

NOTICE AND AGENDA

PLANNING & ZONING COMMISSION
WEDNESDAY
FEBRUARY 11, 2026

FLAGSTAFF AQUAPLEX
1702 N 4TH STREET
4:00 P.M.

To participate in the meeting virtually use the following link:

[Join the Meeting Online](#)

The public can submit comments that will be read at the dais by a staff member to
CDPandZCommission@flagstaffaz.gov

1. CALL TO ORDER

NOTICE OF OPTION TO RECESS INTO EXECUTIVE SESSION

Pursuant to A.R.S. §38-431.02, notice is hereby given to the members of the Commission and to the general public that, at this meeting, the Commission may vote to go into executive session, which will not be open to the public, for legal advice and discussion with the Commission's attorneys for legal advice on any item listed on the following agenda, pursuant to A.R.S. §38-431.03(A)(3).

2. ROLL CALL

NOTE: One or more Commission Members may be in attendance telephonically or by other technological means.

CAROLE MANDINO, CHAIR
JOSHUA MAHER
CHRISTINE SHEEHY
CJ LUCKE

MARY NORTON, VICE CHAIR
IAN SHARP
MEGAN WELLER

3. OPEN CALL TO THE PUBLIC

At this time, any member of the public may address the Commission on any subject within their jurisdiction that is not scheduled before the Commission on that day. Due to Open Meeting Laws, the Commission cannot discuss or act on items presented during this portion of the agenda. To address the Commission on an item that is on the agenda, please wait for the Chair to call for Public Comment at the time the item is heard.

4. APPROVAL OF MINUTES

Approval of the minutes from the regular meeting on January 28, 2026.

5. PUBLIC HEARING

- A.** Direct to Ordinance Zoning Map Amendment, by Lincoln Avenue Communities, of approximately 8.51 acres located at the northeast corner of Lone Tree Road and Pine Knoll Drive. The proposed development site consists of three parcels. Two of the parcels are zoned High Density Residential (HR) with the Resource Protection Overlay (RPO), and the third is zoned Suburban Commercial (SC) with the RPO. The request is to rezone all three parcels to the HR zone with the RPO.

STAFF RECOMMENDED ACTION:

Staff recommends the Planning & Zoning Commission forward the request to the City Council with a recommendation approving PZ-24-00224-04, subject to the following five conditions which will be included into the zoning map amendment ordinance:

1. The subject property must be developed in accordance with the approved site plan and the conditions of approval dated November 14, 2025, unless modified as provided for in the Lone Tree Ranch Development Agreement. Modifications, other than modifications permitted by the Development Agreement, to the approved site plan will require an amendment to this Direct to Ordinance Zoning Map Amendment request.
2. All other requirements of the Zoning Code and other City codes, ordinances and regulations, shall be met by the proposed development.
3. All terms, conditions, and restrictions detailed within the Lone Tree Ranch Development Agreement, as amended, must be fully satisfied.
4. In the event the property is rezoned and the Developer fails to obtain final Civil Plan approval within two (2) years of the effective date of the rezoning ordinance, then the City may schedule a public hearing before the City Council for the purpose of causing the zoning on the Property to revert to the zoning (including conditions) established in the 1997 rezoning, in accordance with A.R.S. § 9-462.01..
5. The approval of this ordinance will have the effect of rescinding the prior rezoning ordinance (Ord. No. 1943) as it relates only to parcels 104-14-003G, 104-14-003H, and 104-14-003J, unless the zoning is reverted as set forth in condition 4 above.

6. MISCELLANEOUS ITEMS TO/FROM COMMISSION MEMBERS

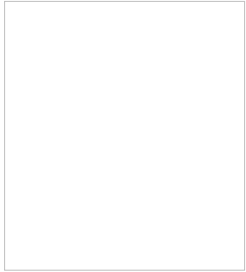
7. ADJOURNMENT

CERTIFICATE OF POSTING OF NOTICE

The undersigned hereby certifies that a copy of the foregoing notice was duly posted at Flagstaff City Hall on _____, at _____ a.m./p.m. This notice has been posted on the City's website and can be downloaded at www.flagstaff.az.gov.

Dated this _____ day of _____, 2026.

Alexandra Pucciarelli, Commission Liaison



Planning & Zoning Commission

4.

Meeting Date: 02/11/2026

From: Nancy Corbin-Fuller, Administrative Specialist

Information

TITLE:

APPROVAL OF MINUTES

Approval of the minutes from the regular meeting on January 28, 2026.

STAFF RECOMMENDED ACTION:

Attachments

P&Z minutes

MINUTES

PLANNING & ZONING COMMISSION
WEDNESDAY
JANUARY 28, 2026

COUNCIL CHAMBERS
211 WEST ASPEN AVENUE
4:00 P.M.

1. CALL TO ORDER

- Chair Mandino called the meeting to order at 4:00 p.m.

NOTICE OF OPTION TO RECESS INTO EXECUTIVE SESSION

Pursuant to A.R.S. §38-431.02, notice is hereby given to the members of the Commission and to the general public that, at this meeting, the Commission may vote to go into executive session, which will not be open to the public, for legal advice and discussion with the Commission's attorneys for legal advice on any item listed on the following agenda, pursuant to A.R.S. §38-431.03(A)(3).

2. ROLL CALL

NOTE: One or more Commission Members may be in attendance telephonically or by other technological means.

PRESENT:
CAROLE MANDINO, CHAIR
JOSHUA MAHER
CHRISTINE SHEEHY
CJ LUCKE

MARY NORTON, VICE CHAIR
IAN SHARP
MEGAN WELLER

3. OPEN CALL TO THE PUBLIC

- None.

At this time, any member of the public may address the Commission on any subject within their jurisdiction that is not scheduled before the Commission on that day. Due to Open Meeting Laws, the Commission cannot discuss or act on items presented during this portion of the agenda. To address the Commission on an item that is on the agenda, please wait for the Chair to call for Public Comment at the time the item is heard.

4. APPROVAL OF MINUTES

- Approval of the minutes from the regular meeting on January 14, 2026.

Moved by Christine Sheehy, **seconded by** CJ Lucke to approve the minutes from the regular meeting on January 14, 2026.

Vote: 7 - 0 - Unanimously

5. PUBLIC HEARING

- A. PZ-25-00251 - 2025 Clean Up:** City's request for a Zoning Code Text Amendment to modify Title 10, Flagstaff Zoning Code, Chapter 10-40: Specific to Zones, Division 10-40.30: Non-Transect Zones, Section 10-40.30.040: Commercial Zones, Table 10-40.30.040.B: Commercial Zones -- Allowed Uses footnotes 5 and 7 to remove a conflict on allowed density for the Community Commercial zone; and for a Subdivision Code Text Amendment to modify Title 11, General Plans and Subdivision, Chapter 11-20: Subdivision and Land Split Regulations, Division 11-20.40: Subdivision Procedures and Requirements to remove requirements for Preliminary Plats to be reviewed by Council in accordance with recent state legislation.

Staff recommends the Planning and Zoning Commission, in accordance with the findings presented in this report, make a recommendation to the City Council for approval of the City Code Text Amendments.

- Tiffany Antol, Zoning Code Manager, provided a PowerPoint presentation and responded to the Commissioners' questions.

Moved by Ian Sharp, **seconded by** CJ Lucke in accordance with the findings presented, the Planning & Zoning Commission recommends that the City Council approve the city code text amendment, PZ-25-00251 CleanUp.

Vote: 7 - 0 - Unanimously

- B. New Item: Public Hearing: PZ-24-00236-02:** A request proposed by Symmetry Companies for a minor amendment to the Flagstaff Regional Plan 2030 to change the area type designation on Maps 21 and 22 from Suburban Neighborhood to Rural Neighborhood. The proposal is for approximately 4.3 acres generally located on the South side of E John Wesley Powell Boulevard (JWP) between S Links Road and S Lone Tree Road (APN: 105-10-208A). The applicant requests a Concept Zoning Map Amendment in conjunction with this request.

The applicant is requesting a continuance until March 11, 2026.

- Ben Mejia, Senior Planner, requested a continuance of the item to March 11, 2026, on behalf of the applicant. Ben Mejia then opened the floor for comments or questions; none were raised.
- Commissioner Norton inquired if staff supports the continuance, and Alexandra Pucciarelli, Current Planning Manager, confirmed that they do.

Moved by Joshua Maher, **seconded by** CJ Lucke to grant a continuance of Public Hearing: PZ-24-00236-02 to a date certain and that date is March 11th, 2026.

Vote: 7 - 0 - Unanimously

C. New Item: Public Hearing: PZ-24-00236-01: A Concept Zoning Map Amendment request from Symmetry Companies to rezone approximately 4.3 acres located at 1381 E John W Powell Blvd (APN: 105-10-208A) from the Single-Family Residential (R1) zone within the Resource Protection Overlay Zone (RPO) to the Estate Residential (ER) zone within the RPO.

The applicant is requesting a continuance until March 11, 2026.

- Ben Mejia, Senior Planner, requested a continuance of the item to March 11, 2026, on behalf of the applicant. Ben Mejia then opened the floor for comments or questions; none were raised.
- Commissioner Norton inquired if staff supports the continuance, and Alaxandra Pucciarelli, Current Planning Manager, confirmed that they do.

Moved by Christine Sheehy, **seconded by** Ian Sharp to grant a continuance of Public Hearing PZ-24-00236-01 to a date certain and that date is March 11th, 2026.

Vote: 7 - 0 - Unanimously

6. MISCELLANEOUS ITEMS TO/FROM COMMISSION MEMBERS

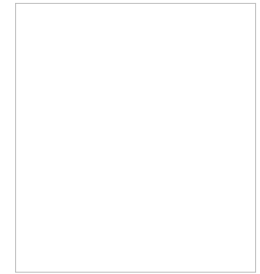
- Alaxandra Pucciarelli announced that the February 11, 2026 meeting will be held at the Aquaplex instead of City Hall.

7. ADJOURNMENT

- The meeting was adjourned at 4:14 p.m.

SIGNATURE LINE

CHAIRPERSON



Planning & Zoning Commission

5. A

Meeting Date: 02/11/2026

From: Alaxandra Pucciarelli, Current Planning Manager

Information

TITLE:

Direct to Ordinance Zoning Map Amendment, by Lincoln Avenue Communities, of approximately 8.51 acres located at the northeast corner of Lone Tree Road and Pine Knoll Drive. The proposed development site consists of three parcels. Two of the parcels are zoned High Density Residential (HR) with the Resource Protection Overlay (RPO), and the third is zoned Suburban Commercial (SC) with the RPO. The request is to rezone all three parcels to the HR zone with the RPO.

STAFF RECOMMENDED ACTION:

Staff recommends the Planning & Zoning Commission forward the request to the City Council with a recommendation approving PZ-24-00224-04, subject to the following five conditions which will be included into the zoning map amendment ordinance:

1. The subject property must be developed in accordance with the approved site plan and the conditions of approval dated November 14, 2025, unless modified as provided for in the Lone Tree Ranch Development Agreement. Modifications, other than modifications permitted by the Development Agreement, to the approved site plan will require an amendment to this Direct to Ordinance Zoning Map Amendment request.
2. All other requirements of the Zoning Code and other City codes, ordinances and regulations, shall be met by the proposed development.
3. All terms, conditions, and restrictions detailed within the Lone Tree Ranch Development Agreement, as amended, must be fully satisfied.
4. In the event the property is rezoned and the Developer fails to obtain final Civil Plan approval within two (2) years of the effective date of the rezoning ordinance, then the City may schedule a public hearing before the City Council for the purpose of causing the zoning on the Property to revert to the zoning (including conditions) established in the 1997 rezoning, in accordance with A.R.S. § 9-462.01..
5. The approval of this ordinance will have the effect of rescinding the prior rezoning ordinance (Ord. No. 1943) as it relates only to parcels 104-14-003G, 104-14-003H, and 104-14-003J, unless the zoning is reverted as set forth in condition 4 above.

Attachments

Staff Report
Application
Vicinity Map
Project Narrative & Regional Plan Analysis
Citizen Participation Plan and Report
Arch Site Plan, Floor Plans, Elevations
Civil Plans
Landscape Plans
Resource Protection Plan

PLANNING AND DEVELOPMENT SERVICES REPORT
DIRECT TO ORDINANCE ZONING MAP AMENDMENT

PUBLIC HEARING
PZ-24-00224-04

DATE: January 22, 2026
MEETING DATE: February 11, 2026
REPORT BY: Alaxandra Pucciarelli

REQUEST:

Direct to Ordinance Zoning Map Amendment, by Lincoln Avenue Communities, of approximately 8.51 acres located at the northeast corner of Lone Tree Road and Pine Knoll Drive. The proposed development site consists of three parcels. Two of the parcels are zoned High Density Residential (HR) with the Resource Protection Overlay (RPO), and the third is zoned Suburban Commercial (SC) with the RPO. The request is to rezone all three parcels to the HR zone with the RPO.

STAFF RECOMMENDATION:

Staff recommends the Planning and Zoning Commission, in accordance with the findings presented in this report, forward the Direct to Ordinance Zoning Map Amendment request to the City Council with a recommendation for approval, subject to conditions of approval.

PRESENT LAND USE:

The subject property is approximately 8.51 acres, comprised of three contiguous undeveloped parcels.

PROPOSED LAND USE:

The developer proposes the construction of a multi-family residential development, consisting of 100% Affordable units. The proposed development consists of four three/four-story apartment buildings, a clubhouse, outdoor amenities, and on-site surface parking.

NEIGHBORHOOD DEVELOPMENT:

See the attached area context map.

North: City of Flagstaff Arroyo Park and Pine Knoll residential subdivision beyond
East: Rio Homes Residential Subdivision; The Ridge at Clear Creek Apartments
South: Clear Creek Apartments; Mixed-use, commercial with apartments
West: Lone Tree Road; Kinsey Elementary School

I. Project Introduction

A. Background

In 1997, approximately 20 acres located at 2000 S Lone Tree Road were rezoned from Rural Residential to High Density Residential (18.31 acres) and Suburban Commercial (1.67 acres) to support the development of a small commercial area along Lone Tree Road and various residential developments. The current proposed development occupies tracts B, C, and D of the Woods at Clear Creek subdivision (APNs 104-14-003G, 104-14-003H, and 104-14-003J). The 1997 rezoning ordinance conditioned development of these tracts as follows: Tract B to Office use only, and the elevations must conform to those submitted with the rezone; Tract C to 32 Townhomes, and Tract D to 72 Condominiums that shall be “for sale,” with 17 units to be set aside as “Affordable Housing Units.”

B. Proposed Rezoning and Development Plan

The developer, Lincoln Avenue Communities, is requesting a zoning map amendment to permit the development of an apartment complex consisting of 168 affordable units. The request is to rezone the SC zoned parcel to HR, but also to remove the conditions required of the 1997 zoning ordinance from all three parcels.

The proposed project will include four three/four-story buildings that step down the natural slope of the site. The unit mix includes the following:

<u>UNIT DESCRIPTION</u>	<u>NO. OF UNITS</u>	<u>PERCENTAGE</u>
2 Bed/2 Bath	56	33.3%
3 Bed/2 Bath	88	52.4%
4 Bed/2 Bath	24	14.3%

The project will also include a 6,569 square foot clubhouse with laundry, a fitness room, and a community room. Site access will be provided from two driveways on E. Pine Knoll Drive. There are 286 surface parking spaces, including 9 ADA accessible parking spaces (260 spaces are required). Over half of the parking is proposed to be covered. The project will also provide 24 exterior bicycle parking spaces (15 spaces are required).

II. Staff Site Plan Review

On November 14, 2025, the Inter-Department Staff (IDS) approved an application for Site Plan Review of the proposed development, subject to successfully obtaining a Direct to Ordinance Zoning Map Amendment (rezoning). A copy of the application is attached to this report. Should the rezoning be denied, the Site Plan as submitted will no longer be approved.

A. Zoning – City of Flagstaff Zoning Code

If this Direct to Ordinance Zoning Map Amendment request is approved, approximately 8.51 acres will be rezoned to the High Density Residential (HR) zone. Development of the site will be conditioned to the approved site plan, the requested development standards modifications, and a final development agreement. Any substantial change to the approved site plan would require a new rezoning request and further review and approvals by the Planning and Zoning Commission and City Council. The Site Plan provided includes the overall site layout, resource protection plan, preliminary landscaping, building floor plans and elevations.

i. Site Planning Standards

In accordance with Section 10-30.60.030 of the Zoning Code, a site analysis was completed in conjunction with the concept plan for this project that examines the topography of the site, solar orientation, existing/native vegetation types, view corridors, climate, subsurface conditions, drainage swales and stream corridor, and the built environment and land use context. The project proposes to place the surface parking in front of the apartment buildings. As a 100% affordable development, the applicant may request this modification to site planning standards be made by Council. The Clubhouse is located at the northeast corner of Lone Tree Road and Pine Knoll Drive.

ii. Resource Protection

There is a Resource Protection Overlay zone on the subject site. The Zoning Code requires 50% of the tree resources to be saved, but the Affordable Housing incentive allows that protection rate to be reduced to 25%. Additionally, affordable housing projects may count tree resources located on steep slopes. The developer proposes to save 26% of the existing tree resources. The developer is locating the majority of the required tree resources on the eastern end of the site. This is also where the steep slope is being protected.

iii. Common Space & Civic Space

The HR zone requires 15% of the gross lot area to be Common Space (Table 10-40-30.030.F). A minimum of 55,605 square feet of open space is required for the proposed residential project. The developer's provided Common Space Plan identifies 87,556 square feet (2.01 acres) of common space, which is 23.6% of the site area. Most of the open space is located within the resource area at the east end of the site. The remainder of the common space is located at the south and west perimeter of the site, and around the clubhouse and patio in the southwest corner of the site.

iv. Pedestrian and Bicycle Circulation Systems

The developer will be removing the existing sidewalk along the north side of Pine Cliff Drive and replacing it with a 5-foot wide concrete sidewalk and a 5-foot wide parkway. This 5-foot buffer between pedestrians and the street will increase pedestrian safety and comfort. There is a future FUTS identified to the north of the development. The applicant has committed to completing rough grading at the northeast edge of the site onto the public park property in anticipation of the future FUTS construction. The development also provides a pedestrian connection to the existing park at the north edge of the site.

The site is located adjacent to a bus stop on Lone Tree Road, and the applicant will provide additional Right-of-Way for a new bus stop shelter. The applicant is also proposing a pedestrian connection for residents from the site to Lone Tree Road.

On the site, the developer has proposed sidewalks connecting the buildings, parking areas, common amenities, and alongside the driveways on Pine Knoll Drive.

v. Compatibility and Architectural Design Standards

Compatibility does not mean "the same as" but rather refers to how well a new development is sensitive to the character of existing development. The Zoning Code breaks down compatibility into three categories: Patterns of Development, Scale, and Continuity.

Patterns of Development include streetscapes, site relationships, signage, and landscape features. The project will improve the streetscape along Pine Knoll Drive with a new, landscaped parkway and 5-foot wide sidewalk.

Scale refers to similar or harmonious proportions, overall height and width, the visual intensity of the development, and the building massing. From the north, where the single-family homes and the park are adjacent, the apartment buildings appear as three-stories. The four-story elevations are primarily visible from the interior of the site. The existing multi-family developments to the south and east of the site are three stories.

Continuity encompasses patterns of development and scale, but also site development, building forms, texture, materials, details, and colors. The proposed apartment buildings are consistent with those in the area, with sloped roofs, lap siding, and small balconies. The site plans are similar with internal pedestrian circulation, surface parking, and some covered parking.

vi. Landscaping

Landscaping plans are not required in conjunction with a Direct to Ordinance Zoning Map Amendment. The developer has provided a conceptual landscaping plan, showing landscape areas and plant locations. The conceptual plan generally meets the requirements of parking lot landscaping, street buffer landscaping, building foundation, and peripheral buffer landscaping found within Section 10-50.60 of the Zoning Code. The zoning Code allows for a 10% reduction in landscaping when providing affordable units. In addition, the applicant is requesting Council approval for a further reduction. A final landscape plan will be reviewed at the time of civil plan submittal.

vii. Outdoor Lighting

The subject property is located within Lighting Zone II and is allowed a total of 35,000 lumens per acre. Outdoor lighting plans are not required in conjunction with a Direct to Ordinance Zoning Map Amendment. A final lighting plan will be reviewed for compliance at the time of building permit submittal.

viii. Parking

Based on the requirements for affordable units and guest parking, 306 spaces are required. Since the development is located within a quarter mile of a bus stop, the developer has taken a 15% reduction in the number of required spaces, resulting in 260 required parking spaces. The proposed development includes 286 surface parking spaces, including 9 ADA accessible parking spaces. A modification request was approved by staff to allow narrower parking stalls to accommodate covered parking structures.

ix. Historic/Cultural Resources

A Cultural Resource Study was not required for the subject property.

B. Public Systems Impact Analysis

i. Traffic/Right-of-Way Impact

The project was required to provide a Traffic Impact Statement. Lokahi, LLC, the engineering consultant for the developer, completed a TIA in September 2025. The scope of the analysis is generally determined by the estimated peak hour trips generated by a development, per the Engineering Standards. The estimated peak hour trips for this development are 75 vehicles/hour in the a.m. and 93 vehicles/hour in the p.m. According to the Standards, a level one analysis was appropriate, requiring the consulting engineer to analyze the intersection of Lone Tree Road and Pine Knoll Drive, as well as the two site access driveways.

Both access driveways were also analyzed with respect to spacing and turn-lane requirements. The western driveway warrants a left turn lane; however, staff determined it was disproportional to the scope of the development. The proposed development will be a gated community. The eastern driveway will be accessed with a resident-only key fob. A condition of staff approval is that the system used to open the gate must be automatic to minimize queueing and not interfere with traffic on Pine Knoll Drive.

Transportation Improvements

No off-site traffic improvements will be required. The applicant will be required to provide additional right-of-way along both streets for future improvements, including right-of-way for a bus shelter at the current stop. The FUTS trail to the north of the site requires grading and a dedicated FUTS easement per the approved site plan.

The existing frontage conditions along Pine Knoll Drive include a five-foot wide sidewalk at back of curb. Current Engineering standards call for a five-foot parkway and a five-foot sidewalk. The existing sidewalk along Lone Tree Road will remain in its current condition. The proposed site plan calls for the existing sidewalk along the north side of Pine Knoll Drive to be removed. In its place, the developer will construct a new five-foot wide sidewalk and parkway.

ii. Water and Wastewater Impact

A Water and Sewer Impact Analysis (WSIA) was completed by the City on March 21, 2025. The proposed development is located within the City of Flagstaff urban growth boundary and can be served by City water and sewer utilities.

Water

On-site modifications:

The project site is adjacent to the existing S Lone Tree Road and Pine Knoll Drive. Both roadways have waterlines within the right-of-way, and a waterline crosses the approximate boundary of APN 104-14-003H and APN 104-14-003J. The existing 8" public waterline crosses the site within a public utility easement. If this line is relocated due to onsite construction, the system connection on the north and south side of the property must be re-established, and an easement dedicated per Flagstaff standards.

Off-site modifications:

Since there is an existing waterline crossing the property that can provide adequate water supply and maintain system pressures, there will be no offsite modifications required.

Wastewater

On-site modifications:

There is no infrastructure onsite to support this development, so all systems will have to be designed and built.

Off-site modifications:

Currently, there is an 8-inch gravity sewer that runs within a public utility easement on the south side of E Pine Knoll Dr. There are two existing 6-inch sewer services that extend north to the project property approximately 500-feet and 900-feet east of Lone Tree Road. Connecting to the gravity system in any other location will require trenching across Pine Knoll Drive and coordination with the property owner of the Ridge at Clear Creek Apartments, where the sewer line is located. To provide adequate downstream capacity, off-site sewer improvements will be necessary on the Rio de Flag trunk line near the Wildcat Treatment Plant. Per COF Engineering Standards section 13-05-002-0002 C.2., improvements on the sewer trunk line are not required of the developer. The City is currently in construction on this off-site improvement, which is now known as the Wildcat Interceptor Upsizing. This project must be completed prior to this development connecting to the sewer system.

iii. Stormwater Analysis

A preliminary Drainage Report was completed on June 23, 2025, by WLB Group, Inc., on behalf of the developer. The report states that the design presented for the Lincoln Avenue Communities (LAC) multifamily housing development project upholds the City's requirements for drainage design and the City's Low Impact Development requirements. The design promotes a sustainable development by reducing the post development flows to predevelopment levels through the use of retention and detention basins. The retention is sized to contain the volumetric difference between the pre- and post-development 100-year storm event. The project proposes the use of multiple Stormtech chamber underground retention basins located throughout the site. The location and size were determined based on proportionally relative developed area reaching the underground basins, so the provided retention volume meets the required amount without causing a condition where excess and unused volume is created. The underground basins are linked and routed through one another as the drainage is conveyed from upstream to downstream, within the proposed condition drainage patterns. A final drainage plan is required to be submitted with the Civil Plan review.

III. Direct to Ordinance Zoning Map Amendment

An application for a Direct to Ordinance Zoning Map Amendment shall be submitted to the Planning Director and shall be reviewed, and a recommendation prepared. The Planning Director's recommendation shall be transmitted to the Planning and Zoning Commission in the form of a staff report prior to a scheduled public hearing. The recommendation shall include: an evaluation of the consistency and conformance of the proposed amendment with

the goals and policies of the General Plan and any applicable specific plans; the grounds for the recommendation based on the standards and purposes of the zones set forth in Section 10-40.20 (Establishment of Zones) of the Zoning Code; and, whether the amendment should be granted, granted with conditions to mitigate anticipated impacts caused by the proposed development, or denied.

Direct to Ordinance Zoning Map Amendments shall be evaluated based on the following findings:

A. Finding #1:

The proposed amendment must be found to be consistent with and in conformance with the goals and policies of the General Plan and any applicable specific plans. If the application is not consistent with the General Plan and any other applicable specific plan, the applicable plan must be amended in compliance with the procedures established in Chapter 11-10 of the City Code (Title 11: General Plans and Subdivisions) prior to considering the proposed amendment.

i. General Plan/Flagstaff Regional Plan (FRP 2030) Process and Analysis Summary

When staff performs a Regional Plan (the “Plan”) analysis, staff reviews all maps, text, and goals and policies to determine which are the most relevant in relation to the proposed application. The Plan’s Future Growth Illustration on Maps 21 and 22 (same map; one is regional scale and one city scale) and the text of the Plan provide supplemental information for the interpretation of goals and policies. In the case of any conflict between the Future Growth Illustration and the Plan’s goals and policies, the goals and policies will prevail. The Future Growth Illustration has two types of land use designations: “Area Types” describe the place-making context of Urban, Suburban, Rural, or Employment, and “Place Types” such as activity centers, corridors, and neighborhoods, which provide the framework for the density, intensities, and mix of uses within the area types.

Staff has identified that the subject property is designated as Existing Suburban and is not located within an activity center on the Plan’s Future Growth Illustration. Suburban areas are intended to have medium to low densities of people, residences, jobs, and activities; the streets and sidewalks vary in pattern; the area is drivable to access homes and jobs, yet walkable by special pedestrian facilities such as FUTS trails; some services and goods are available to the residents; the area may have access to public transportation. The City’s desired Suburban Neighborhood Characteristics include a density of 2-13 units per acre, low-rise apartments (generally accepted as three-story maximum), and open spaces used for passive recreation.

At the time the Site Plan submittal was found to be complete, the minimum density requirement in the HR zone was 10 units per acre, and the maximum density allowed was 22 units per acre (within the RPO and outside of the pedestrian shed of an activity center). Based on the zoning code, a maximum of 187 units are allowed. However, the Regional Plan limits density in Suburban Area Types outside of an Activity Center to a density between 2 and 13 units per acre. The overall density of the project is 19.7 units per acre (168 units /8.51 acres). However, the additional bonus units are not counted towards the Regional Plan’s cap on density. With those units, the resulting density is 13.6 units per acre, which staff has determined to be in general conformance with the Regional Plan.

The HR zone permits a maximum building height of 60 feet, or 65 feet for buildings with roofs with a pitch of 6:12 and greater. The Regional Plan identifies characteristics of Suburban neighborhoods, including “low-rise apartments.” The proposed buildings are split-level three/four-stories. The highest roofline of the proposed buildings will be approximately 55 feet from finished grade. This height is on the southern, four-story side of the apartment buildings, visible from the interior of the site. To the north, where the public park and single-family

neighborhood is located, the apartment buildings are three-stories with a height of approximately 44 feet from finished grade.

ii. Applicable General Plan Goals and Policies

Staff identified relevant Regional Plan Goals and Policies that could be applied to support or not support the proposed Zoning Map Amendment. The following is a discussion of how the project generally meets and conflicts with some of the most relevant goals and policies. The applicant has provided their own more comprehensive analysis as part of their narrative.

a. Neighborhoods, Housing, and Urban Conservation

Goal NH.3 of the Regional Plan speaks to the desire to “make available a variety of housing types at different price points, to provide housing opportunity for all economic sectors”. The project proposes 168 affordable units that will permanently serve residents earning, on average, up to 60% of the area median income. The applicant states that the mix of unit types allows families to have the space they need without being financially burdened by high rents or a mortgage on a home. They point out that many new apartments are smaller and targeted at young professionals.

The project will also incorporate access to public transit with paths to the bus stop immediately adjacent to the property. This supports Policy NH.4.6. “Consider and integrate public transportation when possible in planning housing developments, to help reduce a household’s transportation costs and minimize impact on the community’s roads and transportation system”.

b. Environmental Planning & Conservation

The Regional Plan encourages development to work with the existing landforms. Developments should step down sloped sites and preserve as much natural topography as possible. Policy E&C.9.2 states that “Construction projects employ strategies to minimize disturbed area, soil compaction, soil erosion and destruction of vegetation”. The proposed development steps the apartment buildings down the site’s slope and concentrates tree resources to the east end of the property to minimize construction disturbance.

The project lowers operational emissions through high-efficiency building systems and fixtures, and EV-ready parking to accelerate clean mobility. Safe multimodal links to nearby transit and trails are integrated to reduce vehicle miles traveled, while drought-tolerant landscaping and efficient irrigation cut embodied and operating energy tied to water use. These elements support the Plan’s Goal E&C. 2. “Achieve carbon neutrality for the Flagstaff community by 2030”.

c. Transportation

The applicant states that the project reduces congestion and emissions by prioritizing transit, walking, and cycling. The proposed development will place residents within walking distance of two existing bus routes, will provide right-of-way dedication for a future sheltered bus stop on Lone Tree Road, and will connect to a future FUTS trail. These connections help promote the use of public transportation, walking and bicycling as stated in Policy T.1.6 “Provide and promote strategies that increase alternate modes of travel and demand for vehicle travel to reduce peak period traffic”.

d. Energy

The General Plan includes Policy E.1.10. “Incentivize energy efficiency and renewable energy technologies in construction projects”. The property does implement energy-efficient MEP specifications, materials, appliances, and building practices, but the applicant states the project can no longer feasibly incorporate rooftop or carport solar to offset energy consumption with the phasing out of the Solar Investment Tax Credit.

Staff believes that the proposed application meets this finding.

B. Finding #2

To meet the finding, the proposed amendment must be determined not to be detrimental to the public interest, health, safety, convenience, or welfare of the City of Flagstaff (the “City”); and will add to the public good as described in the General Plan. Staff does not believe that the proposed project will be detrimental to the public interest, health, safety, convenience, or welfare. Staff also believes that the proposed amendment will add to the public good.

The developer has identified the following Community Benefits and Public Good:

- The Project enhances community convenience by delivering 168 units of affordable family housing within walking distance of NAU, Arroyo Park, and transit stops, thereby shortening commute distances and providing access to employment, education, and services.
- By redeveloping an underutilized infill parcel, the project advances the General Plan’s goals for compact growth, housing diversity, and sustainability.
- The inclusion of energy-efficient building materials and specs, native landscaping, and open space amenities creates a healthy living environment and sets a precedent for environmentally responsible multifamily design in Flagstaff.

C. Finding #3

To meet the finding the affected site must be determined to be physically suitable in terms of design, location, shape, size, operating characteristics; and the provision of public and emergency vehicle access, public services, and utilities to ensure that the requested zone designation and the proposed or anticipated uses and/or development will not endanger, jeopardize, or otherwise constitute a hazard to the property or improvements in the vicinity in which the property is located.

Staff believes that the proposed application meets this finding. The Inter-Division Staff reviewed the application and concluded that the site was suitable for the proposed development. The IDS team based its conclusion on the review of all applicable codes and requirements, as well as impact analyses for the site.

IV. DEVELOPMENT AGREEMENT

A draft development agreement has been prepared. The primary purpose of this agreement is to set out roles and responsibilities in regard to the following (not limited to):

- Affordable Housing commitment
- Identifying the Affordable Housing Incentives being utilized and the requested Development Standards Modifications
- The commitment to grade a future FUTS
- Right-of-Way dedications
- Gate and access control conditions

V. CITIZEN PARTICIPATION

Public hearings before the Planning and Zoning Commission and City Council are conducted in conjunction with requests for Direct to Ordinance Zoning Map Amendments. In accordance with State Statute, notice of the public hearing was provided by placing an ad in the Daily Sun, posting notices on the property, and mailing a notice to all property owners within 300 feet of the site, homeowner associations within 1,000 feet of the site, and all contacts on the City's Registry of Interested Persons.

The developer held one neighborhood meeting regarding this case on November 17, 2025. Four individuals attended the meeting. A Citizen Participation summary, attached, was prepared to document the questions, comments, and concerns presented. The meeting included a presentation from the developer and a question-and-answer session. The questions asked were informational in nature (as opposed to raising issues or expressing concern). The requirement for a second neighborhood meeting was waived by staff. At this point in time, staff has not received any comments on the proposed development.

RECOMMENDATION:

Staff recommends the Planning & Zoning Commission forward the request to the City Council with a recommendation approving PZ-24-00224-04, subject to the following five conditions, which will be included in the zoning map amendment ordinance:

1. The subject property must be developed in accordance with the approved site plan and the conditions of approval dated November 14, 2025, unless modified as provided for in the Lone Tree Ranch Development Agreement. Modifications, other than modifications permitted by the Development Agreement, to the approved site plan will require an amendment to this Direct to Ordinance Zoning Map Amendment request
2. All other requirements of the Zoning Code and other City codes, ordinances and regulations, shall be met by the proposed development.
3. All terms, conditions, and restrictions detailed within the Lone Tree Ranch Development Agreement, as amended, must be fully satisfied.
4. In the event the property is rezoned and the Developer fails to obtain final Civil Plan approval within two (2) years of the effective date of the rezoning ordinance, then the City may schedule a public hearing before the City Council for the purpose of causing the zoning on the Property to revert to the zoning (including conditions) established in the 1997 rezoning, in accordance with A.R.S. § 9-462.01.
5. The approval of this ordinance will have the effect of rescinding the prior rezoning ordinance (Ord. No. 1943) as it relates only to parcels 104-14-003G, 104-14-003H, and 104-14-003J, unless the zoning is reverted as set forth in condition 4 above.

Attachments:

- Application
- Vicinity Map
- Project Narrative and Regional Plan Analysis
- Citizen Participation Plan and Report
- Approved Site Plan Drawings:
 - Architectural Site Plan, Floor Plans, and Elevations
 - Civil Plans

PZ-24-00224-04
January 22, 2026

- Landscape Plans
- Resource Protection Plan



City of Flagstaff

Community Development Division

211 W. Aspen Ave
 Flagstaff, AZ 86001
 www.flagstaff.az.gov

P: (928) 213-2618
 F: (928) 213-2609

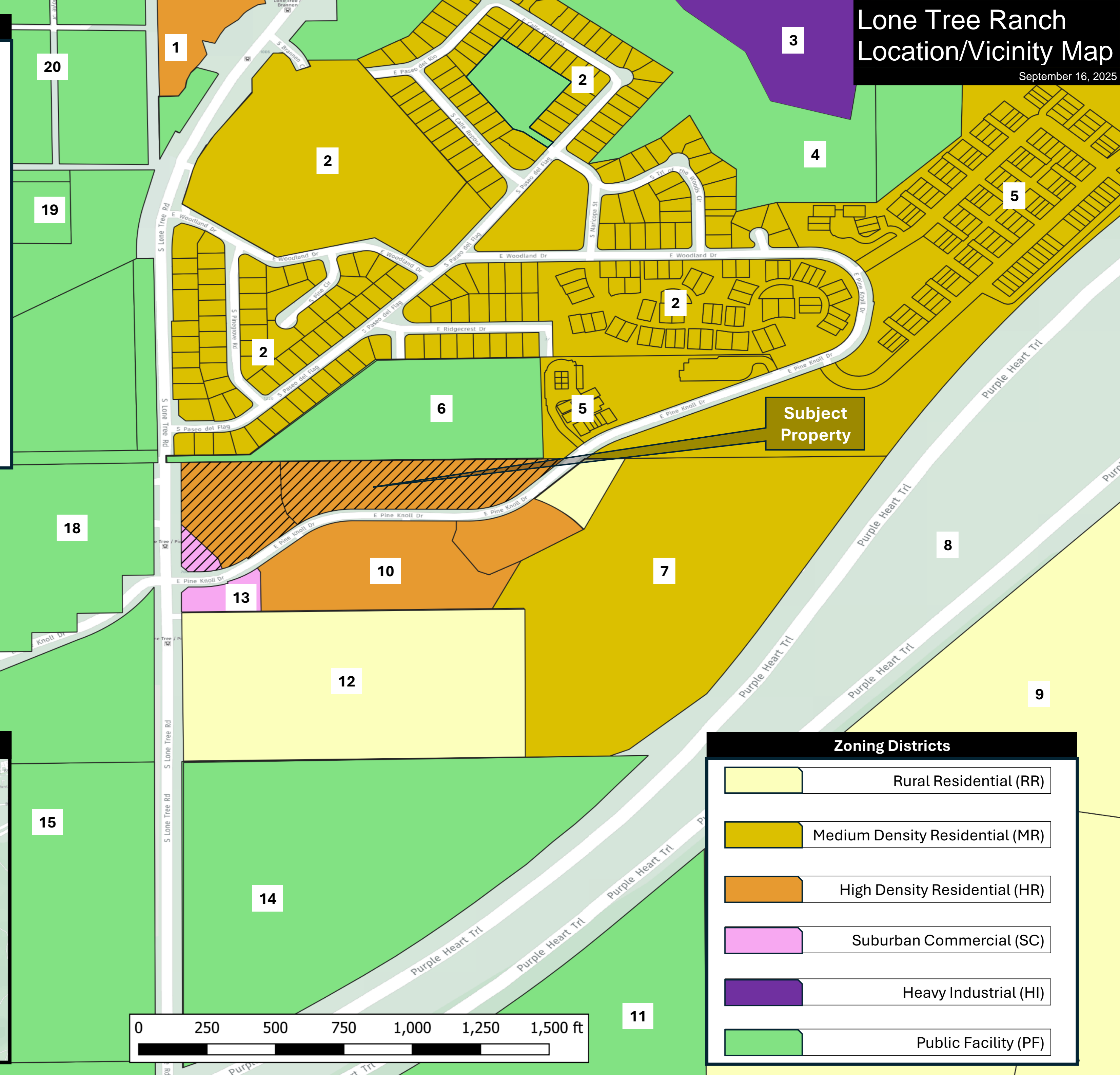
Date Received		Application for <u>Direct to Ordinance</u> Zoning Map Amendment			File Number	
Project Name Lone Tree Ranch						
Site Address 900 E Pine Knoll Dr		Parcel Number(s) 104-14-003J, -003H, -003G		Subdivision & Lot Number Woods at Clear Creek, Tracts B, C, and D		Site Acreage 8.49
Existing Zoning District HR - RPO & SC - RPO		Proposed Zoning District HR - RPO		Existing Regional Plan Area and Place Type Suburban & Special Planning Area		
Existing Use Vacant			Proposed Use Multi-Family Residential			
Property Information: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Located in an existing Local/National Historic District? (Name: _____)						
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Existing structures are over 50 years old at the time of application?						
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Subject property is undeveloped land?						
Type of Zoning Map Amendment (Small, Medium, Large or Multi-Phase) Large						
Property Owner(s) Consolidated Investment Co., Inc				Phone 480-225-3612		
Mailing Address 8112 N 53rd Street, Paradise Valley, AZ 85253			City, State, Zip AZ 85253			
E-mail cicflag@hotmail.com						
Applicant(s) Lincoln Avenue Communities				Phone 424-222-8253		
Mailing Address 401 Wilshire Blvd, 11th Floor, Santa Monica, CA 90401			City, State, Zip CA 90401			
E-mail mklein@lincolnavenue.com						
Project Representative(s) Matthew Klein and Will Huebner				Phone 774-278-8827		
Mailing Address 401 Wilshire Blvd, 11th Floor, Santa Monica, CA 90401			City, State, Zip CA 90401			
E-mail whuebner@lincolnavenue.com						
Property Owner Signature (required) <i>Karen Wood Mackard</i>		Date 09/12/2025	Applicant Signature <i>RB</i>		Date 9/10/25	
For City Use						
Date Filed:		File Number(s):				
P & Z Hearing Date:		Publication and Posting Date:				
Council Hearing Date:		Publication and Posting Date:				
Fee Receipt Number:		Amount:		Date:		
Action by Planning and Zoning Commission:				Action by City Council:		
<input type="checkbox"/> Approved		<input type="checkbox"/> Approved				
<input type="checkbox"/> Denied		<input type="checkbox"/> Denied				
<input type="checkbox"/> Continued		<input type="checkbox"/> Continued				
Staff Assignments	Planning	Engineering	Fire	PW/Water Services	Stormwater	

Lone Tree Ranch Location/Vicinity Map

September 16, 2025

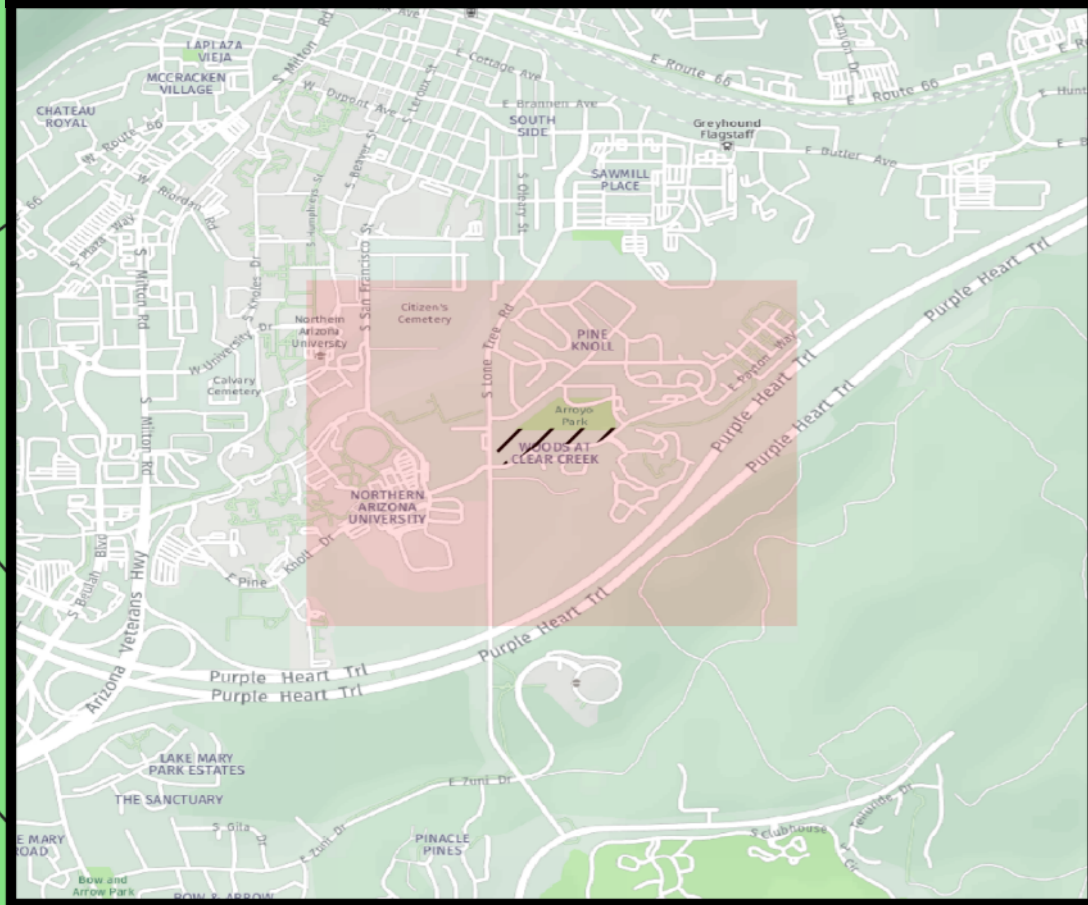
Surrounding Uses

1. Commons at Sawmill Apartments
2. Pine Knoll Brannen Homes Neighborhood
3. Coconino County Sherrif's Complex
4. Rio de Flag (Trail and Open Space)
5. Rio Homes Neighborhood
6. Arroyo Park/Mark Grace Field
7. The Ridge at Clear Creek Apartments
8. I-40 Corridor
9. Juniper Point Neighborhood (Future)
10. Clear Creek Village Apartments
11. Coconino Community College
12. Coconino National Forest (Outparcel)
13. Low-Intensity Retail/Services
14. Vacant/Undeveloped
15. NAU Facility Services
16. NAU Surface Parking
17. J. Lawrence Walkup Skydome
18. Kindsey Elementary School
19. Hilltop Townhomes (Student Housing)
20. Citizens Cemetery









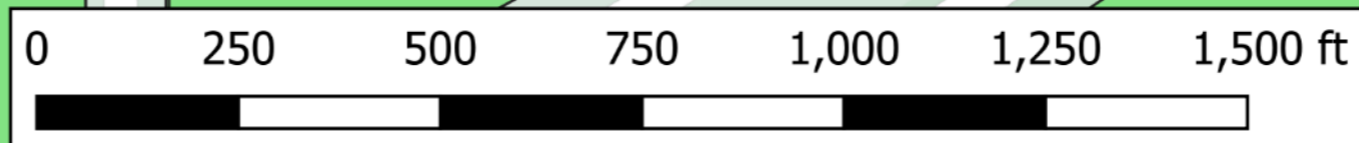
Subject Property

Overview



Zoning Districts

	Rural Residential (RR)
	Medium Density Residential (MR)
	High Density Residential (HR)
	Suburban Commercial (SC)
	Heavy Industrial (HI)
	Public Facility (PF)



Lone Tree Ranch – 900 East Pine Knoll Drive

Zoning Map Amendment Narrative

I. Executive Summary

Lincoln Avenue Communities (“LAC”) is requesting a zoning map amendment to facilitate development of a 168-unit affordable multifamily residential project (the “Project” or “Lone Tree Ranch”). Lone Tree Ranch will consist of three- and four-story split-level walk-up buildings that will provide highly amenitized—yet attainable—housing for the Flagstaff community. It will house workers, families, and community members making no more than 60% of the Area Median Income (“AMI”).

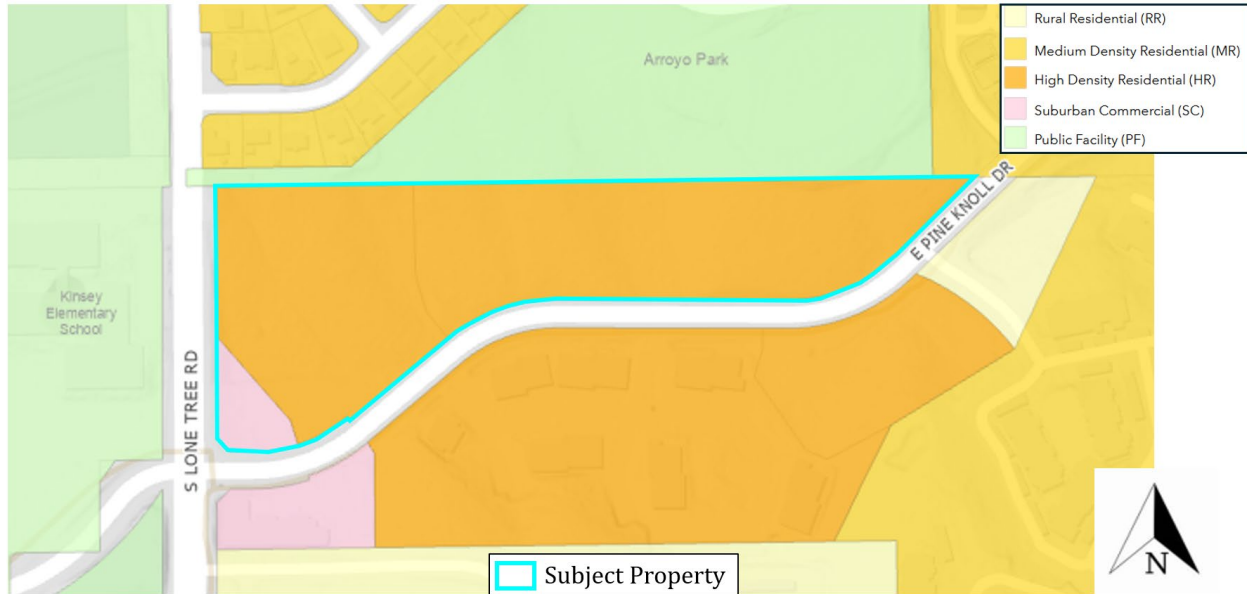
LAC develops, owns, and operates affordable housing nationwide. LAC’s current portfolio contains over 170 properties with more than 30,000 units, spanning dozens of states. LAC, along with its non-profit General Partner Fairview Housing Partners (“FHP”), are looking forward to offering high-quality affordable Housing within the City. LAC and FHP have a combined 823 units of affordable housing currently under construction in the state of Arizona, with more than 1,300 units planned over the coming years. LAC looks forward to working with the city to help Flagstaff address its housing crisis.

II. Subject Property

LAC proposes to develop the Project on approximately 8.51 acres located at the northeast corner of Lone Tree Road & Pine Knoll Drive, also known as Coconino County Assessor’s APNs 104-14-003G, -003H, and -003J (collectively, the “Property”). The Property includes Tracts “B”, “C”, and “D,” as shown on the Plat for the Woods at Clear Creek as Recorded in Case 8, Map 25 Records of Coconino County, Arizona. As shown on the aerial map below, the Property is currently undeveloped.



The Property is currently zoned High Density Residential (“HR”) across two of the parcels, comprised of approximately 8 acres. HR zoning districts are intended for medium- to high-density multifamily developments. The remaining parcel (-003G), at the southwest corner, is zoned Suburban Commercial (“SC”) and is approximately 0.5 acres in size. This zoning district is intended for “retail and service establishments that supply commodities or perform services meeting the needs of adjacent residential neighborhoods.” All three parcels are within the City’s Resource Protection Overlay Zone. The Property’s current zoning is shown below.



The Property is designated as an Existing Suburban Area in the 2030 Regional Plan Future Growth Illustration. These areas have medium to low densities (two to thirteen units per acre) and are “drivable to access homes and jobs, yet walkable by special pedestrian facilities like the Flagstaff Urban Trail System” (“FUTS”).

As shown on the Location/Vicinity Map, enclosed with this application as **Item I.8**, the Property is immediately surrounded by the Woods at Clear Creek (a commercial and residential development) to the south and east, a single-family residential neighborhood and Arroyo Park to the north, and Kinsey Elementary School to the west. Additional uses are shown on **Item I.8**.

III. Proposed Project

Lone Tree Ranch will provide contemporary multifamily housing options to households making at or below 60% of the AMI. It will include:

- 168 units (± 13 du/ac) dispersed throughout four buildings and providing approximately 218,308 square feet of gross residential space;
 - Fifty-six (56) two-bedroom units,
 - Eighty-eight (88) three-bedroom units,
 - Twenty-four (24) four-bedroom units,
- Numerous high-quality amenities providing approximately 7,500 square feet of amenity space;
 - Clubhouse,
 - Leasing office,

- Barbecue area,
- Fitness center,
- Playground,
- Tot lot,
- Substantial native and regionally appropriate landscaping.

The focus on larger unit sizes allows working class families to have the space they need to comfortably raise their families without being financially burdened by higher rents or a mortgage on a home. This is difficult to find in any market as most apartments are smaller and targeted at young professionals without large families.

The Project's buildings will be three- and four-story splits. This exceeds the typical 2.5-story structure characteristic of low-rise apartments, but this is necessary due to the buildable area being precluded by the Resource Protection Area, topography, ample parking, and desirable amenity spaces. This is also due to the fact that a 2.5-story project would be financially infeasible for an affordable housing project at a much lower unit count. Residents and guests will be provided with ample parking with Lone Tree Ranch's 286 parking spaces. Ingress and egress will occur from southwest and southeast along Pine Knoll.

IV. Requested and Required Findings

LAC is requesting a zoning map amendment to rezone APN 104-14-003G from Suburban Commercial (SC) to High-Density Residential (HR).

Direct-to-Ordinance Zoning Map Amendments are evaluated based on three findings, enumerated in Flagstaff Zoning Code Section 10-20.50.040.F.1.a. These three findings are listed below, along with a discussion of how the Project satisfies all three.

(1) The proposed amendment is consistent with and conforms to the goals of the General Plan and any applicable specific plans.

Regional Plan Analysis

Lone Tree Ranch is consistent with and conforms with the goals of Flagstaff Regional Plan 2030 in myriad ways. It is also consistent with the density contemplated by its Existing Suburban Designation in the Future Growth Illustration. More specifically, the Project proposes 168 units in total. When deflated by the 45% bonus allowed for Category 1 Affordability under Table 10-30.20.050.A of the Flagstaff Zoning Code, the "Affordable Unit

Count” rounds up to 116.¹ And when this Affordable Unit Count is distributed across the Property’s 8.51 acres, the Project’s proposed density rounds down to 13 du/ac, which conforms with the Regional Plan’s density cap.²

Furthermore, the Project *strongly* supports the Plan’s housing, environmental, and complete-streets goals by (1) dedicating its units to low-income households, (2) incorporating energy efficient MEP specs, appliances, and finishes, and (3) facilitating transit-access (respectively). As discussed in greater detail below, many of this Project’s characteristics are expressly encouraged by the Regional Plan—indicating strong alignment with Flagstaff’s long-term vision.

Suburban Land Use Designation Analysis

Lone Tree Ranch is fully consistent with the Suburban Land Use Designation outlined in the City of Flagstaff Regional Plan. The project’s design is medium-density conforming to the density cap as mentioned above. The project remains compatible with the surrounding suburban character through thoughtful massing, scale, and site organization. Buildings are thoughtfully arranged and connected by pedestrian-friendly paseos, creating a community-oriented environment rather than an urban block pattern.

The project balances compact development with ample green space and buffers, integrating native landscaping and recreational amenities that reflect the natural setting. Access to transit, trails, and nearby employment centers supports multimodal connectivity, an essential element of suburban development that reduces vehicle dependency while maintaining neighborhood livability.

We’re helping meet Suburban Area Policies such as Policy LU.5.2., Policy LU.5.3., Policy LU.6.1., Policy LU.6.4., Policy LU.13.4., and Policy LU.13.9. which will be further outlined in the next section.

Regional Plan Goals and Policies

Goals are organized by Regional Plan 2030’s relevant chapters.

Environmental Planning and Conservation

The project lowers operational emissions through high-efficiency building systems and fixtures, and EV-ready parking to accelerate clean mobility. Safe multimodal links to nearby transit and trails are integrated to reduce vehicle miles

¹ ($168/1.45 = 115.86$).

² ($116/8.51 = 13.6$).

traveled, while drought-tolerant landscaping and efficient irrigation cut embodied and operating energy tied to water use.

All exterior lighting will comply with the City's Outdoor Lighting Standards. Pole heights are kept as low as practical, façade up-lighting is avoided, and motion controls/curfews are used in parking and walkway areas to limit skyglow and light trespass. The building exteriors will also implement a darker earth-toned color palette that absorbs light rather than reflects it.

The landscape palette will prioritize regional natives and adaptive species with select edible trees/shrubs where appropriate. Turf is minimized and efficient irrigation methods will be implemented.

Relevant Environmental Planning and Conservation Goals and Policies

- **Goal E&C.2.** Achieve carbon neutrality for the Flagstaff community by 2030.
- **Goal E&C.5.** Preserve dark skies as an unspoiled natural resource, basis for an important economic sector, and core element of community character.
- **Policy E&C.6.8.** Disturbed areas for improvements and landscaping for new developments shall emphasize the use of native, drought-tolerant or edible species appropriate to the area.

Open Space

Perimeter landscaping along Pine Knoll/Lone Tree create a native, drought-tolerant buffer that softens views, screens parking, and provides separation from adjacent uses. Building placement preserves sightlines through the site and provides a smooth transition from the urban edge to nearby natural areas while respecting cultural and scenic resources.

Connection to the nearby FUTS path and a network of internal paths link residents to sidewalks, trails, transit, and on-site amenities, encouraging walking and biking over short car trips. Passive and active outdoor spaces scattered throughout the site with carefully placed seating invite quiet interaction with nature and a tranquil experience.

Our on-site outdoor spaces bring the character of Flagstaff's open spaces into daily life, visible from stoops, balconies, and community entries. Low-impact

design—native plantings, shade trees, and modest, shielded lighting—blends with the architecture to create a cohesive, nature-forward residential environment.

Relevant Open Space Goals and Policies

- **Policy OS.1.3.** Use open spaces as natural environment buffer zones to protect scenic views and cultural resources, separate disparate uses, and separate private development from public lands, scenic byways, and wildlife habitats.
- **Policy OS.1.4.** Use open space as opportunities for non-motorized connectivity, to interact with nature, and to enjoy the views and quiet.
- **Policy OS.1.5.** Integrate open space qualities into the built environment.

Water Resources

The site design will apply the City’s Low Impact Design Manual to manage stormwater. These measures improve flood attenuation and water quality, promote groundwater recharge, and enhance on-site open space with native, pollinator-supportive plantings. During construction, a SWPPP, limited disturbance zones, soil protection/de-compaction, and preserved vegetation reduce erosion, sedimentation, and compactions supporting long-term watershed health and biodiversity. The project integrates distributed LID features so stormwater is treated as a resource rather than a waste stream. Access to the FUTS network via our on-site path provides residents with great access to wildlife observation opportunities.

Relevant Water Resources Goals and Policies

- **Policy WR.5.2.** Incorporate pedestrian access, trails, and watchable wildlife opportunities into natural watercourses when practical.
- **Policy WR.5.7.** Support healthy watershed characteristics through implementation of practices, consistent with the City of Flagstaff Low Impact Design Manual, that improve flood control and flood attenuation, stormwater quality, and water sustainability; increase groundwater recharge; enhance open space quality; increase biodiversity; and reduce land disturbance and soil compaction.
- **Policy WR.6.4.** Encourage low-impact development strategies.

Energy

The site plan orients primary walkways to Lone Tree Road and Pine Knoll Drive to provide short, ADA-compliant routes to existing bus stops, with space reserved for a future sheltered bus stop and real-time transit info in the clubhouse.

A multi-use path connects directly to the FUTS network and streets, while secure, covered bike parking and short-term racks at amenities support everyday riding. Drive-aisle traffic calming and clear sightlines at crossings improve cyclist safety and comfort.

Shaded, accessible sidewalks loop the site and link buildings to green spaces, play areas, and the public frontage, with crosswalks and proper signage at driveway intersections to slow vehicles. Well maintained paths, shade trees, and weather-protected entries promote comfortable, year-round walking—making on-site errands and nearby destinations feasible without a car.

The project incorporates cost-effective and energy-efficient MEP specs, appliances, and finishes to reduce electric and water consumption in order to conserve natural resources and financially support the project. The project will also be all-electric. This brings the project and community closer to carbon neutrality.

Relevant Energy Goals and Policies

- **Policy E.1.4.** Promote cost-effective, energy-efficient technologies and design in all new and retrofit buildings for residential, commercial, and industrial projects.
- **Policy E.1.5.** Promote and encourage the expansion and use of energy-efficient modes of transportation:
 - (1) Public transportation
 - (2) Bicycles
 - (3) Pedestrians
- **Policy E.1.7.** Support policies and programming that reduce electricity, natural gas, and water consumption in order to conserve natural resources and reduce financial costs.
- **Policy E.1.10.** Incentivize energy efficiency and renewable energy technologies in construction projects.

Community Character

Building articulation, materials, and colors are drawn from the surrounding natural environment, allowing the architecture and landscape features to blend well with the surrounding nature. Earth-toned facades and siding, roofing choices, and material selection along with dark-sky compliant lighting echo long-standing regional cues, ensuring the project complements rather than competes with Flagstaff's established character. You'll see these material and color selections in our proposed elevations submitted with the project.

Although no known cultural or archaeological resources are located on the site, the project will follow City and State protocols for discovery during construction. Should any cultural materials be encountered, work will stop immediately, and appropriate authorities will be notified. This proactive approach demonstrates the project's respect for Flagstaff's heritage and its commitment to cooperation with relevant agencies and organizations to preserve the community's cultural identity.

Lone Tree Ranch achieves balance between the natural and built settings by concentrating density in a compact footprint while preserving generous landscape buffers and outdoor uses. The project maintains a strong ecological and aesthetic connection to its environment.

Internal streets and parking areas are designed to be safe, attractive, and pedestrian-friendly, with shaded sidewalks, clearly marked crosswalks, and landscaping that provide shade and improve aesthetics. Together, these features ensure that vehicular areas support, rather than dominate, the human-scale experience and visual quality of the development.

Relevant Community Character Goals and Policies

- **Policy CC.1.2.** Continue to define and further develop the community character by incorporating the natural setting into the built environment at all design scales.
- **Policy CC.2.1.** Actively locate, identify, interpret, and preserve historical, archaeological, and cultural resources, in cooperation with other agencies and non-governmental organizations, as aspects of our society for future generations to retain, understand, and enjoy their cultural identity.
- **Goal CC.3.** Preserve, restore, enhance, and reflect the design traditions of Flagstaff in all public and private development efforts.
- **Policy CC.4.3.** Employ design solutions that balance the interface of the natural and built environments, with the most urbanized core activity areas being the most built, and the most rural areas being the most natural.
- **Policy CC.4.4.** Design streets and parking lots to balance automobile facilities, recognize human-scale and pedestrian needs, and accentuate the surrounding environment.

Growth Areas and Land Use

As a suburban infill development, Lone Tree Ranch reduces the cost and environmental impact of providing services in comparison to peripheral expansion. We are also providing a Natural Resource Protection Area in-line with the city fire

code to preserve the natural environment as much as possible. As an affordable multifamily project in its suburban context, it also represents compact development that provides a variety of housing types to the Flagstaff community. This is especially impactful considering the Property's proximity to Mountain Line Routes 4 and 14 providing public transit access in a suburban area. Furthermore, the Project is highly amenitized, thereby providing social and recreational opportunities to its residents. The projects medium density between a suburban and commercial area provides a smooth transition between higher intensity and lower intensity uses and provides great access to the nearby commercial areas for work and shopping. It also fills a significant supply gap of high quality, affordable housing units helping the city address its Housing Emergency and fill in a price point that is hard to come by for many hardworking Flagstaff residents that have been priced out over the years. In short, Lone Tree Ranch will develop a vacant parcel to meet numerous needs of Flagstaff residents.

Relevant Growth Areas and Land Use Goals and Policies

- **Policy LU.1.3.** Promote reinvestment at the neighborhood scale to include infill of vacant parcels, redevelopment of underutilized properties, aesthetic improvements to public spaces, remodeling of existing buildings and streetscapes, maintaining selected appropriate open space, and programs for the benefit and improvement of the local residents.
- **Policy LU.1.6.** Establish greater flexibility in development standards and processes to assist developers in overcoming challenges posed by redevelopment and infill sites.
- **Policy LU.3.4.** Promote transitions between urban, suburban, and rural areas with an appropriate change in development intensity, connectivity, and open space.
- **Policy LU.5.2.** Promote infill development over peripheral expansion to conserve environmental resources, spur economic investments, and reduce the cost of providing infrastructure and services.
- **Policy LU.5.3.** Promote compact development appropriate to and within the context of each area type: urban, suburban, and rural.
- **Policy LU.6.1.** Consider a variety of housing types and employment options when planning new development and redevelopment projects.
- **Policy LU.6.4.** Provide appropriate recreational and cultural amenities to meet the needs of residents.
- **Policy LU.13.2.** Consider public transit connections in suburban development.
- **Policy LU.13.4.** Plan suburban development to include a variety of housing options.

- **Policy LU.13.9.** Use open space and FUTS trails to provide walking and biking links from residential uses to employment, shopping, schools, parks and neighborhoods.
- **Policy LU.18.4.** Encourage developers to provide activity centers and corridors with housing of various types and price points, especially attached and multi-family housing.
- **Policy LU.18.6.** Support increased densities within activity centers and corridors.

Transportation

Lone Tree Ranch reduces congestion and emissions by prioritizing transit, walking, and cycling. The project's internal circulation directs residents toward existing bus stops, with potential for a future sheltered stop at the Lone Tree frontage. A multi-use path connects directly to the Flagstaff Urban Trail System (FUTS), while internal bike lanes and traffic calming encourage cycling. Pedestrian loops and shaded paths make walking convenient and comfortable, supporting a truly walkable community design.

Entries and internal streets are designed with appropriate lighting, crosswalks, and landscape buffers to accommodate pedestrians, cyclists, and vehicles safely.

We have sidewalks that meet ADA slope and clearance requirements and connect seamlessly to Pine Knoll Drive, Lone Tree Road, and the FUTS network. Pedestrian refuge zones and enhanced paving at drive aisles improve crossing safety, while shaded tree canopy and site furnishings promote year-round usability for all residents, including those with mobility impairments.

The project contributes to Flagstaff's comprehensive bikeway plan by providing direct trail frontage, bicycle parking, and connections to regional destinations such as NAU, Arroyo Park, and nearby commercial corridors. These linkages integrate Lone Tree Ranch into the citywide network.

Relevant Transportation Goals and Policies

- **Policy T.3.8.** Promote transportation options such as increased public transit and more bike lanes to reduce congestion, fuel consumption, and overall carbon emissions and promote walkable community design.
- **Policy T.4.2.** Design all gateway corridors, streets, roads, and highways to safely and attractively accommodate all transportation users with contextual landscaping and appropriate architectural features.
- **Policy T.5.1.** Provide accessible pedestrian infrastructure with all public and private street construction and reconstruction projects.

- **Policy T.6.2.** Establish and maintain a comprehensive, consistent, and highly connected system of bikeways and FUTS trails.

Neighborhoods, Housing, and Urban Conservation

The Project provides 168 units at 60% AMI, which directly implements several of the Regional Plan's housing strategies. Furthermore, the mix of unit types allows families to have the space they need without being financially burdened by high rents or a mortgage on a home. This is difficult to find in any market as many new apartments are smaller and targeted at young professionals. More specifically, the variety of multifamily rental units at affordable price points will provide housing opportunities for an underserved economic sector. The project will meet ADA and Section 504 design standards ensuring that housing barriers for persons with disabilities in the community are avoided. The project will also incorporate access to public transit with paths to the bus stop immediately adjacent to the property. The developer has also held a neighborhood meeting addressing the existing residents in the neighborhood's concerns and we received no opposition or complaints.

Relevant Neighborhoods, Housing, and Urban Conservation Goals and Policies

- **Goal NH.3.** Make available a variety of housing types at different price points, to provide housing opportunity [sic] for all economic sectors.
- **Policy NH.3.1.** Provide a variety of housing types throughout the City and region, including purchase and rental options, to expand the choices available to meet the financial and lifestyle needs of our diverse population.
- **Policy NH.3.3.** Increase the availability of affordable housing for very low-income persons, through innovative and effective funding mechanisms.
- **Policy NH.3.5.** Encourage and incentivize affordable housing.
- **Policy NH.4.3.** Address accessibility issues and other housing barriers to persons with disabilities or special needs.
- **Policy NH.4.6.** Consider and integrate public transportation when possible in planning housing developments, to help reduce a household's transportation costs and minimize impact on the community's roads and transportation system.
- **Policy NH.6.1.** Promote quality redevelopment and infill projects that are contextual with surrounding neighborhoods. When planning for redevelopment, the needs of existing residents should be addressed as early as possible in the development process.

Economic Development

Lone Tree Ranch strengthens the Pine Knoll/Lone Tree corridor through high-quality frontage improvements—layered native landscaping, shaded sidewalks, and pedestrian-scaled lighting—that create an attractive gateway experience for residents and visitors. Architectural massing, material palette, and monument signage provide a refined, cohesive appearance that elevates the corridor’s visual quality, signaling the City’s commitment to thoughtful investment and making the area appealing to employers and workforce alike.

As an infill project on a strategically located site near NAU and transit, Lone Tree Ranch makes efficient use of existing infrastructure while adding critically needed affordable housing in close proximity to jobs, education, and services. The project supports compact growth patterns, minimizes sprawl, and aligns with City economic and environmental goals by leveraging underutilized land to meet housing demand, stimulate neighborhood reinvestment, and support local businesses through increased foot traffic and transit ridership.

Relevant Economic Development Goals and Policies

- **Policy ED.7.4.** Invest in attractive community gateways, main corridors, and public spaces to draw the business and workforce the region desires.
- **Goal ED.9.** Promote redevelopment and infill as a well-established means to accomplish a variety of community economic, planning, and environmental goals.

Policy Assessment

In addition to discussing the goals of the Regional Plan, the City also requests an assessment of some of the policies not supported by approval of this Zoning Map Amendment request. LAC strives to meet the goals and policies of the Regional Plan, and the Project recognizes the importance of cooperation between public interest and private development.

Although Lone Tree Ranch meets most of the Regional Plan’s goals and Policies, parts of the Regional Plan simply do not apply to the Project—or the overall intent of the goal is met, but certain policy details cannot practicably be met. The following list provides a sample of some of the unsupported policies.

Policy OS.1 – Open Space Goals and Policies:

As an infill development within an already developed corridor, the site does not provide large natural open space; however, the Project integrates green infrastructure, outdoor amenities, and native landscaping to create smaller-scale open areas.

Policy WR.5.1 – Preserve and restore existing natural watercourse corridors, including the 100-year floodplain.

The property is outside of a FEMA-designated floodplain, so the policy does not apply. Stormwater is fully managed on-site through underground detention and LID features.

Policy E.1.10. Incentivize energy efficiency and renewable energy technologies in construction projects.

The property does implement energy efficient MEP specifications, materials, appliances, and building practices, but the project can no longer feasibly incorporate rooftop or carport solar to offset energy consumption with the phasing out of the Solar Investment Tax Credit.

Specific Plan Analysis

Lone Tree Ranch is consistent with the goals of Flagstaff’s Lone Tree Corridor Specific Plan. Although this Specific Plan only covers the Property’s frontage with Lone Tree Road and is primarily concerned with transportation infrastructure, it specifically contemplates affordable housing being located along the Lone Tree Corridor. As a 100% affordable development, Lone Tree Ranch will help this aspirational goal become a reality. No other specific plan applies to the Property.

The proposed amendment will not be detrimental to the public interest, health, safety, convenience, or welfare of the City and will add to the public good as described in the General Plan.

Lone Tree Ranch is designed to protect public health and safety by meeting all current building, fire, and accessibility codes, including providing a fully looped water main with adequate fire flow, fire apparatus access routes maintained during construction, and dark-sky compliant lighting for resident security without adding glare to the surrounding neighborhood. The site will incorporate a robust stormwater management system, reducing localized flooding and improving downstream water quality.

The Project enhances community convenience by delivering 168 units of affordable family housing within walking distance of NAU, Arroyo Park, and transit stops, thereby shortening commute distances and providing access to employment, education, and services. Its internal sidewalks, bike facilities, and transit connectivity promote safe multimodal transportation options for residents and neighbors alike.

By redeveloping an underutilized infill parcel with high-quality, long-term affordable housing, Lone Tree Ranch advances the General Plan's goals for compact growth, housing diversity, and sustainability. The inclusion of energy efficient building materials and specs, native landscaping, and open space amenities creates a healthy living environment and sets a precedent for environmentally responsible multifamily design in Flagstaff.

The affected site is physically suitable in terms of design, location, shape, size, operating characteristics and the provision of public and emergency vehicle (e.g., fire and medical) access and public services and utilities (e.g., fire protection, police protection, potable water, schools, solid waste collection and disposal, storm drainage, wastewater collection, treatment, and disposal), to ensure that the requested zone designation and the proposed or anticipated uses and/or development will not endanger, jeopardize or otherwise constitute a hazard to the property or improvements in the vicinity in which the property is located.

The 8.49-acre parcel is a regular, relatively flat infill site with frontage along Pine Knoll Drive, providing excellent access and visibility while buffering nearby neighborhoods. Its "H-shaped" building configuration, internal drive aisles, and centrally located courtyards maximize usable open space, optimize solar orientation, and break up massing, making the project well-scaled for its surroundings.

Lone Tree Ranch will operate as a professionally managed, affordable family community with on-site leasing and maintenance staff, controlled access, and robust amenity spaces. Parking is provided at a ratio of 1.7 spaces per unit, minimizing spillovers into surrounding streets, and internal circulation is designed for safe, low-speed vehicle movement.

The site layout provides a fully connected loop road with adequate turning radii for fire apparatus and designated fire lanes adjacent to all buildings. During construction, temporary fire access routes will be maintained and coordinated with Flagstaff Fire Department.

Crime prevention design principles are applied with well-lit walkways (dark-

sky compliant), clear sightlines, and active amenity spaces that promote natural surveillance. These measures enhance security and support police response when needed.

All utilities are designed to connect to existing mains in Pine Knoll Drive and Lone Tree Road. Schools, solid waste collection, and transit service are already in place within the urban service area, meaning no extraordinary public investment is required to serve the project.

By meeting or exceeding all City design standards, providing appropriate circulation and emergency access, and ensuring adequate public services, the project will not endanger or jeopardize adjacent properties. Instead, it redevelops an underutilized parcel in a way that strengthens neighborhood character and delivers affordable housing consistent with the City's General Plan.

V. Conclusion

Lone Tree Ranch represents a significant step toward addressing Flagstaff's urgent need for quality, long-term affordable housing. The project will deliver 168 income-restricted apartment homes in a thoughtfully designed, pedestrian-oriented community that aligns with the City's goals for compact growth, sustainability, and multimodal connectivity. By redeveloping an underutilized parcel, Lone Tree Ranch leverages existing infrastructure, reduces vehicle miles traveled, and provides safe, transit-accessible homes for working families, students, and essential workers.

In addition to its affordability commitment, the project offers meaningful public benefit through its sustainable design, native landscaping, and accessible open space amenities. Lone Tree Ranch not only fills a critical housing gap but also enhances the corridor and sets an example for high quality, environmentally responsible, and socially inclusive development. We respectfully request City staff's support and a favorable recommendation to move this important project forward for the benefit of the entire Flagstaff community.

Lone Tree Ranch – 900 East Pine Knoll Drive

Neighborhood Meeting Plan

I. Introduction

This Neighborhood Meeting Plan is included with the Direct-to-Ordinance Zoning Map Amendment Application (the “Application”) submitted by Lincoln Avenue Communities (“LAC”) to facilitate development of a 168-unit affordable multifamily residential project (the “Project” or “Lone Tree Ranch”). LAC proposes to develop the Project on approximately 8.49 acres located at the northeast corner of Lone Tree Road & Pine Knoll Drive, also known as Coconino County Assessor’s APNs 104-14-003G, -003H, and -003J (collectively, the “Property”). The Property is shown in teal on the [Aerial Map](#), below.



The purpose of this Neighborhood Meeting Plan is to facilitate early and effective citizen participation with the Flagstaff Community. LAC is committed to providing nearby residents, property owners, and all other stakeholders with an adequate opportunity to learn about the Application. And LAC believes that ongoing dialogue with Flagstaff residents and property owners will ultimately result in delivery of the best possible version of the Project.

II. Neighborhood Meetings

In conformance with §§ 10-20.50.040.B and 10-20.30.060 of the Flagstaff Zoning Code, LAC will hold the required number of neighborhood meetings prior to appearing before the City’s Planning and Zoning Commission. The date, time, and location of each meeting will be determined through coordination with City Staff, and each meeting will include a presentation about the Project followed by a question-and-answer session. All meetings will be either hybrid or virtual-only.

III. Neighborhood Meeting Notification

Neighborhood meeting notification letters will be sent via first-class mail to (1) the record owners of property within 300 feet of the Property; (2) all homeowners' associations within 1,000 feet of the Property; and (3) all persons and groups on the City's Registry of Interested Persons or Groups (maintained by the City in accordance with Flagstaff Zoning Code § 10-20.30.080.C). A list of record owners of property within 300 feet of the Property is enclosed with the Application as **Attachment I.9.A**.

The letters will be mailed at least fifteen calendar days before the date of the neighborhood meeting. They will contain, at a minimum, the following information:

- The date, time, location, and purpose of the meeting.
- A general description of the substance of the Application.
- The location of the Property.
- Contact information for LAC's representatives and City Staff.
- Parking/login information for attendees (as applicable).

A proposed draft of the neighborhood meeting notification letter is enclosed with the Application as **Attachment I.9.B**. Applicant will provide City Staff with the above information, which the City may then post on its website.

Applicants will also install a notification sign on the Property that is clearly visible from Milton. The sign will be at least four feet by four feet in area, and will list the purpose, time, date, and place of the neighborhood meetings. The sign will contain copies of the meeting notice that members of the public may take and will be installed at least ten days before the meeting takes place. A proposed draft of the meeting notification sign is enclosed with the Application as **Attachment I.9.C**.

IV. Opportunities for Input

Interested parties may provide input during the neighborhood meetings. They may also call or email LAC's representatives: Lindsay Schube, of Gammage & Burnham PLC at 602.256.4471 or at lschube@gblaw.com. This contact information will also be provided on all neighborhood meeting notification materials.

V. Meeting Records

Applicants will prepare a Citizen Participation Report after the citizen review process is completed. This report will include:

- Certification that the meeting was noticed and conducted in compliance with requirements of § 10-20.30.060.
- Dates and locations of neighborhood meetings.
- Copies of letters, notices, newsletters and other correspondence, including dates and numbers of mailings or deliveries.
- A photograph of the notification sign discussed earlier in this plan.
- A copy of the mailing list, and a summary of where residents, property owners, and potentially affected citizens receiving notices, newsletters, or other written materials were located.
- The number and names of people that participated in the process based on the sign-in sheet for the meeting.
- A summary of concerns, issues and problems expressed during the neighborhood meeting and Applicants' response to the comments received at the public meeting.

The Applicant will also send a summary of the citizen participation process, via email or first-class mail, to neighborhood meeting attendees who provide their name and contact information.

VI. Communication with City Staff

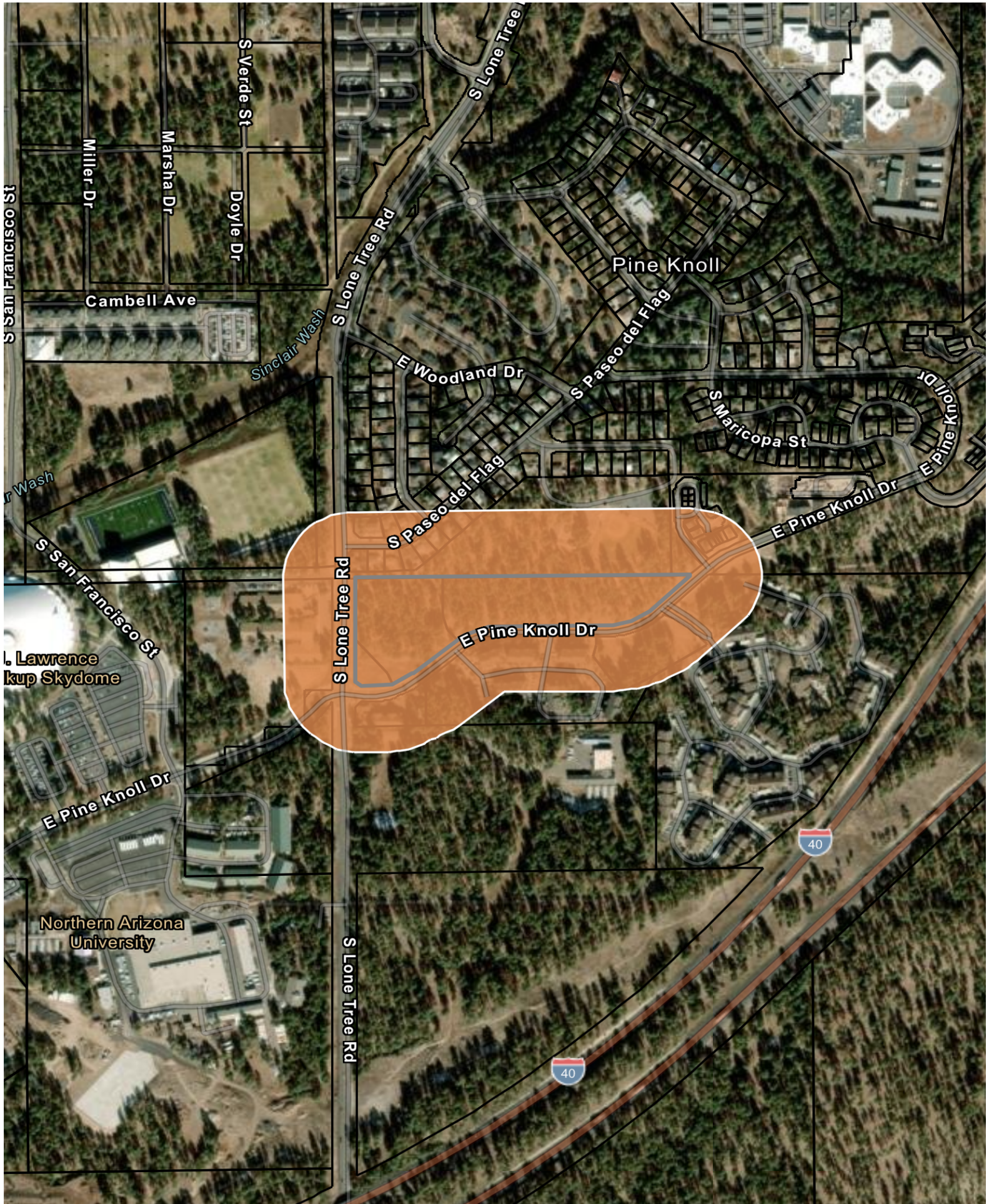
LAC is committed to keeping City Staff updated on the status of neighborhood meetings and will provide the City with copies of all meeting records (described above). Any written public comments received by the Applicant will be included in the Citizen Participation Report and provided to the City. And, of course, City Staff is encouraged to attend neighborhood meetings to discuss the Project.

VII. Public Hearing Notification

LAC will notice all public hearings in accordance with § 10-20.30.080 of the Flagstaff Zoning Code.

VII. Tentative Schedule

First Application Submittal	September 16, 2025
Second Application Submittal	October 30, 2025
Neighborhood Meeting 1	November 17, 2025
Neighborhood Meeting 2 (if not waived)	TBD
Planning & Zoning Commission	TBD



S San Francisco St

Miller Dr

Marsha Dr

S Verde St

Doyle Dr

Cambell Ave

Sinclair Wash

S Lone Tree Rd

S Lone Tree

Pine Knoll

E Woodland Dr

S Paseo del Flag

S Maricopa St

E Pine Knoll Dr

S Paseo del Flag

E Pine Knoll Dr

S Lone Tree Rd

E Pine Knoll Dr

L. Lawrence Schick Skydome

E Pine Knoll Dr

Northern Arizona University

S Lone Tree Rd

40

40

APN	OWNERNAME	OWNERADDRESS
10325005	FLAGSTAFF UNIFIED SCHOOL DISTRICT 1	3285 E SPARROW AVE FLAGSTAFF, AZ 86004
10410028	HAZEL HOLDINGS LLC	2109 N 4TH ST NO 3 FLAGSTAFF, AZ 86004
10410029	MOSS JED DAVID	33 S PASEO DEL FLAG FLAGSTAFF, AZ 86001
10410030	PASTRICK JULIE M	8272 SLAYTON RANCH RD FLAGSTAFF, AZ 86004
10410031	LEMKE PATRICIA	140 MONTEZUMA PL DURANGO, CO 81301
10410032	LUPO JOHN A & SUSAN MARIE	808 W MURRAY RD FLAGSTAFF, AZ 86001
10410033	CHAVEZ JOSE T & LILLIAN M	13 S PASEO DEL FLAG FLAGSTAFF, AZ 86001
10410034	LUPO JOHN A & SUSAN MARIE	808 W MURRAY RD FLAGSTAFF, AZ 86001
10410035	ROMAS GG & J LIVING TRUST DTD 03-18-04	1442 W BAHIA CT GILBERT, AZ 85233
10410036	VALENZUELA DIANE RENEE NELSON	5372 N POMONA AVE TUCSON, AZ 85704
10410039	ROUSSETT JAIME	29348 BROKEN ARROW WAY MURRIETA, CA 92563
10410059	LI ZHONG H REVOCABLE TRUST DTD 06-28-07	1349 CAMINO PABLO MORAGA, CA 94556
10410060	CHURCHILL FAMILY REVOCABLE TRUST DTD 07-30-03	3805 E IVYGLEN ST MESA, AZ 85205
10410061	HELVETIA LLC	506 E CHARLES RD FLAGSTAFF, AZ 86001
10417177	RIO HOMES HOA	2389 S CLIFFVIEW ST FLAGSTAFF, AZ 86001
10417207	RP40 LLC	5330 S CASSANDRA BLVD FLAGSTAFF, AZ 86005
10417208	RP40 LLC	5330 S CASSANDRA BLVD FLAGSTAFF, AZ 86005
10417209	RP40 LLC	5330 S CASSANDRA BLVD FLAGSTAFF, AZ 86005
10417210	RP40 LLC	5330 S CASSANDRA BLVD FLAGSTAFF, AZ 86005
10417212	RP40 LLC	5330 S CASSANDRA BLVD FLAGSTAFF, AZ 86005
10417214	RP40 LLC	5330 S CASSANDRA BLVD FLAGSTAFF, AZ 86005
10318004C	FLAGSTAFF CITY OF	211 W ASPEN AVE FLAGSTAFF, AZ 86001
10318004D	ARIZONA BOARD OF REGENTS FOR NORTHERN ARIZONA UNIVERSITY	PO BOX 4092 FLAGSTAFF, AZ 86011
10318007A	FLAGSTAFF UNIFIED SCHOOL DISTRICT 1	3285 E SPARROW AVE FLAGSTAFF, AZ 86004
10325004B	FLAGSTAFF CITY OF	211 W ASPEN AVE FLAGSTAFF, AZ 86001
10325004C	ARIZONA BOARD OF REGENTS FOR NORTHERN ARIZONA UNIVERSITY	PO BOX 4092 FLAGSTAFF, AZ 86011
10408011A	FLAGSTAFF CITY OF	211 W ASPEN AVE FLAGSTAFF, AZ 86001
10410037B	BERMAN SUZANNE ELIZABETH FAMILY TRUST DTD 04-03-01	2800 N PEBBLE BEACH DR FLAGSTAFF, AZ 86004
10414003F	CLEAR CREEK VILLAGE APARTMENTS LLC	8427 N MILLBROOK NO 110 FRESNO, CA 93720
10414003G	CONSOLIDATED INVESTMENT CO INC	203 N LASALLE ST NO 2100 CHICAGO, IL 60601
10414003H	CONSOLIDATED INVESTMENT CO INC	203 N LASALLE ST NO 2100 CHICAGO, IL 60601
10414003J	CONSOLIDATED INVESTMENT CO INC	203 N LASALLE ST NO 2100 CHICAGO, IL 60601

10414003M	CLEAR CREEK VILLAGE APARTMENTS LLC	8427 N MILLBROOK NO 110 FRESNO, CA 93720
10414003N	RRIM 003N HOLDING LLC	8427 N MILLBROOK AVE NO 110 FRESNO, CA 93720
10414003R	RIDGE AT CLEAR CREEK APARTMENTS LLC	8427 N MILLBROOK NO 110 FRESNO, CA 93720
10410062	SCHROEDER KURT	1950 N CRECENT DR, FLAGSTAFF AZ 86001
10410027	DUIS JENNIFER	39 S PASEO DEL FLAG FLAGSTAFF, AZ 86001

<p>LUPO JOHN A & SUSAN MARIE 808 W MURRAY RD FLAGSTAFF AZ 86001</p>	<p>PADILLA LELIS C & ALICE M JT 7 PINE CIR FLAGSTAFF AZ 86001</p>	<p>NENE TRUST DTD 05-08-19 2148 N TALKINGTON DR FLAGSTAFF AZ 86001</p>	<p>MILLER BRADLEY G 16203 HAZY PINES CT HOUSTON TX 77059</p>
<p>COLA ANTHONY III 26 E RIDGECREST DR FLAGSTAFF AZ 86001</p>	<p>KUCHARSKI KATHRYN P 315 W ALMERIA RD PHOENIX AZ 85003</p>	<p>HAZEL HOLDINGS LLC 2109 N 4TH ST NO 3 FLAGSTAFF AZ 86004</p>	<p>BLASING & FRYE FAMILY TRUST DTD 03-06-23 12365 DUTCHMAN DR FLAGSTAFF AZ 86004</p>
<p>GALLOWAY GREG & MICHELLE 22 E RIDGECREST DR FLAGSTAFF AZ 86001</p>	<p>EAST WOODLAND LLC 1400 E SOUTHERN AVE NO 1020 TEMPE AZ 85282</p>	<p>CASTLE ON THE KNOLL LLC PO BOX 23595 FLAGSTAFF AZ 86002</p>	<p>MCCLINTON JAMES SR 26 S PINE CIR FLAGSTAFF AZ 86001</p>
<p>WOLFF GR INTERVIVOS TRUST DTD 05-01-87 2635 FARWELL AVE LOS ANGELES CA 90039</p>	<p>BRINKMAN ERIN ELAINE TRUST DTD 10-02-19 307 E WOODLAND DR FLAGSTAFF AZ 86001</p>	<p>HERNANDEZ JESUS & ERNESTINE 402 E WOODLAND DR FLAGSTAFF AZ 86001</p>	<p>WOODARD PROPERTIES LLC 1045 W LAVA LN FLAGSTAFF AZ 86001</p>
<p>FISHELL FAMILY TRUST DTD 06-01-12 3190 LAS FALDAS DR FULLERTON CA 92835</p>	<p>STEADMAN KATHY 11418 E HELM DR SCOTTSDALE AZ 85255</p>	<p>DELEON SANTIAGO J 414 E WOODLAND DR FLAGSTAFF AZ 86001</p>	<p>IRVING CORINE R PO BOX 1163 FLAGSTAFF AZ 86002</p>
<p>INTHETREES LLC 2722 N STAPLEY DR MESA AZ 85203</p>	<p>BENTON JOHNNIE B 781 36TH AVE SAN FRANCISCO CA 94121</p>	<p>MAGANA LISA MARIE 410 E WOODLAND DR FLAGSTAFF AZ 86001</p>	<p>ROBERTSON JOSIAH JR 7837 N ROUNDSTONE DR TUCSON AZ 85741</p>
<p>ROBERSON LORI A 16864 W LAS PALMARITAS DR WADDELL AZ 85355</p>	<p>MILLHOUSE PROPERTIES LLC 16203 HAZY PINES CT HOUSTON TX 77059</p>	<p>BALL RANDAL & LAURA 3602 N GRANDVIEW DR FLAGSTAFF AZ 86004</p>	<p>LI ZHONG H REVOCABLE TRUST DTD 06-28-07 1349 CAMINO PABLO MORAGA CA 94556</p>
<p>SALBERG JULIAN P & YONA TRUST DTD 04-30-90 PO BOX 578 CORNVILLE AZ 86325</p>	<p>BELLMORE KRISTINE 160 S PASEO DEL FLAG FLAGSTAFF AZ 86001</p>	<p>FLAGSTAFF PEAK LLC 495 S RIVER RUN RD NO 100 FLAGSTAFF AZ 86001</p>	<p>CHURCHILL FAMILY REVOCABLE TRUST DTD 07-30-03 3805 E IVYGLLEN ST MESA AZ 85205</p>
<p>FLAGSTAFF CITY OF 211 W ASPEN AVE FLAGSTAFF AZ 86001</p>	<p>HOLTZ RYAN PO BOX 22361 FLAGSTAFF AZ 86002</p>	<p>PATEL SEJAL PARSHOTTAM 16122 NELSON ST WESTMINSTER CA 92683</p>	<p>PASTRICK JULIE M 8272 SLAYTON RANCH RD FLAGSTAFF AZ 86004</p>
<p>LOZANO DAVID S & PATRICIA 2780 W DARLEEN DR FLAGSTAFF AZ 86001</p>	<p>PINEGROVE RENTALS LLC 9510 SW MOUNTAIN VIEW LN TIGARD OR 97224</p>	<p>LEWIS MARK ANTHONY & EMILY MARIE 148 S PASEO DEL FLAG FLAGSTAFF AZ 86001</p>	<p>WAVERTREE LLC 51 S MARICOPA ST NO 1201C FLAGSTAFF AZ 86004</p>
<p>GARCIA PAMELA J 154 S PASEO DEL FLAG FLAGSTAFF AZ 86001</p>	<p>SONIER ABIGAIL BENEFICIARY TRUST CU SONIER LIVING T... 3185 DEADWOOD DR MICHAVE VALLEY AZ 86440</p>	<p>NIETO MARTHA 107 PASEO DEL FLAG FLAGSTAFF AZ 86001</p>	<p>MCCAUL BRAD 855 E DAVID DR FLAGSTAFF AZ 86001</p>
<p>HAIGHT MATTHEW 14736 N 147TH LN SURPRISE AZ 85379</p>	<p>STUMP RONALD E 7075 N HWY 89 FLAGSTAFF AZ 86004</p>	<p>SCHWALENSTOCKER JULIA W & GEORGE 908 W COCONINO AVE FLAGSTAFF AZ 86001</p>	<p>CONSTANTINO ALMA J ESTRADA 23 S PINEGROVE RD FLAGSTAFF AZ 86001</p>
<p>WITT DUANE I & REBECCA E 1680 W UNIVERSITY HEIGHTS DR N FLAGSTAFF AZ 86005</p>	<p>MCDAUDERMAN REVOCABLE TRUST DTD 07-11-22 118 S PASEO DEL FLAG FLAGSTAFF AZ 86001</p>	<p>HELVETIA LLC 506 E CHARLES RD FLAGSTAFF AZ 86001</p>	<p>ROHR FAMILY TRUST DTD 03-27-24 783 N FOREST VIEW DR FLAGSTAFF AZ 86001</p>
<p>BRANCH MELISSA S REVOCABLE LIVING TRUST DTD 10-19-... 1810 E 2ND PL MESA AZ 85203</p>	<p>IN THE TREES LLC 2722 N STAPLEY DR MESA AZ 85203</p>	<p>ROMAS GG & J LIVING TRUST DTD 03-18-04 1442 W BAHIA CT GILBERT AZ 85233</p>	<p>KISH FAMILY LIVING TRUST DTD 02-07-06 1584 EARL AVE SIMI VALLEY CA 93065</p>
<p>HAIGHT MATTHEW ROBERT ALEXANDER 14736 N 147TH LN SURPRISE AZ 85379</p>	<p>MILLER BRADLEY G & THERESA C 16203 HAZY PINES CT HOUSTON TX 77059</p>	<p>MOSS JED DAVID 33 S PASEO DEL FLAG FLAGSTAFF AZ 86001</p>	<p>SPEER MICHAEL & EMILY LYDIA 128 S PASEO DEL FLAG FLAGSTAFF AZ 86001</p>

URBAN RENEWAL TRUST 08222020 DTD 08-01-20
216 N HUMPHREYS ST
FLAGSTAFF
AZ
86001

AVILA ORLANDO
124 S PASEO DEL FLAG
FLAGSTAFF
AZ
86001

SALBERG JULIAN P & YONA
PO BOX 578
CORNVILLE
AZ
86325

BAIN GEORGE W & REUKEMA JANE T TRUST DTD 08-01-24
145 E ASTRO LN
FLAGSTAFF
AZ
86001

PARRA TOMAS & ZALDIVAR ROSA M
17 E RIDGECREST DR
FLAGSTAFF
AZ
86001

FRUMHOFF ROBERT
13 E RIDGECREST DR
FLAGSTAFF
AZ
86001

MARTINEZ MAX
9 RIDGECREST DR
FLAGSTAFF
AZ
86001

SMITH BELINDA
5 E RIDGECREST DR
FLAGSTAFF
AZ
86001

GLOTFELTY-JONES FAMILY TRUST DTD 05-14-08
10001 N 34TH PL
PHOENIX
AZ
85028

MORRISON CAYSON
59 S PASEO DEL FLAG
FLAGSTAFF
AZ
86001

SPRINGHILL BAPTIST CHURCH
624 S O'LEARY ST
FLAGSTAFF
AZ
86001

ULIBARRI PETE & MARY C
6580 W DANA DR
TUCSON
AZ
85735

ELAM FAMILY LIVING TRUST DTD 01-20-20
47 S PASEO DEL FLAG
FLAGSTAFF
AZ
86001

BELLE PROPERTIES LLC
2016 S ARROWHEAD LN
COTTONWOOD
AZ
86326

BENKO ERIK JOHN & NICOLE
46 S PINEGROVE RD
FLAGSTAFF
AZ
86001

THOMPSON RENTALS LLC
PO BOX 2782
FLAGSTAFF
AZ
86003

MCDOWELL MEGHAN GILBERT
43 S PASEO DEL FLAG
FLAGSTAFF
AZ
86001

SHADDY LARRY DEAN & STACEY L
216 N MOGOLLON ST
FLAGSTAFF
AZ
86001

DUIS JENNIFER
39 S PASEO DEL FLAG
FLAGSTAFF
AZ
86001

SCHROEDER KURT
1950 N CRESCENT DR
FLAGSTAFF
AZ
86001

ROUSSETT JAIME
29348 BROKEN ARROW WAY
MURRIETA
CA
92563

BERMAN SUZANNE ELIZABETH FAMILY TRUST DTD 04-03-0...
2800 N PEBBLE BEACH DR
FLAGSTAFF
AZ
86004

BERMAN DANIEL D SURVIVORS TRUST DTD 04-03-01
2800 N PEBBLE BEACH DR
FLAGSTAFF
AZ
86004

VILLAS OLIVIA
29 E RIDGECREST DR
FLAGSTAFF
AZ
86001

RIDGECREST HALE LLC
3225 MCLEOD DR NO 777
LAS VEGAS
NV
89121

KISKADDON HOLLY A TRUST DTD 05-25-21
15107 N 100TH PL
SCOTTSDALE
AZ
85260

CAUVIN JOHN ROBERT H LIVING TRUST DTD 09-14-21
PO BOX 2174
CAREFREE
AZ
85377

VANNATTA PAUL R TRUST AGREEMENT DTD 11/24/99
3065 E PLACITA ALDEA LINDA
TUCSON
AZ
85716

LLOYD KEITH W
417 E WOODLAND DR
FLAGSTAFF
AZ
86001

PATTIE LISA D & NICHOLAS
20412 W HESS AVE
BUCKEYE
AZ
85326

COCKING JEFFERY D & JILL
433 E WOODLAND DR
FLAGSTAFF
AZ
86001

LEE JEFFREY P & ANGEL J
441 E WOODLAND DR
FLAGSTAFF
AZ
86001

HOPSON SAMANTHA M
2377 W MISSION TIMBER CIR
FLAGSTAFF
AZ
86001

LEMKE PATRICIA
140 MONTEZUMA PL
DURANGO
CO
81301

ARIZONA BOARD OF REGENTS FOR NORTHERN ARIZONA ...
PO BOX 4092
FLAGSTAFF
AZ
86011

CONSOLIDATED INVESTMENT CO INC
203 N LASALLE ST NO 2100
CHICAGO
IL
60601

CHAVEZ JOSE T & LILLIAN M
13 S PASEO DEL FLAG
FLAGSTAFF
AZ
86001

VALENZUELA DIANE RENEE NELSON
5372 N POMONA AVE
TUCSON
AZ
85704

FLAGSTAFF UNIFIED SCHOOL DISTRICT 1
3285 E SPARROW AVE
FLAGSTAFF
AZ
86004

CLEAR CREEK VILLAGE APARTMENTS LLC
8427 N MILLBROOK NO 110
FRESNO
CA
93720

RIDGE AT CLEAR CREEK APARTMENTS LLC
8427 N MILLBROOK NO 110
FRESNO
CA
93720

RRIM 003N HOLDING LLC
8427 N MILLBROOK AVE NO 110
FRESNO
CA
93720

FISCHER FAMILY TRUST DTD 01-27-22
12314 N 72ND AVE
PEORIA
AZ
85381

WYATT PHILIP CHARLES
1345 S MARICOPA ST
FLAGSTAFF
AZ
86001

MPC TRUST DTD 06-25-02
1313 S MARICOPA ST
FLAGSTAFF
AZ
86001

VUKASINOVICH TIFFANY REVOCABLE TRUST DTD 10-11-21
12138 RANCH BERNARDO RD
SAN DIEGO
CA
92128

URIG FAMILY TRUST DTD 12-27-04
2934 E ELM ST
PHOENIX
AZ
85016

HEINZE CARL R & KATHERINE A
3952 E BART ST
GILBERT
AZ
85295

HORN CASEY & GRETA
2725 WILD RIVER DR
ROSEBURG
OR
97470

QUINTANA JOSHUA KYLE & JACQUELINE COPP
1361 S MARICOPA ST
FLAGSTAFF
AZ
86001

LAUDICK TERRANCE J & LANA K
1297 S MARICOPA ST
FLAGSTAFF
AZ
86001

CARNICOM JAMES TK & MELODY D
18612 W SWEET ACACIA DR
GOODYEAR
AZ
85338

CDH TRUST DTD 04-27-20
6752 E OCUPADO DR
CAVE CREEK
AZ
85331

PEREZ ROBERTO L & MARY M
7011 S STAR DR
GILBERT
AZ
85298

HEYNSSENS JULIE B
1344 S MARICOPA ST
FLAGSTAFF
AZ
86001

GEHRKE SCOTT W
4841 E HEARN RD
SCOTTSDALE
AZ
85254

MASON LEWIS
1328 S MARICOPA ST
FLAGSTAFF
AZ
86001

DONIS PAUL A & KAROLINA M TRUST DTD 06-07-10
5839 E WILSHIRE DR
SCOTTSDALE
AZ
85257

MARISON TRUST DTD 12-28-18
8528 N 16TH PL
PHOENIX
AZ
85020

MOCKINGBIRD GROUP LLC
6632 N 66TH PL
PARADISE VALLEY
AZ
85253

MONTANO URSULA LIVING TRUST DTD 07-15-25
1288 S MARICOPA ST
FLAGSTAFF
AZ
86001

PINE KNOLL VILLAGE COMMUNITY ASSOC
PO BOX 10000
PRESCOTT
AZ
86304

MCMICHAEL LINDA J & RICHARD D
1352 S MARICOPA ST
FLAGSTAFF
AZ
86001

RP40 LLC
5330 S CASSANDRA BLVD
FLAGSTAFF
AZ
86005

S & A FAMILY TRUST DTD 12-31-07
17145 E RAND DR
FOUNTAIN HILLS
AZ
85268

HILL BRYCE
1171 E DOGWOOD LN
FLAGSTAFF
AZ
86001

MILLER SEAN P
1225 S MARICOPA ST
FLAGSTAFF
AZ
86001

GOEBEL RICK & TERRI FAMILY TRUST DTD 07-19-18
4549 E ENCANTO ST
MESA
AZ
85205

ALLEN GLENN A & JULIE
1337 E LUDLOW DR
PHOENIX
AZ
85022

TAGER SURVIVORS TRUST DTD 02-13-97
11002 N 62ND ST
SCOTTSDALE
AZ
85254

GONSHAK LARRY & JUDI
1118 E DOGWOOD LN
FLAGSTAFF
AZ
86001

TSINGINE GLENN W & CANDACE A
1182 E DOGWOOD LN
FLAGSTAFF
AZ
86001

SHIVERS TRAVIS & LAURA
437 W VERDE LN
TEMPE
AZ
85284

DARLING SUSAN E TRUST DTD 03-27-24
2128 E 2ND ST
TUCSON
AZ
85719

TROUARD THEODORE P & MARGARET E
2026 E KLEINDALE RD
TUCSON
AZ
85719

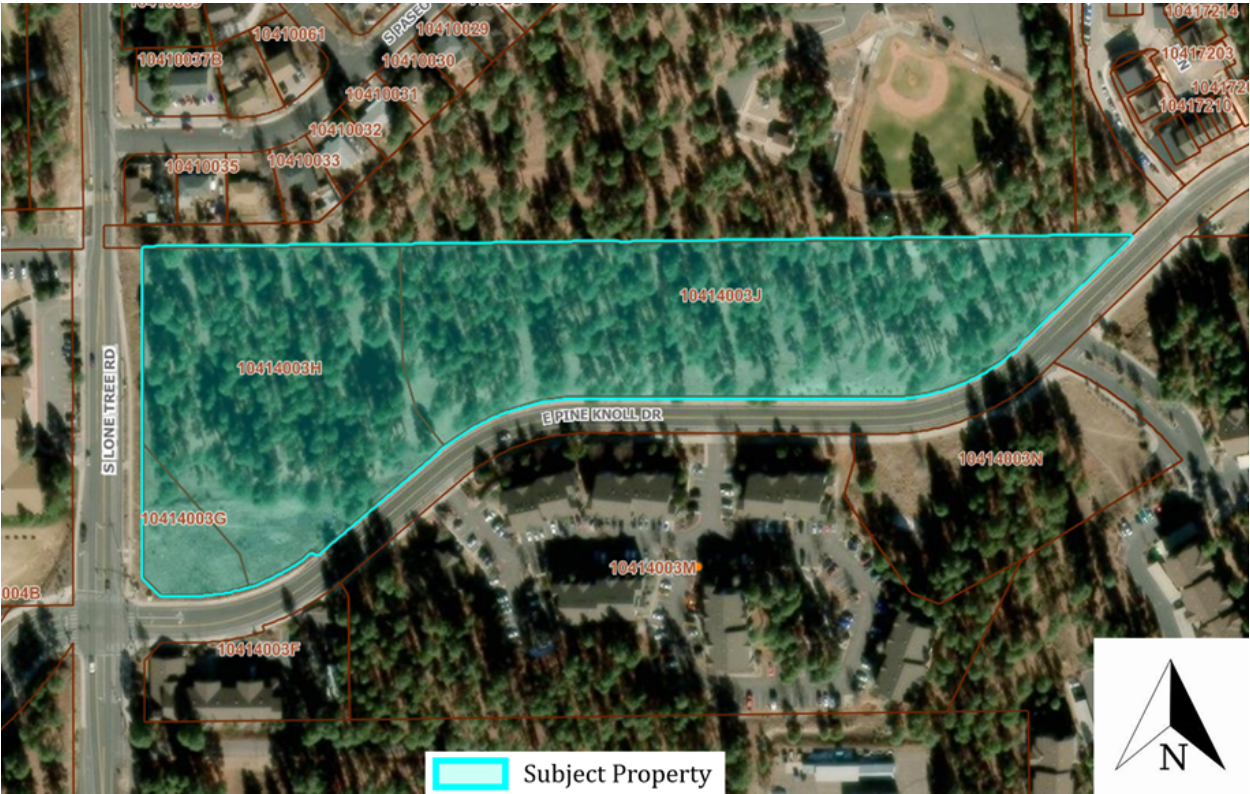
DPC TRUST DTD 01-03-03
4518 E ROBIN LN
PHOENIX
AZ
85050

RIO HOMES HOA
2389 S CLIFFVIEW ST
FLAGSTAFF
AZ
86001

Lone Tree Ranch- 900 East Pine Knoll Neighborhood Meeting Record of Proceedings

I. Project Description

This Record of Proceedings is included with the Direct-to-Ordinance Zoning Map Amendment Application No. PZ-24-00224-04 (the "Application") submitted by Lincoln Avenue Communities ("LAC") to facilitate development of a 168-unit affordable multifamily residential project (the "Project" or "Lone Tree Ranch"). LAC proposes to develop the Project on approximately 8.51 acres located at the northeast corner of Lone Tree Road & Pine Knoll Drive, also known as Coconino County Assessor's APNs 104-14-003G, -003H, and -003J (collectively, the "Property"). The Property is shown in teal on the Aerial Map, below.



The purpose of this Record of Proceedings is to certify that a neighborhood meeting was noticed and conducted under as required under Flagstaff Code § 10-20.30.060, and to document LAC's public outreach about the Application.

II. Public Involvement Techniques

In accordance with § 10-20.30.060.A of the Zoning Code, LAC held a neighborhood meeting on November 17, 2025. The meeting was held virtually.

A. November 17, 2025 Meeting

The meeting opened with a presentation about the Project, followed by a question/answer with citizens, property owners, and stakeholders. Questions were also received by presenters throughout

the meeting, allowing LAC to directly address issues as quickly as possible. A list of attendees may be found below.

First Initial	Last Name	Join Time	Leave Time
D.	Rosenbaum	11/17/2025 17:31	11/17/2025 17:58
C.	Henderson	11/17/2025 17:30	11/17/2025 17:58
D.	Coleman	11/17/2025 17:43	11/17/2025 17:54
D.	Arvanites	11/17/2025 17:30	11/17/2025 17:56
M.	Klein*	11/17/2025 17:30	11/17/2025 17:58
J.	Graziano	Registered but did not attend	
L.	Stone	Registered but did not attend	
*Mr. Klein is a member of the Project's Development Team			

Notification letters for this meeting were sent on October 27, 2025 via first class mail to each real property owner within a 300-foot radius of the Property and all property owners'/homeowners' association within a 1000-foot radius of the Property, and any individuals, groups, etc. on the City's "Registry of Persons and Groups" as provided by the City, and City Staff (collectively, "Affected Parties"). No letters were returned as undeliverable. A list of the Affected Parties and a draft of this letter were previously submitted to the City as part of the Neighborhood Meeting Plan included with the Application. An affidavit attesting to this mailing was submitted to the City via email on October 31, 2025.

In addition to the notification letters, a four-by-four-foot sign was posted at the intersection of Lone Tree Road & Pine Knoll Drive. This sign was posted in a location that is visible from the public right-of-way and listed the purpose, time, date, and URL/QR code of the neighborhood meeting. A copy of this sign, as well as an affidavit attesting to its posting were submitted to the City via email on October 31, 2025.

In addition to the neighborhood meeting, LAC engaged with two voicemails and one email regarding the Application. One voicemail inquired about Project information, while the other voicemail and email asked for additional details about the neighborhood meeting. All messages were responded to and each maintained neutral tones without expressing any concerns or issues.

III. Summary of Concerns and Issues

A. November 17, 2025 Meeting

The tone of the neighborhood meeting was positive and informative. The meeting took slightly under thirty (30) minutes, and only four (4) questions were presented, none of which raised substantive issues. Each question was addressed live.

The following list summarizes the questions posed during the meeting, along with LAC's responses.

1. Preservation of Woods on the Property
 - a. The Project will comply with all forest preservation requirements.
2. Operation of the Development after Construction

- a. The developer is obligated to operate the development for at least fifteen (15) years under federal rules, and LAC is genuinely invested in successfully integrating this planned community into the greater Flagstaff community.
3. Location of Access Points for the Property
 - a. Two entrance and exit points would be located on Pine Knoll Drive.
4. Measures to Ensure Units are Rented to Working Members of the Community (Rather than, say, Students)
 - a. LAC shared about the existing restrictions on renting LIHTC apartments to students and also highlighted opportunities to partner with local institutions, such as fire stations and schools, to ensure that Flagstaff's frontline workers would be included in the Lone Tree Ranch community.

B. Waiver of Second Neighborhood Meeting

Because the questions asked in the November 17, 2025 neighborhood meeting were informational in nature, as opposed to raising substantive issues or expressing concerns, and because the public participation was minimal, City staff granted a waiver of the requirement to conduct a second neighborhood meeting pursuant to Flagstaff Zoning Code § 10-20.30.060.G.

IV. Conclusion


In summary, the tone of the neighborhood meeting was positive and informative. LAC looks forward to continuing to work with the City to serve the Flagstaff community with the proposed Project.

Affidavit of Notifications to Affected Property Owners

Case Number: PZ-24-00224-04
Project Name: Lone Tree Ranch (Pine Knoll Multi-family)
Applicant Name: Lincoln Avenue Communities
Location: 900 E Pine Knoll

In order to assist in providing adequate notice to interested parties the applicant for a Zoning Map Amendment in the City of Flagstaff shall hold a neighborhood meeting and notify affected property owners as prescribed by Section 10-20.30.080 of the City of Flagstaff Zoning Code. **It shall be the responsibility of the applicant to establish a list of the names and addresses of persons who require notification of a public hearing as established in Sections 10-20.30.060.A, 10-20.30.060.B, and 10-20.30.060.C of the Zoning Code, and mail a notice of required public hearing via first class mail to each of the persons on the list referenced above no later than 15 days prior to the neighborhood meeting date.**

I confirm that the neighborhood meeting notifications were mailed as detailed in Section 10-20.30.080 of the City of Flagstaff Zoning Code at least fifteen (15) days prior to the public hearing.

Applicant's/Representative's Signature: 

SUBSCRIBED AND SWORN before me this 31 day of October, 2025 by:


Notary Public

My Commission Expires:
8-23-2028



Affidavit of Sign Posting

Case Number: PZ-24-00224-04

Project Name: Lone Tree Ranch (Pine Knoll Multi-family)

Applicant Name: Lincoln Avenue Communities

Location: 900 E Pine Knoll

In order to assist in providing adequate notice to interested parties the applicant for a Zoning Map Amendment in the City of Flagstaff shall hold a neighborhood meeting and post a notification sign as prescribed by Section 10-20.30.080 of the City of Flagstaff Zoning Code. **It shall be the responsibility of the applicant to erect and to maintain the sign on the subject property 15 days prior to the meeting and to update the meeting information on the sign until final disposition of the case. It shall also be the responsibility of the applicant to remove the sign within seven (7) days after the final disposition of the case.**

I confirm that the site has been posted as detailed in Section 10-20.30.080 of the Zoning Code as well as the Public Hearing Notice Sign Specifications included in this application for the case above, and that the site was posted at least fifteen (15) days prior to the neighborhood meeting.

See attached date stamped photo exhibit of posted signs.

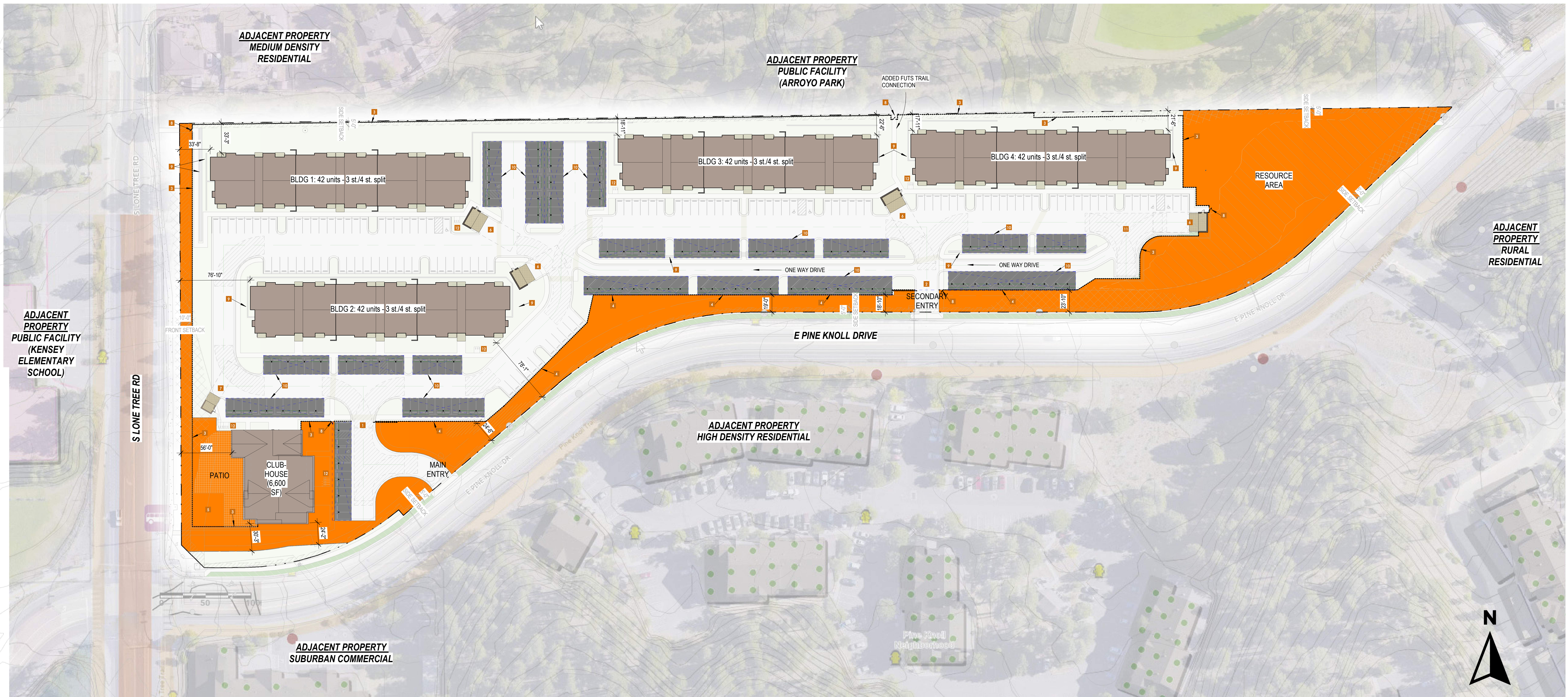
Applicant's/Representative's Signature: _____
[Handwritten Signature]

SUBSCRIBED AND SWORN before me this 31 day of October, 2025 by:

[Handwritten Signature]
Notary Public

8.23.2029
My Commission Expires:





1 SD Site Plan -Site Plan Review
1" = 50'-0"

Table 10-40.30.030.F.: Common Space Requirements

Area [1]	15% of gross lot or parcel area; at least one Common Space area shall be no less than 400 sq. ft.
Width	15' min.
Depth	15' min.

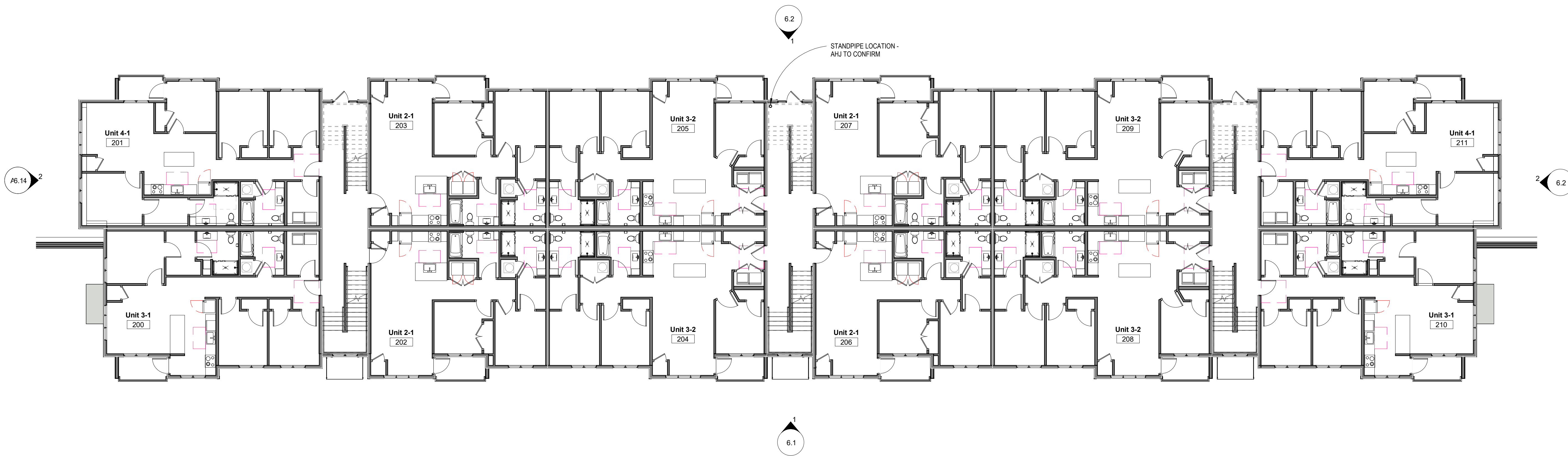
Site Area (Gross) = 8.51 acres
Common Space Area = 87,472 sf, or 2.01 acres
Common Space Calculations = $(2.01 / 8.51) = 23.6\%$

SITE PLAN KEY

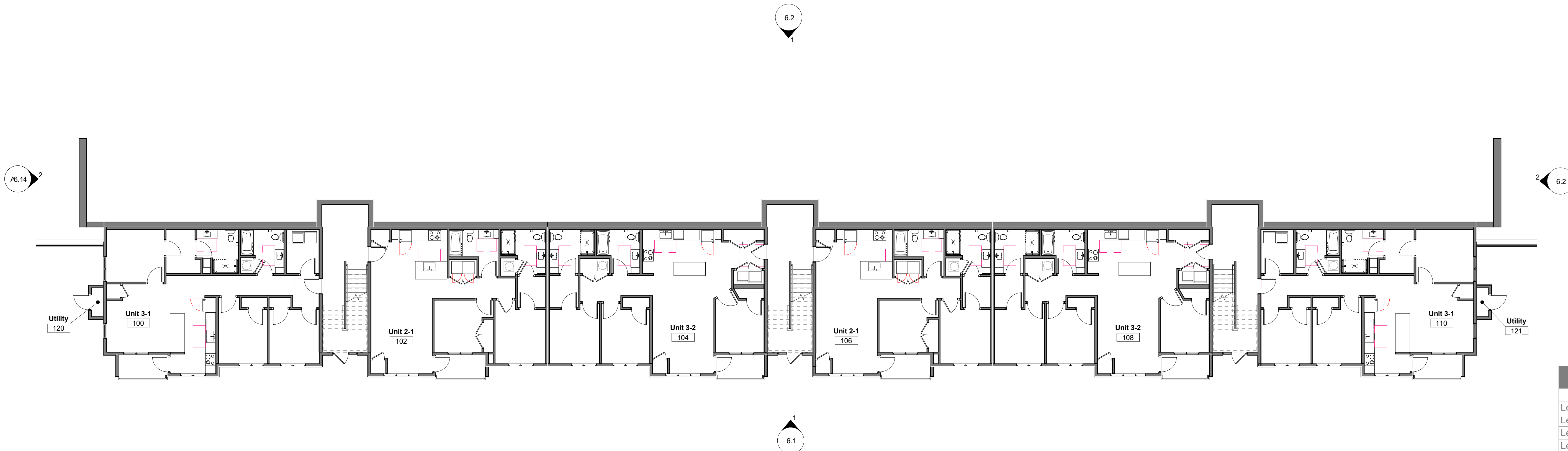
- 1 MAIN ENTRY GATE (SLIDING)
- 2 SECONDARY ENTRY GATE (SLIDING)
- 3 PERIMETER DECORATIVE FENCING
- 4 SCREEN WALL/FENCING
- 5 PLAYGROUND
- 6 DUAL TRASH ENCLOSURE, 8 CU. YD. MIN.
- 7 SINGLE TRASH ENCLOSURE, 4 CU. YD. MIN.
- 8 FENCE GATES AT SIDEWALK/SITE ENTRANCE
- 9 RETAINING WALL, TYP.
- 10 SHADE STRUCTURE, TYP.
- 11 HAMMERHEAD TURNAROUND
- 12 BICYCLE PARKING
- COMMON (CIVIC) SPACE



SITE PLAN REVIEW - 2nd SUBMITTAL
SEP. 18TH, 2025



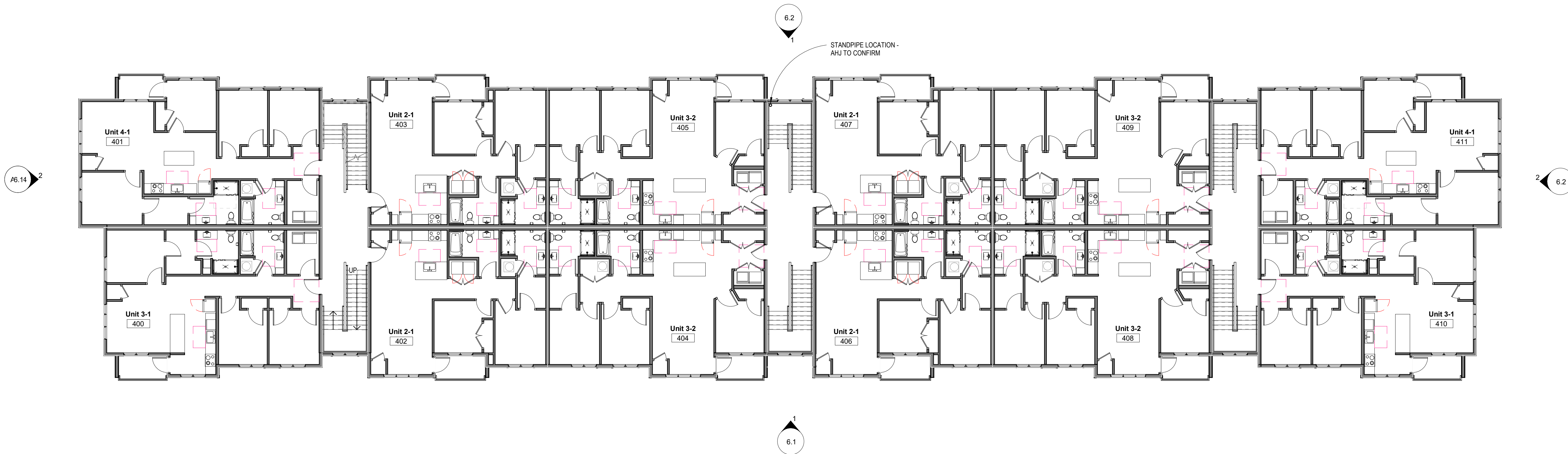
2 Level 1 - Site Plan Review
3/32" = 1'-0"



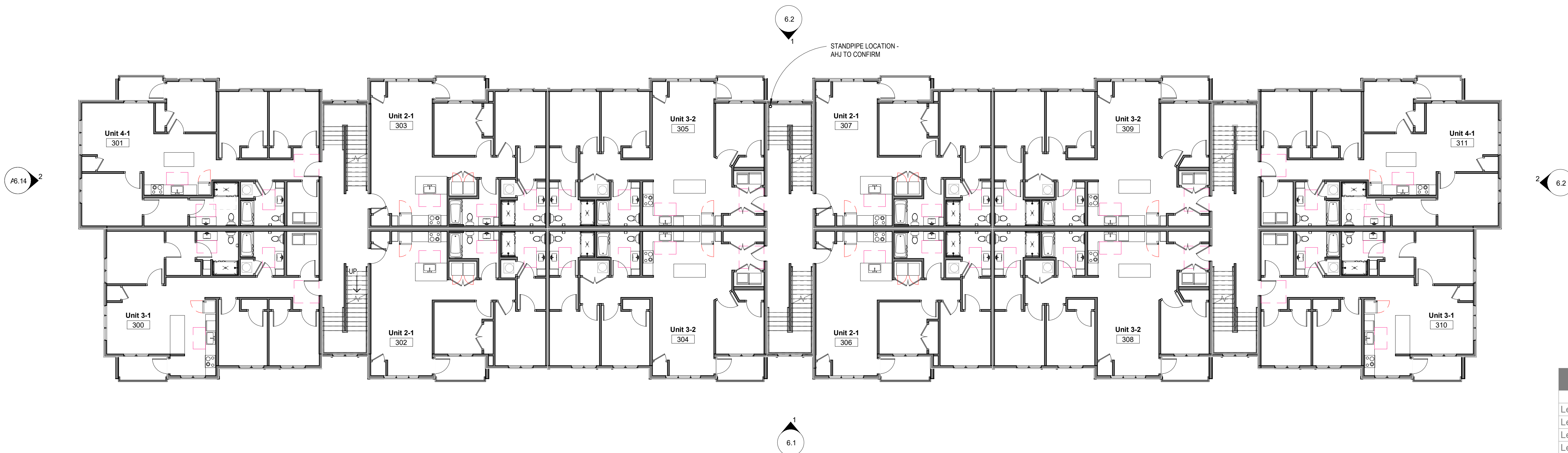
1 Level -1 - Site Plan Review
3/32" = 1'-0"

GROSS AREA - TOTAL	
Level	Area
Level 3	15,578 ft ²
Level 2	15,578 ft ²
Level 1	15,578 ft ²
Level -1	7,844 ft ²
Grand total	54,577 ft ²

SITE PLAN REVIEW - 2nd SUBMITTAL
SEP. 18TH, 2025



2 Level 3 -Site Plan Review
3/32" = 1'-0"



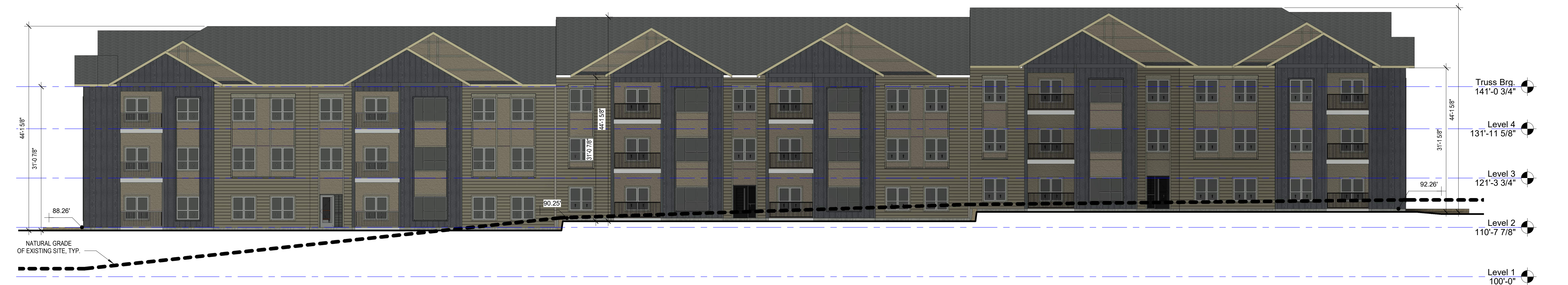
1 Level 2 -Site Plan Review
3/32" = 1'-0"

GROSS AREA - TOTAL	
Level	Area
Level 3	15,578 ft ²
Level 2	15,578 ft ²
Level 1	15,578 ft ²
Level -1	7,844 ft ²
Grand total	54,577 ft ²

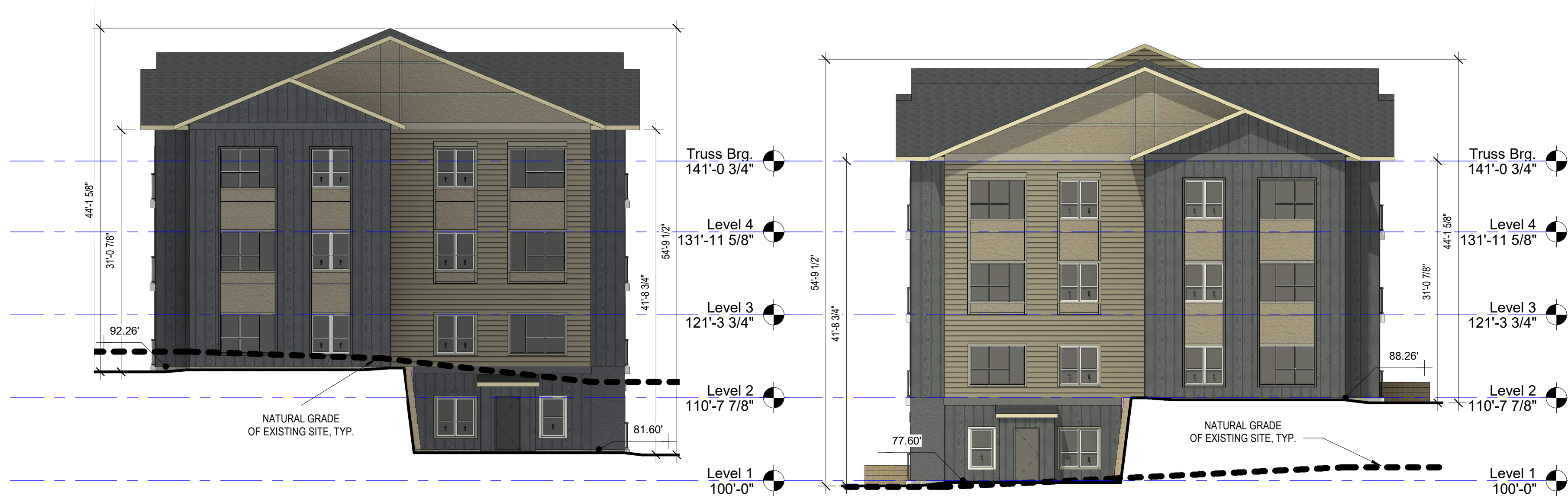
SITE PLAN REVIEW - 2nd SUBMITTAL
SEP. 18TH, 2025



① Elevation - Plan South
3/32" = 1'-0"



② Elevation - Plan North
3/32" = 1'-0"



③ Elevation - Plan West
3/32" = 1'-0"

④ Elevation - Plan East
3/32" = 1'-0"

SITE PLAN REVIEW - 2nd SUBMITTAL
SEP. 18TH, 2025



① SD Site Plan -Site Plan Review
1" = 30'-0"



EAST ELEVATION (facing parking)



NORTH ELEVATION (facing parking)



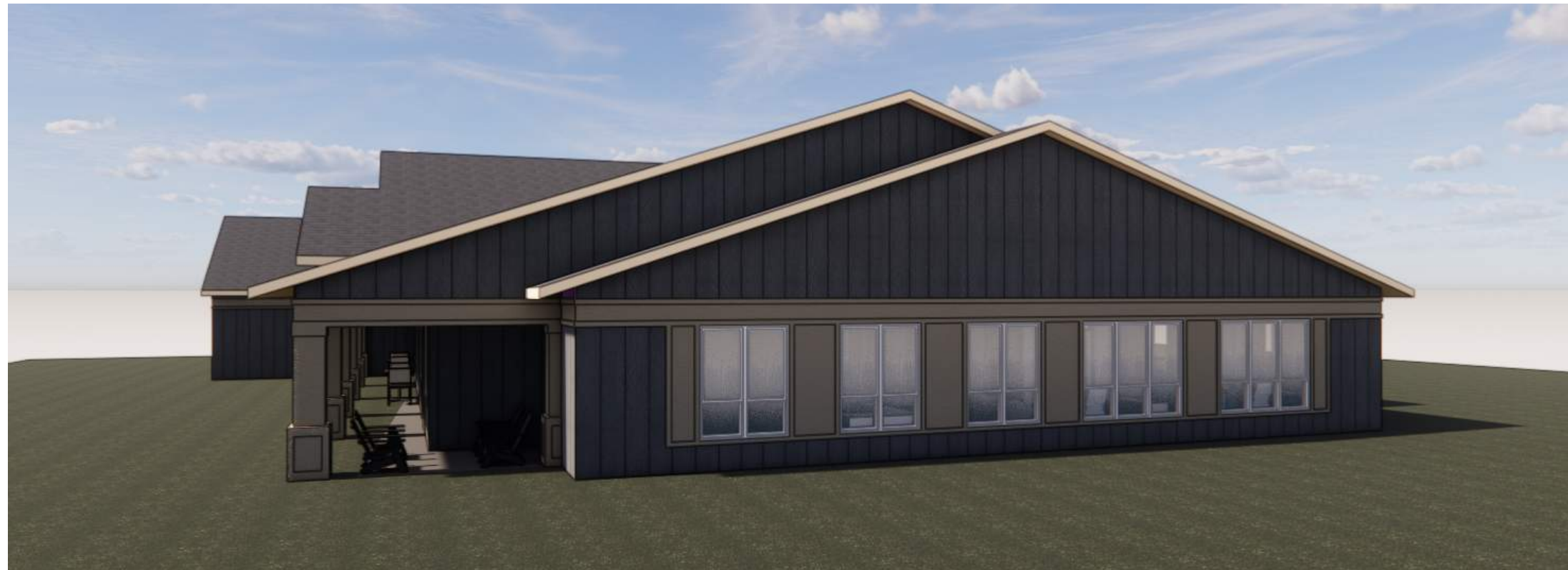
***Fiber-cement
Vertical Panel -
Cavern Steel
(Prefinished)***



***Fiber-cement
Textured Panel -
Terra Brown
(Prefinished)***



WEST ELEVATION (facing pool & patio/South Lone Tree Road)



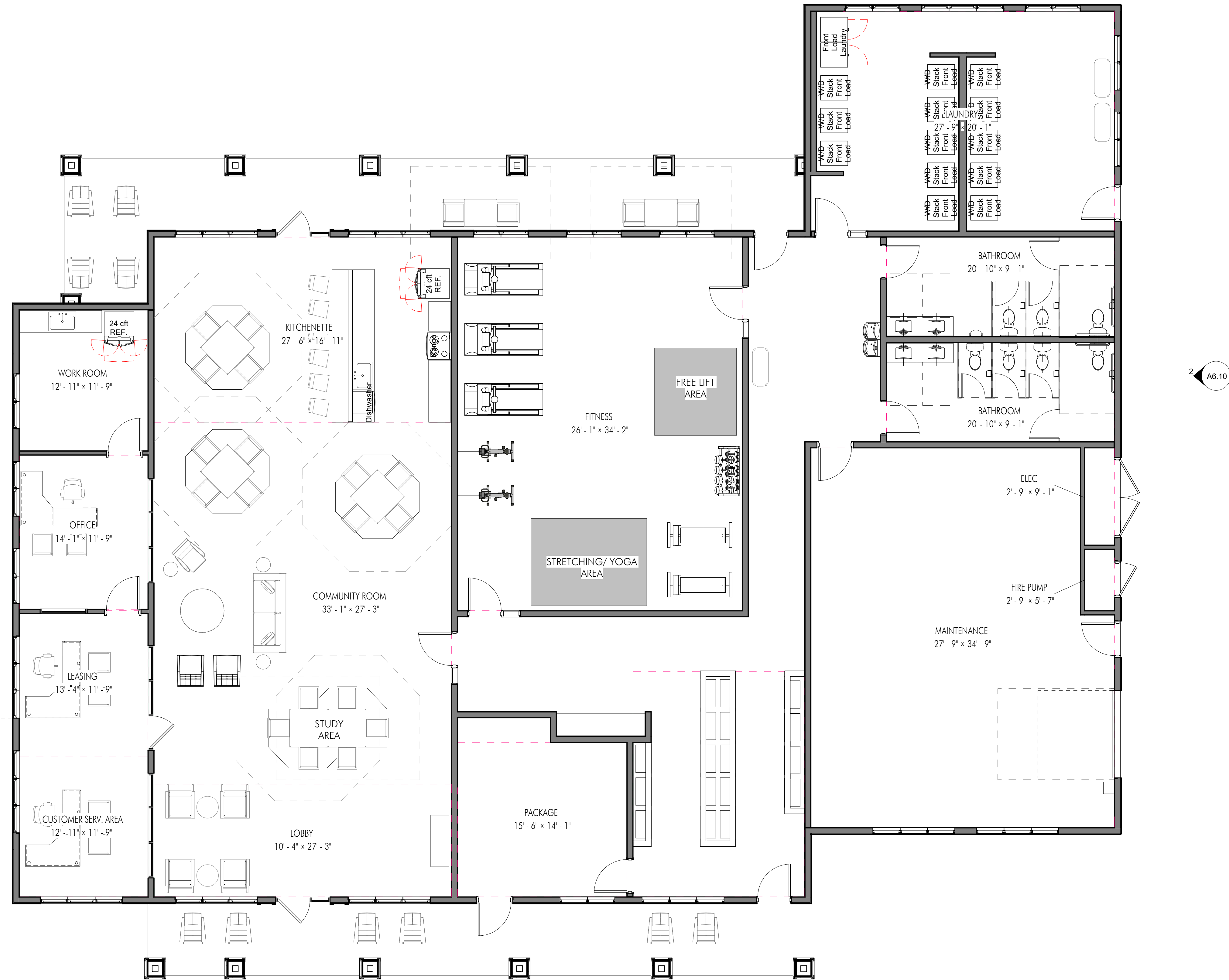
SOUTH ELEVATION (facing East Pine Knoll Drive)



***Fiber-cement
Vertical Panel -
Cavern Steel
(Prefinished)***

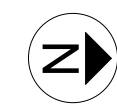


***Fiber-cement
Textured Panel -
Terra Brown
(Prefinished)***



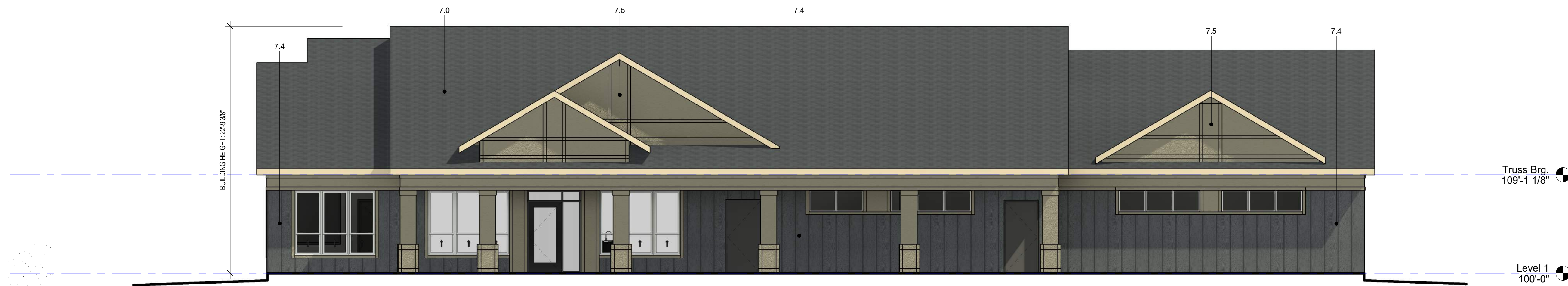
2 A6.10

GROSS AREA - TOTAL	
Level	Area
Level 1	6,569 ft ²
Grand total	6,569 ft ²



① Level 1
3/16" = 1'-0"

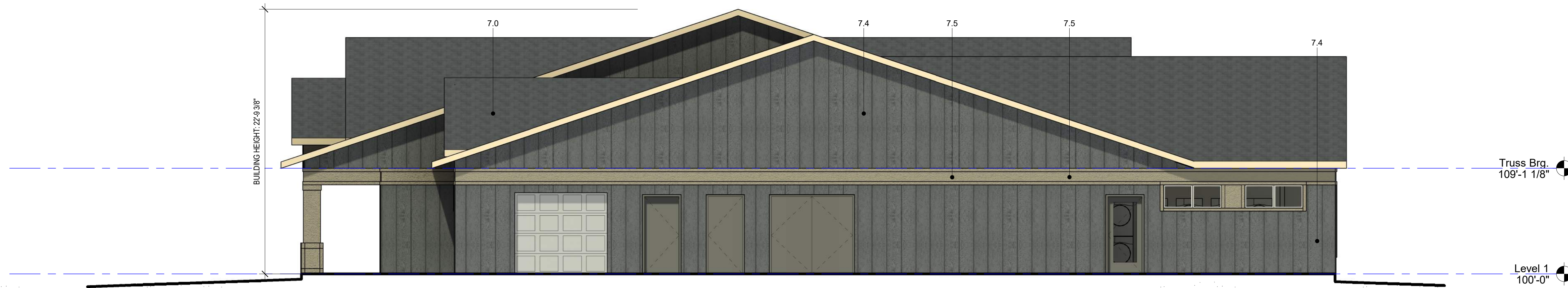
SITE PLAN REVIEW - 1st SUBMITTAL
JUNE 24TH, 2025



① Clubhouse - East Elevation
3/16" = 1'-0"

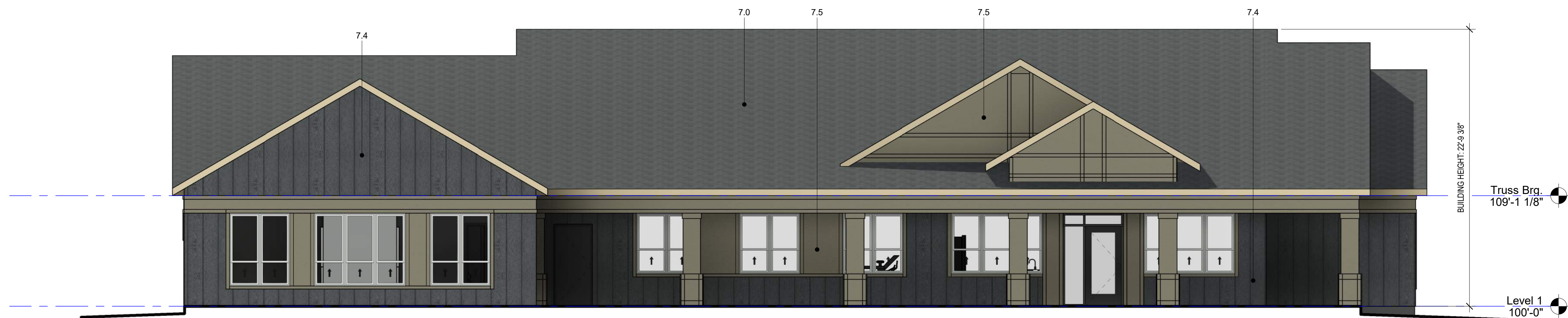
EXTERIOR MATERIALS

Material Mark	Material: Comments
7.0	Architectural Grade Asphalt Roof Shingle - Timberline - Charcoal
7.4	Siding - James Hardie Fiber Cement Panel - Vertical Groove - Iron Gray - LRV: 14.65
7.5	Siding - James Hardie Fiber Cement Panel - Stucco Textured - Monterey Taupe - LRV: 29.68



② Clubhouse - North Elevation
3/16" = 1'-0"

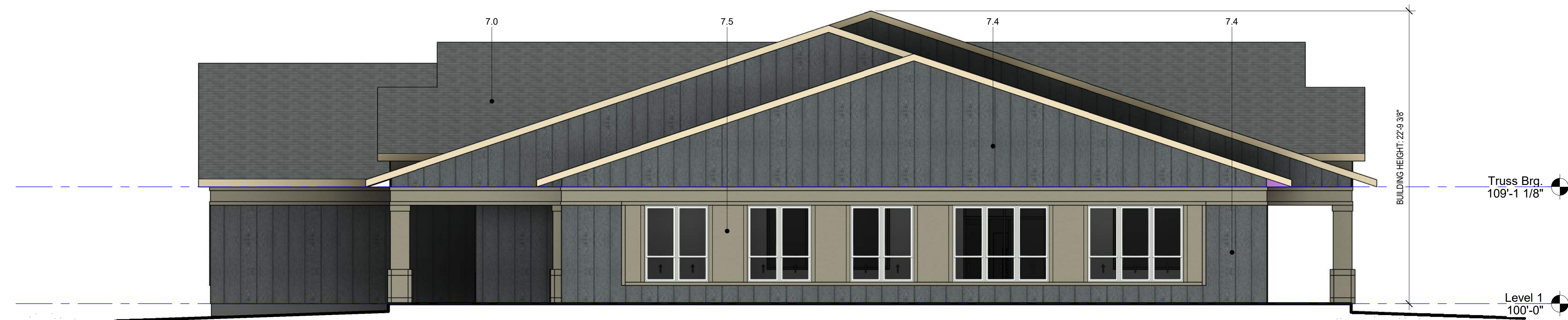
SITE PLAN REVIEW - 1st SUBMITTAL
JUNE 24TH, 2025



① Clubhouse - West Elevation
3/16" = 1'-0"

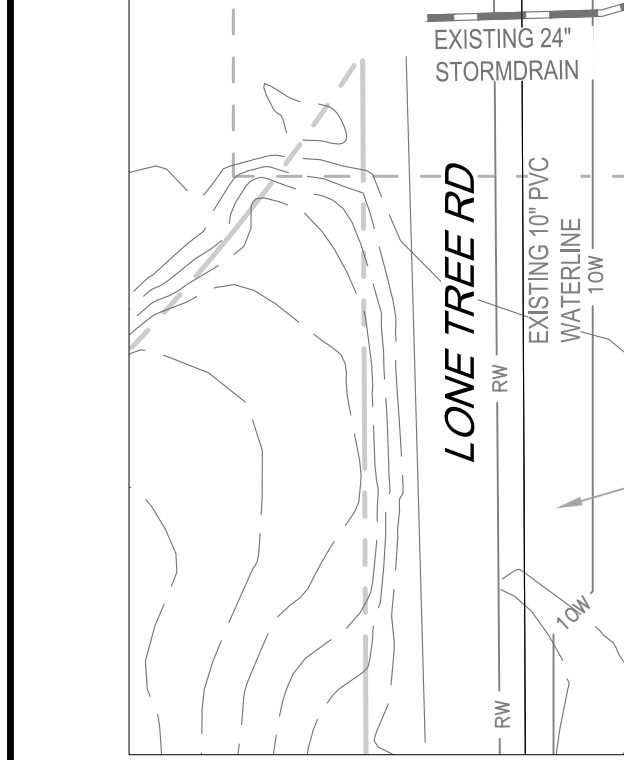
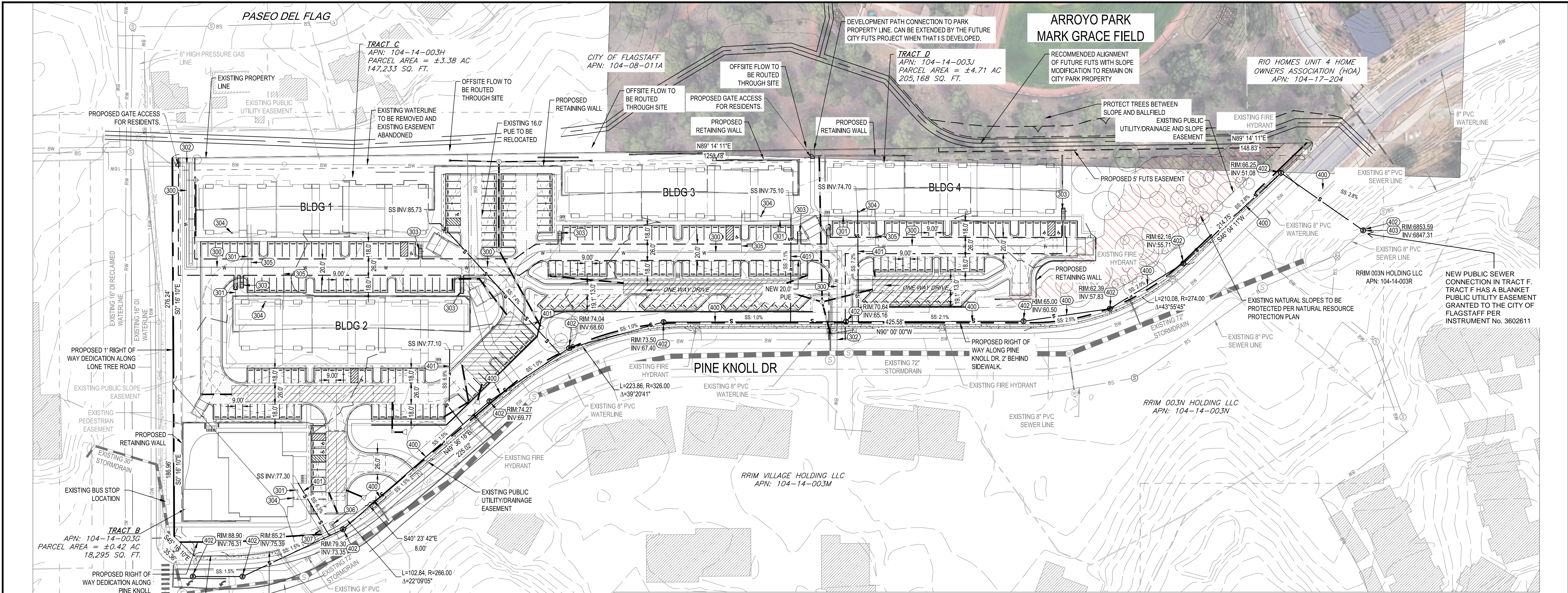
EXTERIOR MATERIALS

Material Mark	Material: Comments
7.0	Architectural Grade Asphalt Roof Shingle - Timberline - Charcoal
7.4	Siding - James Hardie Fiber Cement Panel - Vertical Groove - Iron Gray - LRV: 14.65
7.5	Siding - James Hardie Fiber Cement Panel - Stucco Textured - Monterey Taupe - LRV: 29.68



② Clubhouse - South Elevation
3/16" = 1'-0"

SITE PLAN REVIEW - 1st SUBMITTAL
JUNE 24TH, 2025



LEGEND

(---)	EXISTING CONTOUR MINOR	(S)	FIRE DEPARTMENT CONNECTION
(---)	EXISTING CONTOUR MAJOR	(SM)	PROPOSED SEWER MANHOLE
(---)	EXISTING WATERLINE	(CB)	PROPOSED CATCH BASIN
(---)	EXISTING RECLAIMED WATERLINE	(LP)	EXISTING LIGHT POLE
(---)	EXISTING SEWER MAIN	(PP)	EXISTING POWER POLE
(---)	EXISTING UNDERGROUND ELECTRIC	(OE)	EXISTING OVERHEAD ELECTRIC
(---)	EXISTING TELECOMM	(EB)	EXISTING ELECTRIC BOX
(---)	EXISTING STORMDRAIN	(TJB)	EXISTING TELEPHONE JUNCTION BOX
(---)	EXISTING RIGHT-OF-WAY	(WV)	EXISTING WATER VALVE
(---)	EXISTING PROPERTY LINE	(SMH)	EXISTING SEWER MANHOLE
(---)	EXISTING PEDESTRIAN EASEMENT	(GM)	EXISTING GAS METER
(---)	EXISTING SLOPE EASEMENT	(CB)	EXISTING CATCH BASIN
(---)	PROPOSED WATERLINE	(STM)	EXISTING STORMDRAIN MANHOLE
(---)	PROPOSED FIRE LINE	(TR)	EXISTING TREE TO REMAIN
(---)	PROPOSED SEWER	(TR)	EXISTING TREE TO BE REMOVED
(---)	PROPOSED STORMDRAIN	(S)	EXISTING SIGN
(---)	PROPOSED FIRE HYDRANT	(FHD)	EXISTING FIRE HYDRANT
(---)		(FDF)	EXISTING DRAINAGE FLOW ARROW

- ### KEYNOTES
- WATER CONSTRUCTION:**
(NOTE 300)
NEW 8" PVC WATERLINE TO BE INSTALLED WITH NEW PUE
- (NOTE 301)
NEW 2" WATER METER, SERVICE CONNECTION AND SERVICE LINE. INCLUDES BACKFLOW PREVENTOR
- (NOTE 302)
CONNECT TO EXISTING WATERLINE
- (NOTE 303)
NEW FIRE HYDRANT ASSEMBLY, INCLUDES 6" VALVE AND FITTINGS. INSTALL HYDRANT MINIMUM OF 6" BEHIND BACK OF CURB.
- (NOTE 304)
NEW FREE STANDING FIRE DEPARTMENT CONNECTION INCLUDING LINE TO BUILDING.
- (NOTE 305)
NEW 6" DIP FIRELINE WITH 6" VALVE. LINE CONNECTION DIRECT TO BUILDING FIRE RISER ROOM.
- (NOTE 306)
NEW 1.5" IRRIGATION WATER METER, SERVICE CONNECTION AND SERVICE LINE. INCLUDES BACKFLOW PREVENTOR. SEE LANDSCAPE PLANS.
- (NOTE 307)
NEW 1" WATER METER, SERVICE CONNECTION AND SERVICE LINE. INCLUDES BACKFLOW PREVENTOR
- SEWER CONSTRUCTION:**
(NOTE 400)
NEW 8" SDR-35 PVC PUBLIC SEWERLINE
- (NOTE 401)
NEW 6" SDR-35 PVC SEWER SERVICE AND CLEANOUT
- (NOTE 402)
NEW 48" PRE-CAST SEWER MANHOLE
- (NOTE 403)
CONNECT TO EXISTING SEWERLINE.

PROJECT INFORMATION

DEVELOPMENT NAME: LONE TREE RANCH
SITE ADDRESS: TRACT B, 702 E PINE KNOLL DR, FLAGSTAFF, AZ 86001
 APN: 104-14-003G
 PARCEL AREA = 0.42 ACRE

PROJECT ENGINEER: THE WLB GROUP, INC., FLAGSTAFF, AZ 86001
 PH: (928) 779-1500
 FAX: (928) 779-1501
 CONTACT: BRIAN JOERGER, BJOERGER@WLBGROUP.COM

PROJECT ARCHITECT: KAAS WILSON ARCHITECTS, 1301 AMERICAN BLVD. E, SUITE 100, BLOOMINGTON, MN 55425
 PH: (612) 879-8000
 CONTACT: ENRICO WILLIAMS

TRACT B: APN: 104-14-003G, PARCEL AREA = 0.42 AC, 18,295 SQ. FT.

TRACT C: APN: 104-14-003H, PARCEL AREA = ±3.38 AC, 147,233 SQ. FT.

TRACT D: APN: 104-14-003J, PARCEL AREA = ±4.71 AC, 205,168 SQ. FT.

GROSS AREA = 8.51 AC
NET AREA = 8.28 AC

PROJECT OWNER/DEVELOPER: LINCOLN AVENUE COMMUNITIES, 401 WILSHIRE BLVD., 11TH FLOOR, SANTA MONICA, CA 90401
 CONTACT: MATTHEW KLEIN

ROVC CALCULATIONS

EXISTING SITE:
 TOTAL AREA = 370,240 SF
 PERVIOUS AREA = 370,240 SF
 IMPERVIOUS AREA = 0 SF

PROPOSED SITE:
 TOTAL AREA = 370,240 SF
 PERVIOUS AREA = 108,193 SF
 IMPERVIOUS AREA = 262,047 SF
 REQUIRED RETENTION VOLUME = 21,750 CF (FIRST FLUSH)
 (PROP. IMP)-EXIST. IMP*(1) = 262,047 SF * (1) = 21,750 CF
 ROOF IMP. = 67,100 SF
 HARDSCAPE IMP. = 194,947 SF
 PROVIDED RETENTION VOLUME = 31,900 CF

PRE AND POST RETENTION VOLUME (100YR)
 EXISTING: 1.841 ACRE-FT
 PROPOSED: 2.230 ACRE-FT
 REQUIRED RETENTION: 0.589 ACRE-FT (25,700 CF)
 PROVIDED RETENTION: 0.730 ACRE-FT (31,900 CF)

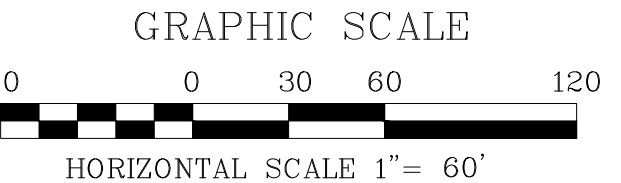
APPROXIMATE RETENTION VOLUMES
 A1 = 2,100 CF
 B1 = 9,200 CF
 B2 = 8,200 CF
 C1 = 7,200 CF
 C2 = 5,200 CF

FLOODPLAIN INFORMATION

ZONE X

PRE VS POST 100 YEAR RETENTION IS PROVIDED BY UNDERGROUND RETENTION AND EXTENDED DETENTION STRUCTURES DISPERSED THROUGHOUT THE SITE AND SIZED BASED ON APPLICABLE DRAINAGE AREAS. INCLUDES BUILT IN OR ADJACENTLY LOCATED WATER QUALITY COMPONENTS AS APPLICABLE.

- ### FIRE HYDRANT, LINES, AND ACCESS ROAD NOTES
- ALL PORTIONS OF THE BUILDINGS ARE WITHIN 150' OF A 20' WIDE FIRE LANE/ACCESS ROAD
 - FIRE LANE ACCESS ROADS SLOPES ARE LESS THAN 10% LONGITUDINAL ON STRAIGHTWAYS AND LESS THAN 5% ON CURVES. CROSS SLOPES ARE LESS THAN 5%.
 - ALL PORTIONS OF THE BUILDINGS ARE WITHIN 300' OF A FIRE HYDRANT ON THE SAME SIDE OF THE ROAD AND/OR DRIVE ASIDE
 - ALL FDC'S ARE WITHIN 100' OF THE FIRE RISER ROOM AND WITHIN 100' OF A FIRE HYDRANT ON THE SAME SIDE OF THE ROAD AND/OR DRIVE ASIDE
 - FIRE LINE DISTANCE FROM THE WATER MAIN TO THE FIRE RISER ROOM IS LESS THAN 100'



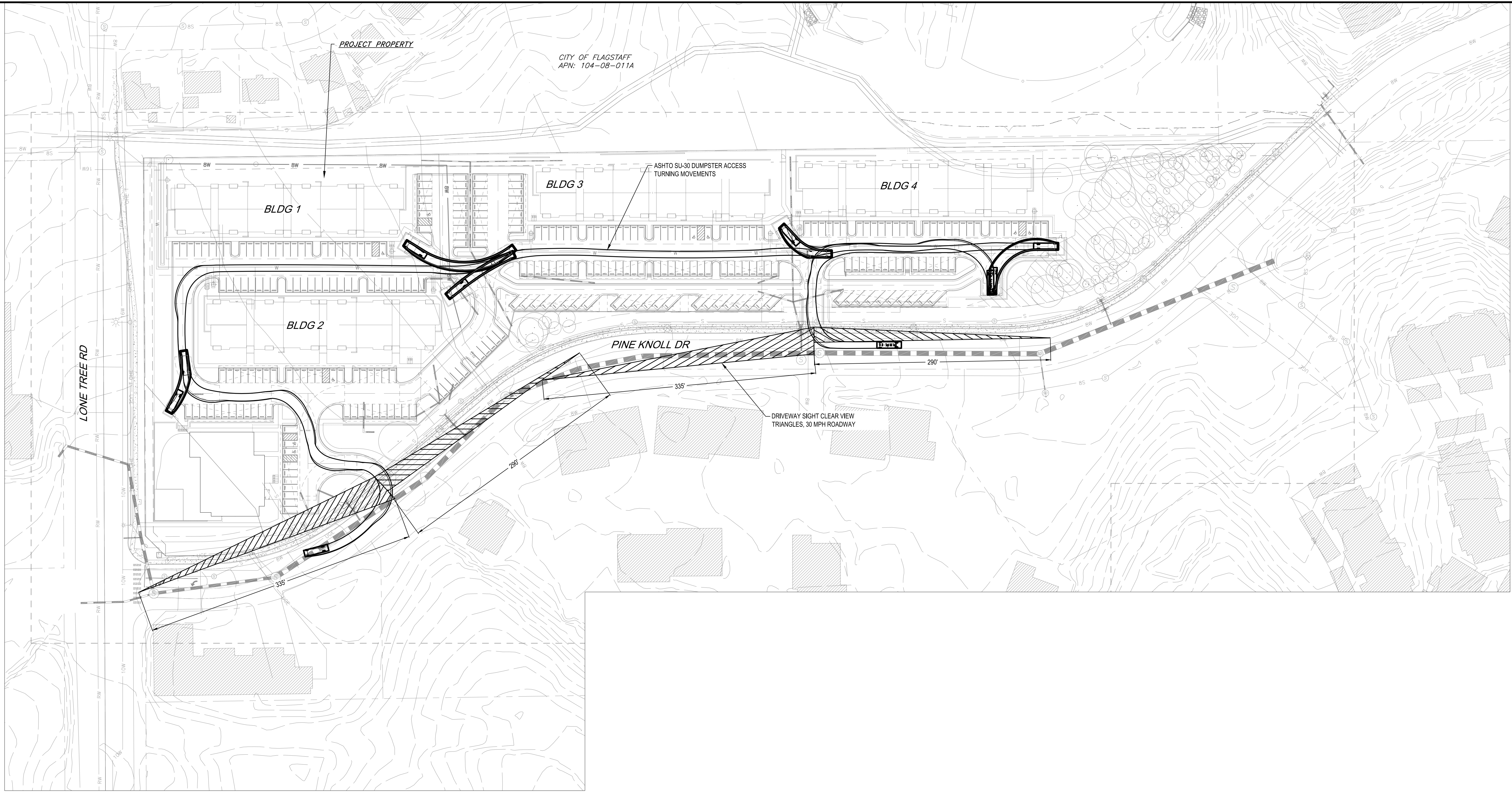
NO.	DATE	REVISIONS

ENGINEERING • PLANNING • SURVEYING
 LANDSCAPE ARCHITECTURE • URBAN DESIGN
The WLB Group, Inc.
 TUCSON, PHOENIX, FLAGSTAFF, & LAS VEGAS, NV
 120 N. BEAVER STREET SUITE 100, FLAGSTAFF, AZ 86001
 PH: (928) 779-1500

LONE TREE RANCH
 CIVIL SITE PLAN

Prepared by: WLB
 Drawn by: BK
 Checked by: WLB
 Date: OCTOBER 2025

PROJECT NO. 317011B002
 SHEET C1.0



CITY OF FLAGSTAFF
APN: 104-08-011A

PROJECT PROPERTY

BLDG 1

BLDG 3

BLDG 4

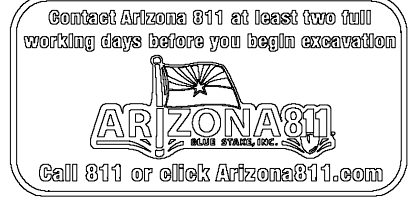
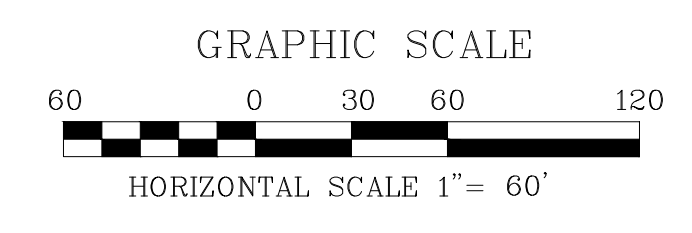
BLDG 2

PINE KNOLL DR

LONE TREE RD

ASHTO SU-30 DUMPSTER ACCESS
TURNING MOVEMENTS

DRIVEWAY SIGHT CLEAR VIEW
TRIANGLES, 30 MPH ROADWAY



NO.	DATE	ITEM

ENGINEERING • PLANNING • SURVEYING
LANDSCAPE ARCHITECTURE • URBAN DESIGN

The WLB Group, Inc.

OFFICE LOCATIONS:
TUCSON, PHOENIX, FLAGSTAFF, & LAS VEGAS, NV
120 N. BEAVER STREET SUITE 100, FLAGSTAFF, AZ 86001
PH: (929) 778-1500

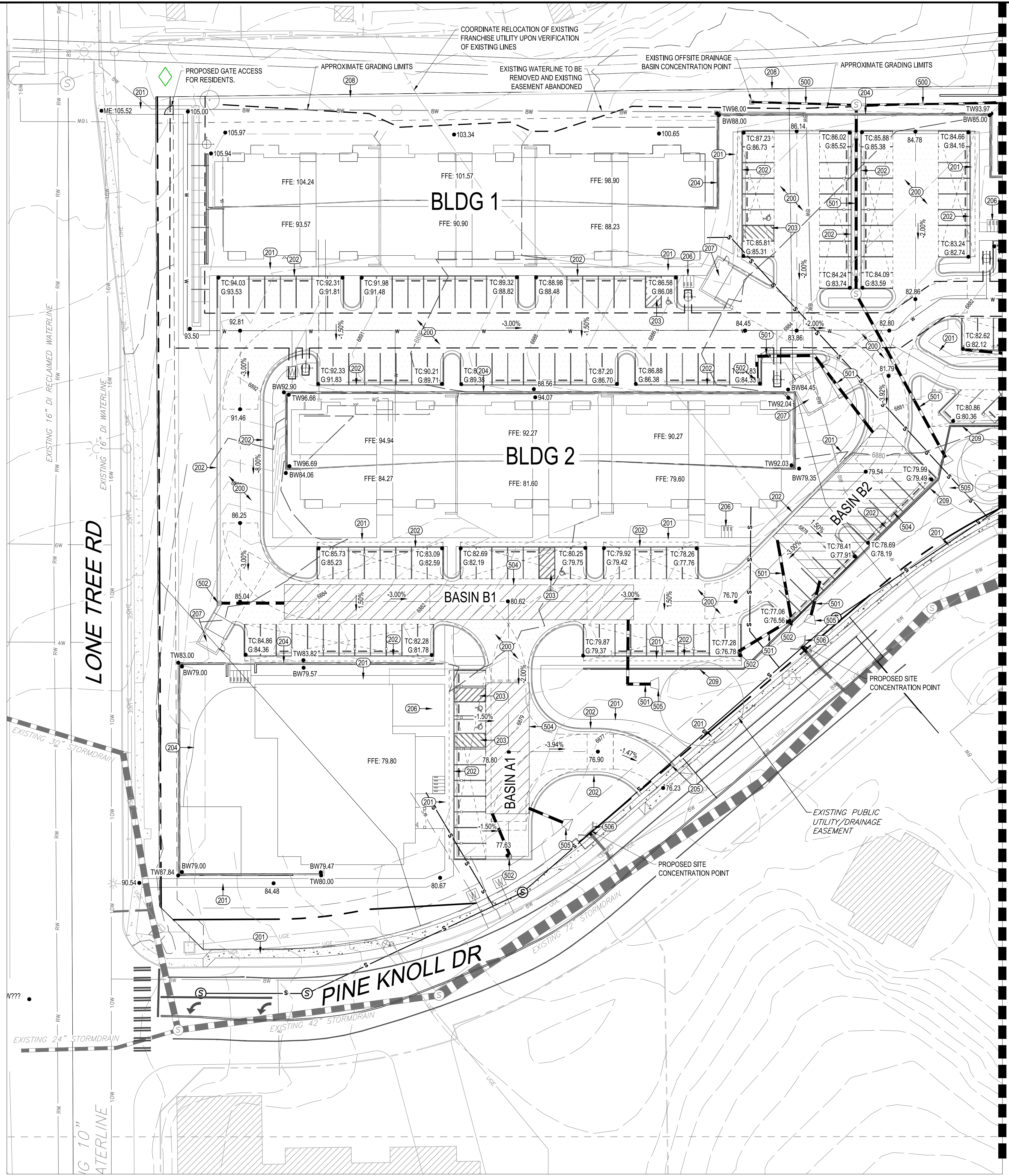
LONE TREE RANCH
CIVIL SITE PLAN - SIGHT CLEAR VIEW
TRIANGLE AND TURNING MOVEMENTS

Preliminary
Not for
Construction

DESIGNED BY: WLB	KK
DRAWN BY: WLB	BU
CHECK BY: WLB	BU
DATE: SEPTEMBER 2025	

PROJECT NO.
317011B002

SHEET
C1.1



KEYNOTES

- SITE CONSTRUCTION:**
 (NOTE 200) NEW ASPHALT PAVEMENT SECTION.
 (NOTE 201) NEW 4" THICK CONCRETE SIDEWALK OVER 3" ABC.
 (NOTE 202) NEW CONCRETE CURB AND GUTTER.
 (NOTE 203) NEW 4" WIDE WHITE HANDICAP PARKING ONLY STRIPING AND SIGN.
 (NOTE 204) RETAINING WALL, 10' MAX. MATERIAL AND COLOR TO PROVIDE A NATURAL AESTHETIC. SEE DETAIL 'A' SHEET C3.0.
 (NOTE 205) NEW DRIVEWAY ENTRANCE.
 (NOTE 206) NEW BICYCLE RACKS.
 (NOTE 207) NEW TRASH ENCLOSURE PER COF ENG. DETAIL PW-50-10.
 (NOTE 208) NEW SITE FENCING. FENCE AND GATE TYPE PER ARCHITECTS PLANS.
 (NOTE 209) PARKING SCREEN WALL, MATERIAL AND COLOR TO PROVIDE A NATURAL AESTHETIC. SEE DETAIL 'B' SHEET C3.0.
- DRAINAGE CONSTRUCTION:**
 (NOTE 500) NEW 12" ADS N-12 HDPE STORMDRAIN PIPE.
 (NOTE 501) NEW 18" ADS N-12 HDPE STORMDRAIN PIPE.
 (NOTE 502) NEW CATCHBASIN.
 (NOTE 503) NEW STORMDRAIN MANHOLE.
 (NOTE 504) NEW UNDERGROUND RETENTION VAULT WITH OUTLET STRUCTURE AND EROSION PROTECTION.
 (NOTE 505) NEW STORMDRAIN END SECTION.
 (NOTE 506) NEW STORMDRAIN CONCRETE HEADWALL.

NOTES:

- ADD 8800 TO ALL GRADES TO OBTAIN ACTUAL ELEVATION.
- PARKING & DRIVE AISLE DESIGN IS PER COF ENG DETAIL 10-10-010.
- GARAGE FINISH FLOOR ELEVATIONS STEP WITH ADJACENT DRIVE AISLE TO MAINTAIN SLOPES PER COF ENG DETAIL 10-10-010. FFE SHOWN ARE MID-BUILDING ELEVATIONS.
- NO HISTORICAL RESIDENTIAL OR COMMERCIAL BUILDINGS ARE ON SITE
- TC = TOP OF CURB
- G = GUTTER
- TW = GRADE AT TOP OF WALL
- BW = GRADE AT BOTTOM OF WALL
- ME = MATCH EXISTING

ROVC CALCULATIONS

EXISTING SITE
 TOTAL AREA = 370,240 SF
 PERVIOUS AREA = 370,240 SF
 IMPERVIOUS AREA = 0 SF

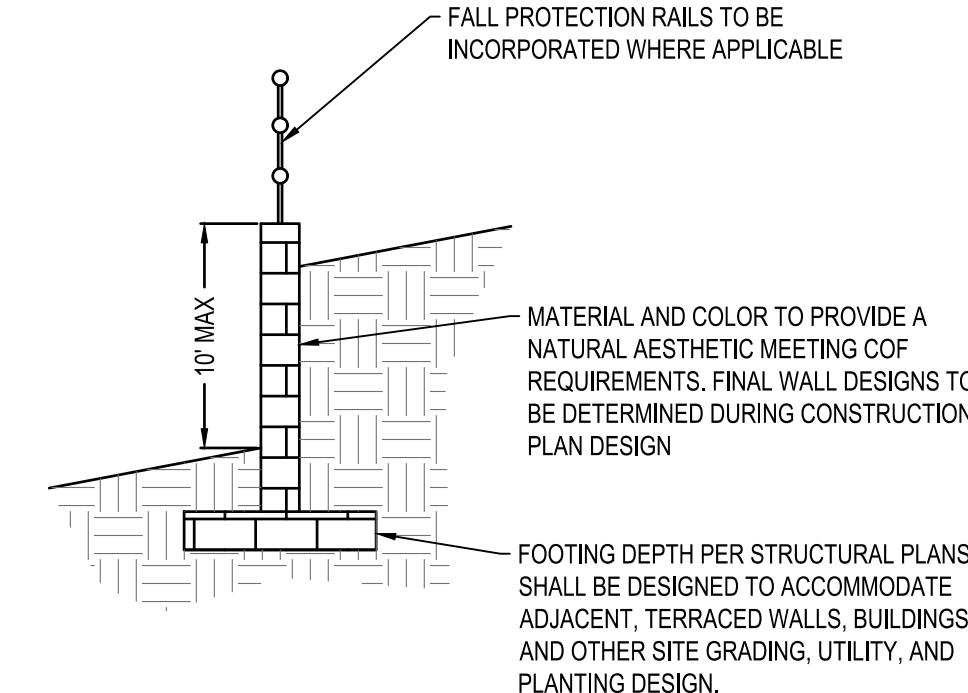
PROPOSED SITE
 TOTAL AREA = 370,240 SF
 PERVIOUS AREA = 108,193 SF
 IMPERVIOUS AREA = 262,047 SF
 REQUIRED RETENTION VOLUME = 21,750 CF (FIRST FLUSH)
 (PROP. IMP/EXIST. IMP)(1") 262,047 SF (1") = 21,750 CF
 ROOF IMP. = 67,100 SF
 HARDSCAPE IMP. = 194,947 SF
 PROVIDED RETENTION VOLUME = 31,900 CF

PRE AND POST RETENTION VOLUME (100YR)
 EXISTING: 1.641 ACRE-FT
 PROPOSED: 2.230 ACRE-FT
 REQUIRED RETENTION: 0.589 ACRE-FT (25,700 CF)
 PROVIDED RETENTION: 0.730 ACRE-FT (31,900 CF)

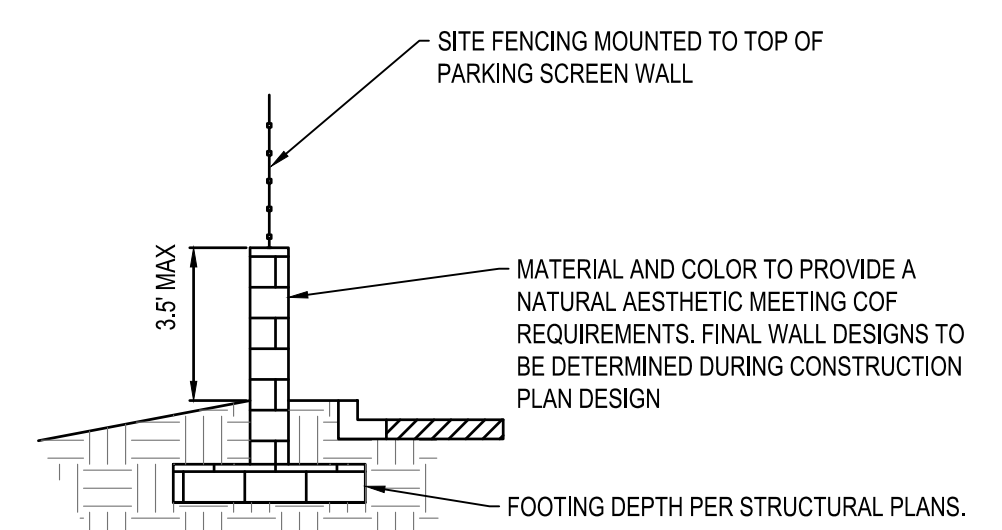
APPROXIMATE RETENTION VOLUMES
 A1 = 2,100 CF
 B1 = 9,200 CF
 B2 = 8,200 CF
 C1 = 7,200 CF
 C2 = 5,200 CF

FLOODPLAIN INFORMATION

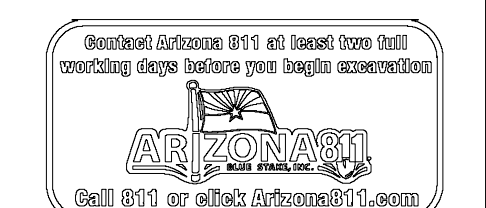
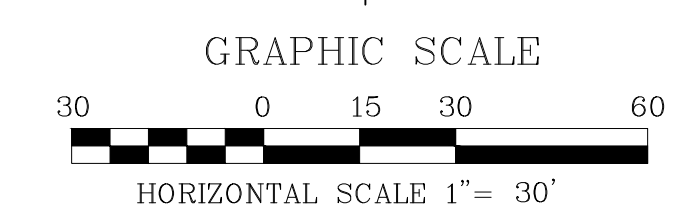
ZONE X



DETAIL A - GENERAL RETAINING WALL
 NOT TO SCALE



DETAIL B - GENERAL PARKING SCREEN WALL
 NOT TO SCALE



NO.	DATE	REVISIONS

ENGINEERING • PLANNING • SURVEYING
 LANDSCAPE ARCHITECTURE • URBAN DESIGN

The WLB Group, Inc.

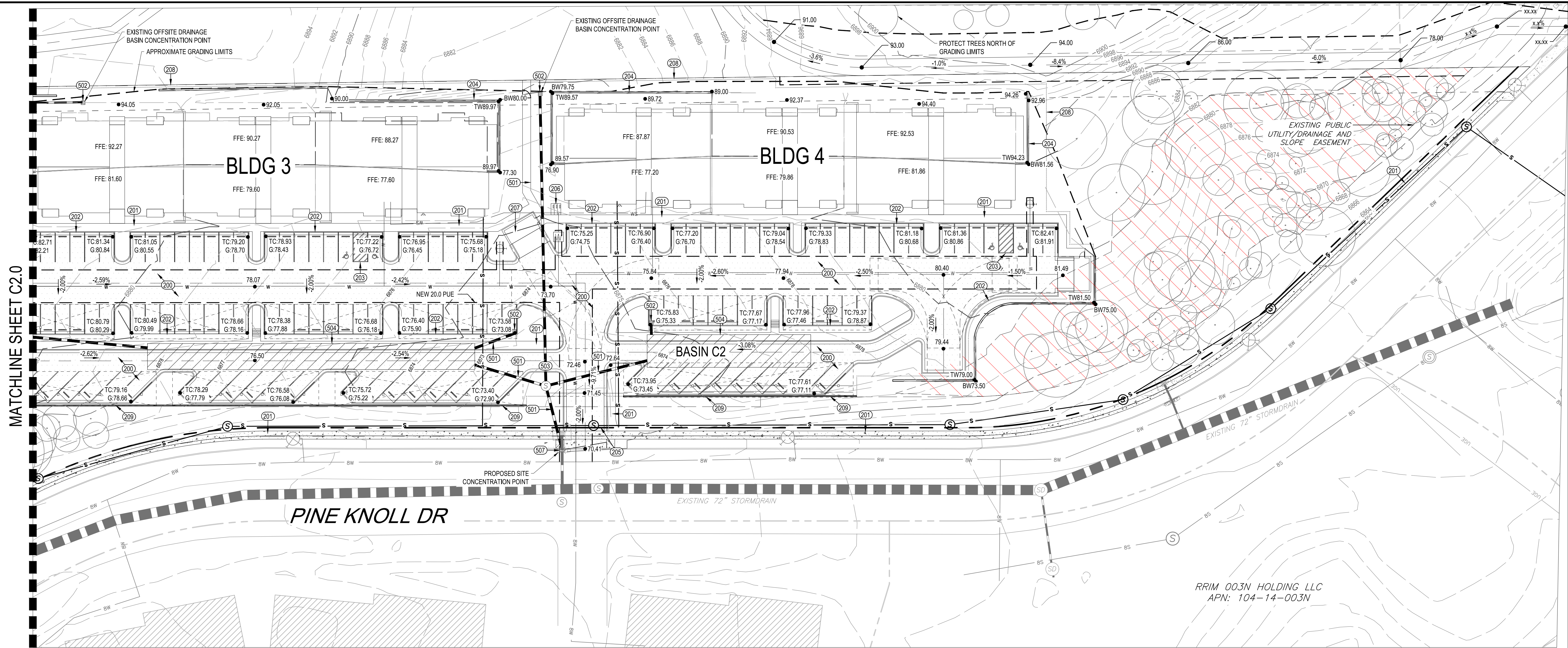
OFFICE LOCATIONS:
 TUCSON, PHOENIX, FLAGSTAFF, LAS VEGAS, NV
 120 N. BEAVER STREET SUITE 100, FLAGSTAFF, AZ 86001
 PH: (928) 778-1500

LONE TREE RANCH
 GRADING AND DRAINAGE

Prepared by: Not for Construction

DESIGNED BY: WLB
 DRAWN BY: KK
 CHECK BY: BJ
 DATE: SEPTEMBER 2025

PROJECT NO.
 317011B002
 SHEET
C3.0



MATCHLINE SHEET C2.0

KEYNOTES

- SITE CONSTRUCTION:**
 (NOTE 200)
 NEW ASPHALT PAVEMENT SECTION.
- (NOTE 201)
 NEW 4" THICK CONCRETE SIDEWALK OVER 3" ABC.
- (NOTE 202)
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- (NOTE 205)
 NEW DRIVEWAY ENTRANCE
- (NOTE 206)
 NEW BICYCLE RACKS
- (NOTE 207)
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- (NOTE 208)
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- (NOTE 209)
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- DRAINAGE CONSTRUCTION:**
 (NOTE 500)
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- (NOTE 501)
 NEW 18" ADS N-12 HDPE STORMDRAIN PIPE.
- (NOTE 502)
 NEW CATCHBASIN.
- (NOTE 503)
 NEW STORMDRAIN MANHOLE.
- (NOTE 504)
 NEW UNDERGROUND RETENTION VAULT WITH OUTLET STRUCTURE AND EROSION PROTECTION
- (NOTE 505)
 NEW STORMDRAIN END SECTION
- (NOTE 506)
 NEW STORMDRAIN CONCRETE HEADWALL
- (NOTE 507)
 REMOVE AND REPLACE EXISTING CATCH BASIN WITH NEW MAG TYPE F CATCH BASIN

- NOTES:**
- ADD 6800 TO ALL GRADES TO OBTAIN ACTUAL ELEVATION.
 - PARKING & DRIVE AISLE DESIGN IS PER COF ENG DETAIL 10-10-010.
 - GARAGE FINISH FLOOR ELEVATIONS STEP WITH ADJACENT DRIVE AISLE TO MAINTAIN SLOPES PER COF ENG DETAIL 10-10-010. FFE SHOWN ARE MID-BUILDING ELEVATIONS.
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 B2 = 8,200 CF
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FLOODPLAIN INFORMATION

ZONE X

RRIM 003N HOLDING LLC
 APN: 104-14-003N

NO.	DATE	REVISIONS

ENGINEERING • PLANNING • SURVEYING
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The WLB Group, Inc.

OFFICE LOCATIONS:
 TUCSON, PHOENIX, FLAGSTAFF, LAS VEGAS, NV
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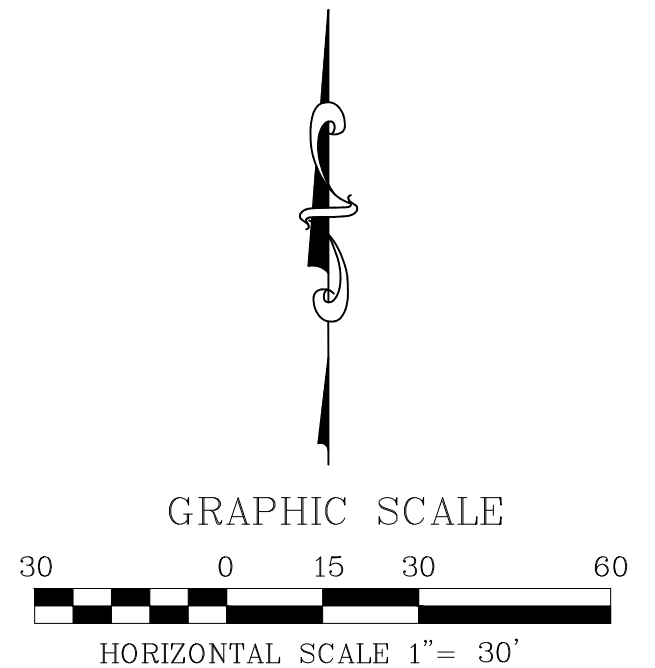
LONE TREE RANCH
 GRADING AND DRAINAGE

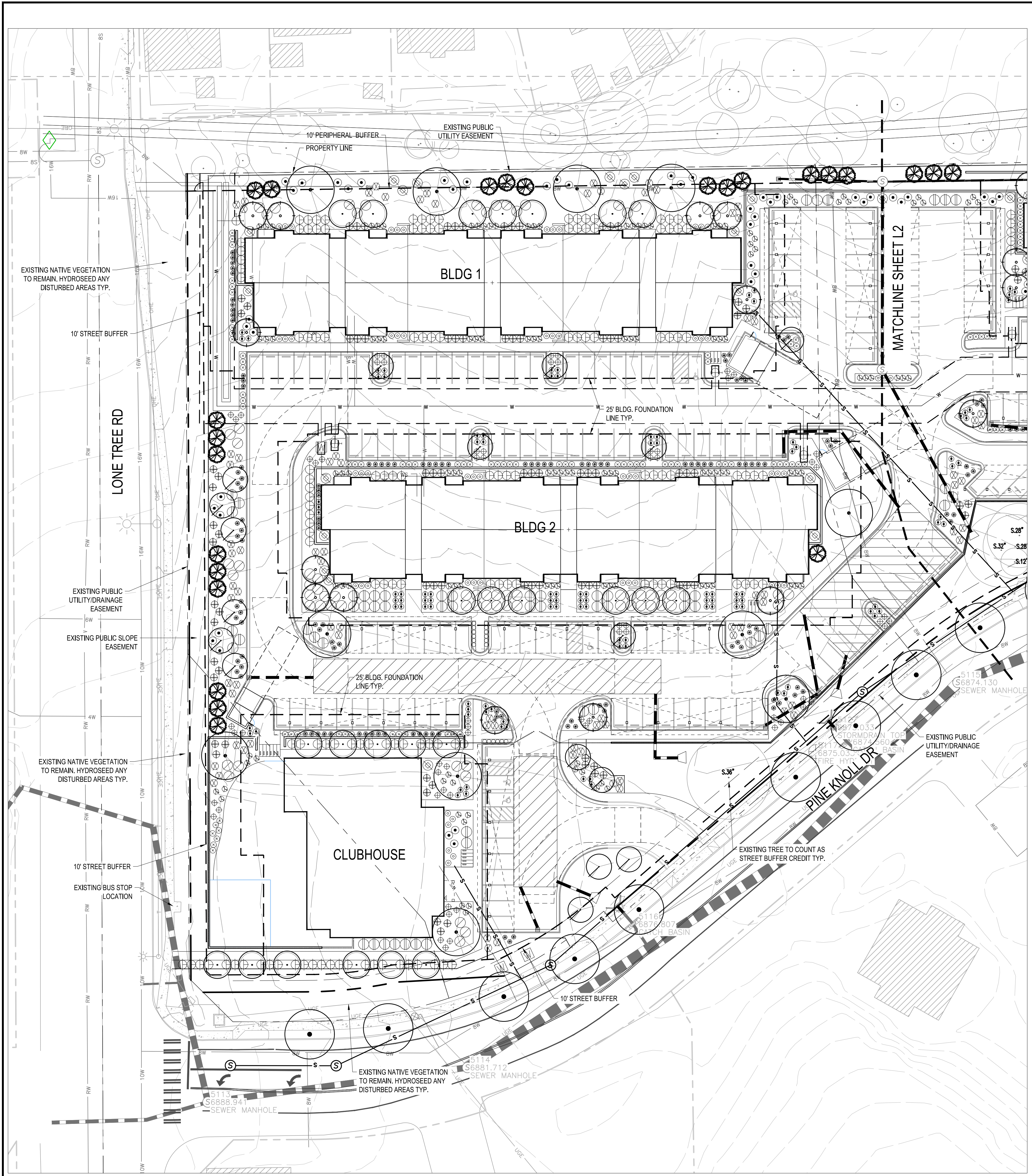
Preliminary
 Not for Construction

DESIGNED BY: WLB	KK
DRAWN BY: WLB	BU
CHECK BY: WLB	BU
DATE: SEPTEMBER 2025	

PROJECT NO.
317011B002

SHEET
C3.1





LANDSCAPE CALCULATIONS

	Reqd.	Prov.
Parking Spaces (Uncovered)		
30 s.f. times 120 parking spaces	3600s.f.	3858s.f.
120 parking spaces @ 2 trees per 8 spaces	30	-
10% Reduction for Affordable Housing	-3	-
Net Trees Required	27	21**
Shrubs @ 2 per tree	54	66
Groundcovers @ 2 per tree	54	66

	Required	Provided
Parking Spaces (Canopy Covered)		
30 s.f. times 166 parking spaces	4980s.f.	5262s.f.
No trees required per exception for canopies	0	-
Shrubs @ 3 per 8 parking spaces	62	-
Groundcovers @ 3 per 8 parking spaces	62	-
10% Reduction for Affordable Housing	-6 ea.	-
Net Shrubs Required	56	64
Net Groundcovers Required	56	65

Street Buffer (Lone Tree Rd.)		
480 LF @ 1 tree per 25 LF	19	-
10% Reduction for Affordable Housing	-2	-
Net Trees Required	17	17
Shrubs @ 2 per tree	34	35
Groundcovers @ 2 per tree	34	42

Street Buffer (Pine Knoll Dr.)		
1,460 LF @ 1 tree per 25 LF	58	-
10% Reduction for Affordable Housing	-6	-
Credit for existing trees to remain	-64	-
Net Trees Required	0	0
Shrubs @ 2 per tree	0	0
Groundcovers @ 2 per tree	0	0

Peripheral Buffer (North Property Line)		
1,388 LF @ 1 tree per 25 LF	55	-
10% Reduction for Affordable Housing	-5	-
Credit for existing trees to remain	-45	-
Net Trees Required	5	6
Shrubs @ 2 per tree	10	13
Groundcovers @ 2 per tree	10	12

Building Foundation (Bldgs. 1 & 2 each)		
690 LF @ 1 tree per 25 LF	28	-
10% Reduction for Affordable Housing	-3	-
Net Trees Required	25	25/12**
Shrubs @ 2 per tree	50	67/57
Groundcovers @ 2 per tree	50	68/74

Building Foundation (Bldg. 3)		
397 LF @ 1 tree per 25 LF	16	-
10% Reduction for Affordable Housing	-2	-
Net Trees Required	14	14
Shrubs @ 2 per tree	28	63
Groundcovers @ 2 per tree	28	59

Reduction for Overlap of North Peripheral Bufferyard		
Building Foundation (Bldg. 4)		
340 LF @ 1 tree per 25 LF	14	-
10% Reduction for Affordable Housing	-1	-
Net Trees Required	13	13
Shrubs @ 2 per tree	26	61
Groundcovers @ 2 per tree	26	56

Reduction for Overlap with North Peripheral Buffer & Bldg. 3		
Building Foundation (Clubhouse)		
314 LF @ 1 tree per 25 LF	13	-
10% Reduction for Affordable Housing	-1	-
Net Trees Required	12	12
Shrubs @ 2 per tree	24	28
Groundcovers @ 2 per tree	24	53

Reduction for Overlap with Street Buffer			
Building Foundation (Bldg. 1)			
314 LF @ 1 tree per 25 LF	13	-	-
10% Reduction for Affordable Housing	-1	-	-
Net Trees Required	12	12	12
Shrubs @ 2 per tree	24	28	28
Groundcovers @ 2 per tree	24	28	53

LANDSCAPE CREDITS FOR EXISTING TREES

Tree Size (DBH)	Tree Quantity	Credit/Tree	Total Credits
6 - 10"	15	1	15
10 - 18"	36	2	72
> 18"	16	3	48
Total Credits Allowed			134
Total Credits Claimed			134

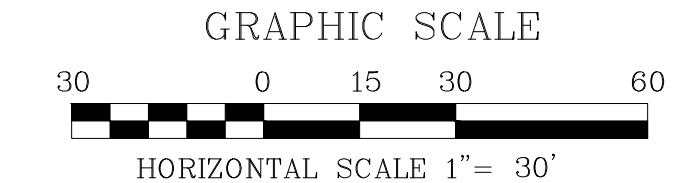
** ADDITIONAL LANDSCAPE REDUCTION FOR 100% AFFORDABLE HOUSING PROJECT INCENTIVE

PLANT SCHEDULE

SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY.	MAT. SIZE	REMARKS
TREES					
(Symbol)	ACER GINNALA 'FLAME'	2" CAL.	23	15x15	STANDARD
(Symbol)	AMUR MAPLE				
(Symbol)	GLEDITSIA TRICANTHOS 'SHADEMASTER'	24" BOX	13	35x25	STANDARD
(Symbol)	SHADEMASTER HONEYLOCUST				
(Symbol)	MALUS 'SPRING SNOW'	2" CAL.	41	20x15	STANDARD
(Symbol)	'SPRING SNOW CRABAPPLE				
(Symbol)	PICEA PUNGENS 'BABY BLUEEYES'	6" TALL	24	20x10	STANDARD
(Symbol)	'BABY BLUEEYES SPRUCE				
(Symbol)	PRUNUS VIRGINIANA 'CANADA RED'	2" CAL.	25	25x15	STANDARD
(Symbol)	'CANADA RED CHOKECHERRY				
SHRUBS / GRASSES					
(Symbol)	BERBERIS THUNBERGII 'ROSE GLOW'	5 GAL.	105	4x4	2 GPH EMITTER
(Symbol)	ROSE GLOW BARBERY				
(Symbol)	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GAL.	66	2x2	2 GPH EMITTER
(Symbol)	BLOND AMBITION BLUE GRAMA				
(Symbol)	CALAMAGROSTIS x ACUTIFLORA 'K.F.'	3 GAL.	219	4x2.5	2 GPH EMITTER
(Symbol)	FOERSTER'S FEATHER REED GRASS				
(Symbol)	CORNUS SERICEA 'ARCTIC FIRE'	5 GAL.	146	4x4	2 GPH EMITTER
(Symbol)	ARCTIC FIRE DOGWOOD				
(Symbol)	PANICUM VIRGATUM 'SHENANDOAH'	3 GAL.	224	4x2.5	2 GPH EMITTER
(Symbol)	'SHENANDOAH SWITCH GRASS				
(Symbol)	PEROVSKIA ATRIPLICIFOLIA	5 GAL.	111	4x4	2 GPH EMITTER
(Symbol)	RUSSIAN SAGE				
(Symbol)	PHYSOCARPUS OPULENSIS 'SEWARD'	5 GAL.	28	6x6	2 GPH EMITTER
(Symbol)	SUMMER WINE NINEBARK				
(Symbol)	POTENTILLA FRUTICOSA 'GOLDFINGER'	5 GAL.	96	3x3	2 GPH EMITTER
(Symbol)	GOLDFINGER POTENTILLA				
(Symbol)	SYMPHORICARPOS 'BOKRABRIGHT'	5 GAL.	51	4x4	2 GPH EMITTER
(Symbol)	BRIGHT FANTASY SNOWBERRY				
GROUNDCOVER					
(Symbol)	COTONEASTER DAMMERI 'CORAL BEAUTY'	3 GAL.	75	1x6	2 GPH EMITTER
(Symbol)	CORAL BEAUTY COTONEASTER				
(Symbol)	JUNIPERUS HORIZONTALIS 'WILTONII'	3 GAL.	89	6'x6	2 GPH EMITTER
(Symbol)	BLUE RUG JUNIPER				
(Symbol)	JUNIPERUS COMMUNIS 'MONDAP'	3 GAL.	142	1x3	2 GPH EMITTER
(Symbol)	ALPINE CARPET JUNIPER				
(Symbol)	MAHONIA REPENS	1 GAL.	146	1x3	2 GPH EMITTER
(Symbol)	CREeping OREGON GRAPE				
(Symbol)	PRUNUS BESSEYI 'PAWNEE BUTTES'	3 GAL.	255	1.5x6	2 GPH EMITTER
(Symbol)	CREeping SAND CHERRY				
MATERIALS					
(Symbol)	CINNAMON DECOMPOSED GRANITE	1/2" SCREENED	-		3" DEPTH IN PLANTING AREAS
(Symbol)	STEEL LANDSCAPE EDGE	4"	-	LF	INSTALL PER MFG. SPECIFICATIONS
(Symbol)	BROWN				
HYDROSEED MIX					
(Symbol)	NATIVE SEED MIX	64,225 S.F./-			HYDROSEED PER CITY OF FLAGSTAFF ENGINEERING DESIGN STANDARDS DIVISION 13-17-002

PLANT SCHEDULE (PARKWAY - OFFSITE)

SYMBOL	BOTANICAL/COMMON NAME	SIZE	QTY.	MAT. SIZE	REMARKS
(Symbol)	ACER x FREEMANII 'JEFFSRED'	2" CAL.	28	40x30	STANDARD
(Symbol)	AUTUMN BLAZE MAPLE				
(Symbol)	NATIVE BLACK CINDERS	STANDARD SIZE	-		2" DEPTH IN PARKWAY



NO.	DATE	REVISIONS

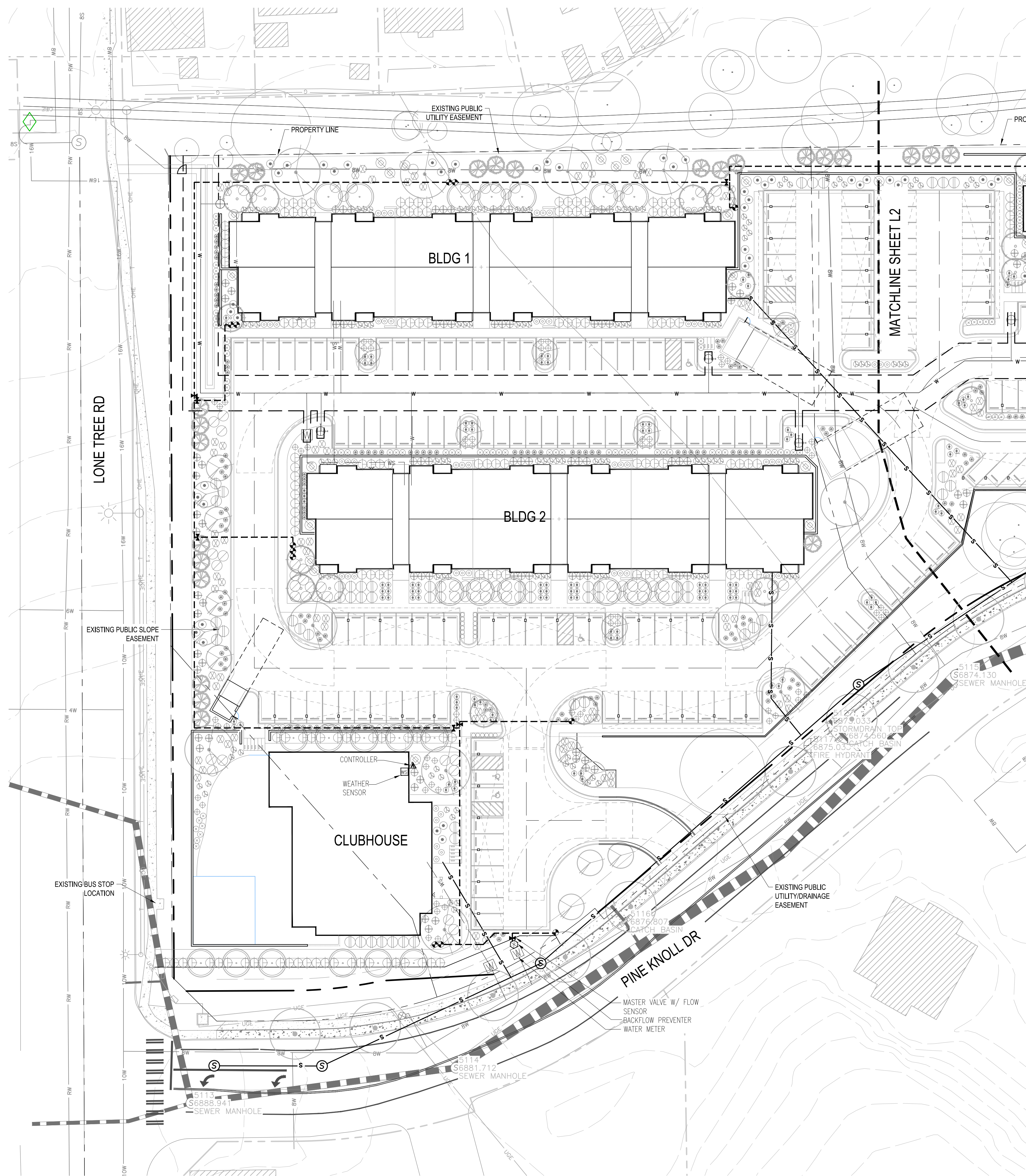
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 120 N. BEAVER STREET SUITE 100, FLAGSTAFF, AZ 86001
 PH: (929) 719-1500

LONE TREE RANCH
 LANDSCAPE PLAN

Not for Construction

DESIGNED BY: SP	SP
DRAWN BY: SP	SP
CHECK BY: SP	SP
DATE: SEPTEMBER 2025	

PROJECT NO.
317011B002
 SHEET
L1



IRRIGATION LEGEND:

SYMBOL	DESCRIPTION	MANUFACTURER/MODEL	COMMENTS
	WATER METER	N/A	1.5" WATER METER TO BE INSTALLED PER CIVIL PLANS
	BACKFLOW PREVENTER	FEBCO 825YA	1.5" BFP TO BE INSTALLED PER CIVIL PLANS. INSTALL IN A SECURABLE BACKFLOW PREVENTER CAGE.
	FLOW SENSOR	IRRITROL FS-200 2" FLOW SENSOR	INSTALL AFTER MASTER VALVE AT P.O.C.
	CONTROLLER	IRRITROL ECP-TW-5 EAGLE PLUS TWO WIRE WALL MOUNTED CONTROLLER IN METAL CABINET	INSTALL PER MANUFACTURER'S SPECIFICATIONS PROVIDE KEYS AND OPERATING INSTRUCTIONS TO OWNER
	WEATHER SENSOR	IRRITROL RS1000 WIRELESS RAIN & FREEZE SENSOR SURFACE MOUNT	INSTALL PER MANUFACTURER'S SPECIFICATIONS MOUNT ON CLUBHOUSE ROOF ABOVE CONTROLLER
	GATE VALVE	WATTS WCV THD BRASS GATE VALVE	SIZE TO MATCH MAINLINE PASSING THROUGH. INSTALL IN 10" ROUND VALVE BOX.
	1" QUICK COUPLER	TORO 100-SLSC W/ 100-SLK KEY	INSTALL IN 10" ROUND VALVE BOX. PROVIDE 3 KEYS
	REMOTE CONTROL DRIP VALVE ASSEMBLY	TORO DZK-700, 1" DRIP VALVE ASSEMBLY INCLUDES Y-FILTER AND PRESSURE REGULATOR	INSTALL IN VALVE BOX
	MAIN LINE	SCH 40 PVC, SCH 80 FITTINGS	SIZE PER PIPE PLAN, SOLVENT WELD.
	SHRUB/G.C. LATERAL	CLASS 200 PVC	3/4" UNLESS OTHERWISE NOTED.
	TREE LATERAL	CLASS 200 PVC	3/4" UNLESS OTHERWISE NOTED.
	MULTI-OUTLET DRIP EMITTER	TORO T-PR25-9 PRESSURE REGULATING MANIFOLD OR APPROVED EQUAL	NOT SHOWN ON PLAN. SEE EMITTER DETAILS.
	SINGLE-OUTLET DRIP EMITTER	TORO T-DRJ08-A, 2-GPH EMITTER OR APPROVED EQUAL	NOT SHOWN ON PLAN. SEE EMITTER DETAILS.
	DISTRIBUTION TUBE	1/4" POLYETHYLENE	MAXIMUM LENGTH 6'-FEET. SEE EMITTER DETAILS.
	END FLUSH CAP	TORO T-FCH-H-FIT, OR APPROVED EQUAL	LOCATE IN 10" ROUND VALVE BOX
	SLEEVE	SCH. 40 PVC PIPE	SIZE TO BE 2X DIAMETER OF PIPE BEING SLEEVED
	ELECTRICAL SLEEVE	SCH. 40 PVC PIPE (1.5" MINIMUM)	SLEEVE UNDER ALL PAVING TYP.

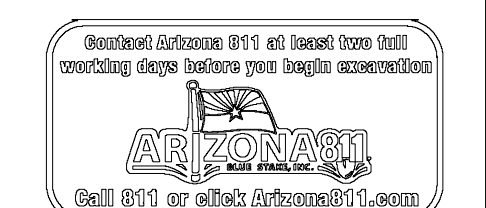
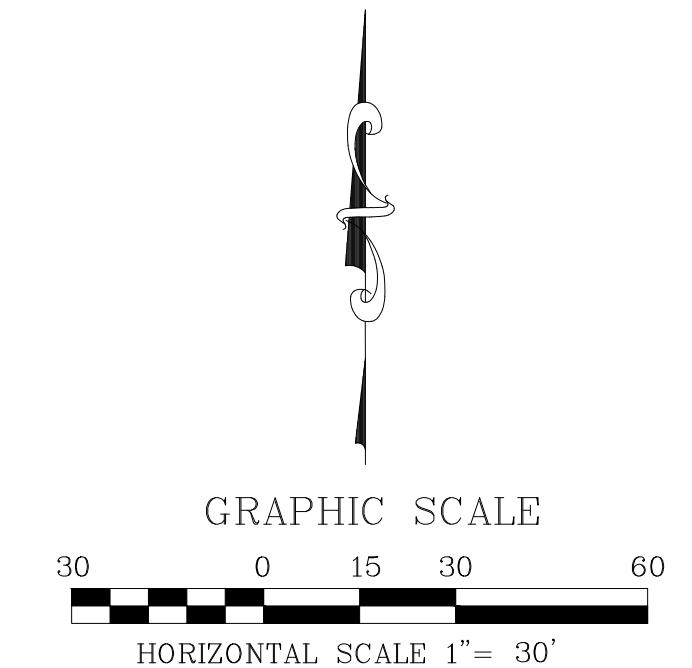
PIPE SIZING SCHEDULE		SLEEVE SIZING SCHEDULE (MM)				EMITTER NOTES	
SIZE	GPM	SIZE	GPM	PIPE	SLEEVE	PIPE	SLEEVE
3/4"	6-10	1 1/2"	26-35	3/4"	1 1/2"	1 1/2"	3"
1"	11-15	2"	36-55	1"	2"	2"	4"
1 1/4"	16-25	2 1/2"	56-80	1 1/4"	2.5"	2 1/2"	5"

STATION NUMBER
VALVE SIZE/
ZONE TYPE

- INSTALL ONE (1.0 GPH) OR (2.0 GPH) SINGLE OUTLET EMITTER PER SHRUB OR GROUND COVER AS REQUIRED. SEE PLANT SCHEDULE FOR EMITTER SPECIFICATION.
- INSTALL EMITTERS AROUND EACH TREE; SEE THE EMITTER DETAIL FOR EMITTER QUANTITY AND SPACING.
- MULTI-OUTLET EMITTERS MAY BE USED INSTEAD OF SINGLE EMITTERS WHERE 1/2" TUBING DOES NOT EXCEED 6' IN LENGTH.
- INSTALL EMITTERS AT EDGE OF ROOFTOP AND UPGRADE FROM PLANTS.
- INSTALL ALL EMITTERS AND EQUIPMENT PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.

IRRIGATION NOTES:

- ALL EXACT QUANTITIES OF EQUIPMENT REMAIN THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR AND NO ADDITIONAL COSTS TO OWNER WILL BE ACCEPTED AFTER BIDDING THIS PROJECT EXCEPT FOR CHANGE ORDERS APPROVED BY THE OWNER.
- PLANS ARE DIAGRAMMATIC AND APPROXIMATE. ALL IRRIGATION EQUIPMENT SHALL BE LOCATED IN LANDSCAPE AREAS; ALL SLEEVES SHALL BE INSTALLED PRIOR TO PAVING WORK. NO TEES, ELLS OR OTHER TURNS IN PIPING SHALL BE LOCATED UNDER PAVING EXCEPT WHERE SHOWN ON THE PLANS.
- THE IRRIGATION SYSTEM IS DESIGNED FOR 90 STATIC PSI. CONTRACTOR SHALL VERIFY WATER PRESSURE IN THE FIELD PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ALERTING THE LANDSCAPE ARCHITECT AND OWNER OF ANY DISCREPANCIES BETWEEN DESIGN PRESSURE AND FIELD PRESSURE.
- CONTRACTOR SHALL CONFORM TO ALL STATE AND LOCAL CODES AND IS RESPONSIBLE FOR OBTAINING PERMITS FROM LOCAL AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THE PROJECT SITE.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO ANY INSTALLATION. CONTACT BLUE STAKES CENTER (263-1100) FORTY-EIGHT (48) HOURS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL THE IMPROVEMENTS INDICATED ON THE IRRIGATION PLANS. CONTRACTOR IS RESPONSIBLE FOR CAREFUL SITE INSPECTION, REVIEW OF ALL LANDSCAPE DOCUMENTS, AND COORDINATION WITH OTHER CONTRACTORS ON-SITE PRIOR TO ANY INSTALLATION. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE SITE SUPERINTENDENT AND THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR THE COORDINATING THE INSTALLATION OF REGULATORS UNDER PAVED SURFACES WITH THE GENERAL CONTRACTOR.
- PROVIDE PVC VALVE BOXES FOR ALL UNDERGROUND VALVES, PRESET PRESSURE REGULATORS AND FLUSH PLUGS.
- USE ONLY #14 DIRECT BURIAL COPPER WIRE FOR ALL UNDERGROUND WIRING. ALL WIRE RUNS TO BE CONTINUOUS FROM CONTROLLER TO CONTROL VALVE. USE ONLY EPOXY FILLED WATERPROOF WIRE ASSEMBLIES BY SPEARS (OR EQUAL) FOR ALL WIRE SPLICES.
- OBTAIN APPROVAL FROM THE OWNER'S AGENT OF STAKED LOCATIONS FOR ALL VALVES, MAINLINE, AND THE AUTOMATIC CONTROLLER PRIOR TO INSTALLATION.
- TEST MAINLINE UNDER PRESSURE FROM THE WATER SOURCE (POINT OF CONNECTION) TO CONTROL VALVES AND QUICK COUPLERS FOR A MINIMUM OF 12-HOURS. OBTAIN APPROVAL FROM OWNER'S AGENT PRIOR TO BACKFILLING.
- ALL PVC SLEEVING PASSING UNDER PAVED SURFACES AND THROUGH FOOTINGS SHALL BE SCHEDULE-40 PVC PIPE TWICE THE SIZE OF THE PIPE PASSING THROUGH. PROVIDE A SEPARATE SLEEVE FOR ELECTRICAL WIRING (1.5" MINIMUM).
- EXACT PIPE SIZING AND FOOTAGE ARE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR.
- USE TEFLON TAPE OR PIPE JOINT COMPOUND ON ALL THREADED JOINTS.
- ALL DRIP SYSTEM LATERAL PIPING SHALL BE 3/4-INCH CLASS 200 PVC. ALL FITTINGS SHALL BE SCHEDULE 40 PVC.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE IRRIGATION WORK WITH THE LANDSCAPE PLANS TO AVOID CONFLICT BETWEEN IRRIGATION EQUIPMENT AND PLANTING PITS.
- WHERE TREES, LIGHT STANDARDS, ETC. ARE AN OBSTRUCTION OF SPRAYS, PIPING AND SPRINKLER HEADS SHALL BE ADJUSTED AND/OR RELOCATED AS REQUIRED TO ACHIEVE FULL HEAD TO HEAD COVERAGE.
- PROVIDE A TYPED WATERING SCHEDULE ENCASED IN PLASTIC AND ATTACHED TO THE INSIDE OF THE CONTROLLER ENCLOSURE.
- PRIOR TO INITIATING THE 90-DAY MAINTENANCE PERIOD, TEST THE SYSTEM WITH THE OWNER'S AGENT TO VERIFY THAT THE SYSTEM IS FULLY OPERATIONAL. PROVIDE WRITTEN RECOMMENDATIONS OF SUGGESTED SEASONAL WATERING SCHEDULES.
- PROVIDE A WRITTEN 18-MONTH GUARANTEE FOR ALL IRRIGATION EQUIPMENT DATED FROM THE START OF THE 90-DAY MAINTENANCE PERIOD. CONTRACTOR SHALL PROVIDE LABOR, MATERIALS AND EQUIPMENT AS NECESSARY TO RESTORE THE FULL OPERATION OF THE SYSTEM AND REPLACE ANY PLANT MATERIAL THAT DIED AS A DIRECT RESULT OF THE FAILURE.



NO.	DATE	REVISIONS

ENGINEERING • PLANNING • SURVEYING
LANDSCAPE ARCHITECTURE • URBAN DESIGN

The WLB Group, Inc.

OFFICE LOCATIONS:
TUCSON, PHOENIX, FLAGSTAFF, LAS VEGAS, NV
120 N. BEAVER STREET SUITE 100, FLAGSTAFF, AZ 86001
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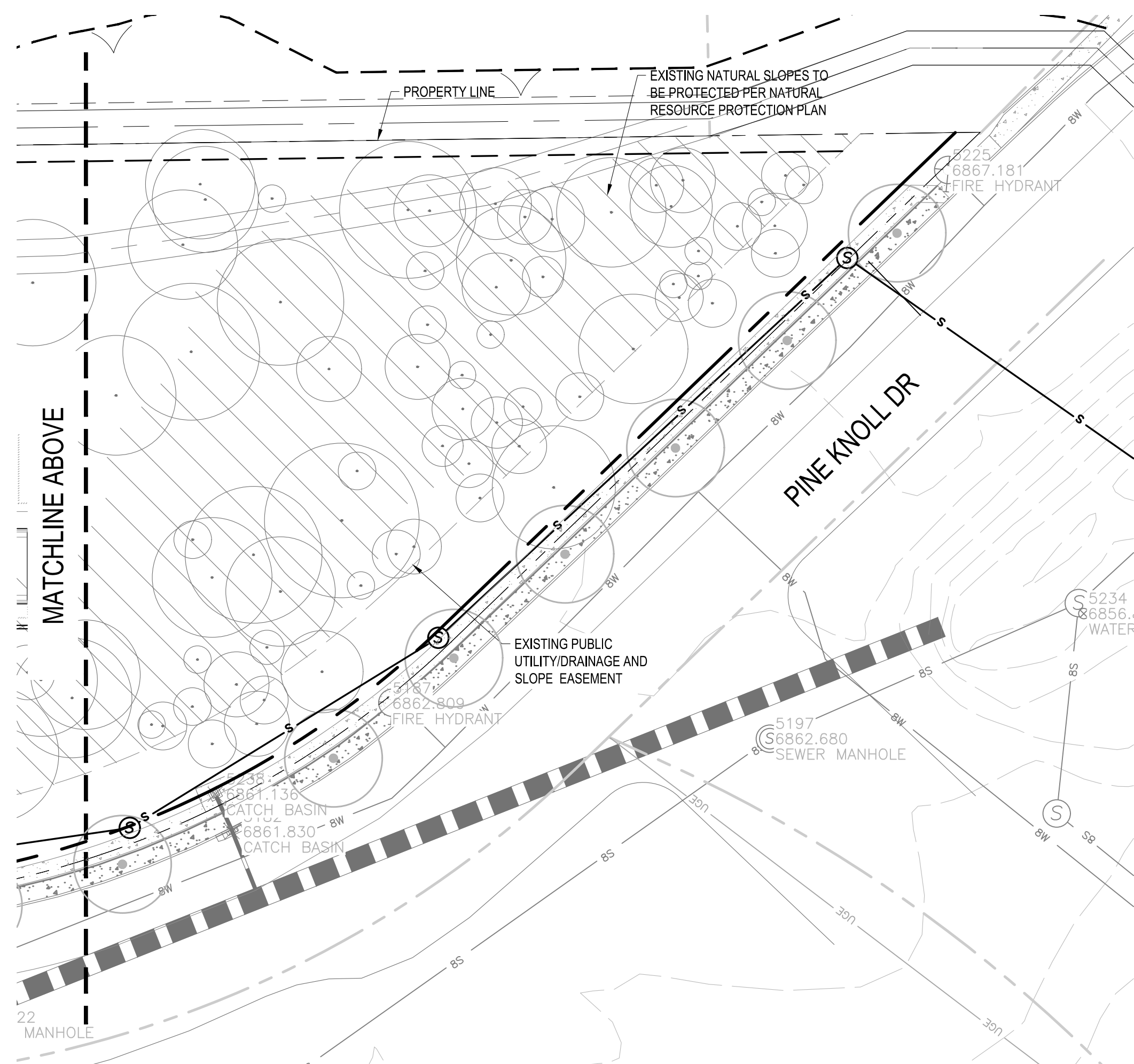
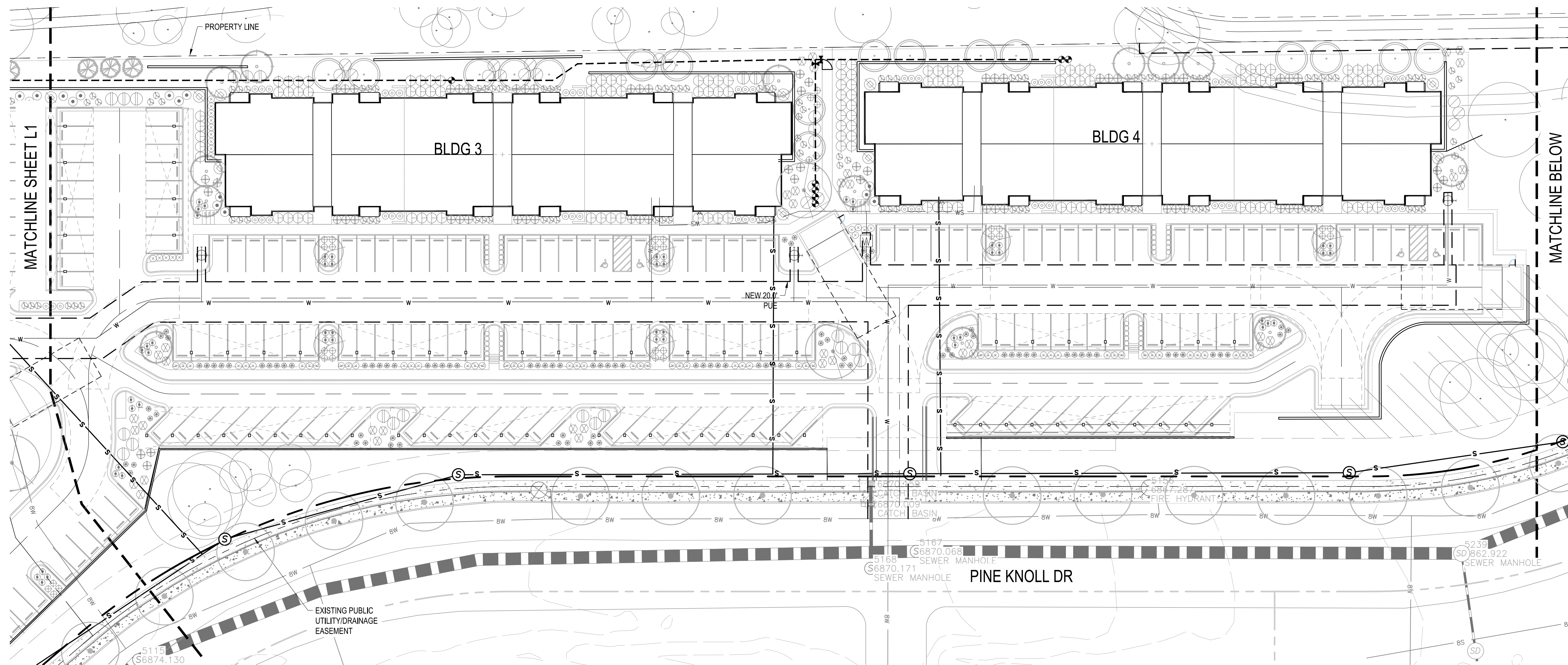
LONE TREE RANCH
IRRIGATION PLAN

Not for Construction

DESIGNED BY: SP	SP
DRAWN BY: SP	SP
CHECK BY: SP	SP
DATE: SEPTEMBER 2025	

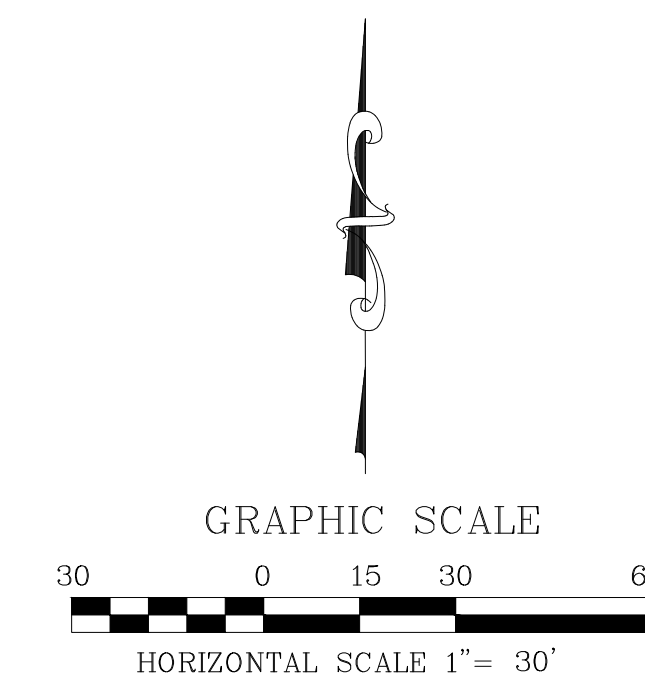
PROJECT NO.
317011B002

SHEET
L3



IRRIGATION LEGEND:

SYMBOL	DESCRIPTION
	WATER METER
	BACKFLOW PREVENTER
	FLOW SENSOR
	CONTROLLER
	WEATHER SENSOR
	GATE VALVE
	1" QUICK COUPLER
	REMOTE CONTROL DRIP VALVE ASSEMBLY
	MAIN LINE
	SHRUB/G.C. LATERAL
	TREE LATERAL
	MULTI-OUTLET DRIP EMITTER
	SINGLE-OUTLET DRIP EMITTER
	DISTRIBUTION TUBE
	END FLUSH CAP
	SLEEVE
	ELECTRICAL SLEEVE
	STATION NUMBER
	VALVE SIZE/ ZONE TYPE



NO.	DATE	ITEM

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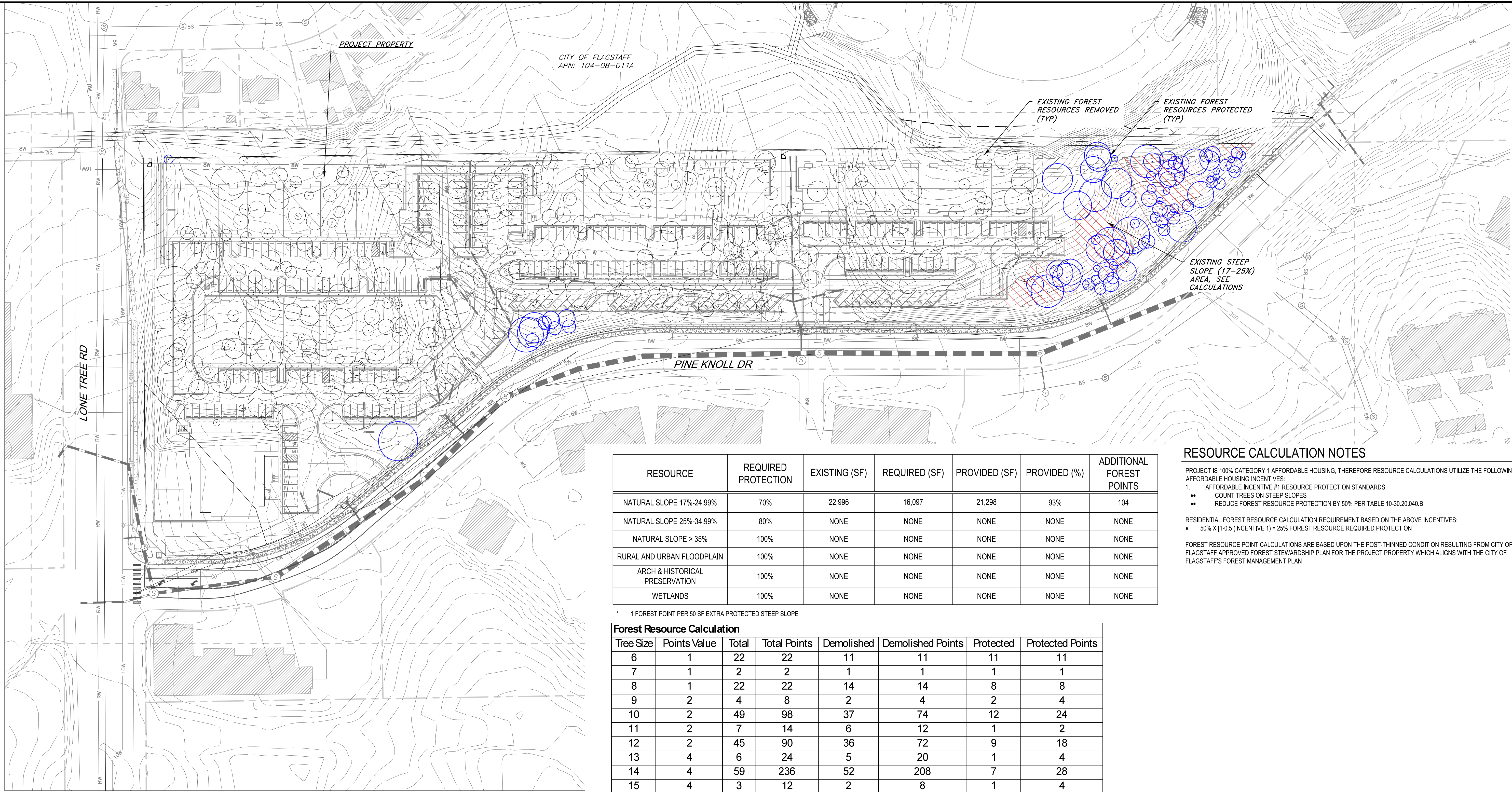
LONE TREE RANCH
IRRIGATION PLAN

Preliminary
Not for Construction

DESIGNED BY: SP
DRAWN BY: SP
CHECK BY: SP
DATE: SEPTEMBER 2025

PROJECT NO.
317011B002

SHEET
L4



LEGEND

- | | | | |
|-----|-------------------------------|---|---------------------------------|
| --- | EXISTING CONTOUR MINOR | ⊗ | FIRE DEPARTMENT CONNECTION |
| --- | EXISTING CONTOUR MAJOR | ⊙ | PROPOSED SEWER MANHOLE |
| W | EXISTING WATERLINE | ⊕ | PROPOSED CATCH BASIN |
| RW | EXISTING RECLAIMED WATERLINE | ⊗ | EXISTING LIGHT POLE |
| S | EXISTING SEWER MAIN | ⊕ | EXISTING POWER POLE |
| OHE | EXISTING OVERHEAD ELECTRIC | ⊗ | EXISTING GUY WIRE |
| UGE | EXISTING UNDERGROUND ELECTRIC | ⊕ | EXISTING ELECTRIC BOX |
| T | EXISTING TELECOMM | ⊗ | EXISTING TELEPHONE JUNCTION BOX |
| --- | EXISTING STORMDRAIN | ⊕ | EXISTING WATER VALVE |
| G | EXISTING GAS | ⊗ | EXISTING WATER METER BOX |
| --- | EXISTING RIGHT-OF-WAY | ⊕ | EXISTING SEWER MANHOLE |
| --- | EXISTING PROPERTY LINE | ⊗ | EXISTING GAS METER |
| --- | EXISTING PEDESTRIAN EASEMENT | ⊕ | EXISTING CATCH BASIN |
| --- | EXISTING SLOPE EASEMENT | ⊗ | EXISTING STORMDRAIN MANHOLE |
| W | PROPOSED WATERLINE | ⊕ | EXISTING TREE TO REMAIN |
| FW | PROPOSED FIRE LINE | ⊗ | EXISTING TREE TO BE REMOVED |
| S | PROPOSED SEWER | ⊕ | EXISTING SIGN |
| --- | PROPOSED STORMDRAIN | ⊗ | EXISTING FIRE HYDRANT |
| ⊙ | PROPOSED FIRE DEMO | ⊕ | EXISTING DRAINAGE FLOW ARROW |
| ⊗ | EXISTING TREE DEMO | | |
| ⊕ | EXISTING TREE PROTECTED | | |

RESOURCE	REQUIRED PROTECTION	EXISTING (SF)	REQUIRED (SF)	PROVIDED (SF)	PROVIDED (%)	ADDITIONAL FOREST POINTS
NATURAL SLOPE 17%-24.99%	70%	22,996	16,097	21,298	93%	104
NATURAL SLOPE 25%-34.99%	80%	NONE	NONE	NONE	NONE	NONE
NATURAL SLOPE > 35%	100%	NONE	NONE	NONE	NONE	NONE
RURAL AND URBAN FLOODPLAIN	100%	NONE	NONE	NONE	NONE	NONE
ARCH & HISTORICAL PRESERVATION	100%	NONE	NONE	NONE	NONE	NONE
WETLANDS	100%	NONE	NONE	NONE	NONE	NONE

* 1 FOREST POINT PER 50 SF EXTRA PROTECTED STEEP SLOPE

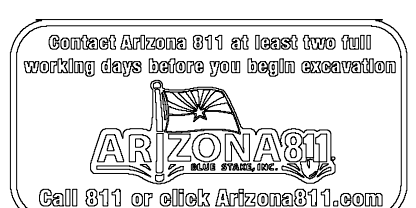
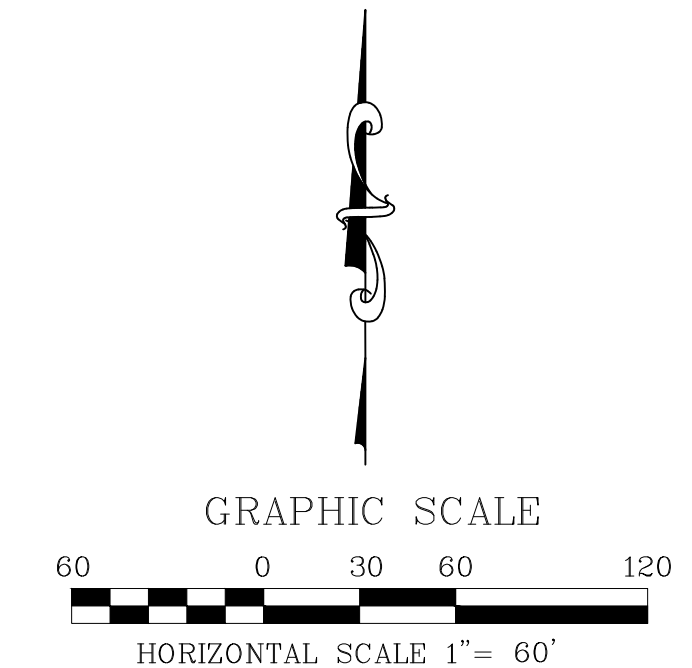
Forest Resource Calculation							
Tree Size	Points Value	Total	Total Points	Demolished	Demolished Points	Protected	Protected Points
6	1	22	22	11	11	11	11
7	1	2	2	1	1	1	1
8	1	22	22	14	14	8	8
9	2	4	8	2	4	2	4
10	2	49	98	37	74	12	24
11	2	7	14	6	12	1	2
12	2	45	90	36	72	9	18
13	4	6	24	5	20	1	4
14	4	59	236	52	208	7	28
15	4	3	12	2	8	1	4
16	4	39	156	34	136	5	20
17	4	2	8	2	8	0	0
18	8	33	264	31	248	2	16
19	8	4	32	4	32	0	0
20	8	18	144	18	144	0	0
21	8	0	0	0	0	0	0
22	8	13	104	13	104	0	0
23	8	1	8	0	0	1	8
24	8	16	128	9	72	7	56
25+	20	42	840	29	580	13	260
Totals:		387	2212	306	1748	81	464

FOREST RESOURCE CALCULATIONS

EXISTING FOREST RESOURCE POINTS = 2212 POINTS
 REQUIRED FOREST RESOURCE POINT PROTECTION (25%) = 553 POINTS
 PROVIDED FOREST RESOURCE POINT PROTECTION = 464 POINTS
 FOREST RESOURCE PROTECTION POINTS, EXCESS STEEP SLOPE PROTECTION = 104 PTS
 TOTAL FOREST RESOURCE PROTECTED POINTS = 568 POINTS

RESOURCE CALCULATION NOTES

PROJECT IS 100% CATEGORY 1 AFFORDABLE HOUSING, THEREFORE RESOURCE CALCULATIONS UTILIZE THE FOLLOWING AFFORDABLE HOUSING INCENTIVES:
 1. AFFORDABLE INCENTIVE #1 RESOURCE PROTECTION STANDARDS
 • COUNT TREES ON STEEP SLOPES
 • REDUCE FOREST RESOURCE PROTECTION BY 50% PER TABLE 10-30.20.040.B
 RESIDENTIAL FOREST RESOURCE CALCULATION REQUIREMENT BASED ON THE ABOVE INCENTIVES:
 • 50% X [1-0.5 (INCENTIVE 1)] = 25% FOREST RESOURCE REQUIRED PROTECTION
 FOREST RESOURCE POINT CALCULATIONS ARE BASED UPON THE POST-THINNED CONDITION RESULTING FROM CITY OF FLAGSTAFF APPROVED FOREST STEWARDSHIP PLAN FOR THE PROJECT PROPERTY WHICH ALIGNS WITH THE CITY OF FLAGSTAFF'S FOREST MANAGEMENT PLAN



NO.	DATE	ITEM

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LONE TREE RANCH
 PRELIMINARY NATURAL
 RESOURCE PROTECTION PLAN

Preliminary
 Not for Construction

DESIGNED BY: WLB
 DRAWN BY: KK
 CHECK BY: BJ
 DATE: SEPTEMBER 2025

PROJECT NO.
 317011B002
 SHEET
C2.0