



CITY OF FORT PIERCE

PLANNING DEPARTMENT

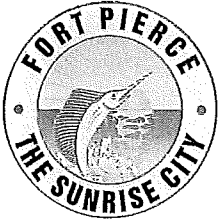
REBECCA GROHALL, AICP, PLANNING MANAGER
COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

Technical Review Comments

Fresh Wind, Fresh Fire Church of God

Conceptual Development Plan

1. Planning Department
2. Code Enforcement
3. Engineering Department
4. Fort Pierce Police Department



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PLANNING DEPARTMENT

COMPREHENSIVE PLANNING ◊ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ◊ URBAN DESIGN ◊ URBAN FORESTRY ◊ ZONING

April 16, 2014

Abraham Chabab, PE
5428 NW Edgewater Avenue
Port St. Lucie, FL 34983

Re: Technical Review
Conceptual Site Plan- Fresh Wind, Fresh Fire Church
400 N 25th Street

Dear Mr. Chabab, PE,

- 1) Please revise the General Notes on the Site Plan to incorporate all parcel identification numbers included in the conceptual plan. Furthermore, please eliminate parcel legal descriptions of lots not contained in conceptual plan or provide a brief narrative of future intentions or plans.
- 2) Per City Code Section 22-187(7) Interior vehicular use areas, b. the applicant is encouraged to provide a minor landscape strip within the "turnaround" (cul-de-sac) to break up the expansive pavement area and ensure the turnaround complies with City Code Section 22-61 (3) maximum driveway widths.
- 3) Per Section 22-60(d)(3)l. of the City Code, Churches established with fixed seating are required to provide one space per 3 seats, furthermore Section 22-60 (a)(6) requires an additional fifteen (15) percent of the required parking to be provided for the additional accessory uses identified on the proposed Floor Plan.

-The parking calculations provided on the site plan base parking upon a 212 seat assembly area, however the floor plan suggests 220 seats. Please revise this figure accordingly (base space requirement 74 spaces).

-If the parking is based upon a 220 seat assembly, the required parking calculation is as follows $(220/3) = 73.33 + (73.33 * .15) = 84.33$ spaces. Therefore 85 total vehicular spaces, 81 regular & 4 handicap, and 9 short-term bicycle parking spaces are required.

-Long term bicycle parking spaces may provide in-lieu for two of the three additional spaces required.

- 4) Per City Code Sections 22-187(6) *Vehicular use, building, retention/detention areas adjacent to other property*. Landscape standards for these areas are as follows:
 - a. Where a vehicular use area does not abut a street right-of-way but abuts other property, there will be a landscaped strip of land which is at least ten (10) feet wide.

b. The landscaping strip required by the immediately foregoing subsection shall include an average of at least one tree for each two hundred (200) square feet of the required landscape area. The remainder of the required landscape area shall be landscaped with grass, ground cover or other landscape treatment. When the area to be screened abuts residentially zoned property, a site-obscuring fence or planted material which is not less than six (6) feet in height shall be included. If planted material is used, it shall be planted and maintained so as to form a three-foot or higher continuous, unbroken, solid visual screen within a maximum of one year after planting. The planted material shall be a species which in St. Lucie County normally grows to a height of six (6) feet or more.

- Please revise the location or increase landscaping materials to provide screening between the retention areas and adjacent property. The proposed shrubs and trees along the northern property lines can simply be shifted to the north side of the proposed retention areas to comply with this requirement.

5) Per City Code Section 22-187 (12) d. All landscaping required by the city must be protected from vehicular and pedestrian traffic by the installation of curbing, wheel stops or other protective devices along the perimeter of any landscaping which adjoins vehicular use areas or sidewalks. These protected devices shall have a minimum height of six (6) inches above grade.

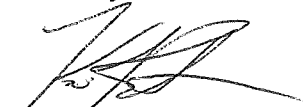
- Please provide curbing or similar device along the perimeter of the vehicular use areas. Solutions other than curbing for protection of landscaping within the pervious lot can be discussed further with staff.

6) Advisory Comments:

- a) As previously discussed, the submittal of a formal site plan is contingent upon the elimination of split Zoning/Future Land Use.
- b) Prior to issuance of the Certificate of Occupancy, a Unity of Title combining the developed parcels shall be recorded and submitted. In addition, some type of legal documentation must bind the off-site parking lot to the development in order to prevent the future separation of these parcels.
- c) Prior to issuance of the Certificate of Occupancy, a recorded sketch and description and easement deed shall be submitted encompassing the proposed 5' sidewalk easements along 26th Street.

Please provide a written response to each comment in order to expedite the review of any subsequent submittals. Please contact me should you have any questions regarding the project at (772) 467-3739 or by e-mail: kbenton@city-ftpierce.com.

Sincerely,



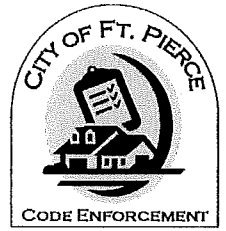
Kori Benton
Historic Preservation Officer



CITY OF FORT PIERCE

COMMUNITY RESPONSE DIVISIONS
MARGARET M. ARRAIZ, CODE COMPLIANCE MANAGER

Protecting the health, safety and welfare of our community



TO: Kori Benton, Historic Preservation Officer
FROM: Peggy Arraiz, Code Compliance Manager
RE: Technical Review Project: # 14-40100001
400 N 26th Street – Conceptual Site Plan
DATE: March 21, 2014

Code Enforcement has reviewed the above project and has the following comments:


- There is an active lot clearing violation at this time. The owner is working towards compliance and I do not foresee any additional problems. Once cleared, please maintain lot until actual development takes place.

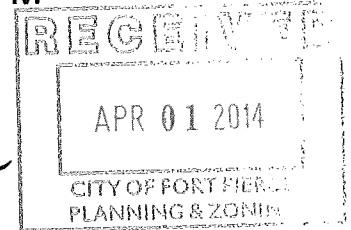


CITY OF FORT PIERCE DEPARTMENT OF ENGINEERING

Roadway Design, Engineering Reviews, Stormwater Utility Management,
Project Management, Traffic Control and Maintenance

INTEROFFICE MEMORANDUM

TO: Kori Benton, Historic Preservation Officer
FROM: John R. Andrews, P.E., City Engineer 
DATE: March 28, 2014
PROJECT: Fresh Wind, Fresh Fire Church of God – 400 N. 26th Street
Conceptual Site Plan – TRC Project: #14-40100001



cc:

Attachment(s):

This is to advise you that we have completed the review of the following documents as received by this office on March 27, 2014:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Preliminary Site Plan | <input type="checkbox"/> Engineering Plans |
| <input type="checkbox"/> Test Reports & Related Documents | <input type="checkbox"/> Certificate of Completion |
| <input type="checkbox"/> Record Drawings | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we Recommend; Do Not Recommend

- Approval of Site Plan Building Permit C/O

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.


- See attached for engineering comments

ENGINEERING COMMENTS:

1. Advisory Comments:
 - a) Prior to issuance of the Certificate of Occupancy, a Unity of Title combining the developed parcels shall be recorded and submitted. In addition, some type of legal documentation must bind the off-site parking lot to the development in order to prevent the future separation of these parcels.
 - b) Prior to issuance of the Certificate of Occupancy, a recorded sketch and description and easement deed shall be submitted encompassing the proposed 5' sidewalk easements along 26th Street.
2. Provide a signed and sealed boundary and topographic survey in accordance with City of Fort Pierce Code of Ordinances Section 17-27(a)(7).
3. Both the survey and the development plans incorrectly identify the surrounding roadways per their plat name as opposed to their official name. Georgia Avenue is actually Avenue "C" and the noted Alabama Avenue on the north side is actually platted property and no longer right-of-way.
4. The development plans indicate the existing 25th Street sidewalk as being 4' in width. Our records indicate that this width is incorrect, please verify and provide necessary revisions.
5. Confirm with the Planning Department that the required curbing separating landscaped areas from vehicular use areas is not required.
6. The sidewalks connecting the 26th Street crosswalk to the new sidewalks shall be installed perpendicular and not at an angle to the proposed North 26th Street sidewalks.
7. The preliminary drainage plans shall identify the ultimate discharge for the on-site detention system. Should the project be designed for an on-site system with no discharge then please be aware the requirement is 100% retention of the run-off generated from a 100 year – 1 day storm event.

JRA/tst

Memo

To: Lt. Curry
From: Officer C. Glenn-Reed 
Date: 04/17/14
Re: Site Plan Review- Fresh Wind, Fresh Fire Church of God (400 North 26th Street)

Approved

I have reviewed the attached site plan for the proposed Fresh Wind, Fresh Fire Church of God and offer the following comments and recommendations: **The recommendations contained within the report are suggestions made from a crime prevention standpoint. They are intended to suggest ways to improve safety at the location and should be viewed only as suggestions. The overall plan for this project should be approved by the Fort Pierce Police Department and plans should move forward as anticipated within the guidelines of the City of Fort Pierce.**

The use of CPTED (Crime Prevention Through Environmental Design) plays an important role to the Fort Pierce Police Department and the community we serve. Extra care should be taken to ensure that all properties (pre-existing and new construction) are built using current CPTED principles of design. In those principles, the three major components of CPTED strategy include:

- Natural Surveillance
- Natural Access Control
- Territorial Reinforcement

From our standpoint, using these three design strategies reduces the opportunity for criminal behavior and increases the possibility that the unwelcome criminal element will be discovered and exposed at a greater degree.

Fresh Wind, Fresh Fire Church of God has taken steps to provide both Natural access control as well as Territorial reinforcement by using entrances and landscaping for the project. The Natural Surveillance plan also appears to be balanced in that there are limited “ambush points”

throughout the property and open view perimeters to provide easy viewing by residents and visitors.

A Photometric Survey was provided. It appears that the designer will be using Metal Halide lighting on the property. The Metal Halide lighting provides the best night viewing for citizen safety. The high intensity lighting also allows people to view things from outside the area.

In addition to the lighting recommendations, the property designers and builders should use caution in designing the landscape of the property. The landscaping should be designed to limit the number of "ambush points" within the property. Using a simple rule of 2' 6' landscaping should help ease this concern. When designing landscape for a property such as this, the landscaper should ensure that no shrub reaches higher than 2' above the ground thus not allowing a criminal the opportunity to hide in the bushes. In planting trees, the designer should ensure that the canopy of the tree falls no more than 6'. Again, this limits the ability of an intruder to hide in the trees around the building. In this project all of the landscaping planned does meet these requirements. It should also be noted that hardy, thorny bushes should be used in areas where people should not be present. Using these types of bushes sends a clear message to the criminal element that they are not welcome and should stay away from these areas.

The site plan did not include any perimeter fencing but it did have a continuous hedge running around the perimeter of the parking lot and church. This sufficiently restricts access to the property.

In summary, the property design looks to be sound in terms of limiting criminal opportunity into the development. The builder appears to have taken the time and effort to ensure that the uses of CPTED design strategies are being employed for this project. The Fort Pierce Police Department has several officers that are trained in CPTED strategies. If requested, one of these officers will be available to answer questions regarding crime prevention strategies.