

CITY PLANNING BOARD

BOARD AGENDA

Planning Board Regular Meeting - Tuesday, July 8, 2014 - 6:00 p.m.
City Hall - City Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **CONSIDERATION OF ABSENCES**
 - a. May 13, 2014 meeting
 - b. June 10, 2014 meeting
5. **CERTIFICATION OF ALTERNATE MEMBER VOTING STATUS**
6. **APPROVAL OF MINUTES**
 - a. May 13, 2014 Meeting
 - b. June 10, 2014 Special Meeting
7. **NEW BUSINESS**

- a. Approval of a Conditional Use with New Construction to Exceed Maximum Height of 28 Feet for Single-Family Homes in the R-1 District, within the South Beach Overlay

- b. Approval of a Conditional Use to operate a Middle and High-school extension of their existing Private School at the subject location.

- c. The applicant would like to construct a canvas awning approximately 24' X 60' onto a wooden deck located on the north side of the existing building, and another 6' X 60' awning on the east side of the same building, which is the current location for the resort restaurant. The awning that will be located on the east side will be attached to the building, off of the ground, centered, and leveled to the building. Additional improvements include replacing the wood deck of the north side of the same building, which was removed due to decay caused by storms and weathering.

8. **BOARD COMMENTS**

9. **ADJOURNMENT**

Any person seeking to appeal the decision of the Planning Board of the City of Fort Pierce, Florida, as to the foregoing, is advised that a record of the proceedings is required in any such appeal, and any such person may need to ensure that a verbatim record of proceedings is made including the testimony and evidence upon which the appeal is to be based.

Persons who require special accommodations under the Americans with Disabilities Act (ADA) should contact the Planning Department at (772) 467-3729, at least five (5) days prior to the meeting. Persons who are hearing or speech impaired may use the Florida Relay System by dialing 711.

Planning Board

4.

Meeting Date: 07/08/2014

Information

REQUESTED ACTION

CONSIDERATION OF ABSENCES

LOCATION

RESPONSIBLE STAFF

RECOMMENDATION

Form Review

Form Started By: Alicia Rosenthal

Started On: 06/30/2014 12:10 PM

Final Approval Date: 06/30/2014

Planning Board

6. a.

Meeting Date: 07/08/2014

Information

REQUESTED ACTION

May 13, 2014 Meeting

LOCATION

RESPONSIBLE STAFF

RECOMMENDATION

Attachments

Planning Board Minutes 5/13/2014 Minutes

Form Review

Form Started By: Alicia Rosenthal

Started On: 06/17/2014 09:14 AM

Final Approval Date: 06/17/2014

DRAFT



CITY OF FORT PIERCE PLANNING BOARD

Planning Board Minutes

OF THE REGULAR MEETING OF THE FORT PIERCE CITY PLANNING BOARD HELD ON TUESDAY, May 13, 2014, IN FORT PIERCE CITY HALL, COMMISSION CHAMBERS, 100 NORTH US HIGHWAY 1, FORT PIERCE, FLORIDA.

1. CALL TO ORDER

Chairman Burdge called the meeting to order at 6:00 PM.

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

Present: Eduardo Mujica; Tim O'Connell; Robert Poitier; Eloise Cummings; Marcia Baker; Brian Paul; Bob Burdge, Chairman; Steve Weaver; Mike Dahan

Absent: Phyllis Castro; John George; Erica Ganzi

Staff Present: Rebecca Grohall, Planning Manager, AICP
James Walker, Assistant City Attorney
Sandra Ramseth, Senior Planner, AICP
Kori Benton, Historic Preservation Officer
Alicia Rosenthal, Administrative Assistant

4. CERTIFICATION OF ALTERNATE MEMBER VOTING STATUS

Mr. Weaver and Mr. Dahan may participate in discussions and voting.

5. APPROVAL OF MINUTES

- a. Planning Board Minutes April 8, 2014

Motion was made by Steve Weaver, seconded by Eloise Cummings to approve minutes for the April 8, 2014 meeting.

AYE: Eduardo Mujica, Tim O'Connell, Robert Poitier, Eloise Cummings, Marcia Baker, Brian Paul, Chairman Bob Burdge, Steve Weaver, Mike Dahan

Passed

6. NEW BUSINESS

- a. Zoning Text Amendment - Request to amend City Code Section 22-22. Allowed uses; eliminating the differentiation of public and private elementary, middle or high schools.

Mr. Benton gave an overview of the application.

Ms. Baker asked about the differentiation for a kindergarten, pre-school or nursery school. Mr. Benton responded. Chairman Burdge asked if V-PK is considered part of kindergarten. Mr. Benton responded. Mr. Weaver asked if a concurrent conditional use application is being made and if there are any ramifications on how this overlaps with downtown business's that serve alcohol. Mr. Benton responded. Mr. Paul asked the reason why there was a differentiation in the city code between public and private schools. Mr. Benton responded.

Motion was made by Marcia Baker, seconded by Steve Weaver to approve the request to amend City Code Section 22-22.

AYE: Eduardo Mujica, Tim O'Connell, Robert Poitier, Eloise Cummings, Marcia Baker, Brian Paul, Chairman Bob Burdge, Steve Weaver, Mike Dahan

Passed

- b. Approval of a Conceptual Development Plan for Fresh Wind, Fresh Fire Church of God

Mr. Benton gave an overview of the application. Abraham Chabab, Agent, and Mike Menard of Cook and Menard Architecture commented. Mr. Benton responded.

Ms. Baker asked what provisions are being made to buffer Mr. Nelson's property from the proposed development and what kind of provisions are being made to protect the area around Moore's Creek. Mr. Benton responded.

Chairman Burdge asked if the church traffic will deposit on to 26th Street. Chairman Burdge asked what is being considered for the residential area, that is immediately south of the church, in regards to the number of vehicles that will be using the street. Mr. Benton responded. Chairman Burdge asked if any thought has been given to the city abandoning Avenue C from 25th Street to 27th Street, so the church could redesign how cars leave the parking lots. Mr. Benton responded. Chairman Burdge asked about the irrigation system for the landscaping. Mr. Benton responded.

Mr. Weaver asked if it is a city code requirement to light the grass parking area from dusk to dawn. Mr. Benton responded. Ms. Baker asked if the church would have to come back to the Planning Department if they wanted to have a full time school in the church. Mr. Benton responded. Mr. Weaver asked why 25th Street was not utilized as a point of ingress and egress for loading. Mr. Benton responded. Ms. Cummings addressed the parking spaces and the retention area that was listed in the Technical Review Committee comments. Mr. Benton responded. Ms. Baker asked if any security fencing will be around the property. Mr. Chabab responded. Chairman Burdge asked about abandoning Avenue C and North 26th Street so the traffic will move onto 25th Street sooner. Mr. Chabab and Mr. Benton responded. Ms. Baker asked what kind of material is being used on the walkway from the parking area to the church. Mr. Chabab responded.

Motion was made by Marcia Baker, seconded by Robert Poitier to approve the Conceptual Development Plan for Fresh Wind, Fresh Fire Church of God.

AYE: Eduardo Mujica, Tim O'Connell, Robert Poitier, Eloise Cummings, Marcia Baker, Brian Paul, Chairman Bob Burdge, Steve Weaver, Mike Dahan

Passed

c. Abandonment of Boston Avenue Extension East of S. Indian River Drive

Mr. Benton gave an overview of the application. Trina Angelone, Head of Schools, St. Andrews Academy, and Tod Mowery, St. Lucie County Commissioner commented.

Mr. Weaver asked if the applicant will maintain their riparian rights on the area east of the new extension of the north-south walkway. Mr. Benton responded. Mr. Weaver asked if the abandonment includes the east west element of the proposed walkway along Boston Avenue. Mr. Benton responded. Mr. Weaver asked if the blue area depicted on the aerial is an additional abandonment or if it is being proposed in another phase. Mr. Benton responded.

Chairman Burdge asked who owns the land immediately south of the walkway along Citrus Avenue. Mr. Benton responded. Chairman Burdge asked if the city owns any right-of-way property on the south side of the future river walk to Citrus Avenue. Mr. Benton responded. Chairman Burdge asked if there is any parking available for people to park and start walking along the riverfront. Mr. Benton responded. Chairman Burdge asked if the northern part of the riverfront walkway extension is where the city is contemplating putting the fishing pier. Mr. Benton responded. Chairman Burdge asked who owns the parking lot where # 7 is shown on the map. Mr. Benton responded. Chairman Burdge asked if staff has had discussions with the church regarding pedestrian easement. Mr. Benton responded.

Chairman Burdge asked the school's response to the request of the city getting the pedestrian access on Melody Lane for the right-of-way extension. Ms. Angelone responded. Chairman Burdge asked if the school considers having any problem as far as the crime situation. Ms. Angelone responded. Chairman Burdge asked if the county parking lot is lit at night. Ms. Angelone responded. Mr. Weaver asked about giving the city 25 feet of the school's property, to the south of the Melody Lane right-of-way, in exchange for the city abandoning the easement, so there is room for more public parking. Ms. Angelone responded.

Motion was made by Robert Poitier, seconded by Marcia Baker to approve the Abandonment of Boston Avenue Extension East of S. Indian River Drive.

AYE: Eduardo Mujica, Tim O'Connell, Robert Poitier, Eloise Cummings, Marcia Baker, Brian Paul, Chairman Bob Burdge, Steve Weaver, Mike Dahan

Passed

7. BOARD COMMENTS

8. ADJOURNMENT

Meeting was adjourned at 7:15 PM.

Planning Board

6. b.

Meeting Date: 07/08/2014

Information

REQUESTED ACTION

June 10, 2014 Special Meeting

LOCATION

RESPONSIBLE STAFF

RECOMMENDATION

Attachments

Planning Board Minutes 6/10/14

Form Review

Form Started By: Alicia Rosenthal

Started On: 06/26/2014 03:52 PM

Final Approval Date: 06/26/2014

DRAFT



CITY OF FORT PIERCE PLANNING BOARD

Planning Board Minutes

OF THE SPECIAL MEETING OF THE FORT PIERCE CITY PLANNING BOARD HELD ON TUESDAY, JUNE 10, 2014, IN FORT PIERCE CITY HALL, COMMISSION CHAMBERS, 100 NORTH US HIGHWAY 1, FORT PIERCE, FLORIDA.

1. CALL TO ORDER

Chairman Burdge called the meeting to order at 6:20 PM.

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

Present: Eduardo Mujica; Tim O'Connell; Erica Ganzi; Robert Poitier; Eloise Cummings; John George; Marcia Baker; Brian Paul; Bob Burdge, Chairman; Steve Weaver; Mike Dahan

Absent: Phyllis Castro

Staff Present: Sandra Ramseth, AICP, Senior Planner
Kori Benton, Historic Preservation Officer
Clarissa Davis, Planner
Karen Emerson, Assistant City Attorney

Attendees: Officer Cheryl Glenn Reed

4. CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN PRESENTATION (CPTED)

Chairman Burdge stated since the media is not working correctly, the CPTED presentation will be continued at the Planning Board meeting on August 12, 2014. Chairman Burdge introduced Officer Cheryl Glenn Reed.

Officer Glenn Reed stated she is a Crime Prevention Officer and CPTED Practitioner with the Ft. Pierce Police Department. She has been with the Police Department for 26 years and she has been a CPTED Practitioner for approximately 5 years.

Officer Glenn Reed gave an overview of CPTED and presented the four strategies of CPTED: Natural Surveillance, Territorial Reinforcement, Natural Access Control and Target Hardening. She explained that Natural Surveillance is a design concept in keeping intruders easily observed. Territorial Reinforcement is a physical design that can create or extend a sphere of influence, that develops a sense of territorial control. Natural Access Control is a design concept directed primarily at decreasing crime opportunities by denying access to crime targets and creating an offenders perception of risk. Target Hardening strategies are guidelines which homeowners and builders can apply to reduce the fear of incidence of crime and approve the quality of life.

Officer Glenn Reed stated The Technical Review Committee committee sends the site plans to the police department to review the lighting and territorial reinforcement. Ms. Baker asked if the police department also reviews the site plans for landscaping. Officer Glenn Reed responded that landscaping is also reviewed.

Officer Glenn Reed stated there is an area at City Hall that needs to be looked at as far as the CPTED concept is concerned. She would like the Planning Board members to go outside and look at the area and see what needs changing.

Ms. Baker stated the Planning Board members are not allowed to go in a group on a field trip outside of the meeting. Chairman Burdge asked the attorney if the presentation can be moved outside since they are not taking any formal action. Assistant City Attorney Karen Emerson responded that the meeting is to happen in the Commission Chambers. She suggested that since the officer is being invited back to the August meeting that this issue be discussed with Assistant City Attorney, Jim Walker.

Ms. Ganzi asked the location of the area to be reviewed. Assistant City Attorney Karen Emerson suggested using visual photos of the exact location in the PowerPoint presentation being used in August.

Officer Glenn Reed asked that the Planning Board members individually look at the area that sits between the garage and City Hall in the walkway that heads north toward Avenue A and also look at the first floor of the parking garage. Chairman Burdge stated that the board should look for things that might be improved and things that are already there. Officer Glenn Reed stated she wants the Planning Board members to state their observations of what can or cannot be improved at the August 12, 2014 Planning Board meeting.

Mr. O'Connell stated he was privileged to be in the Citizens Police Academy and he highly recommends the class.

Motion was made by Robert Poitier, seconded by Marcia Baker for Officer Glenn Reed to come back to the Planning Board Meeting on August 12, 2014 to continue her presentation on CPTED.

AYE: Eduardo Mujica, Tim O'Connell, Erica Ganzi, Robert Poitier, Eloise Cummings, John George, Marcia Baker, Brian Paul, Chairman Bob Burdge, Steve Weaver, Mike Dahan

Passed

5. ADJOURNMENT

Meeting was adjourned at 6:50 PM.

Planning Board

7. a.

Meeting Date: 07/08/2014

Information

REQUESTED ACTION

Approval of a Conditional Use with New Construction to Exceed Maximum Height of 28 Feet for Single-Family Homes in the R-1 District, within the South Beach Overlay

LOCATION

1613 Thumb Point Drive

RESPONSIBLE STAFF

Kori Benton, Historic Preservation Officer

RECOMMENDATION

Approval

Attachments

Staff Report
Site Aerial
Application
Conditional Use & Design Narrative
Contextual Photos
Survey
Site Plan
Elevations
Floor Plans
TRC Comments

Form Review

Form Started By: kbenton
Final Approval Date: 07/01/2014

Started On: 07/01/2014 09:59 AM



CITY OF FORT PIERCE

PLANNING DEPARTMENT

COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

TO: Members of the City of Fort Pierce Planning Board

THROUGH: Rebecca Grohall, AICP, Planning Manager

FROM: Kori Benton, Historic Preservation Officer

RE: **Application for Site Plan and Conditional Use
Koehl Residence
1613 Thumb Point Drive**

DATE: July 1st, 2014

STAFF REPORT

Owner/Applicant: Dennis & Jacklyn Koehl
PO Box 93
Matagorda TX 77457

Representative: Larry Kosoy
Kosoy Enterprises
1606 Thumb Point Dr
Fort Pierce FL 34949

Requested Action: Approval of a Site Plan and Conditional Use

Location: 1613 Thumb Point Drive

Parcel ID: 2401-605-0024-000-8

Zoning: R-1, Single Family Low Density

Future Land Use: RL, Low Density Residential

Surrounding Zoning:

North	East	South	West
R-1	R-2	R-1	A-2

Parcel Size: 0.47 acres

Utilities: Located within the FPUA Retail Service Area

Staff Analysis:

In accordance with Sections 22-16 and 22-76 of the City Code, the applicant is requesting the review and approval of a Site Plan and Conditional Use to construct a new two story single family home on a .47 acre parcel located at 1613 Thumb Point Drive. As provided in Sections 22-16 and 22-24 of the City Code, the applicant is seeking Conditional Use approval to exceed the maximum permitted height of 28 feet above FEMA base flood elevation (BFE) to construct a home to 31 feet above BFE. The South Beach Overlay allows the extension of the maximum height up to 35' in the R-1, R-2 and R-3 zoning districts, subject to conditional use approval.

This new residence replaces a hurricane damaged home, demolished after the hurricanes. The home will be a concrete block structure with a smooth stucco finish. Stylistically, the design of the home is influenced by Mediterranean architecture; however the eclectic selection of roofing materials and fenestration encompasses a contemporary style representative of newer waterfront homes. The structure will feature a multi-pitch roof with variable heights. The peak roof height is 31 feet, with the architectural chimney projecting beyond. Additional design features include balconies, detailed cornices and eaves, as well as defined turrets. The rear elevation features broad expanses of windows and doors to maximize views of the Indian River. The structure features an open air patio, Florida Kitchen, and pool.

Access to the property will be from Thumb Point Drive via a circular, brick paver driveway. Site landscaping, per the attached drawing, will reflect broad use of palm trees and ground cover to further enhance the waterfront site. The remainder of the yard is to be entirely covered by with sod.

The proposed structure presents an overall building coverage of 5,325 sq. ft., representing coverage of 29.42% of the lot area (lot size, excluding aquatic areas) or 22.47% of the platted lot size. The applicant secured the unanimous approval of a Variance from the Board of Adjustment, at their June 24th, 2014 meeting, to deviate from Section 22-24(b)(3) of the City Code to construct the home which exceeds the permitted lot coverage mandated in the R-1, Single-family Low Density Residential Zone by approximately four and one-half (4.5) percent (%), an increase from the allowable twenty-five (25) percent (%).

All affected Departments have reviewed the submittals and have approved the proposed Site Plan and Conditional Use based on compliance with the requirements of the City Code.

Staff Comments:

The proposed Site Plan and Conditional Use meets the requirements of the City Code and is found to be consistent with the City's Comprehensive Plan, therefore Staff recommends that the Planning Board forward a recommendation of **approval** for the Site Plan and Conditional Use.



1613 Thumb Point Drive Site Aerial

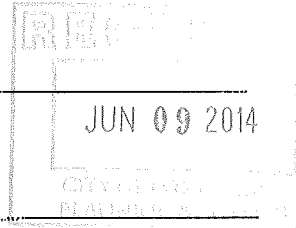




CITY OF FORT PIERCE

PLANNING DEPARTMENT

Rebecca Grohall, AICP, Planning Manager
COMPREHENSIVE PLANNING & DEVELOPMENT REVIEW
HISTORIC PRESERVATION & URBAN DESIGN & URBAN FORESTRY & ZONING



DEVELOPMENT REVIEW

Property address or Location 1613 THUMB POINT DR.
Parcel ID #(s) 2401-605-0024-000-8
Project description CONSTRUCTION OF SEMBLE FAMILY RESIDENCE

DENNIS & JACKLYN KOEHL
Property Owner(s)
P.O. BOX 93
Street Address
MATAGORDA TX 77457
City 779-216-7169 State TX Zip
Phone Number
JAKJARA@GMAIL.COM
Email Address

LARRY KOSOY
Applicant/Representative, Title, Company
1606 THUMB POINT DR.
Street Address
FT. PIERCE FL 34949
City 772-618-5327 State FL Zip
Phone Number
LARRY@KOSOYENTERPRISES.COM
Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

Dennis Koehl Jacklyn Koehl
Property Owner(s) Signature(s)
STATE OF California COUNTY San Diego
The foregoing instrument was acknowledged before me this 3rd day of June, 2014, by
Dennis L. Koehl & Jacklyn Koehl who is personally known to me or has produced
Driver's License as identification.
Jean E. Cortese
Signature of Notary



INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation
				Contributing Individual Non-Contributing None

Pre-Application Meeting Date _____
Intake Planner _____
Planner Assigned _____
Approved By _____ Date _____
Comments _____

Fees _____ Control # _____ B. Permit # _____



DEVELOPMENT REVIEW

General Information

- Incomplete application packets cannot be accepted.
- Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

Choose Application Type:

Application Type			
<input type="checkbox"/> Site Plan	<input checked="" type="checkbox"/> Conditional Use with New Const.	<input type="checkbox"/> Major Amendment	
<input type="checkbox"/> Conceptual Development Plan		<input type="checkbox"/> Minor Amendment	

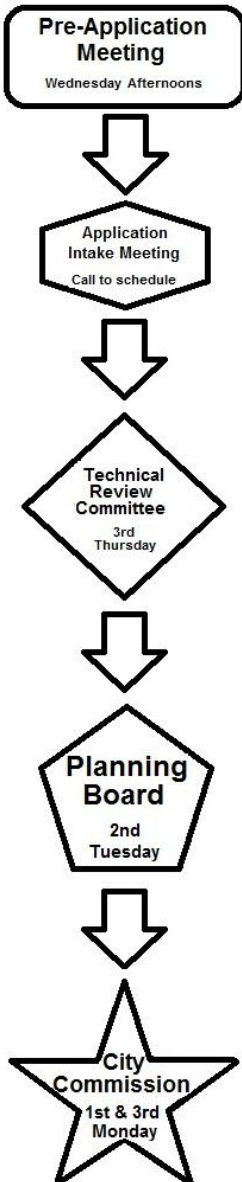
Site Information:

Non-Residential: Proposed Sq. Ft.: _____ Residential: Proposed Units: 1

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West
SF	SF	Water	SF

Application Outlook



Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- Complete notarized application
- Warranty Deed
- SLC Property Record Card
- Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- General location map (see Section 22-58.d.2)
- Survey (see Section 22-58.d.3)
- Site Plan (see Section 22-58.d.4)
- Landscaping Plan (see Section 22-187) * Included in Site Plan
- Storm Drainage Plan (see Section 22-58.d.6)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 22-58.d.7)
- Lighting Plan (see Section 22-58.d.8)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)

PROPERTY RECORD CARD

Dennis L Koehl Record: 1 of 1

<<Prev

Next >>

Spec.Assmnt

Taxes

Exemptions Permits Home Print

Property Identification

Site Address: 1613 Thumb Point Dr
 Sec/Town/Range: 01 :35S :40E
 Map ID: 24/01E
 Zoning: R1

ParcelID: 2401-605-0024-000-8
 Account #: 15207
 Use Type: Vac Res
 City/Cnty: Fort Pierce



Ownership and Mailing

Owner: Dennis L Koehl Jacklyn A Koehl
 Address: PO Box 93
 Matagorda TX 77457

Legal Description

THUMB POINT BLK 1 LOT 24 (OR 3612-1676)

Sales Information

Date	Price	Code	Deed
3/14/2014	575000	0001	WD
3/11/2009	100	0130	WD
7/1/1974	97000	00	CV

Assessment 2013

2013 Final:	382000
Assessed:	382000
Ag.Credit:	0
Exempt:	
Taxable:	
Taxes:	9763.66

Total Land and Building

Land Value:	382000	Acres:	0.47
Building Value:	0		
Finished Area:	0	SqFt	

BUILDING INFORMATION

No Sketch
 Available



Exterior Features

View:	-	RoofCover:	-	RoofStruct:	-
ExtType:	-	YearBlt:	-	Frame:	-
Grade:	-	EffYrBlt:	-	PrimeWall:	-
StoryHght:	-	No.Units:	-	SecWall:	-

Interior Features

BedRooms:	-	Electric:	-	PrmIntWall:	-
FullBath:	-	HeatType:	-	AvgHt/Ft:	-
1/2Bath:	-	HeatFuel:	-	Prm.Flors:	-
%A/C:	-	%Heated:	-	%Sprinkled:	-

Special Features and Yard Items

Type	Y/S	Qty.	Units	Qual.	Cond.	YrBlt.	No.	Use Type	Type	Measure	Depth
SCON - SEAWALL CONC	Y	1	92	AV	AV	2002	1	0000-Vac Res	IFWW-Front Ft	121	170
SCOR - SEAWALL CORG	Y	1	36	AV	AV	2002					

Land Information

THIS INFORMATION IS BELIEVED TO BE CORRECT AT THIS TIME BUT IT IS SUBJECT TO CHANGE AND IS NOT WARRANTED.

Prepared by and return to:

Frank H Fee, III
Chief Executive Officer
Treasure Coast Abstract & Title Insurance Co.
426 Avenue A
Fort Pierce, FL 34950
772-461-7190
File Number: 14-1028
Consideration: \$575,000.00

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 14th day of March, 2014, between SuLin, LLC, a Florida limited liability company, whose post office address is 7842 Sabal Lake Drive, Port Saint Lucie, FL 34986, grantor, and Dennis Lee Koehl and Jacklyn Ann Koehl, husband and wife, whose post office address is PO Box 93, Matagorda, TX 77457, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Saint Lucie County, Florida** to-wit:

Lot 24, Block 1, Thumb Point, according to the plat thereof as recorded in Plat Book 10, Page 79, Public Records of St. Lucie County, Florida

Parcel Identification Number: 2401-605-0024-000-8

SUBJECT TO restrictions, reservations, limitations, and easements of record, if any; this reference to said restrictions shall not operate to reimpose the same, and taxes for the year 2013 and subsequent years.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to **December 31, 2013**.

(Execution of grantor appears on following second page.)

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Handwritten Signature]

First Witness Signature

FRANK W. FEE, II

First Witness Printed Name

SuLin, LLC,
a Florida limited liability company
[Handwritten Signature]
By: _____
Ronald S. Grober, MD, Manager

[Handwritten Signature]

Second Witness Signature

Jennifer Anne Hodl

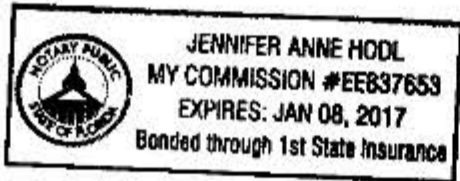
Second Witness Printed Name

COPY

State of Florida
County of Saint Lucie

The foregoing instrument was acknowledged before me this 14th day of **March, 2014**, by **Ronald S. Grober, MD**, in his capacity as **Manager of SuLin, LLC**, a **Florida limited liability company**, on behalf of said company. He [] is personally known or [] has produced a driver's license as identification.

[Notary Seal]



[Handwritten Signature]

Notary Public

Printed Name: Jennifer Anne Hodl

My Commission Expires: 1/8/2017

COPY

KOSOY ENTERPRISES, INC.

Conditional Use

The owners of the proposed 2 story residence for this site are requesting a Conditional Use approval for an overall roof height of 31'.

The multi-pitch roof line with stucco finish expresses the style of home that South Beach is known for.

There will be extensive use of landscaping, per the attached drawing, that will enhance the waterfront and the neighborhood.

The new residence replaces a hurricane damaged home, demolished after the hurricanes.

The Thumb point neighborhood has no established design theme, but whose homes appear to reflect the individuality and custom desires of their occupants.

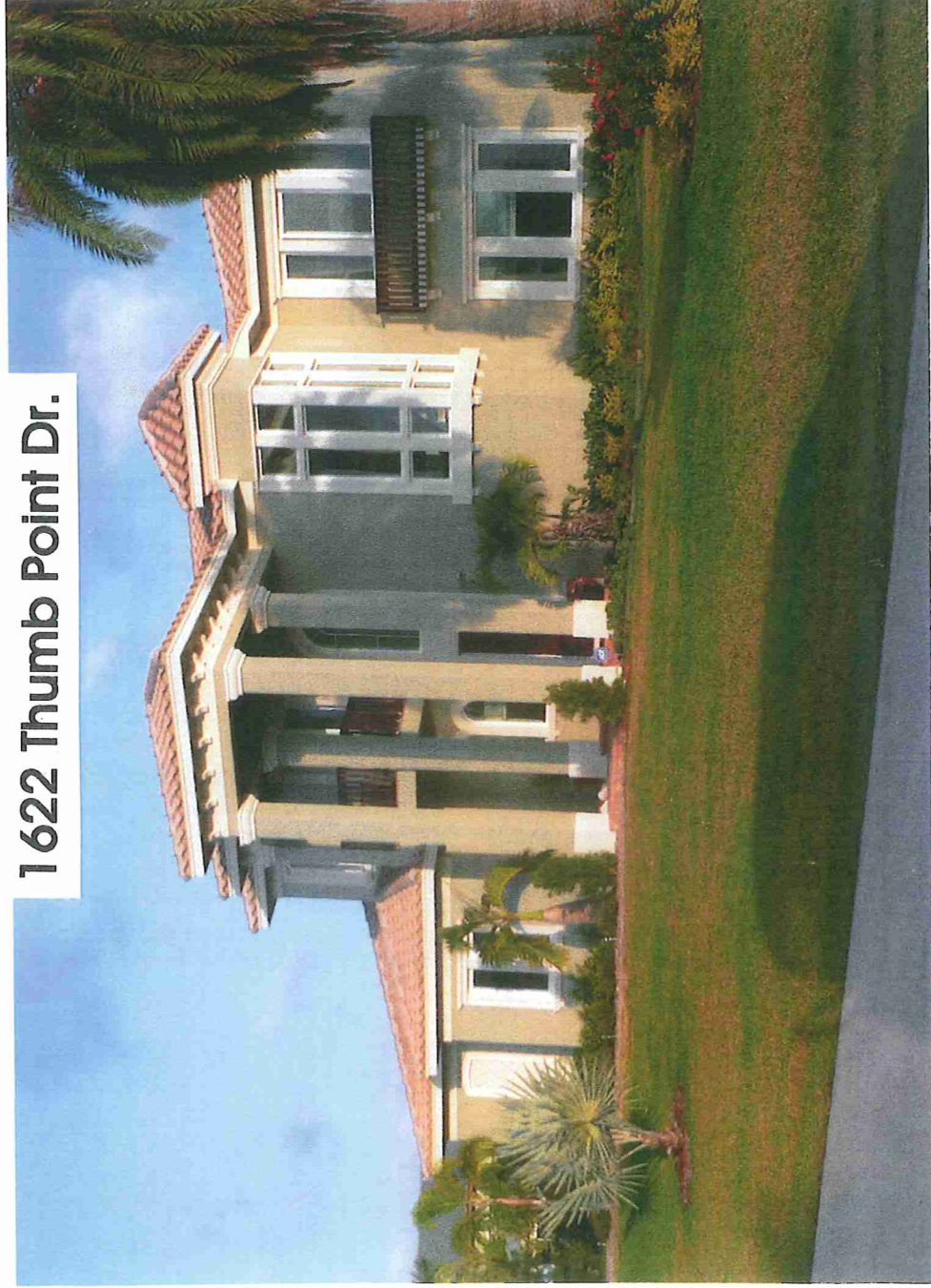
It is the goal of our client, The Koehl's, to build a home that captures the true ambiance of this waterfront property and to capture the views and breezes with open balconies and expansive windows consistent with waterfront living.

Thank you.

Sincerely yours,

Larry Kosoy
Kosoy Enterprises, Inc.

1622 Thumb Point Dr.



1615 Thumb Point Dr.

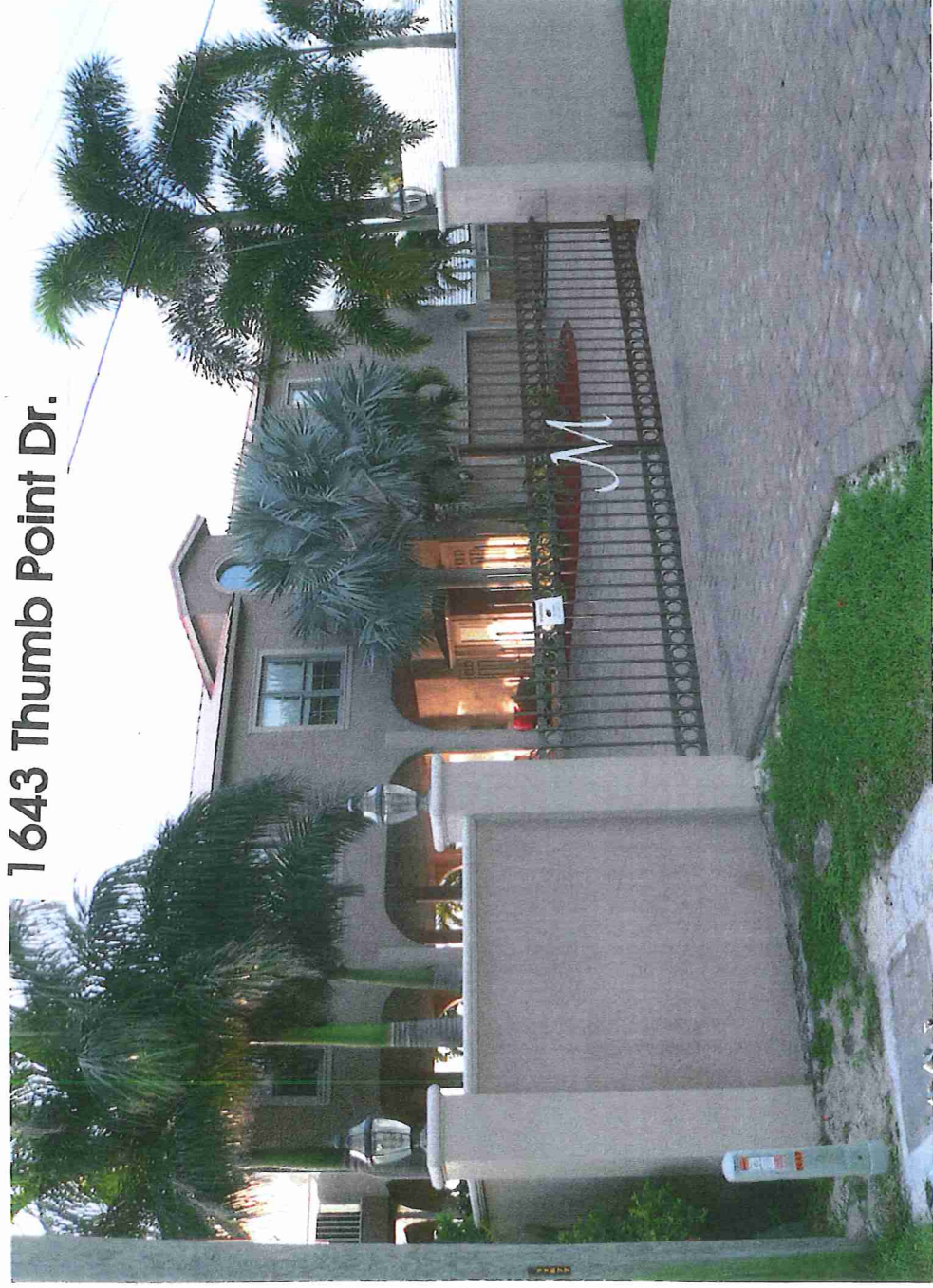


1663 Thumb Point Dr.



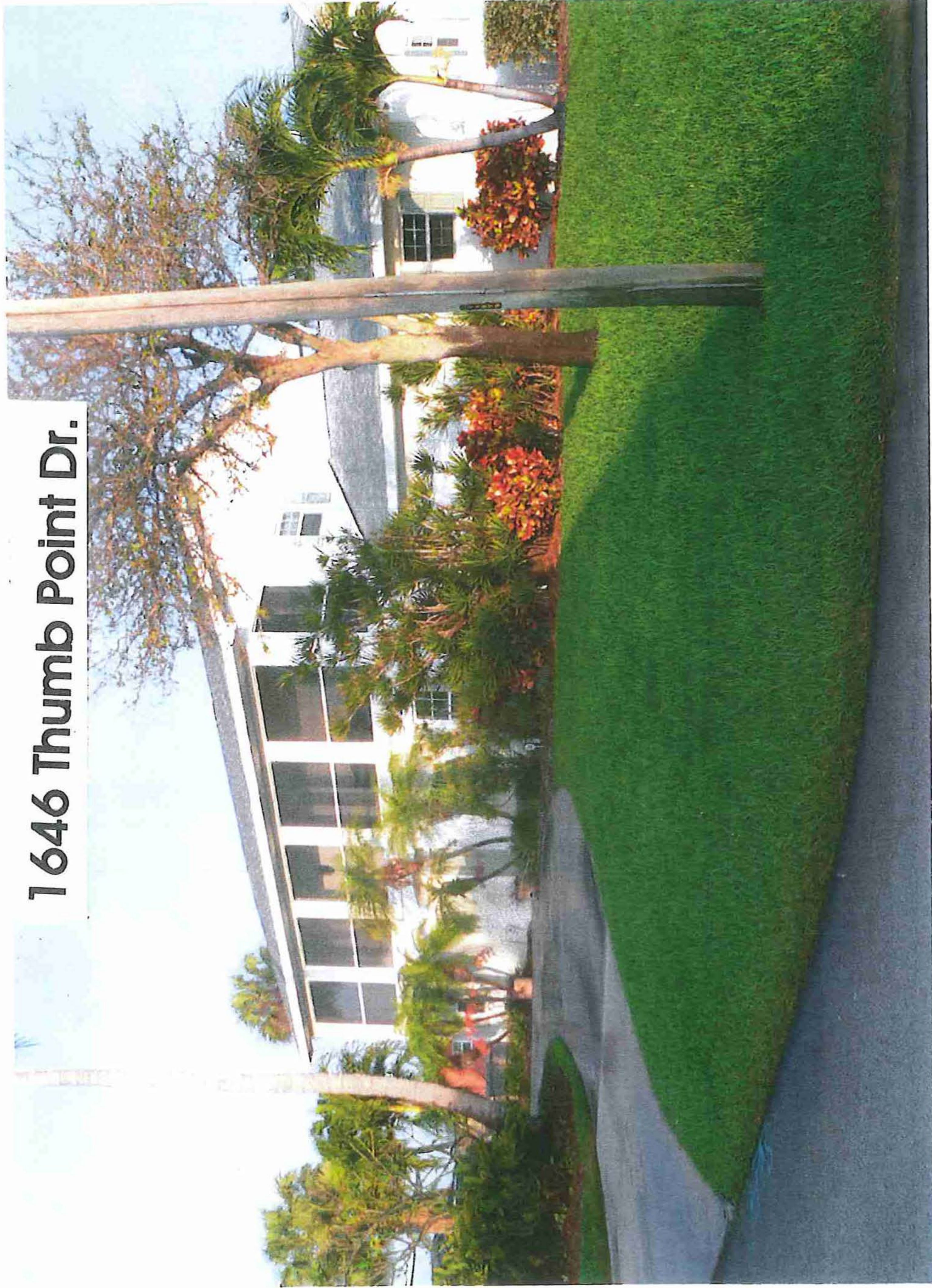
1614 Thumb Point Dr.

1643 Thumb Point Dr.



1642 Thumb Point Dr.

1646 Thumb Point Dr.



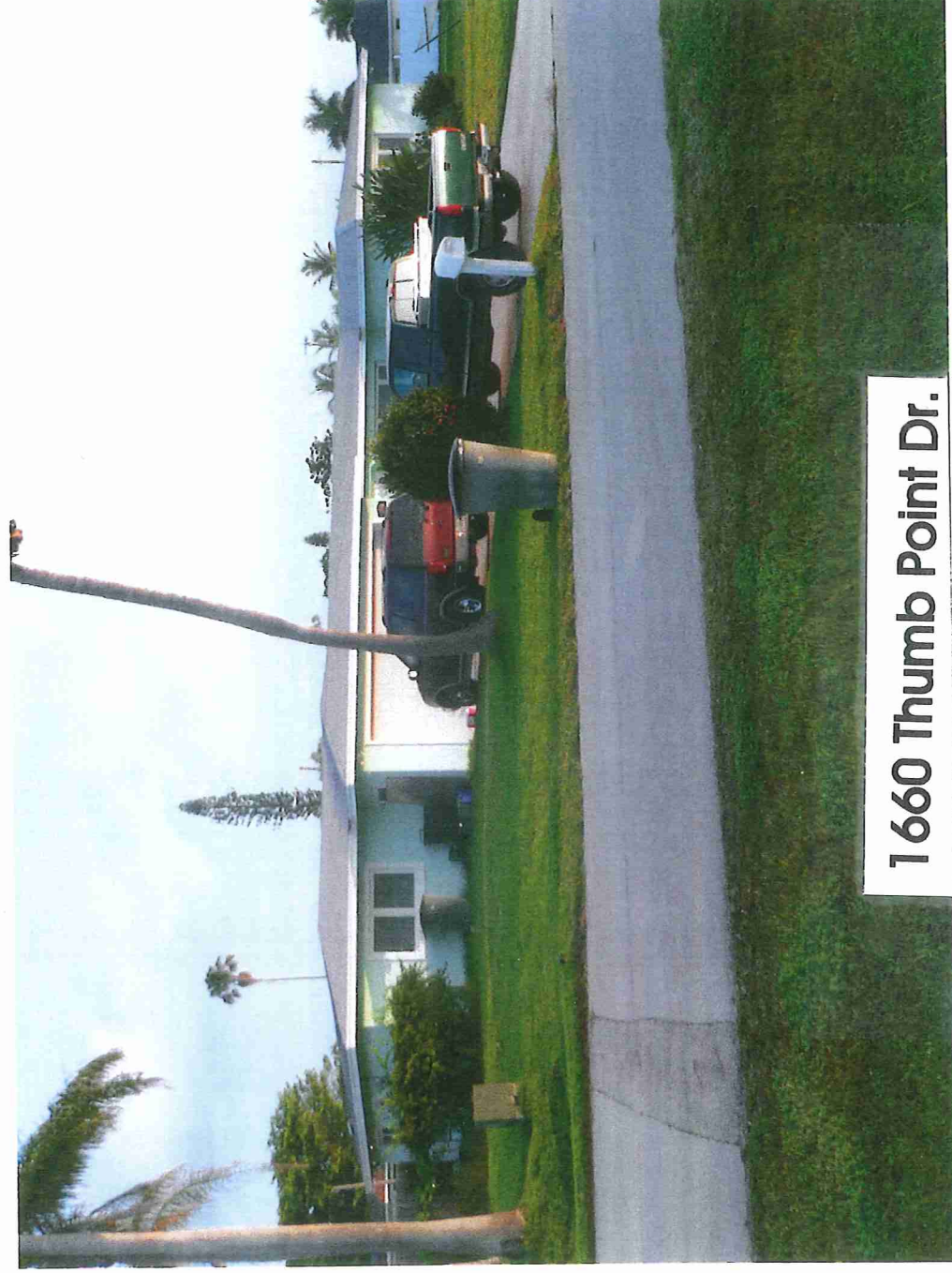
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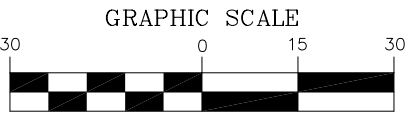


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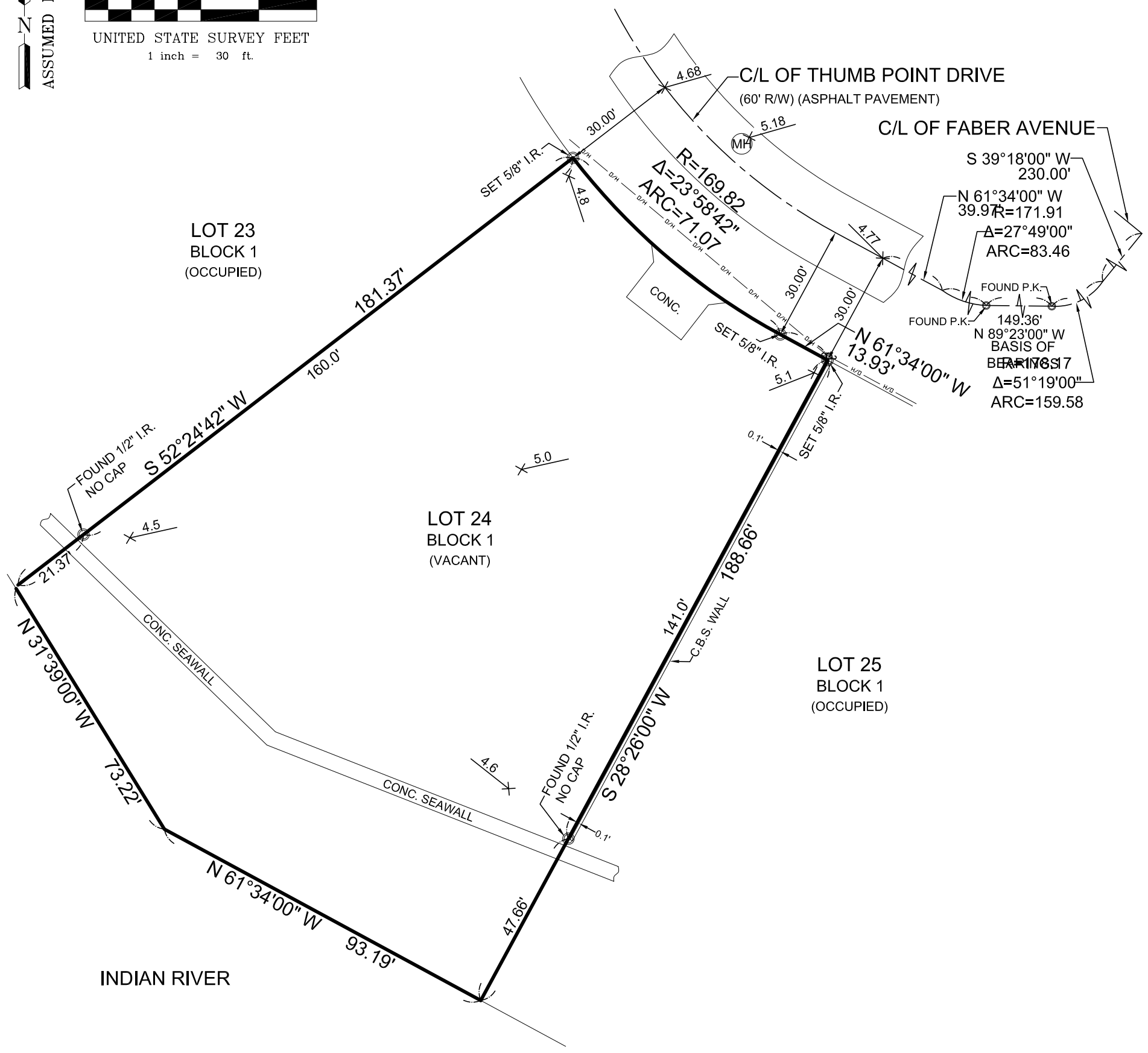


1660 Thumb Point Dr.





UNITED STATE SURVEY FEET
1 inch = 30 ft.



BOUNDARY SURVEY

PHOTOCOPYING PROHIBITED © 2014

LEGAL DESCRIPTION (As furnished by client)

LOT 24, BLOCK 1, THUMB POINT, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 79 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

FOR REFERENCE ONLY NOT A VALID SURVEY UNLESS SEALED WITH MY EMBOSSED SEAL AND SIGNED BY ME.

NOTES:

- 100 YEAR FLOOD, 3 YEAR 24 HOUR RAIN DATA NOT AVAILABLE.
- WRITTEN DIMENSION TAKE PRECEDENT OVER SCALED DIMENSIONS. DISTANCES ARE NOT TO BE SCALED FOR CONSTRUCTION AND/OR DESIGN PURPOSES.
- FIELD MEASUREMENTS, PLAT MEASUREMENTS AND DEED MEASUREMENTS ARE CONCURRENT UNLESS OTHERWISE SPECIFICALLY STATED ON THIS SURVEY.
- NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED AS PART OF THIS SURVEY, UNLESS SHOWN OR MADE NOTE OF HEREON.
- NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY AND/OR OWNERSHIP HAVE BEEN FURNISHED THIS SURVEYOR, EXCEPT AS SHOWN.
- ENCROACHMENTS, IF ANY ARE SHOWN HEREON.
- BEARING SHOWN HEREON REFER TO THE RECORDED PLAT AS STATED IN DESCRIPTION ABOVE.
- CENTERLINE OF THUMB POINT DRIVE HAS A PLAT BEARING OF N 89°23'00" W AND ALL OTHER BEARINGS SHOWN HEREON REFER THERETO.
- ELEVATIONS, IF ANY, SHOWN HEREON REFER TO NATIONAL GEODETIC VERTICAL DATUM (1929) WHERE MEAN SEA LEVEL IS 0'00.
- THIS SURVEY IS NOT TRANSFERABLE BY OWNERS AFFIDAVIT OF SURVEY OR SIMILAR INSTRUMENT.
- THIS SURVEY IS VALID IN ACCORDANCE WITH F.S. 627.7842, FOR A PERIOD OF 90 DAYS FROM THE DATE OF CERTIFICATION.
- THIS SURVEY MEETS PRECISION REQUIREMENTS FOR SUBURBAN SURVEYS. RELATIVE PRECISION IS GREATER THAN 1 FOOT IN 7500 FEET.
- ADDITIONS OR DELETIONS TO THIS SURVEY MAP AND/OR REPORT BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- NOT VALID WITHOUT MY SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAP PER 5524

LEGEND:

A/C = AIR CONDITIONING PAD	EXISTING ELEVATION	PB = PLAT BOOK
CA = CENTRAL ANGLE/DELTA	PROPOSED ELEVATION	P.O.B. = POINT OF BEGINNING
ST = SOIL TEST SITE	FIRE HYDRANT	P.O.C. = POINT OF COMMENCEMENT
BS = BENCHMARK SYMBOL	CONCRETE MONUMENT	PC = POINT OF CURVATURE
ASPH = ASPHALT	FINISH FLOOR	P.R.M. = PERMANENT REFERENCE MONUMENT
BM = BENCHMARK	IRON ROD	PG. = PAGE
CB = CABLE TELEVISION BOX	N & T TAG	PLTR. = PLANTER
(C) = CALCULATED	P.K. NAIL	POR. = PORCH
C.B.S. = CONCRETE BLOCK STRUCTURE	IRON PIPE	PROP. = PROPOSED
C.L.F. = CHAIN LINK FENCE	H.W.F. = HOG WIRE / FIELD FENCING	R = RADIUS
C.M.P. = CORRUGATED METAL PIPE	LIGHT POLE	R.C.P. = REINFORCED CONCRETE PIPE
CL = CENTERLINE	LICENSE BUSINESS	R.W. = RIGHT OF WAY
CONC. = CONCRETE	FIELD MEASUREMENT	S.F. = SQUARE FEET
COV. = COVERED	MANHOLE	S/8" I.R. = 5/8" IRON ROD AND CAP #2992
(D) = DESCRIPTION	MAX. = MAXIMUM	S.F. = SQUARE FEET
D.B. = DEED BOOK	MONUMENT	P.K. = PARKER-KALON NAIL AND DISK
D.E. = DRAINAGE EASEMENT	MIN. = MINIMUM	S.T. = SEPTIC TANK
D.U.E. = DRAINAGE AND UTILITY EASEMENT	NAIL AND DISK	SCRN. = SCREENED
D.F. = DRAIN FIELD	O.D. = OUTSIDE DIAMETER	TEL. = TELEPHONE RISER BOX
ENC. = ENCROACHMENT	OFFICIAL RECORD BOOK	TYP. = TYPICAL
ENCL. = ENCLOSURE	OVERHEAD UTILITY LINE	U.E. = UTILITY EASEMENT
ESMT. = EASEMENT	PERMANENT CONTROL POINT	W. = WASHER
EXIST. = EXISTING	ELECTRICAL PANEL	W.C. = WOOD FENCE
E. = ELEVATION		W.F. = WATER METER
▲ = ELECTRICAL PANEL		

TRIANGLE
Land Surveying, Inc.
Surveying to Specification
LB # 2992

6483 Royal Palm
Beach Boulevard
W. Palm Beach, FL 33412
561.798-3966 (phone)
561.791-8777 (fax)
triangle2992@gmail.com

SURVEY PREPARED FOR EXCLUSIVE USE OF:
LARRY KOSOY

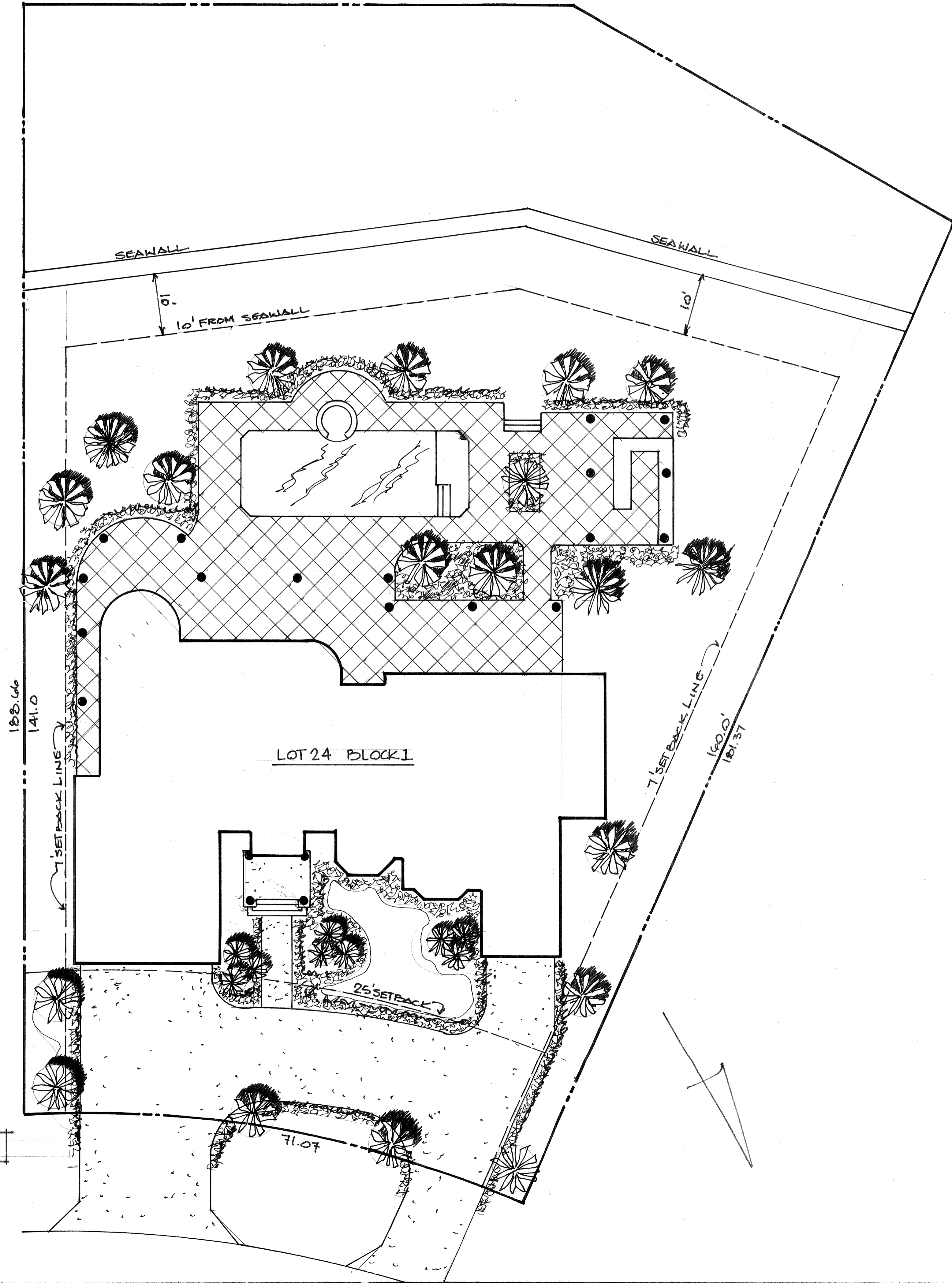
FIELD DATE: MARCH 10, 2014	SCALE: 1" = 30'	ADDRESS: 1613 THUMB POINT DRIVE FT. PIERCE, FLORIDA
REVISED:	DRAWN BY: CFC	
JOB ORDER NO.: 18792	F.B. PG. CRG 5-40	

MARCH 10, 2014

STATE OF FLORIDA
Professional Seal of Robert J. Stehman, Surveyor and Mapper, License No. 5524

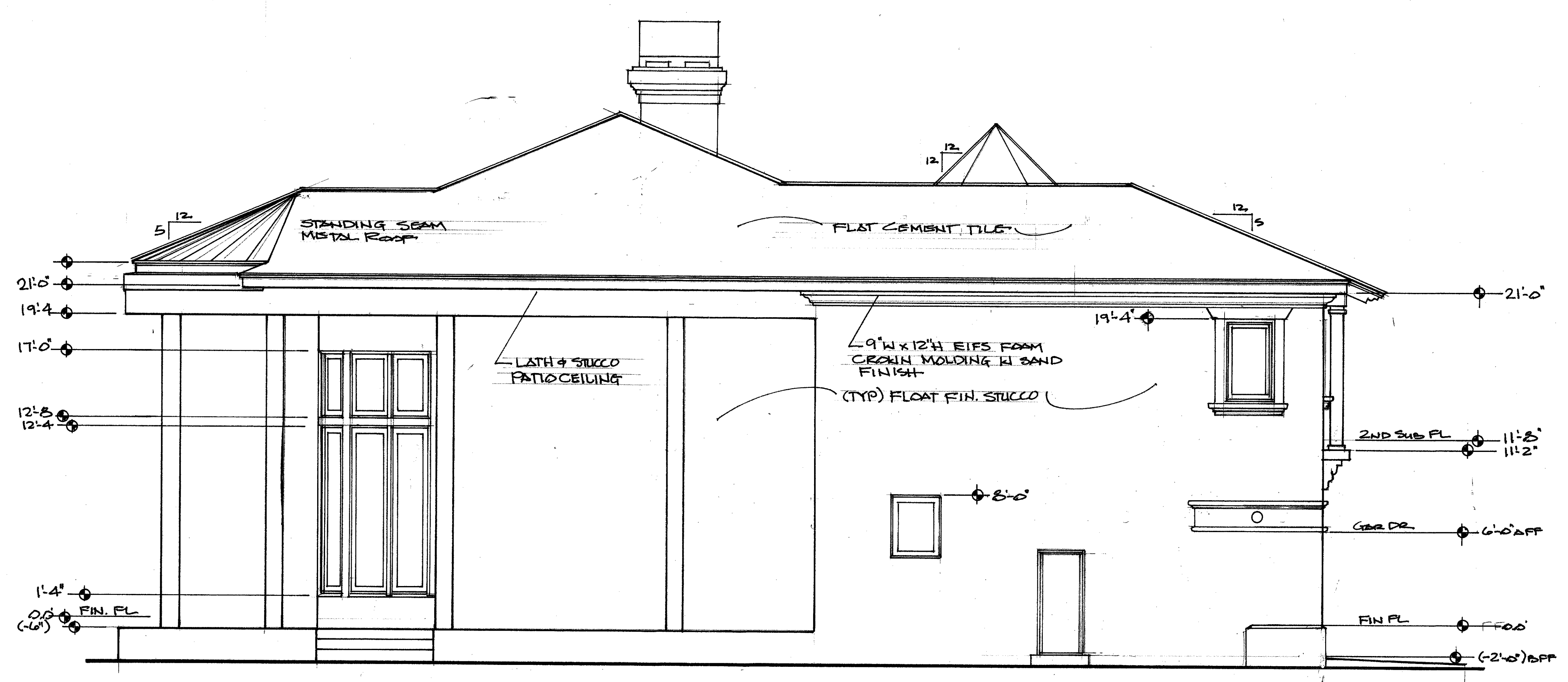
ROBERT J. STEHMAN
Surveyor and Mapper
5524

NOT VALID WITHOUT MY SIGNATURE AND MY ORIGINAL RAISED SEAL.
THE SURVEY DEPICTED HEREON IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE



ST. LUCIE HOME DESIGN
 by
 TERRY J. BRISSON
 1705 PORPOISE AVE
 FT. PIERCE, FL. 34949
 (772) 828-0364 terry@brissonllc.com

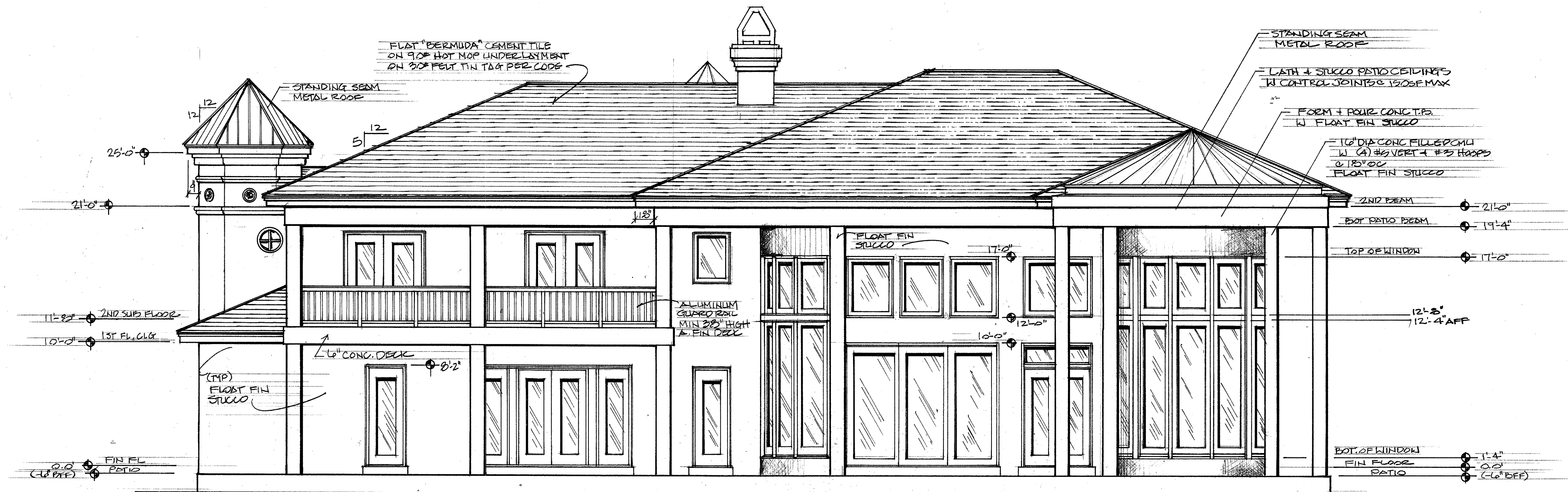




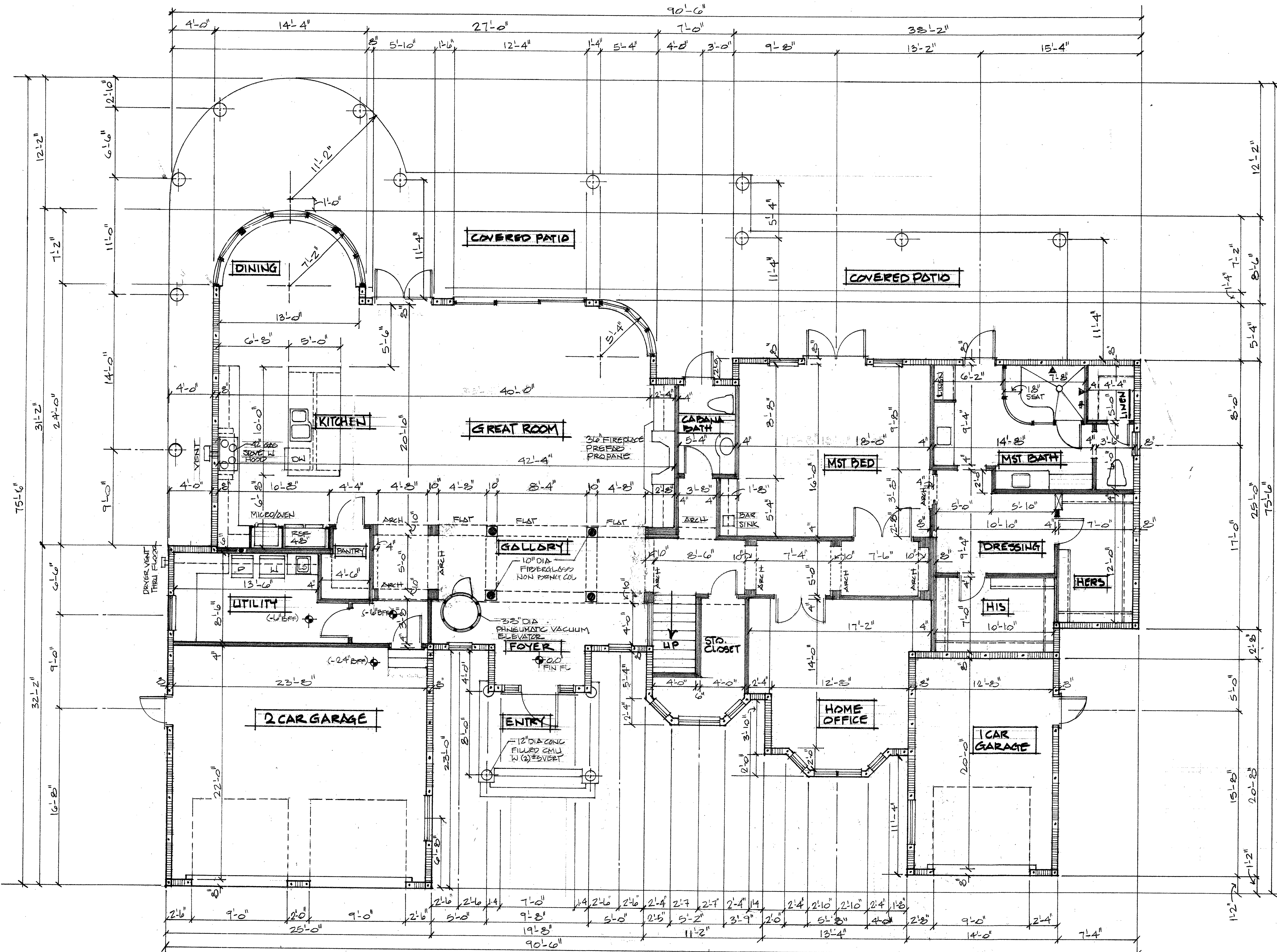
21'-0"
 19'-4"
 17'-0"
 12'-8"
 12'-4"
 1'-4"
 0'-0" FIN. FL
 (-6")

21'-0"
 19'-4"
 11'-8"
 11'-2"
 6'-0" AFF
 FIN FL
 (-2'-0") BFF

LEFT ELEVATION: 1/4"=1'



REAR ELEVATION 1/4" = 1'



1ST FLOOR LIVING	2,987 SF.
2ND FLOOR LIVING	2,182 SF.
GARAGE 1 & 2	840 SF.
ENTRY	80 SF.
PATIO	1,130 SF.
2ND FLOOR BALCONY	463 SF.
TOTAL	7,690 SF.



CITY OF FORT PIERCE

PLANNING DEPARTMENT

REBECCA GROHALL, AICP, PLANNING MANAGER
COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

Technical Review Comments

Koehl Residence

Conditional Use

1. Planning Department
2. Engineering Department
3. Fort Pierce Police Department
4. Code Enforcement
5. FPUA (Verbal Approval Provided at TRC Meeting)



CITY OF FORT PIERCE

PLANNING DEPARTMENT

COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

June 18th, 2014

Larry Kosoy
Kosoy Enterprises
1606 Thumb Point Dr
Fort Pierce FL 34949

Re: *Technical Review – Conditional Use*
1613 Thumb Point Drive – Koehl Residence

Dear Mr. Kosoy,

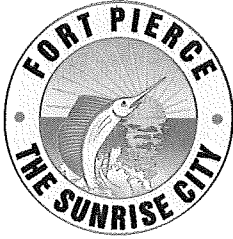
The following are advisory comments from the Planning Department's review of the application for Conditional Use:

- 1) The presented Site Plan does not identify the existing palm trees onsite. Please note that a tree removal permit and mitigation plan will need to be filed, and approved prior to the removal of any protected trees at the site.

If deemed necessary, please provide a written response to each comment in order to expedite the review of any subsequent submittals. Please contact me should you have any questions regarding the project at (772) 467-3739 or by e-mail: kbenton@city-ftpierce.com.

Sincerely,

Kori Benton
Historic Preservation Officer

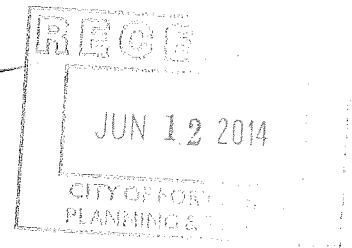


CITY OF FORT PIERCE DEPARTMENT OF ENGINEERING

Roadway Design, Engineering Reviews, Stormwater Utility Management,
Project Management, Traffic Control and Maintenance

INTEROFFICE MEMORANDUM

TO: Kori Benton, Historic Preservation Officer
FROM: John R. Andrews, P.E., City Engineer *JRA*
DATE: June 11, 2014
PROJECT: Koehl Residence – Conditional Use
Technical Review Project No. 14-04000004



cc:

Attachment(s): N/A

This is to advise you that we have completed the review of the following documents:

- | | |
|--|---|
| <input checked="" type="checkbox"/> Conditional Use | <input type="checkbox"/> P/D Drawings & Approved Site Plan |
| <input type="checkbox"/> Test Reports & Related Documents | <input type="checkbox"/> Certificate of Completion |
| <input type="checkbox"/> Record Drawings | <input type="checkbox"/> Permits from applicable Local,
State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local,
State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we Recommend; Do Not Recommend

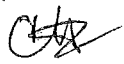
Approval of Conditional Use Building Permit C/O

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

See attached for engineering comments

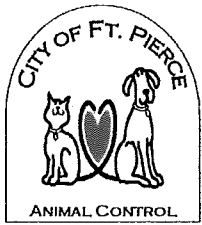
JRA/tst

Memo

To: Lt. Robert Curry
From: Officer Cheryl Glenn-Reed
Date: 6/19/2014 
Re: Conditional Use- 1613 Thumb Point Drive (Koehl Residence)

Approved

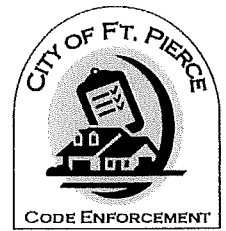
I see no security or safety concerns with the Conditional Use. I approve the project.



CITY OF FORT PIERCE

COMMUNITY RESPONSE DIVISIONS
MARGARET M. ARRAIZ, CODE COMPLIANCE MANAGER

Protecting the health, safety and welfare of our community



TO: Kori Benton, Historic Preservation Officer
FROM: Peggy Arraiz, Code Compliance Manager
RE: Technical Review Project: # 14-04000004
1613 Thumb Point Dr. - Koehl Residence - Conditional Use
DATE: June 11, 2014

Code Enforcement has reviewed the above project and has the following comments:

- No comments at this time.

Planning Board

7. b.

Meeting Date: 07/08/2014

Information

REQUESTED ACTION

Approval of a Conditional Use to operate a Middle and High-school extension of their existing Private School at the subject location.

LOCATION

320 S Indian River Drive

RESPONSIBLE STAFF

Kori Benton, Historic Preservation Officer

RECOMMENDATION

Approval with Conditions

Attachments

Staff Report
Site Aerial
Zoning Map
Application
Site Plan - Post TRC
Lighting Plan
Parking & Drop-off Location for Upper School
Traffic Statement
Proposed Elevation
Floor Plans - Existing & Proposed
TRC Comments
Transmittal Letter - Revised Plans Post TRC

Form Review

Form Started By: kbenton
Final Approval Date: 07/01/2014

Started On: 07/01/2014 04:05 PM



CITY OF FORT PIERCE

PLANNING DEPARTMENT

REBECCA GROHALL, AICP, PLANNING MANAGER
COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

TO: Members of the City of Fort Pierce Planning Board

THROUGH: Rebecca Grohall, AICP, Planning Manager

FROM: Kori Benton, Historic Preservation Officer

SUBJECT: **Conditional Use**
St. Andrew's Episcopal Academy Upper School Expansion
320 S. Indian River Drive

DATE: July 1, 2014

STAFF REPORT

Owner(s): St. Andrews Episcopal Academy
210 S Indian River Dr
Fort Pierce FL 34950-4337

Applicant: St. Andrews Episcopal Church & School c/o John Liebler
210 S Indian River Dr
Fort Pierce FL 34950-4337

Representative: Trina Angelone, Head of School
210 S Indian River Dr
Fort Pierce FL 34950-4337

Requested Action: Conditional Use approval to operate a Middle and High-school extension of their existing Private School at the subject location.

Location: 320 S. Indian River Drive

Parcel ID: 2410-808-0006-010-0

Zoning: C-1, Office Commercial

Surrounding Zoning:

North	East	South	West
C-1	A-2	C-1	C-1

Future Land Use: OP, Offices – Professional & Business

Parcel Size: .36 acres

Staff Analysis:

The applicant is requesting Conditional Use approval to expand its private school operations, St. Andrew's Episcopal Academy, into the subject facility. The proposed expansion will provide classrooms for the existing Middle school operation as well as their newly formed High-school. The property is zoned C-1, Office Commercial, and is located in the Downtown Business and Entertainment District. The Planning Board, at their May 13th, 2014 meeting, voted unanimously to recommend approval of proposed Ordinance No.14-017, which would amend Section 22-22(e) of the City Code to permit Private Schools as a conditional use in the C-1, Office Commercial Zoning District. The proposed Ordinance is scheduled for its first reading by the City Commission at their July 7th, 2014 meeting.

The structure is the former home of the Law Offices of Gary, Williams, Finney, Lewis, Watson, & Sperando. The site is bordered by the Indian River to the east, vacant properties to the north, offices to the west, and Citrus Avenue to the south.

The structure currently features a finished area of 4,614 square-feet, consisting of numerous offices and a covered parking area. The applicants have received an approved Certificate of Appropriateness to enclose the covered parking area for use as a lobby and cyber café. Furthermore, the applicants are proposing to complete interior renovations to configure new classrooms and restrooms. The plans also include the construction of a rear staircase to provide additional means of access between levels. The site is supported by the existing school facilities to the north, including recreational fields, cafeteria, etc. The school has expressed intentions of future development phases to provide additional recreational and educational facilities to complement the existing campus, and the proposed extension.

The anticipated maximum occupancy for this facility, following completion of the alterations, is 60 students plus faculty and staff. The gross floor area will be increased to approximately 7,800 sq. ft. with the completion of the renovations.

Access to the site is provided by a driveway entrance on the east side of South Indian River Drive, and a proposed pedestrian sidewalk will connect the structure to the established pedestrian way. The proposed change of use and expansion is proposed to render a PM Peak hour trip generation of 10.2 trips, representing an increase of approximately 6.3%, based upon middle and high school land use classifications over existing general office trip generation. In order to minimize the impact on traffic flow in Downtown during peak travel times, St. Andrew's plans to stagger operation times, and divided pick-up and drop off locations for the lower and upper schools, to reduce traffic congestion and back-up.

Students and faculty will be directed to utilize existing parking facilities such as the City's Parking Garage on Orange Avenue, St. Lucie County Parking Garage on S. 2nd Street, and the St. Lucie County Parking lot at Melody Lane. The remaining six spaces on site will be retained for visitors.

The proposed plans also include the infill of landscaping, the upgrade of site lighting, a refuse collection enclosure, as well as a stop bar and sign to improve traffic safety upon exiting the facility.

All affected departments and coordinating agencies have reviewed the submittals and have approved the proposed Conditional Use based on it meeting the requirements of the City Code, established criteria, and the City's Comprehensive Plan.

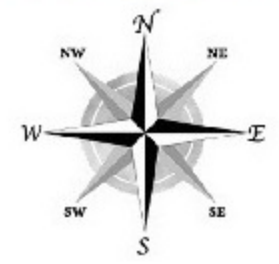
Staff Recommendation:

Staff recommends that the Planning Board forward a recommendation of approval to the City Commission, contingent upon the final passage of Ordinance 14-017, with the following conditions:

- 1) The applicants obtain formal authorization from St. Lucie County for the continued use of the St. Lucie County Riverside Parking Lot (Parcel# 2410-801-0003-000-5) for the delivery and pick up of students.
- 2) A bicycle rack is provided on site prior to the beginning of the 2014/2015 school year.
- 3) Directional signs are installed as needed to adequately delineate drive aisles for student delivery and pick-up prior to the beginning of the 2014/2015 school year.



320 South Indian River Drive Site Aerial








Boston Ave

Citrus Ave

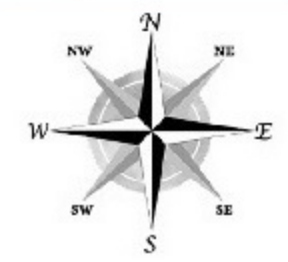


Legend

	C1
	C2
	C3
	C4
	C5



320 South Indian River Drive Zoning Map





**CITY OF FORT PIERCE
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION**

COMPREHENSIVE PLANNING ◊ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ◊ URBAN DESIGN ◊ URBAN FORESTRY ◊ ZONING

**APPLICATION FOR CONDITIONAL USE
WITH NEW CONSTRUCTION**

Project Name: St. Andrews Episcopal Academy Expansion

1. Project description: Conditional use to allow an educational facility-middle and high school on existing site. Minor alterations including new stair required for change of use building code compliance and enclosure of lower level.
2. Property Tax ID 2410-808-0006-010-0
3. Property address 320 South Indian River Drive
4. Zoning District C1
5. Future Land Use CBD
6. Total Acreage 0.395
7. Building Height max 37.00 ft
8. Building (sf) 5,499 sf Existing
7,853 sf Proposed
9. Dwelling Units Educational facility
10. Historic District (Y/N) Yes
Expansion of St. Andrews
11. Lot Coverage (%) 16.34%
12. Parking spaces required: Episcopal Academy
13. Parking Spaces proposed: 7 + Existing spaces at St. Andrews Episcopal Academy
14. Name of Owner(s): St. Andrews Episcopal Academy, Inc. c/o Trina Angelone, Head of School
Signature of owner(s): Cat Angelone, Head of School
Mailing Address: 210 South Indian River Drive
(City) Fort Pierce (State) FL (Zip) 34950
Phone # 772-461-7689
15. Name of Applicant: St. Andrews Episcopal Academy, Inc. c/o Trina Angelone, Head of School
Signature of Applicant: Cat Angelone
Mailing Address: 210 South Indian River Drive
(City) Fort Pierce (State) FL (Zip) 34950
Phone # 772-461-7689
16. Name of Representative: N/A
Signature of Representative: _____
Mailing Address: _____
(City) _____ (State) _____ (Zip) _____
Phone # _____ Fax # _____
E-mail: _____

17. **Property Owners Acknowledgements:** - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the conditional use with construction as described herein.

St. Andrew's Episcopal Academy, Inc. c/o Trina Angelone 772-461-7689
Property Owner's Name (Please Print) Phone

210 South Indian River Drive Fort Pierce, Florida 34950
Address State Zip

Cat Angelone, Head of School, 5.10.14
Property Owner's Signature Date

STATE OF FLORIDA)
ST LUCIE COUNTY)

The foregoing instrument was acknowledged before me this 10th day of May, 20 14, by Caterina Angelone who is personally known to me or has produced _____ as identification.

Barbara A. Bradford
Signature of Notary

(seal)



BARBARA A. BRADFORD
MY COMMISSION # FF 049157
EXPIRES: December 7, 2017
Bonded Thru Budget Notary Services

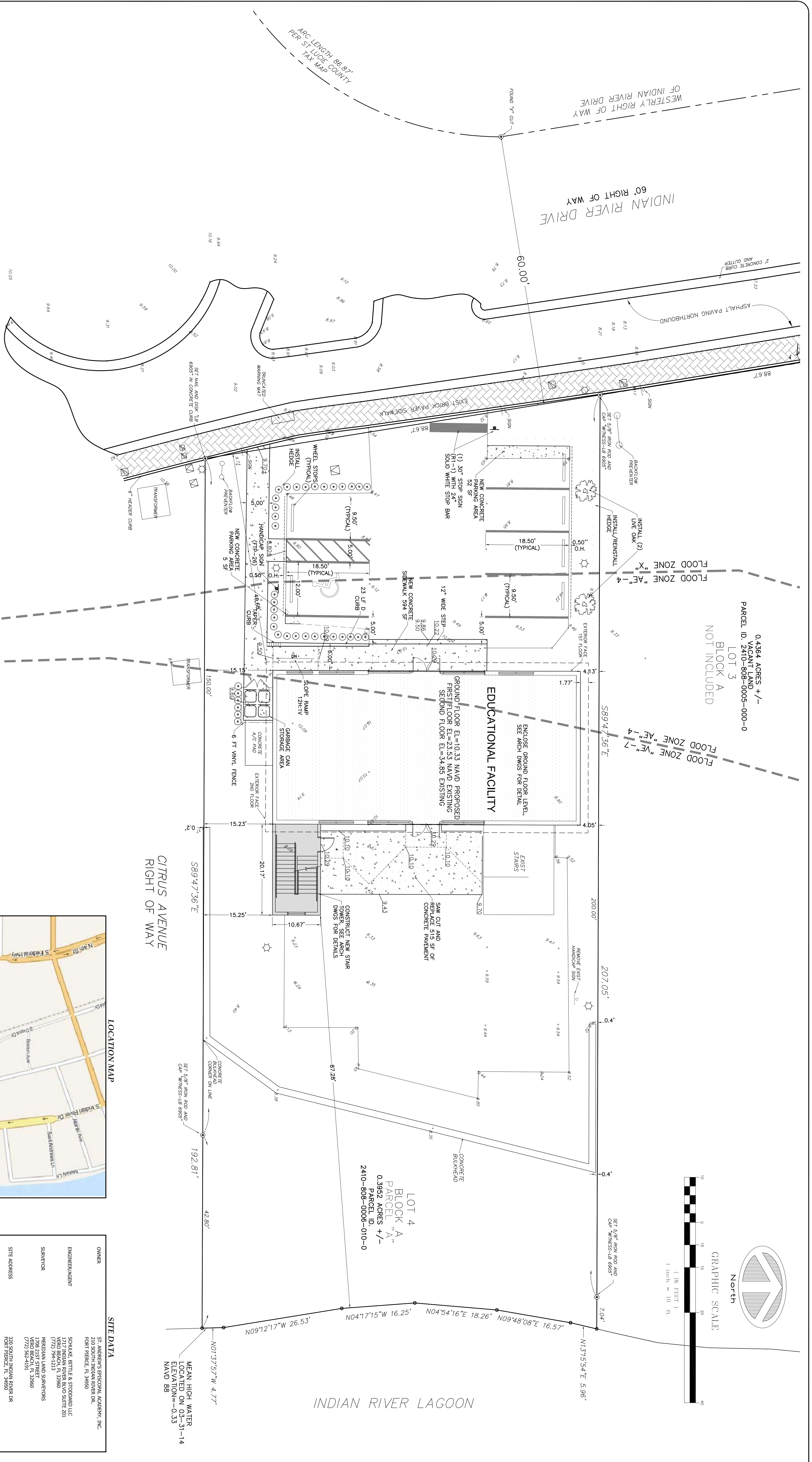
Sec. 22-80 - Authorization of conditional use shall be void after one (1) year unless substantial construction has taken place.

APPLICATION REQUIREMENTS:

- a. **Application fee**
 - b. **Application submission shall include the following:**
 - TRC (Initial Submission): One (1) original and (13) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
 - Planning Board: One (1) original and (16) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
 - City Commission: One (1) original and (11) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below
1. Site Plan
 2. Traffic Study
 3. Survey
 4. Storm Drainage Plan
 5. Landscape Plan
 6. Lighting Plan
 7. Elevations/Floor Plan

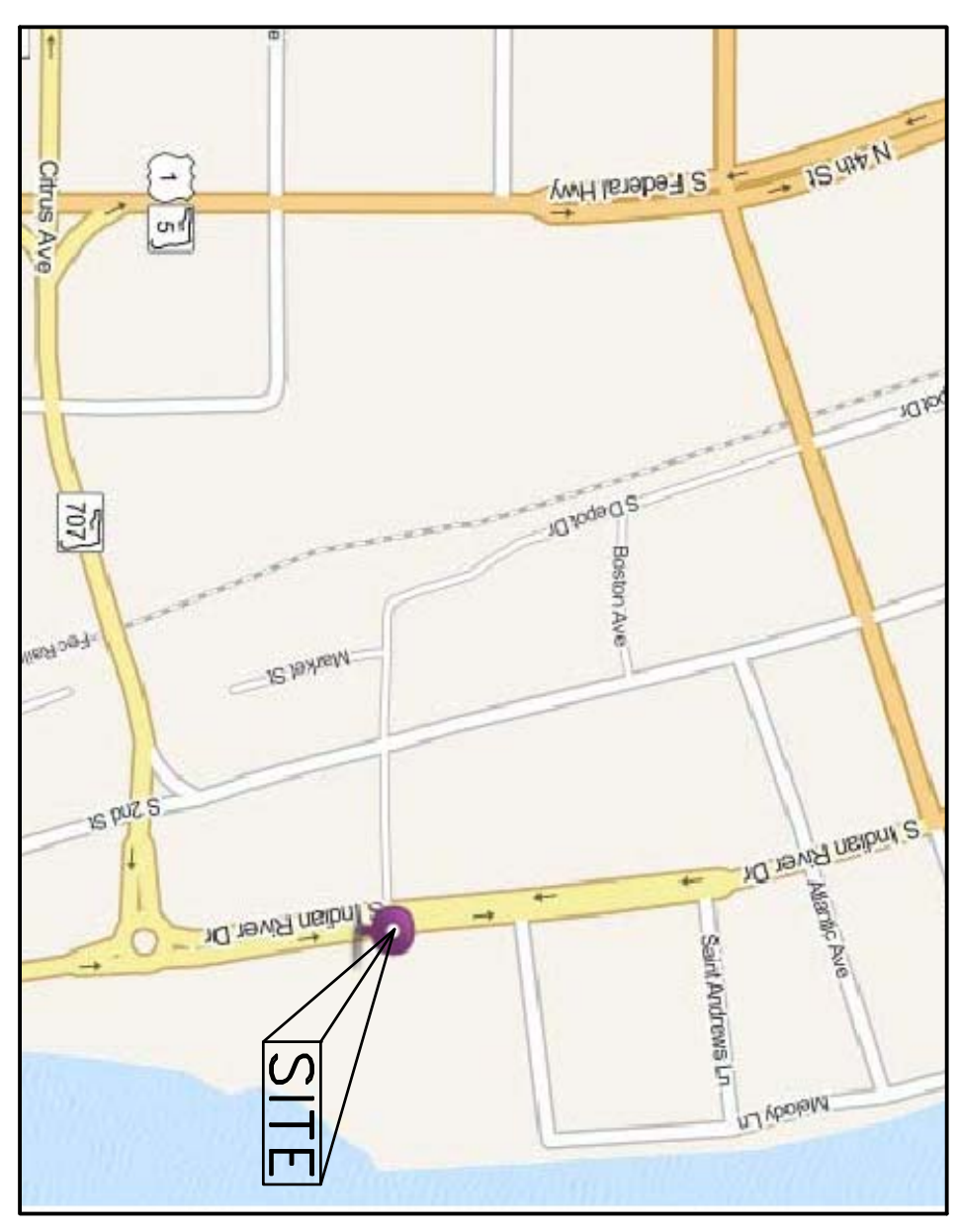
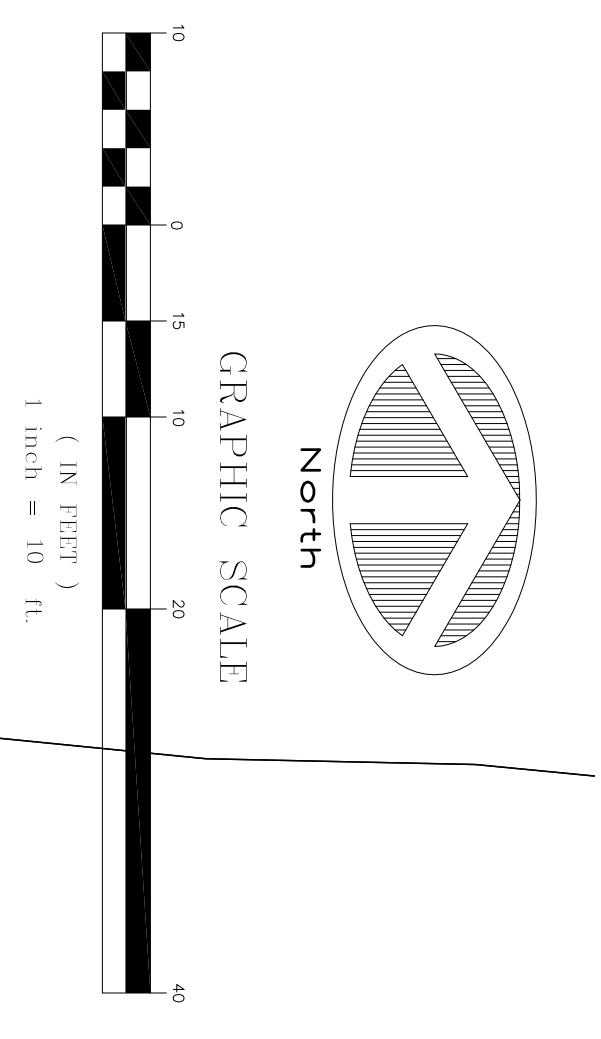
An Intake meeting with Planning staff will be required before any submittals are accepted

Date Received _____	By _____
Fee rec'd _____	Receipt Number _____



0.4364 ACRES +/-
VACANT LAND
PARCEL ID: 2410-808-0005-000-0
LOT 3
BLOCK A
NOT INCLUDED

0.3952 ACRES +/-
PARCEL ID: 2410-808-0006-010-0
LOT 4
BLOCK A
NOT INCLUDED



LEGAL DESCRIPTION

THAT PORTION OF LOT 4, BLOCK A, ANDERS AND RICHARDS ADDITION TO FT. PIERCE, AS RECORDED IN PLAT BOOK 1, PAGE 191 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, LYING EAST OF INDIAN RIVER DRIVE WITH RIPARIAN RIGHTS, OFFICIAL RECORDS BOOK 320, PAGE 228.

SITE DATA

OWNER:	ST. ANDREW'S EPISCOPAL ACADEMY, INC. 210 SOUTH INDIAN RIVER DR. FORT PIERCE, FL 34950
ENGINEER/AGENT:	SCHULKE, BITTLE & STODDARD, L.L.C. 2110 SOUTH INDIAN RIVER DRIVE VERO BEACH, FL 32960 (772) 794-1213
SURVEYOR:	MERIDIAN LAND SURVEYORS VERO BEACH, FL 32960 (772) 562-4191
SITE ADDRESS:	320 SOUTH INDIAN RIVER DR FORT PIERCE, FL 34950
PARCEL ID#:	2410-808-0006-010-0
FILE#:	1211001791
FLOOD ZONES:	FEBRUARY 16, 2012
USE:	X, A-E-4, VE-7
REQUIRED CI:	CI, RESISTING - OFFICE
REQUIRED PZ:	PROPOSED - EDUCATIONAL FACILITY
LOT SIZE:	70,000 SF
LOT WIDTH:	70'
LOT DEPTH:	90'
YARD SETBACKS:	192.81'
FRONT (WEST):	25.08'
REAR (EAST):	0'
SIDE (SOUTH):	15.15'
BLOC. HEIGHT:	37.00'
BUILDING COVERAGE:	60% MAXIMUM (2,520 SF)

ST. ANDREW'S EPISCOPAL ACADEMY, INC.
UPPER SCHOOL
320 SOUTH INDIAN RIVER DRIVE
FORT PIERCE, FLORIDA

SITE PLAN

SCHULKE, BITTLE & STODDARD, L.L.C.
CIVIL & STRUCTURAL ENGINEERING · LAND PLANNING · ENVIRONMENTAL PERMITTING
CERTIFICATION OF AUTHORIZATION NO.: 00008668
1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960
TEL 772 / 770-9622 FAX 772 / 770-9496 EMAIL info@sbsengineers.com

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CHECKED W.P.S.				
SCALE 1"=10'				
DATE 5/09/2014				

DATE: SHEET: PROJECT NO. 14-045

Project:
Proposed Improvements
for
**St. Andrews
School**

FT. PIERCE, FLORIDA

Key Plan:

Issues:

No.:	Date:	Description:
A.	05/05/14	COA REVIEW
B.	06/16/14	PERMIT SET

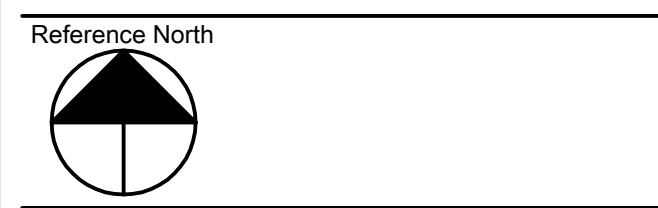
Architect:



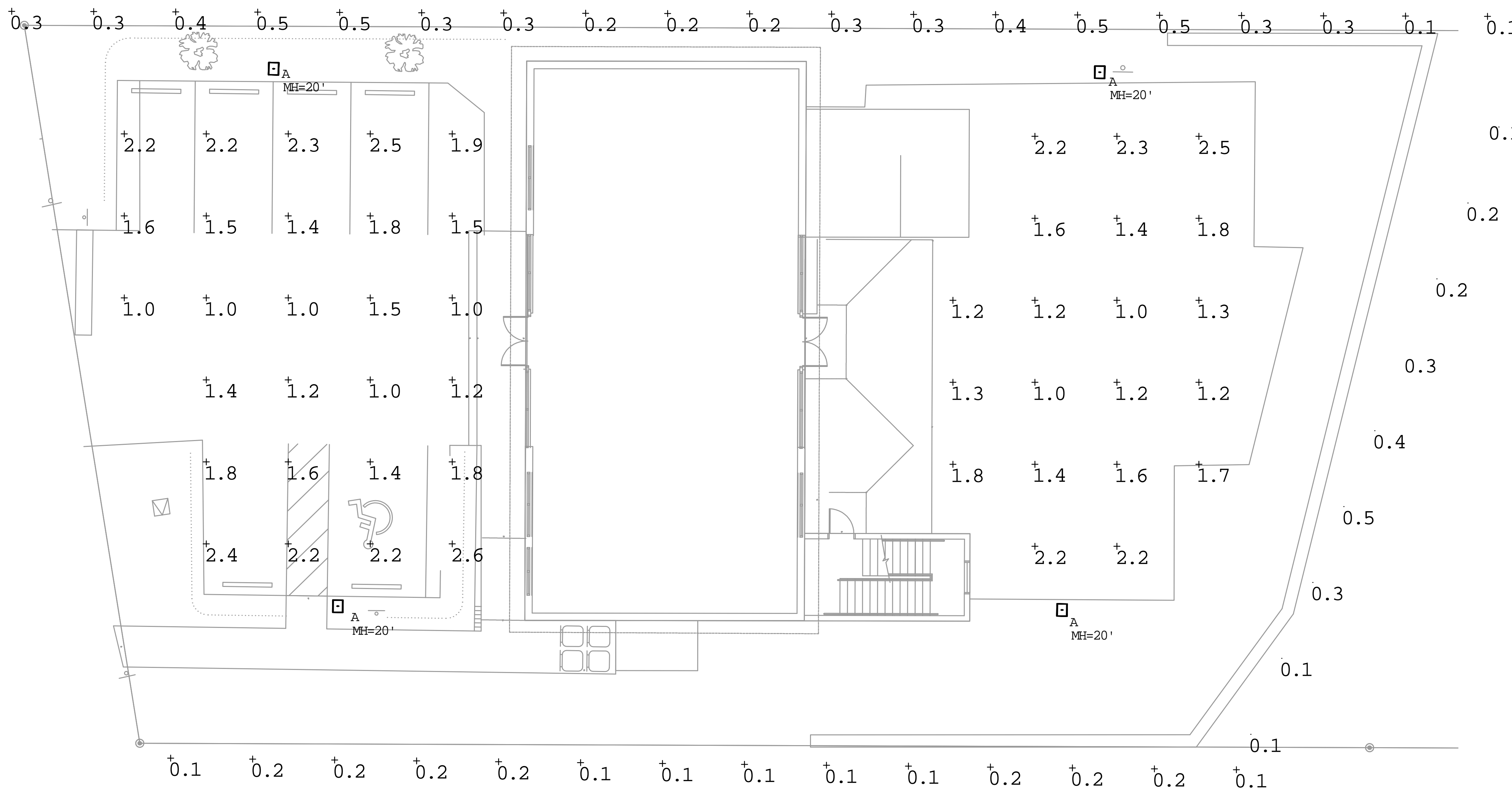
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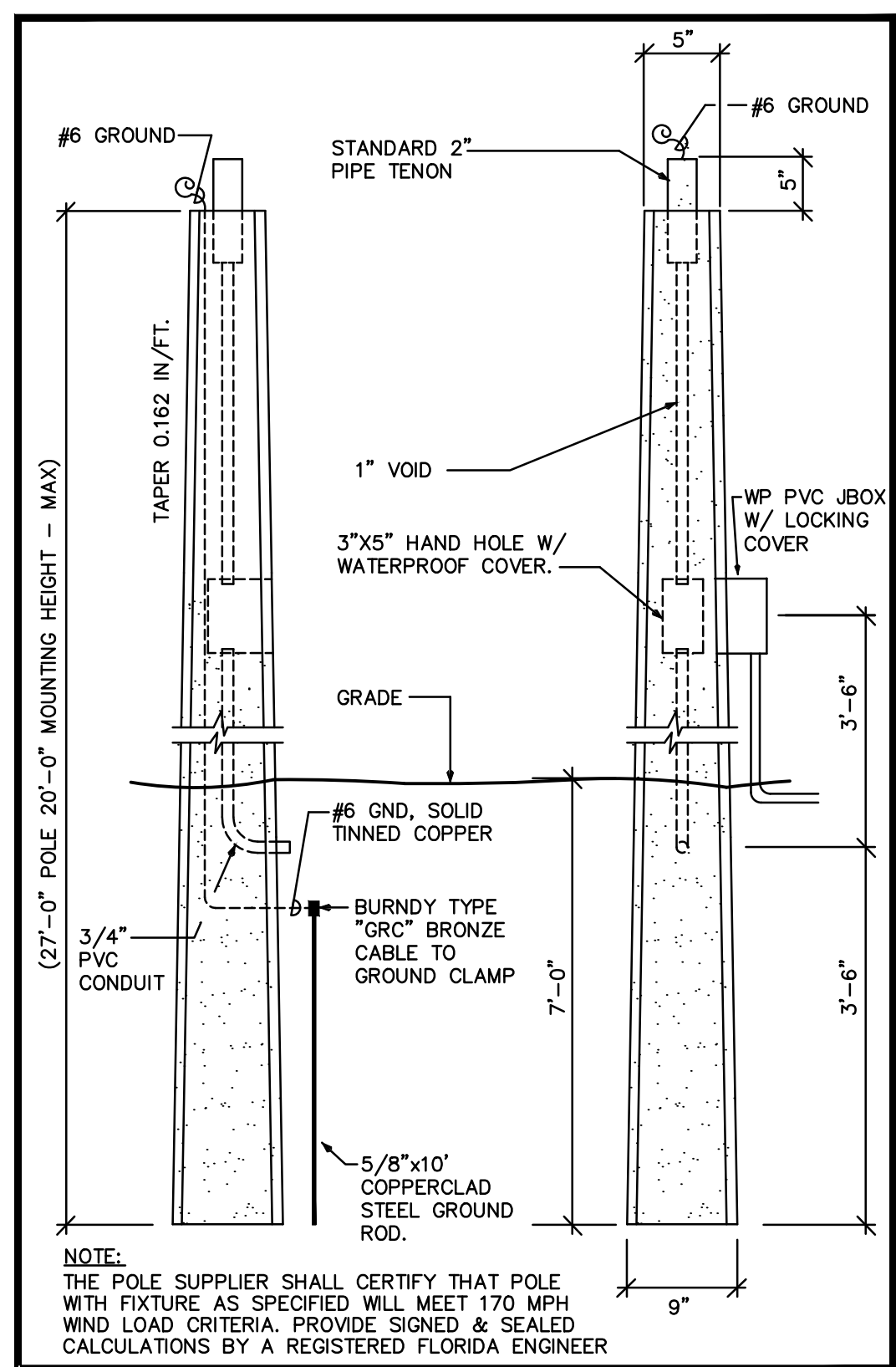
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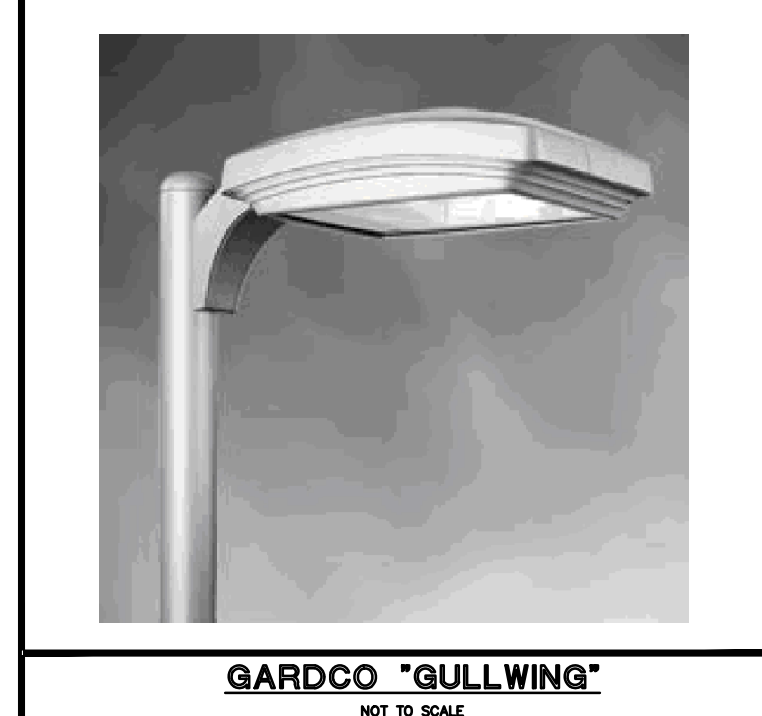
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Project No.:	Plot File:
2014-21	
Sheet No.:	
Cert. No.:	12,456
Date Signed:	E1.1



Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
A	4	A	SINGLE	12500	0.920	G18-4XL-150PSMH-HS
Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
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Front Parking Area	illuminance	Fc	1.67	2.6	1.0	1.67

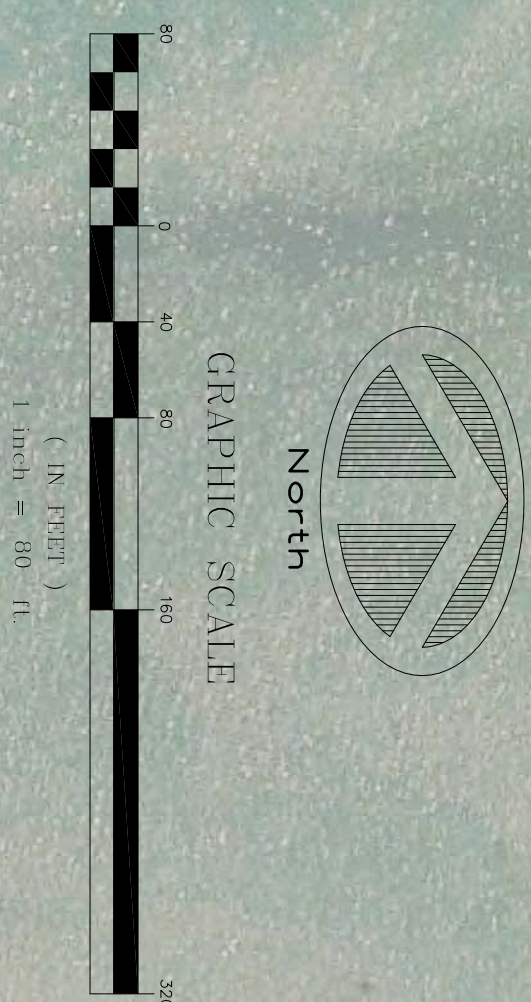


**CONCRETE
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PHOTOMETRIC PLAN
1/8"=1'-0"

ISSUED FOR PERMIT		06-16-14
KAMM CONSULTING PROJECT # 2014-0415		
PROJECT MANAGER: DIANE MLLAR		
1408 Orange Avenue Fort Pierce, Florida 34950 Phone 772-595-1744 Fax 772-595-1745 engineering@kammconsulting.com Certification of Authorization #8189		
PRINCIPAL	06-25-14	date
Brady L. Brown	Florida License #58232	signed



DATE: _____
 SHEET: **C300**
 PROJECT NO.: 14-045

ST. ANDREW'S EPISCOPAL ACADEMY, INC.
 UPPER SCHOOL
 320 SOUTH INDIAN RIVER DRIVE
 FORT PIERCE, FLORIDA

STUDENT DROP-OFF & PARKING

SCHULKE, BITTLE & STODDARD, L.L.C.
 CIVIL & STRUCTURAL ENGINEERING · LAND PLANNING · ENVIRONMENTAL PERMITTING
 CERTIFICATION OF AUTHORIZATION NO.: 00008668
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TRAFFIC IMPACT STATEMENT

FOR

320 SOUTH INDIAN RIVER DRIVE
FORT PIERCE, FLORIDA

PREPARED BY:

Schulke, Bittle & Stoddard, LLC
1717 Indian River Boulevard, Suite 201
Vero Beach, Florida 32960

Date:

7/17/14



William Stoddard, Ph.D., P.E.

FL Reg No. 57605

Certificate of Authorization 00008668

1. Introduction

The site, 320 South Indian River Drive, Ft. Pierce, Florida is located at the intersection between Citrus Avenue and South Indian River Drive in the City of Fort Pierce. The site was originally developed in 1984 and since that time has been in use as a commercial law office. Full access to the site is provided by a driveway entrance on the east side of South Indian River Drive. A conditional use application has been submitted to the City of Ft. Pierce to change the use to an educational facility for St. Andrews Episcopal Academy. This site will be included in the overall campus and will serve as an upper school for grades 6 through 12. This report examines the impact of the change in use of use on the PM Peak Hour trips generated by the site.

2. Existing Conditions

The subject site is currently zoned for use as commercial office. In the past to has been used exclusively as a law firm. However, in the recent years only one tenant has been leasing office space while the majority of the building has remained vacant. In May 2014 St. Andrews Episcopal Academy purchased the property and since that time the building has remained vacant. The building is open at the first level to allow for understory parking and building access. Two floors of office space include a gross area of 5,300 sf.

To the south of the site is Citrus Avenue right of way followed by vacant land. To the North is vacant property and playing fields owned by St. Andrews Episcopal Academy and St. Andrews Episcopal Church. To the west is South Indian River Drive right of way followed by existing commercial offices.

South Indian River Drive is a north/south two lane divided local roadway in the vicinity of the site and has a posted speed limit of 35 mph. Citrus Avenue is an east/west four lane local roadway. This section of Citrus Avenue east of US 1 does not have a posted speed limit but by Florida standard it is 30 mph. The intersection between Citrus Avenue and South Indian River Drive is a roundabout and is located immediately southwest of the site.

3. Proposed Development

St. Andrews Episcopal Academy currently owns and operates from facilities located immediately North of the subject site at 210 South Indian River Drive and includes grades PK-2 through 8. Upon approval, the proposed site will be altered and changed for use as an educational facility. This new facility will serve as St. Andrew's Episcopal Academy's upper school that will include grades 6 through 12. This represents an expansion but also a relocation of existing students, faculty, and resources for St. Andrews Episcopal Academy. St. Andrew's Episcopal Academy will be operated as a private school facility but will accept public funding through Voluntary Pre-Kindergarten (VPK) and Step Up program.

Proposed alterations include enclosing the lower level for use as a reception area and student cyber cafe as well as construction of a second stair tower for compliance with egress requirements of the 2010 Florida Building Code. The anticipated maximum occupancy for this facility following completion of the alterations is 60 students (limit per fire code) plus faculty and staff. After alterations the gross floor area will be 7,890 sf. Access to the site will continue to be provided from South Indian River Drive using the existing full access driveway entrance.

4. Trip Generation:

Trip generation was determined by referencing the Institute of Transportation Engineer's (ITE) report titled Common Trip Generation rates, PM Peak Hour, Trip Generation Manual, 9th Edition. Land use code 710 (General Office Building) was used for trip generation for the existing conditions and land use code 536 (Private School K-12) was utilized for the trip generation requirements of the proposed development and change of use. For comparison the proposed trip generation was also calculated for land use code 522 (Middle School / Junior High School) and 530 (High School). The floor area was assumed to be distributed 42.8% to middle school and 57.2% to high school. Table 1 outlines the anticipated weekday PM peak hour trip generation of the existing office use and the proposed school use.

Table 1: Trip Generation Existing and Proposed
320 South Indian River Drive Only

	Land Use	Units	Unit of Measure	Trips per Unit	Trips Generated
Existing	710 General Office Space	5,300 sf	1,000 sf	1.49	7.9
Proposed	536 Private School (K-12)	60 students	Students	0.17	10.2
Proposed	522 Middle School	3,377 sf	1,000 sf	1.19	4.0
Proposed	530 High School	4,513 sf	1,000 sf	0.97	4.4
				Total	8.4

5. Conclusion

Based on the proposed change of use and the proposed expansion the PM Peak hour trip generation will increase by 6.3% using middle and high school land use codes and 29.1% using private school land use codes over existing general office trip generation. Since this facility is used strictly for grades 6 through 12, land use codes 522 and 530 more accurately represent the actual trip generation. Lower school levels which are included in the 536 land use code generate more traffic and bias the results.

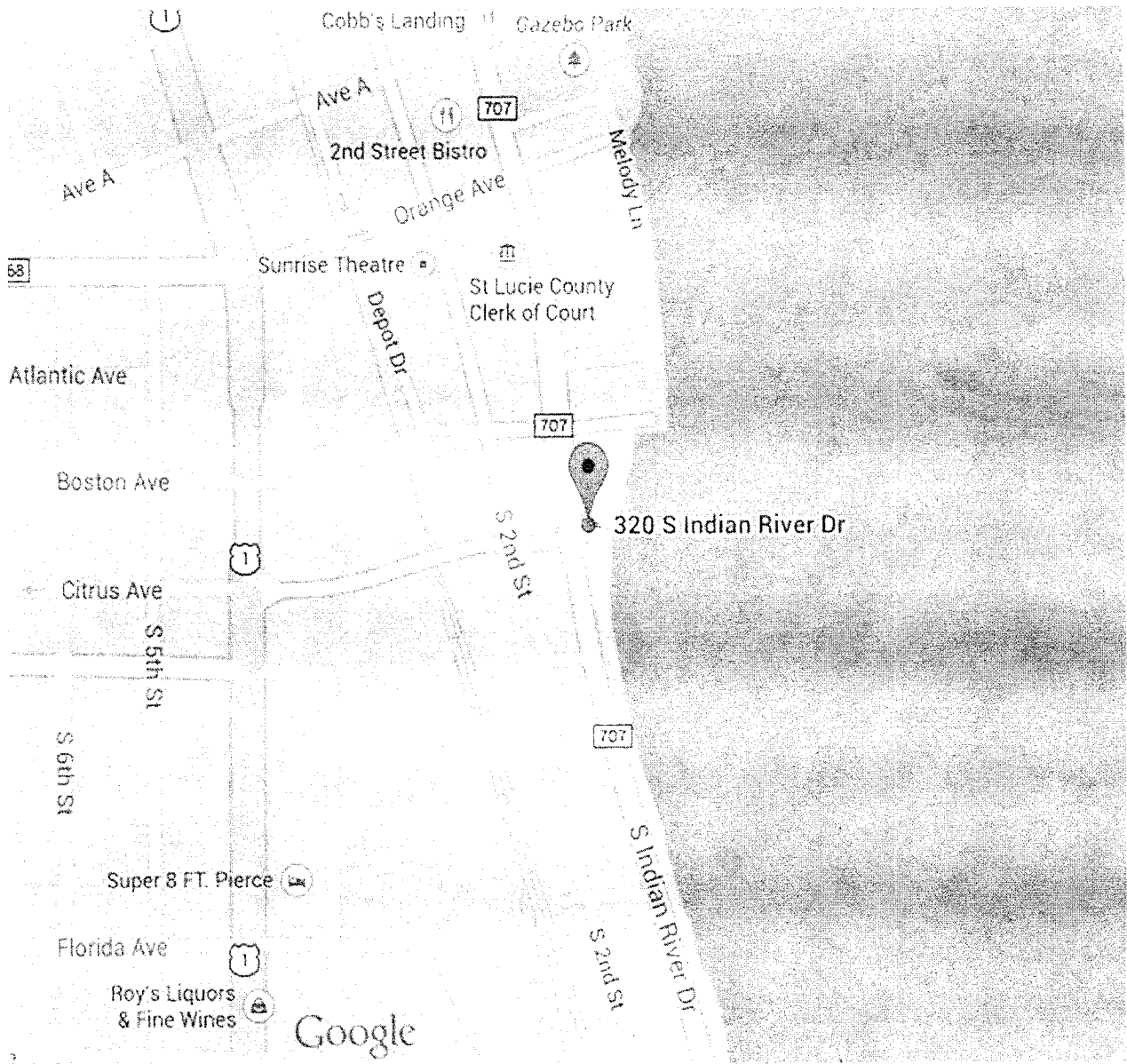
In order to minimize the impact on traffic flow during peak travel times we have staggered the opening and closing of school, and have divided the location for line waiting to reduce back-up. The Upper School will begin at 7:45 a.m., with drop-off beginning at 7 a.m., prior to local business and office peaks. This school will begin dismissal at 2:15 p.m.

The Lower School (grades PreK-2 through grade 5) will open at 7:00 a.m. for early drop-off, will have regular drop-off staggered through until 8:00 a.m. and will be moved from the existing drop off site to the private road on the north side of the church and school property. Dismissal for the Lower School will be at 2:30 p.m.

There may be an increase in evening traffic downtown due to the school based activities and events which are expected to increase in frequency, but will be scheduled for 7:00 p.m. through 9:30 p.m. as much as is possible.

This study considered the impacts of the alterations and change of use for 320 South Indian River Drive only. However, this site will be associated with a much larger school campus that is contiguous to the north. A more detailed analysis is required properly assess the impacts from the overall school campus.

APPENDIX



Site location map of 320 South Indian River Drive

INSTITUTE OF TRANSPORTATION ENGINEERS COMMON TRIP GENERATION RATES (PM Peak Hour)

(Trip Generation Manual, 9th Edition)

Code	Description	Unit of Measure	Trips Per Unit
PORT AND TERMINAL			
30	Truck Terminal	Acres	6.55
90	Park and Ride Lot with Bus Service	Parking Spaces	0.62
INDUSTRIAL			
110	General Light Industrial	1,000 SF	0.97
120	General Heavy Industrial	Acres	2.16
130	Industrial Park	1,000 SF	0.85
140	Manufacturing	1,000 SF	0.73
150	Warehousing	1,000 SF	0.32
151	Mini-Warehouse	1,000 SF	0.26
152	High-Cube Warehouse	1,000 SF	0.12
170	Utilities	1,000 SF	0.76
RESIDENTIAL			
210	Single-Family Detached Housing	Dwelling Units	1.00
220	Apartment	Dwelling Units	0.62
221	Low-Rise Apartment	Dwelling Units	0.58
230	Residential Condominium / Townhouse	Dwelling Units	0.52
240	Mobile Home Park	Dwelling Units	0.59
251	Senior Adult Housing - Detached	Dwelling Units	0.27
252	Senior Adult Housing - Attached	Dwelling Units	0.25
253	Congregate Care Facility	Dwelling Units	0.17
254	Assisted Living	Beds	0.22
255	Continuing Care Retirement Community	Dwelling Units	0.16
LODGING			
310	Hotel	Rooms	0.60
320	Motel	Rooms	0.47
330	Resort Hotel	Rooms	0.42
RECREATIONAL			
411	City Park	Acres	0.19
412	County Park	Acres	0.09
413	State Park	Acres	0.07
415	Beach Park	Acres	1.30
416	Campground / Recreation Vehicle Park	Camp Sites	0.27
417	Regional Park	Acres	0.20
420	Marina	Berths	0.19
430	Golf Course	Acres	0.30
431	Miniature Golf Course	Holes	0.33

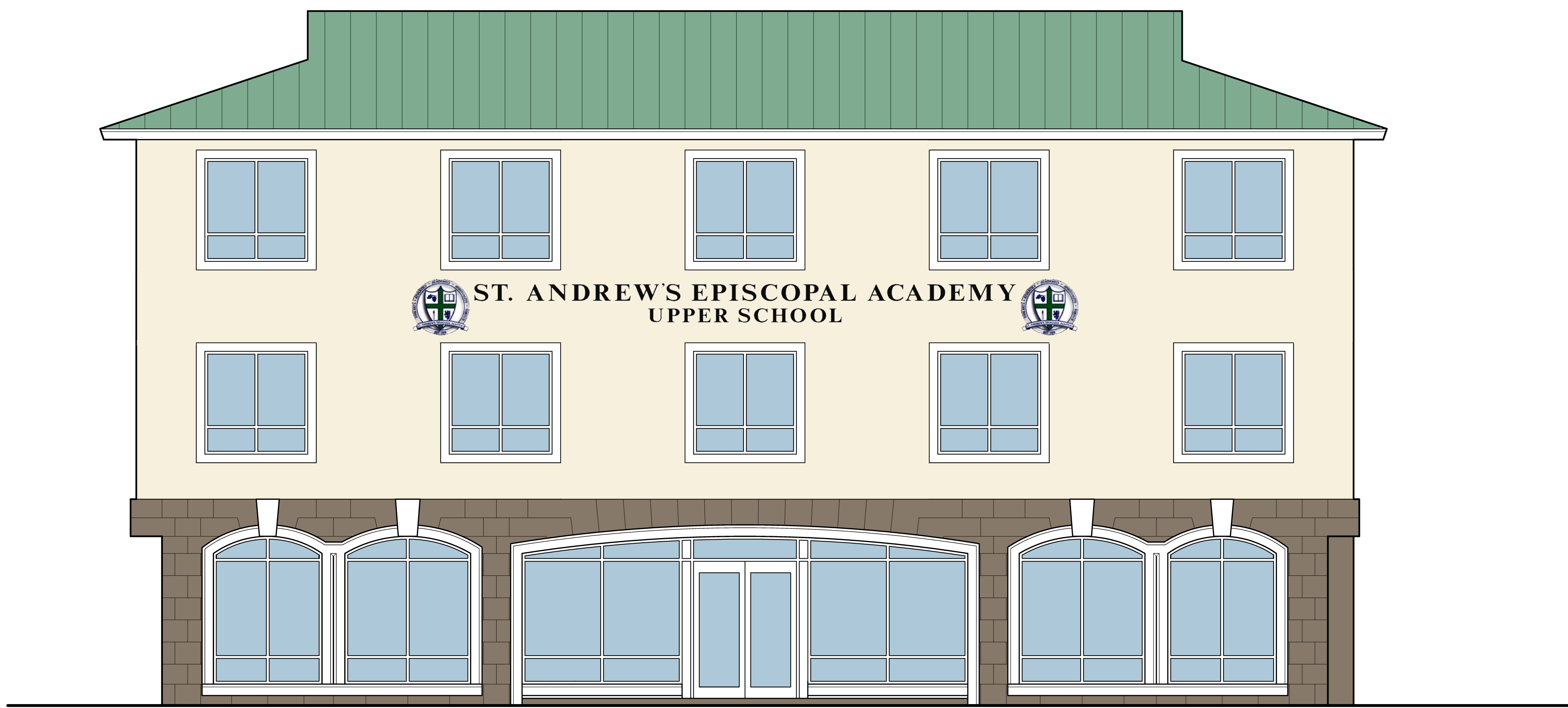
Code	Description	Unit of Measure	Trips Per Unit
432	Golf Driving Range	Tees / Driving Positions	1.25
433	Batting Cages	Cages	2.22
435	Multi-Purpose Recreational Facility	Acres	5.77
437	Bowling Alley	1,000 SF	1.71
441	Live Theater	Seats	0.02
443	Movie Theater without Matinee	1,000 SF	6.16
444	Movie Theater with Matinee	1,000 SF	3.80
445	Multiplex Movie Theater	1,000 SF	4.91
452	Horse Race Track	Acres	4.30
454	Dog Race Track	Attendance Capacity	0.15
460	Arena	Acres	3.33
473	Casino / Video Lottery Establishment	1,000 SF	13.43
480	Amusement Park	Acres	3.95
488	Soccer Complex	Fields	17.70
490	Tennis Courts	Courts	3.88
491	Racquet / Tennis Club	Courts	3.35
492	Health / Fitness Club	1,000 SF	3.53
493	Athletic Club	1,000 SF	5.96
495	Recreational Community Center	1,000 SF	1.45
INSTITUTIONAL			
520	Elementary School	1,000 SF	1.21
522	Middle School / Junior High School	1,000 SF	1.19
530	High School	1,000 SF	0.97
536	Private School (K-12)	Students	0.17
540	Junior / Community College	1,000 SF	2.54
560	Church	1,000 SF	0.55
565	Daycare Center	1,000 SF	12.46
566	Cemetery	Acres	0.84
571	Prison	1,000 SF	2.91
580	Museum	1,000 SF	0.18
590	Library	1,000 SF	7.30
591	Lodge / Fraternal Organization	Members	0.03
MEDICAL			
610	Hospital	1,000 SF	0.93
620	Nursing Home	1,000 SF	0.74
630	Clinic	1,000 SF	5.18
640	Animal Hospital / Veterinary Clinic	1,000 SF	4.72

Code	Description	Unit of Measure	Trips Per Unit
OFFICE			
710	General Office Building	1,000 SF	1.49
714	Corporate Headquarters Building	1,000 SF	1.41
715	Single Tenant Office Building	1,000 SF	1.74
720	Medical-Dental Office Building	1,000 SF	3.57
730	Government Office Building	1,000 SF	1.21
732	United States Post Office	1,000 SF	1.22
733	Government Office Complex	1,000 SF	2.85
750	Office Park	1,000 SF	1.48
760	Research and Development Center	1,000 SF	1.07
770	Business Park	1,000 SF	1.29
RETAIL			
812	Building Materials and Lumber Store	1,000 SF	4.49
813	Free-Standing Discount Superstore	1,000 SF	4.35
814	Variety Store	1,000 SF	6.82
815	Free Standing Discount Store	1,000 SF	4.98
816	Hardware / Paint Store	1,000 SF	4.84
817	Nursery (Garden Center)	1,000 SF	6.94
818	Nursery (Wholesale)	1,000 SF	5.17
820	Shopping Center	1,000 SF	3.71
823	Factory Outlet Center	1,000 SF	2.29
826	Specialty Retail Center	1,000 SF	2.71
841	New Car Sales	1,000 SF	2.62
842	Recreational Vehicle Sales	1,000 SF	2.54
843	Automobile Parts Sales	1,000 SF	5.98
848	Tire Store	1,000 SF	4.15
850	Supermarket	1,000 SF	9.48
851	Convenience Market (Open 24 Hours)	1,000 SF	52.41
852	Convenience Market (Open 15-16 Hours)	1,000 SF	34.57
853	Convenience Market with Gasoline Pumps	1,000 SF	50.92
854	Discount Supermarket	1,000 SF	8.34
857	Discount Club	1,000 SF	4.18
860	Wholesale Market	1,000 SF	0.88
861	Sporting Goods Superstore	1,000 SF	1.84
862	Home Improvement Superstore	1,000 SF	2.33
863	Electronics Superstore	1,000 SF	4.50
864	Toy / Children's Superstore	1,000 SF	4.99
866	Pet Supply Superstore	1,000 SF	3.38
867	Office Supply Superstore	1,000 SF	3.40
875	Department Store	1,000 SF	1.87

Code	Description	Unit of Measure	Trips Per Unit
876	Apparel Store	1,000 SF	3.83
879	Arts and Craft Store	1,000 SF	6.21
880	Pharmacy / Drugstore without Drive-Through Window	1,000 SF	8.4
881	Pharmacy / Drugstore with Drive-Through Window	1,000 SF	9.91
890	Furniture Store	1,000 SF	0.45
896	DVD/Video Rental Store	1,000 SF	13.60
SERVICES			
911	Walk-In Bank	1,000 SF	12.13
912	Drive-In Bank	1,000 SF	24.30
918	Hair Salon	1,000 SF	1.93
925	Drinking Place	1,000 SF	11.34
931	Quality Restaurant	1,000 SF	7.49
932	High-Turnover (Sit-Down) Restaurant	1,000 SF	11.15
933	Fast Food Restaurant without Drive-Through Window	1,000 SF	26.15
934	Fast Food Restaurant with Drive-Through Window	1,000 SF	33.84
935	Fast Food Restaurant with Drive-Through Window and No Indoor Seating	1,000 SF	153.85
936	Coffee / Donut Shop without Drive-Through Window	1,000 SF	40.75
937	Coffee / Donut Shop with Drive-Through Window	1,000 SF	42.8
938	Coffee / Donut Shop with Drive-Through Window and No Indoor Seating	1,000 SF	75
940	Bread / Donut / Bagel Shop with Drive-Through Window	1,000 SF	18.99
941	Quick Lubrication Vehicle Shop	Service Bays	5.19
942	Automobile Care Center	1,000 SF	3.11
943	Automobile Parts and Service Center	1,000 SF	4.46
944	Gasoline / Service Station	Fueling Positions	13.87
945	Gasoline / Service Station with Convenience Market	Fueling Positions	13.51
946	Gasoline / Service Station with Convenience Market and Car Wash	Fueling Positions	13.94
947	Self Service Car Wash	Stalls	5.54
948	Automated Car Wash	1,000 SF	14.12
950	Truck Stop	1,000 SF	13.63

Note: All land uses in the 800 and 900 series are entitled to a "passby" trip reduction of 60% if less than 50,000 ft² or a reduction of 40% if equal to or greater than 50,000 ft².

* Approximated by 10% of Weekday average rate.



01 PROPOSED ELEVATION

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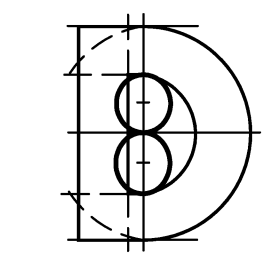
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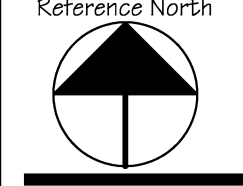
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PROPOSED ELEVATION

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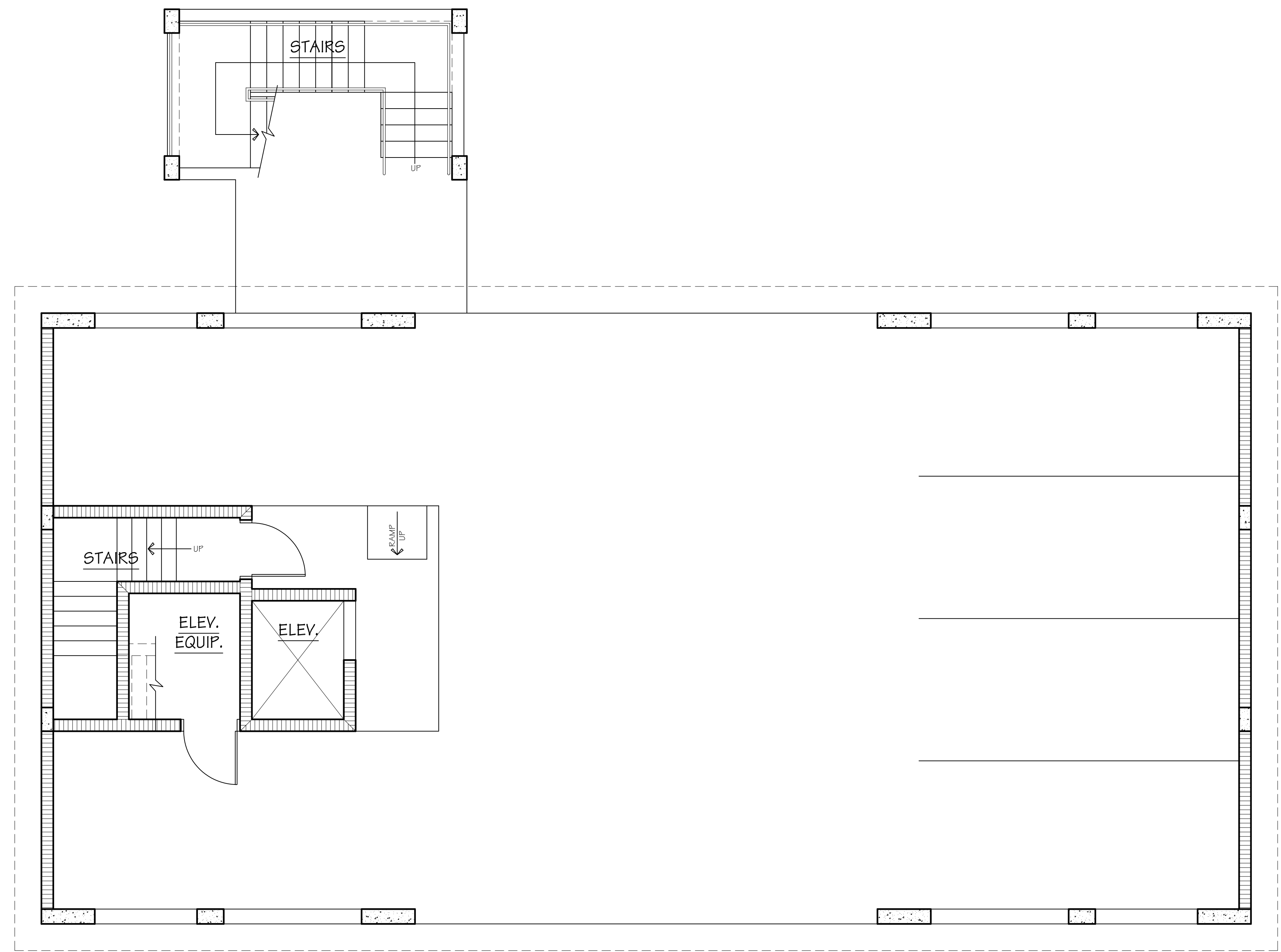


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Cert. No.: 12,456

Date Signed:

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01 EXISTING FIRST FLOOR PLAN

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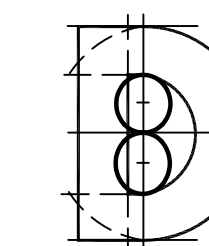
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Reference North



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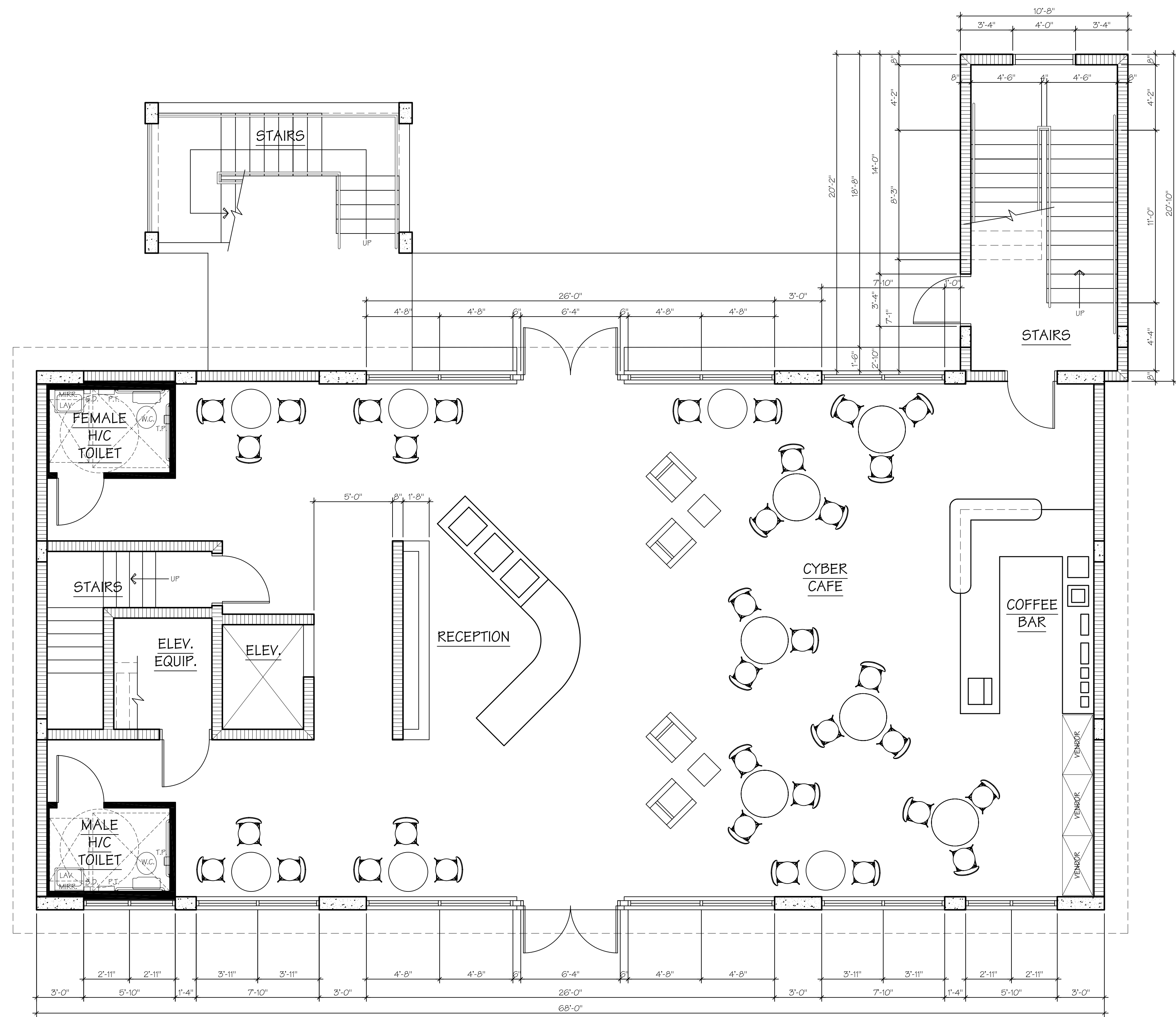
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01 PROPOSED GROUND FLOOR PLAN

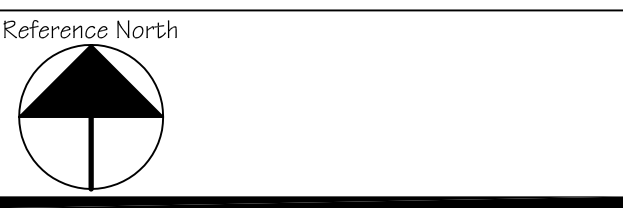
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Architect:

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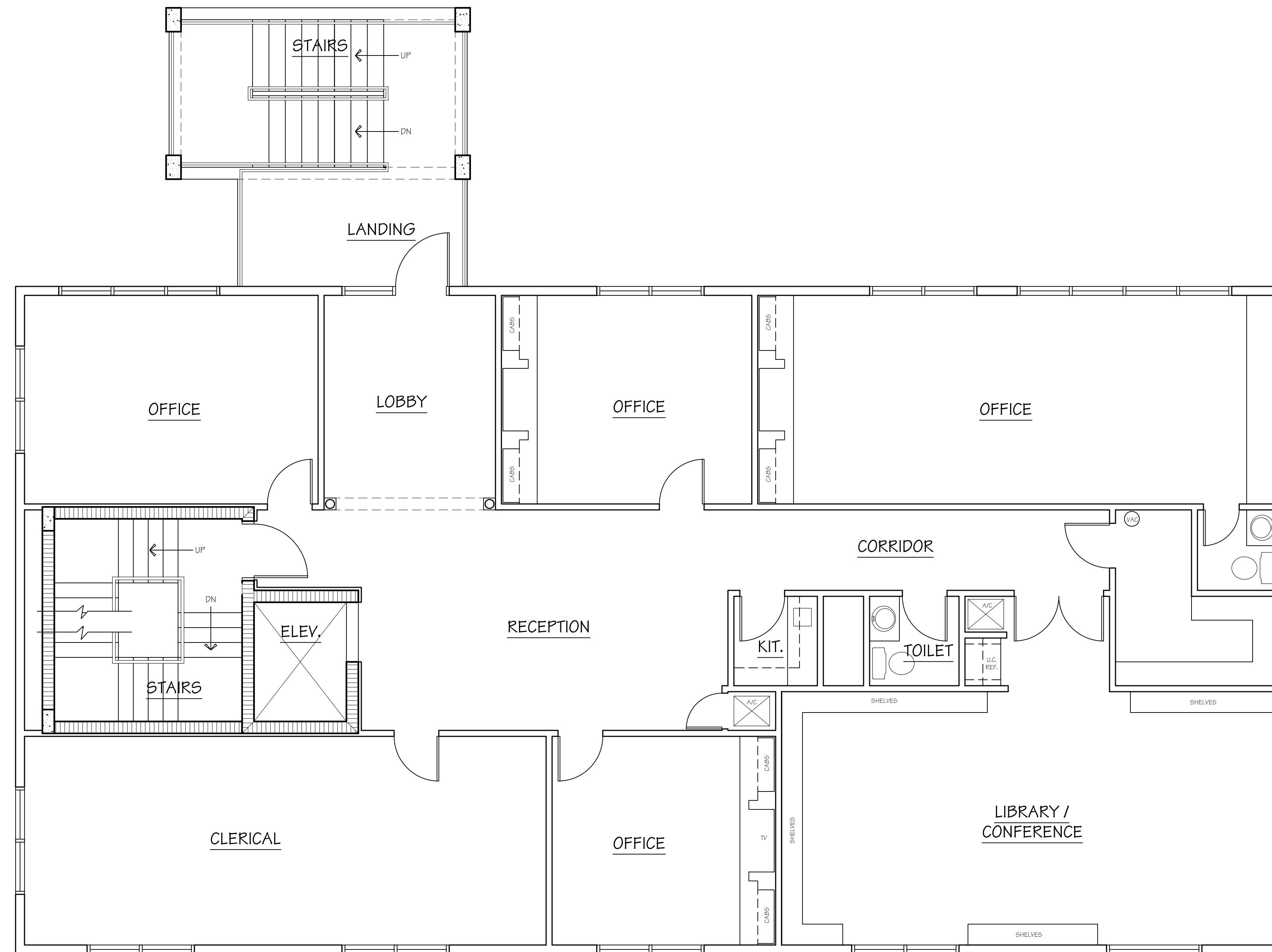
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Sheet No.:	Plot File:

Cert. No.: 12,456
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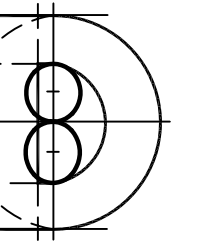
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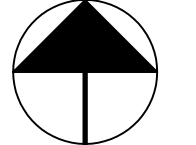
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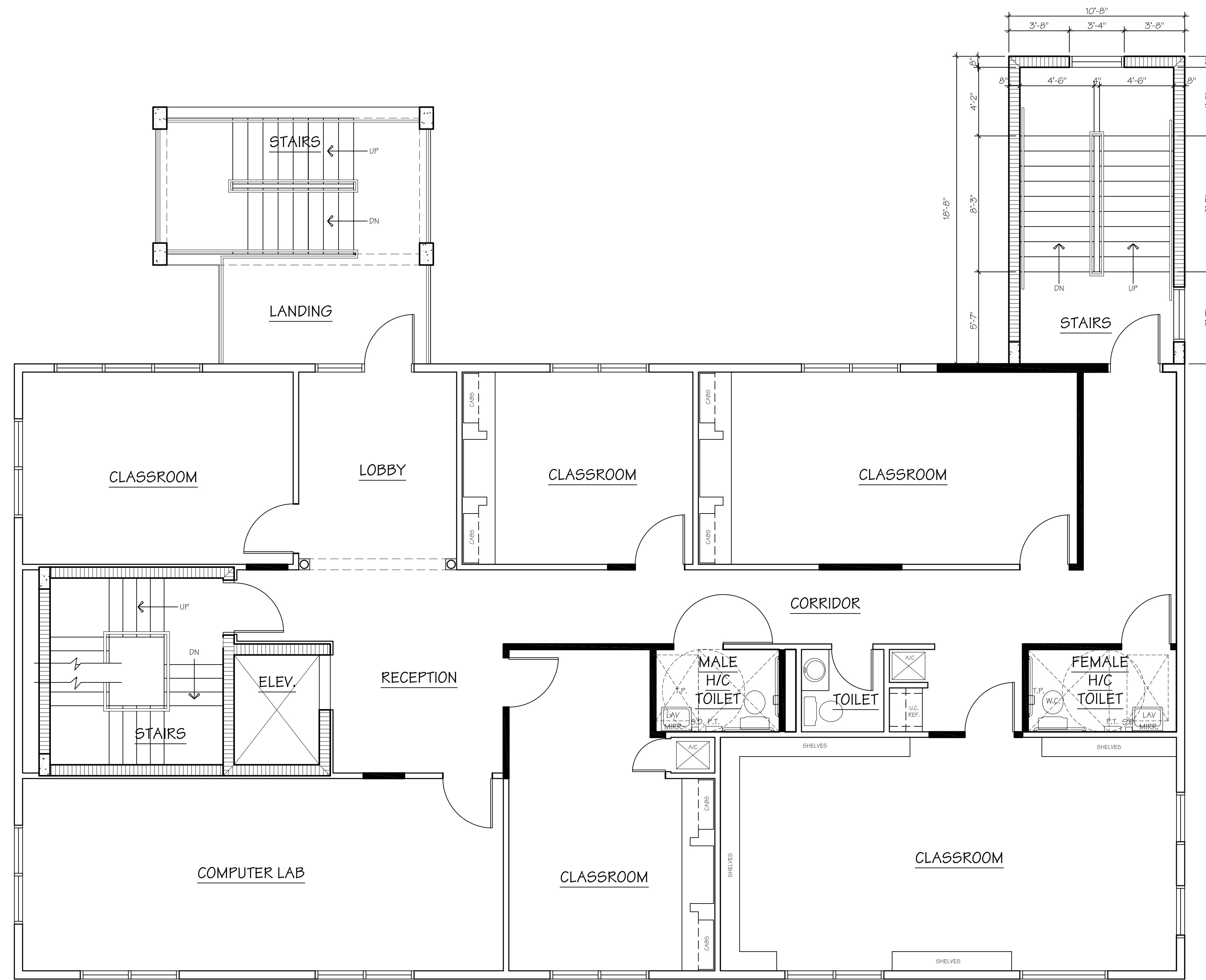


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O1 PROPOSED SECOND FLOOR PLAN

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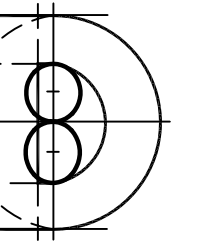
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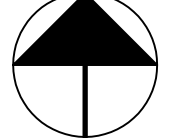
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PROPOSED FIRST FLOOR PLAN

Reference North

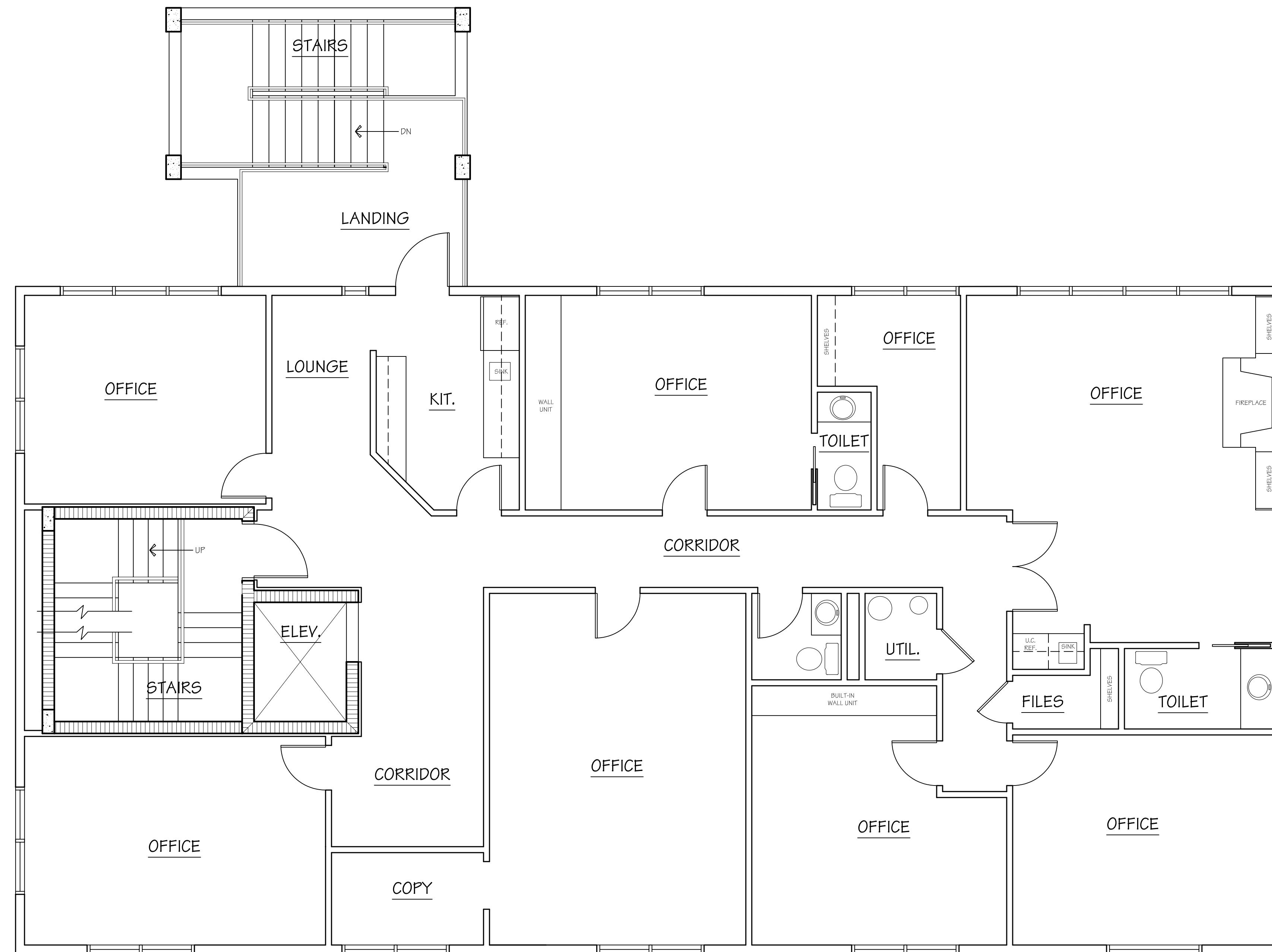


Dwn:	Dwg. File:
MT	XREF File:
AJD	Plot File:
Project No.:	2014-21
Sheet No.:	

Cert. No.: 12,456

Date Signed:

A2.11



01 EXISTING THIRD FLOOR PLAN

Scale: 1/4" = 1'-0"

Project:

Proposed Improvements
for

St. Andrews
School

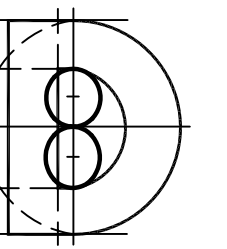
FT. PIERCE, FLORIDA

Key Plan:

Issues:

No.:	Date:	Description:
A.	05/05/14	COA REVIEW

Architect:



DONADIO
& Associates, Architects P.A.

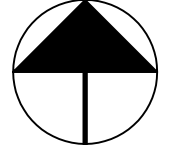
609 17th Street
Vero Beach, FL 32960
Tel: 772/234-2300
Fax: 772/562-8400
License No. AA0002226
www.donadio-arch.com

Consultant:

Drawing Title:

EXISTING THIRD FLOOR PLAN

Reference North

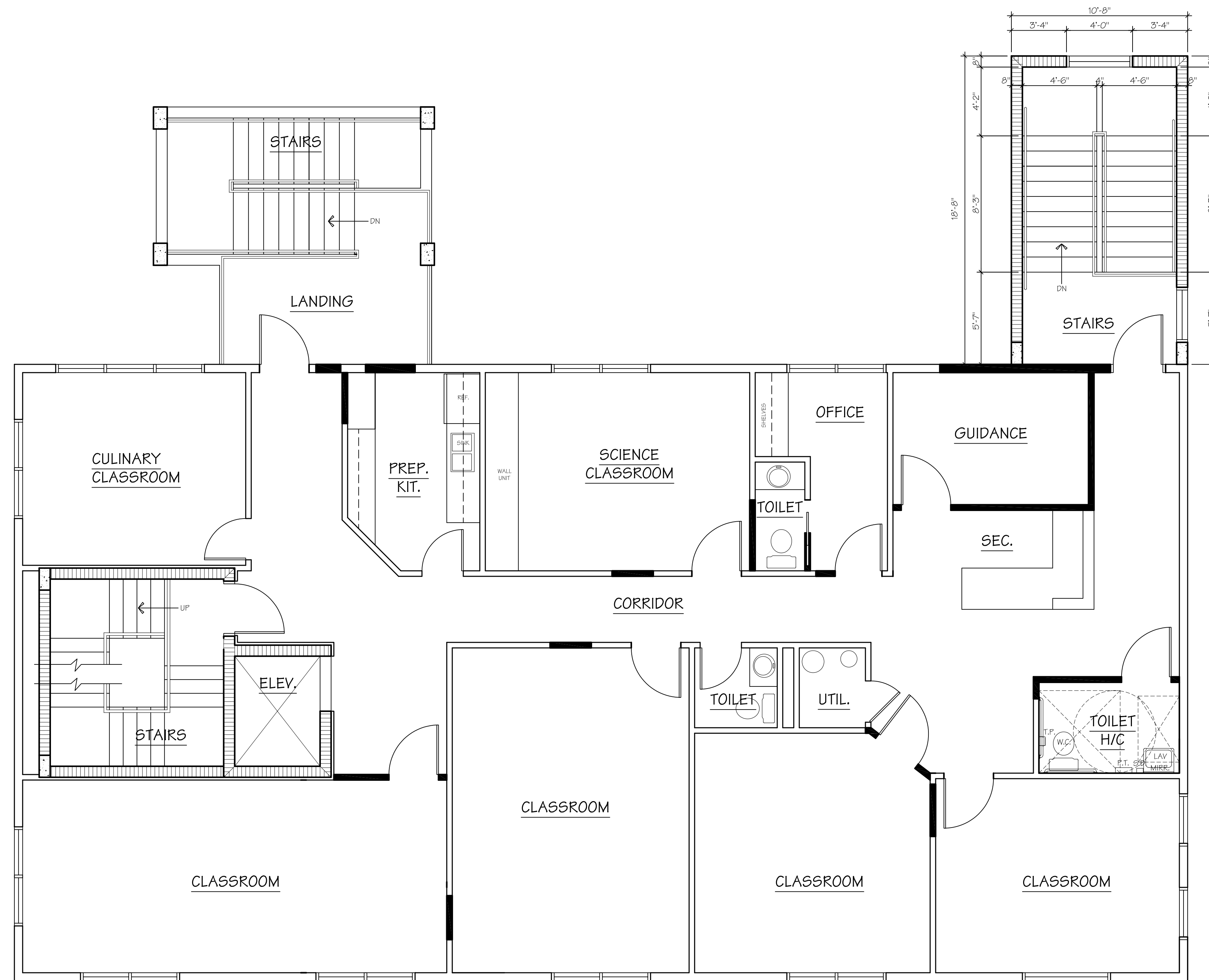


Dwn:	Dwg. File:
MT	XREF File:
Chd:	
AJD	Plot File:
Project No.:	
2014-21	
Sheet No.:	

Cert. No.: 12,456

Date Signed:

A2.12



O1 PROPOSED THIRD FLOOR PLAN

Scale: 1/4" = 1'-0"

Project:

Proposed Improvements
for

St. Andrews
School

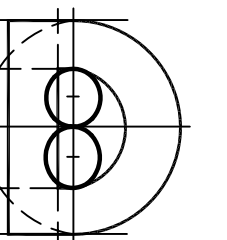
FT. PIERCE, FLORIDA

Key Plan:

Issues:

No.:	Date:	Description:
A.	05/05/14	COA REVIEW

Architect:



DONADIO
& Associates, Architects P.A.

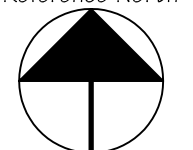
609 17th Street
Vero Beach, FL 32960
Tel: 772/234-2300
Fax: 772/562-5600
License No. A00022256
www.donadio-arch.com

Consultant:

Drawing Title:

PROPOSED SECOND FLOOR PLAN

Reference North



Drwn:	Dwg. File:
MT	XREF File:
Chd:	
AJD	
Project No.:	Plot File:
2014-21	
Sheet No.:	

Cert. No.: 12,456

Date Signed:

A2.12



CITY OF FORT PIERCE

PLANNING DEPARTMENT

REBECCA GROHALL, AICP, PLANNING MANAGER
COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

Technical Review Comments

St. Andrew's Upper School

Conditional Use

1. Planning Department
2. Engineering Department
3. St. Lucie County TPO
4. Fort Pierce Police Department
5. Code Enforcement (Verbal Approval Provided at TRC Meeting)
6. FPUA (Verbal Approval Provided at TRC Meeting)



CITY OF FORT PIERCE

PLANNING DEPARTMENT

COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

June 18th, 2014

St. Andrews Episcopal Academy
210 S Indian River Drive
Fort Pierce FL 34950

**Re: Technical Review – Conditional Use
St. Andrew's High school**

Dear St. Andrew's,

The following are advisory comments from the Planning Department's review of the application for Conditional Use:

- 1) Per Section 22-62 (b) & (d), the installation of a sidewalk connection from the right-of-way (S. Indian River Drive) to the front entrance shall be completed.
- 2) Per City Code Section 22-60 (j) Parking lot lighting is required as follows:
 - (1) Off-street parking shall be proved with lighting as follows:
 - b. For multistructure residential complexes, educational facilities, churches or other uses other than as set forth in the other immediately preceding subsection, a minimum average of one footcandle;
 - (2) The uniformity ration for all lighting classifications is to have an average/minimum ratio of four (4) to one (1).
 - (3) The lighting provided for by this section shall have a footcandle intensity as set forth above from dusk until thirty (30) minutes after the termination of use of, or business at, the premises, but thereafter such lighting intensity may be reduced to fifty (60) per cent of the required minimum.
 - (4) Outdoor lighting required by this section shall be designed so that any over spill of lighting onto adjacent properties shall not exceed five-tenths (.5) footcandle illumination, vertically and horizontally.

- Existing light fixtures are present, please noted operational standards.
- 3) Per City Code Section 22-16 (b)(3)(c)1. All parcels within the district are exempt from off-street parking requirements, as referenced in section 22-60, however the site presents the provision of six (6) parking spaces, an overall reduction of twelve (12) spaces from the site. Due to the nature of the project, and proposed use, please submit a preliminary plan for student parking. It is noted that student drop off for the high-school merge with the existing school operation. If any deviation is proposed, please coordinate with Planning Staff.
- 4) Per City Code Section 22-16 (b)(3)(c)2. All parcels within the district are exempt from landscaping requirements, as referenced in section 22-187, however as on-site parking spaces are present, staff recommends

replacement of dead shrubs on site, and the infill of two trees along the north side of the parking area and structure consistent with City Code Section 22-187(6).


- 5) Please provide a stop bar and stop sign to delineate the north drive aisle exit.
- 6) Please provide a plan for refuse collection for the facility.
- 7) Please provide a diagram of the current traffic flow plan for parent drop-off/pick-up for the school.
- 8) Please provide a traffic statement for the proposed reuse of the structure.

Advisory Comments:

The conceptual plan submitted as an exhibit offers the insight to the long range plan for development of the overall campus. It is noted that the review of the proposed Conditional Use application, and subsequent approval is specific to use of 320 S. Indian River Drive. Any further expansion and/or construction will necessitate an independent application for Conditional Use. Staff will coordinate with the representatives of St. Andrew's to strategize a plan for traffic flow, if a revision is necessary to the existing parking area.

If deemed necessary, please provide a written response to each comment in order to expedite the review of any subsequent submittals. Please contact me should you have any questions regarding the project at (772) 467-3739 or by e-mail: kbenton@city-ftpierce.com.

Sincerely,



Kori Benton
Historic Preservation Officer



CITY OF FORT PIERCE

DEPARTMENT OF ENGINEERING

Roadway Design, Engineering Reviews, Stormwater Utility Management,
Project Management, Traffic Control and Maintenance

INTEROFFICE MEMORANDUM

TO: Kori Benton, Historic Preservation Officer

FROM: John R. Andrews, P.E., City Engineer

DATE: May 23, 2014

PROJECT: St. Andrew's Episcopal Academy
Conditional Use Application
TRC Project No. 14-0400002

cc:

Attachment(s): None



This is to advise you that we have completed the review of the following documents:

- | | |
|--|---|
| <input checked="" type="checkbox"/> Conditional Use Application | <input type="checkbox"/> P/D Drawings & Approved Site Plan |
| <input type="checkbox"/> Test Reports & Related Documents | <input type="checkbox"/> Certificate of Completion |
| <input type="checkbox"/> Record Drawings | <input type="checkbox"/> Permits from applicable Local,
State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local,
State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we Recommend; Do Not Recommend

- Approval of Application Building Permit C/O

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- See attached comments

ENGINEERING COMMENTS:

1. The proposed improvements include reversing the traffic flow for Andrews Avenue, currently a one-way eastbound roadway, and the driveway situated on the north side of the K-6 school building also an existing eastbound driveway. While we do not object to the modification of the private driveway we do have objections of the alteration to current traffic flow pattern of Andrews Avenue. Should this change go into effect the three southerly on-street parking spaces on Melody Lane would be inaccessible to vehicles and vehicles wishing to occupy these spaces would be forced to back in or park illegally against the traffic flow.

ADVISORY COMMENTS:

1. From the information contained in the submittal packet it appears that only six (6) new parking spaces will be added to the school's overall parking. This department has concerns that insufficient parking currently exists for the addition of the upper school. The applicant stated that the facility does not anticipate additional students over what has previously been accommodated. However, we would like to point out that many of the high schooled students may be driving to and from school and will need parking spaces.
2. Prior to enclosing the existing ground floor, please provide verification that the first floor elevation will meet all local, state and federal minimum floor requirements.

JRA/tst



Project# 14-42800007 - Temporary Use for St. Andrews - 320 S Indian River Drive

<Watchdog: Virus checked>

Peter Buchwald

to:

'Alicia Rosenthal'

06/18/2014 05:16 PM

Hide Details

From: Peter Buchwald <BuchwaldP@stlucieco.org>

To: 'Alicia Rosenthal' <AliciaRosenthal@City-FtPierce.Com>,

History: This message has been forwarded.

Dear Ms. Rosenthal:

The St. Lucie Transportation Planning Organization (St. Lucie TPO) has reviewed the above-referenced project with regard to the potential impacts of the temporary use on the transportation network of the St. Lucie TPO area.

Based on the review, no additional comments are provided by the St. Lucie TPO pertaining to the above-referenced project.

Please contact me should you require any additional information or clarification pertaining to the St. Lucie TPO's review of the above-referenced project.

Sincerely,

Peter Buchwald, AICP
Executive Director



Coco Vista Centre
466 SW Port St. Lucie Blvd, Suite 111
Port St. Lucie, FL 34953

www.stlucietpo.org

Tel: (772) 462-1593

Fax: (772) 785-5839

Email: buchwaldp@stlucieco.org

Please Note: Florida has very broad public records laws. Most written communications to or from County officials regarding County business are public records available to the public and media upon request. It is the policy of St. Lucie County that all County records shall be open for personal inspection, examination and / or copying. Your e-mail communications will be subject to public disclosure unless an exemption applies to the communication. If you received this email in error, please notify the sender by reply e-mail and delete all materials from all computers.

Memo

To: Lt. Robert Curry

From: Officer Cheryl Glenn-Reed 

Date: 6/16/2014

Re: Conditional Use- St. Andrews Episcopal Academy 320 S. (Indian River Drive)

Approved

I see no security or safety concerns with the Conditional Use. It is approved.

June 30, 2014

Kori Benton
Planning Department
City of Fort Pierce
100 North US 1
Fort Pierce, FL 34954

Re: Technical Review- Conditional Use
St. Andrew's Episcopal Academy

Dear Mr. Benton:

Enclosed for your review and approval, please find three (3) sets of plans and the following responses to your comments dated June 18, 2014:

1. Acknowledged. The installation of a sidewalk connection from the right-of-way (S. Indian River Drive) to the front entrance shall be completed per Section 22-62(b) and (d).
2. Enclosed please find a photometric survey.
3. Attached please find sheet C-300 showing proposed student parking in the City of Fort Pierce parking garage and the St. Lucie County parking garage. Student drop-off for the upper school will remain in the same location as it is currently functioned.
4. Supplemental landscaping has been added sheet C-100.
5. A stop bar and stop sign have been provided to delineate the north drive aisle exit. (See sheet C-100)
6. Refuse storage area will be provided using four (4) large rolling containers stored on the southwest corner of the building within a 6 ft vinyl fence enclosure.
7. Drop-off and pick-up for the school will remain at the same location as it currently exists for both the lower school and the upper school.
8. Traffic impact statement is enclosed.

If you have any questions or require additional information, please feel free to contact me.

Sincerely,



William P. Stoddard, Ph.D., P.E.

Planning Board

7. c.

Meeting Date: 07/08/2014

Information

REQUESTED ACTION

The applicant would like to construct a canvas awning approximately 24' X 60' onto a wooden deck located on the north side of the existing building, and another 6' X 60' awning on the east side of the same building, which is the current location for the resort restaurant. The awning that will be located on the east side will be attached to the building, off of the ground, centered, and leveled to the building. Additional improvements include replacing the wood deck of the north side of the same building, which was removed due to decay caused by storms and weathering.

LOCATION

Fort Pierce Inlet Beach Resort, 110 S. Ocean Drive, Fort Pierce, FL 34949
South of Seaway Drive and East of South Ocean Drive

RESPONSIBLE STAFF

Sandy Ramseth, AICP, Senior Planner

RECOMMENDATION

Approval with conditions.

Attachments

Staff Report
Zoning, Land Use & Location Maps
Applicant Submittal
Awning Plan
Elevation Plan
Deck Plan
Plant Inventory

Form Review

Form Started By: sramseth
Final Approval Date: 07/01/2014

Started On: 06/30/2014 04:43 PM



CITY OF FORT PIERCE

PLANNING DEPARTMENT

REBECCA GROHALL, AICP, PLANNING MANAGER
COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

TO: Members of the City of Fort Pierce Planning Board
THROUGH: Rebecca Grohall, AICP, Planning Manager
FROM: Sandy Ramseth, AICP, Senior Planner
SUBJECT: Fort Pierce Inlet Beach Resort – Conditional Use
DATE: July 8, 2014

STAFF REPORT

Owner/Applicant: Fort Pierce Inlet Beach Resort, LLC
110 S. Ocean Drive
Fort Pierce, FL 34949

Representative: Harold H. Smyth
C/O Inlet Beach Resort LLC
23285 Orange Ave.
Fort Pierce, FL 34945-4337

Requested Action: Approval with conditions

Location: South of Seaway Drive and East of South Ocean Drive

Parcel Ids: 2401-501-0005-000-0; 2401-501-0007-000-4; and
2401-501-0006-000-7

Current Future Land Use: GC, General Commercial

Current Zoning: C-5, Tourist Commercial

Surrounding Zoning:

North	East	South	West
C-5 (City Owned)	C-5	C-5	C-5

Surrounding FLU:

North	East	South	West
COS	GC	GC	GC

Parcel(s) Size: .52 + .18 + .21 = .91 total acres

Applicant Request:

The applicant is requesting approval for a Conditional Use of proposed improvements to the Fort Pierce Inlet Beach Resort. The need for a Conditional Use review is due to the location of the improvements which are seaward of the Coastal Construction Control Line (CCCL).

In addition to the Conditional Use request, the applicant will require an approval from the Planning Board acting as the Design Review Board to allow for the front (northern) awning to encroach into the site setback.

The applicant would like to construct a canvas awning approximately 24' X 60' onto a wooden deck located on the north side of the existing building, and another 6' X 60' awning on the east side of the same building, which is the current location for the resort restaurant. The awning that will be located on the east side will be attached to the building, off of the ground, centered, and leveled to the building. Additional improvements include replacing the wood deck of the north side of the same building, which was removed due to decay caused by storms and weathering. (Figure 1)

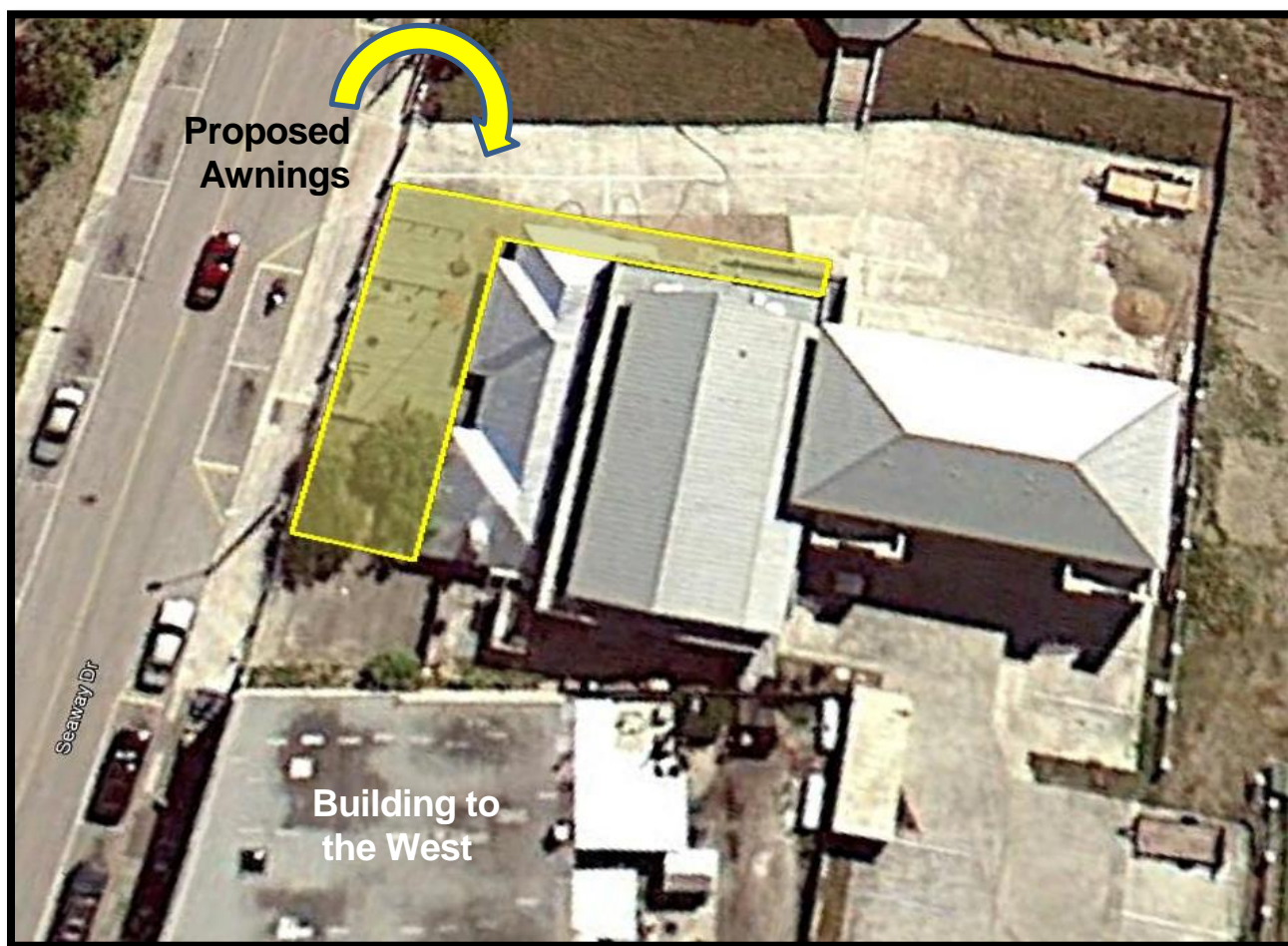


Figure 1

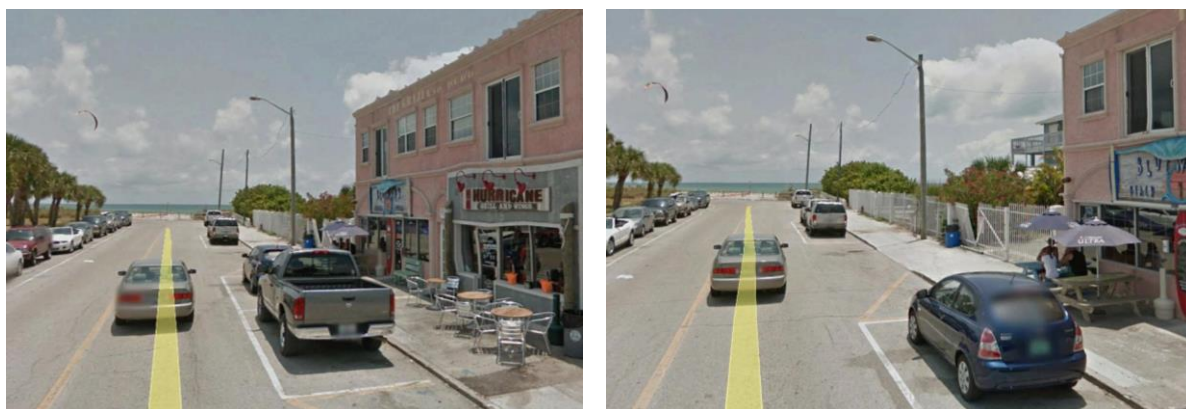
Staff Analysis:

This proposed project is submitted as a Conditional Use to meet the requirements per **Sec. 22-66. Coastal construction control line.** *“No construction is permitted on the seaward side of the coastal construction control line in any zoning district except for navigational structures, private and semi-public water-dependent recreational uses and water-dependent public uses. Any other construction shall be approved in the form and manner provided for by Chapter 22, Article V, Conditional Uses, of this Code of Ordinances and otherwise shall conform with all other applicable ordinance requirements. The coastal construction control line is that certain line designated by the department of natural resources or its successor agency in accordance with section 161.053, Florida Statutes.”*

In reviewing the overall site plan of the subject property, it is apparent that the proposed improvements will not encroach further seaward than what currently exists, and will not have any impact beyond that which has been previously permitted. Furthermore, the proposed improvements should have no impact on the existing dune system.

In reviewing the request from a design review perspective the proposed awning, although encroached into the setback, is consistent with the spatial order of its immediate surroundings, in that the building immediately to the west abuts the street at the front property line. (Figure 1) This would be consistent with **Design Review, Sec. 22-59(g)(2)b**, *“To provide for consistent spatial order of streets, and to accommodate a human scale and pedestrian activity, the inside line of the front yard (setback) shall be considered a frontage line.”*

Further, the awning will enhance and emphasize the entrance to the resort building as provided in **Sec. 22-59(g)(2)a**, *“Buildings shall have architectural features such as porches or roof overhangs that delineate or emphasize entrances. Covered entrances shall be proportioned to human scale and follow logic of design relative to the building. This entrance shall face the public right-of-way, be well-defined architecturally and readily visible to pedestrian and vehicular traffic.”* The awning will make the building more visible to pedestrian and vehicular traffic. As the site currently exists, the Inlet Beach Resort main building is well hidden (Figure 2) behind the building to the west due to the proximity of its setback location. It is not until you are almost in front of the site, do you see it. (Figure 3)



Figures 2 & 3

TRC Recommendations/Comments:

City Engineering:

The City Engineering Department recommends approval with the following comments that must be addressed at time of Building Department submittal:

- 1) Provide a full sized copy of the boundary survey in accordance with Section 17-27(a)(7) of the City of Fort Pierce Code of Ordinances, "A survey prepared and sealed by a Florida Registered Land Surveyor to show property lines and existing physical features with pertinent elevations to include the site's 100-year flood elevation provided by the Federal Flood Insurance Rate Maps."
- 2) Provide a copy of the FDEP permit for all proposed work water-ward of the Coastal Construction Control Line.
- 3) Please provide a site plan that shows the proposed improvements as opposed to the sketch of improvements drawn on a copy of a reduced survey. This plan needs to show the limits of the construction and how it relates to the adjacent land, specifically along Seaway Drive.
- 4) Provide information as to where the stormwater run-off from the proposed awning/decking will be directed to. Please note no runoff shall be directed to the Seaway Drive Right-of-Way.
- 5) It appears that there are three parcels that comprise the Fort Pierce Inlet Beach Resort. The applicant shall provide a Unity of Title tying these individual parcels into one parcel.
6. The landscape plans show some possible plantings within the limits of SR A1A Right-of-Way, please ensure that all landscaping is contained within the limits of the subject property.

Applicant Response:

The following are responses to the Building Department's comments:

- 1) Provide a full sized copy of the boundary survey - we do have a full size signed and sealed survey's which we will submit to the Building Department.
- 2) Provide a copy of the DEP permit - That permit is being processed at this time and will be available at the time of building submission.
- 3) Please provide a site plan - At the time of the submittal to the building department we will show the proposed improvements only. The existing sketch is for clarifications only to have a general idea of what our vision is.
- 4) Provide information as to where the storm water run-off from the proposed awning/deck - Please note that the architect has already anticipated the storm water run-off and so run-off shall be directed to Seaway Drive. **Update:** Note that storm water run-off from the proposed awning will be collected by gutters and directed onto the existing beach sand base now receiving direct rainfall.
- 5) It appears that there are three parcels that comprise the Fort Pierce Inlet Beach Resort Enclosed find the property appraiser's property record card for all three parcels showing unity of title.
- 6) The landscaping plans show some possible plantings within the limits of the SR A1A right-of-way. Enclosed you will find photographs of the existing landscaping taken recently. Please note that the Royal Palm trees are planted on our property and the not the SR A1A right-of-way and the accent landscaping west of the trees is minimal at best and was done to show continuity with our next door neighbors and to beautify the entrance.

City Code Compliance:

The following are advisory comments from the Code Compliance Department's review of the application for Conditional Use:

1) Reminder: Please keep in mind that it is turtle season and please keep all lights shielded. This property has received two notices in the past.

Applicant Response:

The following are responses to the Code Compliance Department's comments:

1) We agree that that any lighting will meet the requirements of City and Florida "Turtle Protection" requirements.

City Planning:

The following are advisory comments from the Planning Department's review of the application for Conditional Use:

1) Per Section 22-59(g)(10)c of the City Code, "Awning fabric shall be made of non-glossy material, such as treated cotton for durability, and ribbing (seams) should run vertically."

2) Per Section 22-59(g)(10) d of the City Code, "Awnings shall not be used as a attention-getting device, and should contain only minimal signage on the awning fabric. Awnings should not be backlit; simple down-lighting to illuminate the window, door or sidewalk should be used." Please indicate the color you intend to use for the awnings. It was mentioned during the Pre-App meeting that the color shown on the proposed images may not be the actual color. Although swatch samples of material were provided, a definite color has not.

3) Any change or addition to signage must comply with Chapter 15 of the City Code.

4) For the bike rack you are providing make sure it can accommodate a minimum of 4 bicycles, per Section 22-60(f)(1)a of the City Code, "Short-term bicycle parking is required in accordance with the following minimum ratios. These requirements apply regardless of any motor vehicle parking exemptions or reductions: 1 per 10 motor vehicle spaces." You have 37 spaces, therefore requiring 4 bicycle spaces.

Applicant Response:

The following are responses to the Planning Department's comments:

1) Awning Fabric - The material sample we gave you are industry standard and do not have a glossy finish but are water proof. There are other materials but the cost is triple the standard fabric price. Also the other non-standard material is not water proof. **Update:** Per our discussion on June 26, the submitted "satin sheen" awning material is acceptable under City Code.

2) Awnings shall not be need as attention getting device - It is not our intention to see the awnings as an attention getting devices. Any lighting will be down directed for the convenience of the guest and patrons. **Update:** We agree that any proposed signage will meet the requirements of City Ordinances. Selected awning color samples are to be submitted along with this Memo.

3) Any change or addition to signage must comply with Chapter 15 of the City order - any future signage will be VIA separate permit. **Update:** All revisions to existing signage will be submitted & reviewed per Chapter 15 of the City Code.

4) Bike Racks - For the record we currently have installed 20 bike racks on the property which are approved by the planning department. We want to put an additional four bike racks out front for the convenience of our patrons. **Update:** City Staff has reviewed the in-place installation of four bicycle racks each of which will accommodate four bicycles.

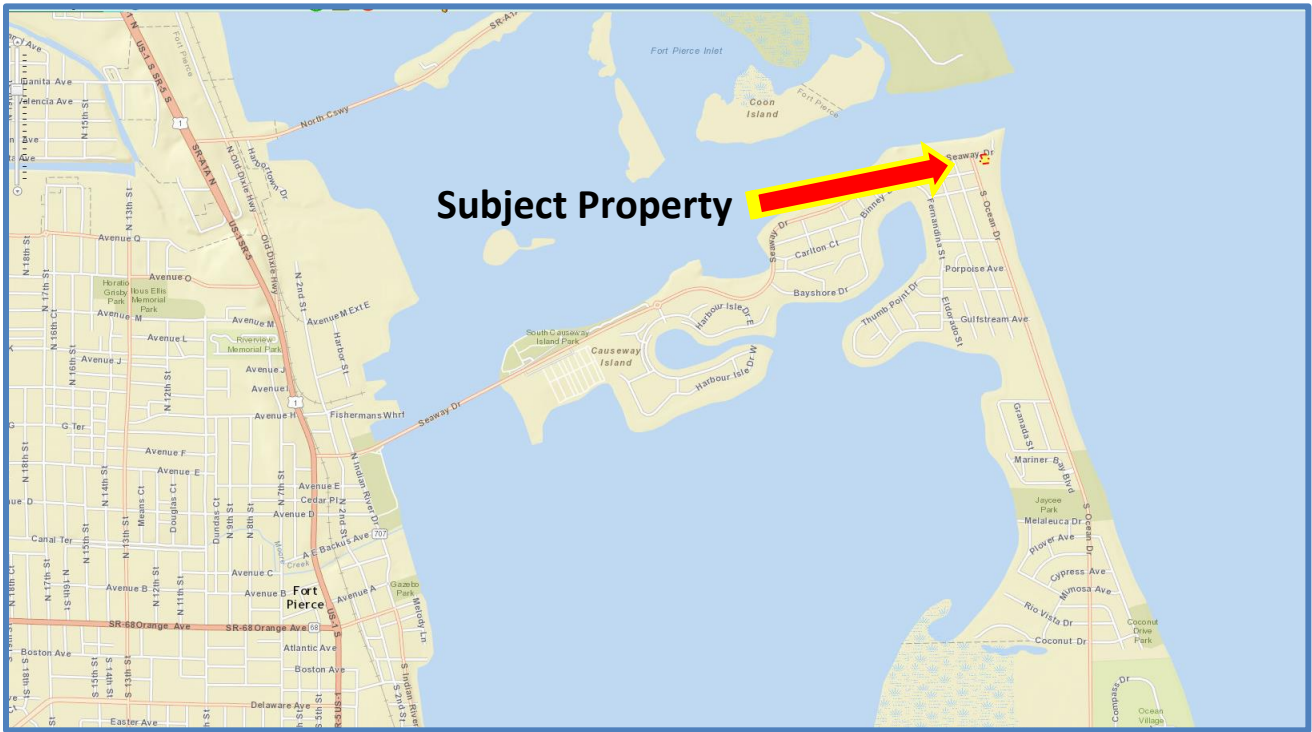
5) Color of awnings - We have chosen a classic solid blue color that will enhance the characters of the building and compliment the surrounding decor. Samples enclosed.

All other TRC reviewing Departments either had no comment, or expressed approval without conditions.

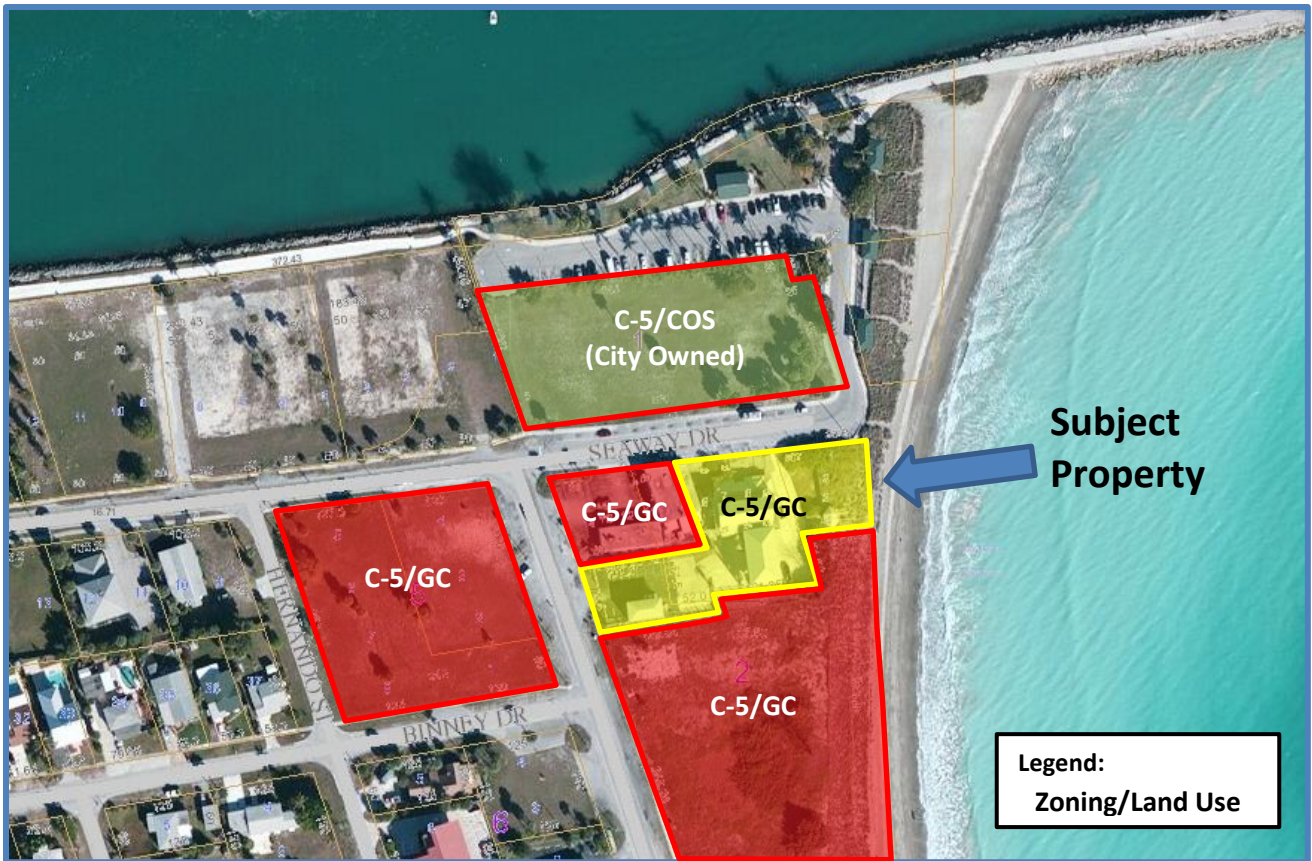
Staff Comments:

In review of the Conditional Use application and Design Review request, staff recommends that the Planning Board forward a recommendation of **approval** with the following conditions:

1. All City Engineering comments are satisfied at time of building permit application.



Location Map



Zoning & Land Use Map



CITY OF FORT PIERCE

PLANNING DEPARTMENT

Rebecca Grohall, AICP, Planning Manager
COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

DEVELOPMENT REVIEW

Property address or Location 110 S Ocean Dr. Ft. PIERCE FL. 34949
Parcel ID #(s) 2401 501 0005 0000
Project description Rebuild Deck and New Awning

Ft. PIERCE Inlet Beach Resort
Property Owner(s)
23285 Orange Ave
Street Address
Ft. PIERCE FL. 34945
City State Zip
772-201-8230
Phone Number
smyth.build@ AOL.com
Email Address

Harold H. Smyth or Peter Harrison
Applicant/Representative, Title, Company
110 S. Ocean Dr.
Street Address
Ft. PIERCE FL. 34949
City State Zip
772-201-8230
Phone Number
smyth.build@ AOL.com
Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

Peter Harrison, Agent for Ft. Pierce Inlet Beach Resort, LLC
Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY
The foregoing instrument was acknowledged before me this 30 day of April, 2014, by
Peter Harrison who is personally known to me or has produced
as identification.

Laura R. Cubbedge
Signature of Notary

(seal)



INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit # _____
Intake Planner _____
Planner Assigned _____
Approved By _____ Date _____
Comments _____



Intake Date Stamp

DEVELOPMENT REVIEW

General Information

- Incomplete application packets cannot be accepted.
- Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

Choose Application Type:

Application Type			
<input type="checkbox"/> Site Plan	<input checked="" type="checkbox"/> Conditional Use with New Const.	<input type="checkbox"/> Major Amendment	
<input type="checkbox"/> Conceptual Development Plan		<input type="checkbox"/> Minor Amendment	

Site Information:

Non-Residential: Proposed Sq. Ft.: N/A Residential: Proposed Units: N/A

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West
OV Clubhouse	Sea Scape Towers	Beach	Unit Garages & Golf Course
Public	Vacant	Ocean	Business

Application Outlook



Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- Complete notarized application
- Warranty Deed
- SLC Property Record Card
- Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- General location map (see Section 22-58.d.2)
- Survey (see Section 22-58.d.3)
- Site Plan (see Section 22-58.d.4) - "plot plan" - showing awnings overlaid on survey
- Landscaping Plan (see Section 22-187)
- Storm Drainage Plan (see Section 22-58.d.6)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 22-58.d.7)
- Lighting Plan (see Section 22-58.d.8)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)

Sandy Ramseth
C/o City of Fort Pierce
100 N US 1
Fort Pierce, FL 34950

RE: Technical Review- Fort Pierce Inlet Beach Resort

Dear Ms. Ramseth,

The following are response to the Building Department comments.

No. 1- Provide a full sized copy of the boundary survey- we do have a full size signed and sealed survey's which we will submit to the Building Department.

No. 2- Provide a copy of the DEP permit- That permit is being processed at this time and will be will be available at the time of building submission.

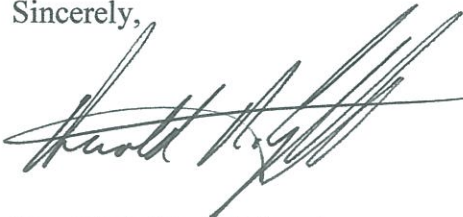
No. 3- Please provide a site plan- At the time of the submittal to the building department we will show the proposed improvements only. The existing sketch is for clarifications only to have a general idea of what our vision is.

No. 4- Provide information as to where the storm water run-off from the proposed awning/deck- Please note that the architect has already anticipated the storm water run-off and so run-off shall be directed to Seaway Drive.

No. 5- It appears that there are three parcels that comprise the Fort Pierce Inlet Beach Resort- Enclosed find the property appraiser's property record card for all three parcels showing unity of title.

No. 6- The landscaping plans show some possible plantings within the limits of the SR A1A right-of-way- Enclosed you will find photographs of the existing landscaping taken recently. Please note that the Royal Palm trees are planted on our property and the not the SR A1A right-of-way and the accent landscaping west of the trees is minimal at best and was done to show continuity with our next door neighbors and to beautify the entrance.

Sincerely,



Harold H. "Buzz" Smyth
110 S. Ocean Dr.
Fort Pierce, FL 34949
Ph. 772-201-8230
Email: smythbuild@aol.com

Sandy Ramseth
C/o City of Fort Pierce
100 N US 1
Fort Pierce, FL 34950

RE: Technical Comments

Dear Ms. Ramseth,

I was pleased to get your comments the other regarding the awning and the deck at 110 S. Ocean Dr. better known as the Inlet Bar & Grill. It is my intention to answer each of your comments so that we remain on the same page and have a clear understanding of our project.

No. 1- Awning Fabric- The material sample we gave you are industry standard and do not have a glossy finish but are water proof. There are other materials but the cost is triple the standard fabric price. Also the other non-standard material is not water proof.

No. 2- Awnings shall not be need as attention getting device- It is not our intention to see the awnings as an attention getting devices. Any lighting will be down directed for the convenience of the guest and patrons.

No. 3- Any change or addition to signage must comply with chapter 15 of the City order- Any future signage will be VIA separate permit.

No. 4- Bike Racks- For the record we currently have installed 20 bike racks on the property which are approved by the planning department. We want to put an additional four bike racks out front for the convenience of our patrons.

No. 5- Color of awnings- We have chosen a classic solid blue color that will enhance the characters of the building and compliment the surrounding décor. Samples enclosed.

Sincerely,

A handwritten signature in black ink, appearing to read "Harold H. Smyth". The signature is stylized with a large, sweeping flourish at the end.

Harold H. "Buzz" Smyth
C/o Fort Pierce Inlet Beach Resort
110 S. Ocean Dr.
Fort Pierce, FL 34949
Ph.: 772-201-8230
Email: smythbuild@aol.com

5/21/2014

• • •

Fort Pierce Inlet Beach Resort
110 S Ocean Drive
Fort Pierce, FL 34949

City Of Fort Pierce
100 N US #1
Fort Pierce, FL 34950

RE: Statement of ownership and control of proposed development (character and intended use)

Dear Sir/Madam,

Representing the Fort Pierce Inlet Beach resort, we would like to construct an awning approximately 24' X 60', onto a wooden deck that is located on the north side of the existing building, and another 6' X 60' awning on the east side of the same building, which is the restaurant for the resort. The awning that will be located on the east side will be constructed attached to the building, off of the ground, centered and leveled to the building.

We are also hoping to replace the deck of the north side of the same building, which was removed due to decay caused by port storms and weathering. Our intended start date is July 15, 2014 and we project to complete this project by July 30, 2014.

We look forward to your continued support for the improvements of our South Beach area and its community, and thank you for your consideration in the matter.

Regards,

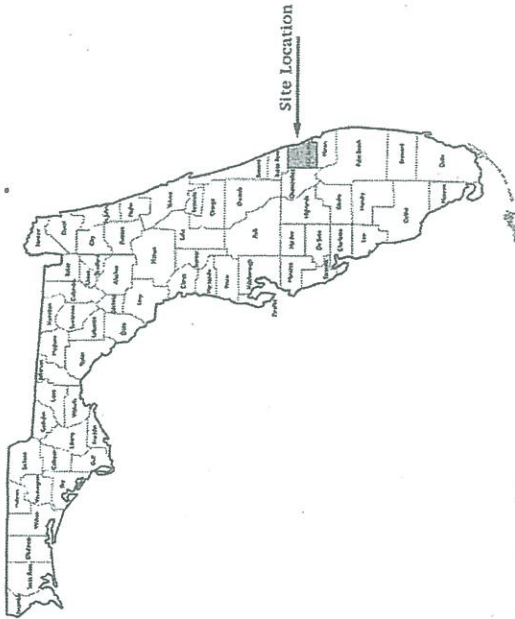
A handwritten signature in black ink, appearing to read "Harold Smith", written over a horizontal line.

Fort Pierce Inlet Beach Resort
Represented by Harold Smith

Deck Repair & Awning Construction

Inlet Beach Resort

Section 36, Township 35 South, Range 40 East, Ft. Pierce, Florida



Site Location Map

Sheet Index

Survey / Site Plan	S-1
Plant Inventory	CS-1
Site Cross Section	A-1
Building Elevations	A-2
First Level Plan	A-3
Deck Plan & Details	

These drawings are instruments of service and the property of the Architect. They are to be used only for the project for which they are prepared. No other project or use without the written agreement of John M. Foster - Architects. All rights reserved.

Revisions	
Date	Description
02/27/18	Initial
	Issued for Review



John M. Foster - Architect
 Member - American Institute of Architects - LEED AP
 1100 S. Ocean Drive, Ft. Pierce, Florida 34932
 (888) 570-6464 - Florida Registration No. 0091
 jmf@jmfarchitect.com

INLET BEACH RESORT I
 110 S. Ocean Drive, Ft. Pierce, Florida

PROPERTY RECORD CARD

Fort Pierce Inlet Beach Resort LLC Record: 1 of 2 <<Prev Next >> Spec.Assmnt Taxes Exemptions Permits Home Print

Property Identification

Site Address: 110 S OCEAN DR ParcelID: 2401-501-0005-000-0
 Sec/Town/Range: 01 :35S :40E Account #: 14606
 Map ID: 14/36S Use Type: HTLS MTLs
 Zoning: C5 City/Cnty: Fort Pierce



Ownership and Mailing

Owner: Fort Pierce Inlet Beach Resort LLC
 Address: % Inlet Beach Resort LLC
 23285 Orange Ave Fort Pierce FL 34945-4337

Legal Description

FT PIERCE BEACH S/D BLK 2 LOTS 5 THRU 8 VAC ALLEY AND PART OF UNPLATTED PART OF BLK 2 MPDAF: FROM NW
[More...](#)

Sales Information

Date	Price	Code	Deed	Book/Page
2/27/2012	1600000	0202	WD	3366 / 2381
9/19/2001	100	02	QC	1436 / 0437
2/9/1998	100	01	QC	1447 / 1095
2/5/1998	520000	01	WD	1125 / 1986
9/16/1997	0	02	CT	1099 / 1479
12/17/1996	100	02	CT	1096 / 2161
2/1/1984	420000	00	CV	0424 / 0837
5/1/1983	500000	00	CV	0401 / 2552

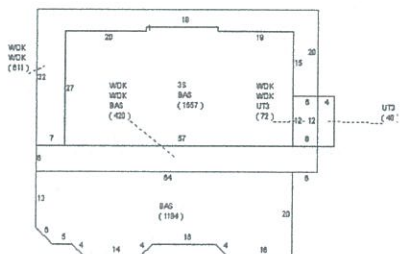
Assessment 2013

2013 Final: 923000
 Assessed: 923000
 Ag.Credit: 0
 Exempt:
 Taxable:
 Taxes: 23591.25

Total Land and Building

Land Value: 336500 Acres: 0.52
 Building Value: 586500
 Finished Area: 9431 SqFt

BUILDING INFORMATION



Exterior Features

View: - RoofCover: TN - Metal RoofStruct: HP - Hip
 ExtType: HTL1 - HOTEL<5 STRY YearBlt: 1974 Frame: -
 Grade: Y_D+ - Commer D+ EffYrBlt: 1974 PrimeWall: BP - Conc Block
 StoryHght: 0030 - 3 Story No.Units: 13 SecWall: CY - Cypress BB

Interior Features

BedRooms: 2 Electric: MX - MAXIMUM PrmIntWall: DW - Drywall
 FullBath: 0 HeatType: FHA - FrcdHotAir AvgHt/FI:
 1/2Bath: 0 HeatFuel: ELEC - Electric Prm.Flors: QT - Tile-Quarry
 %A/C: 100 %Heated: 100 %Sprinkled: 0

Special Features and Yard Items

Type	Y/S	Qty.	Units	Qual.	Cond.	YrBlt.
CNC2 - CONCRETE LOW	Y	1	15000	AV	AV	1988
FEN7 - CHAINLINK 7'	Y	1	110	AV	AV	1988
FNW4 - WOOD FEN 4'	Y	1	400	AV	AV	2013
CNC2 - CONCRETE LOW	Y	1	4436	AV	AV	2013

Land Information

No.	Use Type	Type	Measure	Depth
1	3900-HTLS MTLs	360 -Sq Feet	22436	

THIS INFORMATION IS BELIEVED TO BE CORRECT AT THIS TIME BUT IT IS SUBJECT TO CHANGE AND IS NOT WARRANTED.

PROPERTY RECORD CARD

Fort Pierce Inlet Beach Resort LLC Record: 1
of 1
Property Identification

<<Prev Next >> Spec.Assmnt Taxes Exemptions Permits Home Print

Site Address: 110 S OCEAN DR
Sec/Town/Range: 01 :35S :40E
Map ID: 24/01A
Zoning: C5

ParcelID: 2401-501-0007-000-4
Account #: 133896
Use Type: HTLS MTLs
City/Cnty: Fort Pierce



Ownership and Mailing

Owner: Fort Pierce Inlet Beach Resort LLC
Address: % Inlet Beach Resort LLC
23285 Orange Ave Fort Pierce FL 34945-4337

Legal Description

FT PIERCE BEACH S/D THAT PART OF BLK 2 MPDAF: COMM AT
NW COR SD BLK 2 RUN S 19 DEG 02 MIN 03 SEC E A
More...

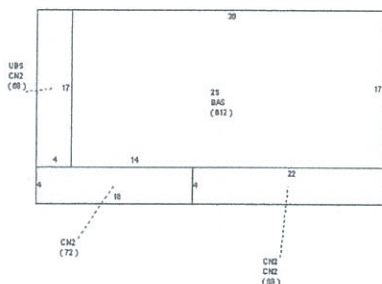
Sales Information

Date	Price	Code	Deed	Book/Page
2/27/2012	1600000	0202	WD	3366 / 2381
9/19/2001	100	02	QC	1436 / 0437
2/9/1998	100	02	QC	1447 / 1095
2/5/1998	520000	01	WD	1125 / 1986
9/16/1997	0	02	CT	1099 / 1479
12/17/1996	100	02	CT	1096 / 2161
7/8/1988	0	01	WD	0794 / 0778

Assessment 2013
2013 Final: 191100
Assessed: 191100
Ag.Credit: 0
Exempt:
Taxable:
Taxes: 4884.37

Total Land and Building
Land Value: 117600 Acres: 0.18
Building Value: 73500
Finished Area: 1292 SqFt

BUILDING INFORMATION



Exterior Features

View:	-	RoofCover:	SD - Dim Shingle	RoofStruct:	HP - Hip
ExtType:	HTL1 - HOTEL<5 STRY	YearBlt:	1989	Frame:	-
Grade:	Y_C - Commer C	EffYrBlt:	1989	PrimeWall:	BS - CB Stucco
StoryHght:	0020 - 2 Story	No.Units:	1	SecWall:	WS - Wood/Sheath

Interior Features

BedRooms:	1	Electric:	MX - MAXIMUM	PrmIntWall:	DW - Drywall
FullBath:	0	HeatType:	FHA - FrcdHotAir	AvgHt/FI:	
1/2Bath:	0	HeatFuel:	ELEC - Electric	Prm.Flors:	CT - Tile-Ceramic
%A/C:	100	%Heated:	100	%Sprinkled:	0

Special Features and Yard Items

Type	Y/S	Qty.	Units	Qual.	Cond.	YrBlt.	No.	Use Type	Type	Measure	Depth
ASP2 - ASP2 LOW	Y	1	5000	AV	AV	1985	1	3900-HTLS MTLs	360 -Sq Feet	7840.7998	

Land Information

THIS INFORMATION IS BELIEVED TO BE CORRECT AT THIS TIME BUT IT IS SUBJECT TO CHANGE AND IS NOT WARRANTED.

PROPERTY RECORD CARD

Fort Pierce Inlet Beach Resort LLC Record: 1 <<Prev Next >> Spec.Assmnt Taxes Exemptions Permits Home Print
of 1

Property Identification

Site Address: Seaway Dr ParcelID: 2401-501-0006-000-7
 Sec/Town/Range: 36:34S:40E Account #: 133895
 Map ID: 14/36S Use Type: Vac Comm
 Zoning: C5 City/Cnty: Fort Pierce



Ownership and Mailing

Owner: Fort Pierce Inlet Beach Resort LLC
 Address: % Inlet Beach Resort LLC
 23285 Orange Ave Fort Pierce FL 34945-4337

Legal Description

FT PIERCE BEACH S/D THAT PART OF BLK 2 INCL LOTS 1 THRU 4
 MPDAF: COMM AT NW COR SD BLK 2 RUN N 82 DE
[More...](#)

Sales Information

Date	Price	Code	Deed	Book/Page
2/27/2012	1600000	0202	WD	3366 / 2381
9/19/2001	100	02	QC	1436 / 0437
2/9/1998	100	02	QC	1447 / 1095
2/5/1998	520000	01	WD	1125 / 1986
9/16/1997	0	02	CT	1099 / 1479
12/17/1996	100	02	CT	1096 / 2161
7/8/1988	0	01	WD	0594 / 0778

Assessment 2013

2013 Final: 137200
 Assessed: 137200
 Ag.Credit: 0
 Exempt:
 Taxable:
 Taxes: 3506.72

Total Land and Building

Land Value: 137200 Acres: 0.21
 Building Value: 0
 Finished Area: 0 SqFt

BUILDING INFORMATION

No Sketch
 Available



Exterior Features

View: -	RoofCover: -	RoofStruct: -
ExtType: -	YearBlt: -	Frame: -
Grade: -	EffYrBlt: -	PrimeWall: -
StoryHght: -	No.Units: -	SecWall: -

Interior Features

BedRooms: -	Electric: -	PrmIntWall: -
FullBath: -	HeatType: -	AvgHt/Ft: -
1/2Bath: -	HeatFuel: -	Prm.Flors: -
%A/C: -	%Heated: -	%Sprinkled: -

Special Features and Yard Items

Type	Y/S	Qty.	Units	Qual.	Cond.	YrBlt.
1						

Land Information

No.	Use Type	Type	Measure	Depth
1	1000-Vac Comm	360 -Sq Feet	9147.59961	

THIS INFORMATION IS BELIEVED TO BE CORRECT AT THIS TIME BUT IT IS SUBJECT TO CHANGE AND IS NOT WARRANTED.

Prepared by and return to:

Frank H Fee, III
Attorney at Law
Fee & Fee, P.L.
426 Avenue A
Fort Pierce, FL 34950
772-461-5020
File Number: de Peyster

Consideration: \$1,600,000.00
Doc Stamps: \$11,200.00

Parcel Identification Nos. 2401-501-0005-000/0
2401-501-0006-000/7
2401-501-0007-000/4

COPY

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM - SECTION 689.02, F.S.)

This Indenture made this 29th day of February, 2012 between FRANCES VISCO, a single adult, and JACK LARWIN AND JOAN LARWIN, husband and wife, whose post office address is PO Box 396, Jensen Beach, FL 34958 of the County of Martin, State of Florida, grantor*, and FORT PIERCE INLET BEACH RESORT, LLC, a Florida limited liability company whose post office address is 1615 Thumb Point Drive, Fort Pierce, FL 34949 of the County of Saint Lucie, State of Florida, grantee*,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Saint Lucie County, Florida, to-wit:

See Exhibit "A" attached hereto and made a part hereof.

The Exhibit "A" real property is conveyed SUBJECT TO reservations, restrictions, easements, rights-of-way and Plat of Public Record, provided, however, that this reference shall not serve to reimpose the same; and

Such real property is further conveyed TOGETHER WITH all furniture, furnishing and fixtures owned by Grantor and used in the operation of a hotel/motel, including appliances and equipment associated therewith limited to range hood, stainless sink and outside cooler.

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

COPY

DoubleTime®

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Connie Sue Moore
Witness Name: Connie Sue Moore

Lisa L. Bolton
Witness Name: Lisa L. Bolton

FRANCES VISCO FRAN VISCO (Seal)

COPY

State of Florida
County of Saint Lucie

The foregoing instrument was acknowledged before me this 27th day of February, 2012 by, FRANCES VISCO who is personally known or has produced a driver's license as identification.

[Notary Seal]

Connie Sue Moore
Notary Public

Printed Name: Connie Sue Moore

My Commission Expires: _____



COPY

COPY

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
Witness Name: FRANK N. FIFE, Jr.

[Signature]
Witness Name: Connie Sue Moore

Frances Visco (Seal)
FRANCES VISCO

By [Signature]
Robert J. Rice, her Attorney in Fact

COPY

State of Florida
County of Saint Lucie

The foregoing instrument was acknowledged before me this 29th day of February, 2012 by, Robert J. Rice, as Attorney in Fact for FRANCES VISCO, who is personally known or has produced a driver's license as identification.

[Notary Seal]

[Signature]
Notary Public

Printed Name: Connie Sue Moore

My Commission Expires: _____



COPY

COPY

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Witness Name: FRANK W. FEE, P

Jack Larwin (Seal)
JACK LARWIN

Witness Name: Connie Sue Moore

Witness Name: FRANK W. FEE, P

Joan Larwin (Seal)
JOAN LARWIN

Witness Name: Connie Sue Moore

COPY

State of Florida
County of Saint Lucie

The foregoing instrument was acknowledged before me this 29th day of February, 2012 by JACK LARWIN AND JOAN LARWIN, husband and wife, who are personally known or have produced a driver's license as identification.

[Notary Seal]

Connie Sue Moore
Notary Public



Printed Name: Connie Sue Moore

My Commission Expires: _____

COPY

COPY

EXHIBIT A

Parcel 1:

Commence at the Northwest corner of Block 2, of the Revised Map of Ft. Pierce Beach, as recorded in Plat Book 8, Page 29, of the Public Records of St. Lucie County, Florida; thence run South 19 degrees 02' 03" East, along the Easterly right of way line of South Ocean Drive (S.R. A-1-A), a distance of 105.30 feet, to the Point of Beginning; thence run North 82 degrees 01' 13" East, a distance of 102.30 feet; thence run South 07 degrees 58' 47" East, a distance of 57.50 feet; thence run North 82 degrees 01' 13" East, a distance of 52.30 feet; thence run South 07 degrees 58' 47" East, a distance of 16.50 feet; thence run South 82 degrees 01' 13" West a distance of 139.84 feet to the Easterly right of way line of South Ocean Drive (S.R. A-1-A), thence run North 19 degrees 02' 03" West, along said right of way line, a distance of 75.40 feet, to the Point of Beginning.

Parcel 2:

Beginning at the Northwest corner of Lot 8, Block 2, of the Revised Map of Ft. Pierce Beach, as recorded in Plat Book 8, Page 29, of the Public Records of St. Lucie County, Florida; thence run North 82 degrees 34' 37" East, a distance of 121.18 feet; thence run South 19 degrees 19' 19" East, a distance of 102.06 feet; thence run South 07 degrees 58' 47" East, a distance of 56.10 feet; thence run South 82 degrees 01' 13" West, a distance of 121.85 feet; thence run South 07 degrees 58' 47" East, a distance of 2.60 feet; thence run South 82 degrees 01' 13" West, a distance of 52.00 feet; thence run North 07 degrees 58' 47" West, a distance of 57.50 feet; thence run North 82 degrees 01' 13" East, a distance of 52.74 feet; thence run North 19 degrees 18' 10" West, a distance of 103.83 feet to the Point of Beginning.

Parcel 3:

Commence at the Northwest corner of Block 2, of the Revised Map of Ft. Pierce Beach, as recorded in Plat Book 8, Page 29, of the Public Records of St. Lucie County, Florida; thence run North 82 degrees 34' 37" East, along South Right of Way line of Seaway Drive, a distance of 276.28 feet to the Point of Beginning; thence continue North 82 degrees 34' 37" East along said Right of Way line, a distance of 105.06 feet; thence run South 16 degrees 06' 00" East, a distance of 11.10 feet; thence run South 01 degrees 42' 10" West, a distance of 89.93 feet; thence run South 82 degrees 01' 13" West a distance of 71.42 feet; thence run North 19 degrees 15' 23" West a distance of 102.64 feet to the Point of Beginning. Being a portion of Lots 1, 2, 3 and 4 of said Block 2, and also being a portion of the vacated road.

COPY

ALL APPLICANTS ARE REQUIRED TO SUBMIT THE FOLLOWING ITEMS:		Attached or Included	Waiver Requested
6.	A fee as set forth in Rule 62B-33.0085, F.A.C. (see the form entitled "Permit Fee Worksheet for DEP 73-100").	<input checked="" type="checkbox"/>	
7.	Sufficient evidence of ownership and legal description of the property [paragraph 62B-33.008(3)(c), F.A.C.].	<input checked="" type="checkbox"/>	
8.	Written evidence, provided by the appropriate local governmental agency having jurisdiction over the activity, that the proposed activity, as submitted to the Bureau, does not contravene local setback requirements or zoning codes [paragraph 62B-33.008(3)(d), F.A.C.].	<input checked="" type="checkbox"/>	
9.	Two original copies of a signed and sealed survey of the subject property. The information depicted on the drawings shall be from field survey work performed not more than six months prior to the date of application. The survey shall comply with the requirements given in Rule 62B-33.0081, F.A.C. [paragraph 62B-33.008(3)(f), F.A.C.].	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10.	For structures with proposed permanent exterior lighting, two copies of a dimensioned lighting plan drawn to an appropriate scale [paragraph 62B-33.008(3)(i), F.A.C.].	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11.	Two copies of a dimensioned site plan signed and sealed by an architect, engineer, landscape architect, or professional survey and mapper (as appropriate) licensed in the state of Florida [paragraph 62B-33.008(3)(l), F.A.C.].	<input checked="" type="checkbox"/>	<input type="checkbox"/>
12.	Two copies of a grading plan signed and sealed by an architect, engineer, landscape architect, or professional survey and mapper (as appropriate) licensed in the state of Florida [paragraph 62B-33.008(3)(m), F.A.C.].	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13.	Two copies of cross-sections signed and sealed by an architect, engineer, landscape architect, or professional survey and mapper (as appropriate) licensed in the state of Florida [paragraph 62B-33.008(3)(n), F.A.C.].	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14.	Details, including engineering design computations, for any proposed waste discharge onto, over, under, or across the beach and dune system, including but not limited to storm water runoff, swimming pool drainage, well discharge, domestic water systems, and outfalls [paragraph 62B-33.008(3)(p), F.A.C.].	<input type="checkbox"/>	<input checked="" type="checkbox"/>
15.	An anticipated construction schedule [paragraph 62B-33.008(3)(q), F.A.C.].	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16.	Two copies of detailed planting plans, including the location of proposed plants, existing native vegetation, and plants to be removed. Plans shall include a plant list with both scientific and common names [paragraph 62B-33.008(3)(r), F.A.C.].	<input checked="" type="checkbox"/>	<input type="checkbox"/>
APPLICANTS APPLYING TO CONSTRUCT MAJOR STRUCTURES OR RIGID COASTAL STRUCTURES ARE REQUIRED TO SUBMIT THE FOLLOWING ADDITIONAL ITEMS (SEE RULE 62B-33.002, F.A.C.):		N/A	
17.	For major structures, two copies of a dimensioned site plan drawn to an appropriate scale, on 8.5 by 11 inch paper [paragraph 62B-33.008(3)(g), F.A.C.].	<input type="checkbox"/>	<input type="checkbox"/>
18.	For major structures, two copies of dimensioned cross-sections drawn to an appropriate scale, on 8.5 by 11 inch paper [paragraph 62B-33.008(3)(h), F.A.C.].	<input type="checkbox"/>	<input type="checkbox"/>
19.	For major structures, two copies of detailed final foundation plans and specifications [paragraph 62B-33.008(3)(k), F.A.C.].	<input type="checkbox"/>	<input type="checkbox"/>
20.	For rigid coastal structures, two copies of a site plan and detailed final construction plans and specifications for all proposed structures or excavation signed and sealed by an engineer licensed in the state of Florida [paragraph 62B-33.008(3)(o), F.A.C.].	<input type="checkbox"/>	<input type="checkbox"/>

APPLICATION FOR WAIVER			
(Pursuant to subsection 62B-33.008(6), F.A.C., the applicant may request a waiver of certain portions of the information specified in this application form)			
Application Item #	Reason for waiver	DEP Use Only	
		Approved	Denied
10	Existing lighting fixtures meet marine turtle requirements, new light fixtures to be shielded by canopy & existing dune crest, no overspill on beach area.		
12	No changes proposed to existing grading, all topo/elevations to remain as shown on (#9 above) Site Survey & Topographic map		
14	No discharge from this Site is proposed. No additional impervious area or drainage structures are proposed as a part of this Application.		
If room for additional application for waivers is needed, please attach an extra sheet to this application and include the applicant name and date on the additional sheet.			

Mail To:
 Bureau of Beaches and Coastal Systems
 Division of Water Resource Management
 Florida Department of Environmental Protection
 3900 Commonwealth Boulevard, Mail Station 300
 Tallahassee, Florida 32399-3000

OR

Overnight or Hand deliver to:
 Bureau of Beaches and Coastal Systems
 Division of Water Resource Management
 Florida Department of Environmental Protection
 4708 Capital Circle NW
 Tallahassee, Florida 32303





These drawings and instruments of service are the property of the Architect. No part of this drawing shall be used for any other project without the written agreement of the Architect. The Architect shall be held responsible for the accuracy of the information furnished to him by the client. The client shall be held responsible for the accuracy of the information furnished to him by the client.

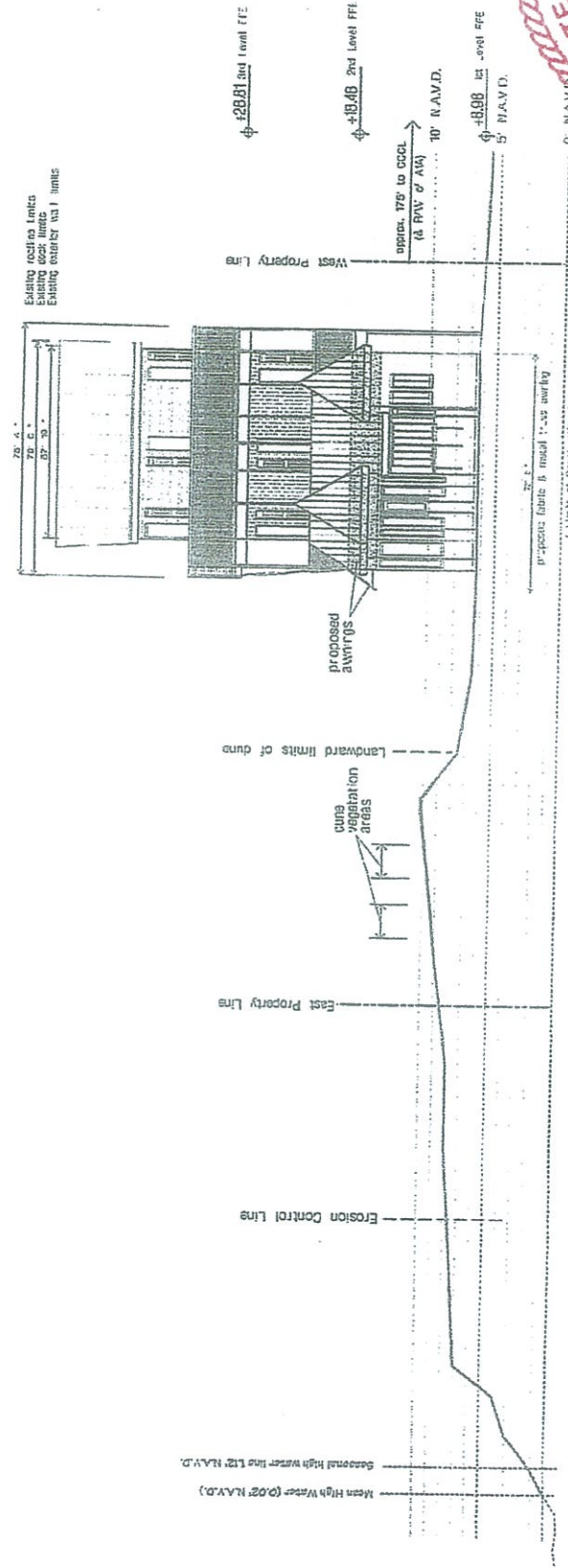
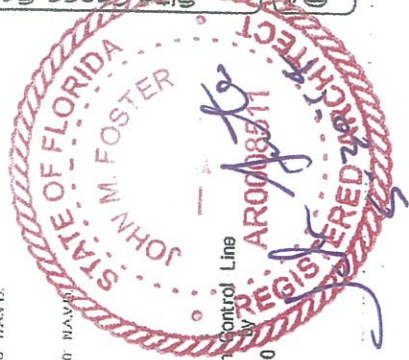
Date	By	Description
05/22/20	JMF	Issued for Review

John M. Foster - Architect
 110 S. Ocean Drive, Ft. Pierce, Florida 34942
 (888) 370-0404 - Florida Registration No. 2081

John M. Foster - Architect
 110 S. Ocean Drive, Ft. Pierce, Florida 34942
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INLET BEACH RESORT
 SITE CROSS SECTION
 110 S. Ocean Drive, Ft. Pierce, Florida

Sheet
 05-1
 of 1



Site Profile

Graphic Scale - 1" = 20'
 All grades existing, 0 CY out or fill
 No subgrade construction - awning utilizes existing concrete pilasters or boulders for support

NOTES

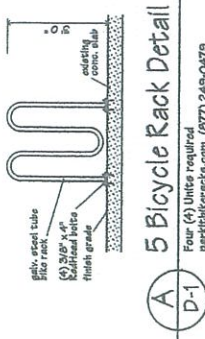
1. Elevations in feet are referenced to NAVD.
2. All dimensions are perpendicular to the Coastal Construction Control Line with respect to the Boundary Survey, (with NAVD topo)
3. Cross Section drawn from data contained in "Boundary Survey", dated 3-04-14 - FL Certificate #6330

Anthony J. Piazza PSN, Inc - Job # 12-1378, dated 3-04-14 - FL Certificate #6330

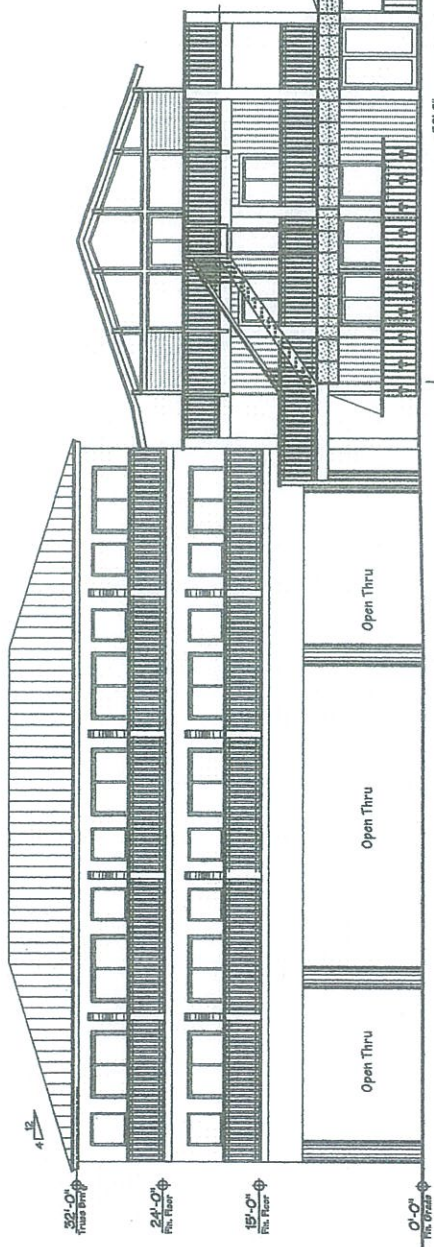
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Revisions	Date	By	Description



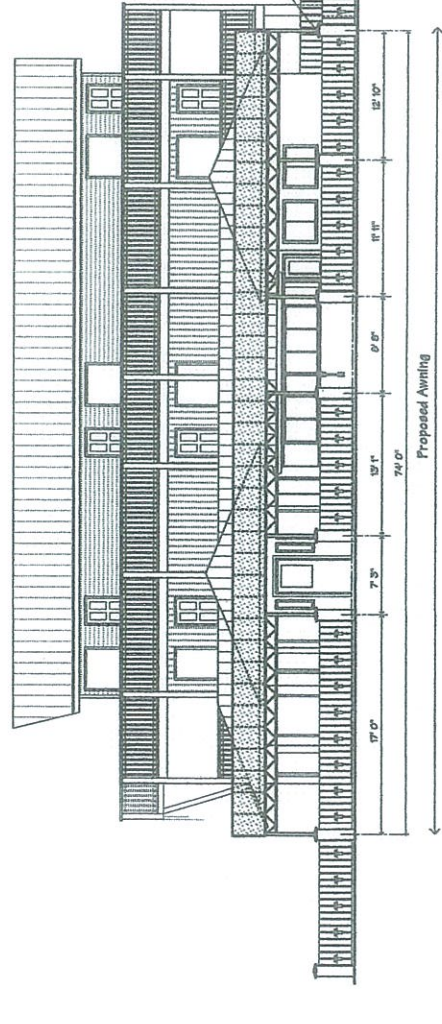
A 5 Bicycle Rack Detail
 Four (4) bikes required
 per100sqftofarea.com (977) 248-0478



East Elevation
 Scale - 3/16" = 1'-0"

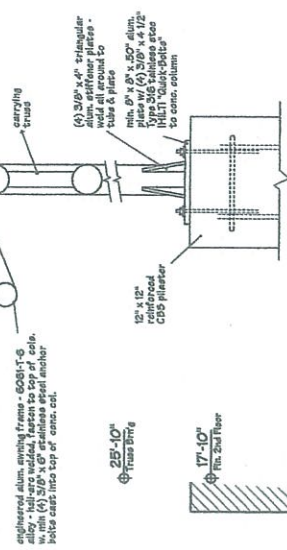
Reconfigure Existing 1st Level Restaurant
 Install NFPA 13 Automatic Fire Sprinkling System,
 In Restaurant - upgrade Fire Alarm & Detection System

Proposed 6' Wide cantilevered Awning



North Elevation
 Scale - 3/16" = 1'-0"

Awning Connection
 FBC 160 mph - Exposure 'D'



Lightweight alum. stay-in-place - 6061-T6
 w/ min. (4) 3/8" x 4" stainless steel anchor
 bolts cast into top of conc. col.



Sheet **A-1** of **1**

FBC 2010/12, Existing
 Awning Level 2 Category 2
 160 mph - Exposure 'D'

VERIFY ALL DIMENSIONS ON-SITE

Rev	Date	By	Description
01	02/28/12	JMF	Issue for Review

Revisions

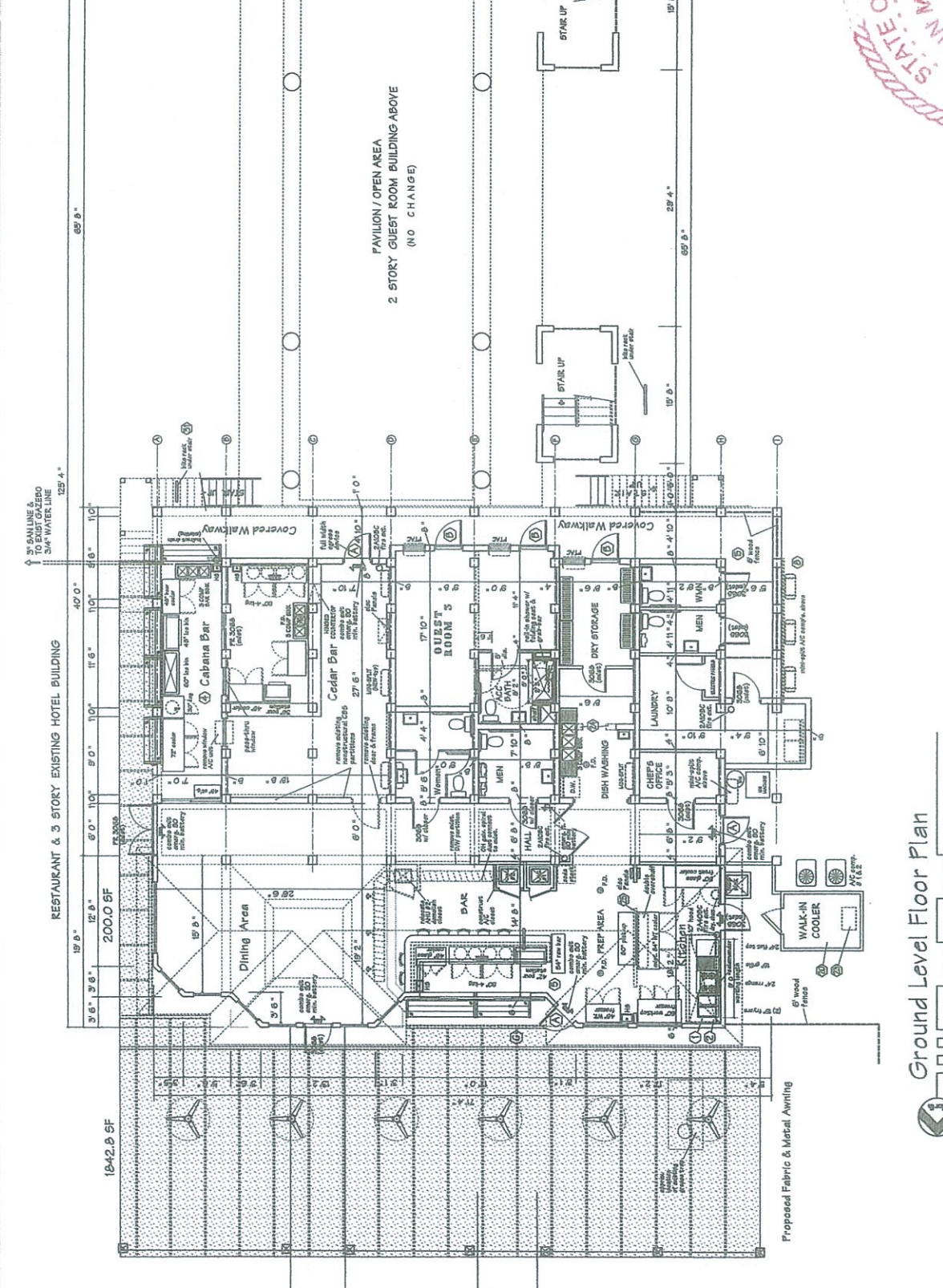
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Renovation Plans - Alteration Level 2
INLET BEACH RESORT
100 S. Ocean Drive, Ft. Pierce, Florida

Sheet
A-2
of 3



Ground Level Floor Plan
Scale: 3/16" = 1'-0"

11-23-15

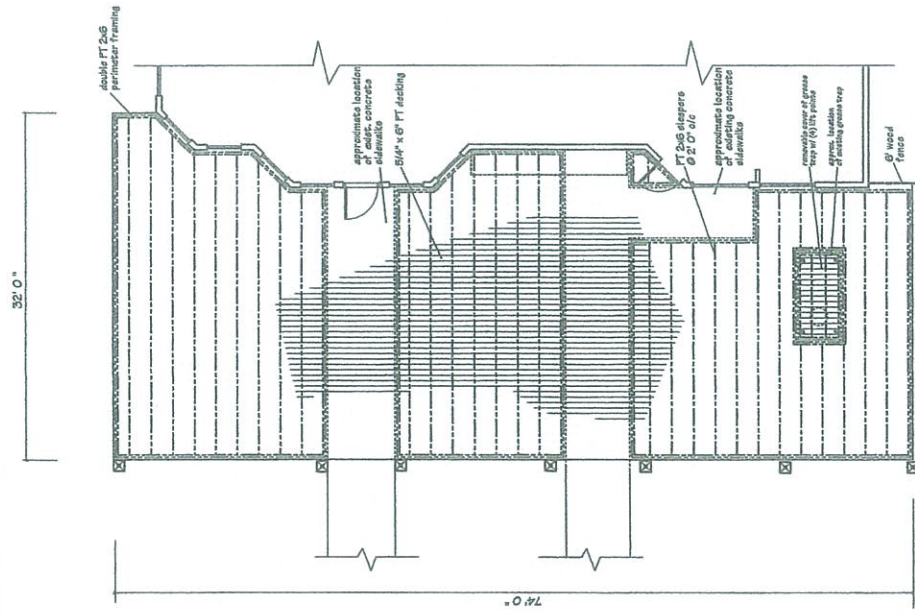
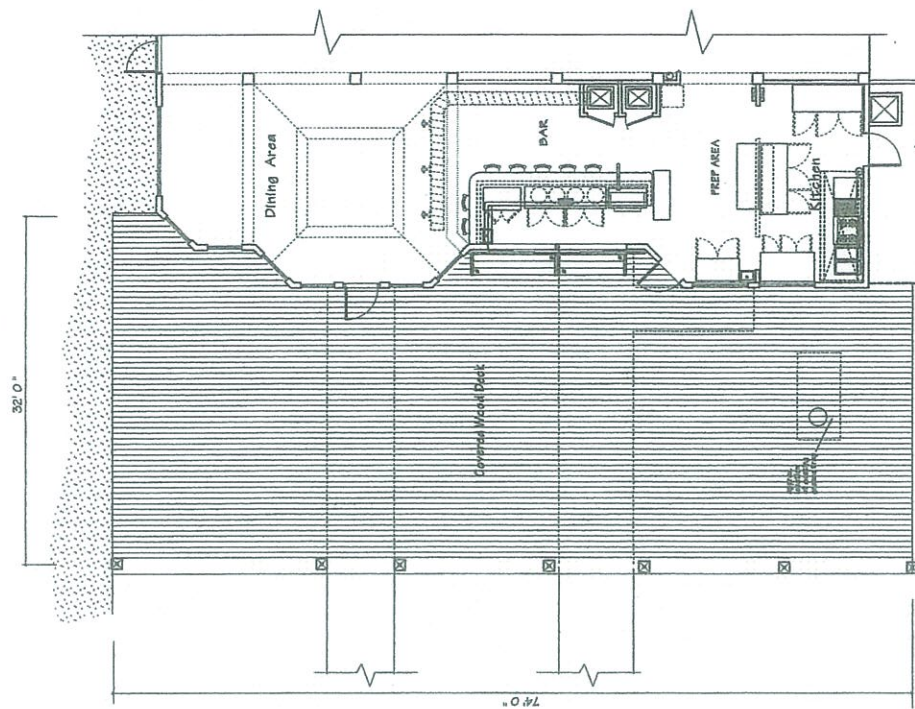


Renovation Plans - Alteration Level 2
 INLET BEACH RESORT
 110 S. Ocean Drive, Ft. Pierce, Florida
 Project No. 15-0000000000
 Sheet No. 03

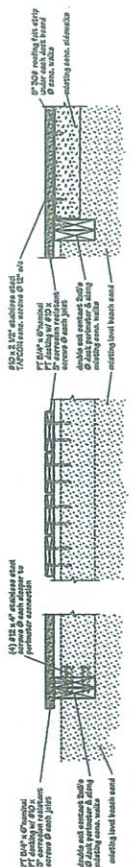
John M. Foster - Architect
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 (787) 370-0000 - Florida Registration No. 0011

Revision	Date	Description
002	01/15/15	Issue for Review

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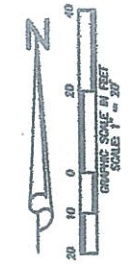
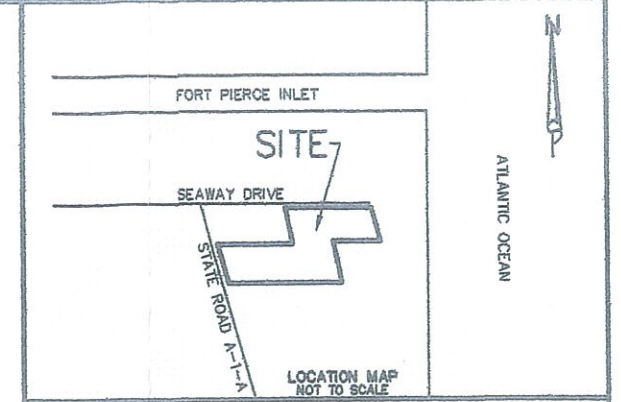
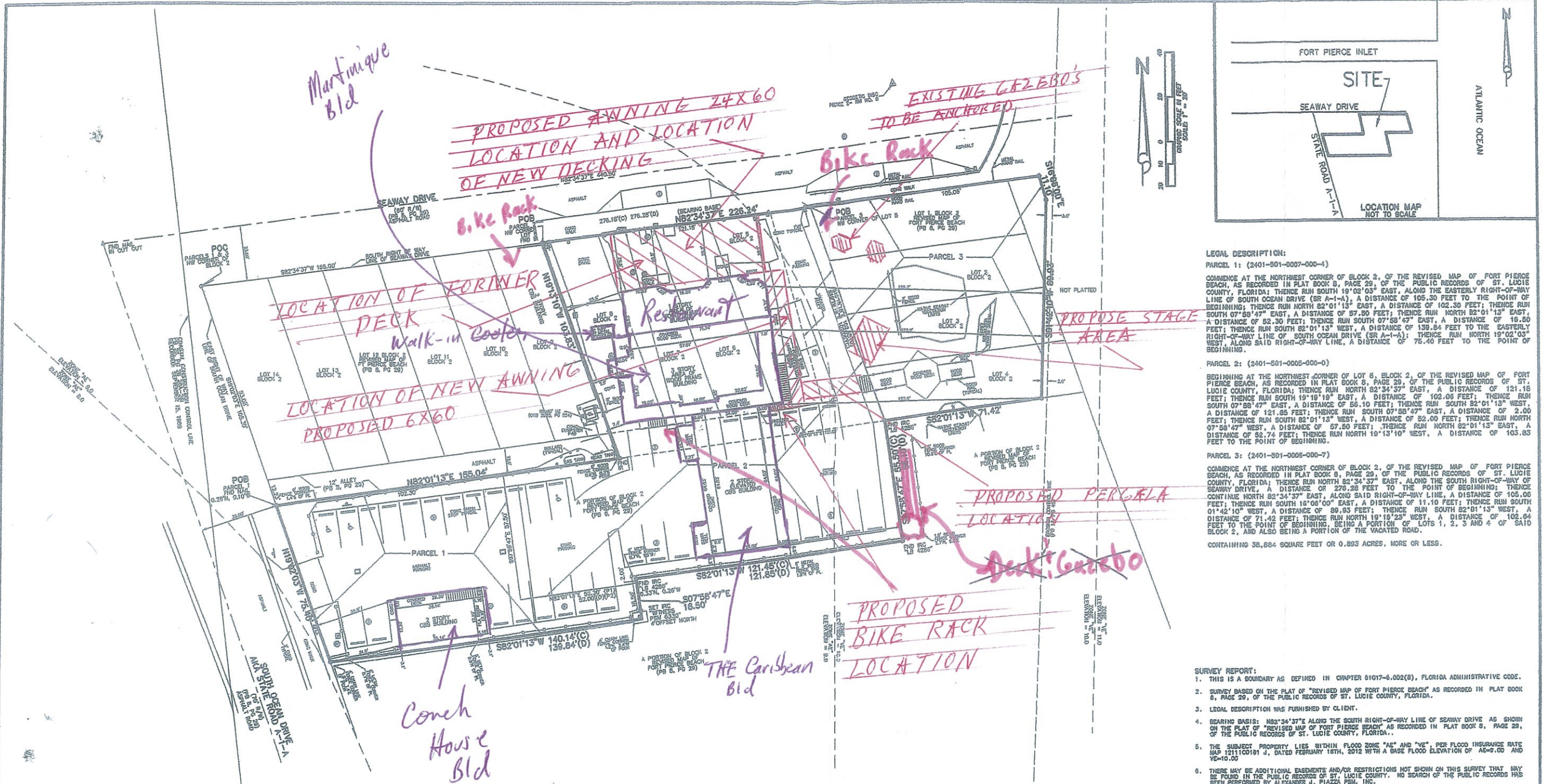


Deck Framing Plan Scale - 3/16" = 1' 0"



Deck Details Scale - 1 1/2" = 1' 0"

- Deck sleepers shall be nominal PT 2x6's @ 2' 0" o/c - soil contact rated
- Deck boards shall be nominal 5/4" x 6" pre-sanded PT
- Existing finish grade will be unchanged = O CY cut/fill



LEGAL DESCRIPTION:

PARCEL 1: (2401-501-0007-00-4)
 COMMENCE AT THE NORTHWEST CORNER OF BLOCK 2, OF THE REVISED MAP OF FORT PIERCE BEACH, AS RECORDED IN PLAT BOOK 8, PAGE 29, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; THENCE RUN SOUTH 19°02'03" EAST, ALONG THE EASTERN RIGHT-OF-WAY LINE OF SOUTH OCEAN DRIVE (SR 7-1-4), A DISTANCE OF 105.30 FEET TO THE POINT OF BEGINNING; THENCE RUN NORTH 82°01'13" EAST, A DISTANCE OF 102.30 FEET; THENCE RUN SOUTH 07°58'47" EAST, A DISTANCE OF 57.80 FEET; THENCE RUN NORTH 82°01'13" EAST, A DISTANCE OF 52.30 FEET; THENCE RUN SOUTH 07°58'47" EAST, A DISTANCE OF 16.50 FEET; THENCE RUN SOUTH 82°01'13" WEST, A DISTANCE OF 139.84 FEET TO THE EASTERN RIGHT-OF-WAY LINE OF SOUTH OCEAN DRIVE (SR 7-1-4); THENCE RUN NORTH 19°02'03" WEST, ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 75.40 FEET TO THE POINT OF BEGINNING.

PARCEL 2: (2401-501-0005-00-0)
 BEGINNING AT THE NORTHWEST CORNER OF LOT 6, BLOCK 2, OF THE REVISED MAP OF FORT PIERCE BEACH, AS RECORDED IN PLAT BOOK 8, PAGE 29, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; THENCE RUN NORTH 82°34'37" EAST, A DISTANCE OF 121.16 FEET; THENCE RUN SOUTH 19°19'19" EAST, A DISTANCE OF 102.06 FEET; THENCE RUN SOUTH 07°58'47" EAST, A DISTANCE OF 56.10 FEET; THENCE RUN SOUTH 82°01'13" WEST, A DISTANCE OF 121.85 FEET; THENCE RUN SOUTH 07°58'47" EAST, A DISTANCE OF 2.00 FEET; THENCE RUN SOUTH 82°01'13" WEST, A DISTANCE OF 52.00 FEET; THENCE RUN NORTH 07°58'47" WEST, A DISTANCE OF 57.80 FEET; THENCE RUN NORTH 82°01'13" EAST, A DISTANCE OF 52.74 FEET; THENCE RUN NORTH 19°13'10" WEST, A DISTANCE OF 103.83 FEET TO THE POINT OF BEGINNING.

PARCEL 3: (2401-501-0005-00-7)
 COMMENCE AT THE NORTHWEST CORNER OF BLOCK 2, OF THE REVISED MAP OF FORT PIERCE BEACH, AS RECORDED IN PLAT BOOK 8, PAGE 29, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; THENCE RUN NORTH 82°34'37" EAST, ALONG THE SOUTH RIGHT-OF-WAY OF SEAWAY DRIVE, A DISTANCE OF 276.28 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 82°34'37" EAST, ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 105.06 FEET; THENCE RUN SOUTH 16°08'00" EAST, A DISTANCE OF 11.10 FEET; THENCE RUN NORTH 01°42'10" WEST, A DISTANCE OF 80.83 FEET; THENCE RUN SOUTH 82°01'13" WEST, A DISTANCE OF 71.42 FEET; THENCE RUN NORTH 19°19'25" WEST, A DISTANCE OF 102.64 FEET TO THE POINT OF BEGINNING, BEING A PORTION OF LOTS 1, 2, 3 AND 4 OF SAID BLOCK 2, AND ALSO BEING A PORTION OF THE VACATED ROAD.
 CONTAINING 38,884 SQUARE FEET OR 0.895 ACRES, MORE OR LESS.

SURVEY REPORT:

- THIS IS A BOUNDARY AS DEFINED IN CHAPTER 61017-6.002(B), FLORIDA ADMINISTRATIVE CODE.
- SURVEY BASED ON THE PLAT OF "REVISED MAP OF FORT PIERCE BEACH" AS RECORDED IN PLAT BOOK 8, PAGE 29, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.
- LEGAL DESCRIPTION WAS FURNISHED BY CLIENT.
- BEARING BASIS: N82°34'37"E ALONG THE SOUTH RIGHT-OF-WAY LINE OF SEAWAY DRIVE AS SHOWN ON THE PLAT OF "REVISED MAP OF FORT PIERCE BEACH" AS RECORDED IN PLAT BOOK 8, PAGE 29, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.
- THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE "AE" AND "VE", PER FLOOD INSURANCE RATE MAP 12111C0181 J, DATED FEBRUARY 16TH, 2012 WITH A BASE FLOOD ELEVATION OF AE=9.00 AND VE=10.00.
- THERE MAY BE ADDITIONAL EASEMENTS AND/OR RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF ST. LUCIE COUNTY. NO SEARCH OF THE PUBLIC RECORDS HAS BEEN PERFORMED BY ALEXANDER J. PIAZZA PSM, INC.
- THE EXPECTED USE OF THE SUBJECT PROPERTY IS FOR PERMITTING PURPOSES ON A COMMERCIAL BUSINESS AND FALLS WITHIN THE COMMERCIAL/HIGH RISK CATEGORY AS CLASSIFIED IN CHAPTER 61017-6.003, FLORIDA ADMINISTRATIVE CODE. FIELD-MEASURED CONTROL MEASUREMENTS EXCEEDED 1:10,000 FEET ACCURACY REQUIREMENTS FOR THIS CLASSIFICATION.
- ADDITIONS OR DELETIONS TO THE SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THIS SURVEY IS PREPARED ONLY FOR THE PARTIES LISTED BELOW AND IS NOT ASSIGNABLE.
 PREPARED FOR: FORT PIERCE BEACH INLET BEACH RESORT, LLC
- © COPYRIGHT 2012 BY ALEXANDER J. PIAZZA PSM, INC.
 THE SKETCH OF SURVEY AND SURVEY REPORT COMPRISE THE COMPLETE SURVEY.
 THIS SURVEY IS NOT VALID UNLESS THE SKETCH AND REPORT ACCOMPANY EACH OTHER.
 REPRODUCTIONS OF THIS SURVEY ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER EMPLOYED BY ALEXANDER J. PIAZZA PSM, INC.

ALEXANDER J. PIAZZA
 PROFESSIONAL SURVEYOR AND MAPPER
 FLORIDA CERTIFICATE NO. 8530

DATE OF FIELD SURVEY: 7-15-12
 DATE OF SURVEY: 7-24-12

- LEGEND:**
- (D) = DEED
 - (C) = CALCULATED
 - CSB = CONCRETE BLOCK STRUCTURE
 - CNF = COULD NOT FIND
 - CONC = CONCRETE
 - CJF = CHAIN LINK FENCE
 - DE = DRAINAGE EASEMENT
 - DE = FIRE HYDRANT
 - FN = FOUND
 - FPL = FLORIDA POWER & LIGHT
 - IP = IRON PIPE
 - INVS = INVERT
 - IRC = IRON ROD WITH PLASTIC CAP
 - LS = LICENSE SURVEY
 - LS = LICENSE SURVEY
 - (U) = MEASURED
 - MHL = MEAN HIGH WATER LINE
 - MON = MONUMENT
 - ORB = OFFICIAL RECORD BOOK
 - (P) = PLAT
 - (P1) = PARCEL 1
 - (P2) = PARCEL 2
 - PL = PLAT BOOK
 - PG = PAGE
 - PL = PROPERTY LINE
 - POB = POINT OF BEGINNING
 - POC = POINT OF COMMENCEMENT
 - PRM = PERMANENT REFERENCE MONUMENT
 - R/W = RIGHT-OF-WAY
 - RCF = REINFORCED CONCRETE PIPE
 - RFB = ROAD FLAT BOOK
 - (S) = SURVEY
 - SM = SANITARY MANHOLE
 - UE = UTILITY EASEMENT
- SYMBOLS:**
- = HANDICAPPED PARKING SPACE
 - = BACKLASH PREVENTER
 - = SANITARY MANHOLE
 - = OUT WIRE ANCHOR
 - = CABLE TELEVISION BOX
 - = CATCH BASIN
 - = IRRIGATION CONTROL VALVE
 - = CLEANOUT
 - = ELECTRIC BOX
 - = SOUTHERN BELL BOX
 - = DENOTES NUMBER OF PARKING SPACES
 - = FIRE HYDRANT
 - = LIGHT POLE
 - = POWER POLE
 - = SPRINKLER HEAD
 - = WATER VALVE
 - = BELL
 - = WATER METER
 - = WOOD POWER POLE
 - = CHAIN LINK FENCE
 - = CHAIN LINK
 - = SET 3/8" IRON ROD WITH PLASTIC CAP PSM96330

DATE:	REVISIONS:	BY:
9-28-12	ADD EROSION CONTROL LINE, SEAGAT LIMITS	AJP

ALEXANDER J. PIAZZA PSM, INC.
 Surveying • Mapping • Consulting
 619 SW Billmore Street
 Port St. Lucie, Florida 34983
 Phone: (772) 340-7770
 Fax: (772) 340-2250

BOUNDARY SURVEY
 110 SOUTH OCEAN DRIVE
 (2041 SEAWAY DRIVE)
 AS PREPARED FOR
FT. PIERCE BEACH INLET BEACH RESORT, LLC

REF	FILE	FB	PG	JOB
K:\BUILDERS\DWG2012\DWG12-1378	CJM/AJP			12-1378
	CJM			DATE 7-24-12
	AJP			SHEET 1 OF 1 DWG D-0485





Seaway Drive

BEACHFRONT INN

AT HUTCHINSON ISLAND
110 SOUTH OCEAN DRIVE

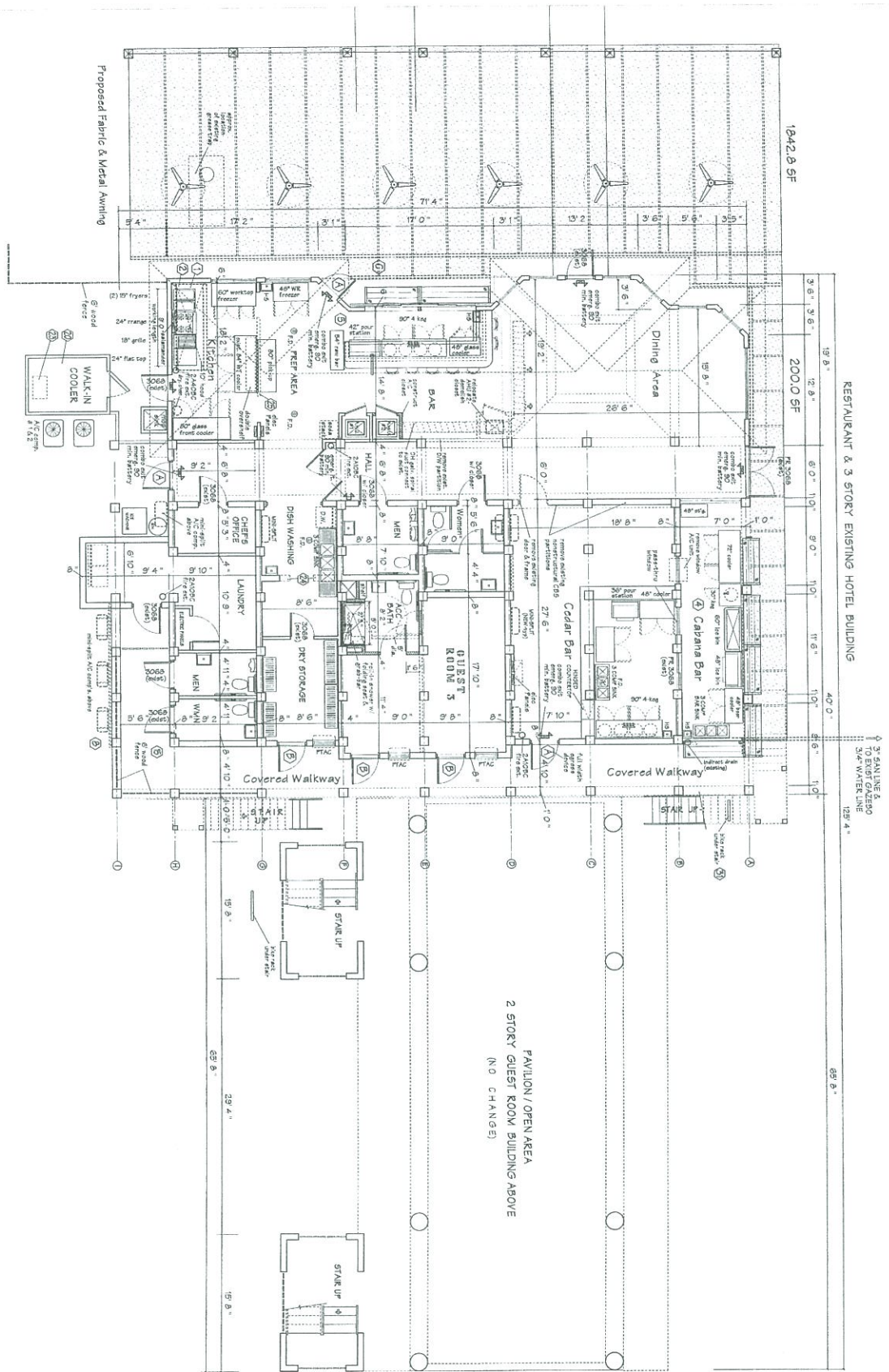


ENJOY!
SOUTH BEACH
FOOD TRUCK





Ground Level Floor Plan
 Scale - 3/16" = 1'-0"



VERIFY ALL DIMENSIONS ON-SITE

FBC 2010/12 "Existing"
 Sheet A-2 of 3
 150 mph - Exposure B

Renovation Plans - Alteration Level 2
INLET BEACH RESORT
 110 S. Ocean Drive, Ft. Pierce, Florida

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 jmf@jmfarch.com



05/29/14 JMF	Issued for Review
Date	By
Revisions	

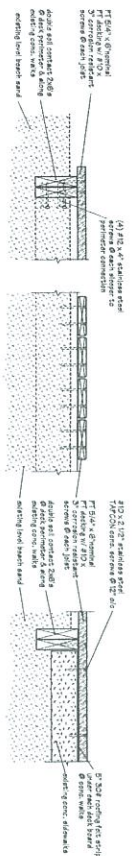
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- 1) Deck sleepers shall be nominal PT 2x6 @ 2' 0" o/c - soil contact rated
- 2) Deck boards shall be nominal 5/4" x 6" pre-sanded PT
- 3) Existing finish grade will be unchanged = 0 CY cut/fill

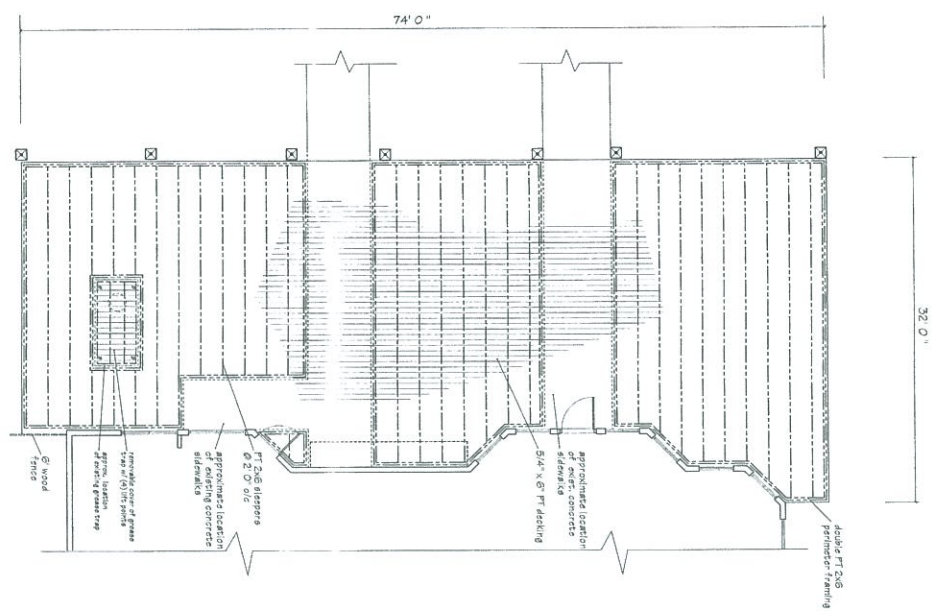
Deck Details

Scale - 1/12" = 1' 0"



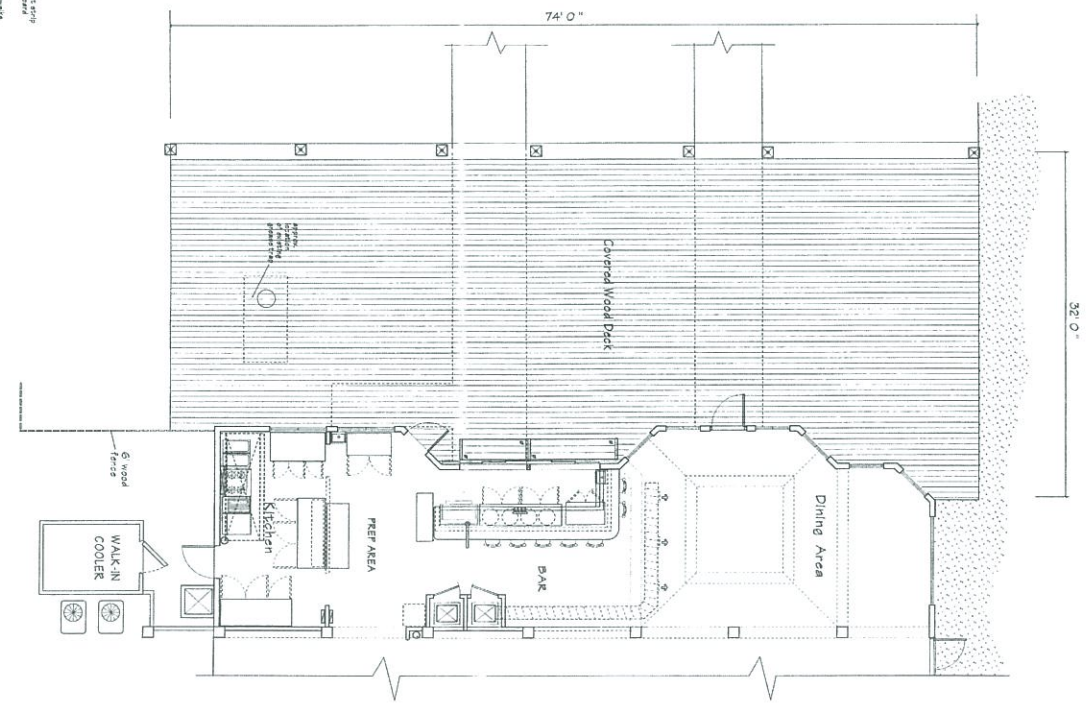
Deck Framing Plan

Scale - 3/16" = 1' 0"



Deck Plan

Scale - 3/16" = 1' 0"



VERIFY ALL DIMENSIONS ON-SITE

Sheet A-3 of 3

Renovation Plans - Alteration Level 2
INLET BEACH RESORT
 110 S. Ocean Drive, Ft. Pierce, Florida

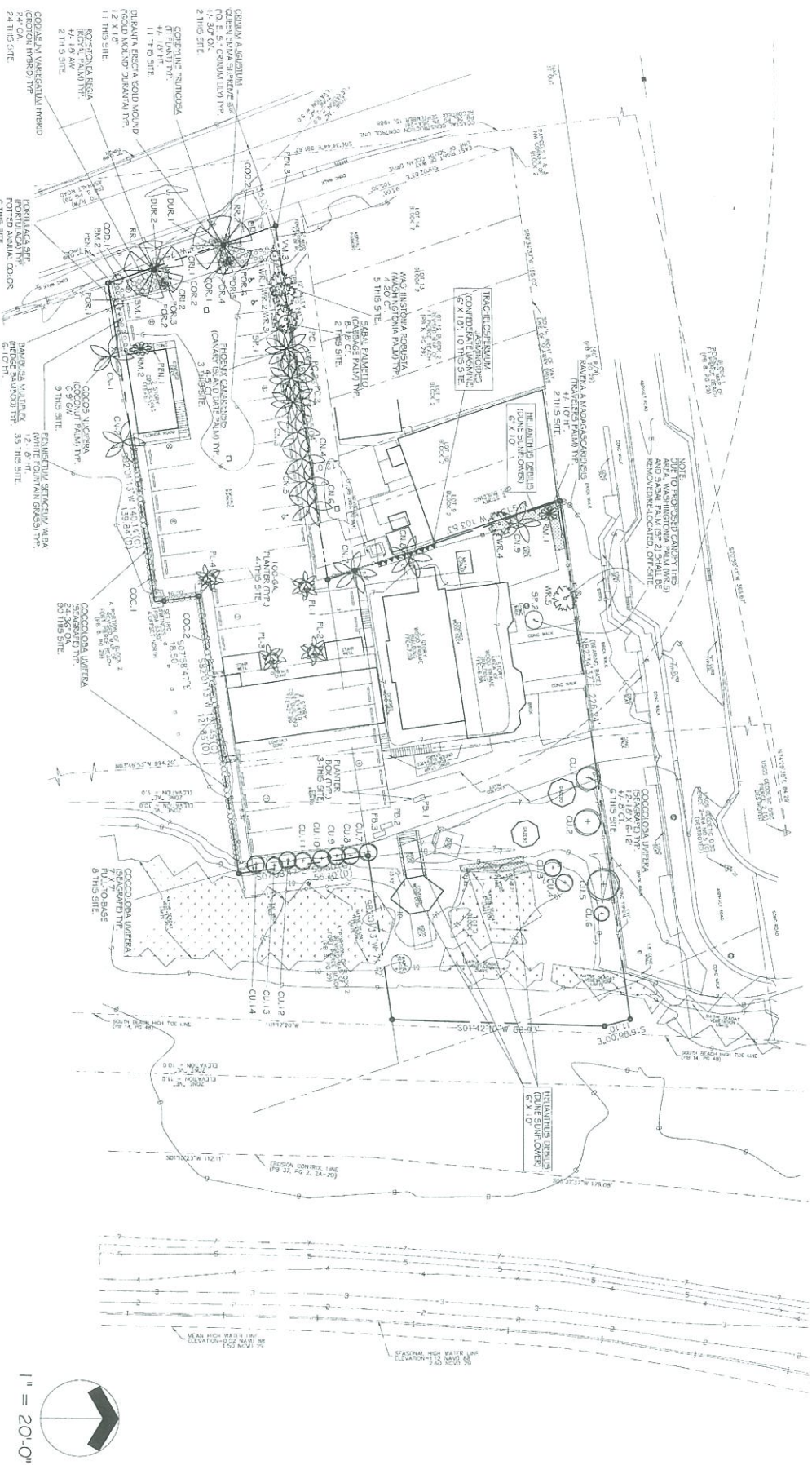
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 (772) 370-8848 - Florida Registration No. 8011
 jmfarch@gmail.com



Date	By	Description
06/29/14	JMF	Issued for Review

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PALEMS

SYM	SYMBOLIC NAME	COMMON NAME	HT.	SPREAD	COMMENTS
P1	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
P2	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
P3	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
P4	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
P5	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
P6	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
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P9	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
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P14	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
P15	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
P16	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
P17	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
P18	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
P19	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
P20	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100

TREES

SYM	SYMBOLIC NAME	COMMON NAME	HT.	SPREAD	COMMENTS
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T2	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
T3	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
T4	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
T5	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
T6	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
T7	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
T8	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
T9	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
T10	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
T11	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
T12	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
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T14	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
T15	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
T16	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
T17	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
T18	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
T19	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
T20	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100

ACCENTS

SYM	SYMBOLIC NAME	COMMON NAME	HT.	SPREAD	COMMENTS
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A3	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
A4	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
A5	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
A6	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
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A8	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
A9	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
A10	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
A11	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
A12	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
A13	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
A14	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
A15	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
A16	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
A17	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
A18	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
A19	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
A20	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100

PLANTERS

SYM	SYMBOLIC NAME	COMMON NAME	HT.	SPREAD	COMMENTS
P1	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
P2	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
P3	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
P4	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
P5	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
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P16	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
P17	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
P18	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
P19	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
P20	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100

SHRUBS/GROUND COVERS

SYM	SYMBOLIC NAME	COMMON NAME	HT.	SPREAD	COMMENTS
S1	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
S2	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
S3	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
S4	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
S5	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
S6	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
S7	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
S8	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
S9	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
S10	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
S11	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
S12	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
S13	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
S14	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
S15	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
S16	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
S17	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
S18	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
S19	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100
S20	COCONUT PALM	COCONUT PALM	100	10	PLANTING 100

NOTES

- Plant material reviewed/dimensioned on April 3, 2014.
- Tree/palm locations are per Client-supplied survey. Locations of all other plant materials are approximations, relative to survey representations.
- Existing plant materials are per Client-supplied survey (NAME: HT., SPBD., CT, GW, OA, etc.)
- Existing plant materials are based on Landscape Architects' plant knowledge/professional experience.

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Inlet Beach Resort

110 South Ocean Drive/2041 Seaway Drive

Plant Inventory

JOB# : 1402-00
 DATE : 4/04/14
 REV : 4/14/14
 SCALE : 1" = 20'-0"



Webblon®
Coast Line
PLUS®

62" wide / 15 oz. per square yard (weight varies slightly from color to color)

Coastline Plus® awning fabric is a high performance PVC composite that features a strong polyester base fabric. The top surface is treated with the Rain Kleen® finish for color retention and prolonged fabric life. Coastline Plus® is UV, water, and mildew resistant, and is backed by a 5-year limited warranty.

Coastline Plus is available in solids, complement solids, linen-backed solids and select stripe patterns. It is extra strong, with manageable weight for superior resistance to sag and stretch.

Flame resistance meets or exceeds the standards of California State Fire Marshal, NFPA -701 TM2, and ASTM E-84 Class A flame spread.



857290
 CP2790 SAIL WHITE



857239
 CP2739 IVORY COAST



857238
 CP2738 EBBTIDE TAN



857200
 CP2700 SAND



857897
 CP2797 ALMOND
 PREMIUM



857892
 CP2792 BEIGE



857206
 CP2706 BEACON YELLOW



857223
 CP2723 PANAMA PURPLE
 PREMIUM



857220
 CP2720 MIST BLUE
 PREMIUM



857241
 CP2741 BAY BLUE



857246
 CP2746 OCEAN BLUE



857212
 CP2712 DEEP SEA BLUE



857247
 CP2747 NAVY BLUE
 PREMIUM



857217
 CP2717 GULL GRAY
 PREMIUM



857219
 CP2719 DRIFTWOOD



857218
 CP2718 CHARCOAL GRAY
 PREMIUM



857230
 CP2730 SUNRISE SAFFRON
 PREMIUM



857226
 CP2726 DEEP RED
 PREMIUM



857207
 CP2707 PORTLIGHT RED
 PREMIUM



857215
 CP2715 BURGUNDY



857234
 CP2734 JADE
 PREMIUM



857244
 CP2744 AQUAMARINE
 PREMIUM



857242
CP2742 TROPIC GREEN
PREMIUM



857204
CP2704 ISLAND TURQUOISE



857202
CP2702 SEA PALM
PREMIUM



857243
CP2743 TEAL
PREMIUM



857201
CP2701 HARBOR GREEN



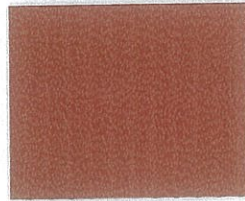
857211
CP2711 GLADE GREEN



857891
CP2791 DARK TAUPE
PREMIUM



857896
CP2796 TERRA COTTA



857209
CP2709 RUST



857205
CP2705 CORK BROWN



857225
CP2725 BARQUE BROWN



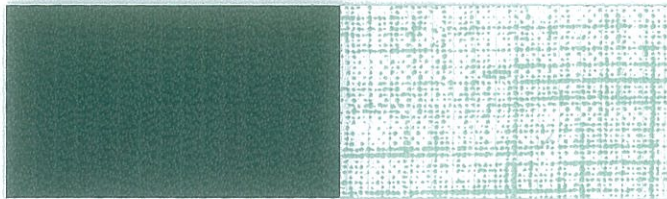
857245
CP2745 PIRATE BLACK

Coastline Plus® Duplex Patterns

Solid topside with Linen print underside.

TOP

UNDERSIDE

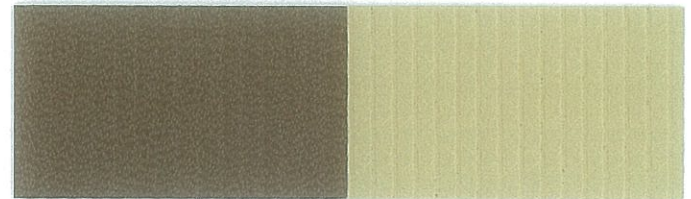


857111
CP2811 GLADE GREEN
PREMIUM

JADE LINEN

TOP

UNDERSIDE



857250
CP2750 CORK BROWN

SAND



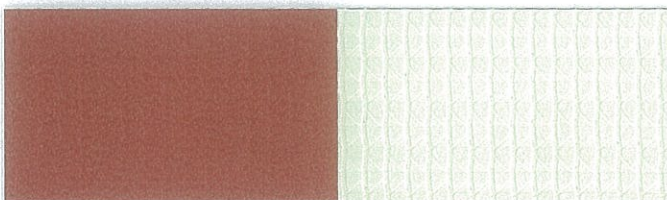
857112
CP2812 DEEP SEA BLUE
PREMIUM

MIST BLUE LINEN



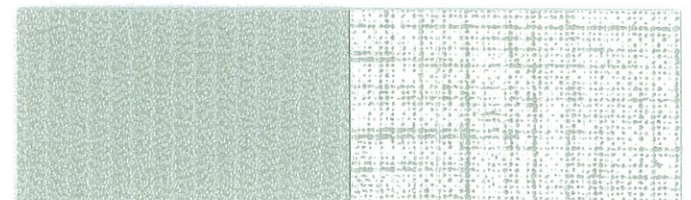
857251
CP2751 GLADE GREEN

WHITE



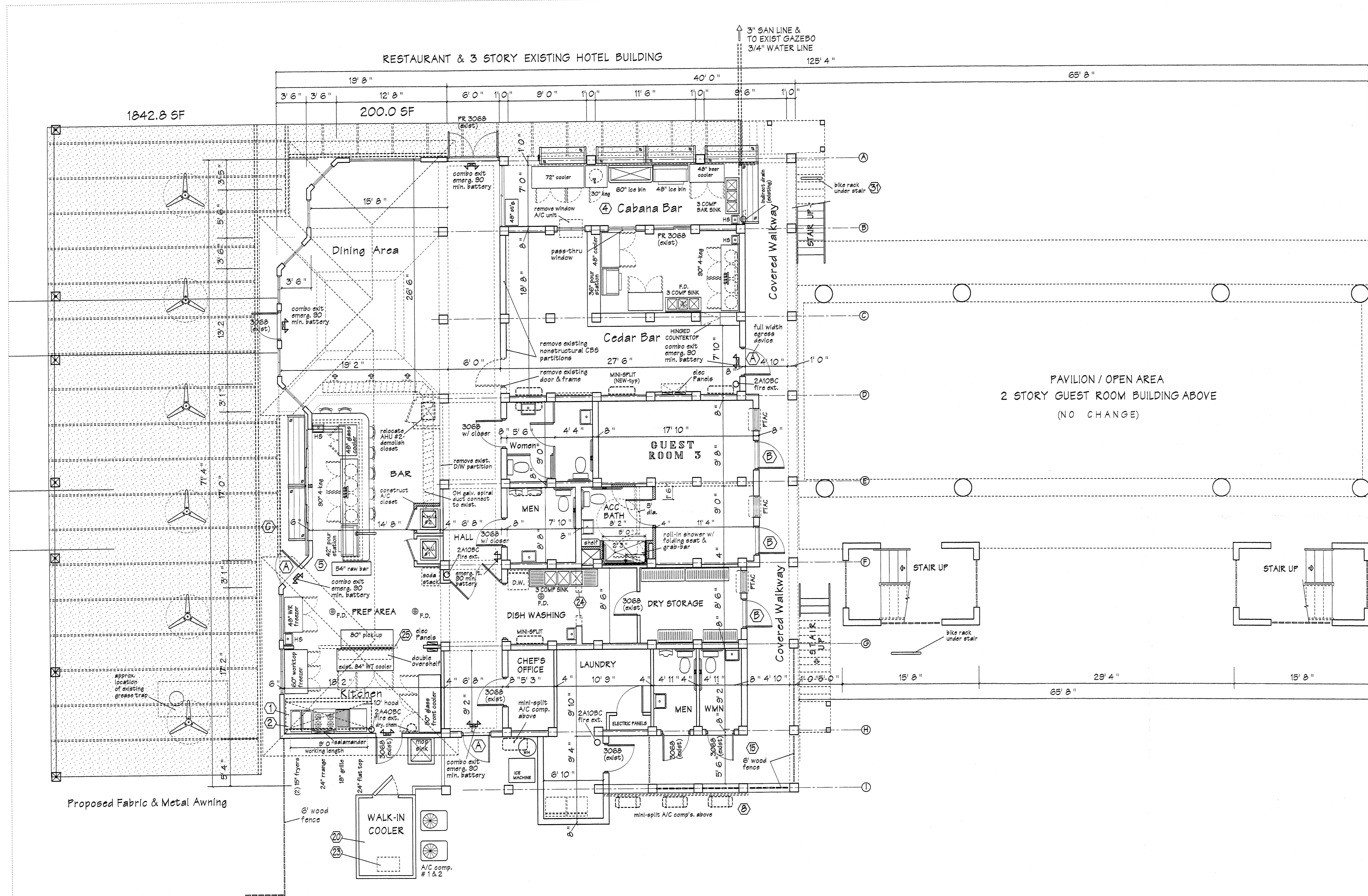
857252
CP2752 RUST

IVORY



857156
CP2856 METALLIC SILVER
PREMIUM

SILVER



1842.8 SF

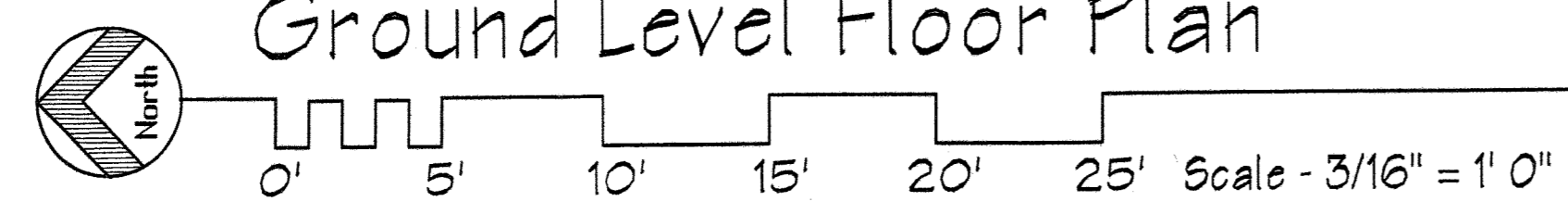
200.0 SF

RESTAURANT & 3 STORY EXISTING HOTEL BUILDING

3" SAN LINE & TO EXIST GAZEBO
3/4" WATER LINE

PAVILION / OPEN AREA
2 STORY GUEST ROOM BUILDING ABOVE
(NO CHANGE)

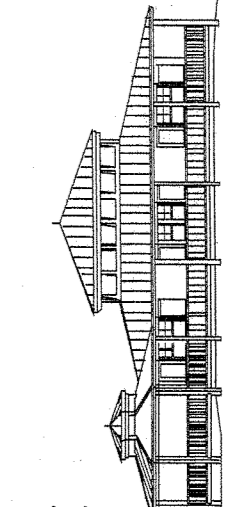
Proposed Fabric & Metal Awning



Ground Level Floor Plan

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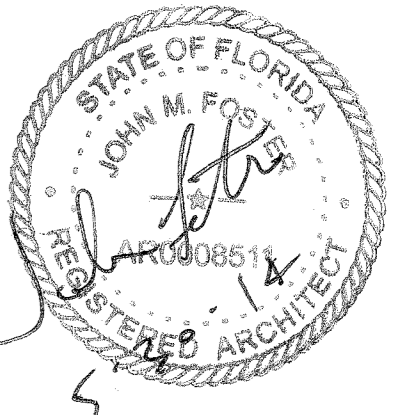
Date	By	Description
05/29/14	JMF	Issued for Review
		Revisions



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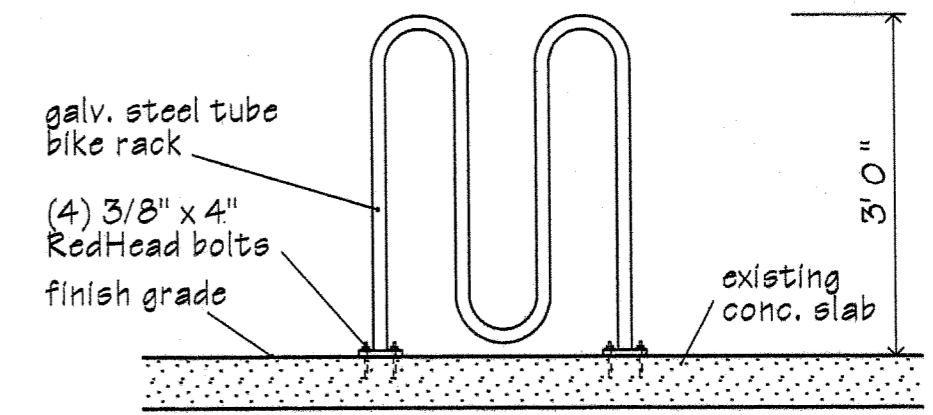
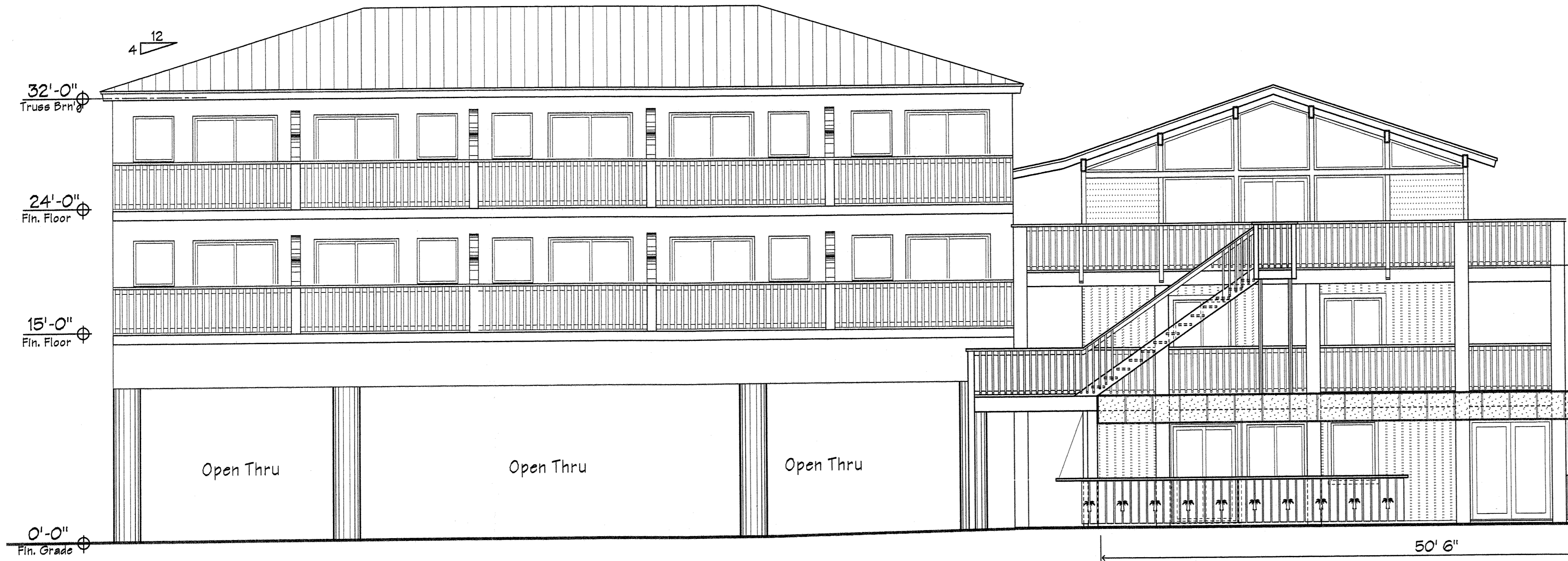
Renovation Plans - Alteration Level 2
INLET BEACH RESORT
110 S. Ocean Drive, Ft. Pierce, Florida

Sheet
A-2
of 3



FBC 2010/12 Existing
Alteration Level 2
ASCE 7-10 Risk Category 2
160 mph - Exposure 'D'

VERIFY ALL DIMENSIONS ON-SITE

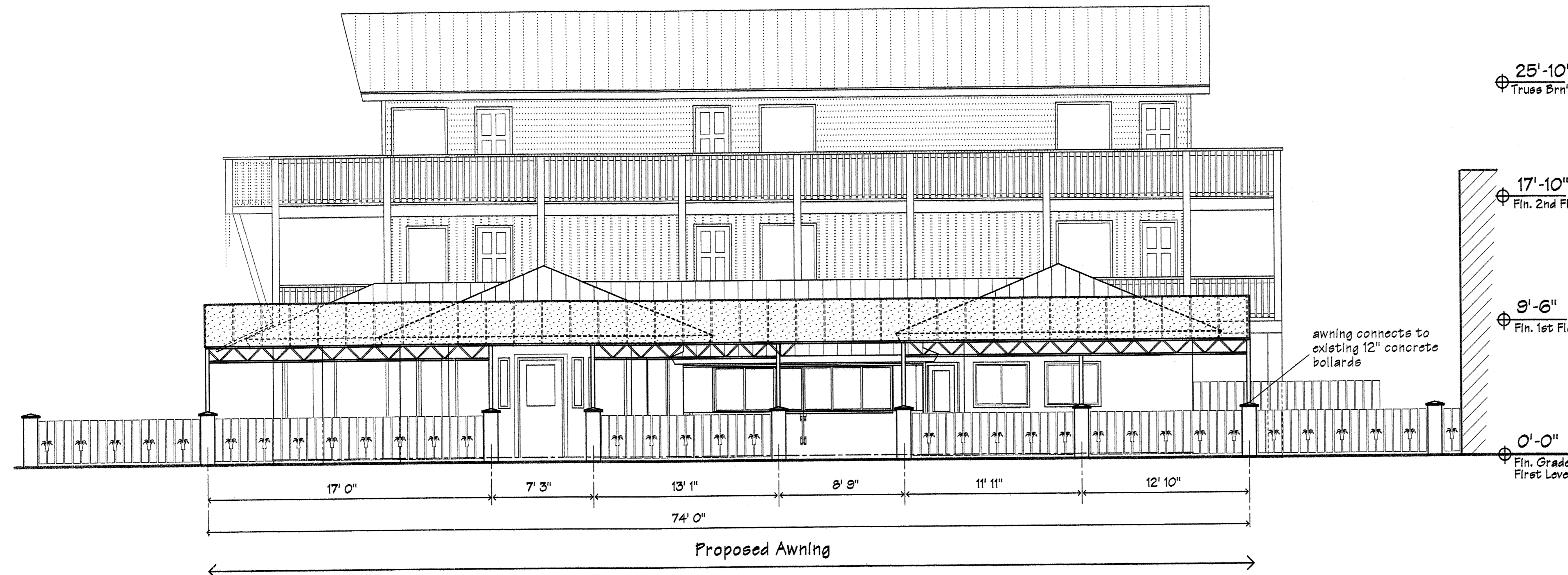


A 5 Bicycle Rack Detail
D-1 Four (4) Units required
 parkitbikeracks.com (877) 249-0479

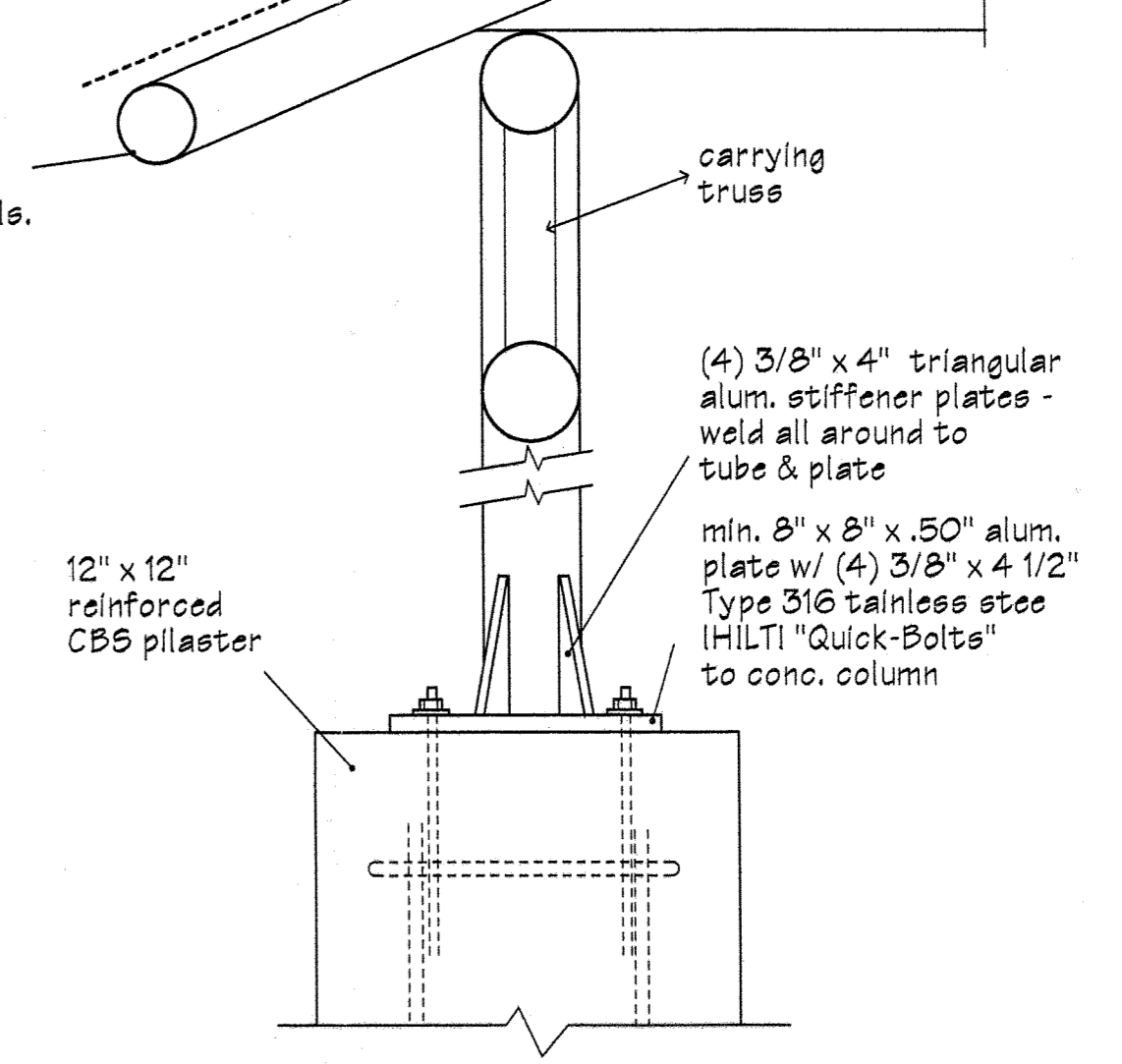
Existing structure to remain, minor refurbishment only
 Install NFPA 13 - R Automatic Fire Sprinkling System, upgrade Fire Alarm & Detection System

Reconfigure Existing 1st Level Restaurant
 Install NFPA 13 Automatic Fire Sprinkling System, In Restaurant - upgrade Fire Alarm & Detection System

East Elevation
 Scale - 3/16" = 1' 0"



engineered alum. awning frame - 6061-T-6 alloy - hell-arc welded, fasten to top of cols. w. min (4) 3/8" x 6" stainless steel anchor bolts cast into top of conc. col.



Awning Connection
 FBC 160 mph - Exposure "D"

North Elevation
 Scale - 3/16" = 1' 0"

FBC 2010/12 "Existing"
 Alteration Level 2
 ASCE 7-10 Risk Category 2
 160 mph - Exposure "D"

VERIFY ALL DIMENSIONS ON-SITE

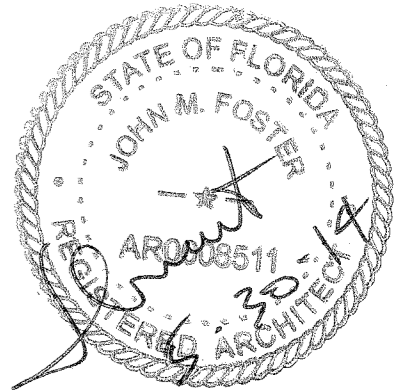
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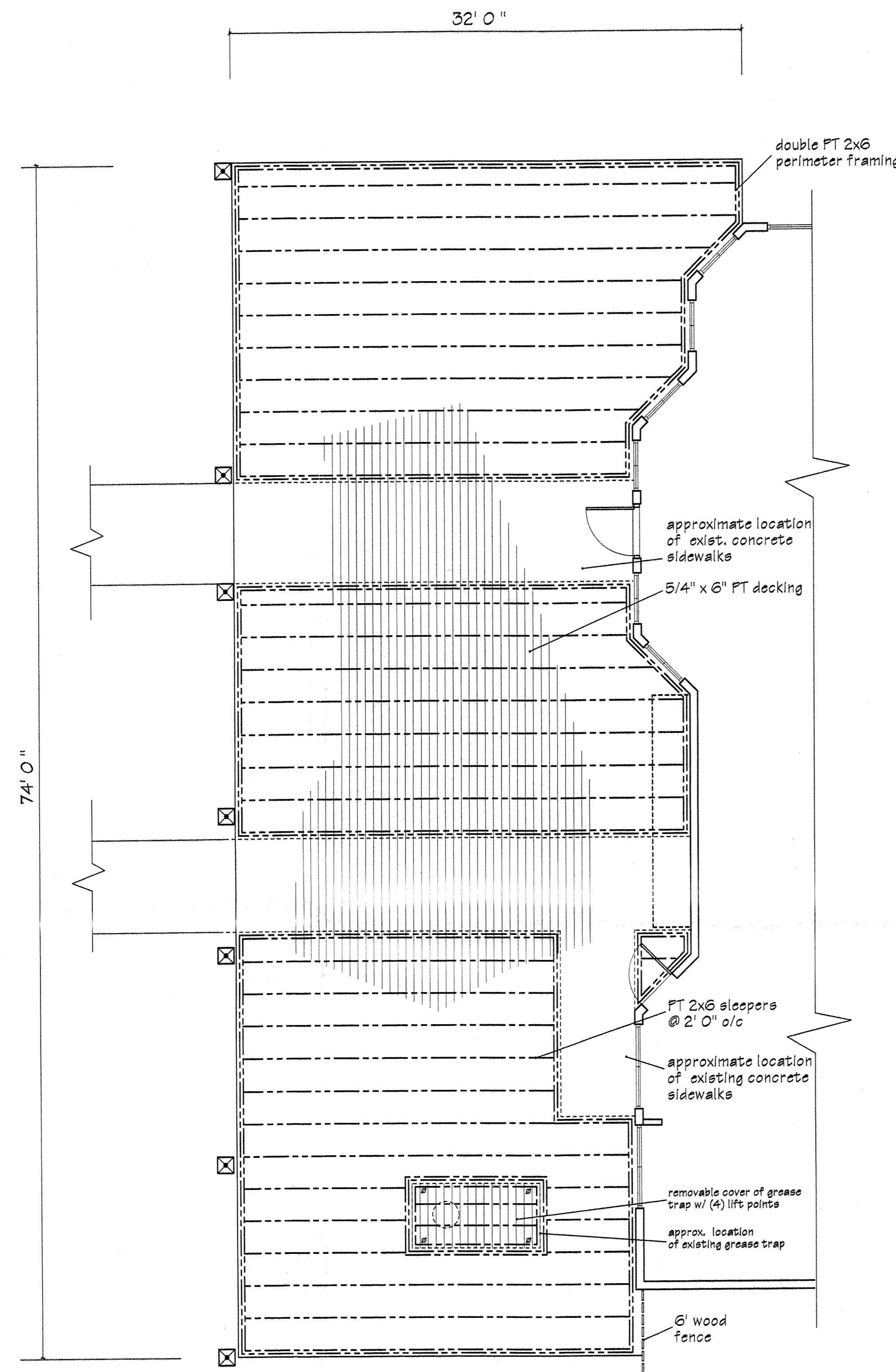
Date	By	Description
09/28/14	JMF	Issued for Review

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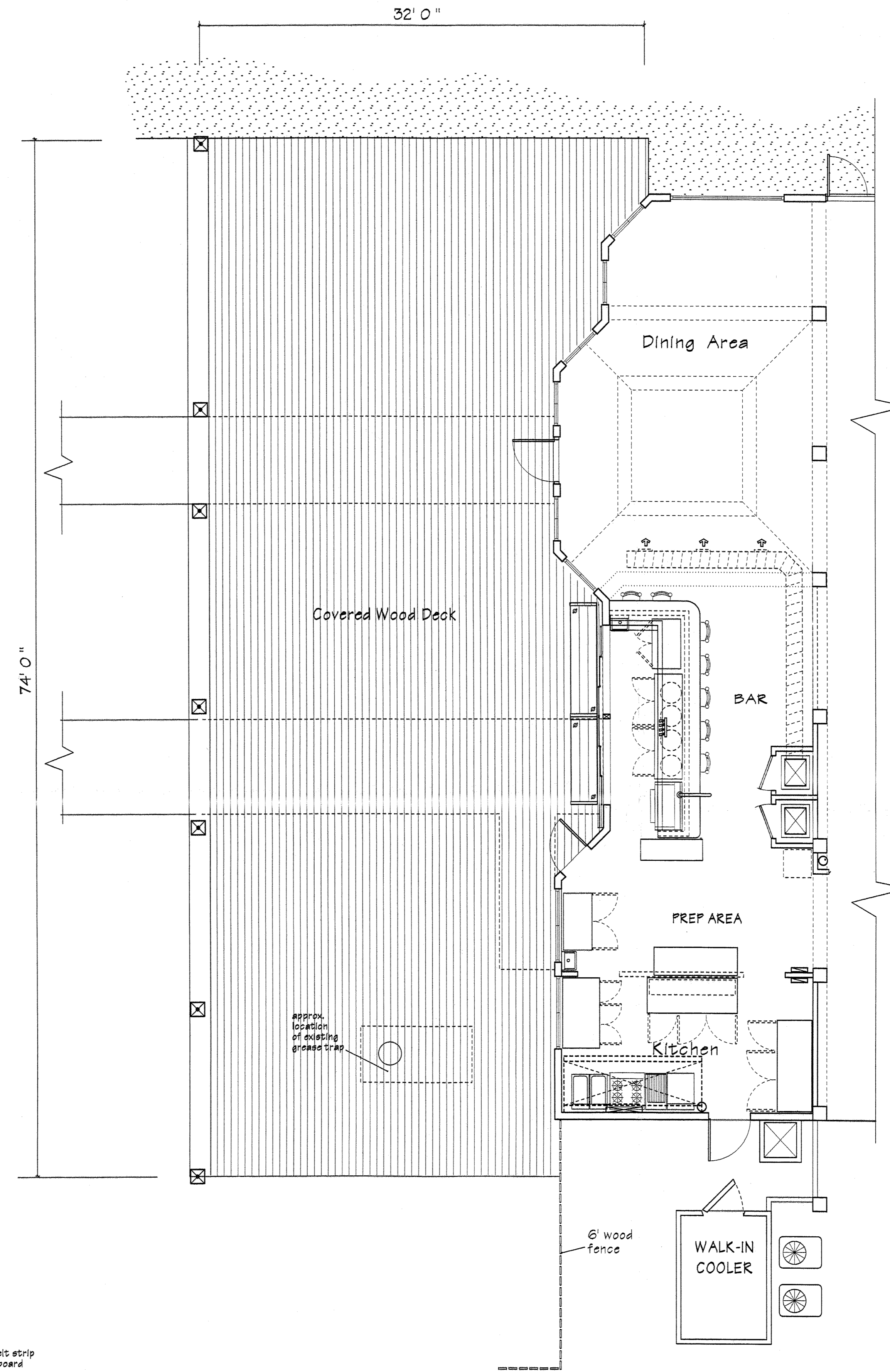
Renovation Plans - Alteration Level 2
INLET BEACH RESORT
 110 S. Ocean Drive, Ft. Pierce, Florida

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A-1
 of

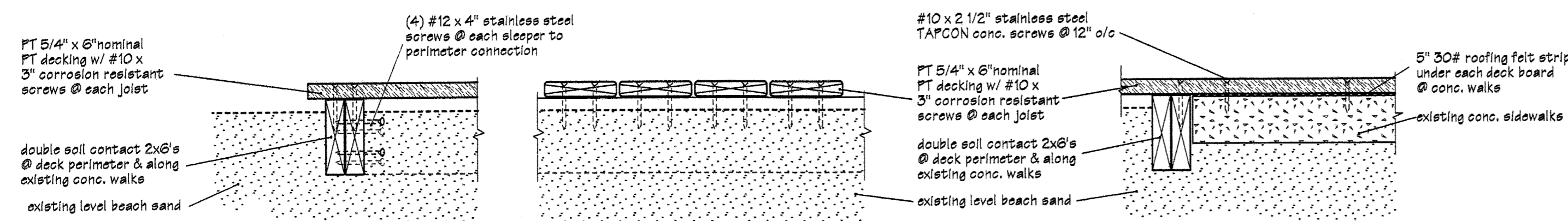




Deck Framing Plan Scale - 3/16" = 1' 0"



Deck Plan Scale - 3/16" = 1' 0"



Deck Details

Scale - 1 1/2" = 1' 0"

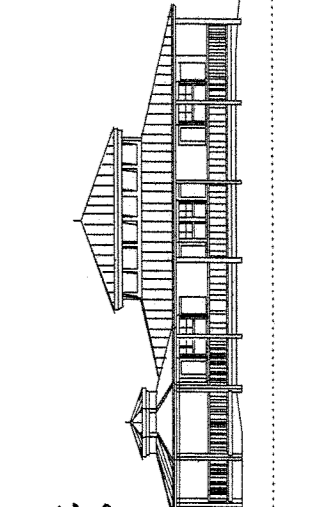
- 1) Deck sleepers shall be nominal PT 2x6's @ 2' 0" o/c - soil contact rated
- 2) Deck boards shall be nominal 5/4" x 6" pre-sanded PT
- 3) Existing finish grade will be unchanged = 0 CY cut/fill

FBC 2010/12 "Existing"
Alteration Level 2
ASCE 7-10 Risk Category 2
160 mph - Exposure "D"

VERIFY ALL DIMENSIONS ON-SITE

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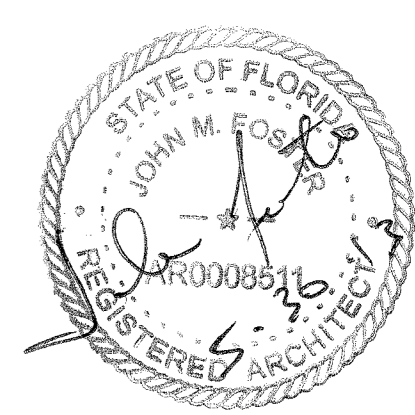
Date	By	Description
05/29/14	JMF	Issued for Review

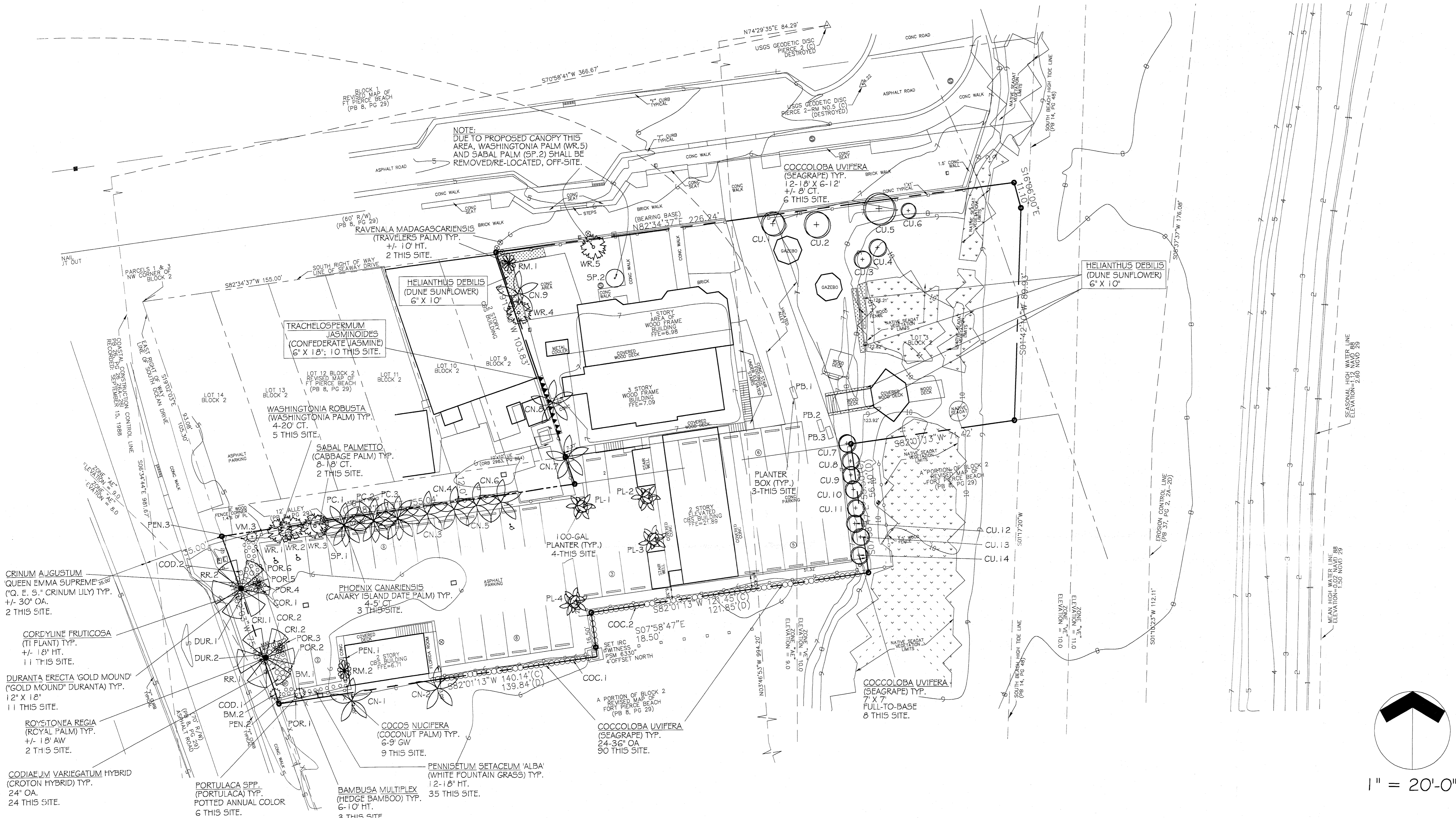


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Renovation Plans - Alteration Level 2
INLET BEACH RESORT
110 S. Ocean Drive, Ft. Pierce, Florida

Sheet
A-03
of 3





PALMS

SYM	BOTANICAL NAME	COMMON NAME	HT	SPRD	COMMENTS
CN.1	COCOS NUCIFERA	COCONUT PALM	-	-	8' GRAY WOOD (GW).
CN.2	COCOS NUCIFERA	COCONUT PALM	-	-	8' GW.
CN.3	COCOS NUCIFERA	COCONUT PALM	-	-	6' GW.
CN.4	COCOS NUCIFERA	COCONUT PALM	-	-	6' GW.
CN.5	COCOS NUCIFERA	COCONUT PALM	-	-	6' GW.
CN.6	COCOS NUCIFERA	COCONUT PALM	-	-	6' GW.
CN.7	COCOS NUCIFERA	COCONUT PALM	-	-	6' GW.
CN.8	COCOS NUCIFERA	COCONUT PALM	-	-	6' GW.
CN.9	COCOS NUCIFERA	COCONUT PALM	-	-	9' GW.
RR.1	ROYSTONIA REGIA	ROYAL PALM	-	-	18' GW.
RR.2	ROYSTONIA REGIA	ROYAL PALM	-	-	17' GW.
SP.1	SABAL PALMETTO	CABBAGE PALM	-	-	18' CLEAR TRUNK (CT).
SP.2	SABAL PALMETTO	CABBAGE PALM	-	-	8' CT.; TO BE REMOVED
WR.1	WASHINGTONIA ROBUSTA	WASHINGTONIA PALM	-	-	20' CT.
WR.2	WASHINGTONIA ROBUSTA	WASHINGTONIA PALM	-	-	20' CT.
WR.3	WASHINGTONIA ROBUSTA	WASHINGTONIA PALM	-	-	14' CT.
WR.4	WASHINGTONIA ROBUSTA	WASHINGTONIA PALM	-	-	6' CT.
WR.5	WASHINGTONIA ROBUSTA	WASHINGTONIA PALM	-	-	4' CT.; TO BE REMOVED

TREES

SYM	BOTANICAL NAME	COMMON NAME	HT	SPRD	COMMENTS
CU.1	COCCOLOBA UVIFERA	SEAGRAPE	14'	10'	SINGLE TRUNK; 8' CT.
CU.2	COCCOLOBA UVIFERA	SEAGRAPE	18'	12'	MULTI-TRUNK; 8' CT.
CU.3	COCCOLOBA UVIFERA	SEAGRAPE	10'	8'	MULTI-TRUNK; 8' CT.
CU.4	COCCOLOBA UVIFERA	SEAGRAPE	10'	8'	MULTI-TRUNK; 8' CT.
CU.5	COCCOLOBA UVIFERA	SEAGRAPE	14'	14'	MULTI-TRUNK; 8' CT.
CU.6	COCCOLOBA UVIFERA	SEAGRAPE	12'	6'	MULTI-TRUNK; 8' CT.
CU.7	COCCOLOBA UVIFERA	SEAGRAPE	7'	7'	FULL-TO-BASE.
CU.8	COCCOLOBA UVIFERA	SEAGRAPE	7'	7'	FULL-TO-BASE.
CU.9	COCCOLOBA UVIFERA	SEAGRAPE	7'	7'	FULL-TO-BASE.
CU.10	COCCOLOBA UVIFERA	SEAGRAPE	7'	7'	FULL-TO-BASE.
CU.11	COCCOLOBA UVIFERA	SEAGRAPE	7'	7'	FULL-TO-BASE.
CU.12	COCCOLOBA UVIFERA	SEAGRAPE	7'	7'	FULL-TO-BASE.
CU.13	COCCOLOBA UVIFERA	SEAGRAPE	7'	7'	FULL-TO-BASE.
CU.14	COCCOLOBA UVIFERA	SEAGRAPE	7'	7'	FULL-TO-BASE.

ACCENTS

SYM	BOTANICAL NAME	COMMON NAME	HT	SPRD	COMMENTS
BM.1	BAMBUSA MULTIFLEX	HEDGE BAMBOO	6'	3'	STRESSED; SALT SPRAY? LOW IRRIGATION?
BM.2	BAMBUSA MULTIFLEX	HEDGE BAMBOO	5'	3'	STRESSED; SALT SPRAY? LOW IRRIGATION?
BM.3	BAMBUSA MULTIFLEX	HEDGE BAMBOO	10'	4'	STRESSED; SALT SPRAY? LOW IRRIGATION?
RM.1	RAVENALA MADAGASCARIENSIS	TRAVELERS TREE	10'	3'	4' CLEAR TRUNK (CT).
RM.1	RAVENALA MADAGASCARIENSIS	TRAVELERS TREE	10'	3'	4' CLEAR TRUNK (CT).
CRI.1	CRINUM AUGUSTUM	QUEEN EMMA SUPREME CRINUM LILY	30"	30"	SINGLE STEM, MINIMAL LEAVES; STRESSED; SALT SPRAY? LOW IRRIGATION?
CRI.2	CRINUM AUGUSTUM	QUEEN EMMA SUPREME CRINUM LILY	30"	30"	SINGLE STEM, MINIMAL LEAVES; STRESSED; SALT SPRAY? LOW IRRIGATION?

PLANTERS

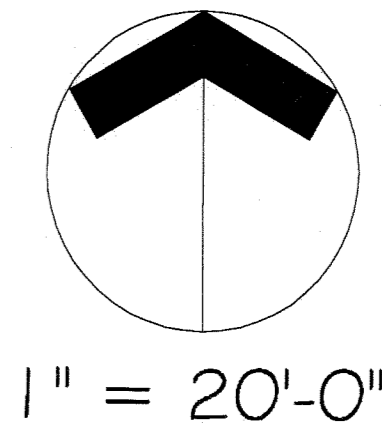
SYM	NAME	DESCRIPTION	HT	SPRD	COMMENTS
PB.1	PLANTER: BOX	MOBILE, W/ SHRUBS	1: 5'	W: 2'	3) VAR. DWIF. SCHEFFLERA
PB.2	PLANTER: BOX	MOBILE, W/ SHRUBS	1: 5'	W: 2'	3) GARDENIA
PB.3	PLANTER: BOX	MOBILE, W/ SHRUBS	1: 5'	W: 2'	3) VAR. DWIF. SCHEFFLERA
PL.1	PLANTER: LARGE; +/- 100-GAL. POT	MOBILE W/ PALMS	4'	5'	TRPL MONTGOMERY PALM
PL.2	PLANTER: LARGE; +/- 100-GAL. POT	MOBILE, W/ PALMS/BRO.	4'	5'	TRPL MONTGOMERY PALM W/ BROMELIADS
PL.3	PLANTER: LARGE; +/- 100-GAL. POT	MOBILE, W/ PALMS/BRO.	4'	5'	TRPL MONTGOMERY PALM W/ BROMELIADS
PL.4	PLANTER: LARGE; +/- 100-GAL. POT	MOBILE, W/ PALMS	4'	5'	TRPL MONTGOMERY PALM
POR.1	PLANTER: METAL FRAME	PORTULACA	12"	14"	METAL FRAME PLANTER FIXED TO COLUMN
POR.2	PLANTER: METAL FRAME	PORTULACA	12"	14"	METAL FRAME PLANTER FIXED TO COLUMN
POR.3	PLANTER: METAL FRAME	PORTULACA	12"	14"	METAL FRAME PLANTER FIXED TO COLUMN
POR.4	PLANTER: METAL FRAME	PORTULACA	12"	14"	METAL FRAME PLANTER FIXED TO COLUMN
POR.5	PLANTER: METAL FRAME	PORTULACA	12"	14"	METAL FRAME PLANTER FIXED TO COLUMN
POR.6	PLANTER: METAL FRAME	PORTULACA	12"	14"	METAL FRAME PLANTER FIXED TO COLUMN

SHRUBS/GROUND COVERS

SYM	BOTANICAL NAME	COMMON NAME	HT	SPRD	COMMENTS
COC.1	COCCOLOBA UVIFERA	SEAGRAPE	3-4'	2-3'	3) 3-GAL; 24" OC (MIN.); DRIP IRRIG.
COC.2	COCCOLOBA UVIFERA	SEAGRAPE	3-4'	2-3'	3) 3-GAL; 24" OC (MIN.); DRIP IRRIG.
COD.1	CODIAEUM VARIEGATUM HYBRID	HYBRID CROTON	24"	24"	15) 3-GAL; 24" OC (MIN.); DRIP IRRIG.
COD.2	CODIAEUM VARIEGATUM HYBRID	HYBRID CROTON	24"	24"	9) 3-GAL; 24" OC (MIN.); DRIP IRRIG.
COR.1	CORDYLINE FRUTICOSA	TI PLANT	18"	12"	5) 3-GAL; 24" OC (MIN.); DRIP IRRIG.
COR.2	CORDYLINE FRUTICOSA	TI PLANT	18"	12"	5) 3-GAL; 24" OC (MIN.); DRIP IRRIG.
DUR.1	DURANTA ERECTA 'GOLD MOUND'	'GOLD MOUND' DURANTA	12"	18"	5) 1-GAL; 18" OC (MIN.); DRIP IRRIG.
DUR.2	DURANTA ERECTA 'GOLD MOUND'	'GOLD MOUND' DURANTA	12"	18"	5) 1-GAL; 18" OC (MIN.); DRIP IRRIG.
PEN.1	PENNISSETUM SETACEUM 'ALBA'	WHITE FOUNTAIN GRASS	12-18" OA.	14)	3-GAL; 24" OC (MIN.); stressed: low H ₂ O
PEN.2	PENNISSETUM SETACEUM 'ALBA'	WHITE FOUNTAIN GRASS	12-18" OA.	6)	3-GAL; 24" OC (MIN.); stressed: low H ₂ O
PEN.3	PENNISSETUM SETACEUM 'ALBA'	WHITE FOUNTAIN GRASS	12-18" OA.	15)	3-GAL; 24" OC (MIN.); stressed: low H ₂ O
-	HELIANTHUS DEBILIS	DUNE SUNFLOWER	6"	10"	4 BED AREAS; EVENLY SPACED; DRIP IRRIG.
-	TRACHELOSPERMUM JASMINOIDES	CONFEDERATE JASMINE	6"	18"	1) 1-GAL; EVENLY SPACED ALONG FENCE.

NOTES

- Plant material reviewed/inventoried on April 3, 2014.
- Tree/palm locations are per Client-supplied survey. Locations of all other plant materials are approximations, relative to survey representations.
- Existing plant material specifications (NAME; HT., SPRD., CT, GW, OA; etc.) are based on Landscape Architect's plant knowledge/professional experience.



Inlet Beach Resort
110 South Ocean Drive/2041 Seaway Drive
Plant Inventory