrity of the resource.” (Flagstaff Zoning Code 10-30.30.060.E).

Findings

“Prior to the granting of any required approvals or permits and prior to the commencement of any work on a landmark property or within a historic overlay zone, the Heritage Preservation Commission or the Historic Preservation Officer shall review all work proposed and approve or conditionally approve the work in the form of a certificate of no effect, certificate of appropriateness, or certificate of economic hardship” (Flagstaff Zoning Code 10-30.30.060 Development of a Landmark Property and Property within a Historic Overlay Zone).

The Flagstaff Zoning Code 10-30.30.060E states:

Criteria for Approval.

When approving a certification of appropriateness, the Heritage Preservation Commission shall find that:

- a. The proposed work is consistent with the purpose and intent of this division;*
- b. The proposed work is compatible with its context:*
 - (1) The appropriate context for a landmark or a historic property is the property itself and, to a much lesser extent, the surrounding properties and neighborhood;*
 - (2) The appropriate context of work in a historic overlay zone is the significant portions of the property itself, the surrounding properties, and the neighborhood;*
- c. The cultural resources associated with the proposed work have been sufficiently sought, identified and evaluated;*
- d. Major impacts on cultural resources are sufficiently mitigated; and*
- e. The proposed work is consistent with applicable development standards and design guidelines. See also subsection (G) of this section, Development Standards and Guidelines.*

Townsite Overlay

“The Townsite Overlay (TO) zone applies to areas of the City subject to the Townsite Historic Design Review Overlay District Design Standards and Guidelines and design review by the Heritage Preservation Commission for the development of properties located within the boundaries of the zone” (Flagstaff Zoning Code 10-40.50.030 Overlay Zones).

Flagstaff Townsite Historic Overlay District Design Standards and Guidelines states “The Flagstaff Townsite Historic Residential District was listed in the National Register of Historic Places in 1986 via the National Park Service (NPS). The district represents a strong historical image of time and place with mature landscaping, original road widths and block configurations.”

The following design criteria/standards apply to this case:

A . Style

1. Flagstaff Townsite developed from a natural evolution of a variety of architectural styles in smaller homes such as Craftsman, Victorian, cottage/bungalow, Queen Anne, and Edwardian. The district’s overall style is mixed in terms of landscaping and architecture. As the District exists to preserve the historic character, variations of the above mentioned styles shall be adopted to ensure continuity in the neighborhood.

2. Secondary dwellings and secondary structures/outbuildings do not dominate the main structure.

B. Site

1. Homes reflect early life in Flagstaff through small size, yards, and relationship to the street lending more to community interaction. The following shall occur:

a. Front doors shall have a relationship close to the street – dwellings relate to the street frontage and are not pushed back to the alleys. This preserves neighbor-to-neighbor contact.

b. All dwellings shall have main access from the street.

2. New driveways and parking spaces shall be located beside homes.

3. Garages shall not be at the house frontage. The intent is to follow the historic pattern where garages were a secondary structure and set back from the house frontage. The front door was the primary entrance.

4. Secondary dwellings are any structures not considered the original home and in which people reside. They shall be subservient in bulk, size, scale, design and materials to the main dwelling. Historic homes shall remain the main home.

6. Interior yards or rear yards are desirable. If there are two structures on site, a central or side yard shall occur – locating the structure at the back of the lot allows for the interior yard. Excluding the front yard and driveway, a minimum of 1000 square feet of contiguous yard shall occur.

D. Development Massing, Height, and Proportions

1. Structures that exist at the time of the district designation are the primary structure. In case of multiple existent structures at that time, the structure closest to the street is the primary structure. New primary structures shall be placed forward on the site relative to all other structures.

3. For all other structures, no point shall exceed 16 feet in height, measured from existing or natural grade, excluding chimneys, towers, and similar non-habitable architectural projections. (*NOTE: This provision is no longer applicable to ADUs under the current City Zoning Code and up to 25 feet is allowed for an ADU in the Townsite Overlay per Section 10-40.50.030(C) Building form Standards*)

E. Roof Pitch

1. Pitches for main roofs in new construction shall be over 6:12. Porches, dormers, and similar lesser roofed areas may have shallower pitches.

F. Architecture, Materials, Details, and Colors

1. Materials, details, and colors shall be compatible with historic structures on an individual property and compatible with the surrounding neighborhood.

K. Exceptions

1. The Historic Preservation Commission may, at its sole discretion, modify the requirements of these standards and guidelines when in the opinion of the Commission, an exception is warranted based for design consistency such as in the case of alterations to existing non-conforming structures, cases where an exception is necessary to accommodate an appropriate architectural style, cases where an exception is warranted based on the development of immediately adjacent properties, and other similar circumstances determined by the Commission.

The following design criteria/guidelines apply to this case:

1. Use of creative design with no wasted interior space is more typical of the neighborhood. The use of attic space as living space with dormer windows, and storage under eaves are typical characteristics of older homes.

2. Front porches/stoops face the street or are in close proximity to the street providing for neighbor contact.

3. Architectural details that are typical can be seen on existing historic homes and these homes can be used as models for future designs.

6. Preserve neighbor viewscapes and privacy and minimize impact to neighbors. Respectful orientation to neighbors' views and privacy should be an ongoing concern throughout the design process. Look at your design from the neighbors' lots.

a. Orient windows to protect neighbors' privacy. You may not want to see them anymore than they want to see you. Placing windows higher or using translucent glass respects privacy.

b. Buildings on the lot could be sited to not block views. There is no City mandate on views – this is strictly between you and the neighbor. Visit neighbors' houses to see the impact your new building may have on views.

c. Windows at streetside are to scale with neighborhood character in order to maintain visual continuity with respect to size, style and height.

DISCUSSION

Basis of Report:

The information in this summary discussion was derived from the application to the Heritage Preservation Commission, the Flagstaff Zoning Code, and the Townsite Historic Design Review Overlay District Design Standards and Guidelines.

ADU Scope of Work Discussion

Site

The proposed ADU has main access from Sitgreaves St. and has a street-facing front door and entry porch. The driveway and garage are located behind the primary structure with access from Sitgreaves St. and are not located at the primary structure's frontage along Birch Ave. The current parking for the primary structure is also in this location but accessed from the alley. The proposed ADU is situated as far as allowable from the primary structure along Birch Ave. and from Sitgreaves St. This placement on the lot is the most subservient placement to the primary structure. The proposed design also includes 1,611 sq. ft. of contiguous yard space for the property, which is above the 1,000 sq. ft. minimum requirement.

Development Massing, Height, and Proportions

The existing single-family dwelling structure is the primary structure as defined by the Townsite standards. The primary structure existed at the time of the district designation and is situated closer to the street than the proposed ADU. The ADU's livable area (also referred to as gross floor area or interior habitable area) of 862 sq. ft. is below the maximum limit of 75 percent of the primary structure's livable area of 1,186 sq. ft., per the ADU size requirements in Flagstaff Zoning Code 10-40.60.030.

The new ADU unit is proposed at 24 feet, 11 inches in height. This is under the 25-foot maximum height for an ADU in the Townsite Overlay, however, it is taller than the primary structure by 5 feet, 1 inch. As such, it needs to be subservient to it in other ways to meet the Townsite Overlay standards. As described above, the ADU placement—to the rear of the lot with access from Sitgreaves St.—maintains the historic pattern of secondary structures being set back from the primary dwelling. The design also attempts to break up the massing through use of multiple siding materials (stucco and lap siding) differentiating each story. The lot footprint of the ADU is smaller than the primary structure (913 sq. ft. compared to 1,186 sq. ft.). However, the combined garage, stairwell, and livable area total is greater than the primary structure (1,775 sq. ft. compared to 1,186 sq. ft.). As requested by staff, the applicant has provided a written justification of how the ADU design is subservient to the primary structure in the Project Narrative in the attached application packet (pages 5-6).

Roof Pitch

Per the design standards, pitches for main roofs in new construction shall be over 6:12. The main roof structure for the proposed ADU is 8:12, which meets this requirement and matches the main roof pitch of the primary structure. Porches, dormers, and similar lesser roofed areas may have shallower pitches. The lesser roofed areas of the proposed ADU have 4:12 and 8:12 pitches.

Style, Materials, Details, and Colors

The proposed ADU materials, details, and colors are compatible with the primary structure and the surrounding neighborhood. The stucco is continued from the primary structure and many surrounding buildings. Lap siding is also found in the vicinity and throughout the Townsite. The use of the

combination of siding materials is compatible, yet distinguishable from the primary structure. The ADU repeats the colors and decorative braces of the primary structure. Roofing materials will also be matching between the ADU and the primary structure.

Additional Scope of Work Discussion

The project proposes to alter the front and rear porches of the primary structure, both of which are visible from the public right-of-way. The original front porch was previously enclosed. This project proposes to extend the porch to create a new covered porch area in front of the current enclosed porch and add a partially enclosed patio area to the side of the porch. Proposed materials and colors will match the existing. As the porch was previously altered, this change will not result in a further loss of integrity. It will also not restore integrity. The primary structure's rear porch railings are proposed to be replaced. The current railings are not original and this is a minor alteration.

The project also proposes fencing changes. The existing chain link fence along Birch Ave. and Sitgreaves St. would be removed and replaced with picket fencing. An existing stone fence is located along Sitgreaves St. behind the primary structure. Most of the stone fence would be maintained, but where the new driveway connects to the street a section would be removed. The malpais stone is proposed to be salvaged and repurposed as stone pilasters along the new picket fence on Birch Avenue. The age of the fencing is unknown, although the chain link is most likely modern and as the stone is set behind the primary structure it is not a defining characteristic. As such, the proposed fencing changes are appropriate.

COMMISSION OPTIONS

- (1) The Commission can approve;
- (2) The Commission can approve with conditions related to the standards and guidelines applicable to the case;
- (3) The Commission can request additional information and continue to a date certain; or
- (4) Deny Certificate of Appropriateness and require Certificate of Economic Hardship or submittal of an alternative design that meets all Townsite Overlay Requirements.

STAFF CONCLUSION:

Staff concludes that the proposed project meets the criteria for a Certificate of Appropriateness and conforms to the Townsite Historic Design Review Overlay District Design Standards and Guidelines. It is appropriate for the Commission to approve a Certificate of Appropriateness based on the findings.



HPC RESPONSE LETTER

REGARDING:

Certificate of Appropriateness
402 W Birch Ave
Flagstaff, AZ 86001
Averbeck ADU

PREPARED BY:

Erin O'Loughlin
Project Architect
Updesign Studio Architects
304 S. Elden Street Suite 3
Flagstaff, Arizona 86001
408-705-0466
updesign.erin@gmail.com

ATTENTION:

Lauren Clementino
Senior Planner/Heritage Preservation Officer
City of Flagstaff
211 W. Aspen Ave
Flagstaff, AZ 86001
928-213-2633
lclementino@flagstaffaz.gov

Greetings Lauren,

Please see our attached Revision 02 documents for our application for a Certificate of Appropriateness for a new garage/ADU structure at 402 W Birch Ave. The following items have been revised from the Revision 01 documents that were reviewed by the HPC Commission on November 19, 2025.

- Lowered the main roof pitch from 8:12 to 6:12, which lowered the overall height by 1'-7".
- The bathroom facing N Sitgreaves was revised to occupy a smaller footprint and have a shed roof to make the mass feel smaller. Windows along this façade were re-designed to create more curb appeal.
- Eliminated the SW raised deck entirely & made the patio below smaller
- Delineated garage door for pedestrian scale and made the single 16'-0" wide door into two 8'-0" wide 7'-0" tall doors.
- The body colors were redesigned with the majority of the darker green on the bottom, with the lighter green on top.
- Changed window frame finish from black to cream to lighten the overall color palette.

- Relocated proposed structure in order to prevent the demolition of a century-old historical Gravenstein apple tree & create distance from the neighboring structure at the NW property corner.
- Added an additional 9'x18' off-street parking space behind the structure.
- Increased open space from 1,611 sf to 1,682 sf
- Decreased the amount of the existing low site rock wall to be demolished from 15'-6" to 12'-6"
- Both existing sheds along the West property line will be saved.

If you require anything else, please do not hesitate to contact us.

Sincerely,
Erin O'Loughlin
Project Architect



PROJECT NARRATIVE REV 02

AVERBECK ADU

| | | |
|--|--|---|
| REGARDING: Certificate of Appropriateness 402 W Birch Ave Flagstaff, AZ 86001 Averbeck ADU | PREPARED BY: Anne M. Mead, AIA, RA #54419 UPDESIGN Studio Architects 304 S. Elden Street Suite 3 Flagstaff, Arizona 86001 520-780-8746 updesign.anne@gmail.com | ATTENTION: Lauren Clementino Senior Planner/Heritage Preservation Officer City of Flagstaff 211 W. Aspen Ave Flagstaff, AZ 86001 928-213-2633 lclementino@flagstaffaz.gov |
|--|--|---|

Dear Ms. Clementino,

This project proposes the development of an accessory dwelling unit on the rear portion of the parcel located at 402 West Birch Avenue in the Flagstaff Townsite Historic Residential District. The scope of work also includes a front porch addition to the existing primary residence. This application is for a Certificate of Appropriateness for the proposed improvements.

The proposed ADU structure has been carefully sited on the Northwest corner of the subject property. This placement tucks the building behind the primary residence, assuring that it does not block viewsheds, light, or ventilation to the existing homes on the subject lot or the adjacent parcels. The existing century-old Gravenstein apple tree along the middle of the West property lien is able to be saved with the particular placement of the building.

The building has been designed as a carriage house with a two-car garage on the ground level with a surface parking spot behind the structure, providing three new on-site parking spaces in what was an under-utilized floodplain area. The placement of the garage at the back of the property with the driveway coming off the secondary street is consistent with the Townsite guidelines. The compact footprint of the new structure minimizes coverage and reinforces the structure's secondary nature.

The orientation of the front entry, which has a close relationship to North Sitgreaves Street, maintains privacy for the primary residence and creates privacy for the secondary dwelling. The new front porch is engaged to create a transitional space that indicates the entry and creates curb appeal.

The patio for the ADU has been integrated into the Southwest corner of the structure which is separated from the deck at the primary residence by a 1,682 SF interior common yard that promotes neighbor contact and a sense of community between the owner occupants and rental tenants.



December 08, 2025

The new building has an 6:12 roof pitch which is the shallowest pitch allowable for the main roof area in the Townsite to minimize the overall height of the structure. Accent roof area have a 3:12 pitch. The overall roof area has been subdivided into two smaller axis to reduce ridge lengths and the overall building massing while achieving an efficient living space above the garage.

The exterior materials and architectural detailing have been designed to be compatible with the primary residence while presenting a modest and subservient aesthetic. Attention has been paid to the orientation, scale, and proportion of the doors and windows for consistency with the character of the district.

To further demonstrate the dominance of the primary residence, a new front porch has been proposed. The porch projects towards Birch Avenue, engaging it with the street. A new picket fence will be installed to replace the existing chain link perimeter fence.

The majority of the malpais site wall along Sitgreaves will be maintained. Where the new driveway connects to the street, a section of the wall is required to be removed. The materials will be salvaged and repurposed as stone pilasters along the new fence on Birch Avenue. The landscaping will be improved and modified using approved COF plant species and native materials.

The intent of this development is to provide an efficient infill housing unit in one of Flagstaff's most desirable neighborhoods. The site placement, building massing, and materials have been carefully developed to integrate the new secondary structure in a way that does not diminish the presence of the primary structure or dilute the character of the Townsite District.

Thank you for your consideration in this matter. If there is any pertinent information that should be provided, please contact me directly.

Sincerely,

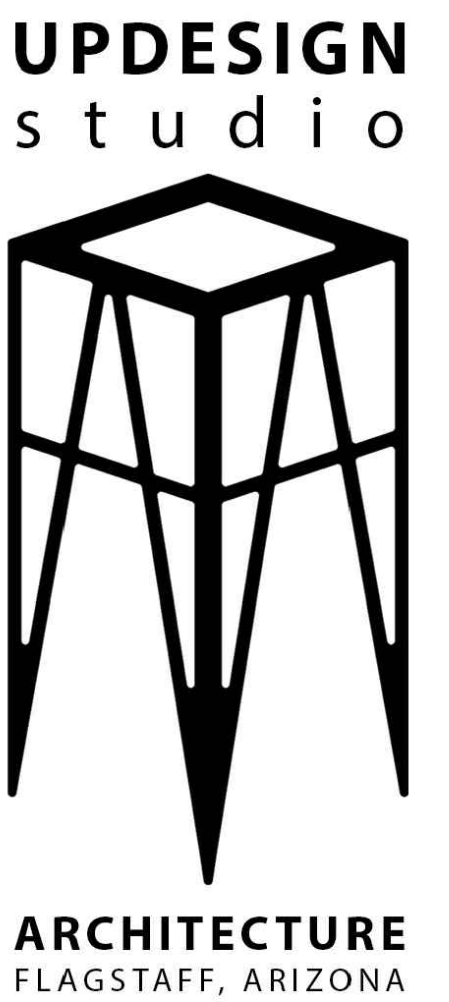
A handwritten signature in black ink that reads "Anne M. Mead". The signature is written in a cursive, flowing style.

Anne M. Mead, AIA, AZBTR RA 54419
Updesign.anne@gmail.com
520-780-8746

AVERBECK

ADU

402 W BIRCH
FLAGSTAFF
ARIZONA 86001

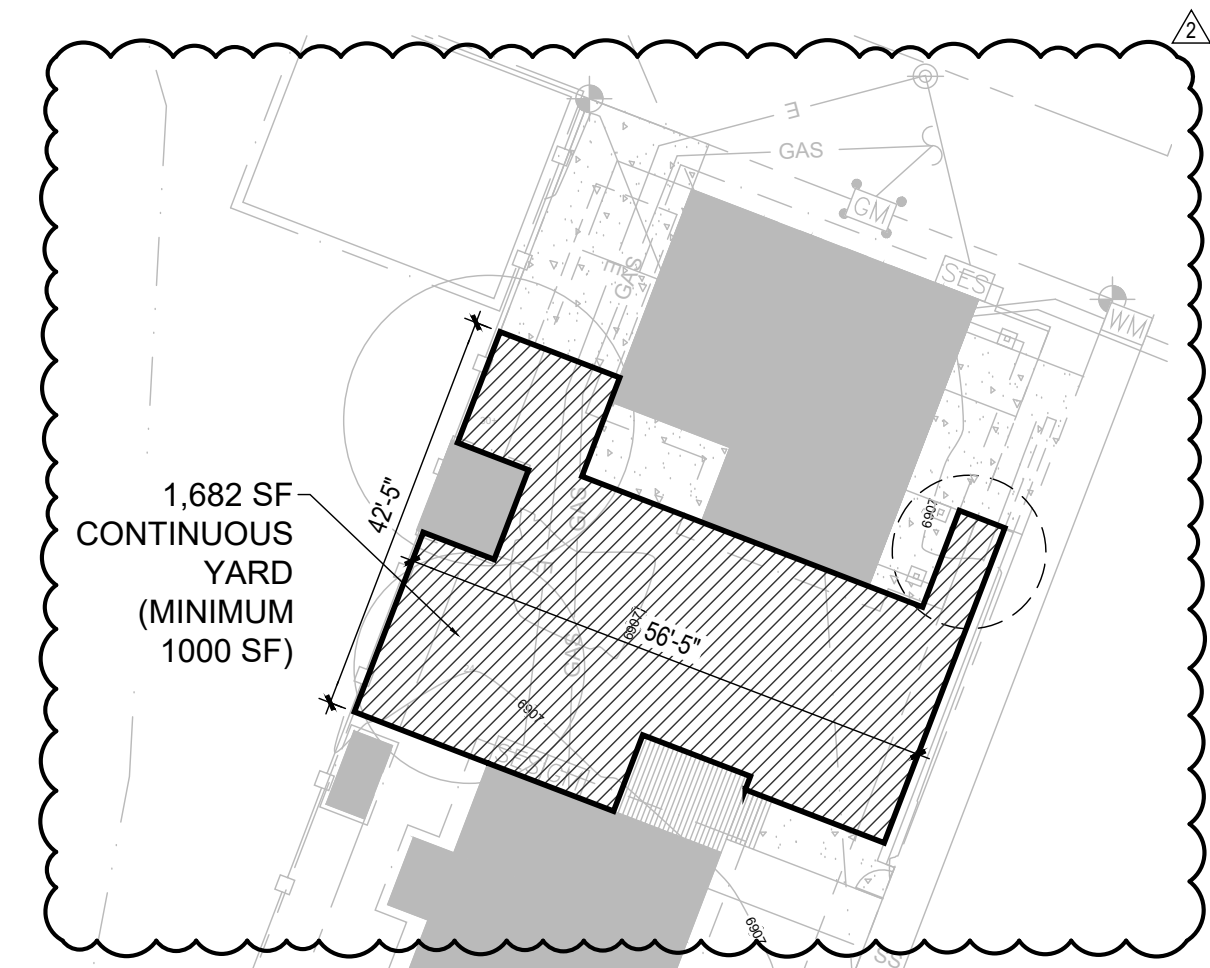


SITE PLAN LEGEND

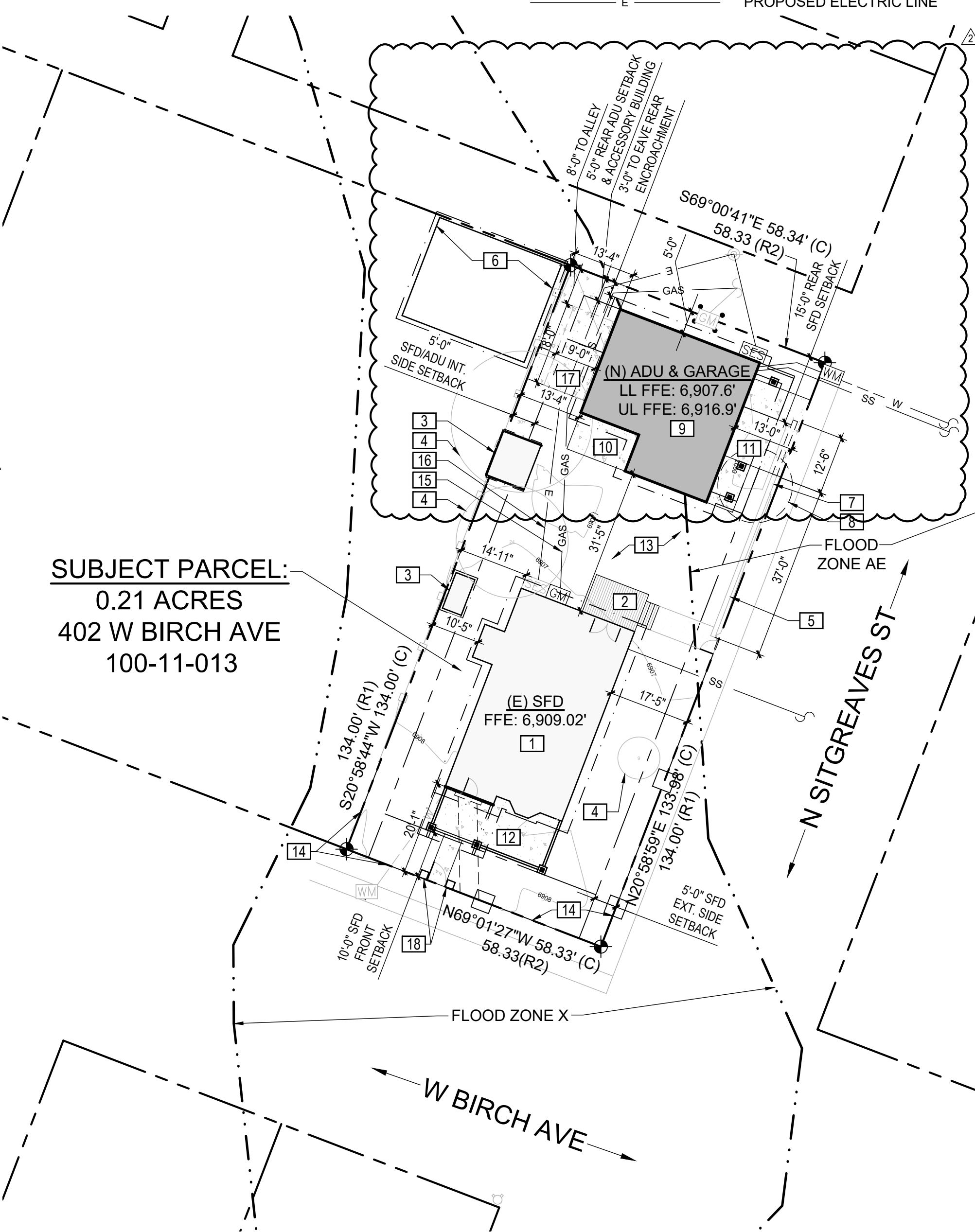
- E.T.R. PROPERTY CORNER
- E.T.R. POWER POLE
- E.T.R. STREET LIGHT
- E.T.R. ELECTRIC SERVICE ENTRY SECTION
- E.T.R. FIRE HYDRANT
- E.T.R. WATER METER
- E.T.R. GAS METER
- E.T.R. PROPERTY LINE
- E.T.R. SETBACK LINE
- E.T.R. FLOOD ZONE LINE
- E.T.R. FENCE
- E.T.R. GAS LINE
- E.T.R. WATER LINE
- E.T.R. SEWER LINE
- E.T.R. ELECTRIC LINE
- PROPOSED ELECTRIC SERVICE ENTRY SECTION
- PROPOSED WATER METER
- PROPOSED GAS METER
- PROPOSED GAS LINE
- PROPOSED WATER LINE
- PROPOSED SEWER LINE
- PROPOSED ELECTRIC LINE

SITE PLAN NOTES

1. E.T.R. S.F.D.
2. E.T.R. DECK & CONCRETE PATHWAY
3. E.T.R. SHED
4. E.T.R. TREE
5. E.T.R. SECTION OF LOW SITE ROCK WALL
6. E.T.R. NEIGHBORING STRUCTURE
7. EXISTING SECTION OF ROCK WALL TO BE DEMOLISHED
8. EXISTING TREE TO BE DEMOLISHED
9. PROPOSED STRUCTURE FOOTPRINT
10. PROPOSED CONCRETE PATIO
11. PROPOSED CONCRETE DRIVEWAY
12. PROPOSED PARTIALLY-COVERED FRONT PATIO AT S.F.D.
13. PROPOSED SHARED CONTINUOUS YARD. SEE DIAGRAM 2/A0.0
14. EXISTING CHAIN LINK SITE FENCE TO BE REMOVED & REPLACED W/ WHITE PICKET FENCING TO MATCH WEST NEIGHBOR. PLACE GATES AT EXISTING GATE LOCATIONS
15. EXISTING GAS METER AND LINE TO BE RELOCATED AND REROUTED AT S.F.D., RESPECTIVELY. EXISTING BOLLARDS AROUND METER TO BE REMOVED.
16. EXISTING ELECTRICAL LINE TO BE REROUTED UNDERGROUND
17. PROPOSED EXTERIOR PARKING SPACE
18. PROPOSED STONE PILASTERS FROM RE-USED SITE WALL MATERIAL



2. CONTINUOUS YARD DIAGRAM
SCALE: 1" = 20'-0"



1. SITE PLAN
SCALE: 1" = 20'-0"

PROJECT DIRECTORY

ARCHITECT
UPDESIGN STUDIO
ANNE M. MEAD AIA, RA 54419
304 S. ELDEN ST. SUITE 3
FLAGSTAFF, AZ 86001
520-780-8746

STRUCTURAL ENGINEER
T.B.D.

PARCEL / BUILDING OWNER
AVERBECK FAMILY TRUST
CONTACT: GEORGE & HOLLY
AVERBECK
PO BOX 22446
FLAGSTAFF, AZ 86002
928-310-9084

CONTRACTOR
T.B.D.

PARCEL PROFILE

APN: 100-11-013
ADDRESS: 402 W BIRCH AVE
FLAGSTAFF, AZ 86001
SUBDIVISION: FLAGSTAFF TOWNSITE
ZONING: COMMUNITY COMMERCIAL (CC)
EXISTING USE: SINGLE FAMILY DWELLING
PROPOSED USE: S.F.D., DETACHED GARAGE/A.D.U.

DEVELOPMENT STANDARDS: (MR PER COF TABLE 10-40.30.040.B. FOOTNOTE 5)

S.F.D. SETBACKS:
FRONT (2ND FLR. & BELOW): 10'
SIDE EXTR.: 5'
SIDE INT.: 5'
REAR: 15'
REAR: 5'

A.D.U. SETBACKS:
SIDE INT.: 5'
REAR: 5'

MAX. HEIGHT:
25'-0" (PER TOWNSITE FOR BOTH S.F.D. & A.D.U. SUPERCEDES THE 35'-0" ALLOWABLE PER ZONE)

PROPOSED HEIGHT:
S.F.D.: 19'-10" (E.T.R.)
GARAGE/A.D.U.: 23'-4"

FLOOD ZONE:
F.Z.D. B.F.E.: AE & ZONE X
CLIMATE ZONE: 6,908.6'
LIGHTING ZONE: 5B
OVERLAY ZONE: II
HISTORIC ZONE: TOZ - TOWNSITE OVERLAY
FLAGSTAFF TOWNSITE HISTORIC RESIDENTIAL DISTRICT

CONSTRUCTION TYPE:
OCCUPANCY: R-3
E.T.R. S.F.D. BUILT: 1915

OFF-STREET PARKING:
S.F.D.: 2 SPACES REQUIRED
A.D.U.: 0 SPACE REQUIRED
TOTAL: 2 SPACES REQUIRED
TOTAL PROVIDED: 3 SPACES PROVIDED

AREA CALCULATIONS

PARCEL AREA: 0.21 ACRES (9,165 SF)
ALLOWABLE A.D.U. SF: 890 SF MAX. (75% OF S.F.D. SF)

E.T.R. LIVABLE AREA
E.T.R. S.F.D.: 1,186 SF

PROPOSED LIVABLE AREA
PROPOSED A.D.U.: 831 SF

ADDITIONAL AREA
E.T.R. SHED 1: 35 SF
E.T.R. SHED 2: 68 SF
PROPOSED LOWER GARAGE: 757 SF
PROPOSED LOWER ENTRY/STAIRS: 156 SF
TOTAL: 1,016 SF

COVERAGE
E.T.R. S.F.D. FOOTPRINT: 1,186 SF
E.T.R. SHED 1: 35 SF
E.T.R. SHED 2: 68 SF
PROPOSED GARAGE LVL. FOOTPRINT: 913 SF
TOTAL PROPOSED COVERAGE: 2,202 SF (24%)
MAX. ALLOWABLE COVERAGE: 3,666 SF (40%)

ADDITIONAL IMPERVIOUS SURFACES
REPLACED SFD FRONT WALKWAY: 43 SF
PROPOSED SFD FRONT PORCH: 271 SF
PROPOSED GARAGE FRONT PORCH: 65 SF
PROPOSED GARAGE REAR PATIO: 111 SF
PROPOSED REAR PARKING SLAB: 234 SF
PROPOSED GARAGE DRIVEWAY: 230 SF
TOTAL: 954 SF

GOVERNING CODES

CITY OF FLAGSTAFF ZONING CODE & AMENDMENTS
2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

PROJECT DESCRIPTION

NEW 1 BED/1 BATH A.D.U. ABOVE A NEW TWO CAR GARAGE ON A PARCEL WITH AN EXISTING SINGLE FAMILY DWELLING.

ABBREVIATIONS

| | |
|-----------|---------------------------------------|
| A.B. | AGGREGATE BASE |
| A.D.U. | ACCESSORY DWELLING UNIT |
| A.F.F. | ABOVE FINISHED FLOOR |
| A.H.J. | AUTHORITY HAVING JURISDICTION |
| B.F.E. | BASE FLOOD ELEVATION |
| B.O. | BOTTOM OF/BACK OF |
| C.I. | CONTINUOUS INSULATION |
| CL | CENTERLINE |
| DIA. | DIAMETER |
| DIM. | DIMENSION |
| DTL. | DETAIL |
| DR. | DOOR |
| (E)EXIST. | EXISTING |
| ELEV. | ELEVATION |
| EQ. | EQUAL |
| E.T.R. | EXISTING TO REMAIN |
| EXTR. | EXTERIOR |
| FIN. FLR. | FINISHED FLOOR |
| F.F.E. | FINISHED FLOOR ELEVATION |
| F.O. | FRONT OF |
| F.R.P. | FIBERGLASS REINFORCED PANEL |
| F.Z.D. | FLOOD ZONE DETERMINATION |
| G.N. | GENERAL NOTES |
| H/H/HT. | HIGH/HEIGHT |
| INTR. | INTERIOR |
| MIN. | MINIMUM |
| MFR. | MANUFACTURER |
| MAX. | MAXIMUM |
| (N) | NEW/PROPOSED |
| NSALED | NARROW SPECTRUM AMBER LED |
| OCC. | OCCUPANCY |
| O.F.C.I. | OWNER FURNISHED, CONTRACTOR INSTALLED |
| O/ | OVER |
| P.T. | PRESSURE TREATED |
| P.U.E. | PUBLIC UTILITY EASEMENT |
| REQS. | REQUIREMENTS |
| R.O.W. | RIGHT OF WAY |
| R.W. | RETAINING WALL |
| SECT. | SECTION |
| S.F.D. | SINGLE FAMILY DWELLING |
| SHT. | SHEET |
| SHTG. | SHEATHING |
| S.O.G. | SLAB ON GRADE |
| SPECS. | SPECIFICATIONS |
| STL. | STEEL |
| T.B.D. | TO BE DETERMINED |
| T.O. | TOP OF |
| TR/RE | TRASH & RECYCLING |
| TYP. | TYPICAL |
| V.I.F. | VERIFY IN FIELD |
| U.N.O. | UNLESS NOTED OTHERWISE |
| WINDW. | WINDOW |
| W/ | WITH |

DRAWING INDEX

| | |
|------|--|
| A0.0 | SITE PLAN, CONTINUOUS YARD DIAGRAM, & PROJECT DATA |
| A1.0 | EXISTING/DEMO FLOOR PLAN |
| A1.1 | PROPOSED LOWER LEVEL FLOOR PLAN |
| A1.2 | PROPOSED UPPER LEVEL FLOOR PLAN |
| A1.3 | EXISTING/DEMO ROOF PLAN |
| A1.4 | PROPOSED ROOF PLAN |
| A2.0 | EXTERIOR FRONT (SW) ELEVATIONS |
| A2.1 | EXTERIOR SIDE (SE) ELEVATIONS |
| A2.2 | EXTERIOR SIDE (NW) ELEVATIONS |
| A2.3 | EXTERIOR REAR (NE) ELEVATIONS |
| A5.0 | TYPICAL DETAILS |
| E1.0 | PROPOSED LOWER LEVEL EXTR. LIGHTING PLAN |
| E1.1 | PROPOSED UPPER LEVEL EXTR. LIGHTING PLAN |

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UPDESIGNSOLUTIONS@GMAIL.COM
304 S. ELDEN STREET STE 3
FLAGSTAFF, ARIZONA 86001



APN: 100-11-013

| DESCRIPTION | DATE |
|----------------------|------------|
| HPC REVIEW REV 02 | 12-08-2025 |
| HPC REVIEW REV 01 | 10-14-2025 |
| HPC REVIEW | 08-23-2025 |
| SCHEMATIC DESIGN 1.7 | 09-19-2025 |
| SCHEMATIC DESIGN 1.6 | 09-05-2025 |
| SCHEMATIC DESIGN 1.5 | 09-03-2025 |
| SCHEMATIC DESIGN 1.4 | 08-22-2025 |
| SCHEMATIC DESIGN 1.3 | 04-07-2025 |
| SCHEMATIC DESIGN 1.2 | 03-14-2025 |
| SCHEMATIC DESIGN 1.1 | 02-18-2025 |
| SCHEMATIC DESIGN 1.0 | 01-28-2025 |

PROJECT NO 24_026

AVERBECK

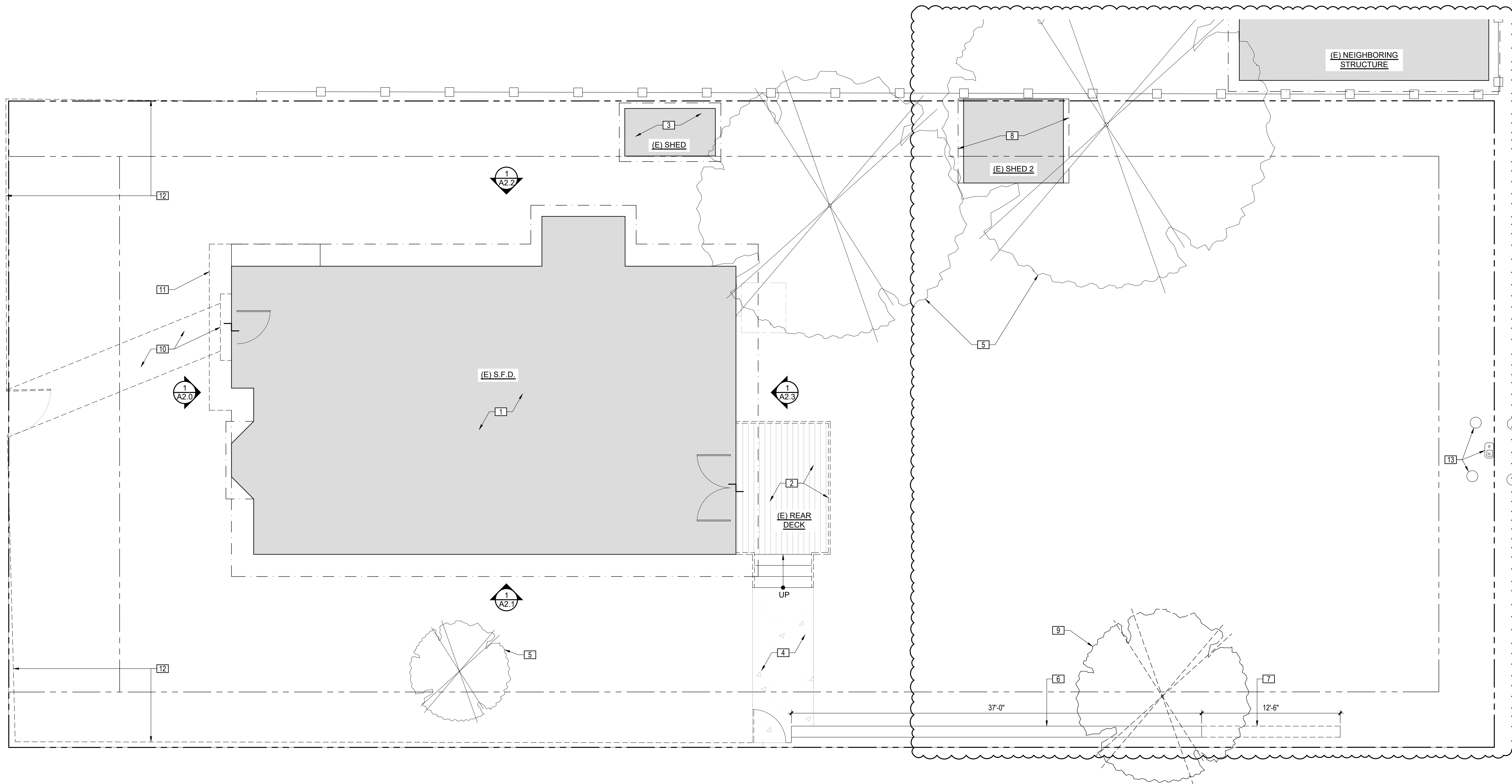
ADU

402 W BIRCH
FLAGSTAFF
ARIZONA 86001

SHEET TITLE:

SITE PLAN & PROJECT DATA

A0.0

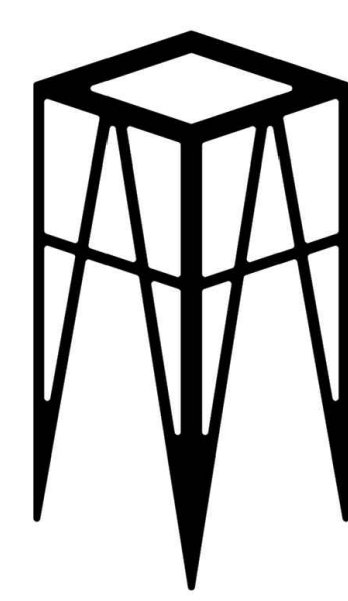


EXISTING/DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0"

EXISTING/DEMO FLOOR PLAN NOTES

1. E.T.R. S.F.D.
2. E.T.R. DECK. GUARDRAIL TO BE DEMOLISHED AND REPLACED WITH NEW GUARDRAIL PER PROPOSED FLOOR PLANS
3. E.T.R. SHED
4. E.T.R. CONCRETE PATHWAY
5. E.T.R. TREE
6. E.T.R. SECTION OF LOW SITE ROCK WALL
7. EXISTING SECTION OF ROCK WALL TO BE DEMOLISHED. MATERIAL TO BE RE-USED AT FRONT FENCE LINE.
8. EXISTING SHED TO BE DEMOLISHED
9. EXISTING TREE TO BE DEMOLISHED
10. EXISTING S.F.D. CONCRETE PATHWAY & FRONT STEP TO BE DEMOLISHED
11. EXISTING ROOFING & OUTRIGGERS TO BE DEMOLISHED. AREA TO BE PREPPED FOR NEW ROOF EXTENSION PER PROPOSED ROOF PLAN.
12. EXISTING CHAIN LINK SITE FENCE TO BE REPLACED PER PROPOSED FLOOR PLAN.
13. EXISTING S.F.D. GAS METER & BOLLARDS TO BE REUSED FOR A.D.U.



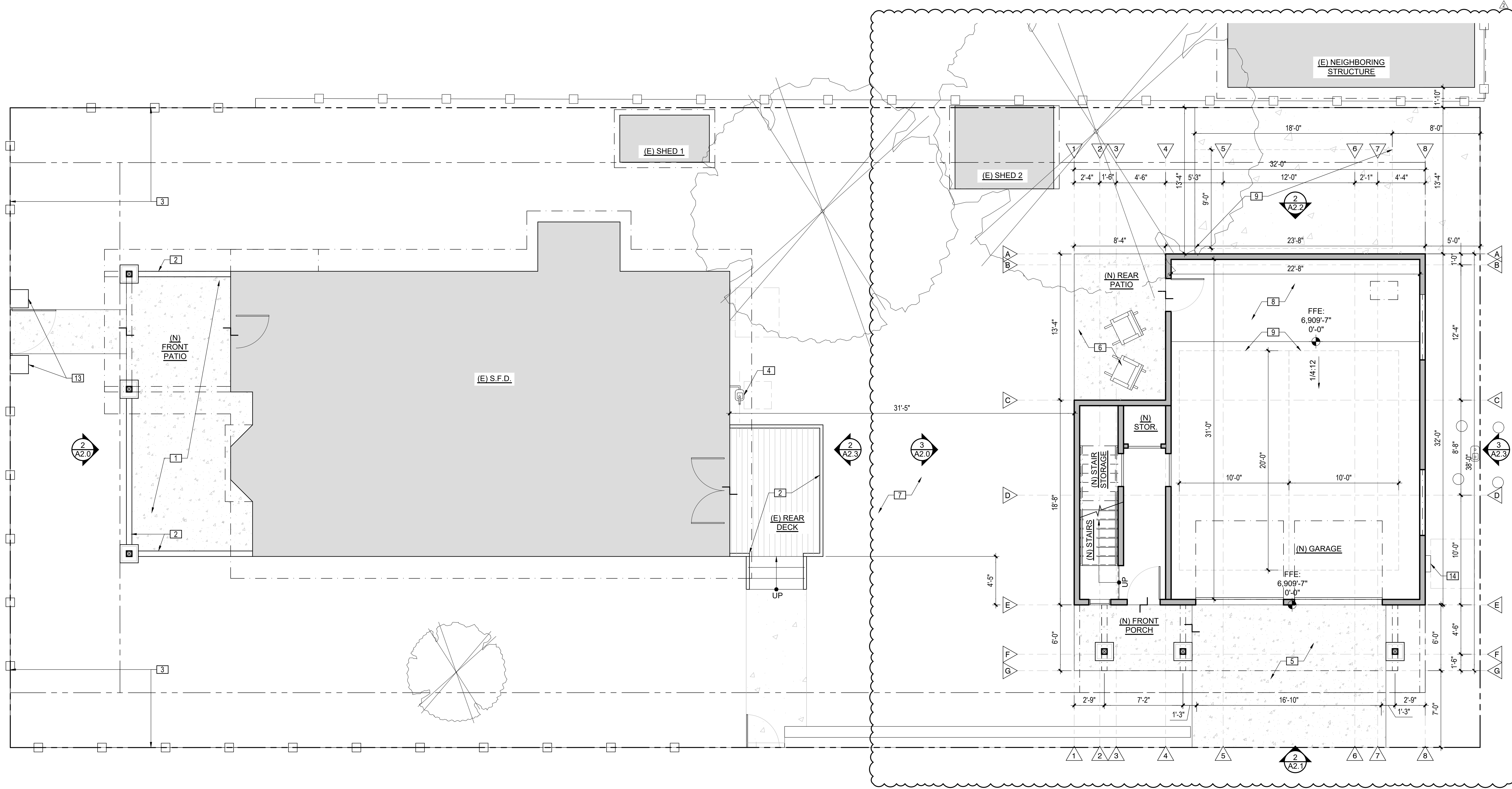
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 304 S. ELDEN STREET STE 3
 FLAGSTAFF, ARIZONA 86001

AVERBECK
ADU 402 W BIRCH
 FLAGSTAFF
 ARIZONA 86001



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| SCHEMATIC DESIGN 1.1 | 02-19-2025 |
| SCHEMATIC DESIGN 1.0 | 01-28-2025 |
| DESCRIPTION | DATE |
| PROJECT NO 24_026 | |

SHEET TITLE:
 EXISTING/DEMO
 FLOOR PLAN
A1.0

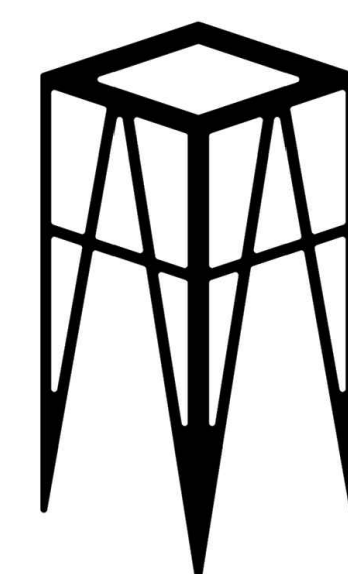


PROPOSED LOWER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

PROPOSED FLOOR PLAN NOTES

1. PROPOSED PARTIALLY-COVERED FRONT PATIO AT S.F.D.
2. PROPOSED 36" H. GUARDRAIL W/ 4X4 POSTS @ 4'-0" O.C. MAX., WOOD GUARDS & WOOD TOP PLATE.
3. PROPOSED WHITE PICKET FENCING TO MATCH WEST NEIGHBOR. PLACE GATES AT EXISTING GATE LOCATIONS
4. RELOCATED S.F.D. GAS METER
5. PROPOSED CONCRETE DRIVEWAY
6. PROPOSED CONCRETE PATIO
7. PROPOSED SHARED CONTINUOUS YARD. SEE DIAGRAM 2/A0.0
8. PROPOSED GARAGE LOWER FLOOR OF PROPOSED STRUCTURE
9. PROPOSED (2) 10' X 20' INTR. PARKING SPACES & (1) 9'X18' INTR. PARKING SPACE. SEE A0.0 FOR PARKING CALC
10. PROPOSED TANK WATER HEATER. MOUNT ALL EQUIPMENT MIN. 1' ABOVE THE F.Z.D. B.F.E. PER A0.0.
11. PROPOSED ADU UPPER FLOOR OF PROPOSED STRUCTURE. SEE A0.0 FOR SQUARE FOOTAGE RESTRICTIONS.
12. NOTE NOT USED
13. PROPOSED STONE PILASTERS FROM RE-USED SITE WALL MATERIAL
14. PROPOSED A.D.U. ELECTRIC SERVICE ENTRY SECTION



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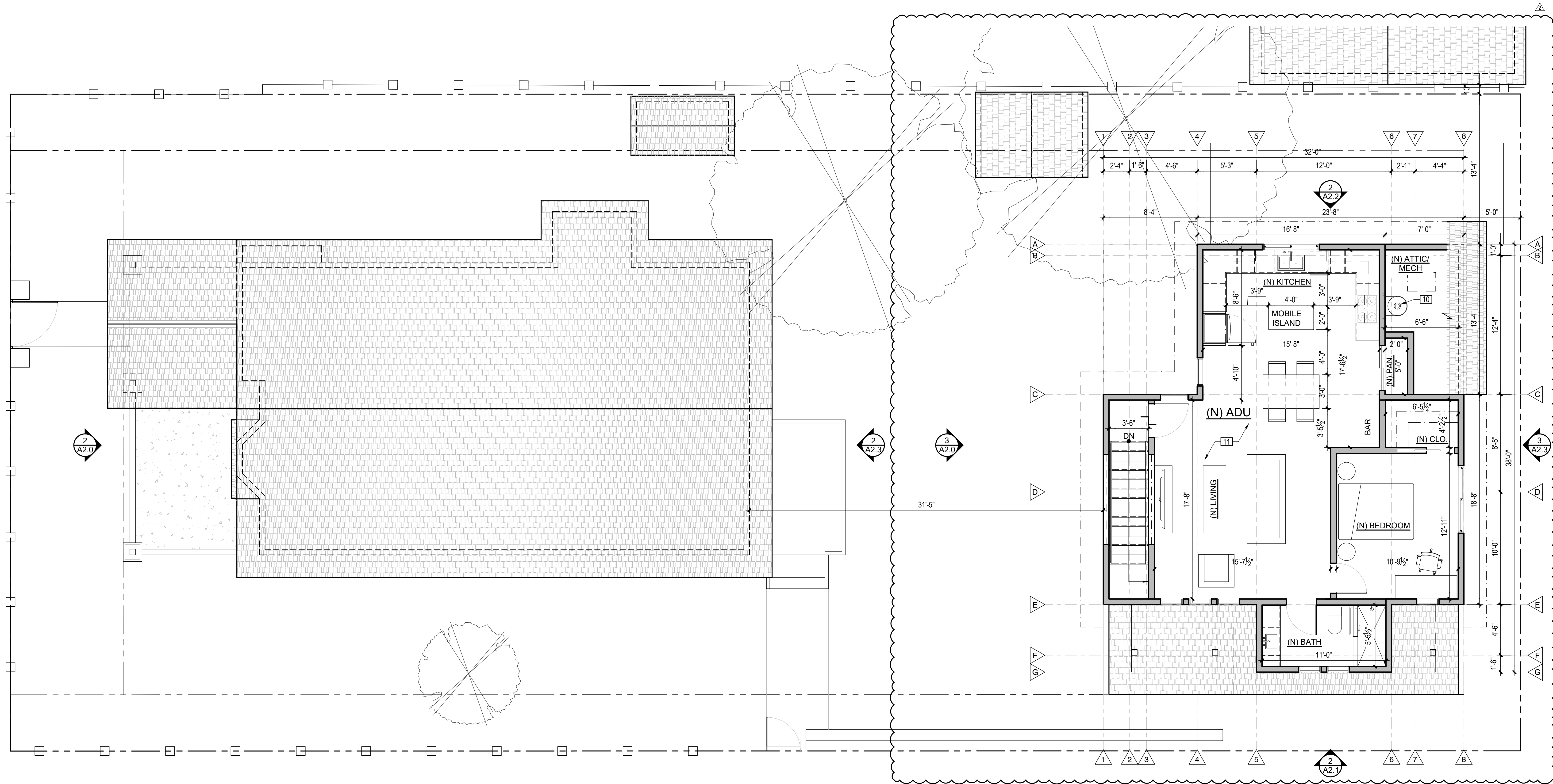
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ADU 402 W BIRCH
FLAGSTAFF
ARIZONA 86001



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| SCHEMATIC DESIGN 1.1 | 02-19-2025 |
| SCHEMATIC DESIGN 1.0 | 01-28-2025 |
| PROJECT NO 24_026 | |

SHEET TITLE:
PROPOSED LOWER LEVEL
FLOOR PLAN

A1.1

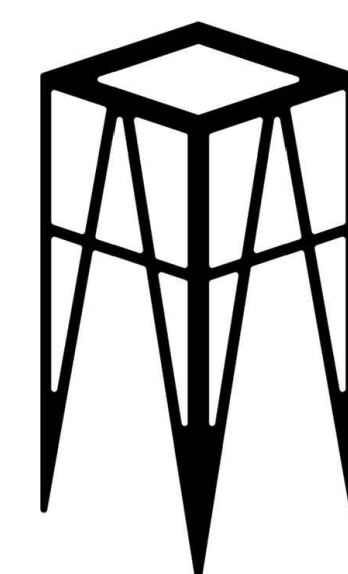


PROPOSED UPPER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

PROPOSED FLOOR PLAN NOTES

1. PROPOSED PARTIALLY-COVERED FRONT PATIO AT S.F.D.
2. PROPOSED 36" H. GUARDRAIL W/ 4X4 POSTS @ 4'-0" O.C. MAX., WOOD GUARDS & WOOD TOP PLATE.
3. PROPOSED WHITE PICKET FENCING TO MATCH WEST NEIGHBOR. PLACE GATES AT EXISTING GATE LOCATIONS
4. RELOCATED S.F.D. GAS METER
5. PROPOSED CONCRETE DRIVEWAY
6. PROPOSED CONCRETE PATIO
7. PROPOSED SHARED CONTINUOUS YARD. SEE DIAGRAM 2/A0.0
8. PROPOSED GARAGE LOWER FLOOR OF PROPOSED STRUCTURE
9. PROPOSED (2) 10' X 20' INTR. PARKING SPACES & (1) 9'X18' INTR. PARKING SPACE. SEE A0.0 FOR PARKING CALC
10. PROPOSED TANK WATER HEATER. MOUNT ALL EQUIPMENT MIN. 1' ABOVE THE F.Z.D. B.F.E. PER A0.0.
11. PROPOSED ADU UPPER FLOOR OF PROPOSED STRUCTURE. SEE A0.0 FOR SQUARE FOOTAGE RESTRICTIONS.
12. NOTE NOT USED
13. PROPOSED STONE PILASTERS FROM RE-USED SITE WALL MATERIAL
14. PROPOSED A.D.U. ELECTRIC SERVICE ENTRY SECTION



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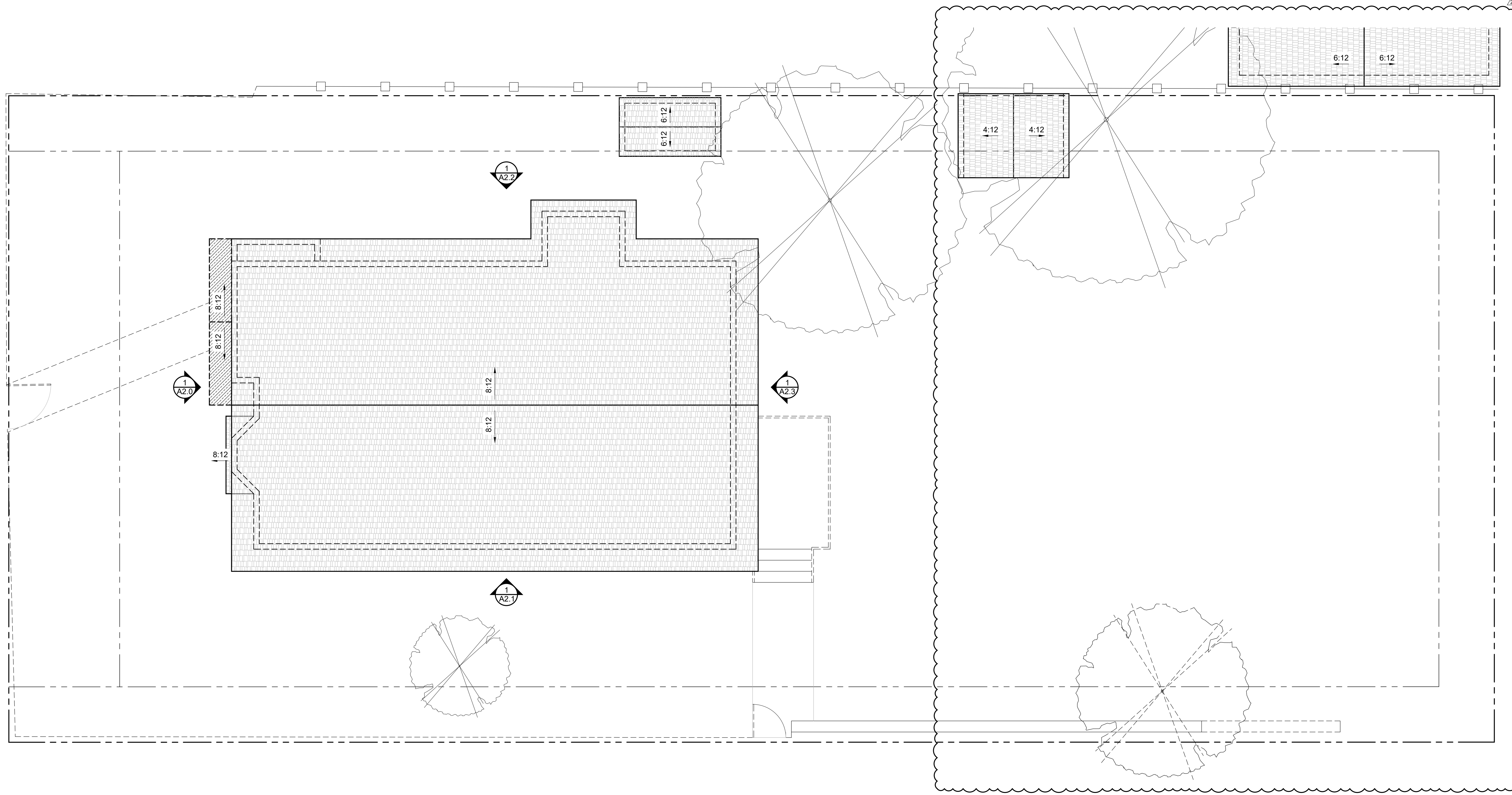
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ADU 402 W BIRCH
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| APN : 100-11-013 | |
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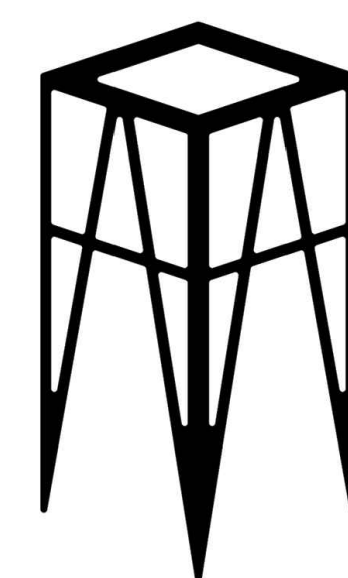
SHEET TITLE:
 PROPOSED UPPER LEVEL
 FLOOR PLAN

A1.2



EXISTING/DEMO ROOF PLAN

SCALE: 1/4" = 1'-0"



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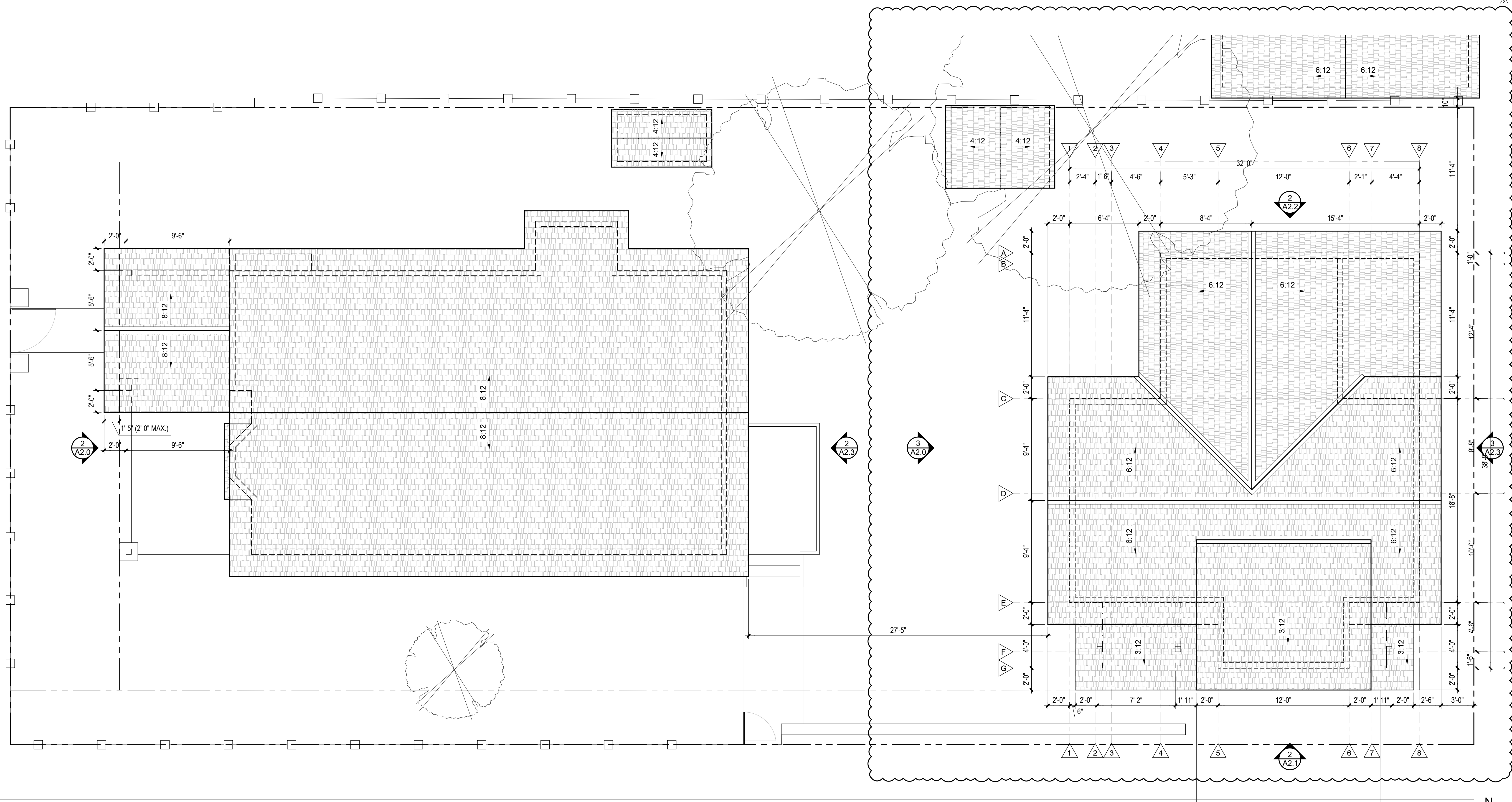


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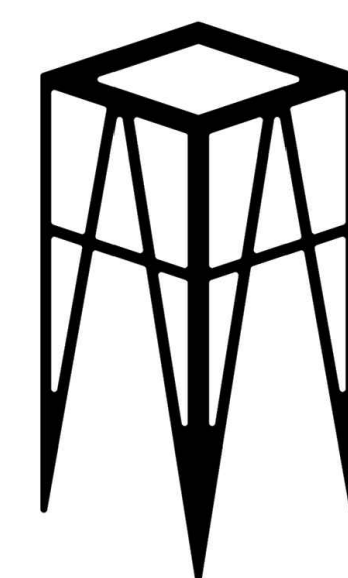
EXISTING/DEMO
ROOF PLAN

A1.3



PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"



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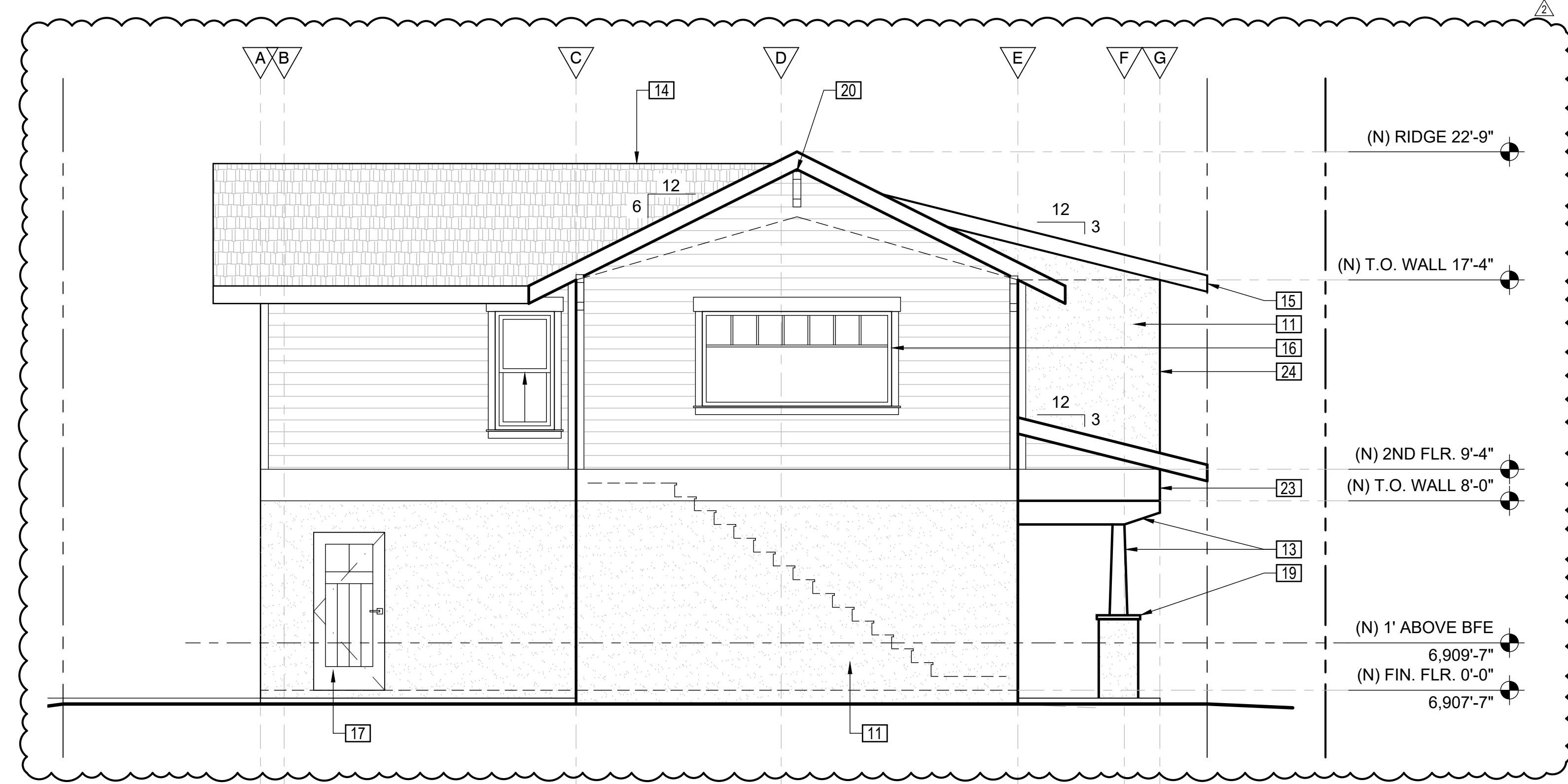
SHEET TITLE:

PROPOSED
ROOF PLAN

A1.4

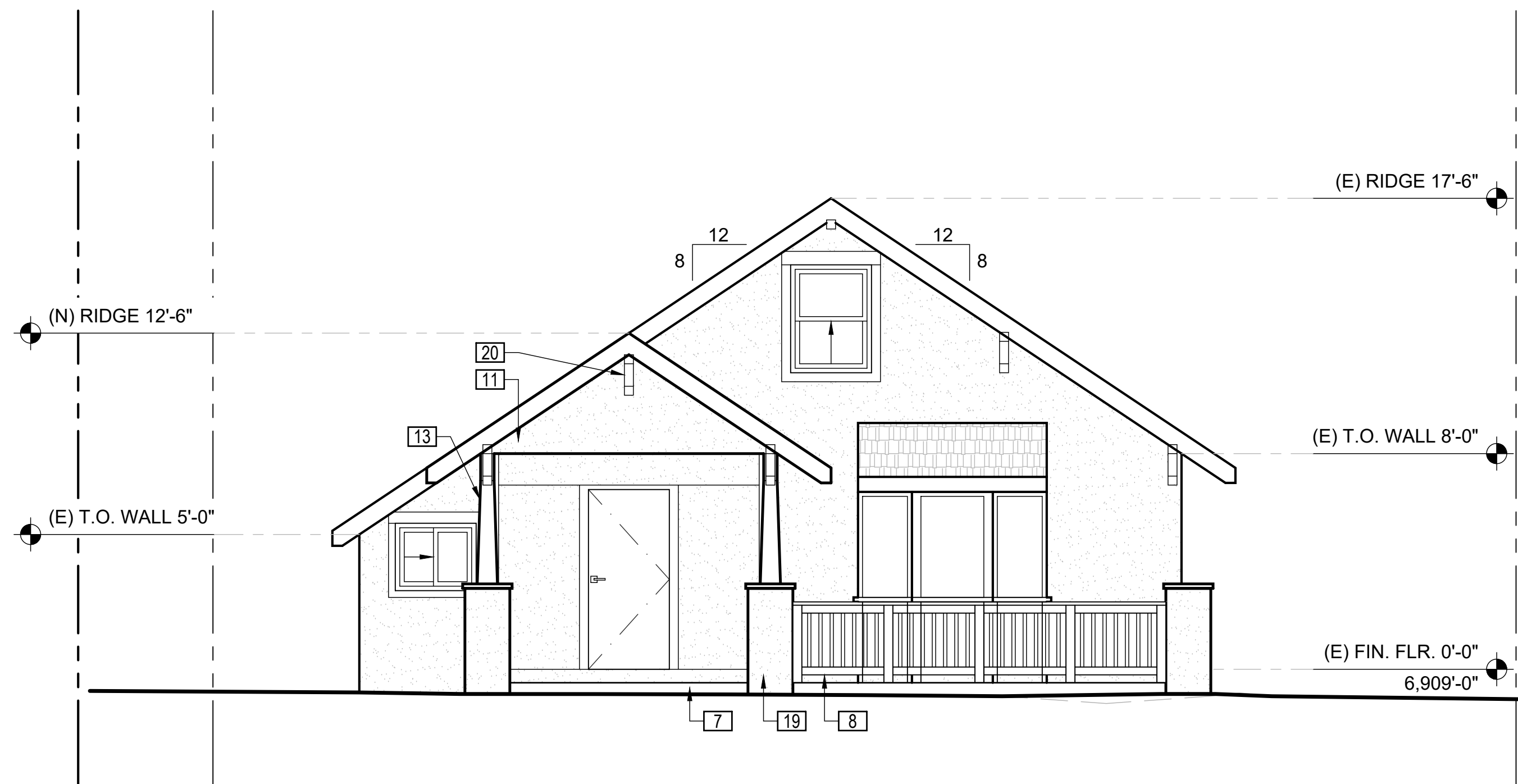
ELEVATION NOTES

1. E.T.R. S.F.D.
2. E.T.R. ELECTRIC SERVICE ENTRY SECTION FOR S.F.D.
3. E.T.R. DECK. GUARDRAIL TO BE DEMOLISHED AND REPLACED WITH NEW GUARDRAIL PER PROPOSED FLOOR PLANS
4. EXISTING ROOFING & OUTRIGGERS TO BE DEMOLISHED. AREA TO BE PREPPED FOR NEW ROOF EXTENSION PER PROPOSED ROOF PLAN.
5. EXISTING S.F.D. CONCRETE PATHWAY & FRONT STEP TO BE DEMOLISHED
6. E.T.R. GAS METER & BOLLARDS. LINE TO BE REROUTED TO A.D.U
7. PROPOSED PARTIALLY-COVERED FRONT PATIO AT S.F.D.
8. PROPOSED 36" H. GUARDRAIL W/ 4X4 POSTS @ 4'-0" O.C. MAX., WOOD GUARDS & WOOD TOP PLATE. STAIN IN "SW 3531 BLUE SHADOW" BY "SHERWIN WILLIAMS" LRV NOT AVAILABLE
9. RELOCATED GAS METER AT S.F.D.
10. NOTE NOT USED
11. PROPOSED STUCCO SIDING, PAINTED IN "SW 6209 - RIPE OLIVE" LRV 6 BY "SHERWIN WILLIAMS"
12. PROPOSED HORIZONTAL LAP BOARD SIDING BY "JAMES HARDIE" IN "SMOOTH", PAINTED IN "SW 6178 CLARY SAGE" LRV 41 BY "SHERWIN WILLIAMS"
13. PROPOSED EXPOSED WOOD POST & BEAMS. PAINT TO MATCH SURROUNDING BODY COLOR AT GARAGE. PAINT TO FASCIA COLOR AT S.F.D.
14. PROPOSED ASPHALT SHINGLE ROOFING IN A MEDIUM GRAY TO MATCH E.T.R. ROOFING
15. PROPOSED FASCIA, PAINTED IN "SW 6342 SPICY HUE" LRV 12 BY "SHERWIN WILLIAMS"
16. PROPOSED COMPOSITE WINDOWS IN A CREAM FINISH. SEE TYP. DETAILS SHEET A5.0
17. PROPOSED ENTRY DOOR TO BE PAINTED TO MATCH TRIM/FASCIA.
18. (2) PROPOSED OVERHEAD 8' X 7' GARAGE DOORS. PAINT TO MATCH STUCCO.
19. PROPOSED CMU PIERS W/ SLOPED CONCRETE CAP. PROVIDE STUCCO FINISH TO MATCH SURROUNDING BODY COLOR.
20. PROPOSED ARCHITECTURAL BRACKETS TO MATCH E.T.R. S.F.D. PAINT TO MATCH FASCIA.
21. NOTE NOT USED
22. PROPOSED A.D.U. ELECTRIC SERVICE ENTRY SECTION
23. PROPOSED BELLY BAND. PAINT TO MATCH STUCCO
24. PROPOSED TRIM. PAINT TO MATCH LAP SIDING



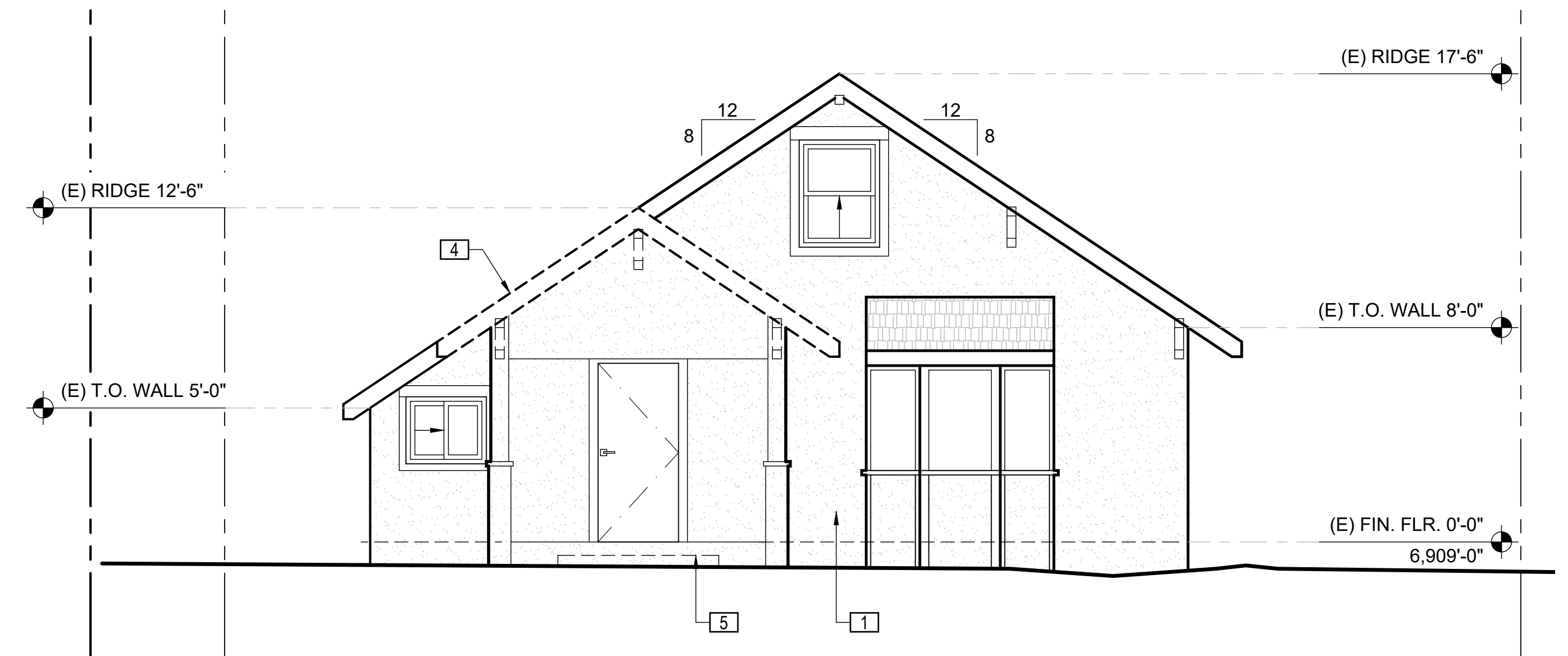
3. PROPOSED FRONT ADU (SW) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



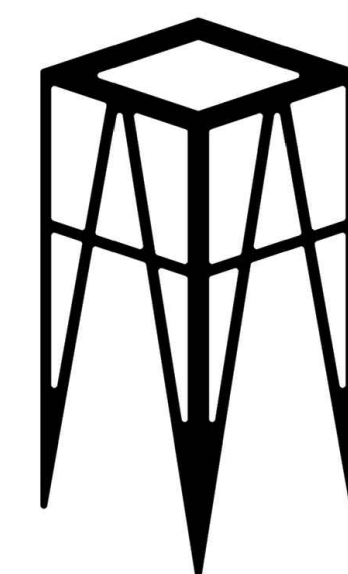
2. PROPOSED SFD FRONT (SW) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



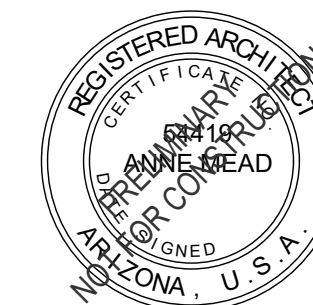
1. EXISTING/DEMO SFD FRONT (SW) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



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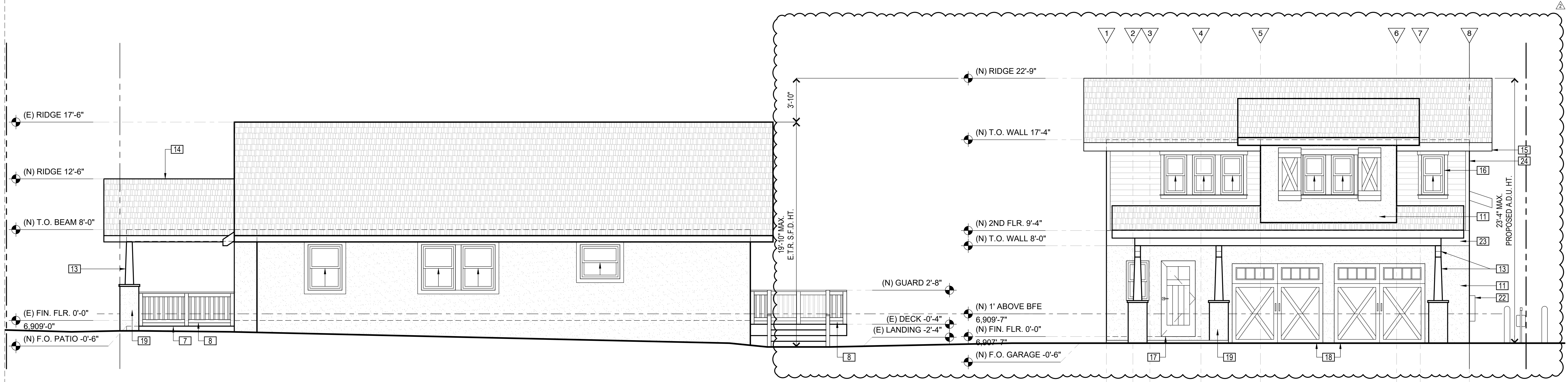
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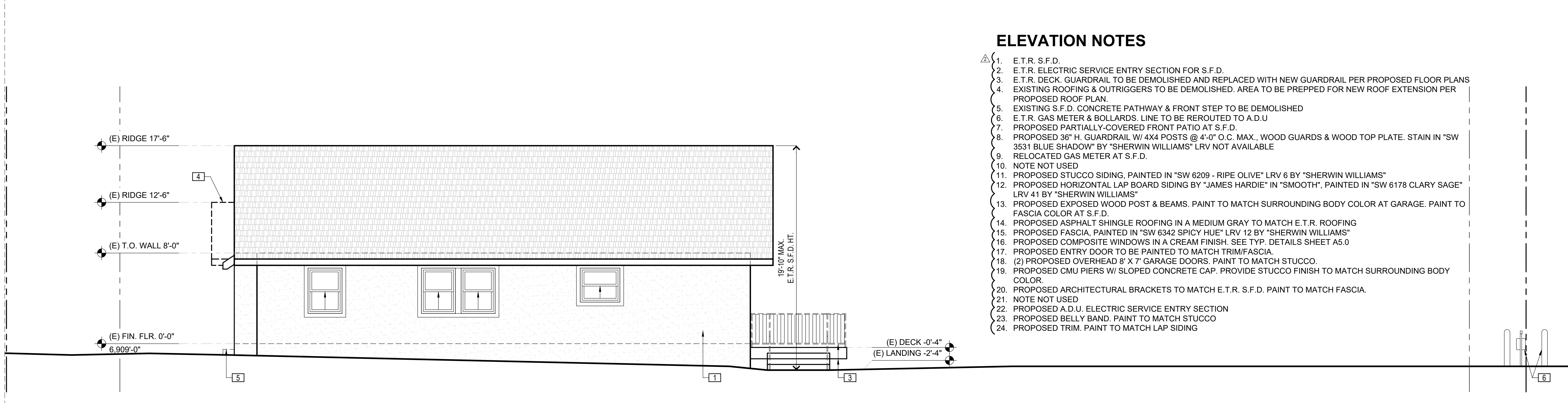
SHEET TITLE:
EXTERIOR FRONT (SW)
ELEVATIONS

A2.0



2. PROPOSED SIDE (SE) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

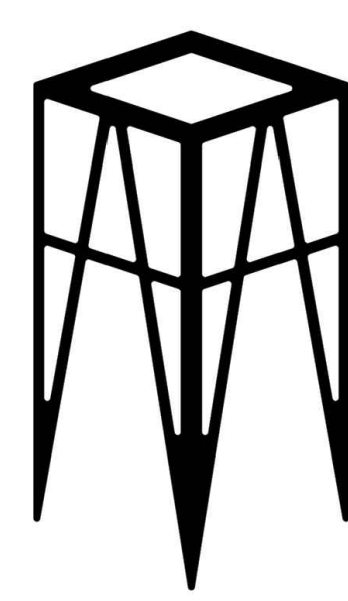


1. EXISTING/DEMO SIDE (SE) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1. E.T.R. S.F.D.
2. E.T.R. ELECTRIC SERVICE ENTRY SECTION FOR S.F.D.
3. E.T.R. DECK. GUARDRAIL TO BE DEMOLISHED AND REPLACED WITH NEW GUARDRAIL PER PROPOSED FLOOR PLANS
4. EXISTING ROOFING & OUTRIGGERS TO BE DEMOLISHED. AREA TO BE PREPPED FOR NEW ROOF EXTENSION PER PROPOSED ROOF PLAN.
5. EXISTING S.F.D. CONCRETE PATHWAY & FRONT STEP TO BE DEMOLISHED
6. E.T.R. GAS METER & BOLLARDS. LINE TO BE REROUTED TO A.D.U
7. PROPOSED PARTIALLY-COVERED FRONT PATIO AT S.F.D.
8. PROPOSED 36" H. GUARDRAIL W/ 4X4 POSTS @ 4'-0" O.C. MAX., WOOD GUARDS & WOOD TOP PLATE. STAIN IN "SW 3531 BLUE SHADOW" BY "SHERWIN WILLIAMS" LRV NOT AVAILABLE
9. RELOCATED GAS METER AT S.F.D.
10. NOTE NOT USED
11. PROPOSED STUCCO SIDING, PAINTED IN "SW 6209 - RIPE OLIVE" LRV 6 BY "SHERWIN WILLIAMS"
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15. PROPOSED FASCIA, PAINTED IN "SW 6342 SPICY HUE" LRV 12 BY "SHERWIN WILLIAMS"
16. PROPOSED COMPOSITE WINDOWS IN A CREAM FINISH. SEE TYP. DETAILS SHEET A5.0
17. PROPOSED ENTRY DOOR TO BE PAINTED TO MATCH TRIM/FASCIA.
18. (2) PROPOSED OVERHEAD 8' X 7' GARAGE DOORS. PAINT TO MATCH STUCCO.
19. PROPOSED CMU PIERS W/ SLOPED CONCRETE CAP. PROVIDE STUCCO FINISH TO MATCH SURROUNDING BODY COLOR.
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21. NOTE NOT USED
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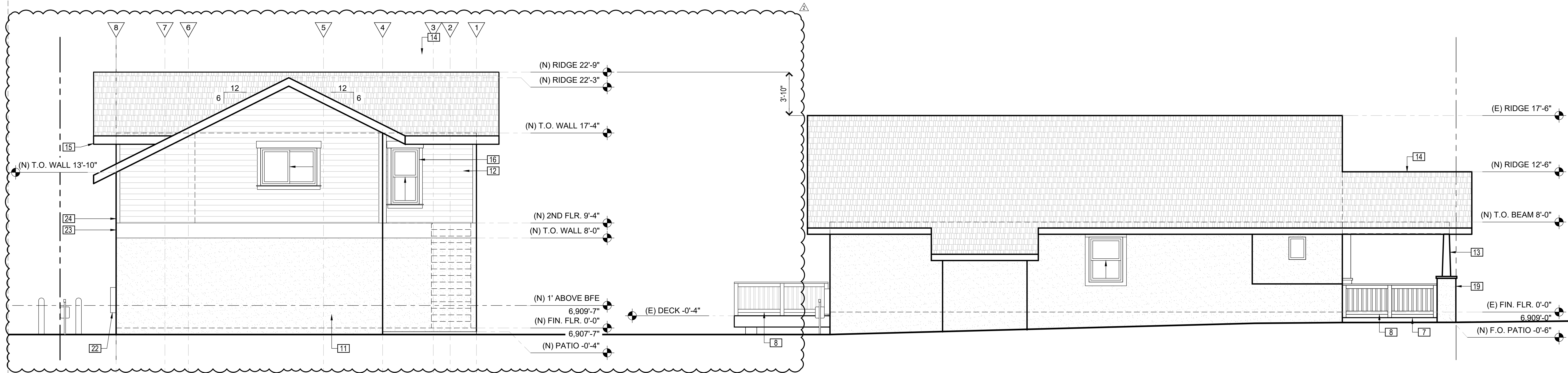


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PROJECT NO 24_026

SHEET TITLE:
EXTERIOR SIDE
(SE) ELEVATIONS
A2.1

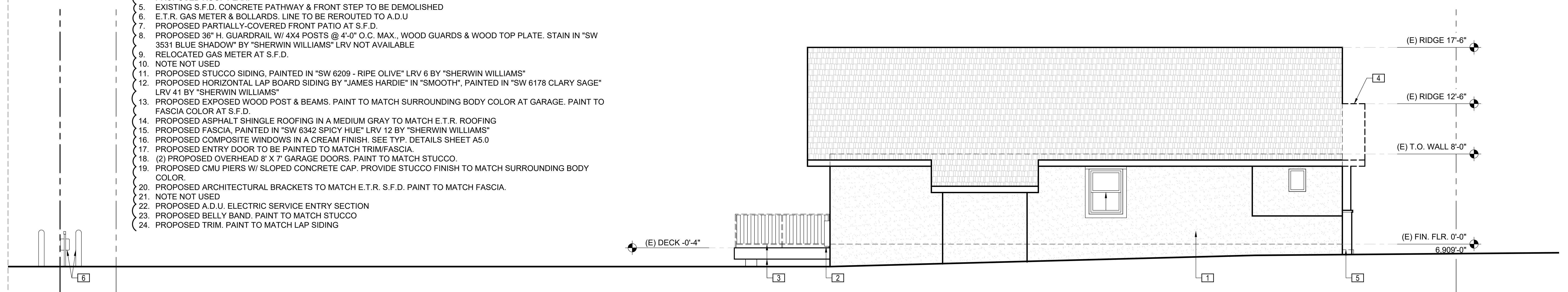


2. PROPOSED SIDE (NW) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

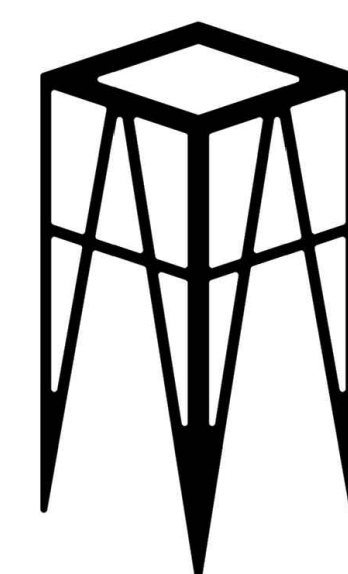
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10. NOTE NOT USED
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17. PROPOSED ENTRY DOOR TO BE PAINTED TO MATCH TRIM/FASCIA.
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23. PROPOSED BELLY BAND. PAINT TO MATCH STUCCO
24. PROPOSED TRIM. PAINT TO MATCH LAP SIDING



1. EXISTING/DEMO SIDE (NW) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



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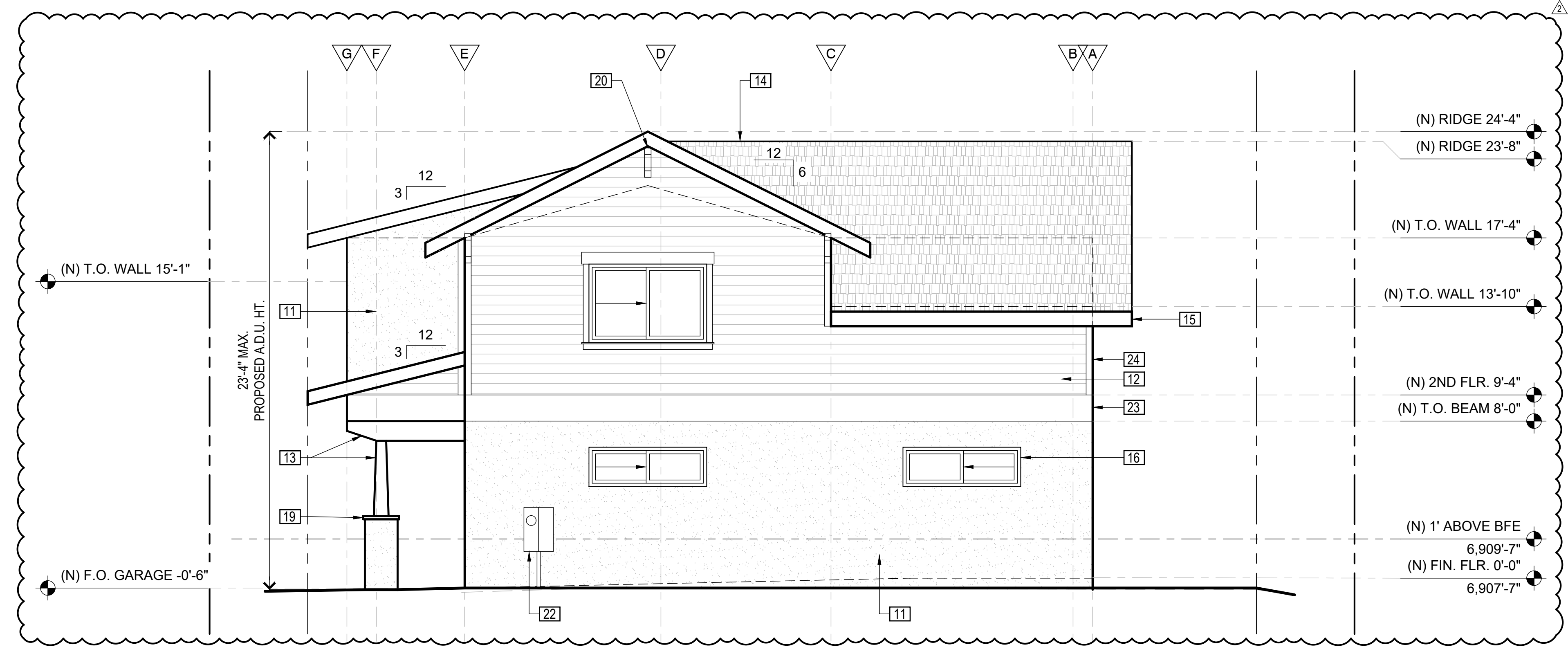
SHEET TITLE:

EXTERIOR SIDE
(NW) ELEVATIONS

A2.2

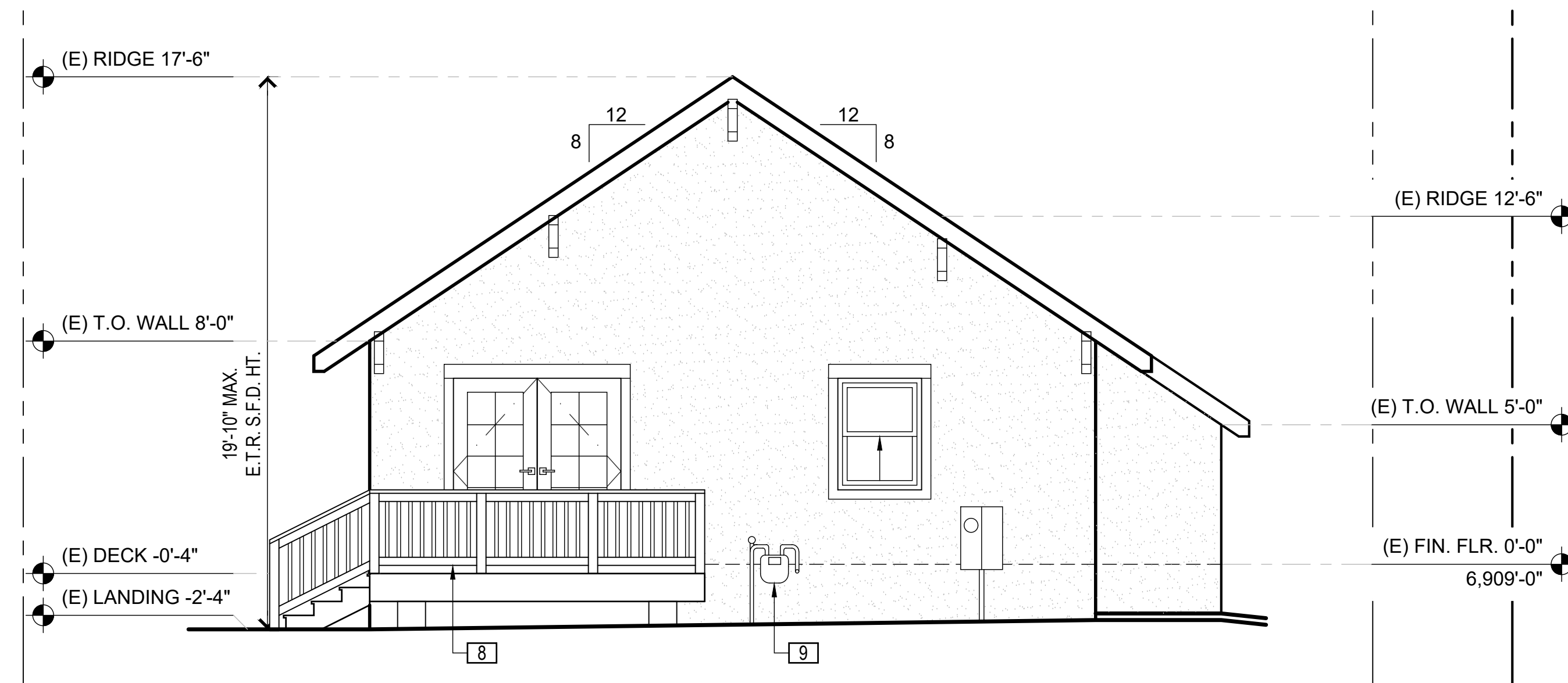
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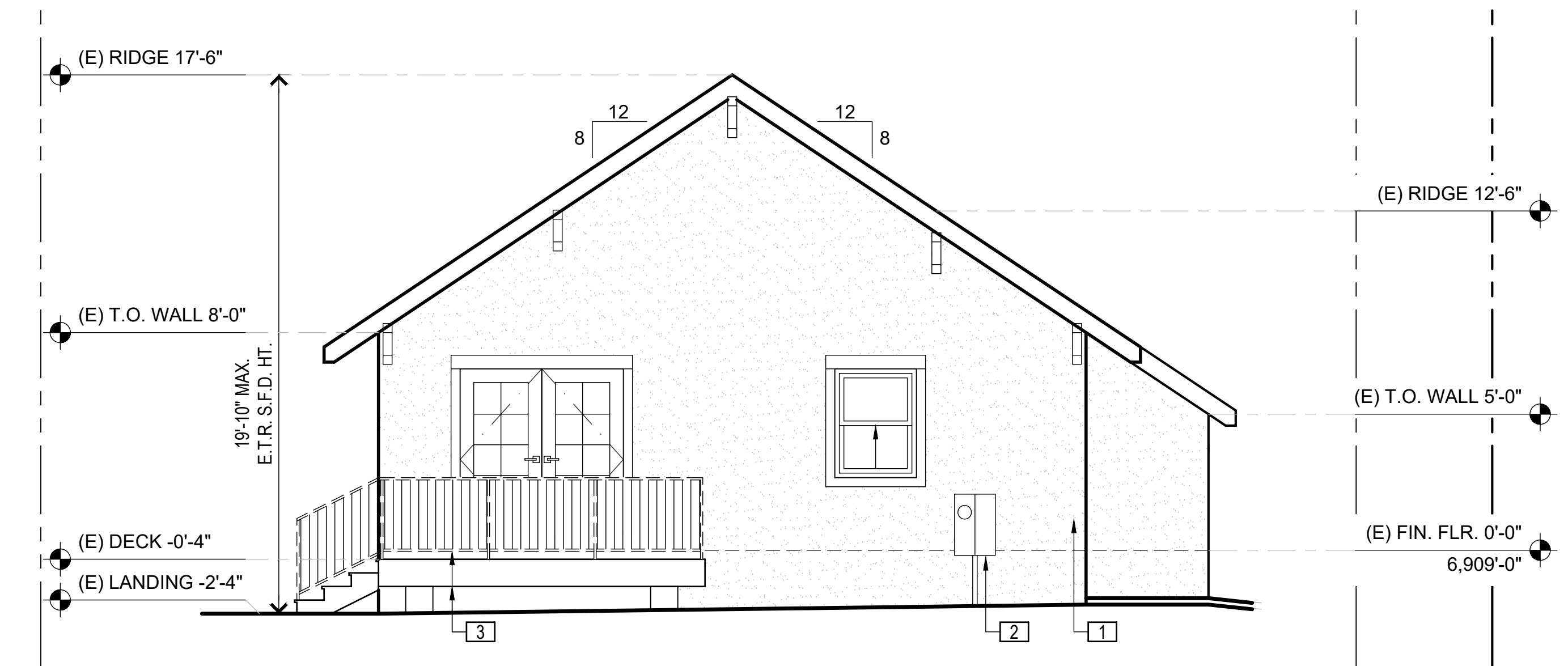
3. PROPOSED ADU REAR (NE) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



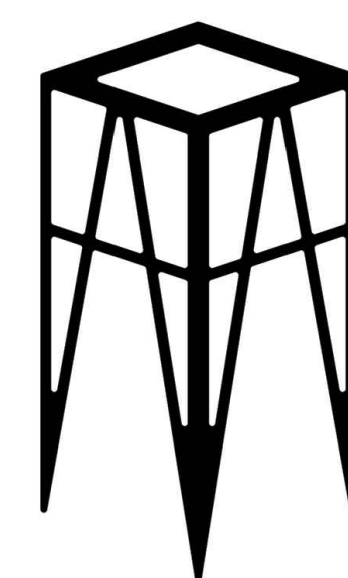
2. PROPOSED SFD REAR (NE) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



1. EXISTING/DEMO SFD REAR (NE) EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



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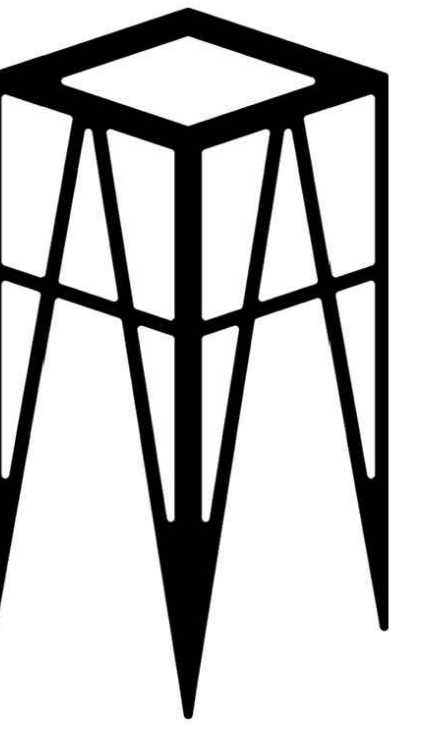
AVERBECK
ADU 402 W BIRCH
FLAGSTAFF
ARIZONA 86001



| APN : 100-11-013 | |
|----------------------|------------|
| DESCRIPTION | DATE |
| HPC REVIEW REV 02 | 12-08-2025 |
| HPC REVIEW REV 01 | 10-14-2025 |
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| SCHEMATIC DESIGN 1.1 | 02-19-2025 |
| SCHEMATIC DESIGN 1.0 | 01-28-2025 |
| PROJECT NO 24_026 | |

SHEET TITLE:
EXTERIOR FRONT (SW) &
REAR (NE) ELEVATIONS

A2.3



APN : 100-11-013

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|----------------------|------------|
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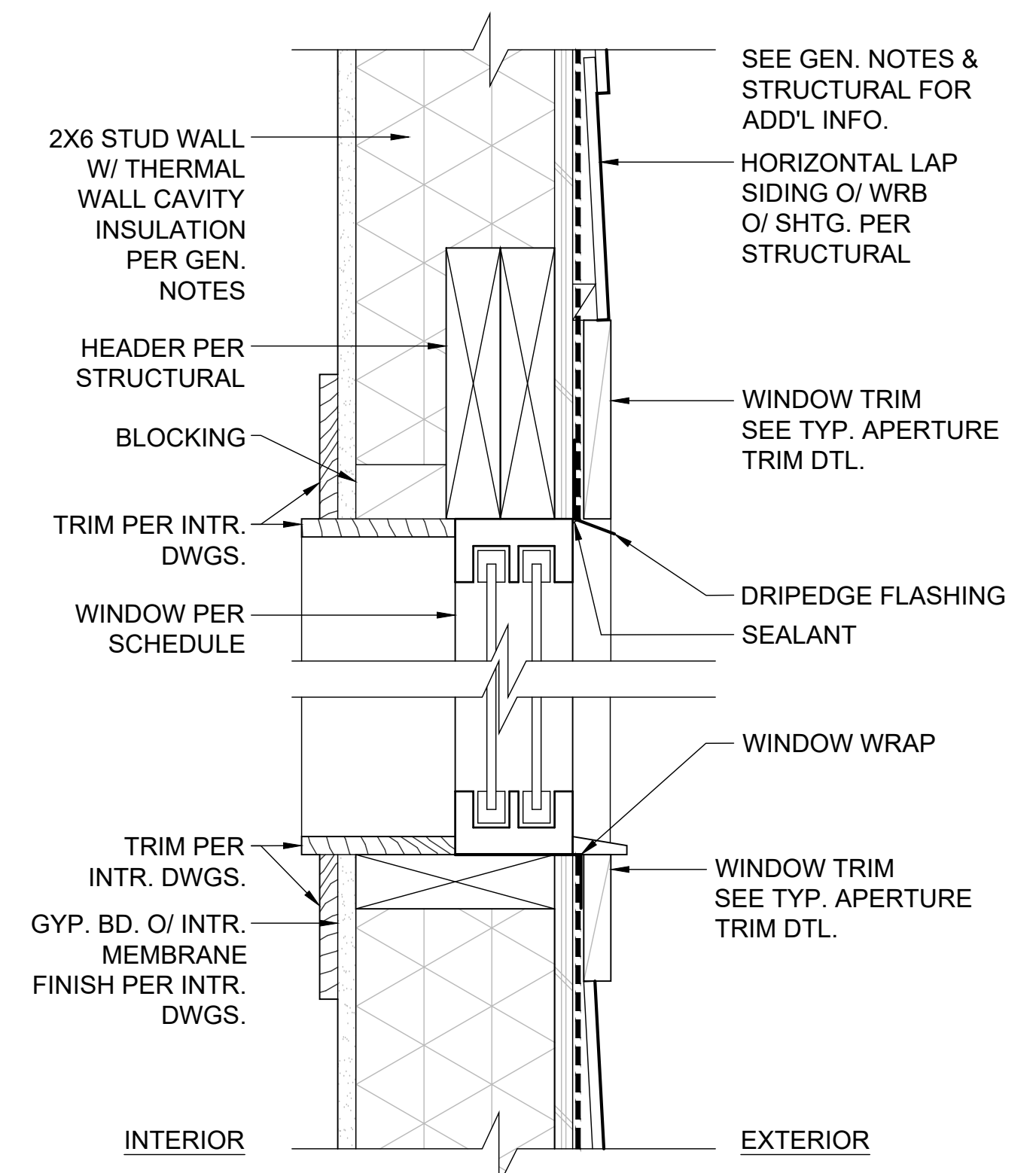
PROJECT NO 24_026

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ARIZONA 86001

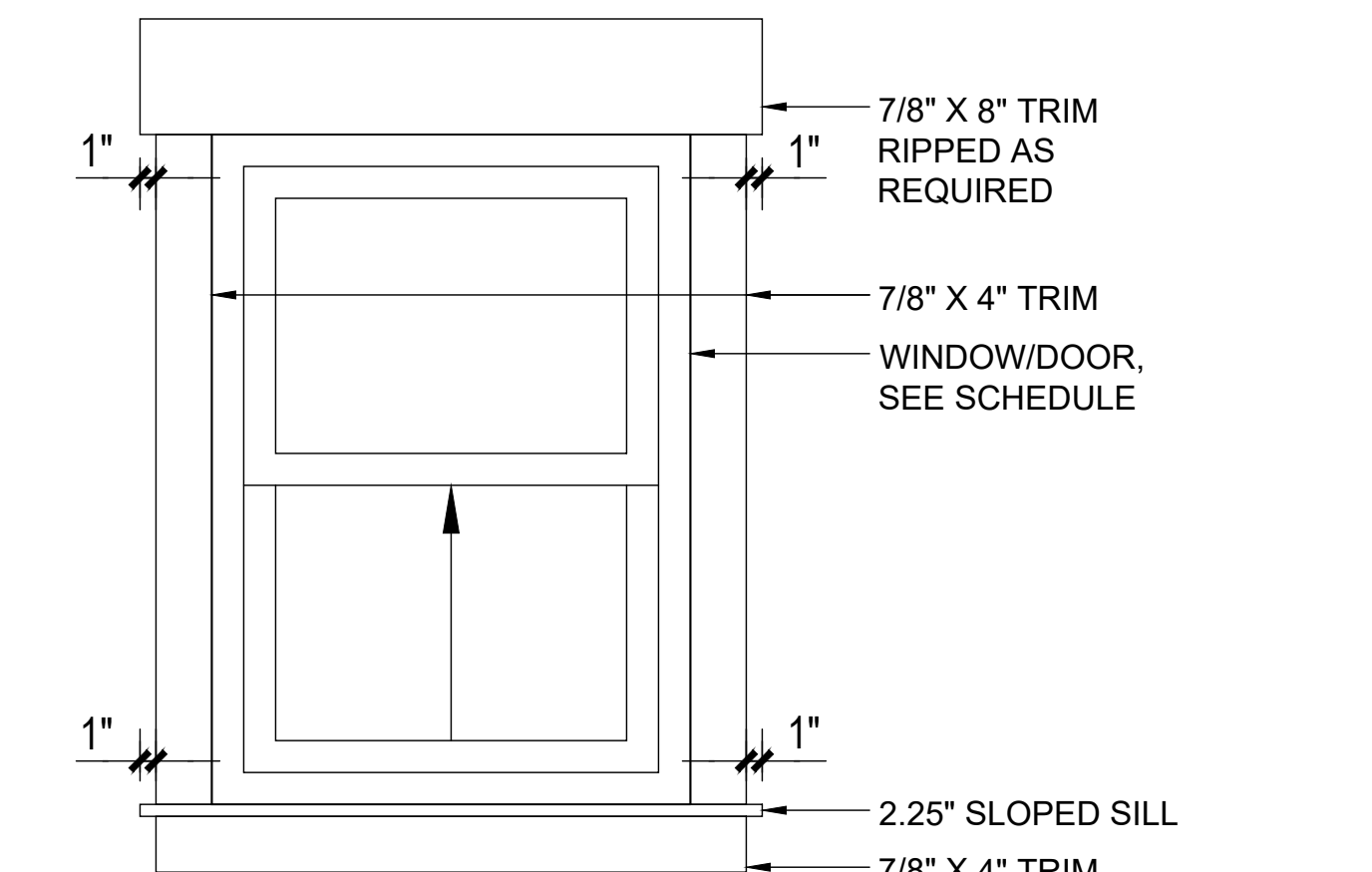
SHEET TITLE:

TYPICAL DETAILS

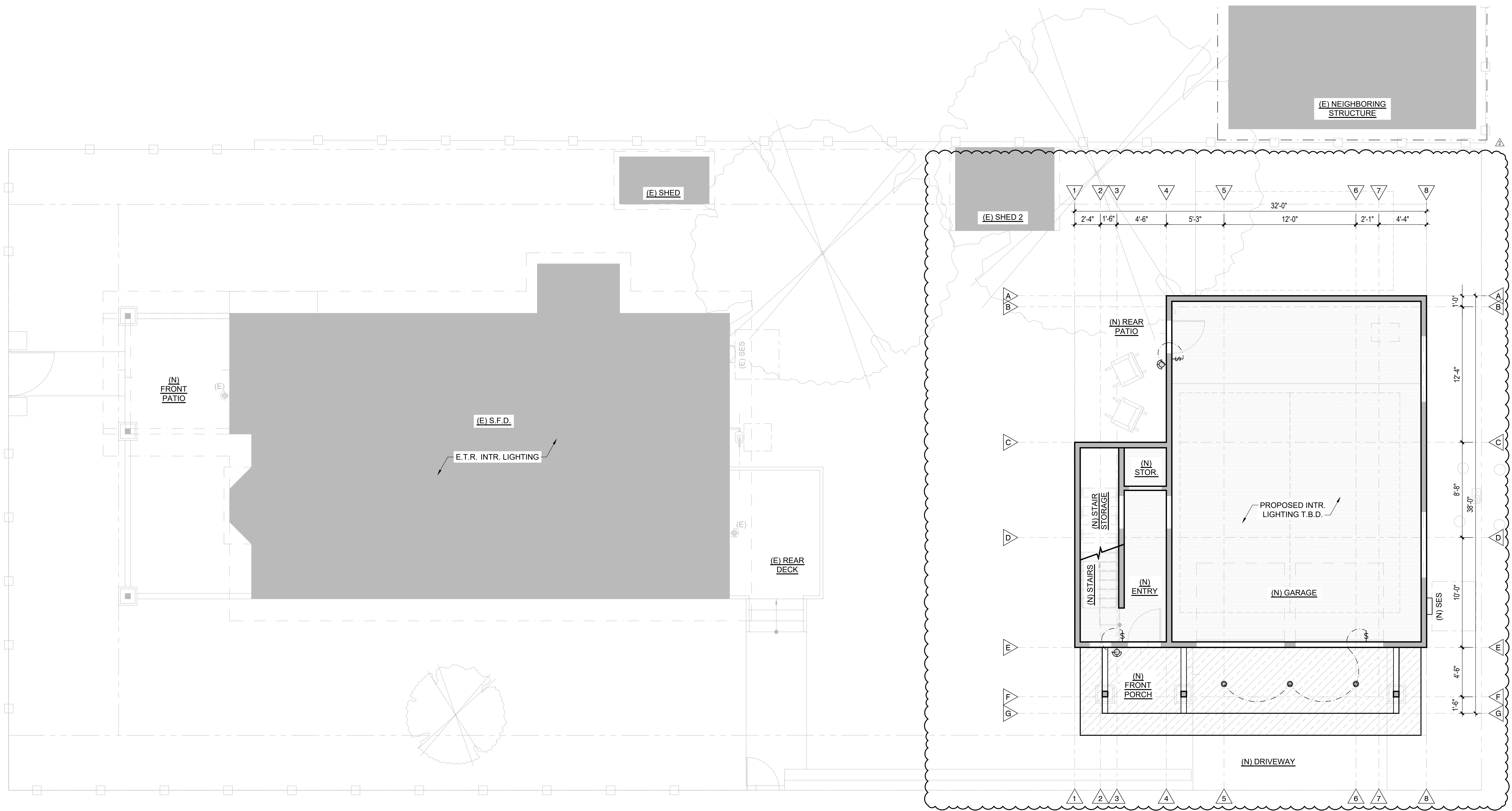
A5.0



2 TYP. EXTR WALL & APERTURE DETAIL
SCALE: 3" = 1'-0"



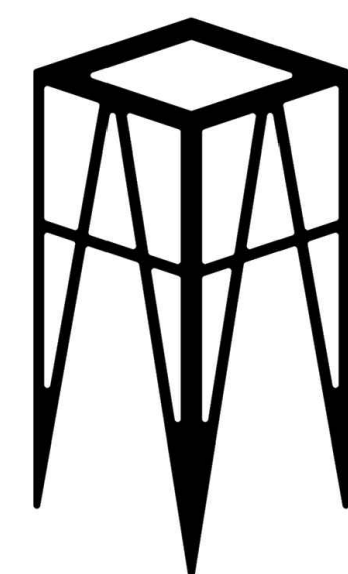
1 TYP. EXTR. APERTURE TRIM @ HOR. LAP SIDING
SCALE: 1" = 1'-0"



PROPOSED LOWER LEVEL EXTR. LIGHTING PLAN

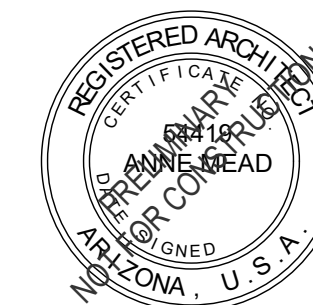
SCALE: 1/4" = 1'-0"

*REFER TO SHEET E1.0 FOR KEYNOTES & LEGENDS, TYPICAL



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PROJECT NO 24_026

SHEET TITLE:
PROPOSED LOWER LEVEL
EXTR. LIGHTING PLAN

E1.0

ELECTRICAL LEGEND

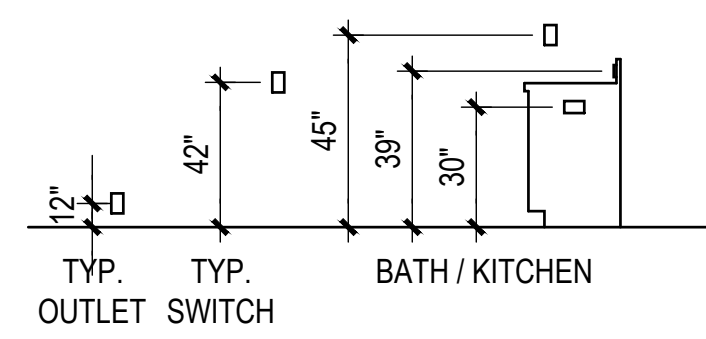
| | | | |
|--|---|--|--|
| | INDICATES CEILING HEIGHT | | EXHAUST FAN, MIN 5 AIR CHANGES/HR, SHALL EXTEND TO THE OUTSIDE, 3' FROM FRESH AIR INLETS PER IRC M1804.2.6 |
| | EXTR. DARK SKY COMPLIANT WALL SCONCE | | CARBON MONOXIDE DETECTOR, 110V, HARD WIRED W/ BATTERY BACK UP PER IRC R314 |
| | RECESSED CAN LIGHT/SLIM PUCK EXTR. TO BE DARK SKY COMPLIANT | | SMOKE DETECTOR 110V, HARD WIRED W/ BATTERY BACK UP PER IRC R314 |
| | LOW VOLTAGE SOLAR LIGHTING EXTR. TO BE DARK SKY COMPLIANT | | GARBAGE DISPOSAL |
| | PENDANT FIXTURE | | COAX DATA / CABLE / PHONE OUTLET |
| | DECORATIVE CHANDELIER | OUTLETS (AFCI PER GENERAL ELEC. NOTE 2) | |
| | WALL SCONCE | | DUPLEX OUTLET |
| | SPOT LIGHT | | DUPLEX OUTLET GFCI |
| | MOTION LIGHT | | DEDICATED APPLIANCE POWER. V.I.F W/ MFR. |
| | MOUNTED FIXTURE | | DEDICATED APPLIANCE GFCI POWER. V.I.F. W/ MFR. |
| | SURFACE MOUNTED CEILING FIXTURE | | DUPLEX OUTLET, RECESSED IN FLOOR |
| | CEILING FAN WITH LEGS FOR LIGHT KIT | | DUPLEX OUTLET, RECESSED IN CEILING |
| | SURFACE MTD PANEL FIXTURE | | FOURPLEX OUTLET |
| | GARAGE DOOR OPENER | | HALF-HOT DUPLEX OUTLET ON SWITCH |
| | MULTI-LIGHT STRIP | | JUNCTION BOX |
| | STRIP LIGHTING W/ THUMB SWITCH | ADDITIONAL OUTLET NOTATIONS: | |
| | ELECTRICAL CIRCUIT | WP | INDICATES WATERPROOF FIXTURE, GFCI PROTECTED |
| | EXISTING TO REMAIN | EV | INDICATES FUTURE ELEC. VEHICLE SUPPLY EQUIP. (SEE GENERAL ELECTRICAL NOTES) |
| | RELOCATED EXISTING | # | INDICATES ATYPICAL HEIGHT. V.I.F. |
| | STANDARD FIXTURE ON / OFF SWITCH | | |

ADDITIONAL SWITCH NOTATIONS:
 T INDICATES TIMER
 D INDICATES DIMMER
 OS INDICATES OCCUPANT SENSOR
 3 INDICATES 3-WAY
 4 INDICATES 4-WAY

GENERAL ELECTRICAL/LIGHTING NOTES

- ALL ELECTRICAL SYSTEM MATERIALS, ACCESSORIES, INSTALLATION AND TESTING TO CONFORM TO THE ORDINANCES OF THE A.H.J., STATE LAWS & REGULATIONS, AND ALL CODES ADOPTED BY THE A.H.J. CONTRACTOR SHALL VERIFY LOCATIONS & REQUIREMENTS OF EQUIPMENT AND FIXTURES AS SHOWN ON THE PLANS W/ ACTUAL FIELD CONDITIONS.
- E3902.16 ARC-FAULT CIRCUIT INTERRUPTER PROTECTION. ALL BRANCH CIRCUITS THAT SUPPLY 120 VOLT, SINGLE PHASE, 15-AND 20-AMPERE OUTLETS INSTALLED IN KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, REC ROOMS, CLOSETS, HALLWAYS, AND OTHER LIVABLE AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC-FAULT CIRCUIT-INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT OR BY OTHER EQUIVALENT MEANS AS PERMITTED BY SECTION 3902.16
- PER 2018 IECC R404.1, NOT LESS THAN 90% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH-EFFICACY LAMPS.
- RECESSED FIXTURES TO BE "ZERO CLEARANCE INSULATION COVER," (IC) APPROVED AT INSULATED AREAS.
- MAINTAIN ADEQUATE CLEARANCES AT ALL ELECTRICAL PANELS: 36" DX30"W OR WIDTH OF EQUIPMENT X 6'-6" H
- V.I.F. FUNCTION OF ALL EXISTING ELECTRICAL AND AT UPGRADED EQUIPMENT, WHERE APPLICABLE
- AT LEAST ONE REQUIRED GARAGE RECEPTACLE SHALL BE A 208/240-VOLT INDIVIDUAL BRANCH CIRCUIT FOR PURPOSES OF ELECTRIC VEHICLE (EV) CHARGING. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL PROVIDE A 50-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND A BRANCH CIRCUIT OVER CURRENT DEVICE. ELECTRIC VEHICLE SUPPLY EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH 2017-NFPA 70/NEC. SEE DEDICATED OUTLET ON PLAN LABELED "EV"
- PROVIDE SOLAR READY CONNECTION. CONDUIT SHALL BE INSTALLED FROM THE SERVICE PANEL TO A TERMINATION POINT AS INDICATED PER PLANS FOR FUTURE CONNECTION.
- PER IRC E3609.6 & E3609.7, PROVIDE BONDING TO THE INTERIOR METAL WATER PIPING AND ABOVE GROUND PORTION OF GAS PIPING SYSTEMS.
- PROVIDE UFER GROUND FOR NEW BUILDS.
- PER IRC E3703, PROVIDE A MINIMUM OF TWO (2) 20A RATED BRANCH CIRCUITS FOR RECEPTACLES LOCATED IN THE KITCHEN, PANTRY, BREAKFAST AND DINING AREAS, & A SEPARATE 20A RATED BRANCH CIRCUIT TO THE LAUNDRY, AND SEPARATE 20A RATED BRANCH CIRCUIT FOR BATHROOM RECEPTACLES.
- ALL MATERIALS AND EQUIPMENT SHALL BE UL LISTED.
- FIXTURES LOCATED AT THE EXTERIOR AND AT SHOWER AREAS TO BE WET-RATED.
- VERIFY LOCATIONS OF ALL EQUIPMENT PLATES SUCH THAT THEY DO NOT REQUIRE NOTCHING TRIM, BACKSLASHES, OR OTHER FINISH WORK
- MOUNT ALL LIGHT/CONTROL SWITCHES/ DIMMERS AT 42" A.F.F. TO ϵ OF THE CONTROL, U.O.N.
- PROVIDE REQUIRED IDENTIFICATION ON ALL CONDUIT OR OTHERWISE CONCEALED SYSTEM COMPONENTS
- WHERE EXISTING SYSTEMS ARE ABANDONED, REMOVE ALL COMPONENTS IN THEIR ENTIRETY.
- RECEPTACLES SHALL BE SPACED PER 2018 IRC E3901
- OUTDOOR LIGHT FIXTURES & TOTAL SITE LUMEN COUNT TO COMPLY WITH REQUIREMENTS PER THE CITY OF FLAGSTAFF ZONING CODE SECTION 10-50.70: OUTDOOR LIGHTING STANDARDS. PROVIDE NARROW SPECTRUM AMBER LED FULLY-SHIELDED FIXTURES EXCEPT WHERE ALLOWED PER CODE.

SWITCH/OUTLET REQ'S

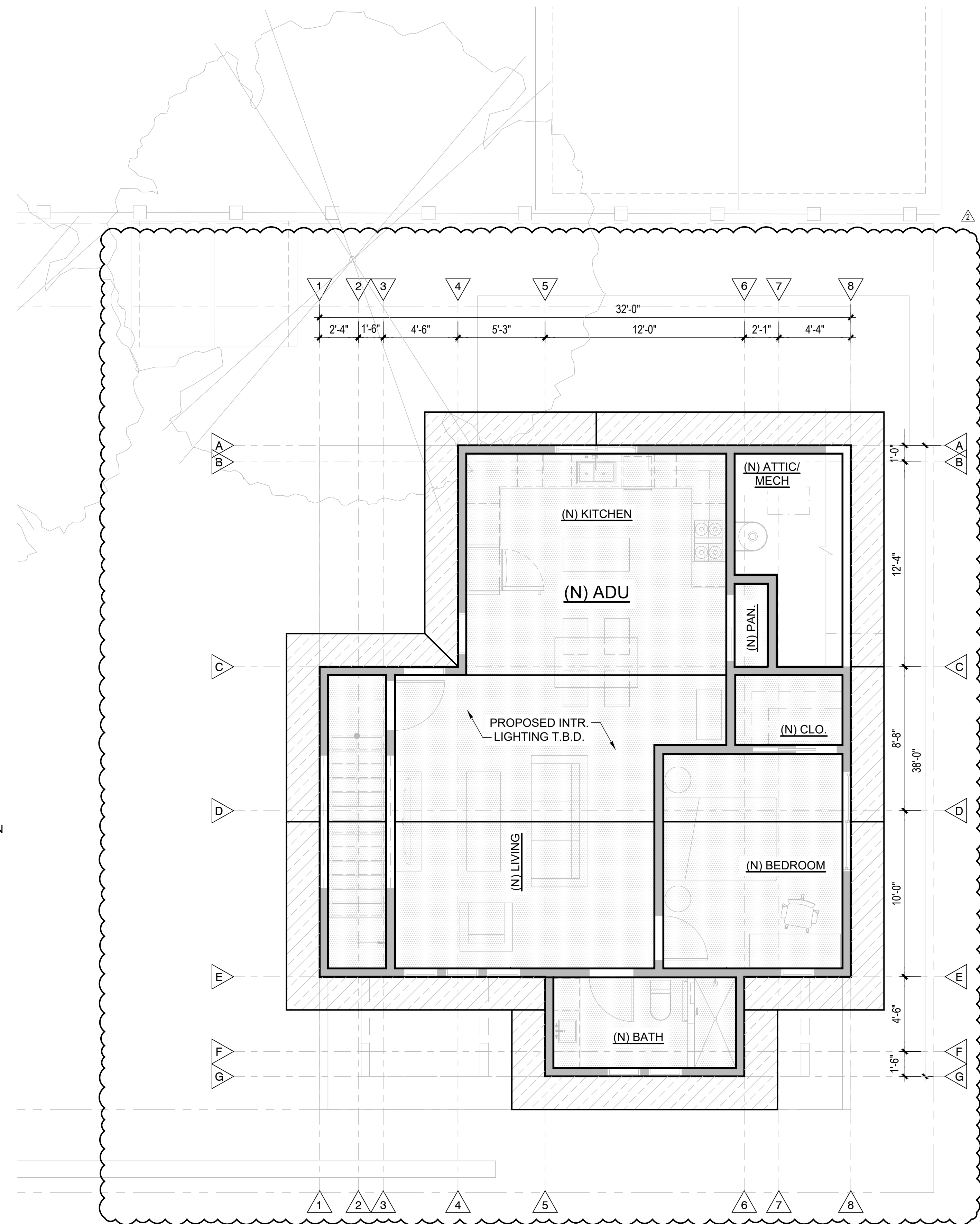


NOTES:

- MOUNT ALL LIGHT/CONTROL SWITCHES/DIMMERS AT 42" A.F.F. TO ϵ OF THE CONTROL, U.N.O.
- VERIFY LAYOUT WITH LOCAL CODES/NEC AND JOB SITE CONDITIONS
- VERIFY LOCATIONS DO NOT REQUIRE NOTCHING TRIM, BACKSLASHES, OR OTHER FINISH WORK

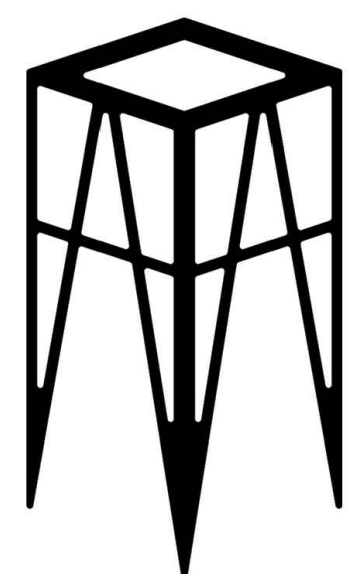
FINISH LEGEND

| | |
|--|-----------------|
| | GYPSUM BOARD |
| | COMPOSITE PANEL |
| | DECK UNDERSIDE |



PROPOSED UPPER LEVEL EXTR. LIGHTING PLAN

SCALE: 1/4" = 1'-0"



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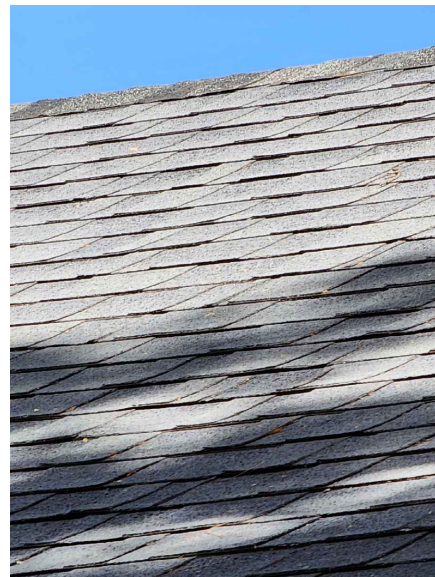


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SHEET TITLE:

PROPOSED UPPER LEVEL
 EXTR. LIGHTING PLAN

E1.1



ROOFING

MTL: ASPHALT SHINGLE
MFR: TO MATCH EXISTING
COLOR: MEDIUM GRAY TO MATCH EXISTING
LRV: NOT AVAILABLE



LAP SIDING, TRIM, STUCCO PIERS, SHUTTERS

MATL: COMPOSITE HORIZONTAL LAP SIDING
TEXTURE: SMOOTH
MFR: JAMES HARDIE
PAINT:
MFR: SHERWIN WILLIAMS
COLOR: SW 6178 CLARY SAGE
LRV: 41



STUCCO SIDING, BELLY BAND, POST & BEAMS

MATL: STUCCO
PAINT:
MFR: SHERWIN WILLIAMS
COLOR: SW 6209 - RIPE OLIVE
LRV: 6



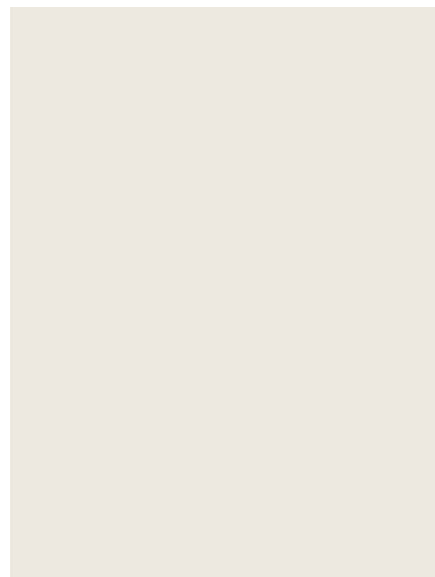
FASCIA, ARCH. BRACKETS, ENTRY DOORS

MATL: COMPOSITE
MFR: JAMES HARDIE
PAINT:
MFR: SHERWIN WILLIAMS
COLOR: SW 6342 SPICY HUE
LRV: 12



STONE VENEER

MATL: REUSED SITE WALL LOCAL MALPAIS
LRV: NOT AVAILABLE



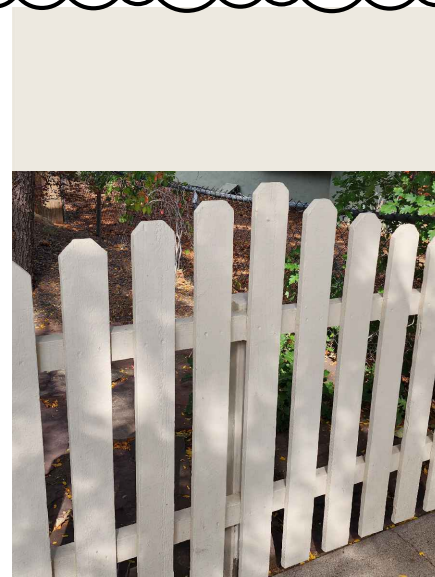
WINDOWS & DOORS

MATL: COMPOSITE
MFR: T.B.D.
FRAME COLOR: CREAM
LRV: NOT AVAILABLE



WOOD STAIN

LOCATION: GUARDRAILS
MFR: SHERWIN WILLIAMS
COLOR: SW 3531 BLUE SHADOW
LRV: NOT AVAILABLE



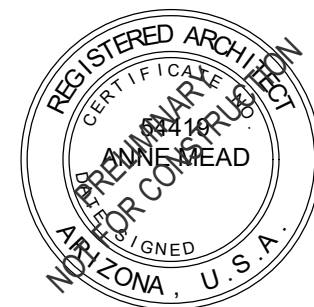
FENCING

LOCATION: SW & SE PROPERTY LINES
MTL: WOOD PICKETS
PAINT:
MFR: SHERWIN WILLIAMS
COLOR: SW 7001 - MARSHMALLOW
LRV: 82



DECKING

MFR: TREX
LINE: ENHANCE
COLOR: COASTAL BLUFF
LRV: NOT AVAILABLE



APN : 100-11-013

HPC REVIEW REV 02 012-08-2025
HPC REVIEW REV 01 010-15-2025
HPC REVIEW 09-23-2025

DESCRIPTION DATE

PROJECT NO 24_026

AVERBECK
402 W BIRCH
ADU
FLAGSTAFF
ARIZONA 86001

COLOR & MATERIAL BOARD

Heritage Preservation Commission

7. A

From: Nancy Corbin-Fuller, Administrative Specialist

DATE: 12/17/2025

SUBJECT: Chair and Vice Chair Elections.

STAFF RECOMMENDED ACTION:

Policy Impact:

Heritage Preservation Commission

7. B.

From: Lauren Clementino, Senior Planner/Heritage Preservation Officer

DATE: 12/17/2025

SUBJECT: Historic Signs and Facades Grant Tracking - December 2025 Update

STAFF RECOMMENDED ACTION:

Discussion only.

Executive Summary:

The reimbursement documentation for the 104 E. Route 66 project was submitted in November and the reimbursement payment has been issued.

The grant scope of work for the 601 W. Cherry Ave. project is complete. The grant inspection was completed on 12/05/2025 and inspection photos are attached. The reimbursement documentation was submitted and the reimbursement payment is pending.

Policy Impact:

Attachments

HSFG Tracking December 2025
601 W. Cherry Ave. Grant Inspection Photos

HSFG Grants July 2025 - June 2026

| Address | Property Owner(s)/Applicant | Grant Amount (\$) | Grant Level | HPC Meeting Award Date | Grant Expiration Date | Status |
|---------------------|---|-------------------|-------------|------------------------|-----------------------|--------------------------------------|
| 601 W Cherry Avenue | Erik Schiefer-Stan & Amanda Schiefer-Stan | \$10,000 | Level 1 | Apr-24 | Apr-26 | Inspection Complete; Payment Pending |
| 123 S Beaver Street | David Tomich and Jeff Newman - Flagstaff Christian Fellowship | \$10,000 | Level 1 | Jul-25 | Jul-26 | Paid |
| 104 E Route 66 | Jonathan Warshaw/Bob Harris | \$9,633 | Level 1 | Nov-24 | Nov-25 | Paid |
| | | | | | | |
| | | | | | | |
| FY26 Funding | | \$160,000 | | | | |
| Available funds | | \$130,367 | | | | |















Heritage Preservation Commission

7. C.

From: Lauren Clementino, Senior Planner/Heritage Preservation Officer

DATE: 12/17/2025

SUBJECT: Invitation to Tour Historic Downtown Buildings

STAFF RECOMMENDED ACTION:

Discussion only.

Executive Summary:

Following his public comment at the November 19, 2025 meeting, David Stephens invites the Heritage Preservation Commission to tour one or both of the historic downtown buildings he owns--the Babbitt Building at the southwest corner of Aspen Avenue and San Francisco Street, and the property at 109 North Leroux Street. He suggests scheduling the tour on the afternoon of either January 21 or February 18, 2026, prior to the Commission's regular meetings on those dates.

Policy Impact:
