



# City of Flagstaff

# Community Development Division

211 W. Aspen Ave

P: (928) 213-2618

Flagstaff, AZ 86001

www.flagstaff.az.gov

Date Received	Application for Conditional Use		File Number
<b>Property Owner(s)</b> Northern Arizona Intergovernmental Public Transportation Authority			<b>Phone</b> 928.679.8942
<b>Mailing Address</b> 3773 & 3825 N Kaspar Dr	<b>City, State, Zip</b> Flagstaff, AZ 86004	<b>Email</b> adunno@mountainline.az.gov	
<b>Applicant(s)</b> Mountain Line (Anne Dunno)			<b>Phone</b> 928.679.8942
<b>Mailing Address</b> 3773 & 3825 N Kaspar Dr	<b>City, State, Zip</b> Flagstaff, AZ 86004	<b>Email</b> adunno@mountainline.az.gov	
<b>Project Representative</b> Norris Design (Aaron Hayne)			<b>Phone</b> 602.254.9600
<b>Mailing Address</b> 6 East Aspen Ave, Suite 260	<b>City, State, Zip</b> Flagstaff, AZ 86001	<b>Email</b> ahayne@norris-design.com	

<b>Project Name</b> Mountain Line Kaspar Maintenance Facility				
<b>Site Address</b> 3773 & 3825 N Kaspar Dr	<b>Parcel Number(s)</b> 113-22-001M & 113-22-001T	<b>Subdivision, Tract &amp; Lot Number</b> N/A		
<b>Zoning District</b> Highway Commercial (HC)	<b>Regional Plan Land Use Category</b> Suburban	<b>Flood Zone</b> Zone X		
<b>Property Information:</b>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Located in an existing City of Flagstaff Historic District? (Name: _____) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing structures are over 50 years old at the time of application? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing structures are pre-World War II housing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Subject property is undeveloped land?			
<b>Surrounding Uses (Res, Com, Ind)</b>	<b>North</b> Residential	<b>South</b> Hospitality	<b>East</b> Industrial	<b>West</b> Residential & Church

**Note:**

Conditional Use Permits are reviewed by City's Planning and Zoning Commission (P&Z), which meets **the second and fourth Wednesday of every month**. Applications are due by the close of business no fewer than 30 days prior to the meeting. You must provide a complete application form, along with the required number of plans and information as indicated in the attached checklist. **Incomplete submittals will not be scheduled.**

<b>Property Owner Signature</b> <i>Anne Dunno</i> Anne Dunno, Mountain Line Capital PM	<b>Date</b> 1/15/2025	<b>Applicant Signature</b> <i>Anne Dunno</i> , Capital PM	<b>Date</b> 1/15/2025
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**For City Use**

<b>Date Filed</b>	<b>File Number:</b>				
<b>Hearing Date</b>	<b>Pub. / Posting Date(s):</b>			<b>Prop. Owner Notif. Date:</b>	
<b>Fee Receipt Number</b>	<b>Amount</b>			<b>Date</b>	
<b>Action by Planning and Zoning Commission:</b>					
<b>Hearing Date:</b>			<b>Type of Request:</b>		
<input type="checkbox"/> Approved			<input type="checkbox"/> CUP		
<input type="checkbox"/> Denied			<input type="checkbox"/> Extension		
<input type="checkbox"/> Continued					
<b>Staff Assignments</b>	Planning	Engineering	Fire	Public Works/Water	Stormwater

Revised: 3/2020



# Mountain Line

## Kaspar Maintenance Facility

CONDITIONAL USE PERMIT  
Findings Narrative

Submittal Date: February 27<sup>th</sup>, 2025



**NORRIS  
DESIGN**  
PEOPLE + PLACEMAKING



## PROJECT TEAM

### Project Owner

Mountain Line  
Anne Dunno, PMP  
3773 N Kaspar Dr  
Flagstaff, AZ 86004

### Architect

HDR  
Patrick Glowacki  
20 E Thomas Rd, Suite 2500  
Phoenix, AZ 85012

### Civil Engineer

Dibble  
Abhay Khaire, PE  
3020 E Camelback Rd  
Phoenix, AZ 85016

### Landscape Architect / Planner

Norris Design  
Mary Estes, PLA, SITES AP, LEED AP  
Aaron Hayne, LEED AP  
Rachael Smith  
6 E Aspen Ave, Suite 260  
Flagstaff, AZ 86001



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## INTRODUCTION

On behalf of Mountain Line, Norris Design respectfully submits the enclosed Conditional Use Permit (CUP) application for the existing Mountain Line facility located at 3773 & 3825 North Kaspar Drive (APN 113-22-001M & 113-22-001T). Established in 2001, Mountain Line contributes significantly to Flagstaff's unique character. Mountain Line is the transit agency in Northern Arizona operating fixed route bus service on nine (9) routes, paratransit service, vanpool, and seasonal Mountain Express service to Arizona Snowbowl. In order to accommodate Mountain Line's growth in service, improvements to their existing facility are needed, including the construction of a new bus maintenance facility (Phase 1) and new bus storage facility (Phase 2).

On April 25, 2012, the Flagstaff Planning Commission approved a CUP request (CUP 12-001) to allow a "Passenger Transportation Facility" consisting of a bus storage building, a bus wash facility, a fueling area, and associated site work at the subject property. The request was approved subject to conditions, including that the site development substantially conform to the plans as presented with the 2012 CUP application. Because of the new development and improvements proposed, an updated CUP is required. Therefore, the purpose of this narrative is to provide an overview of the proposed project, as well as responses to the required findings for a CUP in accordance with Section 10-20.40.050 of the Zoning Code.

## PROJECT OVERVIEW

The project subject to this CUP application consists of two phases. Phase 1 will include the demolition of the existing maintenance building and administration office, and construction of a new, approximately 27,000 square foot, high bay bus maintenance facility in its place. It is anticipated that many of the existing administration and planning activities will be relocated to the new Downtown Connection Center building on Phoenix Avenue upon its opening. This vacancy will allow Mountain Line to expand its maintenance facility into the portion of the property previously occupied for administrative uses. This expansion of existing maintenance-related activities is the focus of this CUP request. As described in more detail below, modifications to the existing driveway entrances along Kaspar Drive are also proposed to accommodate the new site plan layout. Employee parking will be provided on top of the Phase 1 building supported by a ramp and using existing surface parking spaces not affected by the construction.

Phase 2 is proposed to include a new approximately 36,000 square foot bus storage facility. The facility will be designed to provide parking for 24 buses. Please see enclosed Site Plan for more information. Phase 2 will also include a shared, three-story operations/office space for Mountain Line's operation, training, and drivers, as well as additional parking for staff on the bus storage roof. A fueling island is proposed to support operations to support the hybrid diesel fleet and will be phased out based on timeline for zero emissions transition plan. Enclosed with this application is a Site Plan, Building Elevations, and Building Floor Plans for more information.



## FINDINGS

The Planning Commission may approve a CUP only after finding that the criteria outlined in Section 10-20.40.050 of the Zoning Code have been met. The following section of this narrative includes written responses to each of the required findings for a CUP in accordance with the Zoning Code.

### 1. That the conditional use is consistent with the objectives of the Zoning Code and purpose of the zone in which the site is located.

Applicant Response: Both parcels associated with this project are currently zoned Highway Commercial (HC). The HC zoning district allows “Passenger Transportation Facilities,” subject to approval of a CUP. Per Zoning Code Section 10-40.30.040.A.4, the intent of HC zoning is as follows:

The Highway Commercial (HC) zone applies to areas of the City appropriate for a full range of automobile-oriented services. The development of commercial uses in addition to residential uses is encouraged in the HC zone to provide diversity in housing choices; provided, that residential uses are located above or behind commercial buildings so that they are buffered from adjoining highway corridors. The provisions of this zone are also intended to provide for convenient, controlled access and parking, without increasing traffic burdens upon the adjacent streets and highways. This zone is designated primarily at the commercial corridors of the City, with the intention of making the City more attractive as a tourist destination while providing needed commercial activity.

It is estimated that the property has operated as a “Passenger Transportation Facility” since 2012. Approval of this updated CUP request would allow for the expansion of existing bus maintenance and related services. As discussed in more detail below, the project will enhance the pedestrian experience along Kaspar Drive through the consolidation of driveways, while also improving internal vehicle circulation and parking. These site improvements will allow for better controlled access to/from the property, in keeping with the intent of the HC zoning district. Furthermore, the property is located near the Route 66 corridor, including an identified historical marker, which is a notable tourist attraction within the community. Given the property’s proximity to this corridor, the design emphasizes the streetscape through the addition of canopy trees, more native and adaptive plantings and new ornamental steel perimeter fencing. Overall, the proposed project will enhance the visual appearance of the property, particularly from the adjacent public rights-of-way, while also encouraging and promoting the transit priorities of the City of Flagstaff.

### 2. That granting the conditional use will not be detrimental to the public health, safety or welfare. The factors to be considered in making this finding shall include, but not limited to:

a. Property damage or nuisance arising from noise, smoke, odor, dust, vibration, or illumination;

Applicant Response: The proposed use is not anticipated to generate any nose, smoke, odor, dust, vibration, or illumination beyond that of ambient conditions. The new bus maintenance facility is expected to better control any existing nuisance of noise or odor with the new construction designed to fit all bus maintenance needs inside the new facility. The existing facility does not have



full capacity to contain the maintenance of buses indoors. This will be an improvement to the surrounding area. No possibility of property damage to the surrounding area is anticipated.

**b. Hazard to persons or property from possible explosion, contamination, fire, or flood;**

Applicant Response: The proposed use is not expected to cause possible explosion, contamination, fire, and/or flood that would result in hazard to persons nor property. The buses, which require lithium-ion batteries, are equipped with a full-time operational heat management system that automatically shuts down the bus when needing to cool down. There are existing protocols at the Mountain Line maintenance facility for possibilities of a battery fire that will remain in place after the construction of the new facility. No new hazards are expected to effect the public health and safety of the surrounding area.

**c. Impact on surrounding areas arising from unusual volume or character of traffic.**

Applicant Response: The proposed use is not anticipated to impact surrounding areas due to unusual volume or character of traffic. Traffic to the site is anticipated to be only by employees of the Mountain Line bus maintenance and operations. Existing traffic by customers and riders will be redirected to the new Downtown Connection Center.

**3. That the characteristics of the conditional use as proposed and as it may be conditioned are reasonably compatible with the types of uses permitted in the surrounding area. The conditional use permit shall be issued only when the Planning Commission finds that the applicant has considered and adequately addressed the following to ensure that the proposed use will be compatible with the surrounding area:**

**a. Access, traffic, and pedestrian, bicycle and vehicular circulation;**

Applicant Response: Vehicular access to the subject property is currently provided via three driveway entrances along Kaspar Drive. As part of the proposed site improvements, the central driveway is proposed to be removed. Primary vehicular access for fleet and employees will instead be provided via the northernmost driveway entrance. A new, non-motorized swing gate system will be installed at the southern driveway to control access to/from the subject property as fleet emergency egress only. The consolidation of existing driveways and new landscape enhancements along Kaspar Drive will visually improve the streetscape, while also reducing potential conflicts with vehicles and pedestrians/cyclists. Additionally, traffic to the site is anticipated to be reduced as the site will now only be accessible to employees of the Mountain Line. All existing traffic from customers and riders will be redirected to the new Downtown Connection Center. New bicycle parking is also proposed as part of phase 1 of the property. The City of Flagstaff requires that bicycle parking is equal to 5 percent of the required vehicle parking. This standard is met. No significant traffic impacts are anticipated as a result of the proposed improvements.

**b. Adequacy of site and common space provisions, including resource protection standards, where applicable;**

Applicant Response: The northern portion of the property is located within the Resource Protection Overlay (RPO) zone. The purpose of the RPO zone is to maintain existing natural resources and to ensure that proposed development is consistent with the character of its natural surroundings



(Zoning Code Section 10-40.50.30.A.4.a). Based on the requirements of the RPO zone, a minimum of thirty-percent (30%) of forest resources must be retained on site. Based on the Natural Resource Protection Plan prepared for the property, forty-three percent (43%) of the existing resources are proposed to remain for both Phases 1 and 2. Therefore, this requirement is met.

**c. Noise, light, visual and other pollutants;**

Applicant Response: The proposed improvements are not expected to have any significant impact on noise, light, visual, nor other pollutants. No parking light poles are being removed or relocated in Phase 1. Building mounted lights on the Phase 1 side will be replaced with wall mounted lights that match the pole lights on the property. There will also be lights mounted inside the ramp to light the ramp and pole lights to light the parking deck on the roof. The light from these fixtures is far enough away that the project will not be seeing any light trespass across the property line. The new lights will be Dark Sky compliant and match the rest of the Kaspar property in color temperature and style. The pole lights and building mounted lights will be amber in color and the lights on the ramp will be 2700K.

**d. Proposed style and siting of structure(s), and relationship to the surrounding neighborhood;**

Applicant Response: As noted above, the property has operated as a “Passenger Transportation Facility” since approximately 2012. As such, many of the existing buildings and accessory structures are proposed to remain. Any new structures will be sited appropriately based on the location of those remaining. The building elevations for any new structures, including the colors and materials, will be compatible with the surrounding context.

**e. Landscaping and screening provisions, including additional landscaping in excess of otherwise applicable minimum requirements;**

Applicant Response: As noted above, a portion of the property is located within the RPZ zone. Because of this, the landscape design along the perimeters of the property generally follows an organic pattern based on the locations of existing natural resources. This ensures compatibility with the property’s natural surroundings. In order to enhance the pedestrian realm and visual appearance of the property from adjacent rights-of-way, landscaping is more densely proposed along Kaspar Drive. The landscape palette will include a mixture of deciduous and evergreen trees, including Freeman Maple, Western Redbud, and Baby Blue Eyes Colorado Blue Spruce, among others, as well as native and adaptive deciduous and evergreen shrubs, ornamental grasses, and perennials and groundcovers. The landscape design will comply with applicable minimum requirements for the property.

**f. Impact on public utilities;**

Applicant Response: The proposed use is not anticipated to negatively impact existing public utilities in the long-term.

**g. Signage and outdoor lighting;**

Applicant Response: No additional signage is currently proposed at this time. The existing signage along Kaspar Drive will remain. Additionally, existing street lighting will remain in place while on-site lighting within the vehicular circulation drives will be replaced in accordance with the electrical site plan. Low lighting will be provided at the vehicular ramp, at the overhead doors, man doors



and via pole mounted fixture on the roof to provide adequate lighting on site. The new construction of the building will provide lighting in accordance with the City of Flagstaff Dark Sky lighting requirements to provide safe illumination for pedestrians.

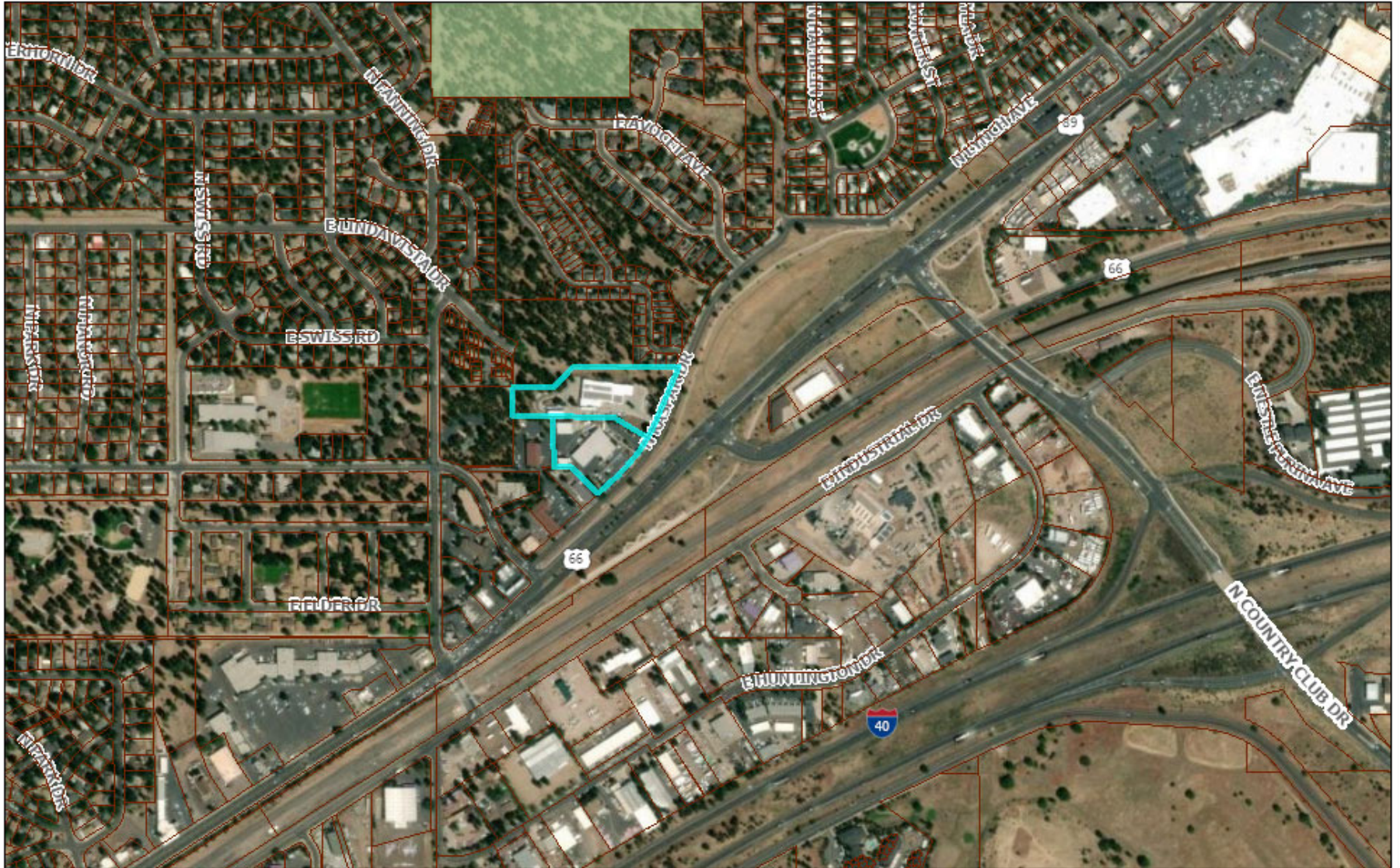
h. [Dedication and development of streets adjoining the property; and](#)

Applicant Response: No additional right-of-way dedications along Kaspar Drive are proposed. Off-site improvements along Kaspar Drive shall be limited to the proposed landscape enhancements, as illustrated on the enclosed Landscape Plan for the property.

i. [Impacts on historical, prehistoric or natural resources.](#)

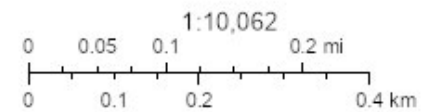
Applicant Response: There are no known historical or prehistoric resources that would be impacted as a result of the proposed site improvements. As noted above, the northern portion of the property is located within the Resource Protection Overlay district. As such, a Natural Resource Protection Plan has been developed for the property to ensure that the proposed development is consistent with the character of the natural surroundings.

# ArcGIS Web Map



10/24/2024, 10:33:12 AM

- |  |   |
|--|---|
|  County Boundary         |  National Forest |
|  Coconino County Parcels |  Private         |

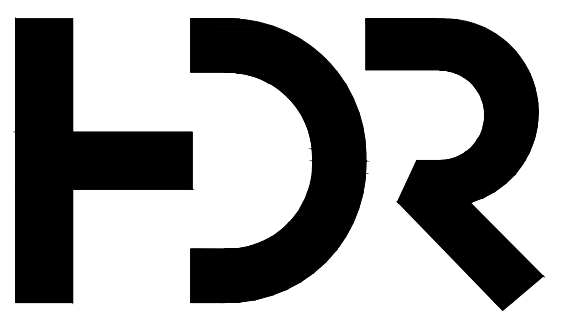


Maxar





# SITE PLAN/GRADING & DRAINAGE PLAN MOUNTAIN LINE KASPAR HEADQUARTERS MAINTENANCE FACILITY PHASE 2



**DIBBLE**

1640 South Stapley Drive,  
Suite 120  
Mesa, AZ 85204  
Phone: 480.757.7876  
Contact: Adrian Carvajal, PE

**MOUNTAIN LINE  
KASPAR  
HEADQUARTERS  
MAINTENANCE  
FACILITY**

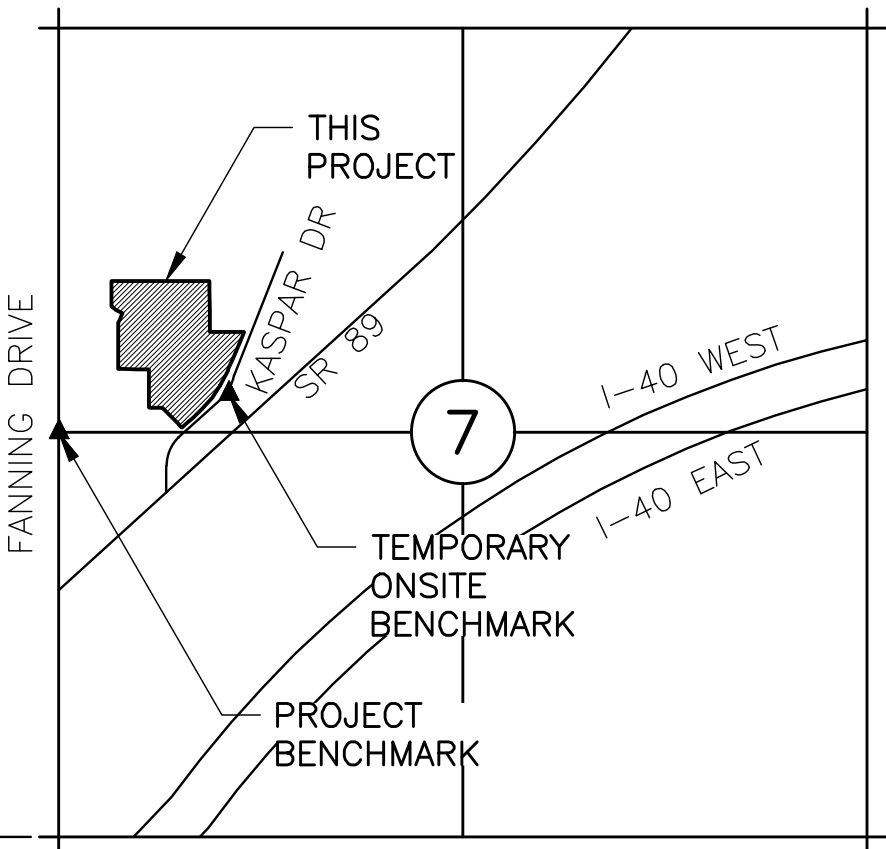
3773 N. Kaspar Drive  
Flagstaff, AZ 86004



**Project Manager:** Patrick Glowacki  
**Project Designer:** Katherine Dutka Smith  
**Project Architect:** Rachel McAdoo  
**Landscape Architect:** Claire Edelman-Health  
**Civil Engineer:** Adrian Carvajal  
**Structural Engineer:** Chad Sippel  
**Mechanical Engineer:** Brent McQuillan  
**Electrical Engineer:** Stephen Bowcock  
**Plumbing Engineer:** Robbin Ramsey  
**Interior Designer:** Jesse Levin  
**Equipment Planner:** Ken Booth  
**Wayfinding:**

**DRAWN BY:** ZACH KEITH

**MARK DATE DESCRIPTION**



## PROJECT INFORMATION

**OWNER**  
MOUNTAIN LINE KASPAR HQ  
3773 N. KASPAR DRIVE  
FLAGSTAFF, AZ 86004  
CONTACT: ANNE DUNNO  
P: 928.779.6624

**ARCHITECT**  
HDR ARCHITECTURE, INC  
20 E. THOMAS ROAD, SUITE 2500  
PHOENIX, AZ 85012  
CONTACT: JON GRIFFIN  
P: 602.522.4388

**CIVIL ENGINEER**  
DIBBLE  
1640 S. STAPLEY DRIVE, SUITE 120  
MESA, AZ 85204  
CONTACT: ADRIAN CARVAJAL, P.E.  
P: 602.957.1155

## TEMPORARY ONSITE BENCHMARK

FOUND REBAR IN HAND HOLE BENT:  
LOCAL NORTHING = 79759.77  
LOCAL EASTING = 77380.82  
ELEVATION = 6841.75  
VERTICAL DATUM: NAVD '88

*Distance "a" (ft)	**Distance "a" <sub>2</sub> (ft)	**V <sub>turning</sub> (mph)	T <sub>1</sub> (sec)	T <sub>2</sub> (sec)	ISD (Distance "b")	
					(ft)	(ft)
20	42	30	12	-	529.2	530
20	42	30	10.5	-	463.05	465
20	42	30	8	-	352.8	355
20	42	30	6.5	-	286.65	290

## RETENTION CALCULATIONS

**DIBBLE** Mountain Line Kaspar HQ Maintenance Facility  
DIBBLE PROJECT NO. <1123167>  
PHASE 2 - ON-SITE DRAINAGE CALCULATIONS  
DIS: Zach Keith  
DATE: 2025-02-05

### HYDROLOGY CALCULATIONS

DRAINAGE AREA	TOTAL AREA (SF)	GRAVELED SURFACES (SF)	PAVEMENT & BUILDING SURFACES (SF)	WEIGHTED COEFFICIENT	*RAINFALL DEPTH (IN)	VOLUME REQUIRED (CF)	OFFSITE FLOW (CF)
EXST-A	30,356	3,006	27,351	0.91	2.71	6,238	0
EXST-B	76,899	15,371	61,529	0.86	2.71	14,935	1,590
EXST-C	40,070	16,910	23,159	0.76	2.71	6,877	0
EXST-D	13,801	5,242	8,559	0.78	2.71	2,451	0
EXST-E	29,506	10,267	19,239	0.79	2.71	5,264	0
EXST-F	28,042	20,840	7,202	0.62	2.71	3,926	0
EXST-ROOF1	15,586	0	15,586	0.95	2.71	3,344	0
EXST-ROOF2	14,710	0	14,710	0.95	2.71	3,156	0
<b>TOTAL</b>	<b>248,971</b>	<b>177,534</b>	<b>71,437</b>	<b>0.82</b>	<b>2.71</b>	<b>47,762</b>	<b>1,590</b>

### PHASE 2 POST CONSTRUCTION 100-YEAR, 2-HOUR

PHASE	TOTAL AREA (SF)	ADDITIONAL IMPERVIOUS AREA (SF)	RUNOFF COEFFICIENT	RAINFALL DEPTH (IN)	VOLUME REQUIRED (CF)	OFFSITE FLOW (CF)	
PH2 - NEW A	44,971	3,655	41,306	0.91	2.71	9,276	0
PH2 - NEW B	82,352	6,000	76,352	0.92	2.71	17,058	0
PH2 - OFF1	49,390	2,753	46,637	0.92	2.71	10,316	1,590
EXST-E	29,506	10,267	19,239	0.79	2.71	5,264	0
EXST-F	28,042	18,494	9,547	0.65	2.71	3,926	0
EXST-ROOF2	14,710	0	14,710	0.95	2.71	3,156	0
<b>TOTAL</b>	<b>248,971</b>	<b>20,715</b>	<b>228,257</b>	<b>0.88</b>	<b>2.71</b>	<b>50,587</b>	<b>1,590</b>

### PHASE 2 POST CONSTRUCTION 100-YEAR, 2-HOUR

PHASE	TOTAL AREA (SF)	ADDITIONAL IMPERVIOUS AREA (SF)	RUNOFF COEFFICIENT	RAINFALL DEPTH (IN)	VOLUME REQUIRED (CF)	OFFSITE FLOW (CF)	
PHASE 2	248,971	5,72	30,257	1.00	1.00	2,521	0
<b>TOTAL</b>	<b>248,971</b>	<b>5,72</b>	<b>30,257</b>	<b>1.00</b>	<b>1.00</b>	<b>2,521</b>	<b>1,590</b>

### R.O.C.V. (L.I.D. VOLUME)

PHASE	TOTAL AREA (SF)	ADDITIONAL IMPERVIOUS AREA (SF)	RUNOFF COEFFICIENT	RAINFALL DEPTH (IN)	VOLUME REQUIRED (CF)	OFFSITE FLOW (CF)	
PHASE 2	248,971	5,72	30,257	1.00	1.00	2,521	0
<b>TOTAL</b>	<b>248,971</b>	<b>5,72</b>	<b>30,257</b>	<b>1.00</b>	<b>1.00</b>	<b>2,521</b>	<b>1,590</b>

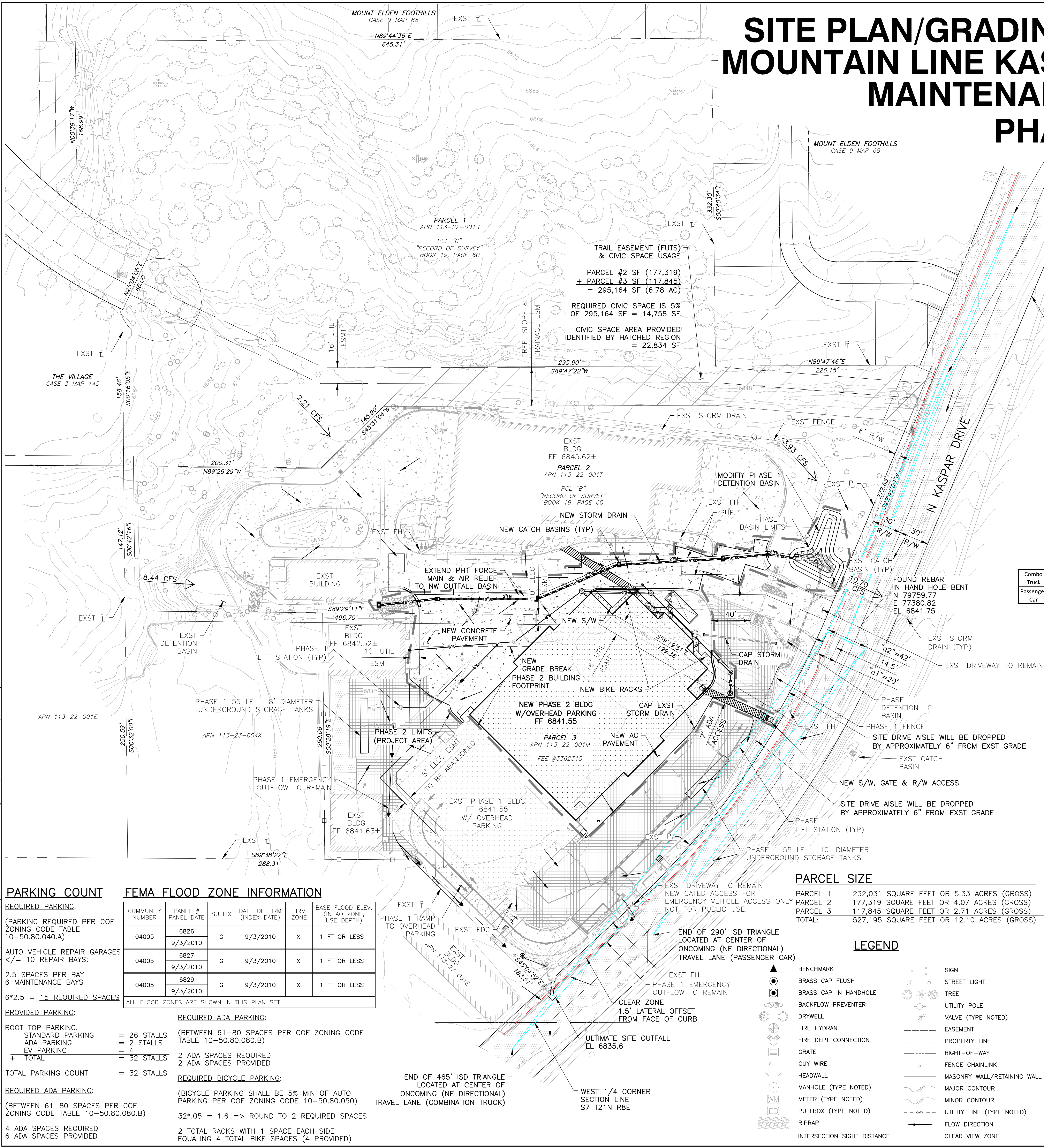
### PRE VS POST VOLUME IS GREATER THAN R.O.C.V. (L.I.D. VOLUME). PRE VS POST VOLUME OF 4,414 CF IS USED. W/ A 25% FOS. V<sub>0</sub> = 5,520 CF

\* NOAA Atlas 14 Rainfall depth obtained from www.nws.noaa.gov

### UNDERGROUND RETENTION VOLUME CALCULATIONS - PHASE 2 V<sub>0</sub> CONTROLS

DRAINAGE AREA	PIPE DIAMETER (FT)	VOLUME PER FT (CF/FT)	PIPE LENGTH (FT)	STATIONS (EAL)	**DRAIN TIME (HR)	TOTAL VOLUME (CF)
PH2 - NEW A	10	78.53	55	LIFT STATION A	24 - 36	4,319
PH2 - NEW B	8	50.26	55	LIFT STATION B	24 - 36	2,764
<b>TOTAL STORAGE</b>						<b>7,083</b>

\*\*Minimum Lift Station Pump Rate (24-HR) (GPM): 15  
\*\*Minimum Lift Station Pump Rate (24-HR) (GPM): 15



## PARKING COUNT

**REQUIRED PARKING:**  
(PARKING REQUIRED PER COF ZONING CODE TABLE 10-50.80.040.A)  
AUTO VEHICLE REPAIR GARAGES </= 10 REPAIR BAYS:  
2.5 SPACES PER BAY  
6 MAINTENANCE BAYS  
6\*2.5 = 15 REQUIRED SPACES  
**PROVIDED PARKING:**  
ROOT TOP PARKING:  
STANDARD PARKING ADA PARKING EV PARKING  
= 26 STALLS  
= 2 STALLS  
= 4  
= 32 STALLS  
TOTAL PARKING COUNT = 32 STALLS  
**REQUIRED ADA PARKING:**  
(BETWEEN 61-80 SPACES PER COF ZONING CODE TABLE 10-50.80.080.B)  
4 ADA SPACES REQUIRED  
6 ADA SPACES PROVIDED

## FEMA FLOOD ZONE INFORMATION

COMMUNITY NUMBER	PANEL #	SUFFIX	DATE OF FIRM (INDEX DATE)	FIRM ZONE	BASE FLOOD ELEV. (IN AD ZONE USE DEPTH)
04005	6826	G	9/3/2010	X	1 FT OR LESS
04005	6827	G	9/3/2010	X	1 FT OR LESS
04005	6829	G	9/3/2010	X	1 FT OR LESS

ALL FLOOD ZONES ARE SHOWN IN THIS PLAN SET.

**REQUIRED ADA PARKING:**  
(BETWEEN 61-80 SPACES PER COF ZONING CODE TABLE 10-50.80.080.B)  
2 ADA SPACES REQUIRED  
2 ADA SPACES PROVIDED

**REQUIRED BIKE PARKING:**  
(BICYCLE PARKING SHALL BE 5% MIN OF AUTO PARKING PER COF ZONING CODE 10-50.80.050)  
32\*.05 = 1.6 => ROUND TO 2 REQUIRED SPACES

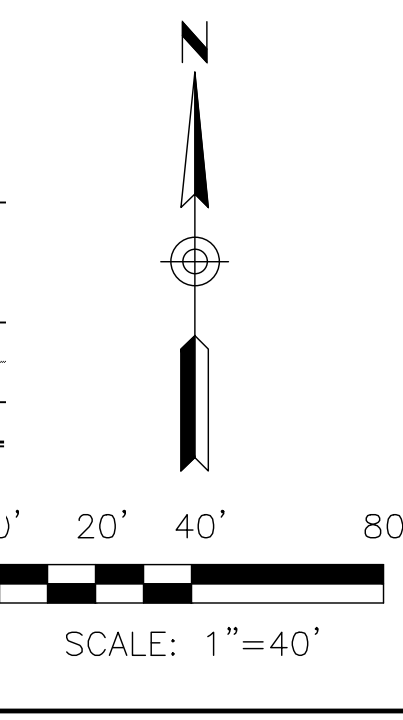
2 TOTAL RACKS WITH 1 SPACE EACH SIDE  
EQUATING 4 TOTAL BIKE SPACES (4 PROVIDED)

## PARCEL SIZE

PARCEL 1 232,031 SQUARE FEET OR 5.33 ACRES (GROSS)  
PARCEL 2 177,319 SQUARE FEET OR 4.07 ACRES (GROSS)  
PARCEL 3 117,845 SQUARE FEET OR 2.71 ACRES (GROSS)  
TOTAL: 527,195 SQUARE FEET OR 12.10 ACRES (GROSS)

## LEGEND

- BENCHMARK
- BRASS CAP FLUSH
- BRASS CAP IN HANDHOLE
- BACKFLOW PREVENTER
- DRYWELL
- FIRE HYDRANT
- FIRE DEPT CONNECTION
- GRATE
- GUY WIRE
- HEADWALL
- MANHOLE (TYPE NOTED)
- METER (TYPE NOTED)
- PULLBOX (TYPE NOTED)
- RIPRAP
- INTERSECTION SIGHT DISTANCE
- SIGN
- STREET LIGHT
- TREE
- UTILITY POLE
- VALVE (TYPE NOTED)
- EASEMENT
- PROPERTY LINE
- RIGHT-OF-WAY
- FENCE CHAINLINK
- MASONRY WALL/RETAINING WALL
- MINOR CONTOUR
- UTILITY LINE (TYPE NOTED)
- FLOW DIRECTION
- CLEAR VIEW ZONE



**PRELIMINARY  
NOT FOR  
CONSTRUCTION  
OR RECORDING**

Sheet Name  
**CIVIL SITE PLAN &  
GRADING & DRAINAGE  
PLAN - PHASE 2**

Scale  
1" = 40'-0"

Sheet Number  
**CP3.0**

Project Status  
DESIGN DEVELOPMENT DRAWINGS

FILE: 2025.1123167\_Mountain\_Line\_Kaspar\_HQ\_Maintenance\_Facility\_CAD\_Conceptual\_Design\_1123167\_C1\_X\_CONCEPT\_PLAN-PH2.dwg DATE: 02/05/2025 TIME: 08:15:19 AM (by: zkeith)



-  BLOCK-LITE SPLIT FACE CMU - SLATE #14 - LRV 30
-  BLOCK-LITE SPLIT FACE CMU - DOESKIN #R2-C4 -LRV 47
-  WESTERN STATES STANDING SEAM METAL ROOFING - DARK BRONZE - LRV 28
-  INTEGRAL COLOR CONCRETE RAMP DAVIS #677 OUTBACK - LRV 50
-  OVERHEAD THERMOCORE DOOR - INDUSTRIAL BROWN
-  SOLAR PANEL ASSEMBLY
-  ARCADIA WINDOWS AND DOORS - BRONZE ANODIZED
-  EXTERIOR PAINT COLOR - DOORS - DUNN EDWARDS DET621 PALOMINO PONY LRV 19
-  EXTERIOR PAINT COLOR - METAL LOUVERS AND ESCUTEONS @ STEEL - DUNN EDWARDS DE5216 AUTUMN UMBER LRV 20
-  EXTERIOR PAINT COLOR - VERTICAL WALLS BETWEEN EXISTING AND PHASE 1, & EXISTING BUILDING - DUNN EDWARDS DE6221 FLINSTONE LRV 43
-  EXTERIOR PAINT COLOR - EXISTING BUILDING TRIM - DUNN EDWARDS DET620 BARNWOOD GRAY LRV 31



**B5** EAST ELEVATION - PHASE 01 WITH EXISTING BUILDING  
1/16" = 1'-0"

86.3% PRIMARY MATERIALS



**A5** NORTH ELEVATION - PHASE 01 WITH EXISTING BUILDING  
1/16" = 1'-0"

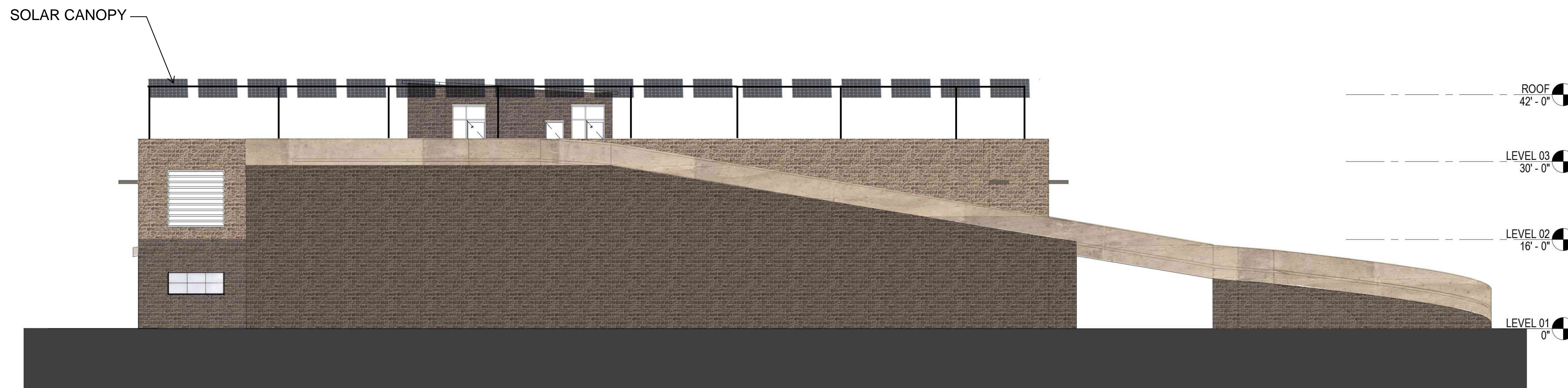
94.7% PRIMARY MATERIALS



**B5** SOUTH ELEVATION - PHASE 01 WITH EXISTING BUILDING  
1/16" = 1'-0"

78.5% PRIMARY MATERIALS

-  BLOCK-LITE SPLIT FACE CMU - SLATE #14 - LRV 30
-  BLOCK-LITE SPLIT FACE CMU - DOESKIN #R2-C4 -LRV 47
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-  OVERHEAD THERMOCORE DOOR - INDUSTRIAL BROWN
-  SOLAR PANEL ASSEMBLY
-  ARCADIA WINDOWS AND DOORS - STANDARD BRONZE ANODIZED
-  EXTERIOR PAINT COLOR - DOORS - DUNN EDWARDS DET621 PALOMINO PONY LRV 19
-  EXTERIOR PAINT COLOR - METAL LOUVERS AND ESCUTEONS @ STEEL - DUNN EDWARDS DE5216 AUTUMN UMBER LRV 20
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-  EXTERIOR PAINT COLOR - EXISTING BUILDING TRIM - DUNN EDWARDS DET620 BARNWOOD GRAY LRV 31



**A5** WEST ELEVATION - PHASE 01  
1/16" = 1'-0"

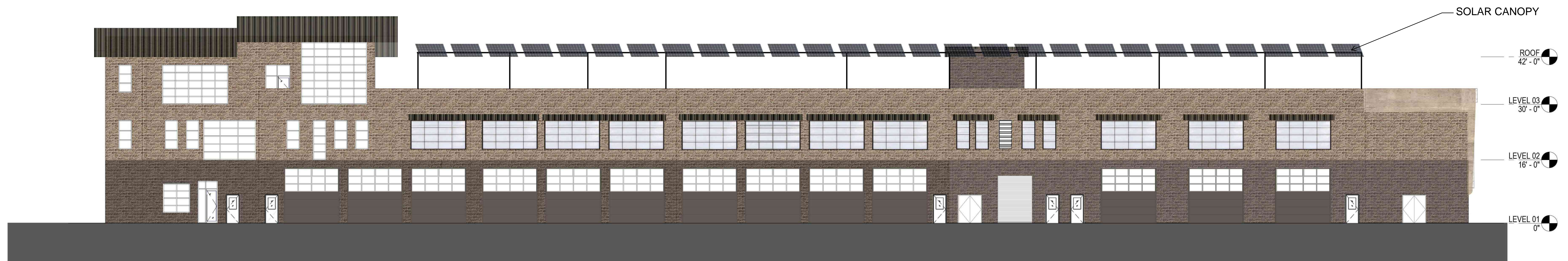
79.5% PRIMARY MATERIALS

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-  EXTERIOR PAINT COLOR - EXISTING BUILDING TRIM - DUNN EDWARDS DET620 BARNWOOD GRAY LRV 31



**C5** EAST ELEVATION - PHASE 02  
1/16" = 1'-0"

80.6% PRIMARY MATERIALS



**A5** NORTH ELEVATION - PHASE 02 WITH PHASE 01  
1/16" = 1'-0"

96.6% PRIMARY MATERIALS





**A5** WEST ELEVATION - PHASE 02 WITH PHASE 01  
1/16" = 1'-0"

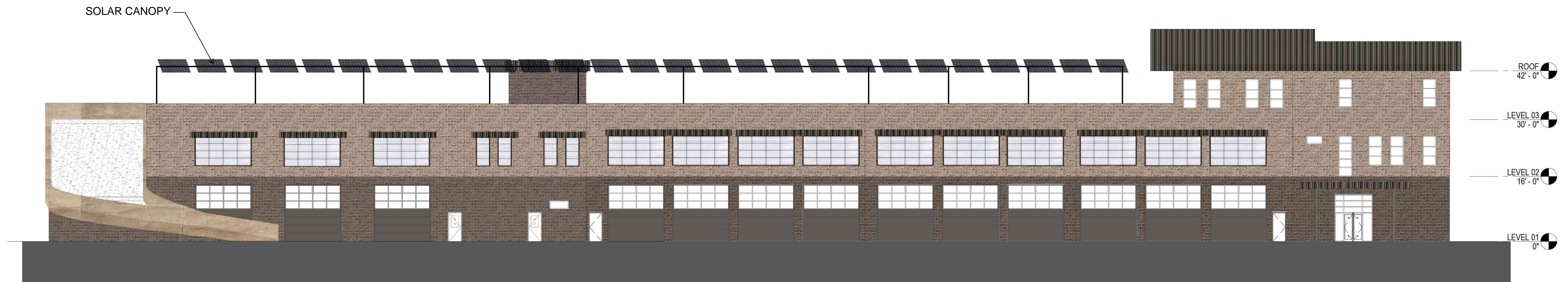
86% PRIMARY MATERIALS

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**1** WEST ELEVATION - PHASE 02 (LEVEL 3)  
1/16" = 1'-0"

100% PRIMARY MATERIALS



B5

SOUTH ELEVATION - PHASE 02 WITH PHASE 01

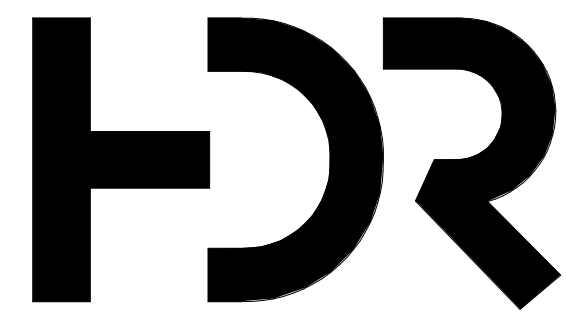
1/16" = 1'-0"

87.7% PRIMARY MATERIALS

- 
BLOCK-LITE SPLIT FACE CMU -  
SLATE #14 - LRV 30
- 
BLOCK-LITE SPLIT FACE CMU -  
DOESKIN #R2-C4 - LRV 47
- 
WESTERN STATES STANDING SEAM  
METAL ROOFING - DARK BRONZE - LRV 28
- 
INTEGRAL COLOR CONCRETE RAMP  
DAVIS #677 OUTBACK - LRV 50
- 
OVERHEAD THERMOCORE DOOR -  
INDUSTRIAL BROWN
- 
SOLAR PANEL ASSEMBLY
- 
ARCADIA WINDOWS AND DOORS -  
BRONZE ANODIZED
- 
EXTERIOR PAINT COLOR - DOORS -  
DUNN EDWARDS DET621 PALOMINO PONY  
LRV 19
- 
EXTERIOR PAINT COLOR - METAL LOUVERS  
AND ESCUTEONS @ STEEL -  
DUNN EDWARDS DE5216 AUTUMN UMBER  
LRV 20
- 
EXTERIOR PAINT COLOR - VERTICAL  
WALLS BETWEEN EXISTING AND PHASE 1,  
& EXISTING BUILDING - DUNN EDWARDS  
DE6221 FLINSTONE LRV 43
- 
EXTERIOR PAINT COLOR - EXISTING  
BUILDING TRIM - DUNN EDWARDS DET620  
BARNWOOD GRAY LRV 31

0 1/2" 1" 2"

**FLOOR PLAN LEGEND**



HDR Architecture  
20 E Thomas rd  
Suite #2500  
Phoenix, AZ 85012

**MOUNTAIN LINE**

3733 N Kasper Dr  
Flagstaff, AZ 86004



**FLOOR PLAN GENERAL NOTES**

1. DRAWINGS & SPECIFICATIONS ARE COMPLEMENTARY COMPONENTS OF THE CONTRACT DOCUMENTS. REVIEW ALL DRAWINGS AND SPECIFICATIONS FOR THE COMPLETE SCOPE OF WORK. NOTIFY ARCHITECT IMMEDIATELY FOR CLARIFICATION IF INCONSISTENCIES, CONTRADICTIONS OR OMISSIONS ARE DISCOVERED.
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9. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL STRUCTURAL SPECIFIC INFORMATION.
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12. HIGHER RATED FIRE WALLS TAKE PRECEDENCE OVER LOWER RATED WALLS & ARE TO CONTINUE THROUGH ALL SUCH INTERSECTIONS.
13. ALL SMOKE BARRIER WALLS ARE TO BE EXTENDED FROM BACK SIDE OF EXTERIOR WALL SHEATHING TO BACK SIDE OF EXTERIOR WALL SHEATHING OR ANOTHER SMOKE BARRIER WALL.

**SHEET KEYNOTES**

Project Manager	Patrick Glowacki
Project Designer	Katherine Dudzik Smith
Project Architect	Rachel McAdoo
Landscape Architect	Claire Eddleman-Health
Civil Engineer	Abhay Khairi
Structural Engineer	Chad Stippel
Mechanical Engineer	Brett McQuillan
Electrical Engineer	Stephen Bowcock
Plumbing Engineer	Robbie Ramey
Interior Designer	Jessi Levin
Equipment Planner	Ken Booth
Wayfinding	

Sheet Reviewer	RM	
MARK	DATE	DESCRIPTION
	03.19.2024	Site Plan Submission

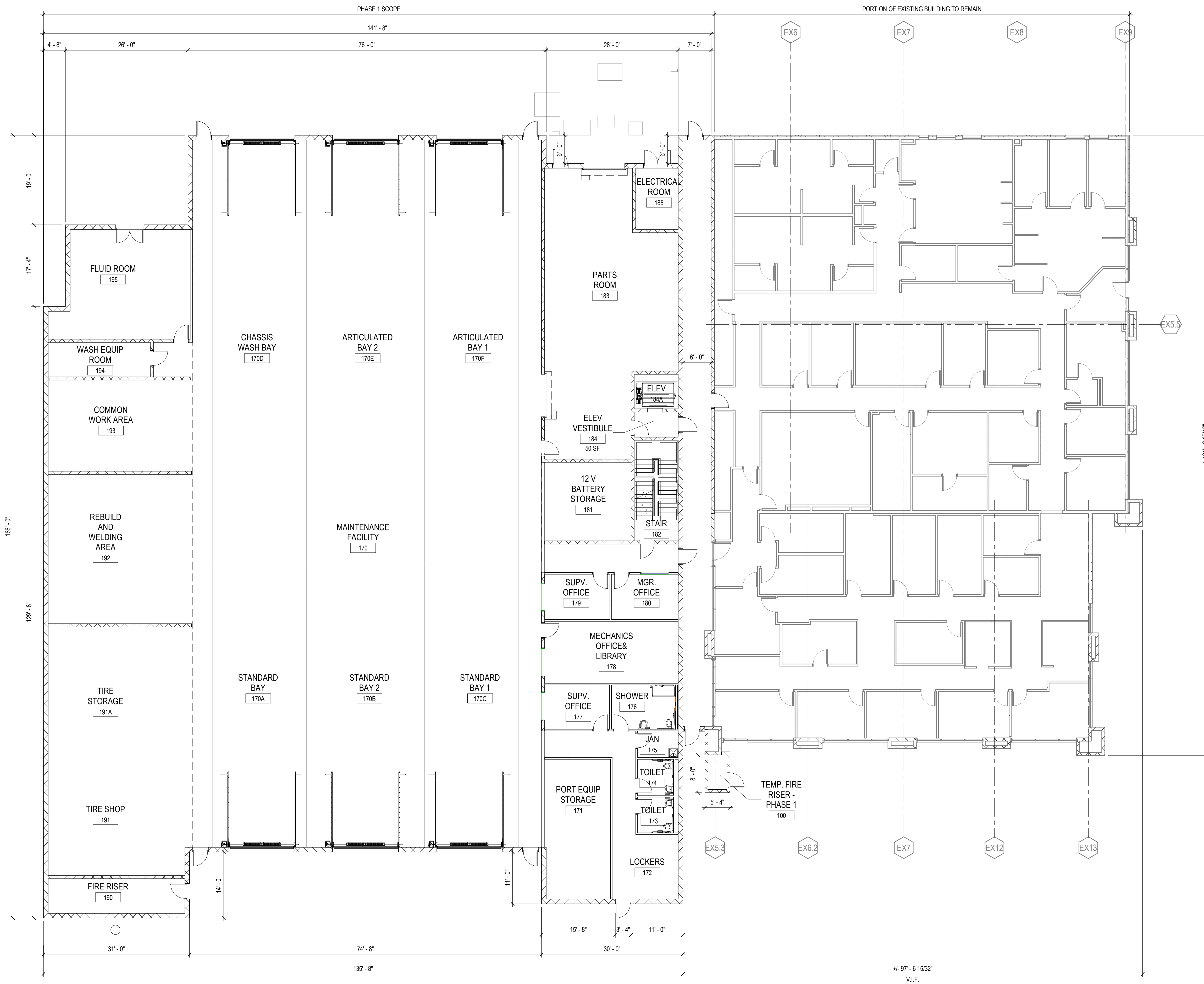
Project Number	10380810
Original Issue	03.19.2024

**PRELIMINARY**  
NOT FOR CONSTRUCTION

Sheet Name  
**PHASE 01 - OVERALL PLAN - LEVEL 01**

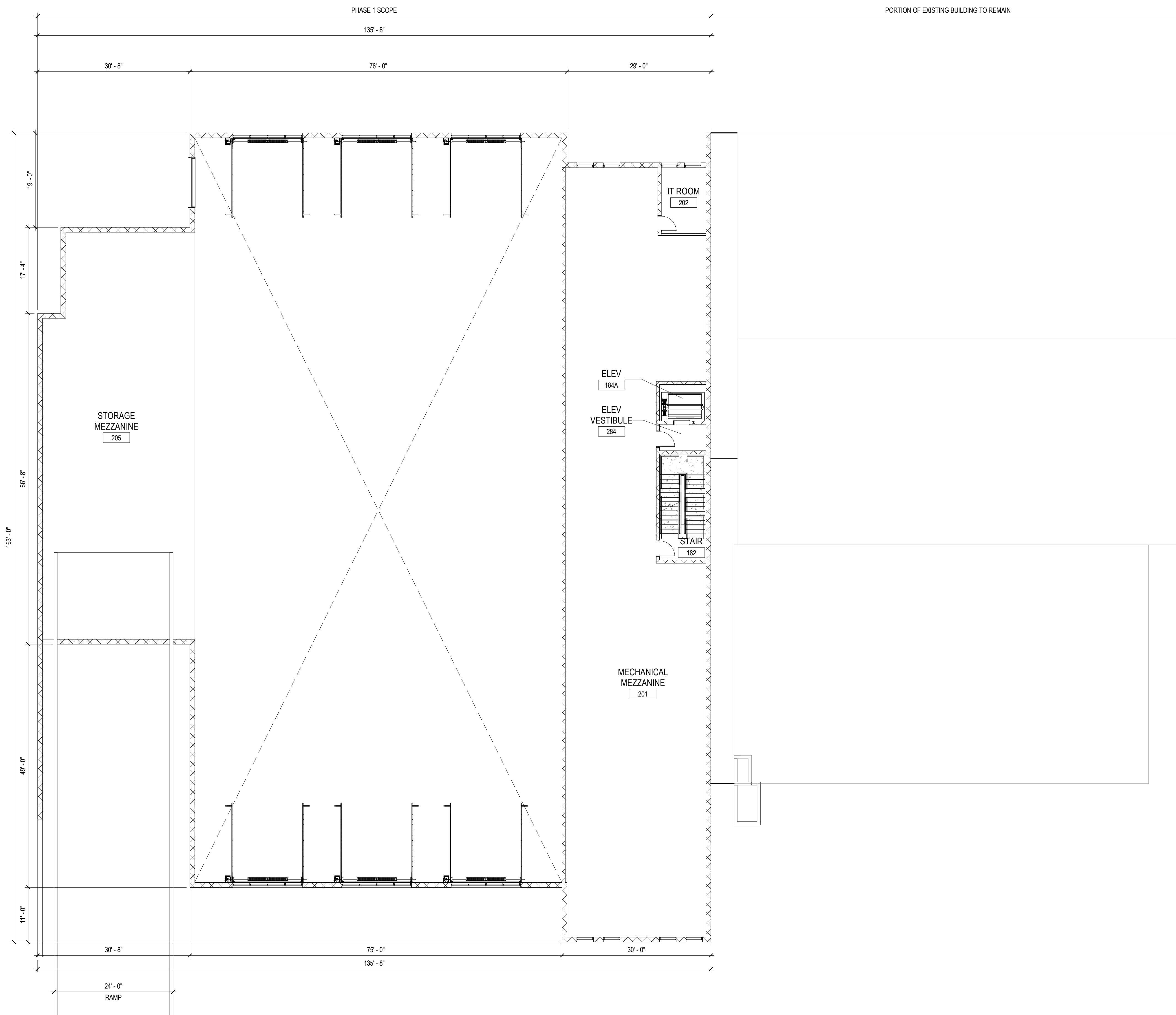
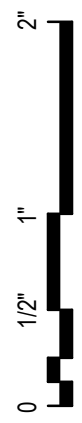
Sheet Number  
**A-101**

Project Status  
Site Plan Review



**A5** PHASE 01 - OVERALL PLAN - LEVEL 01  
3/32" = 1'-0"

3/19/2024 8:39:52 AM  
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 08:10 Overall Plans



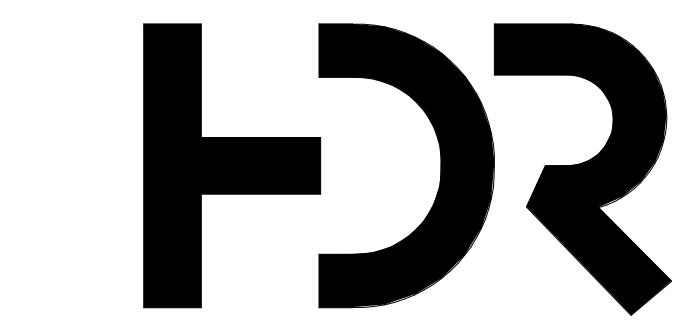
**A5** PHASE 01 - OVERALL PLAN - LEVEL 02  
3/32" = 1'-0"

**FLOOR PLAN LEGEND**

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**SHEET KEYNOTES**



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**Plumbing Engineer** Robbie Ramey  
**Interior Designer** Jessi Levin  
**Equipment Planner** Ken Booth  
**Wayfinding**

**Sheet Reviewer** Author

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01	03.19.2024	Site Plan Submission

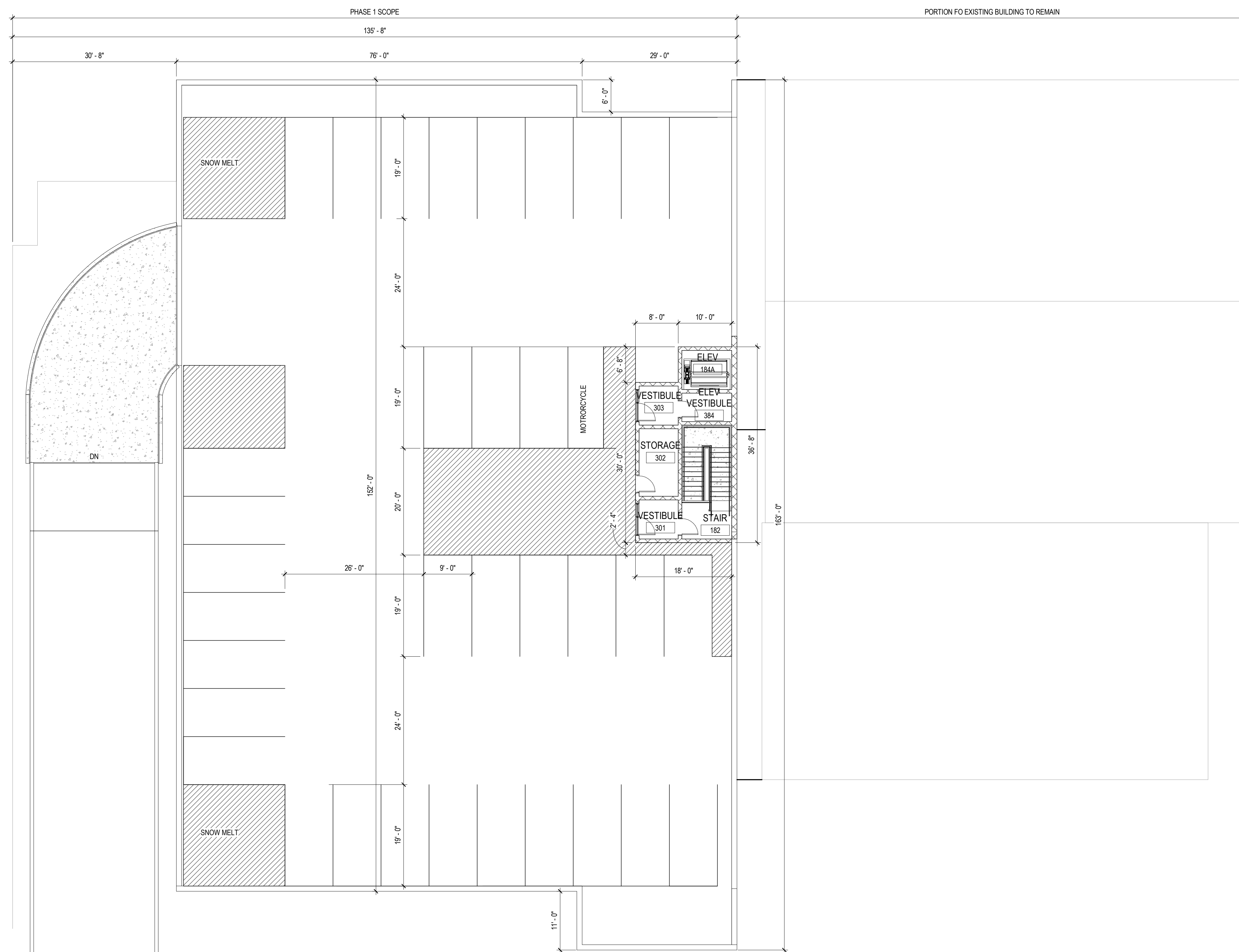
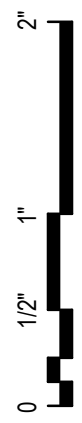
**Project Number** 10380810  
**Original Issue** 03/19/24

**PRELIMINARY**  
NOT FOR CONSTRUCTION

**Sheet Name**  
PHASE 01 - OVERALL PLAN- LEVEL 02

**Sheet Number**  
**A-102**

**Project Status**  
Site Plan Review



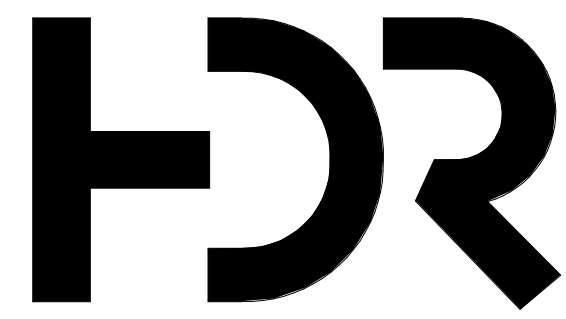
**A5** PHASE 01 - OVERALL PLAN - LEVEL 03  
3/32" = 1'-0"

**FLOOR PLAN LEGEND**

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**Equipment Planner** Ken Booth  
**Wayfinding**

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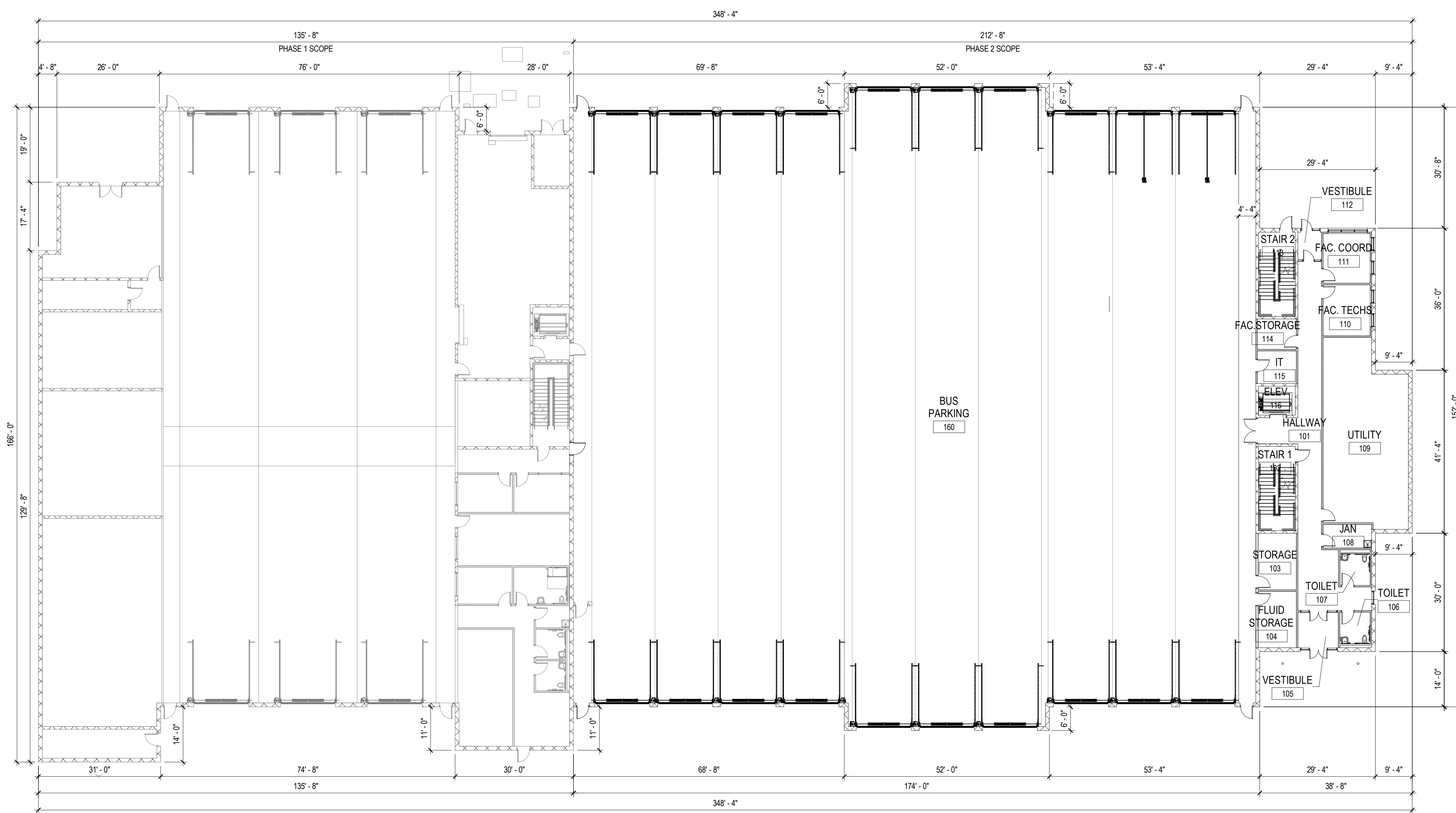
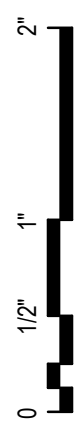
**Project Number** 10380810  
**Original Issue** 03/19/24

**PRELIMINARY**  
NOT FOR CONSTRUCTION

**Sheet Name**  
PHASE 01 - OVERALL  
PLAN- LEVEL 03

**Sheet Number**  
**A-103**

**Project Status**  
Site Plan Review



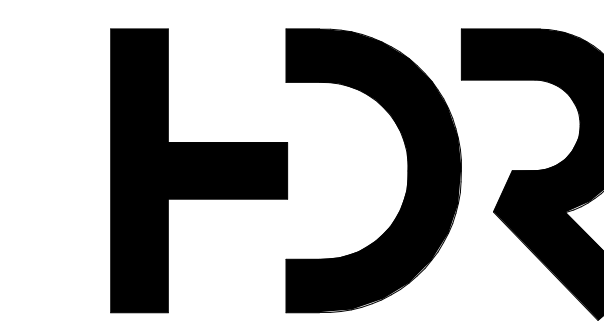
**A5** PHASE 02 - OVERALL PLAN - LEVEL 01  
1/16" = 1'-0"

**FLOOR PLAN LEGEND**

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Wayfinding	

Sheet Reviewer: Author

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Project Number: 10380810  
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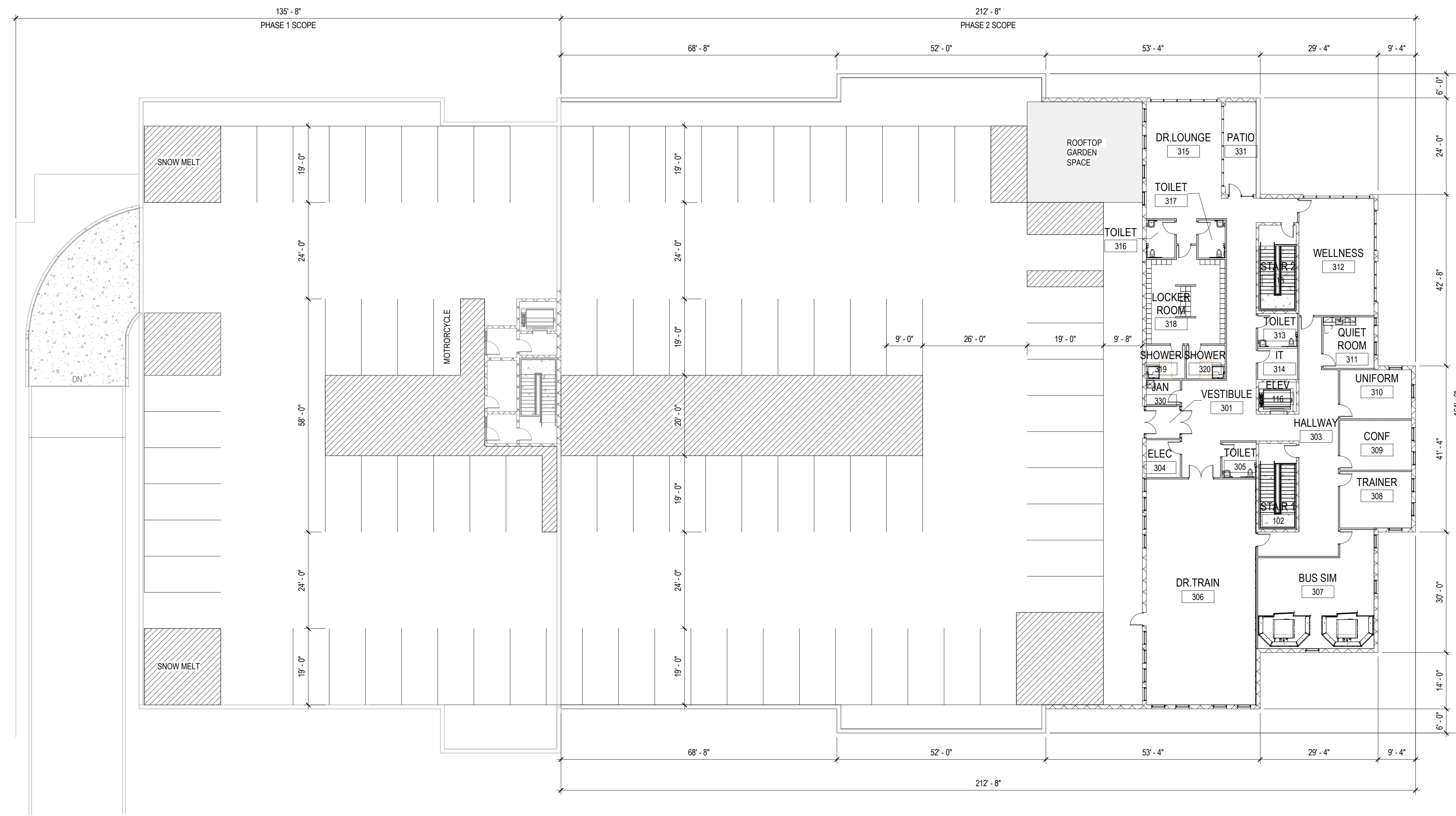
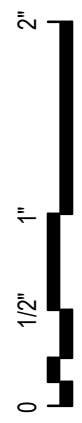
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NOT FOR CONSTRUCTION

Sheet Name:  
**PHASE 02 - OVERALL PLAN - LEVEL 01**

Sheet Number:  
**A-104**

Project Status:  
Site Plan Review





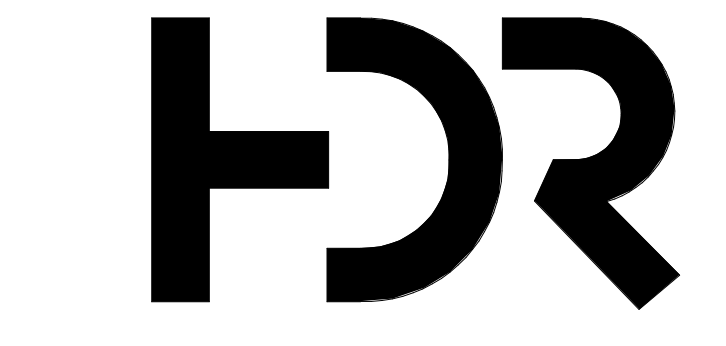
**A5** PHASE 02 - OVERALL PLAN - LEVEL 03  
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<b>Wayfinding</b>	

<b>Sheet Reviewer</b>	Author
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<b>Original Issue</b>	03/19/24

**PRELIMINARY**  
NOT FOR CONSTRUCTION

Sheet Name  
**PHASE 02 - OVERALL PLAN - LEVEL 03**

Sheet Number  
**A-106**

Project Status  
Site Plan Review



May 5, 2025

City of Flagstaff - Planning  
Michelle McNulty – Planning Director  
211 W. Aspen Avenue  
Flagstaff, AZ

Project No. PZ-23-00161-02  
Plan Type Alt. Landscape Plan  
Review Type Site Plan  
Action Approved  
Date 5.8.2025

*APammilli*

Re: Written Request for Alternative Landscape Scheme

Dear Michelle:

We are requesting that our alternative landscape scheme be approved based on two conditions listed in the Flagstaff Zoning Code section 10-50.60.030.E.2. a. The site has space limitations or an unusual shape. b. Topography, soil, or other conditions are such that full compliance is impossible or impractical.

The standard tree and shrub requirements of one tree, two shrubs, and two groundcovers per 25 linear feet of the building perimeter cannot be obtained for this project due to the unusual shape of the lot, turning radiuses and drive paths needed for the required circulation and servicing of Mountain Line's fleet of buses.

Herein we have provided additional details as to how we proposed to fulfill the intention of the code within this highly constrained site.

The north portion of the site near the existing shop 3 building has native Ponderosa Pines and native grasses and is part of the Resource Protection overlay. Supplemental plantings and the introduction of an irrigation system would be disruptive to the native vegetation in this area, so we recommended no disturbance in this part of the site.

Also along the north part of the site is the future Linda Vista Road extension and Mountain Line's planned affordable housing development. Any plantings we might add in this area would be demolished for construction, so we recommend no landscape improvements in this zone.

Stormwater retention basins will take up a good portion of the landscape area at the entry and are planned to be seeded. The introduction of trees and shrubs in these retention basins will inhibit the functionality of the basins, so these areas were not available for landscape improvements.

The south portion of the site (along Kaspar Drive) has existing planting (in good condition) at the entryway and along the sidewalk that are designated to remain. (This plant material was planted at the time of shop 3's construction and met code requirements at that time.) We are proposing to add new plantings along the sidewalk to enhance the pedestrian experience and screening of the project from the public right-of-way. In that same area, and in the right-of-way (off site), we are proposing shrubs and groundcovers to help offset some of the on-site deficiencies.

Below is a summary of where the numbers stand and what we are proposing to compensate. All this information is in the charts on the plans in a different format. We believe this approach is reasonable given the site constraints.

#### Phase 1 Foundation

- 25 Tree deficit (32 trees required, 7 existing trees to remain)
- Existing shrubs and groundcovers are to remain around existing building where possible, exact quantity is unknown and is estimated at 30 shrubs and 30 groundcovers. 65 Shrubs and 65 groundcovers are required.



- No new trees, shrubs or groundcover proposed around the building. Any areas (that are very minimal) that can be planted will be demolished for phase 2.

#### Phase 2 Foundation

- 38 Tree deficit (42 trees required, 4 trees provided)
- 50 Shrub deficit (84 shrubs required, 34 shrubs provided)
- 77 Groundcover deficit (84 groundcovers required, 7 groundcovers provided)

#### Compensation

- 17 Additional trees are proposed in areas that are not in any required landscape calculation zones
  - 4 Baby Blue Eyes Spruce – 6' ht. (Phase 1)
  - 1 Autumn Blaze Maple – 4" cal. (Phase 1)
  - 6 Crabapple – 2" cal. (Phase 1)
  - 5 Redbud (native tree) – 15 gal. (Phase 1)
  - 1 Autumn Blaze Maple – 4" cal. (Phase 2)
- All 9 proposed Autumn Blaze Maple trees (7 in Phase 1 and 2 in Phase 2) are upsized to 4" caliper (City requires 2" caliper). We have upsized these trees to help compensate for the fewer number of trees.
- We have provided 20 additional shrubs in the streetscape buffer above the required minimum.
- We have provided 15 additional shrubs and 15 additional groundcovers outside the required foundation planting zone for Phase 1.
- We have provided 7 additional shrubs that are outside of the required building foundation planting zone for Phase 2.
- The coverage of plantings in the parkway is over the minimum 50% coverage by 4 percent. Currently the parkway is natural grass, and the introduction of low shrubs and groundcovers will help to enhance the pedestrian experience and save on water resources.

Sincerely,  
Norris Design

Aaron Hayne  
Senior Associate

# MOUNTAIN LINE KASPAR MAINTENANCE FACILITY

## FLAGSTAFF, ARIZONA

### PROJECT TEAM:

DEVELOPER/OWNER:  
MOUNTAIN LINE  
3778 N. KASPAR DRIVE  
FLAGSTAFF, AZ 86004  
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PHOENIX, AZ 85012  
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LANDSCAPE ARCHITECT:  
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6 EAST ASPEN AVENUE  
FLAGSTAFF, AZ 81006  
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CIVIL ENGINEER:  
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PHOENIX, AZ 85020  
CONTACT: ZACH KEITH  
EMAIL: ZACH.KEITH@DIBBLECORP.COM

### GENERAL CONSTRUCTION NOTES

- THE CONTRACTOR AND OWNER'S REPRESENTATIVE SHALL CONTACT THE LANDSCAPE ARCHITECT FOR A PRE-CONSTRUCTION MEETING PRIOR TO START OF ANY WORK SHOWN ON THESE PLANS.
- THESE PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION OR PERMITTING UNLESS STATED FOR SUCH USE IN THE TITLE BLOCK.
- DRAWINGS ARE INTENDED TO BE PRINTED ON 24" X 36" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERENCING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM INCORRECT PRINTING, COPYING, OR ANY OTHER CHANGES THAT ALTER THE SCALE OF THE DRAWINGS.
- VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
- THE CONTRACTOR SHALL PROVIDE A STAKED LAYOUT OF ALL SITE IMPROVEMENTS FOR INSPECTION BY THE OWNER'S REPRESENTATIVE AND MAKE MODIFICATIONS AS REQUIRED. ALL LAYOUT INFORMATION IS AVAILABLE IN DIGITAL FORMAT FOR USE BY THE CONTRACTOR.
- IF A GEOTECHNICAL SOILS REPORT IS NOT AVAILABLE AT THE TIME OF CONSTRUCTION, NORRIS DESIGN RECOMMENDS A REPORT BE AUTHORIZED BY THE OWNER AND THAT ALL RECOMMENDATIONS OF THE REPORT ARE FOLLOWED DURING CONSTRUCTION. THE CONTRACTOR SHALL USE THESE CONTRACT DOCUMENTS AS A BASIS FOR THE BID. IF THE OWNER ELECTS TO PROVIDE A GEOTECHNICAL REPORT, THE CONTRACTOR SHALL REVIEW THE REPORT AND SUBMIT AN APPROPRIATE CHANGE ORDER TO THE OWNER'S REPRESENTATIVE IF ADDITIONAL COSTS ARE REQUESTED.
- CONTRACTOR SHALL CONFIRM THAT SITE CONDITIONS ARE SIMILAR TO THE PLANS. WITHIN TOLERANCES STATED IN THE CONTRACT DOCUMENTS, AND SATISFACTORY TO THE CONTRACTOR PRIOR TO START OF WORK. SHOULD SITE CONDITIONS BE DIFFERENT THAN REPRESENTED ON THE PLANS OR UNSATISFACTORY TO THE CONTRACTOR, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND FURTHER DIRECTION.
- CONTRACTOR IS RESPONSIBLE TO PAY FOR, AND OBTAIN, ANY REQUIRED APPLICATIONS, PERMITTING, LICENSES, INSPECTIONS AND METERS ASSOCIATED WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO ANY VIOLATIONS OR NON-COMFORMANCE WITH THE PLANS, SPECIFICATIONS, CONTRACT DOCUMENTS, JURISDICTIONAL CODES, AND REGULATORY AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL UTILITY LOCATES PRIOR TO ANY EXCAVATION. REFER TO ENGINEERING UTILITY PLANS FOR ALL PROPOSED UTILITY LOCATIONS AND DETAILS. NOTIFY OWNER'S REPRESENTATIVE IF EXISTING OR PROPOSED UTILITIES INTERFERE WITH THE ABILITY TO PERFORM WORK.
- UNLESS IDENTIFIED ON THE PLANS FOR DEMOLITION OR REMOVAL, THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT OR EXISTING LANDSCAPE, ADJACENT OR EXISTING PAVING, OR ANY PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION, ESTABLISHMENT OR DURING THE SPECIFIED MAINTENANCE PERIOD. ALL DAMAGES SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS AS DETERMINED BY THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL BE RESPONSIBLE FOR LOGGING ANY DAMAGES PRIOR TO START OF CONSTRUCTION AND DURING THE CONTRACT PERIOD.
- ALL WORK SHALL BE CONFINED TO THE AREA WITHIN THE CONSTRUCTION LIMITS AS SHOWN ON THE PLANS. ANY AREAS OR IMPROVEMENTS DISTURBED OUTSIDE THESE LIMITS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THE CONTRACTOR REQUIRES A MODIFICATION TO THE CONSTRUCTION LIMITS, WRITTEN PERMISSION MUST BE OBTAINED FROM THE OWNER'S REPRESENTATIVE PRIOR TO ANY DISTURBANCE OUTSIDE OF THE LIMITS OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE APPROPRIATE JURISDICTIONAL AGENCIES AND THE OWNER'S REPRESENTATIVE IF THEIR WORK AND OPERATIONS AFFECT OR IMPACT THE PUBLIC RIGHTS-OF-WAY. OBTAIN APPROVAL PRIOR TO ANY WORK WHICH AFFECTS OR IMPACTS THE PUBLIC RIGHTS-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THIS REQUIREMENT DURING THE CONTRACT PERIOD.
- SIGHT TRIANGLES AND SIGHT LINES SHALL REMAIN UNOBSTRUCTED BY EQUIPMENT, CONSTRUCTION MATERIALS, PLANT MATERIAL OR ANY OTHER VISUAL OBSTACLE DURING THE CONTRACT PERIOD AND AT MATURITY OF PLANTS PER LOCAL JURISDICTIONAL REQUIREMENTS. CLEAR HEIGHT AND WIDTH REQUIREMENTS PER ENGINEERING STANDARDS SECTION 13-10-006-0002 (INTERSECTION SIGHT TRIANGLES, CLEAR ZONE VIEWS) AND AASTHO (ORD. 2017-22, REP&REEN, 07/05/2017).
- NO PLANT MATERIAL OTHER THAN GROUND COVER IS ALLOWED TO BE PLANTED ADJACENT TO FIRE HYDRANTS AS STIPULATED BY JURISDICTIONAL REQUIREMENTS.
- COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNERS REPRESENTATIVE.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SAFETY FENCING AND BARRIERS AROUND ALL IMPROVEMENTS SUCH AS WALLS, PLAY STRUCTURES, EXCAVATIONS, ETC. ASSOCIATED WITH THEIR WORK UNTIL SUCH FACILITIES ARE COMPLETELY INSTALLED PER THE PLANS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF THEIR MATERIAL STOCK PILES AND WORK FROM VANDALISM, EROSION OR UNINTENDED DISTURBANCE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE IS ISSUED.
- THE CONTRACTOR SHALL KNOW, UNDERSTAND AND ABIDE BY ANY STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ASSOCIATED WITH THE SITE. IF A STORM WATER POLLUTION PREVENTION PLAN IS NOT PROVIDED BY THE OWNER'S REPRESENTATIVE, REQUEST A COPY BEFORE PERFORMANCE OF ANY SITE WORK.
- MAINTAIN ANY STORM WATER MANAGEMENT FACILITIES THAT EXIST ON SITE FOR FULL FUNCTIONALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ANY NEW STORM WATER MANAGEMENT FACILITIES THAT ARE IDENTIFIED IN THE SCOPE OF WORK TO FULL FUNCTIONALITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER FOR FAILURE TO MAINTAIN STORM WATER MANAGEMENT FACILITIES DURING THE CONTRACT PERIOD.
- THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM EXITING THE SITE OR ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION OR CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PREVENT ANY IMPACTS TO ADJACENT WATERWAYS, WETLANDS, OR OTHER ENVIRONMENTALLY SENSITIVE AREAS RESULTING FROM WORK AS PART OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE STANDARDS DURING THEIR CONTRACTED COURSE OF WORK.
- THE CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CONSTRUCTION MATERIAL IMPORTED TO OR EXPORTED FROM THE PROJECT SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF MATERIAL DURING TRANSPORT. TRANSPORTATION METHODS ON PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY FINES OR PENALTIES ASSESSED TO THE OWNER RELATING TO THESE REQUIREMENTS.
- THE CLEANING OF EQUIPMENT IS PROHIBITED AT THE JOB SITE UNLESS AUTHORIZED BY THE OWNER'S REPRESENTATIVE IN A DESIGNATED AREA. THE DISCHARGE OF WATER, WASTE CONCRETE, POLLUTANTS, OR OTHER MATERIALS SHALL ONLY OCCUR IN AREAS DESIGNED FOR SUCH USE AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CLEANING OF CONCRETE EQUIPMENT IS PROHIBITED AT THE JOB SITE EXCEPT IN DESIGNATED CONCRETE WASHOUT AREAS. THE DISCHARGE OF WATER CONTAINING WASTE CONCRETE IN THE STORM SEWER IS PROHIBITED.
- THE USE OF REBAR, STEEL STAKES, OR STEEL FENCE POSTS TO STAKE DOWN STRAW OR HAY BALES OR TO SUPPORT SILT FENCING USED AS AN EROSION CONTROL MEASURE IS PROHIBITED.
- OPEN SPACE SWALES: IF SWALES ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE CONVEYANCE OF WATER WITHIN THE SWALES DURING THE CONTRACT PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIVERSION OR PUMPING OF WATER IF REQUIRED TO COMPLETE WORK. ANY SWALES DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE SWALE NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
- DETENTION AND WATER QUALITY PONDS: IF DETENTION PONDS AND WATER QUALITY PONDS ARE EXISTING ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE PONDS, DRAINAGE STRUCTURES AND SPILLWAYS DURING CONSTRUCTION. ALL PONDS, DRAINAGE STRUCTURES AND SPILLWAYS SHALL BE MAINTAINED IN OPERABLE CONDITIONS AT ALL TIMES. ANY POND OR SPILLWAY AREAS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. IF THE POND NEEDS TO BE DISTURBED OR MODIFIED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DISTURBANCE.
- MAINTENANCE ACCESS BENCHES: IF MAINTENANCE BENCHES OR ACCESS ROADS EXIST ON SITE AND ARE NOT INTENDED TO BE MODIFIED AS PART OF THE PLANS, THE CONTRACTOR SHALL MINIMIZE DISTURBANCE TO THE BENCHES OR ACCESS ROADS DURING CONSTRUCTION. ANY BENCHES OR ACCESS ROADS DISTURBED BY THE CONTRACTOR SHALL BE REPAIRED/RESTORED TO THEIR ORIGINAL CONDITION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING BENCHES AND ACCESS ROADS DURING THE CONSTRUCTION PERIOD. IF ACCESS NEEDS TO BE BLOCKED FOR ANY REASON, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INTERRUPTION OF ACCESS.
- LOCAL, STATE AND FEDERAL JURISDICTIONAL REQUIREMENTS, RESTRICTIONS OR PROCEDURES SHALL SUPERSEDE THESE PLANS, NOTES AND SPECIFICATIONS WHEN MORE STRINGENT. NOTIFY THE OWNER'S REPRESENTATIVE IF CONFLICTS OCCUR.

### CITY OF FLAGSTAFF - LANDSCAPING NOTES

ADJACENT SITE IMPROVEMENTS, PAVEMENT CONSTRUCTION, IRRIGATION INSTALLATION AND FINISH GRADING SHALL BE COMPLETED PRIOR TO PLANTING WORK. DO NOT PLANT WHEN CONDITIONS ARE NOT SUITABLE FOR DIGGING, MIXING, RAKING AND/OR GRADING. PLANTING NEEDS TO OCCUR DURING THE MONTHS THAT IRRIGATION SYSTEMS ARE IN OPERATION, THEREFORE, PLANTING MAY OCCUR BETWEEN APRIL 1 AND SEPTEMBER 30.

#### TREE AND SHRUB INSTALLATION

- SOIL EXCAVATED FROM THE PLANTING PIT SHALL BE TYPICALLY CONSIDERED ACCEPTABLE AS BACKFILL MATERIAL FOR PLANTING.
- ALL CONTAINERS SHALL BE REMOVED PRIOR TO PLANT INSTALLATION IN A MANNER THAT DOES NOT DISTURB THE POTTED SOIL OR ROOT BALL.
- SET THE ROOT BALL ON SIX (6) INCHES OF FIRM PLANTING SOIL, PLUMB AND IN THE CENTER OF THE PIT WITH THE ROOT BALL CROWN SLIGHTLY ABOVE THE SAME ELEVATION AS ADJACENT FINISHED LANDSCAPE GRADES. REMOVE ANY WIRE, TWINE, BURLAP, OR OTHER MATERIAL FROM THE UPPER ONE THIRD OF THE ROOT BALL. OF BALLED AND BURLAPPED STOCK, WIRE BASKETS AND SYNTHETIC BURLAP SHALL BE COMPLETELY REMOVED AFTER THE ROOT BALL HAS BEEN PLACED IN ITS FINAL LOCATION.
- ONCE PLANT IS SET, PLACE BACKFILL MATERIAL AROUND BASE AND SIDES OF ROOT BALL AND WORK EACH LAYER TO SETTLE BACKFILL AND ELIMINATE VOIDS. WHEN BACKFILLING IS 2/3 COMPLETE, WATER THOROUGHLY. PLACE THE REMAINDER OF THE BACKFILL AND REPEAT WATERING UNTIL NO MORE IS ABSORBED. PLACE THE FINAL LAYER OF BACKFILL AND WATER.
- ALL DECIDUOUS TREES SHALL BE WRAPPED FROM THE GROUND LINE UP TO AND INCLUDING THE FIRST PRIMARY CROTCH FORMED BY THE FIRST MAJOR BRANCH. WRAPPING SHALL BE DONE AFTER THE PLANT HAS BEEN INSTALLED.
- TWO TO THREE INCHES OF SPECIFIED MULCH SHALL BE PLACED IN THE AREA DISTURBED BY EXCAVATION OF THE PLANTING WELL.

#### GROUND COVER INSTALLATION

- PRIOR TO PLANTING ACTIVITIES, COMPLETELY REMOVE EXISTING WEEDS, INCLUDING ROOTS, IMMEDIATELY PRIOR TO INSTALLATION. CULTIVATE GROUND COVER AREAS TO A DEPTH OF SIX (6) INCHES AND GRADE SMOOTHLY AND UNIFORMLY. PLANT GROUND COVER SO THE ROOT CROWN IS AT OR SLIGHTLY ABOVE THE BED'S FINISH GRADE. AFTER PLANTING OF GROUND COVER AND PRIOR TO MULCHING, SPREAD PRE-EMERGENT WEED CONTROL OVER PLANTING BED SOIL SURFACE IN ACCORDANCE WITH MANUFACTURER'S WRITTEN DIRECTIONS. INSTALL THE SPECIFIED MULCH TO A DEPTH OF TWO (2) INCHES OVER THE ENTIRE GROUND COVER BED.

#### LANDSCAPE COMPLETION

- PRUNE DEAD OR DAMAGED BRANCHES, MAKING ALL CUTS AT BRANCH COLLAR. MAINTAIN THE NATURAL HABIT, SHAPE AND SPECIFIED SIZE. REMOVE ALL TAGS, LABELS, AND OTHER MATERIAL. (ORD. 2017-22, REP&REEN, 07/05/2017)

### DETENTION BASIN SEED MIX

SEED MIX PER TITLE 17 FLAGSTAFF ENGINEERING STANDARDS

COMMON NAME	POUNDS PER ACRE
Blue Flax	3.0
Canada Bluegrass	0.5
Prairie Coneflower	1.0
Rocky Mountain Penstemon	2.5
Streambank Wheatgrass	3.0
"Covey" Sheep Fescue	3.0
Little Bluestem	2.0
Gaillardia Aristata	4.0
California Poppy	1.0

### NATIVE SEED MIX (for seeded areas outside of detention basins)

MONTANE MEADOW SEED MIX BY WESTERN NATIVE SEED:  
www.westernnativeseed.com

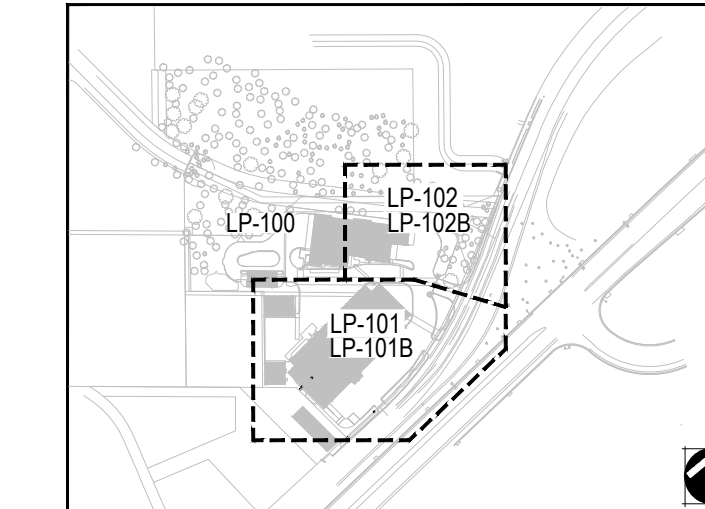
SPECIES	COMMON NAME	%
Linum perenne lewisii	Blue Flax	6.0
Penstemon strictus	Rocky Mt Penstemon	6.0
Gaillardia aristata	Perennial Gaillardia	3.6
Dalea purpurea	Purple Prairie Clover	3.0
Ratibida columifera	Prairie Coneflower	3.0
Oxytropis sericea	Silky Locoweed	3.0
Cleome serrulata	Rocky Mt. Beeplant	1.5
Penstemon exaltii	Firecracker Penstemon	1.5
Rudbeckia hirta	Black-eyed Susan	0.9
Heliomeris multiflora	Showy Goldeneye	0.6
Machaeranthera bigelovii	Purple Aster	0.6
Penstemon virgatus	Wand Beardtongue	0.1
Aquilegia coerulea	Blue Columbine	0.2
Elymus trachycalus	Slender Wheatgrass	17.5
Elymus lanceolatus	Thickspike Wheatgrass	17.5
Bromus ciliatus	Fringed Brome	14.0
Bouteloua gracilis	Blue Grama	7.0
Festuca arizonica	Arizona Fescue	7.0
Sporobolus crylandrus	Sand Dropseed	4.2
Koeleria macrantha	Junegrass	1.4
Poa fendleriana	Mutton Grass	1.4

SEEDING RATE AT 43.5 LBS. PER ACRE

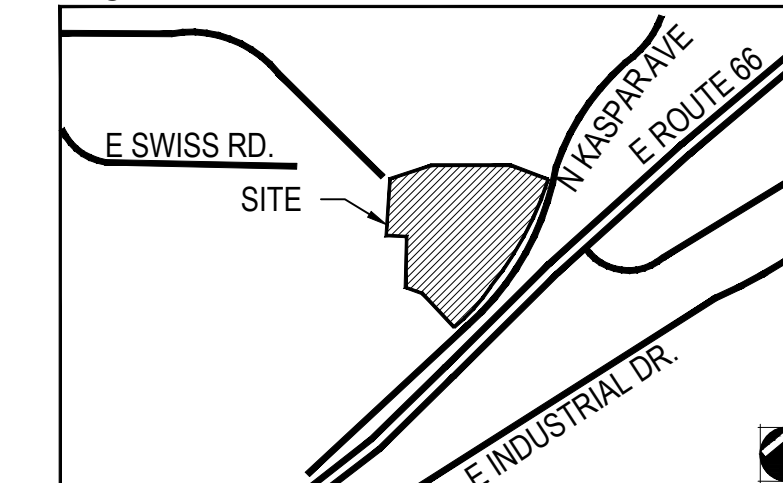
### SHEET INDEX

SHEET #	DESCRIPTION	07/25/24 ISSUED FOR: SITE PLAN	02/07/25 ISSUED FOR: SITE PLAN RESUBMITTAL	03/14/25 ISSUED FOR: SITE PLAN RESUBMITTAL	04/08/25 ISSUED FOR: SITE PLAN RESUBMITTAL	05/05/25 ISSUED FOR: SITE PLAN RESUBMITTAL
LP-001	LANDSCAPE COVER	X	X	X	X	X
LP-002	COF CALCULATIONS	X	X	X	X	X
LP-003	NRPP	X	X	X	X	X
LP-100	OVERALL PLAN	X	X	X	X	X
LP-101	LANDSCAPE PLAN - PHASE 1	X	X	X	X	X
LP-102	LANDSCAPE PLAN - PHASE 1	X	X	X	X	X
LP-101B	LANDSCAPE PLAN - PHASE 2	X	X	X	X	X
LP-102B	LANDSCAPE PLAN - PHASE 2	X	X	X	X	X
LP-501	LANDSCAPE DETAILS	X	X	X	X	X
LI-001	IRRIGATION NOTES AND SCHEDULE	X	X	X	X	X
LI-101	IRRIGATION PLAN - PHASE 1	X	X	X	X	X
LI-102	IRRIGATION PLAN - PHASE 1	X	X	X	X	X
LI-101B	IRRIGATION PLAN - PHASE 2	X	X	X	X	X
LI-102B	IRRIGATION PLAN - PHASE 2	X	X	X	X	X
LI-501	IRRIGATION DETAILS	X	X	X	X	X

### KEY MAP



### VICINITY MAP



LANDSCAPE PLAN APPROVAL		
Case #	Approved by	Date
CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND ALL DEVIATIONS WILL REQUIRE REAPPROVAL. THE CITY WILL NOT ISSUE A C O F O UNTIL INSPECTION SERVICES STAFF APPROVES THE LANDSCAPE INSTALLATION.		

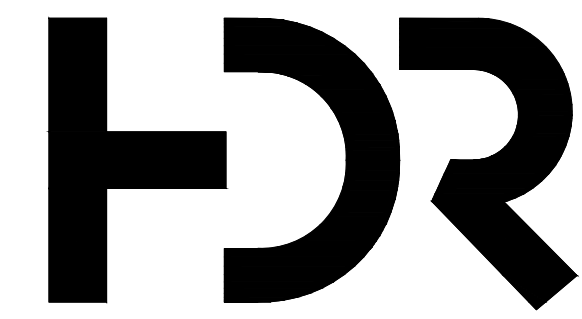
### 13-06-003-0001 Plan and Support Information Required

BY SIGNING THESE PLANS, THE DESIGNER OF THE GRADING PLANS CONFIRMS THAT THESE LANDSCAPING PLANS HAVE BEEN REVIEWED, IS AWARE OF THE SCOPE OF THE PROJECT, AND HAS IDENTIFIED AND ADDRESSED ANY POTENTIAL CONFLICTS BETWEEN THE GRADING AND LANDSCAPING PLANS.

----NOT FOR CONSTRUCTION----

ENGINEER/DESIGNER

DATE



**NORRIS DESIGN**  
PEOPLE + PLACEMAKING

6 EAST ASPEN AVENUE  
SUITE 260  
FLAGSTAFF, AZ 86001  
P 928.233.3021

[NORRIS-DESIGN.COM](http://NORRIS-DESIGN.COM)

**PRELIMINARY  
NOT FOR  
CONSTRUCTION  
OR RECORDING**

## MOUNTAIN LINE KASPAR HEADQUARTERS MAINTENANCE FACILITY

3773 N. Kaspar Drive  
Flagstaff, AZ 86004



Project Manager	Patrick Glowacki
Project Designer	Katherine Dudzik Smith
Project Architect	Rachel McAdoo
Landscape Architect	Aaron Hayne
Civil Engineer	Zach Keith
Structural Engineer	Chad Stippel
Mechanical Engineer	Brett McQuillan
Electrical Engineer	Stephen Bowcock
Plumbing Engineer	Robbie Ramsey
Interior Designer	Jessi Levin
Equipment Planner	Ken Booth
Wayfinding	-
Sheet Reviewer	ME, AH

MARK	DATE	DESCRIPTION
	07.25.2024	SITE PLAN SUBMISSION
	02.07.2025	SITE PLAN RE-SUBMISSION
	03.14.2025	SITE PLAN RE-SUBMISSION
	04.08.2025	SITE PLAN RE-SUBMISSION
	05.05.2025	SITE PLAN RE-SUBMISSION

Project Number	10389810
Original Issue	07-25-2024

Sheet Name

LANDSCAPE COVER

Scale

N/A

Sheet Number

**LP-001**

Project Status

SITE PLAN DRAWINGS

STREET LANDSCAPE BUFFER - N KASPAR DR.			
TOTAL LINEAR FEET			693
TREES PER LINEAR FEET			28
TREE CREDITS			
Category	DBH		Credit
≥6" DBH AND <10" DBH			
SB-3	8		1
SB-9	8		1
SB-8	8		1
SB-10	8		1
≥10" DBH AND <18" DBH			
SB-1	16		2
SB-2	12		2
SB-4	10		2
SB-6	16		2
SB-11	10		2
≥18" DBH			
SB-5	20		3
SB-7	24		3
TOTAL TREES REQUIRED			
TOTAL SHRUBS REQUIRED	2 PER TREE		16
TOTAL GROUNDCOVER REQUIRED	2 PER TREE		16
TOTAL TREES PROVIDED			
TOTAL SHRUBS PROVIDED			8
TOTAL GROUNDCOVER PROVIDED			36

PERIPHERAL LANDSCAPE BUFFER			
TOTAL LINEAR FEET			300
TREES PER LINEAR FEET			12
TREE CREDITS			
Category	DBH		Credit
≥6" DBH AND <10" DBH			
PB-3	8		1
≥10" DBH AND <18" DBH			
PB-2	12		2
PB-4	10		2
PB-5	12		2
PB-6	16		2
PB-11	10		2
PB-12	10		2
PB-13	10		2
≥18" DBH			
PB-1	22		3
PB-10	18		3
PB-14	20		3
TOTAL TREES REQUIRED			
TOTAL SHRUBS REQUIRED	2 PER TREE		-12
TOTAL GROUNDCOVER REQUIRED	2 PER TREE		-24
TOTAL TREES PROVIDED			
TOTAL SHRUBS PROVIDED			0
TOTAL GROUNDCOVER PROVIDED			0

BUILDING FOUNDATION BUFFER - PH 1			
TOTAL LINEAR FEET			811
1 TREES PER 25 LINEAR FEET			32
TREE CREDITS FOR EXISTING TREES			
Category	DBH		Credit
≥6" DBH AND <10" DBH			
Tree #			0
≥10" DBH AND <18" DBH			
Tree #			0
≥18" DBH			
Tree #			0
TOTAL TREES REQUIRED			
TOTAL SHRUBS REQUIRED	2 PER TREE		32
TOTAL GROUNDCOVER REQUIRED	2 PER TREE		65
TOTAL TREES PROVIDED AROUND FOUNDATION			
EXISTING TREES AROUND FOUNDATION			0
TOTAL TREES PROVIDED ON SITE ELSEWHERE**			7
TOTAL SHRUBS PROVIDED			16
TOTAL GROUNDCOVER PROVIDED			*
* All shrubs and groundcovers around the portion of building to remain shall remain. No new shrubs or groundcovers are proposed around the building for Phase 1			
** Trees for Proposed Alternate Landscape Scheme			

BUILDING FOUNDATION BUFFER - PH 1 AND PH 2			
TOTAL LINEAR FEET			1048
1 TREES PER 25 LINEAR FEET			42
TREE CREDITS FOR EXISTING TREES			
Category	DBH		Credit
≥6" DBH AND <10" DBH			
Tree #			0
≥10" DBH AND <18" DBH			
Tree #			0
≥18" DBH			
Tree #			0
TOTAL TREES REQUIRED			
TOTAL SHRUBS REQUIRED	2 PER TREE		42
TOTAL GROUNDCOVER REQUIRED	2 PER TREE		84
TOTAL TREES PROVIDED AROUND FOUNDATION			
EXISTING TREES AROUND FOUNDATION			4
TOTAL TREES PROVIDED ON SITE ELSEWHERE**			0
TOTAL SHRUBS PROVIDED			17
TOTAL GROUNDCOVER PROVIDED			34
** Trees for Proposed Alternate Landscape Scheme			

PARKWAY LANDSCAPE - N KASPAR DR.			
TOTAL LINEAR FEET*			425
TOTAL PARKWAY AREA (SF)			2125
TREES PER LINEAR FEET**			9
REQUIRED SHRUB AND GROUNDCOVER IN PARKWAY			
	50% MIN.		1063
TOTAL SHRUB COVERAGE REQUIRED (SF)	25%		531
TOTAL GROUNDCOVER REQUIRED (SF)	25%		531
TOTAL TREES PROVIDED**			
TOTAL SHRUB AND GROUNDCOVER PROVIDED			0
TOTAL SHRUB COVERAGE PROVIDED (SF)	49%		1120
TOTAL GROUNDCOVER PROVIDED (SF)	3%		1046
* DOES NOT COUNT EXISTING ESTABLISHED LANDSCAPED R.O.W. ON NORTH END			
** TREE REQUIREMENT WAIVED BY THE CITY OF FLAGSTAFF			

EXISTING TREE TABLE (FOR TREES WITHIN PROPERTY IN RESOURCE PROTECTION AREA)

NO.	TYPE	DBH	ROW	Parcel	Points	Remove or Preserve	Phase	Points Deducted
100	PINE	10		2	2	Preserve	n/a	0
101	PINE	10		2	2	Preserve	n/a	0
102	PINE	12		2	2	Preserve	n/a	0
103	PINE	10		2	2	Preserve	n/a	0
104	PINE	10		2	2	Preserve	n/a	0
105	PINE	8		2	1	Preserve	n/a	0
106	PINE	12		2	2	Preserve	n/a	0
107	PINE	10		2	2	Preserve	n/a	0
109	PINE	10		2	2	Preserve	n/a	0
110	PINE	10		2	2	Preserve	n/a	0
111	PINE	4		2	0	Preserve	n/a	0
112	PINE	10		2	2	Preserve	n/a	0
113	PINE	10		2	2	Preserve	n/a	0
114	PINE	10		2	2	Preserve	n/a	0
115	PINE	18		2	8	Preserve	n/a	0
116	PINE	10		2	2	Preserve	n/a	0
117	PINE	10		2	2	Preserve	n/a	0
118	PINE	10		2	2	Preserve	n/a	0
119	PINE	16		2	4	Preserve	n/a	0
120	PINE	12		2	2	Preserve	n/a	0
121	PINE	10		2	2	Preserve	n/a	0
122	PINE	22		2	8	Preserve	n/a	0
123	PINE	8		2	1	Preserve	n/a	0
124	PINE	12		2	2	Preserve	n/a	0
125	PINE	20		2	8	Preserve	n/a	0
126	PINE	14		2	4	Preserve	n/a	0
127	PINE	16		2	4	Preserve	n/a	0
128	PINE	22		2	8	Preserve	n/a	0
129	PINE	14		2	4	Preserve	n/a	0
130	PINE	10		2	2	Preserve	n/a	0
131	PINE	10		2	2	Preserve	n/a	0
132	PINE	18		2	8	Preserve	n/a	0
133	PINE	12		2	2	Preserve	n/a	0
134	PINE	12		2	2	Preserve	n/a	0
135	PINE	12		2	2	Preserve	n/a	0
136	PINE	16		2	4	Preserve	n/a	0
137	PINE	10		2	2	Preserve	n/a	0
193	PINE	8		2	1	Preserve	n/a	0
194	PINE	10		2	2	Preserve	n/a	0
195	PINE	16		2	4	Preserve	n/a	0
196	PINE	14		2	4	Preserve	n/a	0
197	PINE	14		2	4	Preserve	n/a	0
198	PINE	16		2	4	Preserve	n/a	0
199	PINE	18		2	8	Preserve	n/a	0
200	PINE	8		2	1	Preserve	n/a	0
201	PINE	6		2	1	Preserve	n/a	0
202	PINE	8		2	1	Preserve	n/a	0
203	PINE	6		2	1	Preserve	n/a	0
204	PINE	8		2	1	Preserve	n/a	0
205	PINE	6		2	1	Preserve	n/a	0
206	PINE	10		2	2	Preserve	n/a	0
217	PINE	10		2	2	Preserve	n/a	0
218	PINE	6		2	1	Preserve	n/a	0
222	PINE	8		2	1	Preserve	n/a	0
223	PINE	8		2	1	Preserve	n/a	0
232	PINE	14		2	4	Remove	Phase 2	4
233	PINE	16		2	4	Remove	Phase 2	4
234	PINE	14		2	4	Remove	Phase 2	4
235	PINE	12		2	2	Remove	Phase 2	2
236	PINE	12		2	2	Remove	Phase 2	2
237	PINE	16		2	4	Remove	Phase 2	4
238	PINE	22		2	8	Remove	Phase 2	8
239	PINE	10		2	2	Remove	Phase 2	2
240	PINE	14		2	4	Remove	Phase 1	4
241	PINE	16		2	4	Remove	Phase 1	4
242	PINE	18		2	8	Remove	Phase 1	8
243	PINE	18		2	8	Remove	Phase 1	8
244	PINE	16		2	4	Preserve	n/a	0
245	PINE	14		2	4	Preserve	n/a	0
246	PINE	12		2	2	Preserve	n/a	0
247	PINE	20		2	8	Preserve	n/a	0
248	PINE	18		2	8	Preserve	n/a	0
249	PINE	16		2	4	Preserve	n/a	0
250	PINE	54		2	20	Preserve	n/a	0
251	PINE	12	ROW		2	Preserve	n/a	0
252	PINE	12		2	2	Preserve	n/a	0
253	PINE	12		2	2	Preserve	n/a	0
254	PINE	12		2	2	Preserve	n/a	0
255	PINE	20	ROW		2	Preserve	n/a	0
256	PINE	8		2	1	Preserve	n/a	0
257	PINE	10		2	2	Preserve	n/a	0
258	PINE	12		2	2	Preserve	n/a	0
259	PINE	18		2	8	Preserve	n/a	0
260	PINE	16		2	4	Preserve	n/a	0
261	PINE	22		2	8	Preserve	n/a	0
262	PINE	20		2	8	Preserve	n/a	0
263	PINE	12		2	2	Preserve	n/a	0
264	PINE	10		2	2	Preserve	n/a	0
265	PINE	20		2	8	Preserve	n/a	0
266	PINE	16		2	4	Preserve	n/a	0
267	PINE	24		2	8	Preserve	n/a	0
268	PINE	14		2	4	Preserve	n/a	0
269	PINE	14		2	4	Preserve	n/a	0
270	PINE	18		2	8	Preserve	n/a	0
271	PINE	18		2	8	Preserve	n/a	0
272	PINE	14		2	4	Preserve	n/a	0
273	PINE	12		2	2	Preserve	n/a	0
274	PINE	22		2	8	Preserve	n/a	0
275	PINE	24		2	8	Preserve	n/a	0
278	PINE	18		2	8	Preserve	n/a	0
279	PINE	20		2	8	Preserve	n/a	0
280	PINE	16		2	4	Preserve	n/a	0
281	PINE	16		2	4	Preserve	n/a	0
282	PINE	16		2	4	Preserve	n/a	0
283	PINE	16	ROW		2	Preserve	n/a	0
284	PINE	12	ROW		2	Preserve	n/a	0
285	PINE	12		2	2	Preserve	n/a	0
286	PINE	16		2	4	Preserve	n/a	0
287	PINE	8		2	1	Preserve	n/a	0
288	PINE	14		2	4	Preserve	n/a	0
289	PINE	12		2	2	Preserve	n/a	0
290	PINE	14		2	4	Preserve	n/a	0
291	PINE	8		2	1	Preserve	n/a	0
292	PINE	14		2	4	Preserve	n/a	0
1073	PINE	30	ROW		2	Preserve	n/a	0
1074	PINE	24		2	8	Remove	Phase 1	8
					421			
								32
								62
								Phase 1 Only Removal
								Phase 1 + Phase 2 Removal



**NORRIS DESIGN**  
PEOPLE + PLACEMAKING

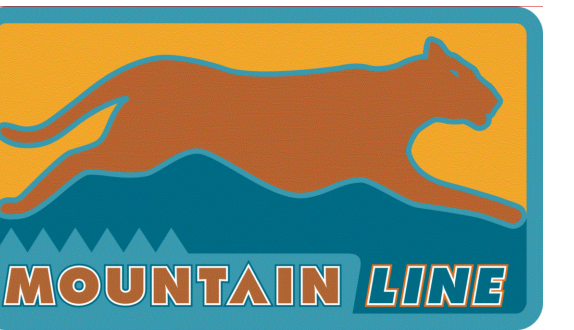
6 EAST ASPEN AVENUE  
SUITE 260  
FLAGSTAFF, AZ 86001  
P 928.233.3021

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NOT FOR  
CONSTRUCTION  
OR RECORDING

MOUNTAIN LINE KASPAR  
HEADQUARTERS  
MAINTENANCE FACILITY

3773 N. Kaspar Drive  
Flagstaff, AZ 86004



Project Manager	Patrick Glowacki
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Electrical Engineer	Stephen Bowcock
Plumbing Engineer	Robbie Ramsey
Interior Designer	Jessi Levin
Equipment Planner	Ken Booth
Wayfinding	-
Sheet Reviewer	ME, AH

MARK	DATE	DESCRIPTION
	07.25.2024	SITE PLAN SUBMISSION
	02.07.2025	SITE PLAN RE-SUBMISSION
	03.14.2025	SITE PLAN RE-SUBMISSION
	04.08.2025	SITE PLAN RE-SUBMISSION
	05.05.2025	SITE PLAN RE-SUBMISSION

Project Number	10380810
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Project Number	10380810
Original Issue	07-25-2024

Sheet Name  
**NATURAL RESOURCE  
PROTECTION PLAN**

Scale  
1" = 40'-0"

Sheet Number

**LP-003**

Project Status  
SITE PLAN DRAWINGS

**LEGEND**

- EXISTING TREE TO REMAIN
- PHASE 1 RESOURCE PROTECTION OVERLAY TREE TO BE REMOVED
- PHASE 1 NON-PROTECTED TREE TO BE REMOVED
- PHASE 2 NON-PROTECTED TREE TO BE REMOVED
- PHASE 2 RESOURCE PROTECTION OVERLAY TREE TO BE REMOVED
- CALCULATED RESOURCE PROTECTION OVERLAY AREA
- PROPERTY OUTSIDE OF RESOURCE PROTECTION AREA

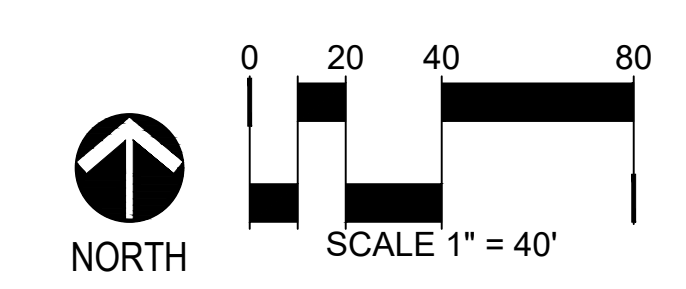
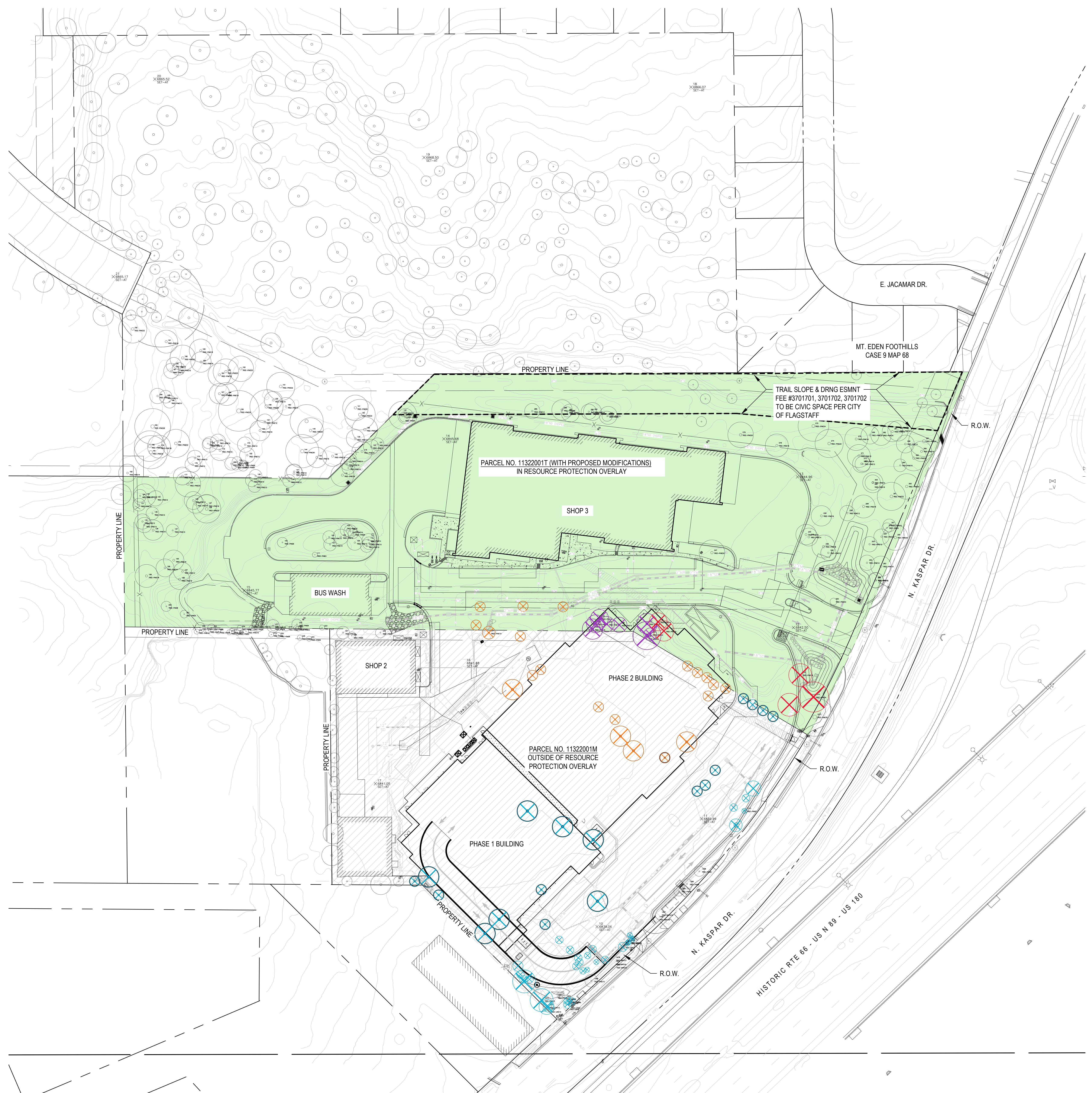
**PHASE 1 ONLY  
TREE RESOURCE PROTECTION CALCULATION**

<b>Total Pre Development Points</b>	<b>831</b>
<b>Required to Remain (30%)</b>	<b>249</b>
<b>DBH Category</b>	
Less than 6 inches	Pine 0 1
6 to 8 inches	Pine 15 15
9 to 12 inches	Pine 82 41
13 to 17 inches	Pine 120 30
18 to 24 inches	Pine 184 23
>25 inches	Pine 20 1
<b>Total Existing Points</b>	<b>421</b>
<b>Proposed Removed</b>	<b>32</b>
<b>Total Remaining</b>	<b>389 47%</b>

**PHASE 1 + PHASE 2  
TREE RESOURCE PROTECTION CALCULATION**

<b>Total Pre Development Points</b>	<b>831</b>
<b>Required to Remain (30%)</b>	<b>249</b>
<b>DBH Category</b>	
Less than 6 inches	Pine 0 1
6 to 8 inches	Pine 15 15
9 to 12 inches	Pine 82 41
13 to 17 inches	Pine 120 30
18 to 24 inches	Pine 184 23
>25 inches	Pine 20 1
<b>Total Existing Points</b>	<b>421</b>
<b>Proposed Removed</b>	<b>62</b>
<b>Total Remaining</b>	<b>359 43%</b>

- NOTES:
- THERE ARE NO NATURAL SLOPES 17% OR GREATER.
  - THERE IS NO URBAN OR RURAL FLOODPLAIN.





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Wayfinding	-

Sheet Reviewer: ME, AH

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	04.08.2025	SITE PLAN RE-SUBMISSION
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Project Number	10380810
Original Issue	07-25-2024

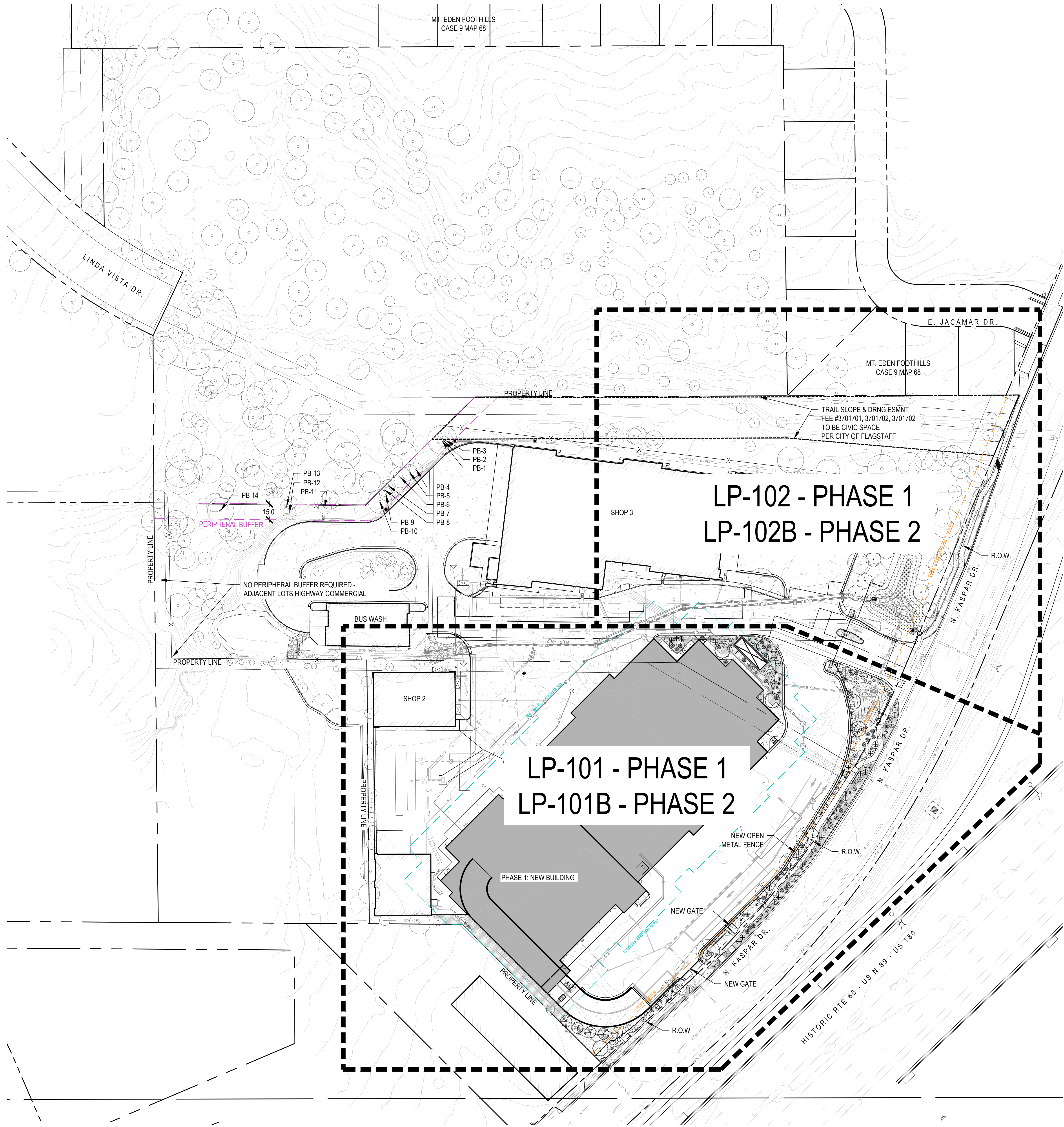
Sheet Name  
**OVERALL PLAN**

Scale  
1" = 40'-0"

Sheet Number

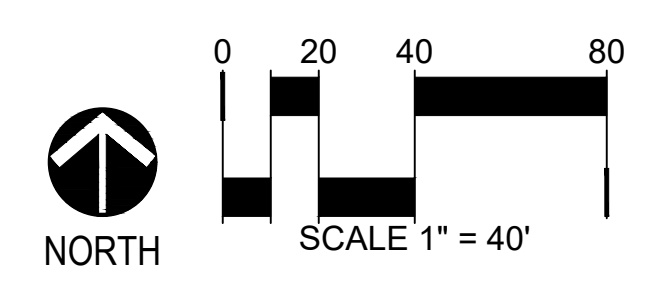
**LP-100**

Project Status  
SITE PLAN DRAWINGS



- LEGEND**
- PERIPHERAL BUFFER
  - BUILDING FOUNDATION BUFFER
  - STREET BUFFER
  - EXISTING TREE TO REMAIN
  - DOUBLE SHREDDED CEDAR MULCH LANDSCAPE BED
  - NATIVE SEED MIX
  - DETENTION BASIN SEED MIX
  - OPEN METAL PROJECT FENCE
  - PB-0 EXISTING TREES TO BE COUNTED FOR BUFFER AND SCREENING REQUIREMENTS - SEE CHARTS ON SHEET LP-002

- LANDSCAPE NOTES**
1. ALL LANDSCAPE BEDS ARE CONSIDERED HYDROZONE 2.
  2. ALL SEEDED AREAS ARE CONSIDERED HYDROZONE 1.
  3. LANDSCAPE BEDS SHALL BE MULCHED WITH 3" DEPTH, DOUBLE SHREDDED CEDAR MULCH. NO WEED BARRIER FABRIC SHALL BE USED.
  4. ALL SEEDED AREAS SHALL BE NON-IRRIGATED
  5. ALL LANDSCAPE BEDS SHALL BE AMENDED WITH 3 CUBIC YARDS PER 1,000 S.F. OR AS RECOMMENDED BY A SOILS REPORT CONDUCTED BY A 3RD PARTY.



**MOUNTAIN LINE KASPAR  
HEADQUARTERS  
MAINTENANCE FACILITY**

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03.14.2025	03.14.2025	SITE PLAN RE-SUBMISSION
04.08.2025	04.08.2025	SITE PLAN RE-SUBMISSION
05.05.2025	05.05.2025	SITE PLAN RE-SUBMISSION

Project Number	10380810
Original Issue	07-25-2024

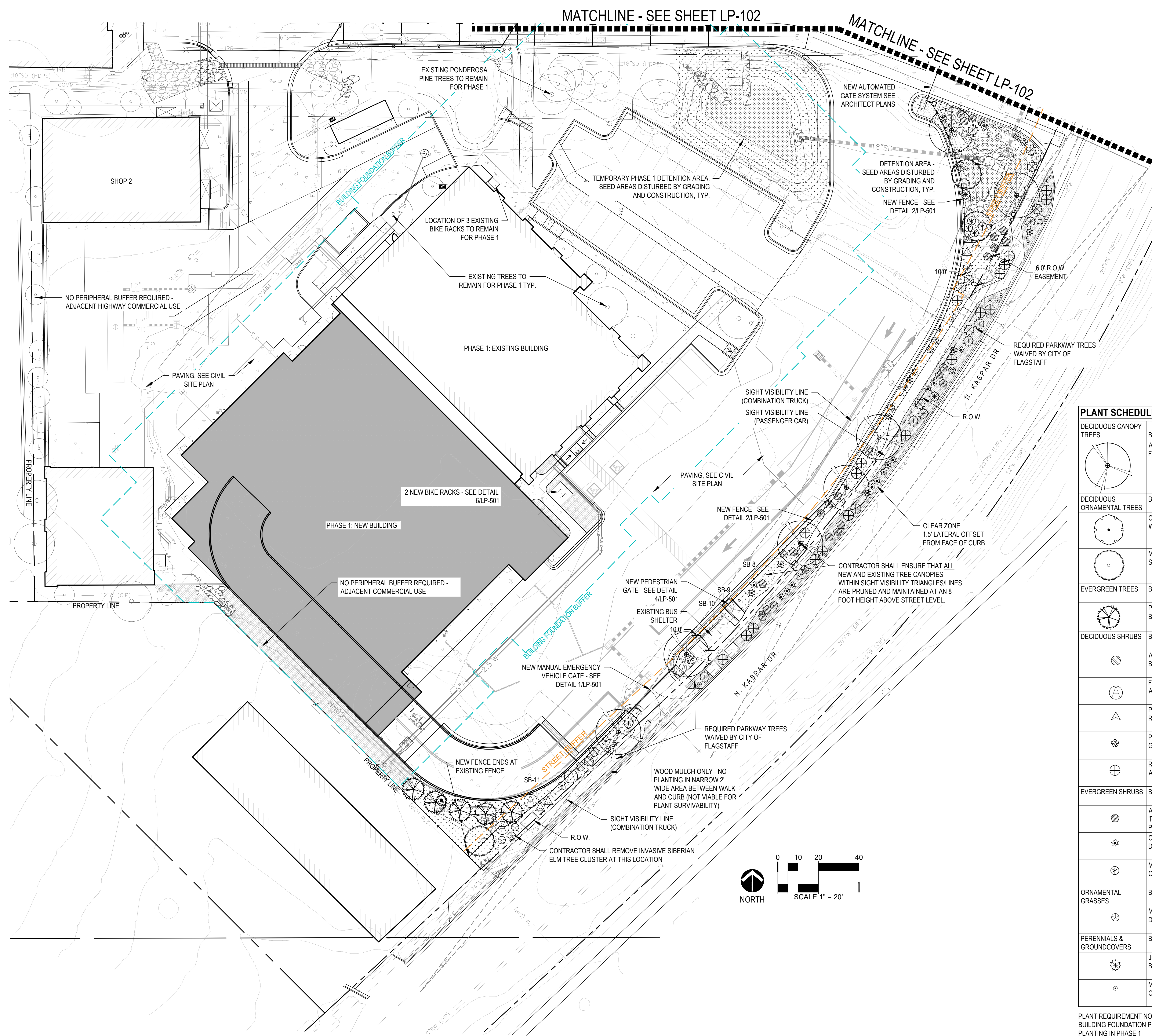
Sheet Name  
**LANDSCAPE PLAN  
PHASE 1**

Scale  
1" = 20'-0"

Sheet Number

**LP-101**

Project Status  
SITE PLAN DRAWINGS



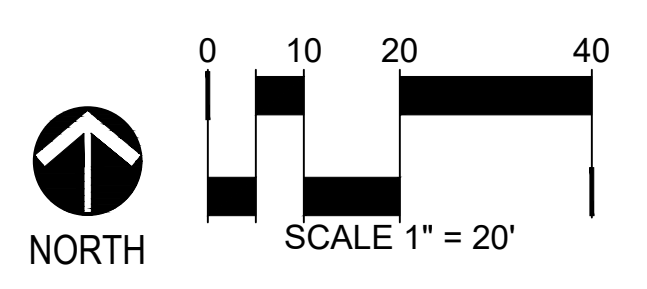
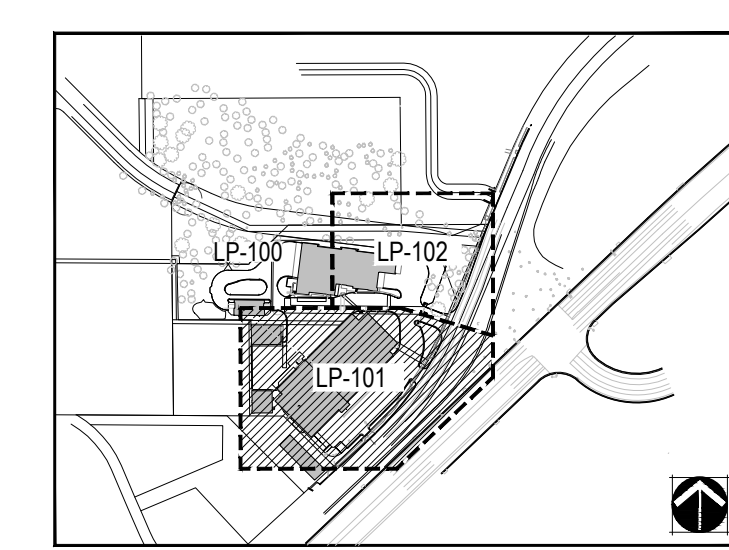
- LEGEND**
- PERIPHERAL BUFFER
  - BUILDING FOUNDATION BUFFER
  - STREET BUFFER
  - EXISTING TREE TO REMAIN
  - DOUBLE SHREDDED CEDAR MULCH LANDSCAPE BED
  - NATIVE SEED MIX
  - DETENTION BASIN SEED MIX
  - OPEN METAL PROJECT FENCE
  - SB-00 EXISTING TREES TO BE COUNTED FOR BUFFER AND SCREENING REQUIREMENTS - SEE CHARTS ON SHEET LP-002

- LANDSCAPE NOTES**
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  2. ALL SEEDED AREAS ARE CONSIDERED HYDROZONE 1.
  3. LANDSCAPE BEDS SHALL BE MULCHED WITH 3" DEPTH, DOUBLE SHREDDED CEDAR MULCH. NO WEED BARRIER FABRIC SHALL BE USED.
  4. ALL SEEDED AREAS SHALL BE NON-IRRIGATED.
  5. ALL LANDSCAPE BEDS SHALL BE AMENDED WITH 3 CUBIC YARDS PER 1,000 S.F. OR AS RECOMMENDED BY A SOILS REPORT CONDUCTED BY A 3RD PARTY.

**PLANT SCHEDULE - PHASE 1**

DECIDUOUS CANOPY TREES	BOTANICAL / COMMON NAME	SIZE	EST'D MAT. SIZE	NATIVE / ADAPTED	SPACING	QTY
	Acer x freemani Freeman Maple	4" CAL. B&B 8' MIN. CANOPY HEIGHT	45' H x 30' W	ADAPTED	AS SHOWN	7
DECIDUOUS ORNAMENTAL TREES	BOTANICAL / COMMON NAME	SIZE	EST'D MAT. SIZE	NATIVE / ADAPTED	SPACING	QTY
	Cercis occidentalis Western Redbud	6' HT 15 GAL. MIN.	20' H x 15' W	NATIVE	AS SHOWN	5
	Malus x 'Spring Snow' Spring Snow Crabapple	2" CAL. B&B	20' H x 15' W	ADAPTED	AS SHOWN	7
EVERGREEN TREES	BOTANICAL / COMMON NAME	SIZE	EST'D MAT. SIZE	NATIVE / ADAPTED	SPACING	QTY
	Picea pungens 'Baby Blue Eyes' Baby Blue Eyes Colorado Blue Spruce	6' HT, B&B	30' H x 15' W	ADAPTED	AS SHOWN	5
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	SIZE	EST'D MAT. SIZE	NATIVE / ADAPTED	SPACING	QTY
	Aronia melanocarpa Black Chokeberry	5 gal	5' H x 5' W	NATIVE	AS SHOWN	3
	Falugia paradoxa Apache Plume	5 gal	6' H x 8' W	NATIVE	AS SHOWN	3
	Perovskia atriplicifolia Russian Sage	5 gal	3' H x 4' W	ADAPTED	AS SHOWN	5
	Potentilla fruticosa 'Gold Drop' Gold Drop Potentilla	5 gal	3' H x 4' W	NATIVE	AS SHOWN	13
	Rhus trilobata 'Autumn Amber' Autumn Amber Sumac	5 gal	2' H x 6' W	ADAPTED	AS SHOWN	20
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	SIZE	EST'D MAT. SIZE	NATIVE / ADAPTED	SPACING	QTY
	Arctostaphylos x coloradensis 'Panchito' Panchito Manzanita	5 gal	1.5' X 4' W	ADAPTED	AS SHOWN	24
	Chrysothamnus nauseosus naueosus Dwarf Blue Rabbitbrush	5 gal	2.5' H x 4' W	NATIVE	AS SHOWN	21
	Mahonia aquifolium 'Compacta' Compact Oregon Grape	5 gal	4' H x 4' W	ADAPTED	AS SHOWN	7
ORNAMENTAL GRASSES	BOTANICAL / COMMON NAME	SIZE	EST'D MAT. SIZE	NATIVE / ADAPTIVE	SPACING	QTY
	Muhlenbergia rigens Deer Grass	1 gal	4' H x 4' W	NATIVE	AS SHOWN	6
PERENNIALS & GROUNDCOVERS	BOTANICAL / COMMON NAME	SIZE	EST'D MAT. SIZE	NATIVE / ADAPTED	SPACING	QTY
	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	3 gal	1' H x 6' W	ADAPTED	AS SHOWN	23
	Mahonia repens Creeping Mahonia	1 gal	6' H x 20' W	NATIVE	AS SHOWN	22

PLANT REQUIREMENT NOTE:  
BUILDING FOUNDATION PLANTING TO UTILIZE EXISTING PLANTING IN PHASE 1



**MOUNTAIN LINE KASPAR  
HEADQUARTERS  
MAINTENANCE FACILITY**

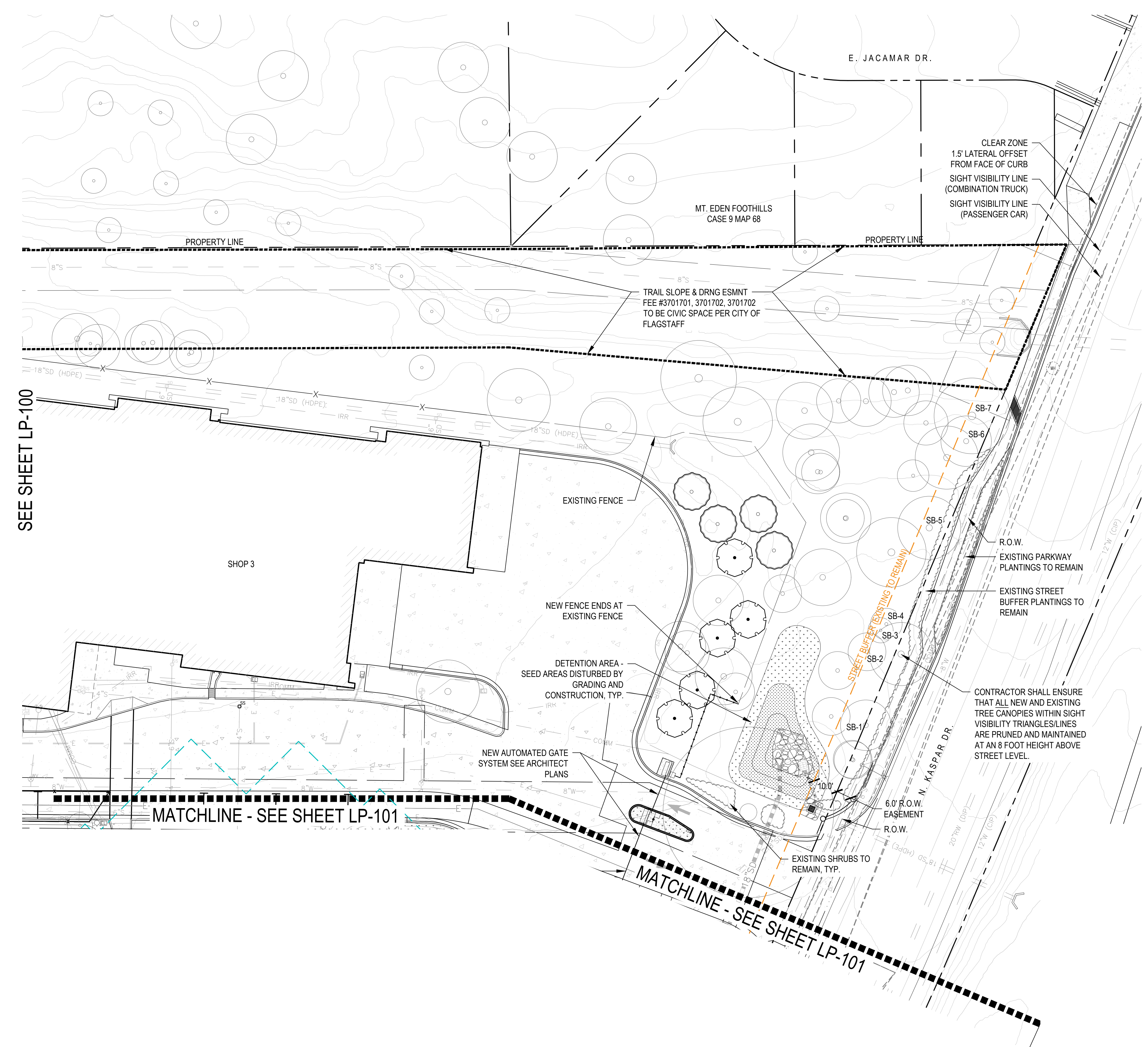
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Sheet Reviewer	ME, AH	
<b>MARK</b>	<b>DATE</b>	<b>DESCRIPTION</b>
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	05.05.2025	SITE PLAN RE-SUBMISSION

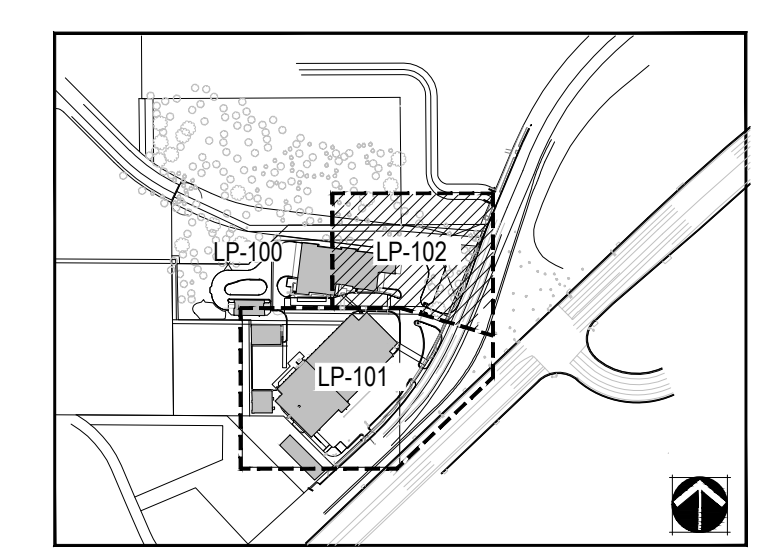
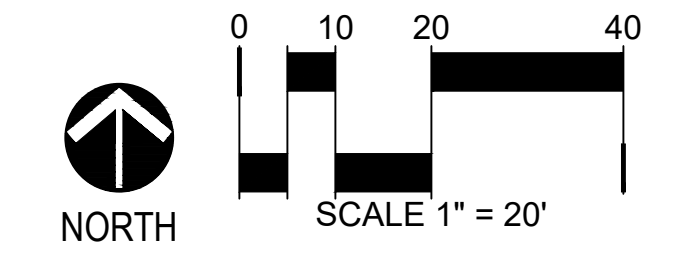
Project Number	10380810
Original Issue	07-25-2024



- LEGEND**
- PERIPHERAL BUFFER
  - BUILDING FOUNDATION BUFFER
  - STREET BUFFER
  - EXISTING TREE TO REMAIN
  - DOUBLE SHREDDED CEDAR MULCH LANDSCAPE BED
  - NATIVE SEED MIX
  - DETENTION BASIN SEED MIX
  - OPEN METAL PROJECT FENCE
  - EXISTING TREES TO BE COUNTED FOR BUFFER AND SCREENING REQUIREMENTS - SEE CHARTS ON SHEET LP-002
- LANDSCAPE NOTES**
- ALL LANDSCAPE BEDS ARE CONSIDERED HYDROZONE 2.
  - ALL SEEDED AREAS ARE CONSIDERED HYDROZONE 1.
  - LANDSCAPE BEDS SHALL BE MULCHED WITH 3" DEPTH, DOUBLE SHREDDED CEDAR MULCH. NO WEED BARRIER FABRIC SHALL BE USED.
  - ALL SEEDED AREAS SHALL BE NON-IRRIGATED
  - ALL LANDSCAPE BEDS SHALL BE AMENDED WITH 3 CUBIC YARDS PER 1,000 S.F. OR AS RECOMMENDED BY A SOILS REPORT CONDUCTED BY A 3RD PARTY.

**PLANT SCHEDULE - PHASE 1**

TREES	BOTANICAL / COMMON NAME	SIZE	EST'D MAT. SIZE	NATIVE / ADAPTED	SPACING	QTY
DECIDUOUS CANOPY TREES	Acer x freemanii Freeman Maple	4" CAL. B&B 8' MIN. CANOPY HEIGHT	45' H x 30' W	ADAPTED	AS SHOWN	7
DECIDUOUS ORNAMENTAL TREES	Cercis occidentalis Western Redbud	6' HT 15 GAL. MIN.	20' H X 15' W	NATIVE	AS SHOWN	5
	Malus x 'Spring Snow' Spring Snow Crabapple	2" CAL. B&B	20' H X 15' W	ADAPTED	AS SHOWN	7
EVERGREEN TREES	Picea pungens 'Baby Blue Eyes' Baby Blue Eyes Colorado Blue Spruce	6' HT, B&B	30' H X 15' W	ADAPTED	AS SHOWN	5
DECIDUOUS SHRUBS	Aronia melanocarpa Black Chokeberry	5 gal	5' H x 5' W	NATIVE	AS SHOWN	3
	Falugia paradoxa Apache Plume	5 gal	6' H x 8' W	NATIVE	AS SHOWN	3
	Perovskia atriplicifolia Russian Sage	5 gal	3' H X 4' W	ADAPTED	AS SHOWN	5
	Potentilla fruticosa 'Gold Drop' Gold Drop Potentilla	5 gal	3' H X 4' W	NATIVE	AS SHOWN	13
	Rhus trilobata 'Autumn Amber' Autumn Amber Sumac	5 gal	2' H x 6' W	ADAPTED	AS SHOWN	20
EVERGREEN SHRUBS	Arctostaphylos x coloradensis 'Panchito' Panchito Manzanita	5 gal	1.5' X 4' W	ADAPTED	AS SHOWN	24
	Chrysothamnus nauseosus nauseosus Dwarf Blue Rabbitbrush	5 gal	2.5' H X 4' W	NATIVE	AS SHOWN	21
	Mahonia aquifolium 'Compacta' Compact Oregon Grape	5 gal	4' H X 4' W	ADAPTED	AS SHOWN	7
ORNAMENTAL GRASSES	Muhlenbergia rigens Deer Grass	1 gal	4' H X 4' W	NATIVE	AS SHOWN	6
PERENNIALS & GROUNDCOVERS	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	3 gal	1' H X 6' W	ADAPTED	AS SHOWN	23
	Mahonia repens Creeping Mahonia	1 gal	6" H X 20" W	NATIVE	AS SHOWN	22



Sheet Name  
**LANDSCAPE PLAN  
PHASE 1**

Scale  
1" = 20'-0"

Sheet Number  
**LP-102**

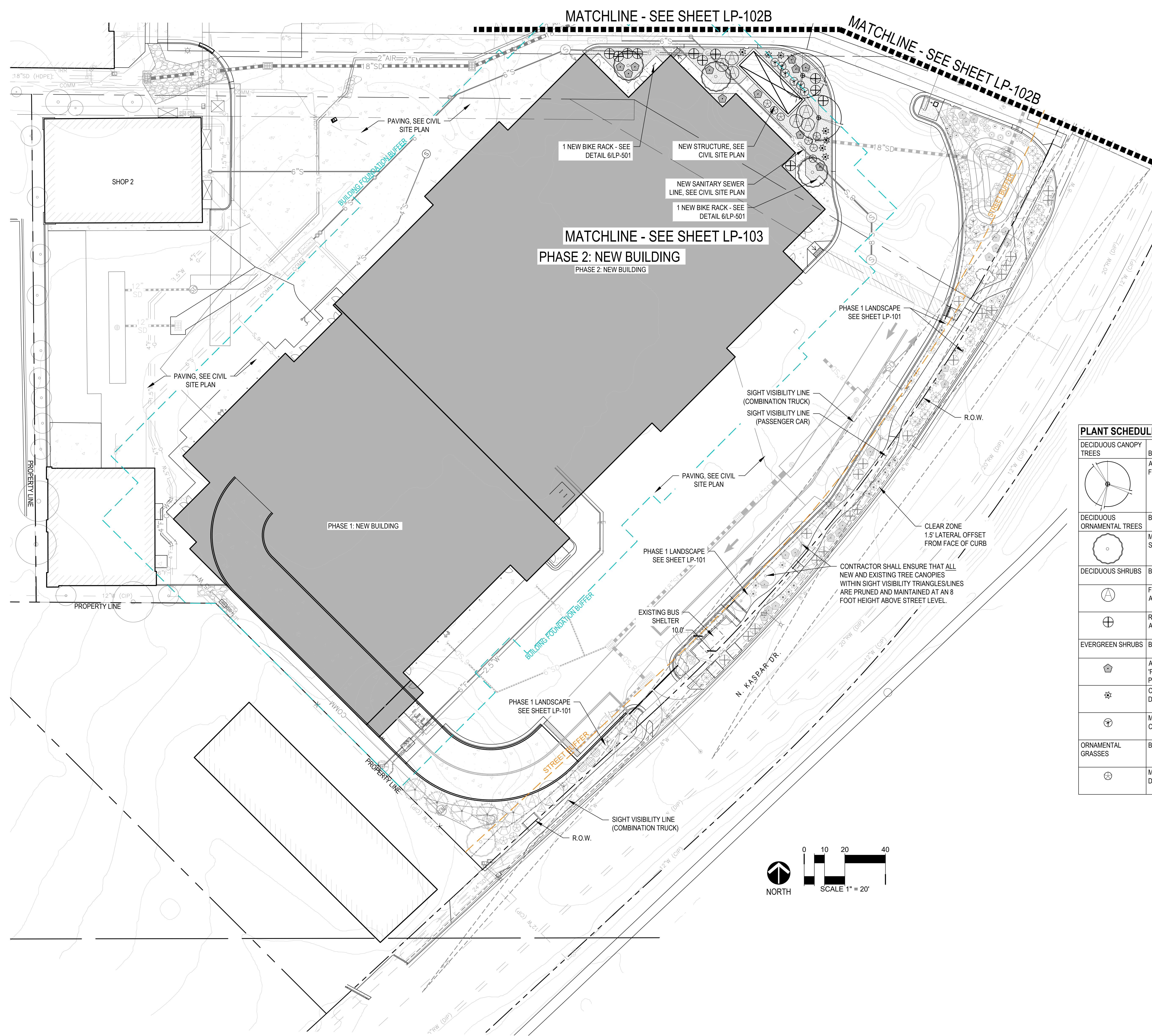
Project Status  
SITE PLAN DRAWINGS



Project Manager	Patrick Glowacki
Project Designer	Katherine Dudzik Smith
Project Architect	Rachel McAdoo
Landscape Architect	Aaron Heyne
Civil Engineer	Zach Keith
Structural Engineer	Chad Stippel
Mechanical Engineer	Brett McQuillan
Electrical Engineer	Stephen Bowcock
Plumbing Engineer	Robbie Ramsey
Interior Designer	Jessi Levin
Equipment Planner	Ken Booth
Wayfinding	-

Sheet Reviewer	ME, AH	
MARK	DATE	DESCRIPTION
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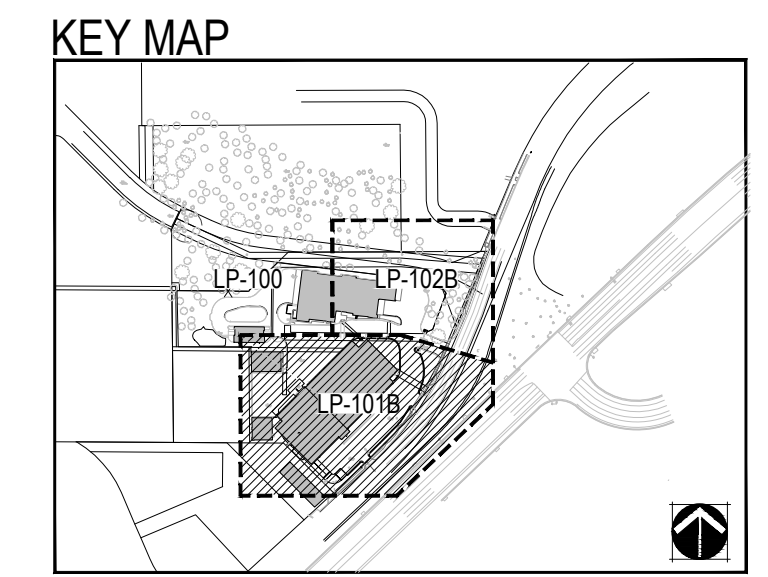
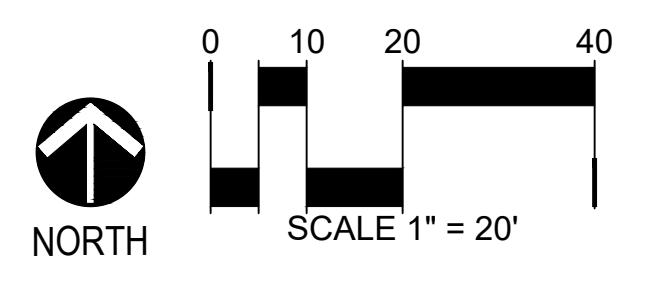
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  - BUILDING FOUNDATION BUFFER
  - STREET BUFFER
  - EXISTING TREE TO REMAIN
  - DOUBLE SHREDDED CEDAR MULCH LANDSCAPE BED
  - NATIVE SEED MIX
  - DETENTION BASIN SEED MIX
  - OPEN METAL PROJECT FENCE
  - SB-00 EXISTING TREES TO BE COUNTED FOR BUFFER AND SCREENING REQUIREMENTS - SEE CHARTS ON SHEET LP-002

- LANDSCAPE NOTES**
1. ALL LANDSCAPE BEDS ARE CONSIDERED HYDROZONE 2.
  2. ALL SEEDED AREAS ARE CONSIDERED HYDROZONE 1.
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  4. ALL SEEDED AREAS SHALL BE NON-IRRIGATED.
  5. ALL LANDSCAPE BEDS SHALL BE AMENDED WITH 3 CUBIC YARDS PER 1,000 S.F. OR AS RECOMMENDED BY A SOILS REPORT CONDUCTED BY A 3RD PARTY.

PLANT REQUIREMENT NOTE:  
BUILDING FOUNDATION PLANTING TO UTILIZE EXISTING PLANTING IN PHASE 1. NEW BUILDING REQUIRES VEHICULAR ACCESS AT GROUND LEVEL.

**PLANT SCHEDULE - PHASE 2**

DECIDUOUS CANOPY TREES	BOTANICAL / COMMON NAME	SIZE	EST'D MAT. SIZE	NATIVE / ADAPTED	SPACING	QTY
	Acer x freemani Freeman Maple	4" CAL. B&B	45' H x 30' W	ADAPTED	AS SHOWN	2
DECIDUOUS ORNAMENTAL TREES	BOTANICAL / COMMON NAME	SIZE	EST'D MAT. SIZE	NATIVE / ADAPTED	SPACING	QTY
	Malus x 'Spring Snow' Spring Snow Crabapple	2" CAL. B&B	20' H x 15' W	ADAPTED	AS SHOWN	3
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	SIZE	EST'D MAT. SIZE	NATIVE / ADAPTED	SPACING	QTY
	Falugia paradoxa Apache Plume	5 gal	6' H x 8' W	NATIVE	AS SHOWN	6
	Rhus trilobata 'Autumn Amber' Autumn Amber Sumac	5 gal	2' H x 6' W	ADAPTED	AS SHOWN	11
EVERGREEN SHRUBS	BOTANICAL / COMMON NAME	SIZE	EST'D MAT. SIZE	NATIVE / ADAPTED	SPACING	QTY
	Arctostaphylos x coloradensis 'Panchito' Panchito Manzanita	5 gal	1.5' X 4' W	ADAPTED	AS SHOWN	11
	Chrysothamnus nauseosus Dwarf Blue Rabbitbrush	5 gal	2.5' H X 4' W	NATIVE	AS SHOWN	7
	Mahonia aquifolium 'Compacta' Compact Oregon Grape	5 gal	4' H X 4' W	ADAPTED	AS SHOWN	6
ORNAMENTAL GRASSES	BOTANICAL / COMMON NAME	SIZE	EST'D MAT. SIZE	NATIVE / ADAPTED	SPACING	QTY
	Muhlenbergia rigens Deer Grass	1 gal	4' H X 4' W	NATIVE	AS SHOWN	7



**MOUNTAIN LINE KASPAR  
HEADQUARTERS  
MAINTENANCE FACILITY**

3773 N. Kaspar Drive  
Flagstaff, AZ 86004



Project Manager	Patrick Glowacki
Project Designer	Katherine Dudzik Smith
Project Architect	Rachel McAdoo
Landscape Architect	Aaron Heyne
Civil Engineer	Zach Keith
Structural Engineer	Chad Stippel
Mechanical Engineer	Brett McQuillan
Electrical Engineer	Stephen Bowcock
Plumbing Engineer	Rubbin Ramsey
Interior Designer	Jessi Levin
Equipment Planner	Ken Booth
Wayfinding	-
Sheet Reviewer	ME, AH

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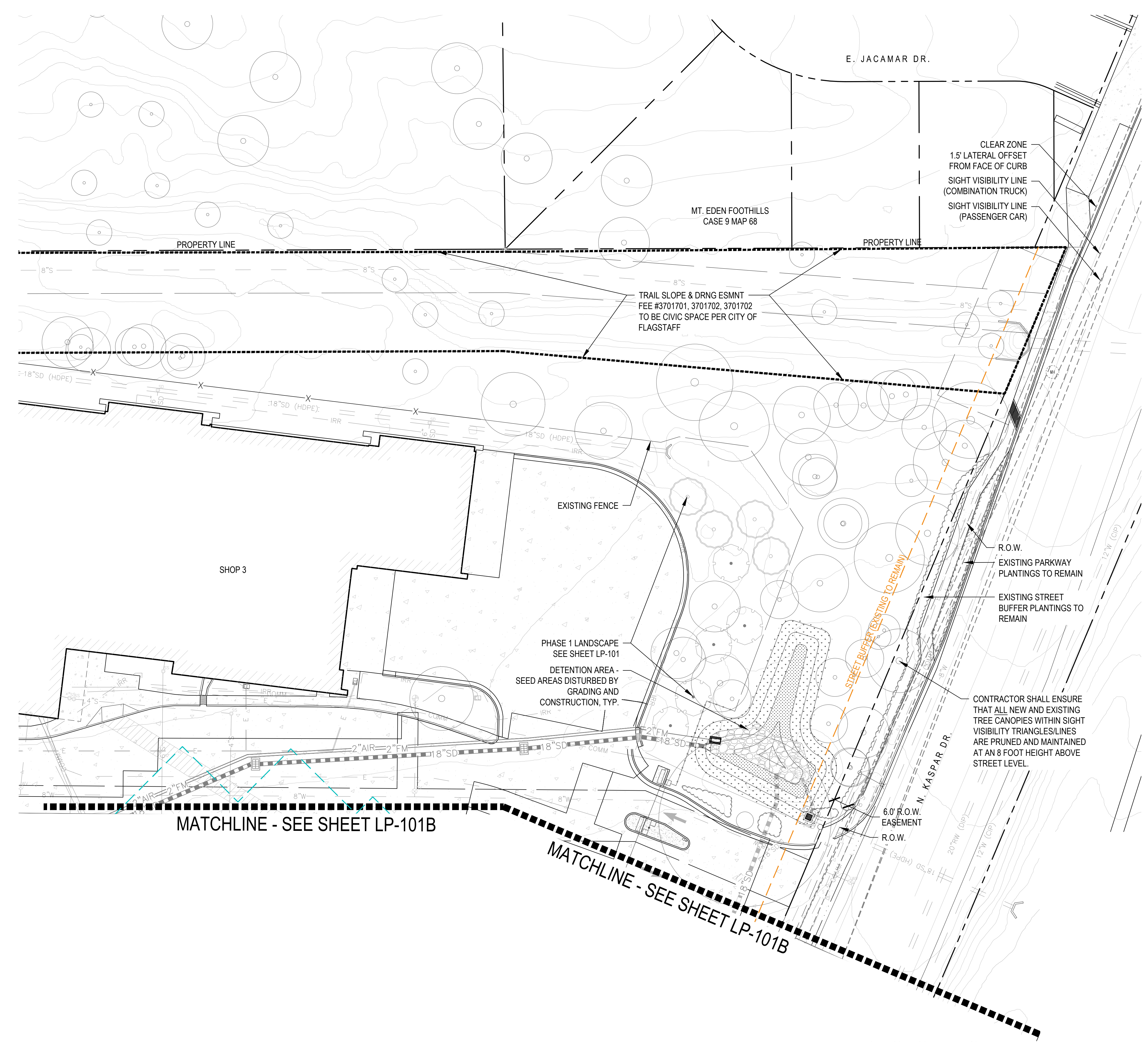
Project Number 10380810  
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Sheet Name  
**LANDSCAPE PLAN -  
PHASE 2**

Scale  
1" = 20'-0"

Sheet Number  
**LP-102B**

Project Status  
SITE PLAN DRAWINGS

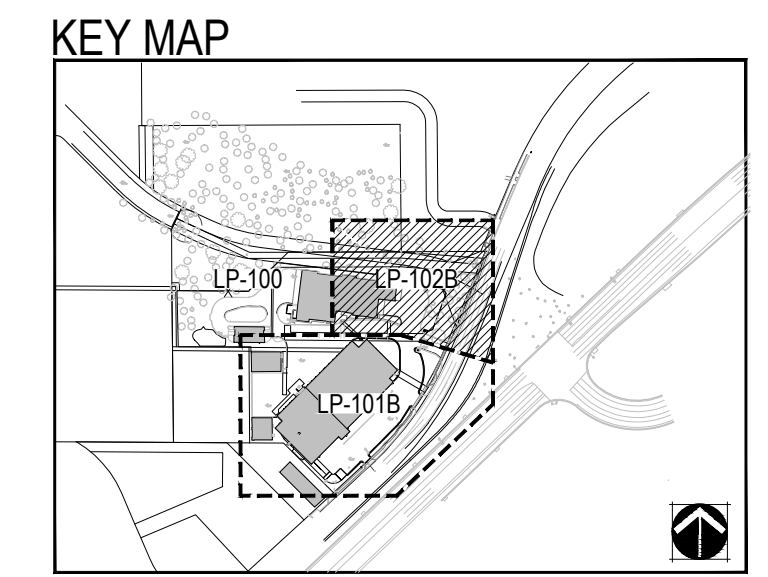
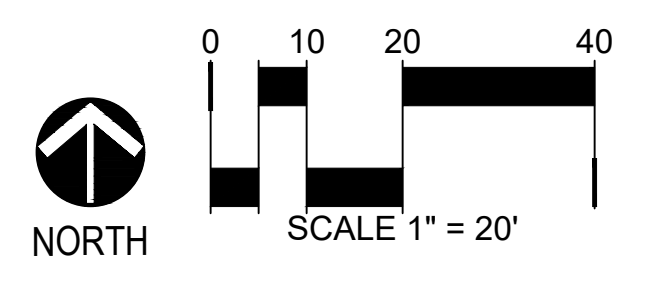


- LEGEND**
- PERIPHERAL BUFFER
  - BUILDING FOUNDATION BUFFER
  - STREET BUFFER
  - EXISTING TREE TO REMAIN
  - DOUBLE SHREDDED CEDAR MULCH LANDSCAPE BED
  - NATIVE SEED MIX
  - DETENTION BASIN SEED MIX
  - OPEN METAL PROJECT FENCE
  - EXISTING TREES TO BE COUNTED FOR BUFFER AND SCREENING REQUIREMENTS - SEE CHARTS ON SHEET LP-002

- LANDSCAPE NOTES**
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**PLANT SCHEDULE - PHASE 2**

DECIDUOUS CANOPY TREES	BOTANICAL / COMMON NAME	SIZE	EST'D MAT. SIZE	NATIVE / ADAPTED	SPACING	QTY
	Acer x freemanii Freeman Maple	4" CAL. B&B	45' H x 30' W	ADAPTED	AS SHOWN	2
DECIDUOUS ORNAMENTAL TREES	BOTANICAL / COMMON NAME	SIZE	EST'D MAT. SIZE	NATIVE / ADAPTED	SPACING	QTY
	Malus x 'Spring Snow' Spring Snow Crabapple	2" CAL. B&B	20' H x 15' W	ADAPTED	AS SHOWN	3
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	SIZE	EST'D MAT. SIZE	NATIVE / ADAPTED	SPACING	QTY
	Falugia paradoxa Apache Plume	5 gal	6' H x 8' W	NATIVE	AS SHOWN	6
	Rhus trilobata 'Autumn Amber' Autumn Amber Sumac	5 gal	2' H x 6' W	ADAPTED	AS SHOWN	11
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	Arctostaphylos x coloradensis 'Panchito' Panchito Manzanita	5 gal	1.5' X 4' W	ADAPTED	AS SHOWN	11
	Chrysothamnus nauseosus Dwarf Blue Rabbitbrush	5 gal	2.5' H X 4' W	NATIVE	AS SHOWN	7
	Mahonia aquifolium 'Compacta' Compact Oregon Grape	5 gal	4' H X 4' W	ADAPTED	AS SHOWN	6
ORNAMENTAL GRASSES	BOTANICAL / COMMON NAME	SIZE	EST'D MAT. SIZE	NATIVE / ADAPTED	SPACING	QTY
	Muhlenbergia rigens Deer Grass	1 gal	4' H X 4' W	NATIVE	AS SHOWN	7

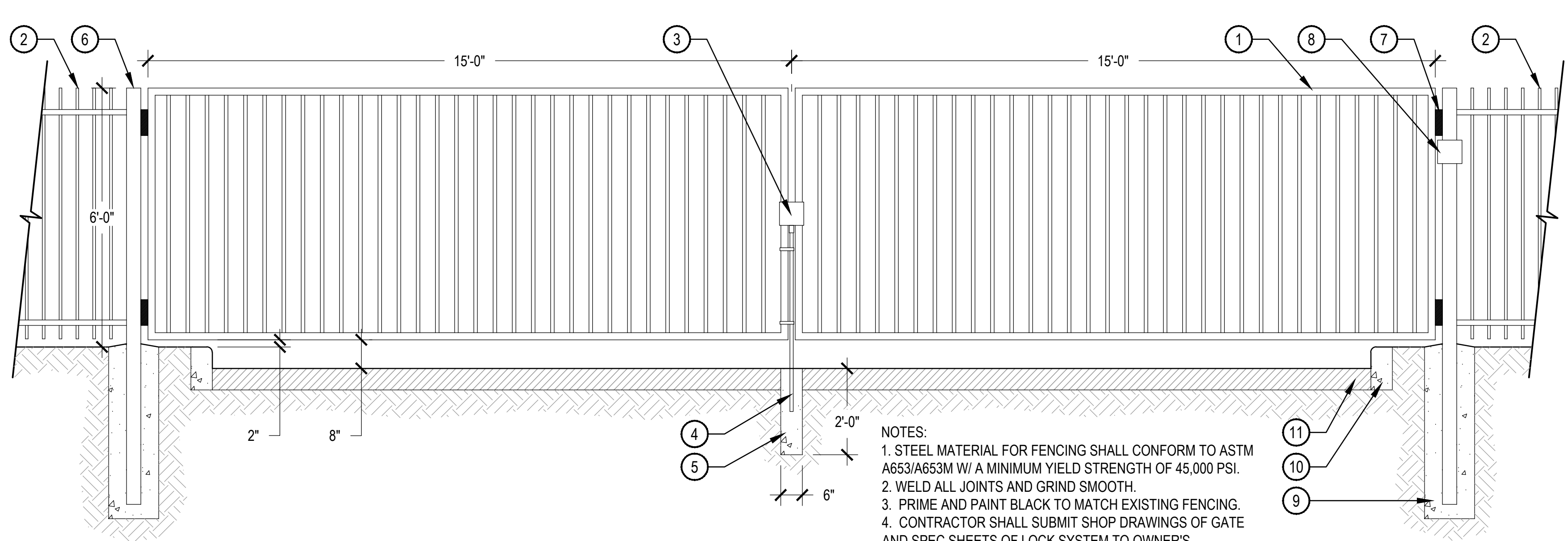




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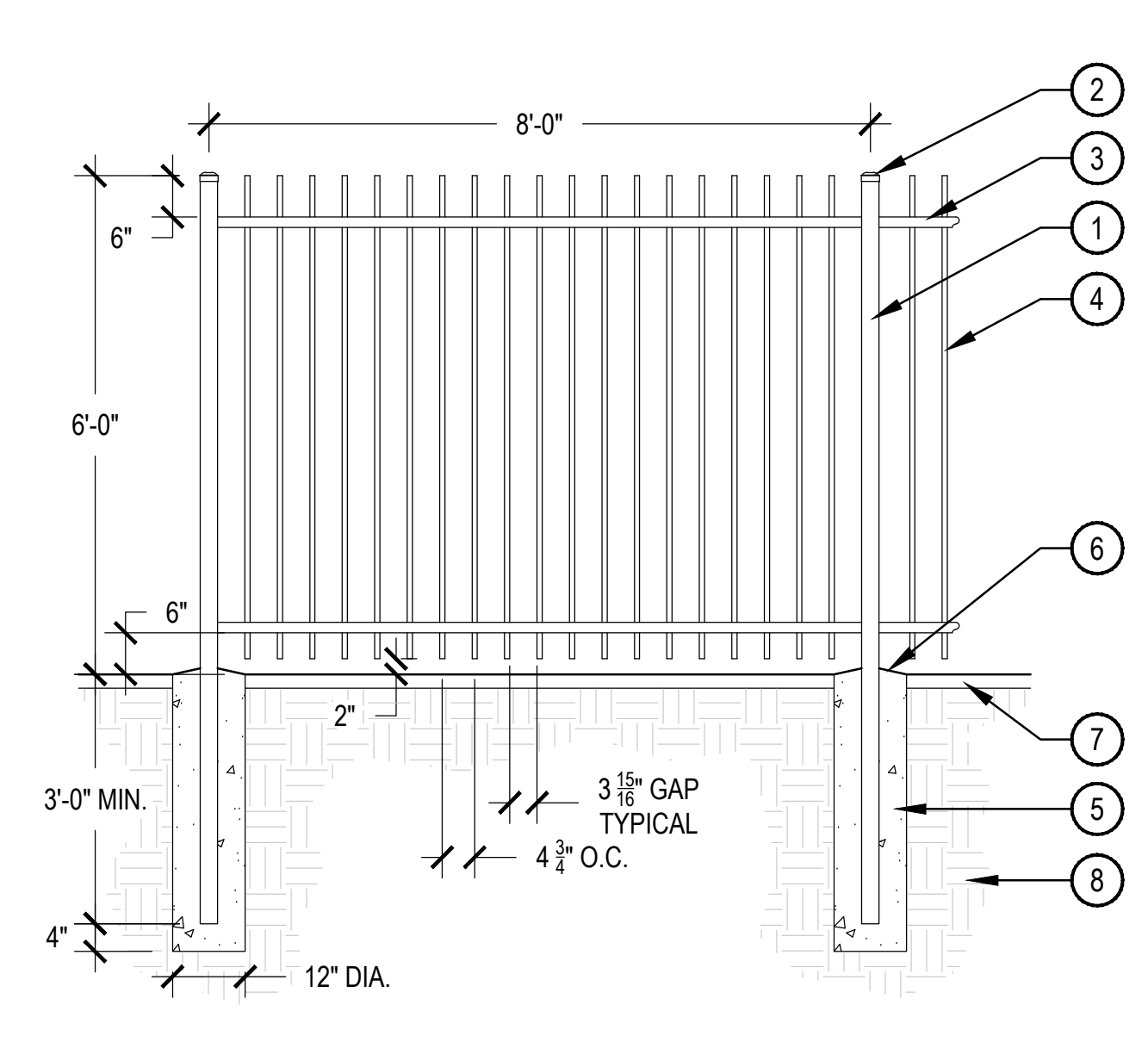


- 1 NEW GATE TO MATCH EXISTING PIVOT GATE AT MAINTENANCE ENTRY
- 2 PROJECT FENCE - SEE FENCE DETAIL
- 3 LOCAL FIRE DISTRICT APPROVED MANUAL GATE LOCK SYSTEM
- 4 DROP ROD
- 5 DROP ROD CONCRETE FOOTER
- 6 4" x 4" TUBE STEEL GATE POSTS WITH WELDED STEEL CAPS
- 7 HEAVY DUTY GATE HINGES
- 8 LOCAL FIRE DISTRICT APPROVED NON-POWERED KNOX BOX
- 9 CONCRETE FOOTER - TO BE DESIGNED BY STRUCTURAL ENGINEER
- 10 CONCRETE CURB
- 11 ASPHALT DRIVE

**NOTES:**  
1. STEEL MATERIAL FOR FENCING SHALL CONFORM TO ASTM A653/A653M W/ A MINIMUM YIELD STRENGTH OF 45,000 PSI.  
2. WELD ALL JOINTS AND GRIND SMOOTH.  
3. PRIME AND PAINT BLACK TO MATCH EXISTING FENCING.  
4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF GATE AND SPEC SHEETS OF LOCK SYSTEM TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO FABRICATION.

**1 MANUAL EMERGENCY VEHICLE GATE**

SCALE: 1/2" = 1'-0"

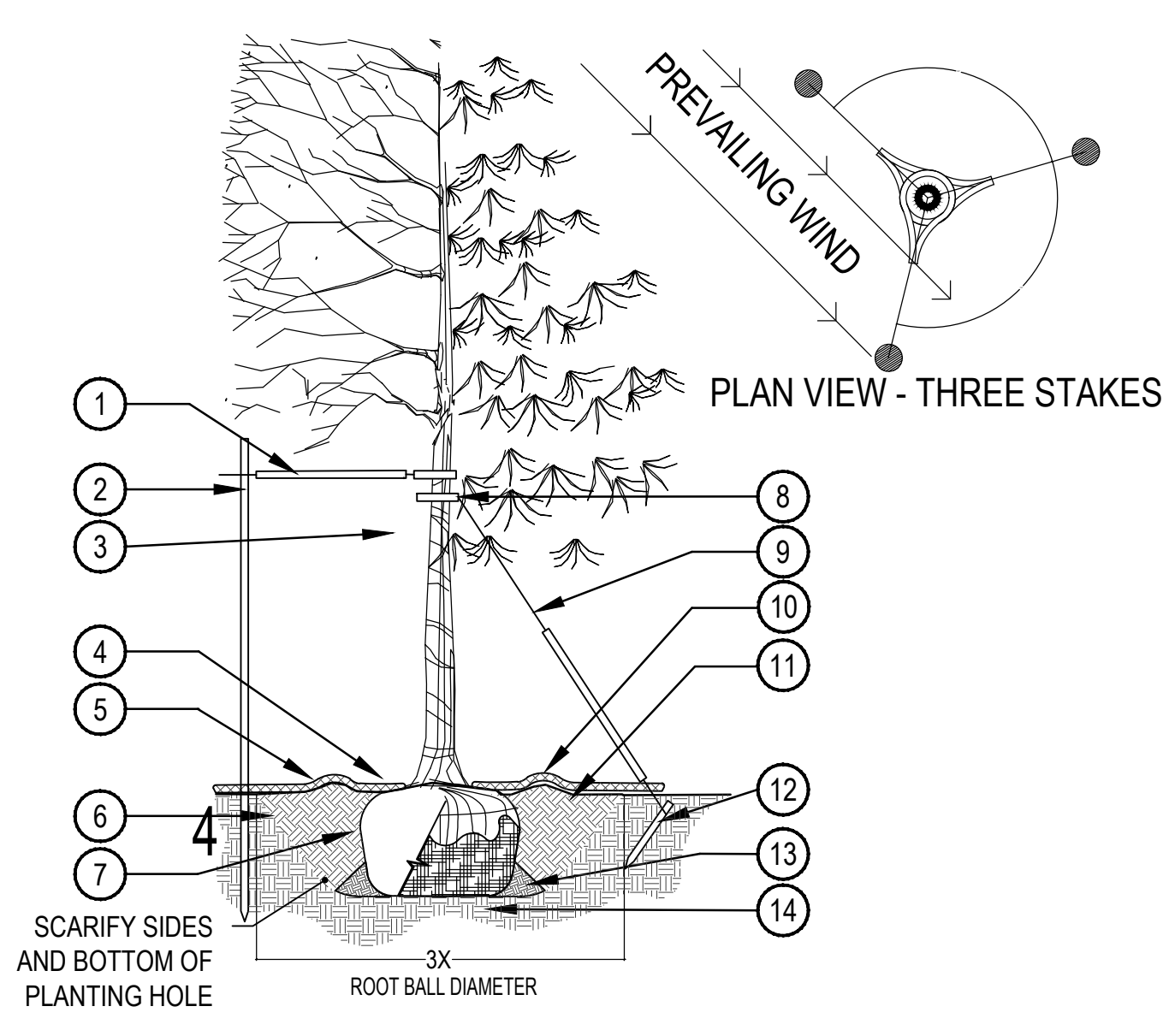


- 1 POST 2 1/2" SQUARE
- 2 POST CAP WELDED TO POST
- 3 TOP AND BOTTOM RAILS 1 1/2" SQUARE
- 4 PICKET 3/4" SQUARE
- 5 CONCRETE FOOTER
- 6 SLOPE TOP OF FOOTERS AS SHOWN
- 7 SPECIFIED LANDSCAPE TOPDRESS
- 8 UNDISTURBED SOIL OR COMPACTED SOIL

**NOTES:**  
1. STEEL MATERIAL FOR FENCING SHALL CONFORM TO ASTM A653/A653M W/ A MINIMUM YIELD STRENGTH OF 45,000 PSI.  
2. WELD ALL JOINTS AND GRIND SMOOTH.  
3. PRIME AND PAINT BLACK TO MATCH EXISTING FENCING.  
4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO FABRICATION.

**2 PROJECT FENCE**

SCALE: 1/2" = 1'-0"

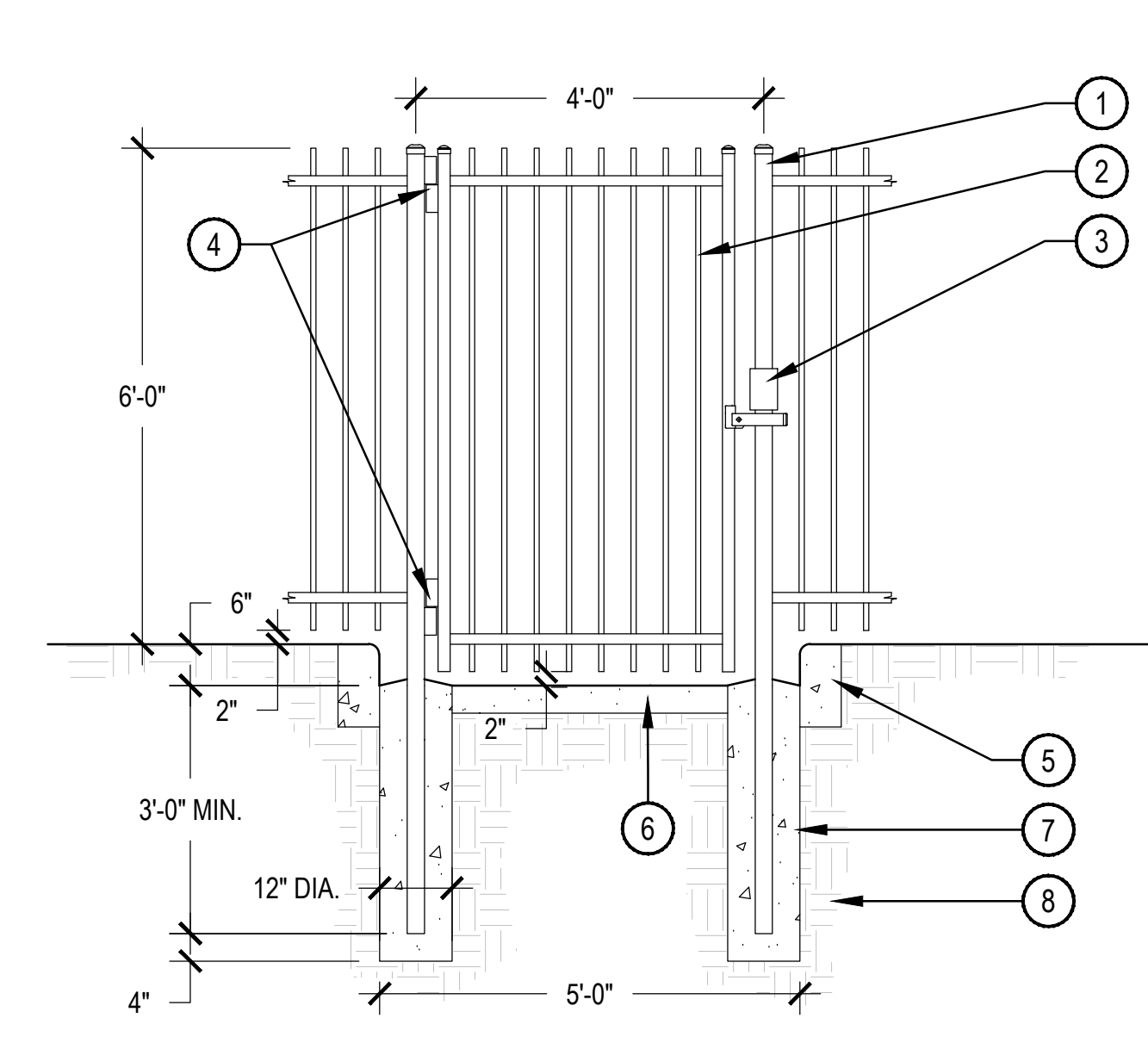


**GENERAL NOTE:**  
CONTRACTOR SHALL REFER TO THE CITY OF FLAGSTAFF TITLE 13 ENGINEERING DESIGN STANDARDS & SPECIFICATIONS FOR MORE DETAILED INFORMATION.

- PRUNING NOTES:**  
1. ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.  
2. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STAKING NOTES:**  
1. STAKE TREES PER FOLLOWING SCHEDULE. STAKES SHALL REMAIN IN PLACE FOR 2 YEARS UNLESS REMOVAL IS APPROVED BY MAINTENANCE DIRECTOR.  
2. 1.1 1 1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE)  
1.2 1 1/2" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND SIDE AND 180° FROM THAT SIDE)  
1.3 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM  
3. WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1 1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE. TIES SHALL BE 2 OPPOSING LOOPS, NOT TO BE A SINGLE LOOP.

**3 TREE PLANTING DETAIL**

SCALE: 3/16" = 1'-0"

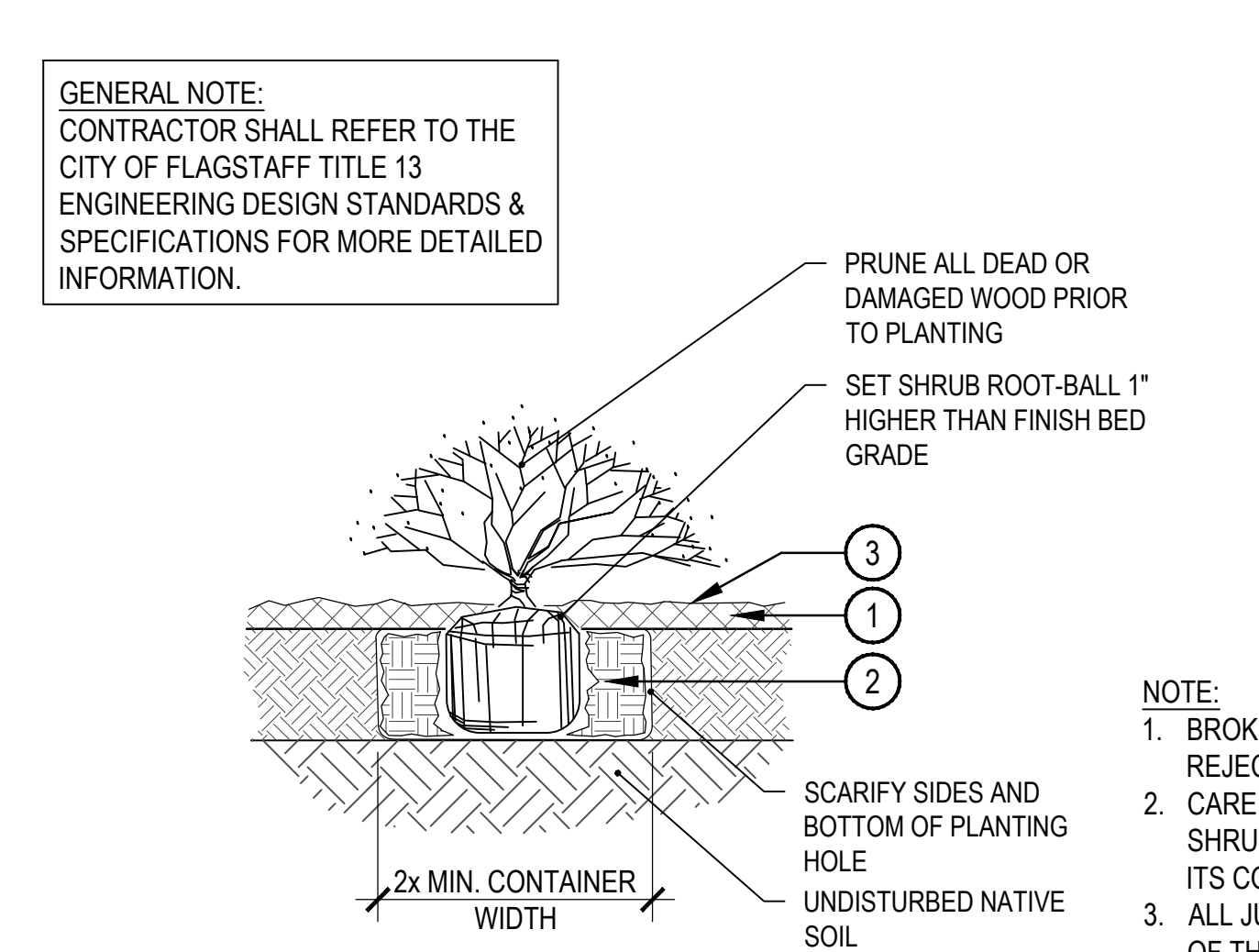


- 1 GATE POSTS 2 1/2" SQUARE
- 2 GATE RAILING AND PICKETS TO MATCH FENCE
- 3 POWERED GATE LATCH AND KEYPAD ENTRY SYSTEM - KPX 100 KEY PAD OR APPROVED EQUAL [www.emxinc.com](http://www.emxinc.com)
- 4 HEAVY DUTY SELF CLOSING GATE HINGES
- 5 CONCRETE CURB - SEE CIVIL PLANS
- 6 CONCRETE WALK - SEE CIVIL PLANS
- 7 CONCRETE FOOTER
- 8 UNDISTURBED SOIL OR COMPACTED SOIL

**NOTES:**  
1. STEEL MATERIAL FOR FENCING SHALL CONFORM TO ASTM A653/A653M W/ A MINIMUM YIELD STRENGTH OF 45,000 PSI.  
2. WELD ALL JOINTS AND GRIND SMOOTH.  
3. PRIME AND PAINT BLACK TO MATCH EXISTING FENCING.  
4. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF GATE AND SPEC SHEETS OF KEYPAD TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO FABRICATION.

**4 PEDESTRIAN GATE**

SCALE: 1/2" = 1'-0"



**GENERAL NOTE:**  
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- DOUBLE SHREDDED CEDAR MULCH INSTALLED AT DEPTH OF 3" MIN. IN SEEDED AREAS PLACE 3" DEPTH DOUBLE SHREDDED CEDAR MULCH AROUND THE PLANT TWO TIMES THE DIAMETER OF THE ROOTBALL  
NATIVE TOPSOIL WITH NO ROCKS GREATER THAN 1" DIA. TILL SOIL TO A DEPTH OF EIGHT INCHES  
APPLY CITY APPROVED SLOW RELEASE FERTILIZER TO SURFACE AWAY FROM PLANT TRUNK  
FINISH GRADE (TOP OF MULCH)

- NOTE:**  
1. BROKEN OR CRUMBLING ROOT-BALLS WILL BE REJECTED  
2. CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOT-BALL WHEN REMOVING IT FROM ITS CONTAINER  
3. ALL JUNIPERS SHOULD BE PLANTED SO THE TOP OF THE ROOT-BALL OCCURS ABOVE THE FINISH GRADE OF THE MULCH LAYER  
4. PRIOR TO MULCHING APPLY PRE-EMERGENT WEED CONTROL OVER SOIL SURFACE PER MANUFACTURERS WRITTEN DIRECTION.

**5 SHRUB PLANTING**

SCALE: 1-1/2" = 1'-0"

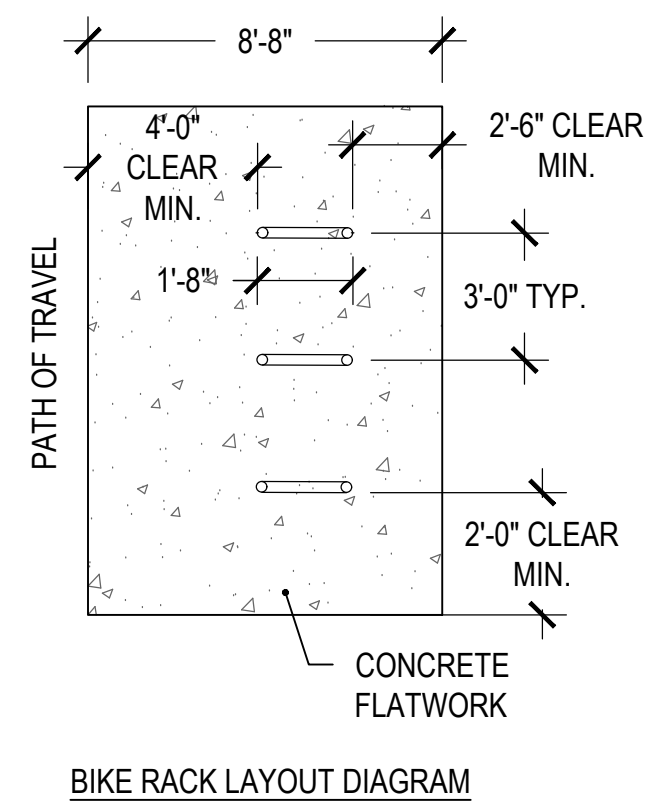


**MANUFACTURER:**  
MADRAX OR APPROVED EQUAL  
[www.madrax.com](http://www.madrax.com)

**MODEL:**  
UZ38-SF-P  
SURFACE MOUNT, 2-3/8" TUBE SIZE, POWDER COATED E-STEEL

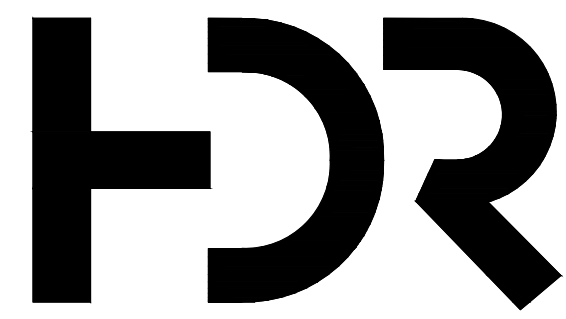
**COLOR:**  
BLACK

- NOTES:**  
1. TWO BIKE RACKS THAT CAN HOLD FOUR BIKES ARE PROPOSED FOR PHASE 1. BIKE RACKS SHALL BE RELOCATED FOR PHASE 2.  
2. THE CITY OF FLAGSTAFF REQUIRES THAT BICYCLE PARKING IS 5% OF REQUIRED VEHICULAR PARKING.  
61 VEHICULAR PARKING SPACES = 4 BIKE PARKING SPACES



**6 PROJECT BIKE RACK**

SCALE: N.T.S.



6 EAST ASPEN AVENUE  
SUITE 260  
FLAGSTAFF, AZ 86001  
P 928.233.3021

NORRIS-DESIGN.COM

PRELIMINARY  
NOT FOR  
CONSTRUCTION  
OR RECORDING

## MOUNTAIN LINE KASPAR HEADQUARTERS MAINTENANCE FACILITY

3773 N. Kaspar Drive  
Flagstaff, AZ 86004

### IRRIGATION POINT OF CONNECTION NOTES

- POINT OF CONNECTION: THERE IS ONE (1) POINT OF CONNECTION ON THIS PROJECT.  
POC #1: 3/4" EXISTING DEDICATED IRRIGATION WATER METER LOCATED AT ALONG KASPAR DRIVE.
  - CONTRACTOR IS TO LOCATE AND CONNECT DOWNSTREAM OF THE EXISTING DEDICATED NON-POTABLE IRRIGATION BACKFLOW ASSEMBLY WITH SCHEDULE 40 PVC AT A DEPTH OF 24" OR PER LOCAL CODE, WHICHEVER IS GREATER. EXTEND MAINLINE TO VALVES AS SHOWN.
  - THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES, OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS ASSOCIATED WITH THIS WORK. FINAL LOCATION OF BACKFLOW PREVENTION UNIT SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- CONTROLLER LOCATION: THERE IS ONE (1) CONTROLLER ON THIS PROJECT.  
CONTROLLER A: PEDESTAL MOUNTED CONTROLLER LOCATED ADJACENT TO POC #1.
  - CONTROLLER SHALL BE PROGRAMMED TO RUN MULTIPLE VALVES AT ONE TIME WITH A MAXIMUM TOTAL OF 8 GPM.
  - CONTROLLER, TO BE MOUNTED PER DETAILS AND MANUFACTURER'S SPECIFICATIONS.
  - CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND ELECTRICAL PLANS FOR POWER SERVICE. THERE IS POWER AT LOCATION OF EXISTING CONTROLLERS IN IMMEDIATE AREA. ALL ELECTRICAL EQUIPMENT AND POWER CONNECTION INSTALLATION SHALL CONFORM TO ALL LOCAL CODES. INSTALL A LINE VOLTAGE SURGE DEVICE (INTERMATIC AG2401C3/ OR SQUARE D SDSA1175) FOR 120V IN A JUNCTION BOX PRIOR TO CONTROLLER.
  - RAIN/FREEZE SENSOR: MOUNT THE RAIN SENSOR ON CONTROLLER ENCLOSURE IN PROXIMITY TO THE CONTROLLER. THE SENSOR SHALL BE MOUNTED IN A LOCATION IN FULL SUN AND OPEN TO RAINFALL. SENSOR SHALL BE NO MORE THAN 200' FROM WIRELESS RECEIVER. MOUNT WIRELESS RECEIVER ON OR ADJACENT TO THE IRRIGATION CONTROLLER.
- SYSTEM PRESSURE: THE SYSTEM HAS BEEN DESIGNED PER THE FOLLOWING SPECIFICATIONS: REQUIRED MINIMUM STATIC PRESSURE OF 70 PSI AND MAXIMUM SAFE VELOCITY OF 5 FPS IN ANY PVC PIPE AND 7.5 FPS IN ANY COPPER PIPE.
  - PER (WATER PURVEYOR/CITY WATER) THE STATIC PRESSURE ON SITE IS UNKNOWN.
  - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE PRESSURE IN THE FIELD AT THE POINT OF CONNECTION BEFORE CONSTRUCTION BEGINS AND FOR NOTIFYING THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCY BETWEEN THE DESIGN PRESSURE OF THE SYSTEM AND THE MEASURED PRESSURE IN THE FIELD. IF THE CONTRACTOR FAILS TO NOTIFY OWNER'S REPRESENTATIVE OF SUCH DISCREPANCIES, THEN THE CONTRACTOR ASSUMES ALL LIABILITY AND COSTS ASSOCIATED WITH SYSTEM MODIFICATIONS TO ACCOMMODATE THE ACTUAL PRESSURE.
- COMMUNICATION: IT IS RECOMMENDED THAT THE IRRIGATION CONTROLLER BE CONNECTED TO A WATER MANAGEMENT CONTROL SOFTWARE FOR OPTIMUM FUNCTION OF THE IRRIGATION SYSTEM. COORDINATE WITH OWNER'S REPRESENTATIVE AND CONTACT THE LOCAL CONTROLLER MANUFACTURER REPRESENTATIVE OR AUTHORIZED VENDOR PRIOR TO ORDERING CONTROLLER FOR COMMUNICATION AND CONNECTIVITY OPTIONS.

### CONVENTIONAL WIRE NOTES

- GROUNDING FOR THE IRRIGATION CONTROLLER SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND PER THE AMERICAN SOCIETY OF IRRIGATION CONSULTANTS' GUIDELINE 100-2002 FOR EARTH GROUNDING ELECTRONIC EQUIPMENT IN IRRIGATION SYSTEMS FOUND AT [www.asic.org/Design\\_Guides.aspx](http://www.asic.org/Design_Guides.aspx). FOR TECHNICAL SUPPORT REGARDING THE IRRIGATION CONTROLLER OR GROUNDING PLEASE CONTACT THE MANUFACTURER.
- NEW CONTROLLER WIRE SHALL BE 14GA MIN. UL APPROVED WIRE. CONTRACTOR SHALL VERIFY EXISTING CONNECTIONS AND USE UL APPROVED WIRE STRIPPER AND 3M DBY WATERPROOF CONNECTIONS AT ALL NEW SPLICES AND CONNECTION POINTS. CONTRACTOR TO INSTALL RED ELECTRIC MARKING TAPE WITH CONTROLLER WIRE THAT IS NOT WITH MAINLINE. WIRES SHALL BE BUNDLED TOGETHER BY BLACK ELECTRICAL TAPE EVERY 10 LF.
- CONTRACTOR SHALL HAVE 30' OF SPARE CONTROL WIRE PRESENT AT ALL SPLICE POINTS. SPARE WIRE SHALL BE COILED IN A NEAT AND ORDERLY FASHION AT EACH SLICE POINT.
- CONTRACTOR SHALL EXTEND TWO (2) SPARE CONTROL WIRES, AND ONE (1) SPARE COMMON WIRE AT THE END OF THE MAINLINE. CONTRACTOR SHALL INSTALL ONE (1) WIRE PULL BOX AT EACH END OF THE MAINLINE.

### EXISTING TREE NOTES

- ALL TRENCHING OR OTHER WORK UNDER LIMB SPREAD OF ANY AND ALL PLANT MATERIAL SHALL BE DONE BY HAND, BORING OR BY OTHER METHODS SO AS TO PREVENT DAMAGE TO LIMBS OR BRANCHES.
- WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES USE ALL POSSIBLE CARE TO AVOID INJURY TO TREES AND TREE ROOTS.
- EXCAVATION AND TRENCHING, IN AREAS WHERE 2" AND LARGER ROOTS OCCUR, SHALL BE DONE BY HAND.
- ROOTS 2" OR LARGER IN DIAMETER SHALL BE TUNNELED UNDER AND SHALL BE HEAVILY WRAPPED WITH BURLAP TO PREVENT SCARRING OR EXCESSIVE DRYING.
- ROOTS SMALLER THAN 2" IN DIAMETER SHALL BE HAND TRIMMED AT THE WALL OF TRENCH, MAKING CLEAN CUTS THROUGH ROOTS.
- TRENCHES ADJACENT TO TREES SHALL BE CLOSED WITHIN 24 HOURS, AND WHEN THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO TREE SHALL BE KEPT SHADED WITH MOISTENED BURLAP OR CANVAS UNTIL BACKFILL.

### IRRIGATION GENERAL NOTES

- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL THE IMPROVEMENTS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL COORDINATE AS NECESSARY WITH THE GENERAL CONTRACTOR AND OWNER'S REPRESENTATIVE FOR SUCCESSFUL COMPLETION OF THIS WORK.
- ALL IRRIGATION EQUIPMENT IS TO BE AS SPECIFIED OR APPROVED EQUAL PER THE DISCRETION OF THE OWNER'S REPRESENTATIVE. THE CONTRACTOR ASSUMES ALL LIABILITY ASSOCIATED WITH THE MODIFICATION OF THE IRRIGATION SYSTEM DESIGN WITHOUT NOTIFYING THE OWNER'S REPRESENTATIVE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT A THOROUGH SITE INSPECTION AND REVIEW OF THE PROJECT CONSTRUCTION DOCUMENTS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: LANDSCAPE PLAN, UTILITY PLAN, CIVIL UTILITY PLAN, ARCHITECTURE PLAN, GRADING AND DRAINAGE PLAN AND ALL OTHER ASSOCIATED PLANS AND SPECIFICATIONS THAT AFFECT THIS WORK PRIOR TO START OF WORK. IF THE AND CONTRACTOR OBSERVES ANY DISCREPANCIES AMONG THE CONSTRUCTION DOCUMENTS AND THE EXISTING CONDITIONS ON SITE, IT IS THEIR RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- THE CONTRACTOR MUST VERIFY THE LOCATION OF ALL PUBLIC AND PRIVATE UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. IF THE CONTRACTOR FAILS TO DO SO AND DAMAGES ANY UNDERGROUND UTILITIES, THE CONTRACTOR SHALL PAY FOR ANY REPAIR WORK ASSOCIATED WITH SAID DAMAGES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ADEQUATE VERTICAL AND HORIZONTAL SEPARATION BETWEEN ALL IRRIGATION DISTRIBUTION LINES AND ALL UTILITIES (EXISTING OR PROPOSED), CONDUIT, STORM WATER COMPONENTS, DRAINS, ETC.
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE REGULATIONS AND INSTALL THE IRRIGATION SYSTEM AND ITS COMPONENTS PER MANUFACTURER'S SPECIFICATIONS. THE CONTRACTOR SHALL OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS REQUIRED BY ANY LOCAL AND STATE AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THIS SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND PAYING FOR CERTIFICATION OF THE BACKFLOW PREVENTER BY A STATE CERTIFIED INSPECTOR. THE CONTRACTOR SHALL PROVIDE CERTIFICATES TO OWNER'S REPRESENTATIVE PRIOR TO PROJECT ACCEPTANCE.
- IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED WITHIN LANDSCAPE AREAS AND WITHIN THE PROJECT LIMITS. EQUIPMENT SHOWN OUTSIDE OF THESE LIMITS IS SHOWN FOR GRAPHIC CLARITY ONLY. IF THERE IS A QUESTION REGARDING THE LOCATION OF ANY COMPONENT OF THE IRRIGATION SYSTEM, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE. IF THE CONTRACTOR NEGLECTS TO NOTIFY THE NECESSARY PARTIES, THE CONTRACTOR SHALL PAY FOR ANY REPLACEMENT OR MODIFICATION TO ENSURE PROPER LOCATION AND OPERATION OF THE IRRIGATION SYSTEM AND ITS COMPONENTS.
- ALL IRRIGATION DISTRIBUTION LINES AND EQUIPMENT INCLUDING BUT NOT LIMITED TO: MAINLINE, LATERALS, SPRAY HEADS, DRIP EMITTERS SHALL BE KEPT A MINIMUM DISTANCE OF 6' AWAY FROM ALL BUILDING AND WALL FOUNDATIONS, OR AS STIPULATED IN THE GEOTECHNICAL REPORT, WHICHEVER IS GREATER. EQUIPMENT MAY BE SHOWN IN THIS AREA FOR GRAPHIC CLARITY. COORDINATE ALL REQUIRED SETBACKS WITH OWNER'S REPRESENTATIVE PRIOR TO START OF WORK.
- EACH VALVE SHALL BE INSTALLED IN A SEPARATE VALVE BOX AS DETAILED. ALL VALVE BOXES AND LIDS SHALL BE COMMERCIAL GRADE, PLASTIC WITH SELF LOCKING COVERS. LID COLOR TO BE PURPLE. INSTALL FLUSH TO FINISH GRADE AND PER CONSTRUCTION DETAILS. DO NOT INSTALL IN PAVED AREAS OR IN BOTTOMS OF DRAINAGE SWALES/BASINS.
- CONTRACTOR SHALL INSTALL DETECTABLE MARKING TAPE OR #14g DIRECT BURY TRACER WIRE IN ALL PRESSURE MAINLINE TRENCHES. SEE IRRIGATION DETAILS FOR MORE INFORMATION.
- PLANT MATERIAL LOCATIONS TAKE PRECEDENCE OVER ROUTING OF IRRIGATION PIPING. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
- THE CONTRACTOR SHALL MARK THE LOCATION OF THE MAINLINE, CONTROL VALVES, GATE VALVES AND HEAD LAYOUT OF A REPRESENTATIVE SPRAY ZONE. SCHEDULE A REVIEW WITH THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- INSTALL SCH. 40 BALL WITH OPERATIONAL INDICATOR AT ENDS OF ALL DRIP LATERALS AS DETAILED. FLUSH ALL LATERALS THOROUGHLY BEFORE INSTALLING EMITTERS AND BUBBLERS.
- CONTRACTOR SHALL INSTALL A QUICK COUPLER IN 10" VALVE BOX AT THE END OF ALL BRANCHES OF THE MAINLINE, OR AS SHOWN ON PLANS. FOR WINTERIZATION AND FLUSHING OF MAINLINE.
- THE CONTRACTOR SHALL PERFORM A PRESSURE TEST ON ALL MAINLINES. CONTRACTOR SHALL PRESSURIZE MAINLINES TO 120 PSI AND MAINTAIN PRESSURE AT 120 PSI FOR A MINIMUM CONTINUOUS PERIOD OF TWO (2) HOURS TO ACHIEVE FINAL ACCEPTANCE.
- THIS IRRIGATION SYSTEM HAS BEEN DESIGNED TO OPERATE DURING A THREE(3) NIGHT PER WEEK, SIXTEEN(16) HOURS PER NIGHT WATERING WINDOW. DRIP IRRIGATION ZONES MAY BE ALLOWED TO RUN ON A SEPARATE SCHEDULE FROM THIS WATER WINDOW DEPENDING JURISDICTION. LANDSCAPE ESTABLISHMENT WILL REQUIRE INCREASED IRRIGATION WATER FOR DURATION OF THE ESTABLISHMENT PERIOD AND MAY REQUIRE TWICE THE AMOUNT OF WATER AS ESTABLISHED PLANT MATERIAL. THE CONTRACTOR SHALL COORDINATE WATERING SCHEDULES AND APPLICATION RATES WITH THE OWNER'S REPRESENTATIVE PRIOR TO FINAL ACCEPTANCE.
- THE DESIGN IS BASED ON THE FOLLOWING PROJECTED PEAK SEASON WEEKLY APPLICATION RATES AFTER ESTABLISHMENT. THESE FIGURES WILL NEED TO BE ADJUSTED DUE TO SEASONAL CHANGES AND VARIABLE WEATHER CONDITIONS.
  - TREE, SHRUB, AND PERENNIAL PLANT MATERIAL: 1.00" PER WEEK PEAK SEASON
- THE CONTRACTOR SHALL PROVIDE A SEASONAL MAINTENANCE SCHEDULE WHICH SHALL BEGIN ON APRIL 15TH AND END ON OCTOBER 15TH. TO ENSURE THE EFFICIENCY AND LONGEVITY OF THE IRRIGATION SYSTEM, THE MAINTENANCE SCHEDULE SHALL INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING LIST OF BEST MANAGEMENT PRACTICES:
  - CHECK HEADS FOR COVERAGE AND LEAKAGE.
  - CHECK CONTROLLER PROGRAMMING AND ADJUST FOR SEASONAL CHANGES AS NECESSARY.
  - VERIFY THAT THE WATER SUPPLY AND PRESSURE ARE AS STATED IN THE DESIGN.
  - CERTIFY THE BACKFLOW PREVENTION DEVICE AND SUBMIT TEST RESULTS TO THE PROPERTY MANAGER.
  - PERIODICALLY VERIFY THE THE SENSORS IN THE IRRIGATION SYSTEM ARE OPERATING CORRECTLY.
  - WINTERIZATION AND SPRING START UP PROCEDURES.

### IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	MODEL NO. DESCRIPTION	DETAIL	
			#	AND SHEET
	IRRIGATION POC	3/4" DEDICATED NON-POTABLE IRRIGATION POINT OF CONNECTION REFER TO CIVIL, UTILITY, AND WATER PLANS	NA	NA
	IRRIGATION CONTROLLER	RAIN BIRD ESPLXME2 W/ LXMM CABINET AND LXMPED PEDESTAL 120VAC POWER REQUIRED - SEE PLANS FOR LOCATION(S)	1	LI-501
	RAIN SENSOR	RAIN BIRD WR2-RFS 120VAC POWER REQUIRED - SEE PLANS FOR LOCATION(S)	1	LI-501
	MANUAL DRAIN VALVE	MATCO-NORCA 3/4" 201X INSTALLED IN AEP 910L-1G2G VALVE BOX W/ PURPLE LID	2	LI-501
	QUICK COUPLER	TORO 100-2SLLVC INSTALLED IN AEP 910L-1G2G VALVE BOX W/ PURPLE LID	3	LI-501
	ISOLATION GATE VALVE	MATCO-NORCA 514TX MATCH LINE SIZE, INSTALLED IN AEP 910L-1G2G VALVE BOX W/ PURPLE LID	4	LI-501
	DRIP VALVE ASSEMBLY	TORO 100-S SERIES W/ RW60-KIT AND HUNTER HFR-100-075-40-R FILTER/REGULATOR WITH SCH 40 BALL VALVE, INSTALLED IN AEP 1320-1G2G VALVE BOX W/ PURPLE LID. SIZED PER PLAN	5	LI-501
	SLEEVING	CLASS 200 PVC REFER TO SLEEVING NOTES	6	LI-501
	PVC MAINLINE	SCH 40 PVC BE - PURPLE SIZE 1-1/2" UNLESS OTHERWISE NOTED	7	LI-501
	PVC TREE LATERAL	CLASS 200 PVC - PURPLE SIZE: 1" UNLESS OTHERWISE NOTED	7	LI-501
	LATERAL	SCH 40 PVC BE - PURPLE SIZE: 1" MINIMUM UNLESS OTHERWISE NOTED	7	LI-501
	FLUSH END CAP	SCH 40 BALL VALVE & HUNTER ECO-ID-12-R OPERATIONAL INDICATOR INSTALLED IN AEP 910L-1G2G VALVE BOX	8	LI-501

VALVE CALLOUT	EMITTER SCHEDULE			
VALVE/STATION NUMBER ZONE DESIGNATION: T (TREES), S (SHRUBS), X (EXISTING PLANTINGS)	PLANT TYPE	EMITTER	QTY.	TOTAL GPH
	PERENNIAL / GRASSES	0.5 GPH	TWO EACH	1.0 GPH
	DECIDUOUS SHRUBS	1.0 GPH	TWO EACH	2.0 GPH
	EVERGREEN SHRUBS	1.0 GPH	TWO EACH	2.0 GPH
	DECIDUOUS TREE	1.0 GPH	EIGHT EACH	8.0 GPH
	EVERGREEN TREE	1.0 GPH	EIGHT EACH	8.0 GPH

- EMITTER NOTES
- ALL PLANT MATERIAL SHALL BE IRRIGATED WITH RAIN BIRD XBT SERIES PRESSURE COMPENSATING EMITTERS.
  - EMITTER SCHEDULE IS FOR REFERENCE ONLY. THE CONTRACTOR SHALL ADJUST EMITTER AND NUMBER OF EMITTERS BASED ON THE NEEDS OF INDIVIDUAL PLANTS OR PLANT HYDROZONES.
  - 1/4" DISTRIBUTION TUBING NOT TO EXCEED 8' IN LENGTH.
  - RAIN BIRD DBC-025 DIFFUSER BUG CAP AND TS-025 STAKE ON ALL 1/4" DISTRIBUTION TUBING EMISSION POINTS.
  - REFER TO DRIP IRRIGATION DETAILS 9-11, SHEET LI-501

### SLEEVING COORDINATION NOTES

- INSTALLATION OF IRRIGATION SLEEVING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR FOR LOCATION AND SIZING OF SLEEVES PRIOR TO THE START OF CONSTRUCTION.
- SLEEVES SHALL BE INSTALLED PRIOR TO THE START OF PAVING OPERATIONS.
- THE CONTRACTOR SHALL SLEEVE ALL IRRIGATION DISTRIBUTION LINES, VALVE CONTROL WIRES AND COMMUNICATION WIRES UNDER ALL PAVED SURFACES, WALL FOOTERS, DRAINAGE CHANNELS, INLETS, CATCH BASINS, ETC.
- ALL SLEEVES SHALL EXTEND A MINIMUM OF 12" BEYOND EDGE OF ALL OBSTRUCTIONS. NO TEES, ELLS OR OTHER TURNS IN PIPING SHALL BE LOCATED UNDER ANY OBSTRUCTIONS.
- EACH PIPE SHALL BE IN A SEPARATE SLEEVE. WIRES SHALL BE IN A SEPARATE PIPE UNDER ALL PAVED SURFACES.
- SLEEVING SHALL BE INSTALLED PER THE SIZES AND QUANTITIES SHOWN ON THE PLANS BASED ON THE CHART BELOW.
 

PIPING	REQUIRED SLEEVE SIZE
MAINLINE PIPING	3" CLASS SCH 40 PVC
LATERAL PIPING	2X NOMINAL DIAMETER OF LATERAL
CONTROL WIRES	2" CLASS SCH 40 PVC

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Electrical Engineer	Stephen Bowcock
Plumbing Engineer	Robbie Ramsey
Interior Designer	Jessi Levin
Equipment Planner	Ken Booth
Wayfinding	-
Sheet Reviewer	ME, AH

MARK	DATE	DESCRIPTION
	07.25.2024	SITE PLAN SUBMISSION
	02.07.2025	SITE PLAN RE-SUBMISSION
	03.14.2025	SITE PLAN RE-SUBMISSION
	04.08.2025	SITE PLAN RE-SUBMISSION
	05.05.2025	SITE PLAN RE-SUBMISSION

Project Number	10380810
Original Issue	07-25-2024

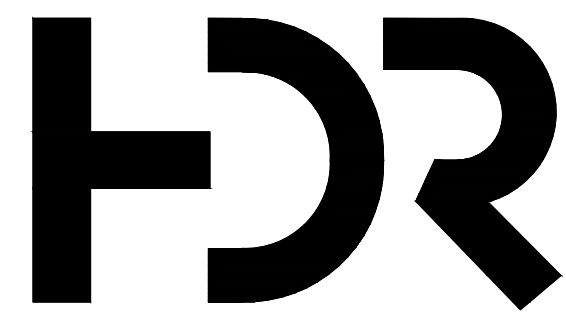
## Sheet Name IRRIGATION NOTES & SCHEDULE

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Sheet Number

# LI-001

Project Status  
SITE PLAN DRAWINGS



**NORRIS DESIGN**  
PEOPLE + PLACEMAKING

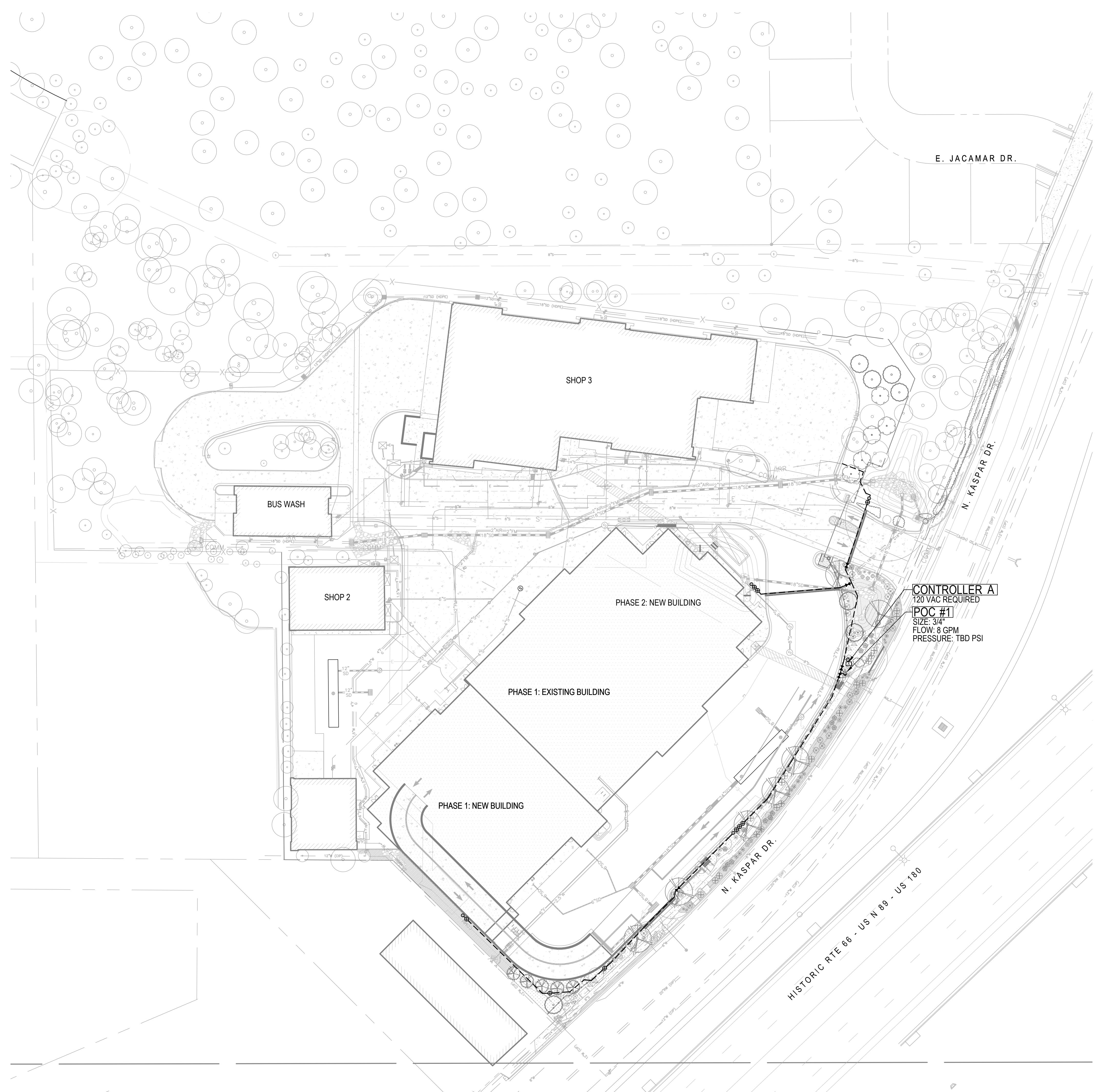
6 EAST ASPEN AVENUE  
SUITE 260  
FLAGSTAFF, AZ 86001  
P 928.233.3021

[NORRIS-DESIGN.COM](http://NORRIS-DESIGN.COM)

**PRELIMINARY  
NOT FOR  
CONSTRUCTION  
OR RECORDING**

**MOUNTAIN LINE KASPAR  
HEADQUARTERS  
MAINTENANCE FACILITY**

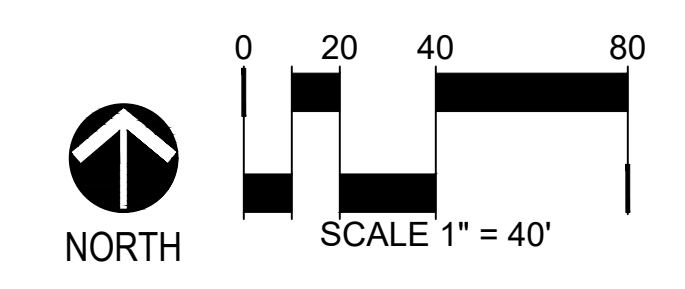
3773 N. Kaspar Drive  
Flagstaff, AZ 86004



Project Manager	Patrick Glowacki
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Project Architect	Rachel McAdoo
Landscape Architect	Aaron Heyne
Civil Engineer	Zach Keith
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Sheet Name  
**OVERALL IRRIGATION  
PLAN**

Scale  
1" = 40'-0"

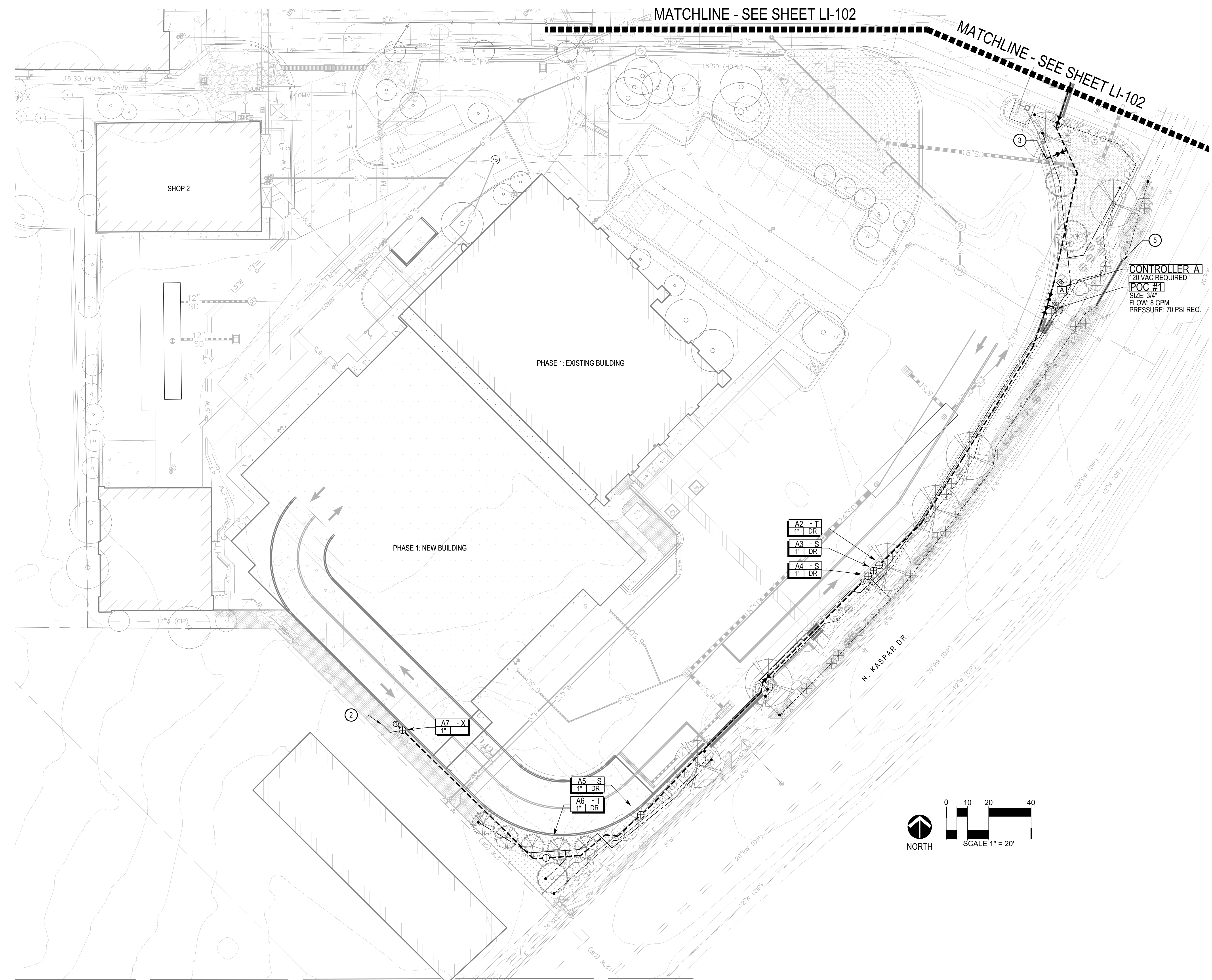
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**LI-100**

Project Status  
SITE PLAN DRAWINGS

**MOUNTAIN LINE KASPAR  
HEADQUARTERS  
MAINTENANCE FACILITY**

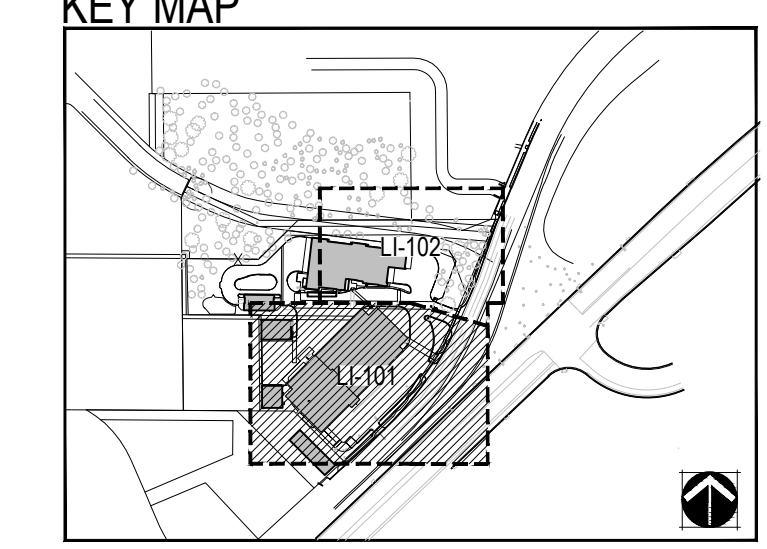
3773 N. Kaspar Drive  
Flagstaff, AZ 86004



**IRRIGATION KEY NOTES**

- ① CONTRACTOR SHALL EXTEND NEW MAINLINE PIPING AS SHOWN AND CONNECT TO EXISTING MAINLINE PIPING AT THIS APPROXIMATE LOCATION.
- ② CONTRACTOR SHALL EXTEND NEW LATERAL PIPING AS SHOWN AND CONNECT TO EXISTING LATERAL PIPING AT THIS APPROXIMATE LOCATION.
- ③ CONTRACTOR SHALL EXTEND NEW MAINLINE PIPING, TWO (2) CONTROL WIRES, ONE (1) COMMON WIRE, AND THREE (3) MAINTENANCE SPARE WIRES TO THIS APPROXIMATE LOCATION FOR CONNECTION TO PHASE 2 LANDSCAPING.
- ④ CONTRACTOR SHALL CONNECT TO MAINLINE PIPING, TWO (2) CONTROL WIRES, ONE (1) COMMON WIRE, AND THREE (3) MAINTENANCE SPARE WIRES AT THIS APPROXIMATE LOCATION AND EXTEND AS SHOWN TO PHASE 2 LANDSCAPING.
- ⑤ CONTRACTOR SHALL DIRECTIONALLY BORE NEW SLEEVE(S) UNDER EXISTING CONCRETE AT THIS APPROXIMATE LOCATION.

**KEY MAP**



Project Manager	Patrick Glowacki
Project Designer	Katherine Dudzik Smith
Project Architect	Rachel McAdoo
Landscape Architect	Aaron Heyne
Civil Engineer	Zach Keith
Structural Engineer	Chad Stippel
Mechanical Engineer	Brett McQuillan
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Equipment Planner	Ken Booth
Wayfinding	-

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Sheet Name  
**IRRIGATION PLAN**

Scale  
1" = 20'-0"

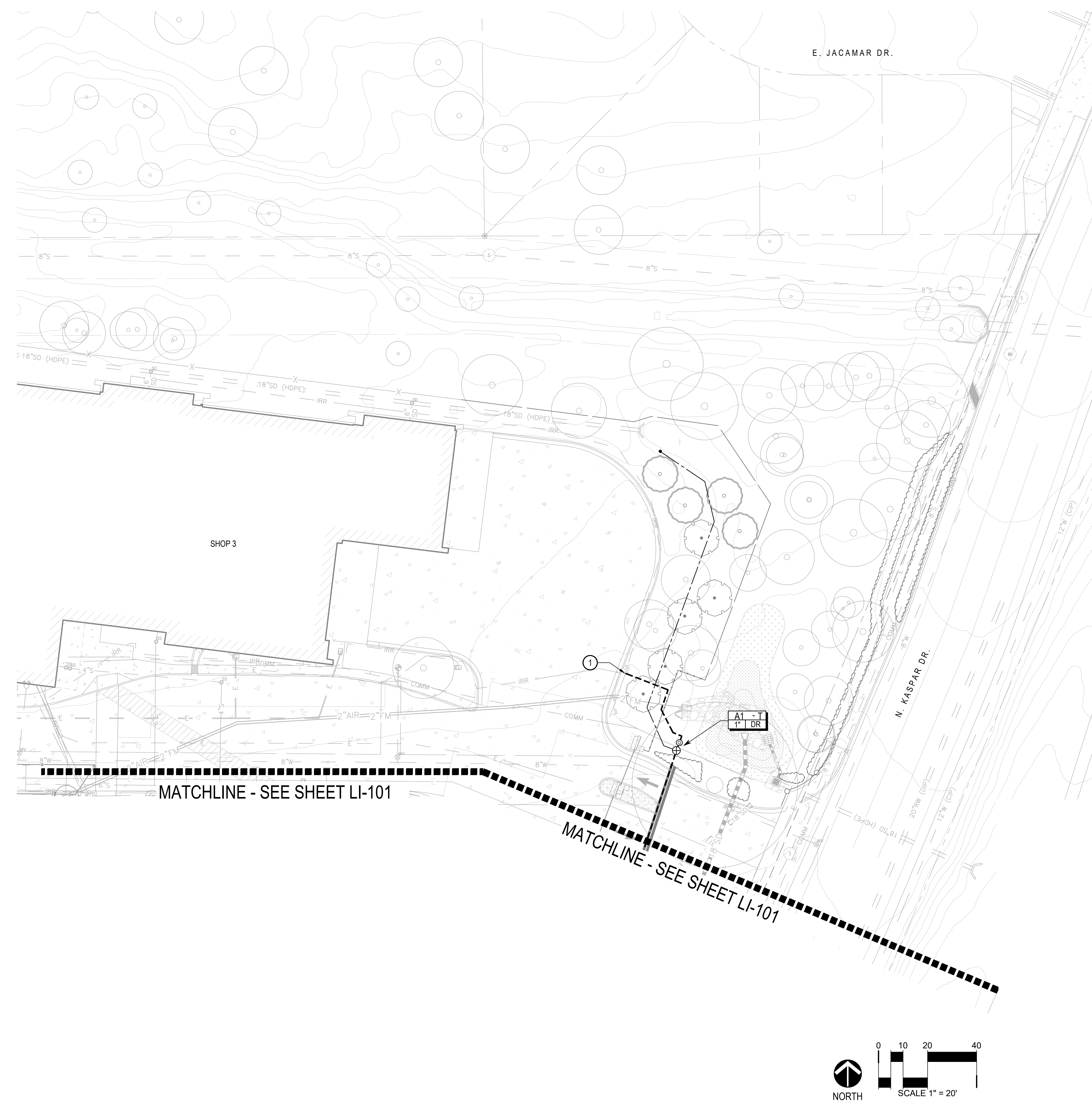
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**LI-101**

Project Status  
SITE PLAN DRAWINGS

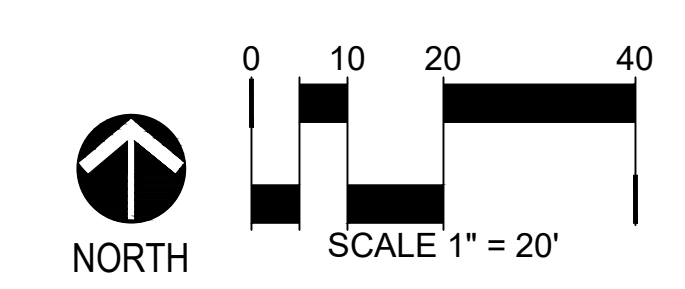
**MOUNTAIN LINE KASPAR  
HEADQUARTERS  
MAINTENANCE FACILITY**

3773 N. Kaspar Drive  
Flagstaff, AZ 86004



MATCHLINE - SEE SHEET LI-101

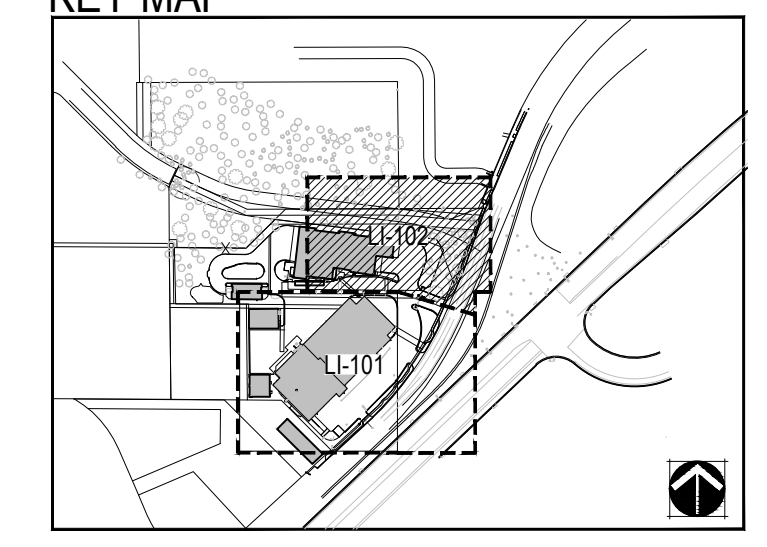
MATCHLINE - SEE SHEET LI-101



**IRRIGATION KEY NOTES**

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- ② CONTRACTOR SHALL EXTEND NEW LATERAL PIPING AS SHOWN AND CONNECT TO EXISTING LATERAL PIPING AT THIS APPROXIMATE LOCATION.
- ③ CONTRACTOR SHALL EXTEND NEW MAINLINE PIPING, TWO (2) CONTROL WIRES, ONE (1) COMMON WIRE, AND THREE (3) MAINTENANCE SPARE WIRES TO THIS APPROXIMATE LOCATION FOR CONNECTION TO PHASE 2 LANDSCAPING.
- ④ CONTRACTOR SHALL CONNECT TO MAINLINE PIPING, TWO (2) CONTROL WIRES, ONE (1) COMMON WIRE, AND THREE (3) MAINTENANCE SPARE WIRES AT THIS APPROXIMATE LOCATION AND EXTEND AS SHOWN TO PHASE 2 LANDSCAPING.
- ⑤ CONTRACTOR SHALL DIRECTIONALLY BORE NEW SLEEVE(S) UNDER EXISTING CONCRETE AT THIS APPROXIMATE LOCATION.

**KEY MAP**



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Wayfinding	-
Sheet Reviewer	ME, AH

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Sheet Name  
**IRRIGATION PLAN**

Scale  
1" = 20'-0"

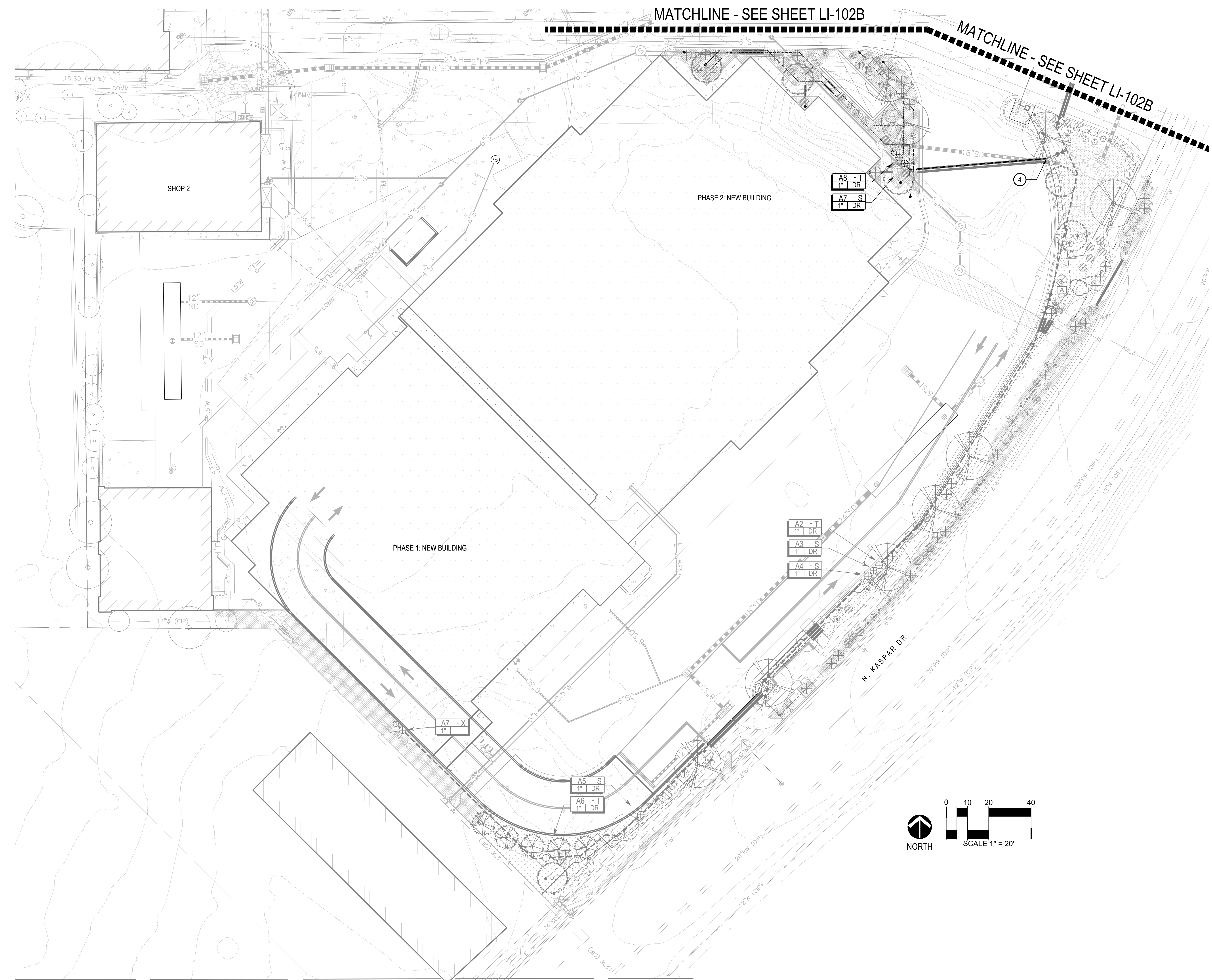
Sheet Number

**LI-102**

Project Status  
SITE PLAN DRAWINGS

**MOUNTAIN LINE KASPAR  
HEADQUARTERS  
MAINTENANCE FACILITY**

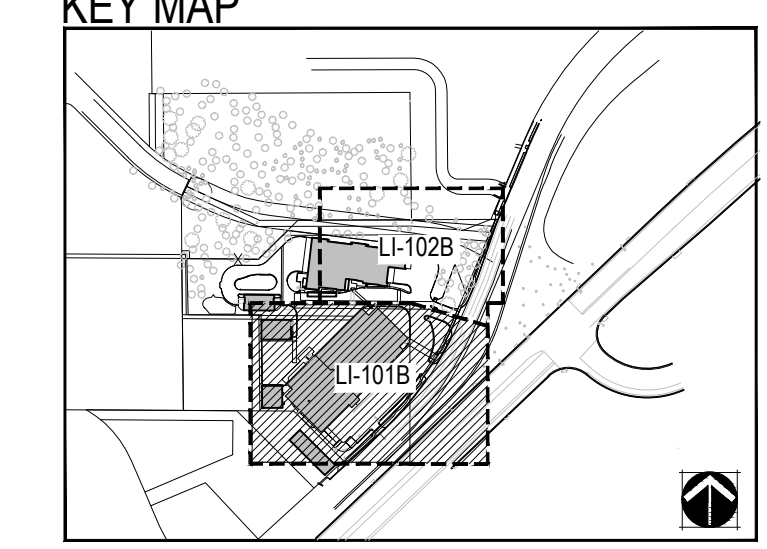
3773 N. Kaspar Drive  
Flagstaff, AZ 86004



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- ④ CONTRACTOR SHALL CONNECT TO MAINLINE PIPING, TWO (2) CONTROL WIRES, ONE (1) COMMON WIRE, AND THREE (3) MAINTENANCE SPARE WIRES AT THIS APPROXIMATE LOCATION AND EXTEND AS SHOWN TO PHASE 2 LANDSCAPING.
- ⑤ CONTRACTOR SHALL DIRECTIONALLY BORE NEW SLEEVE(S) UNDER EXISTING CONCRETE AT THIS APPROXIMATE LOCATION.

**KEY MAP**



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Interior Designer	Jessi Levin
Equipment Planner	Ken Booth
Wayfinding	-
Sheet Reviewer	ME, AH

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04.08.2025	04.08.2025	SITE PLAN RE-SUBMISSION
05.05.2025	05.05.2025	SITE PLAN RE-SUBMISSION

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Sheet Name  
**IRRIGATION PLAN -  
PHASE 2**

Scale  
1" = 20'-0"

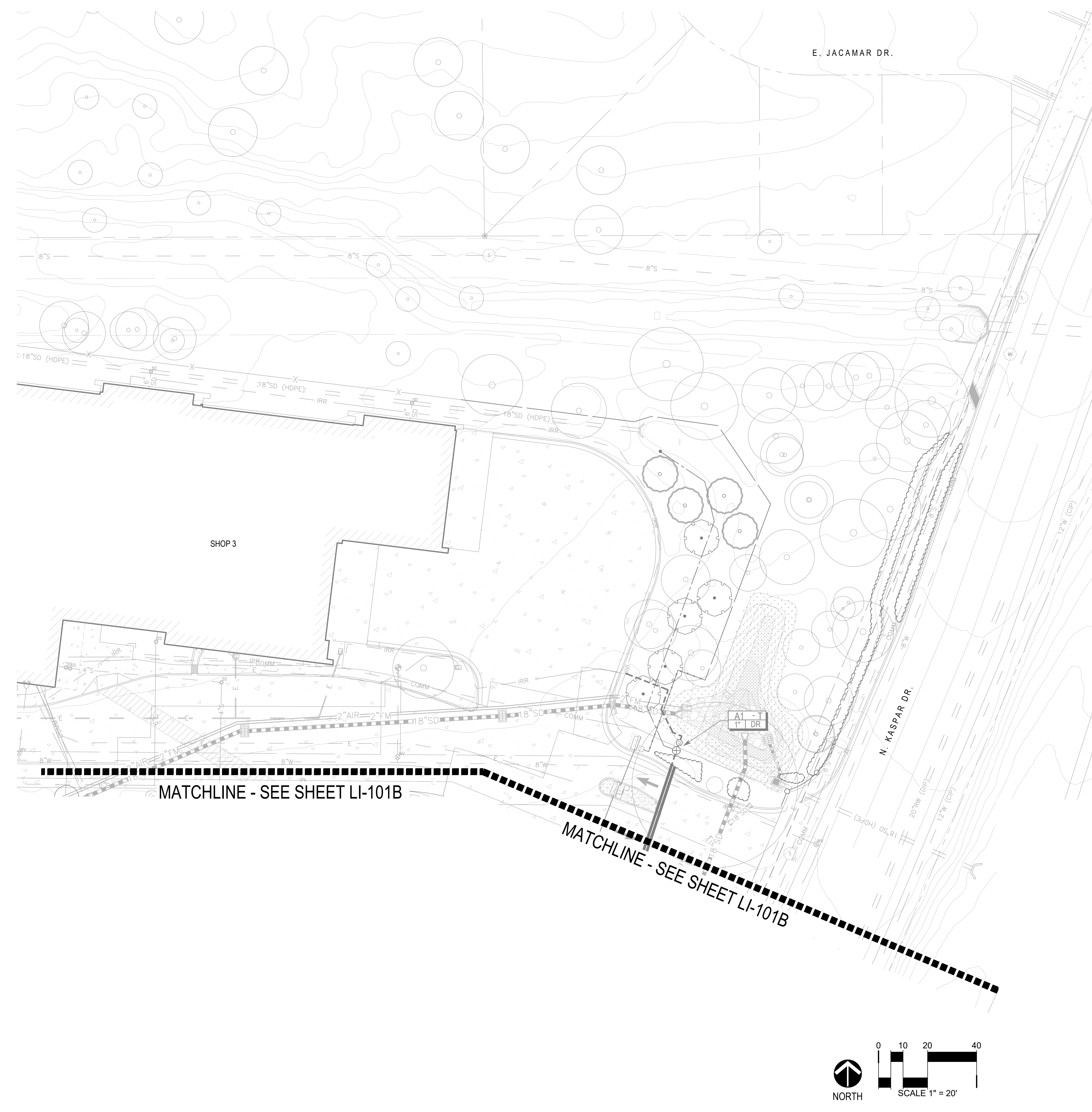
Sheet Number

**LI-101B**

Project Status  
SITE PLAN DRAWINGS

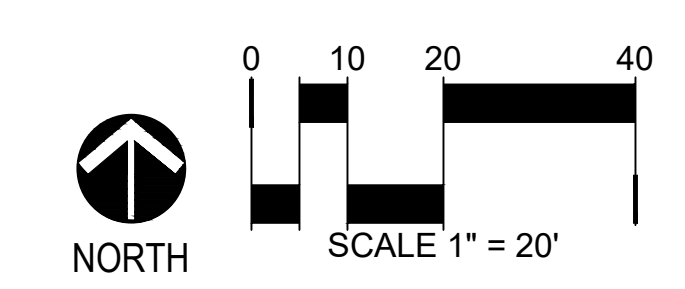
**MOUNTAIN LINE KASPAR  
HEADQUARTERS  
MAINTENANCE FACILITY**

3773 N. Kaspar Drive  
Flagstaff, AZ 86004



MATCHLINE - SEE SHEET LI-101B

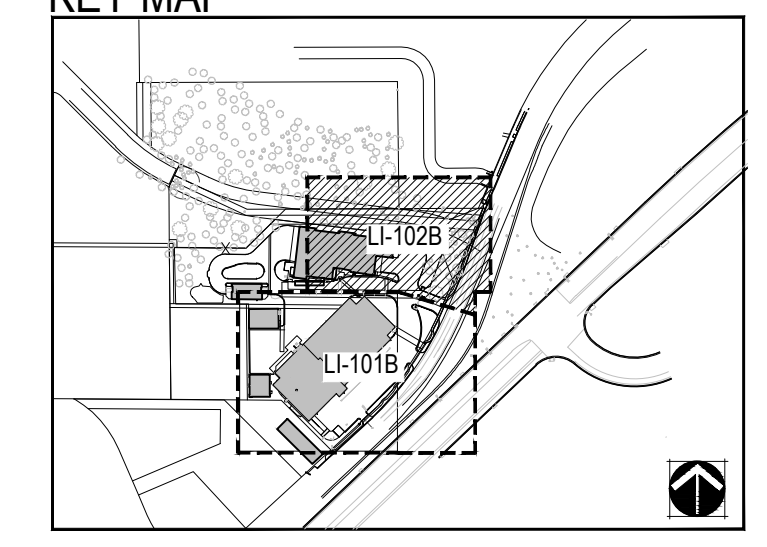
MATCHLINE - SEE SHEET LI-101B



**IRRIGATION KEY NOTES**

- ① CONTRACTOR SHALL EXTEND NEW MAINLINE PIPING AS SHOWN AND CONNECT TO EXISTING MAINLINE PIPING AT THIS APPROXIMATE LOCATION.
- ② CONTRACTOR SHALL EXTEND NEW LATERAL PIPING AS SHOWN AND CONNECT TO EXISTING LATERAL PIPING AT THIS APPROXIMATE LOCATION.
- ③ CONTRACTOR SHALL EXTEND NEW MAINLINE PIPING, TWO (2) CONTROL WIRES, ONE (1) COMMON WIRE, AND THREE (3) MAINTENANCE SPARE WIRES TO THIS APPROXIMATE LOCATION FOR CONNECTION TO PHASE 2 LANDSCAPING.
- ④ CONTRACTOR SHALL CONNECT TO MAINLINE PIPING, TWO (2) CONTROL WIRES, ONE (1) COMMON WIRE, AND THREE (3) MAINTENANCE SPARE WIRES AT THIS APPROXIMATE LOCATION AND EXTEND AS SHOWN TO PHASE 2 LANDSCAPING.
- ⑤ CONTRACTOR SHALL DIRECTIONALLY BORE NEW SLEEVE(S) UNDER EXISTING CONCRETE AT THIS APPROXIMATE LOCATION.

**KEY MAP**



Project Manager	Patrick Glowacki
Project Designer	Katherine Dudzik Smith
Project Architect	Rachel McAdoo
Landscape Architect	Aaron Heyne
Civil Engineer	Zach Keith
Structural Engineer	Chad Stippel
Mechanical Engineer	Brett McQuillan
Electrical Engineer	Stephen Bowcock
Plumbing Engineer	Robbie Ramsey
Interior Designer	Jessi Levin
Equipment Planner	Ken Booth
Wayfinding	-
Sheet Reviewer	ME, AH

MARK	DATE	DESCRIPTION
	07.25.2024	SITE PLAN SUBMISSION
	02.07.2025	SITE PLAN RE-SUBMISSION
	03.14.2025	SITE PLAN RE-SUBMISSION
	04.08.2025	SITE PLAN RE-SUBMISSION
	05.05.2025	SITE PLAN RE-SUBMISSION

Project Number	10380810
Original Issue	07-25-2024

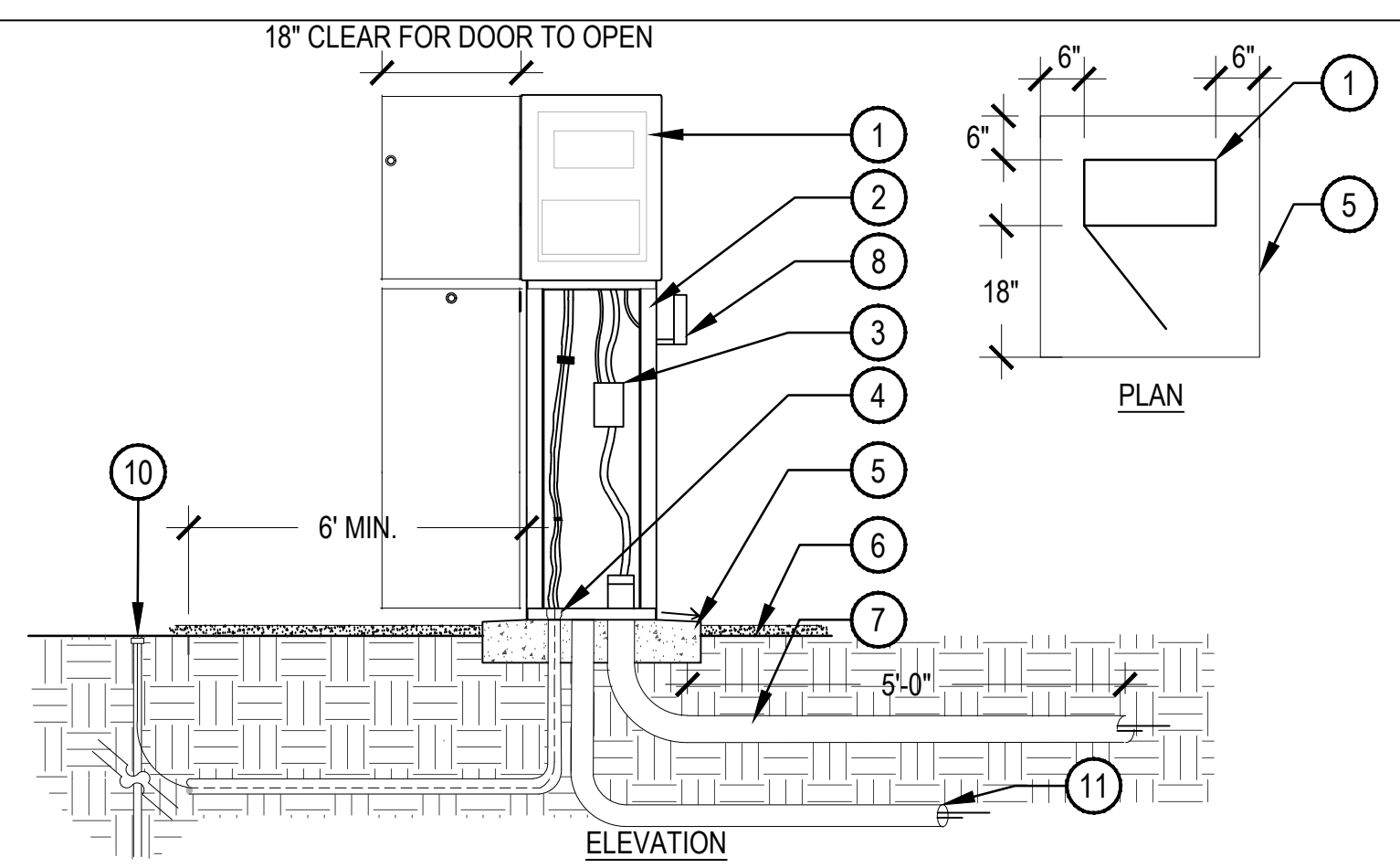
Sheet Name  
**IRRIGATION PLAN -  
PHASE 2**

Scale  
1" = 20'-0"

Sheet Number

**LI-102B**

Project Status  
SITE PLAN DRAWINGS

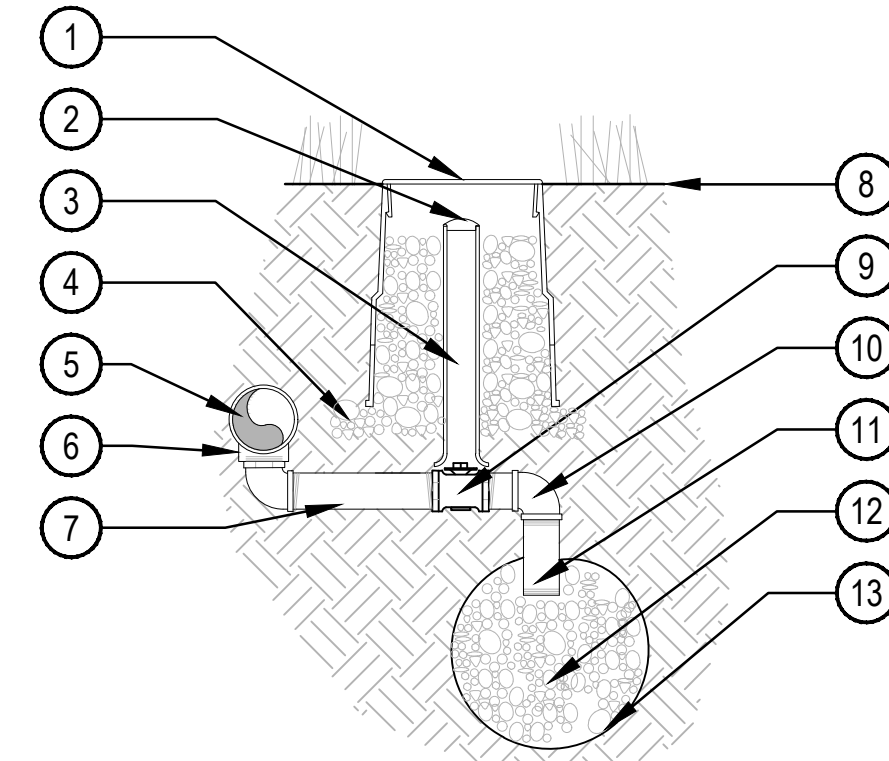


- NOTE:
1. ALL ELECTRICAL AND CONTROLLER WIRE TO BE INSTALLED PER LOCAL CODE AND MANUFACTURER'S SPECIFICATIONS.
  2. PROVIDE LOCK AND KEY FOR ENCLOSURE.
  3. GROUND CONTROLLER PER LOCAL CODE, MANUFACTURER AND ASIC SPECIFICATIONS.
  4. PROVIDE WATERPROOF SEALANT FOR ALL CONDUIT AND WIRE ACCESS POINTS.

### 1 PEDESTAL CONTROLLER INSTALLATION

- 1 PEDESTAL MOUNTED CONTROLLER PER SCHEDULE
- 2 METAL PEDESTAL MOUNT PER SCHEDULE
- 3 120 VAC POWER SUPPLY JUNCTION BOX
- 4 GROUND WIRE CONDUIT MIN. 1-1/2\"/>
- 5 6\"/>
- 6 FINISH GRADE
- 7 CONDUIT FOR DIRECT BURY CONTROL WIRES. EXTEND 5' FROM CONTROLLER
- 8 RAIN SENSOR, MOUNT TO SIDE OF PEDESTAL. ROUTE WIRES INSIDE.
- 9 CONTROL WIRES
- 10 5/8\"/>
- 11 1\"/>

SCALE: NTS

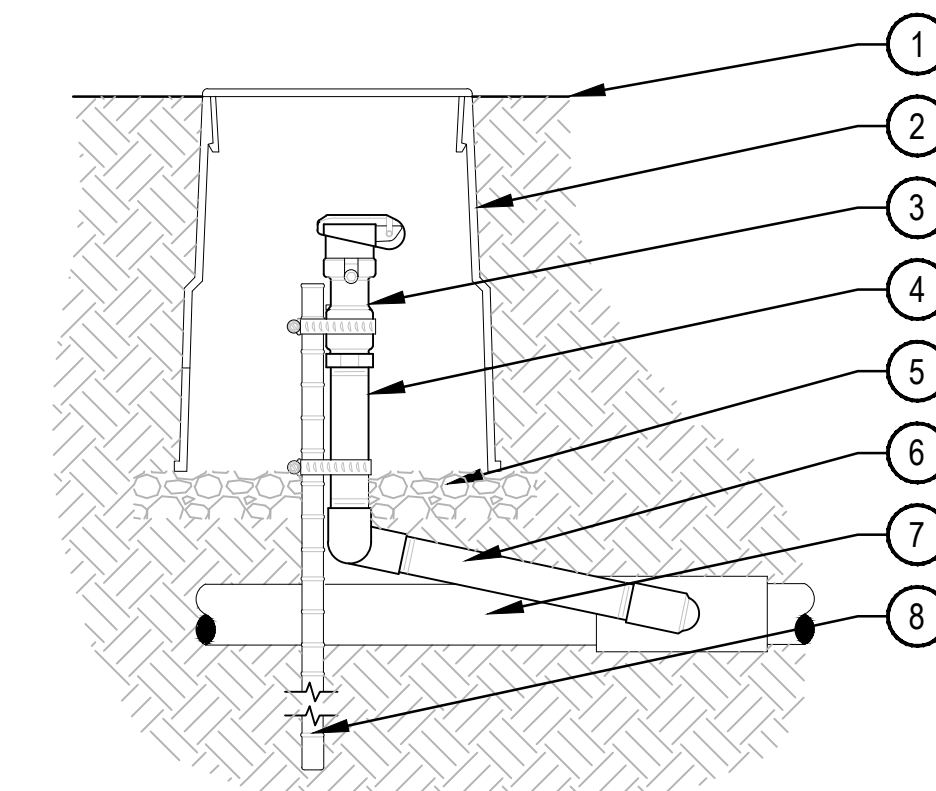


- NOTE:
1. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.
  2. LOCATE DRAIN VALVE AT POINT OF CONNECTION AND AT ALL LOW POINT(S) ALONG THE IRRIGATION MAINLINE AS NEEDED.

### 2 MANUAL DRAIN VALVE

- 1 10\"/>
- 2 2\"/>
- 3 2\"/>
- 4 3\"/>
- 5 PVC PRESSURE MAIN LINE
- 6 SCH. 80 TEE PER MAINLINE SIZE. ALIGN IN A DOWNWARD POSITION
- 7 SCH. 80 PVC NIPPLE
- 8 FINISH GRADE
- 9 1\"/>
- 10 SCH. 80 PVC ELL
- 11 SCH. 80 PVC NIPPLE
- 12 3/4\"/>
- 13 SOIL BLANKET ENCLOSING SUMP AMOCO ENG. FABRIC 4545 - 4.5 OZ. OR EQUAL

SCALE: NTS

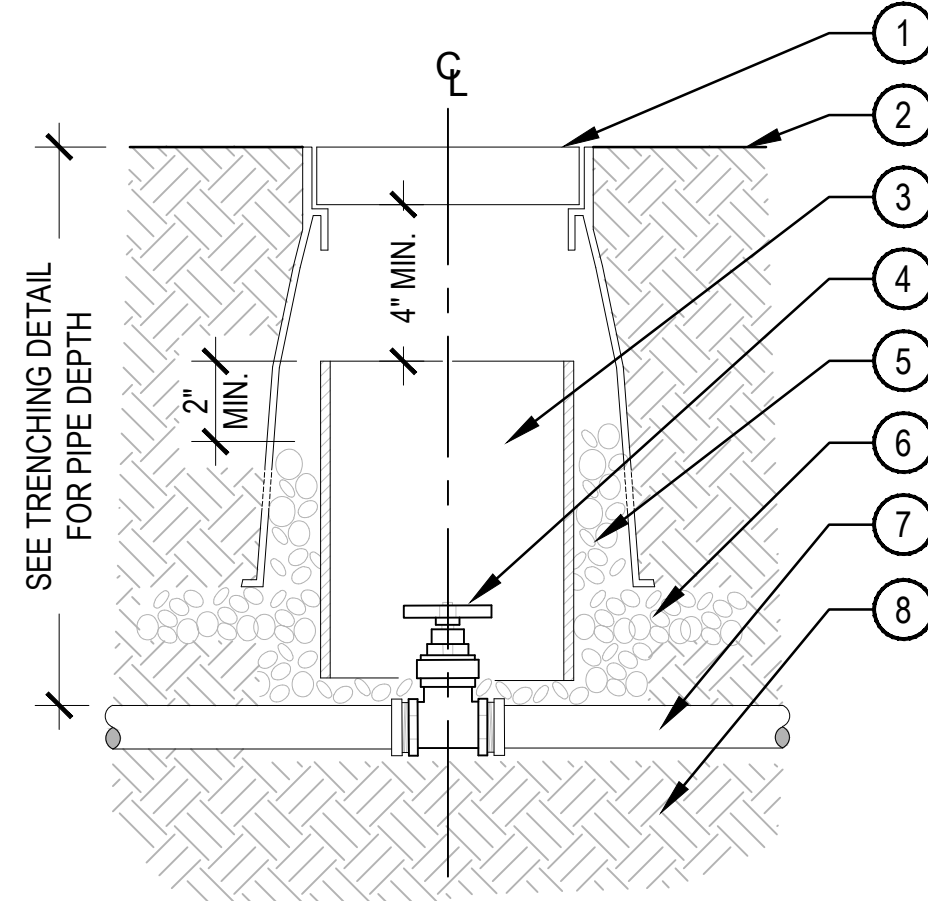


- NOTE:
1. EACH QUICK COUPLER SHALL BE IN A SEPARATE VALVE BOX.
  2. PROVIDE (1) QUICK COUPLER KEY FOR EACH QUICK COUPLER VALVE.
  3. QUICK COUPLER SHALL HAVE LOCKING RUBBER COVER. COLOR PER LEGEND.
  4. COMPACT SOIL AROUND GATE VALVE ASSEMBLY TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
  5. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.

### 3 QUICK COUPLER

- 1 FINISH GRADE
- 2 10\"/>
- 3 QUICK COUPLING VALVE W/ LOCKING COVER PER SCHEDULE
- 4 SCH. 80 PVC RISER (T x T)
- 5 3\"/>
- 6 PVC SWING JOINT
- 7 PVC MAINLINE
- 8 24\"/>

SCALE: NTS

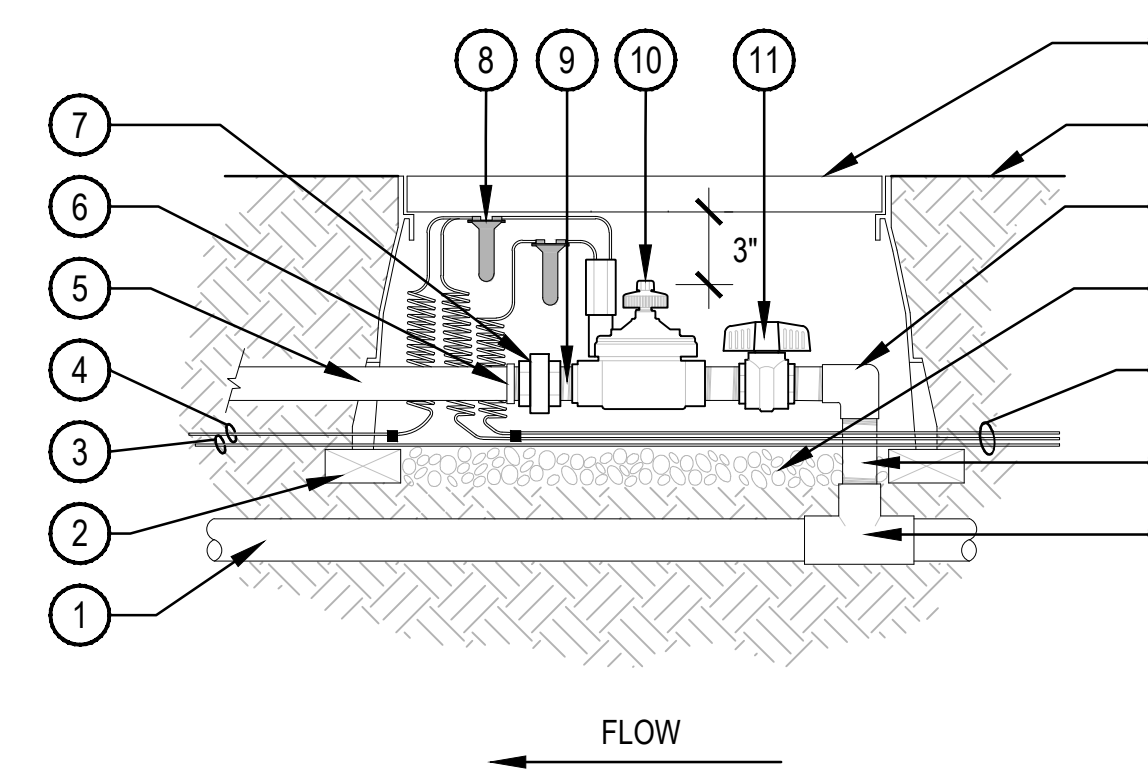


- NOTE:
1. COMPACT SOIL AROUND GATE VALVE ASSEMBLY TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
  2. DO NOT REST VALVE BOX OR ACCESS SLEEVES ON MAINLINE OR LATERAL LINE.
  3. PROVIDE GATE VALVE KEY - LENGTH AS REQUIRED.

### 4 GATE VALVE 2" AND SMALLER

- 1 LOCKING ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- 2 FINISH GRADE
- 3 8\"/>
- 4 GATE VALVE W/ CROSS HANDLE AND SOLID WEDGE DISC PER SCHEDULE
- 5 3/4\"/>
- 6 3\"/>
- 7 PVC MAINLINE
- 8 COMPACTED SUBGRADE

SCALE: NTS

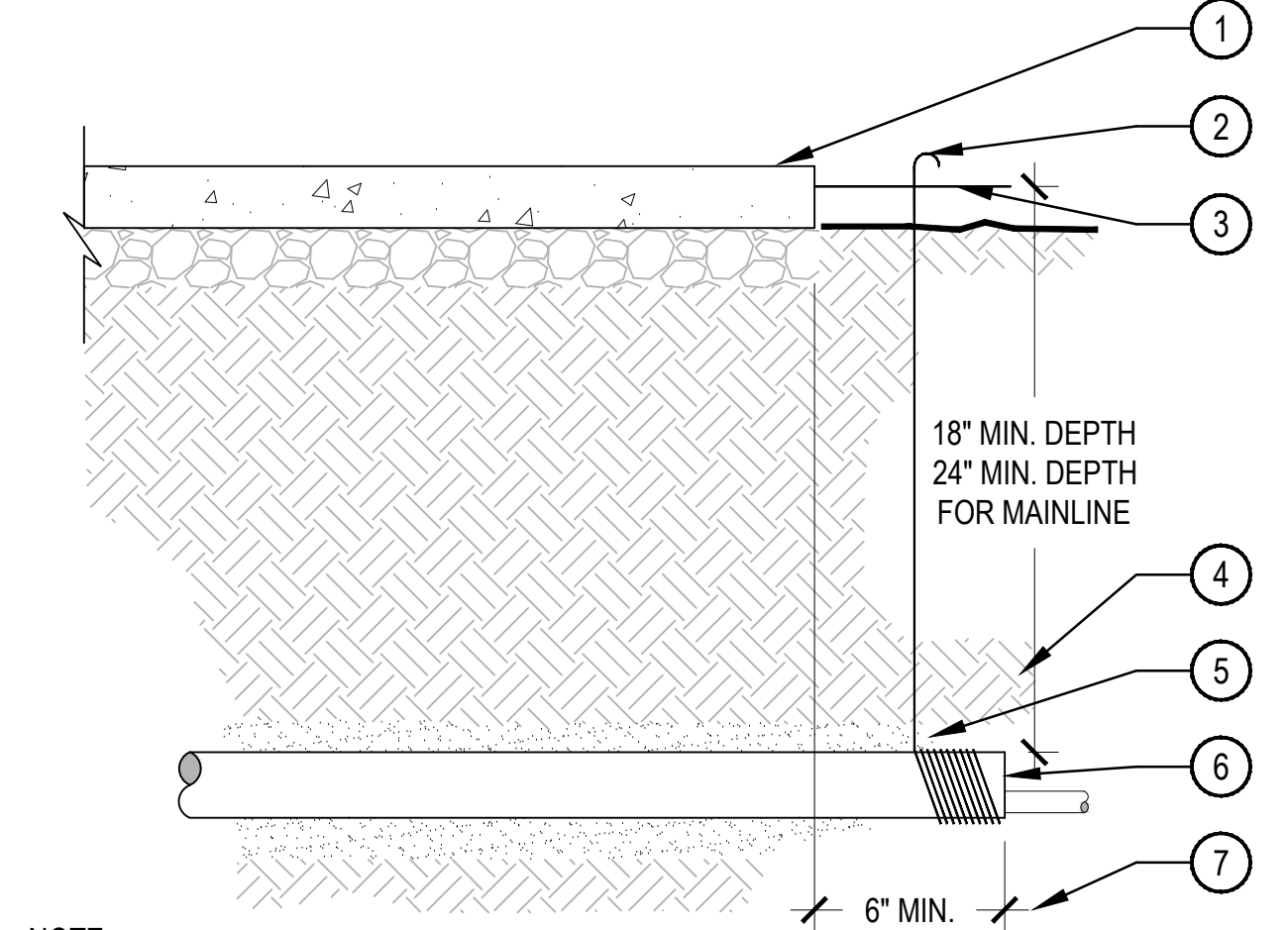


- NOTE:
1. INSTALL CONTROL VALVE PER MANUFACTURER'S RECOMMENDATIONS.

### 5 CONTROL VALVE

- 1 PVC MAINLINE
- 2 BRICK SUPPORT (4 MIN.)
- 3 CONTROL WIRE
- 4 COMMON WIRE TO NEXT VALVE(S)
- 5 PVC LATERAL
- 6 PVC MALE ADAPTER
- 7 SCH. 80 PVC UNION (THREADED)
- 8 WATERPROOF CONNECTORS
- 9 (4) SCH. 80 PVC NIPPLE/ RISER (SIZE & LENGTH VARY)
- 10 CONTROL VALVE
- 11 SCH. 80 PVC BALL VALVE
- 12 LOCKING VALVE BOX
- 13 FINISH GRADE
- 14 PVC ELBOW (T x T)
- 15 3/4\"/>
- 16 PVC TEE (S x S x T)

SCALE: NTS

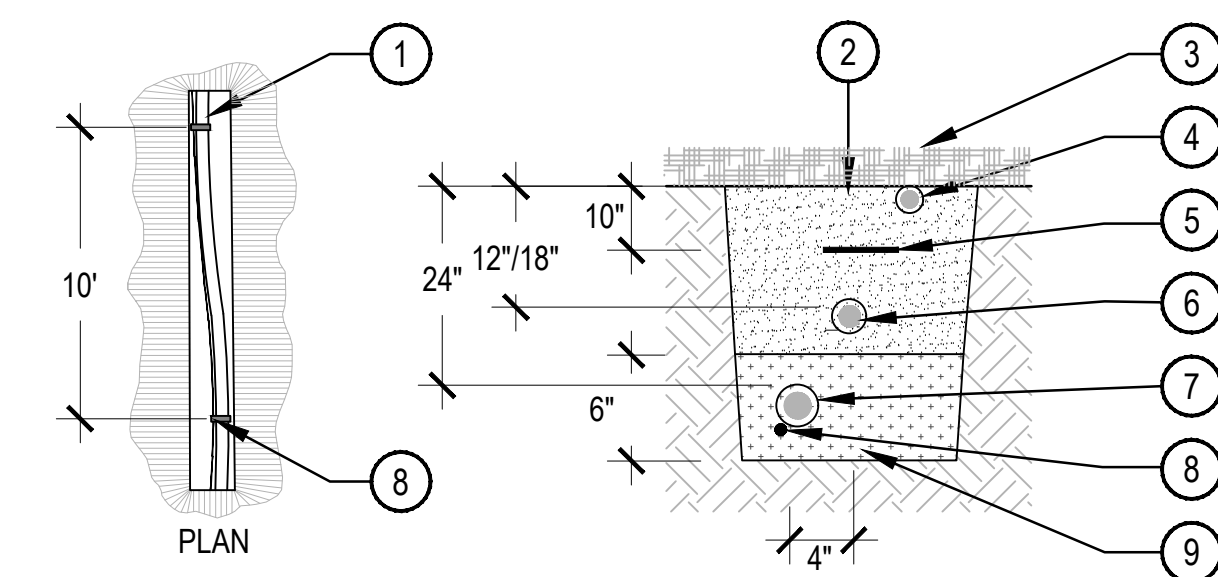


- NOTE:
1. ALL SLEEVES SHALL BE INSPECTED PRIOR TO BACKFILLING.
  2. CAP SLEEVES UNTIL USE.
  3. MULTIPLE SLEEVES REQUIRE 4\"/>
  - 4. IRRIGATION PIPE AND WIRE SHALL NOT SHARE THE SAME SLEEVE.
  - 5. MARK / STAMP - 'X' AND/OR INSTALL PLACARD AT BACK OF CURB.

### 6 PIPE SLEEVE

- 1 PAVING
- 2 WRAP 12 GAUGE GALVANIZED WIRE AROUND EACH END OF SLEEVE (10 WRAPS MIN.) AND EXTEND TO SURFACE AS A LOCATING DEVICE
- 3 FINISH GRADE / TOP OF DG
- 4 COMPACT SOIL AROUND SLEEVE TO SAME DENSITY AS ADJACENT UNDISTURBED SOIL
- 5 WASHED AND GRADED MORTAR SAND BACKFILL IN ROCKY SOIL CONDITIONS
- 6 PVC SLEEVE PER SCHEDULE, TWICE DIAMETER OF THE SUM OF THE PIPES/ WIRES
- 7 EXTEND SLEEVES 6\"/>

SCALE: NTS

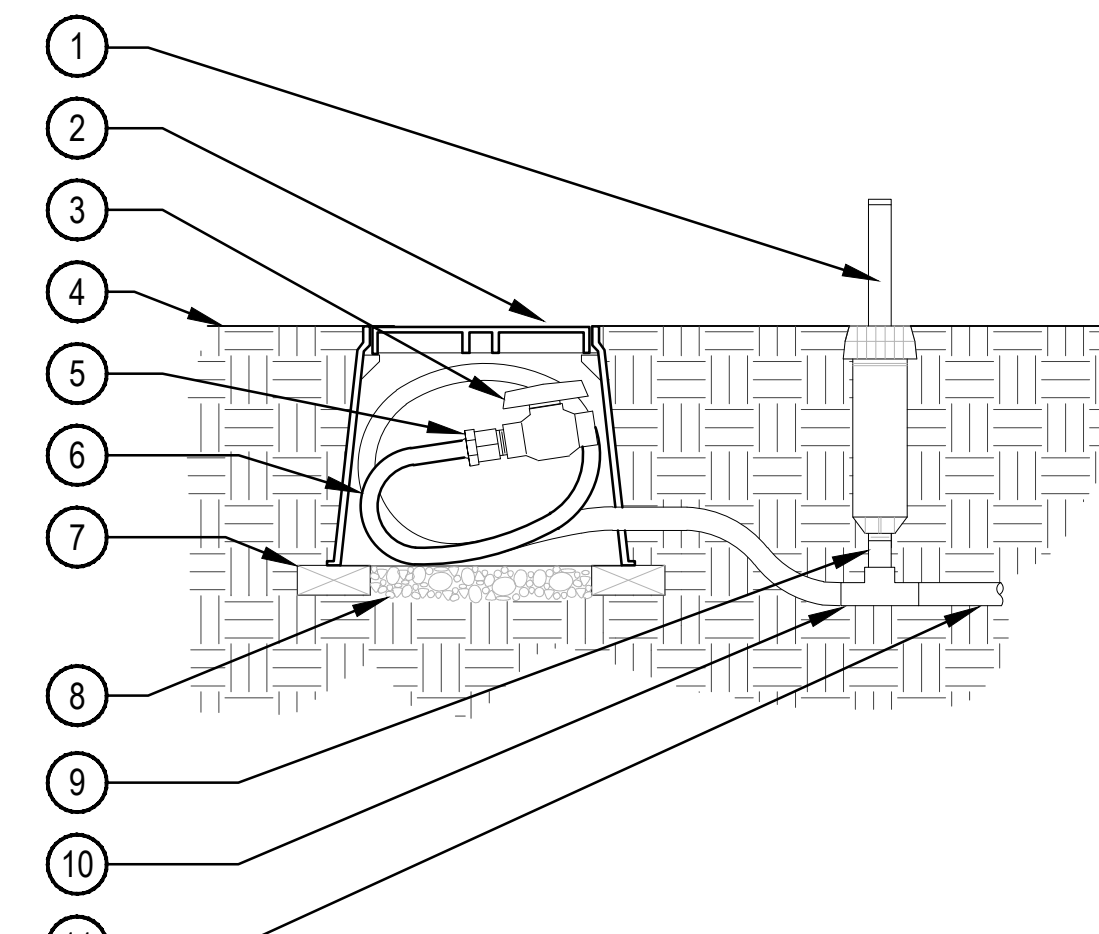


- NOTE:
1. ALL MAINLINES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  2. ALL PVC PIPING TO BE SNAKED IN TRENCHES AS SHOWN IN PLAN VIEW ABOVE.
  3. PROVIDE HORIZONTAL OFFSET FOR PIPING IN SHARED TRENCHES.
  4. ALL 120 VOLT WIRING IN CONDUIT TO BE INSTALLED AS PER LOCAL CODES.
  5. ALL ELECTRICAL WIRE CONNECTIONS TO VALVES AND SPLICES TO BE INSTALLED WITHIN A VALVE BOX AND MADE WITH DBY WATERPROOF CONNECTORS, OR APPROVED EQUAL.
  6. BUNDLE AND TAPE CONTROLLER WIRING PER NOTES AND INSTALL WITHIN MAINLINE TRENCH WHEREVER POSSIBLE.
  7. CONTROLLER WIRE TO BE BURIED AT 18\"/>
  - 8. MAINLINE BEDDING MATERIAL SHALL BE 1/4\"/>
  - 9. BEDDING IS NOT REQUIRED IN POLYETHYLENE TUBING TRENCHES OR SHARED TRENCHES.
  - 10. EXCAVATED COVER MATERIAL SHALL BE FREE FROM DEBRIS AND ROCKS 1/2\"/>

### 7 PIPE TRENCH

- 1 SNAKE PVC OR POLYETHYLENE PIPE IN TRENCH
- 2 EXCAVATED COVER MATERIAL (SEE NOTES)
- 3 FINISH GRADE/TOP OF MULCH
- 4 POLYETHYLENE DRIP LATERAL (INSTALL JUST BELOW ROUGH GRADE TO PROVIDE UV COVER PRIOR TO MULCH LAYER)
- 5 MAINLINE MARKING TAPE (PURPLE MARKING TAPE IF RECLAIMED)
- 6 IRRIGATION SPRAY LATERAL PIPE 12\"/>
- 7 IRRIGATION MAINLINE PIPE
- 8 VALVE WIRING, BUNDLE AND TAPE PER IRRIGATION NOTES
- 9 BEDDING MATERIAL (SEE NOTES)

SCALE: NTS

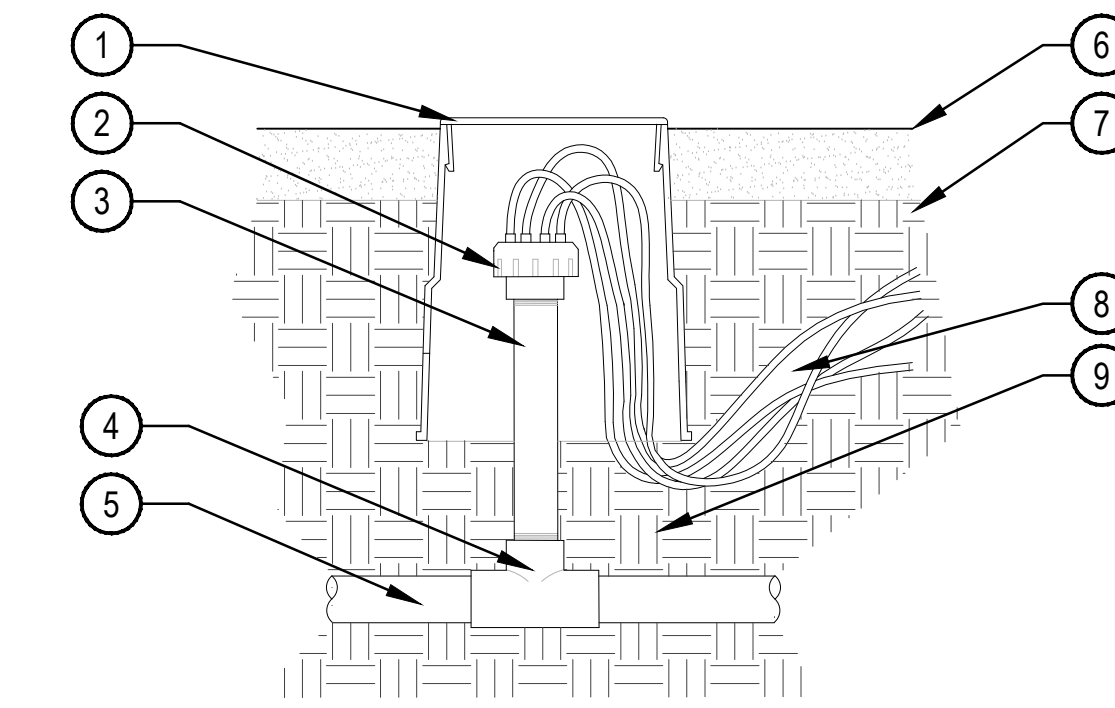


- NOTE:
1. COMPACT SOIL AROUND VALVE BOX TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
  2. INSTALL OPERATIONAL INDICATOR WITHIN 24\"/>
  - 3. ALL THREADED CONNECTIONS SHALL BE COATED WITH TEFLON TAPE.

### 8 DRIP FLUSH VALVE WITH OPERATIONAL INDICATOR

- 1 12\"/>
- 2 LOCKING ROUND BOX & COVER PER SCHEDULE. TOP OF BOX TO BE FLUSH WITH FINISH GRADE
- 3 3/4\"/>
- 4 FINISH GRADE
- 5 3/4\"/>
- 6 3/4\"/>
- 7 BRICK (2 REQUIRED MIN.)
- 8 3/4\"/>
- 9 1/2\"/>
- 10 3/4\"/>
- 11 POLY LATERAL

SCALE: NTS

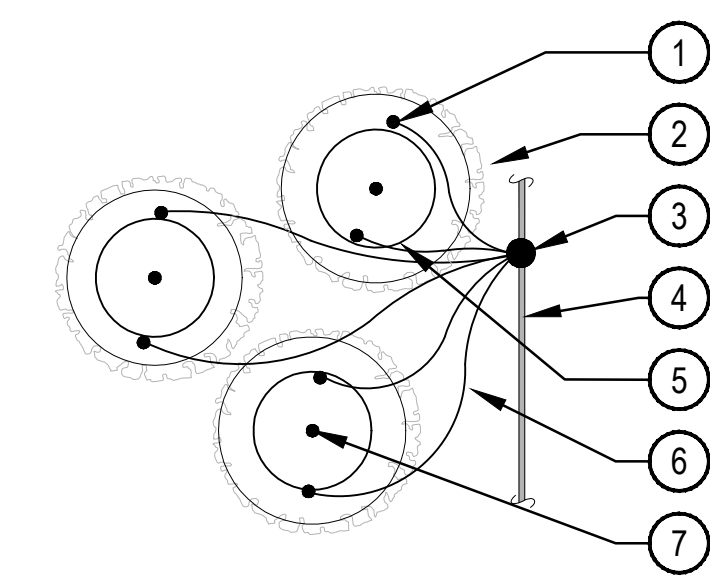


- NOTE:
1. INSTALL DISTRIBUTION TUBING TO EMITTER PER MANUFACTURER'S SPECIFICATIONS. NO KINKS ALLOWED IN DISTRIBUTION TUBING.
  2. COMPACT SOIL AROUND MULTI-OUTLET EMITTER RISER AND LATERALS TO THE SAME DENSITY AS ADJACENT UNDISTURBED SUBGRADE.
  3. DO NOT DISTURB ROOTBALLS WITH THE INSTALLATION OF DISTRIBUTION TUBING.
  4. SEE EMITTER PLACEMENT DETAIL FOR EMITTER LOCATIONS AT PLANTINGS.
  5. ALL THREADED CONNECTIONS SHALL HAVE THREE WRAPS OF TEFLON TAPE.

### 9 MULTI-OUTLET EMITTER

- 1 6\"/>
- 2 MULTI-OUTLET EMITTER (6 OUTLETS) PER SCHEDULE PLACE EMITTER WITH ADEQUATE CLEARANCE TO AVOID 'KINK' OF DISTRIBUTION TUBING.
- 3 SCH 80 PVC NIPPLE LENGTH AS REQ.
- 4 SCH 40 PVC ELL. OR TEE
- 5 SCH 40 PVC LATERAL LINE
- 6 FINISH GRADE
- 7 1/4\"/>
- 8 ROUTE DISTRIBUTION TUBING THROUGH SIDE OR UNDER EDGE OF BOX. NO TUBING TO BE THROUGH LID.
- 9 COMPACT SUBGRADE TO BASE OF BOX AFTER DISTRIBUTION TUBING PLACEMENT.

SCALE: NTS

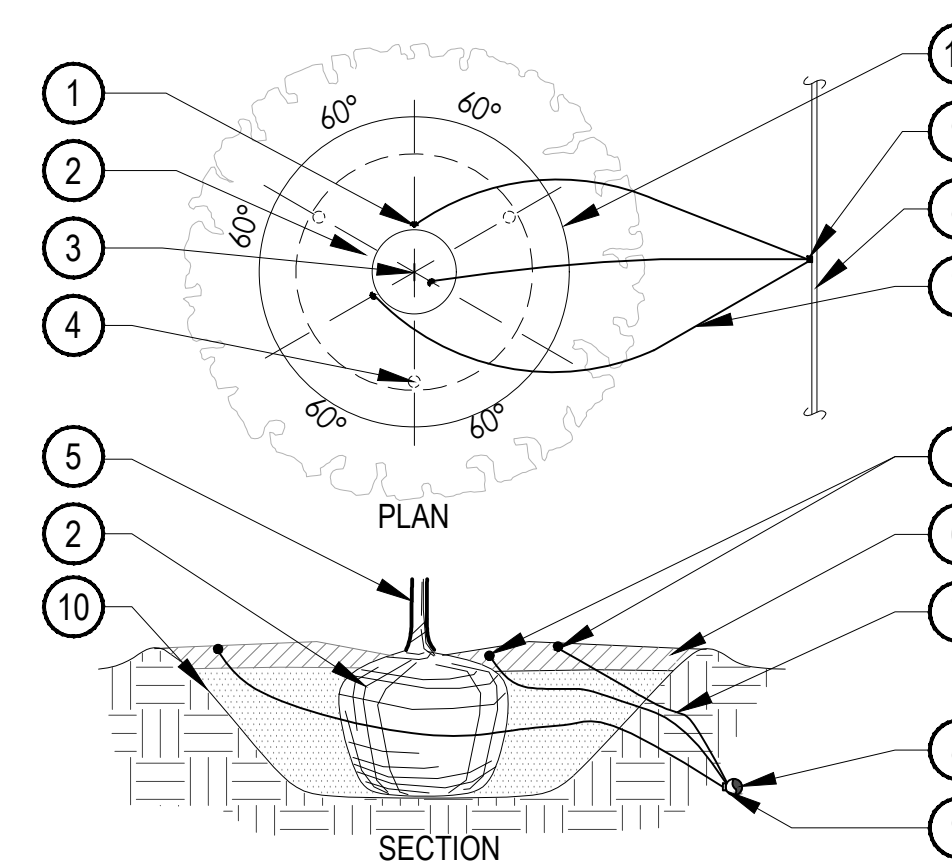


- NOTES:
1. MAXIMUM LENGTH OF ONE 1/4\"/>
  - 2. ONE EMITTER - ON TOP OF ROOTBALL. TWO EMITTERS - SPACE ON OPPOSING SIDES OF ROOTBALL. THREE OR MORE EMITTERS - SPACE EQUALLY AROUND EDGE OF ROOTBALL.
  - 3. FLUSH ALL LINES THOROUGHLY PRIOR TO EMITTER INSTALLATION.
  - 4. IF PLANTING ON A SLOPE, INSTALL BOTH EMITTERS ON THE UPHILL SIDE OF ROOTBALL.
  - 5. THIS IS A WATERING GUIDE ONLY. SITE, SOIL AND PLANT CONDITIONS VARY GREATLY. CONTRACTOR MUST OBSERVE THE PLANT MATERIAL AND MAKE ADJUSTMENTS AS NECESSARY FOR PROPER PLANT WATER REQUIREMENT.

### 10 SHRUB EMITTER PLACEMENT

- 1 DIFFUSER CAP AND DRIP STAKE
- 2 PLANTING BACKFILL MATERIAL
- 3 MULTI-OUTLET EMITTER
- 4 PVC LATERAL
- 5 PLANT ROOTBALL
- 6 1/4\"/>
- 7 CENTER OF PLANT

NTS

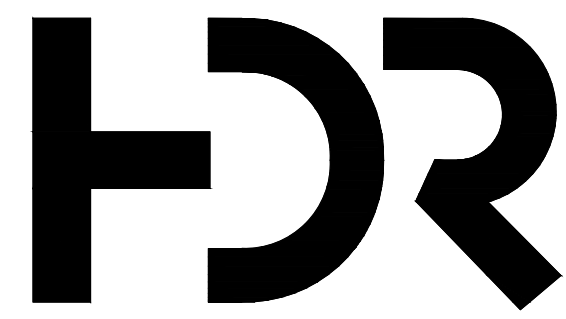


- NOTE:
1. MAXIMUM LENGTH OF ONE DISTRIBUTION TUBE SHALL BE 5'.
  2. FLUSH ALL LINES THOROUGHLY PRIOR TO EMITTER INSTALLATION.
  3. ALL EMISSION POINTS SHALL BE LOCATED ON UPHILL SIDE OF PLANT MATERIAL. AT LEAST ONE EMISSION POINT SHALL BE DIRECTLY TO PLANT BALL AS INDICATED. ADDITIONAL EMISSION POINTS SHALL BE EQUALLY SPACED WITHIN PLANT PIT PERIMETER.
  4. SECOND EMISSION POINTS (AS NEEDED) AS PER THE EMITTER SCHEDULE.
  5. THIS IS A WATERING GUIDE ONLY. SITE, SOIL AND PLANT CONDITIONS VARY GREATLY. CONTRACTOR MUST OBSERVE THE PLANT MATERIAL AND MAKE ADJUSTMENTS AS NECESSARY FOR PROPER PLANT WATER DISTRIBUTION.

### 11 TREE EMITTER PLACEMENT

- 1 EMISSION POINT, DIFFUSER CAP W/ DRIP STAKE (TYP.)
- 2 PLANT ROOT BALL (TYP.)
- 3 PLANT CENTER (TYP.)
- 4 SECOND EMISSION POINTS SEE NOTE 3 & 4 BELOW
- 5 TREE TRUNK
- 6 MULCH LAYER
- 7 1/4\"/>
- 8 PVC DRIP LATERAL
- 9 MULTI-PORT OUTLET EMITTER
- 10 PLANT PIT

SCALE: NTS



**NORRIS DESIGN**  
PEOPLE + PLACEMAKING

6 EAST ASPEN AVENUE  
SUITE 260  
FLAGSTAFF, AZ 86001  
P 928.233.3021

[NORRIS-DESIGN.COM](http://NORRIS-DESIGN.COM)

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CONSTRUCTION  
OR RECORDING**

**MOUNTAIN LINE KASPAR  
HEADQUARTERS  
MAINTENANCE FACILITY**

3773 N. Kaspar Drive  
Flagstaff, AZ 86004

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Sheet Reviewer	ME, AH

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Project Number 10389810  
Original Issue 07-25-2024

Sheet Name  
**IRRIGATION DETAILS**

Scale N/A  
Sheet Number

**LI-501**

Project Status  
SITE PLAN DRAWINGS