

SITE PLAN REVIEW

FOR

PINEHAVEN

CONDOMINIUM DEVELOPMENT

2951 S. MASONIC LANE

COCONINO COUNTY, ARIZONA

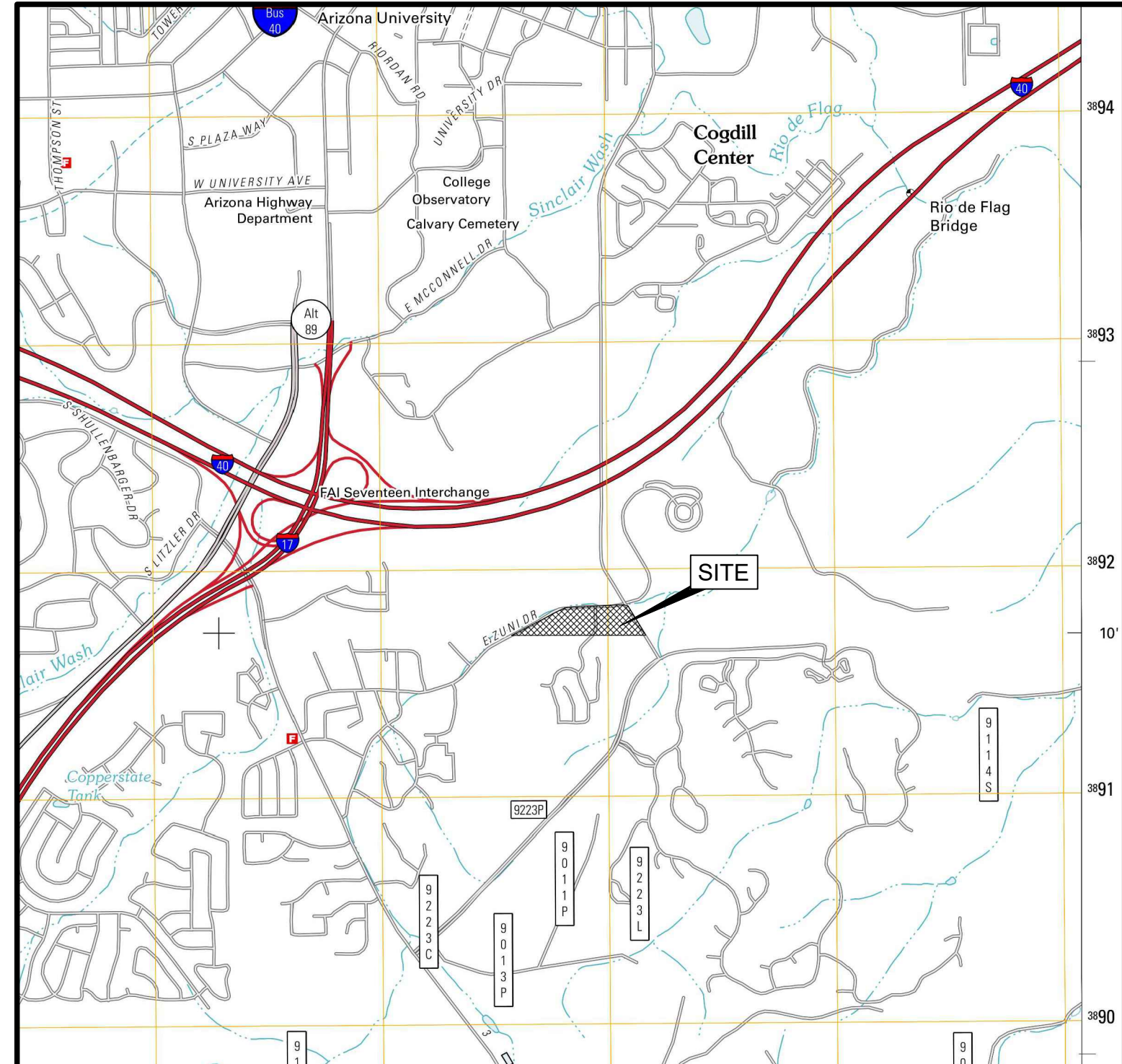
SITE DATA	
PLAN REFERENCE	
PLAN TITLE	ALTANSPS LAND TITLE SURVEY
DATED: SEPT. 14, 2022	
SURVEYOR	ARIZONA SURVEYING, INC. 1843 W HEAVENLY CT FLAGSTAFF, AZ 86001 JOB NO: 22-42
OWNER OF RECORD	
NAME	FLAGSTAFF LODGE NO.7
ADDRESS	2951 S MASONIC LANE FLAGSTAFF, AZ 86005
APPLICANT	
NAME	RODG DT FLAGSTAFF PROP CO LLC
ADDRESS	2121 EAST 6TH STREET, SUITE 203 AUSTIN, TX 78702
PARCEL DATA	
ADDRESS	E ZUNI DRIVE & S. MASONIC LANE FLAGSTAFF, AZ 86001
TAX MAP NO/ PARCEL ID	APN: 103-26-002D
ZONING DATA	
ZONING DISTRICT	EXISTING: RURAL RESIDENTIAL SUBURBAN COMMERCIAL (RPOZ: RESOURCE PROTECTION OVERLY ZONE) PROPOSED: MEDIUM DENSITY RESIDENTIAL (MR)
USE	EXISTING: UNDEVELOPED PROPOSED: RESIDENTIAL (PERMITTED)
STATEMENT OF INTENT	
THE APPLICANT IS PROPOSING TO DEVELOP THE SUBJECT PARCEL WITH TWO NEW ROADS, TOWNHOUSES AND ASSOCIATED SITE IMPROVEMENTS	

BULK REQUIREMENTS (MR)			
REQUIREMENT	REQUIRED	EXISTING	PROPOSED
BUILDING REQUIREMENTS			
MINIMUM LOT AREA	(SF) 6,000	585,346	581,069 [2]
	(AC) -	13.44	13.34
MINIMUM YARD SETBACKS			
FRONT YARD	(FT) 10		>10
FRONT YARD (above second floor)	(FT) 15		>15
SIDE YARD	(FT) 5		>5
REAR YARD	(FT) 15		>15
MAXIMUM IMPERVIOUS COVERAGE	(%) 40	N/A	39.7
	(SF) -		230,613
MAXIMUM BUILDING COVERAGE	(%) 20		10.8
	(SF) -		62,646
MAXIMUM BUILDING HEIGHT	(FT) 35		< 35
OPEN SPACE			
CIVIC SPACE	(%) 5		6.7 [1]
	(SF) 29,288 [1]	N/A	39,450
COMMON OPEN SPACE	(%) 15		15.0 [1]
	(SF) 87,802 [1]	N/A	87,961
MINIMUM / MAXIMUM DENSITY	(UNITS/AC) 6 / 9		6.18 [1]
	UNITS 81 / 120 [1]		83

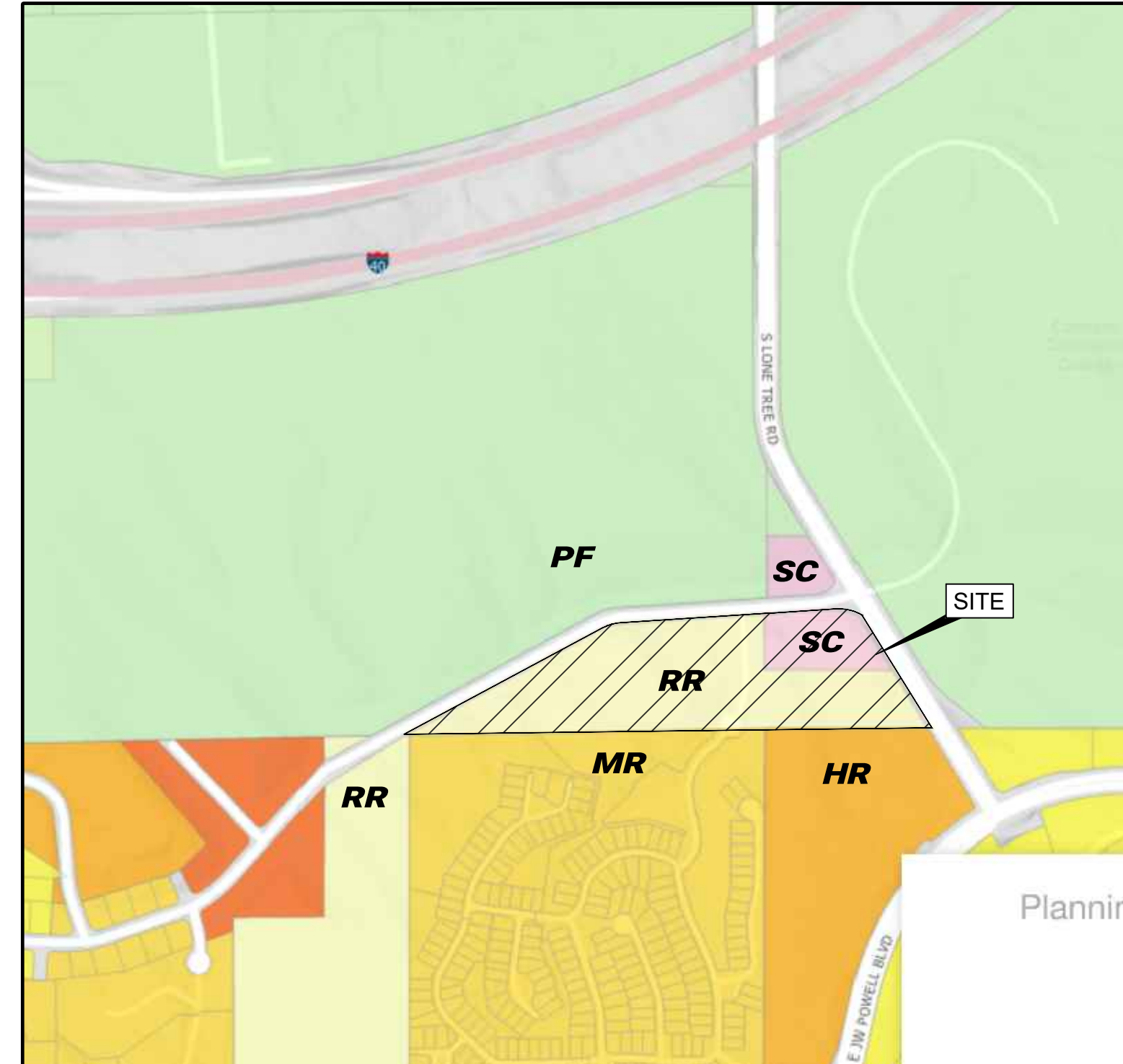
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ALTANSPS LAND TITLE SURVEY 2951 S. MASONIC LANE, FLAGSTAFF, ARIZONA 86005 APN: 103-26-002D prepared by: ARIZONA SURVEYING, INC, 1843 W HEAVENLY CT, FLAGSTAFF, ARIZONA 86001		1 to 3 of 3



AERIAL MAP
SCALE: 1" = 1000'
500 0 500 1000'



VICINITY MAP
SCALE: 1" = 5000'
2500 0 2500 5000'



ZONING MAP
SCALE: 1" = 5000'
2500 0 2500 5000'

PROFESSIONAL ENGINEER SIGNATURE BLOCK
STATE OF ARIZONA
COUNTY OF COCONINO:
I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAN TO THE MATTERS OF STREETS, LOTS, AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAN CONFORMS TO ALL REQUIREMENTS AND THAT THIS PLAN IS FEASIBLE FROM AN ENGINEERING STANDPOINT AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.
ERIC S. BEALS, P.E.
ARIZONA REGISTRATION NO. 77934; EXPIRATION: 3/31/2026
VIEWPOINT ENGINEERING
2121 E 6TH STREET, SUITE 203
AUSTIN, TEXAS 78702

OWNER SIGNATURE BLOCK
I (WE) THE UNDERSIGNED OWNER(S) OF THE LAND SHOWN ON THE PLAN, AND DESIGNATED HEREIN AS **WILLOW CREEK SUBDIVISION**, GUADALUPE COUNTY, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, DO HEREBY SUBDIVIDE SUCH PROPERTY AND DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES DRAINS, EASEMENTS, AND PUBLIC PLACES FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.
OWNER/AGENT: THOMAS STAUB
RODG ASPIRE SEGUIN 2 PROP. LLC
2121 E 6TH STREET, SUITE 203
AUSTIN, TX 78702

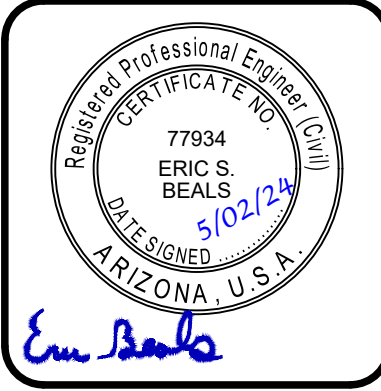
SURVEYOR SIGNATURE BLOCK
STATE OF ARIZONA
COUNTY OF COCONINO
I, _____, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF ARIZONA, INDICATE TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS PLAN IS TRUE AND CORRECT, CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE ARIZONA BOARD OF PROFESSIONAL LAND SURVEYING AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE ON THE GROUND, UNDER MY SUPERVISION.
>>>name<<<
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6503
ARIZONA SURVEYING, INC
1843 W. HEAVENLY CT
FLAGSTAFF, AZ 86001

NOTARY SIGNATURE BLOCK
STATE OF ARIZONA
COUNTY OF COCONINO:
BEFORE ME THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FORGOING CERTIFICATION, AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSES OF CONSIDERATIONS THEREIN EXPRESSED AND CAPACITY THEREIN STATED. GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____ AD.
NOTARY SIGNATURE:
MY COMMISSION EXPIRES _____

CITY ENGINEER APPROVAL:
DATA ON THIS PLAN REVIEWED AND APPROVED THIS _____ DAY OF _____, 20____
BY CITY ENGINEER OF THE CITY OF FLAGSTAFF ARIZONA
CITY ENGINEER _____ DATE _____

FINAL PLAT SIGNATURE BLOCK:
APPROVED BY THE ZONING AND PLANNING COMMISSION ON THIS _____ DAY OF _____, 20____. THIS PLAN IS HEREBY APPROVED BY THE ZONING PLANNING COMMISSION OF THE CITY OF FLAGSTAFF ARIZONA, OR ITS AGENT IN TESTIMONY WHERE OF WITNESS OF THE OFFICIAL SIGNATURE:
CHAIRPERSON _____ DATE _____
RECORDER _____ DATE _____
DIRECTOR OF PLANNING _____ DATE _____

REV	DATE	DESCRIPTION
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-26-2023
2	01-18-2024	REVISED PER CITY REVIEW LETTER DATED 12-18-2023
3	03-26-2024	REVISED PER CITY REVIEW LETTER DATED 2-8-2024
4	05-02-2024	REVISED PER CITY REVIEW LETTER DATED 4-9-2024



ViewPoint Engineering
2121 E 6th Street, Suite 203
Austin, Texas 78702
FIRM No. F-23395
viewpointengineering.com

OWN BY: **M TOTH**
CHK BY: **E BEALS**

PINEHAVEN RESIDENTIAL LAND DEVELOPMENT
2951 S. MASONIC LANE
COCONINO COUNTY, ARIZONA
APPLICANT: **RODG DT FLAGSTAFF PROP CO LLC**
2121 E 6TH STREET, SUITE 203, AUSTIN, TEXAS 78702

PROJECT NO. **22004**
DATE **MAY 30, 2023**
SHEET ID **CVR** REV **4**

SITE PLAN REVIEW COVER SHEET

Contact Arizona 811 at least two full working days before you begin excavation

ARIZONA 811
BLUE STAKE, INC.

Call 811 or click Arizona811.org

LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND BASED ON OBSERVABLE SURFACE FEATURES ONLY. THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND DETERMINE THE EXACT LOCATION OF ALL UTILITIES. CONTRACTOR RESPONSIBLE FOR ANY AND ALL DAMAGES INCURRED BY FAILURE TO LOCATE UTILITIES.

GENERAL NOTES

- 1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
2. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE STANDARD SPECIFICATIONS AND DRAWINGS OF THE CITY, COUNTY AND/OR AZDOT (AS WELL AS THE REQUIREMENTS OF THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA)).
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES TO LOCATE EXISTING FACILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION CONFERENCE WITH PERMITTING AUTHORITY, CONSULTING ENGINEER, CONTRACTOR(S), UTILITY COMPANIES AND ANY OTHER AFFECTED PARTIES.
5. ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION. COPIES OF OSHA STANDARDS MAY BE PURCHASED FROM THE U.S. GOVERNMENT PRINTING OFFICE.
6. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS AS MAYBE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC, SHALL BE PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND MAINTAINED AT ALL TIMES (24 HRS. PER DAY) DURING THE CONSTRUCTION PROCESS.
7. THE INFORMATION CONTAINED ON THESE DRAWINGS IN REGARDS TO EXISTING UTILITIES, TOPOGRAPHY, CONTOURS, HYDROGRAPHY, OR SUBSURFACE CONDITIONS IS FURNISHED SOLELY AS THE BEST INFORMATION AVAILABLE AT THIS TIME. ITS ACCURACY IS NOT GUARANTEED AND ITS USE IN NO WAY RELIEVES THE CONTRACTOR OF ANY RESPONSIBILITY FOR DAMAGES DUE TO ANY INACCURACIES.
8. THE LOCATION AND ELEVATION OF IMPROVEMENTS TO BE DONE SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO THE CONSTRUCTION OF THE WORK. THE CONTRACTOR IS TO MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ALL THE NECESSARY ARRANGEMENTS WITH THE RESPECTIVE UTILITY COMPANIES. GRAVITY LINE CONSTRUCTION IS REQUIRED TO BE VERIFIED AT CONNECTION POINT THEN BUILT UPSTREAM.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING FACILITIES FROM DAMAGE AND COST OF REPAIR TO EXISTING FACILITIES AND IMPROVEMENTS AS A RESULT OF CONTRACTOR'S WORK. THE CONTRACTOR SHALL NOTIFY ALL UTILITY OFFICES PRIOR TO STARTING WORK AND SHALL COORDINATE THEIR WORK WITH THE UTILITY OFFICES.
10. DURING CONSTRUCTION, THE OWNER WILL PROVIDE A GEOTECHNICAL LAB TO PERFORM MATERIALS TESTING DURING THE CONSTRUCTION. RETESTS REQUIRED DUE TO CONTRACTOR PERFORMANCE SHALL BE PAID FOR BY THE CONTRACTOR.
11. THE CONTRACTOR SHALL KEEP AND LEAVE THE AREA NEAT AND CLEAN DURING CONSTRUCTION. DEBRIS SHALL NOT BE BURIED OR DUMPED ANYWHERE WITHIN THE LIMITS OF THE PROJECT. ALL DEBRIS, CONSTRUCTION MATERIALS, CONTRACTOR'S BUILDINGS OR EQUIPMENT, LOGS, STUMPS, BOULDERS, OR ANY OTHER EXTRANEIOUS MATERIAL DEPOSITED DURING CONSTRUCTION SHALL BE DISPOSED OFFSITE PROMPTLY IN COMPLIANCE WITH APPLICABLE REGULATIONS.
12. ANY EXISTING PAVEMENT, CURBS AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE.
13. ALL UNDERGROUND FACILITIES SHALL BE CONSTRUCTED, CONNECTED AND TESTED PRIOR TO THE CONSTRUCTION OF SURFACE IMPROVEMENTS, SUCH AS SIDEWALKS, CURBS, GUTTERS AND PAVING.
14. ALL SURVEY MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY A LICENSED SURVEYOR AND PAID FOR BY THE CONTRACTOR.
15. THE CONTRACTOR SHALL KEEP THE APPROVED SET OF PLANS ON SITE AT ALL TIMES. THE CONTRACTOR SHALL REDLINE THE ACTUAL LOCATIONS AND DIMENSIONS (VERTICAL AND HORIZONTAL) OF UTILITIES, STRUCTURES, SERVICES, AND OTHER DETAILS DEFERRING FROM OR NOT SHOWN ON THE ORIGINAL DRAWINGS. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL SUBMIT THE RECORD DRAWINGS TO THE ENGINEER OF RECORD.
16. THE CONTRACTOR SHALL RESTORE AND REVEGETATE ALL DISTURBED AREAS NOT COVERED BY LANDSCAPE PLANS AT THEIR EXPENSE.
17. CONTRACTOR SHALL MAKE REQUIRED SUBMITTALS AT LEAST 14 DAYS PRIOR TO USE.
18. IF THE CONTRACTOR INTENDS TO HAVE FUEL TANKS STORED ON THE PROJECT SITE AT ANY TIME, THE CONTRACTOR WILL NEED TO PROVIDE THE OWNER AND ENGINEER WITH A COPY OF THEIR 'SPILL PREVENTION, CONTROL AND COUNTERMEASURE' (SPCC) PLAN MEETING THE REQUIREMENTS OF TITLE 40, CODE OF FEDERAL REGULATIONS, PART 112 AS GOVERNED BY THE USEPA. THIS IS A CONTRACTOR PROVIDED ITEM.

PAVEMENT NOTES

- 1. DESIGN MIX SUBMITTALS SHALL BE PROVIDED FOR REVIEW AT LEAST 14 DAYS PRIOR TO PLACEMENT.
2. DO NOT UNLOAD OR USE ANY HEAVY CONSTRUCTION EQUIPMENT ON NEW CONCRETE FOR AT LEAST 7 DAYS AFTER CONCRETE IS POURED.
3. JOINTS SHALL BE PLACED IN ANY PROPOSED CONCRETE PAVEMENT AND CURBING AS RECOMMENDED IN THE GEOTECHNICAL STUDY FOR THIS SITE OR JOINT LAYOUT AND DESIGN SHALL CONFORM TO THE AMERICAN CONCRETE PAVEMENT ASSOCIATION (ACPA) TECHNICAL PUBLICATION 150 61.01P, TABLE Z AND FIGURE 13.
4. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WORK SUCH THAT UTILITIES ARE INSTALLED PRIOR TO PAVEMENT BASE BEING INSTALLED OR ELSE LOCATE AND PLACE LINES FOR PROPOSED UNDERGROUND UTILITIES.
5. ALL CONCRETE WORK SHALL CONFORM TO ALL APPLICABLE REQUIREMENTS OF ACI 303. FLY ASH CAN BE USED IN MIX DESIGNS WHERE SUITABLE.
6. ALL CONCRETE PAVING AND FLATWORK SHALL BE CURED IN CONFORMANCE WITH AMERICAN CONCRETE PAVEMENT ASSOCIATION GUIDELINES.
7. ALL REPORTS AND SUPPLEMENTAL LETTERS OR AMENDMENTS FROM GEOTECHNICAL ENGINEER, MUST BE REVIEWED AND ADHERED TO.
8. AN EXISTING SLAB MAY BE LEFT IN PLACE, WHEN GRADES ALLOW, PROVIDED THE FOLLOWING OCCURS WITH REGARDS TO PAVEMENT PERFORMANCE:
8.1. IF FILL THICKNESS BETWEEN THE TOP OF SLAB AND BOTTOM OF PAVEMENT BASE IS AT LEAST 2 FEET, SLAB MAY BE LEFT AS IS WITH NO SPECIAL PREPARATION.
8.2. IF FILL THICKNESS BETWEEN TOP OF SLAB AND BOTTOM OF PAVEMENT BASE IS LESS THAN 2 FEET, SLAB MAY BE LEFT IN PLACE PROVIDED A STRIP OF GEOGRID (TENSAR BX 1100) AND 6 INCHES OF GRANULAR BASE ARE PLACED IMMEDIATELY ABOVE THE EDGE OF THE SLAB THAT IS LEFT IN PLACE. CENTER THE GRID OVER THE EDGE OF THE LAB. ADD WIDTH OF GRID STRIP SHOULD BE SAME AS STANDARD ROLL. THE SLAB SHALL BE SAW CUT AND REMOVED IN AREAS WHERE THE ABOVE CANNOT BE ACHIEVED.
9. WHEN GRADES PERMIT, NEW BASE CAN BE PLACED DIRECTLY ON TOP OF THE EXISTING ASPHALT PAVEMENT. IN MOST CASES IN AREAS TO BE COVERED WITH FILL, NO NEED TO REMOVE EXISTING ASPHALT PAVEMENT. THE ASPHALT SURFACE SHALL BE 'LIGHTLY SCARIFIED' OR 'ROUGHENED' TO HELP PROMOTE BOND WITH FILL. THIS SHOULD BE DONE WITH EITHER A SHEEPSFOOT ROLLER OR SCARIFYING TEETH ON A MAINTAINER. DISCUSS THIS ISSUE WITH GEOTECHNICAL ENGINEER PRIOR TO STARTING. IT MAY BE PRUDENT NOT TO DAMAGE THE EXISTING ASPHALT PAVEMENT BY 'SCARIFICATION' AND/OR 'ROUGHENING'.
10. ASPHALT CRACKS EQUAL TO OR LARGER THAN 1/16" SHALL BE REPAIRED BASED ON GEOTECHNICAL ENGINEER'S RECOMMENDATIONS PRIOR TO OVERLAY INSTALLATION.

HOT MIX ASPHALT CONCRETE PAVING

PROVIDE NECESSARY LABOR AND MATERIALS TO INSTALL THE HOT MIX ASPHALT PAVING SHOWN ON THE PLANS. GEOTECHNICAL REPORT AND IN THE PAVEMENT DESIGN DETAILS. THIS INCLUDES: THE SUBGRADE PREPARATION, AGGREGATE, ASPHALT MATERIALS, MINERAL FILLER, PRIME COAT, TACK COAT AND FINAL ASPHALT PAVING SURFACE. ALL ASPHALT MUST MEET A RETAINED STRENGTH OF AT LEAST 70% ON THE TXDOT 531-C TEST OR HAVE ALL LIMESTONE AGGREGATE. IF SILICEOUS AGGREGATES (WHICH INCLUDE GRAVEL, CRUSHED GRAVEL OR GRANITE) ARE USED, ADD HYDRATED LIME (AT LEAST 1%) OR ANTI-STRIP AGENT TO THE MIX TO MEET THE RETAINED STRENGTH REQUIREMENTS. THE MIXTURE MUST BE DESIGNED FOR 97% OF OPTIMUM LABORATORY DENSITY. ASPHALT GRADE SHALL BE PG 64-22.

EXECUTION:

- 1. START OF THIS WORK ITEM INDICATES ACCEPTANCE BY THE CONTRACTOR OF THE SUBGRADE PREPARATION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE FINAL RESULTS.
2. CONTRACTOR SHALL ESTABLISH AND MAINTAIN REFERENCE POINTS TO HOLD PROPER ELEVATIONS AND GRADES. ALL PAVEMENT SHOULD BE WITHIN 0.5 INCH OF PROPOSED GRADES.
2.1. UNLESS OTHERWISE SHOWN ON THE PLANS, RECOMMENDED BY THE GEOTECHNICAL ENGINEER OR APPROVED BY THE ENGINEER, MATERIALS AND INSTALLATION OF SUCH SHALL COMPLY WITH THE FOLLOWING ITEMS WITHIN THE ARIZONA DEPARTMENT OF TRANSPORTATION 2021 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION:
2.2. SECTION 303 - AGGREGATE BASE AND SUBBASE.
2.3. SECTION 340 - HOT MIX ASPHALTIC CONCRETE PAVEMENT.
3. IN PLACE COMPACTED THICKNESS WILL NOT BE ACCEPTABLE IF EXCEEDING THE FOLLOWING ALLOWABLE VARIATION FROM REQUIRED THICKNESS:
3.1. HMAC SURFACE COURSE: 1/4", PLUS OR MINUS
3.2. SURFACE SMOOTHNESS: TEST FINISHED SURFACE OF EACH ASPHALT CONCRETE COURSE FOR SMOOTHNESS, USING 10' STRAIGHTEDGE APPLIES PARALLEL WITH AND AT RIGHT ANGLES TO CENTERLINE OF PAVED AREA. SURFACE SMOOTHNESS WILL NOT BE ACCEPTABLE IF THE WEARING COURSE SURFACE EXCEEDING 3/16".
4. THE INITIAL QUALITY CONTROL TESTING SHALL BE PERFORMED AT THE OWNER'S COST. ANY NECESSARY REPAIRS OR REPLACEMENTS, ALONG WITH ADDITIONAL TESTING, SHALL BE PERFORMED AT THE CONTRACTOR'S EXPENSE. TESTING PROCEDURES SHALL BE IN COMPLIANCE WITH OWNER'S STANDARD SPECIFICATION FOR MATERIAL TESTING.
5. CONTRACTOR SHALL ENSURE THE FOLLOWING:
6. TESTING LAB TO VERIFY THICKNESS OF BASE MATERIAL INSTALLED.
7. VERIFY APPROVED MIX DESIGN MATCHES DELIVERY TICKETS IN FIELD.
8. RECORD ARRIVAL TIMES OF TRUCKS AND MIX TEMPERATURE UPON ARRIVAL. RECORD LIST OF EQUIPMENT USED TO LAY AND COMPACT ASPHALT.
9. RECORD AIR TEMPERATURE & MIX TEMPERATURE AT TIME OF LAYDOWN.
10. GEO-TECH ENGINEER OF RECORD TO MAKE MIN. OF THREE SITE VISITS.
11. ASPHALT JOB MIX FORMULA APPROVED IN ADVANCE (WITH ACCOMPANYING LAB TEST DATA) MINIMUM 14 DAYS PRIOR TO PAVING. THIS INCLUDES VERIFYING THE AGGREGATE MEETS ITEM 340 REQUIREMENTS AND ALL OTHER SPECIFICATIONS REQUIREMENTS.
12. HMAC SURFACE COURSE SHALL BE ORIENTED SUCH THAT JOINTS OR SEAMS ARE PARALLEL WITH THE DIRECTION OF TRAFFIC.

PORTLAND CEMENT CONCRETE PAVING

FURNISH AND INSTALL THE PORTLAND CEMENT CONCRETE PAVING AND PREPARED BASE COURSE TO THE EXTENT SHOWN ON THE DRAWINGS. THESE AREAS INCLUDE CURBS, GUTTERS, WALKS AND PAVING AGGREGATE.

EXECUTION:

- 1. ALL CONCRETE ITEMS SHALL COMPLY WITH THE REQUIREMENTS OF APPLICABLE DIVISION 3 SECTIONS FOR CONCRETE MIX DESIGN, SAMPLING AND TESTING, CURING AND QUALITY CONTROL, AND AS HEREIN SPECIFIED.
2. UNLESS OTHERWISE SHOWN ON THE PLANS, RECOMMENDED BY THE GEOTECHNICAL ENGINEER OR APPROVED BY THE ENGINEER, CONCRETE AREAS SHALL COMPLY WITH THE FOLLOWING ITEMS WITHIN THE ARIZONA DEPARTMENT OF TRANSPORTATIONS 2021 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION:
2.1. SECTION 303 - AGGREGATE SUBBASES AND AGGREGATE BASES
2.2. SECTION 401 - CONCRETE PAVING
2.3. SECTION 1006 - PORTLAND CEMENT CONCRETE
2.4. SECTION 908 - CONCRETE CURBS, GUTTER, SIDEWALKS AND DRIVEWAYS
3. UNLESS OTHERWISE SHOWN ON THE PLANS OR RECOMMENDED BY THE GEOTECHNICAL ENGINEER, DESIGN MIX SHALL PRODUCE NORMAL-WEIGHT CONCRETE WITH THE FOLLOWING PROPERTIES:
3.1. COMPRESSIVE STRENGTH: (4000 PSI FOR PAVEMENTS AND 3000 PSI FOR ALL OTHER FLATWORK, MINIMUM AT 28 DAYS.)
3.2. SLUMP RANGE: 4" TO 6"
3.3. AIR CONTENT: 3 TO 5%
4. FORMS WILL BE SET TO GRADE LINES WITHIN THE FOLLOWING TOLERANCES:
5. TOP OF FORMS NOT MORE THAN 1/8" IN 10'.
6. VERTICAL FACE ON LONGITUDINAL AXIS, NOT MORE THAN 1/4" IN 10'.
7. LOCATE, PLACE AND SUPPORT REINFORCEMENT AS SPECIFIED IN THE GEOTECHNICAL REPORT AND IN COMPLIANCE WITH TXDOT ITEM 440.
8. PRE-POUR INSPECTION BY THE GEOTECH LAB IS REQUIRED PRIOR TO FINAL PLACEMENT OF CONCRETE.
9. AUTOMATIC MACHINE MAY BE USED FOR CURB AND GUTTER PLACEMENT. IF MACHINE PLACEMENT IS USED, CONTRACTOR SHALL SUBMIT REVISED MIX DESIGN AND LABORATORY TEST RESULTS THAT MEET OR EXCEED MINIMUMS SPECIFIED. MACHINE PLACED CURBS MUST MEET THE CROSS SECTION, LINES, GRADES, FINISH AND JOINTING SPECIFIED, OR SHALL BE REMOVED AND REPLACED WITH FORMED CONCRETE AS SPECIFIED.
10. AFTER COMPLETION OF FLOATING AND TROWELING WHEN EXCESS MOISTURE OR SURFACE SHEEN HAS DISAPPEARED, BROOM FINISH BY DRAWING A FINE-HAIR BROOM ACROSS
11. CONCRETE SURFACE PERPENDICULAR TO THE LINE OF TRAFFIC. REPEAT OPERATION IF REQUIRED TO PROVIDE A TEXTURE ACCEPTABLE TO THE OWNER OR DESIGNATED REPRESENTATIVE.
12. CONTRACTOR SHALL PROTECT CONCRETE FROM DAMAGE UNTIL ACCEPTANCE OF WORK.
13. VEHICULAR TRAFFIC SHALL BE PROHIBITED FOR AT LEAST 7 DAYS AFTER PLACEMENT.
14. BROKEN OR DEFECTIVE CONCRETE WILL BE REPAIRED OR REPLACED AS DIRECTED BY THE ENGINEER.
15. DRILL TEST CORES WHERE DIRECTED BY THE ENGINEER, WHEN NECESSARY TO DETERMINE MAGNITUDE OF CRACKS OR DEFECTIVE AREAS. TESTING WILL BE IN ACCORDANCE WITH THE MATERIAL TESTING SPECIFICATION.
16. CONCRETE PAVED AREAS SHALL BE MAINTAINED BY THE CONTRACTOR SUCH THAT AT FINAL INSPECTION, CONCRETE SHALL BE FREE OF STAINS, DISCOLORATIONS, DIRT AND OTHER FOREIGN MATERIAL.

EARTHWORK

PREPARE SUBGRADE BY EXCAVATION OR EMBANKMENT FOR BUILDING SLABS, WALKS AND PAVEMENTS. EXCAVATION AND BACKFILL FOR UNDERGROUND UTILITIES AND DRAINAGE FILL COURSE FOR SUPPORT OF BUILDING SLABS ARE INCLUDED IN THIS ITEM.

EXECUTION:

- 1. ALL EXCAVATION, BACKFILL AND COMPACTION SHALL BE PERFORMED AS SHOWN IN THE PLANS AND GEOTECHNICAL REPORT FOR THE SITE.
2. EXCESS MATERIAL RESULTING FROM EXCAVATION OPERATIONS IS THE PROPERTY OF THE CONTRACTOR. APPROPRIATE DISPOSAL SHALL BE AT THE CONTRACTOR'S EXPENSE.
3. ALL EXCAVATION SHALL BE PERFORMED AS DIRECTED IN THE PLANS AND IN COMPLIANCE WITH OSHA STANDARDS.
4. OWNER WILL ENGAGE AT THE OWNER'S COST SOIL TESTING AND INSPECTION SERVICE IN ACCORDANCE WITH MATERIAL TESTING SPECIFICATION TO VERIFY COMPLIANCE WITH THE PLANS & SPECIFICATIONS. REPLACEMENT AND RETESTING OF DEFICIENT WORK SHALL BE DONE BY CONTRACTOR AT NO ADDITIONAL COMPENSATION.
5. DATA ON SUBSURFACE CONDITIONS IS AVAILABLE TO THE CONTRACTOR. THE OWNER MAKES NO WARRANTY AS TO THE CORRECTNESS OF THESE REPORTS. THE CONTRACTOR MAY, AT HIS OWN EXPENSE, PERFORM ADDITIONAL TEST BORINGS.
6. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL AFFECTED UTILITY COMPANIES. THIS SHALL INCLUDE LOCATION OF FACILITIES, PROTECTION DURING CONSTRUCTION, DAMAGE REPAIRS AND DISRUPTION OF SERVICE.
7. THE EXCAVATION IS UNCLASSIFIED, AND CONTRACTOR SHALL PERFORM EXCAVATION TO THE ELEVATIONS INDICATED IN THE PLANS, REGARDLESS OF CHARACTER OF MATERIAL, WITH NO ADDITIONAL COMPENSATION FROM THE OWNER. USE OF EXPLOSIVE IS PROHIBITED.
8. CONTRACTOR IS RESPONSIBLE FOR PROVIDING BARRICADES REQUIRED TO WARN AND/OR PREVENT ACCESS TO CONSTRUCTION AREA.
9. CONTRACTOR IS RESPONSIBLE FOR PROTECTING ADJACENT FACILITIES FROM DAMAGE.
10. EARTHWORK SHALL BE PERFORMED IN COMPLIANCE WITH LANDSCAPE PROTECTION REQUIREMENTS.
11. OVER-EXCAVATION IS NON-COMPENSABLE, AND SHALL BE BACKFILLED AND COMPACTED AS DIRECTED BY THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
12. CONTRACTOR SHALL PROVIDE ALL LABOR AND EQUIPMENT NECESSARY TO PROPERLY DEWATER EXCAVATION AREAS - AS REQUIRED.
13. EXCAVATED MATERIAL SHALL BE STOCKPILED WHERE DIRECTED IN THE PLANS. STOCKPILE SHALL BE MAINTAINED IN COMPLIANCE WITH ALL RELEVANT POLLUTION PREVENTION PLANS.
14. EARTHWORK SHALL BE PERFORMED TO THE TOLERANCES SHOWN IN THE PLANS AND/OR SPECIFIED IN THE GEOTECHNICAL REPORT FOR THE PROJECT.
15. TRENCHES SHALL BE BACKFILLED ONLY AFTER INSPECTION AND APPROVAL OF THE TESTING LAB. BACKFILL MATERIAL AND PROCEDURES FOR TRENCHES SHALL BE IN COMPLIANCE WITH THE ARIZONA DEPARTMENT OF TRANSPORTATION 2021 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 203-5 STRUCTURAL EXCAVATION AND STRUCTURE BACKFILL.

WATER DISTRIBUTION AND WASTEWATER COLLECTION SYSTEMS

FURNISH AND INSTALL THE FIRE LINE, DOMESTIC WATER LINE AND WASTEWATER COLLECTION SYSTEM AND ALL RELATED APPURTENANCES FROM THE PUBLIC MAIN TO THE BUILDING PAD(S) AS SHOWN ON THE PLANS, INCLUDING BUT NOT LIMITED TO ALL PIPING, FITTINGS, VAULTS, VALVES, METERS, MANHOLES AND JUNCTION BOXES REQUIRED.

EXECUTION:

- 1. INSTALLATION OF WASTEWATER LINES SHALL BEGIN AT THE TAP TO THE PUBLIC WASTEWATER SYSTEM AND PROGRESS UPSTREAM. WATER AND WASTEWATER LINES SHALL BE EXTENDED TO SERVICE ENTRANCE INTO BUILDING(S). CONTRACTOR SHALL PROVIDE A WATERTIGHT SLEEVE IN FOUNDATION FOR WATER LINE.
2. CONTRACTOR IS RESPONSIBLE FOR TAP AT PUBLIC MAIN AND ALL LINES, FITTINGS AND APPURTENANCES SHOWN ON PLANS OR REQUIRED BY THE LOCAL UTILITY COMPANY.
3. ALL MATERIALS, INSTALLATION, INSPECTION AND TESTING OF WATER METER AND RELATED PIPING AND APPURTENANCES SHALL CONFORM TO UPC STANDARDS, AWWA STANDARDS, TCEO STANDARDS, AND THE APPLICABLE LOCAL UTILITY COMPANY REGULATIONS. ALL MATERIALS AND INSTALLATIONS REQUIRED FOR FIRE PROTECTION SHALL MEET FACTORY MUTUAL GLOBAL STANDARDS.
4. TRENCH EXCAVATION SHALL BE PERFORMED AND BACKFILL MATERIAL AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE ARIZONA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND BRIDGES.

STORM WATER COLLECTION SYSTEM

FURNISH AND INSTALL ALL MATERIAL COMPRISING THE STORM WATER COLLECTION SYSTEM SHOWN ON THE PLANS.

EXECUTION

- 1. ALL WORK UNDER THIS ITEM SHALL BE IN COMPLIANCE WITH ANY GOVERNING PERMITS FOR THIS SITE INCLUDING BUT NOT LIMITED TO FEDERAL TPDDES PERMITS OR LOCAL WATERWAY OR SITE DEVELOPMENT PERMITS.
2. ALL MATERIALS AND INSTALLATION OF STORM SEWER PIPING SHALL COMPLY WITH THE FOLLOWING ARIZONA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS, STREETS AND BRIDGES.
3. INSTALLATION OF THE STORM SEWER SYSTEM SHALL BEGIN AT THE OUTFALL AND PROGRESS UPSTREAM.
4. ANY WORK DONE IN THE PUBLIC RIGHT OF WAY WILL BE COMPLETED ACCORDING TO GOVERNING SPECIFICATIONS AND REGULATIONS.
5. TRENCH EXCAVATION SHALL BE PERFORMED AND BACKFILL MATERIAL AND PROCEDURES SHALL BE IN COMPLIANCE WITH THE ARIZONA DEPARTMENT OF TRANSPORTATION 2021 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 203-5 STRUCTURAL EXCAVATION AND STRUCTURE BACKFILL.

STORM SEWER NOTES

- 1. THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. (SEE SITE INFORMATION SHEET FOR UTILITY CONTACTS)
2. THE CONTRACTOR SHALL VERIFY ALL EXISTING INVERTS AND RIM ELEVATIONS PRIOR TO CONSTRUCTION. CONTACT ENGINEER WITH ANY DISCREPANCIES.
3. CONTRACTOR IS RESPONSIBLE TO COMPLETE OR COORDINATE ADJUSTMENT OF OTHER UTILITIES IN ORDER TO CONSTRUCT STORM SEWER TO ELEVATIONS PROVIDED.
4. THE FOLLOWING STORM SEWER PIPES ARE ALLOWABLE:
4.1. 2" THRU 48" RCP, D-LOAD DESIGN
4.2. 6" THRU 12" PVC, SDR 35 OR SCH. 40
4.3. 12" THRU 18" GALVANIZED CORRUGATED METAL (2-2/3"X 1/2" CORRUGATED) (N= 0.013 MAX.)
4.4. 12" THRU 48" "ULTRAFLO" SPIRAL RIB PIPE (AASHTO M-36 TYPE I.R. WITH GALVANIZED STEEL AS PER AASHTO M-218)
4.5. 6" THRU 36", HDPE
5. ALL SLOPES STEEPER THAN 3:1 SHALL BE OVERLAID WITH GEOWEB #204, 4' CELLULAR CONFINEMENT SYSTEM. SUPAC 6MP WILL BE PLACED UNDER GEOWEB AND SYSTEM ANCHORED PER MANUFACTURERS RECOMMENDATIONS.
6. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RESTORED AND GRADED TO DRAIN.

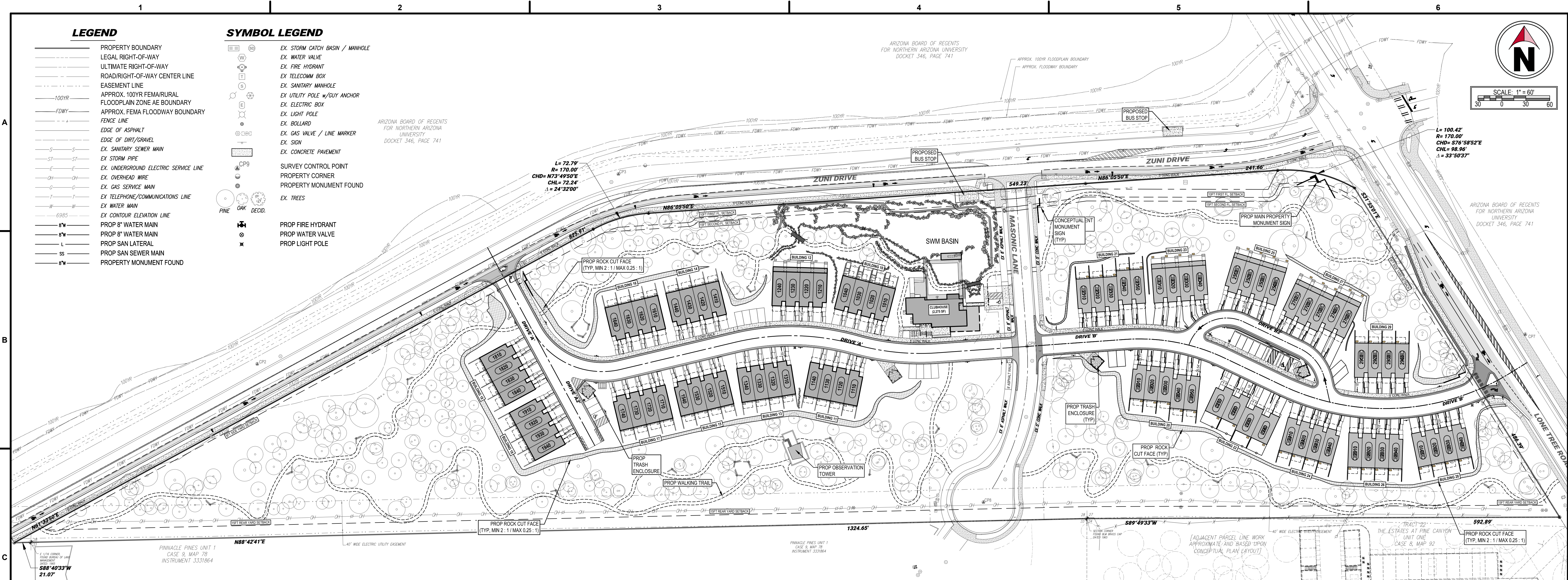
Table with 5 columns: REV, DATE, DESCRIPTION, REVISIONS, and a grid for revision tracking.



ViewPoint Engineering logo and contact information: 2121 E 6th STREET, SUITE 203 AUSTIN, TEXAS 78702. FIRM No. F-23395 viewpointengineering.com

Project information: PINEHAVEN RESIDENTIAL LAND DEVELOPMENT, 2951 S. MASONIC LANE, COCONINO COUNTY, ARIZONA. PROJECT NO. 22004, DATE MAY 30, 2023. SHEET ID C001, REV 4. SHEET 2 of 46.

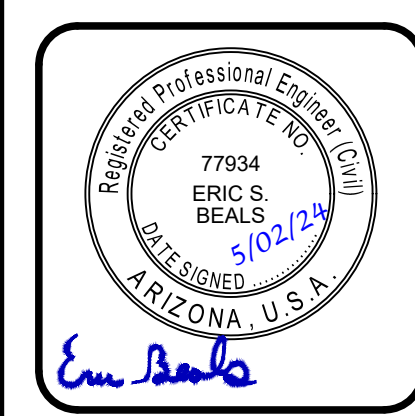
ARIZONA811 logo and text: Contact Arizona 811 at least two full working days before you begin excavation. Call 811 or click Arizona811.org. LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND BASED ON OBSERVABLE SURFACE FEATURES ONLY. THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND DETERMINE THE EXACT LOCATION OF ALL UTILITIES. CONTRACTOR RESPONSIBLE FOR ANY AND ALL DAMAGES INCURRED BY FAILURE TO LOCATE UTILITIES.



- LEGEND**
- PROPERTY BOUNDARY
 - LEGAL RIGHT-OF-WAY
 - ULTIMATE RIGHT-OF-WAY
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 - EASEMENT LINE
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 - APPROX. FEMA FLOODWAY BOUNDARY
 - FENCE LINE
 - EDGE OF ASPHALT
 - EDGE OF DIRT/GRAVEL
 - EX. SANITARY SEWER MAIN
 - EX. STORM PIPE
 - EX. UNDERGROUND ELECTRIC SERVICE LINE
 - EX. OVERHEAD WIRE
 - EX. GAS SERVICE MAIN
 - EX. TELEPHONE/COMMUNICATIONS LINE
 - EX. WATER MAIN
 - EX. CONTOUR ELEVATION LINE
 - PROP 8" WATER MAIN
 - PROP 8" WATER MAIN
 - PROP SAN LATERAL
 - PROP SAN SEWER MAIN
 - PROPERTY MONUMENT FOUND
- SYMBOL LEGEND**
- EX. STORM CATCH BASIN / MANHOLE
 - EX. WATER VALVE
 - EX. FIRE HYDRANT
 - EX. TELECOMM BOX
 - EX. SANITARY MANHOLE
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 - EX. LIGHT POLE
 - EX. BOLLARD
 - EX. GAS VALVE / LINE MARKER
 - EX. SIGN
 - EX. CONCRETE PAVEMENT
 - SURVEY CONTROL POINT
 - PROPERTY CORNER
 - PROPERTY MONUMENT FOUND
 - EX. TREES
 - PROP FIRE HYDRANT
 - PROP WATER VALVE
 - PROP LIGHT POLE

REVISIONS

REV	DATE	DESCRIPTION
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-26-2023
2	01-18-2024	REVISED PER CITY REVIEW LETTER DATED 12-18-2023
3	03-03-2024	REVISED PER CITY REVIEW LETTER DATED 2-8-2024
4	05-02-2024	REVISED PER CITY REVIEW LETTER DATED 4-9-2024



GENERAL NOTES

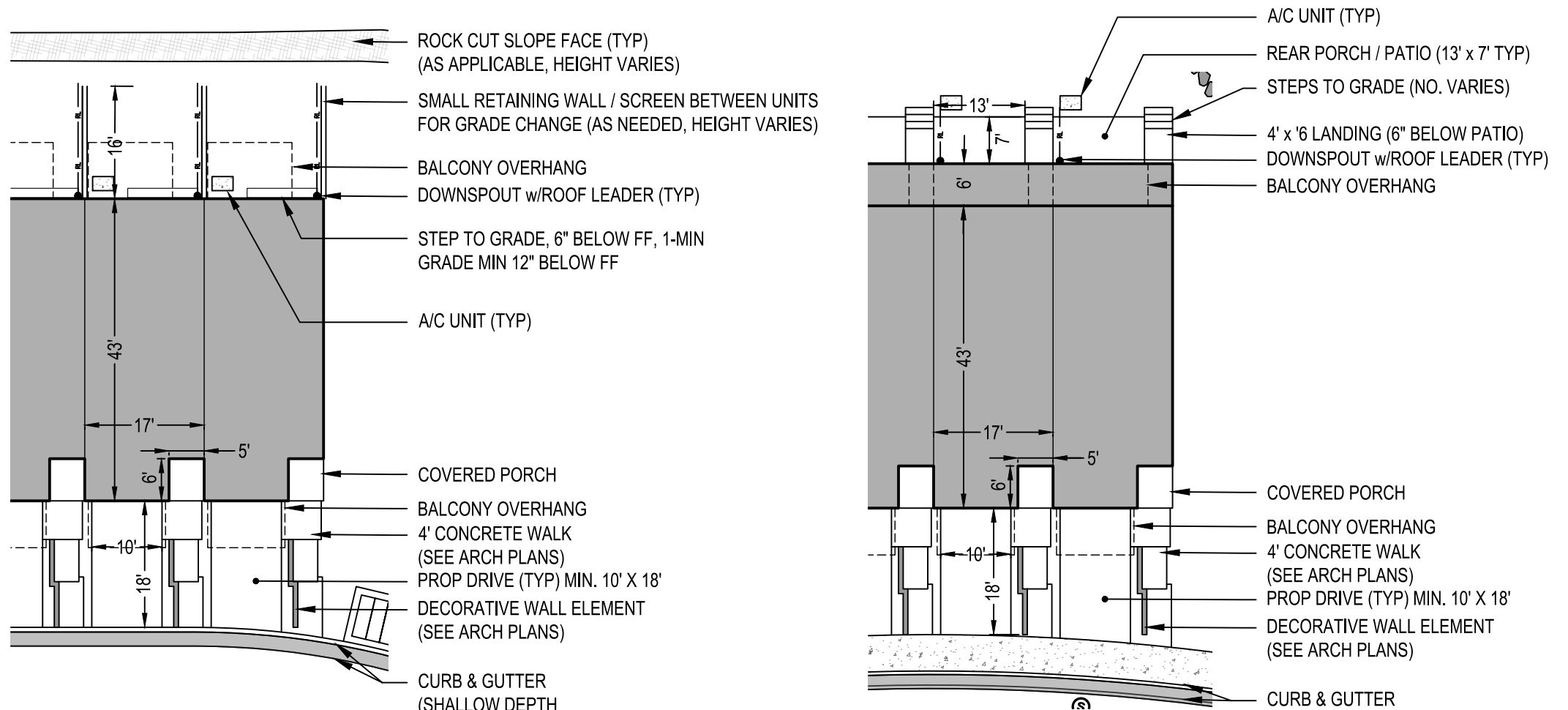
- FIRE HYDRANTS, STREET LIGHTS AND LANDSCAPING ALONG ZUNI & LONE TREE FRONTAGES WILL BE PROVIDED IN ACCORDANCE WITH CITY OF FLAGSTAFF ENGINEERING STANDARDS.
- ALL PROPOSED DRIVE AISLES WILL BE PROVIDED WITH RED CURBING AND NO PARKING/FIRE LANE SIGNAGE.
- APPROVAL OF THESE PLANS BY THE CITY ENGINEER IS FOR A ONE (1) YEAR PERIOD, SUBSEQUENT TO THE DATE OF APPROVAL. IF CONSTRUCTION WORK IS NOT STARTED WITHIN THE ONE (1) YEAR PERIOD, OR HAS BEEN DISCONTINUED FOR ANY REASON FOR LONGER THAN ONE (1) YEAR, THE PLANS SHALL BE RESUBMITTED FOR REVIEW AND RE-APPROVAL.
- PLAN REVIEW BY THE CITY DOES NOT EXTEND TO MATERIAL QUANTITIES SHOWN ON THE PLANS.
- A PUBLIC WORKS PERMIT, ISSUED BY THE CITY, IS REQUIRED FOR ALL WORK IN CITY RIGHTS-OF-WAY OR EASEMENTS AND FOR CONSTRUCTION OF ANY IMPROVEMENTS INTENDED TO BECOME PUBLIC PROPERTY.
- THE CITY SHALL BE NOTIFIED TWENTY-FOUR (24) HOURS PRIOR TO BEGINNING DIFFERENT PHASES OF CONSTRUCTION SO THAT CITY INSPECTORS MAY BE SCHEDULED.
- ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH TITLE 13, ENGINEERING DESIGN STANDARDS AND SPECIFICATIONS FOR NEW INFRASTRUCTURE, CURRENT "MAG UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION," THE CITY OF FLAGSTAFF STORMWATER DESIGN MANUAL, AND WITH GENERALLY ACCEPTED ENGINEERING DESIGN AND CONSTRUCTION PRACTICE. ALL WORK AND MATERIALS, WHICH DO NOT CONFORM TO THE STANDARDS AND SPECIFICATIONS, ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING CHAPTER 13-21, WHICH MAKES MINOR MODIFICATIONS TO CERTAIN MAG SPECIFICATIONS AND DETAILS.
- ANY WORK PERFORMED WITHOUT THE KNOWLEDGE AND APPROVAL OF THE CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVE IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
- THE CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVE MAY SUSPEND THE WORK BY WRITTEN NOTICE WHEN, IN HIS JUDGMENT, PROGRESS IS UNSATISFACTORY, WORK BEING DONE IS UNAUTHORIZED OR DEFECTIVE, WEATHER CONDITIONS ARE UNSUITABLE, OR THERE IS DANGER TO THE PUBLIC HEALTH OR SAFETY.
- THE CITY ENGINEER MAY ORDER ANY OR ALL MATERIALS USED IN THE WORK TO BE TESTED ACCORDING TO THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO) AND THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) STANDARDS. THE CONTRACTOR SHALL, AT HIS EXPENSE, SUPPLY ALL SAMPLES REQUIRED FOR TESTING.
- ACCESS THAT MEETS SECTION 13-13-004-0001, FIRE ACCESS, SHALL BE IN PLACE AND APPROVED BEFORE AND AT ALL TIMES DURING ON-SITE COMBUSTIBLE CONSTRUCTION AND/OR PRIOR TO ISSUANCE OF BUILDING PERMITS IN NEW SUBDIVISIONS. FIRE DEPARTMENT AND ENGINEERING SECTION APPROVAL IS REQUIRED FOR OBSTRUCTION OF ACCESS OR WATER SYSTEM SHUTDOWN.
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- APPROVAL OF A PORTION OF THE WORK IN PROGRESS DOES NOT GUARANTEE ITS FINAL ACCEPTANCE. TESTING AND EVALUATION MAY CONTINUE UNTIL WRITTEN FINAL ACCEPTANCE OF A COMPLETE WORKABLE UNIT. ANY DEFECTS WHICH APPEAR IN THE WORK WITHIN ONE (1) YEAR FROM THE DATE OF ACCEPTANCE AND WHICH ARE DUE TO IMPROPER WORKMANSHIP OR INFERIOR MATERIALS SUPPLIED SHALL BE CORRECTED BY OR AT THE EXPENSE OF THE OWNER/DEVELOPER OR THE CONTRACTOR.

ACCEPTANCE OF COMPLETED PUBLIC IMPROVEMENTS WILL NOT BE GIVEN UNTIL DEFECTIVE OR UNAUTHORIZED WORK IS REMOVED, AND FINAL CLEAN-UP IS COMPLETE.

- LOCATION OF UNDERGROUND UTILITIES BEFORE WORK IS BEGUN IS TO BE ACCOMPLISHED IN ACCORDANCE WITH A.R.S. SECTION 40-360.22.
- IF WORK IS DONE ON PRIVATE PROPERTY IN RELATION TO A PROJECT CONSTRUCTED UNDER THESE STANDARDS, THE CONTRACTOR WILL PROVIDE THE CITY WITH WRITTEN AUTHORIZATION FROM THE PROPERTY OWNER TO DO SO.
- THE ESTABLISHMENT AND USE OF TEMPORARY CONSTRUCTION YARDS SHALL CONFORM TO THE CURRENT CITY ZONING CODE STANDARDS FOR TEMPORARY USES.
- ALL EXCAVATED MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE CITY CODES AND REGULATIONS. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED CITY APPROVALS AND PERMITS AS DEEMED NECESSARY BY THE CITY TO DISPOSE OF EXCAVATED MATERIAL.
- ALL CONSTRUCTION STAKING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER AND PERFORMED UNDER THE DIRECT SUPERVISION OF A REGISTERED LAND SURVEYOR OR CIVIL ENGINEER.
- ALL TRAFFIC SIGN SHEETING SHALL BE TYPE VIII AS DESIGNED BY ASTM D4956-07E1 STANDARD SPECIFICATIONS FOR RETROREFLECTIVE SHEETING FOR TRAFFIC CONTROL, UNLESS SPECIFIED OTHERWISE ON THE CONSTRUCTION PLANS.
- WHEN THE CONSTRUCTION PLANS SPECIFY GRAFFITI CONTROL ON BRIDGES OR OTHER STRUCTURES, THE CONTRACTOR SHALL SEAL THE STRUCTURE FIRST USING MONOCHEM AQUASEAL ME 12 AND THEN APPLY MONOCHEM PERMASHIELD, SACRIFICIAL GRAFFITI CONTROL SYSTEM (OR APPROVED EQUAL).
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED AND RESEEDED IN ACCORDANCE WITH CHAPTER 13-17. IN THE EVENT THAT THE CONSTRUCTION ACTIVITY DISTURBS MORE THAN ONE (1) ACRE, A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE PREPARED IN ORDER TO OBTAIN A CONSTRUCTION GENERAL PERMIT FROM ADEQ. (ORD. 2017-22, REPREREEN, 07/05/2017)

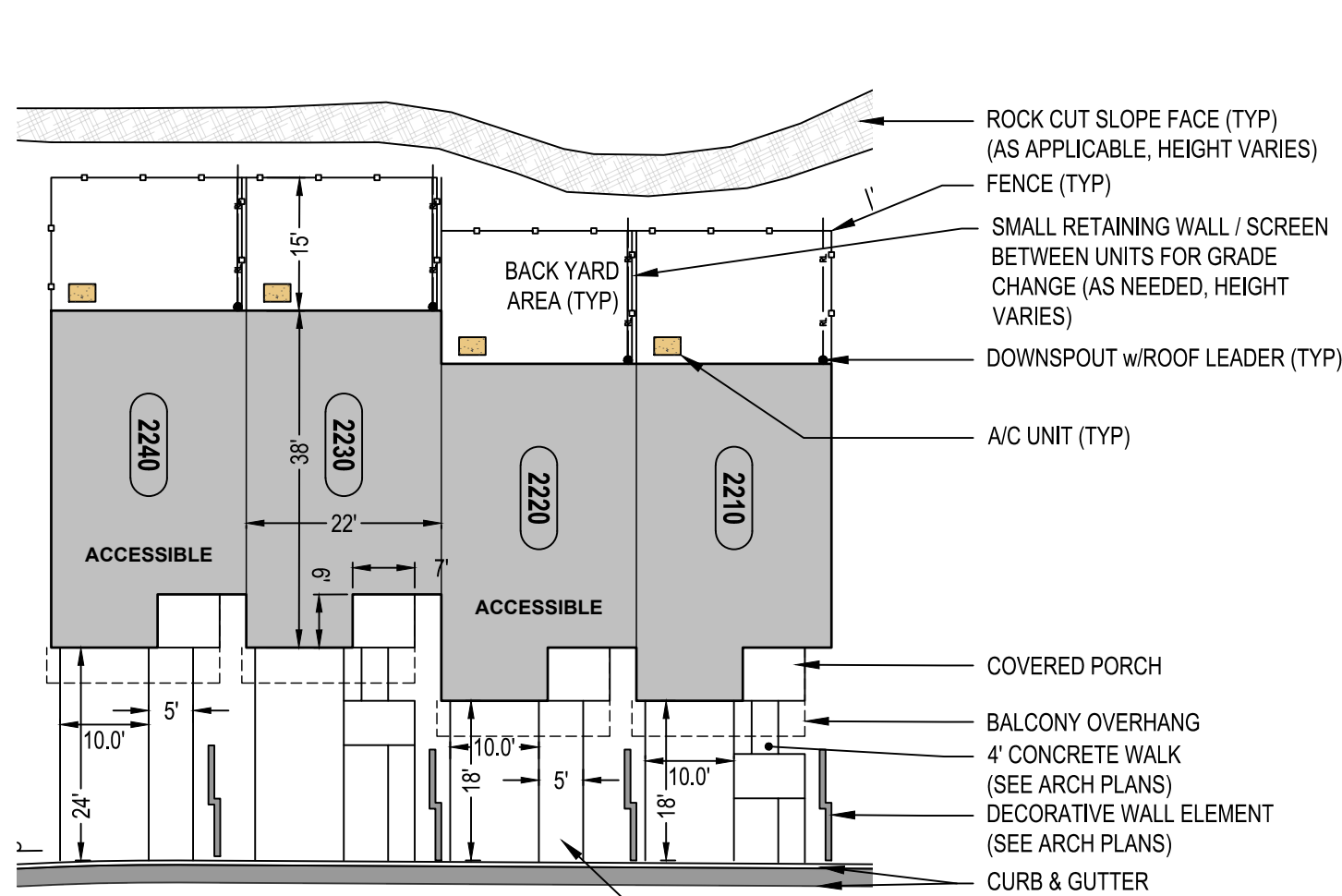
CITY OF FLAGSTAFF - GENERAL NOTES

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UNITS IN CUT (3-STORY / SLAB ON GRADE)
PONDEROSA UNIT
NOT TO SCALE

UNITS IN FILL (2-STORY FRONT / 3-STORY REAR)
ASPEN UNIT
NOT TO SCALE



UNITS IN CUT (2-STORY / SLAB ON GRADE)
JUNIPER UNIT
NOT TO SCALE

BUILDING SUMMARY

BUILDING MODEL	UNIT TYPE	Qty	FLOORS	TOTAL FLOOR AREA (SF)	BEDROOMS	BUILDING NUMBER
PONDEROSA	INTERIOR UNIT	32	3	2,226	3	10, 11, 13, 14, 15, 16, 17, 18, 20
	END UNIT	30	3	2,250	3	21, 24, 26, 28, 29
ASPEN	INTERIOR UNIT	9	3	2,180	2	12, 23, 25, 27
	END UNIT	8	3	2,231	3	
JUNIPER	INTERIOR UNIT	2	2	1,565	3	22
	END UNIT (ACCESSIBLE)	2	2	1,585	4	
TOTAL		83				
CLUBHOUSE		2		5,100	N/A	N/A

PARKING REQUIREMENTS

USE	REQUIREMENT (1)	PARKING REQUIRED UNITS	PARKING
SINGLE FAMILY (ATTACHED)			
STANDARD UNITS (2-3 BEDROOMS)	2.00 SPACES PER UNIT	81	162.00
STANDARD UNITS (4 BEDROOMS)	2.50 SPACES PER UNIT	2	5.00
GUEST PARKING	0.25 SPACES PER UNIT	83	20.75
TOTAL PARKING REQUIRED		166	187.75
PARKING PROVIDED			
GARAGE SPACE (1 PER UNIT, EXCL ADA UNITS)		81	
DRIVEWAY SPACE		83	
ADDITIONAL SPACES		22	
ADA SITE SPACES		3	
TOTAL PARKING PROVIDED		189	
REQUIRED BICYCLE PARKING			
5% OF TOTAL REQUIRED PARKING SPACES		188	9.4
TOTAL BICYCLE PARKING REQUIRED		188	9.4
BICYCLE PARKING PROVIDED			12

(1) PER TABLE 10-50.80.040.A
 (2) THE PROJECT WILL PROVIDE AN AFFORDABLE HOUSING CONTRIBUTION TO THE CITY FOR THE EQUIVALENT OF 10 SITE UNITS.



LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND BASED ON OBSERVABLE SURFACE FEATURES ONLY. THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY PROVIDER TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND DETERMINE THE EXACT LOCATION OF ALL UTILITIES. CONTRACTOR RESPONSIBLE FOR ANY AND ALL DAMAGES INCURRED BY FAILURE TO LOCATE UTILITIES.

ViewPoint Engineering
 2121 E 6th STREET, SUITE 203
 AUSTIN, TEXAS 78702
 FIRM No. F-23395
 viewpointengineering.com

OWN BY: **M TOTH**
 CHK BY: **E BEALS**

PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
 2951 S. MASONIC LANE
 COCONINO COUNTY, ARIZONA

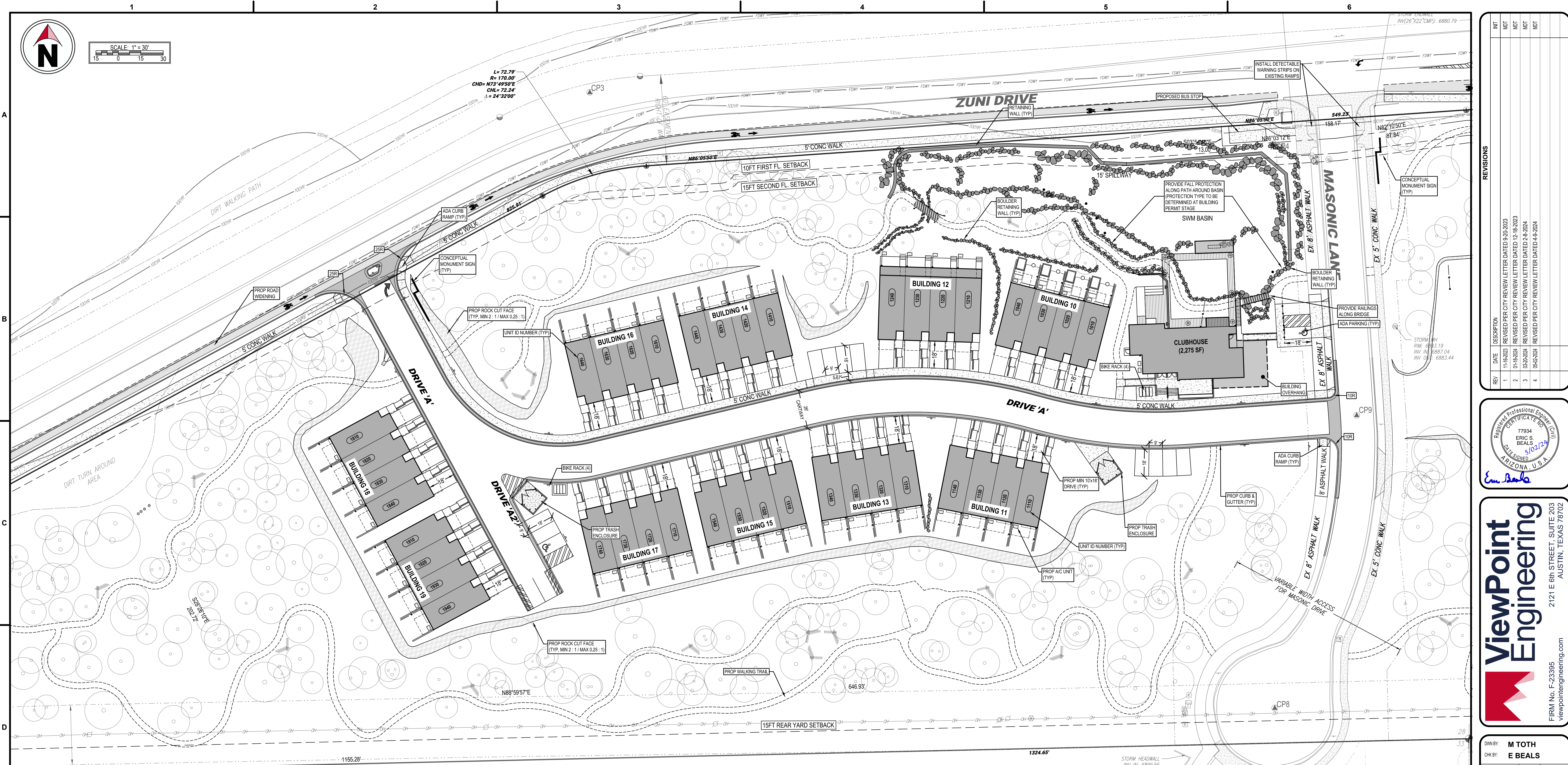
APPLICANT: **RODG DT FLAGSTAFF PROP CO LLC**
 241 E WYBURN STREET, SUITE 200, AUSTIN, TEXAS 78702

TITLE: **SITE PLAN REVIEW OVERALL SITE PLAN**

PROJECT NO.: **22004**
 DATE: **MAY 30, 2023**
 SHEET ID: **C100**
 SHEET **3** OF **46**



SCALE: 1" = 30'



LEGEND

- PROPERTY BOUNDARY
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SYMBOL LEGEND

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- PROPERTY CORNER
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ARIZONA 811

BLUE STAKE, INC.

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Professional Engineer (C) (11)

CERTIFICATE NO. 77934

ERIC S. BEALS

5/02/24

ARIZONA, U.S.A.

Eric Beals

ViewPoint Engineering

2121 E 6th STREET, SUITE 203
AUSTIN, TEXAS 78702

FIRM No. F-23395
viewpointengineering.com

OWN BY: **M TOTH**

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PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**

2951 S. MASONIC LANE
COCONINO COUNTY, ARIZONA

APPLICANT: **RODG DT FLAGSTAFF PROP CO LLC**
241 E. 6TH STREET, SUITE 203, AUSTIN, TEXAS 78702

TITLE: **SITE PLAN REVIEW PHASE 1 SITE PLAN (1 OF 2)**

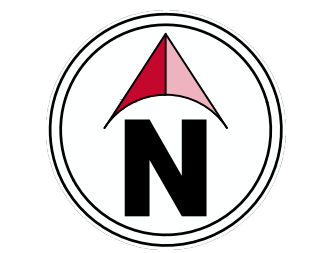
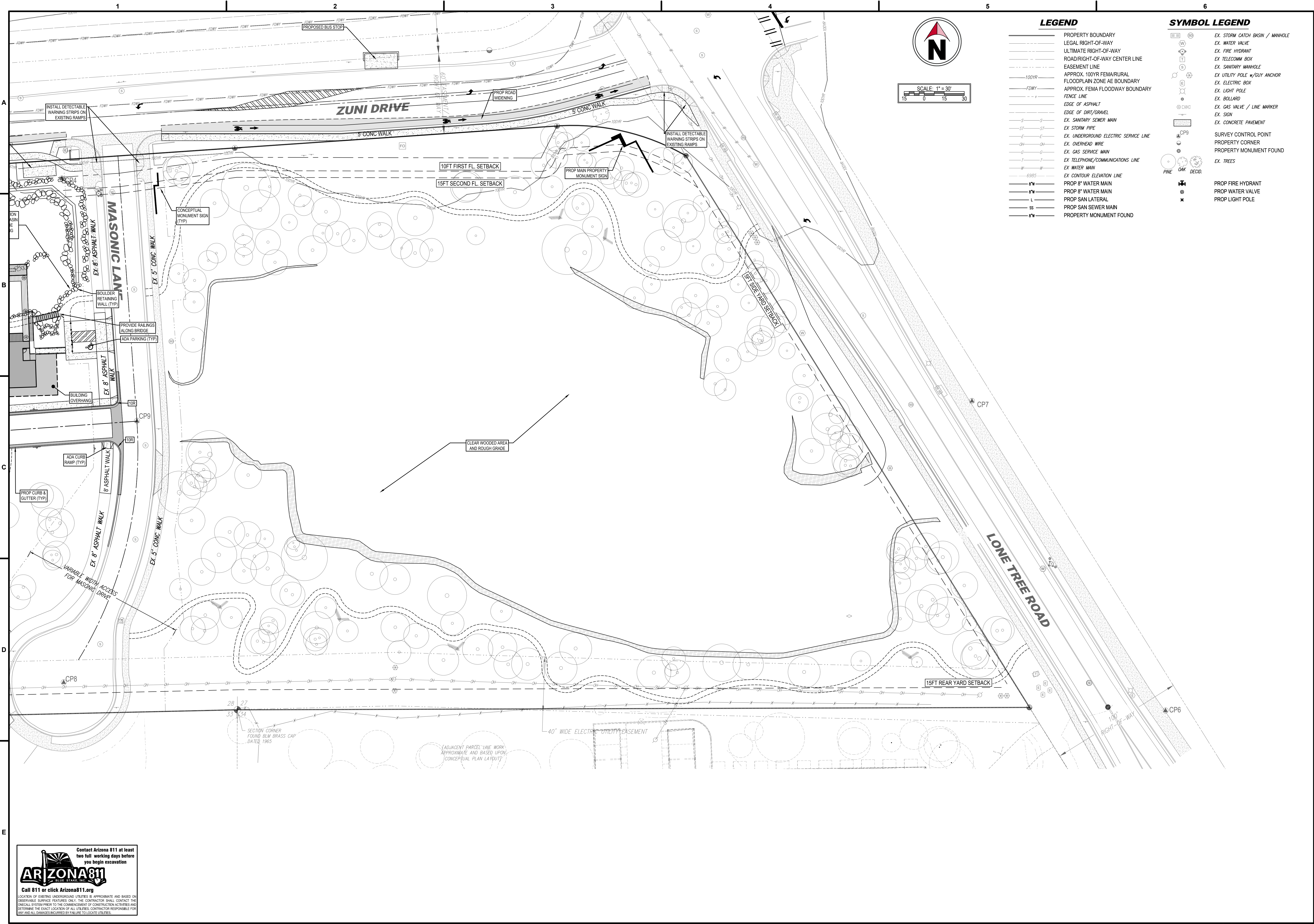
PROJECT NO.: 22004

DATE: **MAY 30, 2023**

SHEET ID: **C101**

REV: 4

SHEET 4 of 46



SCALE: 1" = 30'
15 0 15 30

LEGEND

- PROPERTY BOUNDARY
- - - LEGAL RIGHT-OF-WAY
- - - ULTIMATE RIGHT-OF-WAY
- - - ROAD/RIGHT-OF-WAY CENTER LINE
- - - EASEMENT LINE
- - - APPROX. 100YR FEMA/RURAL FLOODPLAIN ZONE AE BOUNDARY
- - - APPROX. FEMA FLOODWAY BOUNDARY
- - - FENCE LINE
- - - EDGE OF ASPHALT
- - - EDGE OF DIRT/GRAVEL
- - - EX. SANITARY SEWER MAIN
- - - EX. STORM PIPE
- - - EX. UNDERGROUND ELECTRIC SERVICE LINE
- - - EX. OVERHEAD WIRE
- - - EX. GAS SERVICE MAIN
- - - EX. TELEPHONE/COMMUNICATIONS LINE
- - - EX. WATER MAIN
- - - EX. CONTOUR ELEVATION LINE
- - - PROP 8" WATER MAIN
- - - PROP 8" WATER MAIN
- - - PROP SAN LATERAL
- - - PROP SAN SEWER MAIN
- - - PROPERTY MONUMENT FOUND

SYMBOL LEGEND

- ⊕ EX. STORM CATCH BASIN / MANHOLE
- ⊕ EX. WATER VALVE
- ⊕ EX. FIRE HYDRANT
- ⊕ EX. TELECOMM BOX
- ⊕ EX. SANITARY MANHOLE
- ⊕ EX. UTILITY POLE w/GUY ANCHOR
- ⊕ EX. ELECTRIC BOX
- ⊕ EX. LIGHT POLE
- ⊕ EX. BOLLARD
- ⊕ EX. GAS VALVE / LINE MARKER
- ⊕ EX. SIGN
- ⊕ EX. CONCRETE PAVEMENT
- CP9 SURVEY CONTROL POINT
- ⊕ PROPERTY CORNER
- ⊕ PROPERTY MONUMENT FOUND
- ⊕ EX. TREES
- ⊕ PROP FIRE HYDRANT
- ⊕ PROP WATER VALVE
- ⊕ PROP LIGHT POLE

REV	DATE	DESCRIPTION
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-20-2023
2	01-18-2024	REVISED PER CITY REVIEW LETTER DATED 12-18-2023
3	03-26-2024	REVISED PER CITY REVIEW LETTER DATED 2-8-2024
4	05-02-2024	REVISED PER CITY REVIEW LETTER DATED 4-9-2024



ViewPoint Engineering
2121 E 6th STREET, SUITE 203
AUSTIN, TEXAS 78702

FIRM No. F-23395
viewpointengineering.com

OWN BY:	M TOTH
CHK BY:	E BEALS
PROJECT:	PINEHAVEN RESIDENTIAL LAND DEVELOPMENT 2951 S. MASONIC LANE COCONINO COUNTY, ARIZONA
APPLICANT:	RODG DT FLAGSTAFF PROP CO LLC 241 E. 6TH STREET, SUITE 203, AUSTIN, TEXAS 78702
TITLE:	SITE PLAN REVIEW PHASE 1 SITE PLAN (2 OF 2)
PROJECT NO.:	22004
DATE:	MAY 30, 2023
SHEET ID:	REV
C102	4
SHEET 5 of 46	

Contact Arizona 811 at least two full working days before you begin excavation

Call 811 or click Arizona811.org

LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND BASED ON OBSERVABLE SURFACE FEATURES ONLY. THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND DETERMINE THE EXACT LOCATION OF ALL UTILITIES. CONTRACTOR RESPONSIBLE FOR ANY AND ALL DAMAGES INCURRED BY FAILURE TO LOCATE UTILITIES.

LEGEND

- PROPERTY BOUNDARY
- LEGAL RIGHT-OF-WAY
- ULTIMATE RIGHT-OF-WAY
- ROAD/RIGHT-OF-WAY CENTER LINE
- EASEMENT LINE
- APPROX. 100YR FEMA/RURAL FLOODPLAIN ZONE AE BOUNDARY
- APPROX. FEMA FLOODWAY BOUNDARY
- FENCE LINE
- EDGE OF ASPHALT
- EDGE OF DIRT/GRAVEL
- EX. SANITARY SEWER MAIN
- EX. SANITARY PIPE
- EX. UNDERGROUND ELECTRIC SERVICE LINE
- EX. OVERHEAD WIRE
- EX. GAS SERVICE MAIN
- EX. TELEPHONE/COMMUNICATIONS LINE
- EX. WATER MAIN

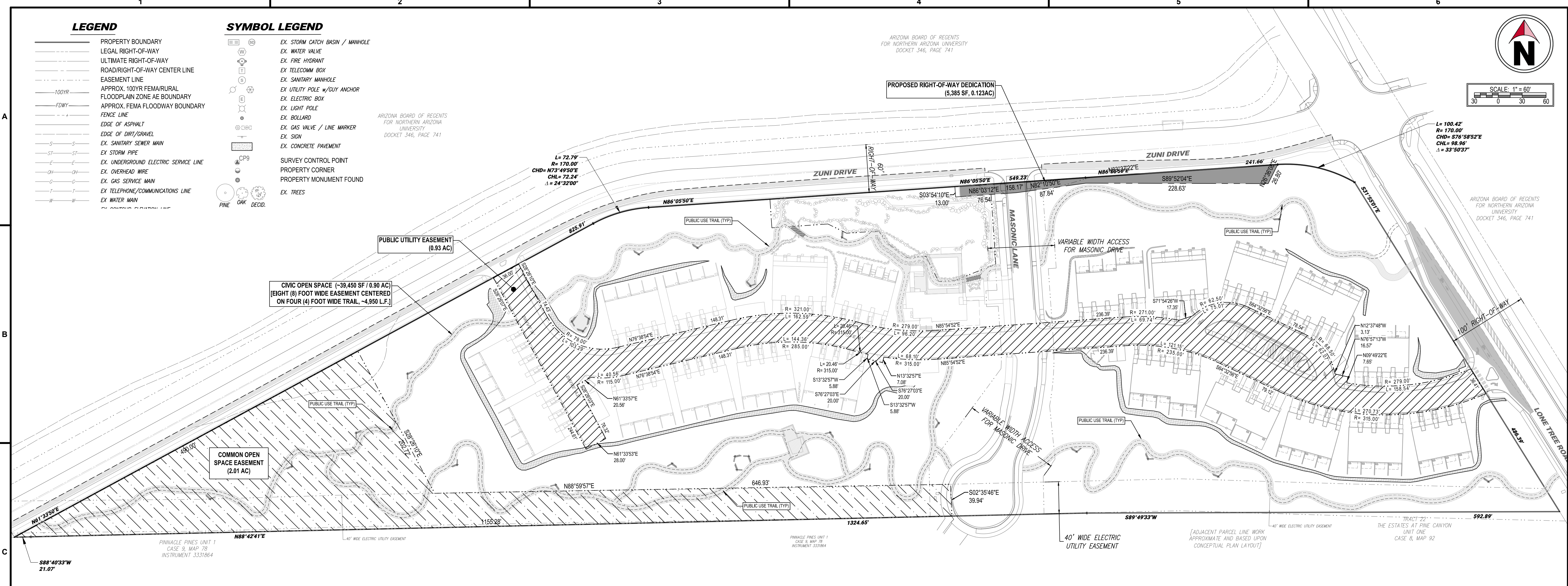
SYMBOL LEGEND

- EX. STORM CATCH BASIN / MANHOLE
- EX. WATER VALVE
- EX. FIRE HYDRANT
- EX. TELECOMM BOX
- EX. SANITARY MANHOLE
- EX. UTILITY POLE w/ DUTY ANCHOR
- EX. ELECTRIC BOX
- EX. LIGHT POLE
- EX. BOLLARD
- EX. GAS VALVE / LINE MARKER
- EX. SIGN
- EX. CONCRETE PAVEMENT
- SURVEY CONTROL POINT
- PROPERTY CORNER
- PROPERTY MONUMENT FOUND
- EX. TREES

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FOR NORTHERN ARIZONA
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DOCKET 346, PAGE 741



SCALE: 1" = 60'

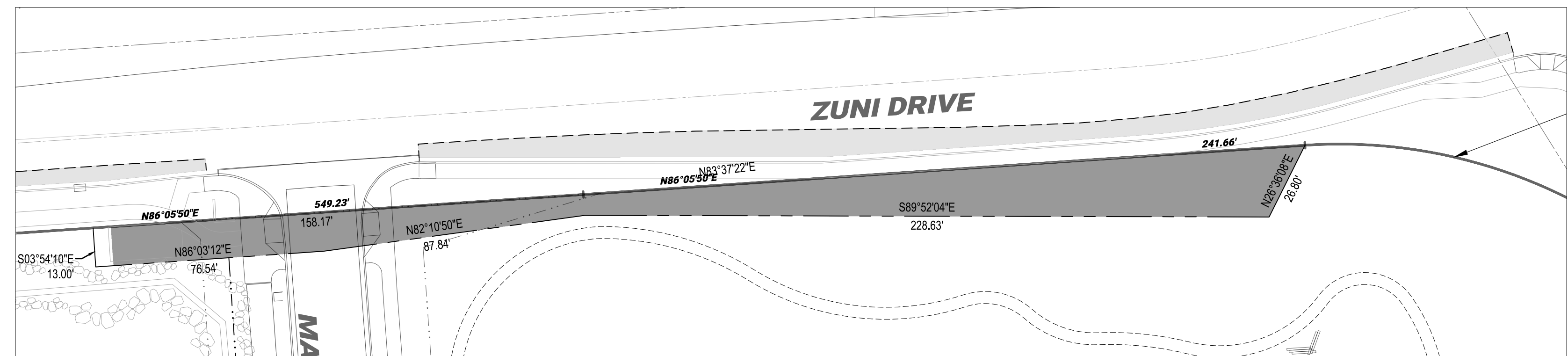


CIVIC OPEN SPACE (~39,450 SF / 0.90 AC)
[EIGHT (8) FOOT WIDE EASEMENT CENTERED ON FOUR (4) FOOT WIDE TRAIL, ~4,950 L.F.]

COMMON OPEN SPACE EASEMENT (2.01 AC)

PROPOSED RIGHT-OF-WAY DEDICATION (5,385 SF, 0.123AC)

NOTE: RIGHT-OF-WAY AND EASEMENT DIMENSIONS SHALL BE FINALIZED DURING CIVIL PLAN REVIEW



D1 ZUNI DRIVE RIGHT-OF-WAY DEDICATION
SCALE: 1" = 30'

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ViewPoint Engineering
2121 E 6th STREET, SUITE 203
AUSTIN, TEXAS 78702

FIRM No. F-23395
viewpointengineering.com

OWN BY: **M TOTH**
CHK BY: **E BEALS**

PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
2951 S. MASONIC LANE
COCONINO COUNTY, ARIZONA

APPLICANT: **RODG DT FLAGSTAFF PROP CO LLC**
241 E. 6TH STREET, SUITE 203, AUSTIN, TEXAS 78702

TITLE: **SITE PLAN REVIEW EASEMENT PLAN**

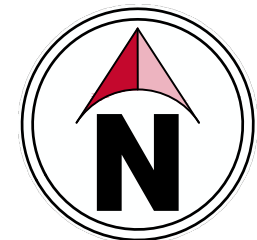
PROJECT NO.: 22004
DATE: MAY 30, 2023
SHEET ID: C105
REV: 4

SHEET 7 of 46

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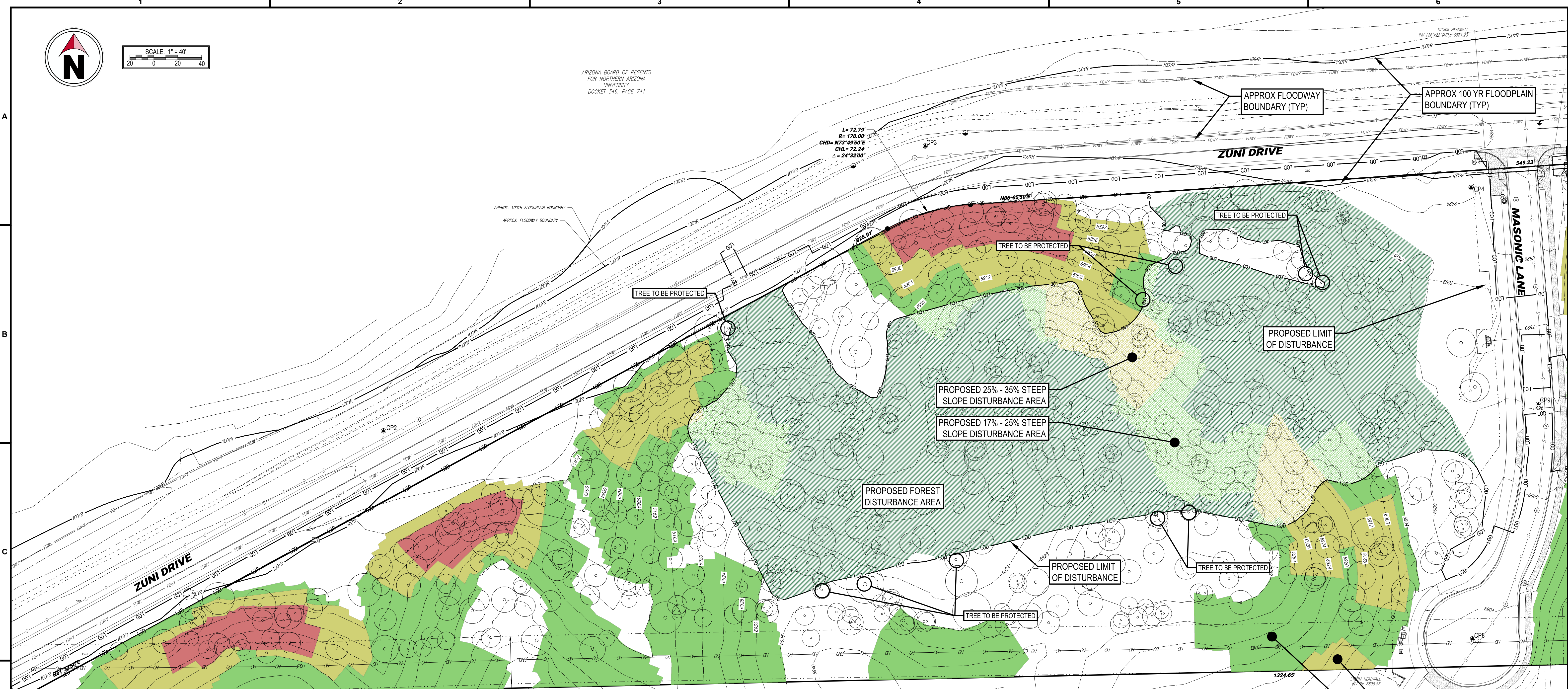
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SCALE: 1" = 40'

ARIZONA BOARD OF REGENTS
FOR NORTHERN ARIZONA
UNIVERSITY
DOCKET 346, PAGE 741

A
B
C
D
E



NOTE: UNLESS OTHERWISE NOTED, ALL TREES WITHIN THE DEFINED LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN ARE TO BE REMOVED

HATCH LEGEND

- UNDISTURBED STEEP SLOPES
- SLOPES >35%
- SLOPES 25% - 35%
- SLOPES 17% - 25%
- DISTURBED AREAS
- SLOPES >35%
- SLOPES 25% - 35%
- SLOPES 17% - 25%
- WOODLAND AREAS

LEGEND

- PROPERTY BOUNDARY
- LEGAL RIGHT-OF-WAY
- ULTIMATE RIGHT-OF-WAY
- ROAD/RIGHT-OF-WAY CENTER LINE
- EASEMENT LINE
- APPROX. 100YR FEMA/RURAL FLOODPLAIN ZONE AE BOUNDARY
- APPROX. FEMA FLOODWAY BOUNDARY
- FENCE LINE
- EDGE OF ASPHALT
- EDGE OF DIRT/GRAVEL
- EX. SANITARY SEWER MAIN
- EX. STORM PIPE
- EX. UNDERGROUND ELECTRIC SERVICE LINE
- EX. OVERHEAD WIRE
- EX. GAS SERVICE MAIN
- EX. TELEPHONE/COMMUNICATIONS LINE
- EX. WATER MAIN
- EX. CONTOUR ELEVATION LINE

SYMBOL LEGEND

- EX. STORM CATCH BASIN / MANHOLE
- EX. WATER VALVE
- EX. FIRE HYDRANT
- EX. TELECOMM BOX
- EX. SANITARY MANHOLE
- EX. UTILITY POLE w/GUY ANCHOR
- EX. ELECTRIC BOX
- EX. LIGHT POLE
- EX. BOLLARD
- EX. GAS VALVE / LINE MARKER
- EX. SIGN
- EX. CONCRETE PAVEMENT
- SURVEY CONTROL POINT
- PROPERTY CORNER
- PROPERTY MONUMENT FOUND
- EX. TREES

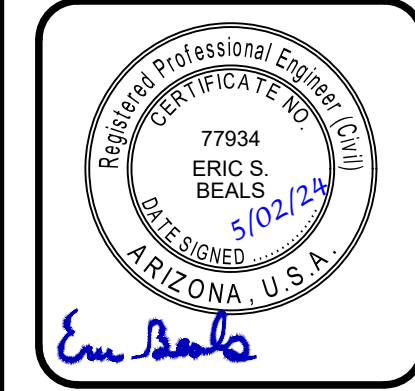
RESOURCE PROTECTION LAND

RESOURCE	TOTAL RESOURCE PROTECTION LAND (SF)	AREA IN A MORE RESTRICTIVE RESOURCE (SF)	NET RESOURCE PROTECTION AREA (SF)	REQ. RESOURCE PROTECTION (%)	ADJUSTED REQ. RESOURCE PROTECTION [2] (%)	ALLOWED DISTURBANCE AREA (SF)	PROPOSED DISTURBANCE (SF / %)	PROPOSED PROTECTION (%)
FLOODPLAIN	147,602	0	147,602	100%	100%	0	0 / 0.0%	100.0%
STEEP SLOPES								
>35%	13,072	1,012	12,060	100%	100%	0	0 / 0.0%	100.0%
25% - 34.99%	56,355	0	56,355	80%	80%	11,271	9,948 / 17.7%	82.3%
17% - 24.99%	134,233	0	134,233	70%	70%	40,270	34,468 / 25.7%	74.3%
FOREST	423,852	154,857	268,995	50%	32.5% [2]	181,572	178,535 / 66.4%	33.6%

1) VALUES PROVIDED IN THE TABLE ARE MEASURED WITHIN THE TITLE BOUNDARY ONLY. IMPROVEMENTS REQUIRED WITHIN ROAD RIGHTS-OF-WAY HAVE BEEN EXCLUDED.
 2) AFFORDABLE HOUSING REDUCTION: THE PROJECT IS PROPOSING A FEE IN LIEU FOR THE EQUIVALENT OF 10 AFFORDABLE UNITS OUT OF 83 TOTAL UNITS (10/83 = 12.04%). THE PROJECT IS A CATEGORY 1 PROJECT, THEREFORE IN ACCORDANCE WITH TABLE 10-30.20(A)(4)(B), A RESOURCE REDUCTION OF 35% HAS BEEN APPLIED TO THE PROTECTION REQUIREMENTS INDICATED. (50% x (1 - 35%))

REVISIONS

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ViewPoint Engineering
 2121 E 6th STREET, SUITE 203
 AUSTIN, TEXAS 78702
 FIRM No. F-23395
 viewpointengineering.com

OWN BY: **M TOTH**
 CHK BY: **E BEALS**

PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
 2951 S. MASONIC LANE
 COCONINO COUNTY, ARIZONA

APPLICANT: **RODG DT FLAGSTAFF PROP CO LLC**
 241 E WYBURN STREET, SUITE 200, AUSTIN, TEXAS 78702

TITLE: **SITE PLAN REVIEW NATURAL RESOURCES PLAN (1 OF 2)**

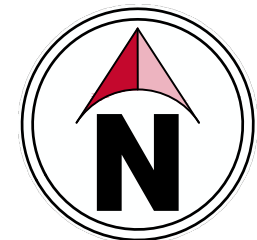
PROJECT NO.: 22004
 DATE: MAY 30, 2023
 SHEET ID: **C201**
 SHEET 8 of 46

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SCALE: 1" = 40'

ARIZONA BOARD OF REGENTS FOR NORTHERN ARIZONA UNIVERSITY DOCKET 346, PAGE 741

NOTE: UNLESS OTHERWISE NOTED, ALL TREES WITHIN THE DEFINED LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN ARE TO BE REMOVED

PROPOSED LIMIT OF DISTURBANCE

APPROX FLOODWAY BOUNDARY (TYP)

APPROX 100 YR FLOODPLAIN BOUNDARY (TYP)

L= 100.42'
R= 170.00'
CHD= S76°58'52"E
CHL= 98.96'
I= 33°50'37"

ARIZONA BOARD OF REGENTS FOR NORTHERN ARIZONA UNIVERSITY DOCKET 346, PAGE 741



PROPOSED 25% - 35% STEEP SLOPE DISTURBANCE AREA

PROPOSED 17% - 25% STEEP SLOPE DISTURBANCE AREA

PROPOSED FOREST DISTURBANCE AREA

PROPOSED FOREST DISTURBANCE AREA

PROPOSED LIMIT OF DISTURBANCE

UNDISTURBED 25% - 35% STEEP SLOPES

UNDISTURBED 17% - 25% STEEP SLOPES

NOTE: UNLESS OTHERWISE NOTED, ALL TREES WITHIN THE DEFINED LIMIT OF DISTURBANCE AS SHOWN ON THIS PLAN ARE TO BE REMOVED

HATCH LEGEND

- UNDISTURBED STEEP SLOPES
SLOPES >35%
SLOPES 25% - 35%
SLOPES 17% - 25%
DISTURBED AREAS
SLOPES >35%
SLOPES 25% - 35%
SLOPES 17% - 25%
WOODLAND AREAS

LEGEND

- PROPERTY BOUNDARY
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ULTIMATE RIGHT-OF-WAY
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FENCE LINE
EDGE OF ASPHALT
EDGE OF DIRT/GRAVEL
EX. SANITARY SEWER MAIN
EX. STORM PIPE
EX. UNDERGROUND ELECTRIC SERVICE LINE
EX. OVERHEAD WIRE
EX. GAS SERVICE MAIN
EX. TELEPHONE/COMMUNICATIONS LINE
EX. WATER MAIN
EX CONTOUR ELEVATION LINE

SYMBOL LEGEND

- EX. STORM CATCH BASIN / MANHOLE
EX. WATER VALVE
EX. FIRE HYDRANT
EX. TELECOMM BOX
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EX. GAS VALVE / LINE MARKER
EX. SIGN
EX. CONCRETE PAVEMENT
SURVEY CONTROL POINT
PROPERTY CORNER
PROPERTY MONUMENT FOUND
EX. TREES

RESOURCE PROTECTION LAND

Table with columns: RESOURCE, TOTAL RESOURCE PROTECTION LAND (SF), AREA IN A MORE RESTRICTIVE RESOURCE (SF), NET RESOURCE PROTECTION AREA (SF), REQ. RESOURCE PROTECTION (%), ADJUSTED REQ. RESOURCE PROTECTION (%), ALLOWED DISTURBANCE AREA (SF), PROPOSED DISTURBANCE (SF / %), PROPOSED PROTECTION (%). Rows include FLOODPLAIN, STEEP SLOPES, and FOREST.

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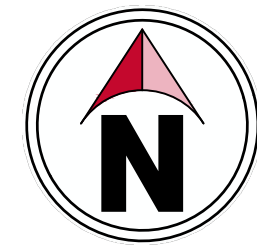
ARIZONA 811 logo and text: Contact Arizona 811 at least two full working days before you begin excavation. Call 811 or click Arizona811.org

REVISIONS table with columns: REV, DATE, DESCRIPTION, and a grid for tracking revisions.



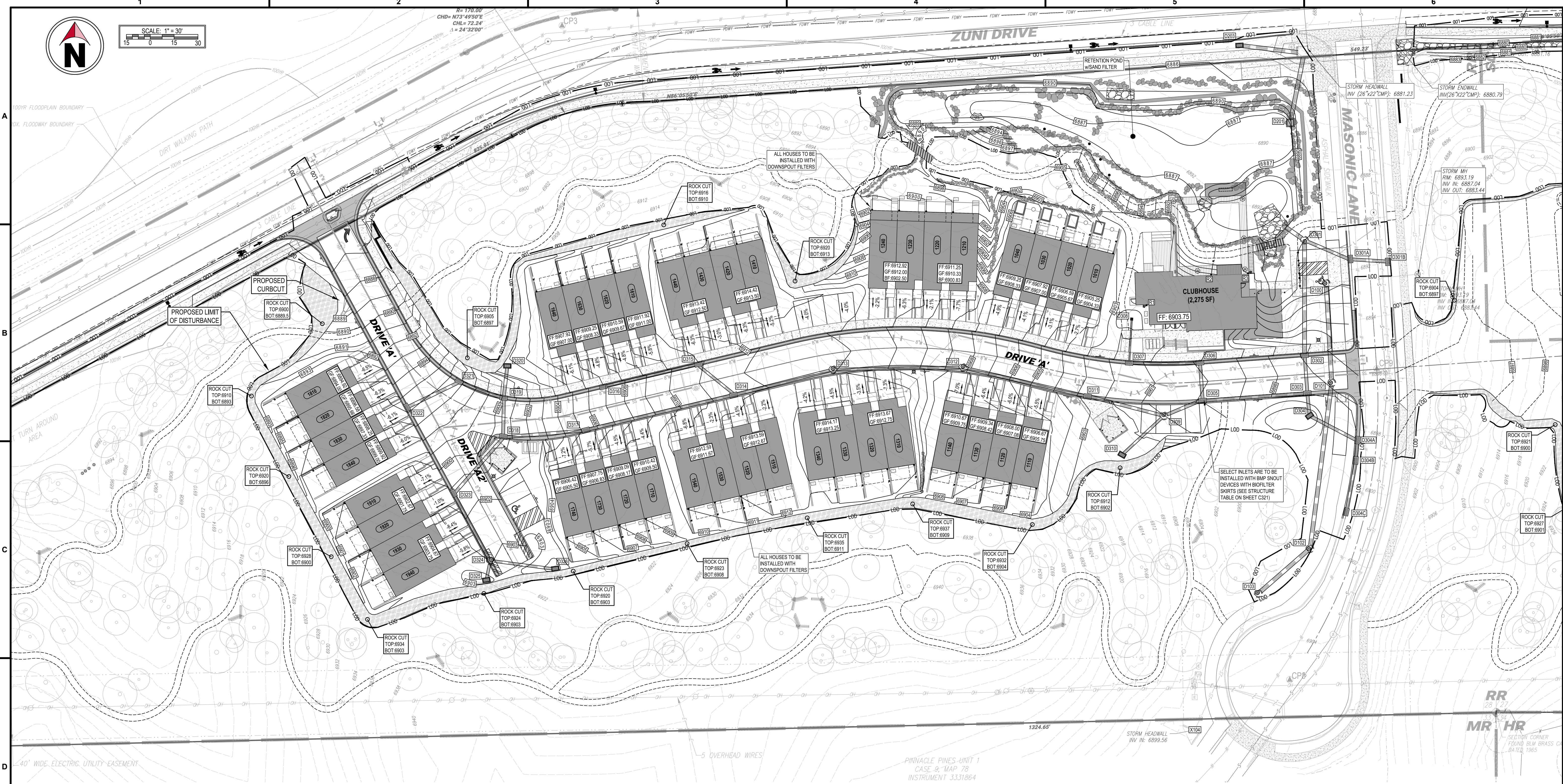
ViewPoint Engineering logo and address: 2121 E 6th STREET, SUITE 203 AUSTIN, TEXAS 78702. FIRM No. F-23395 viewpointengineering.com

Project information: PINEHAVEN RESIDENTIAL LAND DEVELOPMENT, 2951 S. MASONIC LANE, COCONINO COUNTY, ARIZONA. Applicant: RODG DT FLAGSTAFF PROP CO LLC. Site Plan Review: NATURAL RESOURCES PLAN (2 OF 2). Project No. 22004, Date: MAY 30, 2023, Sheet No. C202, Sheet 4 of 46.

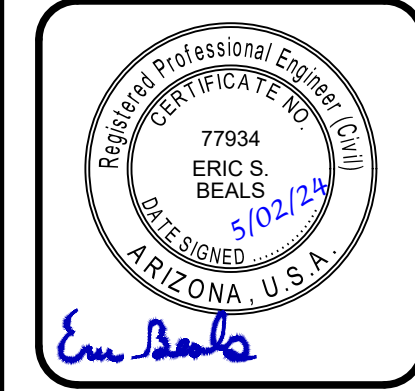


SCALE: 1" = 30'

R=170.00
CHD=173.4950'E
CHL=72.24'
A=24°32'00"



REV	DATE	DESCRIPTION
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-26-2023
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AUSTIN, TEXAS 78702

FIRM No. F-23395
viewpointengineering.com

OWNY: **M TOTH**
CHKY: **E BEALS**

PINEHAVEN RESIDENTIAL LAND DEVELOPMENT
2951 S. MASONIC LANE
COCONINO COUNTY, ARIZONA

RODG DT FLAGSTAFF PROP CO LLC
241 E. 6TH STREET, SUITE 203, AUSTIN, TEXAS 78702

SITE PLAN REVIEW PHASE 1 GRADING & DRAINAGE PLAN (1 OF 2)

PROJECT NO. 22004
DATE MAY 30, 2023
SHEET ID C301
REV 4

SHEET 10 of 46

LEGEND

- PROPERTY BOUNDARY
- LEGAL RIGHT-OF-WAY
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- 100YR APPROX. 100YR FEMA/RURAL FLOODPLAIN ZONE AE BOUNDARY
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- EX. STORM PIPE
- EX. UNDERGROUND ELECTRIC SERVICE LINE
- EX. OVERHEAD WIRE
- EX. GAS SERVICE MAIN
- EX. TELEPHONE/COMMUNICATIONS LINE
- EX. WATER MAIN
- 6985 EX. CONTOUR ELEVATION LINE
- 8" PROP 8" WATER MAIN
- 8" PROP 8" WATER MAIN
- L PROP SAN LATERAL
- SS PROP SAN SEWER MAIN
- 8" PROPERTY MONUMENT FOUND

SYMBOL LEGEND

- EX. STORM CATCH BASIN / MANHOLE
- EX. WATER VALVE
- EX. FIRE HYDRANT
- EX. TELECOMM BOX
- EX. SANITARY MANHOLE
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- PROPERTY MONUMENT FOUND
- EX. TREES
- PROP FIRE HYDRANT
- PROP WATER VALVE
- PROP LIGHT POLE

LANDSCAPE DESIGNER CERTIFICATION

BY SIGNING THESE PLANS, THE DESIGNER OF THE LANDSCAPE PLANS CONFIRMS THESE GRADING PLANS HAVE BEEN REVIEWED, IS AWARE OF THE SCOPE OF THE PROJECT, AND HAS IDENTIFIED AND ADDRESSED ANY POTENTIAL CONFLICTS BETWEEN THE GRADING AND LANDSCAPE PLANS.

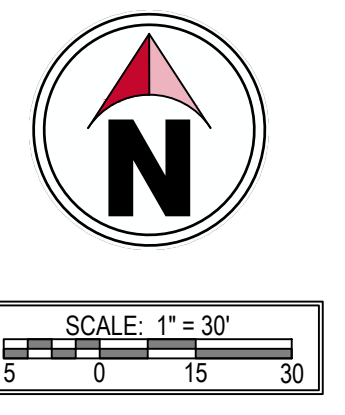
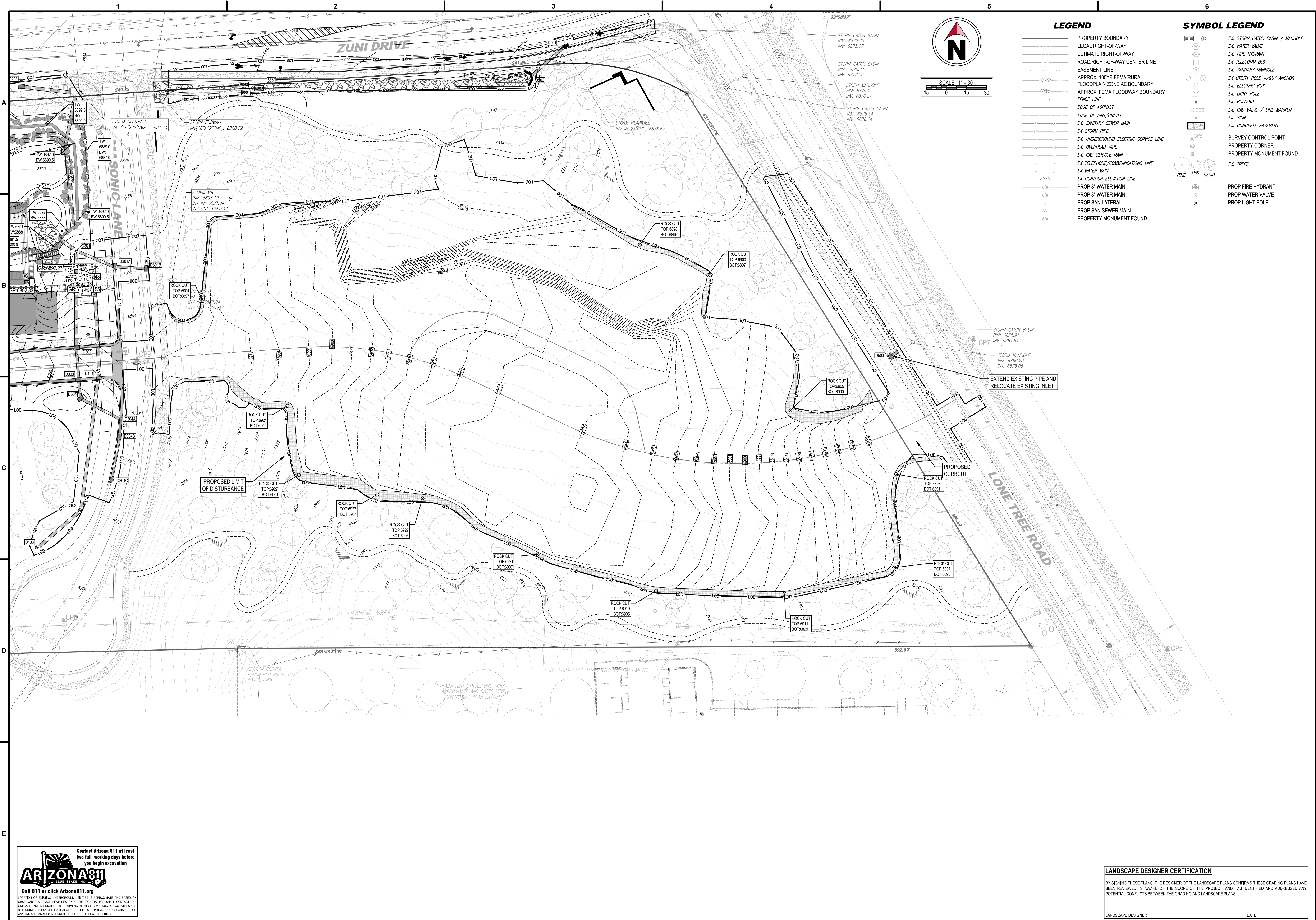
LANDSCAPE DESIGNER _____ DATE _____

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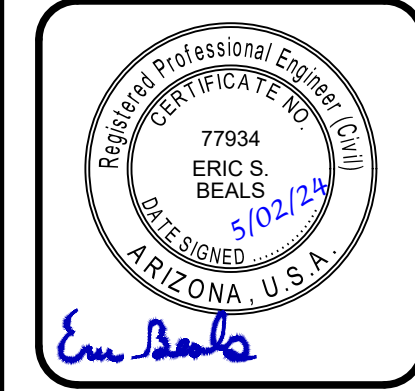
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 - EX. TELEPHONE/COMMUNICATIONS LINE
 - EX. WATER MAIN
 - 6.985 EX. CONTOUR ELEVATION LINE
 - 8" W PROP 8" WATER MAIN
 - 8" W PROP 8" WATER MAIN
 - L PROP SAN LATERAL
 - SS PROP SAN SEWER MAIN
 - 8" W PROPERTY MONUMENT FOUND

- SYMBOL LEGEND**
- ⊕ EX. STORM CATCH BASIN / MANHOLE
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 FIRM No. F-23395
 viewpointengineering.com

OWN BY:	M TOTH
CHK BY:	E BEALS
PROJECT:	PINEHAVEN RESIDENTIAL LAND DEVELOPMENT 2951 S. MASONIC LANE COCONINO COUNTY, ARIZONA
APPLICANT:	RODG DT FLAGSTAFF PROP CO LLC 241 E. 6TH STREET, SUITE 203, AUSTIN, TEXAS 78702
TITLE:	SITE PLAN REVIEW PHASE 1 GRADING & DRAINAGE PLAN (2 OF 2)
PROJECT NO.:	22004
DATE:	MAY 30, 2023
SHEET ID:	C302
REV:	4
SHEET 11 of 46	

Contact Arizona 811 at least two full working days before you begin excavation

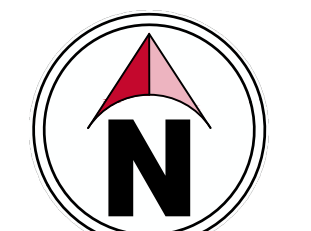
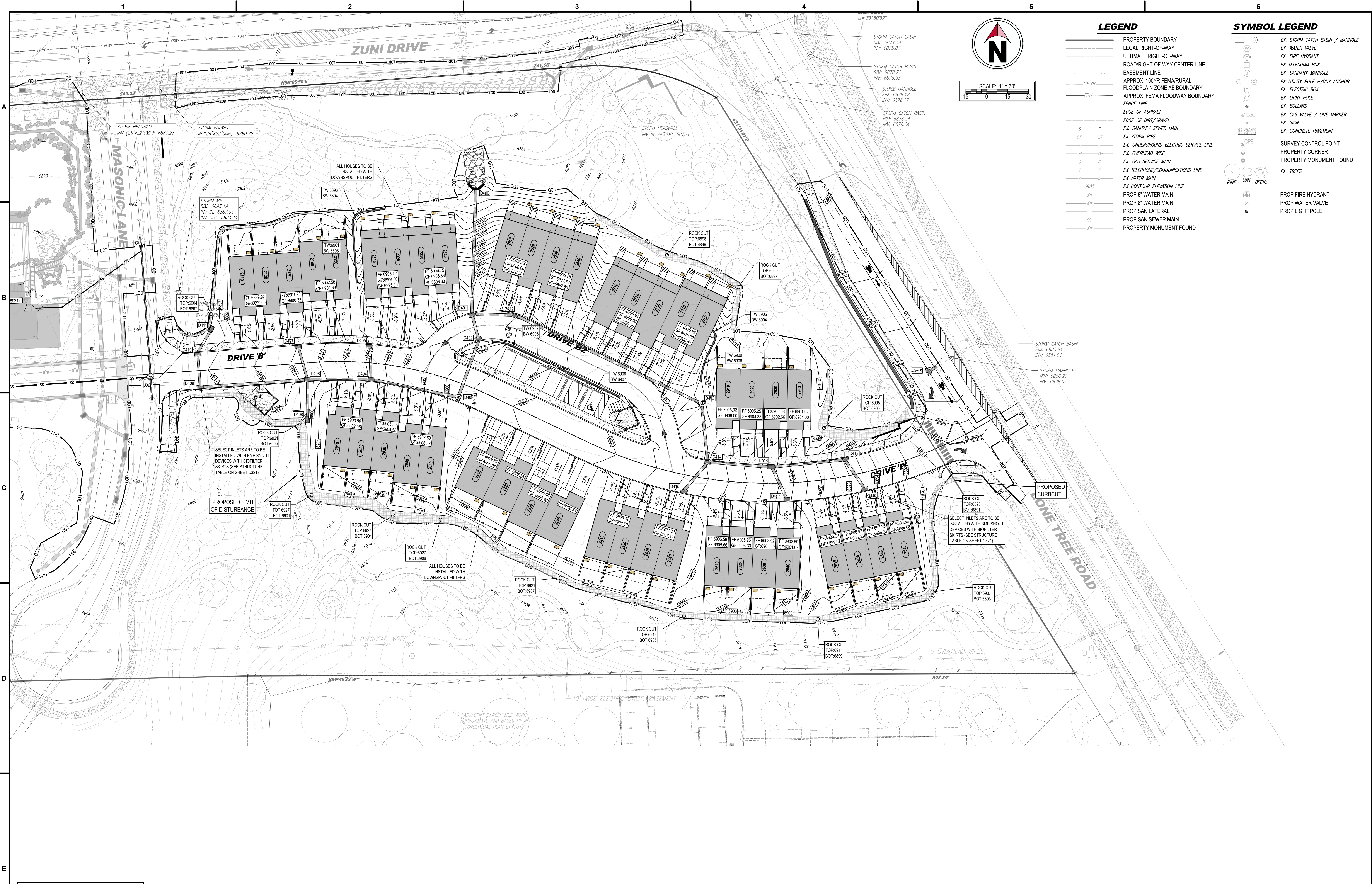
Call 811 or click Arizona811.org

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LANDSCAPE DESIGNER CERTIFICATION

BY SIGNING THESE PLANS, THE DESIGNER OF THE LANDSCAPE PLANS CONFIRMS THESE GRADING PLANS HAVE BEEN REVIEWED, IS AWARE OF THE SCOPE OF THE PROJECT, AND HAS IDENTIFIED AND ADDRESSED ANY POTENTIAL CONFLICTS BETWEEN THE GRADING AND LANDSCAPE PLANS.

LANDSCAPE DESIGNER _____ DATE _____



SCALE: 1" = 30'

LEGEND

- PROPERTY BOUNDARY
- LEGAL RIGHT-OF-WAY
- ULTIMATE RIGHT-OF-WAY
- ROAD/RIGHT-OF-WAY CENTER LINE
- EASEMENT LINE
- APPROX. 100YR FEMA/RURAL FLOODPLAIN ZONE AE BOUNDARY
- APPROX. FEMA FLOODWAY BOUNDARY
- FENCE LINE
- EDGE OF ASPHALT
- EDGE OF DIRT/GRAVEL
- EX. SANITARY SEWER MAIN
- EX. STORM PIPE
- EX. UNDERGROUND ELECTRIC SERVICE LINE
- EX. OVERHEAD WIRE
- EX. GAS SERVICE MAIN
- EX. TELEPHONE/COMMUNICATIONS LINE
- EX. WATER MAIN
- EX. CONTOUR ELEVATION LINE
- PROP 8" WATER MAIN
- PROP 8" WATER MAIN
- PROP SAN LATERAL
- PROP SAN SEWER MAIN
- PROPERTY MONUMENT FOUND

SYMBOL LEGEND

- EX. STORM CATCH BASIN / MANHOLE
- EX. WATER VALVE
- EX. FIRE HYDRANT
- EX. TELECOMM BOX
- EX. SANITARY MANHOLE
- EX. UTILITY POLE W/GUY ANCHOR
- EX. ELECTRIC BOX
- EX. LIGHT POLE
- EX. BOLLARD
- EX. GAS VALVE / LINE MARKER
- EX. SIGN
- EX. CONCRETE PAVEMENT
- SURVEY CONTROL POINT
- PROPERTY CORNER
- PROPERTY MONUMENT FOUND
- EX. TREES
- PROP FIRE HYDRANT
- PROP WATER VALVE
- PROP LIGHT POLE

REV	DATE	DESCRIPTION
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-26-2023
2	01-18-2024	REVISED PER CITY REVIEW LETTER DATED 12-18-2023
3	03-05-2024	REVISED PER CITY REVIEW LETTER DATED 2-8-2024
4	05-02-2024	REVISED PER CITY REVIEW LETTER DATED 4-9-2024



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 2121 E 6th STREET, SUITE 203
 AUSTIN, TEXAS 78702
 FIRM No. F-23395
 viewpointengineering.com

OWN BY: **M TOTH**
 CHK BY: **E BEALS**

PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
 2951 S. MASONIC LANE
 COCONINO COUNTY, ARIZONA

APPLICANT: **RODG DT FLAGSTAFF PROP CO LLC**
 241 E. 6TH STREET, SUITE 200, AUSTIN, TEXAS 78702

TITLE: **SITE PLAN REVIEW PHASE 2 GRADING & DRAINAGE PLAN**

PROJECT NO.: 22004
 DATE: MAY 30, 2023
 SHEET ID: **C303**
 SHEET 12 of 46

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Call 811 or click Arizona811.org

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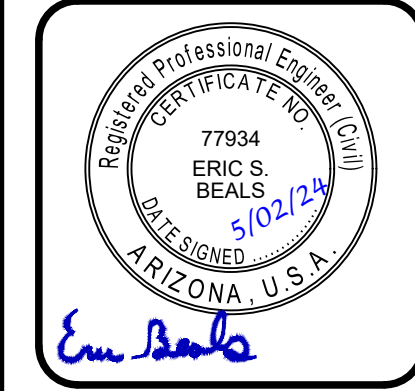
LANDSCAPE DESIGNER CERTIFICATION

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LANDSCAPE DESIGNER: _____ DATE: _____



REV	DATE	DESCRIPTION
1	11-14-2023	REVISED PER CITY REVIEW LETTER DATED 9-28-2023
2	01-18-2024	REVISED PER CITY REVIEW LETTER DATED 12-18-2023
3	03-26-2024	REVISED PER CITY REVIEW LETTER DATED 2-8-2024
4	05-02-2024	REVISED PER CITY REVIEW LETTER DATED 4-9-2024



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 AUSTIN, TEXAS 78702
 FIRM No. F-23395
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OWN BY: **M TOTH**
 CHK BY: **E BEALS**

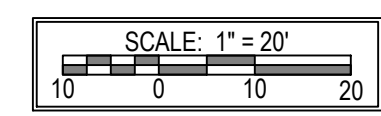
PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
 2951 S. MASONIC LANE
 COCONINO COUNTY, ARIZONA

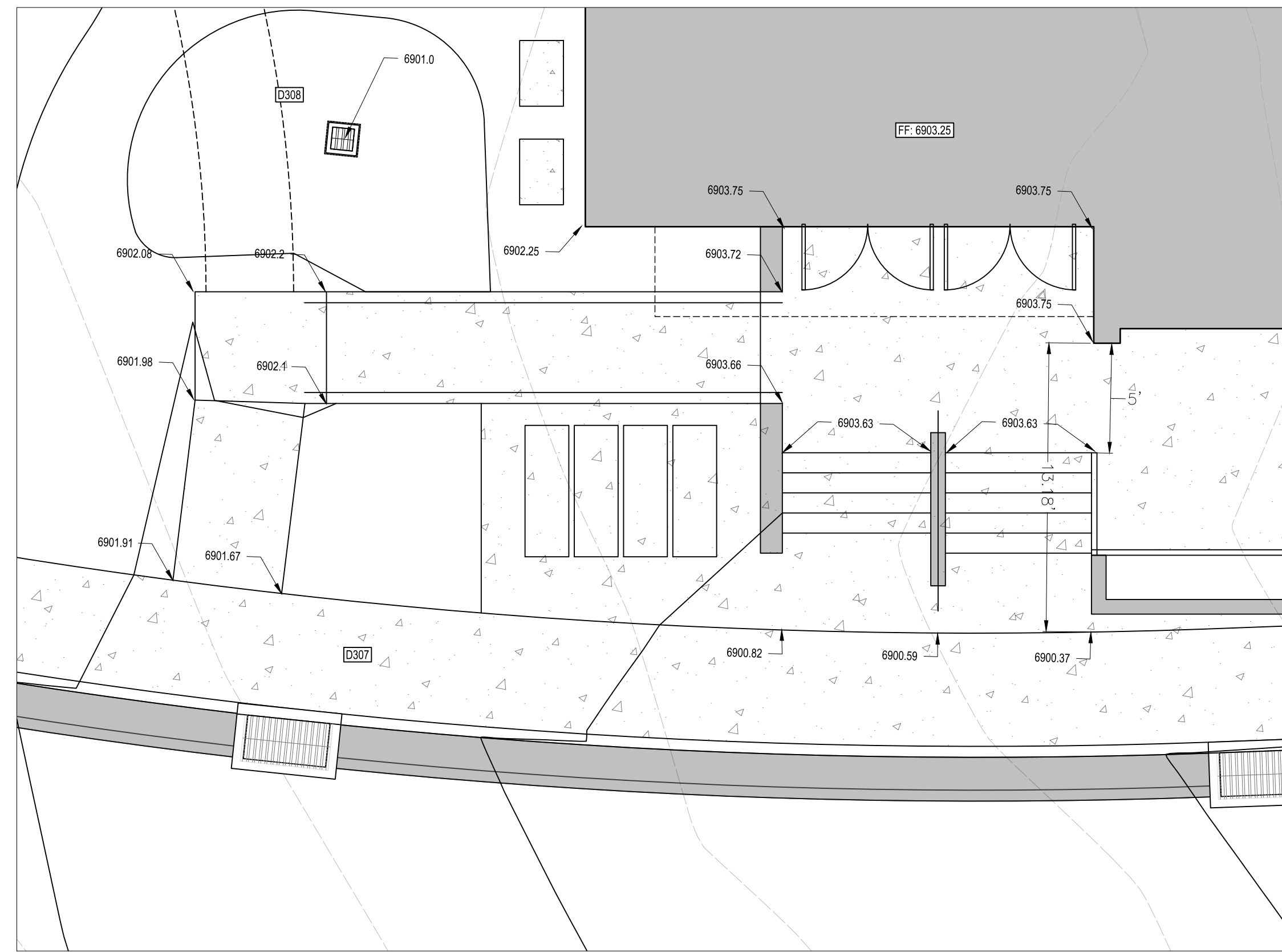
APPLICANT: **RODG-DT FLAGSTAFF PROP CO LLC**
 241 E 16th STREET, SUITE 200, AUSTIN, TEXAS 78702

TITLE: **SITE PLAN REVIEW BUILDING HEIGHT DETAILS**

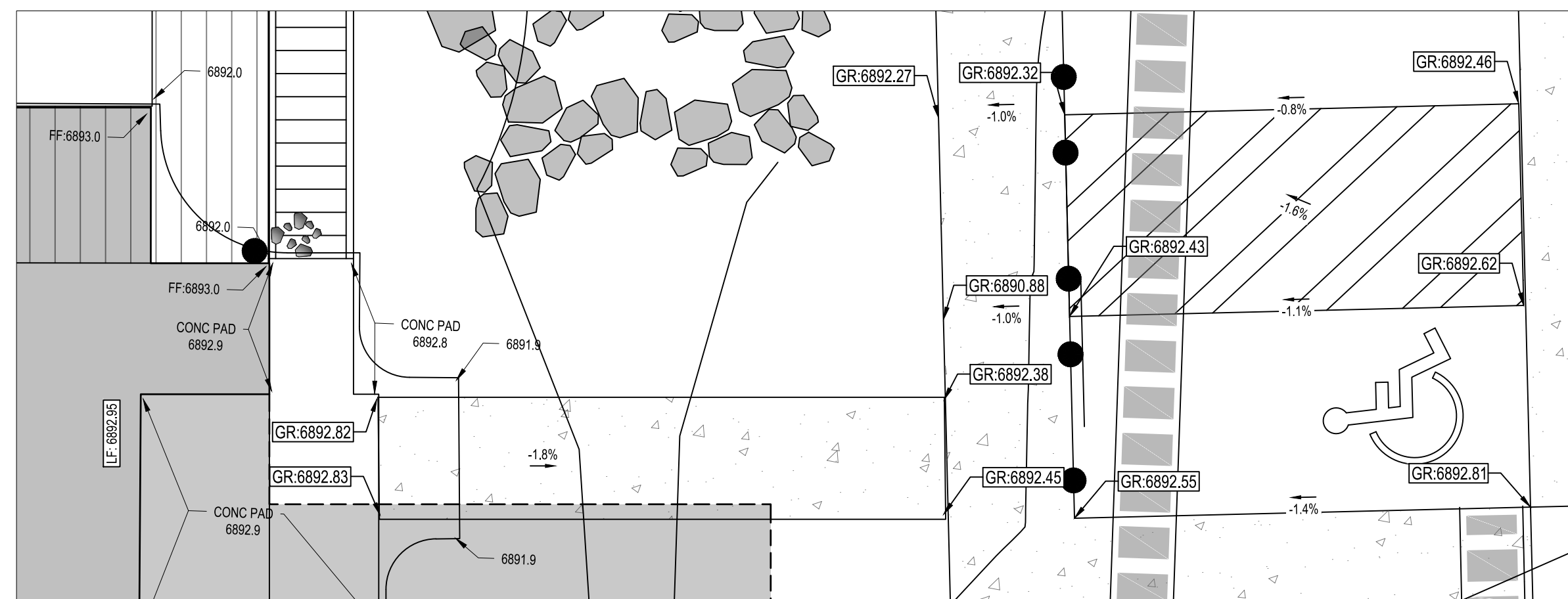
PROJECT NO.: **22004**
 DATE: **MAY 30, 2023**
 SHEET ID: **C305**
 REV: **4**

SHEET 13 of 46

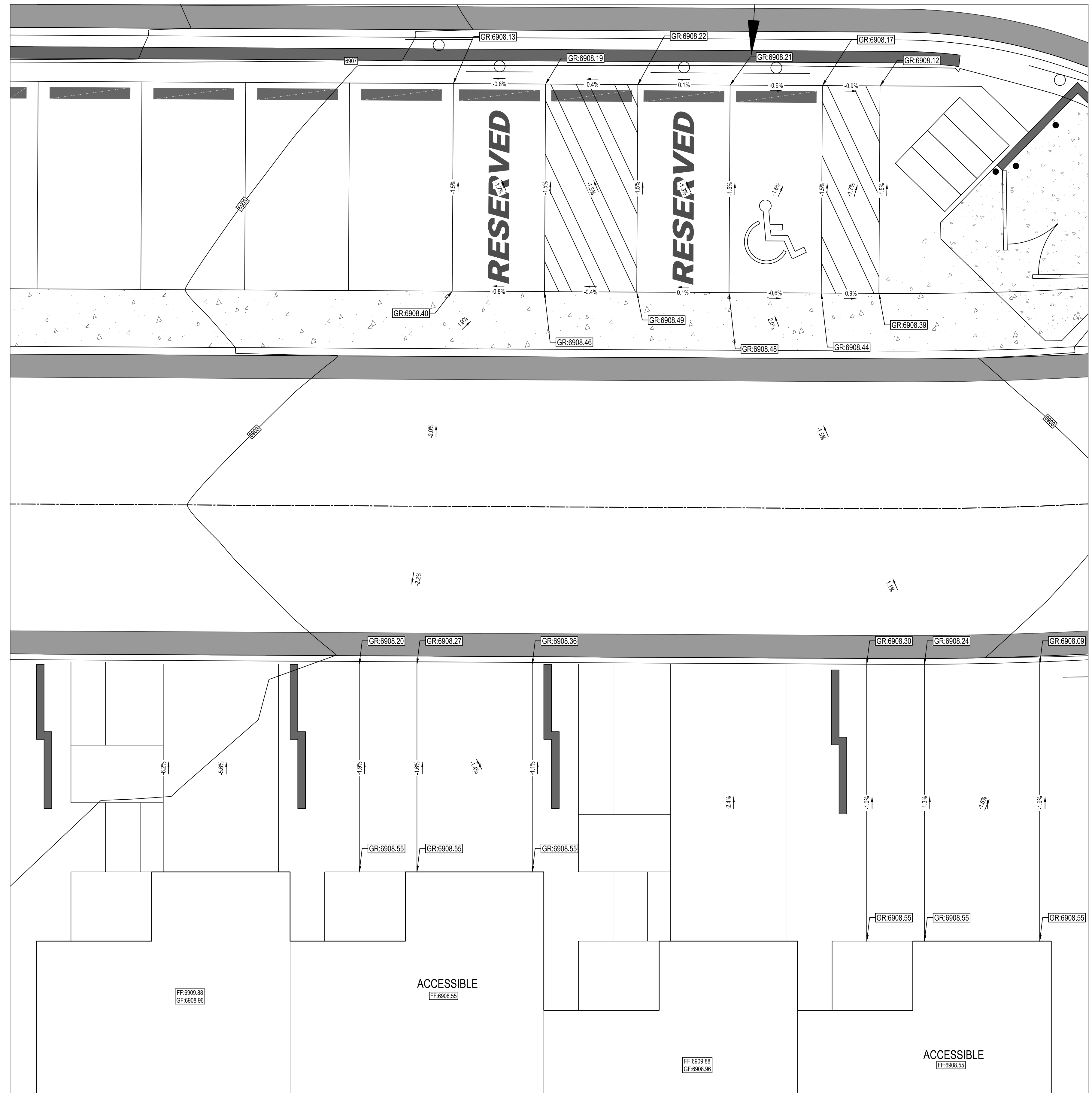




C1 CLUBHOUSE MAIN ENTRANCE GRADING DETAIL
SCALE 1" = 5'



D1 CLUBHOUSE LOWER ENTRANCE GRADING DETAIL
SCALE 1" = 5'



E3 ACCESSIBLE UNIT GRADING DETAIL
SCALE 1" = 5'

REV	DATE	DESCRIPTION
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-26-2023
2	01-18-2024	REVISED PER CITY REVIEW LETTER DATED 12-18-2023
3	03-26-2024	REVISED PER CITY REVIEW LETTER DATED 2-8-2024
4	05-03-2024	REVISED PER CITY REVIEW LETTER DATED 4-9-2024



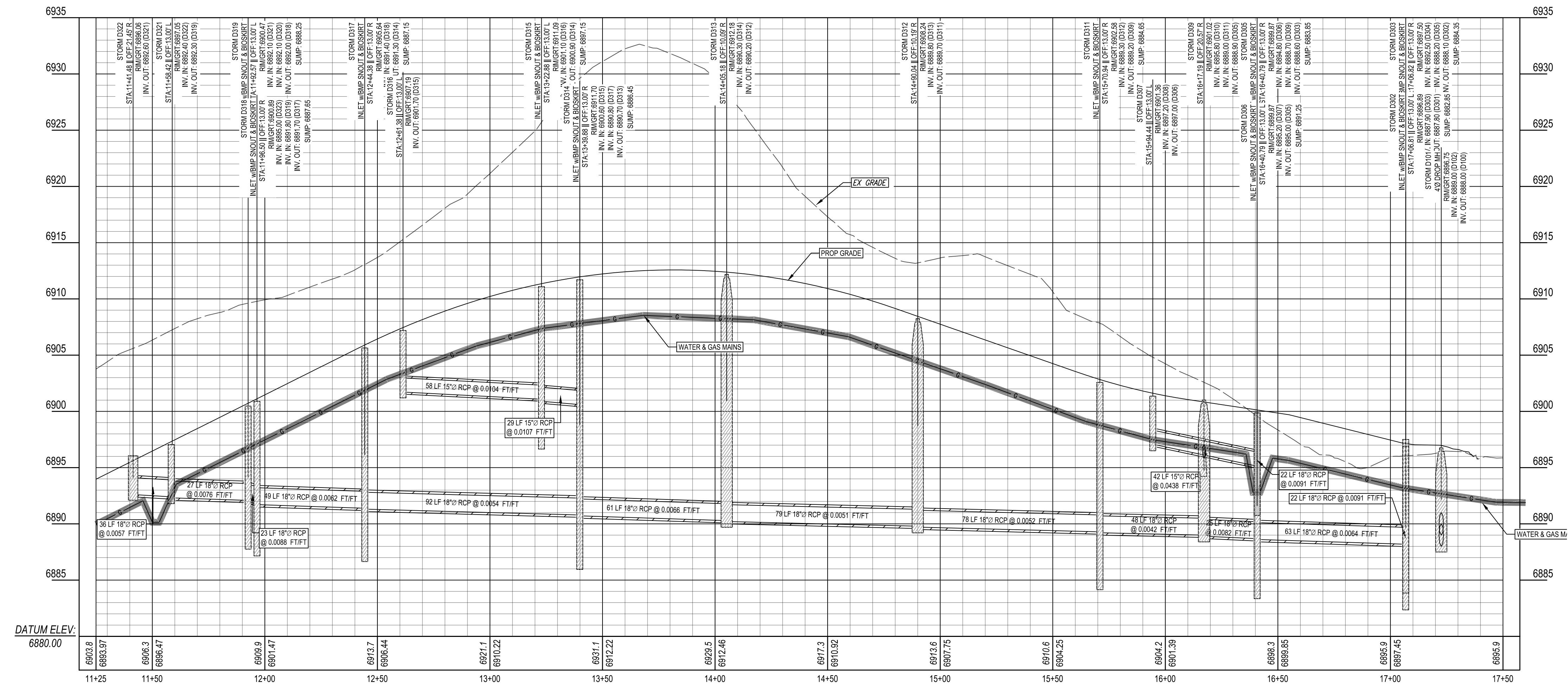
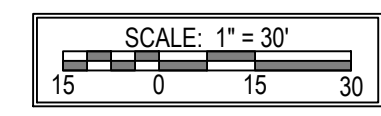
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AUSTIN, TEXAS 78702
FIRM No. F-23395
viewpointengineering.com

OWN BY: **M TOTH**
CHK BY: **E BEALS**

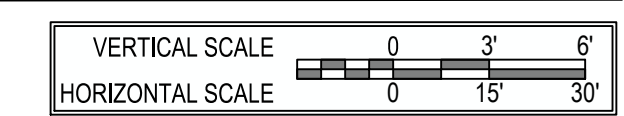
PROJECT	PINEHAVEN RESIDENTIAL LAND DEVELOPMENT
APPLICANT	RODG DT FLAGSTAFF PROP CO LLC
TITLE	SITE PLAN REVIEW ADA GRADING PLAN
PROJECT NO.	22004
DATE	MAY 30, 2023
SHEET ID	C306
REV	4



B1 PLAN VIEW: DRIVE 'A'
SCALE: 1" = 30'



E1 PROFILE VIEW: DRIVE 'A'
SCALE: (H) 1" = 30' || (V) 1" = 6'



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REV	DATE	DESCRIPTION
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-26-2023
2	01-18-2024	REVISED PER CITY REVIEW LETTER DATED 12-18-2023
3	03-26-2024	REVISED PER CITY REVIEW LETTER DATED 2-8-2024
4	05-02-2024	REVISED PER CITY REVIEW LETTER DATED 4-9-2024

ERIC S. BEALS
 5/12/24
 ARIZONA, U.S.A.

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 FIRM No. F-23395
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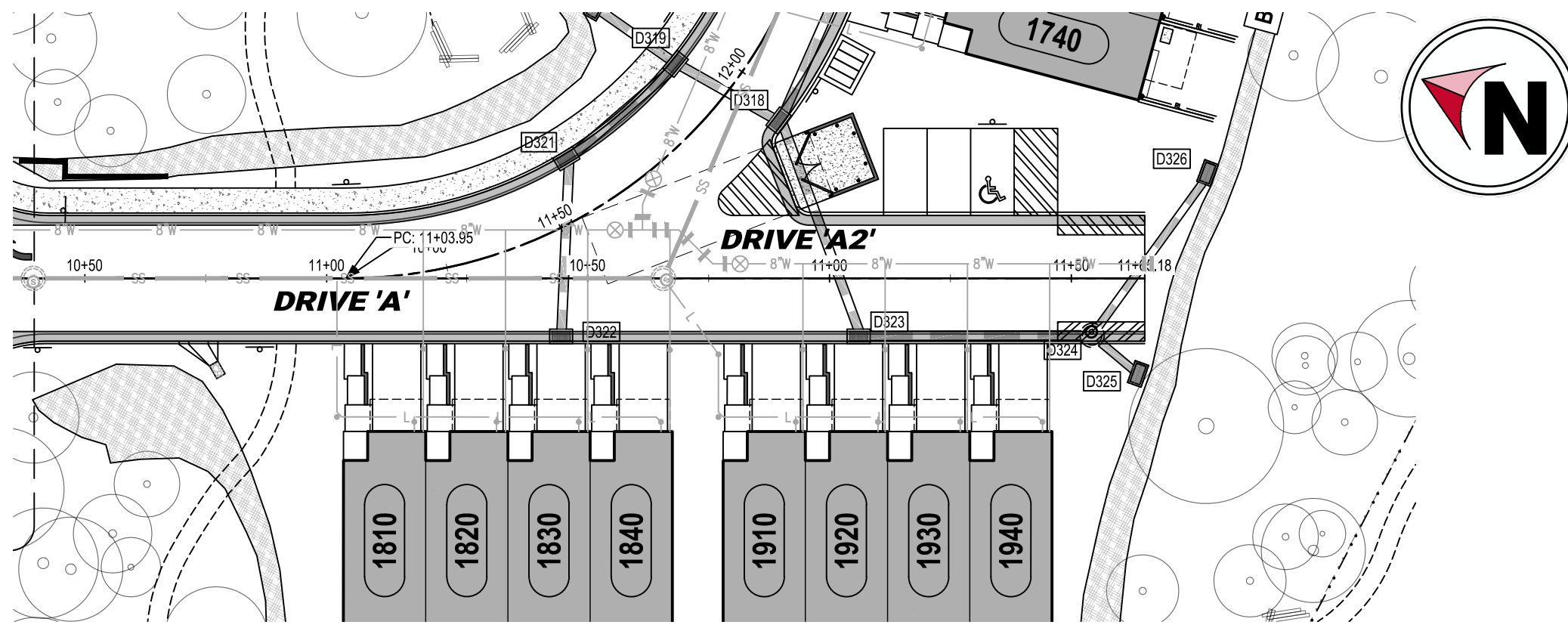
OWNED BY: **M TOTH**
 CHECKED BY: **E BEALS**

PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
 2951 S. MASONIC LANE
 COCONINO COUNTY, ARIZONA

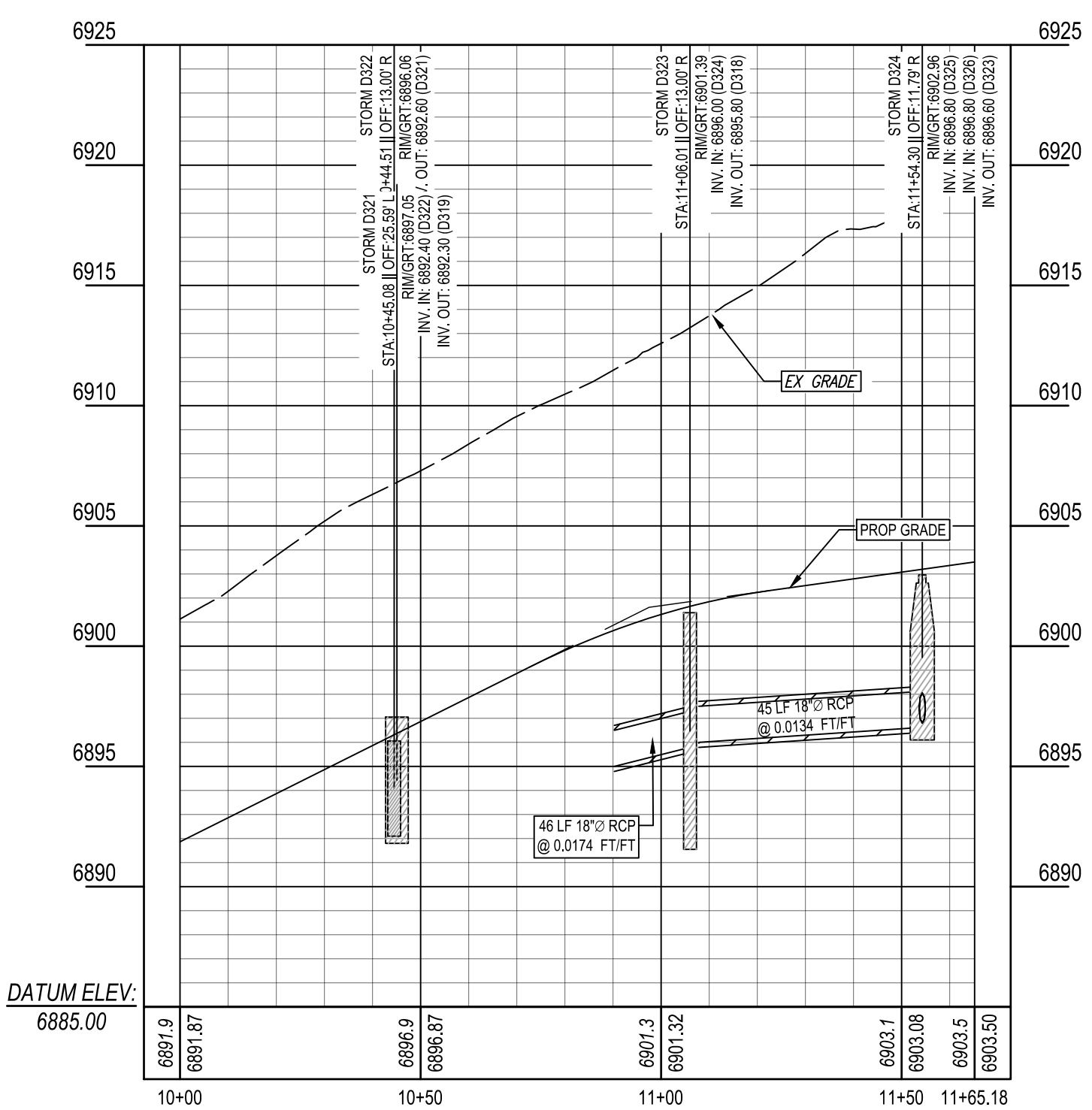
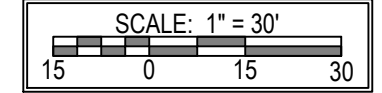
APPLICANT: **RODG DT FLAGSTAFF PROP CO LLC**
 241 E 6TH STREET, SUITE 203, AUSTIN, TEXAS 78702

TITLE: **SITE PLAN REVIEW PLAN & PROFILE (DRIVE 'A')**

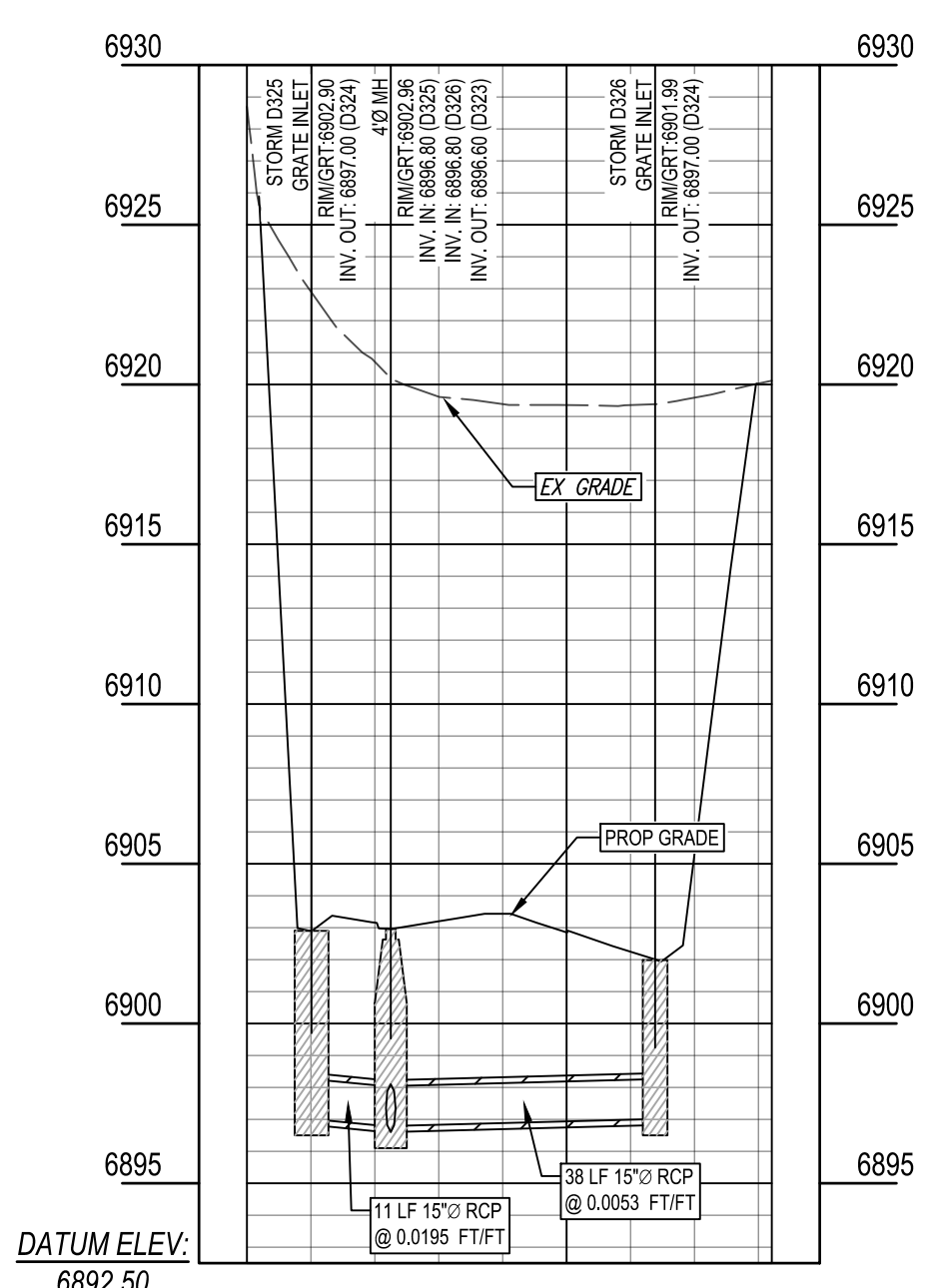
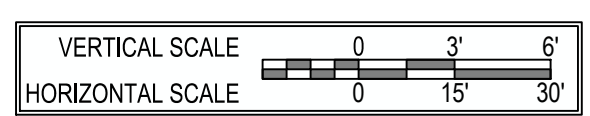
PROJECT NO.: 22004
 DATE: MAY 30, 2023
 SHEET ID: C310
 REV: 4
 SHEET 15 of 46



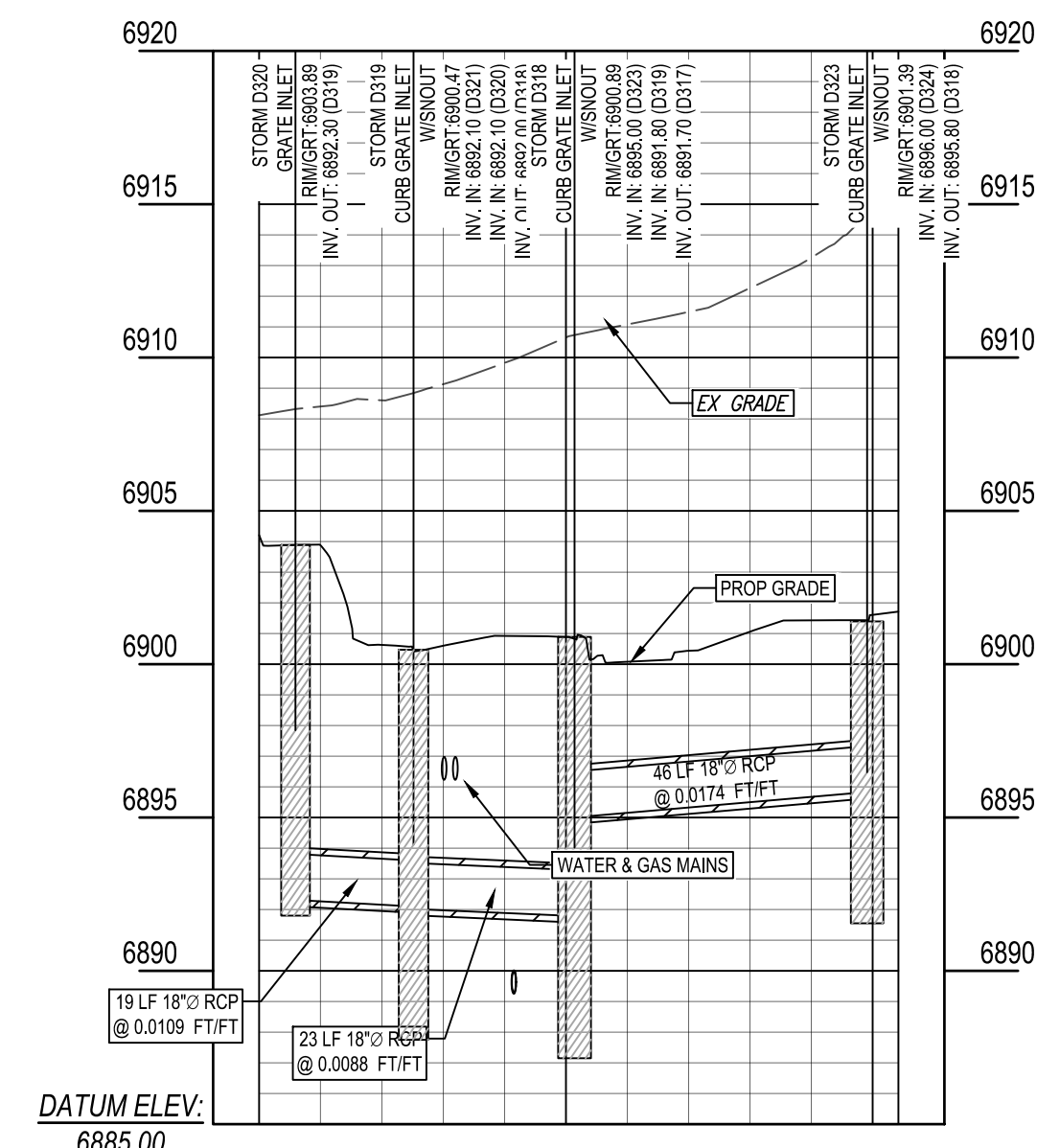
B1 PLAN VIEW: DRIVE 'A2'
SCALE: 1" = 30'



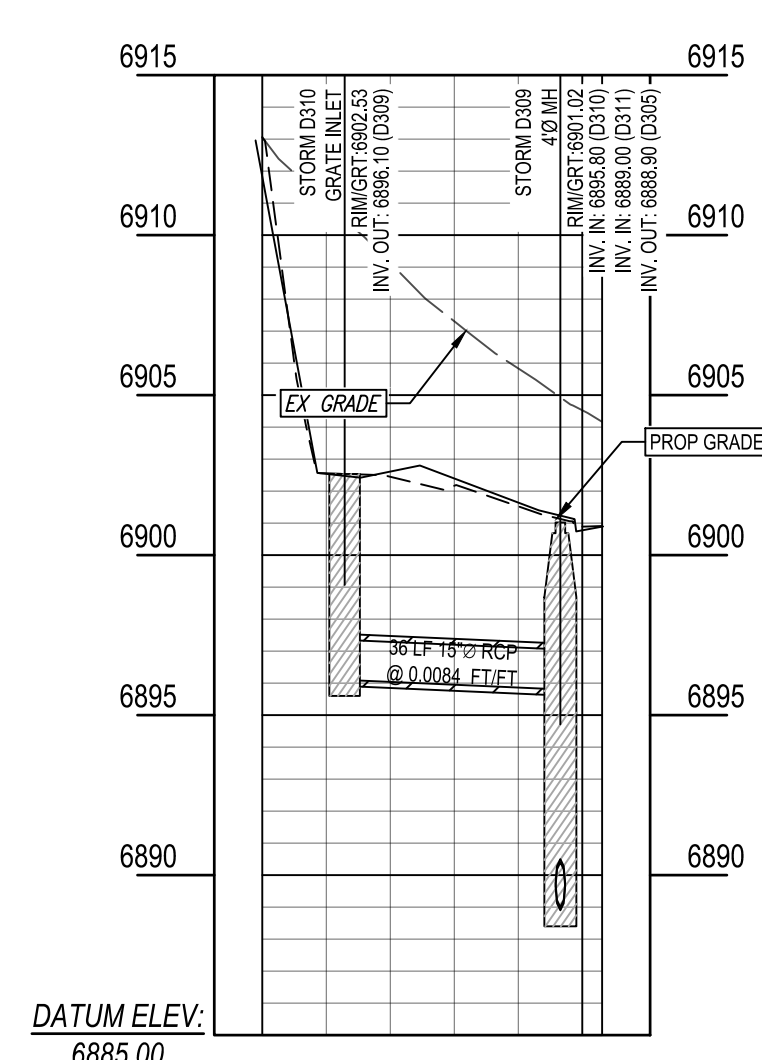
D1 PROFILE VIEW: DRIVE 'A2'
SCALE: (H) 1" = 30' || (V) 1" = 6'



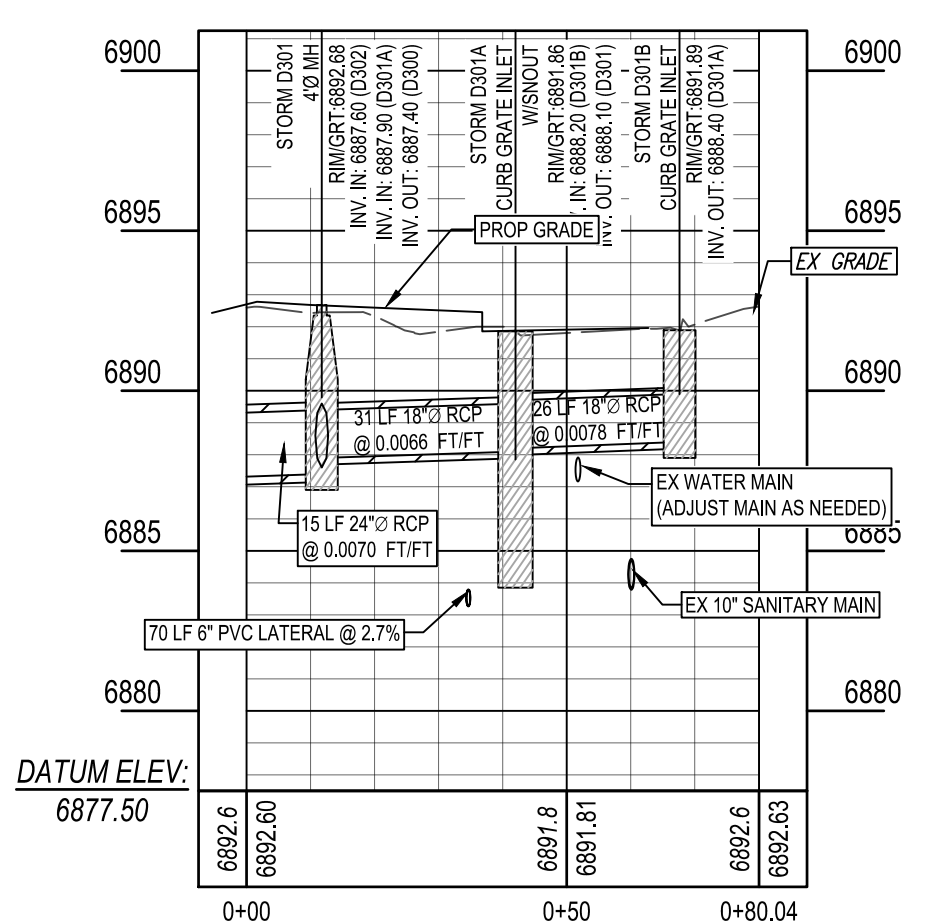
B3 STORM: D325 - D326
SCALE: (H) 1" = 30' || (V) 1" = 6'



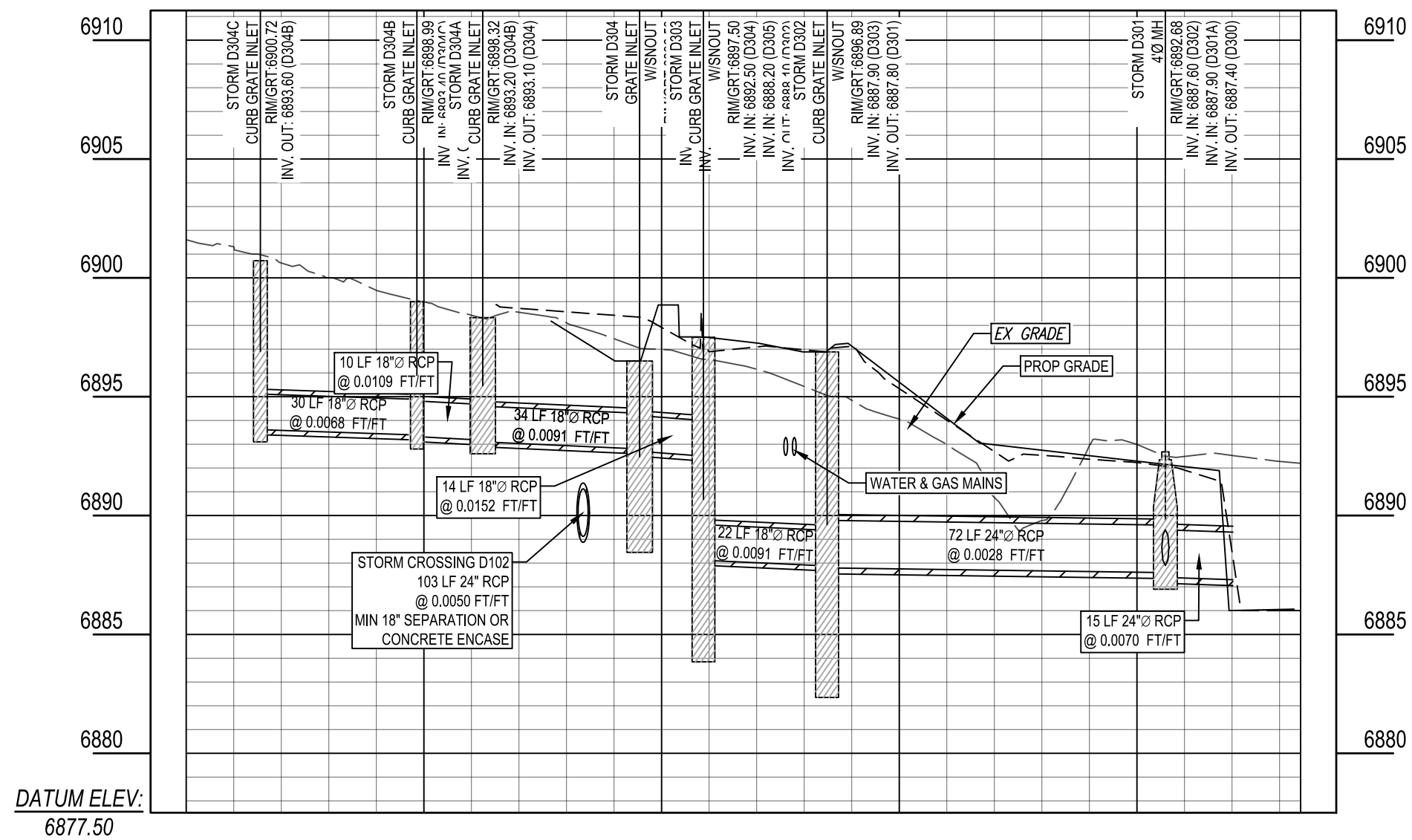
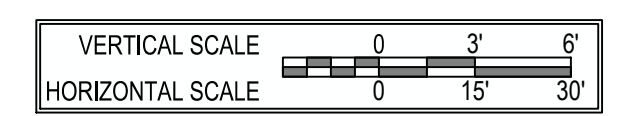
B4 STORM: D320 - D323
SCALE: (H) 1" = 30' || (V) 1" = 6'



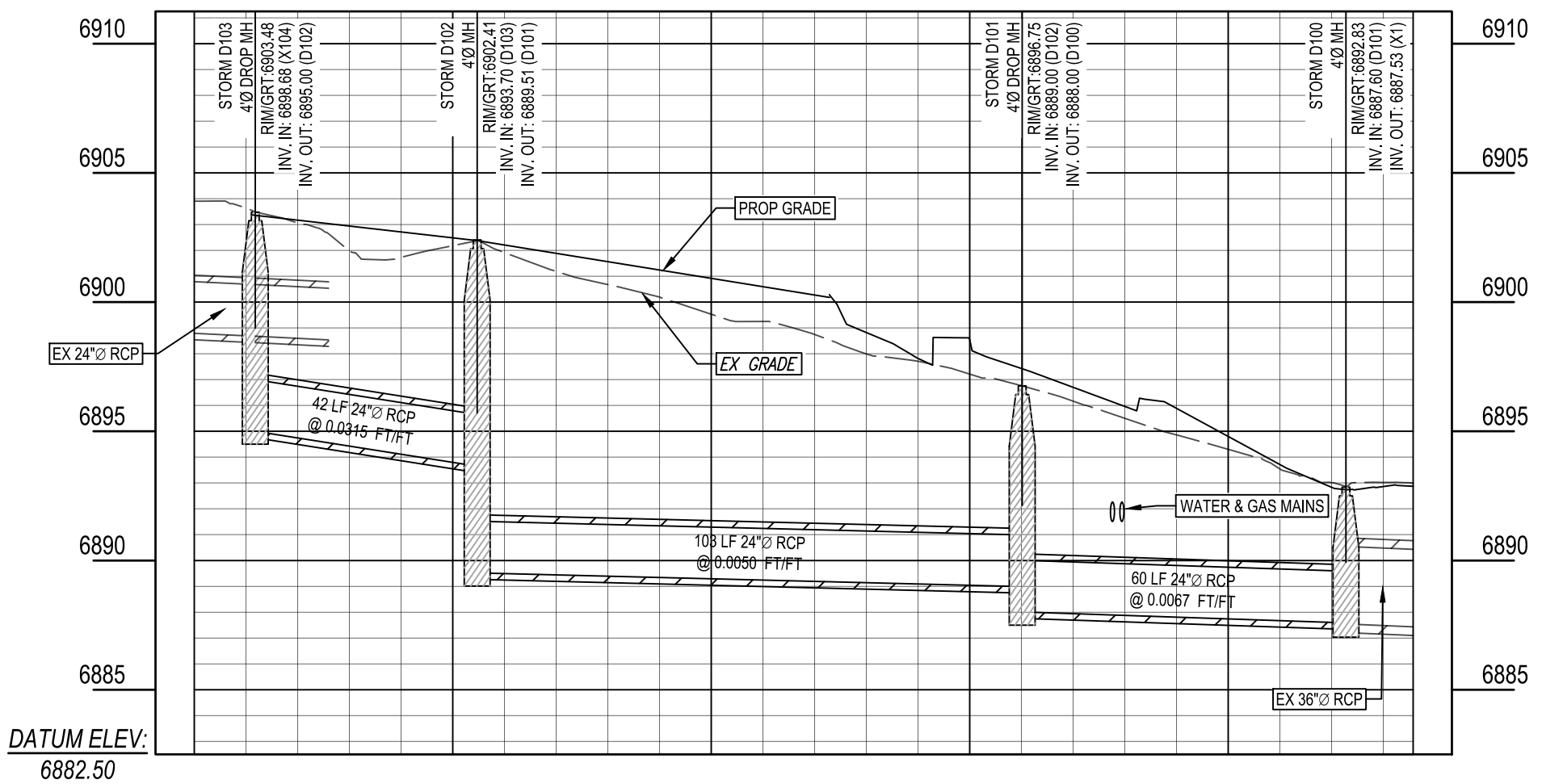
B5 STORM: D310 - D309
SCALE: (H) 1" = 30' || (V) 1" = 6'



B5 STORM: D301 - D301B
SCALE: (H) 1" = 30' || (V) 1" = 6'



D3 STORM: D304D - D300
SCALE: (H) 1" = 30' || (V) 1" = 6'



D5 STORM: D103 - D100
SCALE: (H) 1" = 30' || (V) 1" = 6'

REV	DATE	DESCRIPTION
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-26-2023
2	01-18-2024	REVISED PER CITY REVIEW LETTER DATED 12-18-2023
3	03-26-2024	REVISED PER CITY REVIEW LETTER DATED 2-8-2024
4	05-02-2024	REVISED PER CITY REVIEW LETTER DATED 4-9-2024

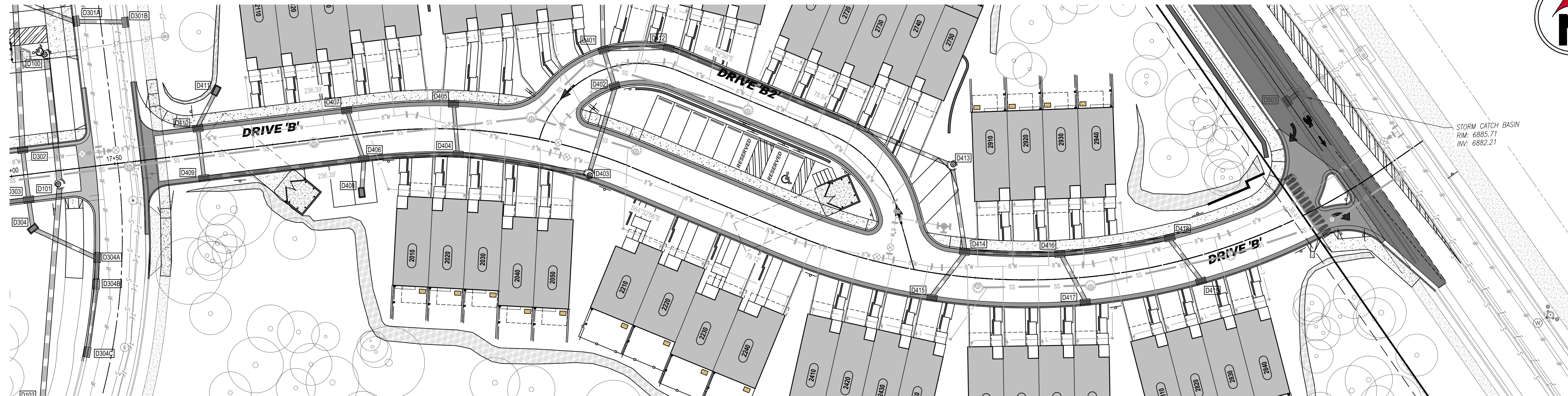


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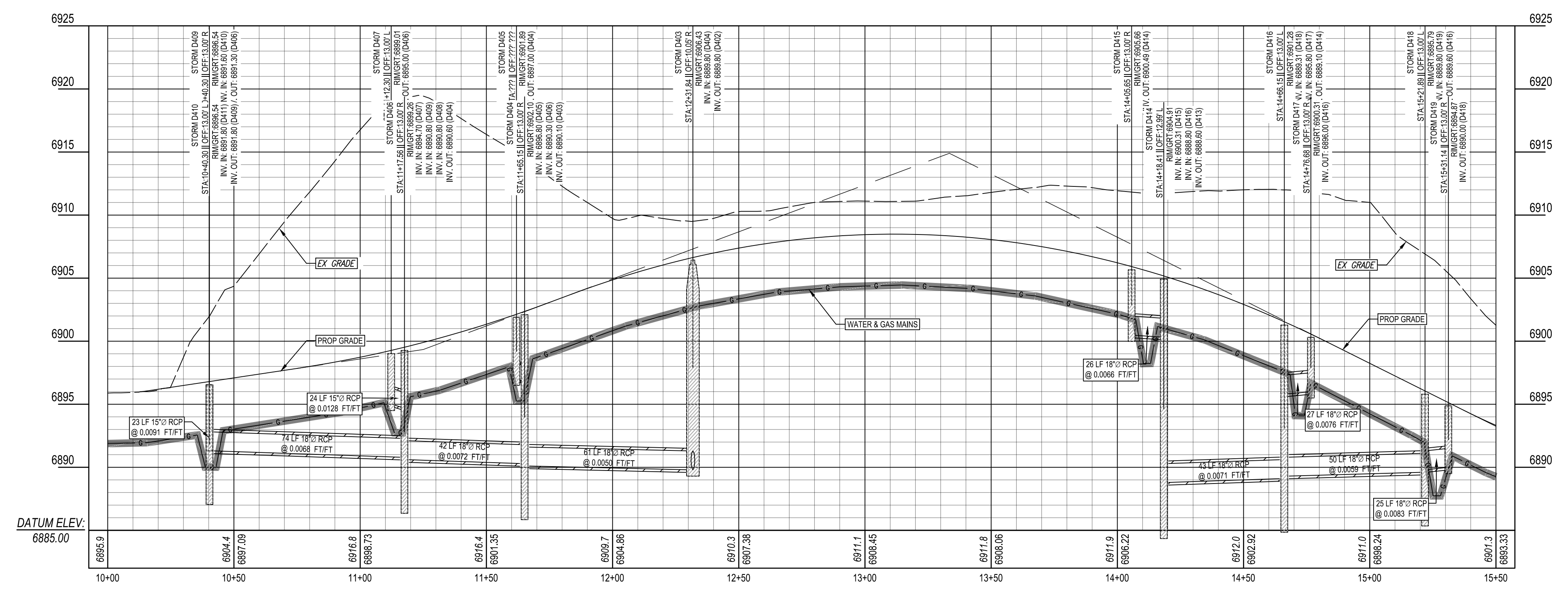
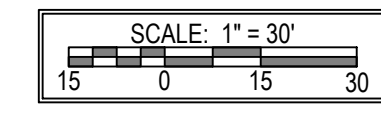
OWN BY: **M TOTH**
CHK BY: **E BEALS**

PROJECT	PINEHAVEN RESIDENTIAL LAND DEVELOPMENT
APPLICANT	RODG-DT FLAGSTAFF PROP CO LLC
DATE	MAY 30, 2023
SHEET NO.	22004
TITLE	SITE PLAN REVIEW PLAN & PROFILE (DRIVE 'A2' & CROSS PROFILES)
PROJECT NO.	22004
DATE	MAY 30, 2023
SHEET ID	C311
REV	4

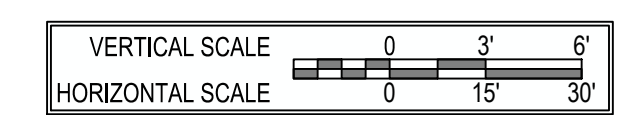
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ARIZONA 811
Call 811 or click Arizona811.org
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B2 PLAN VIEW: DRIVE 'A'
SCALE: 1" = 30'



D2 PROFILE VIEW: DRIVE 'A'
SCALE: (H) 1" = 30' || (V) 1" = 6'



REV	DATE	DESCRIPTION
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-26-2023
2	01-18-2024	REVISED PER CITY REVIEW LETTER DATED 12-18-2023
3	03-03-2024	REVISED PER CITY REVIEW LETTER DATED 2-8-2024
4	05-02-2024	REVISED PER CITY REVIEW LETTER DATED 4-9-2024



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AUSTIN, TEXAS 78702

FIRM No. F-23395
viewpointengineering.com

OWN BY: **M TOTH**
CHK BY: **E BEALS**

PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
2951 S. MASONIC LANE
COCONINO COUNTY, ARIZONA

APPLICANT: **RODG-DT FLAGSTAFF PROP CO LLC**
211 E. 6TH STREET, SUITE 203, AUSTIN, TEXAS 78702

TITLE: **SITE PLAN REVIEW PLAN & PROFILE (DRIVE 'B')**

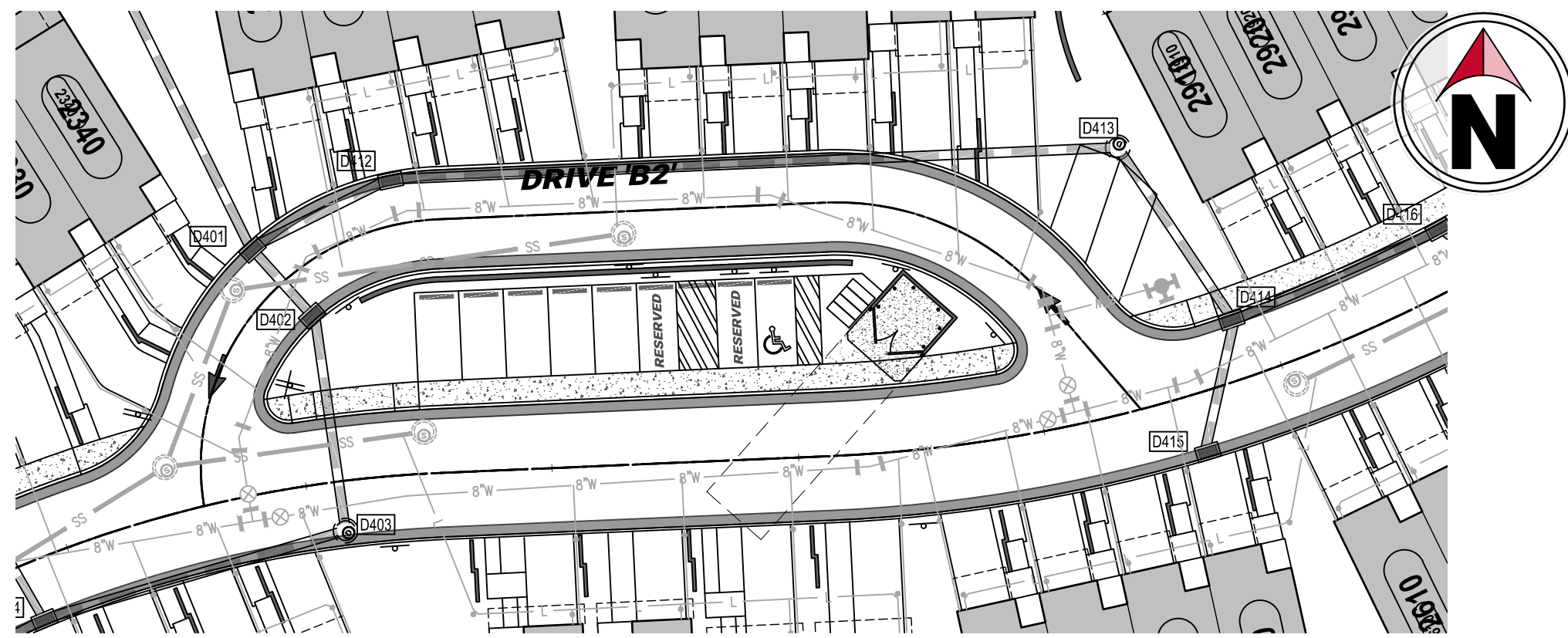
PROJECT NO.: 22004
DATE: MAY 30, 2023
SHEET ID: C312
REV: 4
SHEET 17 of 46

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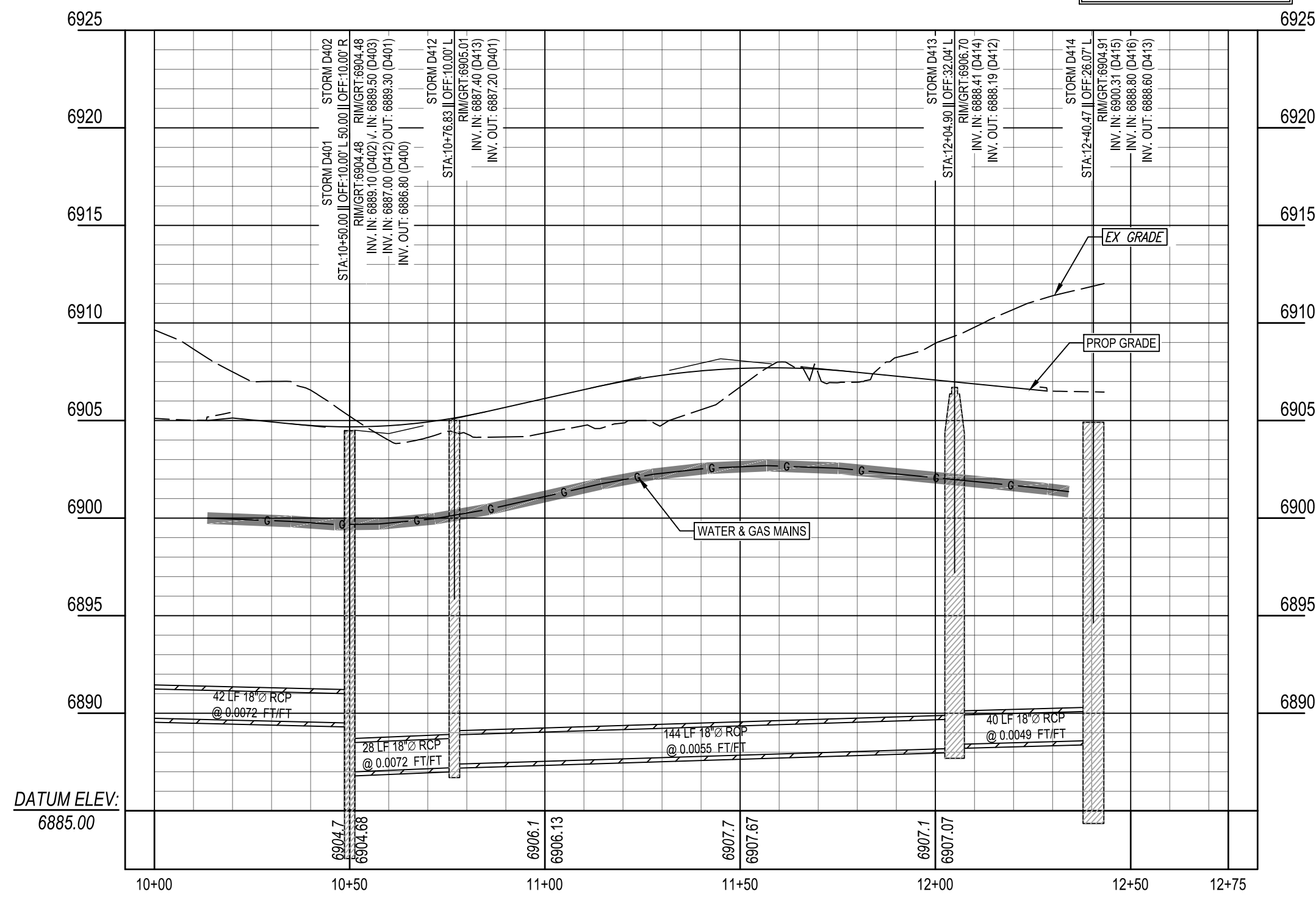
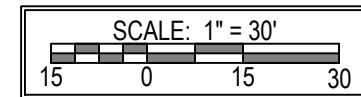
ARIZONA 811
BLUE STAKE, INC.

Call 811 or click Arizona811.org

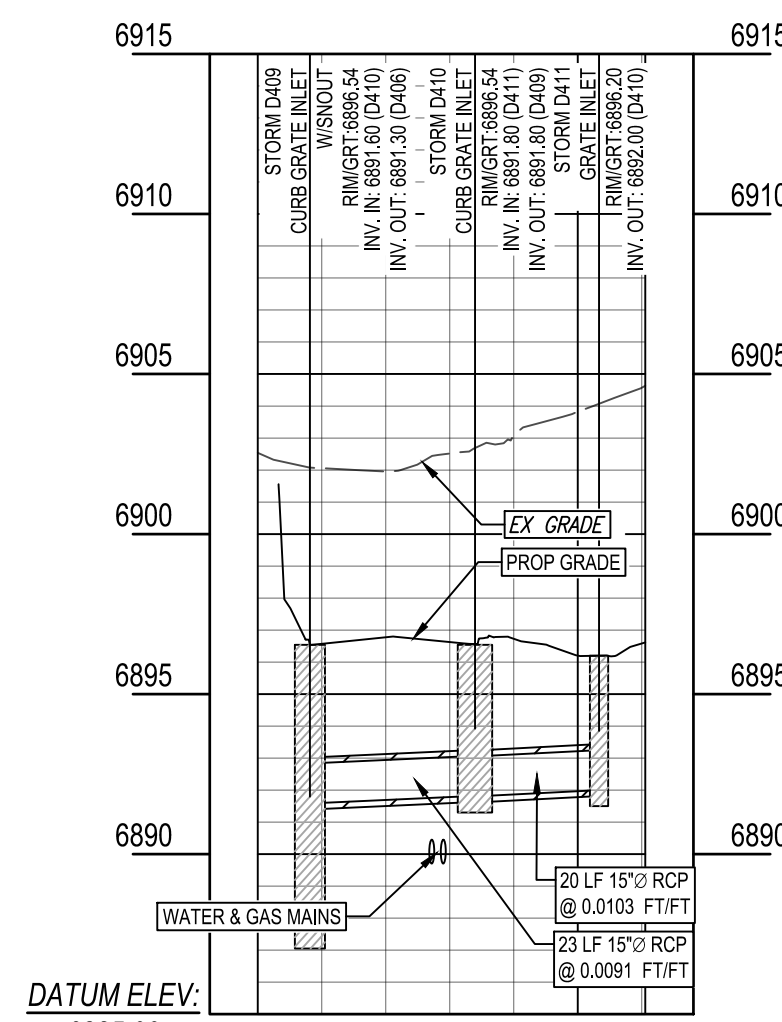
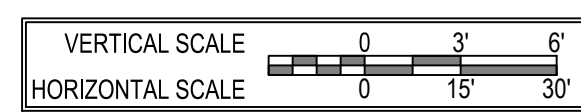
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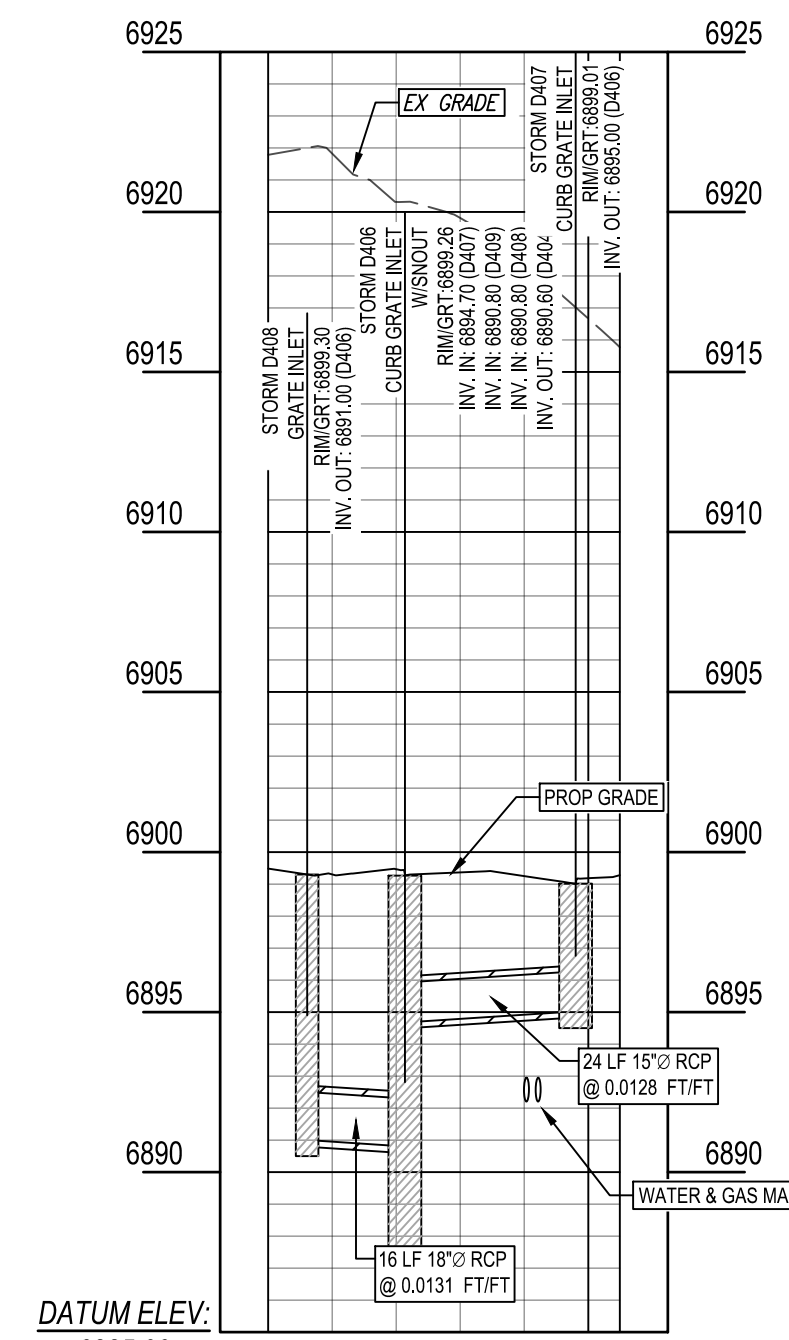
B1 PLAN VIEW: DRIVE 'A'
SCALE: 1" = 30'



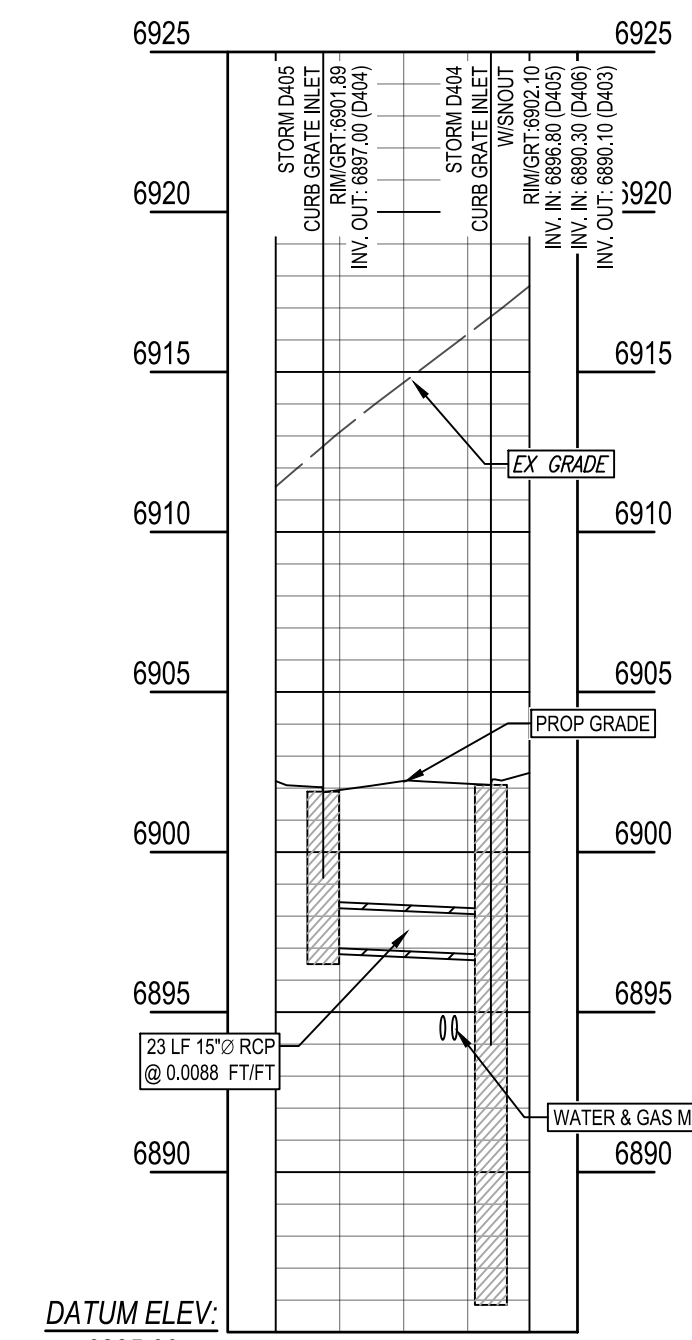
D1 PROFILE VIEW: DRIVE 'A'
SCALE: (H) 1" = 30' || (V) 1" = 6'



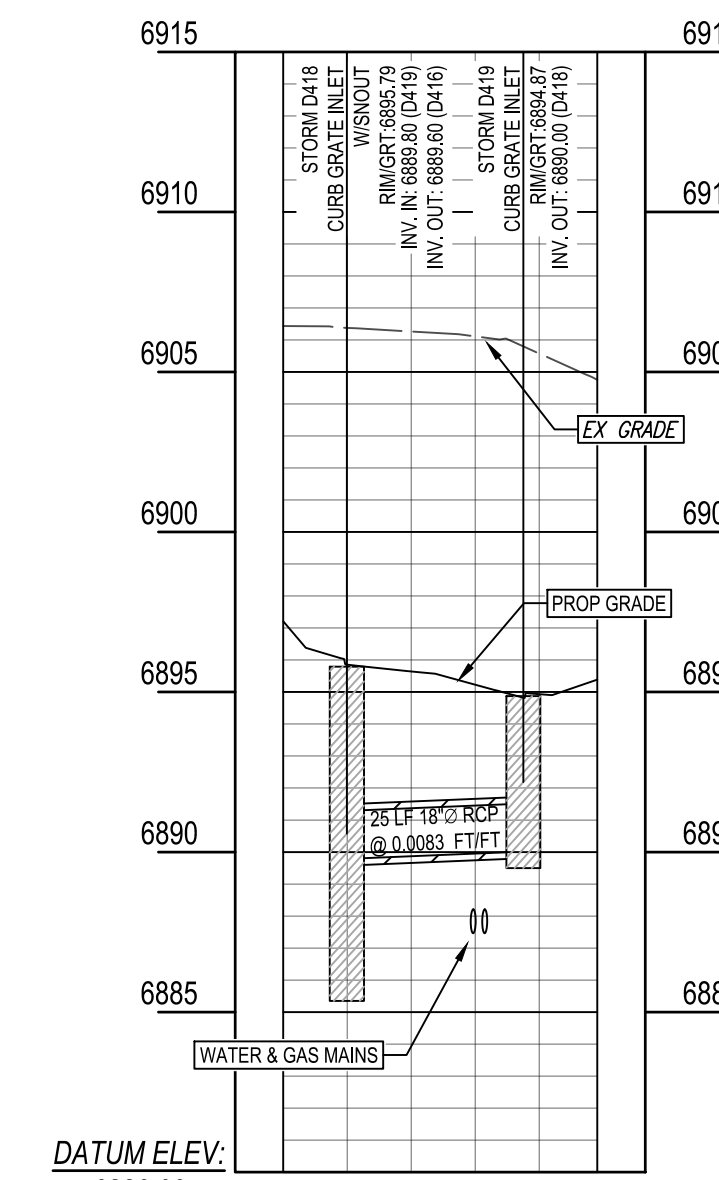
B3 STORM: D409 - D411
SCALE: (H) 1" = 30' || (V) 1" = 6'



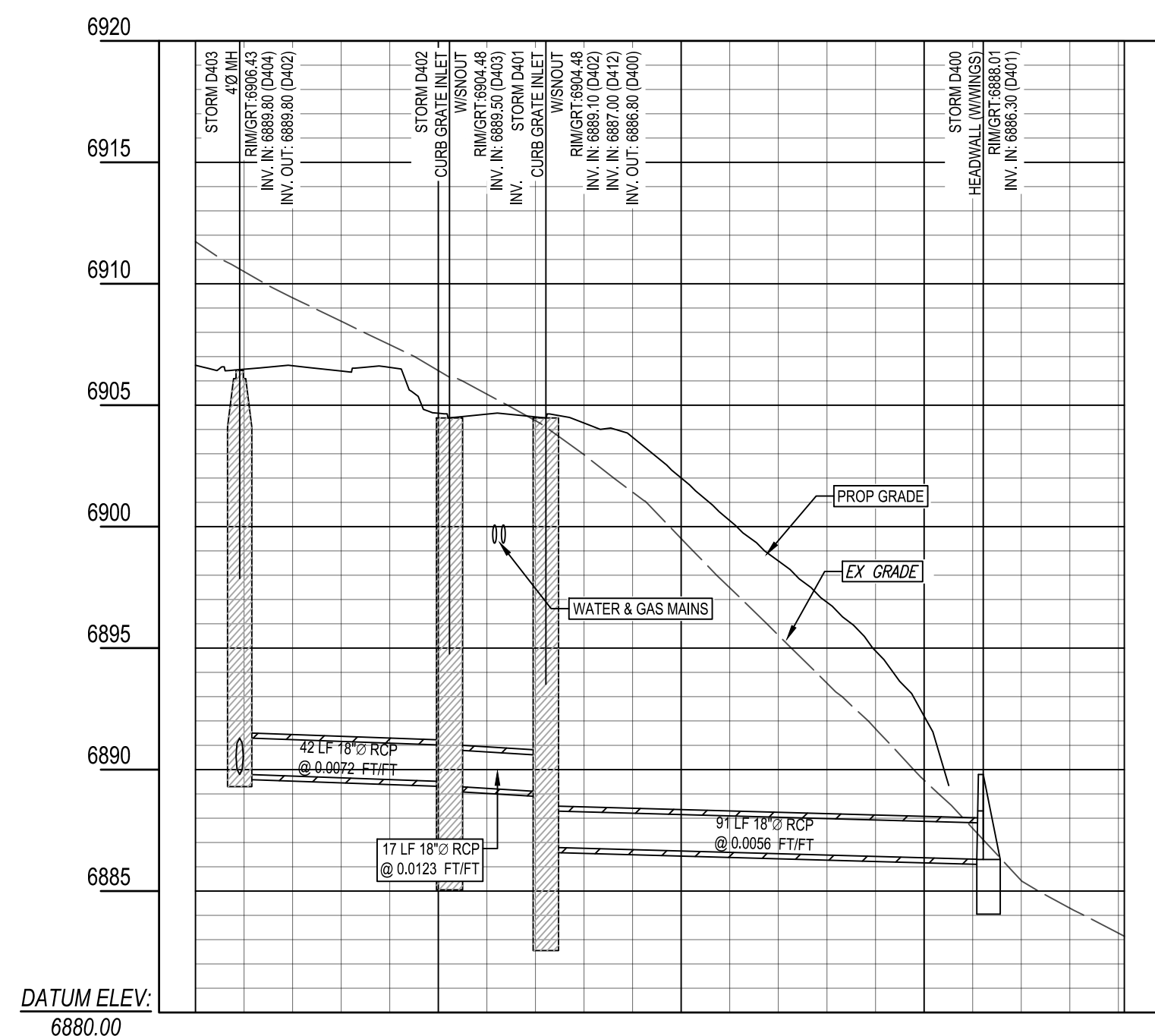
B4 STORM: D408 - D407
SCALE: (H) 1" = 30' || (V) 1" = 6'



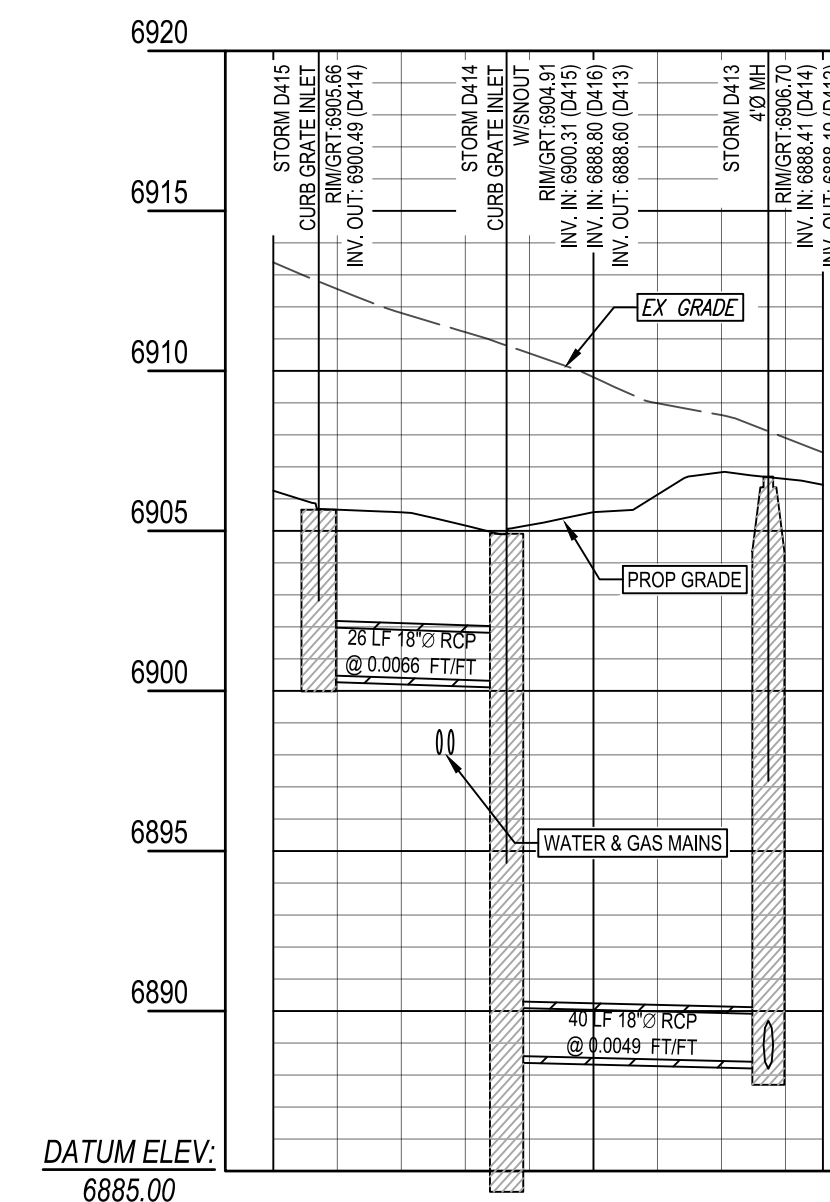
B5 STORM: D405 - D404
SCALE: (H) 1" = 30' || (V) 1" = 6'



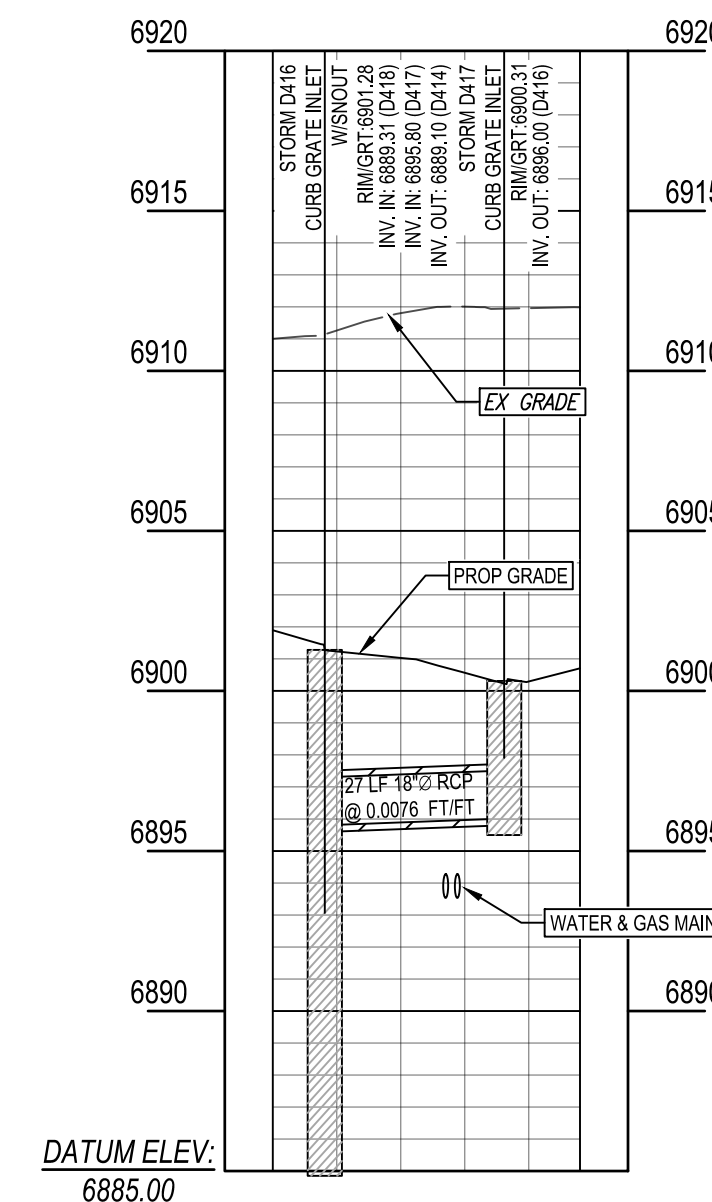
B6 STORM: D418 - D419
SCALE: (H) 1" = 30' || (V) 1" = 6'



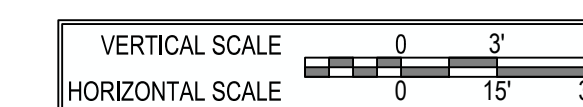
D3 STORM: D403 - D400
SCALE: (H) 1" = 30' || (V) 1" = 6'



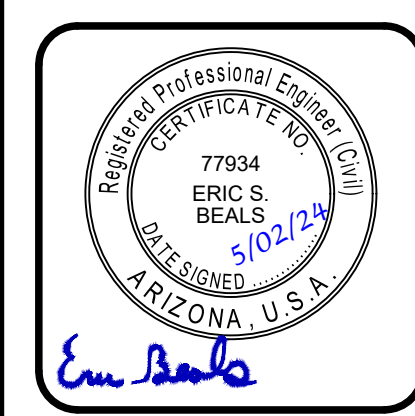
D5 STORM: D415 - D413
SCALE: (H) 1" = 30' || (V) 1" = 6'



D6 STORM: D416 - D417
SCALE: (H) 1" = 30' || (V) 1" = 6'



REV	DATE	DESCRIPTION
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-26-2023
2	01-18-2024	REVISED PER CITY REVIEW LETTER DATED 12-18-2023
3	03-26-2024	REVISED PER CITY REVIEW LETTER DATED 2-8-2024
4	05-02-2024	REVISED PER CITY REVIEW LETTER DATED 4-9-2024



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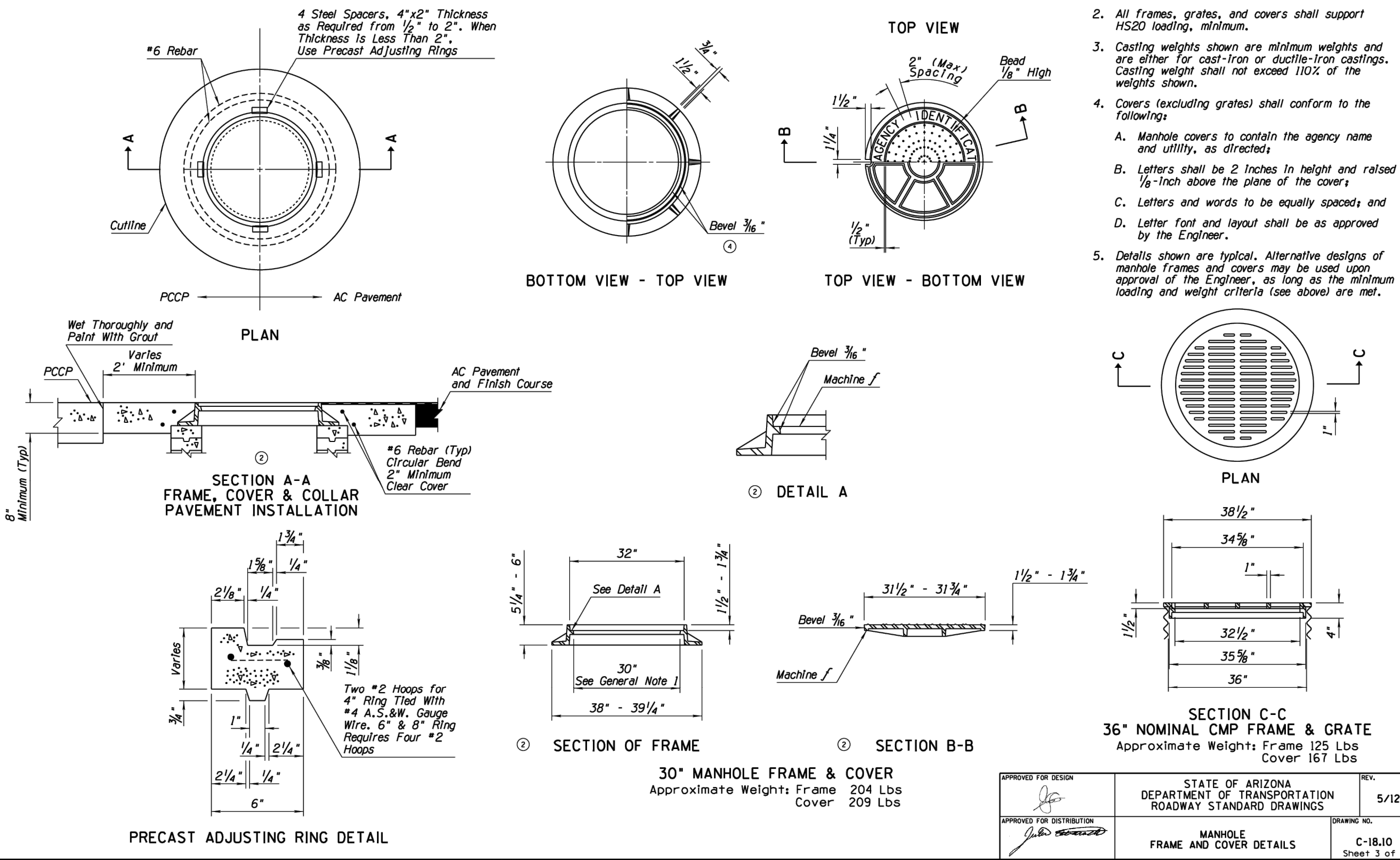
OWN BY:	M TOTH
CHK BY:	E BEALS
PROJECT:	PINEHAVEN RESIDENTIAL LAND DEVELOPMENT 2951 S. MASONIC LANE COCONINO COUNTY, ARIZONA
APPLICANT:	RODG DT FLAGSTAFF PROP CO LLC 2411 E 6TH STREET, SUITE 203, AUSTIN, TEXAS 78702
TITLE:	SITE PLAN REVIEW & PROFILE STORM SEWER PLAN & PROFILE (DRIVE 'B2' & CROSS PROFILES)
PROJECT NO.:	22004
DATE:	MAY 30, 2023
SHEET ID:	C313
REV:	4

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NO.	DESCRIPTION OF REVISIONS	MADE BY	DATE
1	RENAMED STD DWG FROM C-1810 TO C-1810A SHEET 2 OF 3	RLF	5/12
2	MODIFIED SECTION VIEWS AND ADDED DETAIL A	RLF	5/12
3	NEW GENERAL NOTE IS REVISED GENERAL NOTE NUMBERS	RLF	5/12
4	REVISED REBAR SIZE	RLF	5/12

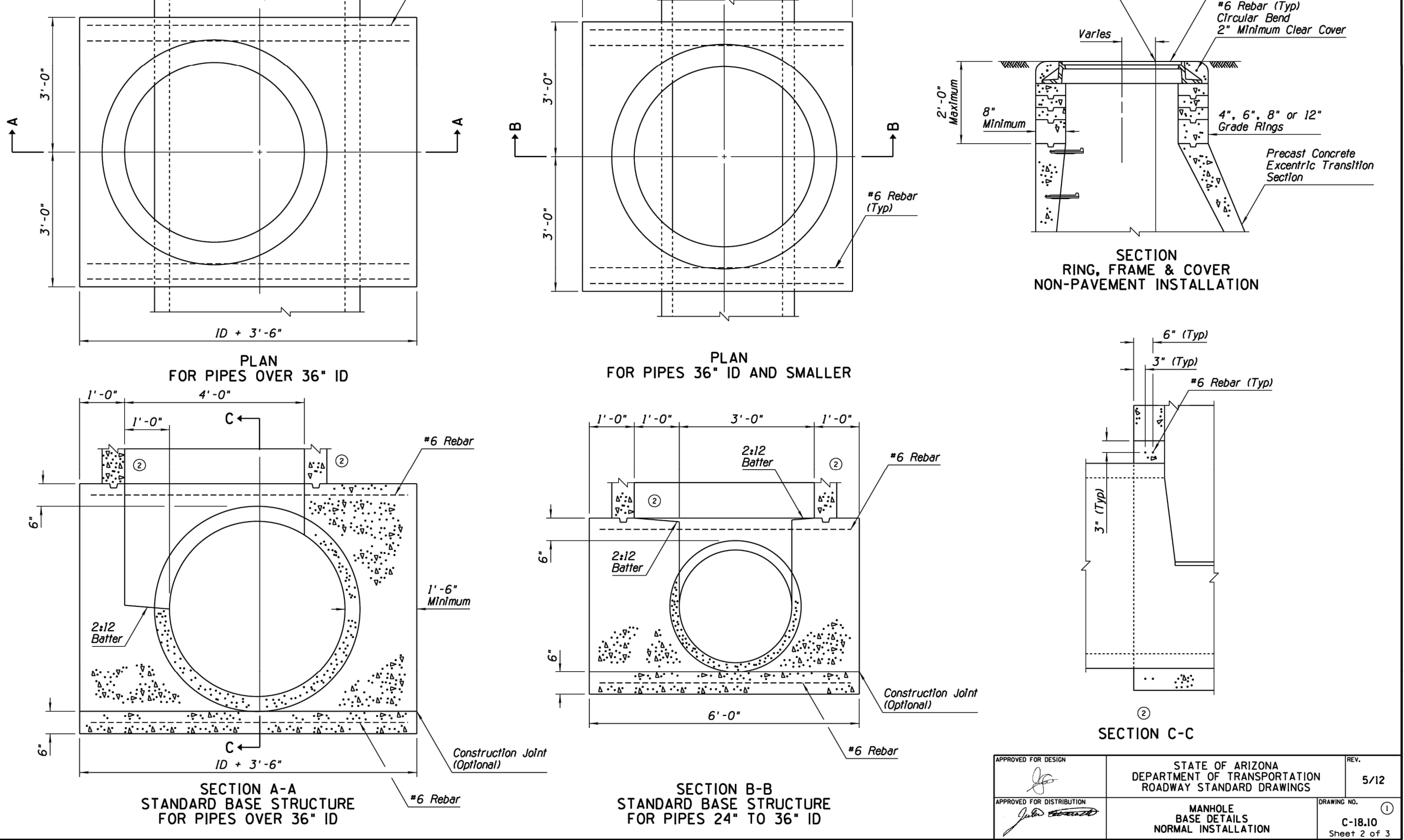


- GENERAL NOTES**
- The 30" minimum opening shall be required. Other frame and cover dimensions shown are control and vary by manufacturer.
 - All frames, grates, and covers shall support HS20 loading, minimum.
 - Casting weights shown are minimum weights and are either for cast-iron or ductile-iron castings. Casting weight shall not exceed 110% of the weights shown.
 - Covers (excluding grates) shall conform to the following:
 - Manhole covers to contain the agency name and utility, as directed.
 - Letters shall be 2 inches in height and raised 1/8 inch above the plane of the covers.
 - Letters and words to be equally spaced, and
 - Letter font and layout shall be as approved by the Engineer.
 - Details shown are typical. Alternative designs of manhole frames and covers may be used upon approval of the Engineer, as long as the minimum loading and weight criteria (see above) are met.

APPROVED FOR DESIGN	STATE OF ARIZONA DEPARTMENT OF TRANSPORTATION ROADWAY STANDARD DRAWINGS	DATE
[Signature]	MANHOLE FRAME AND COVER DETAILS	5/12

C-1810A
Sheet 2 of 3

NO.	DESCRIPTION OF REVISIONS	MADE BY	DATE
1	RENAMED STD DWG TO C-1810A SHEET 2 OF 3	RLF	5/12
2	REVISED SECTION A-A THROUGH C-C GRAPHICS	RLF	4/26



APPROVED FOR DESIGN	STATE OF ARIZONA DEPARTMENT OF TRANSPORTATION ROADWAY STANDARD DRAWINGS	DATE
[Signature]	MANHOLE RING, FRAME AND COVER NON-PAVEMENT INSTALLATION	5/12

C-1810
Sheet 2 of 3

ID	TYPE	STRUCTURE INFO
D100	40" MH	RIMGR: 6892.83 INV IN (D101 / 24") : 6887.60 INV OUT (X1 / 36") : 6887.53 SUMP: 6887.53
D101	40" DROP MH	RIMGR: 6896.75 INV IN (D102 / 24") : 6898.00 INV OUT (D100 / 24") : 6888.00 SUMP: 6888.00
D102	40" MH	RIMGR: 6902.41 INV IN (D103 / 24") : 6893.70 INV OUT (D101 / 24") : 6893.51 SUMP: 6893.51
D103	40" DROP MH	RIMGR: 6903.48 INV IN (X104 / 24") : 6898.68 INV OUT (D102 / 24") : 6895.00 SUMP: 6895.00
D200	HEADWALL NO WINGS	RIMGR: 6883.75 INV IN (D201 / 24") : 6881.50 SUMP: 6881.50
D201	OUTLET STRUCTURE (SEE BASIN DETAIL)	RIMGR: 6884.75 INV OUT (D200 / 24") : 6882.00 SUMP: 6882.00
D300	HEADWALL	RIMGR: 6895.55 INV IN (D301 / 24") : 6887.30 SUMP: 6887.30
D301	40" MH	RIMGR: 6892.68 INV IN (D302 / 24") : 6887.60 INV IN (D301A / 18") : 6881.90 INV OUT (D300 / 24") : 6887.40 SUMP: 6887.40
D301A	CURB GRATE INLET WISNOUT	RIMGR: 6891.86 INV IN (D301B / 18") : 6888.20 INV OUT (D301 / 24") : 6888.10 SUMP: 6888.10
D301B	CURB GRATE INLET	RIMGR: 6891.89 INV OUT (D301A / 18") : 6888.40 SUMP: 6888.40
D302	CURB GRATE INLET WISNOUT	RIMGR: 6896.89 INV IN (D303 / 18") : 6887.50 INV OUT (D301 / 24") : 6887.80 SUMP: 6887.80
D303	CURB GRATE INLET WISNOUT	RIMGR: 6897.50 INV IN (D304 / 18") : 6892.50 INV IN (D305 / 18") : 6892.20 INV OUT (D302 / 18") : 6888.10 SUMP: 6884.35
D304	GRATE INLET WISNOUT	RIMGR: 6896.50 INV IN (D304A / 18") : 6892.80 INV OUT (D303 / 18") : 6892.70 SUMP: 6892.70
D304A	CURB GRATE INLET	RIMGR: 6898.32 INV IN (D304B / 18") : 6893.20 INV OUT (D304 / 18") : 6893.10 SUMP: 6893.10
D304B	CURB GRATE INLET	RIMGR: 6898.99 INV IN (D304C / 18") : 6893.40 INV OUT (D304A / 18") : 6893.30 SUMP: 6893.30
D304C	CURB GRATE INLET	RIMGR: 6900.72 INV OUT (D304B / 18") : 6893.60 SUMP: 6893.60

ID	TYPE	STRUCTURE INFO
D305	CURB GRATE INLET WISNOUT	RIMGR: 6899.87 INV IN (D306 / 18") : 6894.80 INV IN (D309 / 18") : 6886.70 INV OUT (D303 / 18") : 6886.60 SUMP: 6886.60
D306	CURB GRATE INLET WISNOUT	RIMGR: 6899.87 INV IN (D307 / 15") : 6895.20 INV OUT (D305 / 18") : 6895.00 SUMP: 6891.25
D307	CURB GRATE INLET	RIMGR: 6901.36 INV IN (D308 / 18") : 6897.20 INV OUT (D306 / 18") : 6897.00 SUMP: 6897.00
D308	YARD DRAIN	RIMGR: 6898.61 INV IN (D307 / 8") : 6897.40 SUMP: 6897.40
D309	40" MH	RIMGR: 6901.02 INV IN (D310 / 15") : 6895.00 INV IN (D311 / 18") : 6889.00 INV OUT (D305 / 18") : 6888.90 SUMP: 6888.90
D310	GRATE INLET	RIMGR: 6902.53 INV OUT (D309 / 15") : 6896.10 SUMP: 6896.10
D311	CURB GRATE INLET WISNOUT	RIMGR: 6902.58 INV IN (D312 / 18") : 6889.30 INV OUT (D309 / 18") : 6889.20 SUMP: 6884.65
D312	40" MH	RIMGR: 6908.24 INV IN (D313 / 18") : 6889.80 INV OUT (D311 / 18") : 6889.70 SUMP: 6889.70
D313	40" MH	RIMGR: 6912.18 INV IN (D314 / 18") : 6896.30 INV OUT (D312 / 18") : 6896.20 SUMP: 6896.20
D314	CURB GRATE INLET WISNOUT	RIMGR: 6911.70 INV IN (D315 / 15") : 6900.60 INV IN (D317 / 18") : 6892.60 INV OUT (D313 / 18") : 6890.70 SUMP: 6886.45
D315	CURB GRATE INLET WISNOUT	RIMGR: 6911.09 INV IN (D316 / 15") : 6901.10 INV OUT (D314 / 15") : 6900.90 SUMP: 6897.15
D316	CURB GRATE INLET	RIMGR: 6907.19 INV IN (D315 / 15") : 6901.70 SUMP: 6901.70
D317	CURB GRATE INLET WISNOUT	RIMGR: 6905.64 INV IN (D318 / 18") : 6891.40 INV OUT (D314 / 18") : 6891.30 SUMP: 6887.15
D318	CURB GRATE INLET WISNOUT	RIMGR: 6900.89 INV IN (D320 / 18") : 6895.00 INV IN (D319 / 18") : 6891.80 INV OUT (D317 / 18") : 6891.70 SUMP: 6887.85
D319	CURB GRATE INLET WISNOUT	RIMGR: 6900.47 INV IN (D321 / 18") : 6892.10 INV IN (D320 / 18") : 6892.10 INV OUT (D318 / 18") : 6892.00 SUMP: 6888.25
D320	GRATE INLET	RIMGR: 6903.89 INV OUT (D319 / 18") : 6892.30 SUMP: 6892.30

ID	TYPE	STRUCTURE INFO
D321	CURB GRATE INLET	RIMGR: 6897.05 INV IN (D322 / 18") : 6892.40 INV OUT (D319 / 18") : 6892.30 SUMP: 6892.30
D322	CURB GRATE INLET	RIMGR: 6896.06 INV OUT (D321 / 18") : 6892.60 SUMP: 6892.60
D323	CURB GRATE INLET WISNOUT	RIMGR: 6901.39 INV IN (D324 / 18") : 6896.00 INV OUT (D318 / 18") : 6895.80 SUMP: 6892.05
D324	40" MH	RIMGR: 6902.96 INV IN (D325 / 15") : 6896.80 INV IN (D326 / 15") : 6896.80 INV OUT (D323 / 18") : 6896.60 SUMP: 6896.60
D325	GRATE INLET	RIMGR: 6902.90 INV IN (D324 / 15") : 6897.00 SUMP: 6897.00
D326	GRATE INLET	RIMGR: 6901.99 INV OUT (D324 / 15") : 6897.00 SUMP: 6897.00
D501	CURB GRATE INLET	RIMGR: 0.00 SUMP: -2.41
D502	HEADWALL (W/WINGS)	RIMGR: 6878.71 SUMP: 6877.00

PIPE RUN	SIZE	LENGTH (FEET)	SLOPE (F/FT)
D100 - D101	24" RCP	60	0.0067
D101 - D102	24" RCP	103	0.0050
D102 - D103	24" RCP	42	0.0215
D103 - X104	24" RCP	95	0.0093
D200 - D201	24" RCP	42	0.0120
D300 - D301	24" RCP	15	0.0070
D301 - D302	24" RCP	72	0.0028
D302 - D303	18" RCP	22	0.0091
D303 - D304	18" RCP	14	0.0152
D303 - D305	18" RCP	63	0.0064
D305 - D306	18" RCP	22	0.0091
D305 - D309	18" RCP	25	0.0082
D307 - D308	8" HDPE	27	0.0075
D311 - D312	18" RCP	78	0.0052
D312 - D313	18" RCP	79	0.0051
D313 - D314	18" RCP	61	0.0066
D314 - D315	15" RCP	29	0.0107
D314 - D317	18" RCP	92	0.0054
D315 - D316	15" RCP	58	0.0104
D317 - D318	18" RCP	49	0.0062
D318 - D319	18" RCP	23	0.0088
D318 - D323	18" RCP	46	0.0174
D319 - D320	18" RCP	19	0.0109
D319 - D321	18" RCP	27	0.0076

PIPE RUN	SIZE	LENGTH (FEET)	SLOPE (F/FT)
D321 - D322	18" RCP	36	0.0057
D323 - D324	18" RCP	45	0.0134
D324 - D326	18" RCP	11	0.0195
D324 - D326	18" RCP	38	0.0053
D501 - D502	18" RCP	33	0.0092

REVISIONS

REV	DATE	DESCRIPTION
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-20-2023
2	01-18-2024	REVISED PER CITY REVIEW LETTER DATED 12-18-2023
3	03-26-2024	REVISED PER CITY REVIEW LETTER DATED 2-8-2024
4	05-02-2024	REVISED PER CITY REVIEW LETTER DATED 4-9-2024

APPROVED FOR DESIGN: [Signature]
STATE OF ARIZONA DEPARTMENT OF TRANSPORTATION ROADWAY STANDARD DRAWINGS
MANHOLE BASE DETAILS NORMAL INSTALLATION
C-1810A Sheet 2 of 3

APPROVED FOR DISTRIBUTION: [Signature]

Professional Engineer (C.E.)
77934
ERIC S. BEALS
5/02/24
ARIZONA, U.S.A.

ViewPoint Engineering
2121 E 6th STREET, SUITE 203
AUSTIN, TEXAS 78702

FIRM No. F-23395
viewpointengineering.com

OWN BY: **M TOTH**
CHK BY: **E BEALS**

PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
2951 S. MASONIC LANE
COCONINO COUNTY, ARIZONA

APPLICANT: **RODG DT FLAGSTAFF PROP CO LLC**
241 E 6TH STREET, SUITE 203, AUSTIN, TEXAS 78702

TITLE: **SITE PLAN REVIEW STORMWATER DETAILS**

PROJECT NO.: **22004**
DATE: **MAY 30, 2023**
SHEET ID: **C321**
REV: **4**

SHEET 19 of 46

NO.	DESCRIPTION OF REVISIONS	MADE BY	DATE
1	REISSUED STANDARD DRAWING	RLF	9/04

GENERAL NOTES

- No Inlet depression shall extend into a traffic lane.
- Maximum combined Inlet and gutter depression is 3". See Section A-A.
- Maximum distance along curb between catch basins where full gutter depression is used is 10'.
- See Std Dwg C-15.80 for aprons used with Std Dwg C-15.80 Catch Basin.

LEGEND

- - Normal pavement or gutter flow line elevation.
- - Depressed elevation.
- - Straight grade with downward slope.
- W - Normal gutter width per Std Dwg C-05.10.
- ▲ - For Types 1, 3, & 5 Catch Basin.
- ◆ - For Type 4 Catch Basin & Std Dwg C-15.91.

CATCH BASIN SPACING AT ROADWAY SAG CONDITION

INLET DEPRESSION

INLET DEPRESSION CATCH BASIN WITH SLOTTED DRAIN

INLET DEPRESSION CATCH BASIN WITH WIDE GUTTER

SECTION A-A (Type D Curb & Gutter Shown)

SECTION B-B (Type D Curb & Gutter Shown)

APPROVED FOR DESIGN	STATE OF ARIZONA DEPARTMENT OF TRANSPORTATION ROADWAY STANDARD DRAWINGS	REV. 5/12
APPROVED FOR DISTRIBUTION	CATCH BASIN MISCELLANEOUS DETAILS	DRAWING NO. C-15.10 SHEET 3 of 2

NO.	DESCRIPTION OF REVISIONS	MADE BY	DATE
1	REVISED GRATE DIMENSIONS AND REISSUED STANDARD	RLF	7/06

GENERAL NOTES

- Grating units and Frames shall be fabricated from structural steel ASTM A36 except as noted.
- All welding shall be in accordance with Std Spec 604-3.06.
- The completed assembly shall be given one shop coat of Number 1 paint.
- Frames and grates shall fit to a maximum rock of 1/8" at any joint.
- Grate opening is 3.60 Sq Ft.
- Bracing of frame is recommended for handling and placement purposes.
- Frame and Grate to be used with Std Dwgs C-15.10, C-15.30 and C-15.40.
- Grate may be used with Std Dwg C-15.92 Frame.

PLAN

SECTION FRAME

SECTION A-A

TYPICAL INSTALLATION C-15.10 Catch Basin Shown Similar for C-15.30 and C-15.40

APPROVED FOR DESIGN	STATE OF ARIZONA DEPARTMENT OF TRANSPORTATION ROADWAY STANDARD DRAWINGS	REV. 5/12
APPROVED FOR DISTRIBUTION	CATCH BASIN FRAME AND GRATE	DRAWING NO. C-15.10

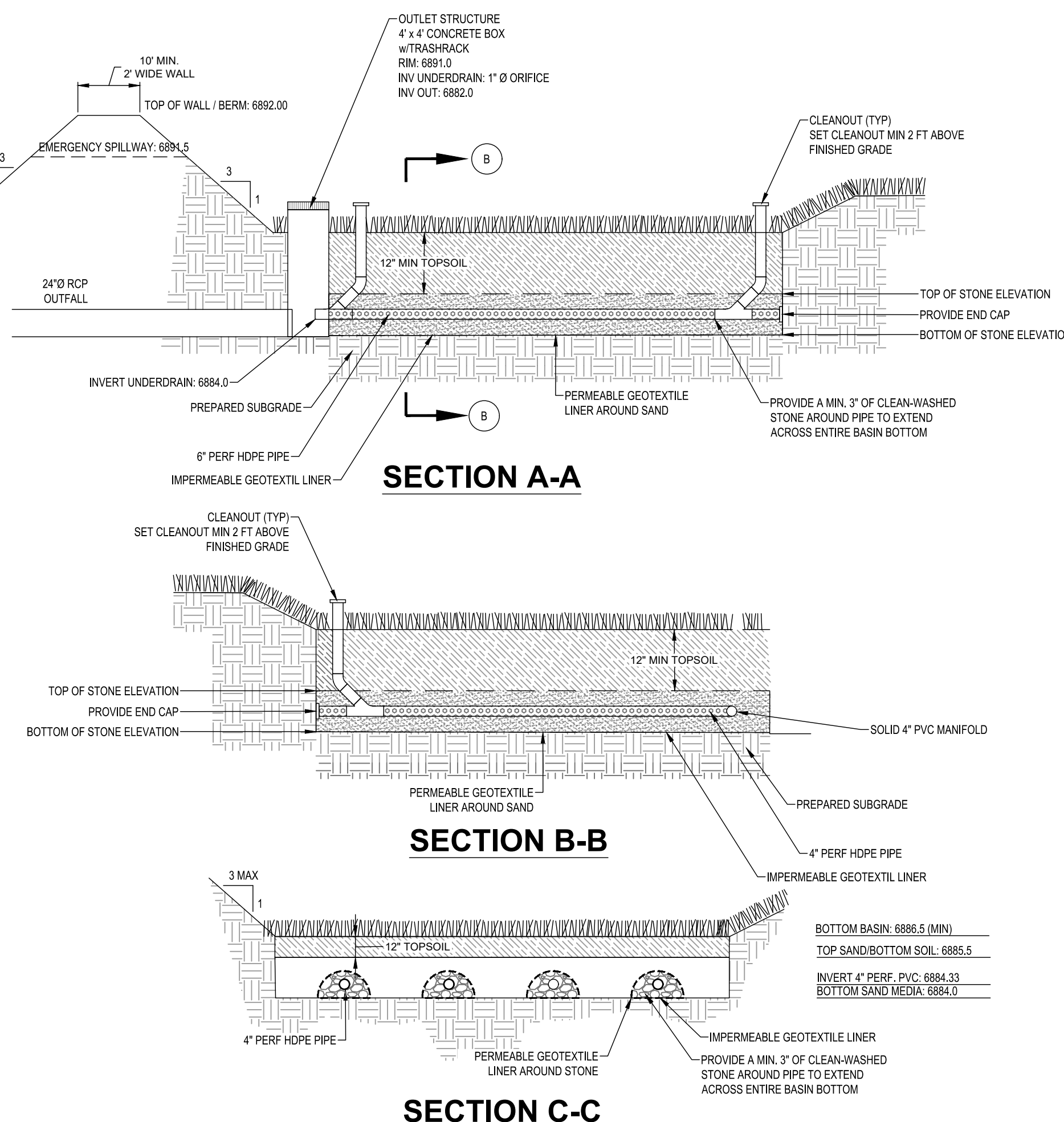
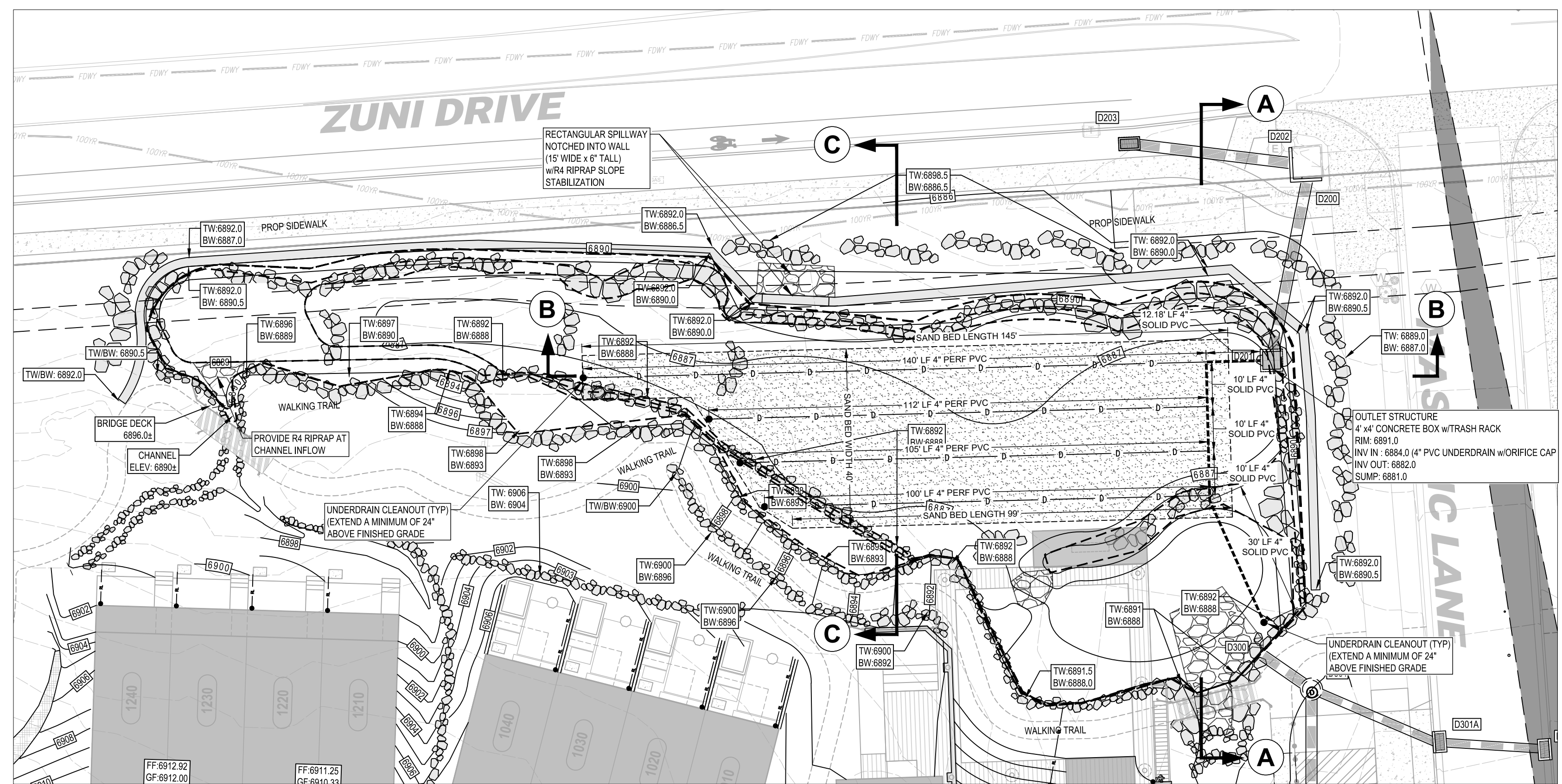
NO.	DESCRIPTION OF REVISIONS	MADE BY	DATE
1	REMOVED STD DWG FROM C-18.40 TO C-18.10, SHEET 1 OF 3	RLF	9/04
2	REVISED GENERAL NOTE	RLF	7/05
3	DELETED ORIGINAL NOTE & CHANGED NUMBERS 6 & 7	RLF	5/07
4	ADDED NOTE TO DESIGNERS	RLF	5/07

GENERAL NOTES

- Pipe sizes and elevations are shown on plans.
- The manhole height, H, shall be measured from the lowest invert elevation to the top of the manhole frame.
- Concrete for cast-in-place manholes shall be Class B.
- All manholes deeper than 55 inches shall have steps. Manhole steps shall be constructed in accordance with AASHTO M199. Where precast manholes are used, the steps shall be installed at the same time sections are cast.
- Precast manhole sections shall be manufactured in accordance with AASHTO M199, except that the compressive strength of each section shall be determined and accepted in accordance with Std Spec 1006-7.
- Manhole size, location and elevation shall be as shown on plans.
- Backfill material shall be compacted to at least 95 percent of the maximum density per the applicable test method of the ADOT Materials Testing Manual.
 - 4", 6", 8" or 12" (30" Inside Diameter) Grade Rings
 - ▲ 1/4" /ft
 - See Sheet 2 of 3

NOTE TO DESIGNERS

Per OSHA requirements, special treatments are required for heights exceeding 30 ft.



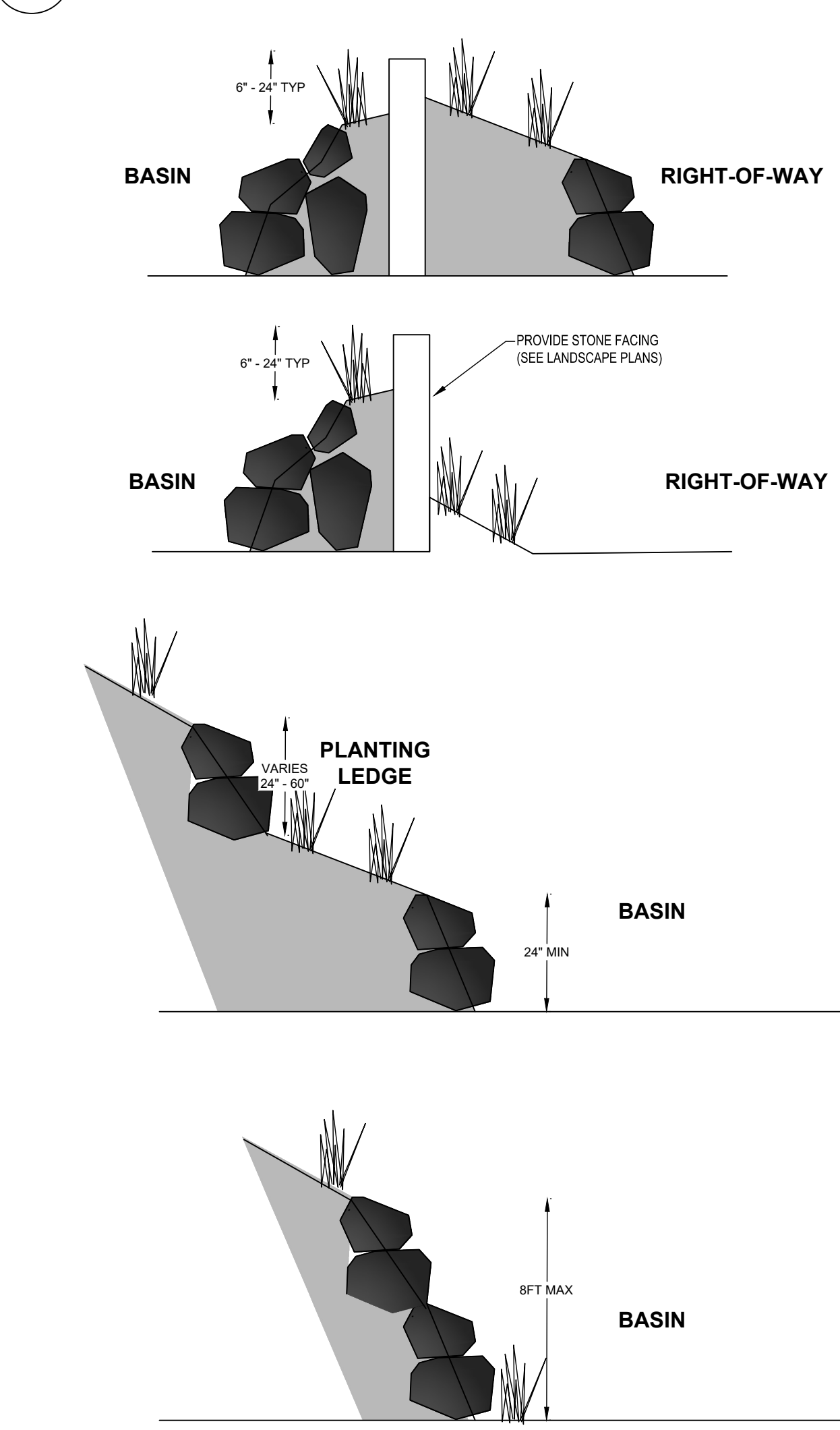
NOTES:

- TEXTURE OF PLANTING SOIL SHOULD CONFORM TO THE CLASSIFICATION WITHIN THE USDA TRIANGLE FOR SANDY LOAM OR LOAMY SAND. PLANTING SOIL SHOULD BE A MIXTURE OF SAND, SILT, AND CLAY PARTICLES AS REQUIRED TO MEET THE CLASSIFICATION. RANGES OF PARTICLE SIZE DISTRIBUTION, AS DETERMINED BY PIPETTE METHOD IN COMPLIANCE WITH ASTM F-1632.
- PLANTING SOIL SHOULD BE SCREENED AND FREE OF STONES LARGER THAN A HALF-INCH (12.7 mm) IN ANY DIMENSION. NO MORE THAN TEN PERCENT (10%) OF THE SOIL VOLUME SHOULD BE COMPOSED OF SOIL PEGS GREATER THAN ONE INCH (1").
- CLODS, OR NATURAL CLUMPS OF SOILS, GREATER THAN THREE INCHES (3") IN ANY DIMENSION SHOULD BE ABSENT FROM THE PLANTING SOIL. SMALL CLODS RANGING FROM ONE TO THREE INCHES (1.3") AND PEGS, NATURAL SOIL CLUMPS UNDER ONE INCH (1") IN ANY DIMENSION, MAY BE PRESENT BUT SHOULD NOT MAKE UP MORE THAN TEN PERCENT (10%) OF THE SOIL BY VOLUME.
- THE pH OF THE PLANTING SOIL SHOULD HAVE A RANGE OF 5.8-7.1.
- SOLUBLE SALTS SHOULD BE LESS THAN 2.0 mmhos/cm (d5m), TYPICALLY AS MEASURED BY 1:2 SOIL:WATER RATIO BASIC SOIL SALINITY TESTING. SOOD SOILS (EXCHANGEABLE SODIUM PERCENTAGE (ESP) GREATER THAN 15 OR SODIUM ADSORPTION RATIO (SAR) GREATER THAN 13) SHALL NOT BE ACCEPTABLE FOR USE REGARDLESS OF AMENDMENT.
- ORGANIC CONTENT OF PLANTING SOIL SHOULD HAVE A RANGE OF THREE TO FIFTEEN PERCENT (3-15%) BY WEIGHT AS DETERMINED BY LOSS ON IGNITION (ASTM D2974). TO ADJUST ORGANIC CONTENT, PLANTING SOIL MAY BE AMENDED, PRIOR TO PLACING AND FINAL GRADING, WITH THE ADDITION OF ORGANIC COMPOST.
- ALL AGGREGATE WITHIN THE STONE STORAGE BED SHALL BE CLEAN-WASHED, DEFINED AS HAVING LESS THAN 0.5% WASH LOSS, BY MASS, WHEN TESTED PER THE AASHTO T-11 WASH LOSS TEST.
- THE BASIN EMBANKMENT SHALL BE PLACED IN EIGHT-INCH MINIMUM LIFTS TO A MINIMUM NINETY-FIVE (95) PERCENT DRY DENSITY. PRIOR TO PROCEEDING TO THE NEXT LIFT, COMPACTION SHALL BE CHECKED BY THE TOWNSHIP ENGINEER OR AN APPROVED SOILS ENGINEER WHO SHALL PROVIDE THE TOWNSHIP ENGINEER WITH A WRITTEN REPORT. COMPACTION TESTS SHALL BE PERFORMED USING THE MODIFIED PROCTOR METHOD IN ACCORDANCE WITH ASTM D-1557. COMPACTION TESTS SHALL BE RUN ON THE LEADING AND TRAILING EDGE AS WELL AS THE TOP OF BERM.

MAINTENANCE:

- THE PERMITTED SHALL BE REQUIRED TO FOLLOW THE MAINTENANCE PROCEDURES OUTLINED BELOW AND IN ACCORDANCE WITH THE OPERATION AND MAINTENANCE NOTES ON THE PCSM NOTES SHEET OF THIS PLAN SET.
- MAINTENANCE IS NECESSARY TO ENSURE PROPER FUNCTIONALITY OF THE EXTENDED DETENTION BASIN AND SHOULD TAKE PLACE ON A QUARTERLY BASIS. A BASIN MAINTENANCE PLAN SHOULD BE DEVELOPED WHICH INCLUDES THE FOLLOWING MEASURES:
 - ALL BASIN STRUCTURES EXPECTED TO RECEIVE AND/OR TRAP DEBRIS AND SEDIMENT SHOULD BE INSPECTED FOR CLOGGING AND EXCESSIVE DEBRIS AND SEDIMENT ACCUMULATION AT LEAST FOUR TIMES PER YEAR, AS WELL AS AFTER EVERY STORM GREATER THAN 1 INCH.
 - STRUCTURES INCLUDE BASIN BOTTOMS, TRASH BAGGERS, OUTLETS STRUCTURES, RIPRAP OR GABION STRUCTURES, AND INLETS.
 - SEDIMENT REMOVAL SHOULD BE CONDUCTED WHEN THE BASIN IS COMPLETELY DRY. SEDIMENT SHOULD BE DISPOSED PROPERLY AND ONCE SEDIMENT IS REMOVED, DISTURBED AREAS NEED TO BE IMMEDIATELY STABILIZED AND REVEGETATED.
 - MOWING AND/OR TRIMMING OF VEGETATION SHOULD BE PERFORMED AS NECESSARY TO SUSTAIN THE SYSTEM, BUT ALL DETRITUS SHOULD BE REMOVED FROM THE BASIN.
 - VEGETATED AREAS SHOULD BE INSPECTED ANNUALLY FOR EROSION.
 - VEGETATED AREAS SHOULD BE INSPECTED ANNUALLY FOR UNWANTED GROWTH OF EXOTIC INVASIVE SPECIES.
 - VEGETATIVE COVER SHOULD BE MAINTAINED AT A MINIMUM OF 95 PERCENT. IF VEGETATIVE COVER HAS BEEN REDUCED BY 10%, VEGETATION SHOULD BE REESTABLISHED.

C1 BASIN DETAIL



D1 BMP INLET SNOOT - BIOSKIRT DEVICE



NOTES:

- MANUFACTURER: ALL NEW CATCH BASINS OR WATER QUALITY STRUCTURES SHALL BE OUTFITTED WITH THE BIO-SKIRT (HYDROCARBON REDUCING SKIRTED BOOM AS MANUFACTURED BY (OR PRE-APPROVED EQUAL) BEST MANAGEMENT PRODUCTS, INC. 9 MATHEWS DRIVE, UNITS A1-A2 EAST HADDAM, CT 06423 TOLL FREE (800) 504-8008 OR (888) 434-0277 WEB SITE: WWW.BMPINC.COM
- THE SKIRTED BOOM SHALL BE COMPOSED OF AN UPPER BOOM PORTION THAT IS AN ADSORBENT FABRIC COVERED FLOATING BOOM OF 5\"/>

TYPICAL DEPLOYMENT SCHEDULE:

- 12-18\"/>

C1 BMP INLET SNOOT DEVICE

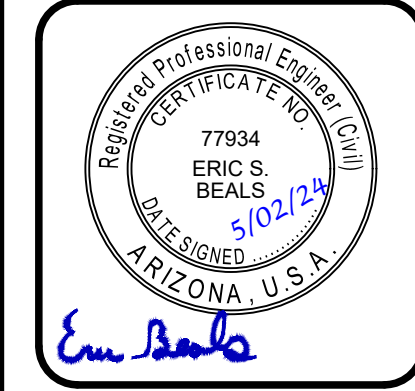


NOTES:

- MANUFACTURER: ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE PROVIDED BY: BEST MANAGEMENT PRODUCTS, INC. 93 MT. ARCHER RD. LYME, CT 06317 TOLL FREE: (800) 504-8008 OR (877) 434-3197 WEB SITE: WWW.BMPINC.COM
- CONFIGURATION: ALL HOODS SHALL BE EQUIPPED WITH A WATERTIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT AS DRAWN. (SEE CONFIGURATION DETAIL).
- PIPE COVERAGE: THE SIZE OF THE HOOD SHALL PERMIT THE O.D. OF THE OUTLET PIPE TO BE COVERED COMPLETELY.
- HOOD POSITION: THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A MINIMUM DISTANCE EQUAL TO 1/2 THE OUTLET PIPE I.D. WITH A MINIMUM DISTANCE OF 6\"/>

(SEE BELOW FOR MULTI-PART SNOOTS 3/8\"/>

REV	DATE	DESCRIPTION	REVISIONS
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-26-2023	
2	01-18-2024	REVISED PER CITY REVIEW LETTER DATED 12-18-2023	
3	03-05-2024	REVISED PER CITY REVIEW LETTER DATED 2-8-2024	
4	05-02-2024	REVISED PER CITY REVIEW LETTER DATED 4-9-2024	



ViewPoint Engineering

2121 E 6th STREET, SUITE 203
AUSTIN, TEXAS 78702

FIRM No. F-23395
viewpointengineering.com

OWN BY: **M TOTH**

CHK BY: **E BEALS**

PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
2951 S. MASONIC LANE
COCONINO COUNTY, ARIZONA

APPLICANT: **RODG-DT FLAGSTAFF PROP CO LLC**
241 E. 5TH STREET, SUITE 200, AUSTIN, TEXAS 78702

TITLE: **SITE PLAN REVIEW STORMWATER DETAILS**

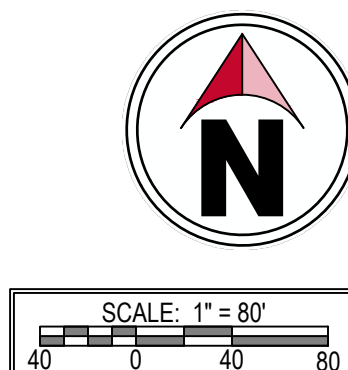
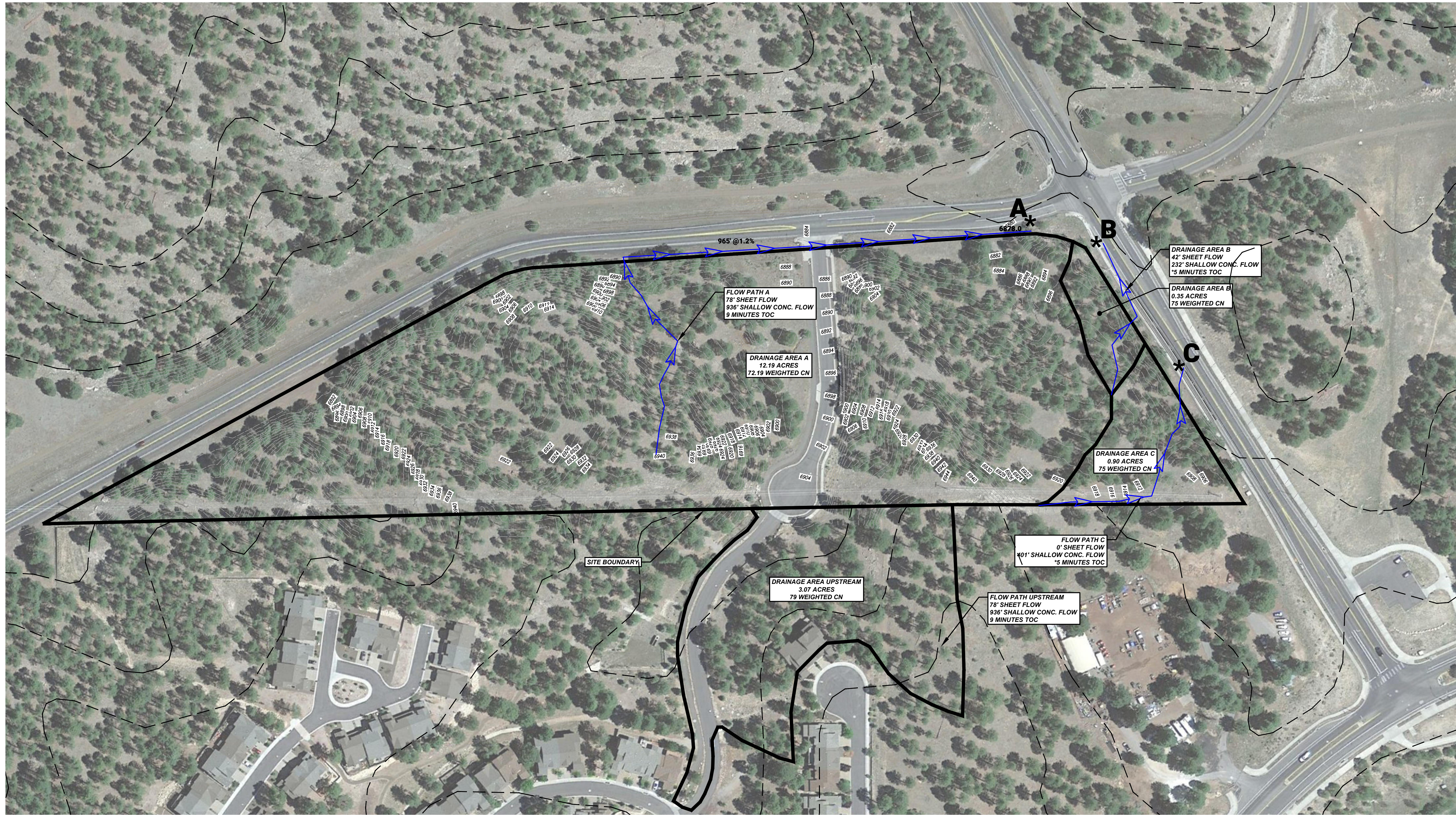
PROJECT NO.: 22004

DATE: **MAY 30, 2023**

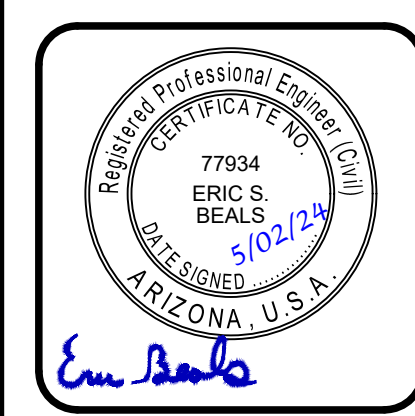
SHEET ID: **C323**

REV: 4

SHEET 21 of 46



REV	DATE	DESCRIPTION
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-26-2023
2	01-18-2024	REVISED PER CITY REVIEW LETTER DATED 12-18-2023
3	03-26-2024	REVISED PER CITY REVIEW LETTER DATED 2-8-2024
4	05-03-2024	REVISED PER CITY REVIEW LETTER DATED 4-9-2024



ViewPoint Engineering
 2121 E 6th STREET, SUITE 203
 AUSTIN, TEXAS 78702
 FIRM No. F-23395
 viewpointengineering.com

OWN BY: **M TOTH**
 CHK BY: **E BEALS**

PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
 2951 S. MASONIC LANE
 COCONINO COUNTY, ARIZONA

APPLICANT: **RODG DT FLAGSTAFF PROP CO LLC**
 241 E 6TH STREET, SUITE 200, AUSTIN, TEXAS 78702

TITLE: **SITE PLAN REVIEW PRE-DEVELOPMENT DRAINAGE MAP**

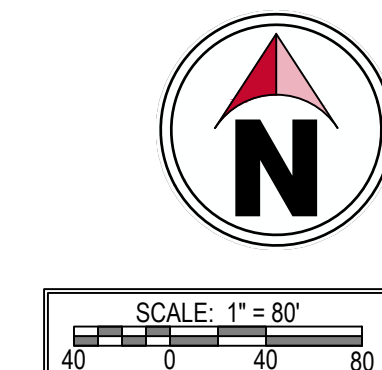
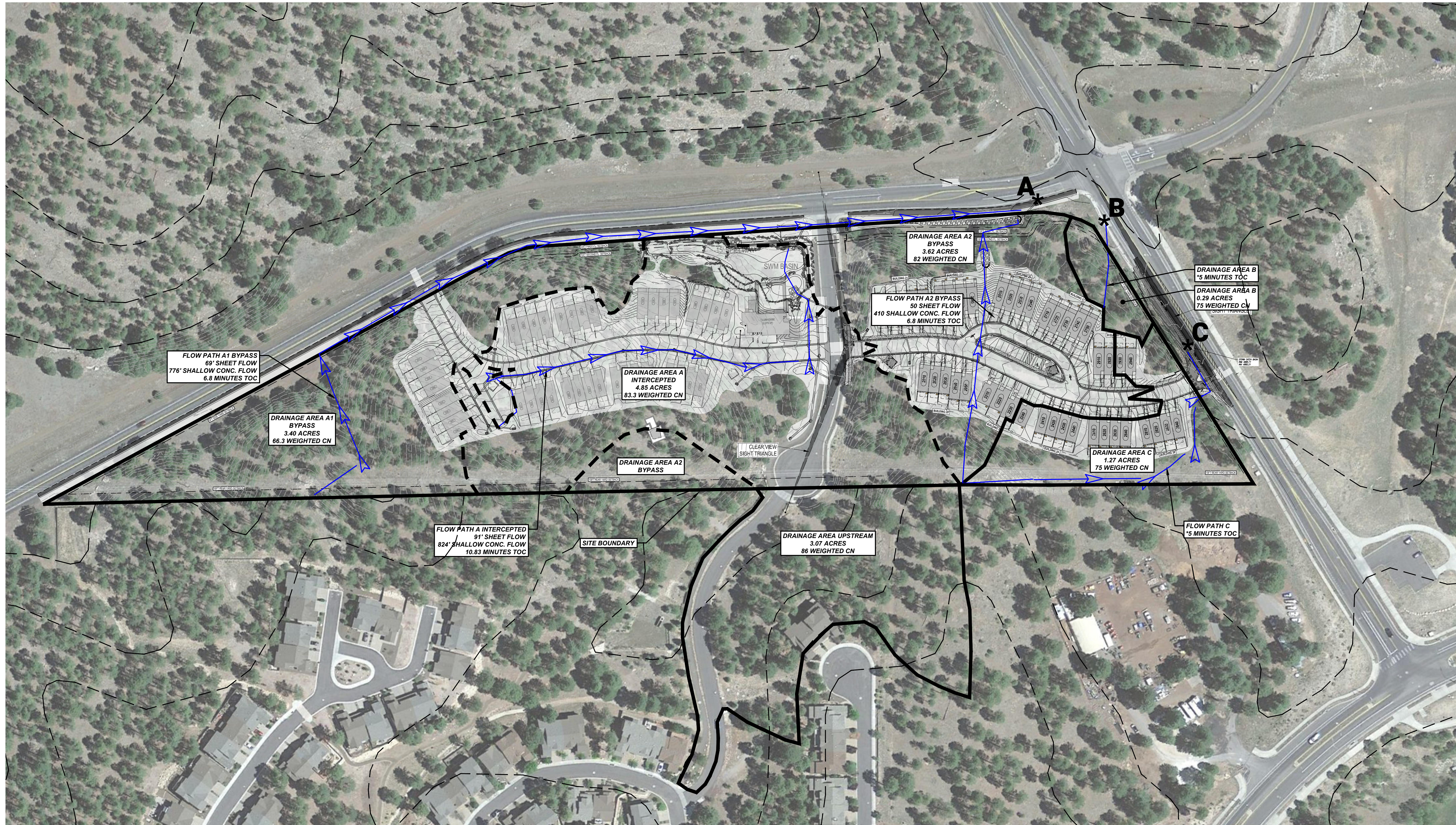
PROJECT NO.: 22004
 DATE: MAY 30, 2023
 SHEET ID: **C391** REV: 4
 SHEET 22 of 46

Drainage Area ID	Area (AC)	TOC (MIN)	10-YR (CFS)	100-YR (CFS)
A	12.19	13.20	2.78	32.74
UPSTREAM	3.07	13.20	8.16	14.71
B	0.35	5.00	1.35	3.19
C	0.90	5.00	0.82	3.19

Drainage Area ID	Total Area (ac)	Soil Map Symbol	Hydrologic Soil Group	SCS Curve Number	Area for Individual CN	Composite SCS CN
A	12.19	15A	D	75	1.50	72.23
		15B	D	75	7.27	
		13	B	53	2.50	
		Impervious		98	0.92	
UPSTREAM CAPTURE	3.07	15A	D	75	0.58	89.82
		Impervious		98	1.05	
B	0.35	15B	D	75	0.35	75
C	0.9	15B	D	75	0.9	75

STORM FREQ. (YRS)	PRECIP. (IN)
2-YR	1.92
10-YR	2.88
100-YR	4.56

NOTE:
 A MINIMUM TIME OF CONCENTRATION (TOC) OF 5 MINUTES WAS USED IN AREAS WITH A CALCULATED TOC LESS THAN 5 MINUTES



REV	DATE	DESCRIPTION
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-26-2023
2	01-18-2024	REVISED PER CITY REVIEW LETTER DATED 12-18-2023
3	03-26-2024	REVISED PER CITY REVIEW LETTER DATED 2-8-2024
4	05-02-2024	REVISED PER CITY REVIEW LETTER DATED 4-9-2024



ViewPoint Engineering
 2121 E 6th STREET, SUITE 203
 AUSTIN, TEXAS 78702
 FIRM No. F-23395
 viewpointengineering.com

OWN BY: **M TOTH**
 CHK BY: **E BEALS**

PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
 2951 S. MASONIC LANE
 COCONINO COUNTY, ARIZONA

APPLICANT: **RODG DT FLAGSTAFF PROP CO LLC**
 241 E 6TH STREET, SUITE 200, AUSTIN, TEXAS 78702

TITLE: **SITE PLAN REVIEW POST-DEVELOPMENT DRAINAGE MAP**

PROJECT NO.: 22004
 DATE: MAY 30, 2023
 SHEET ID: **C392** REV: 4
 SHEET 23 of 46

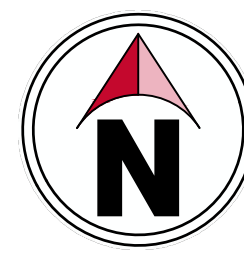
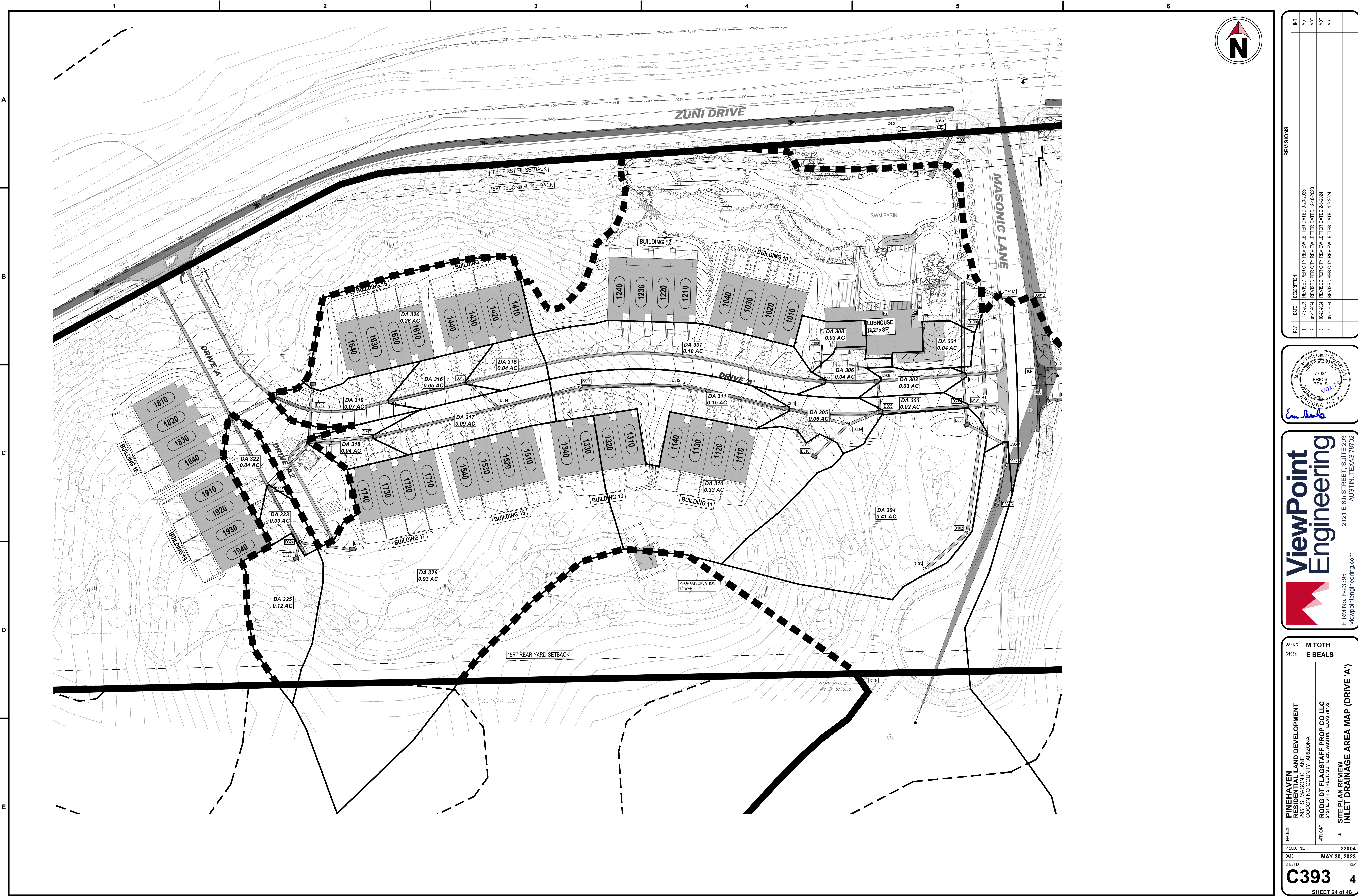
Runoff Discharge Summary Proposed Conditions				
Drainage Area ID	Area (AC)	TOC (MIN)	10-YR (CFS)	100-YR (CFS)
A	4.85	13.40	6.68	16.12
UPSTREAM	3.07	13.20	8.16	14.71
A1_BYPASS	3.40	14.20	1.69	5.97
A2_BYPASS	3.62	6.10	7.87	16.26
B	0.29	5.00	0.43	1.03
C	1.27	5.00	1.90	4.50

STORMWATER SUMMARY		
POND ELEV	STORAGE VOLUME (CF)	INTENT
6886.5	0	ROCV
6887	487	ROCV
6888	6,619	ROCV
6889	17,471	ROCV
6890	29,752	RETENTION
6891	42,802	RETENTION

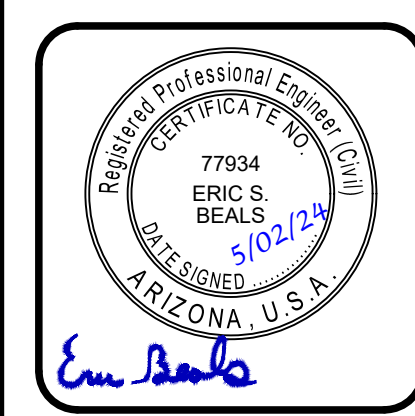
Drainage Area ID	Total Area (ac)	Soil Map Symbol	Hydrologic Soil Group	SCS Curve Number	Area for Individual CN	Composite SCS CN
A	4.85	15B	D	75	3.81	75.0
		13	B	53	0.45	
		Townhomes	92	0.59		
A1_BYPASS	3.40	15B	D	75	1.01	66.3
		13	B	53	1.80	
		Townhomes	92	0.59		
		15A	D	75	1.50	
A2_BYPASS	3.62	15B	D	75	2.45	82.0
		13	B	53	0.25	
		Townhomes	92	3.51		
		15A	D	75	0.58	
UPSTREAM CAPTURE	3.07	MASONIC LN	98	1.05	89.8	
C	0.29	15B	D	75	0.29	75.0
D	1.27	15B	D	75	1.27	75.0

STORM FREQ. (YRS)	PRECIP. (IN)
2-YR	1.92
10-YR	2.88
100-YR	4.56

NOTE:
 A MINIMUM TIME OF CONCENTRATION (TOC) OF 5 MINUTES WAS USED IN AREAS WITH A CALCULATED TOC LESS THAN 5 MINUTES

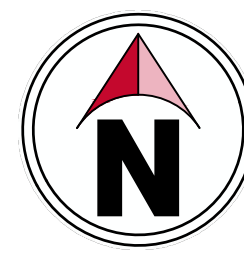
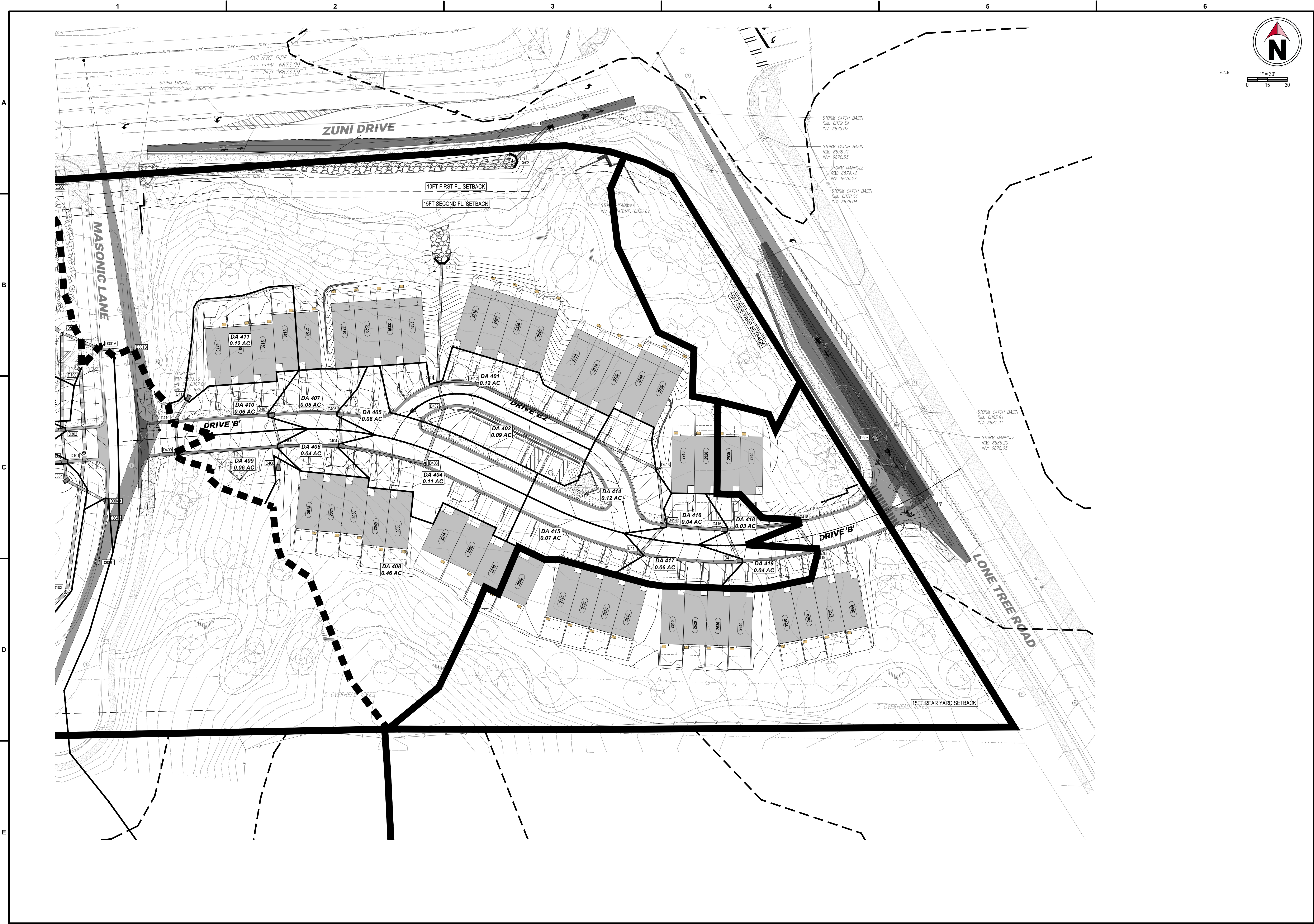


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OWN BY:	M TOTH
CHK BY:	E BEALS
PROJECT:	PINEHAVEN RESIDENTIAL LAND DEVELOPMENT 2951 S. MASONIC LANE COCONINO COUNTY, ARIZONA
APPLICANT:	RODG DT FLAGSTAFF PROP CO LLC 241 E 6TH STREET, SUITE 203, AUSTIN, TEXAS 78702
TITLE:	SITE PLAN REVIEW INLET DRAINAGE AREA MAP (DRIVE 'A')
PROJECT NO.:	22004
DATE:	MAY 30, 2023
SHEET ID:	C393
REV:	4



SCALE
1" = 30'
0 15 30

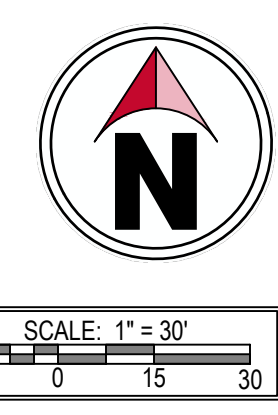
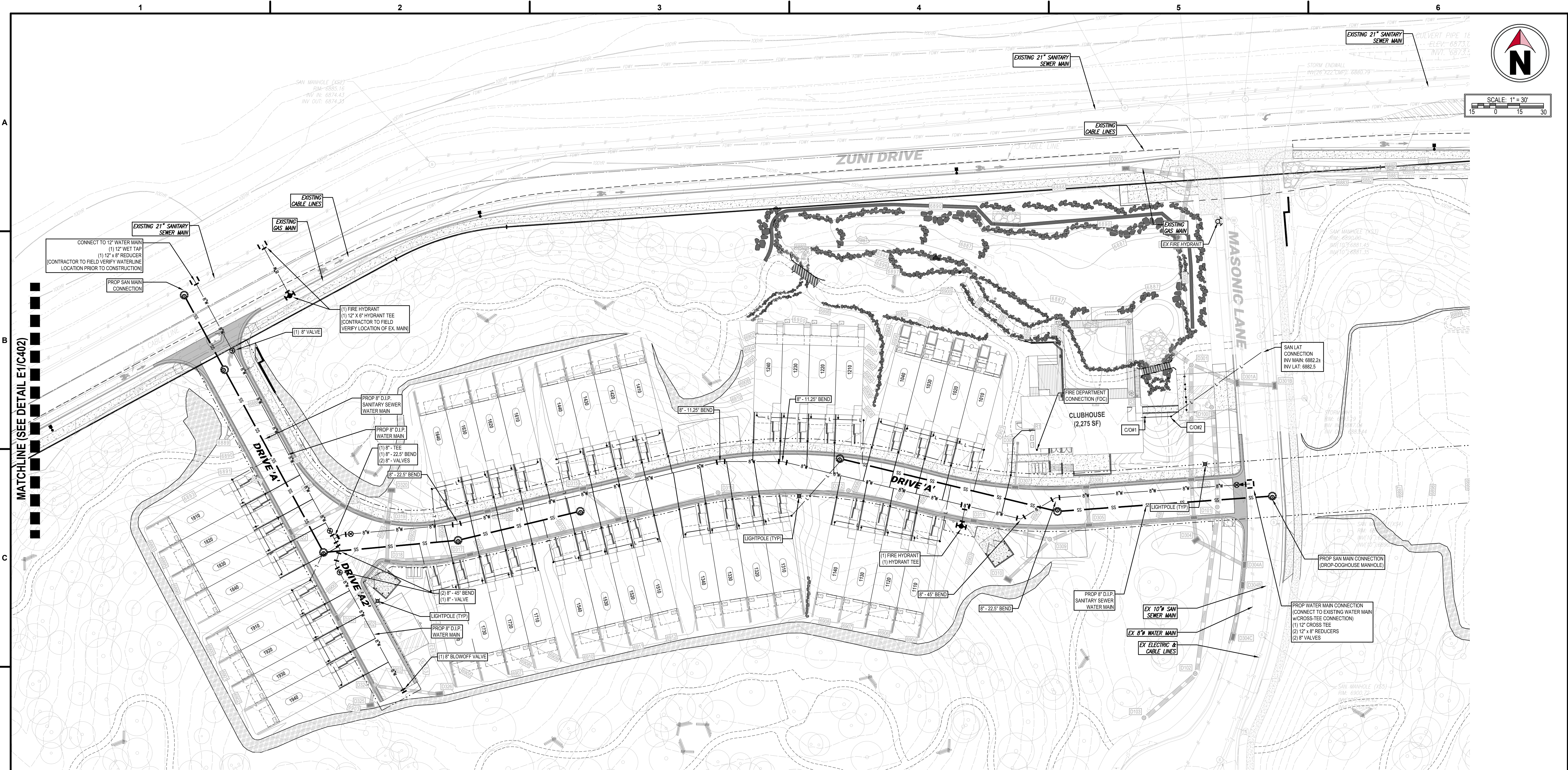
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PROJECT:	PINEHAVEN RESIDENTIAL LAND DEVELOPMENT 2951 S. MASONIC LANE COCONINO COUNTY, ARIZONA
APPLICANT:	RODG DT FLAGSTAFF PROP CO LLC 211 E 6TH STREET, SUITE 203, AUSTIN, TEXAS 78702
TITLE:	SITE PLAN REVIEW INLET DRAINAGE AREA MAP (DRIVE 'B')
PROJECT NO.:	22004
DATE:	MAY 30, 2023
SHEET ID:	REV
C394	4
SHEET 25 of 46	



MATCHLINE (SEE DETAIL E1/C402)

REV	DATE	DESCRIPTION
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-26-2023
2	01-18-2024	REVISED PER CITY REVIEW LETTER DATED 12-18-2023
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CITY OF FLAGSTAFF - WATER & SEWER NOTES
 ALL DESIGN, CONSTRUCTION, TESTING AND INSPECTION SHALL CONFORM TO THE ADEQ REQUIREMENTS. WATER DISTRIBUTION IN ACCORDANCE WITH BULLETINS 10 AND 8, AND SEWER COLLECTION IN ACCORDANCE WITH AAC TITLE 18. IN THE EVENT THE ADEQ REQUIREMENTS CONFLICT WITH THESE STANDARDS, THE MORE RESTRICTIVE SHALL APPLY.

A. ROUGH GRADING SHALL BE COMPLETED WITHIN ONE-TENTH (1/10) OF A FOOT OF PLAN GRADE AND APPROVED BY THE CITY ENGINEER'S AUTHORIZED REPRESENTATIVES PRIOR TO INSTALLATION OF UNDERGROUND UTILITIES.

B. NO TRENCH SHALL BE FILLED WITH BEDDING MATERIAL OR BACKFILL UNTIL THE EXCAVATION AND PIPE LAYING, RESPECTIVELY, HAVE BEEN APPROVED BY THE CITY ENGINEER'S AUTHORIZED REPRESENTATIVE.

C. A WATER PRESSURE TEST IS REQUIRED OF ALL WATER LINES AND A HYDROSTATIC OR AIR TEST IS REQUIRED OF ALL SEWER LINES AND MANHOLES. TESTS ARE TO BE CONDUCTED AFTER BACKFILLING IS COMPLETE AND COMPACTED ON ALL PUBLIC AND/OR PRIVATE UNDERGROUND UTILITIES.

D. WATER AND SEWER SERVICE LINES ARE TO BE MARKED AS SHOWN ON THE STANDARD SERVICE DETAILS.

E. WATER LINE DISINFECTION IS TO BE ACCOMPLISHED AS OUTLINED IN ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ) "BULLETIN NO. 8"

F. WATER PIPE CLASSIFICATION SHALL BE CLASS 305 FOR A.W.W.A. C-900 PVC AND CLASS 350 FOR DUCTILE IRON UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER. C-900 SHALL CONFORM TO CAST-IRON-EQUIVALENT DIAMETER AND HAVE ELASTOMERIC GASKETS AND COUPLINGS. ALL DUCTILE IRON PIPE SHALL BE POLYETHYLENE ENCASED WITH MAG SPECIFICATIONS.

G. ALL MATERIALS THAT COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NSF STANDARD 61 INCLUDING, BUT NOT LIMITED TO, GASKETS, LUBRICANTS, PIPE FITTINGS, AND VALVES (NSF-PW SEAL) (R18-4-1198).

H. ALL PUBLIC SANITARY SEWER LINES AND PRIVATE SEWER SERVICE LINES WITHIN A PUBLIC UTILITY EASEMENT OR RIGHT-OF-WAY WILL BE INSPECTED PRIOR TO ACCEPTANCE BY THE CITY.

I. WATER AND SEWER MAINS SHALL BE SEPARATED IN ORDER TO PROTECT PUBLIC WATER SYSTEMS FROM POSSIBLE CONTAMINATION. ALL DISTANCES ARE MEASURED PERPENDICULARLY FROM THE OUTSIDE OF THE SEWER MAIN TO THE OUTSIDE OF THE WATER MAIN. SEPARATION REQUIREMENTS ARE AS FOLLOWS:

- A WATER MAIN SHALL NOT BE PLACED:
 - WITHIN SIX (6) FEET, HORIZONTAL DISTANCE, AND LESS THAN TWO (2) FEET, VERTICAL DISTANCE, ABOVE THE TOP OF A SEWER MAIN UNLESS EXTRA PROTECTION IS PROVIDED. EXTRA PROTECTION SHALL CONSIST OF CONSTRUCTING THE SEWER MAIN WITH MECHANICAL JOINT DUCTILE IRON PIPE OR WITH SLIP-JOINT DUCTILE IRON PIPE IF JOINT RESTRAINT IS PROVIDED. ALTERNATE EXTRA PROTECTION SHALL CONSIST OF ENCASED BOTH THE WATER AND SEWER MAINS IN AT LEAST SIX (6) INCHES OF CONCRETE FOR AT LEAST TEN (10) FEET BEYOND THE AREA COVERED BY THIS SUBSECTION.
 - WITHIN TWO (2) FEET HORIZONTALLY AND TWO (2) FEET BELOW THE SEWER MAIN. WHEN A WATER MAIN IS PLACED BELOW A SEWER MAIN, EXTRA PROTECTION IS ALWAYS REQUIRED REGARDLESS OF THE VERTICAL SEPARATION.
- NO WATER PIPE SHALL PASS THROUGH OR COME INTO CONTACT WITH ANY PART OF A SEWER MANHOLE. THE MINIMUM HORIZONTAL SEPARATION BETWEEN WATER MAINS AND MANHOLES SHALL BE SIX (6) FEET, MEASURED FROM THE CENTER OF THE MANHOLE.
- THE MINIMUM SEPARATION BETWEEN FORCE MAINS OR PRESSURE SEWERS AND WATER MAINS SHALL BE TWO (2) FEET VERTICALLY AND SIX (6) FEET HORIZONTALLY UNDER ALL CONDITIONS. WHERE A SEWER FORCE MAIN CROSSES ABOVE OR LESS THAN SIX (6) FEET BELOW A WATER LINE, THE SEWER MAINS SHALL BE ENCASED IN AT LEAST SIX (6) INCHES OF CONCRETE OR CONSTRUCTED USING MECHANICAL JOINT DUCTILE IRON PIPE FOR TEN (10) FEET ON EITHER SIDE OF THE WATER MAIN.
- EVEN WHEN EXTRA PROTECTION IS UTILIZED, THE MINIMUM CLEARANCE BETWEEN WATER AND SEWER SHALL BE ONE (1) FOOT.
- THE SEPARATION REQUIREMENTS DO NOT APPLY TO BUILDING, PLUMBING, OR INDIVIDUAL HOUSE SERVICE CONNECTIONS.

J. WHEN HYDROSTATIC TESTING IS PERFORMED, SEWER LINES SHALL BE TESTED FOR INFILTRATION/FILTRATION IN ACCORDANCE WITH ADEQ ENGINEERING BULLETIN NO. 11. MANHOLES SHALL BE TESTED BY FILLING THE MANHOLE WITH WATER. THE APPLICANT SHALL ENSURE THAT THE DROP IN WATER LEVEL DOES NOT EXCEED ONE-THOUSANDTH (0.001) OF THE TOTAL MANHOLE VOLUME IN ONE (1) HOUR. WHEN AIR TESTING IS PERFORMED, SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH ASTM F1417-92. MANHOLES SHALL BE TESTED IN ACCORDANCE WITH ASTM C1244.

K. SEWER PIPE SHALL BE SDR 35, ASTM D3034 FOR PVC PIPE, OR CLASS 150 DIP LINED WITH PROTECTO 401 CERAMIC EPOXY OR HDPE ASTM F894. ALL DUCTILE IRON PIPELINES SHALL BE POLYETHYLENE ENCASED IN ACCORDANCE WITH MAG SPECIFICATIONS. SPECIAL DESIGN CONSIDERATIONS MAY REQUIRE A HIGHER CLASS RATING OF DIP.

L. NO WATER SETTLING OF TRENCH FILL MATERIAL IS ALLOWED.

M. ALL WATER AND SEWER DESIGN AND CONSTRUCTION SHALL CONFORM TO THE CURRENT ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY (ADEQ) REQUIREMENTS. WHEN ADEQ REQUIREMENTS ARE IN CONFLICT WITH THESE STANDARDS, THE MORE RESTRICTIVE SHALL APPLY.

N. TRACER WIRES AND TAPES SHALL BE INSTALLED PRIOR TO TESTING THE WATER OR SEWER MAIN AS REQUIRED BY SECTION 13-08-001-0002 (STRIP WIRE TWO (2) INCHES AT TERMINATION OF THE SERVICE.)

O. WATER VALVES SHALL BE ADJUSTED IN ACCORDANCE WITH CITY OF FLAGSTAFF ENGINEERING DETAIL NO. 9-03-060 AND MANHOLES SHALL BE ADJUSTED IN ACCORDANCE WITH CITY OF FLAGSTAFF ENGINEERING DETAIL NO. 9-03-062.

P. ONE HUNDRED PERCENT (100%) OF THE SEWER LINE SHALL BE TESTED FOR UNIFORM SLOPE BY REMOTE CAMERA AND TESTED FOR SHORT-TERM DEFLECTION.

Q. THE LOCATION OF WATER SERVICES SHALL BE IDENTIFIED BY BRANDING A "W" ON THE TOP OR FACE OF CURB.

R. SEWER SERVICE LOCATIONS SHALL BE IDENTIFIED BY BRANDING AN "S" ON THE TOP OR FACE OF THE CURB. (ORD. 2017-22, REP&REN. 07/05/2017)

WATER/SEWER DEMAND SCHEDULE

LAND USE	CRITERIA [1]	# UNITS	ESTIMATE WATER DEMAND [2]			ESTIMATE WASTEWATER DEMAND [2]	
			PEAK FLOW PER UNIT (GPCD)	MAXIMUM DAILY CONSUMPTION (GPD)	PEAK FLOW RATE (GPM)	AVERAGE DRY-WEATHER FLOW (GPCD)	ESTIMATED DAILY FLOW (GPCD)
RESIDENTIAL SINGLE-FAMILY (TH-MEDIUM DENSITY)	3.5 PERSONS / DWELLING UNIT	83	250	72,625	50.4	75	21,787.5

[1] PER TABLE 13-09-003-01 AVERAGE POPULATION DENSITY
 [2] PER TABLE 13-09-003-02 WATER DEMAND CRITERIA

LEGEND

- PROPERTY BOUNDARY
- LEGAL RIGHT-OF-WAY
- ULTIMATE RIGHT-OF-WAY
- ROAD/RIGHT-OF-WAY CENTER LINE
- EASEMENT LINE
- APPROX. 100YR FEMA/RURAL FLOODPLAIN ZONE AE BOUNDARY
- APPROX. FEMA FLOODWAY BOUNDARY
- FENCE LINE
- EDGE OF ASPHALT
- EDGE OF DIRT/GRAVEL
- EX. SANITARY SEWER MAIN
- EX. STORM PIPE
- EX. UNDERGROUND ELECTRIC SERVICE LINE
- EX. OVERHEAD WIRE
- EX. GAS SERVICE MAIN
- EX. TELEPHONE/COMMUNICATIONS LINE
- EX. WATER MAIN
- EX. CONTOUR ELEVATION LINE
- PROP 8" WATER MAIN
- PROP 8" WATER MAIN
- PROP SAN LATERAL
- PROP SAN SEWER MAIN
- PROPERTY MONUMENT FOUND

SYMBOL LEGEND

- ⊗ EX. STORM CATCH BASIN / MANHOLE
- ⊕ EX. WATER VALVE
- ⊕ EX. FIRE HYDRANT
- ⊕ EX. TELECOMM BOX
- ⊕ EX. SANITARY MANHOLE
- ⊕ EX. UTILITY POLE w/GUY ANCHOR
- ⊕ EX. ELECTRIC BOX
- ⊕ EX. LIGHT POLE
- ⊕ EX. BOLLARD
- ⊕ EX. GAS VALVE / LINE MARKER
- ⊕ EX. SIGN
- ⊕ EX. CONCRETE PAVEMENT
- ⊕ SURVEY CONTROL POINT
- ⊕ PROPERTY CORNER
- ⊕ PROPERTY MONUMENT FOUND
- ⊕ EX. TREES
- ⊕ PROP FIRE HYDRANT
- ⊕ PROP WATER VALVE
- ⊕ PROP LIGHT POLE

Call Arizona 811 at least two full working days before you begin excavation

ARIZONA 811
 BLUE STAKE INC.

Call 811 or click Arizona811.org

LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND BASED ON OBSERVABLE SURFACE FEATURES ONLY. THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND DETERMINE THE EXACT LOCATION OF ALL UTILITIES. CONTRACTOR RESPONSIBLE FOR ANY AND ALL DAMAGES INCURRED BY FAILURE TO LOCATE UTILITIES.

OWN BY: **M TOTH**
 CHK BY: **E BEALS**

PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
 2951 S. MASONIC LANE
 COCONINO COUNTY, ARIZONA

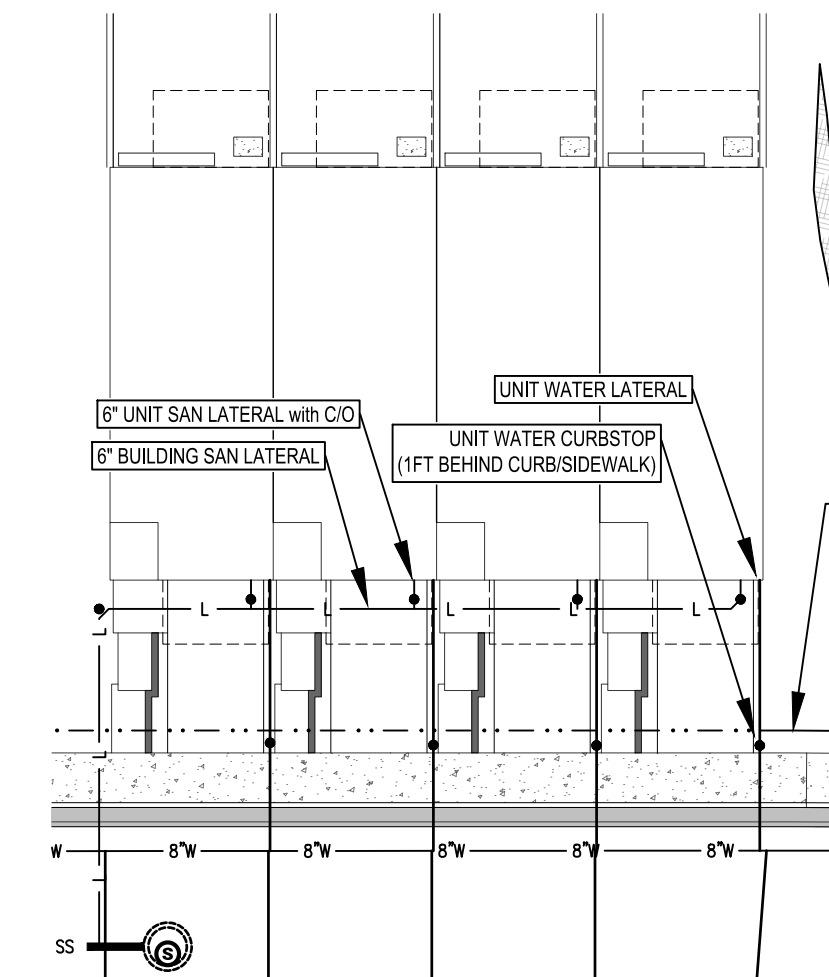
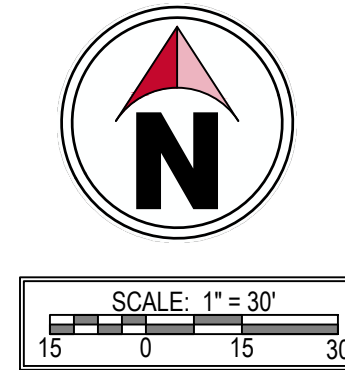
APPLICANT: **RODG DT FLAGSTAFF PROP CO LLC**
 2121 E 6th STREET, SUITE 203, AUSTIN, TEXAS 78702

PROJECT NO.: **22004**
 DATE: **MAY 30, 2023**

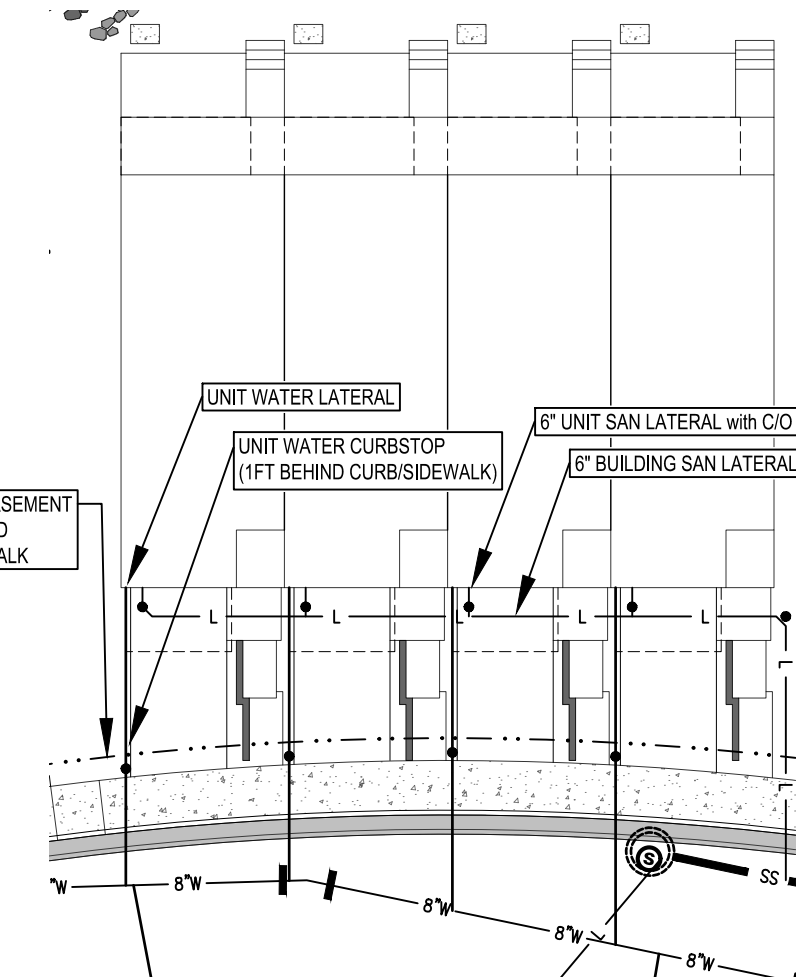
SHEET ID: **C401** REV: **4**

TITLE: **SITE PLAN REVIEW PHASE 1 UTILITY PLAN (1 OF 2)**

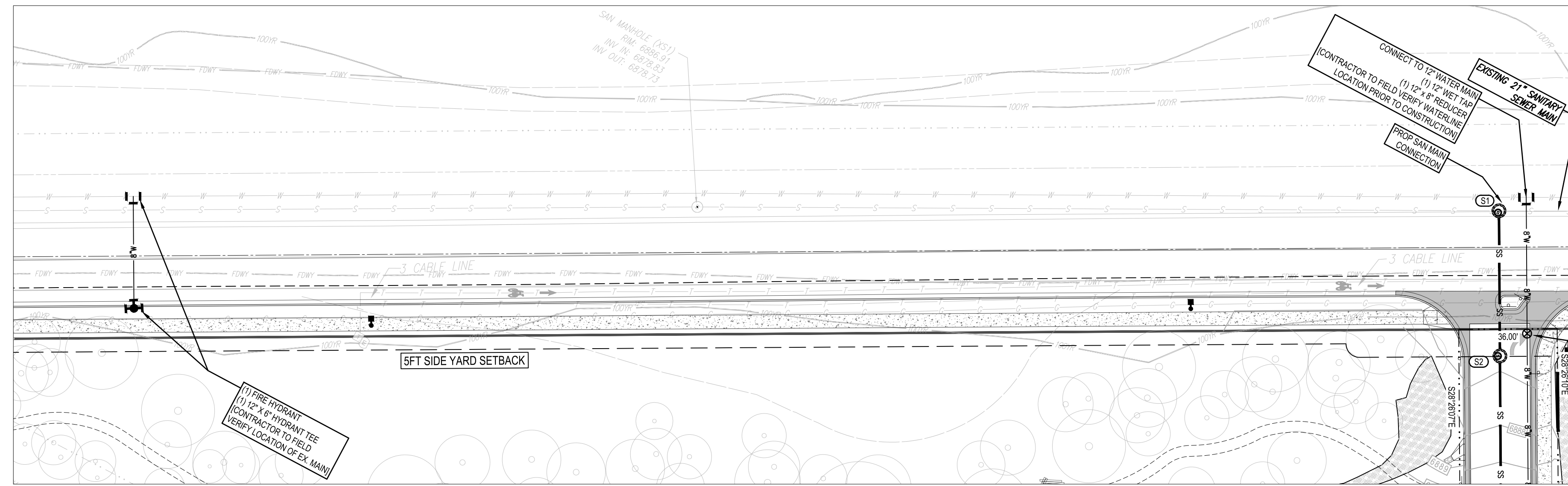
SHEET 26 of 46



B5 PONDEROSA UNIT
(TYP UTILITY CONNECTIONS)
NOT TO SCALE



B6 ASPEN UNIT
(TYP UTILITY CONNECTIONS)
NOT TO SCALE



E1 ZUNI DRIVE WATER MAIN / FIRE HYDRANT LOCATION
NOT TO SCALE

LEGEND

- PROPERTY BOUNDARY
- - - LEGAL RIGHT-OF-WAY
- - - ULTIMATE RIGHT-OF-WAY
- - - ROAD/RIGHT-OF-WAY CENTER LINE
- - - EASEMENT LINE
- - - APPROX. 100YR FEMA/RURAL FLOODPLAIN ZONE AE BOUNDARY
- - - APPROX. FEMA FLOODWAY BOUNDARY
- - - FENCE LINE
- - - EDGE OF ASPHALT
- - - EDGE OF DIRT/GRAVEL
- - - EX. SANITARY SEWER MAIN
- - - EX. STORM PIPE
- - - EX. UNDERGROUND ELECTRIC SERVICE LINE
- - - EX. OVERHEAD WIRE
- - - EX. GAS SERVICE MAIN
- - - EX. TELEPHONE/COMMUNICATIONS LINE
- - - EX. WATER MAIN
- - - EX. CONTOUR ELEVATION LINE
- - - PROP 8\"/>
- - - PROP 8\"/>
- - - PROP SAN LATERAL
- - - PROP SAN SEWER MAIN
- - - PROPERTY MONUMENT FOUND

SYMBOL LEGEND

- ⊞ EX. STORM CATCH BASIN / MANHOLE
- ⊞ EX. WATER VALVE
- ⊞ EX. FIRE HYDRANT
- ⊞ EX. TELECOMM BOX
- ⊞ EX. SANITARY MANHOLE
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- ⊞ EX. CONCRETE PAVEMENT
- ⊞ SURVEY CONTROL POINT
- ⊞ PROPERTY CORNER
- ⊞ PROPERTY MONUMENT FOUND
- ⊞ EX. TREES
- ⊞ PROP FIRE HYDRANT
- ⊞ PROP WATER VALVE
- ⊞ PROP LIGHT POLE

REV	DATE	DESCRIPTION
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PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
2951 S. MASONIC LANE
COCONINO COUNTY, ARIZONA

APPLICANT: **RODG DT FLAGSTAFF PROP CO LLC**
211 E 6th STREET, SUITE 203, AUSTIN, TEXAS 78702

TITLE: **SITE PLAN REVIEW PHASE 1 UTILITY PLAN (2 OF 2)**

PROJECT NO.: **22004**
DATE: **MAY 30, 2023**

SHEET ID: **C402**
REV: **4**

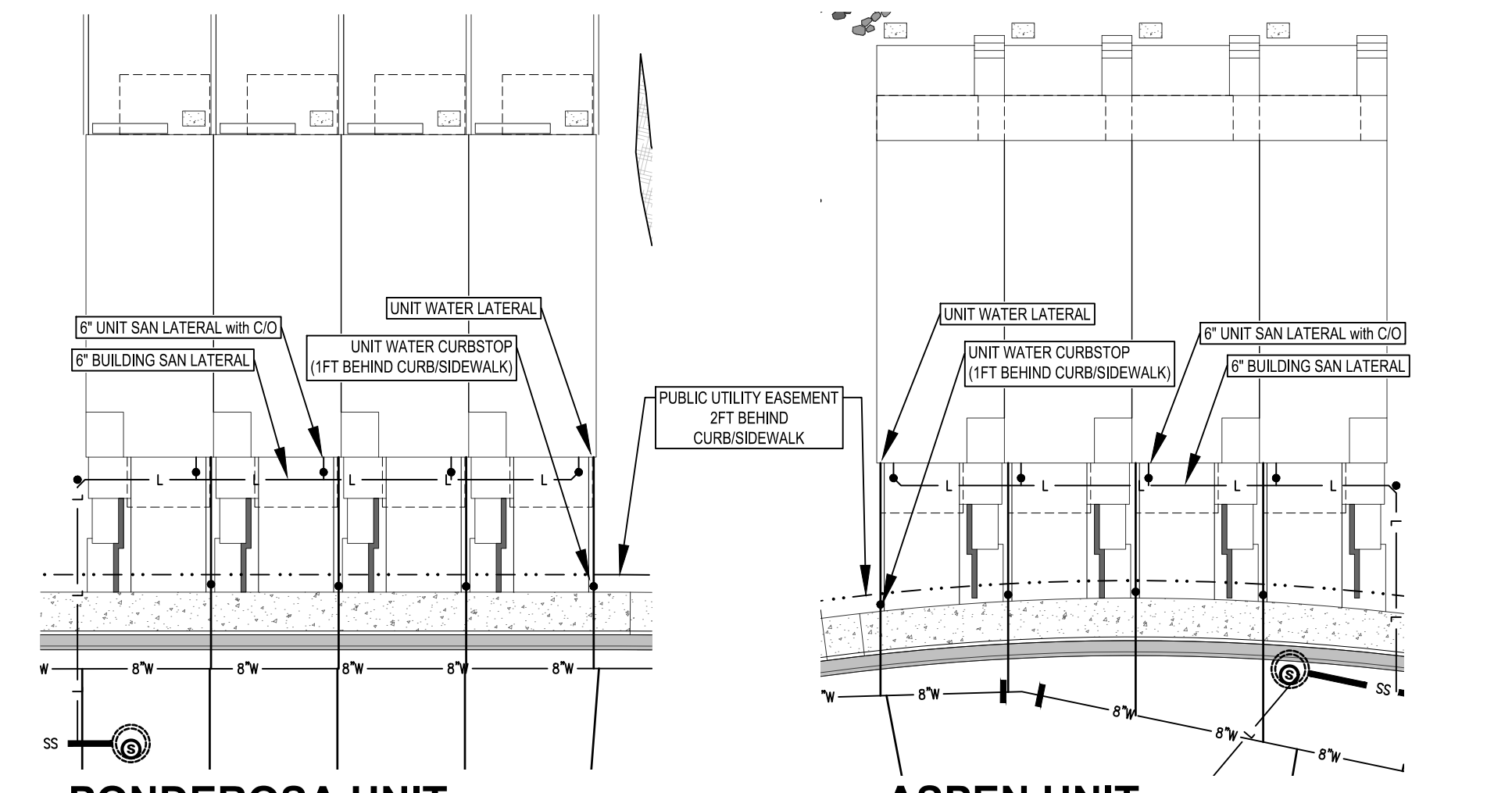
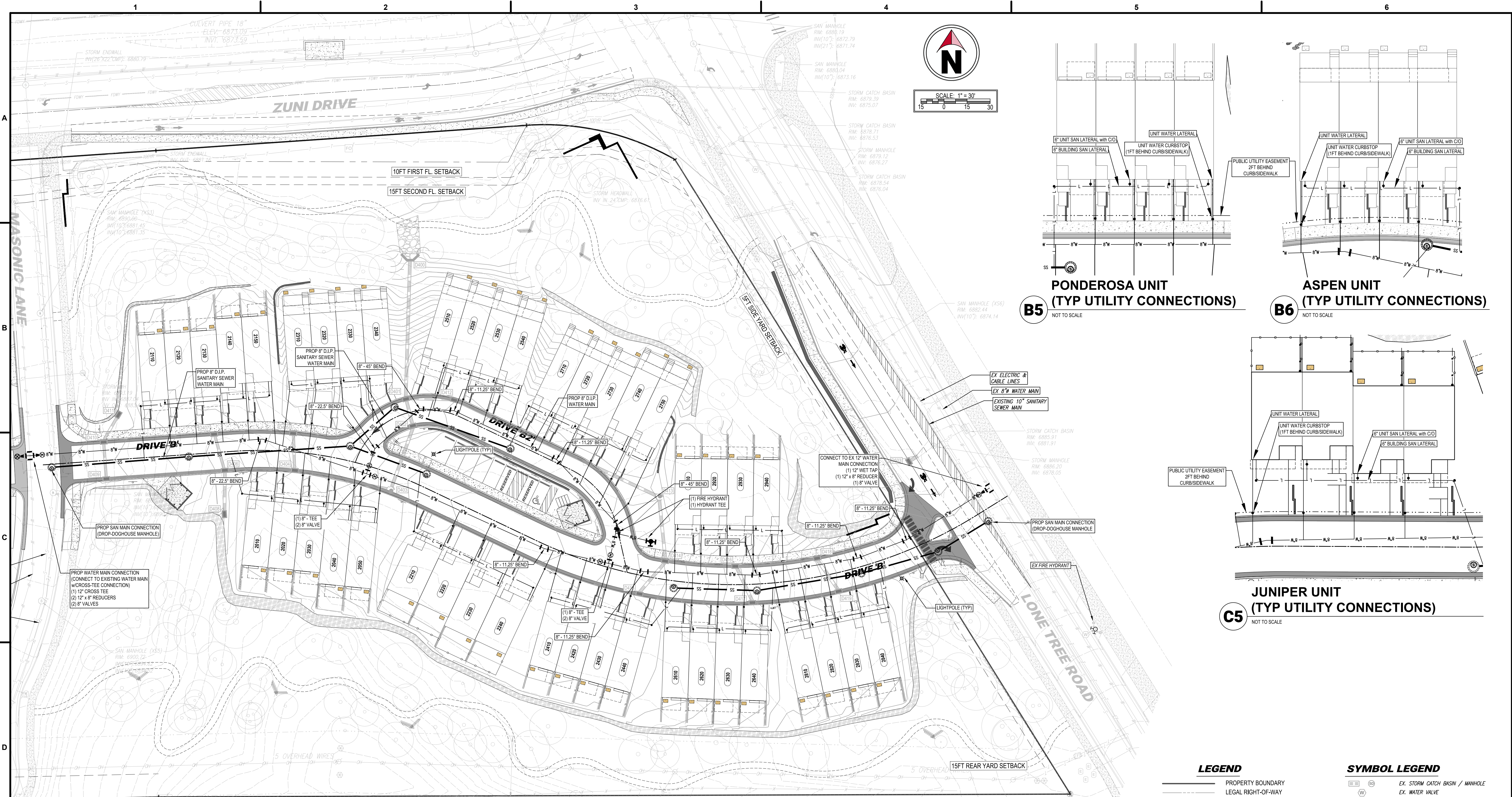
SHEET 27 of 46

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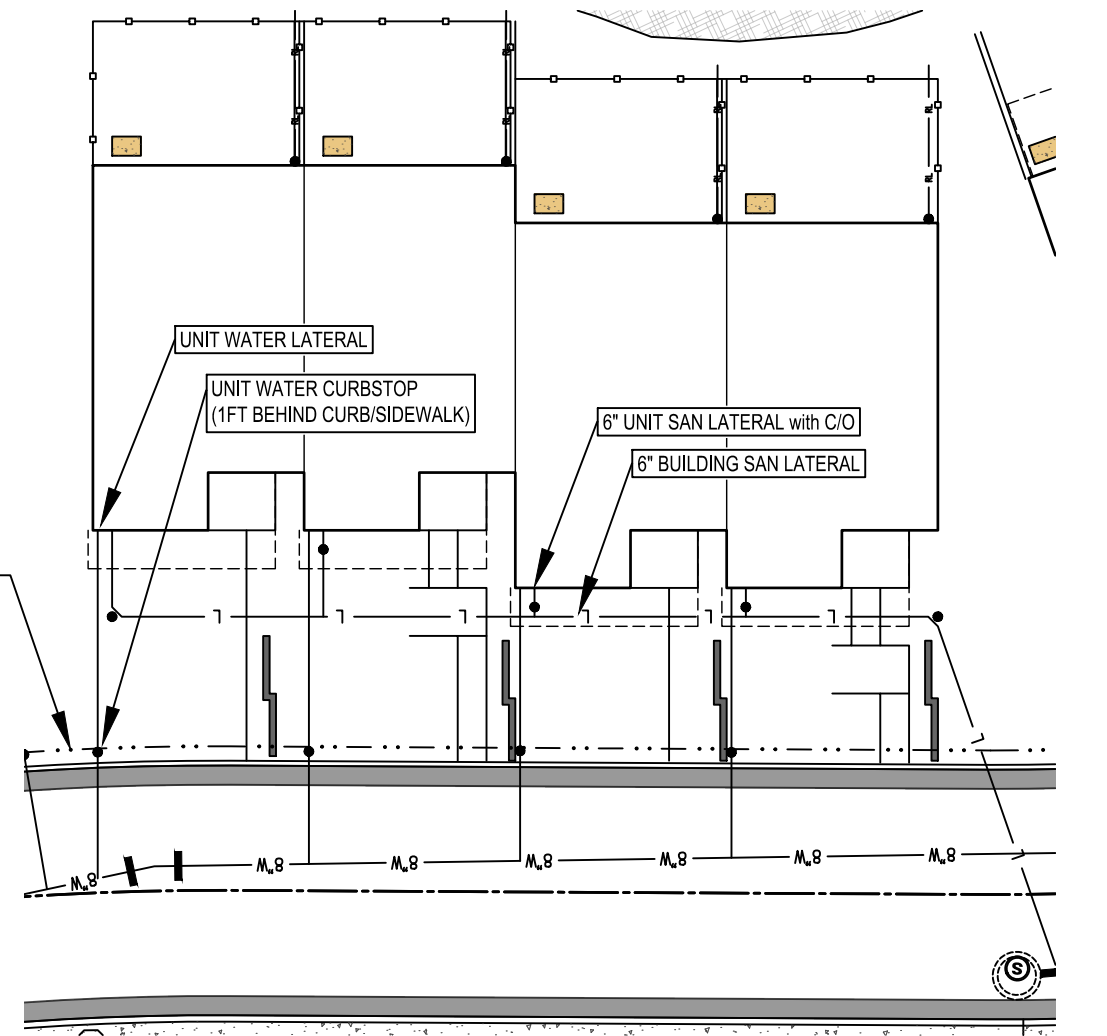
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PONDEROSA UNIT (TYP UTILITY CONNECTIONS)
B5 NOT TO SCALE

ASPEN UNIT (TYP UTILITY CONNECTIONS)
B6 NOT TO SCALE



JUNIPER UNIT (TYP UTILITY CONNECTIONS)
C5 NOT TO SCALE

- LEGEND**
- PROPERTY BOUNDARY
 - - - LEGAL RIGHT-OF-WAY
 - - - ULTIMATE RIGHT-OF-WAY
 - - - ROAD/RIGHT-OF-WAY CENTER LINE
 - - - EASEMENT LINE
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- SYMBOL LEGEND**
- ⊕ EX. STORM CATCH BASIN / MANHOLE
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 - ⊕ EX. BOLLARD
 - ⊕ EX. GAS VALVE / LINE MARKER
 - ⊕ EX. SIGN
 - ⊕ EX. CONCRETE PAVEMENT
 - ⊕ SURVEY CONTROL POINT
 - ⊕ PROPERTY CORNER
 - ⊕ PROPERTY MONUMENT FOUND
 - ⊕ EX. TREES
 - ⊕ PROP FIRE HYDRANT
 - ⊕ PROP WATER VALVE
 - ⊕ PROP LIGHT POLE

REV	DATE	DESCRIPTION
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-26-2023
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ViewPoint Engineering
2121 E 6th STREET, SUITE 203
AUSTIN, TEXAS 78702

FIRM No. F-23395
viewpointengineering.com

OWN BY: **M TOTH**
CHK BY: **E BEALS**

PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
2951 S. MASONIC LANE
COCONINO COUNTY, ARIZONA

APPLICANT: **RODG DT FLAGSTAFF PROP CO LLC**
241 E 6TH STREET, SUITE 203, AUSTIN, TEXAS 78702

TITLE: **SITE PLAN REVIEW PHASE 2 UTILITY PLAN**

PROJECT NO.: 22004
DATE: MAY 30, 2023
SHEET ID: C403
REV: 4

SHEET 27 of 46

Contact Arizona 811 at least two full working days before you begin excavation

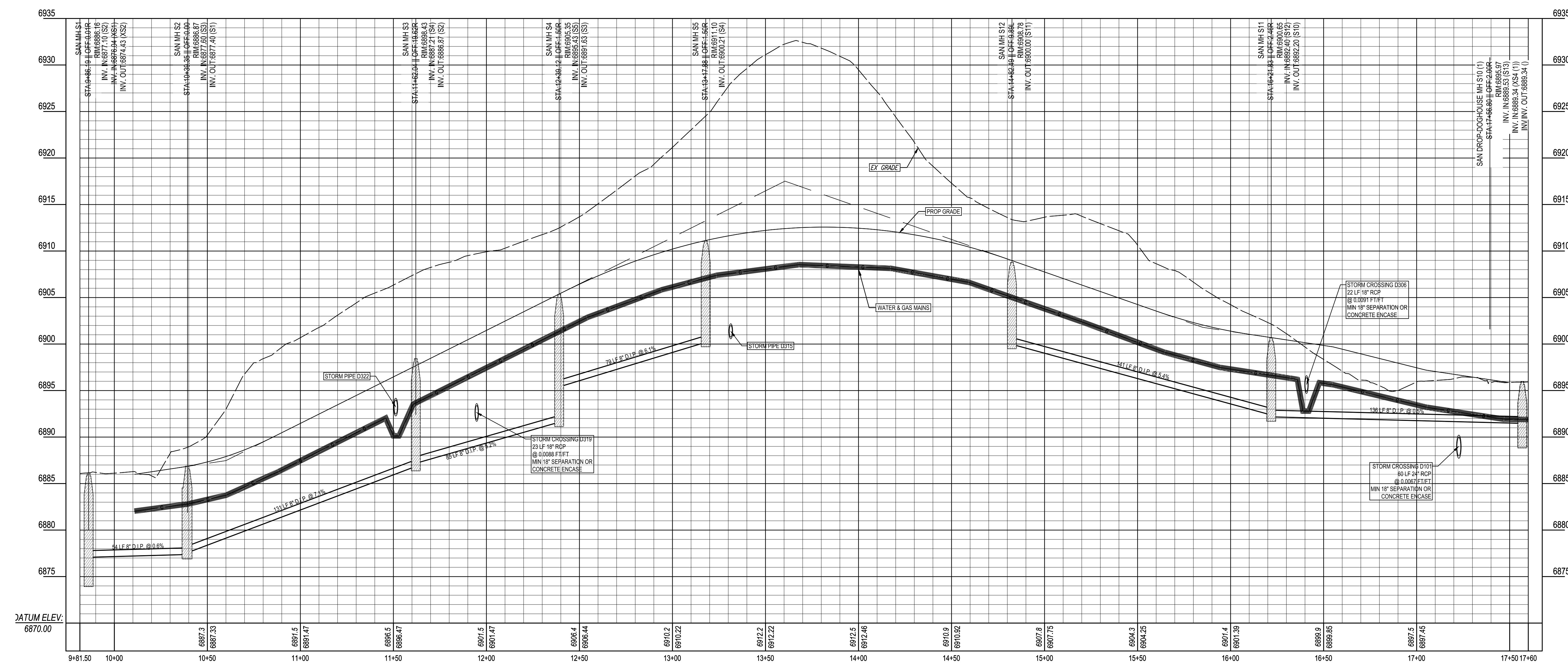
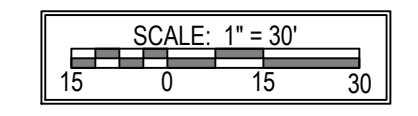
ARIZONA 811
BLUE STAKE, INC.

Call 811 or click Arizona811.org

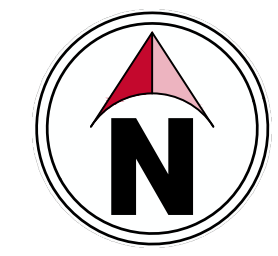
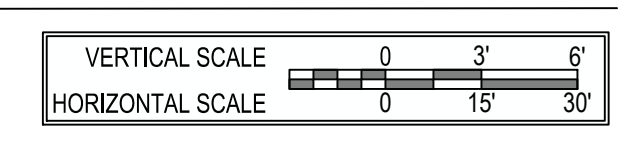
LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND BASED ON OBSERVABLE SURFACE FEATURES ONLY. THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND DETERMINE THE EXACT LOCATION OF ALL UTILITIES. CONTRACTOR RESPONSIBLE FOR ANY AND ALL DAMAGES INCURRED BY FAILURE TO LOCATE UTILITIES.



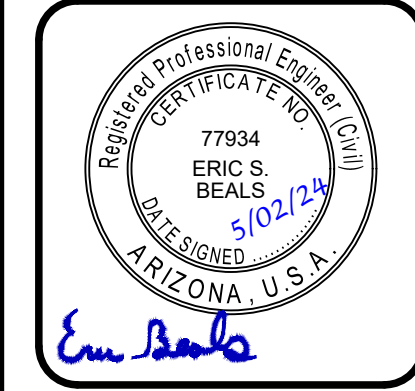
B1 PLAN VIEW: DRIVE 'A'
SCALE: 1" = 30'



E1 PROFILE VIEW: DRIVE 'A'
SCALE: (H) 1" = 30' | (V) 1" = 6'



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2121 E 6th STREET, SUITE 203
AUSTIN, TEXAS 78702
FIRM No. F-23395
viewpointengineering.com

OWN BY: **M TOTH**
CHK BY: **E BEALS**

PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
2951 S. MASONIC LANE
COCONINO COUNTY, ARIZONA

APPLICANT: **RODG DT FLAGSTAFF PROP CO LLC**
211 E 6TH STREET, SUITE 203, AUSTIN, TEXAS 78702

TITLE: **SITE PLAN REVIEW UTILITY PLAN & PROFILE (DRIVE 'A')**

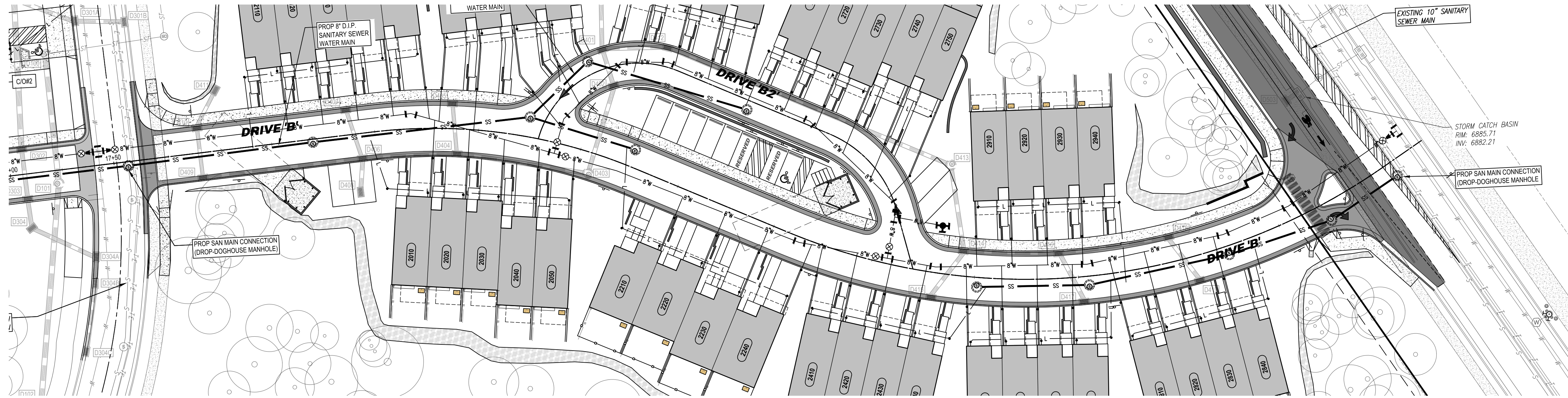
PROJECT NO.: 22004
DATE: MAY 30, 2023
SHEET ID: C410
REV: 4

SHEET 29 of 46

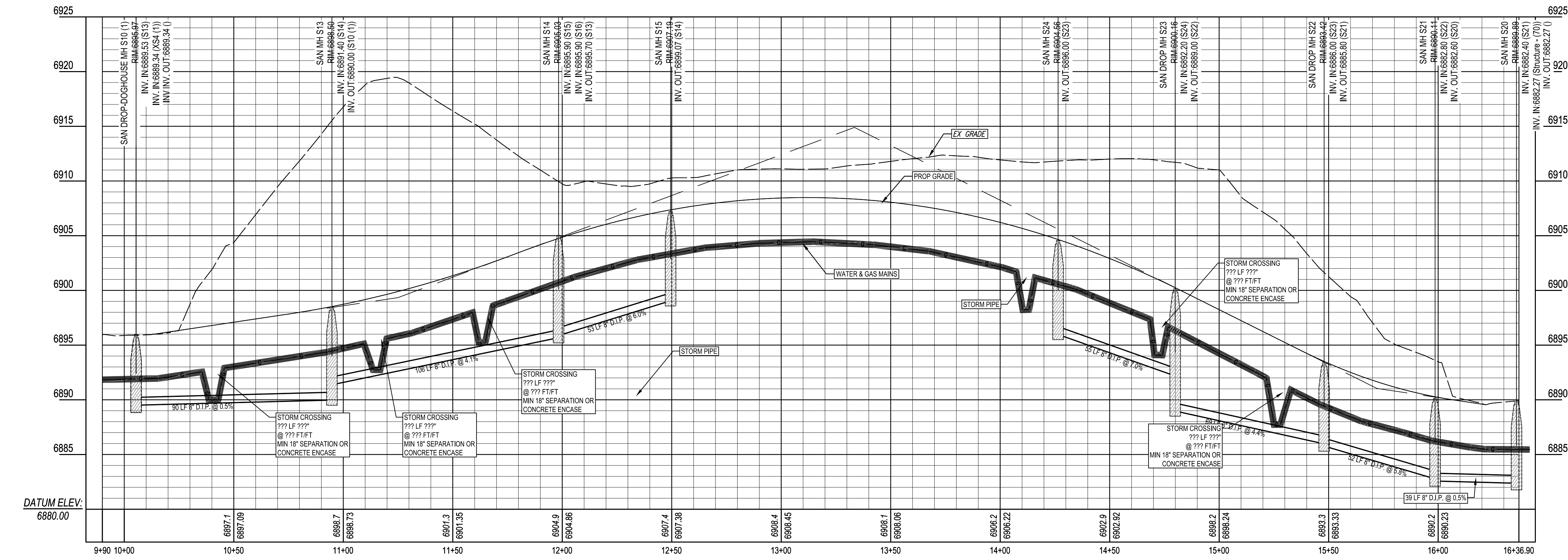
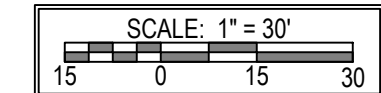
Contact Arizona 811 at least two full working days before you begin excavation

Call 811 or click Arizona811.org

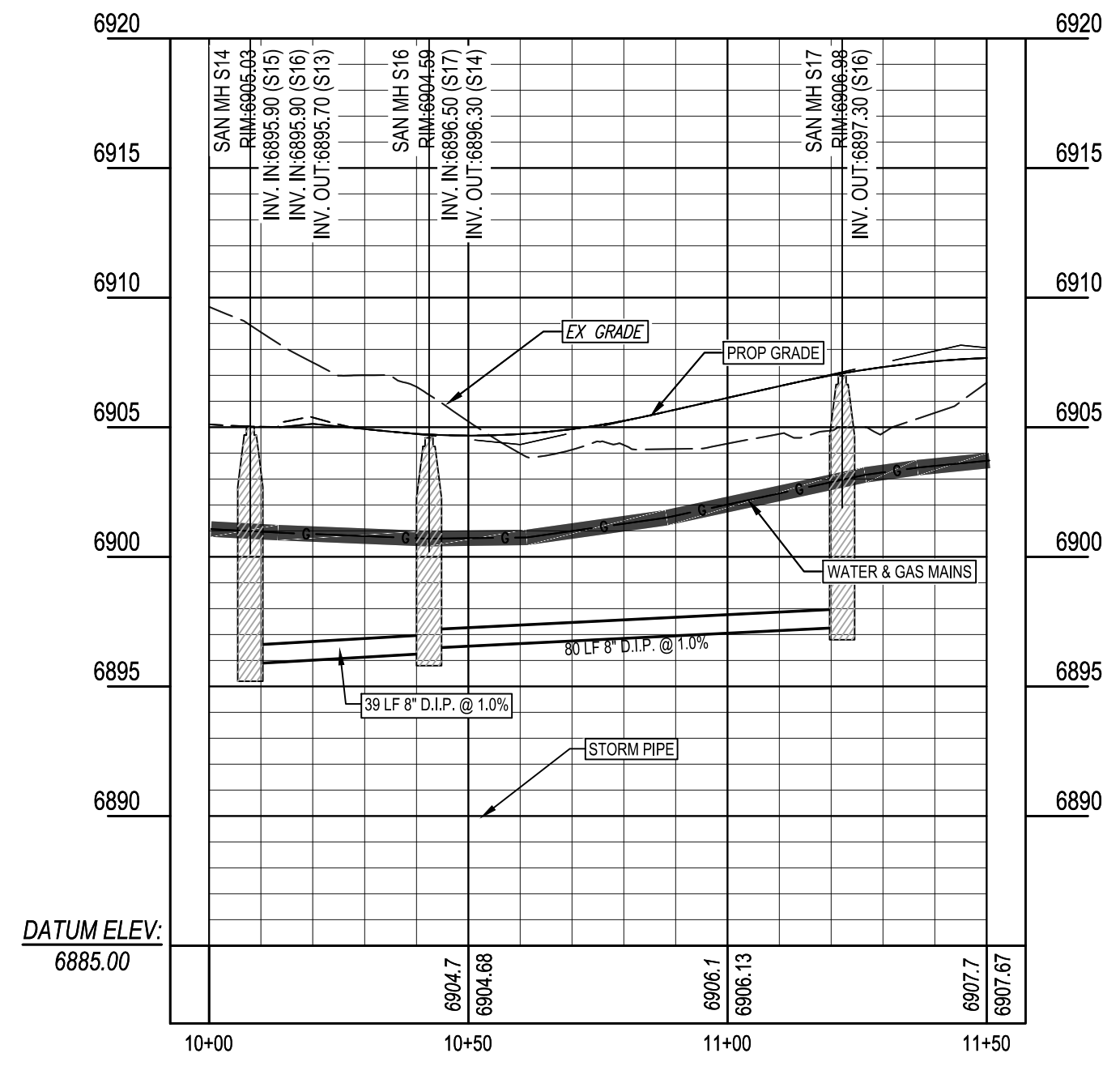
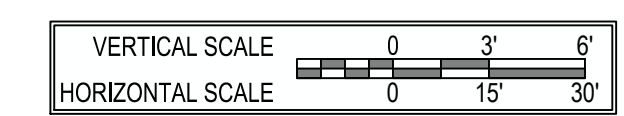
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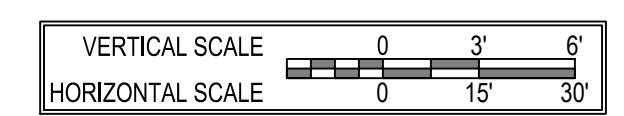
B1 PLAN VIEW: DRIVE 'A'
SCALE: 1" = 30'



D1 PROFILE VIEW: DRIVE 'A'
SCALE: (H) 1" = 30' || (V) 1" = 6'



D5 PROFILE VIEW: DRIVE 'A'
SCALE: (H) 1" = 30' || (V) 1" = 6'



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AUSTIN, TEXAS 78702
FIRM No. F-23395
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OWN BY: **M TOTH**
CHK BY: **E BEALS**

PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
2951 S. MASONIC LANE
COCONINO COUNTY, ARIZONA

APPLICANT: **RODG DT FLAGSTAFF PROP CO LLC**
211 E 6TH STREET, SUITE 203, AUSTIN, TEXAS 78702

TITLE: **SITE PLAN REVIEW & PROFILE UTILITY PLAN (DRIVE 'B')**

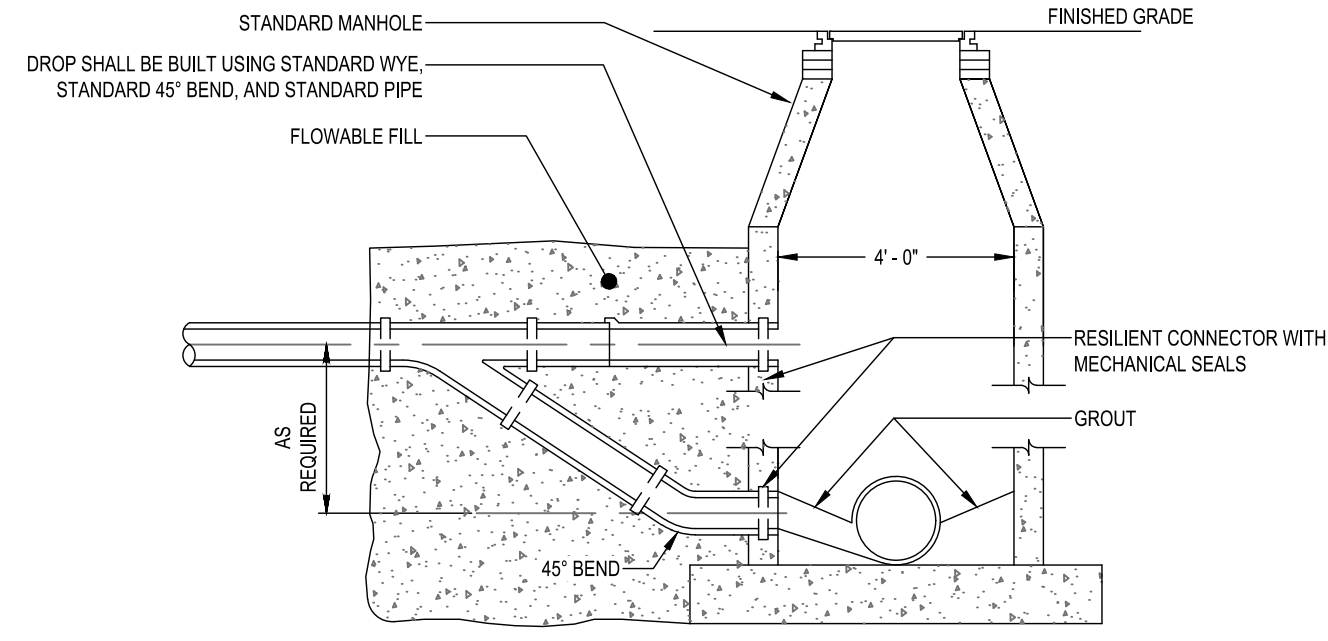
PROJECT NO.: 22004
DATE: MAY 30, 2023
SHEET ID: C411
REV: 4

SHEET 30 of 46

Contact Arizona 811 at least two full working days before you begin excavation

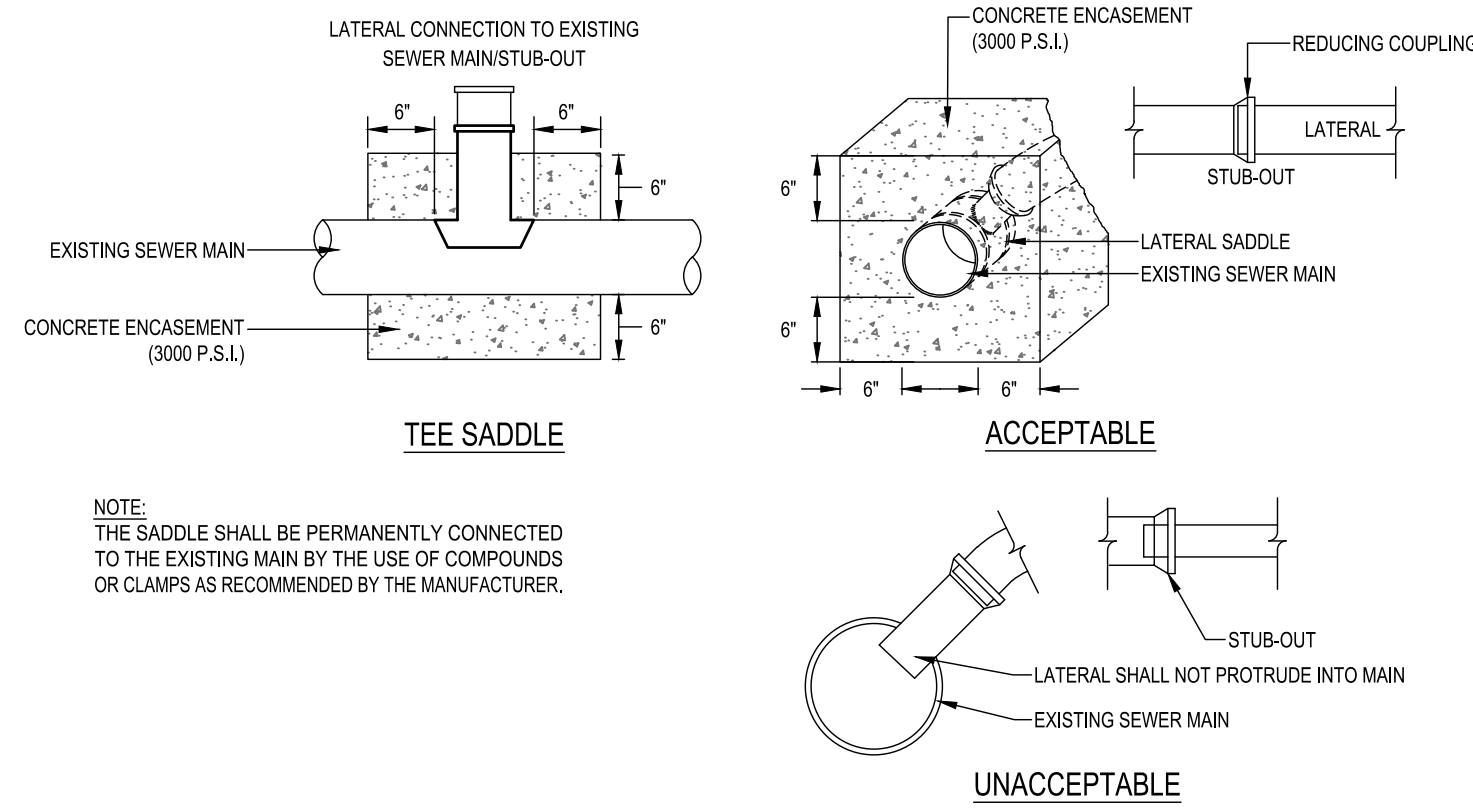
Call 811 or click Arizona811.org

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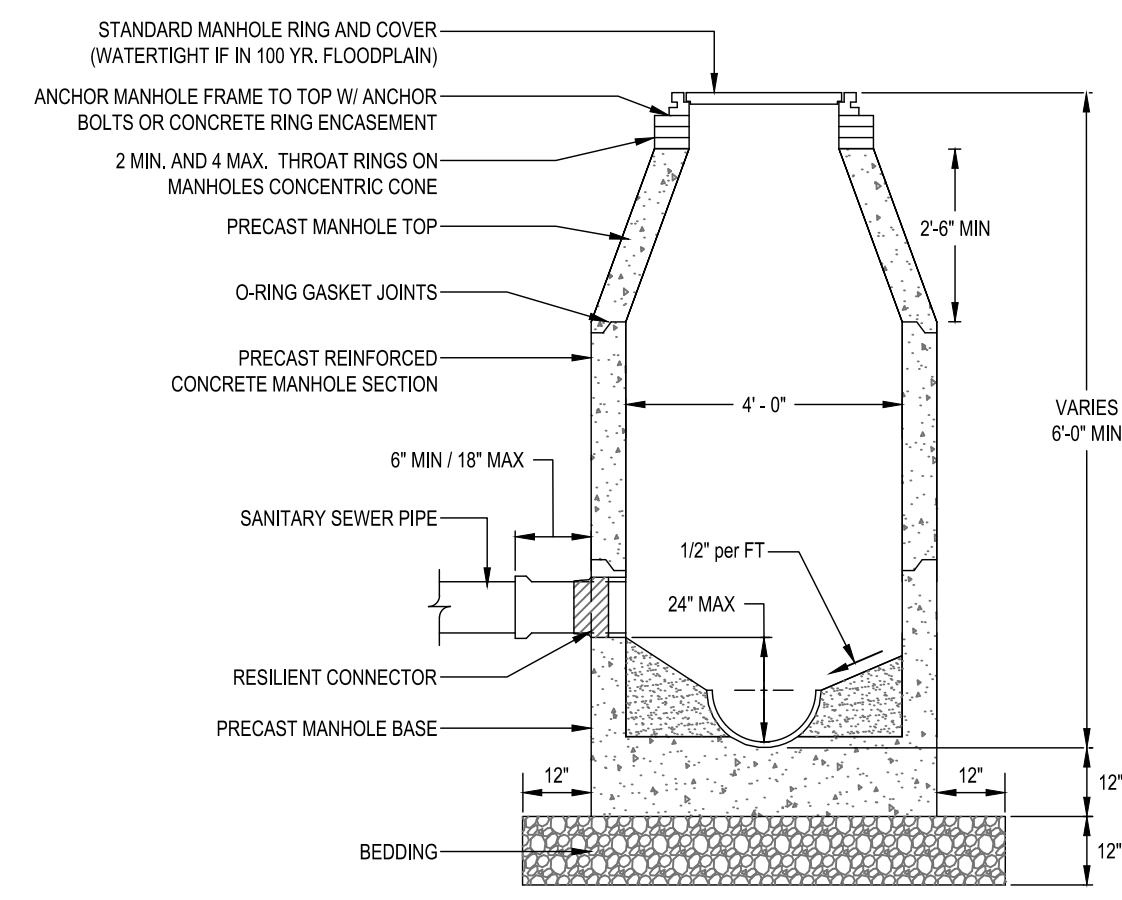
B1 SANITARY DROP MANHOLE CONNECTION

NOT TO SCALE



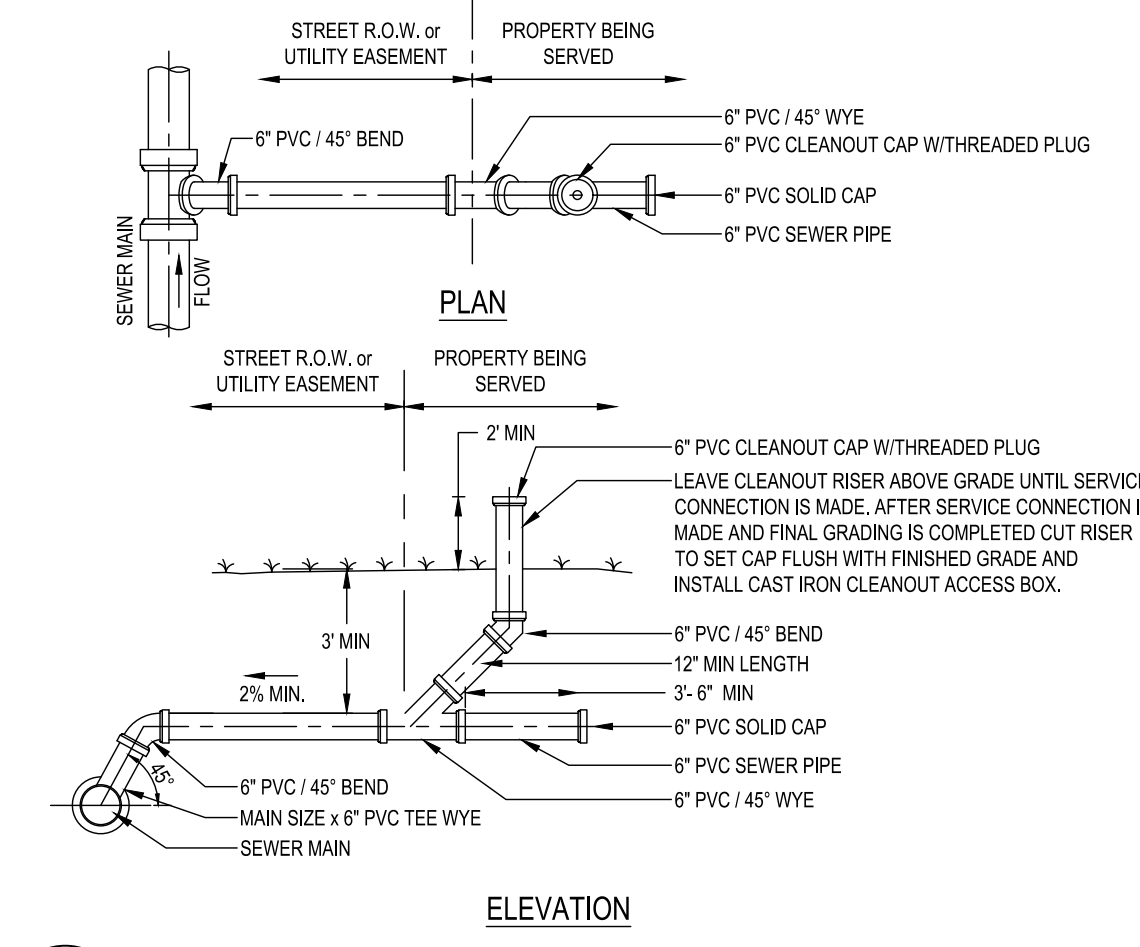
B2 SANITARY LATERAL CONNECTION

NOT TO SCALE



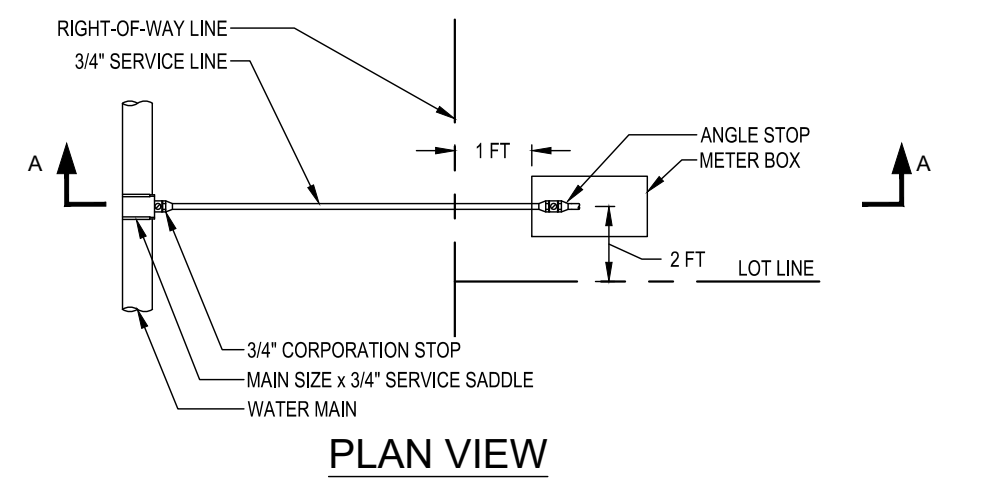
B4 SANITARY MANHOLE (4' DIA.)

NOT TO SCALE

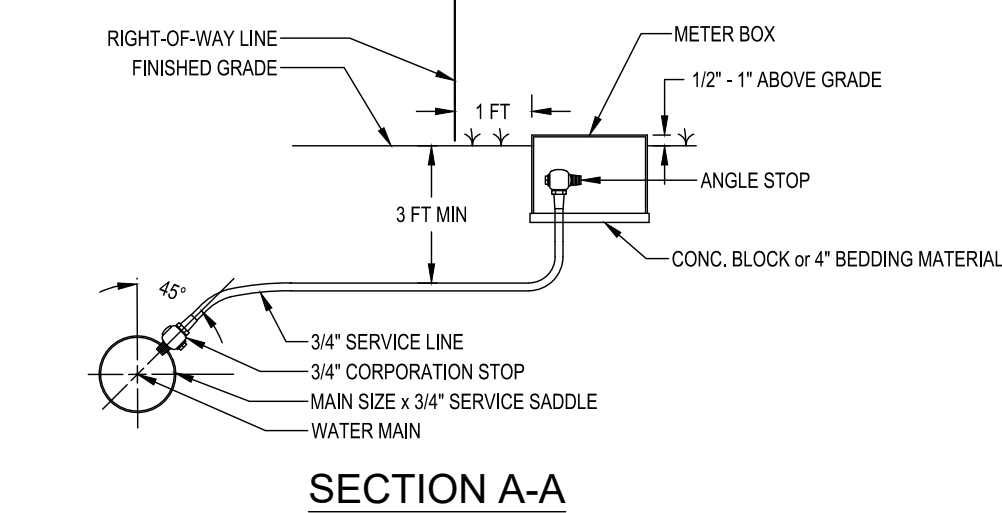


B5 SANITARY SERVICE LATERAL

NOT TO SCALE



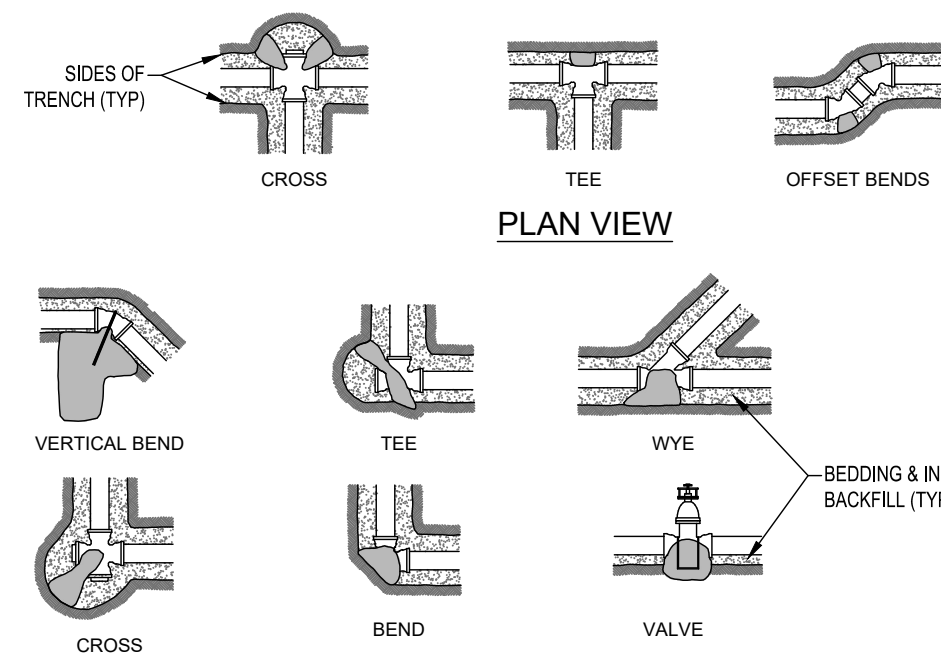
PLAN VIEW



SECTION A-A

C1 3/4" WATER SERVICE CONNECTION

NOT TO SCALE



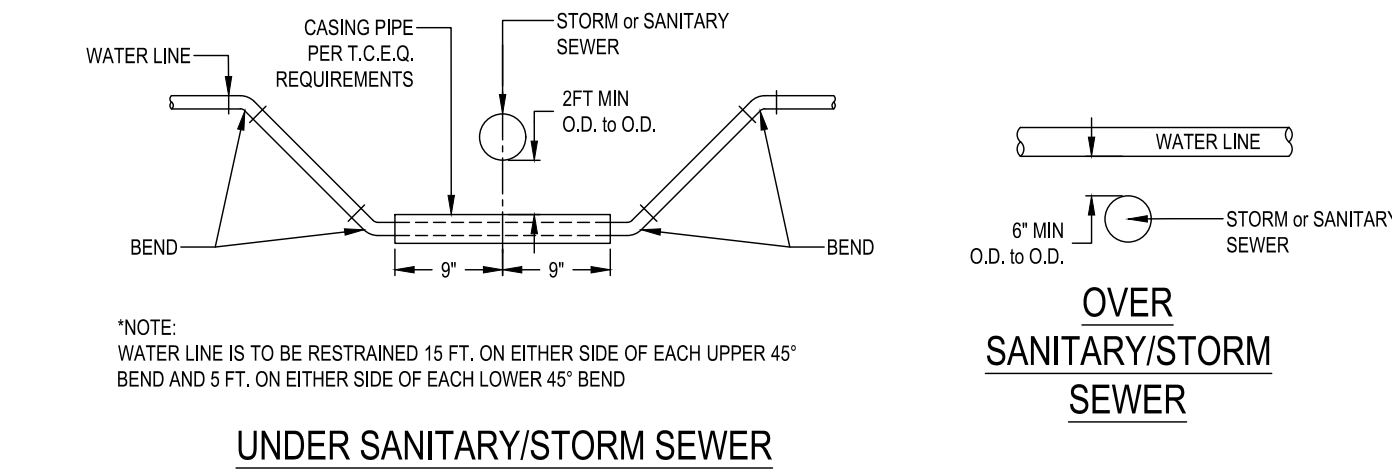
BLOCKING AREA IN SQUARE FEET				
PIPE SIZE	TEES & DEAD ENDS	90° BENDS	45° BENDS	22-1/2° BENDS
6"	2	2	1	1
8"	3	4	2	1
12"	6	9	5	2
16"	11	15	8	4

IN OTHER THAN ROCK WALL TRENCH				
PIPE SIZE	TEES & DEAD ENDS	90° BENDS	45° BENDS	22-1/2° BENDS
6"	3	4	2	1
8"	4	6	4	2
12"	10	14	8	4
16"	18	25	14	7

BLOCKING AREA FOR 200 PSI TEST AND 175 PSI WORKING PRESSURES. THRUST BLOCKING SHALL BE CONCRETE FILL.

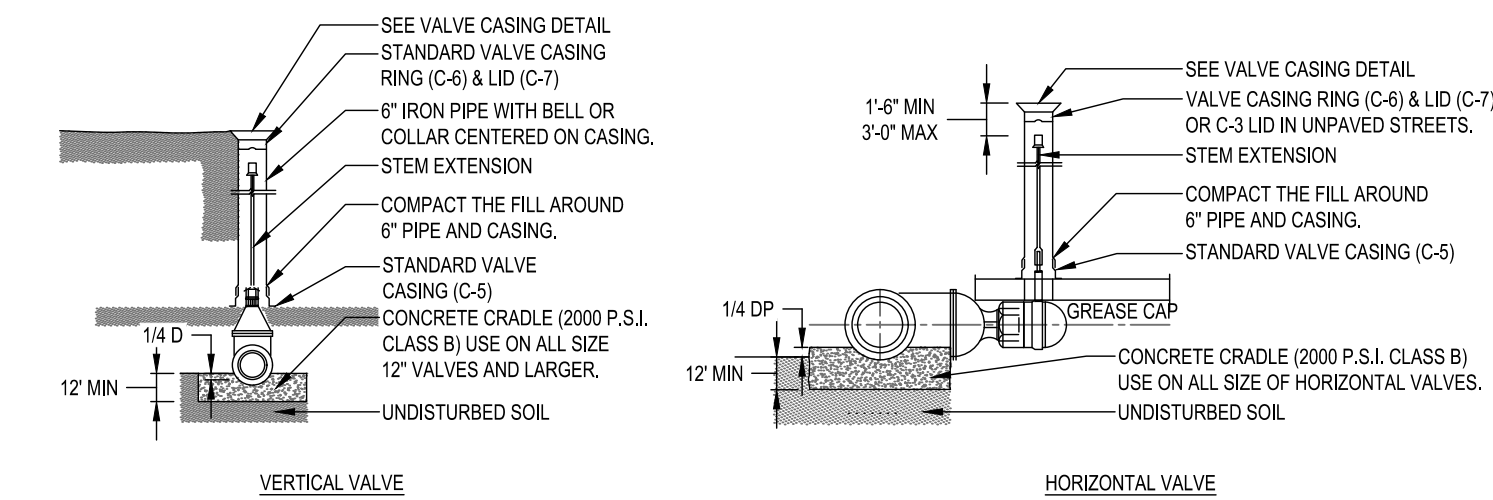
C2 THRUST BLOCKING

NOT TO SCALE



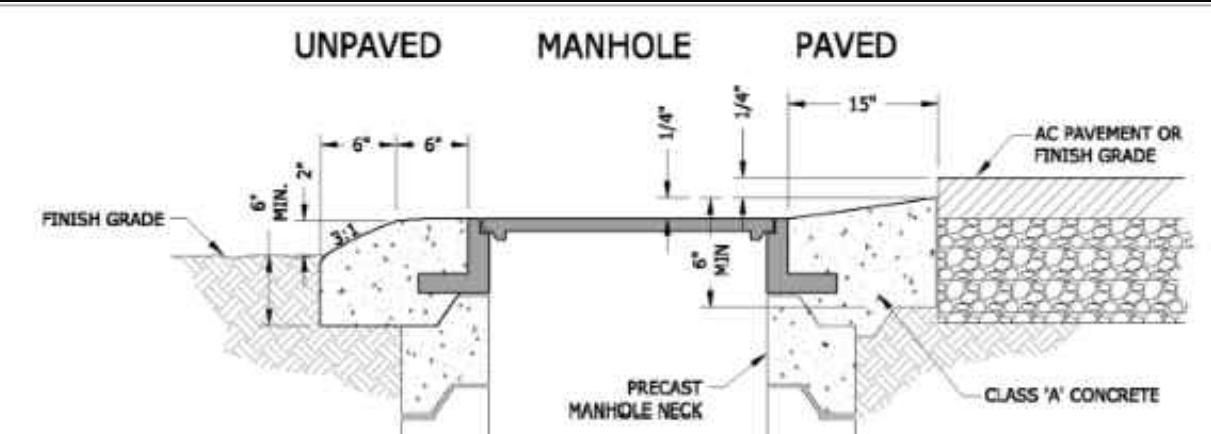
C4 WATER CROSSING DETAIL

NOT TO SCALE

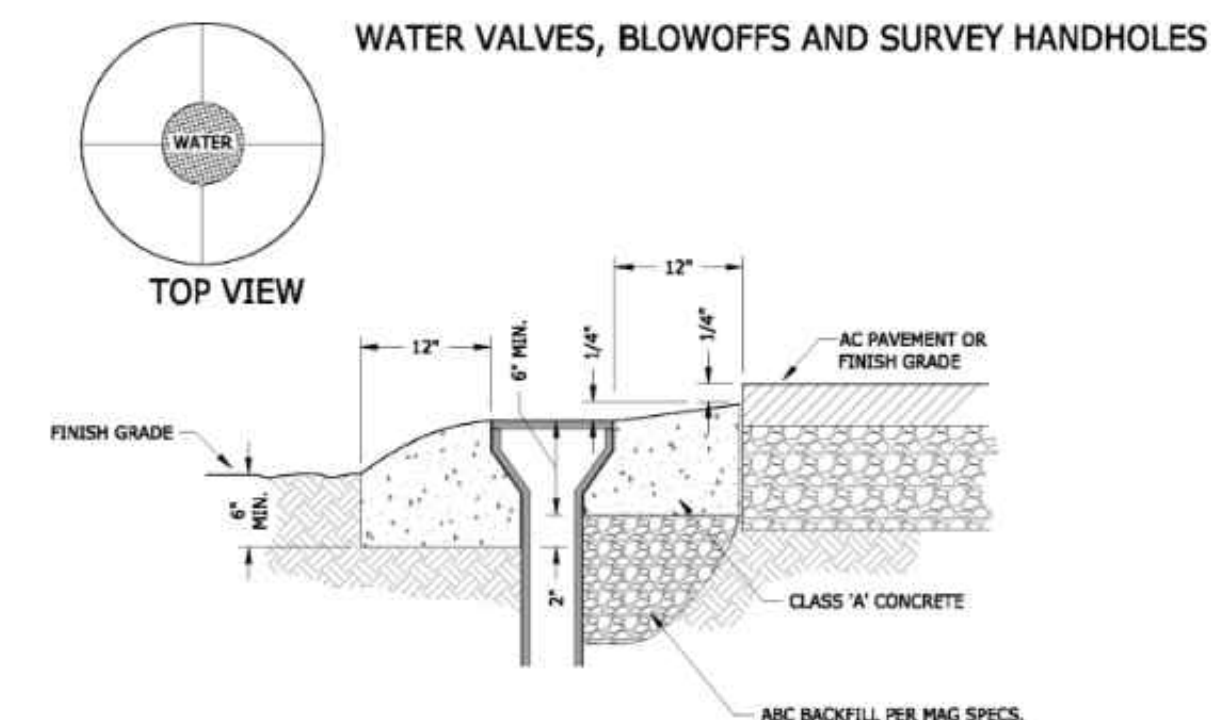


C5 GATE VALVE DETAIL

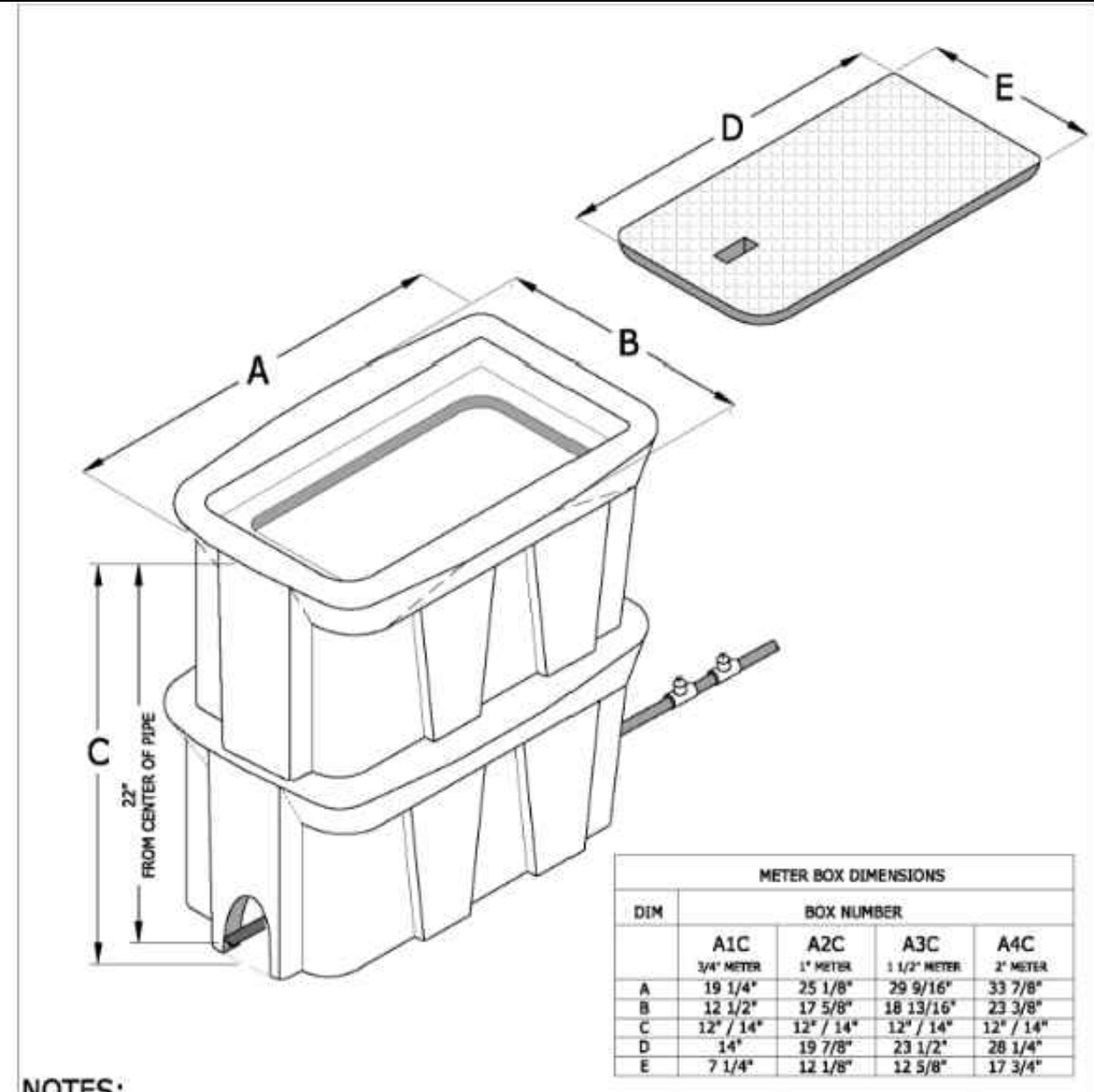
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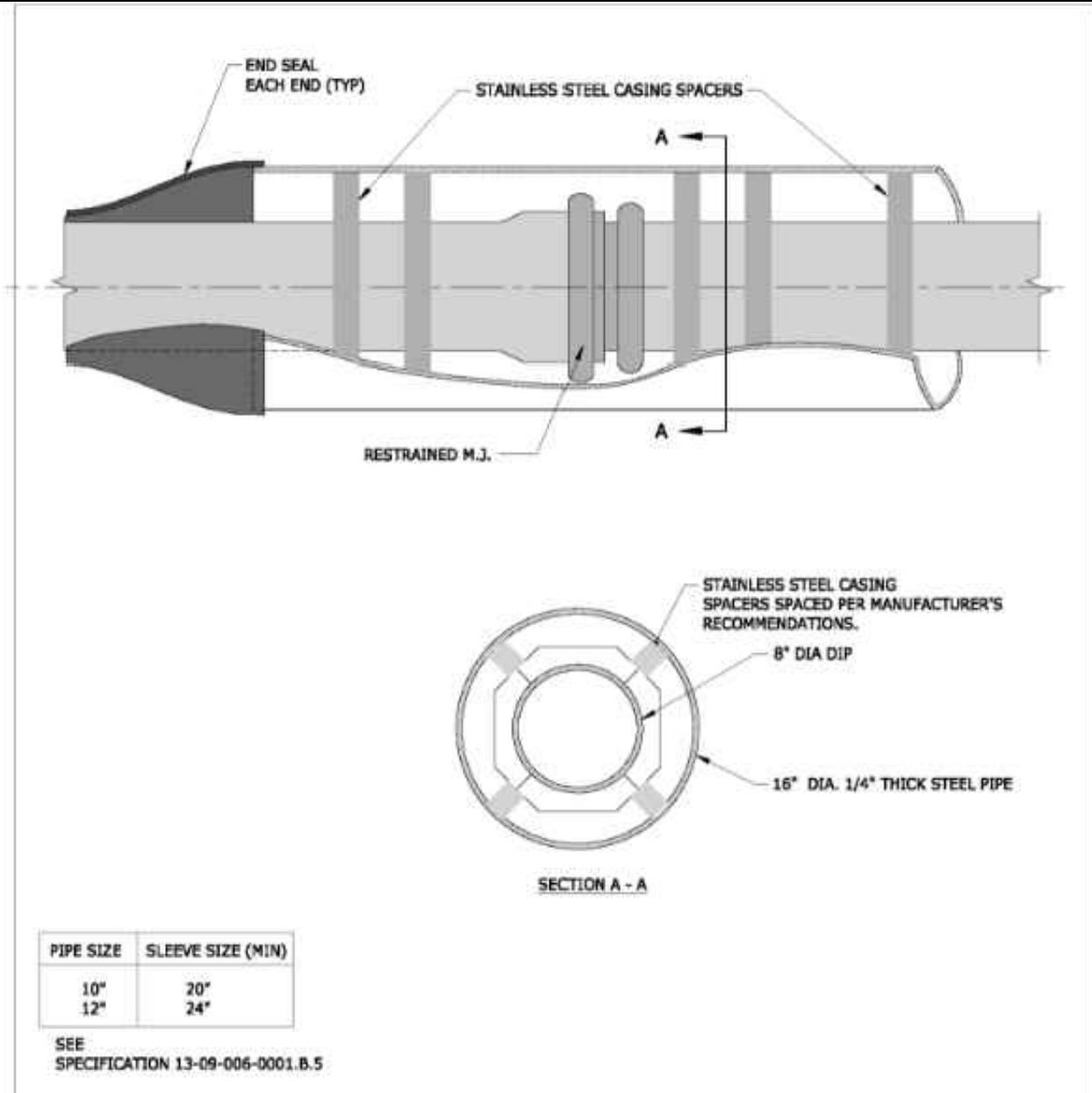
WATER VALVES, BLOWOFFS AND SURVEY HANDHOLES



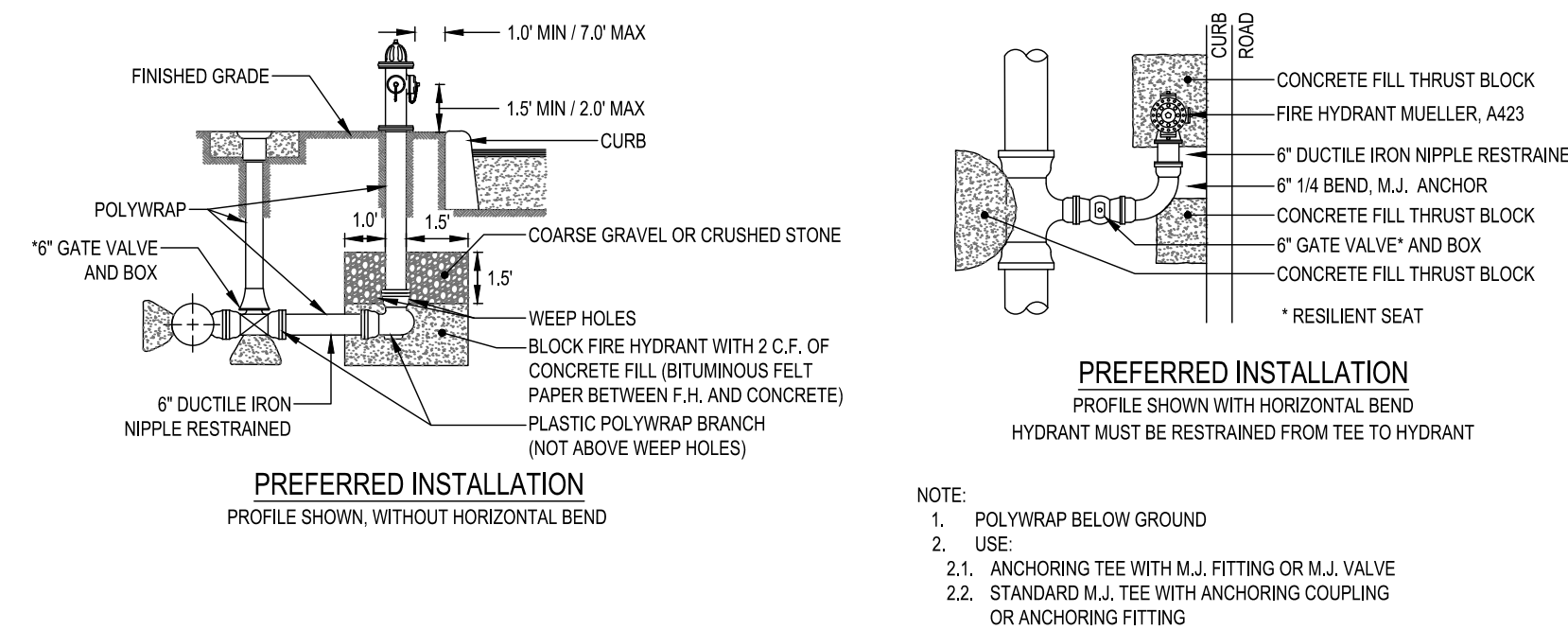
- NOTE:**
- TOP OF VALVE BOX AND CONCRETE RING MUST BE 1/4" BELOW FINISHED GRADE.
 - MINIMUM 3/8" WALL THICKNESS.
 - THE METER BOXES SHALL BE BLACK EXCEPT FOR THE LID THROUGHOUT USING POLYETHYLENE MATERIALS AND SHALL NOT HAVE FOAMING OR BLOWING AGENTS.
 - LIDS SHALL BE OF THE LOCATABLE TYPE, COLORED AS FOLLOWS: BLUE (POTABLE WATER USE) PURPLE (RECLAIM WATER USE)
 - BOXES & LIDS SHALL BE MADE IN THE U.S.A. BY DFM OR APPROVED EQUAL.



- NOTES:**
- THE METER BOXES SHALL CONFORM TO THE DIMENSIONS AS SHOWN AND SHALL BE MADE OF LDPE POLYMER.
 - MINIMUM 3/8" WALL THICKNESS.
 - THE METER BOXES SHALL BE BLACK EXCEPT FOR THE LID THROUGHOUT USING POLYETHYLENE MATERIALS AND SHALL NOT HAVE FOAMING OR BLOWING AGENTS.
 - LIDS SHALL BE OF THE LOCATABLE TYPE, COLORED AS FOLLOWS: BLUE (POTABLE WATER USE) PURPLE (RECLAIM WATER USE)
 - BOXES & LIDS SHALL BE MADE IN THE U.S.A. BY DFM OR APPROVED EQUAL.

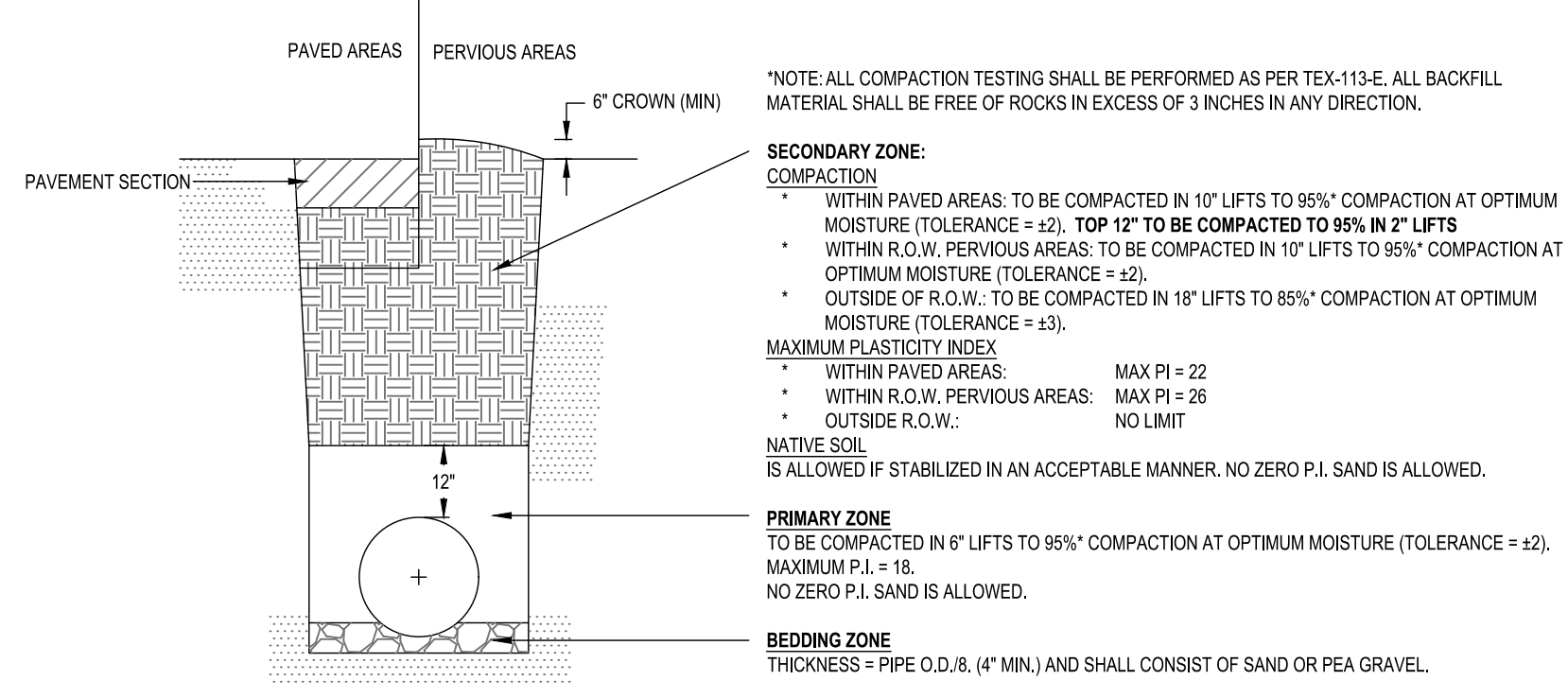


- NOTES:**
- THE END OF THE DIP PIPE IS RESTRAINED MECHANICALLY JOINT AND NOT TO REST ON THE CASING.
 - ALL CASING SPACERS SHALL RUN THE LENGTH OF THE M.I. DIP PIPE.
 - CASING SPACERS TO BE BY ADVANCE PRODUCTS & SYSTEMS, INC. OR APPROVED EQUAL.
 - SEAL ENDS OF CASING W/END SEALS BY ADVANCE PRODUCTS & SYSTEM, INC. OR APPROVED EQUAL.



D5 FIRE HYDRANT INSTALLATION

NOT TO SCALE



E5 UTILITY TRENCH BACKFILL METHODS

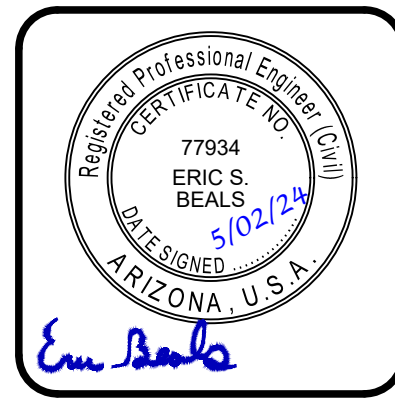
NOT TO SCALE

City of Flagstaff
ENGINEERING DETAIL
09-03-062
 RING, FRAME OR COVER INSTALLATION
 REVISION DATE: 11/22/16
 1/1

City of Flagstaff
ENGINEERING DETAIL
9-03-080
 POLYMER WATER METER BOX
 REVISION DATE: 11/22/16
 1/1

City of Flagstaff
ENGINEERING DETAIL
09-06-010
 WATER/SEWER LINE CASING
 REVISION DATE: 11/22/16
 1/1

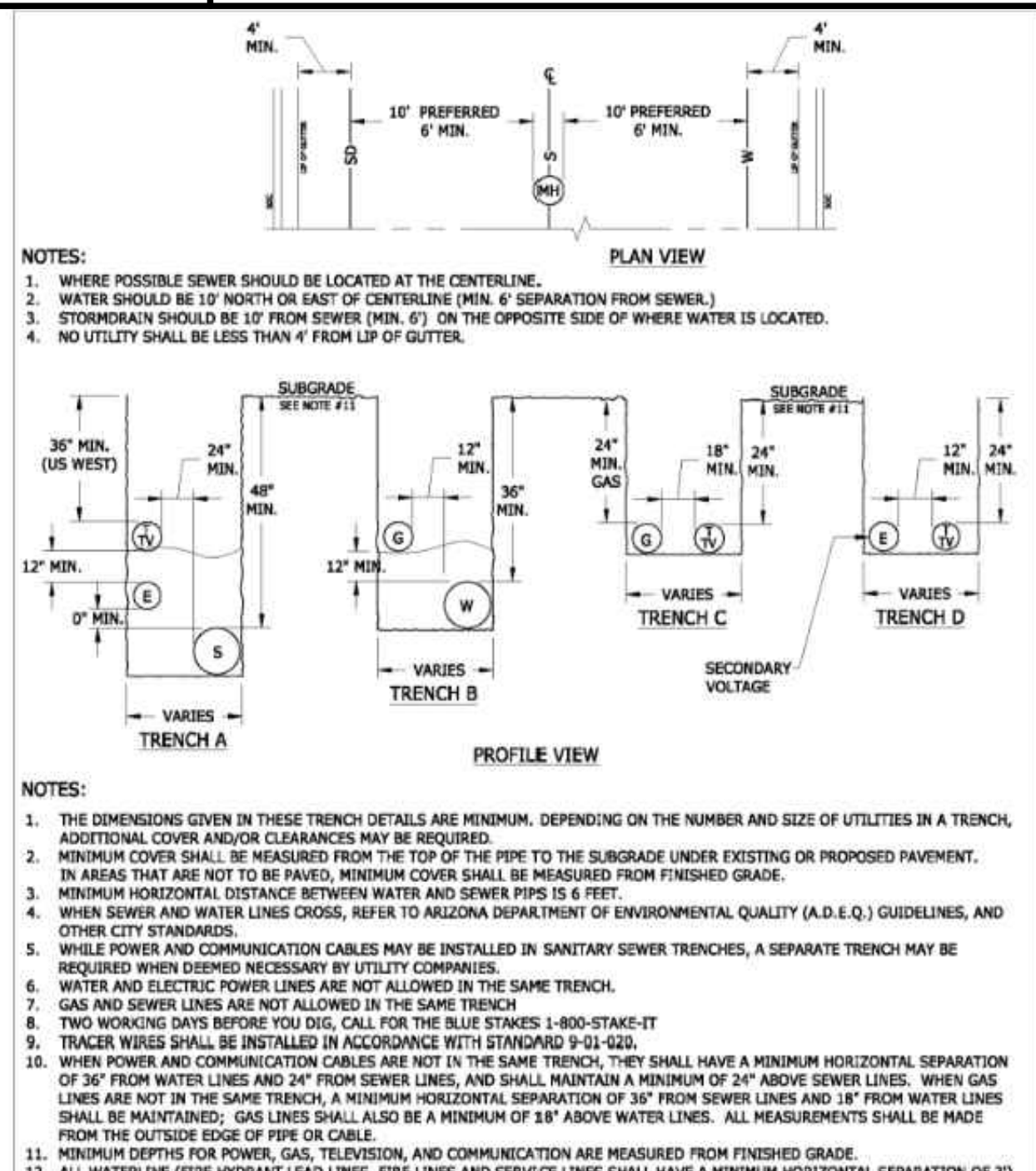
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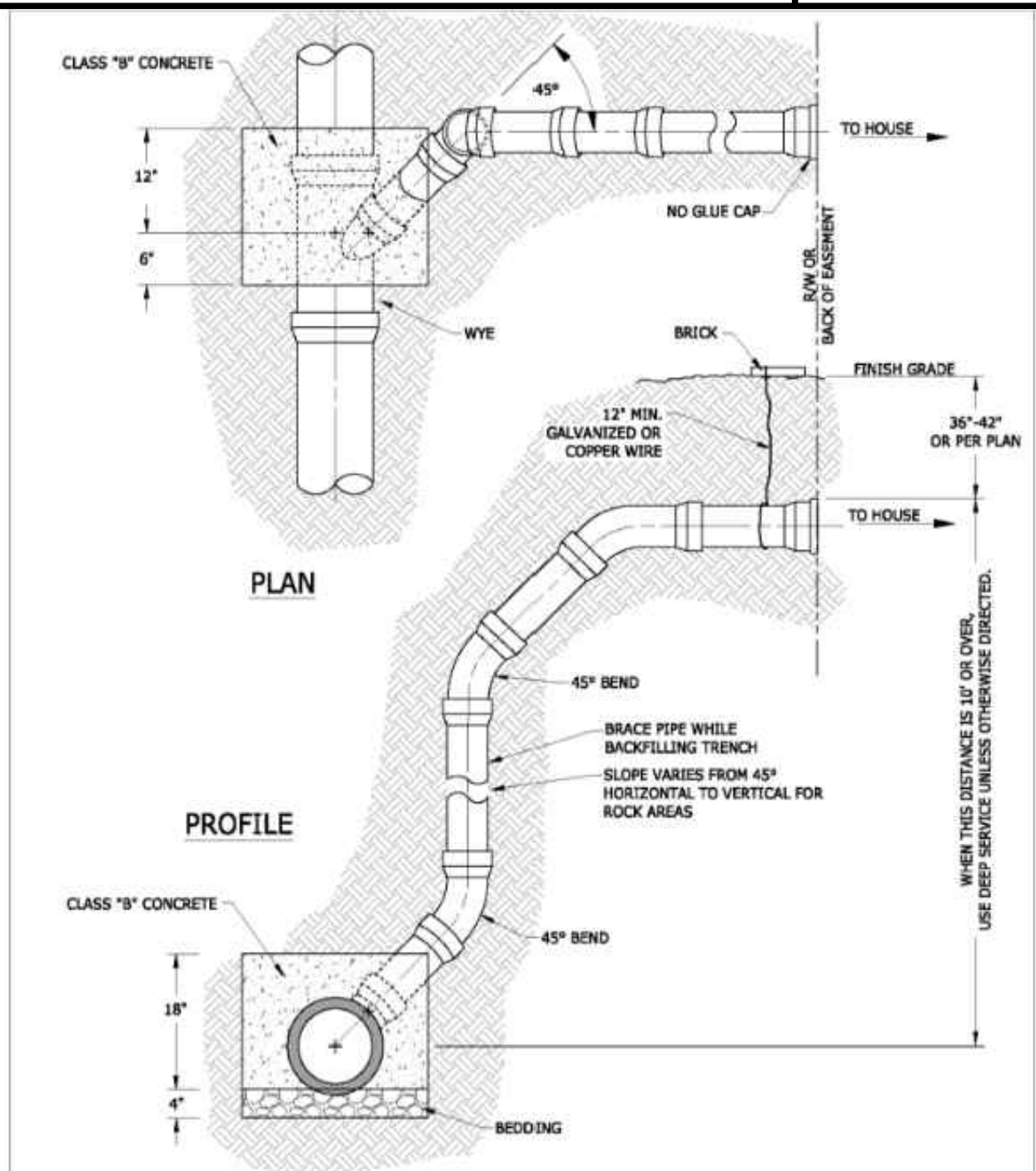
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 2121 E 6th STREET, SUITE 203
 AUSTIN, TEXAS 78702
 FIRM No. F-23395
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OWN BY: **M TOTH**
 CHK BY: **E BEALS**

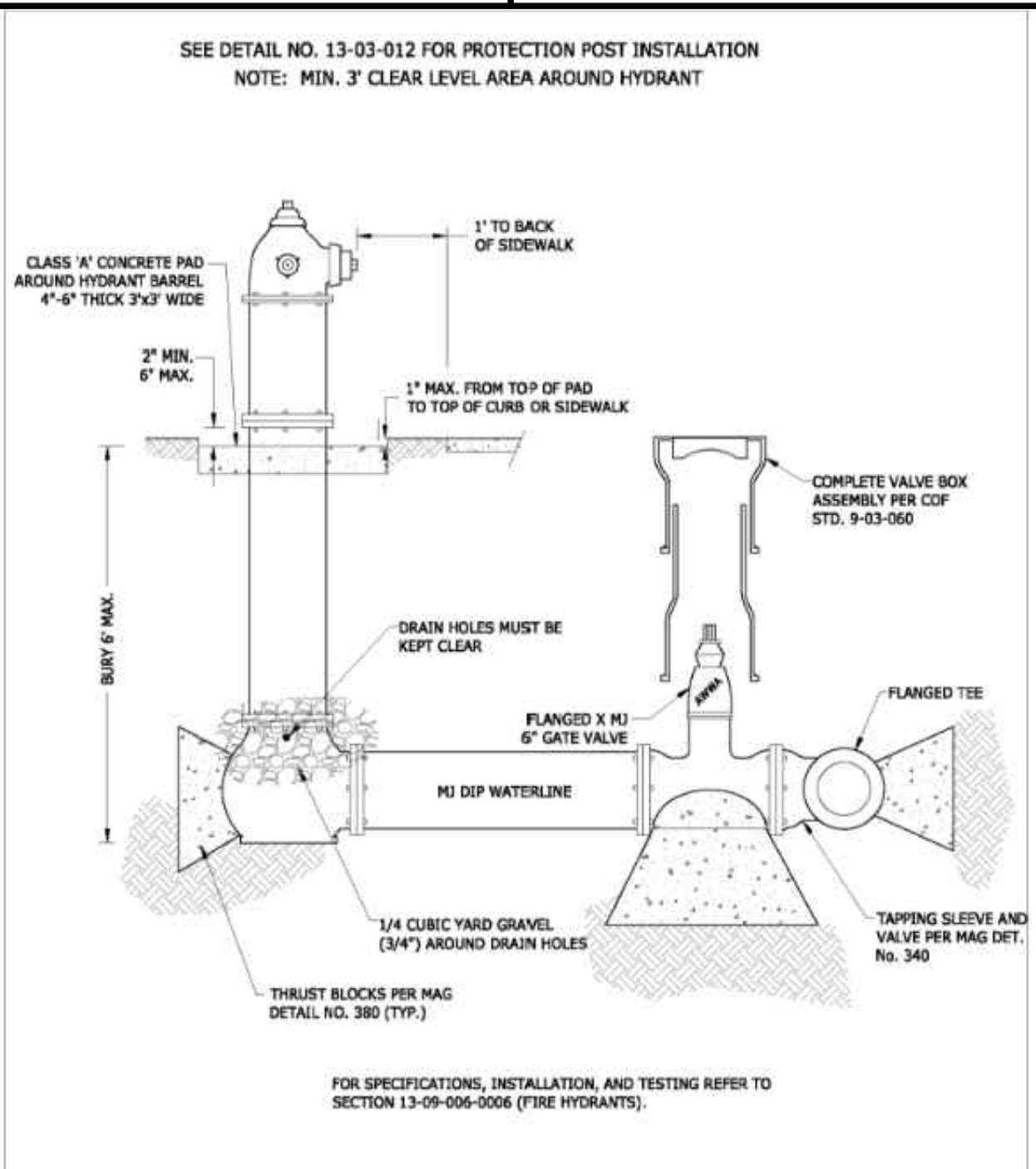
PROJECT: **PINEHAVEN LAND DEVELOPMENT**
 2951 S. MASONIC LANE
 COCONINO COUNTY, ARIZONA
 APPLICANT: **RODG DT FLAGSTAFF PROP CO LLC**
 241 E WYTH STREET, SUITE 200, AUSTIN, TEXAS 78702
 TITLE: **SITE PLAN REVIEW UTILITY DETAILS**
 PROJECT NO.: **22004**
 DATE: **MAY 30, 2023**
 SHEET ID: **C421**
 SHEET 31 of 46



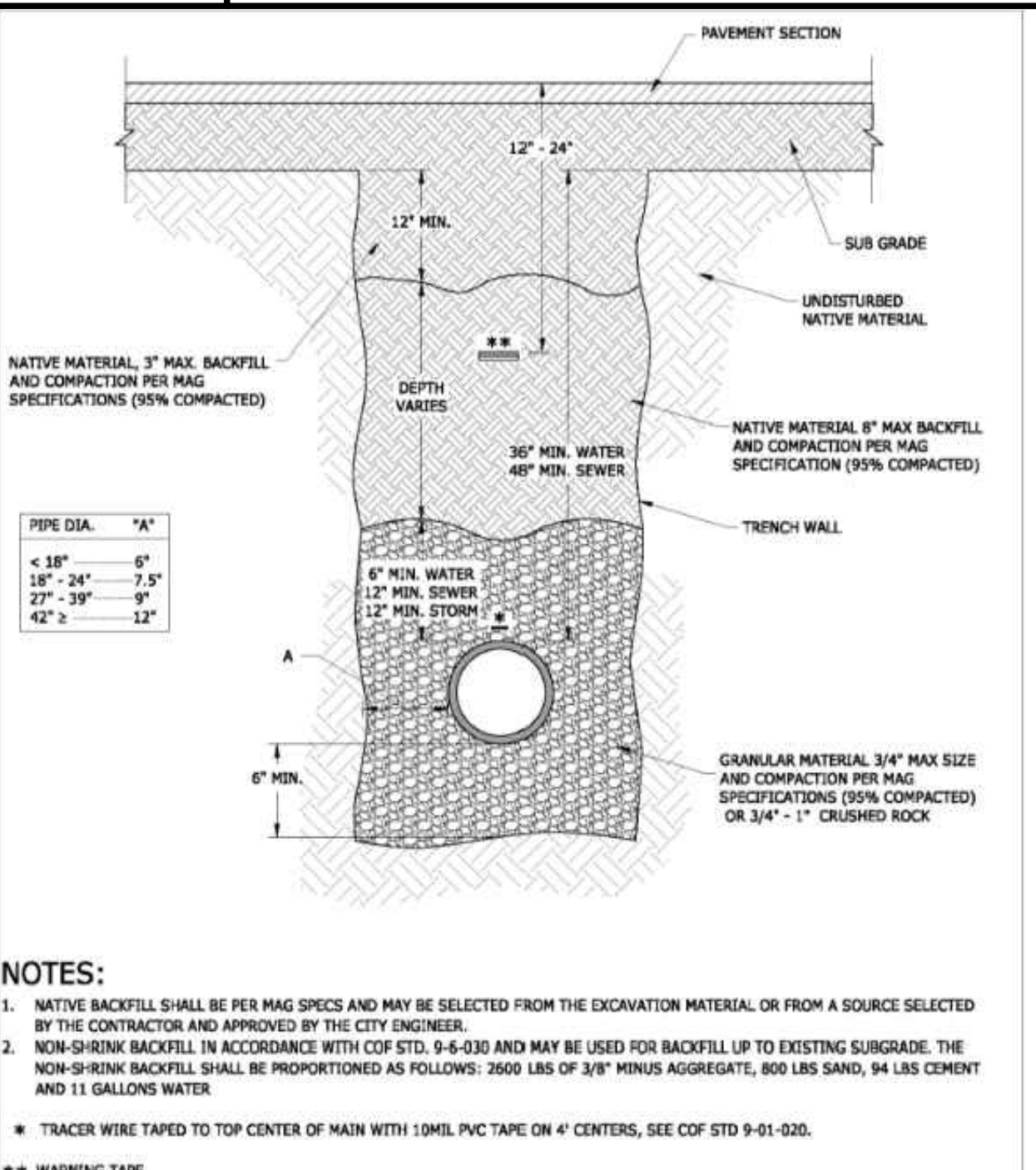
City of Flagstaff		UNDERGROUND UTILITIES IN STREETS TYPICAL LOCATION AND TRENCH DETAIL	
ENGINEERING DETAIL	DETAIL NO. 9-01-010	REVISION DATE: 11/22/16	1



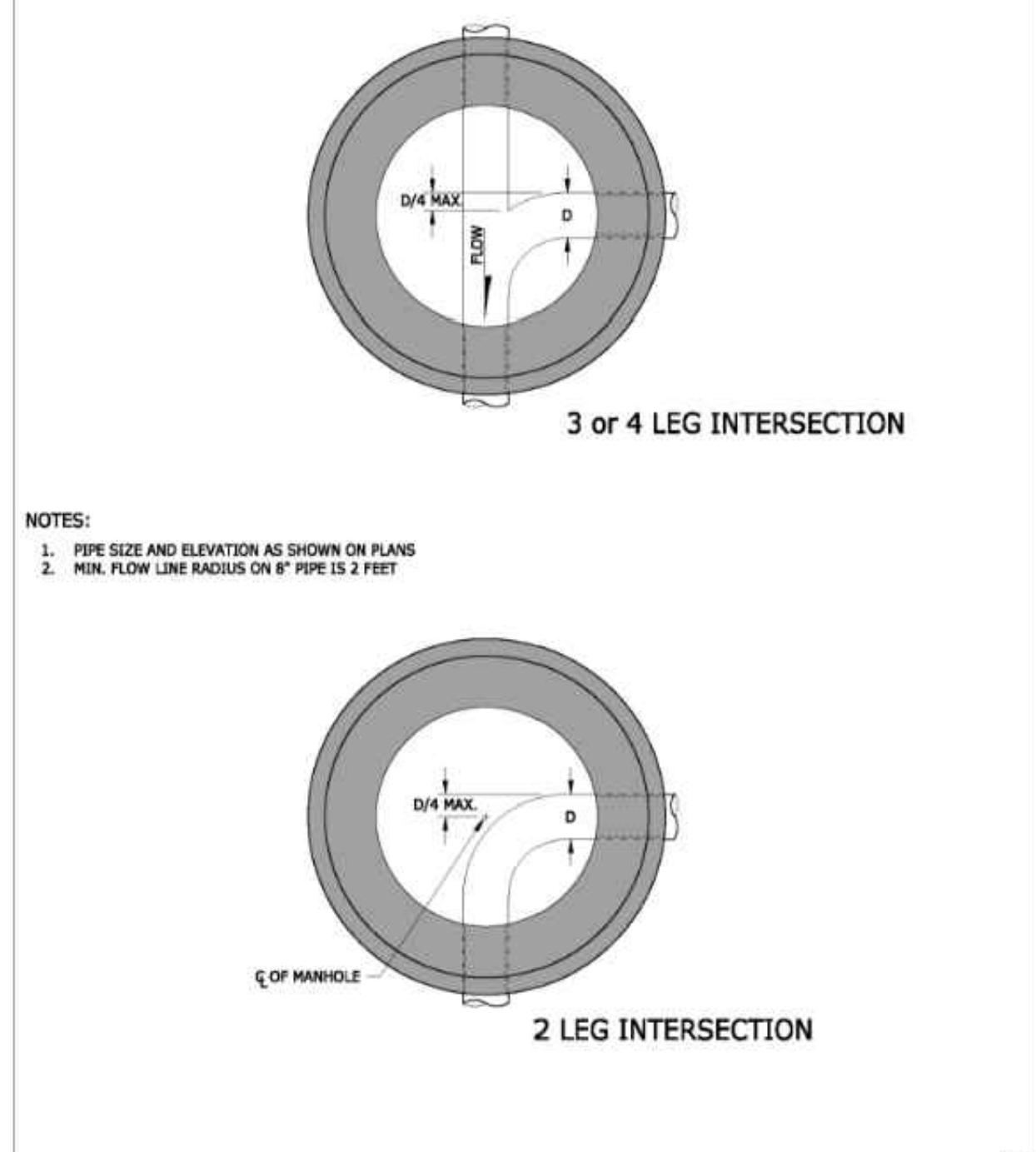
City of Flagstaff		DEEP SEWER SERVICE	
ENGINEERING DETAIL	DETAIL NO. 9-02-080	REVISION DATE: 11/22/16	1



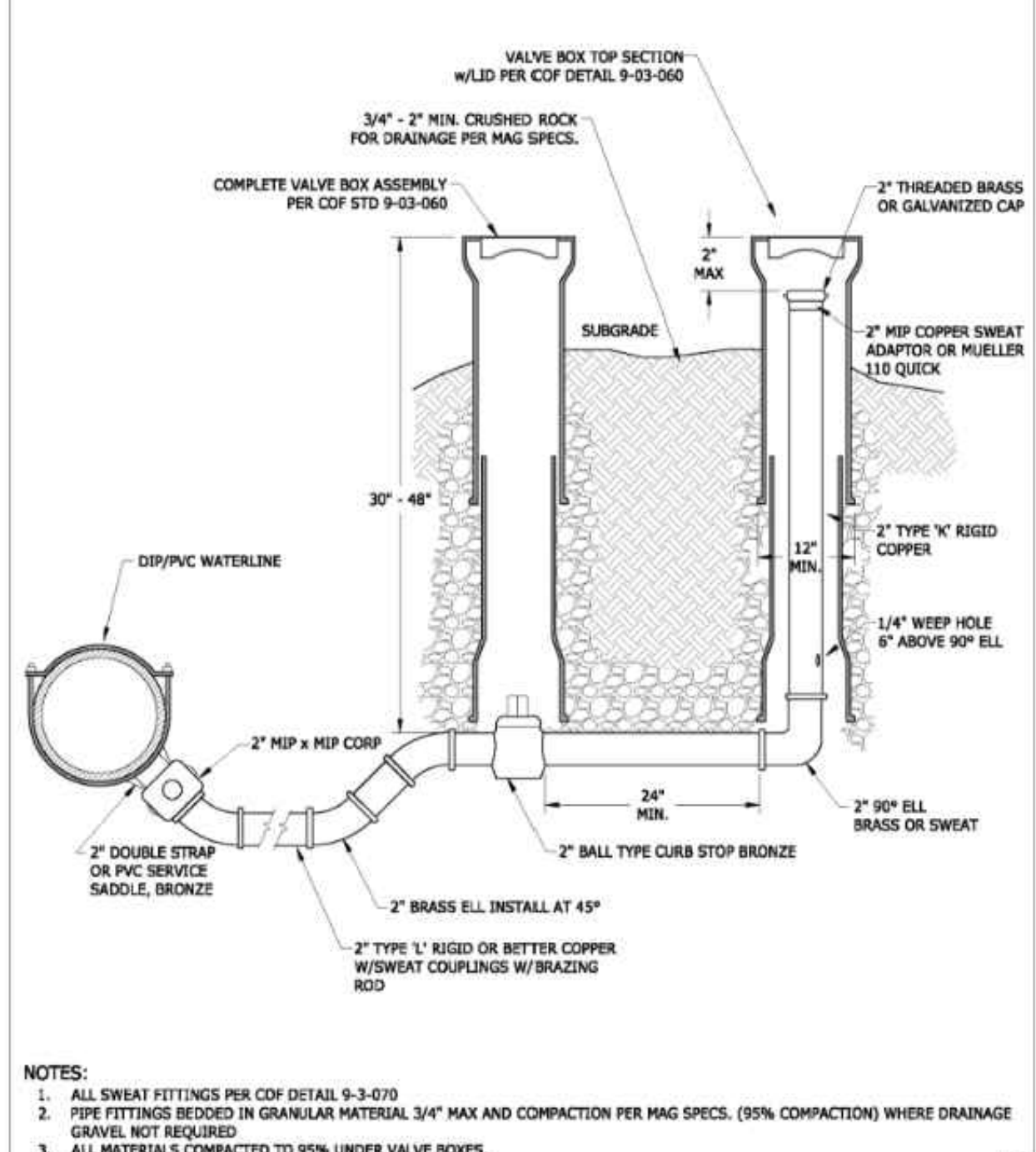
City of Flagstaff		FIRE HYDRANT ASSEMBLY	
ENGINEERING DETAIL	DETAIL NO. 13-03-011	REVISION DATE: 9/28/17	1



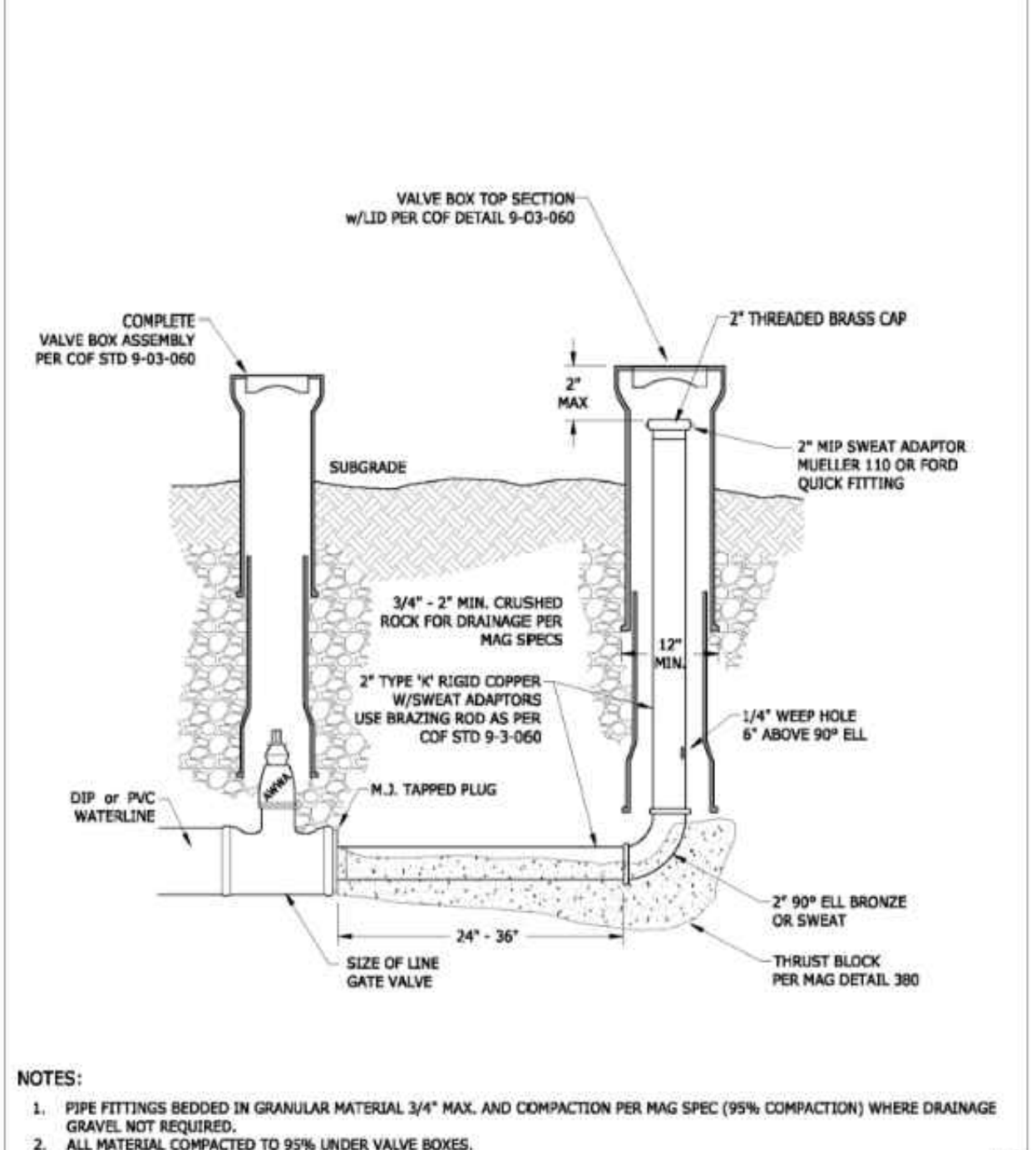
City of Flagstaff		TRENCHING AND BACKFILL NEW PAVED STREET	
ENGINEERING DETAIL	DETAIL NO. 9-01-031	REVISION DATE: 11/22/16	1



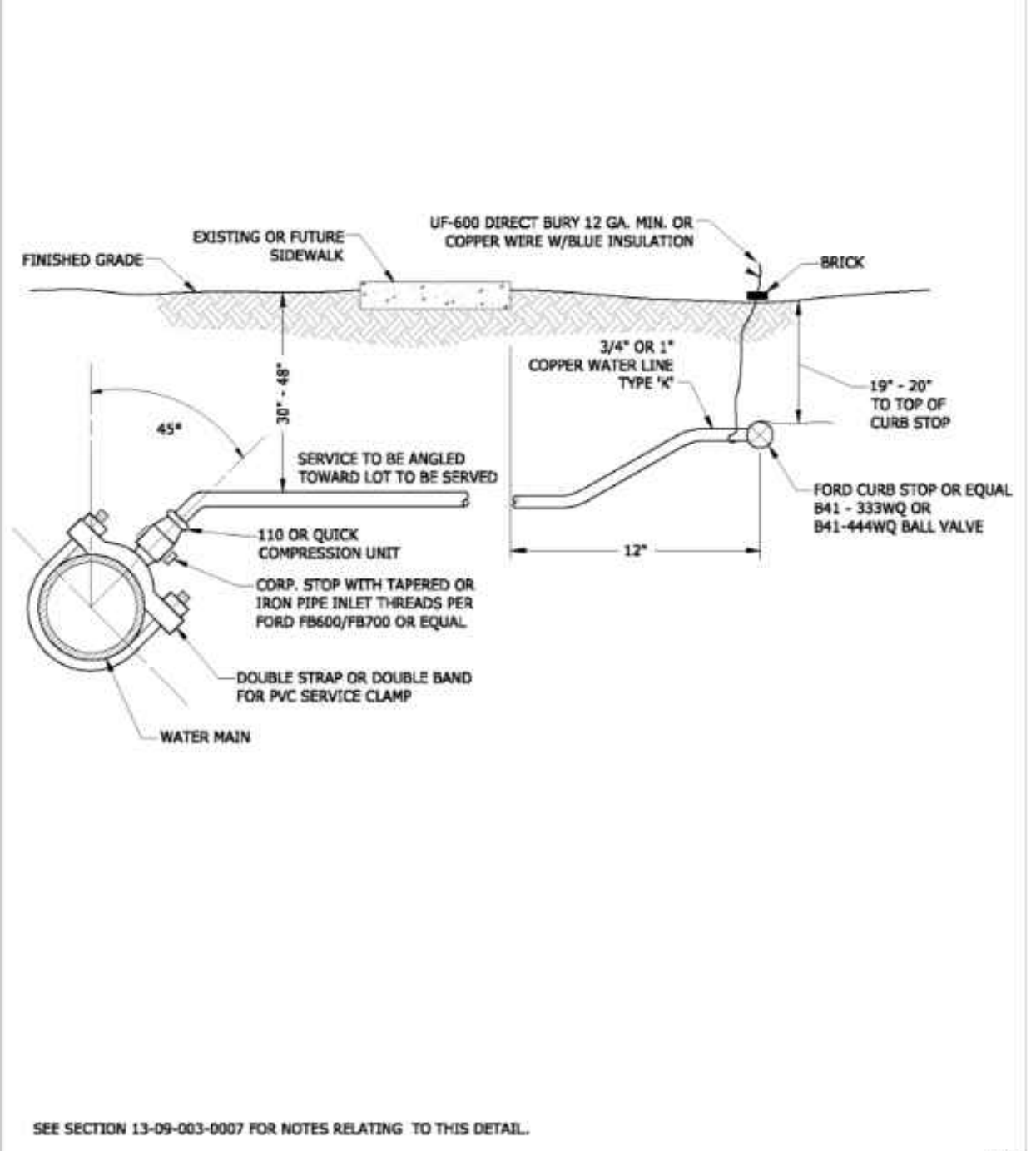
City of Flagstaff		MANHOLE BASE GEOMETRY	
ENGINEERING DETAIL	DETAIL NO. 9-02-092	REVISION DATE: 11/22/16	1



City of Flagstaff		IN-LINE BLOW-OFF ON WATER LINE 12" and SMALLER	
ENGINEERING DETAIL	DETAIL NO. 9-03-055	REVISION DATE: 11/22/16	1



City of Flagstaff		END-OF-LINE PERMANENT BLOW-OFF	
ENGINEERING DETAIL	DETAIL NO. 9-03-054	REVISION DATE: 11/22/16	1



City of Flagstaff		WATER SERVICE CONNECTION 3/4" AND 1"	
ENGINEERING DETAIL	DETAIL NO. 09-03-070	REVISION DATE: 11/22/16	2

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AUSTIN, TEXAS 78702

FIRM No. F-23395
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OWN BY: **M TOTH**

CHK BY: **E BEALS**

PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
2951 S. MASONIC LANE
COCONINO COUNTY, ARIZONA

APPLICANT: **RODG DT FLAGSTAFF PROP CO LLC**
241 E 6TH STREET, SUITE 203, AUSTIN, TEXAS 78702

TITLE: **SITE PLAN REVIEW UTILITY DETAILS**

PROJECT NO.: 22004

DATE: MAY 30, 2023

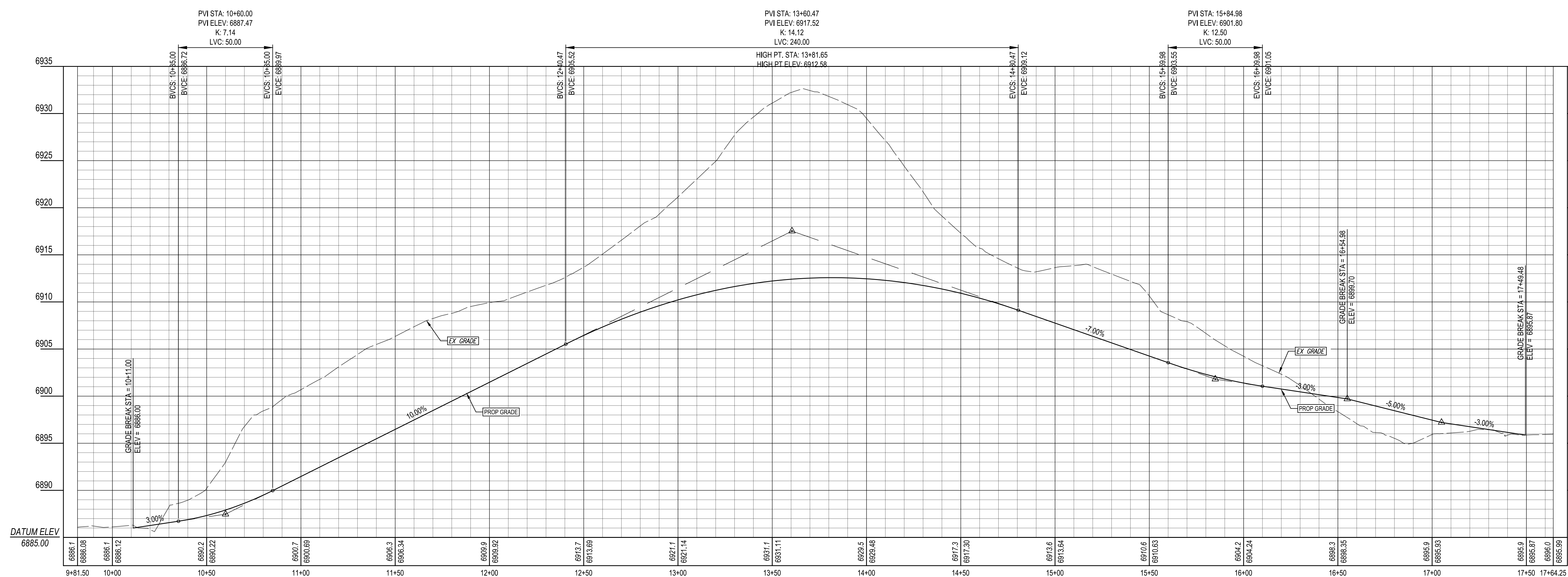
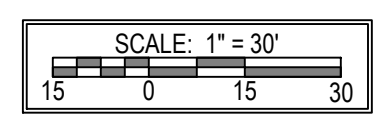
SHEET ID: **C422**

REV: 4

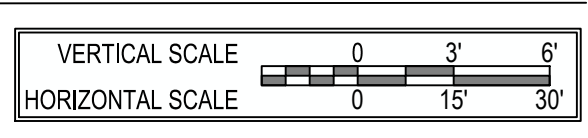
SHEET 32 of 46



B1 PLAN VIEW: DRIVE 'A'
SCALE: 1" = 30'



E1 PROFILE VIEW: DRIVE 'A'
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Eric S. Beals
Professional Engineer
License No. 77934
State of Arizona

ViewPoint Engineering

2121 E 6th STREET, SUITE 203
AUSTIN, TEXAS 78702

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OWN BY: **M TOTH**
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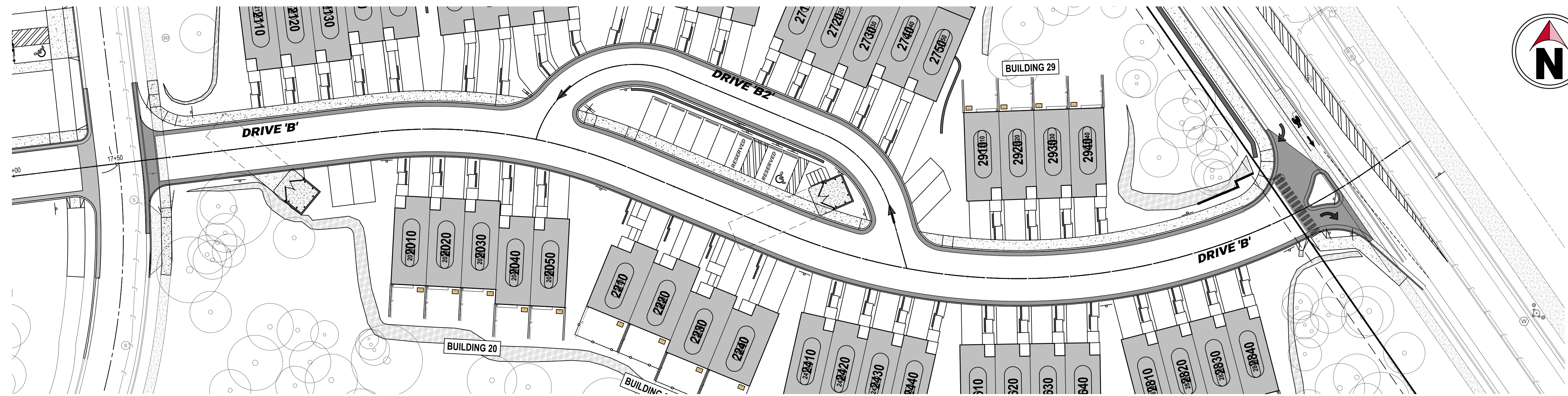
PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
2951 S. MASONIC LANE
COCONINO COUNTY, ARIZONA

APPLICANT: **RODG DT FLAGSTAFF PROP CO LLC**
241 E. 6TH STREET, SUITE 203, AUSTIN, TEXAS 78702

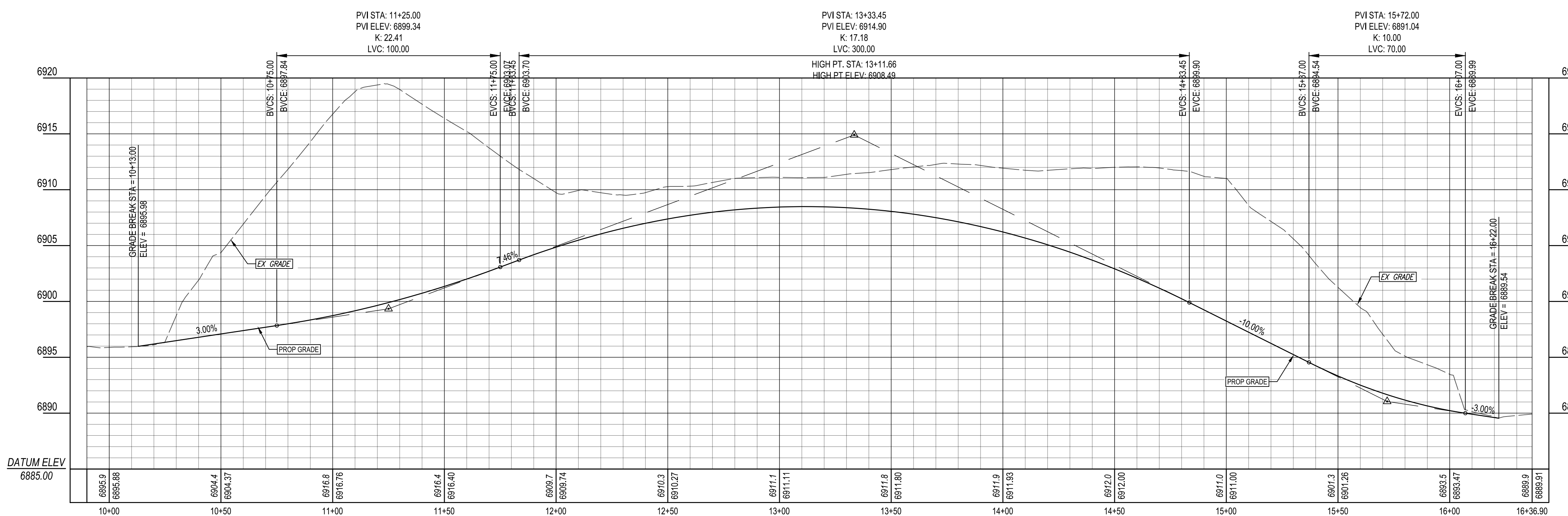
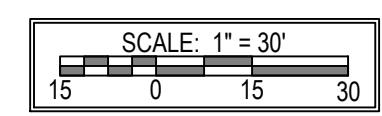
TITLE: **SITE PLAN REVIEW ROAD GEOMETRY PLAN & PROFILE (DRIVE 'A')**

PROJECT NO.: 22004
DATE: MAY 30, 2023
SHEET ID: C501
REV: 4

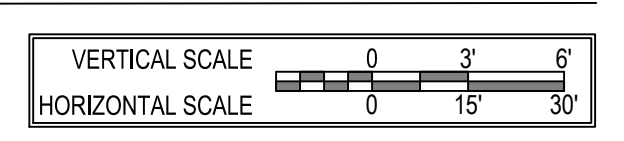
SHEET 33 of 46



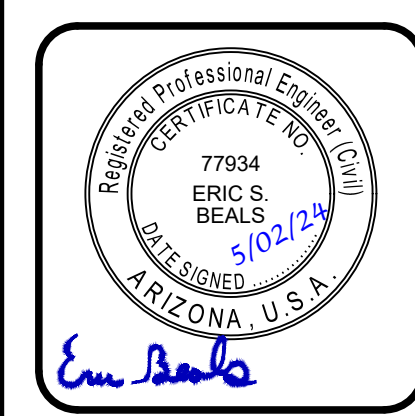
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3	03-26-2024	REVISED PER CITY REVIEW LETTER DATED 2-8-2024
4	05-03-2024	REVISED PER CITY REVIEW LETTER DATED 4-9-2024



ViewPoint Engineering
2121 E 6th STREET, SUITE 203
AUSTIN, TEXAS 78702
FIRM No. F-23395
viewpointengineering.com

OWN BY: **M TOTH**
CHK BY: **E BEALS**

PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
2951 S. MASONIC LANE
COCONINO COUNTY, ARIZONA

APPLICANT: **RODG DT FLAGSTAFF PROP CO LLC**
2121 E 6th STREET, SUITE 203, AUSTIN, TEXAS 78702

TITLE: **SITE PLAN REVIEW ROAD GEOMETRY PLAN & PROFILE (DRIVE 'B')**

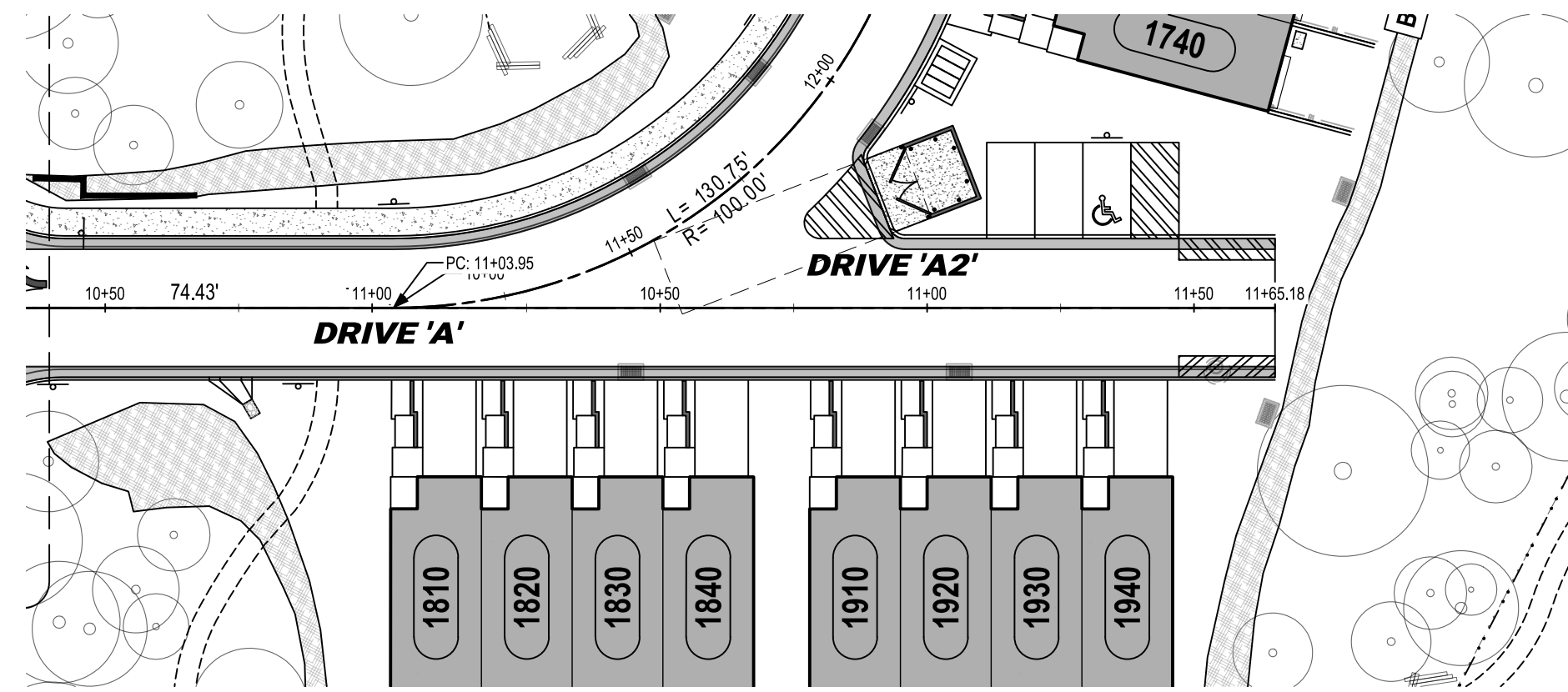
PROJECT NO.: 22004
DATE: MAY 30, 2023
SHEET ID: C502
REV: 4

SHEET 34 of 46

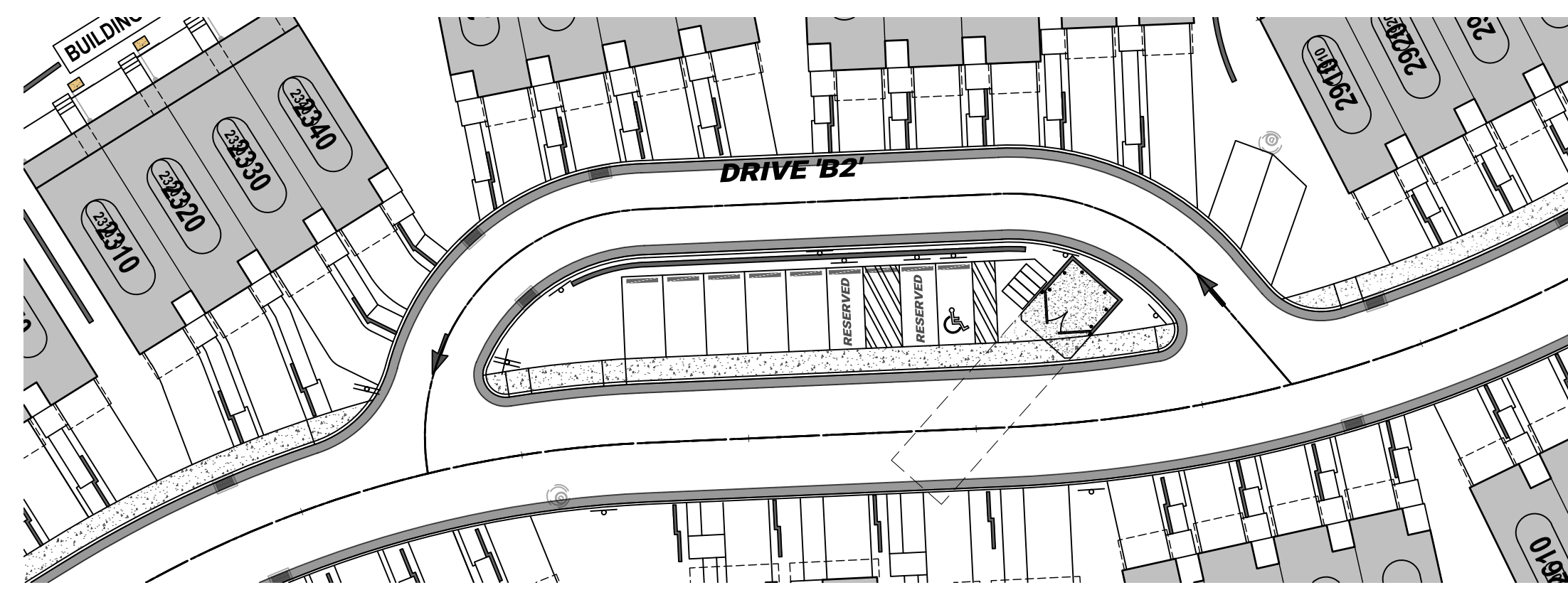
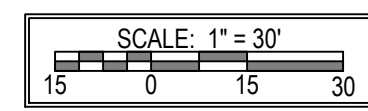
Contact Arizona 811 at least two full working days before you begin excavation

Call 811 or click Arizona811.org

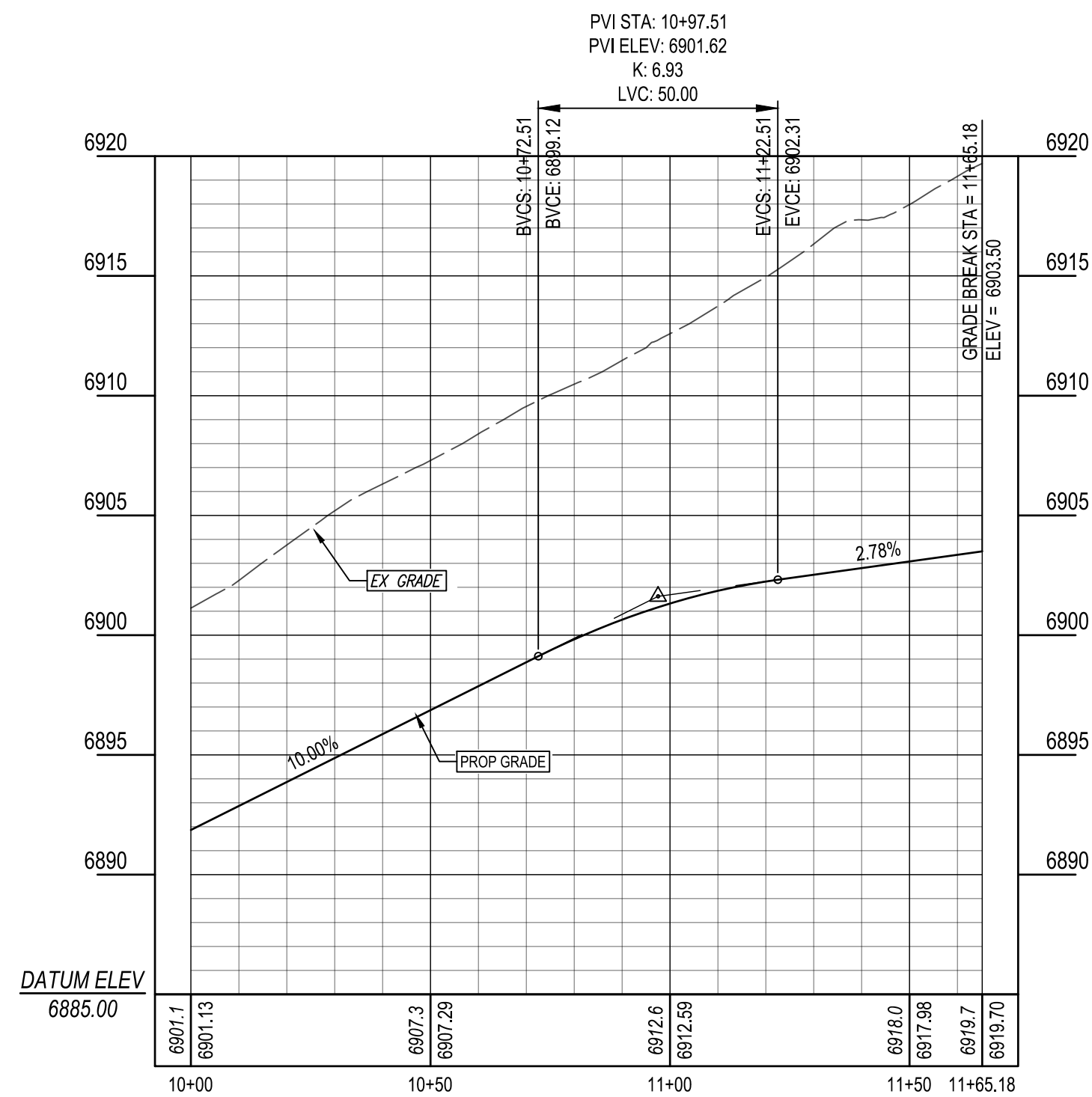
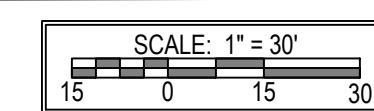
LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND BASED ON OBSERVABLE SURFACE FEATURES ONLY. THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND DETERMINE THE EXACT LOCATION OF ALL UTILITIES. CONTRACTOR RESPONSIBLE FOR ANY AND ALL DAMAGES INCURRED BY FAILURE TO LOCATE UTILITIES.



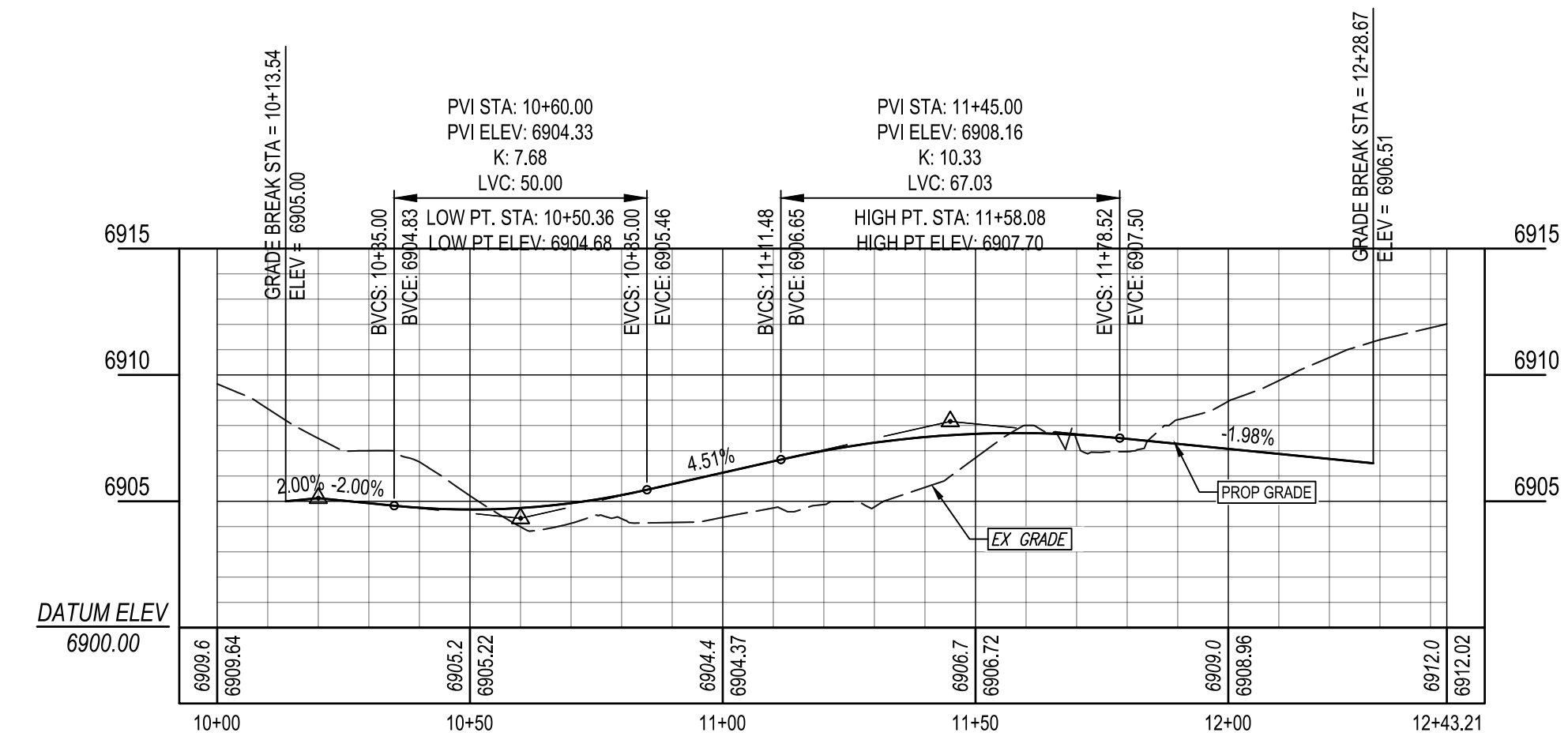
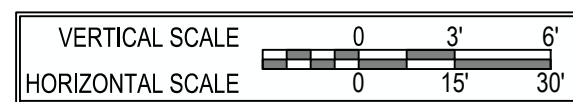
B2 PLAN VIEW: DRIVE 'A2'
SCALE: 1" = 30'



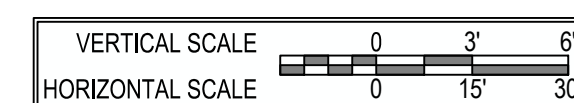
B4 PLAN VIEW: DRIVE 'B2'
SCALE: 1" = 30'



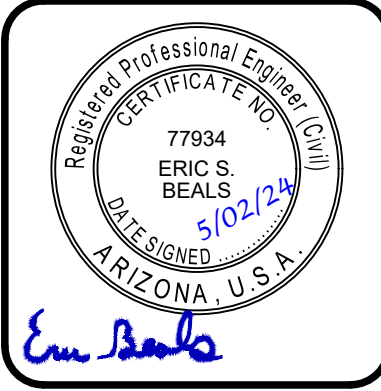
C2 PROFILE VIEW: DRIVE 'A2'
SCALE: (H) 1" = 30' || (V) 1" = 6'



C4 PROFILE VIEW: DRIVE 'B2'
SCALE: (H) 1" = 30' || (V) 1" = 6'



REV	DATE	DESCRIPTION
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-26-2023
2	01-18-2024	REVISED PER CITY REVIEW LETTER DATED 12-18-2023
3	03-26-2024	REVISED PER CITY REVIEW LETTER DATED 2-8-2024
4	05-02-2024	REVISED PER CITY REVIEW LETTER DATED 4-9-2024



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AUSTIN, TEXAS 78702
FIRM No. F-23395
viewpointengineering.com

OWN BY: **M TOTH**
CHK BY: **E BEALS**

PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
2951 S. MASONIC LANE
COCONINO COUNTY, ARIZONA

APPLICANT: **RODG DT FLAGSTAFF PROP CO LLC**
2121 E 6TH STREET, SUITE 203, AUSTIN, TEXAS 78702

TITLE: **SITE PLAN REVIEW ROAD GEOMETRY PLAN & PROFILE (DRIVE 'A2' & 'B2')**

PROJECT NO.: 22004
DATE: MAY 30, 2023
SHEET ID: C503
REV: 4

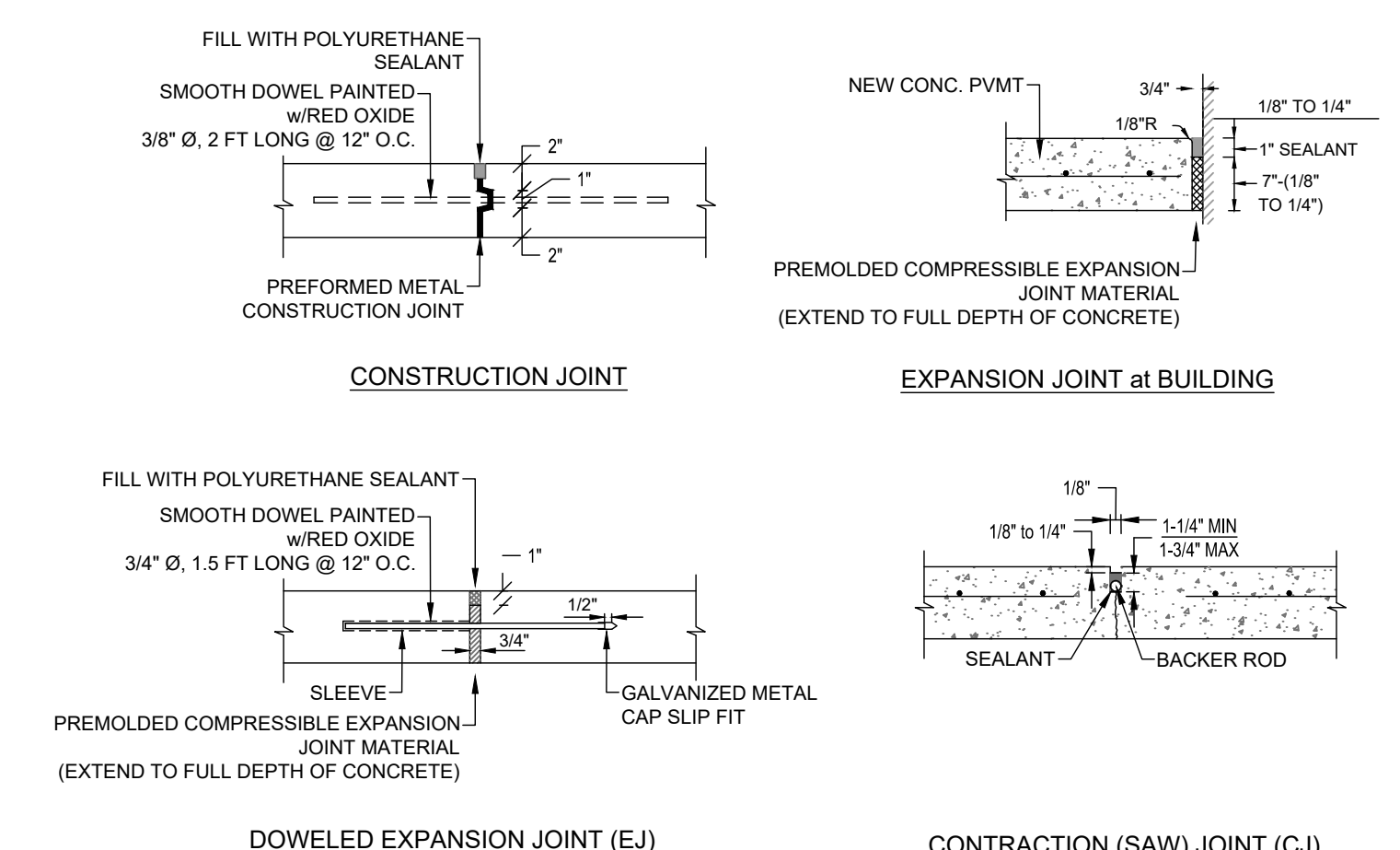
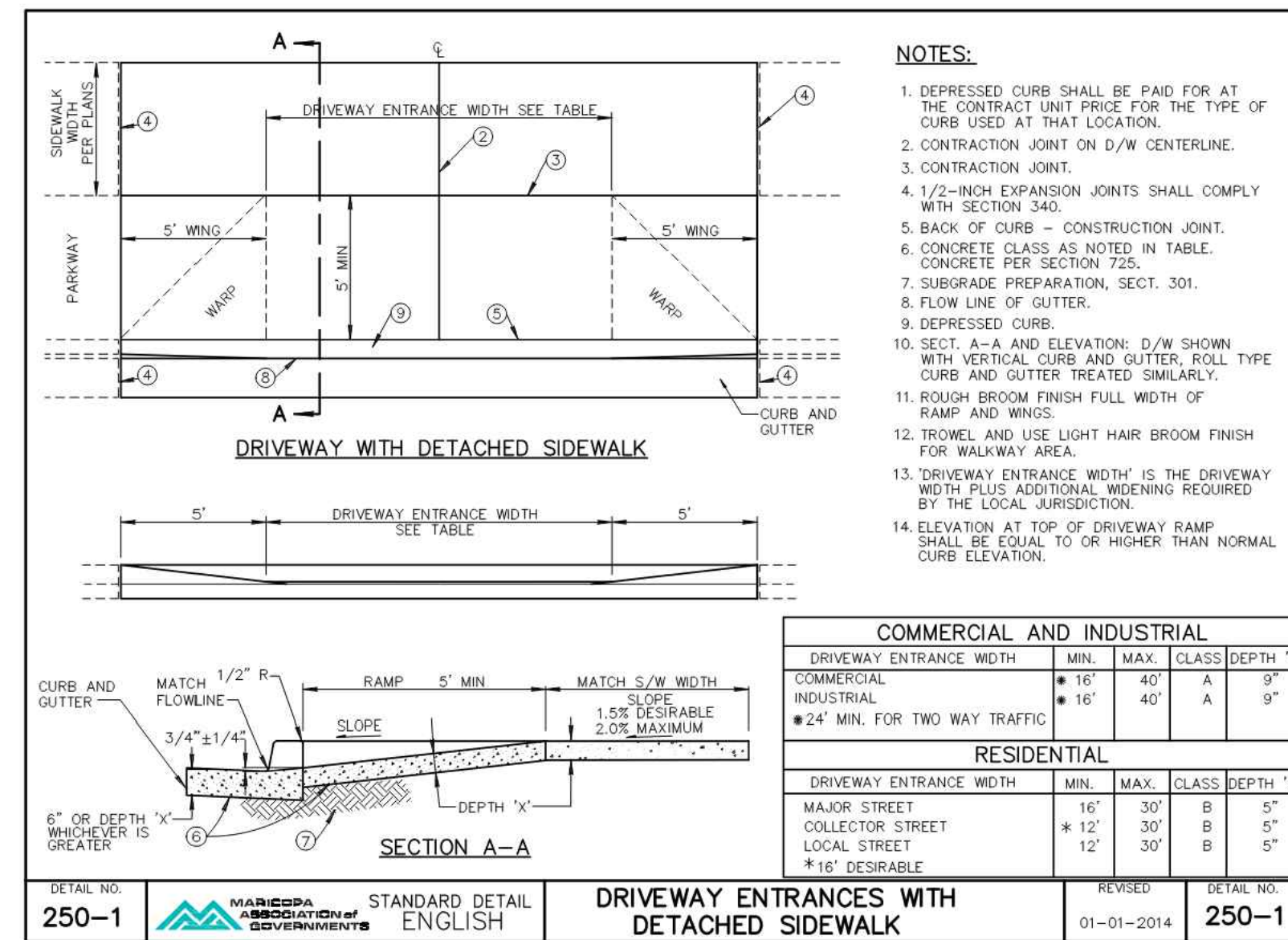
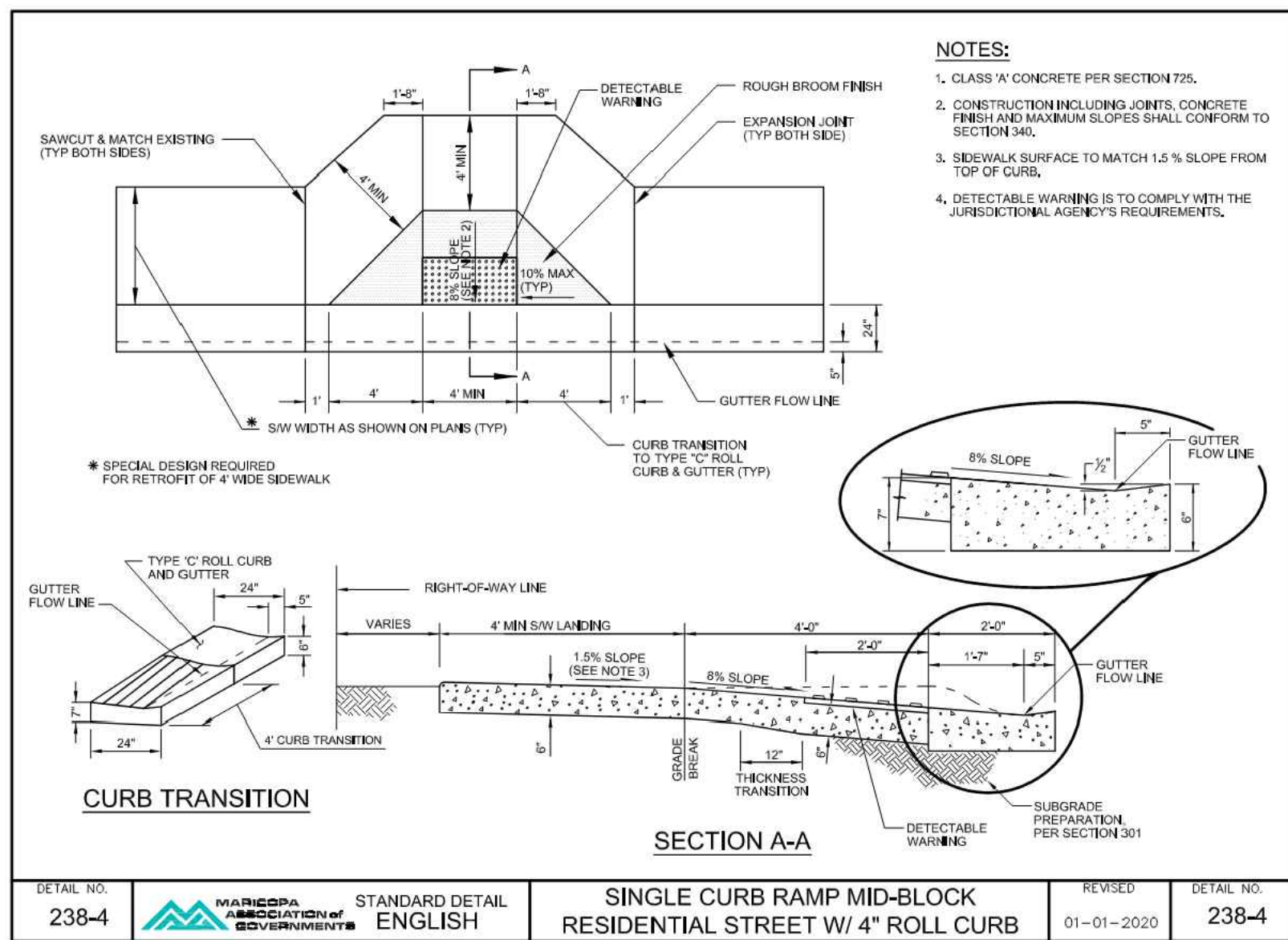
C503 4
SHEET 35 of 46

Contact Arizona 811 at least two full working days before you begin excavation

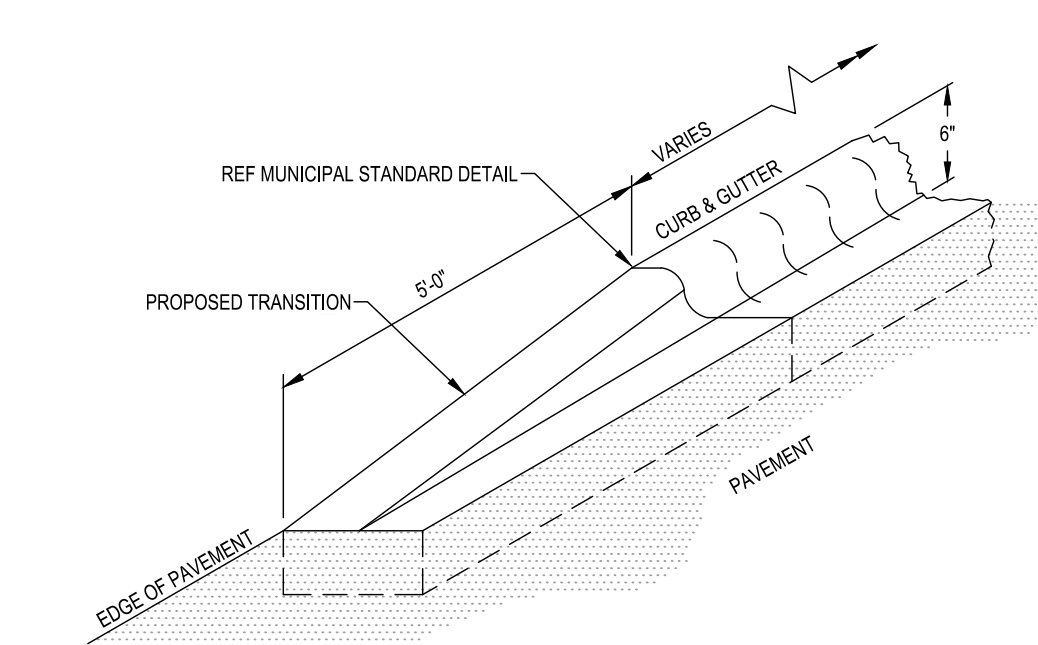
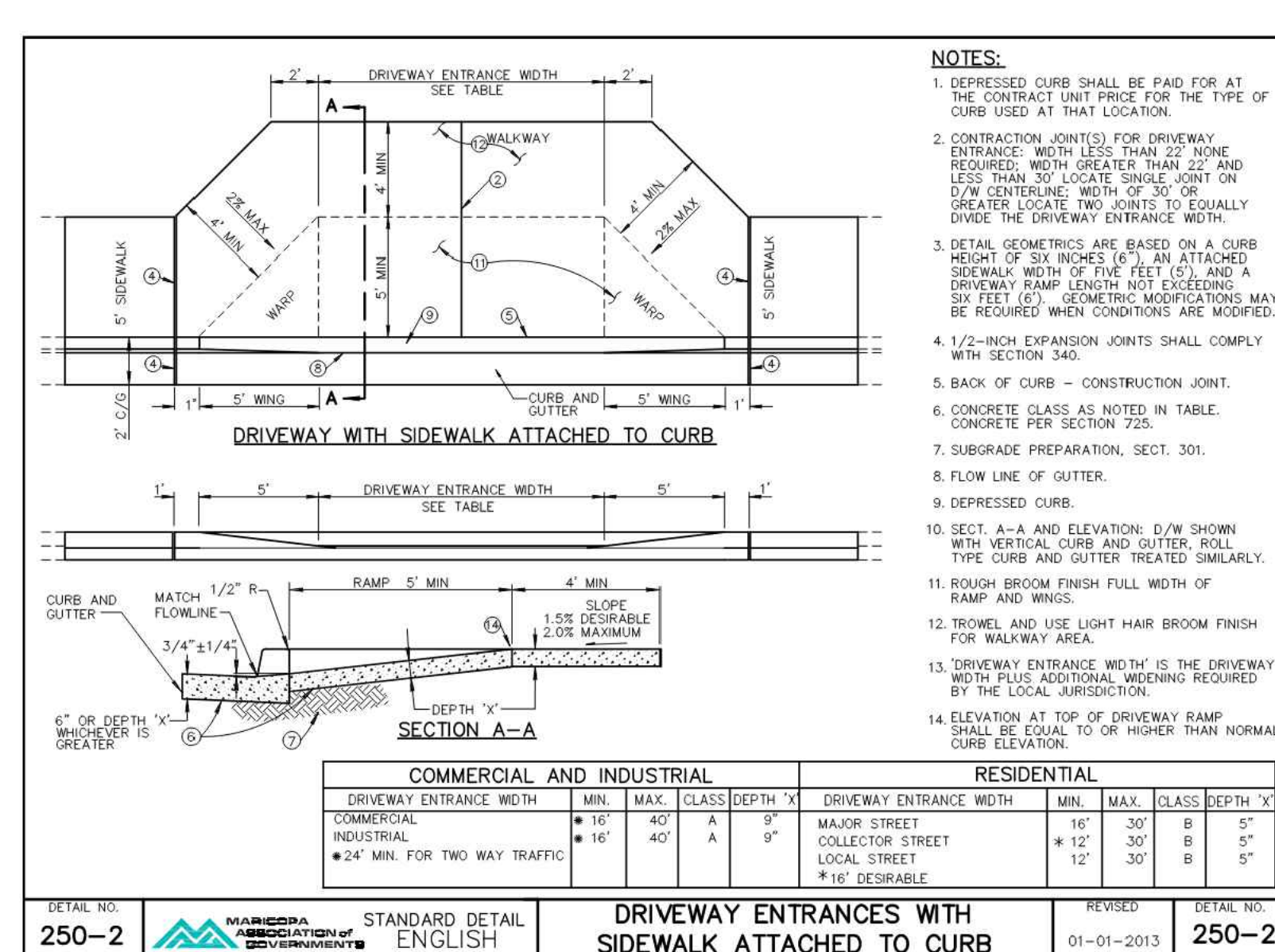
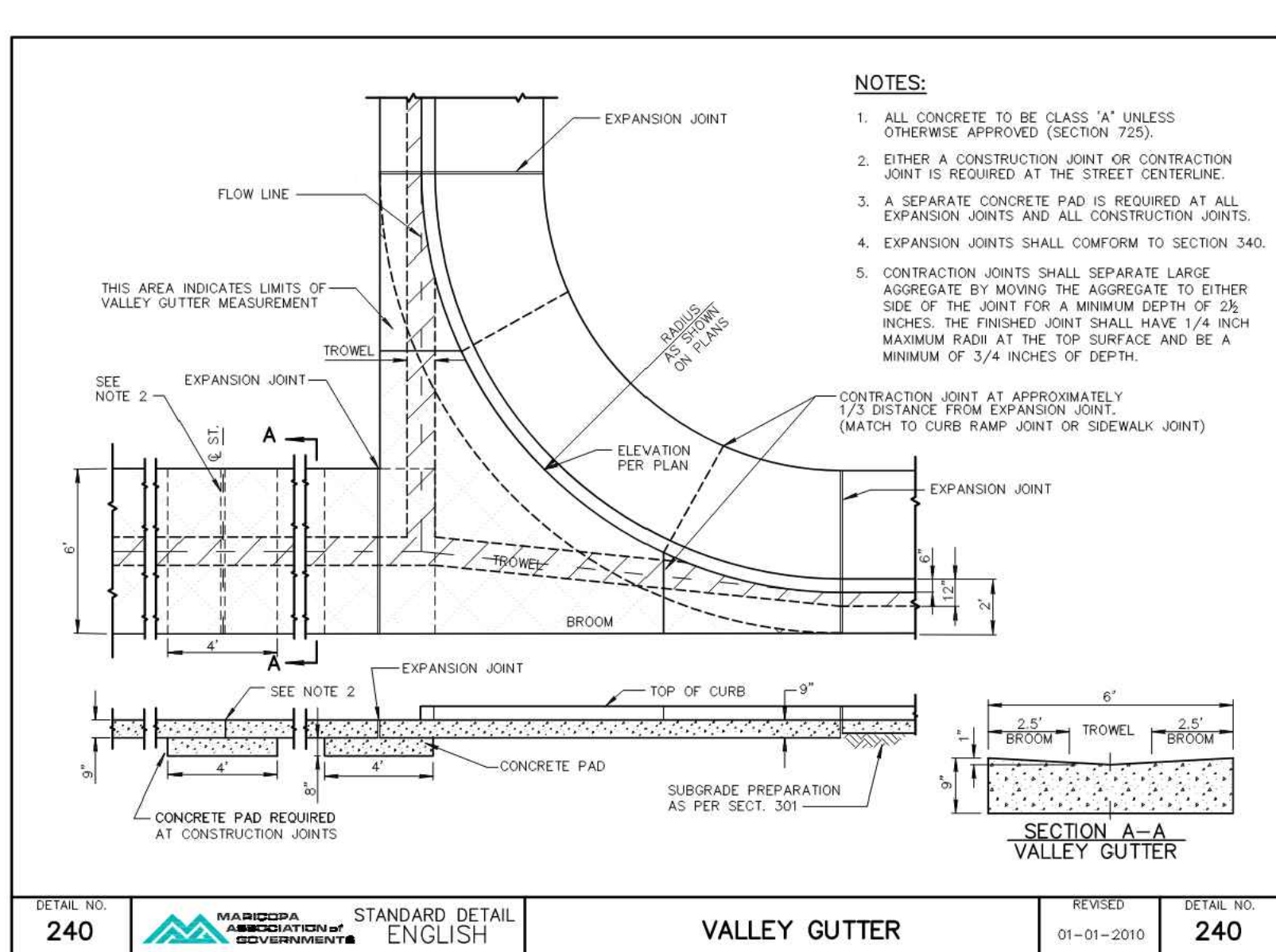
ARIZONA 811
BLUE STAKE, INC.

Call 811 or click Arizona811.org

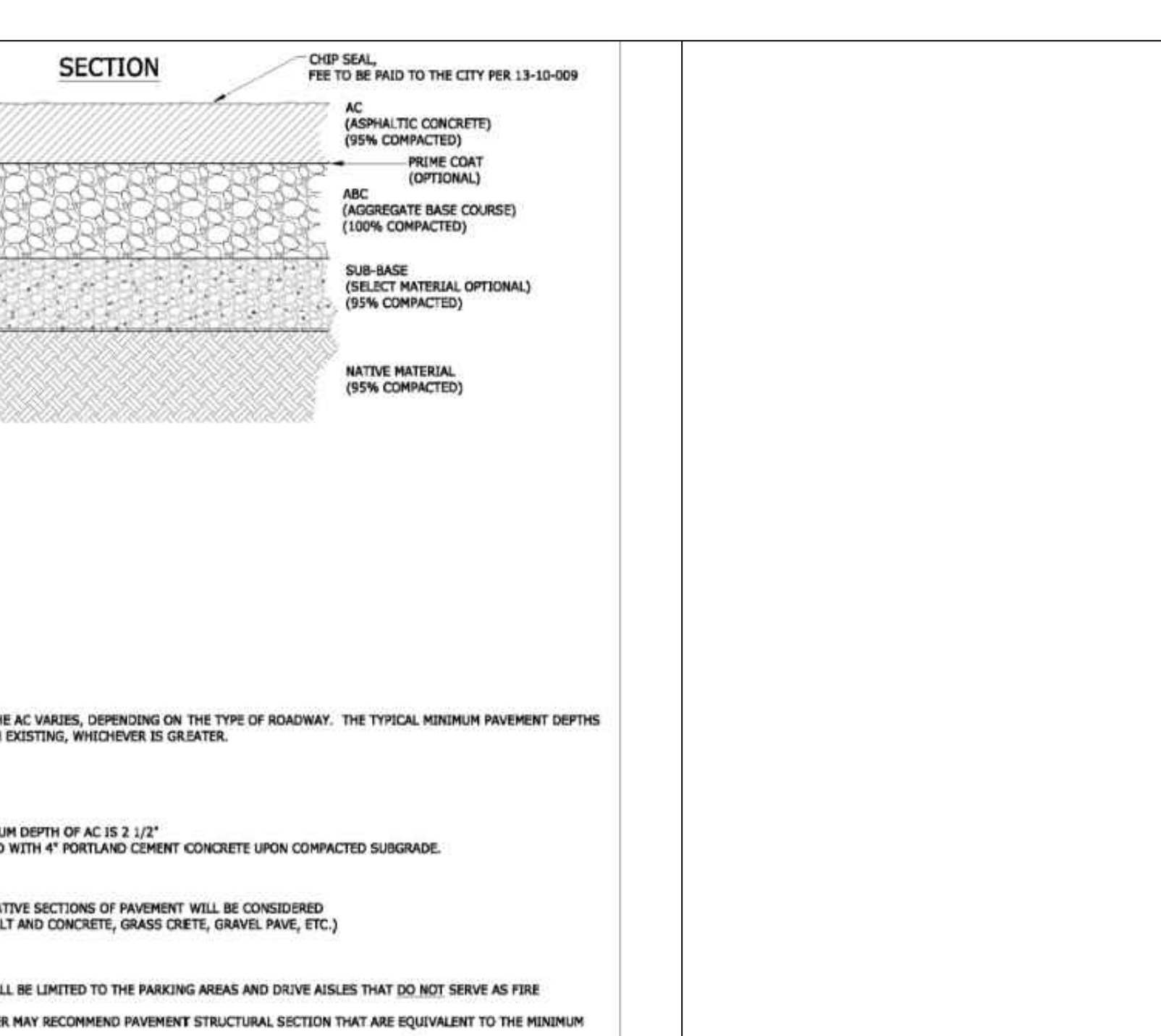
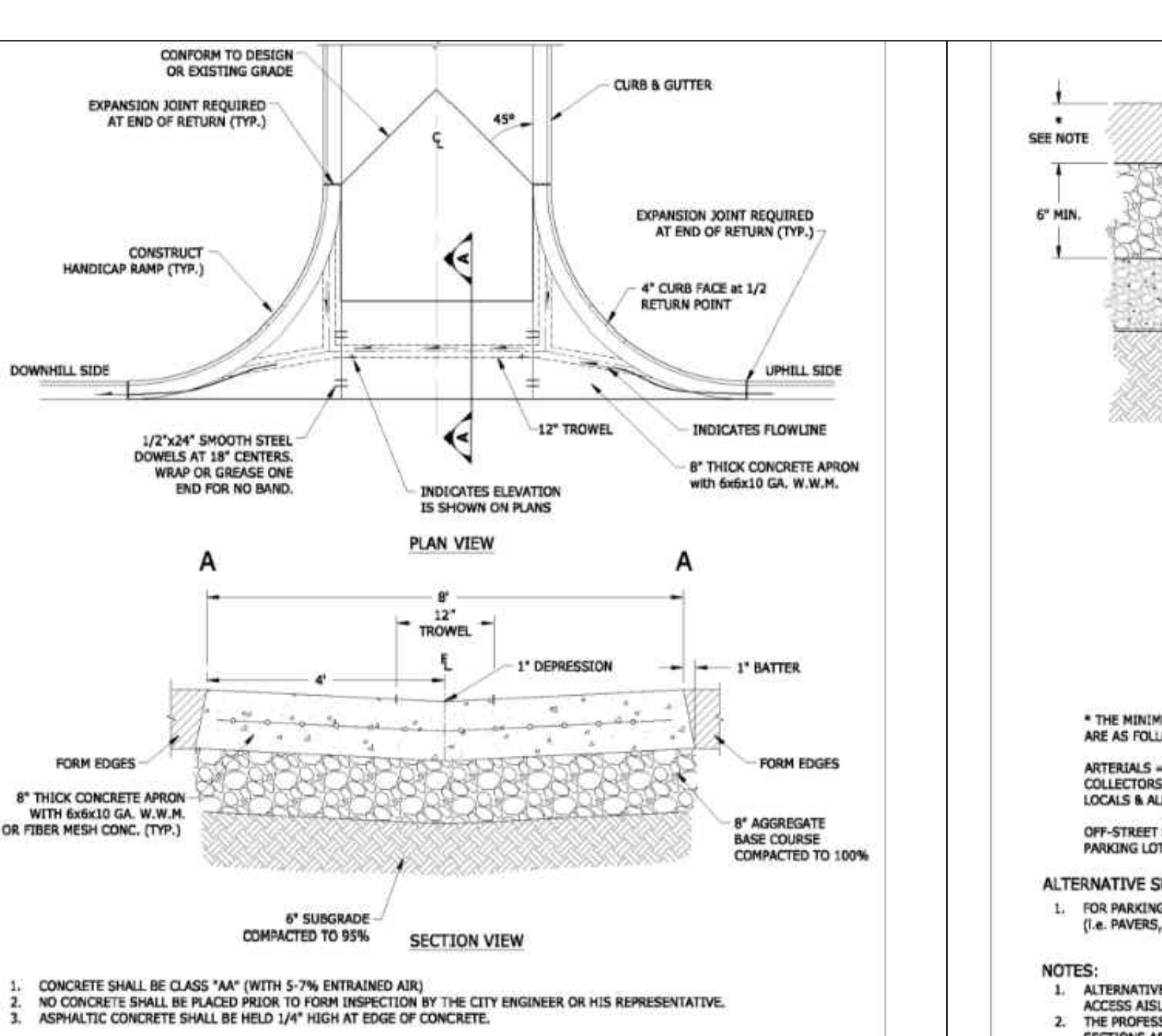
LOCATION OF EXISTING UNDERGROUND UTILITIES IS APPROXIMATE AND BASED ON OBSERVABLE SURFACE FEATURES ONLY. THE CONTRACTOR SHALL CONTACT THE LOCAL SYSTEM PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND DETERMINE THE EXACT LOCATION OF ALL UTILITIES. CONTRACTOR RESPONSIBLE FOR ANY AND ALL DAMAGES INCURRED BY FAILURE TO LOCATE UTILITIES.



B5 PAVEMENT JOINTS
NOT TO SCALE



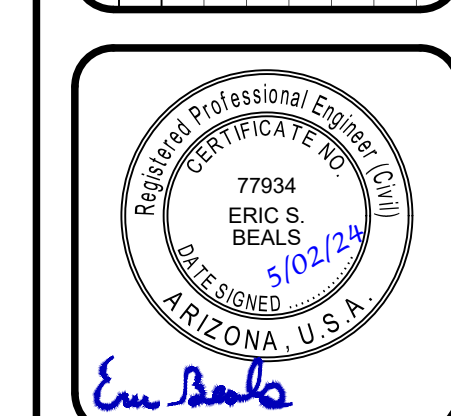
C5 CURB TRANSITION
NOT TO SCALE



D5 DRIVE 'A', 'A2' & 'B' SECTION TYPICAL
NOT TO SCALE

E5 DRIVE 'B2' SECTION TYPICAL
NOT TO SCALE

REV	DATE	DESCRIPTION
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-29-2023
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AUSTIN, TEXAS 78702

FIRM No. F-23395
viewpointengineering.com

OWNED BY: **M TOTH**

CHK BY: **E BEALS**

PROJECT: **PINEHAVEN LAND DEVELOPMENT**

RESIDENTIAL LAND DEVELOPMENT
2951 S. MASONIC LANE
COCONINO COUNTY, ARIZONA

APPLICANT: **RODG DT FLAGSTAFF PROP CO LLC**
241 E 6th STREET, SUITE 203, AUSTIN, TEXAS 78702

TITLE: **SITE PLAN REVIEW CONSTRUCTION DETAILS**

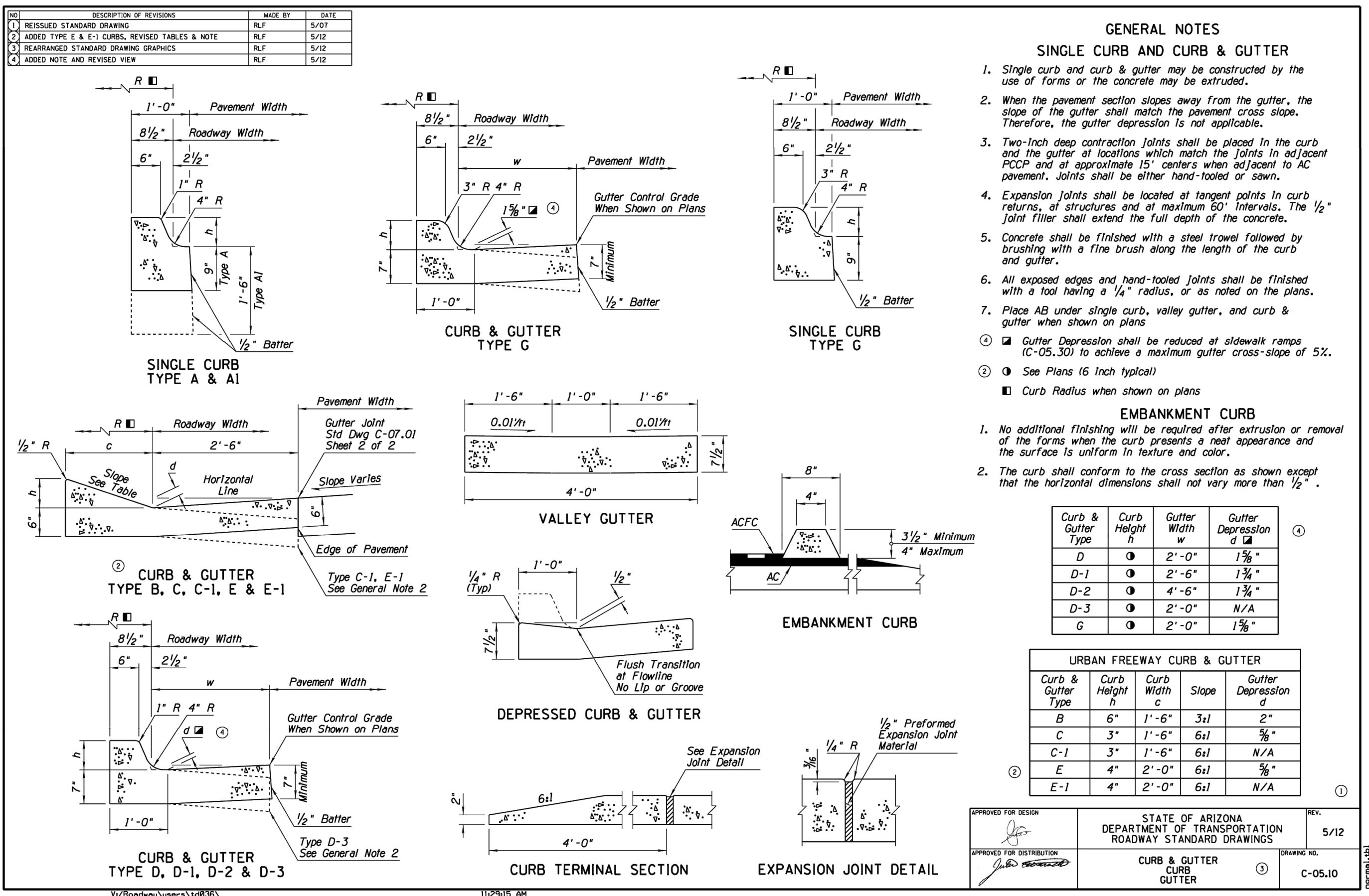
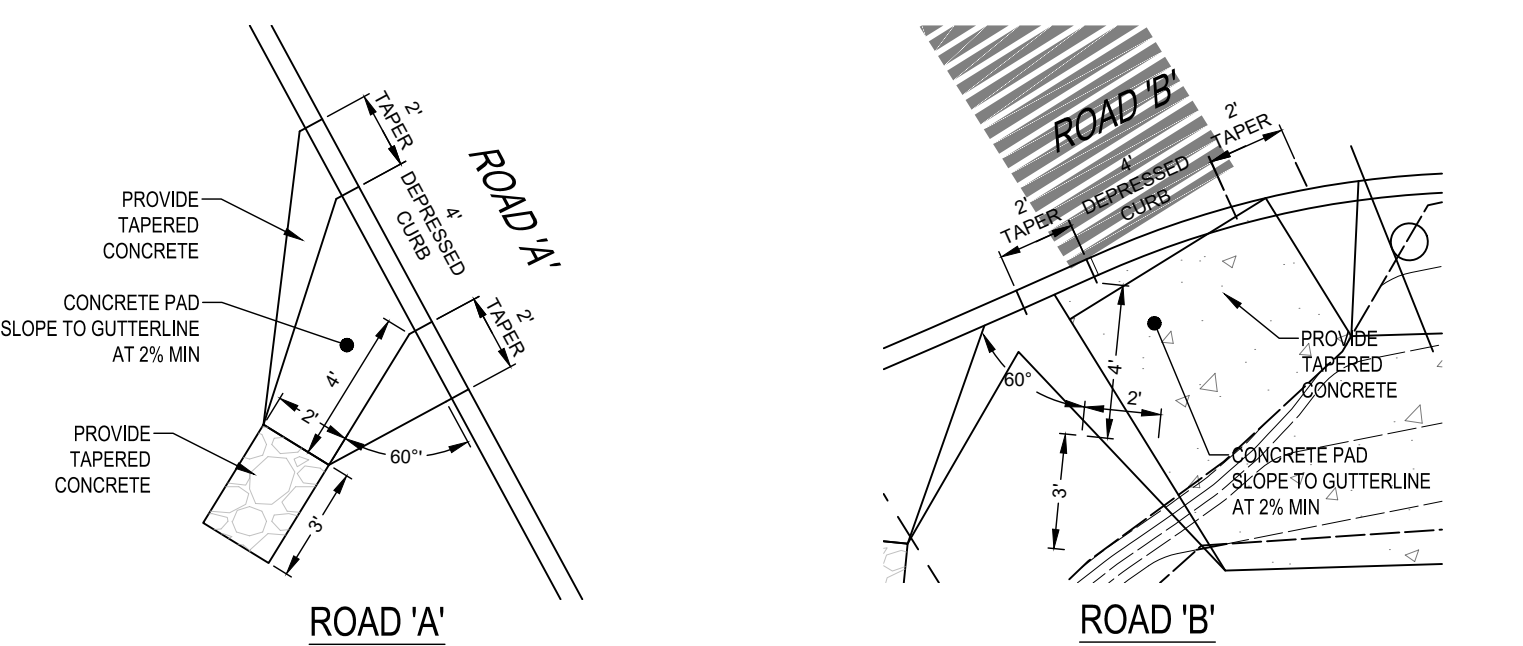
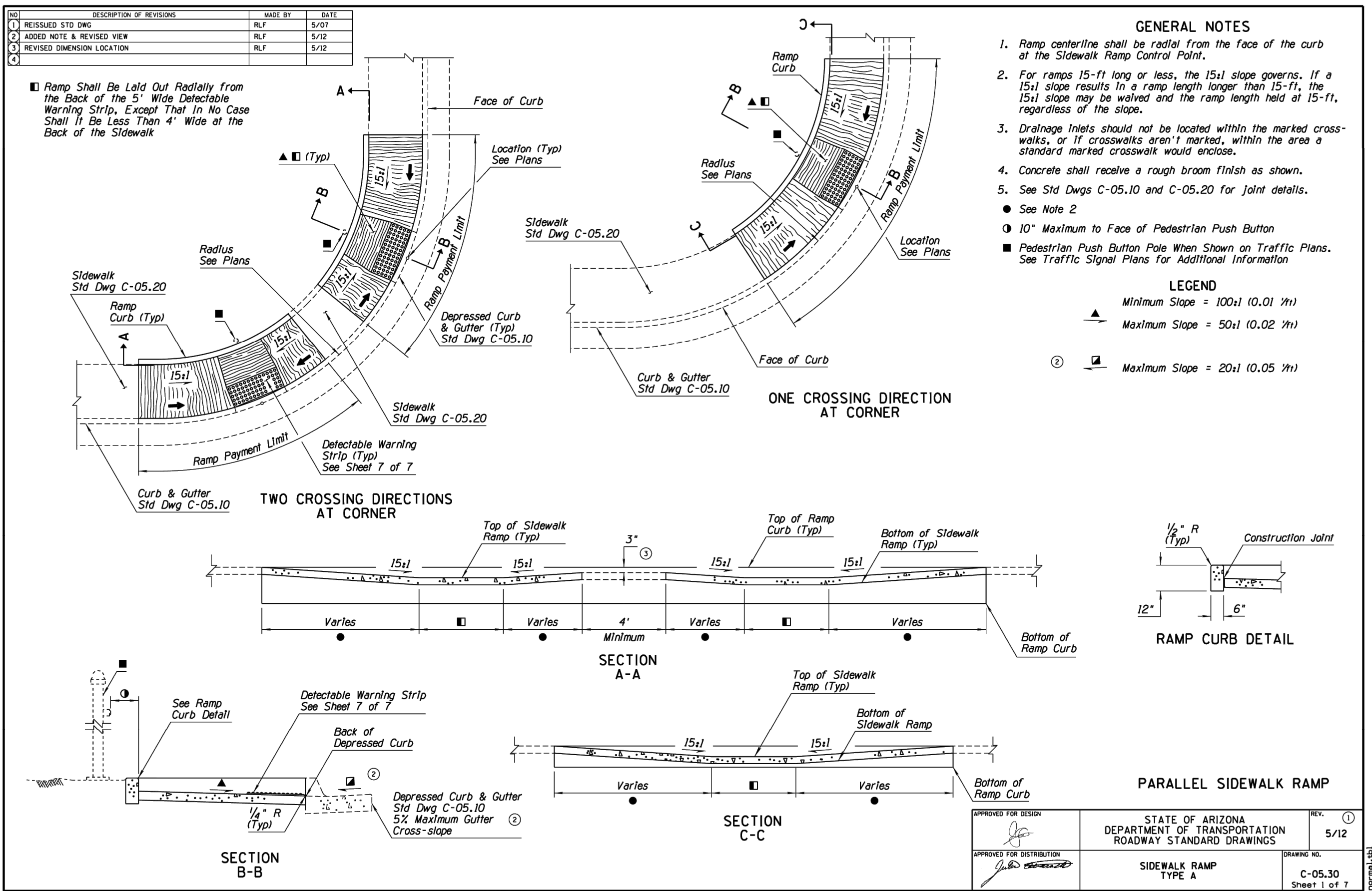
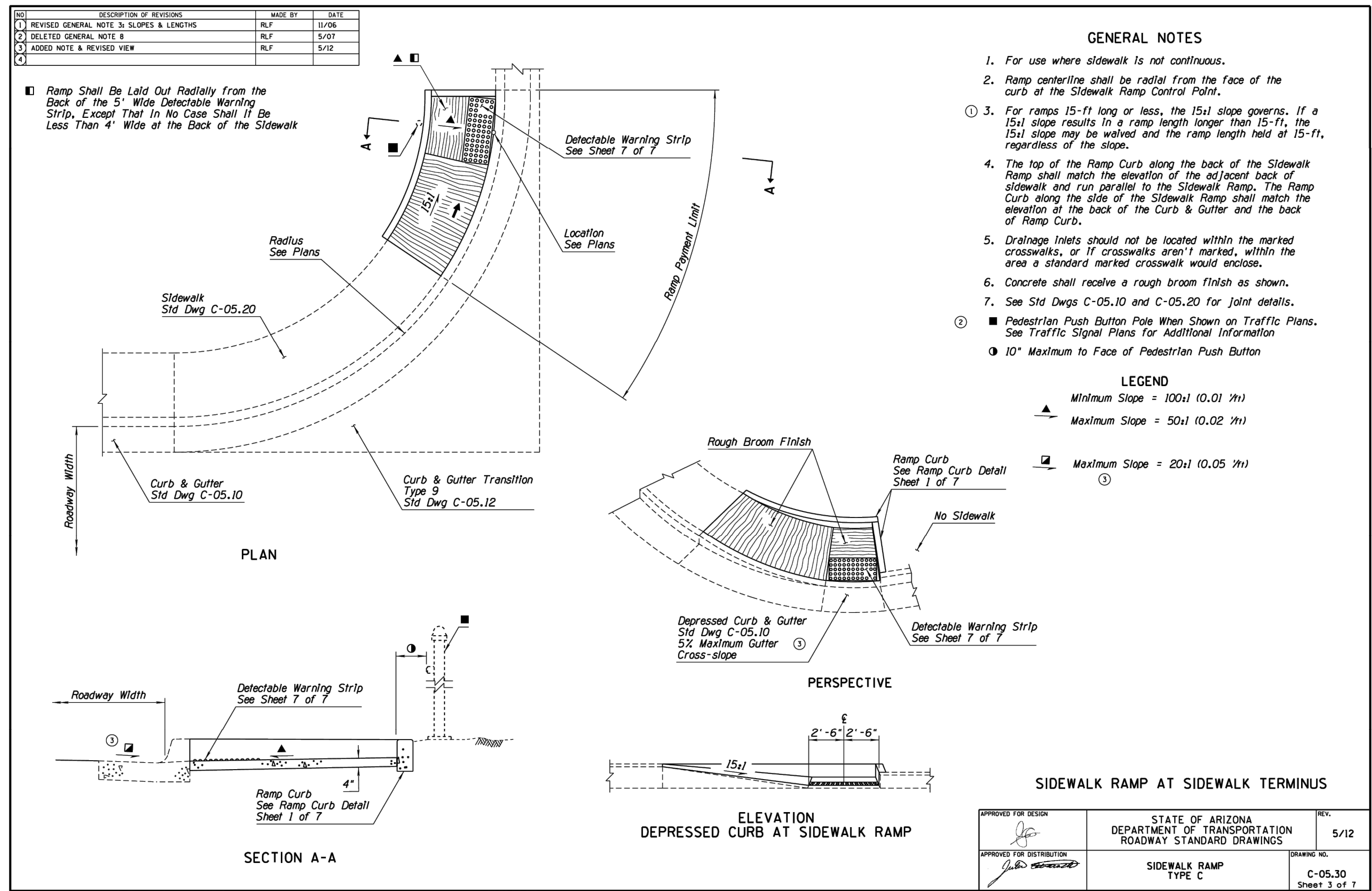
PROJECT NO.: 22004

DATE: MAY 30, 2023

SHEET ID: **C510**

REV: 4

SHEET 36 of 46



REVISIONS

REV	DATE	DESCRIPTION	REVISED PER CITY REVIEW LETTER DATED 9-28-2023	REVISED PER CITY REVIEW LETTER DATED 12-18-2023	REVISED PER CITY REVIEW LETTER DATED 2-8-2024	REVISED PER CITY REVIEW LETTER DATED 4-9-2024
1	11-16-2023					
2	01-18-2024					
3	03-26-2024					
4	05-02-2024					



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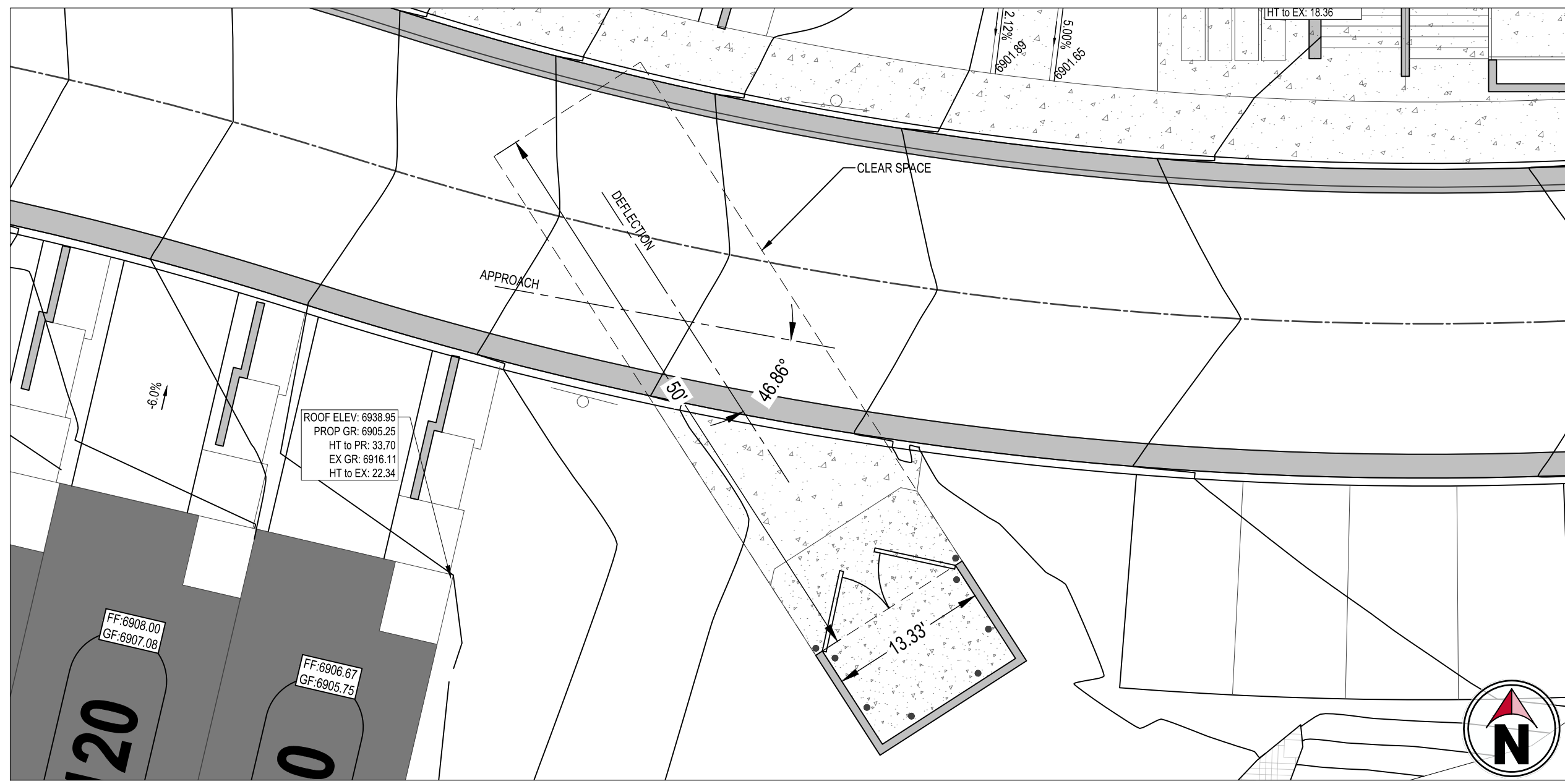
OWEN BY: M TOTH
CHK BY: E BEALS

PINEHAVEN LAND DEVELOPMENT
2851 S. MASONIC LANE
COCONINO COUNTY, ARIZONA

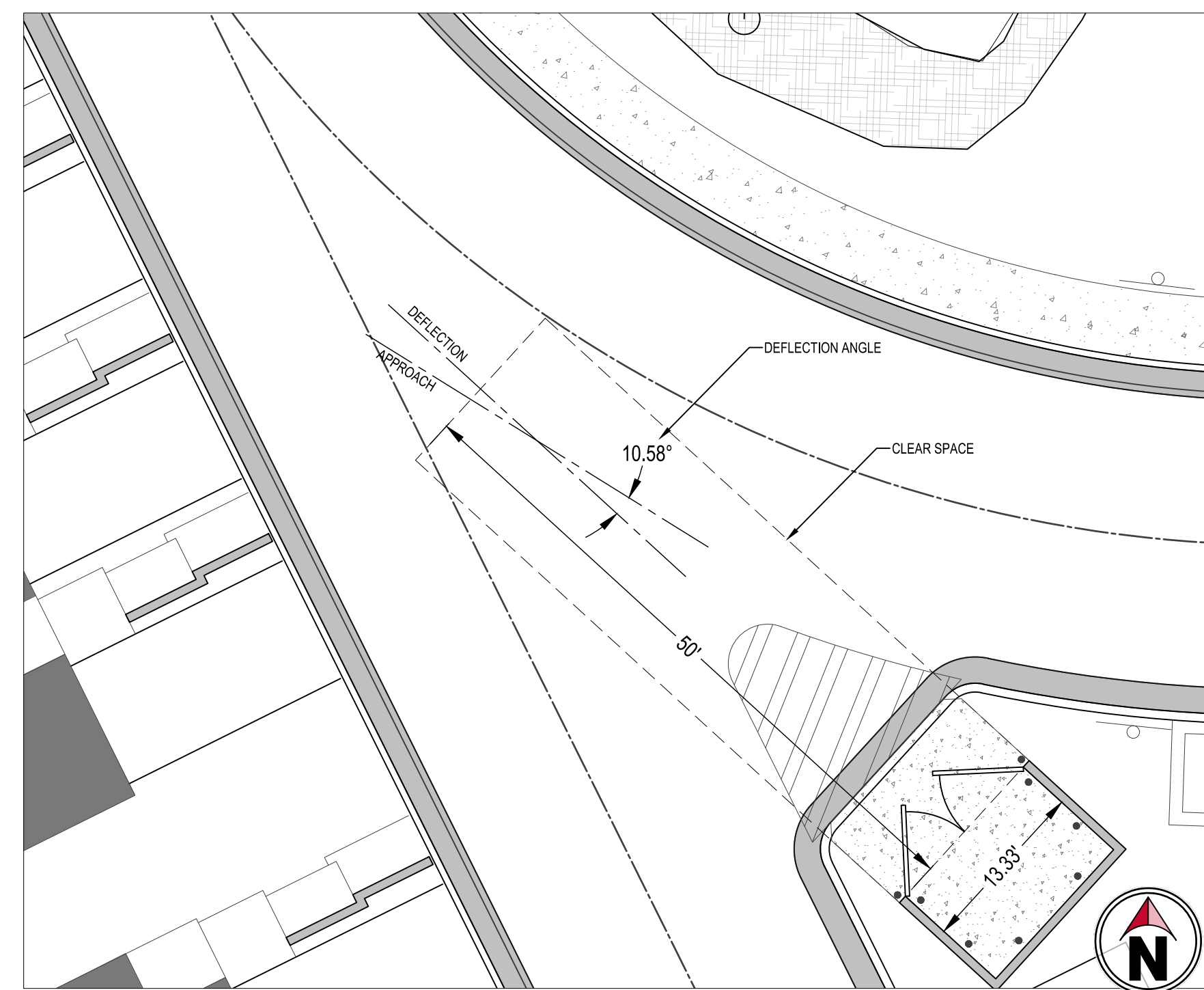
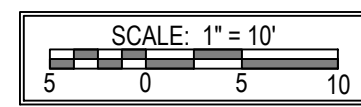
RODG DT FLAGSTAFF PROP CO LLC
211 E 6TH STREET, SUITE 200, AUSTIN, TEXAS 78702

SITE PLAN REVIEW CONSTRUCTION DETAILS

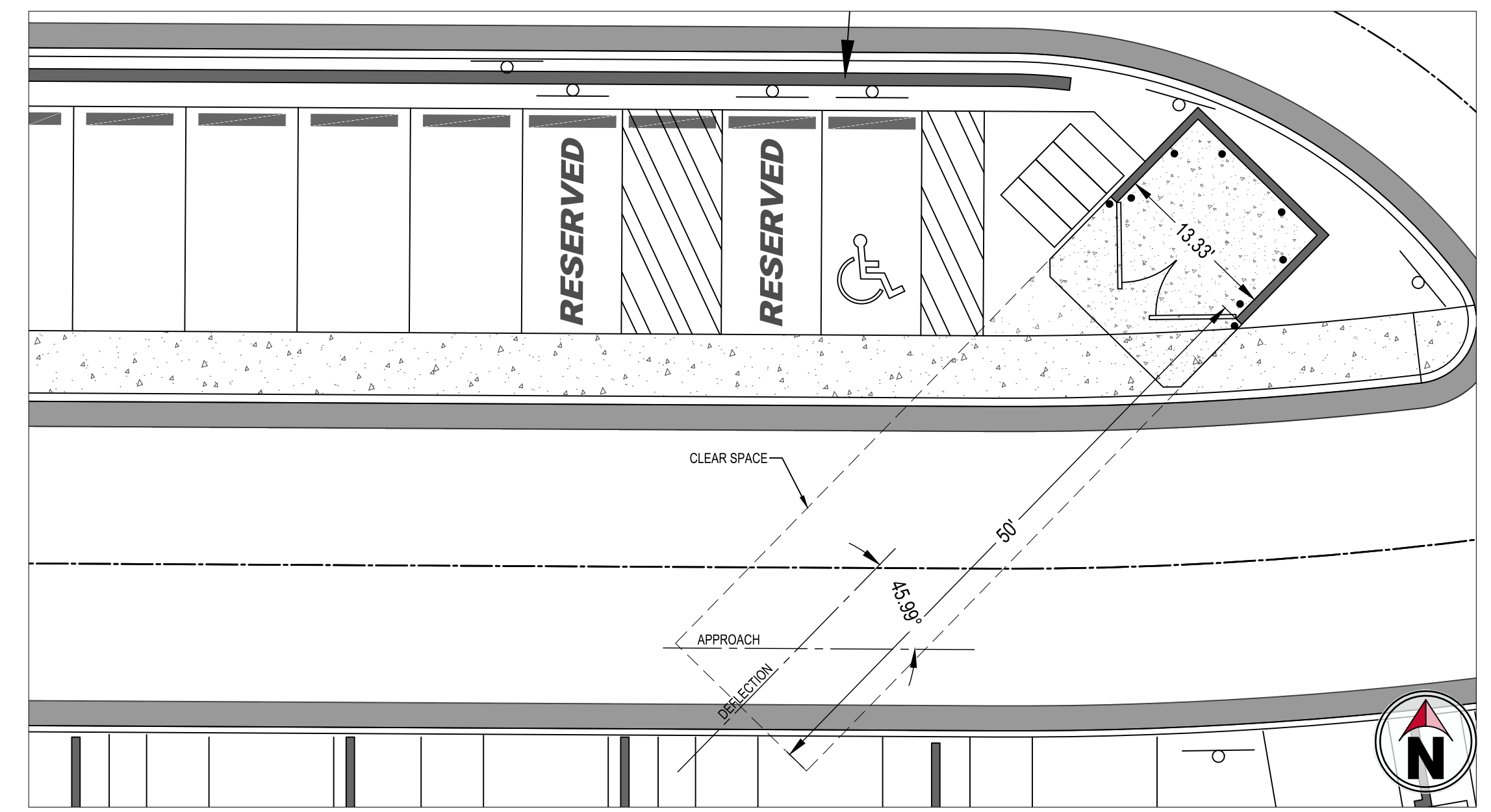
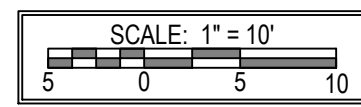
PROJECT NO. 22004
DATE MAY 30, 2023
SHEET ID C511
REV 4
SHEET 37 of 46



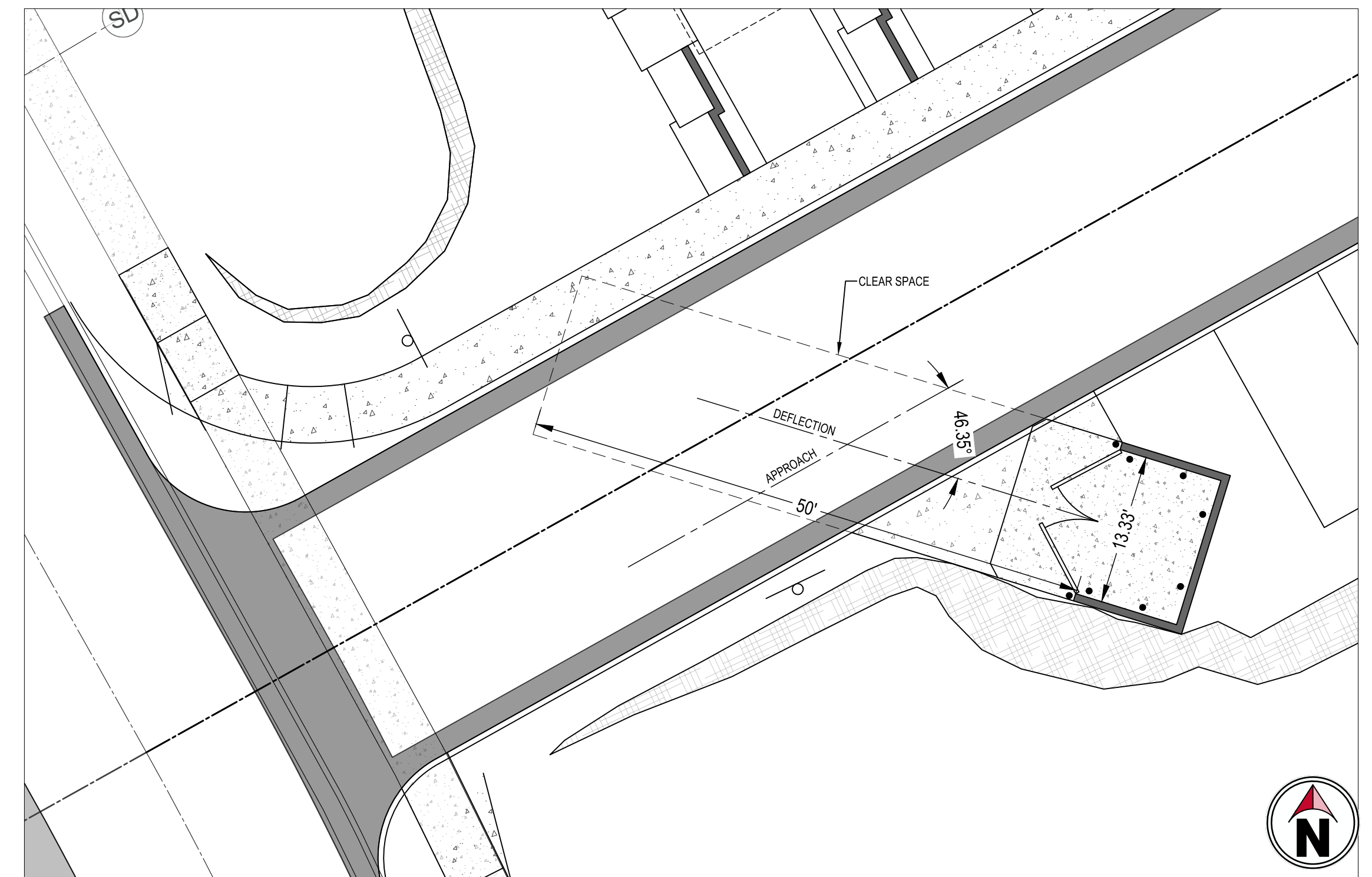
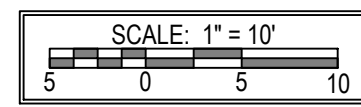
B1 TRASH ENCLOSURE - CLUBHOUSE
SCALE 1" = 5'



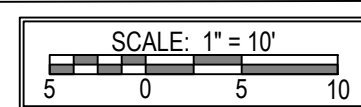
D1 TRASH ENCLOSURE - ROAD A
SCALE 1" = 5'



B4 TRASH ENCLOSURE - ROAD B PARKING AREA
SCALE 1" = 5'



D4 TRASH ENCLOSURE ROAD B
SCALE 1" = 5'



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4	05-02-2024	REVISED PER CITY REVIEW LETTER DATED 4-9-2024



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2121 E 6th STREET, SUITE 203
AUSTIN, TEXAS 78702

FIRM No. F-23395
viewpointengineering.com

OWN BY: **M TOTH**
CHK BY: **E BEALS**

PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
2951 S. MASONIC LANE
COCONINO COUNTY, ARIZONA

APPLICANT: **RODGT FLAGSTAFF PROP CO LLC**
2121 E 6TH STREET, SUITE 203, AUSTIN, TEXAS 78702

TITLE: **SITE PLAN REVIEW TRASH ENCLOSURE DETAILS**

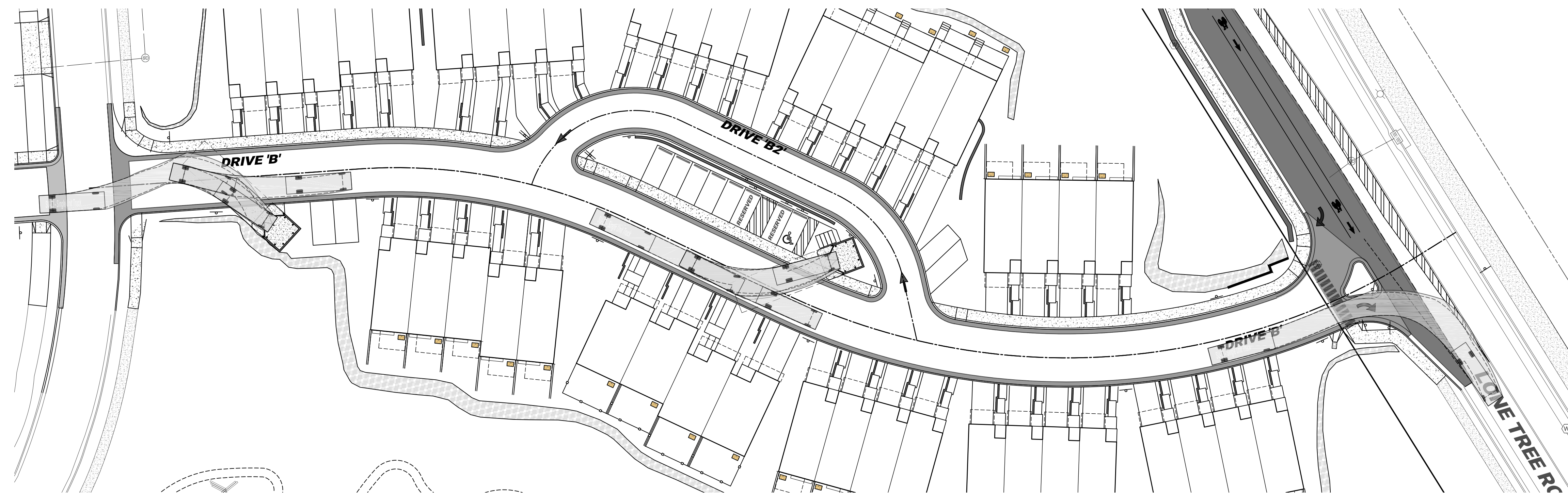
PROJECT NO.: **22004**
DATE: **MAY 30, 2023**

SHEET ID: **C512**
REV: **4**

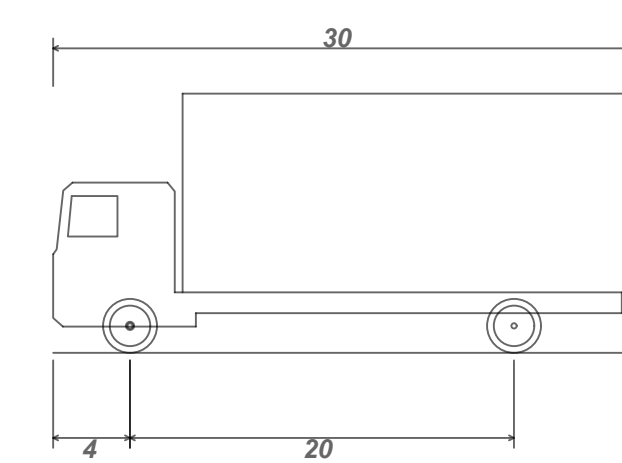
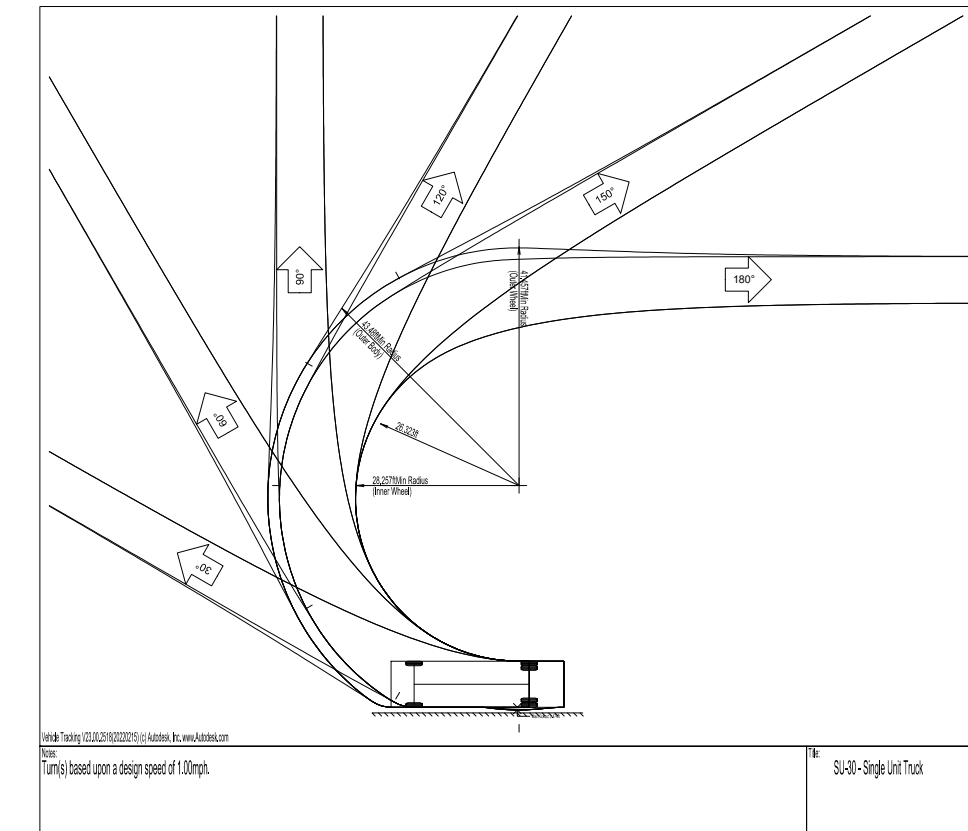
SHEET 38 of 46



B1 TRASH TRUCK MOVEMENT - ROAD 'A'
SCALE 1" = 30'



D1 TRASH TRUCK MOVEMENT - ROAD 'B'
SCALE 1" = 30'

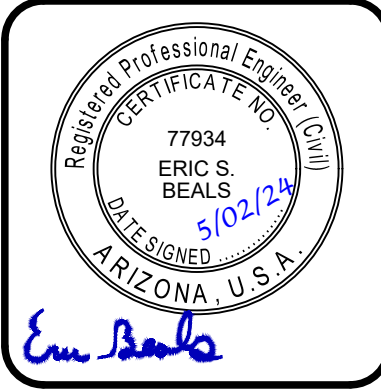


SU-30 - Single Unit Truck
 Overall Length 30.000ft
 Overall Width 8.000ft
 Overall Body Height 13.500ft
 Min Body Ground Clearance 1.367ft
 Track Width 8.000ft
 Lock-to-lock time 5.00s
 Max Steering Angle (Virtual) 31.80°



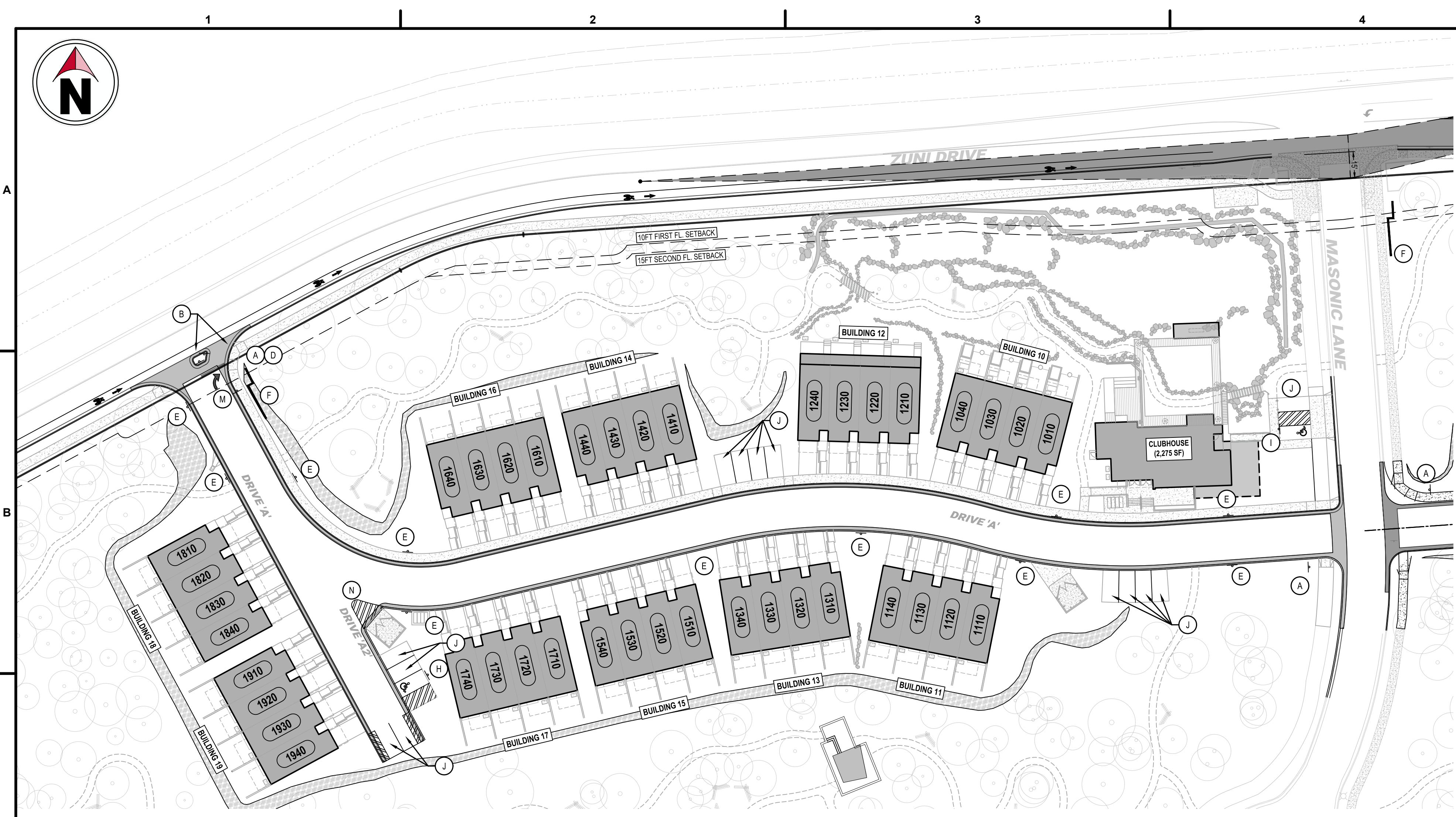
SCALE: 1" = 30'
15 0 15 30

REV	DATE	DESCRIPTION
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-26-2023
2	01-18-2024	REVISED PER CITY REVIEW LETTER DATED 12-18-2023
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4	05-02-2024	REVISED PER CITY REVIEW LETTER DATED 4-9-2024



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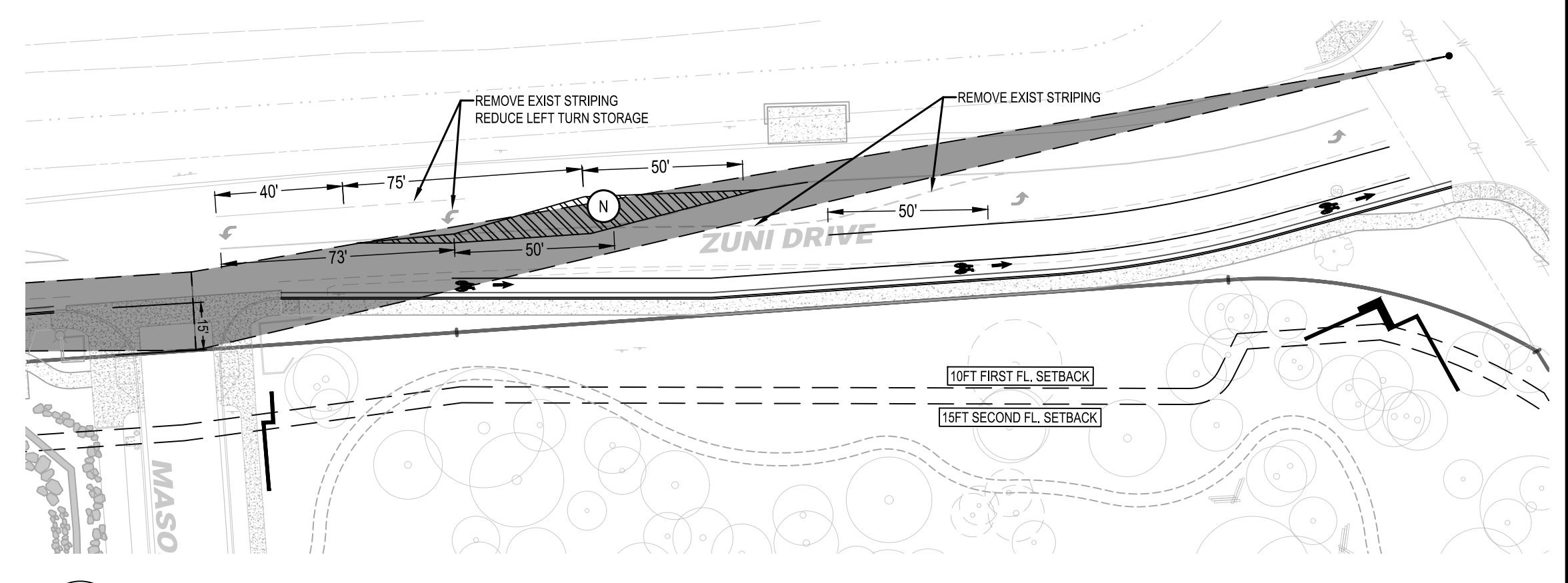
OWN BY:	M TOTH
CHK BY:	E BEALS
PROJECT:	PINEHAVEN LAND DEVELOPMENT RESIDENTIAL LANE 2951 S. MASONIC LANE COCONINO COUNTY, ARIZONA
APPLICANT:	RODG DT FLAGSTAFF PROP CO LLC 211 E 6TH STREET, SUITE 203, AUSTIN, TEXAS 78702
TITLE:	SITE PLAN REVIEW TRASH VEHICLE MOVEMENT PLAN
PROJECT NO.:	22004
DATE:	MAY 30, 2023
SHEET ID:	C513
REV:	4



C1 PLAN VIEW (DRIVE 'A' / 'A2')
SCALE: 1" = 40'



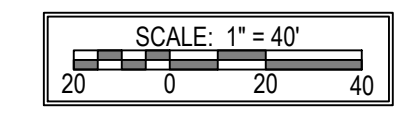
E1 PLAN VIEW (DRIVE 'B' / 'B2')
SCALE: 1" = 40'



A4 PLAN VIEW: ZUNI DRIVE RESTRIPIING
SCALE: 1" = 40'

NOTE: SIGNAGE AND STRIPING PROVIDED IS FOR CONCEPTUAL PURPOSES ONLY TO DEMONSTRATE GENERAL COMPLIANCE WITH CITY CODE. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF SIGNAGE AND STRIPING.

THE APPLICANT IS REQUIRED TO SUBMIT A SEPARATE SIGN PERMIT WITH THE CITY FOR REVIEW AND APPROVAL..



ID	DESCRIPTION
A	STOP SIGN
B	DO NOT ENTER
C	ONE WAY
D	NO LEFT TURN
E	NO PARKING FIRE LANE
F	MONUMENT SIGN (SEE ARCH PLANS)
G	RESERVED PARKING (WITH UNIT NUMBER)
H	ADA PARKING SPACE w/SIGN
I	ADA PARKING SPACE w/BOLLARD MOUNTED SIGN
J	9' x 18' PARKING
K	PAINTED CROSSWALK
L	PAINTED ARROW (STRAIGHT)
M	PAINTED ARROW (RIGHT)
N	GORE STRIPING

NOTE: ALL SIGNAGE, PAVEMENT MARKINGS, AND TRAFFIC CONTROL DEVICES USED DURING CONSTRUCTION ARE TO BE IN CONFORMANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD)

REV	DATE	DESCRIPTION
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-26-2023
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4	05-02-2024	REVISED PER CITY REVIEW LETTER DATED 4-9-2024



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OWN BY: **M TOTH**
CHK BY: **E BEALS**

PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
2951 S. MASONIC LANE
COCONINO COUNTY, ARIZONA

APPLICANT: **RODG DT FLAGSTAFF PROP CO LLC**
241 E 6th STREET, SUITE 203, AUSTIN, TEXAS 78702

TITLE: **SITE PLAN REVIEW SIGNAGE & STRIPING PLAN**

PROJECT NO.: 22004
DATE: MAY 30, 2023
SHEET ID: **C601** REV: 4
SHEET 40 of 46

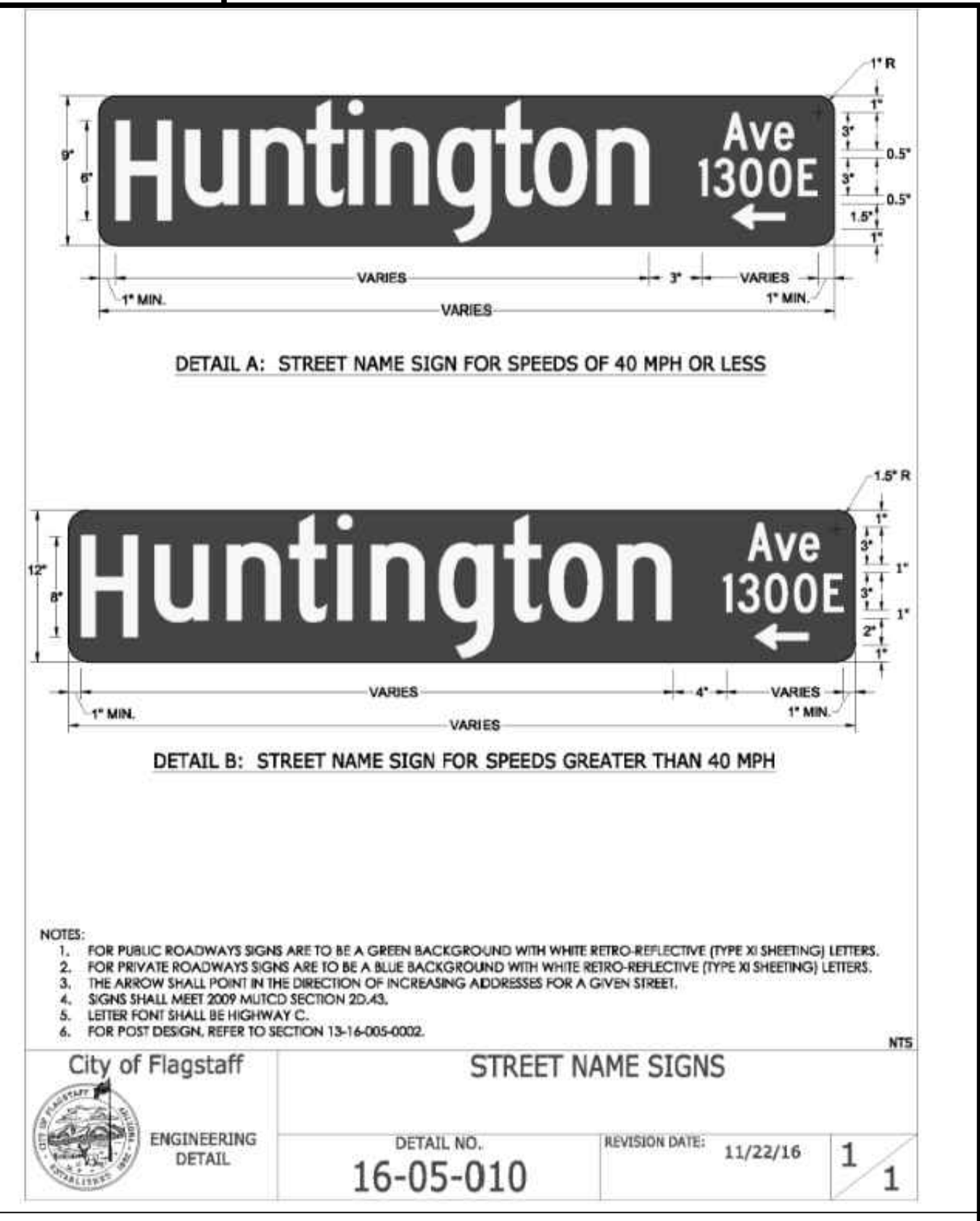
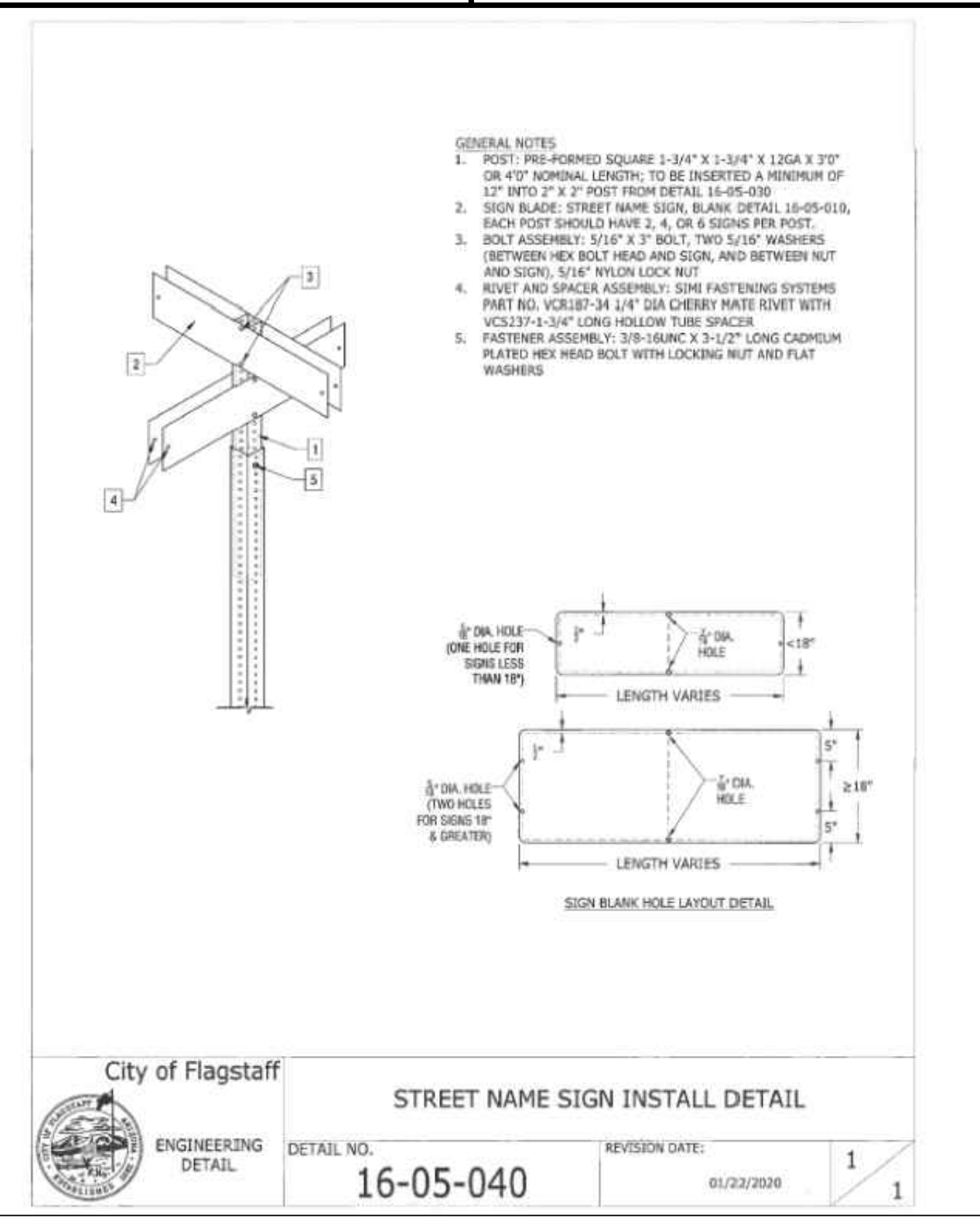
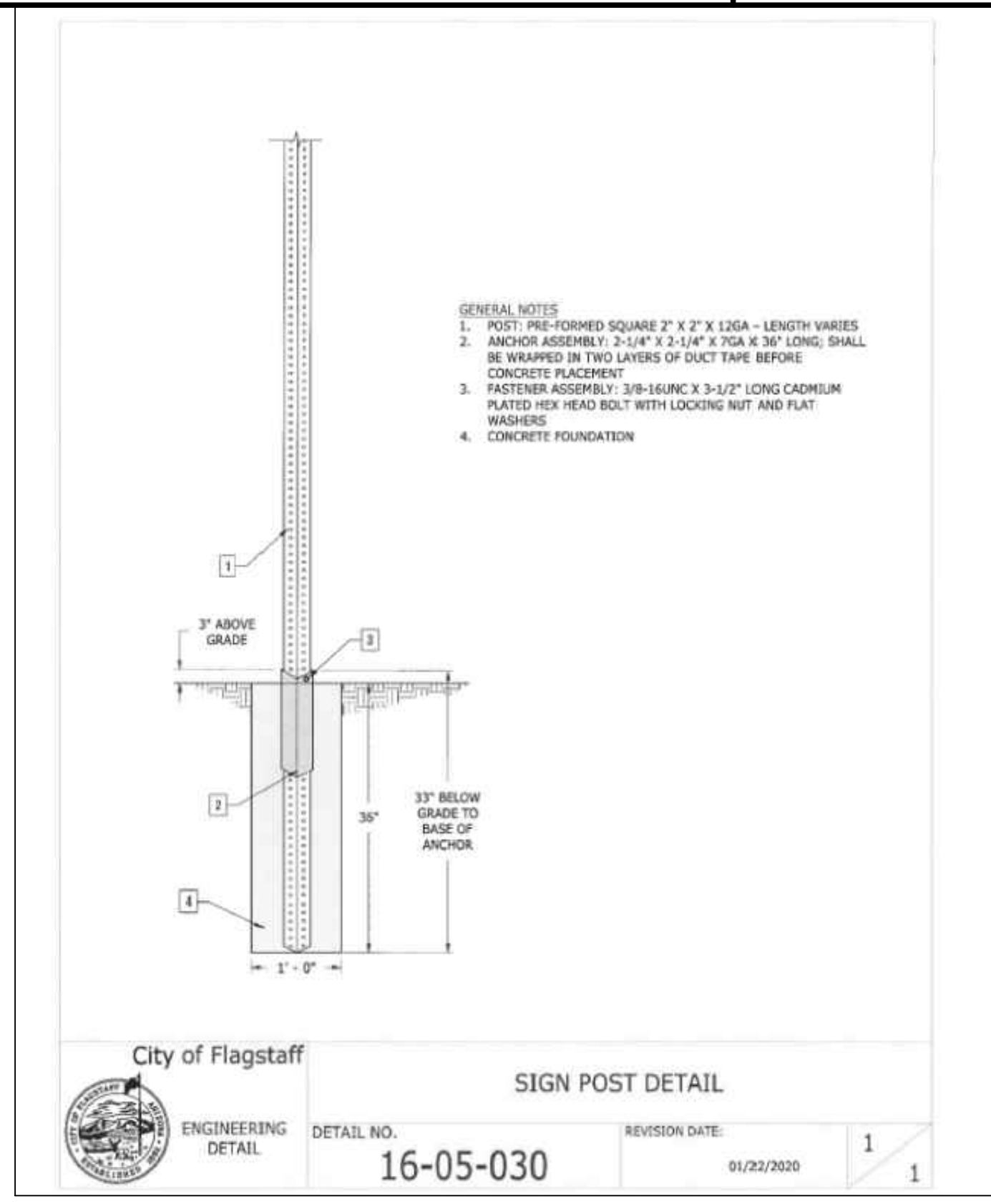
A

B

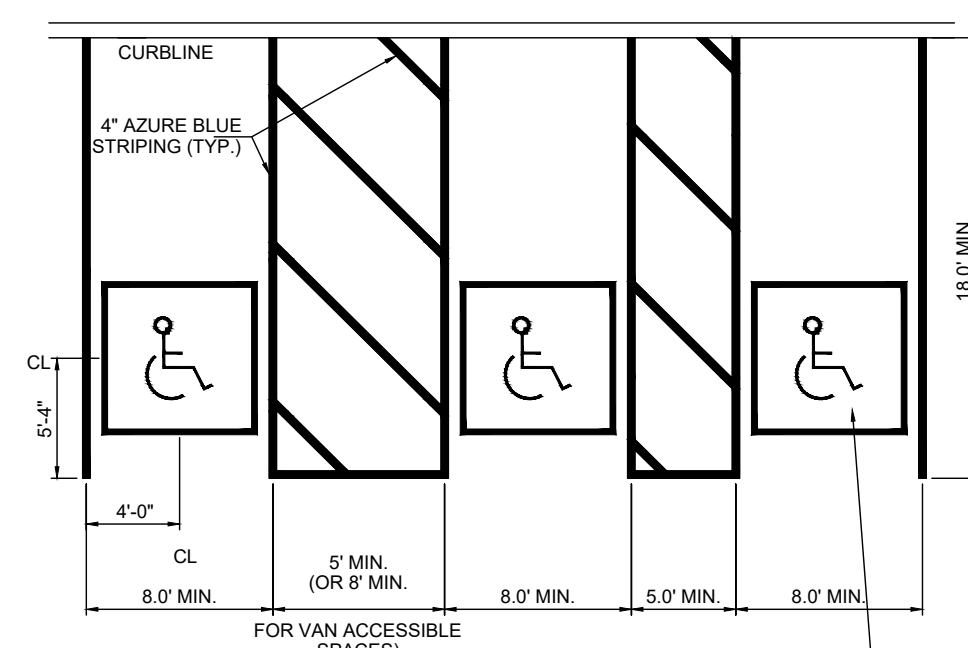
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D

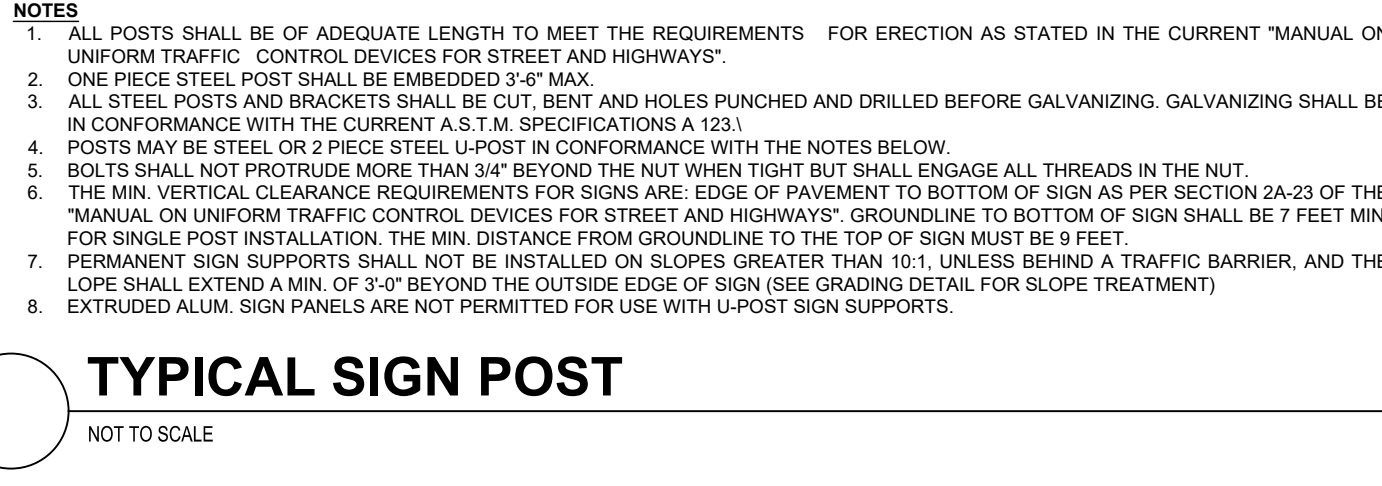
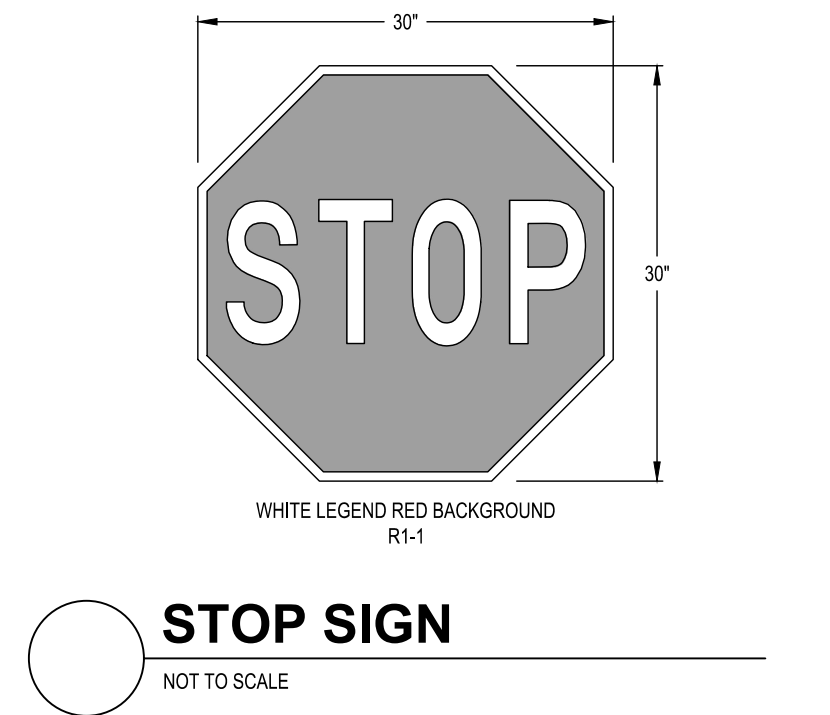
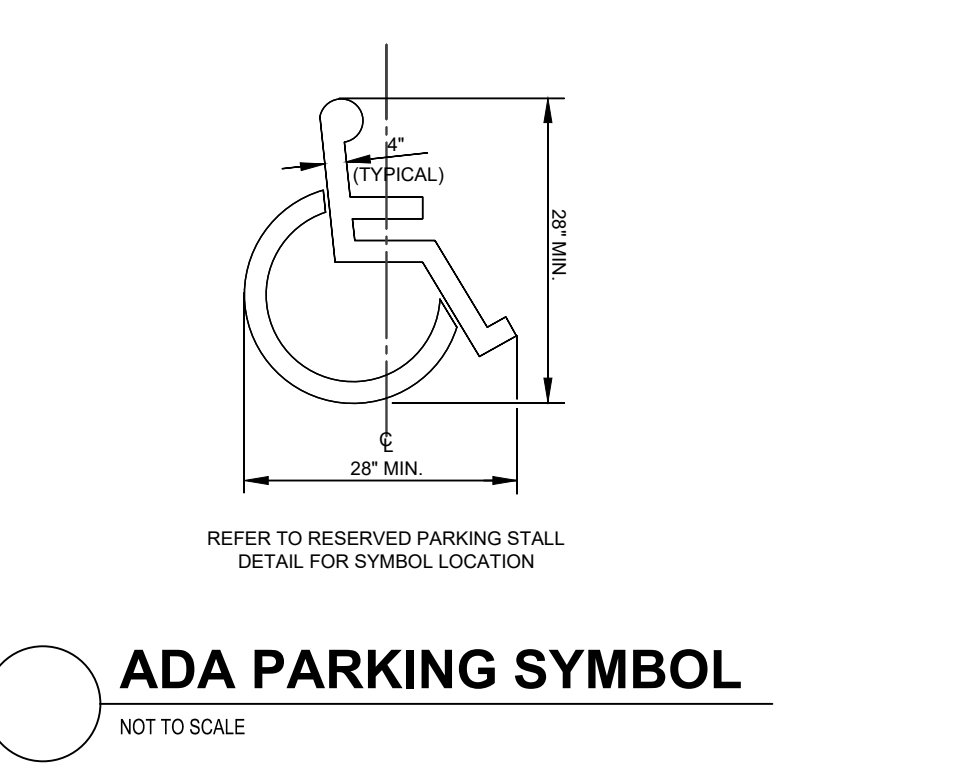
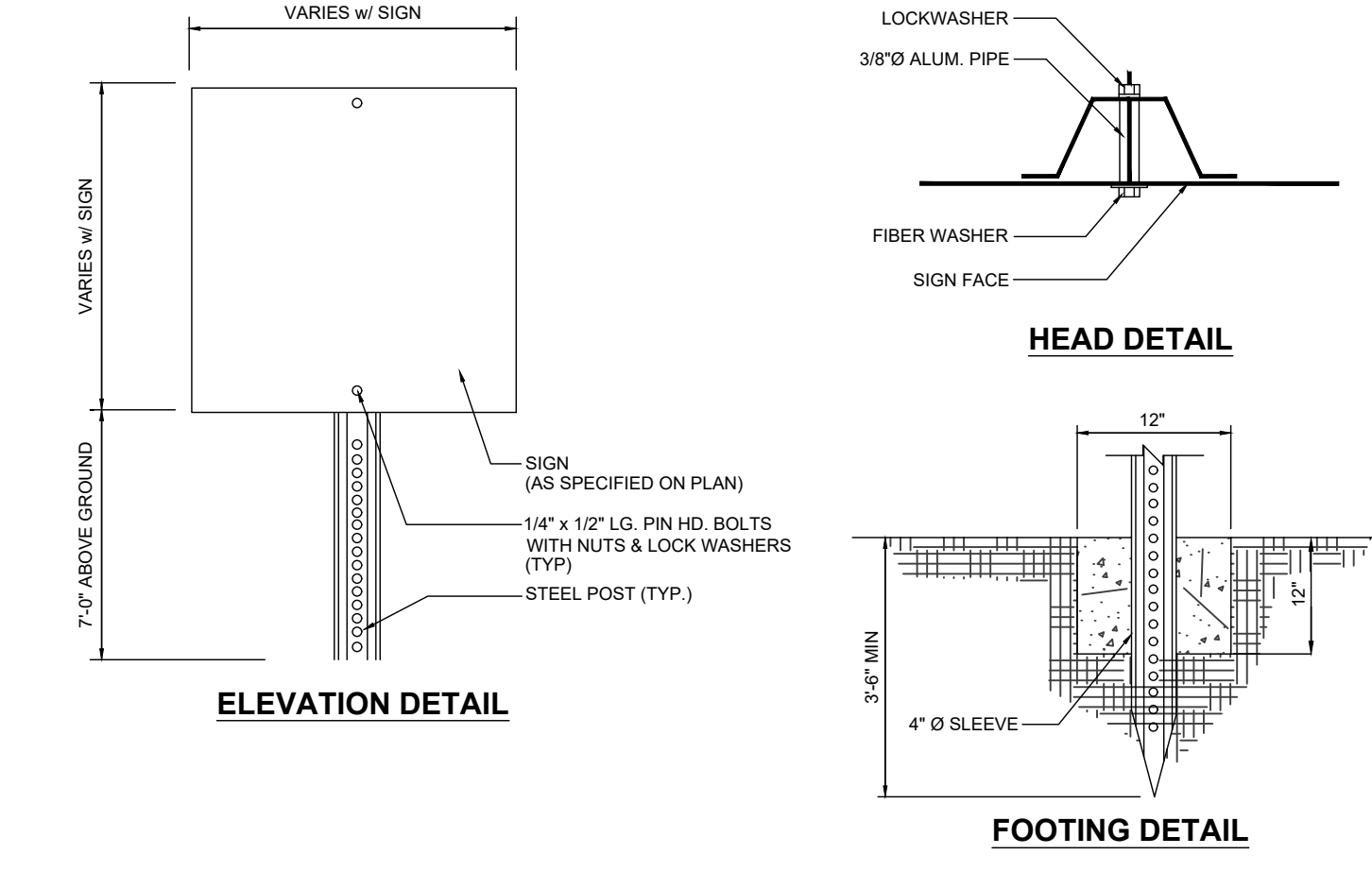
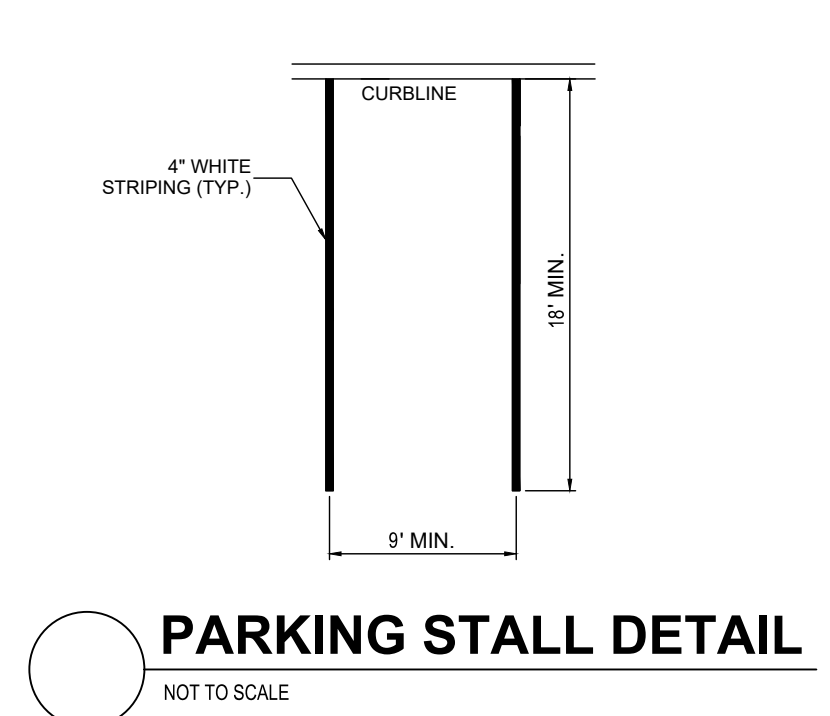
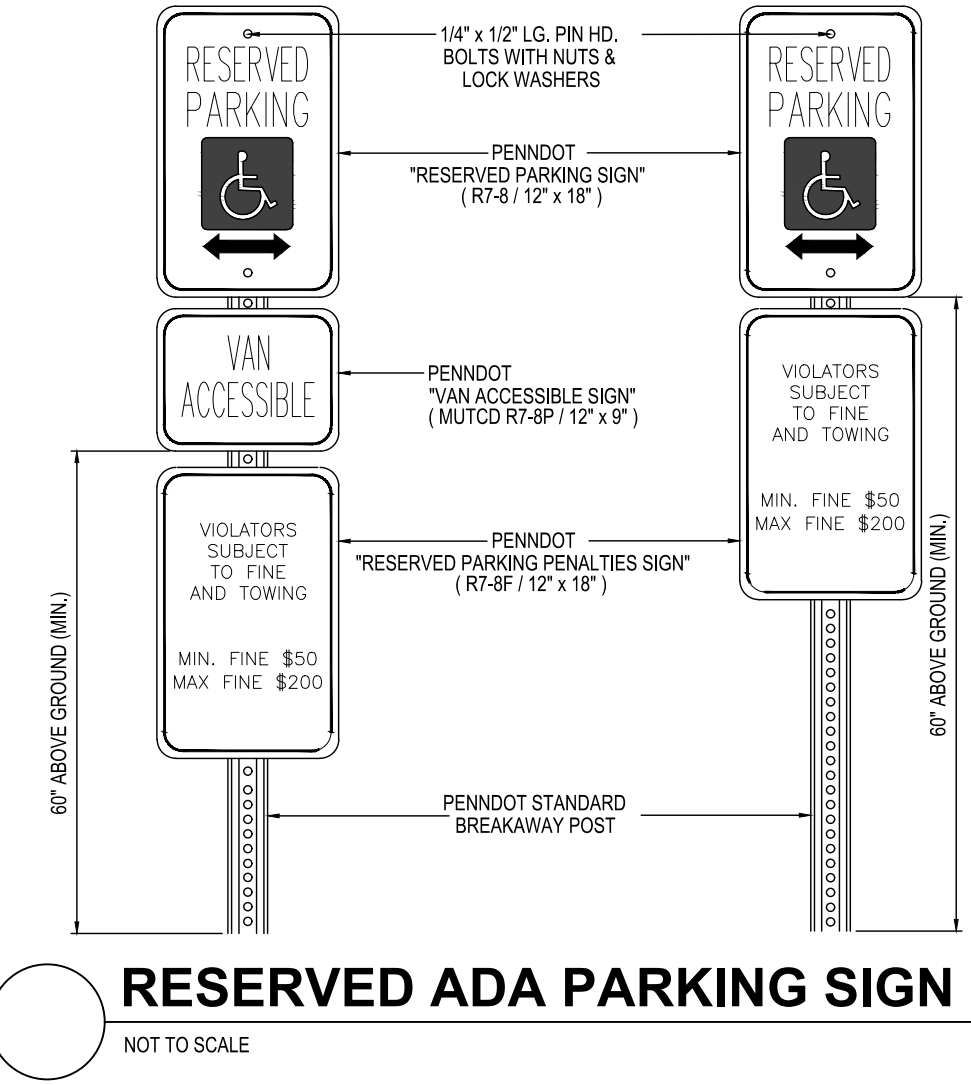
E



REV	DATE	DESCRIPTION
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2	01-18-2024	REVISED PER CITY REVIEW LETTER DATED 12-18-2023
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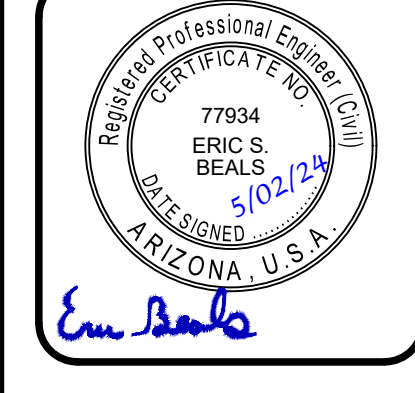
- NOTES:**
1. CURB RAMPS, PAVEMENT MARKINGS, & APPLICABLE SIGNAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST A.D.A. ACCESSIBILITY GUIDELINES.
 2. CURB RAMPS MAY NOT EXTEND INTO ANY PORTION OF THE PARKING SPACE OR ASSOCIATED STRIPED ISLAND.
 3. SLOPE, CROSS SLOPE OF ACCESSIBLE SPACES NOT TO EXCEED 2% IN ANY DIRECTION
 4. ACCESSIBLE PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ACCESSIBLE ROUTES OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE BUILDING ENTRANCE.
 5. ACCESSIBLE PARKING SPACES SHALL BE AT LEAST NINETY-SIX (96) INCHES WIDE. ACCESS AISLES SHALL BE 60 INCHES WIDE. ONE OF SIX ACCESSIBLE SPACES SHOULD PROVIDE A VAN ACCESSIBLE AISLE. THE AISLE SHOULD BE 96 INCHES WIDE (OR ACCESSIBLE SPACE IS 11 FEET AND ACCESS AISLE IS FIVE FEET). WHERE PARKING SPACES AND ACCESS AISLES ARE MARKED WITH LINES, THE WIDTH MEASUREMENTS SHALL BE MADE FROM CENTERLINE OF THE MARKINGS. WHERE PARKING SPACES OR ACCESS AISLES ARE NOT ADJACENT TO ANOTHER PARKING SPACE OR ACCESS AISLES, MEASUREMENTS SHALL BE PERMITTED TO INCLUDE THE FULL WIDTH OF THE LINE DEFINING THE PARKING SPACE OR ACCESS AISLE.
 6. PARKING ACCESS AISLES SHALL BE PART OF AN ACCESSIBLE ROUTE TO THE BUILDING OR FACILITY ENTRANCE AND SHALL COMPLY WITH PROVISIONS FOR ACCESSIBLE ROUTES. MARKED CROSSINGS SHALL BE PROVIDED WHERE THE ACCESSIBLE ROUTE MUST CROSS VEHICULAR TRAFFIC LANES. WHERE POSSIBLE, IT IS PREFERABLE THAT THE ACCESSIBLE ROUTE NOT PASS BEHIND PARKED VEHICLES.
 7. TWO (2) ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE.
 8. ACCESS AISLES SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACE THEY SERVE.
 9. ACCESS AISLES SHALL BE MARKED SO AS TO DISCOURAGE PARKING IN THEM.
 10. ACCESS AISLES SHALL NOT OVERLAP THE VEHICULAR WAY. ACCESS AISLES SHALL BE PERMITTED TO BE PLACED ON EITHER SIDE OF THE PARKING SPACE EXCEPT FOR ANGLED VAN PARKING SPACES WHICH SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACES.
 11. FLOOR SURFACES OF PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL BE STABLE, FIRM AND SLIP RESISTANT. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE. CHANGES IN LEVEL ARE NOT PERMITTED.
 12. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 2.0% IN ALL DIRECTIONS.
 13. PARKED VEHICLE OVERHANGS SHALL NOT REDUCE THE REQUIRED CLEAR WIDTH OF AN ACCESSIBLE ROUTE.
 14. PARKING SPACES FOR VANS AND ACCESS AISLES AND VEHICULAR ROUTES SERVING THEM SHALL PROVIDE A VERTICAL CLEARANCE OF NINETY-EIGHT (98) INCHES MINIMUM. SIGNS SHALL BE PROVIDED AT ENTRANCES TO PARKING FACILITIES INFORMING DRIVERS OF CLEARANCES AND THE LOCATION OF VAN ACCESSIBLE PARKING SPACES.
 15. EACH ACCESSIBLE PARKING SPACE SHALL BE PROVIDED WITH THE APPROPRIATE SIGNAGE DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. THE PENNSYLVANIA PARKING PENALTY SIGN AND VAN ACCESSIBLE SPACES SHALL HAVE SIGNAGE STATING "VAN ACCESSIBLE". SIGNS SHALL BE INSTALLED SO THAT THE BOTTOM OF SIGNS ARE MOUNTED NO LOWER THAN 60 INCHES ABOVE GRADE AND SHALL NOT INTERFERE WITH AN ACCESSIBLE ROUTE FROM AN ACCESS AISLE.



- NOTES**
1. ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS".
 2. ONE PIECE STEEL POST SHALL BE EMBEDDED 3'-0" MAX.
 3. ALL STEEL POSTS AND BRACKETS SHALL BE CUT, BENT AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING. GALVANIZING SHALL BE IN CONFORMANCE WITH THE CURRENT A.S.T.M SPECIFICATIONS A 1231.
 4. POSTS MAY BE STEEL OR 2 PIECE STEEL U-POST IN CONFORMANCE WITH THE NOTES BELOW.
 5. BOLTS SHALL NOT PROTRUDE MORE THAN 3/4" BEYOND THE NUT WHEN TIGHT BUT SHALL ENGAGE ALL THREADS IN THE NUT.
 6. THE MIN. VERTICAL CLEARANCE REQUIREMENTS FOR SIGNS ARE: EDGE OF PAVEMENT TO BOTTOM OF SIGN AS PER SECTION 2A.23 OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS". GROUNDLINE TO BOTTOM OF SIGN SHALL BE 7 FEET MIN. FOR SINGLE POST INSTALLATION. THE MIN. DISTANCE FROM GROUNDLINE TO THE TOP OF SIGN MUST BE 9 FEET.
 7. PERMANENT SIGN SUPPORTS SHALL NOT BE INSTALLED ON SLOPES GREATER THAN 10:1 (UNLESS BEHIND A TRAFFIC BARRIER, AND THE LOPE SHALL EXTEND A MIN. OF 3'-0" BEYOND THE OUTSIDE EDGE OF SIGN (SEE GRADING DETAIL FOR SLOPE TREATMENT)
 8. EXTRUDED ALUM. SIGN PANELS ARE NOT PERMITTED FOR USE WITH U-POST SIGN SUPPORTS.

NOTE: SIGNAGE AND STRIPING PROVIDED IS FOR CONCEPTUAL PURPOSES ONLY TO DEMONSTRATE GENERAL COMPLIANCE WITH CITY CODE. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF SIGNAGE AND STRIPING.

THE APPLICANT IS REQUIRED TO SUBMIT A SEPARATE SIGN PERMIT WITH THE CITY FOR REVIEW AND APPROVAL..



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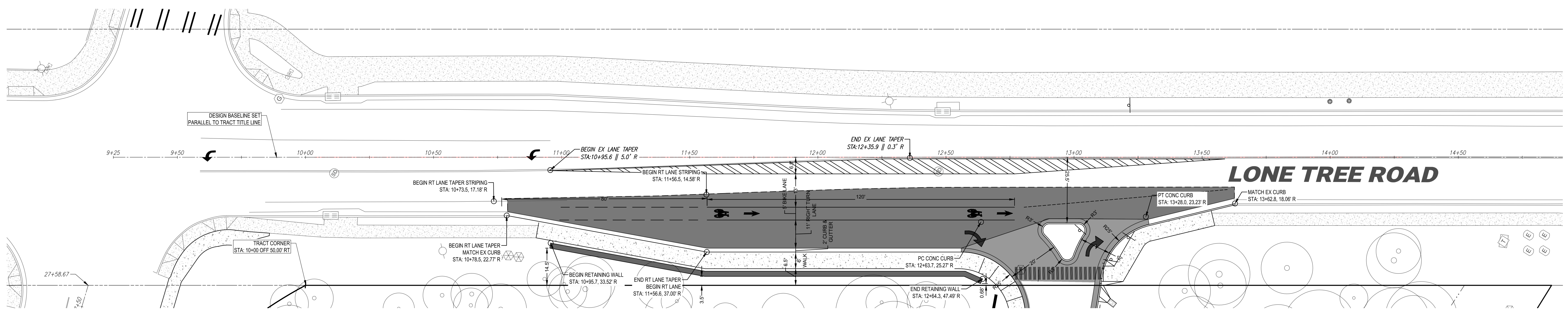
OWN BY: **M TOTH**
 CHK BY: **E BEALS**

PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
 2951 S. MASONIC LANE
 COCONINO COUNTY, ARIZONA

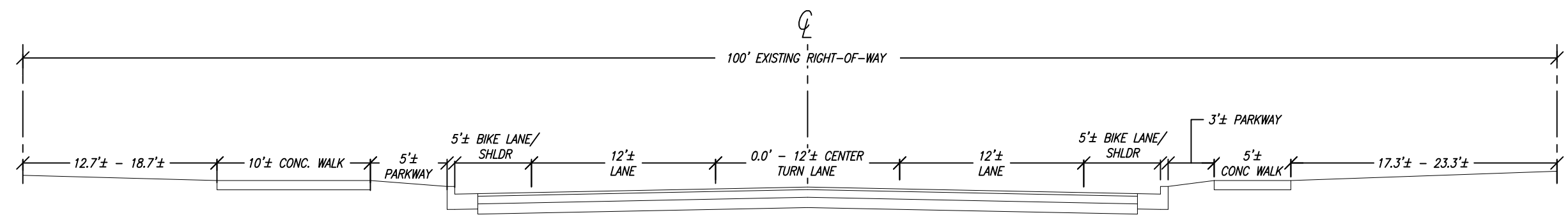
APPLICANT: **RODG-DT FLAGSTAFF PROP CO LLC**
 211 E 6TH STREET, SUITE 203, AUSTIN, TEXAS 78702

TITLE: **SITE PLAN REVIEW CONCEPTUAL SIGNAGE & STRIPING DETAILS**

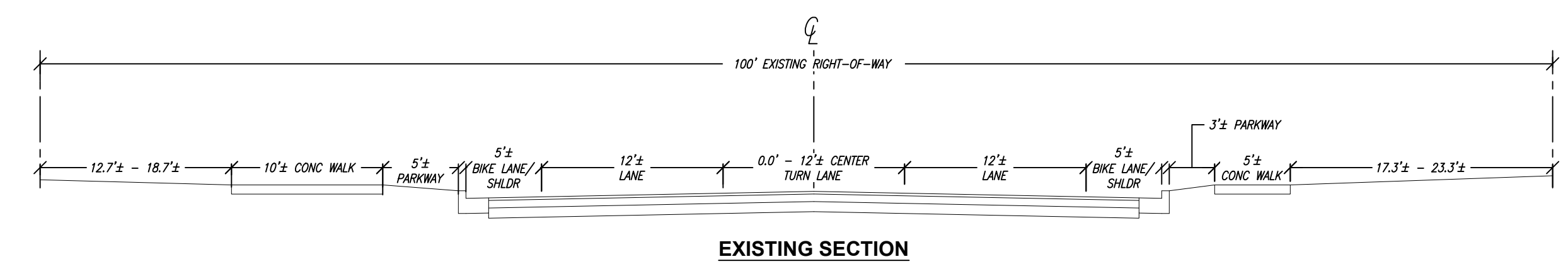
PROJECT NO. 22004
 DATE MAY 30, 2023
 SHEET ID C602
 REV 4
 SHEET 41 of 46



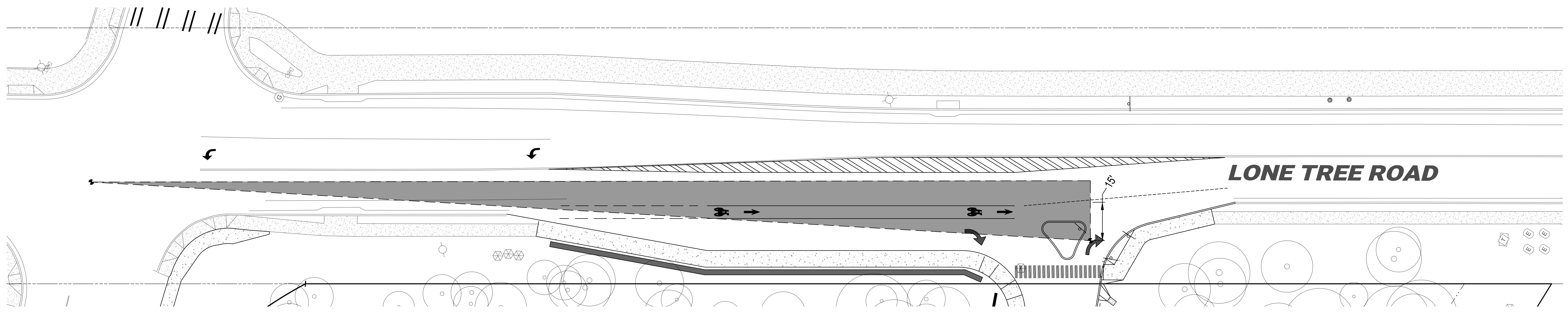
B1 PLAN VIEW: LONE TREE ROAD (STA 9+90 to STA 17+75)
SCALE: 1" = 20'



C1 CROSS-SECTION LONE TREE ROAD / MAJOR COLLECTOR (EXISTING SECTION)
NOT TO SCALE

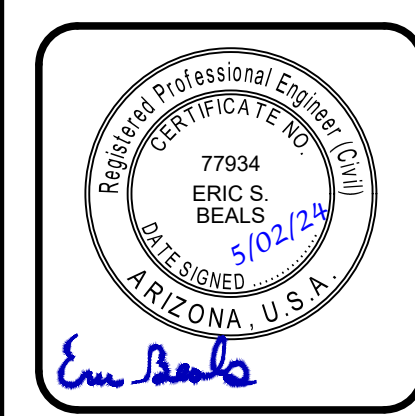


C4 CROSS-SECTION LONE TREE ROAD / MAJOR COLLECTOR (STA 11+04.6 to 12+75)
NOT TO SCALE



E1 CLEAR VIEW ZONE - ROAD 'B' & LONETREE ROAD (LEFT)
SCALE: 1" = 20'

REV	DATE	DESCRIPTION
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-26-2023
2	01-18-2024	REVISED PER CITY REVIEW LETTER DATED 12-18-2023
3	03-26-2024	REVISED PER CITY REVIEW LETTER DATED 2-8-2024
4	05-02-2024	REVISED PER CITY REVIEW LETTER DATED 4-9-2024



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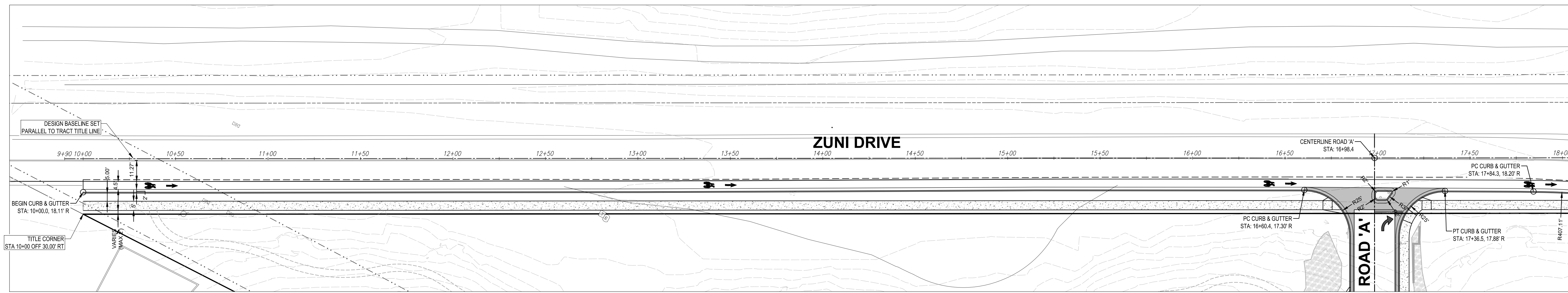
OWN BY: **M TOTH**
CHK BY: **E BEALS**

PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
2951 S. MASONIC LANE
COCOONINO COUNTY, ARIZONA

APPLICANT: **RODG DT FLAGSTAFF PROP CO LLC**
211 E 6th STREET, SUITE 203, AUSTIN, TEXAS 78702

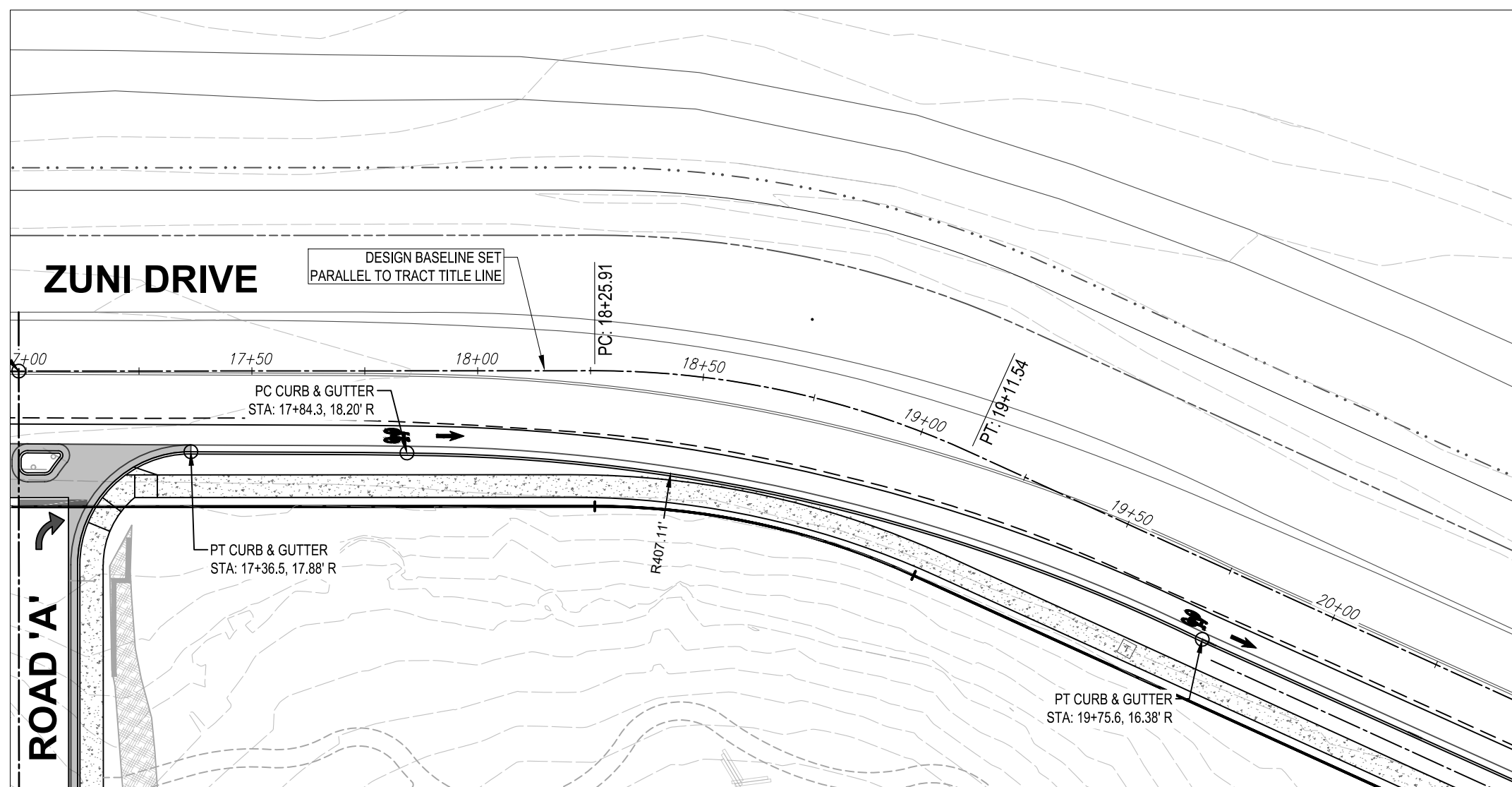
TITLE: **SITE PLAN REVIEW LONE TREE ROAD IMPROVEMENT PLAN**

PROJECT NO.: 22004
DATE: MAY 30, 2023
SHEET ID: C701
REV: 4
SHEET 42 of 46



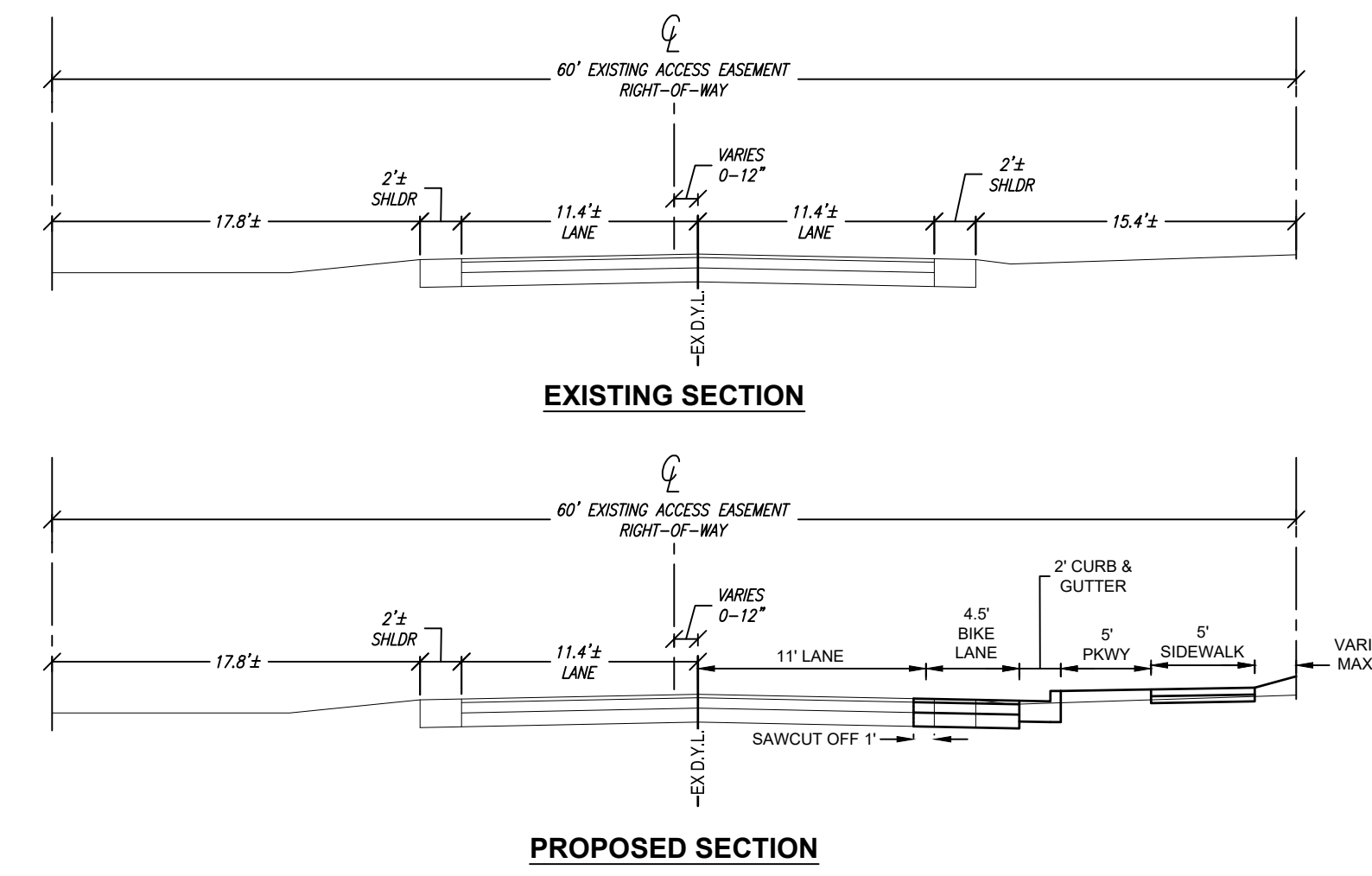
B1 PLAN VIEW: MASONIC LANE (STA 9+90 to STA 17+75)

SCALE: 1" = 30'



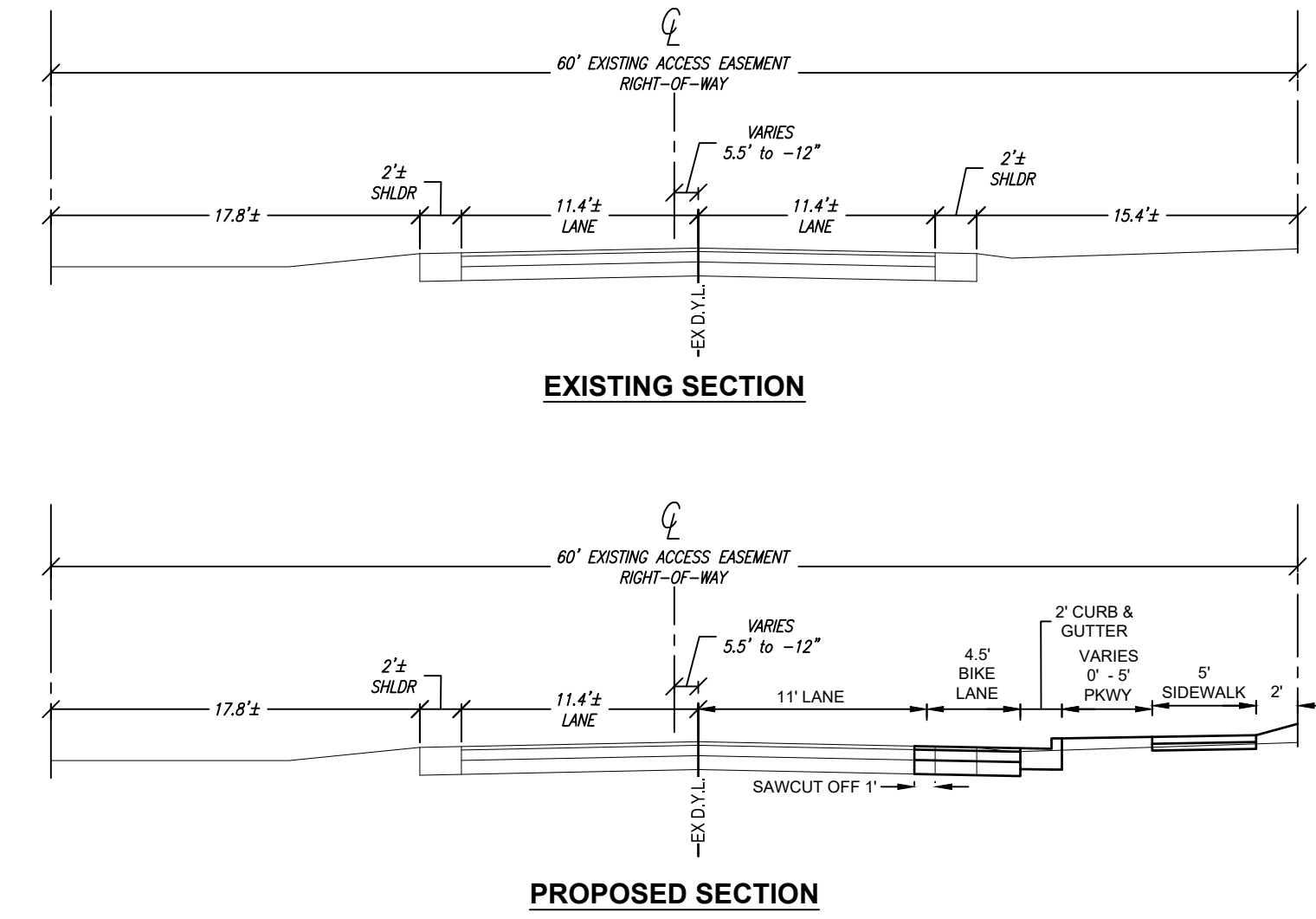
D1 PLAN VIEW: MASONIC LANE (STA 17+75 to STA 19+75)

SCALE: 1" = 30'



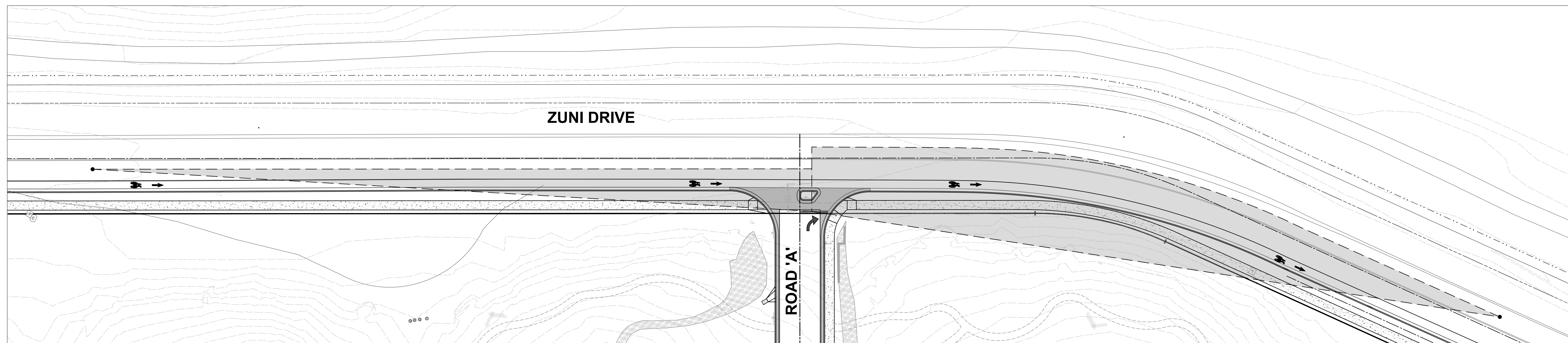
D3 CROSS-SECTION ZUNI DRIVE / MINOR COLLECTOR (STA 10+00 to 17+75)

NOT TO SCALE



D5 CROSS-SECTION ZUNI DRIVE / MINOR COLLECTOR (STA 17+75 to 19+75)

NOT TO SCALE



E1 CLEAR VIEW ZONE - ROAD 'A' & ZUNI DRIVE (RIGHT/LEFT)

SCALE: 1" = 30'

REV	DATE	DESCRIPTION
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-20-2023
2	01-18-2024	REVISED PER CITY REVIEW LETTER DATED 12-18-2023
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4	05-05-2024	REVISED PER CITY REVIEW LETTER DATED 4-9-2024



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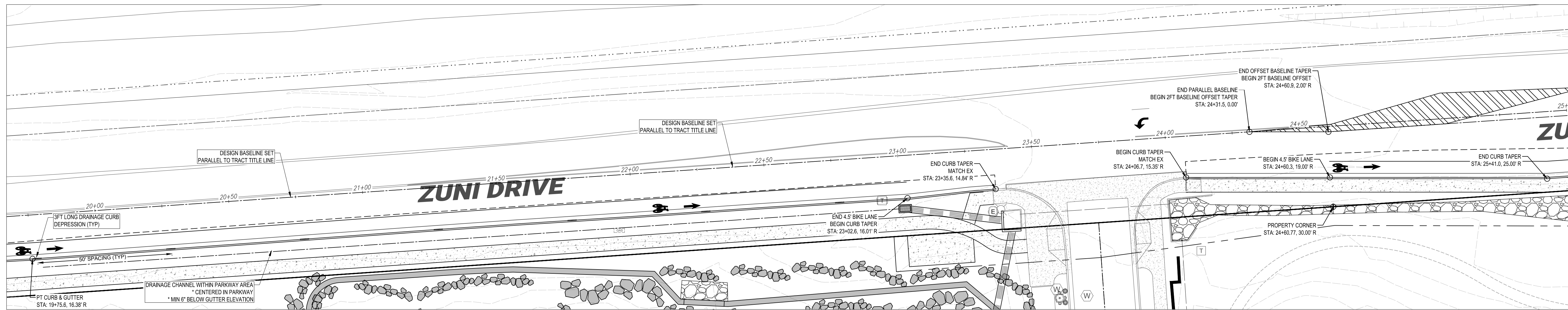
DWN BY: **M TOTH**
 CHK BY: **E BEALS**

PROJECT: **PINEHAVEN LAND DEVELOPMENT**
 RESIDENTIAL LAND DEVELOPMENT
 2951 S. MASONIC LANE
 COCONINO COUNTY, ARIZONA

APPLICANT: **ROD.G.D.T FLAGSTAFF PROP CO LLC**
 2121 E. 6TH STREET, SUITE 203, AUSTIN, TEXAS 78702

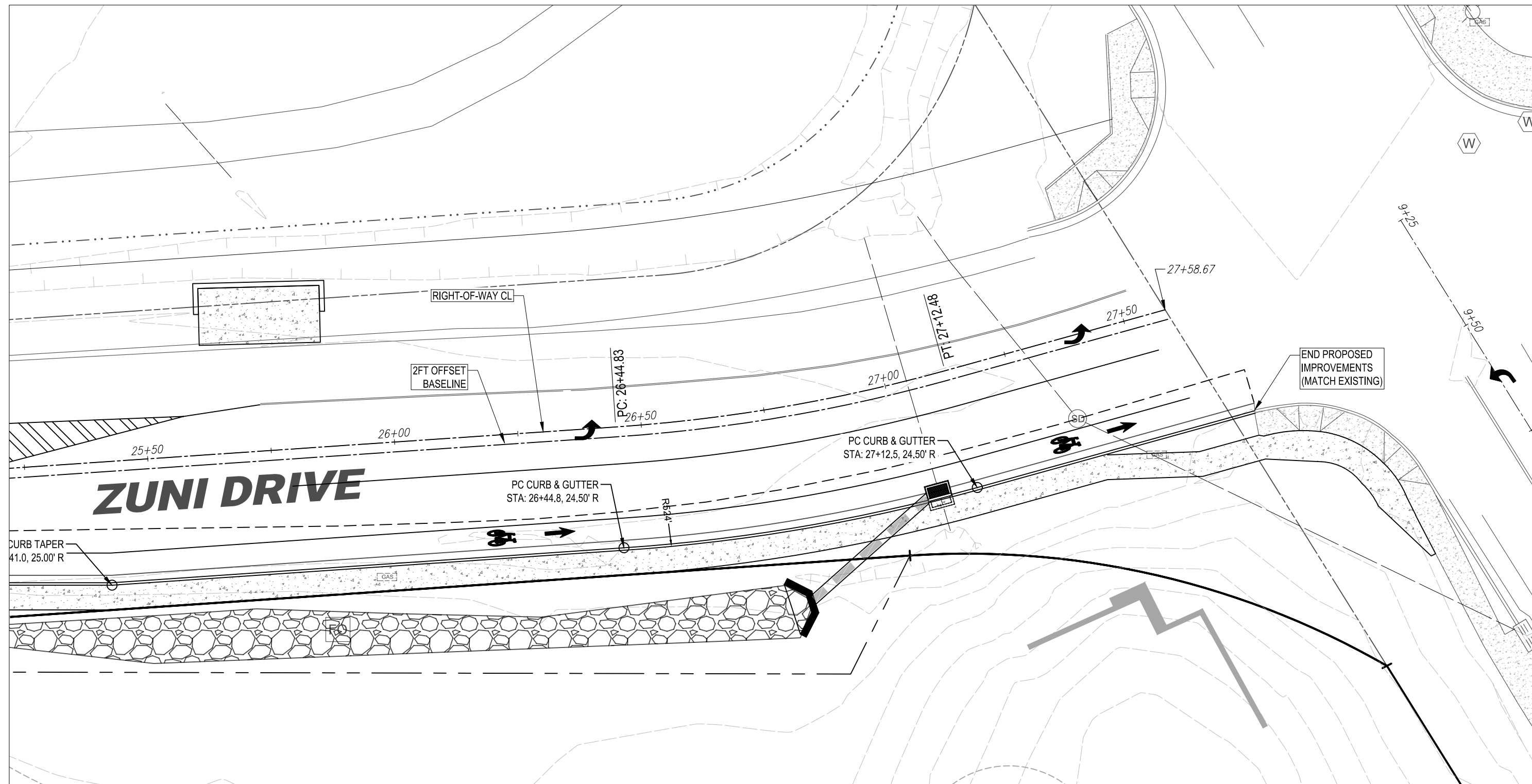
TITLE: **SITE PLAN REVIEW**
ZUNI ROAD IMPROVEMENT PLAN (1 OF 2)

PROJECT NO.: **22004**
 DATE: **MAY 30, 2023**
 SHEET ID: **C702**
 SHEET **4** OF **46**



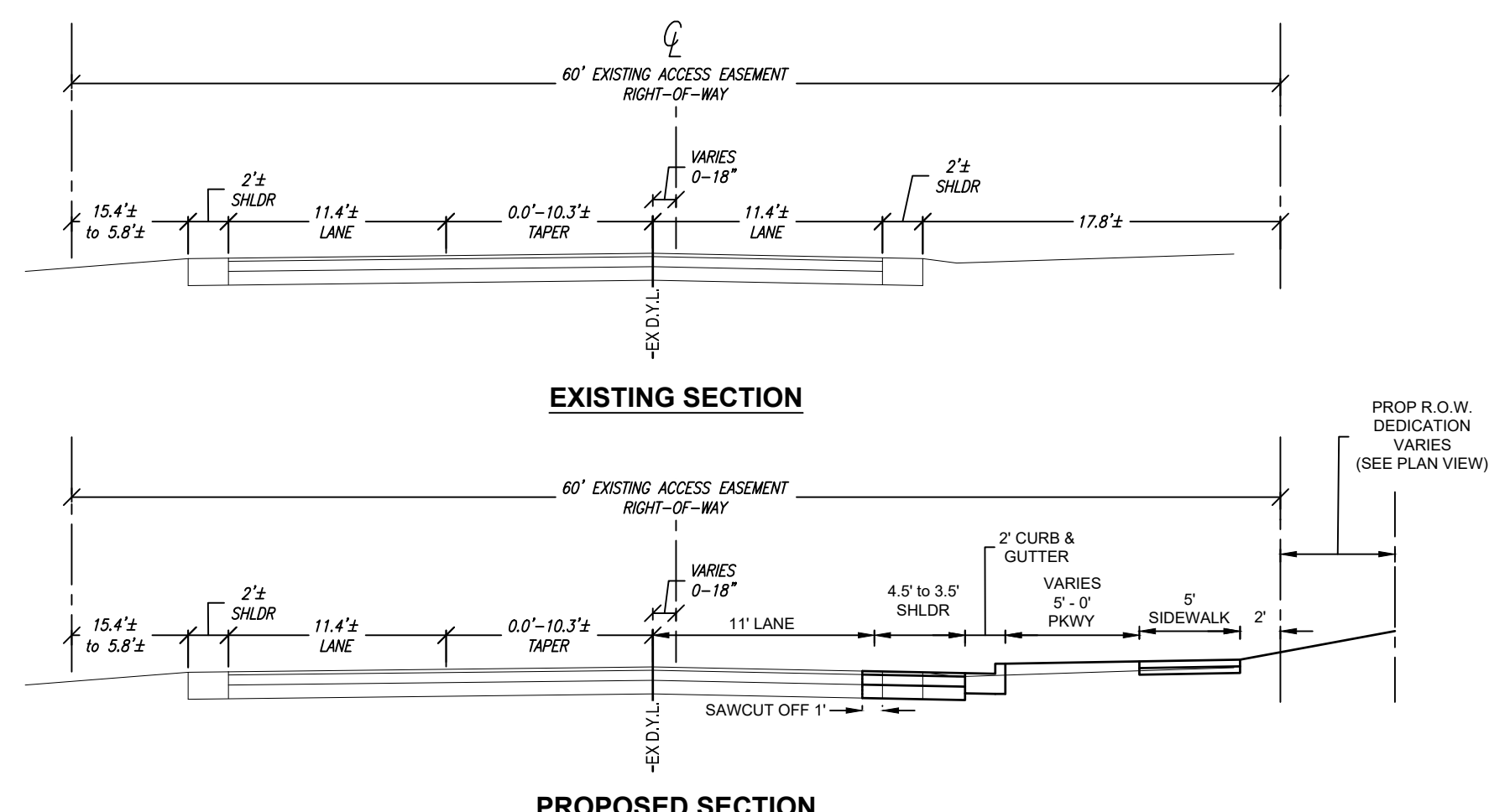
B1 PLAN VIEW: MASONIC LANE (STA 19+75 to STA 24+00)

SCALE: 1" = 30'



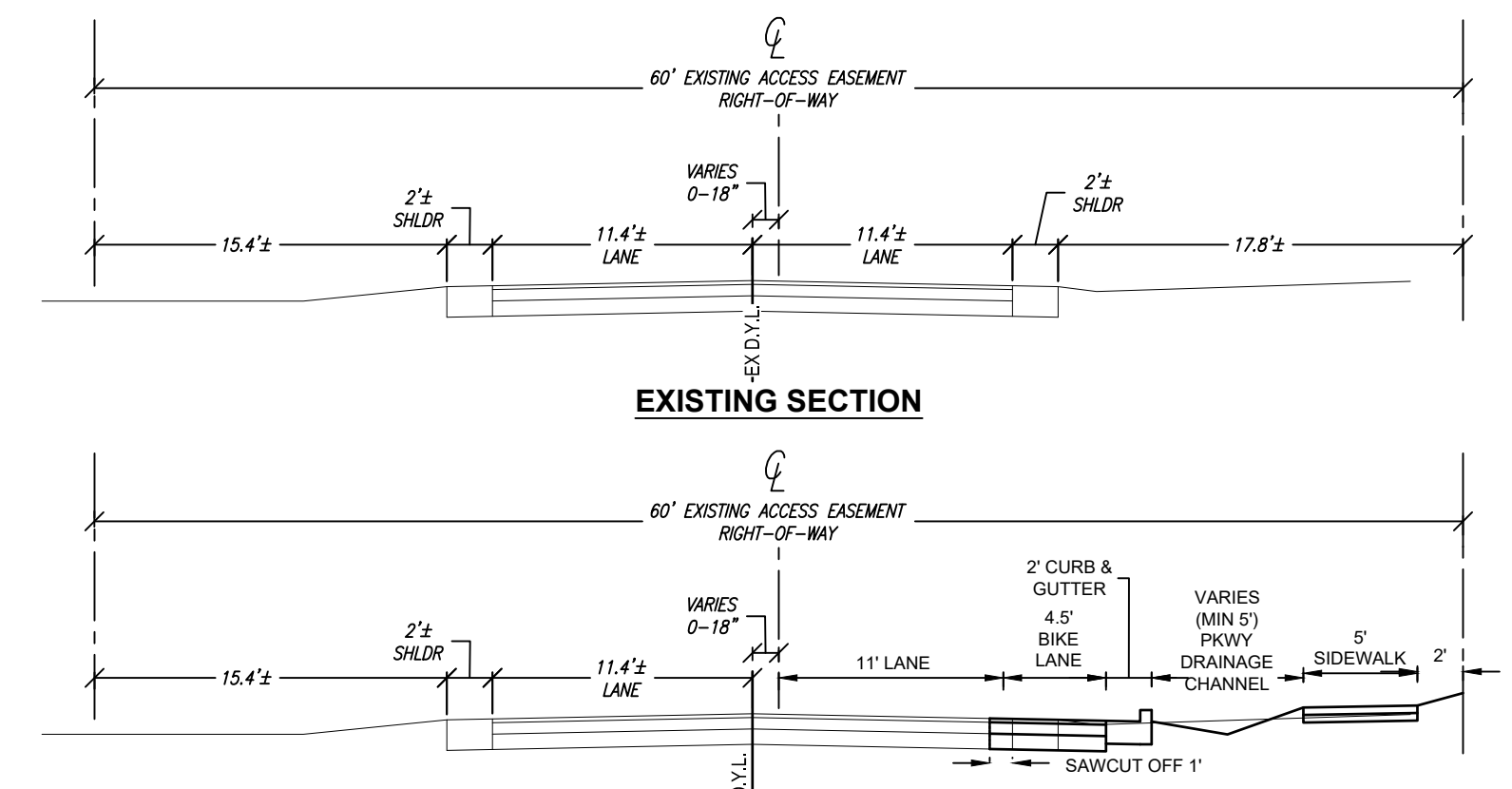
B1 PLAN VIEW: MASONIC LANE (STA 19+75 to STA 24+00)

SCALE: 1" = 30'



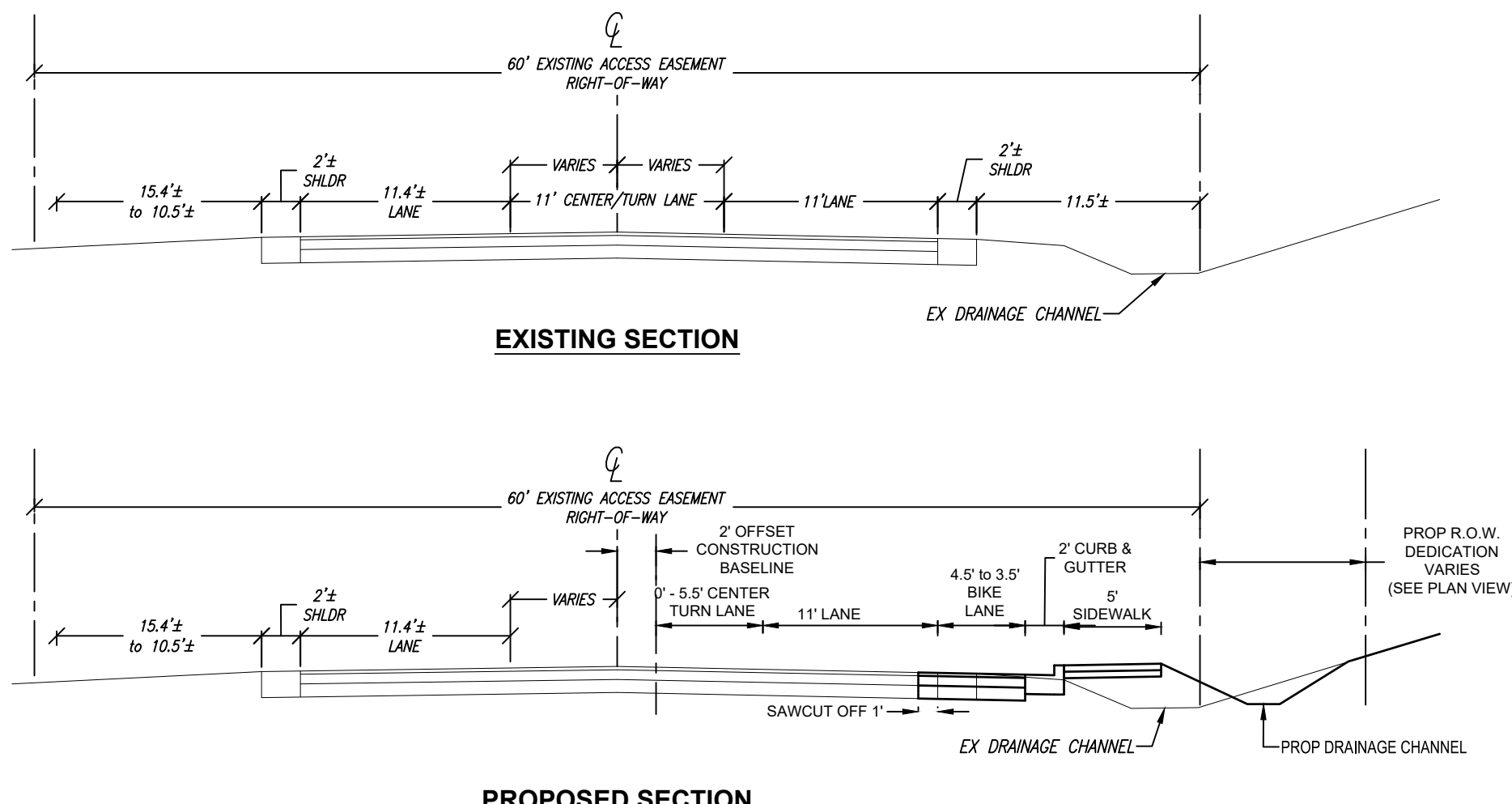
E1 CROSS-SECTION ZUNI DRIVE / MINOR COLLECTOR (STA 23+02.6 to STA 24+60.9)

NOT TO SCALE



C4 CROSS-SECTION ZUNI DRIVE / MINOR COLLECTOR (STA 19+75 to STA 23+02.6)

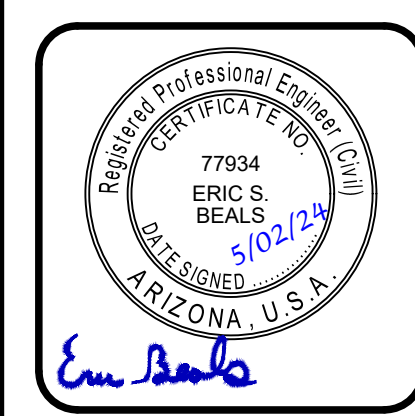
NOT TO SCALE



E4 CROSS-SECTION ZUNI DRIVE / MINOR COLLECTOR (STA 24+60.9 to STA 27+50)

NOT TO SCALE

REV	DATE	DESCRIPTION
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-26-2023
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4	05-02-2024	REVISED PER CITY REVIEW LETTER DATED 4-9-2024



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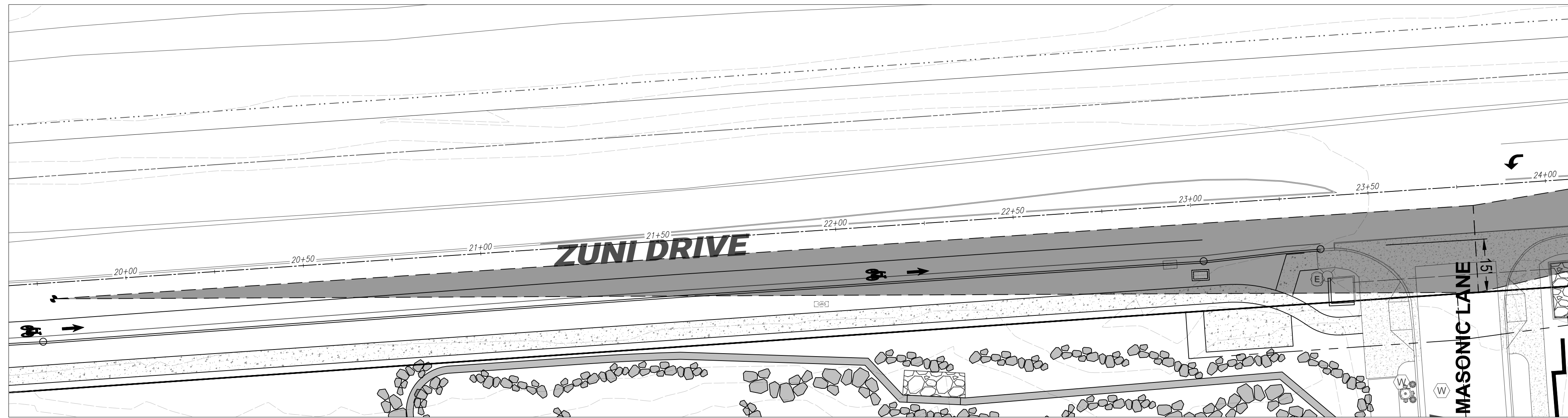
OWN BY: **M TOTH**
 CHK BY: **E BEALS**

PROJECT: **PINEHAVEN RESIDENTIAL LAND DEVELOPMENT**
 2951 S. MASONIC LANE
 COCONINO COUNTY, ARIZONA

APPLICANT: **RODG DT FLAGSTAFF PROP CO LLC**
 241 E 6TH STREET, SUITE 203, AUSTIN, TEXAS 78702

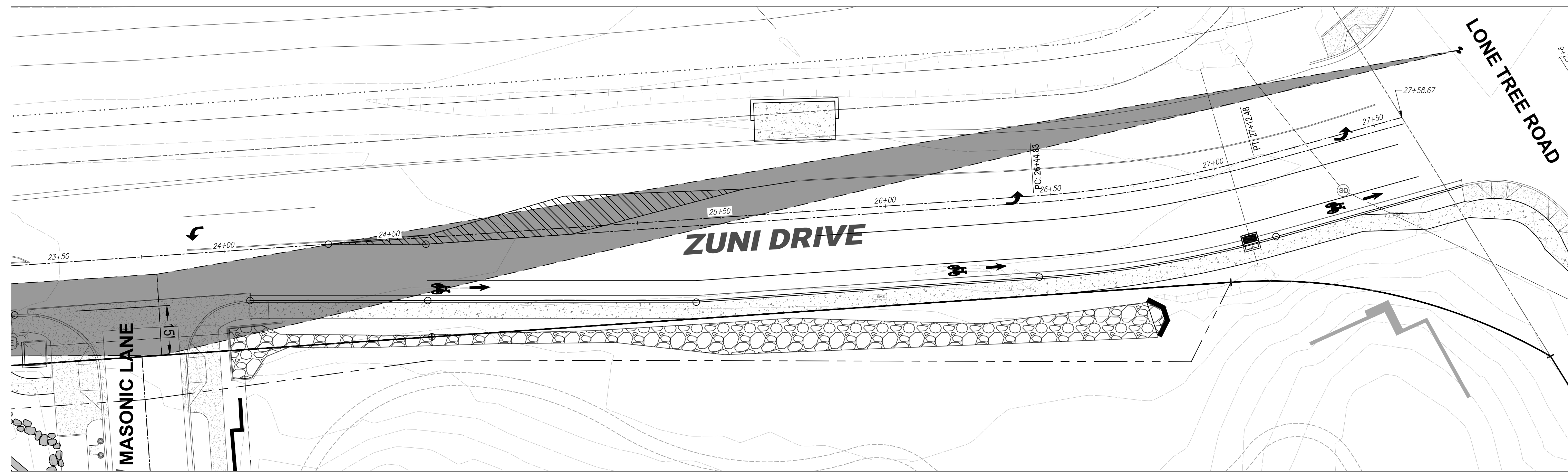
TITLE: **SITE PLAN REVIEW ZUNI ROAD IMPROVEMENT PLAN (2 OF 2)**

PROJECT NO.: 22004
 DATE: MAY 30, 2023
 SHEET ID: **C703**
 REV: 4
 SHEET 44 of 46



B1 CLEAR VIEW ZONE - MASONIC LANE & ZUNI DRIVE (LEFT)

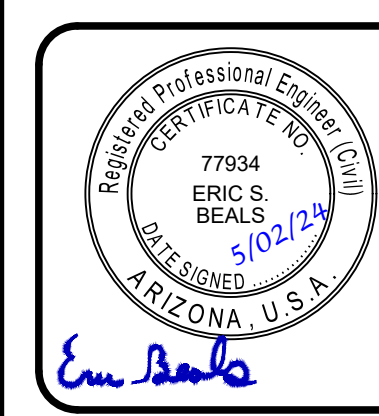
SCALE: 1" = 30'



D1 CLEAR VIEW ZONE - MASONIC LANE & ZUNI DRIVE (RIGHT)

SCALE: 1" = 30'

REV	DATE	DESCRIPTION
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-26-2023
2	01-18-2024	REVISED PER CITY REVIEW LETTER DATED 12-18-2023
3	03-26-2024	REVISED PER CITY REVIEW LETTER DATED 2-8-2024
4	05-02-2024	REVISED PER CITY REVIEW LETTER DATED 4-9-2024



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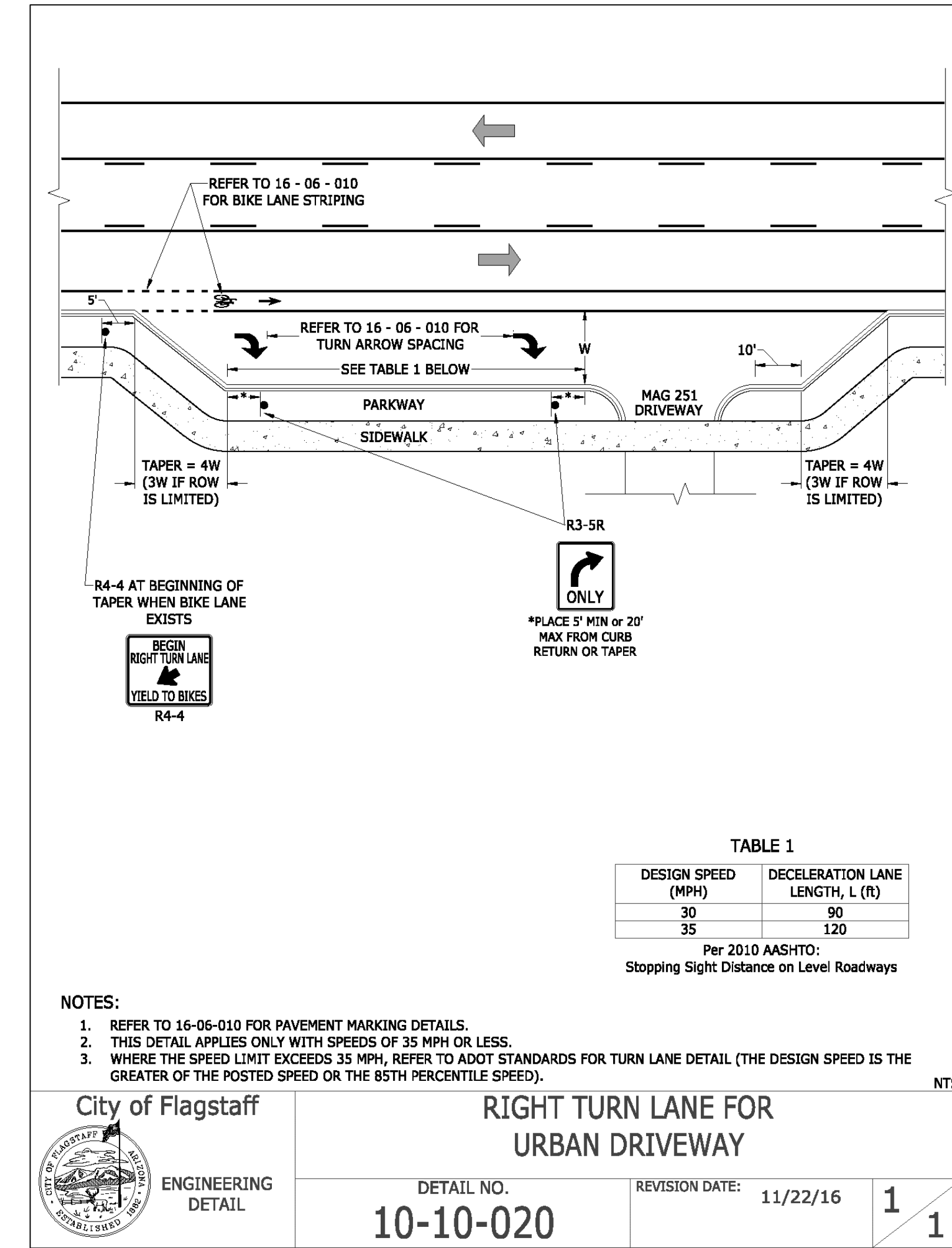
OWN BY:	M TOTH
CHK BY:	E BEALS
PROJECT:	PINEHAVEN RESIDENTIAL LAND DEVELOPMENT 2951 S. MASONIC LANE COCONINO COUNTY, ARIZONA
APPLICANT:	RODG DT FLAGSTAFF PROP CO LLC 211 E 6TH STREET, SUITE 203, AUSTIN, TEXAS 78702
TITLE:	SITE PLAN REVIEW ROAD IMPROVEMENT DETAILS
PROJECT NO.:	22004
DATE:	MAY 30, 2023
SHEET ID:	C704
REV:	4



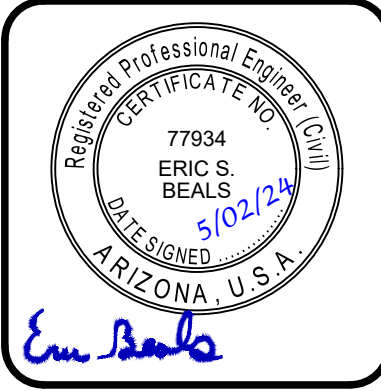
B1 CLEAR VIEW ZONE
ROAD 'A' & MASONIC LANE (LEFT)
ROAD 'S' & MASONIC LANE (RIGHT)
SCALE: 1" = 30'



B1 CLEAR VIEW ZONE
ROAD 'A' & MASONIC LANE (RIGHT)
ROAD 'S' & MASONIC LANE (LEFT)
SCALE: 1" = 30'



REV	DATE	DESCRIPTION
1	11-16-2023	REVISED PER CITY REVIEW LETTER DATED 9-26-2023
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PROJECT: PINEHAVEN RESIDENTIAL LAND DEVELOPMENT
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 COCONINO COUNTY, ARIZONA

APPLICANT: RODG DT FLAGSTAFF PROP CO LLC
 2121 E 6th STREET, SUITE 203, AUSTIN, TEXAS 78702

TITLE: SITE PLAN REVIEW ROAD IMPROVEMENT DETAILS

PROJECT NO. 22004
 DATE MAY 30, 2023

SHEET ID: C705
 REV: 4

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