

CITY PLANNING BOARD

BOARD AGENDA

Planning Board Regular Meeting - Tuesday, April 8, 2014 - 6:00 p.m.

City Hall - City Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **CERTIFICATION OF ALTERNATE MEMBER VOTING STATUS**
5. **APPROVAL OF MINUTES**
 - a. Planning Board Minutes 3/11/2014
6. **NEW BUSINESS**
 - a. Request for Authorization of Similar Use - Recreational Vehicle (RV) Sales & Service in the C-6, Marine Commercial Zoning District.
 - b. Conditional Use - Sunrise Marine & RV - Approval to add Recreational Vehicle Sales & Service to the former St. Lucie Outboard Marine site located at 657 N 2nd Street.
 - c. Approval of a Special Exception to expand a nonconforming structure by 542.5 sq. ft..
7. **BOARD COMMENTS**
8. **ADJOURNMENT**

Any person seeking to appeal the decision of the Planning Board of the City of Fort Pierce, Florida, as to the foregoing, is advised that a record of the proceedings is required in any such appeal, and any such person may need to ensure that a verbatim record of proceedings is made including the testimony and evidence upon which the appeal is to be based.

Persons who require special accommodations under the Americans with Disabilities Act (ADA)

should contact Alicia Rosenthal at (772) 467-3729, at least five (5) days prior to the meeting. Persons who are hearing or speech impaired may use the Florida Relay System by dialing 711.

Planning Board

5. a.

Meeting Date: 04/08/2014

Re: Planning Board Minutes 3/11/2014

Information

SUBJECT:

Planning Board Minutes 3/11/2014

Attachments

Planning Board Minutes 3/11/2014

Form Review

Inbox

City Manager

Form Started By: Alicia Rosenthal

Final Approval Date: 04/02/2014

Reviewed By

Robert Bradshaw

Date

04/02/2014 11:56 AM

Started On: 04/02/2014 08:51 AM

DRAFT

Planning Board Minutes

OF THE REGULAR MEETING OF THE FORT PIERCE CITY PLANNING BOARD HELD ON TUESDAY, MARCH 11, 2014, IN FORT PIERCE CITY HALL, COMMISSION CHAMBERS, 100 NORTH US HIGHWAY 1, FORT PIERCE, FLORIDA.

1. CALL TO ORDER

Mr. Weaver called the meeting to order.

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

Present: Phyllis Castro; Tim O'Connell; Eduardo Mujica; Robert Poitier; Steve Weaver; Eloise Cummings; John George; Marcia Baker; Bob Burdge; Brian Paul; Mike Dahan

Absent: Erica Ganzi

Staff Present: Clarissa Davis, Planner
Rebecca Grohall, Planning Manager
James Walker, Assistant City Attorney
Alicia Rosenthal, Administrative Assistant

4. CERTIFICATION OF ALTERNATE MEMBER VOTING STATUS

Mr. Weaver participated in discussions and voting.

5. APPROVAL OF MINUTES

a. February 11, 2014 Meeting

Motion was made by John George, seconded by Robert Poitier to approve minutes for the February 11, 2014 meeting.

AYE: Phyllis Castro, Tim O'Connell, Eduardo Mujica, Robert Poitier, Eloise Cummings, John George, Marcia Baker, Bob Burdge, Brian Paul, Steve Weaver

Passed

6. NEW BUSINESS

a. Preliminary Plat - East of Selvitz Road, directly north of Devine Road - Selvitz Crossing Subdivision - A request for approval of a preliminary plat for future Selvitz Crossing Subdivision. The owner and applicant is Midway St. Lucie, LLC, represented by Brian Nolan of Lucido & Associates.

Ms. Davis gave an overview of the application. Brian Nolan, Project Manager from Lucido & Associates, Butch Terpening, President of Culpepper & Terpening, and Ron Harris, Surveyor for St. Lucie County commented. Ms. Baker inquired about lot size, previously approved and

proximity to Waste Pro. Ms. Davis responded. Mr. Burdge inquired about the TRC comments and staff addressed those questions. Mr. Weaver inquired of the broader sense of this project for the community. Ms. Baker asked about the real estate listings for site, flood plain and a market study. Mr. Terpening, speaking for the applicant, answered questions and Mr. Nolan responded. Mr. Weaver stated his concern over the number of trucks. Mr. Terpening addressed his question as well as the need for dirt and profit from water farming. Ms. Baker asked how much of the property can be built on and who will maintain the lake. Mr. Nolan stated the final plat would indicate lake maintenance responsibility. Ms. Castro inquired about the correct property appraiser status. Ms. Baker states her objection to the project.

Motion was made by John George, seconded by Robert Poitier to approve preliminary plat for future Selvitz Crossing Subdivision.

AYE: Tim O'Connell, Robert Poitier, Steve Weaver, Eloise Cummings, John George, Brian Paul

NAY: Phyllis Castro, Eduardo Mujica, Marcia Baker, Bob Burdge

Passed

7. ELECTION OF CHAIR AND VICE-CHAIR

Motion was made by John George, seconded by Marcia Baker to approve the election of Bob Burdge for Chair.

AYE: Phyllis Castro, Tim O'Connell, Eduardo Mujica, Robert Poitier, Eloise Cummings, John George, Marcia Baker, Bob Burdge, Brian Paul, Steve Weaver

Passed

Motion was made by Robert Poitier, seconded by John George to approve the election of Marcia Baker for Vice-Chair.

AYE: Phyllis Castro, Tim O'Connell, Eduardo Mujica, Robert Poitier, Steve Weaver, Eloise Cummings, John George, Marcia Baker, Bob Burdge, Brian Paul

Passed

Motion was made by Eloise Cummings, seconded by Marcia Baker to approve the election of Erica Ganzi for Vice-Chair.

AYE: Tim O'Connell, Eloise Cummings, Marcia Baker, Brian Paul

NAY: Phyllis Castro, Eduardo Mujica, Robert Poitier, John George, Bob Burdge, Steve Weaver

Failed

Motion was made by Phyllis Castro, seconded by Marcia Baker to approve the election of Erica Ganzi for Secretary.

AYE: Phyllis Castro, Tim O'Connell, Eduardo Mujica, Robert Poitier, Steve Weaver, Eloise Cummings, John George, Marcia Baker, Bob Burdge, Brian Paul

Passed

8. BOARD COMMENTS

Discussion on mobile food vendors, Sign Ordinance, LDR's, and Interlocal Agreement for Dan McCarty track.

9. ADJOURNMENT

Planning Board

6. a.

Meeting Date: 04/08/2014

Information

REQUESTED ACTION

Request for Authorization of Similar Use - Recreational Vehicle (RV) Sales & Service in the C-6, Marine Commercial Zoning District.

LOCATION

C-6, Marine Commercial Zoning District

RESPONSIBLE STAFF

Kori Benton, Historic Preservation Officer

RECOMMENDATION

None.

Attachments

[Staff Report](#)

[Map - C-6. Marine Commercial Zone](#)

[Use Table Excerpts](#)

[Request Letter](#)

Form Review

Form Started By: Kori Benton

Started On: 04/01/2014 08:52 AM

Final Approval Date: 04/01/2014



CITY OF FORT PIERCE

PLANNING DEPARTMENT

REBECCA GROHALL, AICP, PLANNING MANAGER
COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

TO: Members of the City of Fort Pierce Planning Board

THRU: Rebecca Grohall, AICP, Planning Manager

FROM: Kori Benton, Historic Preservation Officer

RE: **Request for Authorization of Similar Use
Recreational Vehicle (RV) Sales & Service
C-6, Marine Commercial Zoning District**

DATE: March 31, 2014

STAFF REPORT

Applicant Keith Danks
1109 Fernandina St.
Fort Pierce FL 34949

Requested Action: Authorization of Similar Use

Location: C-6, Marine Commercial Zoning District

Staff Analysis:

In accordance with Section 22-7 of the City Code, the applicant is requesting that the Planning Board authorize the proposed use of Recreational Vehicle (RV) sales and service establishments within the C-6, Marine Commercial zoning district as this particular use is not currently identified within the City Code.

Section 22-7 of the City Code specifies the following:

The city planning board may permit in a particular zone a use not listed in this chapter, provided the use is of the same general type as the uses permitted there by this chapter. However, this section does not authorize the inclusion, in a zone where it is not listed, of a use specifically listed in another zone, or one which is of the same general type and is similar to a use specifically listed in another zone.

The applicant is seeking consideration of a conditional use application which proposes to utilize the former St. Lucie Outboard Marine site, located at 657 N 2nd Street, as a commercial site offering the sale and service of boats and recreational vehicles/campers.

The applicant has asserted that the use is most similar to boat sales establishments which are permitted in the C-3, General Commercial, I-1, Light Industrial, I-3, Heavy Industrial, and A-2, Aquatic Development zones, and are eligible for conditional use consideration in the C-4, Central Commercial, C-5, Tourist Commercial, C-6, Marine Commercial, and CP, Commercial Parkway zones (see applicant's narrative & excerpts of City Code attached).

Pursuant to Section 22-33.1 (a) the purpose of the C-6, Marine Commercial zone states that "The intent of this district is primarily to provide suitable locations for compatible marine commercial and tourist-related facilities. In part, this means that areas in the zone should be in close proximity to an arterial or collector street and should also be located in close proximity to the waterfront. The requirements in this zone recognize that certain marine oriented commercial activities can be compatible with activities that are more tourist-related and when combined can create a special environment. The uses laid out in this zone are not meant to be as inclusive as those found in a general commercial zone, but rather should be reserved for uses that are dependent on or benefit from proximity to the water."

The Planning Board should evaluate and recommend to the City Commission whether or not it is appropriate for recreational vehicle sales and service to be authorized as similar to boat sales, identifying the use as a conditional use permitted in the C-6, Marine Commercial zone. This use would further be permitted if the City Commission, after a public hearing, determines that the location and development plans comply with application standards and will not violate basic use standards specified for the zoning district, other applicable use standards, additional zoning ordinance provisions and other city laws.

The consideration of this proposed similar use should include, but not be limited to, consideration of the following:

- 1) The goals, objectives, and policies of the comprehensive plan;
- 2) The effects upon public facilities presented by the proposed similar uses; and
- 3) Whether the use is deemed to be dependent on or benefit from proximity to the water.

Staff Comments:

The requested authorization of similar use presents a retail sales establishment engaged in the sale of Recreational Vehicles (RV), which are generally defined as motor vehicles or trailer equipped vessels with living space and amenities typically found in a home. The size and scale of typical recreational vehicles for use by consumers is consistent with boats for sale in an upland setting. The average length of mid-range RVs stands between 18 to 25 ft., while approximately 37% of recreational boats owned in the United States (U.S.) are between 16 to 25 ft., as reported by the Recreational Vehicle Industry Association (RVIA) and 2011 National Recreational Boating Survey (United States Coast Guard). Furthermore, the average size of recreational power and pontoon boats reported in the South Region of the U.S. is 16 to 25ft.

The requested authorization of similar use would enable the Planning Board and City Commission to consider the conditional use request of the applicant and representative, and subsequent applications for conditional use for RV sales in the C-6, Marine Commercial Zone. The decision rendered upon the request for authorization of similar use is independent of the Board's consideration of a request for conditional use, whether to allow, when desirable, a use that would not be appropriate generally or without restriction throughout the particular zoning district, but which, if controlled as to number, area, location or relation to the neighborhood, would not adversely affect the public health, safety, comfort, good order, appearance, convenience and the general welfare.

C-6, Marine Commercial Zoning District



ZONING DISTRICT	E1	E2	E3	R1	R2	R3	R4	R4A	R5	C1	C2	C3	C4	C5	C6	CP	I1	I2	I3	OS1	OS2	A1	A2
-Adult Day Care Center	-	-	-	-	C	C	C	C	C	C	C	C	-	C	-	-	-	-	-	-	-	-	-
-Day Care Center	-	-	-	-	C	C	C	C	C	C	C	C	-	C	-	-	-	-	-	-	-	-	-
-Child Care Facility	-	-	-	-	C	C	C	C	C	C	C	C	-	C	-	-	-	-	-	-	-	-	-
-Family Day Care Home	P	P	P	P	P	P	P	P	P	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Educational Facilities																							
-College or University	-	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	-	-	-	-
-Elementary, Middle or High School - Public	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	-	-	-	-	-	-	-
-Elementary, Middle or High School - Private	-	C	C	C	C	C	C	C	C	-	-	C	-	-	-	-	-	-	-	-	-	-	-
-Marine Research/Education Facilities	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	-	C	-
Government Facilities (except as noted below)																							
-Post Office	-	-	-	-	-	-	-	-	-	C	C	P	P	C	-	C	-	-	-	-	-	C	C
-Safety Service	C	C	C	C	C	C	C	C	C	P	P	P	P	P	P	P	P	P	P	-	-	C	C
Medical Facilities (except as noted below)																							
-Hospital	-	-	-	-	C	C	C	-	C	C	-	C	C	-	-	-	-	-	-	-	-	-	-
-Nursing Home	-	-	-	-	C	C	C	-	C	C	-	C	C	-	-	-	-	-	-	-	-	-	-
Park and Open Space (except as noted below)																							
-Cemetery/Columbarium/Mausoleum	C	C	C	C	C	C	-	-	C	C	C	C	-	-	-	-	-	-	-	C	-	-	-
-Country Club/Golf Course	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	-	-	-	C	-	-	-
-Game and Wildlife Management Preserves	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-
-Water Dependent Recreation Facilities	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	-	C	C
Passenger Terminal																							
-Airport/Heliport	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	C	C	-	-	-	-
-Rail/Bus Terminal	-	-	-	-	-	-	-	-	-	C	C	C	C	-	C	C	C	C	C	-	-	-	-
-Bus Shelter	C	C	C	C	C	C	P	P	P	P	P	P	P	P	P	P	P	P	P	-	-	-	-
-Taxi Terminal	-	-	-	-	-	-	-	-	-	C	C	C	C	-	C	C	C	C	C	-	-	-	-
Religious Institution																							
Social Service Institution (except as noted below)																							
-Halfway Houses	-	-	-	-	-	C	C	C	C	C	-	C	C	-	-	-	C	-	-	-	-	-	-
Utilities																							
-Minor, other	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	P	C	P	C	C	C	C
-Major	-	-	-	-	-	-	-	-	-	-	-	C	C	C	C	C	C	C	P	C	C	C	C
-Utility Cabinets, Above Ground	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	C	C	C	C
COMMERCIAL																							
Eating and Drinking Establishments																							
-Brew Pub	-	-	-	-	-	-	-	-	C	P	C	P	P	P	P	C	C	C	-	-	-	-	-
-Coffee Shop	-	-	-	-	-	-	C	-	C	C	P	P	P	P	P	C	C	C	-	-	-	-	-
-Neighborhood Bistro	-	-	-	-	-	-	-	-	C	C	C	P	P	P	P	C	C	C	-	-	-	-	-
-Neighborhood Café	-	-	-	-	-	-	-	-	C	C	C	P	P	P	P	C	C	C	-	-	-	-	-
-Restaurants, Fast Food	-	-	-	-	-	-	-	-	C	-	C	P	P	P	P	C	C	C	-	-	-	-	-
-Restaurant and Bar	-	-	-	-	-	-	-	-	C	C	C	P	P	P	P	C	C	C	-	C	-	-	C
-Wine/Cigar Bar	-	-	-	-	-	-	-	-	C	C	C	P	P	P	P	C	C	C	-	-	-	-	-
Entertainment, Indoor (except as noted below)																							
-Adult Establishment	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	-	-	-	-	-	-	-	-
-Arcade Amusement Center	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-	-	-	-	-	-	-	-	-
-Bar or Nightclub	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	-	-	-	-	-	-	-	-
-Theater	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	-	-	-	-	-	-	-	-
Entertainment, Outdoor (except as noted below)																							
-Batting Cages, Driving Ranges	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	-	-	-	-	-	-	-	-
-Stables or Equestrian Facilities	C	C	C	-	-	-	-	-	-	-	-	P	-	P	-	-	-	-	-	-	-	-	-
-Stadium or Arena	-	-	-	-	-	-	-	-	-	-	-	C	-	C	C	-	C	C	-	-	-	-	-
Marine-Related Commercial (except as noted below)																							
-Boat and Marine Equipment Sales	-	-	-	-	-	-	-	-	-	-	-	P	C	C	P	-	-	C	-	-	-	-	-
-Marina/Boat Livery	-	-	-	-	-	-	-	-	-	C	-	C	C	C	C	-	-	P	-	C	-	-	C
Office																							
-Administrative, Professional, General, Medical Office	-	-	-	-	-	-	C	C	C	P	P	P	P	P	P	P	C	C	-	-	-	-	-
-Day Labor Employment Agency	-	-	-	-	-	-	-	-	-	P	C	P	P	-	-	P	-	-	-	-	-	-	-
-Medical and Dental Clinic	-	-	-	-	-	-	-	-	-	P	C	P	P	C	-	P	-	C	-	-	-	-	-
-Television and Radio Studios	-	-	-	-	-	-	-	-	-	P	P	P	P	P	C	P	-	C	-	-	-	-	-

ZONING DISTRICT	E1	E2	E3	R1	R2	R3	R4	R4A	R5	C1	C2	C3	C4	C5	C6	CP	I1	I2	I3	OS1	OS2	A1	A2
Overnight Accommodations																							
-Bed & Breakfast	-	-	-	-	-	-	C	C	C	-	P	P	P	P	-	-	-	-	-	-	-	-	-
-Dwelling Rental	-	-	-	C	C	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
-Hotel/Motel	-	-	-	-	-	-	-	-	-	-	-	P	P	P	P	C	-	-	-	-	-	-	-
-Recreational Vehicle Park	-	-	-	-	-	-	-	-	-	-	-	C	-	C	-	-	-	-	-	-	-	-	-
-Resort Hotel	-	-	-	-	-	-	-	-	-	-	-	P	P	P	P	-	-	-	-	-	-	-	-
Parking, Commercial	-	-	-	-	-	-	-	C	-	C	-	P	C	C	-	C	-	C	-	-	-	-	-
Retail Sales & Service, Sales-Oriented (except as noted below)	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	C	-	-	-	-	-	-	-
-Art Gallery	-	-	-	-	-	-	-	-	-	C	C	P	P	P	-	C	-	-	-	-	-	-	-
-Farmers Market or Farm Stand	P	-	-	-	-	-	-	-	-	-	-	P	P	P	-	C	C	-	-	-	-	-	-
-Grocery or Liquor Store	-	-	-	-	-	-	C	-	C	-	P	P	P	C	-	C	-	-	-	-	-	-	-
-Neighborhood Commercial Sale	-	-	-	-	C	C	P	P	P	-	P	P	P	C	-	C	-	-	-	-	-	-	-
-Office Supplies & Electronics	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	C	-	-	-	-	-	-	-
-Pet Stores	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	C	-	-	-	-	-	-	-
Retail Sales & Service, Personal-Service Oriented (except as noted below)	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	C	-	-	-	-	-	-	-
-Art Studio	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	C	-	-	-	-	-	-	-
-Animal Care Facilities & Service	-	-	-	-	-	-	-	-	-	-	-	C	-	P	-	C	-	-	-	-	-	-	-
-Animal Grooming Services	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	C	-	-	-	-	-	-	-
-Check Cashing/Loan Service	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	C	-	-	-	-	-	-	-
-Educational Service Establishments	-	-	-	-	-	-	-	-	C	C	C	P	P	C	P	P	P	C	C	-	-	-	-
-Laundry & Dry Cleaners Pick-Up	-	-	-	-	-	-	C	C	C	C	P	P	P	P	-	C	-	-	-	-	-	-	-
-Laundromat	-	-	-	-	-	-	C	C	C	C	P	P	P	C	-	C	-	-	-	-	-	-	-
-Mortuaries or Funeral Homes	-	-	-	-	-	-	-	-	-	-	-	P	P	-	-	C	-	-	-	-	-	-	-
-Neighborhood Commercial Services	-	-	-	-	C	C	P	P	P	C	P	P	P	P	-	C	-	-	-	-	-	-	-
-Pawn Shop	-	-	-	-	-	-	-	-	-	-	-	P	P	C	-	C	-	-	-	-	-	-	-
-Personal Improvement Service	-	-	-	-	-	-	C	C	C	C	-	P	P	P	-	C	-	-	-	-	-	-	-
-Veterinary (Without Outdoor Runs)	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	C	-	-	-	-	-	-	-
Retail Sales & Service, Repair-Oriented	-	-	-	-	-	-	-	P	-	C	-	P	P	P	-	P	-	-	-	-	-	-	-
Self-Service Storage	-	-	-	-	-	-	-	-	-	-	-	C	-	C	C	-	P	-	P	-	-	-	-
Vehicle Sales & Service																							
-Automobile Rentals	-	-	-	-	-	-	-	-	-	-	-	P	C	C	C	C	P	-	P	-	-	-	-
-Automobile Sales	-	-	-	-	-	-	-	-	-	-	-	P	C	C	C	C	P	-	P	-	-	-	-
-Boat Rentals	-	-	-	-	-	-	-	-	-	-	-	P	C	P	C	C	P	-	P	-	-	C	P
-Boat Sales	-	-	-	-	-	-	-	-	-	-	-	P	C	C	C	C	P	-	P	-	-	-	P
-Fueling Station	-	-	-	-	-	-	-	-	-	C	C	P	C	C	-	C	-	P	-	-	-	-	-
-Travel Plaza	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	C	-	-	-	-	-	-	-
-Truck Stop	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	C	-	-	-	-	-	-	-
-Vehicle Repair, General	-	-	-	-	-	-	-	-	-	-	-	C	C	-	-	C	-	-	-	-	-	-	-
-Vehicle Repair, Limited	-	-	-	-	-	-	-	-	-	-	-	P	C	-	-	P	-	-	-	-	-	-	-
-Vehicle Storage	-	-	-	-	-	-	-	-	-	-	-	C	-	-	C	-	P	C	P	-	-	-	-
INDUSTRIAL																							
Artisan	-	-	-	-	-	-	-	-	-	-	-	C	C	-	-	P	P	-	P	-	-	-	-
-Cabinet Shops, Woodworking	-	-	-	-	-	-	-	-	-	-	-	C	C	-	C	P	P	-	P	-	-	-	-
Light Industrial Service (except as noted below)	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-	P	P	-	P	-	-	-	-
-Catering Facility, Large-Scale	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-	P	P	-	P	-	-	-	-
-Crematorium	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-	-	-	-	-	-	-	-	-
-Building Maintenance Facilities And Services	-	-	-	-	-	-	-	-	-	-	-	C	-	-	C	-	-	-	-	-	-	-	-
-Contractors/Others Performing Services Off-Site	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-	P	P	-	P	-	-	-	-
-Microbrewery	-	-	-	-	-	-	-	-	-	C	C	C	C	C	C	C	-	-	-	-	-	-	-
-Research Service	-	-	-	-	-	-	-	-	-	-	-	C	-	-	P	P	P	-	P	-	-	-	-
Marine-Related Industrial	-	-	-	-	-	-	-	-	-	-	-	C	-	-	P	-	C	P	P	-	-	-	P
Warehouse & Freight (except as noted below)	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-	P	P	C	P	-	-	-	-
-Parcel Service	-	-	-	-	-	-	-	-	-	-	-	P	P	-	-	P	P	C	P	-	-	-	-
Waste-Related Use (except as noted below)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	C	C	-	-	-	-
-Solid Waste Separation, Transfer Station	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	C	C	-	-	-	-
-Recycling Center	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	C	C	C	-	-	-
-Wrecking or Salvage Yard	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	C	C	-	-	-	-

ZONING DISTRICT	E1	E2	E3	R1	R2	R3	R4	R4A	R5	C1	C2	C3	C4	C5	C6	CP	I1	I2	I3	OS1	OS2	A1	A2
Wholesale Trade	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-	-	P	C	P	-	-	-	-
Heavy Industrial (except as noted below)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	-
-Heavy Equipment Sales & Rentals	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	C	P	-	-	-	-
-Processing of Food & Related Products	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	-	C	P	P	-	-	-	-
OTHER																							
Aquaculture Facilities	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-	C	C
Community Gardens	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	-	-
Dock/Moorage Facility (except as noted below)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	C
-Docks for Single Family Homes	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P
-Docks for Single Family Homes on canals within Surfside or Jennings Cove	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	C
Navigational Aids	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P
Telecommunication Facility																							
-Antenna Support Structure	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C
-Antenna (on existing structure)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P

SECTION 2. Sections 22-23(b) and 22-23(c) are hereby amended so that the same shall read as follows:

Sec. 22-23. - Single-Family Estate Density zone (E-1).

- (a) *Purpose.* This classification is intended to provide for areas of single-family dwellings with an average net density of approximately one unit per acre.
- ~~(b) *Semi-restricted uses permitted.* The following uses and their accessory uses are permitted in an E-1 zone if the uses will not violate standards referred to in subsections (d) and (e) of this section, additional zoning ordinance provisions and other city laws:~~
 - ~~(1) Single-family dwellings, except mobile homes.~~
 - ~~(2) Home occupations which satisfy requirements in section 22-63~~
 - ~~(3) Temporary uses which fulfill provisions in section 22-65~~
 - ~~(4) Farmstand sales establishments.~~
- ~~(c) *Conditional use permitted.* The following uses and their accessory uses are permitted in an E-1 zone, if the city commission, after a public hearing, determines that the location and development plans comply with applicable standards referred to in subsections (d) and (e) of this section, additional zoning ordinance provisions and other city laws:~~
 - ~~(1) Churches, excluding schools, except those that only provide religious instruction.~~
 - ~~(2) Park or recreation areas.~~
 - ~~(3) Cemeteries.~~
 - ~~(4) Public utility structures, such as utility substations.~~
- ~~(d) *Basic use standards.* Uses in an E-1 zone must meet the requirements of this section. More restrictive requirements, set forth in accordance with other provisions of this chapter, must be satisfied by some conditional uses.~~
 - (1) *Lot size.*
 - a. The minimum lot area for single-family dwellings shall be thirty thousand (30,000) square feet.
 - b. The minimum lot width shall be one hundred (100) feet.

March 19, 2014

City Of Fort Pierce Planning
Rebecca Grohall - Planning Manager
Kori Benton – Planning Specialist

Request for Authorization of a Similar Use

RE: Conditional Use Application for 657 N. 2nd Street

Dear Ms. Grohall, Mr. Benton,

On April 8th 2014, the Fort Pierce Planning Board will consider Sunrise Marine and RV's Conditional Use application for 657 N. 2nd Street. Previously, the property had been licensed and authorized for Boat Sales under the ownership of St. Lucie Outboard Marine. The request before the Planning Board will be for a recommendation of Approval for the Sales of Recreational Vehicles, in addition to Boat Sales. Since the City of Fort Pierce does not have sales of Recreational Vehicles as a specific use type in any zoning District, staff recommended we approach this via the Similar Use approval procedure.

Section 22-7 of the Fort Pierce Code of Ordinances provides the following parameters for an Authorization request of this type:

Sec. 22-7. Authorization of similar use.

The city planning board may permit in a particular zone a use not listed in this chapter, provided the use is of the same general type as the uses permitted there by this chapter. However, this section does not authorize the inclusion, in a zone where it is not listed, of a use specifically listed in another zone, or one which is of the same general type and is similar to a use specifically listed in another zone.

Sunrise Marine and RV proposes to offer a market driven mix of Boats and Trailers and Recreational Vehicles (Campers and Motorhomes). These two product lines have very common Buyer demographics. Many if not most Recreational Vehicle owners and shoppers own or contemplate owning a boat. Many Boat owners and shoppers own or are considering buying an RV. Thus, we propose and believe Staff agrees that Recreational Vehicle sales are a similar type of use as Boat Sales. Boats themselves are actually “recreational vehicles” in the broader sense.

Sunrise Marine and RV has worked closely with City Planning staff to propose and refine site improvements and a business plan that complies with all City regulations. Sunrise Marine and RV's substantial investment will serve as a cornerstone of redevelopment and reinvigoration of the Downtown/Port of Fort Pierce area.

We are optimistic you will determine that the Authorization of Similar Use and Conditional Use requests are consistent with City Code, and that the revitalization and beautification of the inactive and overgrown property right in the epicenter of the Downtown/Port of Fort Pierce area will also be beneficial to the surrounding area businesses, and all the Residents of Fort Pierce.

Thank You for your consideration of these matters,

Sunrise Marine and RV

Planning Board

6. b.

Meeting Date: 04/08/2014

Information

REQUESTED ACTION

Conditional Use - Sunrise Marine & RV - Approval to add Recreational Vehicle Sales & Service to the former St. Lucie Outboard Marine site located at 657 N 2nd Street.

LOCATION

657 N 2nd Street

RESPONSIBLE STAFF

Kori Benton, Historic Preservation Officer

RECOMMENDATION

Approval with Conditions

Attachments

[Staff Report](#)

[Site Aerial](#)

[Zoning Map](#)

[Future Land Use Map](#)

[Application](#)

[TRC Review](#)

[Site Plan & Floor Plan](#)

Form Review

Form Started By: Kori Benton

Started On: 04/01/2014 03:32 PM

Final Approval Date: 04/02/2014



CITY OF FORT PIERCE

PLANNING DEPARTMENT

REBECCA GROHALL, AICP, PLANNING MANAGER
COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

TO: Members of the City of Fort Pierce Planning Board

THROUGH: Rebecca Grohall, AICP, Planning Manager

FROM: Kori Benton, Historic Preservation Officer

RE: **Sunrise Marine & RV**
Conditional Use - Recreational Vehicle (RV) Sales & Service
657 N 2nd Street

DATE: April 1, 2014

STAFF REPORT

Owner: Bancshares Realty LLC (PNC Bank)
PO Box 25999
Shawnee Mission, KS 66225-5999

Applicant: Keith & Cody Danks
1109 Fernandina St.
Fort Pierce, FL 34949

Representative: RealTime Property & Development Services, Inc.
Steven M. Weaver
1615 Thumb Point Drive
Fort Pierce, FL 34949

Requested Action: Approval of a Conditional Use to add Recreational Vehicle Sales & Service to the former St. Lucie Outboard Marine site

Location: 657 N 2nd Street

Parcel ID: 2403-705-0019-000-3

Zoning: C-6, Marine Commercial

Surrounding Zoning:

North	East	South	West
I-1	C-6	C-6	C-3

Future Land Use: MC, Marine Commercial

Parcel Size: 1.78 acres

Staff Analysis:

Proposed Plan

In accordance with Sections 22-7, 22-22, and 22-75 of the City Code, the applicant is requesting the review and approval of a Conditional Use in order to utilize the former St. Lucie Outboard Marine site as a commercial site offering the sale and service of boats and recreational vehicles/campers. The application is being presented with the acknowledgement that action upon the intended conditional use is contingent upon the Authorization of Similar Use of RV Sales & Service in the C-6, Marine Commercial Zone.

Per Section 22-75 of the City Code, when an application is not proposing any new construction associated with the use or where such construction is limited to changes in the interior of an existing building, Site Plan review is not required. Therefore, as the proposed changes are limited interior renovations and landscaping improvements, this application is not subject to Site Plan review.

The existing facility was constructed in 2006 and operated as a boat sale and service establishment until early 2013. The existing structure is approximately 12,400 sq. ft., featuring a showroom, sales offices, book keeping mezzanine, equipment storage area, rigging bay and four service bays. The presented floor plan delineates minor changes to couple sale and service of recreational vehicles/campers to the previously established boat and outboard sales and service operation.

Vehicular access for the property is provided via a two-way driveway on N 2nd Street as well as a one-way service driveway on Avenue H (Fisherman's Wharf). The site features 55 parking spaces, two (2) of which are handicap accessible. The proposed plans incorporate the addition of five (5) short-term bicycle parking spaces adjacent to the existing pedestrian access way from N 2nd Street. The applicant has requested exemption from sidewalk infill requirements pursuant to City Code Section 22-62 (g)(2), as the adjoining sidewalks along the Avenue H and N 2nd Street right-of-ways are scheduled for inclusion in the state funded 2nd Street Improvement Project.

The traffic declaration provided for the proposal indicates the proposed reuse of the facility will have minimal effects on the Average Daily Trips (ADT) based upon the similarity of impacts presented by the previous and propose uses.

Landscaping will be provided per the landscape infill schedule presented in the Site Plan, including the installation of required vegetation for screening and buffering in accordance with Section 22-187 of the City Code.

The presented plan for refuse collection indicates an interim dumpster location adjacent to the southern end of the structure while the applicants seek to resolve a land ownership discrepancy. This issue has risen due to the abandoned Avenue G extension being retained by St. Lucie Outboard during foreclosure proceedings of the site. If the circumstance is resolved, the applicant will revert to utilization of the established dumpster enclosure on site, however if resolution is not achieved, the application will be required to construct a dumpster enclosure at the presented *interim* dumpster location.

C-6, Marine Commercial Zoning District

The site features a zoning designation of C-6, Marine Commercial. The intent of this district is primarily to provide suitable locations for compatible marine commercial and tourist-related facilities. In part, this means that areas in the zone should be in close proximity to an arterial or collector street and should also be located in close proximity to the waterfront. The requirements in this zone recognize that certain marine oriented commercial activities can be compatible with activities that are more tourist-related and when combined can create a special environment. The uses laid out in this zone are not meant to be as inclusive as those found in a general commercial zone, but rather should be reserved for uses that are dependent on or benefit from proximity to the water.

Comprehensive Plan

1.1 Objective:

The City shall adopt and implement the Future Land Use Map to designate future land uses that regulate uses, densities and intensities that enhance its neighborhoods and districts, stimulate tourism and the local economy, and are compatible with its small-town character.

The site features a future land use designation of Marine Commercial (MC). This district is intended to promote commercial and industrial uses with a focus on marine related establishments along the waterfront. Uses allowed within this designation include marine-related light industrial activities and tourist activities, marinas, boat stores/boat repair, restaurants, retail shops, hotels, and offices. Multifamily residences also allowed in this designation. This land use designation allows a maximum density of 15 dwelling units per acre and a maximum FAR of 1.0. Residential uses may comprise up to 20% of the total floor area of the Marine Commercial future land use designation.

The proposed use of the facility to couple boat and RV sales and service is incompletely consistent with the objective of promoting marine related facilities; including boat stores and boat repair within the Marine Commercial district. The presented use, without specific parameters, has the capacity to shift operations from a facility designed with a principle focus of marine commercial to a facility more appropriate for the General Commercial or Boundary Commercial districts.

The proximity of the site to the Port of Fort Pierce and Intracoastal Waterway places further emphasis upon goals and objectives of the City of Fort Pierce to ensure commercial development within this district contributes to redevelopment efforts embraced by the 2002 Port Master Plan. The Planning Board shall consider whether the presented conditional use plan is consistent with the Future Land Use Element of the Comprehensive Plan.

Technical Review

All affected Departments have reviewed the submittals and have approved the proposed Conditional Use based on it meeting the requirements of the City Code.

Staff Recommendation:

Staff recommends that the Planning Board forward a recommendation to the City Commission for **approval** of the Conditional Use with parameters consistent with the intent of the Zoning District to reserve area for uses that are dependent on or benefit from proximity to the water, and the goals,

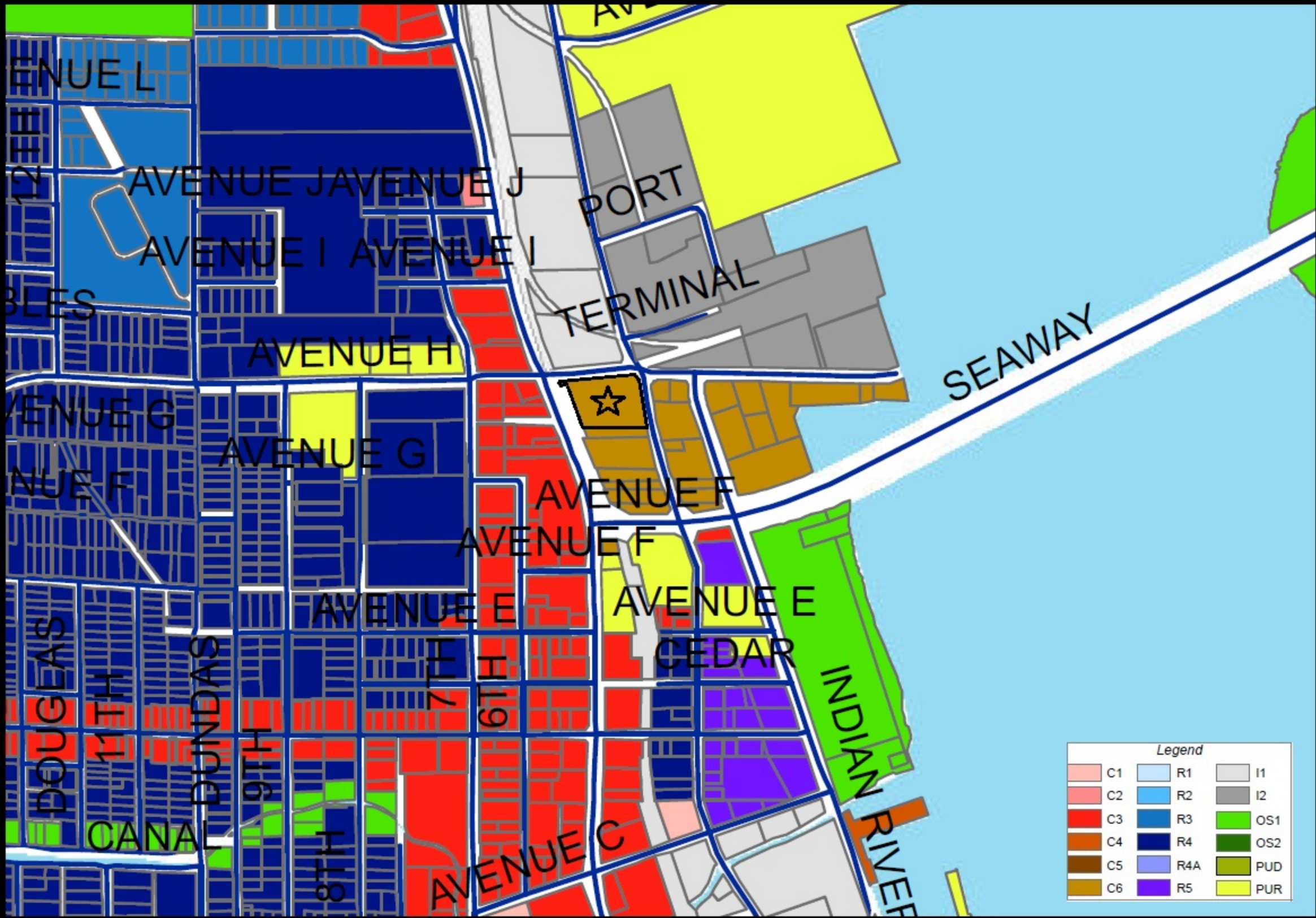
objectives, and policies of the City's Comprehensive Plan which reserve area for marine-related light industrial activities and tourist activities, marinas, boat stores/boat repair and similar marine commercial activities. Furthermore, additional restrictions highlighted seek to place emphasis on compliance with supplementary regulations of the City Code such as parking and landscaping. The conditions recommended by staff are as follows:

- 1) The proposed addition of RV sales and service to the existing facility is achieved in a manner in which the use is accessory to boat sales and service;
- 2) The off-street parking required by City Code Section 22-60 (d) is reserved solely for employees and customer parking; and
- 3) The applicant resolve the property ownership discrepancy of the former Avenue G extension, which requires the interim dumpster location, within 90 days, or construct a new dumpster enclosure on site pursuant to City Code Section 22-187 (11) Screening of refuse collection areas.

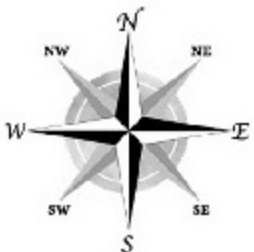


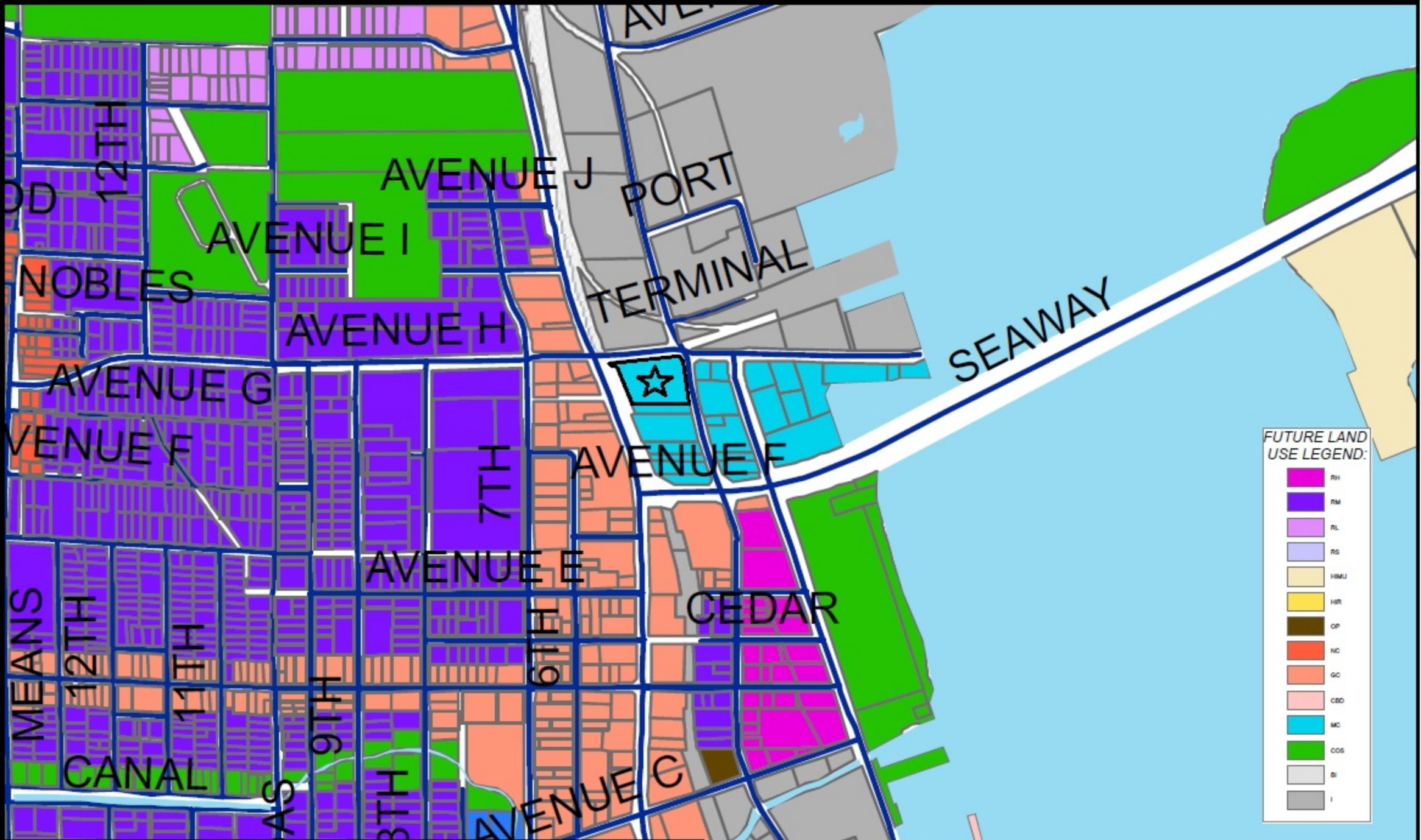
Aerial - 657 N 2nd Street



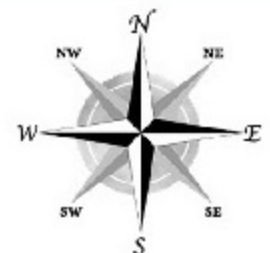


Zoning Map - 657 N 2nd Street





Future Land Use Map - 657 N 2nd St





CITY OF FORT PIERCE

PLANNING DEPARTMENT

DAVID CARLIN, MPA, PLANNING MANAGER
COMPREHENSIVE PLANNING ◊ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ◊ URBAN DESIGN ◊ URBAN FORESTRY ◊ ZONING

Conditional Use - No New Construction

Property address or Location 657 N 2nd Street, Ft Pierce, FL 34950
Parcel ID #(s) 2403-705-0019-000-3
Project description Sunrise Marine & RV

PNC BANK
Property Owner(s)
20 N. Orange Ave Suite 1107
Street Address
Orlando FL 32801
City State Zip
407-648-5522
Phone Number
Email Address

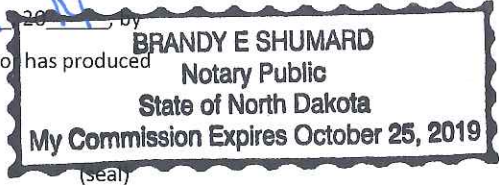
Keith & Cody Danks
Applicant/Representative, Title, Company
1109 Fernandina
Street Address
Fort Pierce, FL 34949
City State Zip
701-775-3325
Phone Number
Keith@equitymgmt.biz
Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

Keith Danks
Property Owner(s) Signature(s)

STATE OF FLORIDA -- North Dakota COUNTY Grand Forks

The foregoing instrument was acknowledged before me this 12 day of March, 2014, by Keith Danks who is personally known to me or has produced Drivers License as identification.



Brandy E. Shumard
Signature of Notary

INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
C-6	MC	1.78	Edgartown	Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date _____ Fees \$100 Control # _____ B. Permit # _____
Intake Planner KB
Planner Assigned KB
Approved By _____ Date _____
Comments _____



CONDITIONAL USE: NO NEW CONSTRUCTION

Submit one original, seven (7) hard copies and one (1) CD of the following for initial submittal, subsequent submittals will be required:

If no site improvements are required:

- As-built survey
- Floor plan of existing building(s)

If parking and drainage improvements are required:

- As-built survey;
- Site plan, to scale, including existing improvements and proposed parking, driveways, landscaping & storm drainage;
- Lighting plan

Complete, notarized application

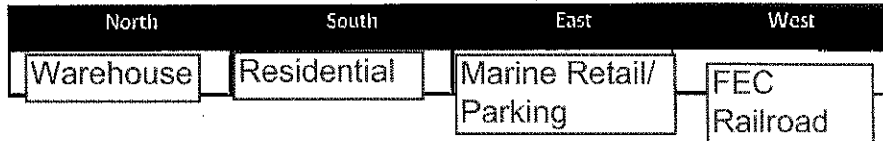
Application Type:

- Conditional Use: No new construction with no site improvements
- Conditional Use: No new construction with parking and drainage improvements

Site Information:

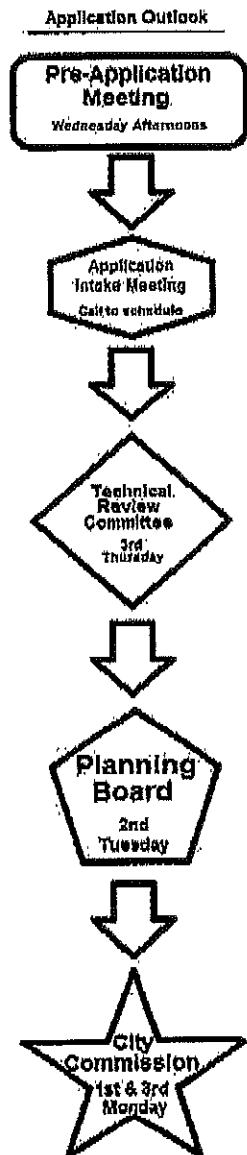
Building Size: 12,350 sq. ft. Parking Spaces: 55 spaces

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)



The application for conditional use with the application for site plan review, when not exempt in accordance with the requirements of section 22-75, shall be reviewed as a unit in accordance with the requirements of section 22-58 except that:

- (1) The city commission shall hold a public hearing in accordance with the provisions of section 22-143 prior to acting on the application for conditional use.
- (2) In the event the city planning board disapproved the application for conditional use or in case of a protest against said application signed by twenty (20) per cent of the owners within five hundred (500) feet of the area included in said application, such application shall not be approved except by a four-fifths vote by the city commission.
- (3) In permitting a conditional use or the modification of an existing conditional use, the city commission may impose, in addition to those standards and requirements expressly specified in this chapter, any condition which it finds to be necessary to protect the best interest of the surrounding property of the city.





February 28, 2014

City of Ft. Pierce
Planning & Zoning Dept.
100 N. US 1
Ft. Pierce, FL 34950

Re: Development of Property Located at 657 N. 2nd Street, Ft. Pierce, FL
34950 (the "Property")

Dear Sir/Madam:

The undersigned ("Owner") is the owner of the Property and has entered into a Real Estate Purchase Contract to sell the Property to Keith D. Danks, Jr. By executing this letter, Owner hereby authorizes Keith D. Danks, Jr. ("Purchaser") to execute, on behalf of Owner, such applications, documents and requests desired by Purchaser to pursue all necessary permits, variances, and approvals necessary to develop the Property for Purchaser's intended purpose.

Please do not hesitate to contact the undersigned if you have any questions. Thank you for your assistance in this matter.

Sincerely,
PNC Bank / Banshares Realty, LLC

By: John Cassie
Senior Vice President
REO Dispositions

PROPERTY RECORD CARD

Bancshares Realty LLC Record: 1 of 1
Property Identification

<<Prev Next >> Spec.Assmnt Taxes Exemptions Permits Home Print

Site Address: 657 N 2nd St
Sec/Town/Range: 03 :35S :40E
Map ID: 24/03S
Zoning: C6

ParcelID: 2403-705-0019-000-3
Account #: 15964
Use Type: AUTO SALS
City/Cnty: Fort Pierce



Ownership and Mailing

Owner: Bancshares Realty LLC
Address: Attn: 943000393
PO Box 25999 Shawnee Mission KS 66225-5999

Legal Description

ASSESSOR'S MAP OF N PART OF FORT PIERCE LOT 13- LESS RD R/W-(1.78 AC - 77,537 SF) (OR 3479-55)

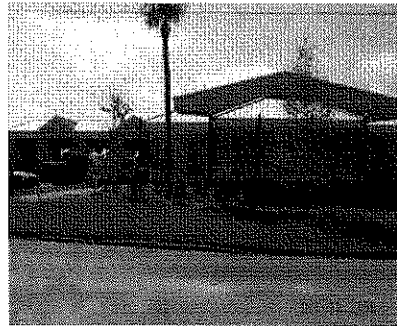
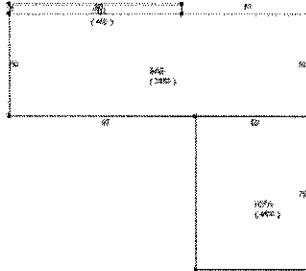
Sales Information

Date	Price	Code	Deed
1/28/2013	100	0312	CT
10/9/2003	440000	02	WD
5/25/2000	310000	02	WD
5/9/1996	100	02	QC
1/23/1989	100	02	QC
1/1/1988	0	01	CV
2/1/1987	0	01	CV

Assessment 2013	2013 Final:	739100
Assessed:	739100	
Ag.Credit:	0	
Exempt:		
Taxable:		
Taxes:	18890.88	

Total Land and Building	Land Value:	434200	Acres: 1.78
Building Value:	304900		
Finished Area:	12350	SqFt	

BUILDING INFORMATION



Exterior Features

View:	-	RoofCover:	ES - Enam Metal	RoofStruct:	ST - Steel Truss
ExtType:	SRCT - SERV CENTER	YearBlt:	2006	Frame:	-
Grade:	Y_C - Commer C	EffYrBlt:	2006	PrimeWall:	BS - CB Stucco
StoryHght:	0010 - 1 Story	No.Units:		SecWall:	-

Interior Features

BedRooms:	0	Electric:	MX - MAXIMUM	PrmIntWall:	UN - UNFINISHED
FullBath:	0	HeatType:	-	AvgHt/Ft:	
1/2Bath:	0	HeatFuel:	-	Prm.Flors:	CG - CONC GRD
%A/C:	0	%Heated:	0	%Sprinkled:	0

Special Features and Yard Items

Type	Y/S	Qty.	Units	Qual.	Cond.	YrBlt.
ASP1 - ASP1 HIGH	Y	1	42460	AV	AV	2006
CNC1 - CONCRET HIGH	Y	1	4036	AV	AV	2006
MEZZ - MEZZANINE	Y	1	1172	AV	AV	2006
LLDK - LOADING DOCK	Y	1	420	AV	AV	2006
WAL3 - CBSWall6"Bik	Y	1	30	AV	AV	2006
FEN6 - CHAINLINK 6'	Y	1	730	AV	AV	2006
LGT1 - SINGLE LIGHT	Y	1	22	AV	AV	2006

Land Information

No.	Use Type	Type	Measure	Depth
1	2700-AUTO SALS	140 -SqFeetRate	77537	
		2		

THIS INFORMATION IS BELIEVED TO BE CORRECT AT THIS TIME BUT IT IS SUBJECT TO CHANGE AND IS NOT WARRANTED.

March 27,2014

I Keith Danks, as authorized by Bancshares Realty LLC, hereby authorize RealTime Property & Development Services, Inc. to make the document submittal on our behalf for the Conditional Use and all related applications relating to 657 North Second Street, Fort Pierce, FL

Cody Danks and or Myself will be available at the Planning Board and City Commission Meetings as the Applicant.

Keith D. Danks for

Keith Danks and Cody Danks

Db a Sunrise Marine and RV

March 19, 2014

City Of Fort Pierce Planning
Rebecca Grohall - Planning Manager
Via Kori Benton – Planning Specialist

**Request for Exemption from Sidewalk Requirements per Section 22-62 of Fort Pierce City Code of Ordinances
RE: Conditional Use Application for 657 N. 2nd Street**

Ms. Grohall,

The sidewalks adjoining the property at 657N. 2nd Street are scheduled for inclusion in the state funded “Second Street Improvements Plan” project, we request confirmation of the exemption to the sidewalk requirements of Chapter 22 of the City Code.

Per Section 22-62(g) of the Fort Pierce Code of Ordinances, the decision of whether the construction of a sidewalk on a parcel is "not practical" shall be made by the planning director can be based on the following criteria:

- (1)The location of the sidewalk would likely create a significant safety hazard; or
- (2)Construction of the sidewalk has already been scheduled by its inclusion in the approved transportation improvement plan, the approved capital improvement plan, a state- or federally-funded project, or a development agreement executed pursuant to F.S. § 163.3221; or**
- (3)The construction of sidewalks is not warranted at the time of development due the presence of safety hazard or environmental limitations off-site that would likely preclude the extension of sidewalks to the affected development site; or
- (4)Whether there is no existing sidewalk to which the proposed sidewalk can connect and it is unlikely that there will be additional development nearby which will require the construction of additional sidewalk(s) (if the parcel terminates at a street intersection and a sidewalk is located across the street, then a sidewalk will be required to connect with the sidewalk located across the street); or
- (5)Whether a sidewalk cannot be constructed without removing a protected tree; or
- (6)Whether a storm water drainage ditch or similar public utility facility prevents the construction of a sidewalk and neither the facility nor the proposed sidewalk can be reasonably relocated or altered to accommodate both the facility and the sidewalk; or
- (7)Whether or not other unique or peculiar circumstances exist on a given parcel or development

Thereby, per 22-62(g)(2), as the sidewalks adjoining the property at 657N. 2nd Street are scheduled for inclusion in the state funded “Second Street Improvements Plan” project, we request confirmation of the exemption to the sidewalk requirements of Chapter 22 of the City Code.

Thank You for your consideration of this matter,

Sunrise Marine and RV

March 19, 2014

City Of Fort Pierce Planning
Rebecca Grohall - Planning Manager
Kori Benton – Planning Specialist

Traffic Impact Statement

RE: Conditional Use Application for 657 N. 2nd Street

Dear Ms. Grohall, Mr. Benton,

We respectfully submit the following for your consideration:

According to the ITE Trip Generation Manual (7th Edition), its apparent that the proposed reuse of the building at 657 North 2nd Street will have minimal effects on the Average Daily Trips (ADT) of the facility based upon the similarity of impacts of the previous and proposed uses. The existing roads and turn lanes should be sufficient to accept the any minor traffic additions, without endangering the public health, safety and welfare.

Thank You for your consideration of this matter,

Sunrise Marine and RV



CITY OF FORT PIERCE

PLANNING DEPARTMENT

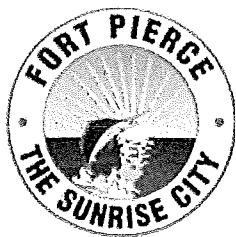
REBECCA GROHALL, AICP, PLANNING MANAGER
COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

TECHNICAL REVIEW COMMITTEE COMMENTS

SUNRISE MARINE & RV – 657 N 2ND STREET

CONDITIONAL USE REQUEST

- 1. FORT PIERCE PLANNING DEPARTMENT**
- 2. FORT PIERCE ENGINEERING DEPARTMENT**
- 3. FORT PIERCE CODE ENFORCEMENT**
- 4. FORT PIERCE POLICE DEPARTMENT**



CITY OF FORT PIERCE

PLANNING DEPARTMENT

COMPREHENSIVE PLANNING ◊ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ◊ URBAN DESIGN ◊ URBAN FORESTRY ◊ ZONING

March 20, 2014

Keith Danks
1109 Fernandina Avenue
Fort Pierce, FL 34949

**Re: Technical Review - Conditional Use
Sunrise Marine & RV - 657 N 2nd Street**

Dear Mr. Danks,

The following comments have been generated by the Planning Department in reviewing your application for Conditional Use at 657 N 2nds Street. The listed comments should be addressed prior to resubmitting the application packets for review by the Fort Pierce Planning Board.

- 1) Please revise the General Notes presented on the submitted Site Plan sheet to include additional project information as presented below:

GENERAL NOTES

PROJECT NAME	Sunrise Marine & RV
LOCATION	657 N 2nd St
LAND USE	MC, Marine Commercial
LAND ZONING	C-6, Marine Commercial
LEGAL DESCRIPTION	INDUSTRIAL SID FROM SE COR LOT 20 RUN W ALG LOT L1 473.42 FT TO POB, TH N WLY 212.72 FT, TH ELY 108 FT, TH N WLY 228 FT, TH WLY 80.83 FT, TH N WLY 49.18 FT TO N W COR LOT 22, TH W ALG SD N L1 TO NW COR LOT 22, TH S ELY 492.82 FT M/L TO SW COR LOT 22, TH ELY TO PCB (1.83 AC) (OR 1514-1029)
PIN	: 2403-705-0020-000-3
BUILDING HEIGHT	
NUMBER OF STORIES	ONE STORY
<u>UTILITIES</u>	
ELECTRICAL	FPUA
WATER & SEWER	FPUA
TELEPHONE	AT&T
SOLID WASTE	FORT PIERCE

- 2) Per Section 22-60 (f) *Bicycle parking*. (1) *Short-term bicycle parking*. Short-term bicycle parking must be provided on-site at 1 space per 10 vehicular spaces. Please incorporate the required short term bicycle parking into the site plan.
- 3) Per City Code Section 22-62(d) Sidewalks are required for the following:

(1) In the public or private right-of-way the full length of any and all streets abutting a parcel of property and parallel to the street.

(2) Safe and efficient sidewalk linkages shall be provided between building entrances and parking areas, and adjacent portions of the development, and adjacent rights-of-way. At least one accessible route in accordance with the Florida Accessibility Code shall connect buildings to parking areas and adjacent rights-of-way.

-A sidewalk linkage is currently provided from the front entrance of the facility to the 2nd Street ROW, however there is no sidewalk present along the 2nd Street or Avenue H rights-of-way. The current redevelopment plans for N 2nd Street and the Port area incorporate the installation of sidewalks; therefore a request for **exemption** may be filed with our department.

4) The presented site plan presents the established refuse collection area upon an abutting parcel, not included in the subject site. A back-up protocol for refuse collection shall be considered, pending the resolution of exclusive ownership of the former Avenue G ROW & the existing dumpster facility.

5) Per Sections 22-187(4) Landscape strips shall be provided between street rights-of-way and vehicular use, building and retention/detention areas. The required landscape strips shall include an average of at least one tree for each three hundred (300) square feet of required landscaped area. The remainder of the required landscaped area shall be completely covered with grass, ground cover or other landscaped treatment and shall additionally contain a screen of landscaping which shall be installed and maintained so as to form a thirty-six-inch or higher continuous, unbroken, solid, visual screen within a maximum of one year after the landscaping takes place, except in clear vision areas required in section 22-53.

-The applicant shall incorporate a plan to bring the site landscaping into compliance, more specifically the infill of shrubs within landscape strips as necessary.

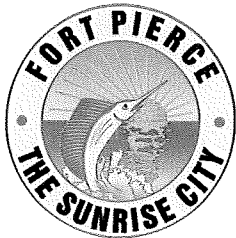
6) The submitted application does not include a traffic statement which encompasses the potential impacts of addition the sale of campers/RVs on the site. The applicant shall coordinate with Planning Staff to render the potential traffic impacts with the additional sales and service classification.

Thank you for your continued coordination with this project. Please provide a written response to each comment in order to expedite the review of any subsequent submittals. Please contact me should you have any questions regarding the project at (772) 467-3739 or by e-mail: kbenton@city-ftpierce.com.

Sincerely,



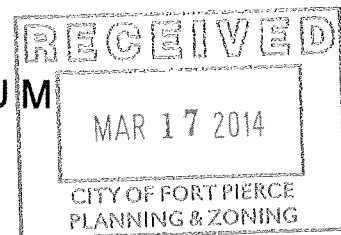
Kori Benton
Historic Preservation Officer



CITY OF FORT PIERCE DEPARTMENT OF ENGINEERING

Roadway Design, Engineering Reviews, Stormwater Utility Management,
Project Management, Traffic Control and Maintenance

INTEROFFICE MEMORANDUM



TO: Kori Benton, Historic Preservation Officer

FROM: John R. Andrews, P.E., City Engineer *JRA*

DATE: March 17, 2014

PROJECT: Sunrise Marine & RV – 657 N. 2nd Street Conditional Use
Project No. 14-04000001

cc:

Attachment(s): None

This is to advise you that we have completed the review of the following documents as received by this office on March 13, 2014:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Application for Conditional Use | <input type="checkbox"/> P/D Drawings & Approved Site Plan |
| <input type="checkbox"/> Test Reports & Related Documents | <input type="checkbox"/> Certificate of Completion |
| <input type="checkbox"/> Record Drawings | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we Recommend; Do Not Recommend

- Approval of Conditional Use Building Permit C/O

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- See attached for advisory comment

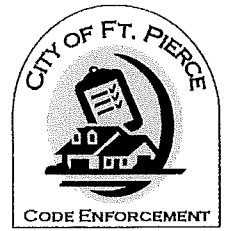
JRA/tst



CITY OF FORT PIERCE

COMMUNITY RESPONSE DIVISIONS
MARGARET M. ARRAIZ, CODE COMPLIANCE MANAGER

Protecting the health, safety and welfare of our community




TO: Kori Benton, Historic Preservation Officer
FROM: Peggy Arraiz, Code Compliance Manager
RE: Technical Review Project: # 14-04000001
657 N 2nd Street – Conditional Use / No new construction
DATE: March 17, 2014

Code Enforcement has reviewed the above project and has the following comments:

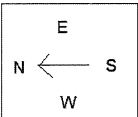
- No comments at this time.

Memo

To: Lt. Curry
From: Officer C. Glenn-Reed 
Date: 3/20/2014
Re: Conditional Use with No New construction - (657 North 2nd Street)

Approved

I see no security or safety concerns with the Conditional Use of 657 North 2nd Street.



Hedge Material
(Cocoplum)

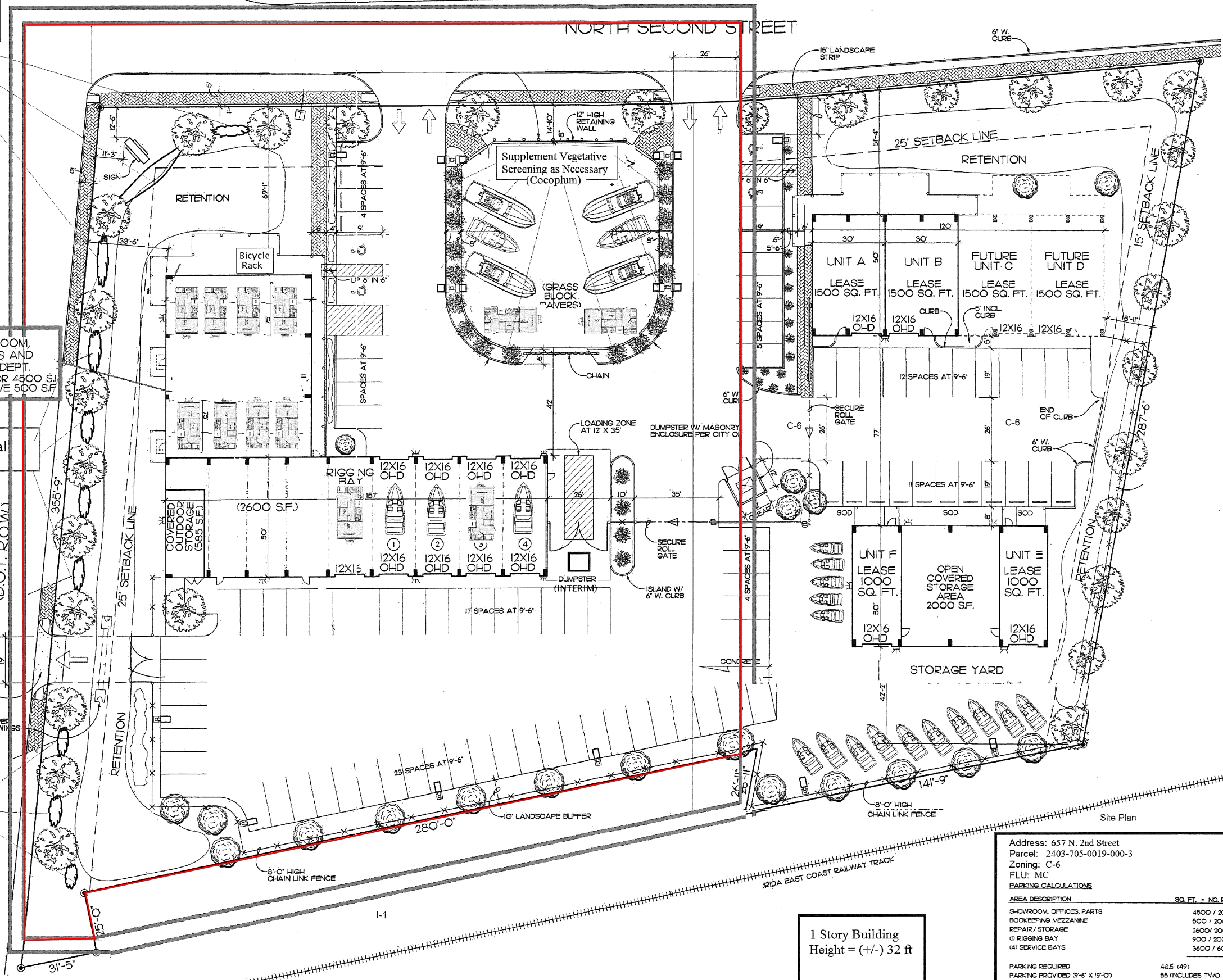
Hedge Material
(Cocoplum)

Hedge Material
(Cocoplum)

SHOWROOM,
OFFICES AND
PARTS DEPT.
GROUND FLOOR 4500 S.F.
OFFICE ABOVE 500 S.F.

AVENUE "H"
(D.O.T. ROW)

NORTH SECOND STREET



1 Story Building
Height = (+/-) 32 ft

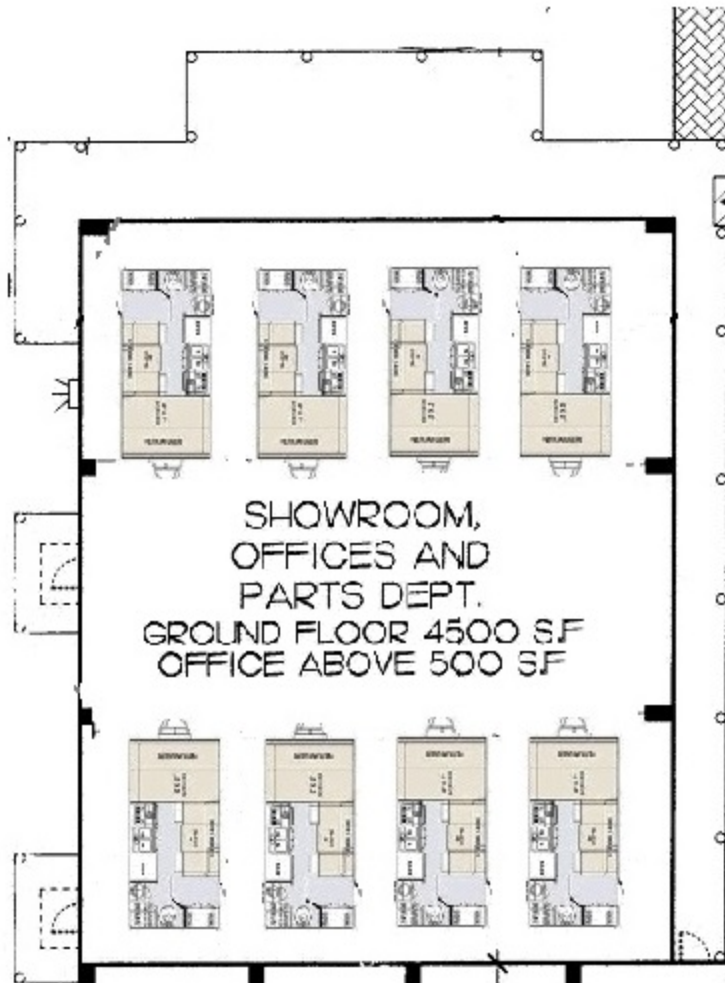
Address: 657 N. 2nd Street
Parcel: 2403-705-0019-000-3
Zoning: C-6
FLU: MC

PARKING CALCULATIONS

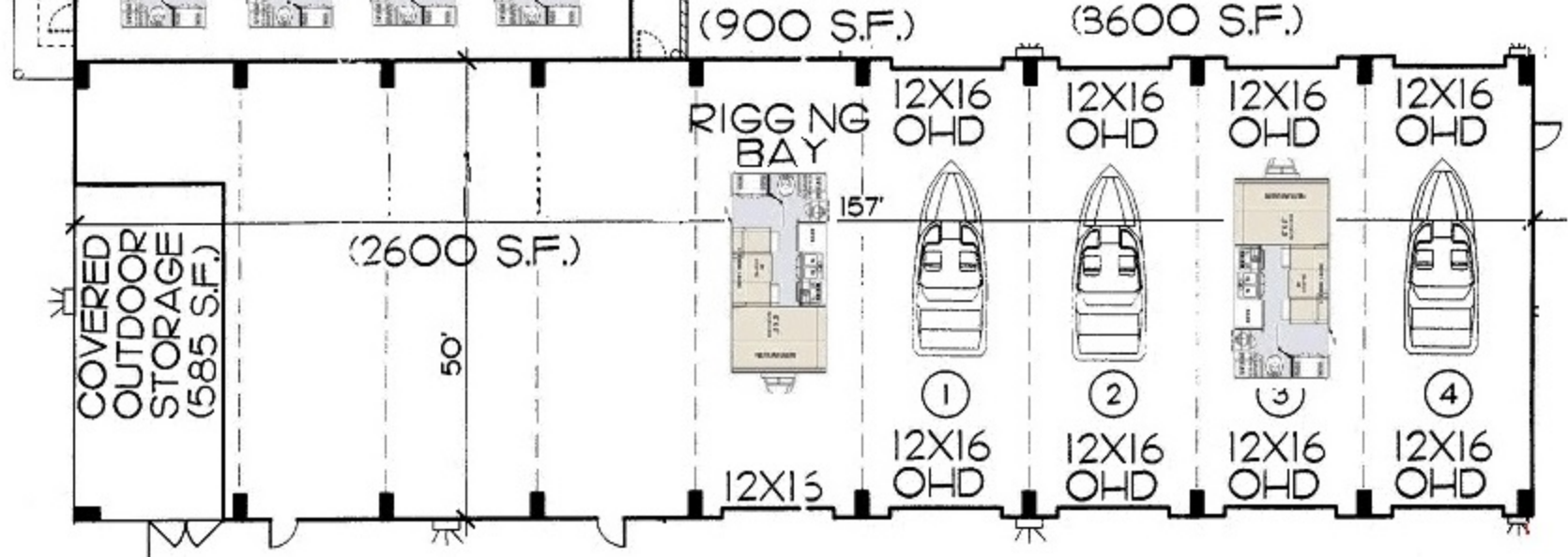
AREA DESCRIPTION	SQ. FT.	NO. REQUIRED
SHOWROOM, OFFICES, PARTS	4500 / 200 + 22.5	
BOOKKEEPING MEZZANINE	500 / 200 + 2.5	
REPAIR / STORAGE	2600 / 200 + 13.0	
(1) RIGGING BAY	900 / 200 + 4.5	
(4) SERVICE BAYS	3600 / 600 + 6.0	
PARKING REQUIRED		48.5 (49)
PARKING PROVIDED (9'-6" X 19'-0")		55 (INCLUDES TWO -I.C. SPACES)

ASSESSOR'S MAP OF N PART OF FORT
Legal Description: PIERCE LOT 13- LLESS RD R/W (OR. 3479-55)

Floor Plan



AREA DESCRIPTION	SQ. FT.
SHOWROOM, OFFICES, PARTS	4500
BOOKEEPING MEZZANINE	500
REPAIR / STORAGE	2600
(1) RIGGING BAY	900
(4) SERVICE BAYS	3600



Planning Board

6. c.

Meeting Date: 04/08/2014

Information

REQUESTED ACTION

Approval of a Special Exception to expand a nonconforming structure by 542.5 sq. ft..

LOCATION

118 Wisteria Avenue

RESPONSIBLE STAFF

Kori Benton, Historic Preservation Officer

RECOMMENDATION

Approval

Attachments

Staff Report

Site Aerial

Application for Special Exception

Survey & Proposed Plans

Form Review

Form Started By: Kori Benton

Started On: 03/24/2014 01:35 PM

Final Approval Date: 04/02/2014



CITY OF FORT PIERCE

PLANNING DEPARTMENT

REBECCA GROHALL, AICP, PLANNING MANAGER
COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

TO: Members of the City of Fort Pierce Planning Board

THROUGH: Rebecca Grohall, AICP, Planning Manager

FROM: Kori Benton, Historic Preservation Officer

RE: **Application for Special Exception**
Addition to a Non-Conforming Structure
118 Wisteria Avenue

DATE: April 1st, 2014

STAFF REPORT

Owner/Applicant: Jose Cruz-Tovar
118 Wisteria Ave
Fort Pierce, FL 34982-3450

Requested Action: Approval of a Special Exception to expand a nonconforming structure by 542.5 sq. ft..

Location: 118 Wisteria Ave

Parcel ID: 2422-504-0063-000-8

Zoning: R-3, Single-family Moderate Density Residential

Surrounding Zoning:

North	East	South	West
R-3	R-3	R-3	R-3

Future Land Use: RM, Medium Density Residential

Parcel Size: .18 acres

Construction Date: 1973

Staff Analysis:

The subject single-family home was constructed in 1973 within the Sunset Park Subdivision. The property owner is requesting to construct a 542.5 sq. ft. addition to the home. The existing structure fails to meet the setback requirement of the western side yard as set forth by the R-3, Single-family Moderate Density Residential, classifying this structure as non-conforming.

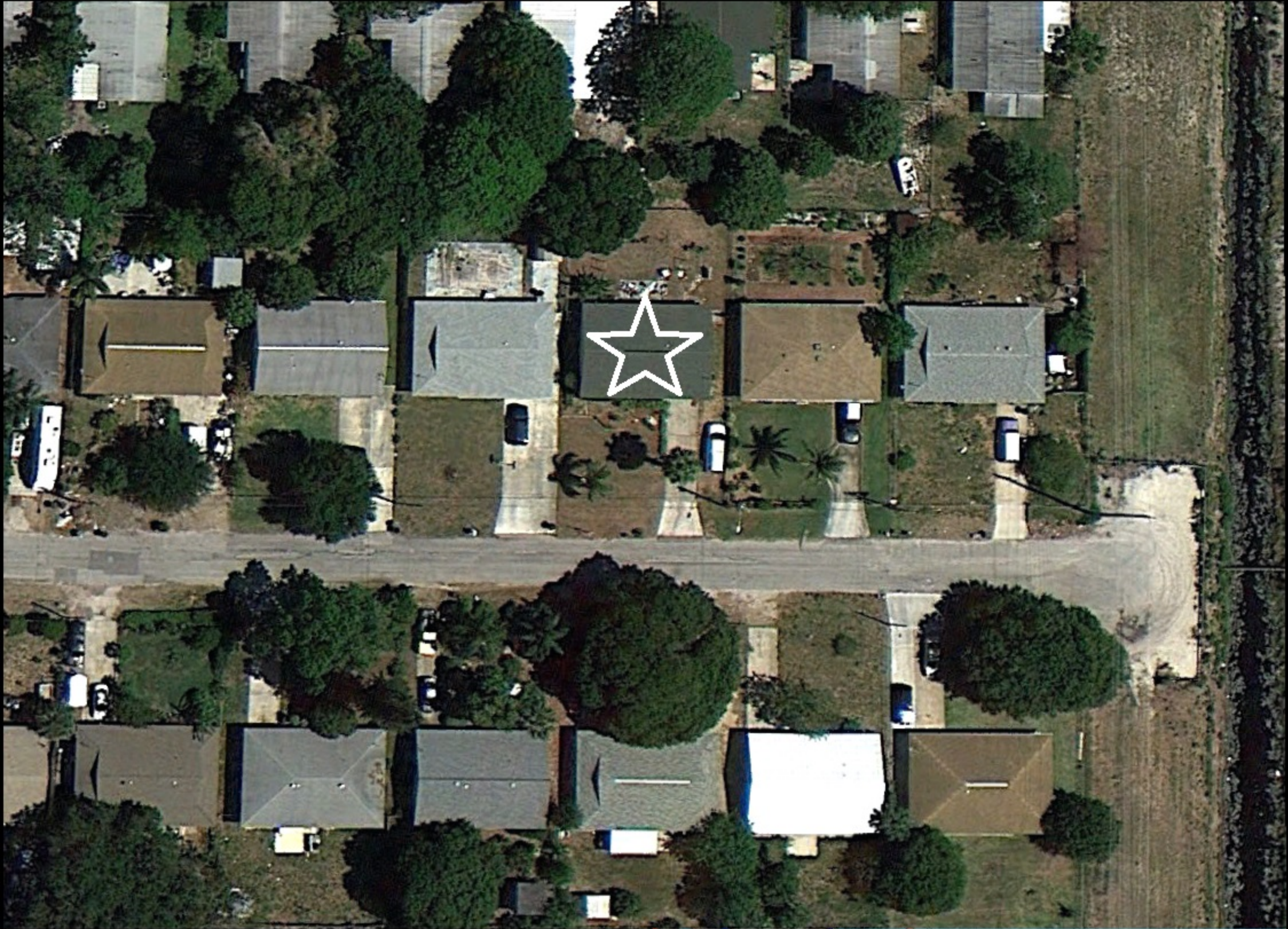
The requested addition to the structure necessitates the review and approval of a Special Exception based on the structure failing to meet City Code Section 22-26 (b)(2)b., which mandates that The minimum depth of the side yards shall be seven (7) feet, except on corner lots the minimum side yard depth on a street side will be fifteen (15) feet. The structure rests at a distance of 5.39' from the western property line, and approximately 16' from the existing structure on the lot abutting the site to the west.

The proposed addition is intended to provide a Florida room to enhance the existing single-family home. This addition will not violate the established use and dimensional standards contained in City Code Section 22-26. Single-Family Moderate Density Zone (R-3). The proposed construction plans and design are provided for review.

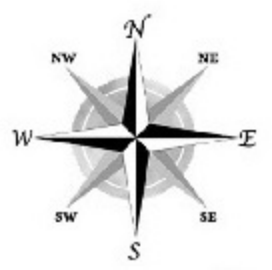
The Planning Board is requested to review the proposed Special Exception for the Florida room addition and advise the Board of Adjustment prior to action by the Board of Adjustment on the proposal.

Staff Recommendation:

The proposed Special Exception meets the criteria specified in Section 22.102.1 of the City Code and is found to be consistent with the City's Comprehensive Plan; therefore, Staff recommends that the Planning Board forward a recommendation of **approval** to the Board of Adjustment.



Aerial - 118 Wisteria Avenue





CITY OF FORT PIERCE

PLANNING DEPARTMENT

COMPREHENSIVE PLANNING & DEVELOPMENT REVIEW
HISTORIC PRESERVATION & URBAN DESIGN & URBAN FORESTRY & ZONING

PLANNING APPLICATION: GENERAL INFORMATION

Property address or Location 118 Westeria Avenue Fort Pierce FL
Parcel ID #(s) 2422-504-0063-000-8
Project description Florida Room Addition

Property Owner(s) Jose Oscar Cruz Tovar
Street Address 118 Westeria Ave 34982
City Fort Pierce FL State FL Zip 34982
Phone Number 772-263-6113
Email Address kenracruz8413@email.com

Applicant/Representative, Title, Company _____
Street Address 118 Westeria Avenue
City Fort Pierce FL State FL Zip 34982
Phone Number 772-263-6113
Email Address keniacruz8413@email.com

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

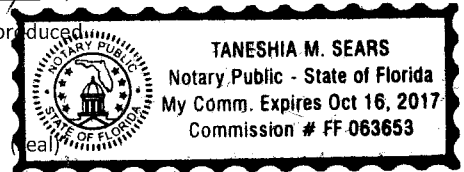
JOSE O CRUZ
Property Owner(s) Signature(s)

STATE OF FLORIDA -- ST LUCIE COUNTY

The foregoing instrument was acknowledged before me this 17 day of March, 2014, by

Jose Oscar Cruz Tovar who is personally known to me or has produced
Florida Drivers License as identification.

[Signature]
Signature of Notary



INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 460-2200 x247

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation
				Contributing Individual Non-Contributing None

Pre-Application Meeting Date _____
Intake Planner _____
Planner Assigned _____
Approved By _____ Date _____
Comments _____

Fees \$300 Control # _____ B. Permit # _____

Intake Date Stamp _____

SPECIAL EXCEPTION

Submit eight (8) hard copies and one (1) CD of the following for initial submittal, subsequent submittals will be required:

- Site plan, to scale, including all relevant improvements:
 - Existing & proposed structures
 - Landscaping & parking,
 - Fencing, signs, etc.
- As-built Survey

For Duplex:

- Verification of zoning prior to 1985 from City Clerk
- Complete, notarized application

Special Exception Type:

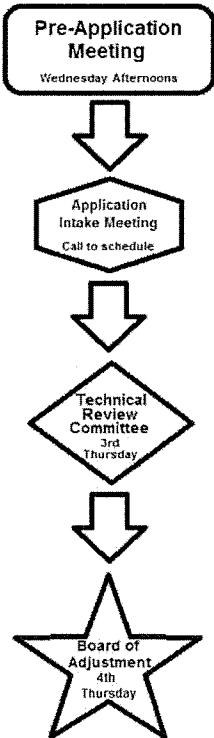
- Enlargement or Alteration of a Non-Conforming Structure
- Duplex as Special Exception

Structure	Size (sq. ft.)	Height	Use	Residential Units
Existing	1,440 sq. ft	Appx. 16 ft.	Single Family	1
Proposed	Appx, 1982 sq. ft.		Single Family	1

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West
SF	SF	SF	SF

Application Outlook



PROPERTY RECORD CARD

Jose O Cruz-Tovar Record: 1 of 1

<<Prev Next >>

Spec.Assmnt

Taxes

Exemptions Permits Home Print

Property Identification

Site Address: 118 Wisteria Ave
 Sec/Town/Range: 22 .35S .40E
 Map ID: 24/22N
 Zoning: R3

ParcelID: 2422-504-0063-000-8
 Account #: 29988
 Use Type: SF Res
 City/Cnty: Fort Pierce



Ownership and Mailing

Owner: Jose O Cruz-Tovar
 Address: 118 Wisteria Ave
 Fort Pierce FL 34982

Legal Description

SUNSET PARK BLK 4 LOT 13-LESS E 20.96 FT- AND LOT 14-LESS W 33.24 FT- (OR 3475-2339)

Sales Information

Date	Price	Code	Deed	Book/Page
12/7/2012	30000	0112	SP	3475 / 2339
6/11/2012	300	0112	CT	3399 / 1642
8/24/2005	175000	00	WD	2345 / 2843
11/3/2003	0	01	FJ	1842 / 0972
3/14/1994	100	01	QC	0889 / 2499
10/1/1990	100	01	WD	0796 / 0494
2/28/1989	51000	00	WD	0625 / 2417
9/23/1988	100	01	QC	0606 / 2193
4/1/1987	31000	00	CV	0541 / 2201

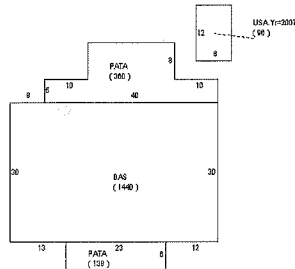
Assessment 2013

2013 Final: 42800
 Assessed: 42800
 Ag.Credit: 0
 Exempt:
 Taxable:
 Taxes: 1093.94

Total Land and Building

Land Value: 4800 Acres: 0.18
 Building Value: 38000
 Finished Area: 1440 SqFt

BUILDING INFORMATION



Exterior Features

View:	-	RoofCover:	SD - Dim Shingle	RoofStruct:	GA - Gable
ExtType:	HD - HD	YearBlt:	1973	Frame:	-
Grade:	D - D	EffYrBlt:	1977	PrimeWall:	BS - CB Stucco
StoryHght:	0010 - 1 Story	No.Units:	1	SecWall:	-

Interior Features

BedRooms:	3	Electric:	MX - MAXIMUM	PmIntWall:	DW - Drywall
FullBath:	2	HeatType:	FHA - FrcdHotAir	AvgHt/Ft:	
1/2Bath:	0	HeatFuel:	ELEC - Electric	Pm.Flors:	CU - Carpet
%A/C:	100	%Heated:	100	%Sprinkled:	0

Special Features and Yard Items

Type	Y/S	Qty.	Units	Qual.	Cond.	YrBlt.
DWC - Driv-Concret	Y	1	720	AV	AV	1973
FEN4 - CHAINLINK 4'	Y	1	180	AV	AV	1977

Land Information

No.	Use Type	Type	Measure	Depth
1	0100-SF Res	205 -Front Ft	66	117

THIS INFORMATION IS BELIEVED TO BE CORRECT AT THIS TIME BUT IT IS SUBJECT TO CHANGE AND IS NOT WARRANTED.

51
12

BLOCK 4
LOT 6

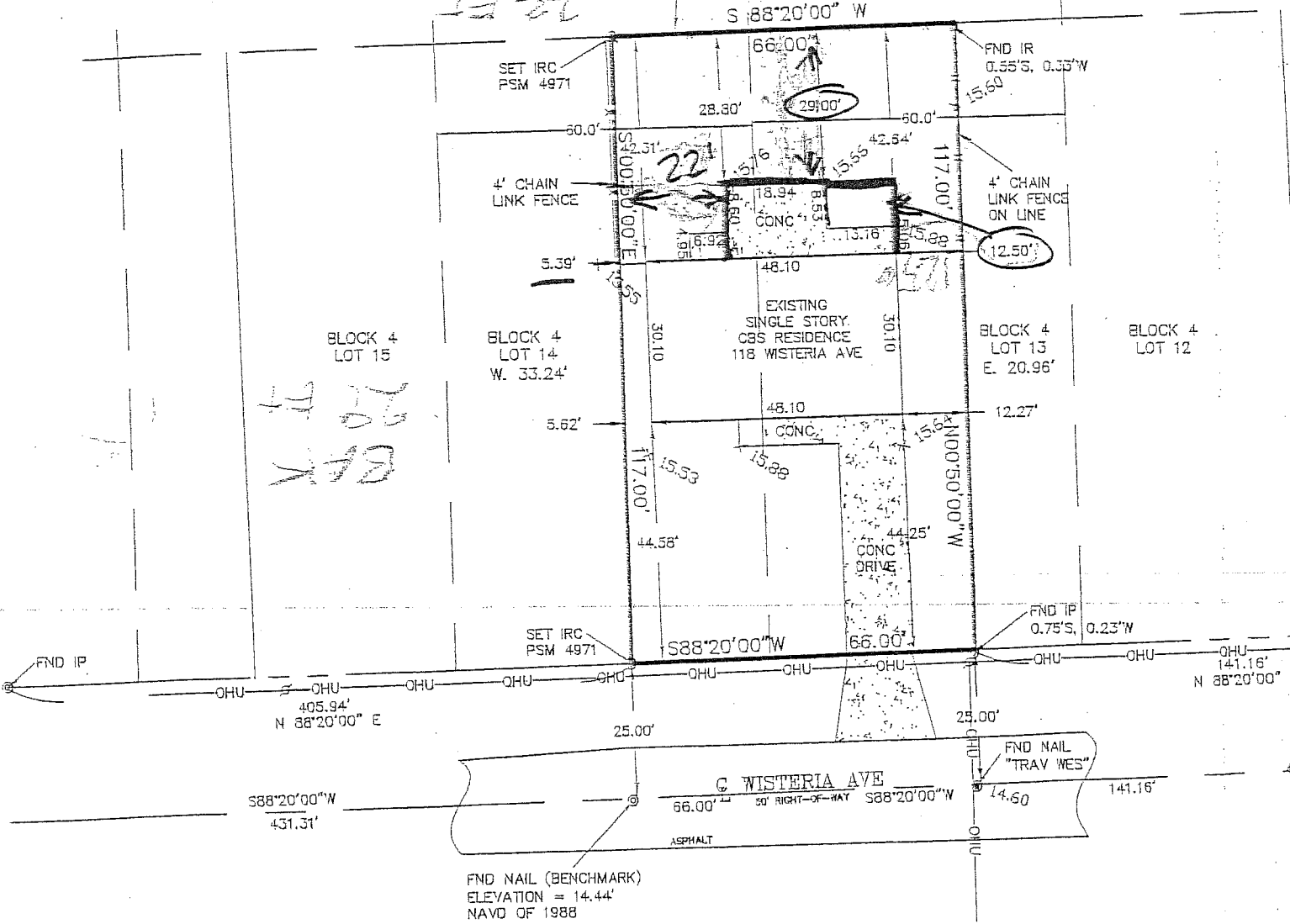
BLOCK 4
LOT 7

BLOCK 4
LOT 8

BLOCK 4
LOT 9

5m
1225

4725
BPK



CERTIFIED TO:

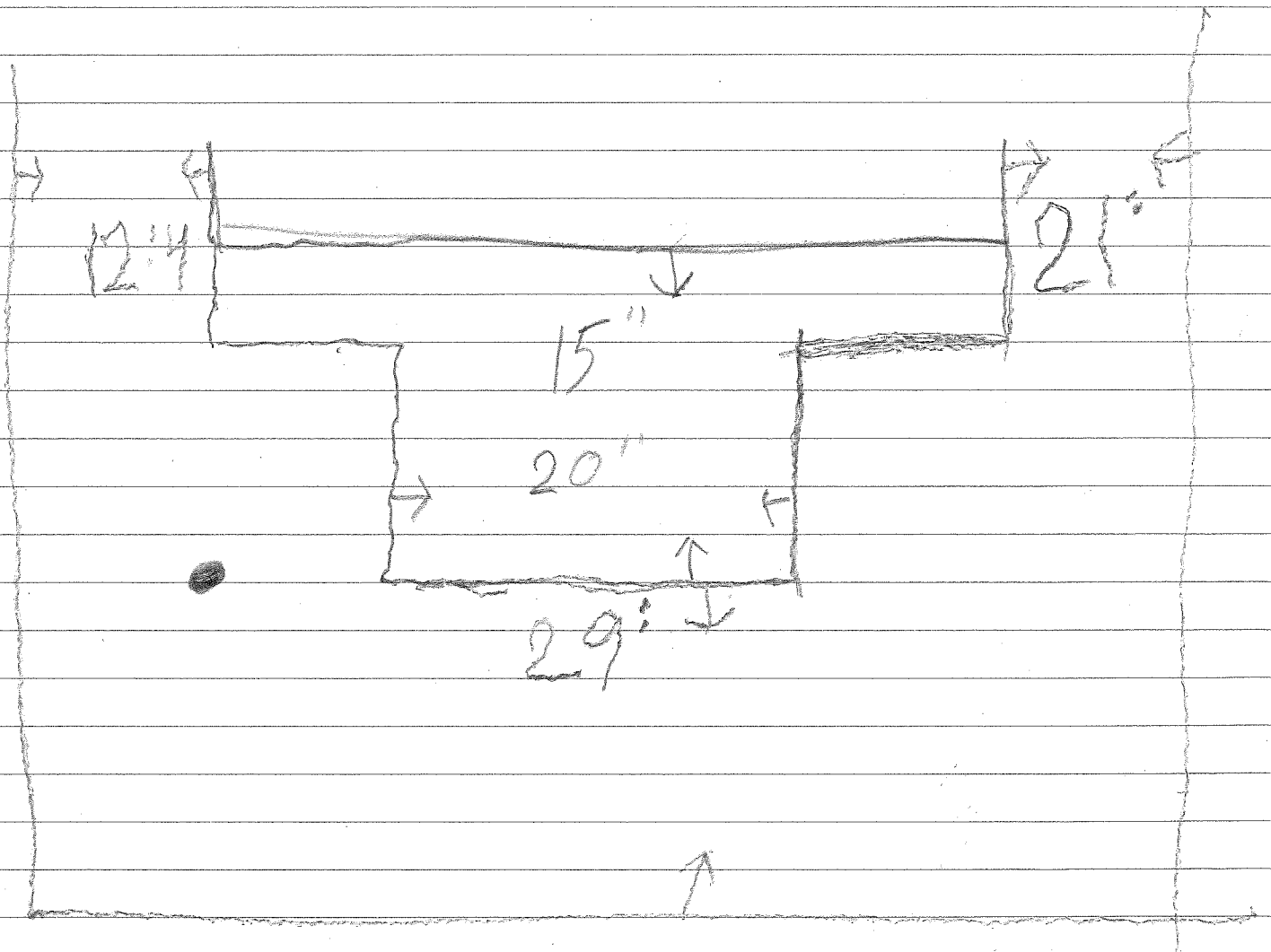
JOSE O CRUZ-TOVAR

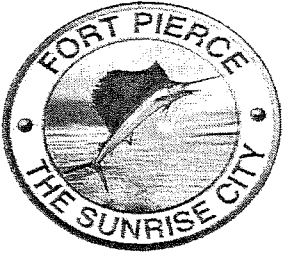
14-483

Charles Arnold 10/13/2013
CHARLES ARNOLD DATE SIGNED

PROFESSIONAL SURVEYOR & MAPPER
FLORIDA LICENSE NO. 4971

© COPY
ALL DRAWINGS
OF SERVICE AND
THE REPRODUCTI
OTHER PROJECT I
ARNOLD SURVEY
DOCUMENT IS PR





CITY OF FT. PIERCE
PLAN REVIEW SHEET
BUILDING DEPARTMENT
Phone: 772-467-3725 Fax: 772-467-3849

Planning Rejection
hty

MARCH 13, 2014

Permit Submittal: 14-483
Owner: JOSE CRUZ-TOVAR (772) 263-6113
Architect: JULIO C. BANKS, P.E. (772) 577-6273
Contractor: OWNER/BUILDER (F.S. 489.103 (7) EXEMPTION)
Property Address: 118 WISTERIA AVENUE

Revisions will not be accepted, unless the following has been done. A cover letter from the Architect/Engineer addressing each revision must accompany all revisions submitted for plan review. The cover letter must:

- Answer each plan review comment.
- Indicate the sheet that the revision is on.
- The revised sheets that are re-submitted for plan review must have the revisions clouded.



Thank you in advance for helping us cut down the turn around time in the plan revisions review.

PLANNING / ZONING DEPARTMENT: (KORI BENTON (772) 467-3739)

THE EXISTING (WESTERN) SIDE YARD IS ONLY 5.39 FEET; THEREFORE, THE STRUCTURE IS CONSIDERED TO BE A NON-CONFORMING USE. THE PROPOSED ADDITIONS DO NOT INFRINGE UPON THE YARD (SET-BACK) REQUIREMENTS; HOWEVER, THE ENLARGEMENT AND/OR EXPANSION OF A NON-CONFORMING STRUCTURE REQUIRES THE APPROVAL OF THE PLANNING DEPARTMENT OF A SPECIAL EXCEPTION.

THE ADDED CHARGE TO APPLY FOR A SPECIAL EXCEPTION IS \$300.00.

IF YOU HAVE ANY QUESTIONS, PLEASE CONTACT KORI BENTON (772) 467-3739.

REVISIONS:

1. Must be accompanied with a narrative of changes and/or corrections.
2. Must be clouded.
3. Revisions 1st Time Submittal: \$100.00; 2nd-3rd Time: \$50.00 Per Page
4th and Additional 1/3 Building Permit Fee.

Reviewed/Signed By: Kori Benton (5512)

Date: 3/13/2014

CONTACT: SOO KELLER (772) 467-3725

REVISION QUESTIONS AND/OR RE-SUBMITTALS

Sec. 22-26. Single-Family, Moderate Density Zone (R-3). (b) Basic Use Standards

(2) Yards.

- a. The minimum depth of the front yard will be twenty-five (25) feet.
- b. The minimum depth of the side yards shall be seven (7) feet, except on corner lots the minimum side yard depth on a street side will be fifteen (15) feet.

Review

The existing side (western) yard is a mere 5.39', therefore the structure is nonconforming. The proposed additions do not infringe upon the yard (setback) requirements; however the enlargement or expansion of a nonconforming structure requires the approval of a Special Exception.

If the property owner would like to pursue a Special Exception from the Board of Adjustment, please contact me at 772-467-3739 or kbenton@city-ftpierce.com

Please find the applicable Code sections below:

Sec. 22-102.1. Nonconforming structure as special exception.

(a) The board of adjustment is authorized to permit the enlargement or alteration of a nonconforming structure, except any sign, as a special exception upon application, notice and hearing as provided in sections 22-141(a), 22-142(11), and 22-143, and upon finding and determining the following:

- (1) The granting of the special exception will not adversely affect the public interests;
- (2) Such enlargement or alteration is in harmony with the purpose and intent of this chapter and all amendments thereof;
- (3) The enlargement or alteration, if allowed, will not violate any height, yard, setback, area or density limitations imposed by the zoning district in which the property is located, or if the enlargement or alteration would increase such violation, such enlargement or alteration would not adversely affect traffic flow, safety and control, pedestrian safety and convenience or visibility at any street intersections, drives, rights-of-way, curbcuts or crosswalks;
- (4) Such enlargements or alteration shall be compatible with adjacent properties and other properties within that zoning district;
- (5) If in a commercial, business or industrial zone, that adequate buffers are provided between such structures and adjacent residential areas;
- (6) That adequate off-street parking shall be provided for any multifamily, commercial, industrial or business use upon the property;

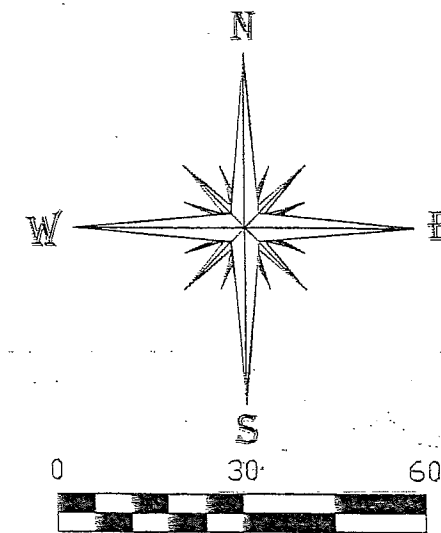
Boundary Survey For:
JOSE O. CRUZ-TOVAR

STREET ADDRESS:

118 WISTERIA AVENUE, FORT PIERCE, FL 34982

LEGAL DESCRIPTION:

BEING ALL OF LOT 13, LESS THE EAST 20.96 FEET, AND LOT 14, LESS THE WEST 33.24 FEET, BLOCK 4, SUNSET PARK (REPLAT), ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 11, PAGE 28, OF THE PUBLIC RECORDS OF SAINT LUCIE COUNTY, FLORIDA.
PARCEL ID: 2422-504-0063-000/8
MORE COMMONLY KNOWN AS 118 WISTERIA AVENUE, FORT PIERCE, FLORIDA 34982-3450



LEGEND & ABBREVIATIONS:

A/C	DENOTES AIR CONDITIONER	OCC.	DENOTES OCCUPIED
BLK	DENOTES BLOCK	OHU	DENOTES OVERHEAD UTILITIES
BSL	DENOTES BUILDING SETBACK LINE	ORB	DENOTES OFFICIAL RECORDS BOOK
CBS	DENOTES CONCRETE BLOCK STRUCTURE	PB	DENOTES PLAT BOOK
CONC.	DENOTES CONCRETE	PCP	DENOTES PERMANENT CONTROL POINT
CM	DENOTES CONCRETE MONUMENT	PG	DENOTES PAGE
C/L	DENOTES CENTERLINE	POB	DENOTES POINT OF BEGINNING
D&UE	DENOTES DRAINAGE & UTILITY EASMENT	POC	DENOTES POINT OF COMMENCEMENT
ELEC.	DENOTES ELECTRIC	PSM	DENOTES PROFESSIONAL SURVEYOR & MAPPER
ELEV	DENOTES ELEVATION	IP	DENOTES IRON PIPE
FFE	DENOTES FINISH FLOOR ELEVATION	IR	DENOTES IRON ROD
FND	DENOTES FOUND	IRC	DENOTES IRON ROD & CAP
C	DENOTES CALCULATED FROM FIELD MEASUREMENTS	LB	DENOTES LICENSED BUSINESS
P	DENOTES PLAT DATA	LS	DENOTES LICENSED SURVEYOR
M	DENOTES MEASURED DATA	R/W	DENOTES RIGHT OF WAY
ID	DENOTES IDENTIFICATION NUMBER	TOB	DENOTES TOP OF BANK
FL	DENOTES FLOW LINE	TYP	DENOTES TYPICAL
WA	DENOTES ELEVATION (TYPICAL)	UE	DENOTES UTILITY EASEMENT
WM	DENOTES WATER METER	VAC.	DENOTES VACANT
SM	DENOTES SEWER MANHOLE	⊕	DENOTES ELECTRIC SERVICE BOX
UP	DENOTES UTILITY POLE	Ⓣ	DENOTES TELEPHONE SERVICE BOX
NAVD	DENOTES NORTH AMERICAN VERTICAL DATUM		

GENERAL NOTES:

1. THE BEARINGS SHOWN HEREON ARE BASED UPON THE WEST LINE OF BLOCK 4, ACCORDING TO THE PLAT OF SUNSET PARK, RECORDED IN PLAT BOOK 11, PAGE 28, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, BEARING N00°50'00"W.
2. ALL ABOVE GROUND FIXED IMPROVEMENTS, IF ANY, HAVE BEEN LOCATED AND SHOWN HEREON.
3. UNDERGROUND UTILITIES AND UTILITY SERVICES HAVE NOT BEEN LOCATED ON THIS SURVEY.
4. FLOOD NOTE: BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X", ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 12111C0187 J, EFFECTIVE DATE FEBRUARY 16, 2012. THE EXACT DESIGNATION CAN ONLY BE DETERMINED BY AN ELEVATION CERTIFICATE.
5. ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988.
6. LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR RIGHTS-OF-WAY, EASEMENTS OF RECORD, OWNERSHIP, ABANDONMENT'S DEED RESTRICTIONS, OR MURPHY ACT DEEDS.
7. THE LAST DATE OF FIELD WORK WAS OCTOBER 03, 2013.
8. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
9. REPRODUCTIONS OF THIS MAP ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER.

CERTIFIED TO:

JOSE O CRUZ-TOVAR

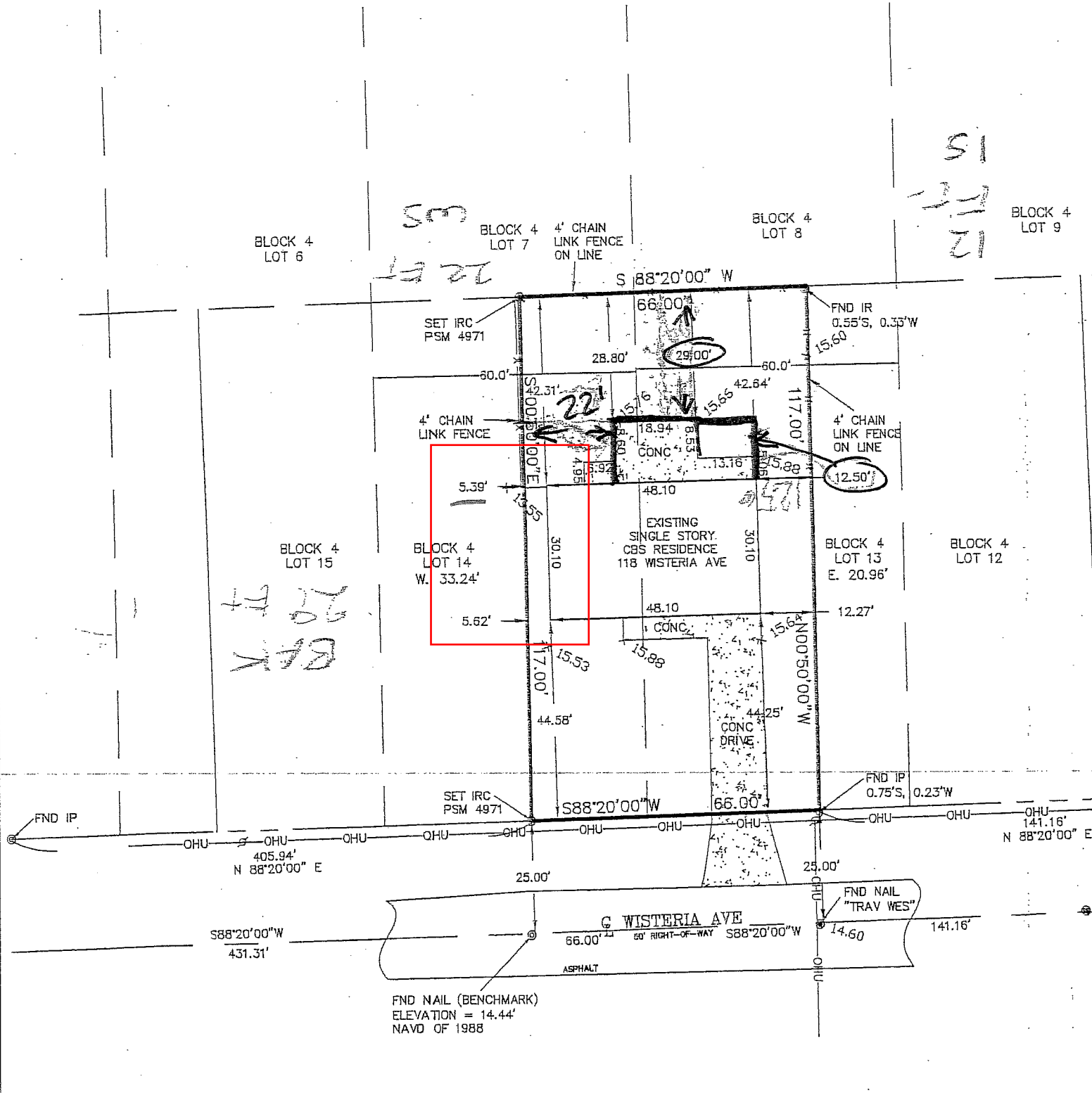
14-483

Charles Arnold 10/12/2013
CHARLES ARNOLD DATE SIGNED
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA LICENSE NO. 4971

© COPYRIGHT ARNOLD SURVEYING, INC. 2013
ALL DRAWINGS OR DOCUMENTS AND COPIES THEREOF ARE INSTRUCTIONS OF SERVICE AND REMAIN THE PROPERTY OF ARNOLD SURVEYING, INC. THE REPRODUCTION OR UNAUTHORIZED USE OF THESE DRAWINGS OR ANY OTHER PROJECT DOCUMENTS WITHOUT WRITTEN PERMISSION FROM ARNOLD SURVEYING, INC. IS STRICTLY PROHIBITED. THIS DRAWING OR DOCUMENT IS PROTECTED BY FEDERAL COPYRIGHT LAWS.

JOB NO: 13-537
DESC: SUBDIV
DATE: 10/09/13
SCALE: 1"=30'
DRAWN BY: CA

ARNOLD SURVEYING, INC.
PROFESSIONAL SURVEYORS AND MAPPERS
FLORIDA LICENSED BUSINESS NUMBER 7903
4888 N. KINGS HWY #425, FORT PIERCE, FLORIDA 34951
24 VERDE WSTA, FORT PIERCE, FLORIDA 34951
PHONE: (772) 460-8211 FAX: (772) 460-8210



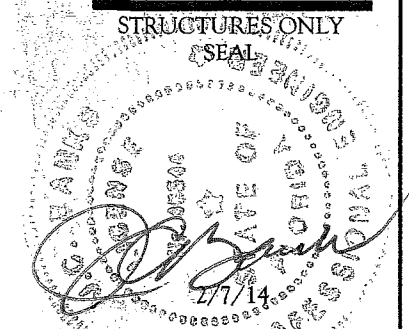


CRH
DESIGN & DRAFTING

5678 N. Military Trail
West Palm Beach, FL 33407
Voice: (561) 262-9354
Info @ CRHDesign.com

JULIO C. BANKS, P.E.
P. O. BOX 880187
FORT SAINT LUCIE,
FLORIDA, 34988-0187
PHONE 772-577-6273

STRUCTURES ONLY



JULIO C. BANKS, P.E.
FLORIDA REG. NO. 46544

CONSTRUCTION
DOCUMENTS FOR:

CRUZ RESIDENCE

116 WISTERIA AVE
FORT PIERCE, FL 34982

PROJECT:

CLOSE-IN PATIO

Revisions:

DATE: DESCRIP.: NO:

DATE: 2/7/14

JOB NO: 1403-1

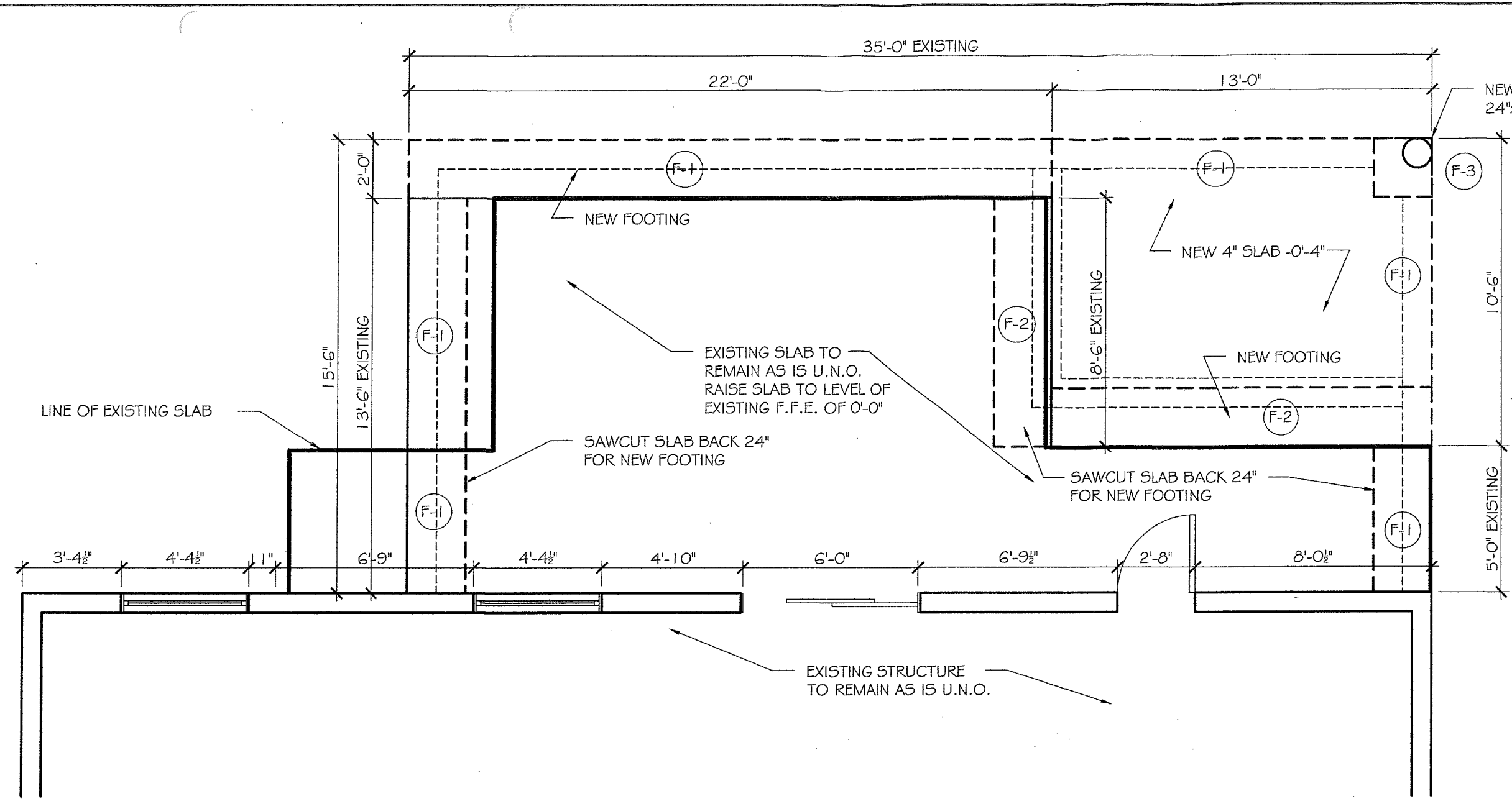
DRAWN: C. HERD

CHECKED: J. BANKS

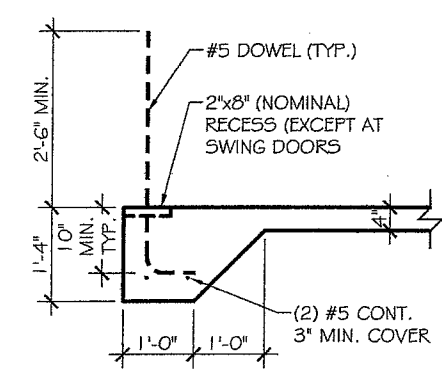
SCALE: 1/4" = 1'-0"

EXISTING / DEMO PLAN

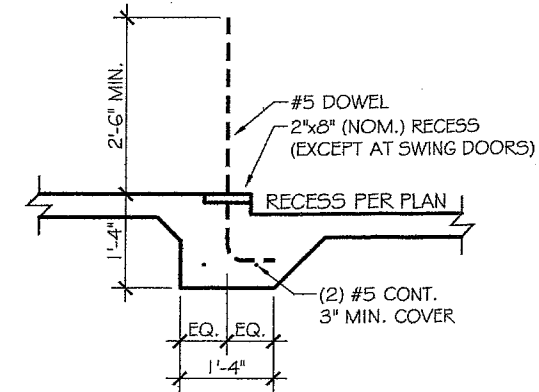
A-3



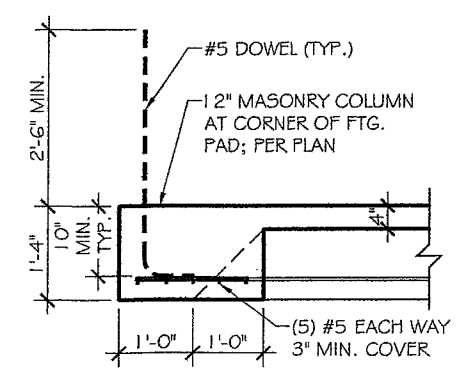
EXISTING / DEMO PLAN



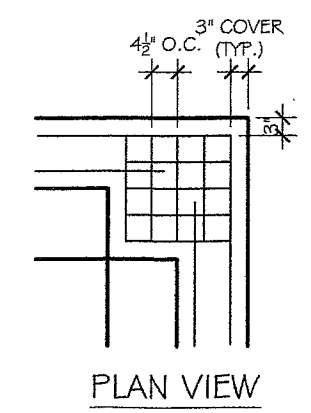
F-1 TYPICAL FOOTING BEARING SCALE: 3/8" = 1'-0"



F-2 EXT. STEP FOOTING BEARING SCALE: 3/8" = 1'-0"



F-3 PAD FOOTING BEARING SCALE: 3/8" = 1'-0"



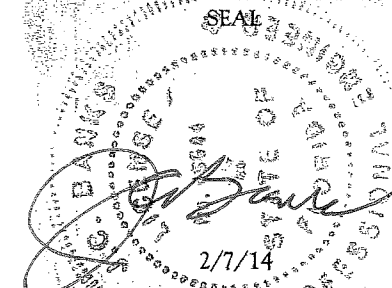


**CRH
DESIGN
& DRAFTING**

5678 N. Military Trail
West Palm Beach, FL 33407
Voice: (561) 262-9354
Info @ CRHDesign.com

JULIO C. BANKS, P.E.
P. O. BOX 880187
PORT SAINT LUCIE,
FLORIDA, 34988-0187
PHONE 772-577-6273

STRUCTURES ONLY



JULIO C. BANKS, P.E.
FLORIDA REG. NO. 46544

CONSTRUCTION
DOCUMENTS FOR:

**CRUZ
RESIDENCE**

116 WISTERIA AVE
FORT PIERCE, FL 34982

PROJECT:

CLOSE-IN PATIO

Revisions:



DATE: _____ DESCIP.: _____ NO: _____

DATE: 2/7/14

JOB NO: 1403-1

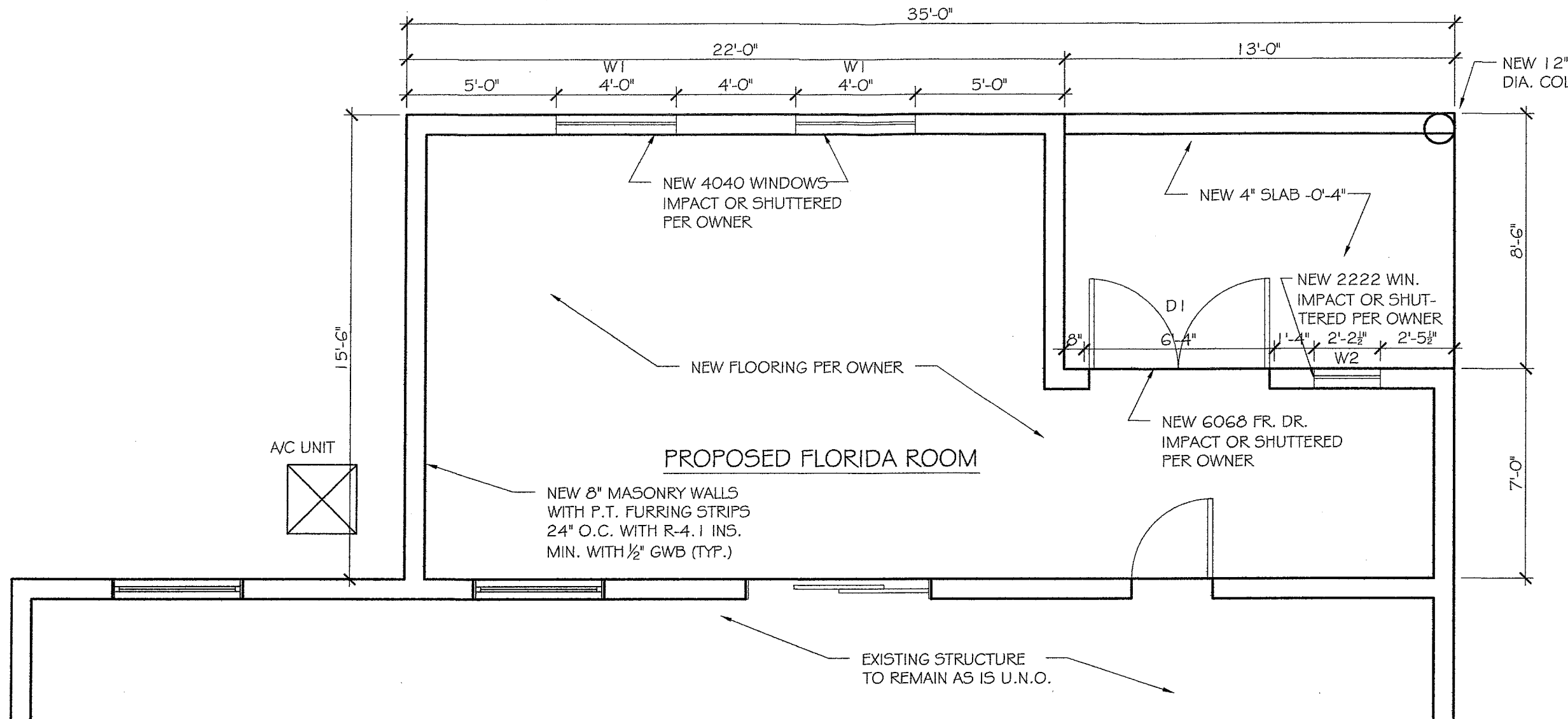
DRAWN: C. HERD

CHECKED: J. BANKS

SCALE: 1/4" = 1'-0"

EXISTING / DEMO
PLAN

A-4

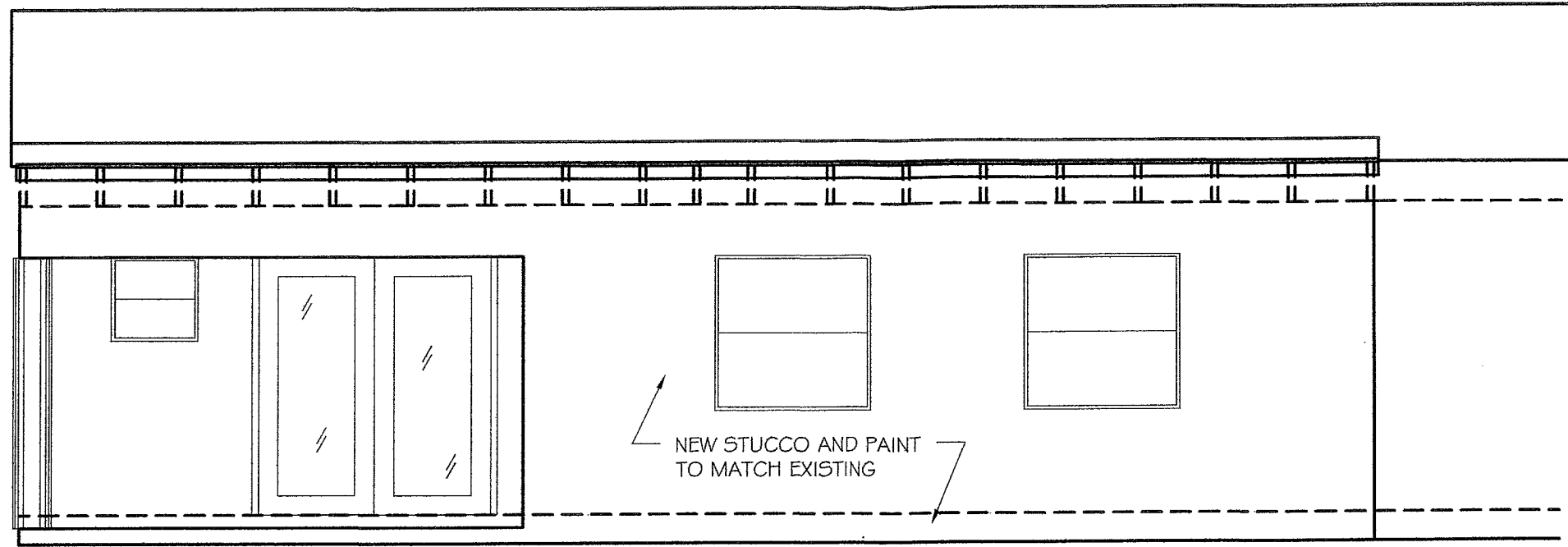


PROPOSED FLOOR PLAN

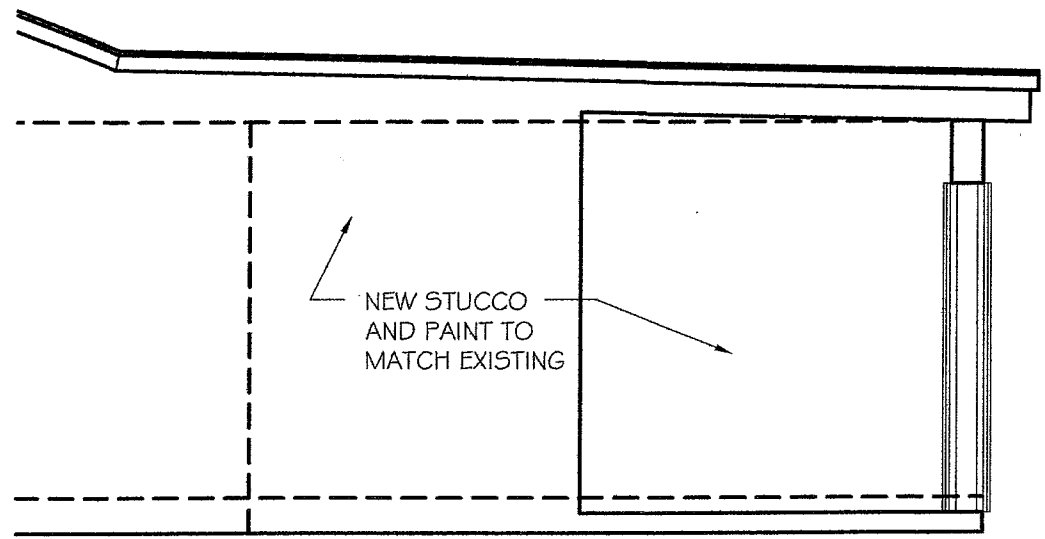
ASCE 7-10 C&C WIND PRESSURES		
COMPONENT	NEG. P.	POS. P.
4040 WINDOW, W1	-42.5	39.1
6068 DOUBLE-DRS, D1	-40.1	36.7
2626 WINDOW, W2	-43.9	40.5

LINTEL SCHEDULE							
MARK	TOP OF BEAM ELEV.	LENGTH	SIZE W x D	SAFE GRAVITY LOAD	APPLIED GRAVITY LOAD	SAFE UPLIFT LOAD	REMARKS
L-1	8'-0"	13'-4"	8"x16"	1075	<1000	606	8F16-OB-1T COMPOSITE BEAM
L-2	8'-0"	7'-6"	8"x16"	2459	<1000	1462	8RF16-OB-1T COMPOSITE BEAM
L-3	8'-0"	5'-4"	8"x16"	2290	<1000	1634	8F16-OB-1T COMPOSITE BEAM
L-4	8'-0"	4'-0"	8"x16"	3820	<1000	3079	8F16-OB-1T COMPOSITE BEAM

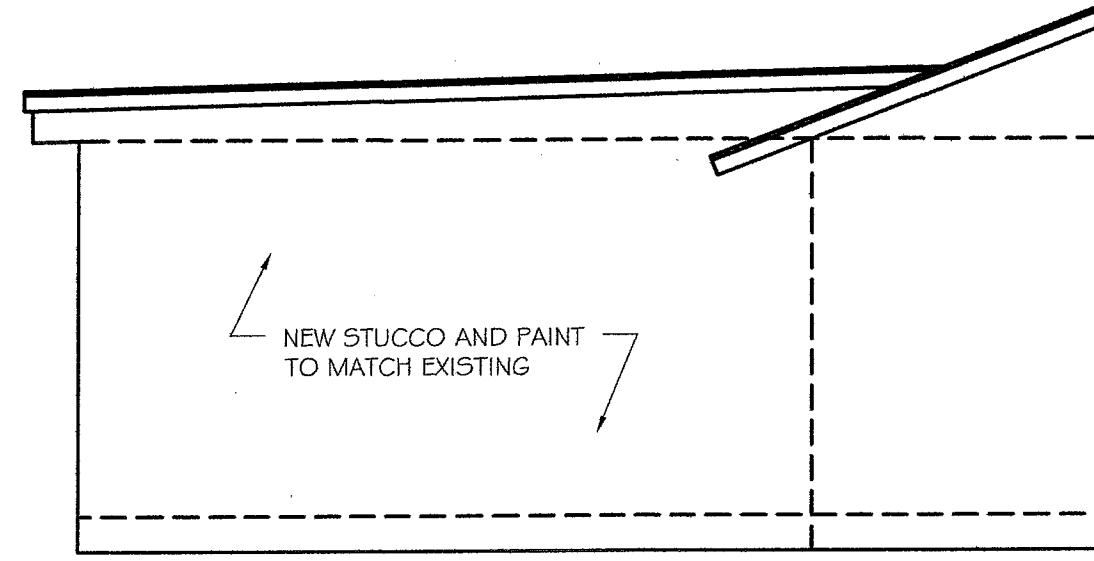
1. MIN. 4" BEARING OF ALL LINTELS ON MASONRY WALL.
2. ALL REBAR TO BE CONTINUOUS ACROSS LINTELS



REAR ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

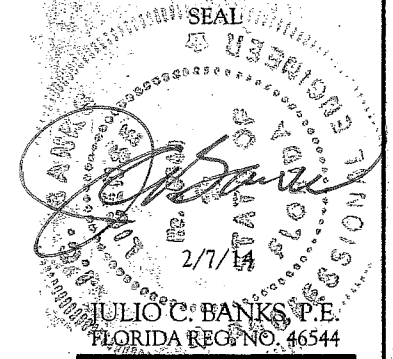


DESIGN & DRAFTING

5678 N. Military Trail
West Palm Beach, FL 33407
Voice: (561) 262-9354
Info @ CRHDesign.com

JULIO C. BANKS, P.E.
P. O. BOX 880187
PORT SAINT LUCIE,
FLORIDA, 34988-0187
PHONE 772-577-6273

STRUCTURES ONLY



JULIO C. BANKS, P.E.
FLORIDA REG. NO. 46544

CONSTRUCTION DOCUMENTS FOR:

CRUZ RESIDENCE

116 WISTERIA AVE
FORT PIERCE, FL 34982

PROJECT:

CLOSE-IN PATIO

Revisions:

DATE: DESCIP.: NO:

DATE: 2/7/14

JOB NO: 1403-1

DRAWN: C. HERD

CHECKED: J. BANKS

SCALE: 1/4" = 1'-0"

NOTES, PLANS &
DETAIL

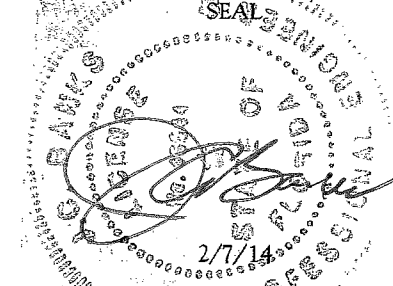


DESIGN & DRAFTING

5678 N. Military Trail
West Palm Beach, FL 33407
Voice: (561) 262-9354
Info @ CRHDesign.com

JULIO C. BANKS, P.E.
P. O. BOX 880187
FORT SAINT LUCIE,
FLORIDA, 34988-0187
PHONE 772-577-6273

STRUCTURES ONLY



JULIO C. BANKS, P.E.
FLORIDA REG. NO. 46544

CONSTRUCTION DOCUMENTS FOR:

CRUZ RESIDENCE

116 WISTERIA AVE
FORT PIERCE, FL 34982

PROJECT:

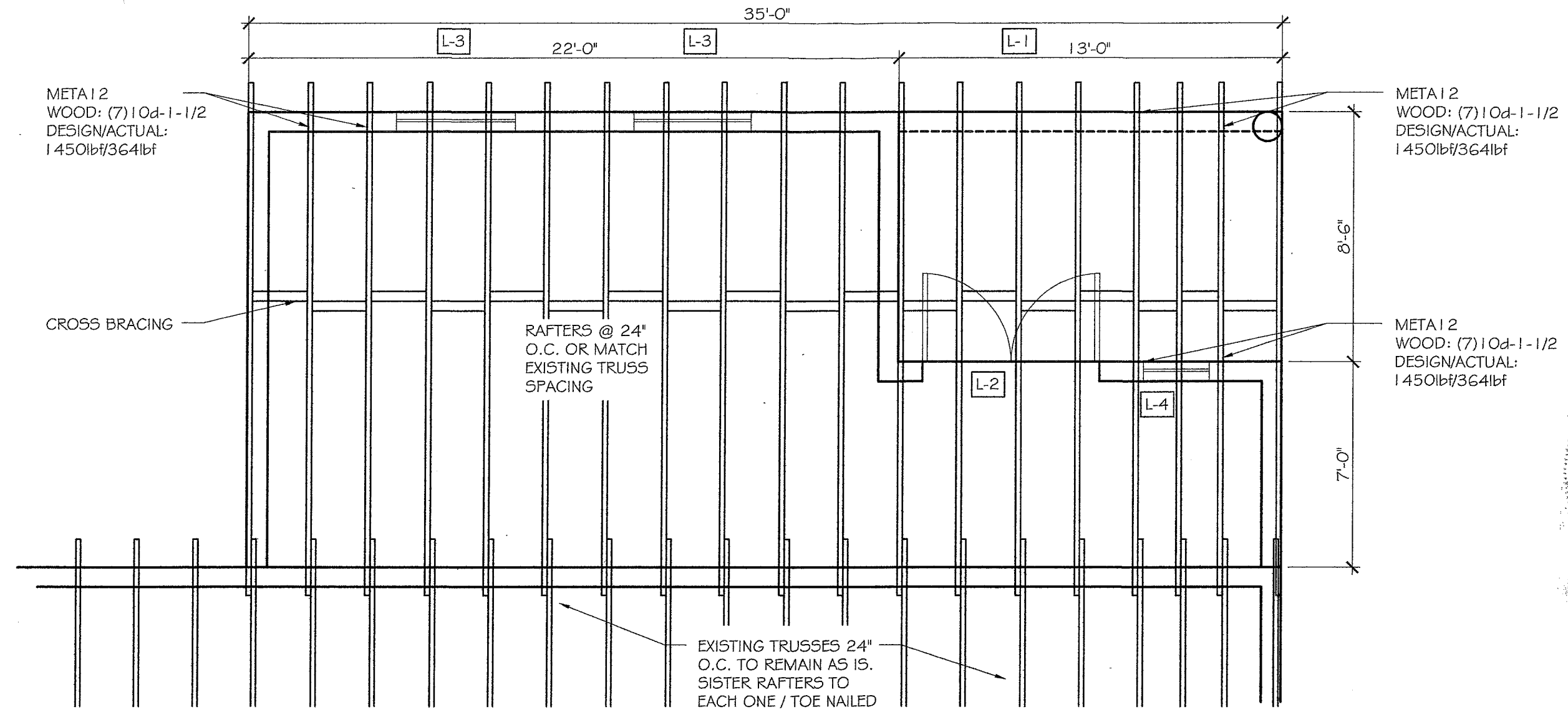
CLOSE-IN PATIO

Revisions:

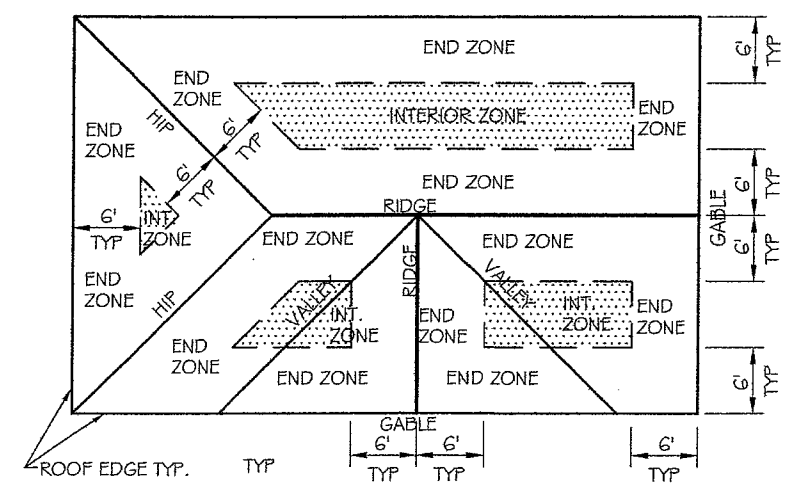
DATE:	DESCRIP.:	NO.:
		1
		2
DATE:	2/7/14	
JOB NO.:	1403-1	
DRAWN:	C. HERD	
CHECKED:	J. BANKS	
SCALE:	1/4" = 1'-0"	

NOTES, PLAN & DETAILS

A-6



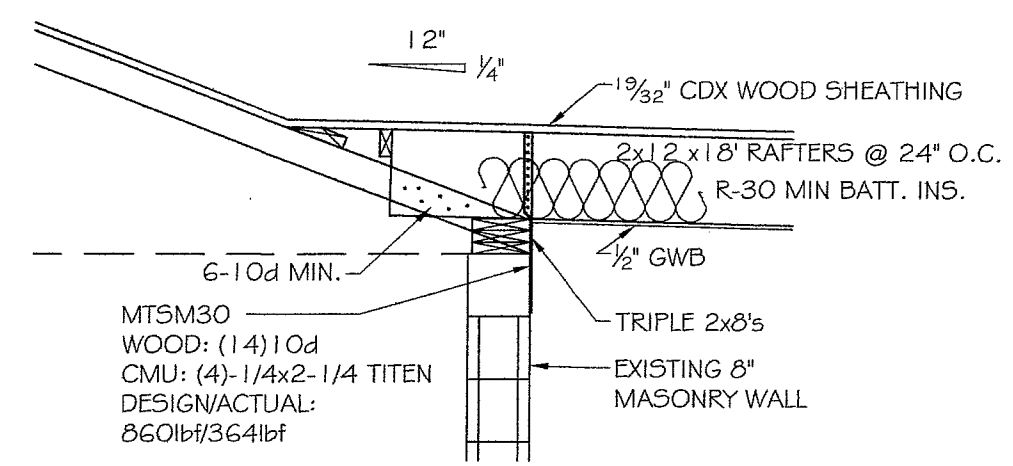
PROPOSED ROOF FRAMING PLAN



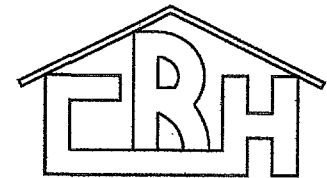
1 ROOF SHEATHING NAILING PATTERN DIAGRAM
ROOF SHEATHING NAILING SCHEDULE
SCALE: N.T.S.
○ END ZONE - USE 8d RING SHANK NAILS @ 4' O.C.
● INTERIOR ZONE - USE 8d RING SHANK NAILS @ 6' O.C.

ANCHOR SCHEDULE

A1 = SIMPSON STRONG-TIE SPH6 (6) 10d X 1 1/2" NAILS
A2 = SIMPSON STRONG-TIE LSTA 18 (6) SDS 1/4" x 1 1/4" (CONCRETE) (10) 10d NAILS (WOOD)
Ax = ANCHOR DESIGNATION - TYPICAL FOR THAT CONNECTION U.N.O.



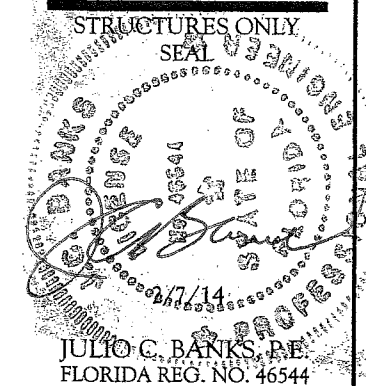
2 RAFTER TO EXISTING BRG. WALL DETAIL
1/2" = 1'-0"



CRH
DESIGN
& DRAFTING

5678 N. Military Trail
West Palm Beach, FL 33407
Voice: (561) 262-9354
Info @ CRHDesign.com

JULIO C. BANKS, P.E.
P. O. BOX 880187
PORT SAINT LUCIE,
FLORIDA, 34988-0187
PHONE 772-577-6273



CONSTRUCTION
DOCUMENTS FOR:

**CRUZ
RESIDENCE**

116 WISTERIA AVE
FORT PIERCE, FL 34982

PROJECT:

CLOSE-IN PATIO

Revisions:

_____ 2

_____ 1

DATE: _____ NO: _____

DATE: 2/7/14

JOB NO: 1403-1

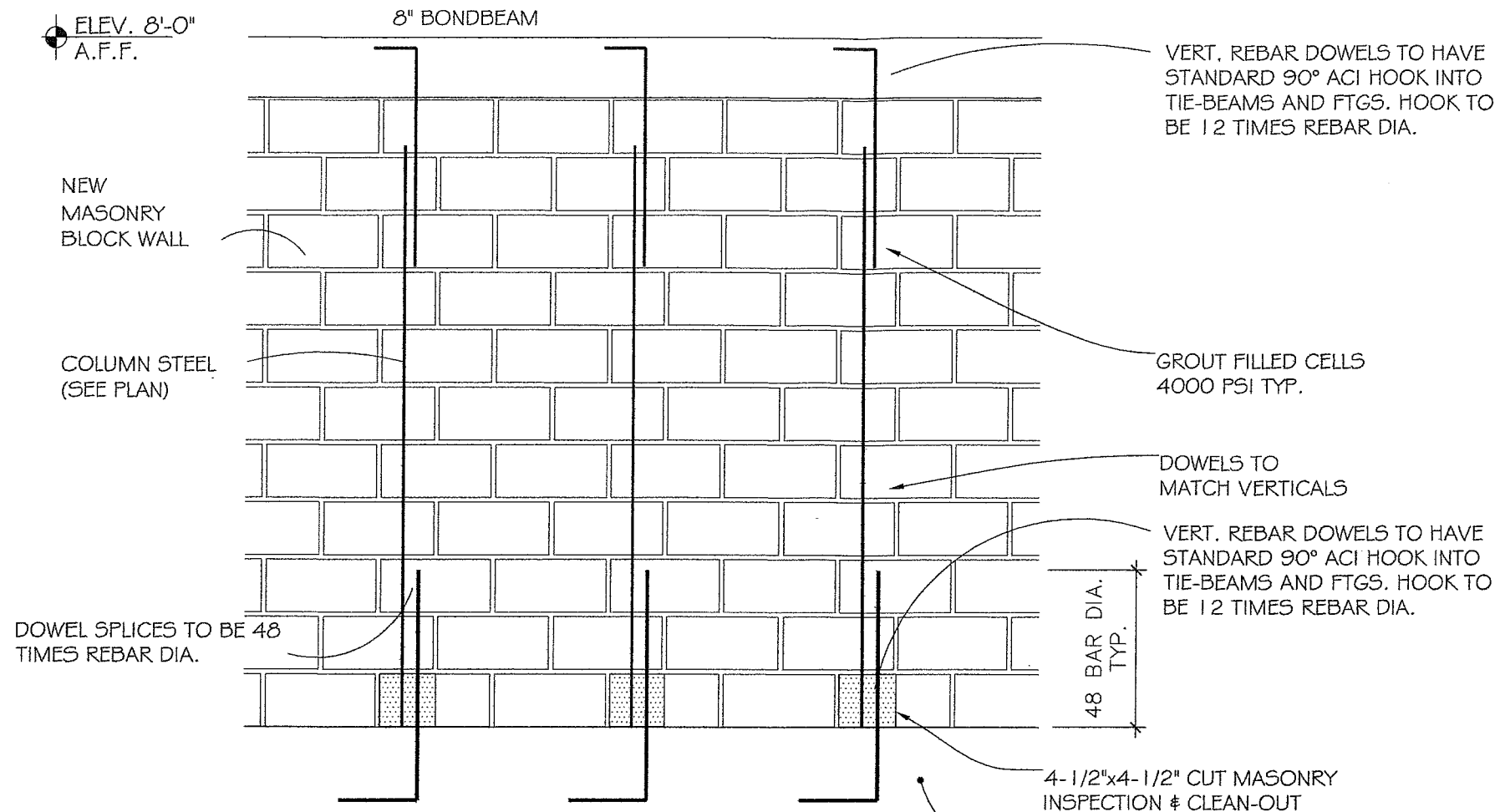
DRAWN: C. HERD

CHECKED: I. BANKS

SCALE: 1/2" = 1'-0"

NOTES, PLANS &
DETAIL

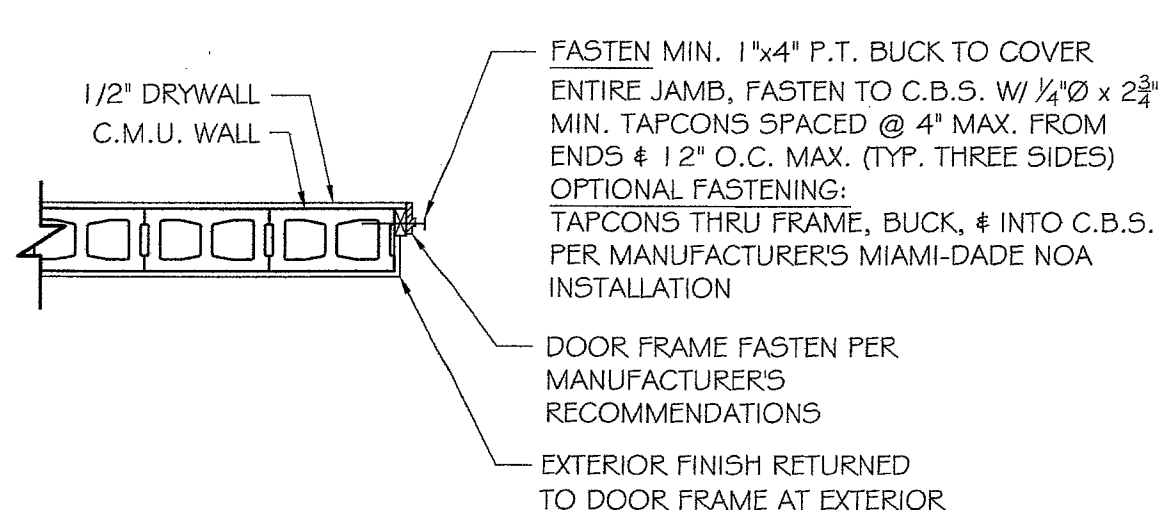
A-8



NOTE: DRAWING REPRESENTATIONAL ONLY,
ACTUAL BLOCK COURSES MAY VARY. (TYP.)
SEE PLAN FOR LOCATIONS

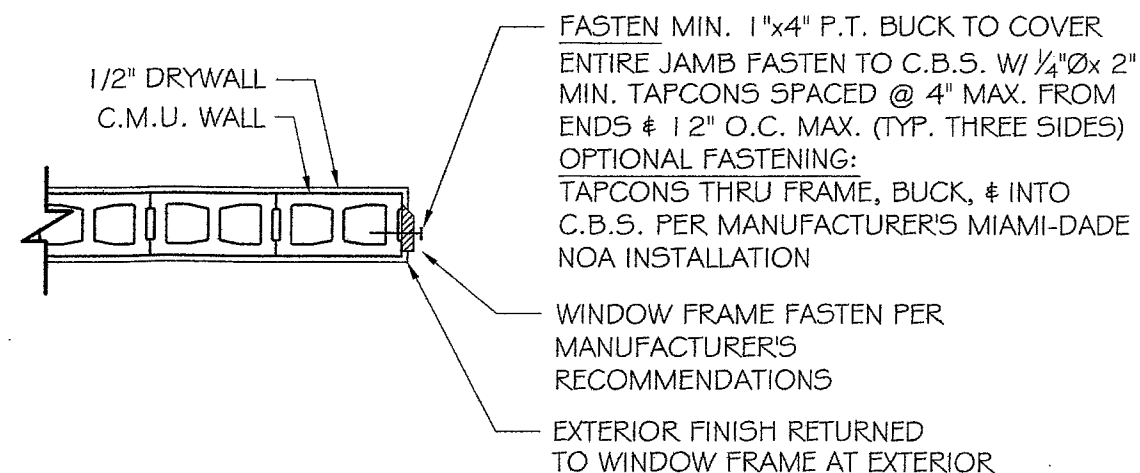
1 TYPICAL NEW MASONRY FILLED CELL DETAIL

SCALE: 1/2" = 1'-0"



A1 DOOR BUCK ATTACHMENT

SCALE: 1/2" = 1'-0"



A2 WINDOW & S.G.D. BUCK ATTACHMENT FOR CMU WALL

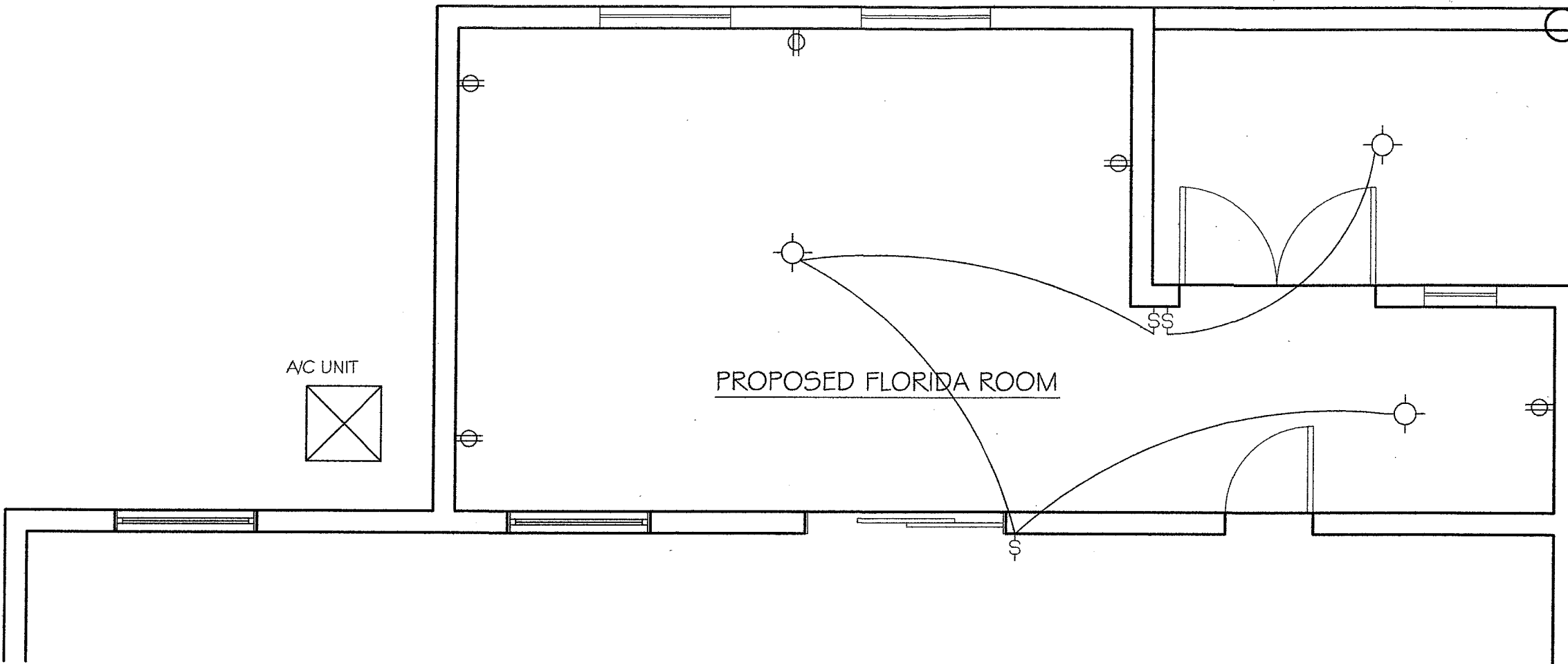
SCALE: 1/2" = 1'-0"



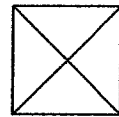
DESIGN & DRAFTING

5678 N. Military Trail
West Palm Beach, FL 33407
Voice: (561) 262-9354
Info @ CRHDesign.com

ELECTRICAL
CONTRACTOR



A/C UNIT



PROPOSED FLORIDA ROOM

PROPOSED ELECTRICAL FLOOR PLAN

CONSTRUCTION
DOCUMENTS FOR:
**CRUZ
RESIDENCE**

116 WISTERIA AVE
FORT PIERCE, FL 34982

PROJECT:

CLOSE-IN PATIO

Revisions:

DATE: _____ DESCRIP.: _____ NO: _____

DATE: 2/7/14

JOB NO: 1403-1

DRAWN: C. HERD

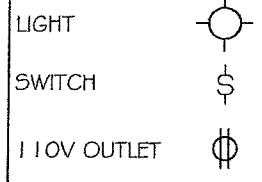
CHECKED: C. HERD

SCALE: 1/4" = 1'-0"

NOTES & PLAN

NOTE:
ELECTRICAL CONTRACTOR TO
COORDINATE WITH OWNER, ALL
SWITCHES, OUTLETS

CONTRACTOR TO FIELD VERIFY
EXISTING ELECTRICAL.



ELECTRICAL NOTES

1. PURSUANT TO CHAPTER 471 OF THE FLORIDA STATUTES, A STATE LICENSED ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE ELECTRICAL SYSTEM'S COMPLIANCE WITH THE 2010 FLORIDA BUILDING CODE, PROVIDED THE VALUE OF THE ELECTRICAL SYSTEM IS \$125,000 OR LESS, AND THE AGGREGATE SERVICE CAPACITY IS 600 AMPERES (240 VOLTS) OR LESS.
2. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL NEW ELECTRICAL WORK INDICATED. CONSTRUCTION SHALL BE IN ACCORDANCE WITH DRAWINGS AND APPLICABLE SPECIFICATIONS. IF A PROBLEM IS ENCOUNTERED IN COMPLYING WITH THIS REQUIREMENT, CONTRACTOR SHALL NOTIFY THE OWNER OR HIS REPRESENTATIVE AS SOON AS POSSIBLE AFTER DISCOVERY OF THE PROBLEM AND SHALL NOT PROCEED WITH THAT PORTION OF THE WORK UNTIL OWNER HAS DIRECTED CORRECTIVE ACTION TO BE TAKEN.
3. ELECTRICAL CONTRACTOR SHALL VISIT JOB SITE AND FAMILIARIZE HIMSELF WITH ALL CONDITIONS AFFECTING ELECTRICAL AND COMMUNICATIONS INSTALLATION AND MAKE PROVISIONS AS TO THE COST THEREOF. EXISTING CONDITIONS OF ELECTRICAL EQUIPMENT, LIGHT FIXTURES, ETC., THAT ARE PART OF THE FINAL SYSTEM SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO SUBMITTING HIS BID.
4. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE AND ALL CODES AND ORDINANCES OF THE AUTHORITY HAVING JURISDICTION.