

CITY PLANNING BOARD

BOARD AGENDA

Planning Board Special Meeting - Tuesday, December 16, 2014 - 6:00 p.m.
City Hall - City Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **CONSIDERATION OF ABSENCES**
5. **CERTIFICATION OF ALTERNATE MEMBER VOTING STATUS**
6. **NEW BUSINESS**
 - a. Conditional Use & Design Review - Farmer's Market Stand
7. **BOARD COMMENTS**
8. **ADJOURNMENT**

Any person seeking to appeal any decision by the Planning Board with respect to any matter considered at this meeting is advised that a record of proceedings is required in any such appeal and that such person may need to insure that a verbatim record of the proceedings is made including the testimony and evidence upon which the appeal is to be based.

Persons who require special accommodations under the Americans with Disabilities Act (ADA) should contact (772) 467-3729, at least five (5) days prior to the meeting. Persons who are hearing or speech impaired may use the Florida Relay System by dialing 711.

Planning Board

6. a.

Meeting Date: 12/16/2014

Information

REQUESTED ACTION

Conditional Use & Design Review - Farmer's Market Stand

LOCATION

3503 S US Hwy 1, Fort Pierce, Fl

RESPONSIBLE STAFF

Clarissa Davis, Planner

RECOMMENDATION

Staff recommends that the Planning Board approve the application with the following conditions:

1. Exterior of structure meets Design Review guidelines.
 2. Implementation of shrubs/hedge along property line and area of work. Curbing should be provided to protect vegetation. Landscape plan to be submitted prior to City Commission.
 3. Pedestrian access way to be implemented from ROW side walk to front entrance of the structure.
 4. Re-stripe existing parking, delineating one (1) handicapped parking space. Number of existing parking spaces acceptable.
-

Attachments

Staff Report

Conditional Use Application

Design Review Application

Letter from Department of Transportation

Site Plan, Civil, etc.

Color Rendering

3D Rendering 1

3D Rendering 2

Form Review

Form Started By: Clarissa Davis
Final Approval Date: 12/11/2014

Started On: 12/10/2014 04:45 PM



CITY OF FORT PIERCE

PLANNING DEPARTMENT

REBECCA GROHALL, AICP, PLANNING MANAGER
COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

TO: Members of the Planning Board

THROUGH: Rebecca Grohall, AICP, Planning Manager

FROM: Clarissa Davis, Planner

RE: Conditional Use with New Construction
State Farmer's Market
3503 S US Hwy 1

DATE: November 24th, 2014

STAFF REPORT

Owner: State of Florida
3479 S US Hwy 1
Fort Pierce, FL 34982

Applicant: Michael Brown
3479 S US Hwy 1
Fort Pierce, FL 34982

Requested Action: Approval of Conditional Use with New Construction & Design Review

Location: 3503 S US Hwy 1

Parcel ID: 2427-601-0026-000-0

Zoning: I-1, Light Industrial

Surrounding Zoning:

North	East	South	West
CG (County)	C-3	I-1, CG (County)	I-1

Future Land Use: I, Industrial

Parcel Size: 13.9 acres

Utilities: Located within the FPUA Retail Service Area

Staff Analysis:

The applicant is requesting Conditional Use as well as Design Review approval to construct a 2,409 sq. ft. metal pre-engineered structure along US Hwy 1.

Historically, this site encompassed a farm stand at the corner of US Hwy 1 and Farmer's Market Road as an accessory use to the Florida Department of Agriculture and Consumer Services. In 2007, the structure was demolished due to arson. The applicant has since submitted a proposal for a replacement structure that totals 2,409 sq. ft. in size. In 2012, the applicant's approached City staff with the proposal of a text change to deem farm stands as a permitted use within the I-1, Light Industrial zone. This text change was approved by the City Commission the same year. In November 2013, the City Commission approved the 'Use Table' which displayed the zoning districts within the City of Fort Pierce and their allowed uses in a tabulated form. Unfortunately, the text change achieved the previous year did not translate to the new 'Use Table' as a permitted use, but rather as a conditional use within the I-1, Light Industrial zone. This application is seeking such an approval.

The placement of the structure makes it subject to Design Review guidelines. The exterior is made up of a metal siding material which is considered an inappropriate material per 22-59(g)(4)d *Elevations* which states the following, "Metal or vinyl siding- on expanses of building walls shall not be permitted." Section 22-59(d)(2)I and II *Procedure of Approval* state the following, "The design, including landscape features, is architecturally compatible with surrounding structures so as to be reasonably harmonious in landscaping, style, and color; The design features will enhance or preserve the quality of the surrounding area so as not to detract from existing property values or impact adversely on existing scenic, natural, or historic beauty". The property is abutting Victory Motorcycles to the south which displays metal material; however the structure is within St. Lucie County jurisdiction and is not subject to City of Fort Pierce Design Review guidelines. The Hotel abutting the property to the north and the retail store located north east are made up of stucco material. The applicant is seeking Planning Board approval to allow the corrugated metal material for the proposed accessory structure.

TRC Comments:

Planning Department

1. Sidewalk implementation along property line/US Hwy 1 ROW, beginning at corner of Farmers Market Rd. and US Hwy 1, ending at the south end of the work area. ROW permit needed. **Applicant has supplied letter from DOT that conflicts with this comment. Staff accepts response.**
2. Pedestrian access way to be implemented from ROW side walk to front entrance of the structure.
3. Implementation of shrubs/hedge along property line and area of work. Curbing should be provided to protect vegetation.

4. Parking not shown on plan, however parking exists by area of work. Please re-stripe existing parking, delineating one (1) handicapped parking space. Number of existing parking spaces acceptable.
5. Elevation material proposed for structure conflicts with Design Review guidelines. Main façade could be of acceptable material (stucco, wood clapboard, wood shingles, cement siding in clapboard style boards, modular unit masonry, coral or keystone). Other possible materials listed in the Design Review guidelines.

SLC Engineering submitted comments mirroring Fort Pierce Planning Department.

Other entities had no comment.

Staff Recommendation:

Staff recommends that the Planning Board approve the application with the following conditions:

1. Exterior of structure meets Design Review guidelines.
2. Implementation of shrubs/hedge along property line and area of work. Curbing should be provided to protect vegetation. Landscape plan to be submitted prior to City Commission.
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4. Re-stripe existing parking, delineating one (1) handicapped parking space. Number of existing parking spaces acceptable.



CITY OF FORT PIERCE

PLANNING DEPARTMENT

Rebecca Grohall, AICP, Planning Manager
COMPREHENSIVE PLANNING ◊ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ◊ URBAN DESIGN ◊ URBAN FORESTRY ◊ ZONING

DEVELOPMENT REVIEW

Property address or Location 3479 South Federal Hwy 1 Fort Pierce, FL, 34982
Parcel ID #(s) 2427 601 00260000
Project description _____

State of Florida
Property Owner(s)
3479 South Federal Hwy 1
Street Address
Fort Pierce FL, 34982
City State Zip
772 468-3917
Phone Number
Michael.Brown@freshfromflorida.com
Email Address

Michael Brown Senior Market Manager
Applicant/Representative, Title, Company
3479 South Federal Hwy 1
Street Address
Fort Pierce FL, 34982
City State Zip
772-468-3917
Phone Number
Michael.Brown@freshfromflorida.com
Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

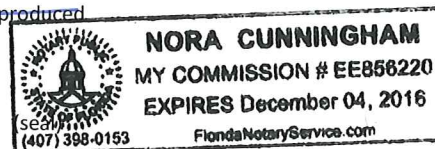
Michael J. Brown Senior Market Manager
Property Owner(s) Signature(s)

STATE OF FLORIDA -- St. Lucie COUNTY

The foregoing instrument was acknowledged before me this 2 day of December, 2014, by

Michael Brown who is personally known to me or has produced _____ as identification.

Nora Cunningham
Signature of Notary



INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
<u>H1, Light Ind.</u>	<u>I, Industrial</u>	<u>13.9 acres</u>	<u>N/A</u>	Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date _____
Intake Planner _____
Planner Assigned Charissa Davis
Approved By _____ Date _____
Comments _____

Fees _____ Control # _____ B. Permit # _____



DEVELOPMENT REVIEW

General Information

- Incomplete application packets cannot be accepted.
- Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

Choose Application Type:

Application Type		
<input type="checkbox"/> Site Plan	<input checked="" type="checkbox"/> Conditional Use with New Const.	<input type="checkbox"/> Major Amendment
<input type="checkbox"/> Conceptual Development Plan	<input type="checkbox"/> Minor Amendment	

Site Information:

Non-Residential: Proposed Sq. Ft.: 2,409 sq. ft. Residential: Proposed Units: _____

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West
<u>Hotel</u>	<u>Motor retail</u>	<u>Vacant</u>	<u>Industrial</u>

Application Outlook



Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- Complete notarized application
- Warranty Deed
- SLC Property Record Card
- Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- General location map (see Section 22-58.d.2)
- Survey (see Section 22-58.d.3)
- Site Plan (see Section 22-58.d.4)
- Landscaping Plan (see Section 22-187)
- Storm Drainage Plan (see Section 22-58.d.6)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 22-58.d.7)
- Lighting Plan (see Section 22-58.d.8)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)



CITY OF FORT PIERCE

PLANNING DEPARTMENT

COMPREHENSIVE PLANNING & DEVELOPMENT REVIEW
HISTORIC PRESERVATION & URBAN DESIGN & URBAN FORESTRY & ZONING

APPLICATION FOR DESIGN REVIEW

Project Name: Fort Pierce State Farmers Market Produce Stand

1. Project description for which design review approval is requested: Keep METAL BUILDING AS DESIGNED
2. Property Tax I.D. #: 2427-601-0026-000-0
3. Property Address: 3475 US HWY 1 FORT PIERCE, FL. 34982
4. Zoning District: I1 5. Future Land Use: _____
6. Historic District Y/N N if yes, which District: _____
7. Total Acreage: 13.9
8. Name of Owner(s): STATE OF FLORIDA
Signature of Owner(s): _____
Mailing Address: (street) 3479 SO. FEDERAL HWY 1
(City) FORT PIERCE (State) FL. (zip) 34982
Phone # 772-468-3917
9. Name of Applicant: MICHAEL BROWN SENIOR MARKET MANAGER
Signature of Applicant: Michael Brown
Mailing Address: (street) 3479 SO. FEDERAL HWY 1
(City) FORT PIERCE (State) FL. (zip) 34982
Phone # 772-468-3917
10. Name of Representative: MICHAEL BROWN SENIOR MARKET MANAGER
Signature of Representative: Michael Brown
Mailing Address: (street) 3479 SO. FEDERAL HWY 1
(City) FORT PIERCE (State) FL. (zip) 34982
Phone # 772-468-3917 Fax 772-468-4002
E-mail: MICHAEL.BROWN@FreshFromFlorida.COM

11. **Property Owners Acknowledgements:** - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the site plan as described herein.

Daniel Rawlerson, Bureau Chief (352) 395-4730
Property Owner's Name (Please Print) Custodian Phone

[Signature] Address State Zip
11/7/14 Date

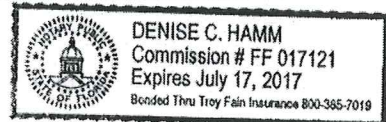
Property Owner's Signature
Custodian

STATE OF FLORIDA)
ST LUCIE COUNTY)

The foregoing instrument was acknowledged before me this 7th day of November, 20 14, by Daniel Rawlerson who is personally known to me or has produced _____ as identification.

Denise C Hamm
Signature of Notary

(seal)



A complete Administrative Review packet is required upon application submittal.

To be completed by the City
Date Received _____ By _____
Fee: _____ Receipt# _____

All required application information must be provided at time of submittal.
Packets must be folded to 8 1/2 x 11 and collated.

APPLICATION REQUIREMENTS:

- a. Application fee
- b. Application submission shall include the following:
 - TRC (Initial Submission): One (1) original and (13) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
 - Planning Board: One (1) original and (16) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.

DESIGN REVIEW APPLICATION CHECKLIST
(City Code of Ordinances 22-59)

1. Submittal for Administrative Review:

1. A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 22-194, location of bordering streets and, if applicable, wetlands and beaches.
2. A Site Analysis Study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment and other site features that may influence design elements.
3. A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the Site Analysis Study results.
4. Context photographs of neighboring uses and architectural styles.
5. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the City's Planning Department.
6. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty years of age, documentation of these structures with data from the Florida Master Site File form is also required.
7. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
8. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
9. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
10. Exterior elevations showing architectural character, external architectural features and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.

2. Submittal for Final Review:

1. A Written Narrative describing how the project conforms to Administrative Approval and Design Review Guidelines of this section.
2. A final site plan meeting the requirements of Section 22-58.
3. A final site lighting plan that meets the requirements of Section 22-58(d)(8).
4. A final landscape plan that meets the requirements of Article XII, Landscaping and Trees.
5. Final floor plans and elevation drawings (1/8"=1'-0" minimum scale), as detailed under Administrative Approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
6. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.



Florida Department of Transportation

RICK SCOTT
GOVERNOR

3601 Oleander Avenue
Fort Pierce, FL 34982

ANANTH PRASAD, P.E.
SECRETARY

October 27, 2014

Mike Brown
Florida Department of Agriculture and Consumer Services
3479 South Federal Highway One
Ft Pierce Fl. 34982

RE: Financial Project ID: 428728-1-52-01
Description: US-1/SR-5 construction from north of Midway Road to north of
Edwards

Dear Mr. Brown;

The FDOT has a future construction project that is currently proposed be let in August 2015 that will construct drainage ditches and sidewalk along the Farmers Market property that fronts US-1. I have reviewed your plans to install sidewalk as part of your improvements to the Farmers Market. The proposed sidewalk will conflict with the improvements that are part of the department's construction project and will have to be removed as part of the Department's project.

As this will be a waste of your construction cost, and an added cost to our project to remove the sidewalk, I would request that you delete this sidewalk from your plans and allow the Department to construct the sidewalk with our project.

As there is currently not a sidewalk at this location there will be no detriment to pedestrians. I have included a copy of the plan sheets and a preliminary schedule for your review. If you would like to discuss coordination of these two projects you may contact me at 772-429-4881.

Sincerely,

Jeffrey LeClaire, Operations Support Manager
Treasure Coast Operations

FORT PIERCE STATE FARMERS MARKET

3475 SOUTH US 1 HWY
FORT PIERCE, FLORIDA 34982



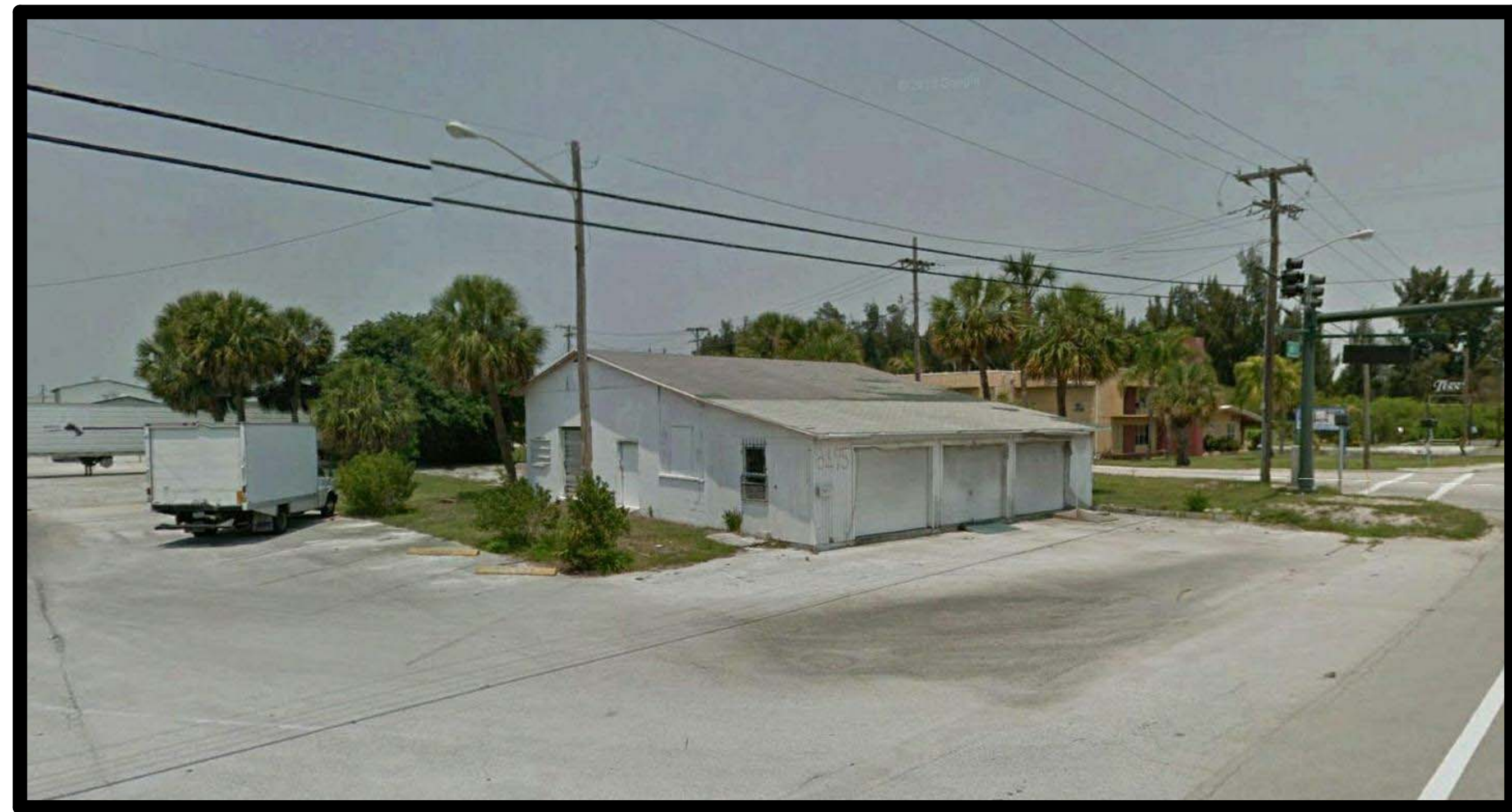
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• Maryland
• Texas

CERTIFICATION
JOHN A. BAER, AIA



BUILDING DATA:

OCCUPANCY:	USE GROUP - M
CONSTRUCTION TYPES:	2B
EXISTING BUILDING SF:	2235 GROSS S.F.
AREA DEMOLISHED SF:	2235 GROSS S.F.
NEW BUILDING SF:	1279 GROSS S.F.
NEW CANOPY SF:	1130 GROSS S.F.
TOTAL SF:	2409 GROSS S.F.

DESIGN LOADS:

ULTIMATE DESIGN WIND SPEED:	170 MPH
NOMINAL DESIGN WIND SPEED:	132 MPH
IMPORTANCE FACTOR:	I = 1.0
EXPOSURE:	EXPOSURE C
INTERNAL PRESSURE COEFFICIENT:	II +/- 0.18
BUILDING RISK CATEGORY:	II

2
SHEET
REMOVED
FROM SET

BUILDING INFORMATION:

ADDRESS:	
STREET ADDRESS:	3475 SOUTH US 1 HWY
CITY:	FORT PIERCE
COUNTY:	ST. LUCIE
STATE:	FLORIDA
ZIP CODE:	34982

STRUCTURE:

PRE-ENGINEERED METAL BUILDING

BUILDING CODES:

GOVERNING JURISDICTION:	ST LUCIE, FLORIDA
BUILDING CODE EDITION:	FLORIDA EXISTING BUILDING CODE 2010
MECHANICAL CODE EDITION:	FLORIDA MECHANICAL CODE 2010
ELECTRICAL CODE EDITION:	NATIONAL ELECTRICAL CODE 2008, NFPA 70
PLUMBING CODE EDITION:	FLORIDA PLUMBING CODE 2010
ADDITIONAL CODE EDITION:	FLORIDA FIRE PREVENTION CODE 2010
FLORIDA ACCESSIBILITY CODE:	2010
NFPA 101 - FLORIDA EDITION:	2009
NFPA 1:	2009

NOA'S: ALL NOA'S SHALL MEET REFERENCED BUILDING CODES

OWNER

DEPARTMENT OF AGRICULTURE AND
CONSUMER SERVICES

MAYO BUILDING, 209
407 S. CALHOUN ST.
TALLAHASSEE, FLORIDA, 32399
PHONE: (850) 487-4322
FAX: (850) 488-9006

DESIGNER OF RECORD:

ARCHITECT:	JOHN A. BAER AIA / VICTOR Q. TAN CPH INC	500 WEST FULTON ST. SANFORD, FL 32771	407-322-6841
STRUCTURAL:	HAROLD HIGGENBOTHAM, PE HIGGENBOTHAM ENGINEERING INC	222 CORRINE DR., SUITE FA ORLANDO, FL 32707	407-304-7721
MECHANICAL:	DENNIS MATULA PE	500 WEST FULTON ST.	407-322-6841
PLUMBING:	CPH INC	SANFORD, FL 32771	
ELECTRICAL:			
CIVIL:	NIKKI MAHLER P.E. CPH INC	500 WEST FULTON ST. SANFORD, FL 32771	407-322-6841

INDEX OF DRAWINGS						
SHEET NUMBER	SHEET NAME	REVISION LOG				
		REV 1	3/26/14	REV 2	6/19/14	REV 3
GENERAL						
CS	COVER SHEET	1	03/26/2014	2	06/19/2014	3 07/10/2014
GN	GENERAL INFORMATION					
CIVIL						
C1	SITE PLAN			2	06/19/2014	
DEMOLITION						
AD101	DEMOLITION	1	03/26/2014			
ARCHITECTURE						
A001	ADA SPECIFICATIONS					
A002	LIFE SAFETY	1	03/26/2014	2	06/19/2014	
A101	FLOOR PLAN			2	06/19/2014	
A102	ALTERNATIVE BID DEDUCT OPTION / FLOOR PLAN ILLUSTRATION	1	03/26/2014	2	06/19/2014	
A103	REFLECTED CEILING PLAN			2	06/19/2014	
A104	ROOF PLAN			2	06/19/2014	
A105	ENLARGED PLANS			2	06/19/2014	
A201	ELEVATIONS			2	06/19/2014	
A301	SECTIONS			2	06/19/2014	
A302	COOLER SECTION AND DETAILS			2	06/19/2014	3 07/10/2014
A501	DOOR DETAILS			2	06/19/2014	
STRUCTURAL						
S100	STRUCTURAL NOTES					
S101	FOUNDATION PLAN			2	06/19/2014	3 07/10/2014
S102	STRUCTURAL NOTES AND SECTIONS			2	06/19/2014	3 07/10/2014
SPECIFICATIONS						
SP100	SPECIFICATIONS					
SP101	SPECIFICATIONS					
MECHANICAL						
M100	MECHANICAL PLAN			2	06/19/2014	
M101	MECHANICAL SCHEDULES AND DETAILS			2	06/19/2014	
ELECTRICAL						
E100	ELECTRICAL LIGHTING PLAN			2	06/19/2014	
E101	ELECTRICAL POWER PLAN			2	06/19/2014	
E200	ELECTRICAL SYMBOLS AND LEGEND					
E201	ELECTRICAL RISER DIAGRAM, DETAILS AND SCHEDULES					
PLUMBING						
P100	PLUMBING PLAN AND RISER DIAGRAM			2	06/19/2014	
P101	PLUMBING DETAILS AND SCHEDULES			2	06/19/2014	

REVISION HISTORY		
REVISION NO.	DATE	REVISION DESCRIPTION
1	03/26/2014	SHEET CS - UPDATED REVISION LOG AND HISTORY, ADDED SHEET A102 TO INDEX OF DRAWINGS SHEET AD101 - DELETED DEMOLITION WORK FROM THIS DOCUMENT SHEET A002 - CHANGED BUILDING USE AND OCCUPANCY CALCULATIONS - REVISED EXIT ACCESS DOORS SHEET A102 - ADDED NEW SHEET FOR CONTRACTORS TO SUBMIT BID ALTERNATES "ADDITIONS AND DEDUCTIONS"
2	06/19/2014	SHEET CS - UPDATED REVISION LOG AND HISTORY, REMOVED SHEET A102 FROM INDEX OF DRAWINGS SHEET C-1 - REVISED BUILDING FOOT PRINT AND IMPERVIOUS AREA SHEET A002 - REVISED PLAN, FLIPPED OFFICE AND RESTROOM SHEET A101 - REVISED PLAN, FLIPPED OFFICE AND RESTROOM. MOVED WALK IN COOLER SHEET A102 - REMOVED SHEET FROM SET SHEET A103 - REVISED LIGHTING AND HVAC PER PLAN CHANGES SHEET A104 - REVISED LOCATION OF VTR PER FLOOR PLAN CHANGES SHEET A105 - CHANGED INTERIOR ELEVATIONS PER PLAN CHANGES SHEET A201 - CHANGED EXTERIOR ELEVATIONS PER CHANGES TO WALK IN COOLER LOCATION SHEET A301 - CHANGED SECTIONS PER CHANGES TO THE PLAN SHEET A502 - REVISED SLAB DETAILS / REMOVED INSULATED SLAB SHEET A501 - REMOVED DETAILS FOR ROLL UP DOOR SHEET S101 - REVISED FOUNDATION PLAN SHEET S102 - REVISED SLAB DETAILS, REMOVED INSULATED SLAB SHEET M100 - REVISED AC LOCATION AND TYPE OF AC SYSTEM TO BE USED SHEET M101 - REVISED GRILLE AND DIFFUSER SCHEDULE SHEET E100 - REVISED LIGHTING PER FLOOR PLAN CHANGES SHEET E101 - REVISED POWER PLAN PER FLOOR PLAN CHANGES SHEET P100 - REVISED WATER, SANITARY AND VENT PLANS. REVISED RISER DIAGRAMS SHEET P101 - REVISED PLUMBING FIXTURE SCHEDULE - ADDED ELECTRIC WATER COOLER
2	06/19/2014	SHEET CS - UPDATED REVISION LOG AND HISTORY SHEET A302 - REVISED SLAB DETAILS 1 AND 3 SHEET S101 - REVISED SLAB NOTES SHEET S102 - REVISED SLAB DETAILS 7 AND 8

DESIGNED BY:	DATE:	FILE:
JAB	01-22-2014	F7086
Drawn by:	VT	
Checked by:	JAB	
Approved by:		
Scale:		
Job No.:		

Plans Prepared By
CPH, Inc.
500 West Fulton St.
Sanford, FL 32771
Ph: 407-322-6841
Licenses:
Eng. C.O.A. No. 3215
Survey L.S. No. 7143
Arch. Lic. No. AA2600926
Landscape Lic. No. LC0000298

COVER SHEET
FORT PIERCE STATE FARMERS MARKET
3475 SOUTH US 1 HWY
FORT PIERCE, FLORIDA 34982

Sheet No.
CS

CERTIFICATION
TO THE BEST OF THE ENGINEER'S KNOWLEDGE
INFORMATION, AND BELIEF, THIS DESIGN IS IN
COMPLIANCE WITH APPLICABLE CODES AND LAWS.

JOHN A. BAER, AIA DATE _____

NOTE: THE SCALE OF THESE PLANS MAY HAVE CHANGED DUE TO REPRODUCTION

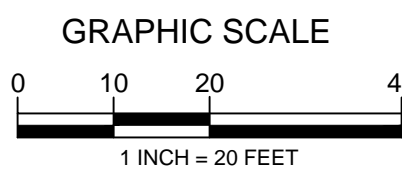
CITY OF FORT PIERCE INSPECTION REQUIREMENTS

SEC. 17-76, INSPECTION

(a) The City of Fort Pierce Engineering Department shall make inspections as hereinafter required and notify the Director of Building & Code Enforcement upon inspection approval or if the work fails to comply with the Erosion and Sediment Control Plan as approved to request a stop work order. Plans for grading, stripping, excavating, and filling work bearing the stamp of approval of the City Engineer shall be maintained at the site during the duration of the work. To obtain inspections, the permittee shall notify the City of Fort Pierce Engineering Department at least two working days before the following:

- (1) Start of construction
 - (2) Installation of sediment and erosion measures
 - (3) Completion of site clearing
 - (4) Completion of rough grading
 - (5) Completion of final grading
 - (6) Close of the construction season
 - (7) Completion of final landscaping
- (b) The permittee shall be responsible for the functionality of all control measures in accordance with the inspection schedule outlined on the approved Erosion and Sediment Control Plan(s). The purpose of such inspections will be to determine the overall effectiveness of the control plan and the possible need for additional control measures.
- (c) The City Engineer or his designee shall enter the property of the applicant as deemed necessary to make regular inspections to ensure the effectiveness of the control plan and the possible need for additional control measures.

Contractor shall schedule these inspections with the Engineering Dept. (772) 460-2200 x142



EROSION & SEDIMENTATION CONTROL NOTES

THIS PLAN HAS BEEN PREPARED TO ENSURE COMPLIANCE WITH RULES OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, CHAPTER 17-25-FAC AND THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT.

- SITE DESCRIPTION**
- SITE LOCATION:**
THE SITE IS LOCATED AT 3503 S. U.S. HIGHWAY NO. 1, FT. PIERCE, FLORIDA
 - SITE CONDITIONS & ACTIVITIES NARRATIVE**
 - THE EXISTING CONDITION OF THE SITE IS DEVELOPED WITH AN EXISTING PRODUCE STAND. THE SITE WILL REMAIN AT APPROXIMATELY THE SAME GRADE AND HAVE NO MAJOR EFFECT ON ADJACENT PROPERTIES.
 - THE EXISTING OPERATOR (CONTRACTOR) SHALL PREPARE A CONSTRUCTION SCHEDULE THAT INCLUDES THE DATE GRADING WILL BEGIN AND THE EXPECTED DATE OF STABILIZATION AND SHALL INCLUDE THE CONSTRUCTION SCHEDULE AS PART OF THIS STORM WATER POLLUTION PREVENTION PLAN (SWPPP).
 - SEQUENCE OF IMPLEMENTATION OF CONTROLS:**
 - INSTALLATION OF CONTROL MEASURES.
 - CLEARING, GRUBBING AND EXCAVATION.
 - CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE BUILDING, SITE DEVELOPMENT, AND INFRASTRUCTURE NECESSARY TO SERVE THE PROPOSED SITE.
 - FINAL STABILIZATION.
 - ESTIMATE OF TOTAL PROJECT AREA AND AREA TO BE DISTURBED**
THE TOTAL PROJECT AREA IS 0.23 ACRES.
THE AREA TO BE DISTURBED IS 0.23 ACRES.
 - RECEIVING WATERS/WETLAND AREAS DISCHARGE IS TO A PRIVATE STORM WATER DRAINAGE SYSTEM WITH DISCHARGE TO PRIVATE STORMWATER POND.**
- MSA OPERATOR NAME (IF ANY): N/A

CONTROLS

EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. THE EROSION CONTROL SYSTEM DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS SHOULD BE CONSIDERED TO REPRESENT THE MINIMUM ACCEPTABLE STANDARDS FOR THIS PROJECT. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DEPENDENT UPON THE STAGE OF CONSTRUCTION, THE RAINFALL EVENT AND THE ACTIVITIES. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE AUTHORITIES, IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS, THE OWNER AND PROJECT ENGINEER. THE CONTRACTOR SHALL RETAIN CLEANUP INFORMATION AS WELL AS DISPOSAL MANIFESTS WITH THEIR SWPPP.

THE CONTRACTOR IS ADVISED THAT THE CONTRACT DRAWINGS ONLY INDICATE EROSION, SEDIMENT, AND TURBIDITY CONTROLS AT LOCATIONS DETERMINED IN THE DESIGN PROCESS. HOWEVER, THE CONTRACTOR IS REQUIRED TO PROVIDE ANY ADDITIONAL CONTROLS NECESSARY TO PREVENT THE POSSIBILITY OF SILTING ANY ADJACENT LOWLAND PARCEL OR RECEIVING WATER.

EROSION AND SEDIMENT CONTROL

GENERAL EROSION CONTROL

- CLEARING AND GRUBBING OPERATIONS SHALL BE CONTROLLED SO AS TO MINIMIZE UNPROTECTED ERODIBLE AREAS EXPOSED TO WEATHER. GENERAL EROSION CONTROL BMP'S SHALL BE EMPLOYED TO MINIMIZE SOIL EROSION AND OFF-SITE SEDIMENTATION WHILE THE VARIOUS TECHNIQUES REQUIRED WILL BE SITE AND PLAN SPECIFIC. THEY SHOULD BE EMPLOYED PRIOR TO ANY CONSTRUCTION ACTIVITY.
- EXCAVATED MATERIAL WILL NOT BE DEPOSITED IN LOCATIONS WHERE IT COULD BE WASHED AWAY BY HIGH WATER OR STORM WATER RUNOFF. STOCKPILED MATERIAL SHALL BE COVERED OR ENCLOSED WITH SEDIMENT CONTAINMENT DEVICES.
- STABILIZATION MEASURES SHALL BE INITIATED FOR EROSION AND SEDIMENT CONTROL ON DISTURBED AREAS AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES ARE TEMPORARILY OR PERMANENTLY CEASED. CLEARED SITE DEVELOPMENT AREAS WHICH WILL REMAIN AT ROUGH GRADE FOR 7 DAYS OR MORE SHOULD BE STABILIZED IMMEDIATELY BY COVERING WITH ADEQUATE AMOUNTS OF MULCH, OVER SEEDED AND PERIODICALLY WATERED SUFFICIENT TO ESTABLISH THE TEMPORARY GROUND COVER, OR BY THE USE OF AN APPROPRIATE ALTERNATIVE BMP.
- ALL GRASS SLOPES CONSTRUCTED STEEPER THAN 4H:1V SHALL BE SODDED IMMEDIATELY AFTER FINAL GRADE IS ESTABLISHED.
- WHERE REQUIRED TO PREVENT EROSION FROM SHEET FLOW ACROSS BARE GROUND FROM ENTERING A LAKE OR SWALE, A TEMPORARY SEDIMENT SUMP SHALL BE CONSTRUCTED. THE TEMPORARY SEDIMENT SUMP SHALL REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED ON THE GROUND DRAINING TO THE SUMP.
- PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREAS SHALL BE COMPLETED IMMEDIATELY AFTER FINAL GRADING. WHEN IT IS NOT POSSIBLE TO PERMANENTLY PROTECT A DISTURBED AREA IMMEDIATELY AFTER GRADING OPERATIONS, TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED. ALL TEMPORARY PROTECTION SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE IN PLACE AND ESTABLISHED.

PROTECTION OF SURFACE WATERS

- WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SWALES. SWALES SHALL BE CONSTRUCTED AS SHOWN ON PLANS.
- EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY. WHILE THE VARIOUS MEASURES REQUIRED WILL BE SITE SPECIFIC, THEY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING:

- IN GENERAL, EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION.
 - NEW AND EXISTING STORMWATER INLETS AND OUTFALL STRUCTURES SHALL BE PROTECTED DURING CONSTRUCTION. PROTECTION MEASURES SHALL BE EMPLOYED IMMEDIATELY AS REQUIRED DURING THE VARIOUS STAGES OF CONSTRUCTION.
 - PERIMETER EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL FINAL SITE STABILIZATION HAS BEEN ESTABLISHED.
- C. HEAVY CONSTRUCTION EQUIPMENT PARKING AND MAINTENANCE AREAS SHALL BE DESIGNED TO PREVENT OIL, GREASE, AND LUBRICANTS FROM ENTERING SITE DRAINAGE FEATURES INCLUDING STORMWATER COLLECTION AND TREATMENT SYSTEMS. CONTRACTORS SHALL PROVIDE BARRIERS OR SILT SCREENS AROUND, AND SEDIMENT SUMPS WITHIN, SUCH AREAS AS REQUIRED TO CONTAIN SPILLS OF OIL, GREASE, LUBRICANTS, OR OTHER CONTAMINANTS. CONTRACTOR SHALL HAVE AVAILABLE, AND SHALL USE, ABSORBENT FILTER PADS TO CLEAN UP SPILLS IMMEDIATELY AFTER ANY OCCURRENCE.

CONTROL OF WIND EROSION

- BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST. IT MAY BE NECESSARY TO LIMIT CONSTRUCTION VEHICLE SPEED IF BARE EARTH HAS NOT BEEN EFFECTIVELY WATERED. IN NO CASE SHALL FUGITIVE DUST BE ALLOWED TO LEAVE THE SITE UNDER CONSTRUCTION.
- AS REQUIRED AFTER COMPLETION OF CONSTRUCTION, BARE EARTH AREAS SHALL BE VEGETATED.
- AT ANY TIME BOTH DURING AND AFTER SITE CONSTRUCTION THAT WATERING AND/OR VEGETATION ARE NOT EFFECTIVE IN CONTROLLING WIND EROSION AND/OR TRANSPORT OF FUGITIVE DUST, OTHER METHODS AS ARE NECESSARY FOR SUCH CONTROL SHALL BE EMPLOYED. THESE METHODS MAY INCLUDE ERECTION OF DUST CONTROL FENCES. IF REQUIRED, DUST CONTROL FENCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAIL FOR A SILT FENCE EXCEPT, THE MINIMUM HEIGHT SHALL BE 4 FEET.

IN ADDITION TO THOSE RESPONSIBILITIES OUTLINED WITHIN THE CONSTRUCTION PLANS AND DOCUMENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING MEASURES:

- PROJECT SCHEDULE WITH EROSION AND SEDIMENT CONTROL INSTALLATION AND MAINTENANCE TIED TO SPECIFIC DATES OR CONSTRUCTION ACTIVITIES.
- ALTERATIONS TO THE DESIGN EROSION AND SEDIMENT CONTROLS DUE TO DIFFERENCES BETWEEN THE DESIGN PLANS AND ANTICIPATED CONSTRUCTION PHASING AND THE CONTRACTOR'S CONSTRUCTION METHODS.
- NAME AND PHONE NUMBER OF CONTRACTOR'S REPRESENTATIVE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL INSTALLATION AND MAINTENANCE ON A 24 HOUR BASIS.
- THE CONTRACTOR WILL FURNISH, INSTALL, MAINTAIN AND SUBSEQUENTLY REMOVE, ALL NECESSARY EROSION CONTROL. THE CONTRACTOR WILL FURNISH AND INSTALL ALL NECESSARY PERMANENT EROSION CONTROLS.
- THE DEVELOPMENT OF THE APPLICABLE BMP'S TO ENSURE THE CONTROL OF OFF-SITE TRACKING, SPILLAGE, SANITARY WASTE, FERTILIZERS & PESTICIDES, SOLID WASTE DISPOSAL, AND NON-STORMWATER DISCHARGES & HAZARDOUS WASTE. WHEN A SPILL OF REPORTABLE QUANTITIES IS DISCOVERED ON THE SITE, THE CONTRACTOR SHALL CLEAN UP ALL SPILLED MATERIALS AND DISPOSE OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE AUTHORITIES, IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS, THE OWNER AND PROJECT ENGINEER. THE CONTRACTOR SHALL RETAIN CLEANUP INFORMATION AS WELL AS DISPOSAL MANIFESTS WITH THEIR SWPPP.

STORM WATER MANAGEMENT

THE STORM WATER RUNOFF FROM THE PROJECT AREA WILL BE COLLECTED IN A SYSTEM OF INLETS, AND PIPED TO A PRIVATE STORM WATER SYSTEM FOR TREATMENT AND ATTENUATION.

APPROVED STATE AND LOCAL PLANS OR PERMITS

THE FOLLOWING PERMITS HAVE BEEN ISSUED FOR THE CONSTRUCTION OF THE STORM WATER FACILITIES FOR THIS PROJECT. PERMITTED THROUGH SOUTH FLORIDA WATER MANAGEMENT DISTRICT PERMIT: NOT AVAILABLE.

MAINTENANCE

MAINTENANCE OF EROSION CONTROL DEVICES IS OF PARAMOUNT IMPORTANCE TO THE FT. PIERCE FARMERS MARKET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL POLLUTION PREVENTION CONTROLS. DAILY REVIEW SHALL BE MADE BY THE CONTRACTOR TO DETERMINE IF CONSTRUCTION ACTIVITIES HAVE ALTERED THE EFFECTIVENESS OF EROSION, SEDIMENTATION, TURBIDITY, AND POLLUTION CONTROL MEASURES. CORRECTIVE ACTION SHALL BE PERFORMED IMMEDIATELY. THE CONTRACTOR WILL COMPLETE A REPORT DETAILING MEASURES THAT ARE NOT ACHIEVING PERMIT COMPLIANCE AND THE CORRECTIVE ACTION THAT IS TAKEN, UNLESS OTHERWISE SPECIFIED. ACCUMULATED SEDIMENTS SHOULD BE REMOVED BEFORE THEY REACH ONE-HALF OF THE CAPACITY OF THE CONTROL DEVICE.

INSPECTION

THE CONTRACTOR IS REQUIRED TO INSPECT AND MAINTAIN CONTROLS WEEKLY AND WITHIN 24 HOURS AFTER A RAINSTORM IN EXCESS OF 0.25 INCHES. THE CONTRACTOR SHALL REPORT ALL INSPECTION FINDINGS AND CORRECTIVE ACTIONS TAKEN AS A RESULT OF THE INSPECTION. INSPECTION REPORTS SHALL BE SIGNED BY THE INSPECTOR AND CONTRACTOR AND MAINTAINED FOR FUTURE REFERENCE AS NEEDED. THE INSPECTOR MUST BE A QUALIFIED EROSION AND SEDIMENT CONTROL INSPECTOR AS DEFINED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

REFERENCES

THE CONSTRUCTION PLANS AND SPECIFICATIONS FOR JOB # F7606 AS PREPARED BY CPH, INC. ON JANUARY, 2014 ARE HEREBY REFERENCED AND MADE A PART OF THIS PLAN.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO FILE "NOTICE OF INTENT (NOI) FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER A NPDES GENERAL PERMIT" (EPA FORM 4510-9 OR LATEST VERSION) TO EPA AND "NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES" (DEP FORM 62-621-300(4)(B) OR LATEST VERSION) TO FDP BEFORE THE FOLLOWING ADDRESSES:

- NPDES STORMWATER NOTICES CENTER, MS #2510 FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, 2600 BLAIR STONE ROAD, TALLAHASSEE, FLORIDA 32399-2400

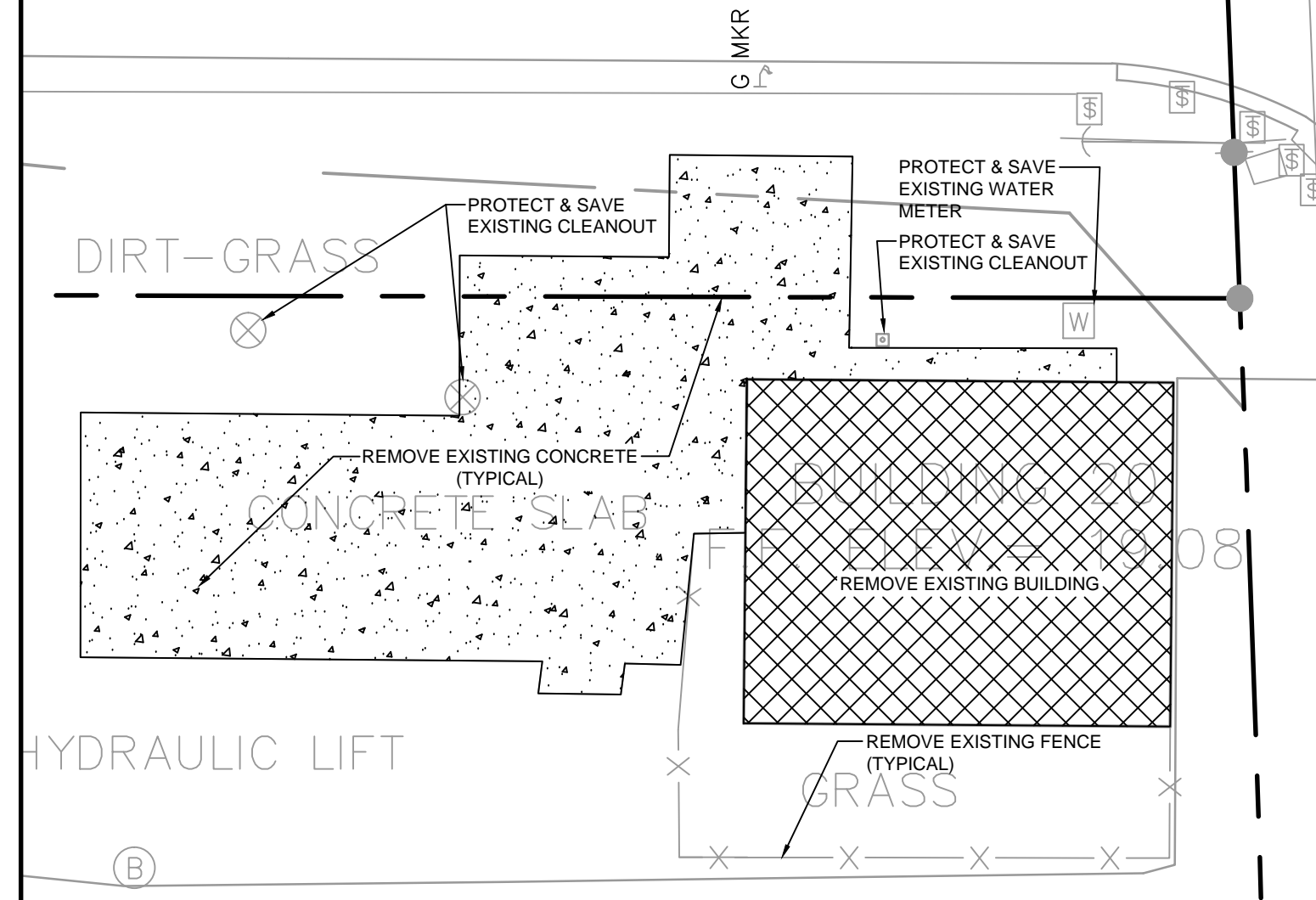
CONSTRUCTION SEQUENCING TABLE

ANTICIPATED CONSTRUCTION SEQUENCE*	JUL	AUG	SEP	OCT
CONSTRUCTION ENTRANCE				
TEMPORARY CONTROL MEASURES				
STORM FACILITIES				
ROUGH GRADE / SEDIMENT CONTROL				
FOUNDATION / BUILDING CONSTRUCTION				
SITE CONSTRUCTION				
FINISH GRADING				
PERMANENT CONTROL MEASURES				

* THIS IS ONLY A GUIDE. CONTRACTOR IS TO USE HIS JUDGMENT TO MODIFY AS NEEDED.

NOTES:

CONTRACTOR SHALL PAY CLOSE ATTENTION WHEN CLEARING AND/OR GRADING THE SITE TO ENSURE THAT WHEN EXISTING ROOTS ARE ENCOUNTERED THEY ARE CUT OFF EVENLY WITH CLEAN SHARP PRUNING TOOLS. CONTRACTOR SHALL BE RESPONSIBLE FOR MINIMIZING THE DAMAGE OF THE EXISTING ROOT SYSTEMS.



DEMOLITION PLAN

UTILITY NOTES

- DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES. EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO NEW UTILITY LINES BEING INSTALLED.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES, IN SUCH A MANNER AS TO AVOID CONFLICT AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH UTILITY REQUIREMENTS AS TO LOCATION AND SCHEDULING FOR TIE-INS/ CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
- ALL WATER, FORCE MAIN AND SANITARY SEWER LINES SHALL HAVE A MINIMUM OF 3' OF COVER. PE WATER SERVICE MAY BE REDUCED TO 2' WHEN NECESSARY.
- CONTRACTOR SHALL COORDINATE INSPECTION ON ALL UTILITIES, WITH APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES DURING INSTALLATION.
- CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND REQUIREMENTS.
- THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND THE OWNER'S INSPECTING AUTHORITIES.
- THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINE IS SIX (6) FEET, OR MINIMUM VERTICAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER OVER SEWER LINE IS (12) INCHES.

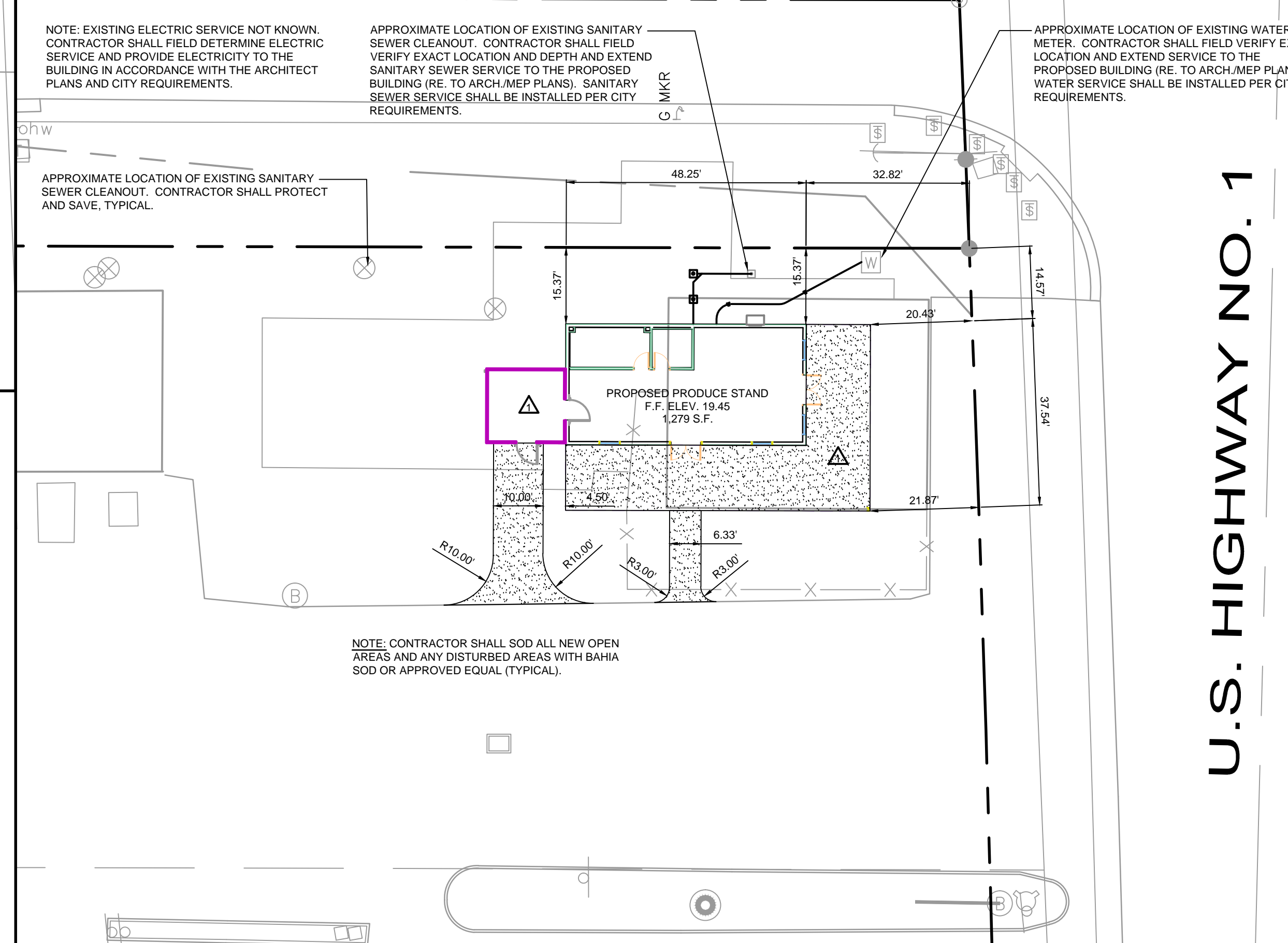
GENERAL GRADING NOTES

- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES SHOWN ON PLANS AND PROVIDED FOR IN FDOT INDEX NO. 102 AS CONSTRUCTION PROGRESSES. THE CONTRACTOR SHALL PERIODICALLY CHECK THE SEDIMENTATION CONTROLS AND REPAIR THEM AS NECESSARY TO KEEP THEM IN GOOD FUNCTIONING ORDER. THE CONTRACTOR SHALL ALSO PROTECT INLETS AND OTHER SITE APPURTENANCES FROM SEDIMENTATION USING PROTECTION AS DETAILED IN FDOT INDEX NO. 102.
- THE CONTRACTOR SHALL CONDUCT GROUND STABILIZING MEASURES (PAVING, GRASSING, MULCHING AND SODDING) AS SOON AS PRACTICABLE FOLLOWING FINAL GRADING OF THE SITE.
- FOLLOWING COMPLETION OF CONSTRUCTION AND COMPLETED STABILIZATION OF POTENTIAL EROSION AREAS, THE CONTRACTOR SHALL REMOVE SEDIMENTATION CONTROL MEASURES AND CLEAN AND REPAIR ANY AREAS AFFECTED BY THE CONSTRUCTION AND ACTIVITIES. ANY SILTATION IN THE STORMWATER SYSTEM SHALL BE COMPLETELY FLUSHED PRIOR TO CERTIFICATION OF COMPLETION.
- ALL WORK PERFORMED WITHIN ANY ADJACENT ROAD REQUIRES A SEPARATE PERMIT ISSUED BY THE FDOT, ST. LUCIE COUNTY OR THE CITY OF FT. PIERCE PUBLIC WORKS DEPARTMENTS.
- CONTRACTOR SHALL FIELD VERIFY EXISTING AND SURROUNDING DEVELOPMENT GRADES AND CONTACT ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY POSITIVE DRAINAGE FLOW AWAY FROM BLDG. AND THAT A MINIMUM SLOPE OF AT LEAST 1% IN THE DIRECTION OF DRAINAGE FLOW INDICATED CAN BE ACHIEVED.
- HAVING CONSULTED THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 120286 0167 J, EFFECTIVE DATE FEBRUARY 16, 2012, CITY OF FORT PIERCE, THE SUBJECT PROPERTY APPEARS TO LIE IN ZONE X. AN AREA DETERMINED TO BE OUTSIDE THE 500 YEAR ANNUAL CHANCE FLOOD PLAIN. THIS DETERMINATION WAS BASED ON A GRAPHIC INTERPOLATION OF SAID MAP AND NOT ON ACTUAL FIELD MEASUREMENTS.

SEQUENCE OF CONSTRUCTION

- INSTALL STABILIZED CONSTRUCTION ENTRANCES.
- CONSTRUCT THE SILT FENCES ON THE SITE.
- PREPARE TEMPORARY PARKING AND STORAGE AREA. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER PARKING, LAY DOWN PORTA POTTY, WHEEL WASH, CONCRETE WASHOUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC. DENOTE THEM ON THE SITE MAPS IMMEDIATELY AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
- CLEAR AND GRUB AREAS INDICATED FOR REMOVAL.
- START CONSTRUCTION OF STRUCTURES.
- BEGIN GRADING AREAS INDICATED FOR CONSTRUCTION.
- TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE.
- INSTALL CURBS AND GUTTERS.
- INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES AFFECTED BY CONSTRUCTION ACTIVITIES.
- PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
- PREPARE AREAS FOR PAVING.
- PAVE AREAS INDICATED.
- COMPLETE GRADING AND INSTALL PERMANENT STABILIZATION OVER ALL AFFECTED AREAS.
- REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES. (ONLY IF SITE IS STABILIZED).

FARMERS MARKET ROAD



SITE PLAN

SITE NOTES

- EXISTING UTILITIES ARE SHOWN IN SCHEMATIC ONLY. CONTRACTOR SHALL USE DUE REGARD WHEN PERFORMING ANY SITE DEMOLITION.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.
- FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
- DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS SHOWN (BOC) WHICH INDICATES BACK OF CURB.
- ADJUST ALL CLEAN OUT COVERS TO BE FLUSH WITH FINISHED GRADE. ALL PARTS TO BE TRAFFIC BEARINGS (ASHTO H-20 LOADINGS).
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.

SITE DATA

THE PURPOSE OF THIS PROJECT IS TO REMOVE THE EXISTING FRUIT STAND AND CONSTRUCT A NEW BUILDING WITH UTILITIES TO SERVE IT.

SITE ADDRESS: 3503 S. U.S. HIGHWAY NO. 1 FORT PIERCE, FLORIDA, FLORIDA

PARCEL I.D. NUMBER: 2427-601-0026-000-0

SITE TOTAL AREA: 605,484 S.F. (13.90 A.C.)

PROJECT TOTAL AREA: 10,019 S.F. (0.23 A.C.)

EXISTING LAND USE: FARMERS MARKET PRODUCE STAND

PROPOSED LAND USE: FARMERS MARKET PRODUCE STAND

EXISTING USE: PRODUCE STAND

PROPOSED USE: PRODUCE STAND

ZONING: 11 LIGHT INDUSTRIAL

SUBJECT SITE: 11 LIGHT INDUSTRIAL

NORTH: U.S. HIGHWAY NO. 1

EAST: 11 LIGHT INDUSTRIAL

SOUTH: 11 LIGHT INDUSTRIAL

WEST: 11 LIGHT INDUSTRIAL

PROPOSED AREA CALCULATIONS:

BUILDING AREA: = 1,279 S.F. (12.73%)

IMPERVIOUS AREA: = 1,745 S.F. (17.37%)

PERVIOUS AREA: = 7,023 S.F. (69.90%)

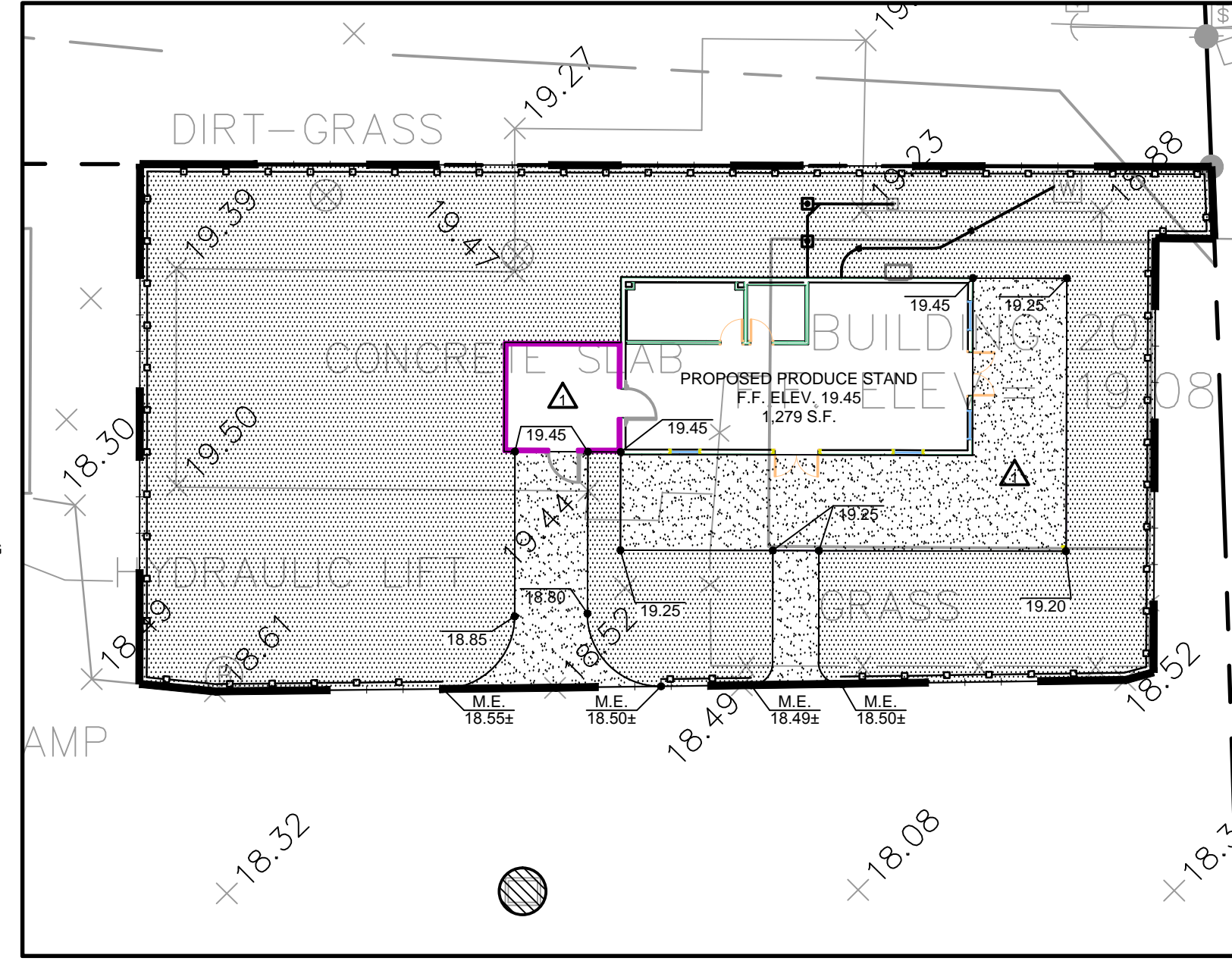
EXISTING AREA CALCULATIONS:

BUILDING AREA: = 2,208 S.F. (21.97%)

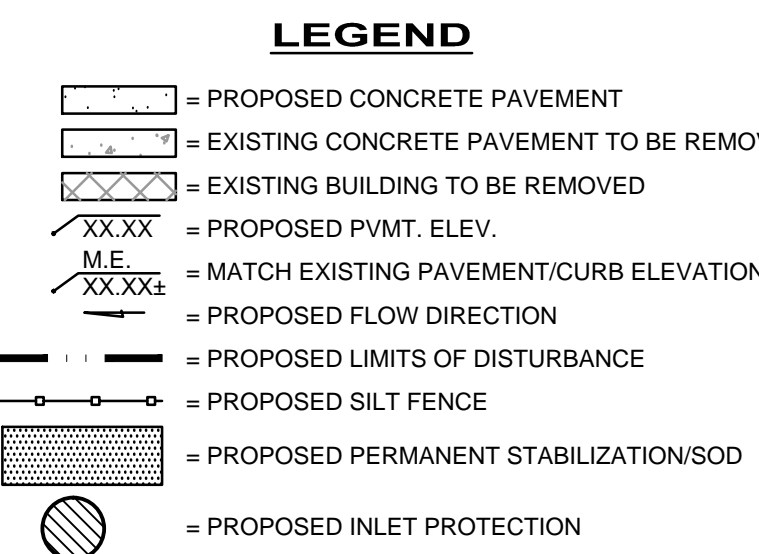
IMPERVIOUS AREA: = 3,275 S.F. (32.80%)

PERVIOUS AREA: = 4,564 S.F. (45.43%)

TOTAL (PROJECT AREA): = 10,047 S.F. (100.00%)

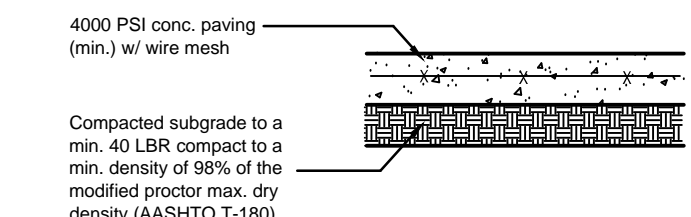


GRADING PLAN



DIMENSION & TYPE

Concrete Section	A	B
Driveway	6"	12"
Patio	4"	12"



CONCRETE PAVING SECTION



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	Jan. 2014	
	AS SHOWN	
	NEM	
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SITE PLAN

RETAIL BUILDING

FT. PIERCE FARMERS MARKET

FORT PIERCE / FLORIDA

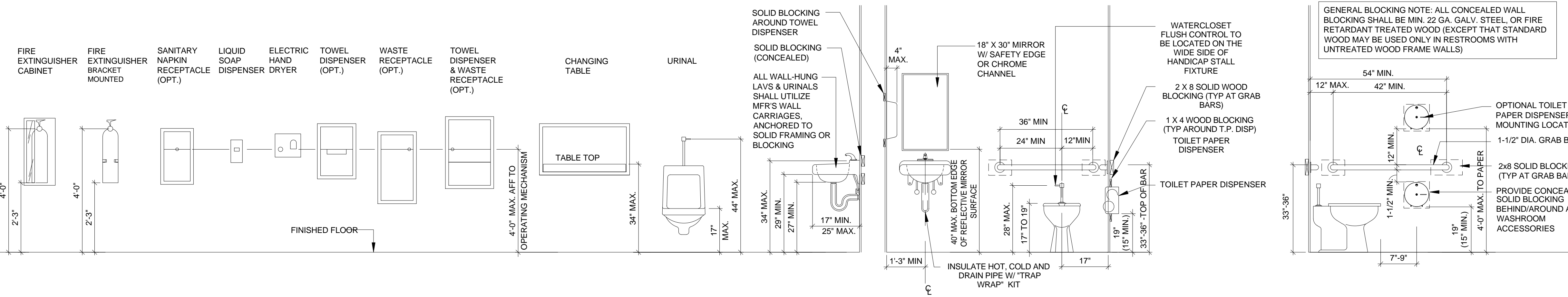
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RESTROOM FIXTURE & ACCESSORY ELEVATIONS



GENERAL NOTES

TOILET ROOM FIXTURES AND ACCESSORIES SHALL BE CERTIFIED BY MANUFACTURER FOR COMPLIANCE WITH AMERICANS WITH DISABILITIES ACT. ALL FIXTURES SHALL BE MOUNTED AT HEIGHTS AND WITH CLEARANCES AS REQUIRED BY ADA, AND AS FOLLOWS:

FLUSH CONTROL FOR THE TOILET SHALL BE LOCATED NOT MORE THAN 28" AFF, AND SHALL BE OPERABLE WITH MAX. 5 LB. FORCE.

GRAB BARS SHALL BE PROVIDED AT EACH TOILET, MOUNTED W/ TOP FROM 33" TO 36" AFF. MOUNT GRAB BARS INTO CONCEALED, SOLID WOOD BLOCKING AS REQUIRED TO RESIST 250 PLF FORCE APPLIED TO GRAB BAR AT ANY POINT IN ANY DIRECTION GRAB BARS SHALL BE FROM 1-1/4" TO 1-1/2" IN DIAMETER AND SHALL PROTECT AT LEAST 1-1/2" FROM WALL. PROVIDE CONCEALED FASTENERS WITH TRIM SCUTCHEON. TOILET PAPER DISPENSERS SHALL BE INSTALLED BELOW GRAB BAR ON SIDE WALL AT LEAST 15" AFF AND A MAXIMUM OF 36" AWAY FROM REAR WALL. PROVIDE CONCEALED SOLID BLOCKING. PAPER TOWEL DISPENSERS SHALL BE MOUNTED ON WALL BESIDE EACH LAV, WITH DISPENSER SLOT NOT MORE THAN 44" AFF. PROVIDE SOLID WOOD BLOCKING IN WALL AROUND ROUGH OPENING. WALL HUNG LAV SHALL BE MOUNTED WITH FRONT ROOM AT 2'-10" AFF MAX.

MIRRORS SHALL HAVE POLISHED SAFETY EDGE OR CHROME CHANNEL EDGE, AND SHALL BE MOUNTED ABOVE EACH LAV. W/BOTTOM AT 40" AFF. MIRRORS SHALL BE MIN. 18" WIDE X 30" HEIGHT.



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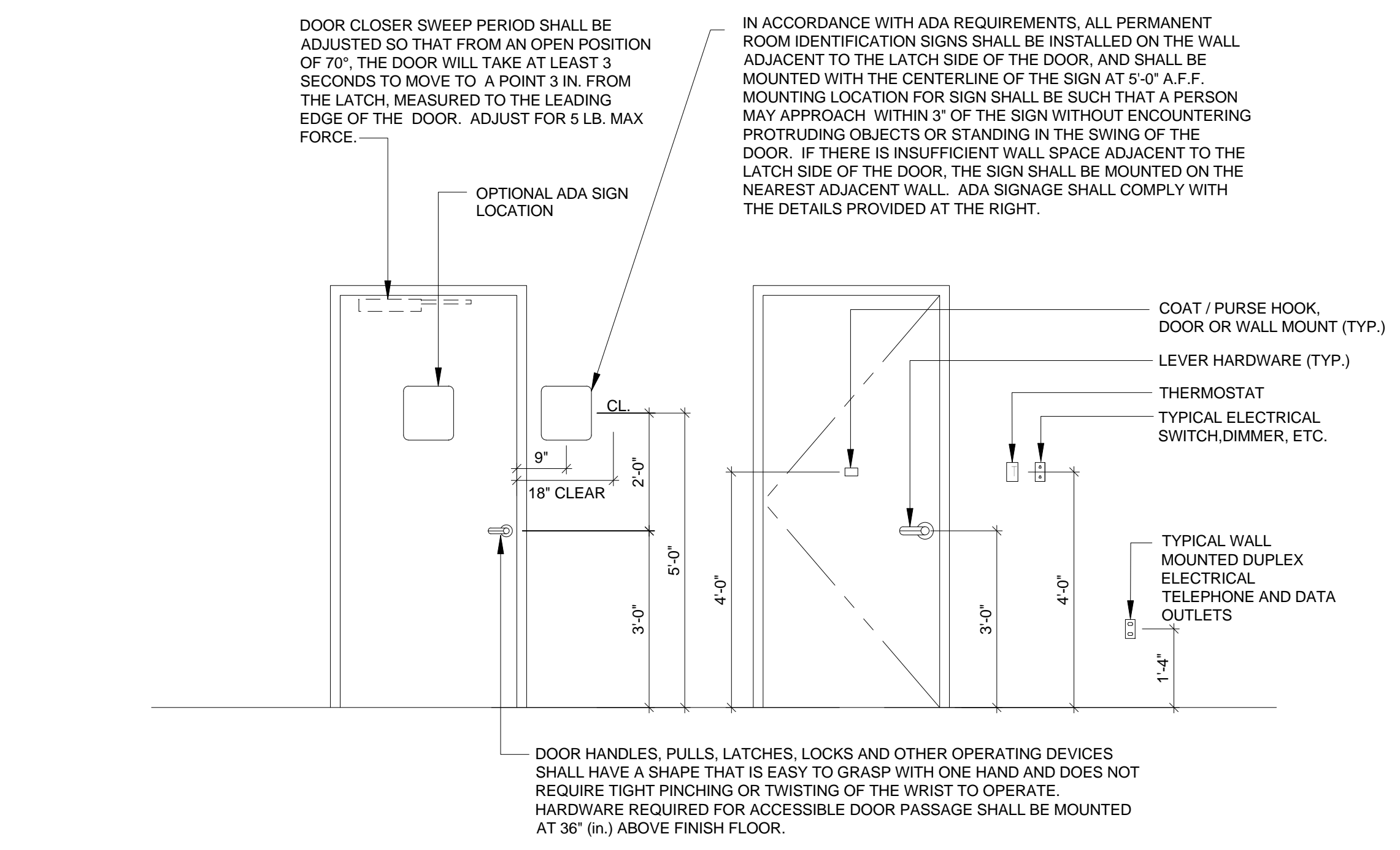
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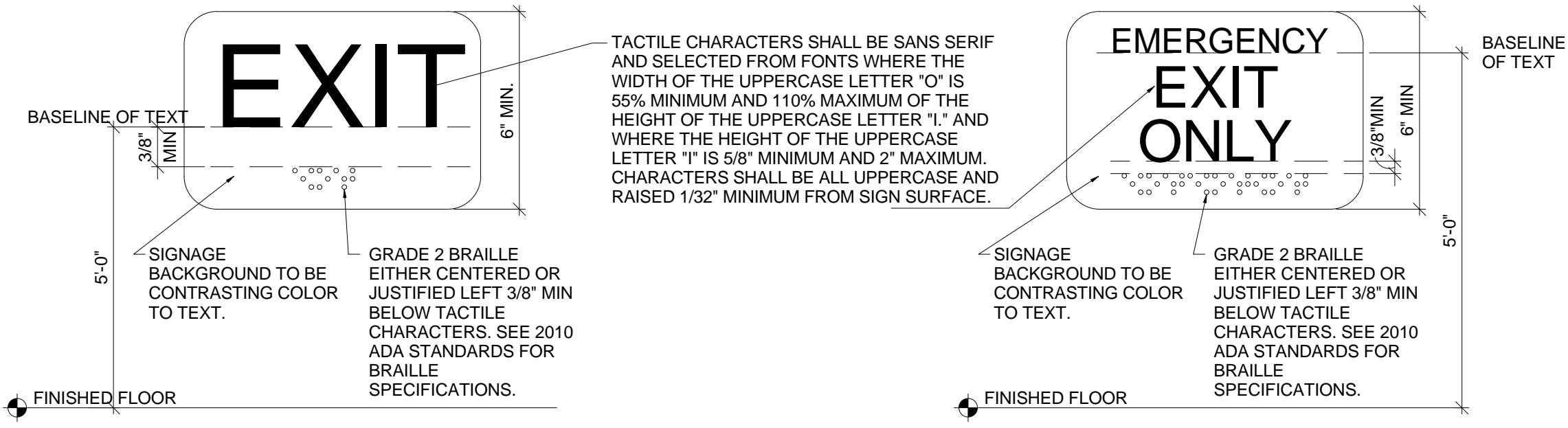
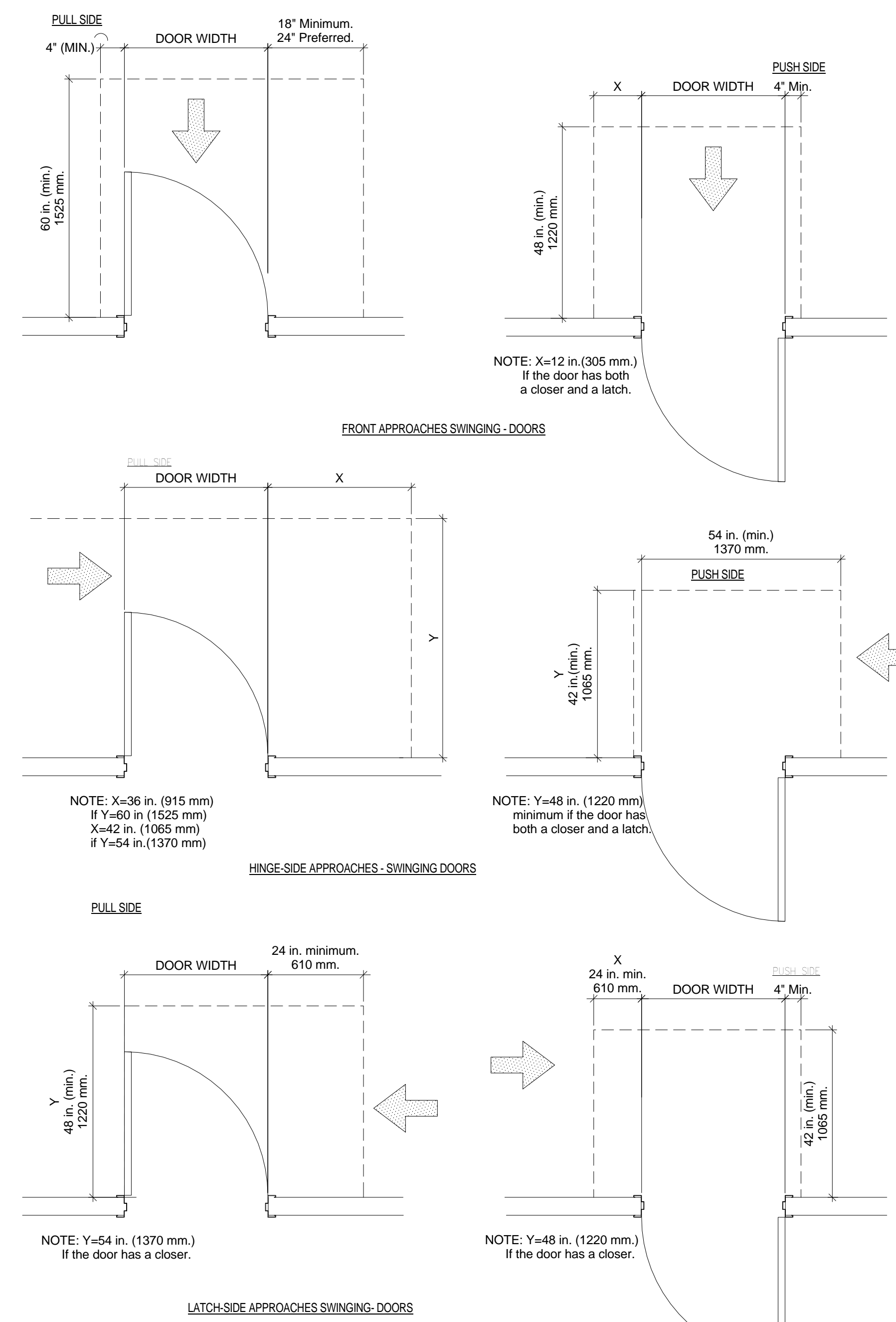
SIGNAGE LEGEND

- REQUIRED ACCESSIBLE ELEMENTS SHALL BE IDENTIFIED BY THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AT THE FOLLOWING LOCATIONS
 - ACCESSIBLE ENTRANCES WHERE NOT ALL ENTRANCES ARE ACCESSIBLE.
 - ACCESSIBLE ROOMS WHERE MULTIPLE SINGLE-USER TOILETS ARE CLUSTERED AT A SINGLE LOCATION.
 - ACCESSIBLE CHECK-OUT AISLES WHERE NOT ALL AISLES ARE ACCESSIBLE. THE SIGN, WHERE PROVIDED, SHALL BE ABOVE THE CHECK-OUT AISLE IN THE SAME LOCATION AS THE CHECK-OUT AISLE NUMBER OR TYPE OF CHECK-OUT IDENTIFICATION.
 - UNISEX TOILET AND BATHING ROOMS.
 - ACCESSIBLE DRESSING, FITTING AND LOCKER ROOMS WHERE NOT ALL SUCH ROOMS ARE ACCESSIBLE.
- DIRECTIONAL SIGNAGE INDICATING THE ROUTE TO THE NEAREST LIKE ACCESSIBLE ELEMENT SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS. THESE DIRECTIONAL SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
 - AT EACH SEPARATE-SEX TOILET INDICATING THE LOCATION OF THE NEAREST UNISEX TOILET.
- TACTILE SIGNAGE SHALL BE LOCATED ON THE WALL TO THE DOOR'S LATCH SIDE AT A HEIGHT OF 60" AFF TO THE BASELINE OF THE HIGHEST TACTILE CHARACTER. SIGNS MAY BE PLACED ON THE NEAREST ADJACENT WALL WHEN THERE IS NO WALL SPACE ON THE LATCH SIDE.
- CHARACTER AND SYMBOLS OF SIGNS SHALL BE IN CONTRAST WITH THEIR BACKGROUND AND SHALL BE EGGSHELL, MATTE, OR OTHER NON-GLARE MATERIALS OR FINISHES.
- ACCESSIBLE SIGNAGE SHALL USE GRADE II BRAILLE AND MUST COMPLY WITH ANSI A117.1 SECTION 703.4.

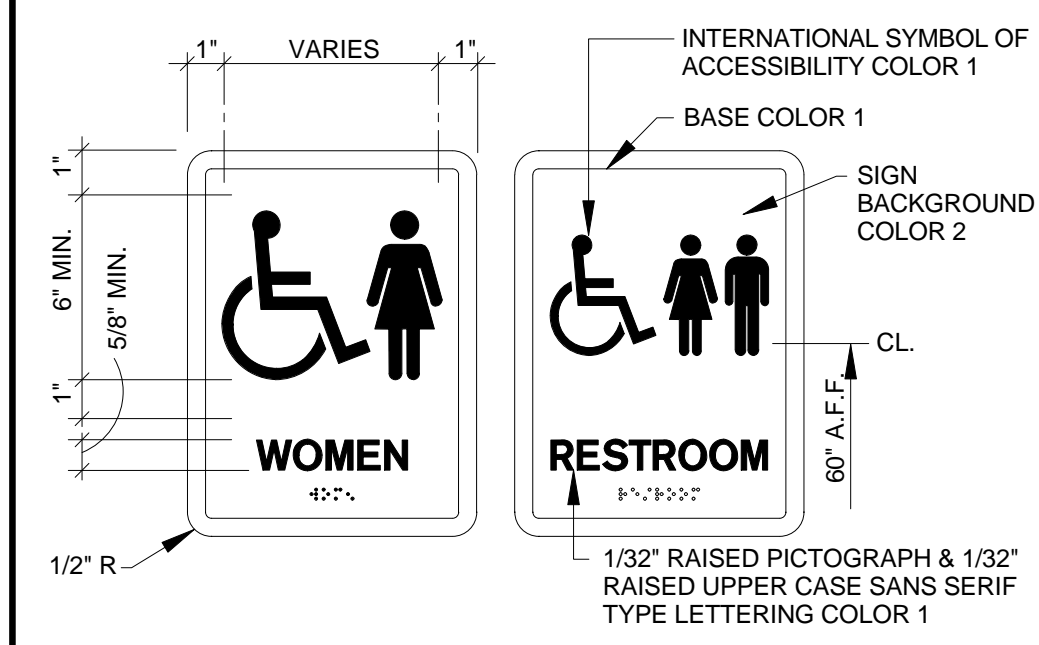
MISC. ADA REQUIREMENTS



MANEUVERING CLEARANCE AT DOORS



RESTROOM SYMBOLS



ALL PERMANENT ROOM IDENTIFICATION SIGNS SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT.

SIGNS SHALL BE ADHERED TO SUPPORTING SURFACE BY ADHESIVE, SELECTED FOR HIGH STRENGTH AND DURABILITY OF BOND BETWEEN SIGN BACKING AND SUPPORTING SURFACE MATERIAL.

SIGN BACKGROUND SHALL BE MINIMUM 1/8" THICK ACRYLIC PLATE. BACKGROUND COLOR SHALL BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE OF STANDARD AND CUSTOM COLORS, AND SHALL PROVIDE AT LEAST 70% CONTRAST WITH WHITE FOREGROUND LETTERS. BACKGROUND FINISH SHALL BE NON-GLARE.

ACRYLIC LETTERING SHALL BE RAISED AT LEAST 1/32", AND MAY BE ACHIEVED THROUGH SURFACE APPLICATION, ETCHING OR INJECTION MOLDING.

ALL LETTERS SHALL BE UPPER CASE. LETTER SIZE SHALL BE AS INDICATED, BUT IN NO CASE LESS THAN 5/8" HIGH OR GREATER THAN 2" HIGH. TYPE STYLE SHALL BE HELVETICA MEDIUM, AND COLOR SHALL BE NON-GLARE WHITE.

WHERE MORE THAN ONE ROW OF LETTERING IS REQUIRED, THE LEADING (BLAND SPACE) BETWEEN ROWS SHALL BE APPROXIMATELY 80% OF THE HEIGHT OF THE LETTERING.

GRADE 2 BRAILLE REQUIRED, COLOR TO BE SAME AS SIGN BACKGROUND.

INTERNATIONAL PICTOGRAPH SYMBOLS, WHERE REQUIRED, SHALL BE RAISED AT LEAST 1/32" (SIMILAR TO LETTERS), AND SHALL HAVE A MINIMUM 6" HIGH VERTICAL FIELD. THE EQUIVALENT VERBAL DESCRIPTION (TEXT) OF THE PICTOGRAPH SHALL BE PLACED DIRECTLY BELOW THE PICTOGRAPH, AND SHALL BE ACCOMPANIED BY GRADE 2 BRAILLE.

PICTOGRAMS SHALL BE REQUIRED FOR THE FOLLOWING ROOM SIGNS: MEN (MALE ACCESSIBLE RESTROOM) WOMEN (FEMALE ACCESSIBLE RESTROOM)

CERTIFICATION

BY

REVISIONS

DATE

DESIGNED BY: JAB
DRAWN BY: LDM
CHECKED BY: VT
APPROVED BY: JAB
SCALE: 0'-0"=1'-0"
DATE: 01-22-2014
JOB NO.: F7068
FILE:

Plans Prepared By:
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Ph: 407-322-6644

Licenses:
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Landscape Lic. No. LC0000298

ADA SPECIFICATIONS

FORT PIERCE STATE FARMERS MARKET

3475 SOUTH US 1 HWY
FORT PIERCE, FLORIDA 34982

Sheet No.
A001

REVISIONS	DATE	DESCRIPTION	BY
#			JAB
1	03/26/2014	ADDENDUM 1 / BID DEDUCTIONS	JAB
2	06/16/2014	ADDENDUM 2 / FINAL ALTERNATE SELECTION	JAB

Designed by:	JAB
Drawn by:	LDM
Checked by:	VT
Approved by:	JAB
Scale:	As Indicated
Date:	01-22-2014
Job No.:	F7066
File:	

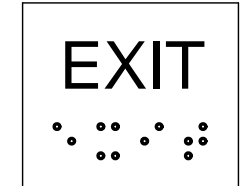
Plans Prepared By
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LIFE SAFETY
FORT PIERCE STATE FARMERS MARKET
3475 SOUTH US 1 HWY
FORT PIERCE, FLORIDA 34982

Sheet No.
A002

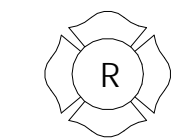
TACTILE EXIT SIGNS

1. PROVIDE ONE TACTILE SIGN STATING "EXIT" NEXT TO EACH EXIT DOOR. SIGN SHALL COMPLY WITH ANSI A117.1 & FBC 11-4.30.
2. SIGNS SHALL BE 6" X 6". LETTERS AND CHARACTERS SHALL BE WHITE. BACKGROUND SHALL BE BLACK
3. LETTER WIDTH TO HEIGHT RATIO = 3:5 MIN., 1:1 MAX. STROKE WIDTH TO HEIGHT RATIO = 1:5 MIN., 1:10 MAX.
4. LETTERS SHALL BE SIMPLE SERIF TYPE, UPPERCASE, 2" HIGH, AND SHALL BE RAISED 1/32".
5. BRAILLE CHARACTERS SHALL BE GRADE 2 BRAILLE. DOTS SHALL BE 1/10" ON CENTER IN EACH CELL, WITH 2/10" SPACE BETWEEN CELLS. DOTS SHALL BE RAISED A MINIMUM OF 1/40" ABOVE THE BACKGROUND.
6. SIGNS SHALL BE MOUNTED ON THE LATCH SIDE OF THE DOOR. SIGNS SHALL BE 60" AFF AND 9" FROM DOOR OPENING (EACH MEASURED TO CENTER OF SIGN).



LIFE SAFETY NOTES:

IN ACCORDANCE WITH FLORIDA ADMINISTRATIVE CODE 69A-60.0081, THE MAIN ENTRANCE DOOR SHALL BE MARKED WITH AN APPROVED MALTESE CROSS SHOWING THAT THE ROOF STRUCTURE OF THE STORAGE BUILDING CONTAINS LIGHT FRAME TRUSS TYPE CONSTRUCTION. APPROVED SYMBOL - MEANS A MALTESE CROSS MEASURING 8 INCHES HORIZONTALLY AND 8 INCHES VERTICALLY AND MADE OF A BRIGHT RED REFLECTIVE COLOR. SEE DESIGN EXAMPLE TO THE RIGHT OF THIS NOTE. SYMBOL WILL BE LOCATED 24 INCHES TO THE LEFT OF THE MAIN ENTRY DOOR AND BE PERMANENTLY ATTACHED TO THE FACE OF THE STRUCTURE. SYMBOL WILL NOT BE LESS THAN 4 FEET A.F.F. AND NOT MORE THAN 6' A.F.F.



LIFE SAFETY GENERAL NOTES:

1. EXIT LIGHTS SHALL BE PROVIDED AT ALL DOORS ALONG THE EGRESS PATH. RE: ELEC. DWGS.
2. EMERGENCY LIGHTING SHALL BE PROVIDED AS REQUIRED BY CODE. RE: ELEC. DWGS.
3. EACH SINGLE SWINGING DOOR AND GATE SHALL PROVIDE 33" MIN. CLEAR WHEN THE DOOR OR GATE IS FULLY OPEN AND SHALL HAVE AN EGRESS CAPACITY OF 165 PEOPLE.
4. EACH DOUBLE SWINGING DOOR SHALL PROVIDE 66" MIN. CLEAR WHEN THE DOORS ARE FULLY OPEN AND SHALL HAVE AN EGRESS CAPACITY OF 330 PEOPLE.
5. ALL DOOR HARDWARE SHALL MEET ALL APPLICABLE CODE REQUIREMENTS FOR EGRESS AND HANDICAP ACCESSIBILITY. RE: DOOR AND HARDWARE SCHEDULE.
6. ALL RESTROOMS SHALL MEET ALL APPLICABLE CODE REQUIREMENTS. RE: ENLARGED RESTROOM PLANS AND DETAILS.
7. ALL DIMENSION SHOWN ON THIS PLAN ARE MINIMUM CLEAR DIMENSIONS. RE: FLOOR PLAN FOR EXACT DIMENSIONS.
8. ALL SIDEWALKS SHALL HAVE A 5% MAX. SLOPE IN THE DIRECTION OF TRAVEL AND A 2% MAX. CROSS SLOPE. CONTRACTOR SHALL CONFIRM THAT ALL EXISTING SIDEWALKS MEET THESE REQUIREMENTS.
9. ALL HANDICAP RAMPS HAVE A SLOPE OF 1:12 MAX AND SHALL HAVE A SURFACE THAT COMPLIES WITH THE REQUIREMENTS OF FBC 11-4.29.2, ANSI 1117.1-1996, AND ALL ADA REQUIREMENTS. CONTRACTOR SHALL CONFIRM THAT ALL EXISTING SIDEWALKS MEET THESE REQUIREMENTS.
10. GC SHALL CONFIRM THERE IS AN EXISTING KNOX BOX AT THE MAIN ENTRANCE. IF NOT, GC SHALL PROVIDE A NEW ONE. GC SHALL COORDINATE THE EXACT LOCATION, MOUNTING HEIGHT, AND TYPE WITH THE LOCAL FIRE OFFICIAL.
11. SYMBOL INDICATES FIRE EXTINGUISHER (10 LB-460BC) WITH MOUNTING BRACKET OR IN CABINET. ONE EACH TO BE MOUNTED NEXT TO THE MAIN EXIT DOORS FROM THE BUILDING. RE: LIFE SAFETY PLAN FOR EXACT LOCATIONS. MOUNT 44" AFF MAX PROVIDE BLOCKING IN WALL FOR MOUNTING SUPPORT AS NEEDED. GC TO COORDINATE EXACT TYPE, LOCATION, AND MOUNTING HEIGHT WITH LOCAL FIRE OFFICIAL. RE-USE EXISTING FIRE EXTINGUISHERS AND LOCATIONS IF POSSIBLE.



CLASSIFICATION OF INTERIOR FINISHES

(W/O SPRINKLER)
EXIT ENCLOSURES, EXIT PASSAGEWAYS CLASS - A, AND CORRIDORS - CLASS B. ALL OTHER SPACES - CLASS C
CLASS A = FLAME-SPREAD 0-25, SMOKE DEV. 0-450
CLASS B = FLAME-SPREAD 26-75, SMOKE DEV. 0-450
CLASS C = FLAME-SPREAD 76-200, SMOKE DEV. 0-450

MEANS OF EGRESS (FBC 2010)

OCCUPANT LOAD ALLOWANCES PER OCCUPANT	MAXIMUM FLOOR AREA
BUSINESS AREAS	100 SF PER OCCUPANT
MERCANTILE	30 SF PER OCCUPANT

MAXIMUM EXIT ACCESS TRAVEL DISTANCE

M-OCCUPANCY (NON - SPRINKLED)	150 FEET
-------------------------------	----------

OCCUPANCY CALCULATIONS

SPACE / USE	OCCUPANCY	AREA	OCCUPANT PER S.F.	OCCUPANT LOAD
OFFICES / RESTROOM	BUSINESS	180	1/100	2
MAIN FLOOR	STORAGE	878	1/30	30
COOLER / FREEZER	STOCK ROOM	221	1/300	1
	SUBTOTAL	1279 S.F.		33 PEOPLE
CANOPY		1130 S.F.		
	TOTAL	2409 S.F.	TOTAL OCCUPANTS	33 PEOPLE

TOTAL EXIT WIDTH REQUIRED TOTAL OCCUPANT LOAD x 0.2 INCHES PER PERSON = INCHES
REQUIRED ACTUAL 33 PEOPLE x 0.2 INCHES PER PERSON =
6.6 INCHES REQUIRED

EXIT WIDTH PROVIDED

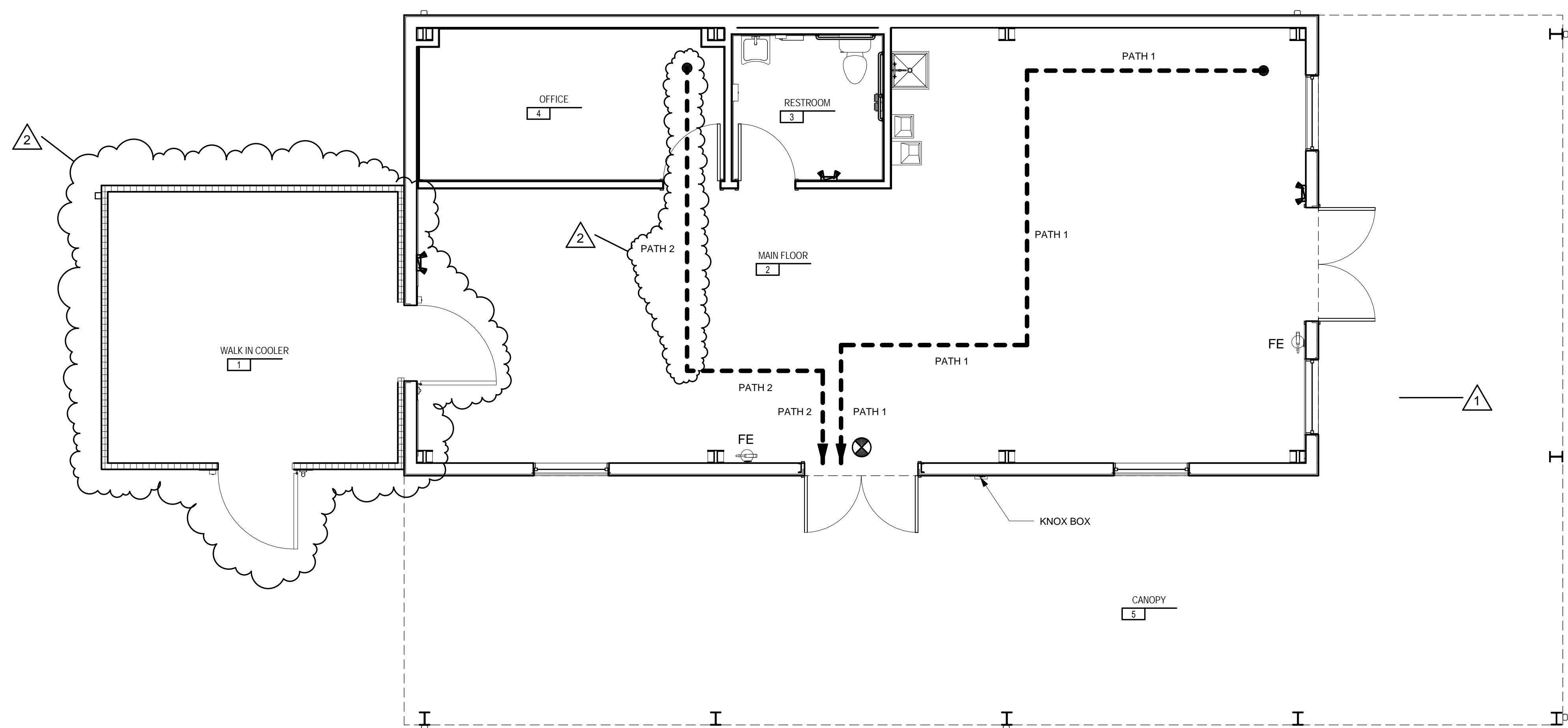
1 FRONT DOOR:	72 INCHES CLEAR WIDTH
1 SIDE DOOR:	72 INCHES CLEAR WIDTH
TOTAL PROVIDED	144 INCHES CLEAR WIDTH PROVIDED

LIFE SAFETY LEGEND

- INTERIOR LUMINATED EXIT SIGNAGE
- EMERGENCY LIGHTING
- FIRE EXTINGUISHER / 10LB TYPE ABC

EGRESS DATA

EXIT ROUTE	DISTANCE
PATH 1	43' - 1"
PATH 2	28' - 1"



LIFE SAFETY PLAN
1/4" = 1'-0"



NOTE: THE SCALE OF THESE PLANS MAY HAVE CHANGED DUE TO REPRODUCTION

SET #1 - EXTERIOR
DOORS: 2A, 2B

2	CONTINUOUS HINGE	CFM83HD X LAR	ALUM	PE
1	LOCKSET	63 8245 LNL	32D	SA
1	DOOR CLOSER	281 PSH	EN	SA
1	DOOR HOLDER	590H SERIES	26D	SA
2	FLUSH BOLTS	556WS	32D	RO
1	DPS	570	26D	RO
2	KICKPLATE	10" X 2" LWOD	US32D	RO
1	THRESHOLD	2005AV X LAR	ALUM	PE
2	SWEEP	315CN X LAR	ALUM	PE
1	WEATHERSTRIP	S88D X LAR	ALUM	PE
1	ASTRAGAL	357SP + S88D X LAR	STEEL	PE

NOTE: ALL HARDWARE TO COMPLY WITH FLORIDA WINDSTORM CODES

SET #2 - ROLLUP DOOR

DOOR: 2

1	PADLOCK	63-758 - 4" C	BRASS SA
---	---------	---------------	----------

NOTE: BALANCE OF HARDWARE BY ROLLUP MANUFACTURER.

SET #3 - RESTROOM

DOOR: 3

3	HINGES	TA2714 4 1/2 X 4 1/2	26D	MC
1	PRIVACY LOCK	49-8265 LNL	26D	SA
1	WALL STOP	409	US32D	RO
3	DOOR SILENCERS	608		RO

NOTE: 49- IS AN OCCUPANCY INDICATOR TO ALERT STATUS OF RESTROOM

SET #4 - OFFICE

DOOR: 4

3	HINGES	TA2714 4 1/2 X 4 1/2	26D	MC
1	OFFICE LOCK	63-8205 LNL	26D	SA
1	WALL STOP	409	US32D	RO
3	DOOR SILENCERS	608	RO	

MANUFACTURERS

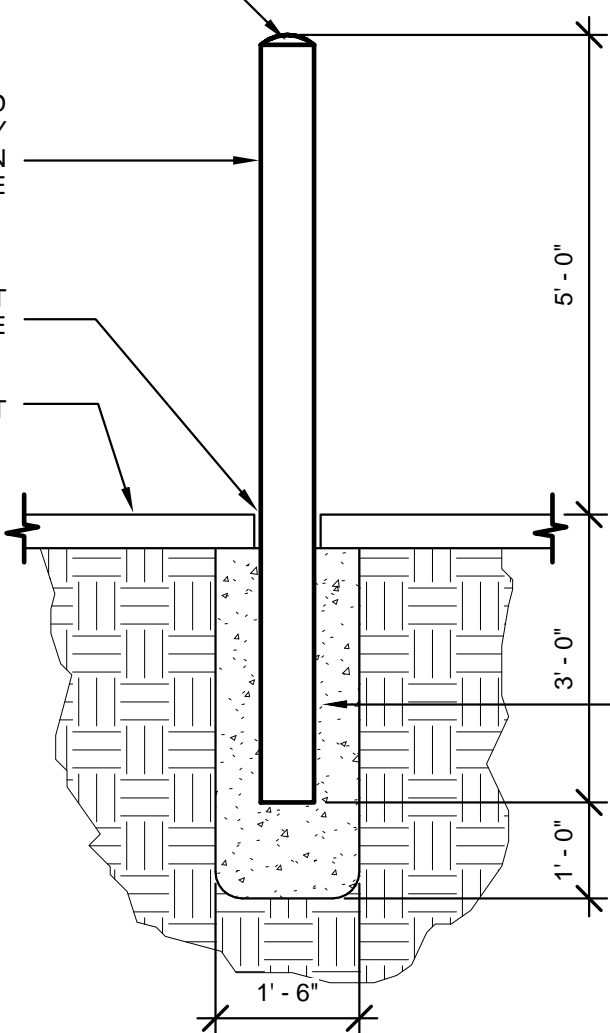
MC = MCKINNEY
SA = SARGENT MFG
RO = ROCKWOOD MFG
PE = PEMKO MFG

CONCRETE TO BE RAISED FOR PROPER WATER RUN OFF

4" DIAMETER STEEL PIPE FILLED W/ CONC. PAINTED SAFETY YELLOW AND EM-BEDDED IN CONC. BASE

BITUMINOUS JOINT AROUND PIPE

TOP OF SLAB OR ASPHALT



NOTE: BOLLARDS REQ'D AT FIRE HYDRANTS, WATER METER, GAS METER, SPRINKLER RISER, TRANSFORMER & ALL UTILITIES AT LOCATIONS.

1 BOLLARD DETAIL
1/2" = 1'-0"

FLOOR KEY NOTES:

- 1 PRE MANUFACTURED WALK IN COOLER
- 2 MOP SINK - 48" X 48" FRP BEHIND SINK
- 3 PREFINISHED ALUMINUM DOWNSPOUT

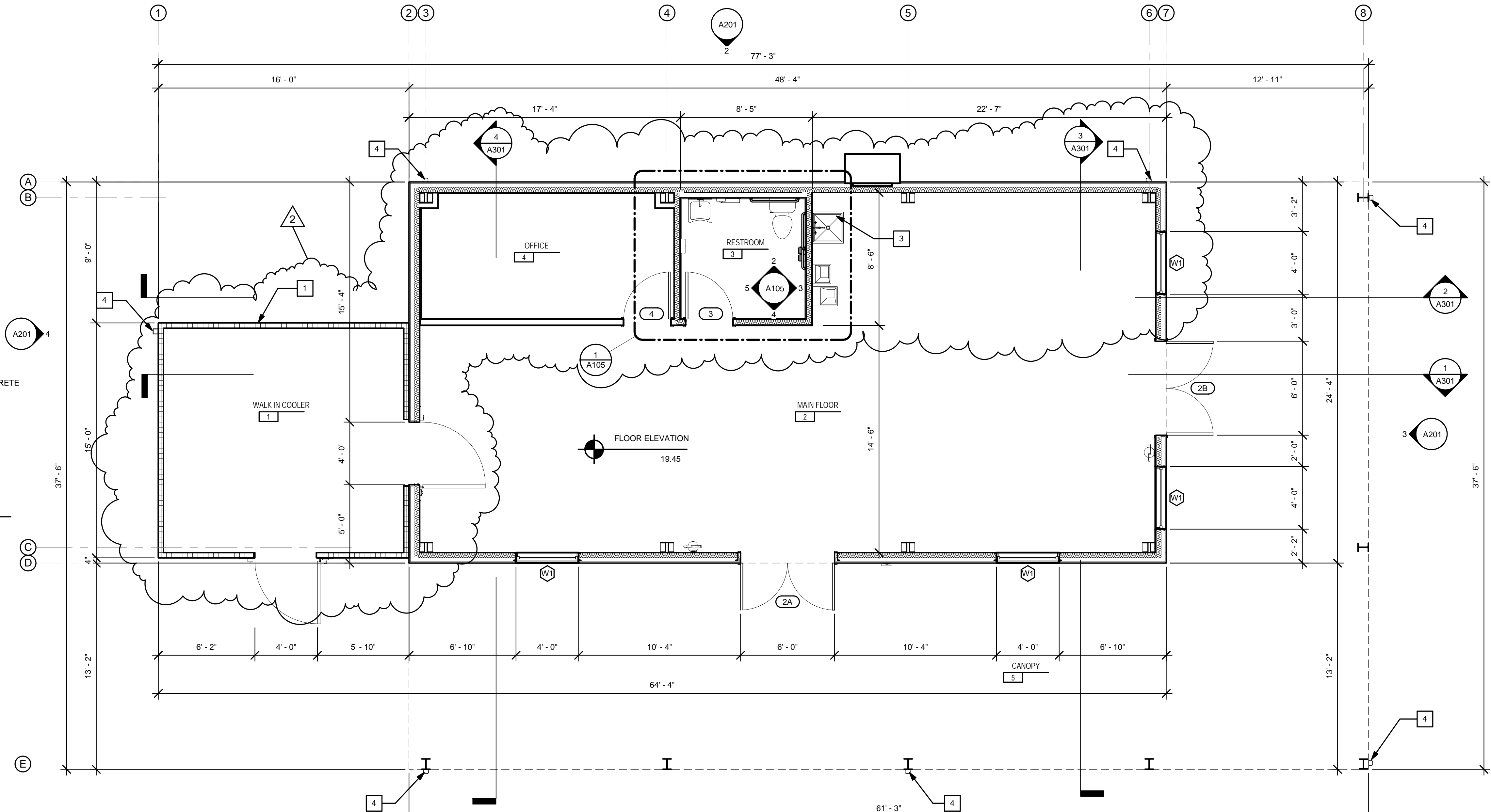
FLOOR PLAN LEGEND

- ⬡ WINDOW TYPE - REFER TO WINDOW SCHEDULE ON SHEET A101
- ⬢ DOOR TYPE - REFER TO WINDOW SCHEDULE ON SHEET A101
- ⬤ KEYNOTE

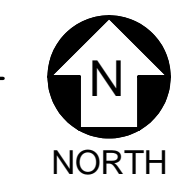
DOOR #	ROOM NAME	DOOR SIZE			DOOR		LITE SIZE	LOUVER	LABEL	DETAILS		FRAME		HARDWARE SET	COMMENT
		WIDTH	HEIGHT	THICKNESS	DOOR FINISH	HEAD				JAMB	THRESHOLD	MATERIAL	FINISH		
2A	MAIN FLOOR	(2) 3'-0"	7'-0"	1 3/4"	HOLLOW METAL	N/A	N/A	N/A	4/A501	5/A501		HOLLOW METAL	PAINTED	1	
2B	MAIN FLOOR	(2) 3'-0"	7'-0"	1 3/4"	HOLLOW METAL	N/A	N/A	N/A	4/A501	5/A501		HOLLOW METAL	PAINTED	1	
3	UNISEX RESTROOM	3'-0"	7'-0"	1 3/4"	HOLLOW METAL	N/A	N/A	N/A	2/A501	3/A501		HOLLOW METAL	PAINTED	3	
4	OFFICE	3'-0"	7'-0"	1 3/4"	HOLLOW METAL	N/A	N/A	PRIVATE / OFFICE	2/A501	3/A501		HOLLOW METAL	PAINTED	4	

MARK	ROOM NUMBER	ROOM NAME	WIDTH	HEIGHT	SILL HEIGHT	FRAME MATERIAL	GLAZING		OPERATION	COMMENTS
							NORTH MATERIAL	NORTH FINISH		
W1	2	MAIN FLOOR	4'-0"	4'-0"	2'-10"	ALUMINUM	HIGH IMPACT GLAZING		FIXED	SET SILL HEIGHT AT FIRST PURLIN PER PREMANUFACTURER SHOP DRAWINGS
W1	2	MAIN FLOOR	4'-0"	4'-0"	2'-10"	ALUMINUM	HIGH IMPACT GLAZING		FIXED	SET SILL HEIGHT AT FIRST PURLIN PER PREMANUFACTURER SHOP DRAWINGS
W1	2	MAIN FLOOR	4'-0"	4'-0"	2'-10"	ALUMINUM	HIGH IMPACT GLAZING		FIXED	SET SILL HEIGHT AT FIRST PURLIN PER PREMANUFACTURER SHOP DRAWINGS
W1	2	MAIN FLOOR	4'-0"	4'-0"	2'-10"	ALUMINUM	HIGH IMPACT GLAZING		FIXED	SET SILL HEIGHT AT FIRST PURLIN PER PREMANUFACTURER SHOP DRAWINGS

NUMBER	NAME	FLOOR		BASE		WALLS						CEILING			NOTES / REMARKS		
		FLOOR FINISH	FLOOR COLOR	BASE FINISH	BASE COLOR	NORTH MATERIAL	NORTH FINISH	EAST MATERIAL	EAST FINISH	SOUTH MATERIAL	SOUTH FINISH	WEST MATERIAL	WEST FINISH	CEILING MATERIAL		CEILING FINISH	CEILING HEIGHT
2	MAIN FLOOR	CONCRETE	CLEAR	RESILIENT	OWNER	INSULATION		INSULATION		INSULATION		INSULATION		EXPOSED	EXPOSED	EXPOSED	PROVIDE 4' X 4' FRP PANEL OVER GWB BEHIND SERVICE SINK
3	RESTROOM	CONCRETE	CLEAR	RESILIENT	OWNER	MRGWB	PAINT	MRGWB	PAINT	MRGWB	PAINT	MRGWB	PAINT	MRGWB	PAINT	MRGWB	PAINT
4	OFFICE	CONCRETE	CLEAR	RESILIENT	OWNER	MRGWB	PAINT	MRGWB	PAINT	MRGWB	PAINT	MRGWB	PAINT	MRGWB	PAINT	MRGWB	PAINT



PROPOSED FLOOR PLAN
1/4" = 1'-0"



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CERTIFICATION

JOHN A. BAER, AIA

REVISIONS	DATE	DESCRIPTION	BY
1	06/16/2014	ADDENDUM 2 / FINAL ALTERNATE SELECTION	JAB
2			

Designed by: JAB
Drawn by: LDM
Checked by: VT
Approved by: JAB
Scale: As Indicated
Date: 01-22-2014
Job No.: F7066
File: C:\Users\jbaer\Documents\FORT PIERCE FARMERS MARKET (FINAL).dwg


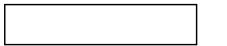
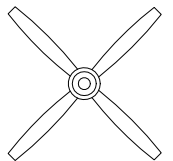





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FLOOR PLAN
FORT PIERCE STATE FARMERS MARKET
3475 SOUTH US HWY
FORT PIERCE, FLORIDA 34982

NOTE: THE SCALE OF THESE PLANS MAY HAVE CHANGED DUE TO REPRODUCTION

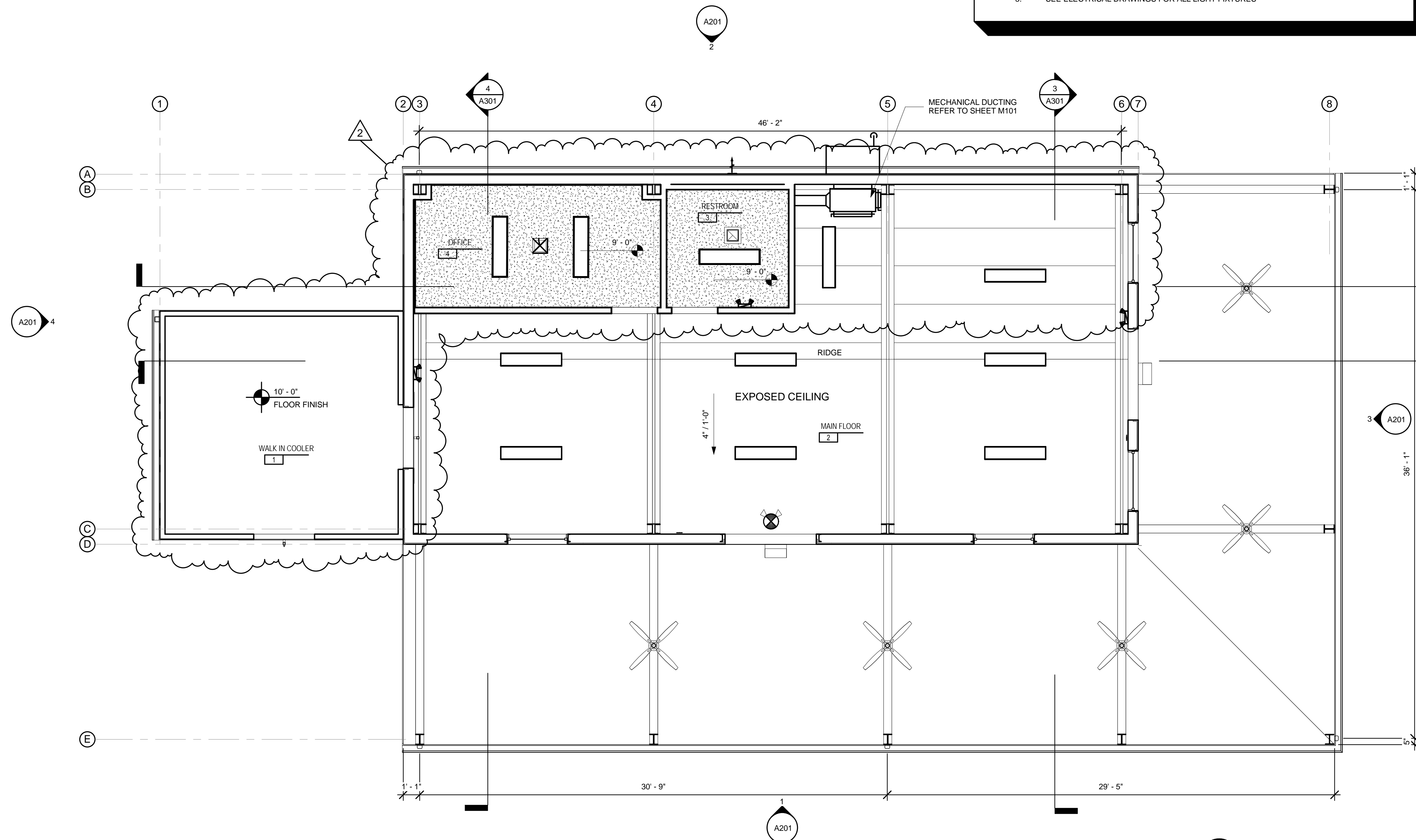
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CEILING PLAN LEGEND

-  GYPSUM CEILING BOARD
-  1X4 CEILING HUNG FLUORESCENT LIGHTING - REFER TO ELECTRICAL
-  EXTERIOR CEILING FAN
-  CEILING SUPPLY DIFFUSER. SEE MECHANICAL DWGS.
-  CEILING RETURN DIFFUSER. SEE MECHANICAL DWGS.
-  EXIT SIGN, ARROW INDICATES EXIT DIRECTION. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION
-  EMERGENCY LIGHTS RE: ELECTRICAL DRAWINGS
-  EXHAUST FAN

CEILING PLAN GENERAL NOTES

1. FIXTURES, CONDUITS, DUCTWORK, PIPING, ETC. SHALL BE INSTALLED AS HIGH AS POSSIBLE.
2. ADDITIONAL DIRECTIONAL EXIT SIGNS MAY BE REQUIRED. CONTRACTOR TO VERIFY QUANTITIES AND COORDINATE LOCATIONS IN THE FIELD WITH THE FIRE DEPARTMENT FIRE INSPECTOR.
3. EMERGENCY LIGHTING SHALL COMPLY WITH THE 2010 NATIONAL ELECTRIC CODE.
4. MECHANICAL DIFFUSERS TO MATCH ADJACENT CEILING TILE.
5. SEE ELECTRICAL DRAWINGS FOR ALL LIGHT FIXTURES



REVISIONS		DATE	DESCRIPTION	BY
#	2	09/16/2014	APPENDIX 2 / FINAL ALTERNATE SELECTION	JAB

Designed by:	JAB
Drawn by:	LDM
Checked by:	VT
Approved by:	JAB
Scale:	As indicated
Date:	01-22-2014
Job No.:	F7086
File:	

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REFLECTED CEILING PLAN
FORT PIERCE STATE FARMERS MARKET
3475 SOUTH US 1 HWY
FORT PIERCE, FLORIDA 34982

REFLECTED CEILING PLAN
1/4" = 1'-0"



NOTE: THE SCALE OF THESE PLANS MAY HAVE CHANGED DUE TO REPRODUCTION

REVISIONS	DATE	DESCRIPTION	BY
# 2	09/16/2014	ADDENDUM 2 / FINAL ALTERNATE SELECTION	JAB

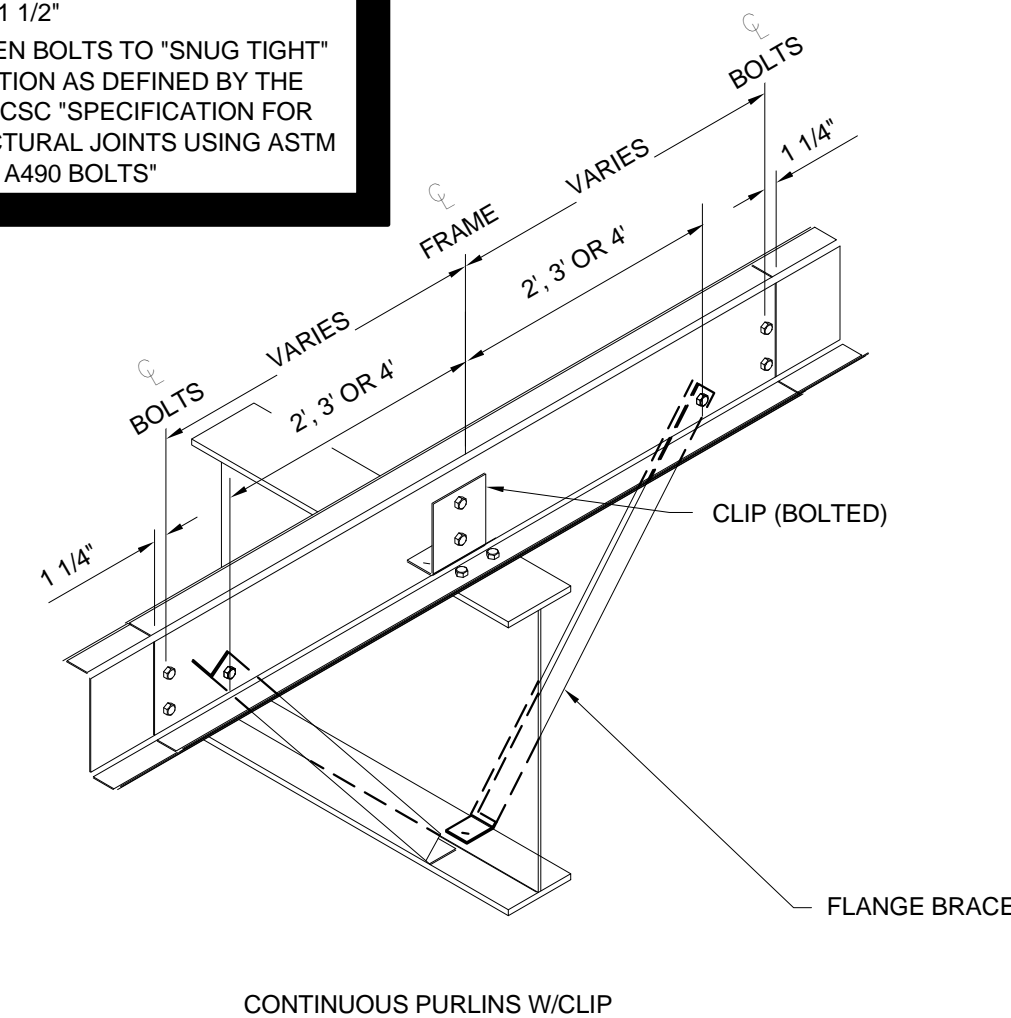
Designed by:	JAB
Drawn by:	LDM
Checked by:	VT
Approved by:	JAB
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Date:	01-22-2014
Job No.:	F7686
File:	

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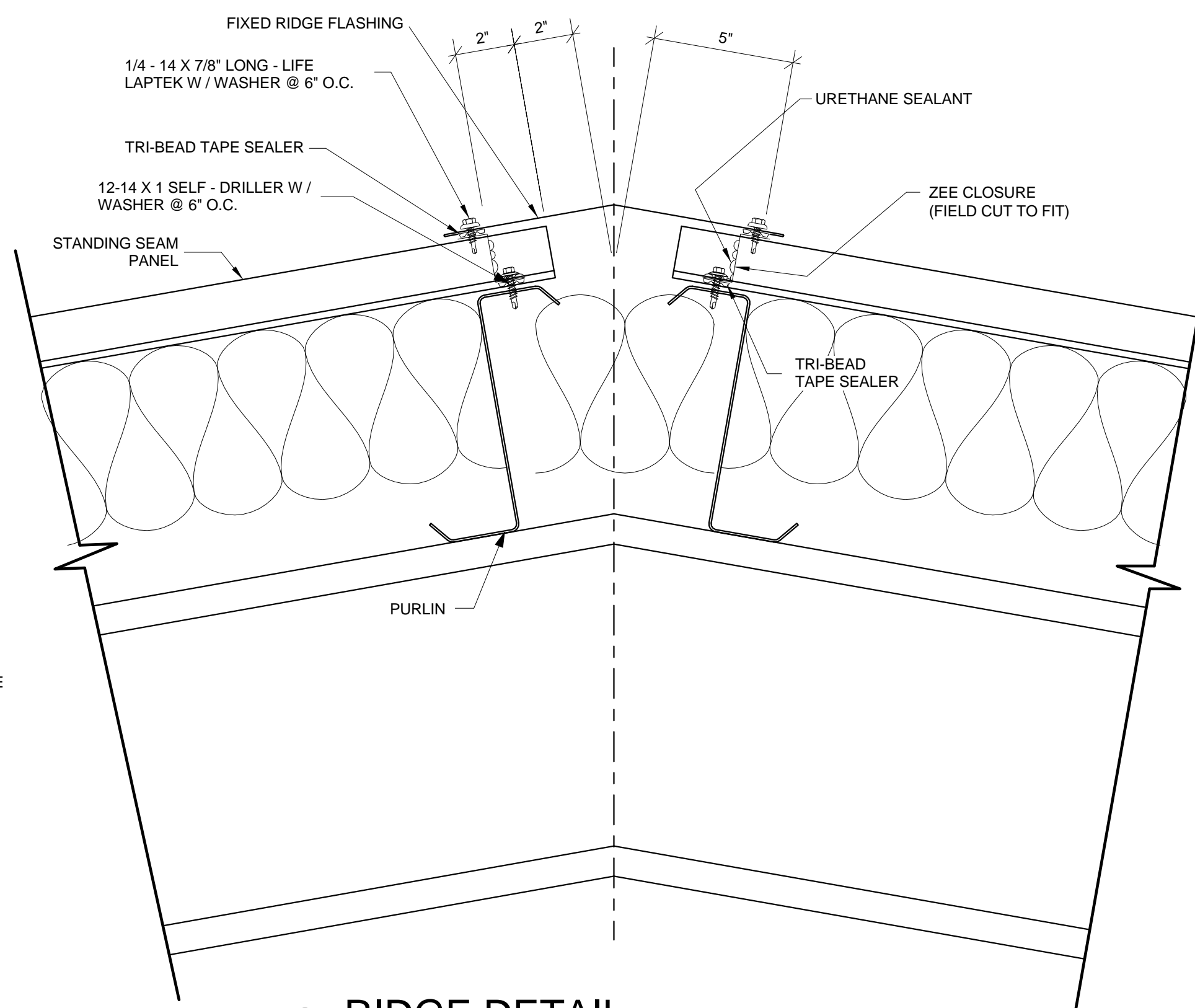
ROOF PLAN
FORT PIERCE STATE FARMERS MARKET
3475 SOUTH US 1 HWY
FORT PIERCE, FLORIDA 34982

Sheet No.
A104

NOTE: ALL BOLTS TO BE
1/2" X 1 1/2"
TIGHTEN BOLTS TO "SNUG TIGHT"
CONDITION AS DEFINED BY THE
AISC/RCS SC SPECIFICATION FOR
STRUCTURAL JOINTS USING ASTM
325 OR A490 BOLTS

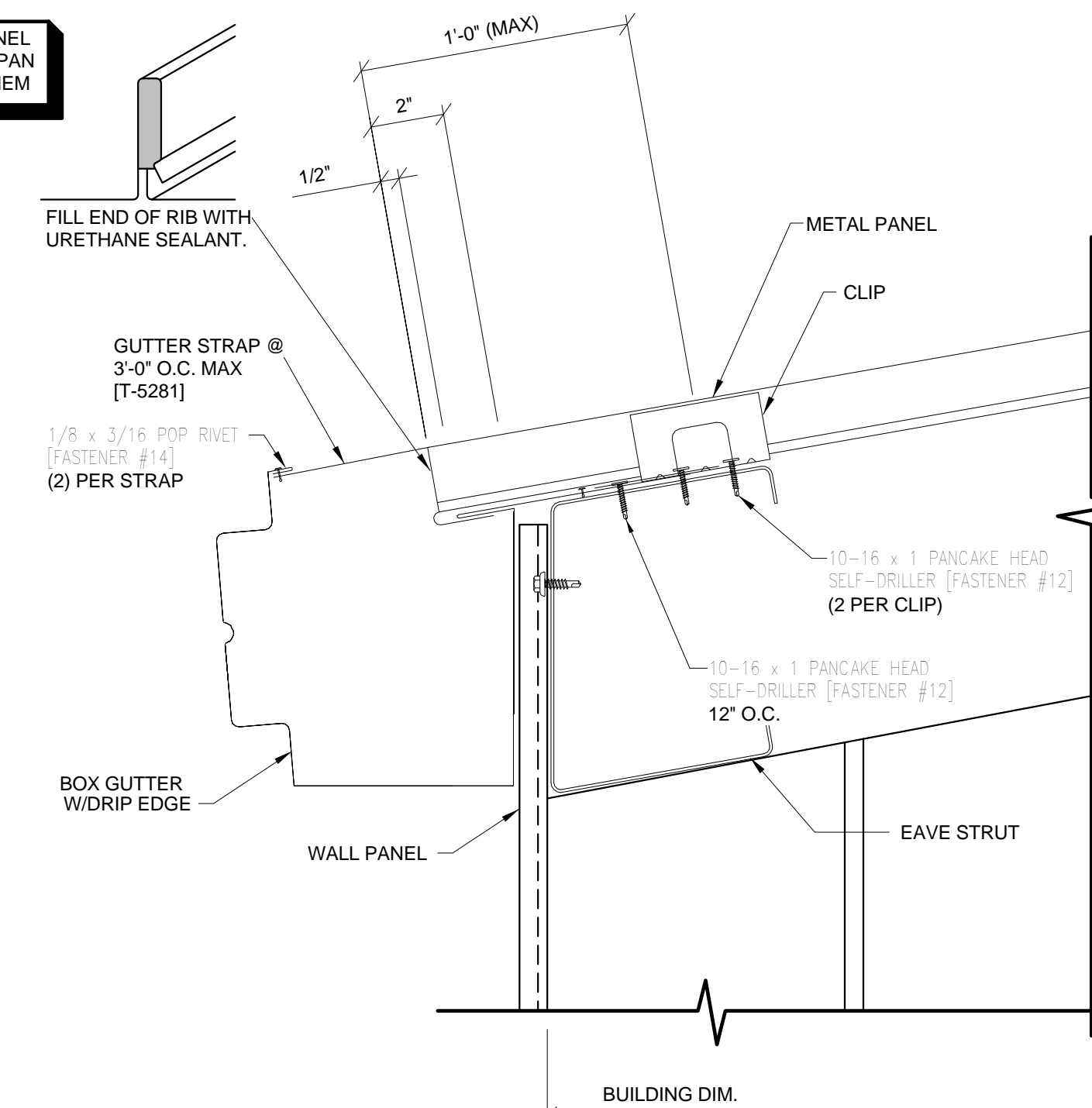


1 PURLIN AT ROOF FRAMING
N.T.S.

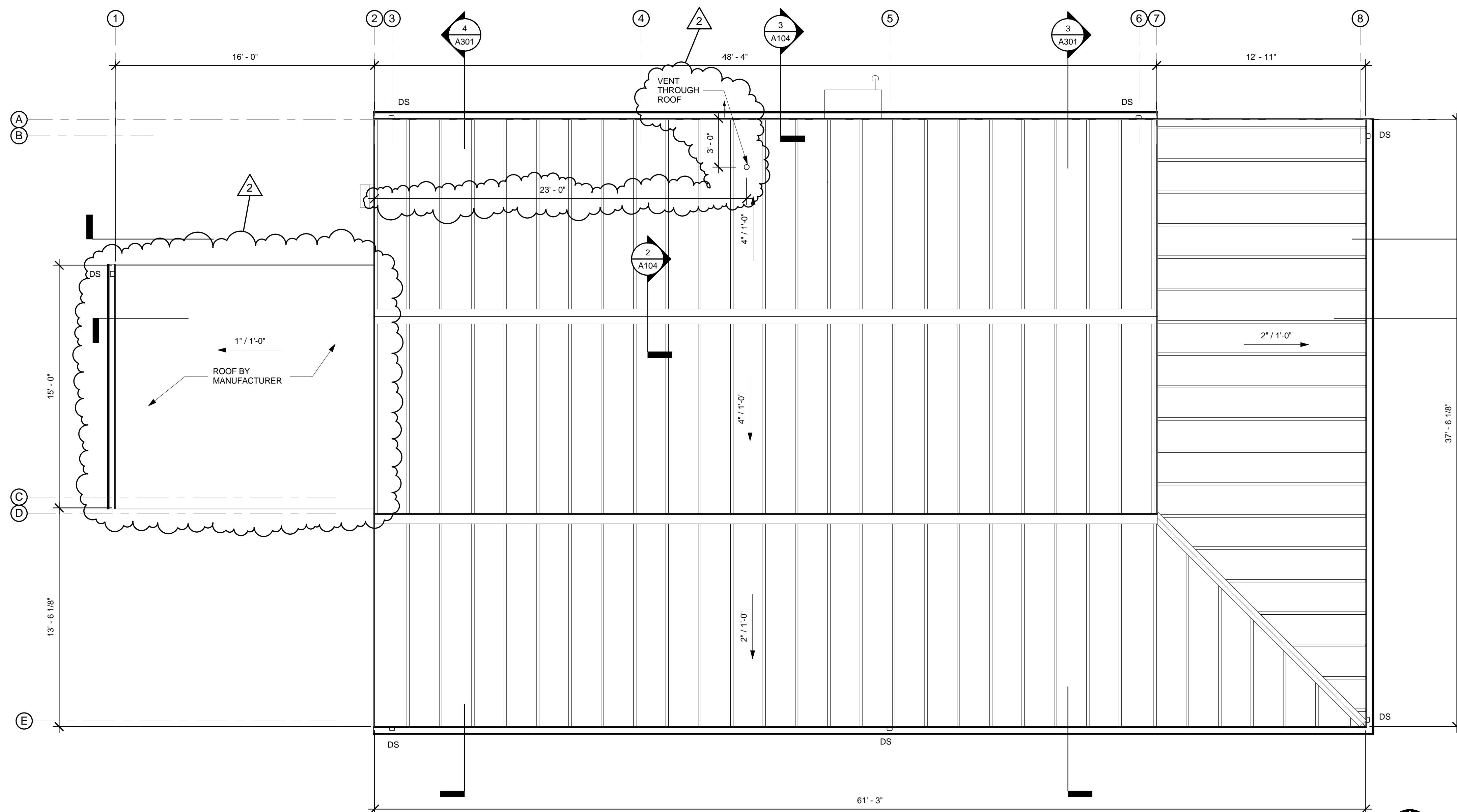


2 RIDGE DETAIL
3" = 1'-0"

FIELD NOTCH PANEL
LEGS AND BEND PAN
TO FORM OPEN HEM



3 EAVE DETAIL
3" = 1'-0"



ROOF PLAN
1/4" = 1'-0"



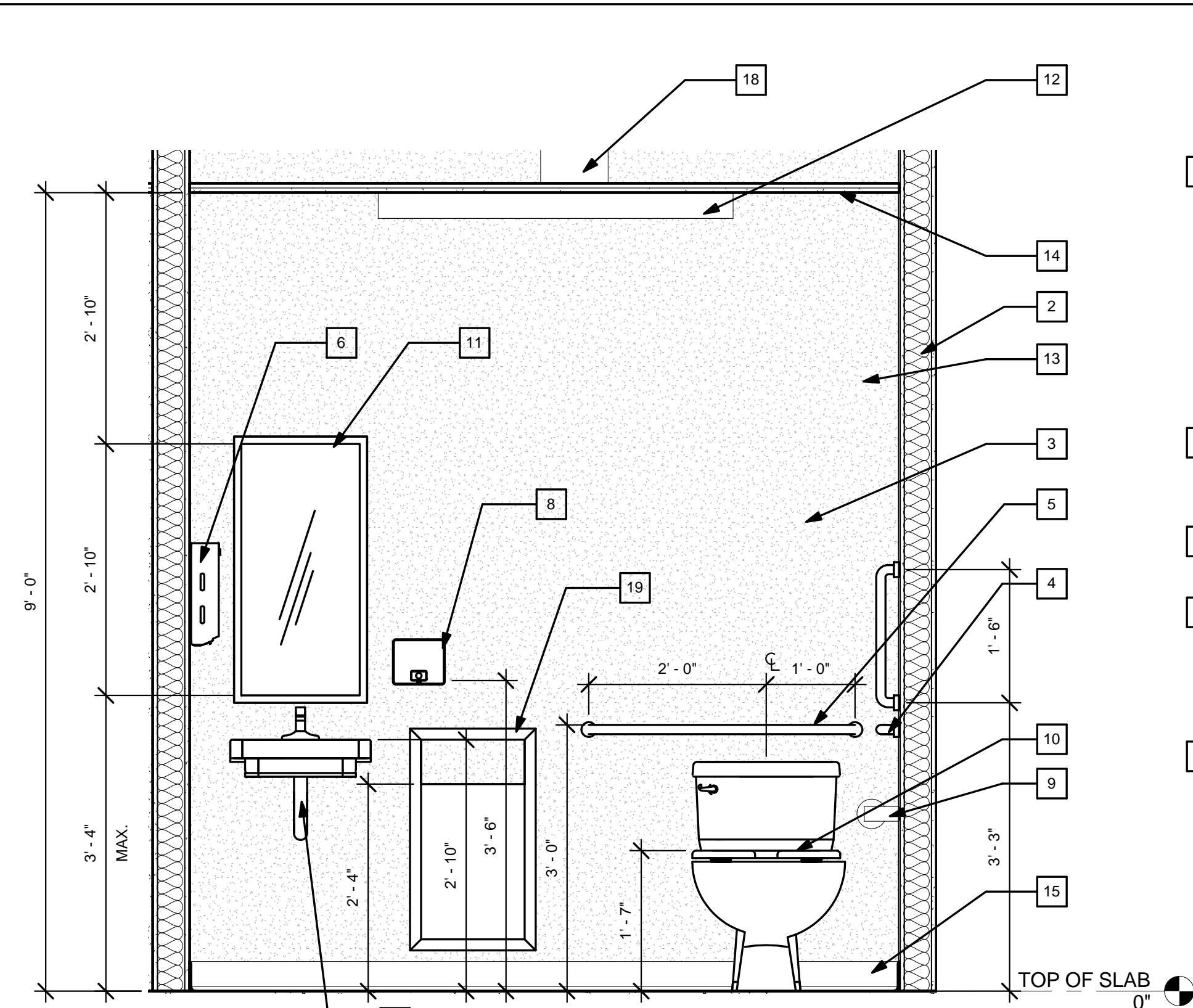
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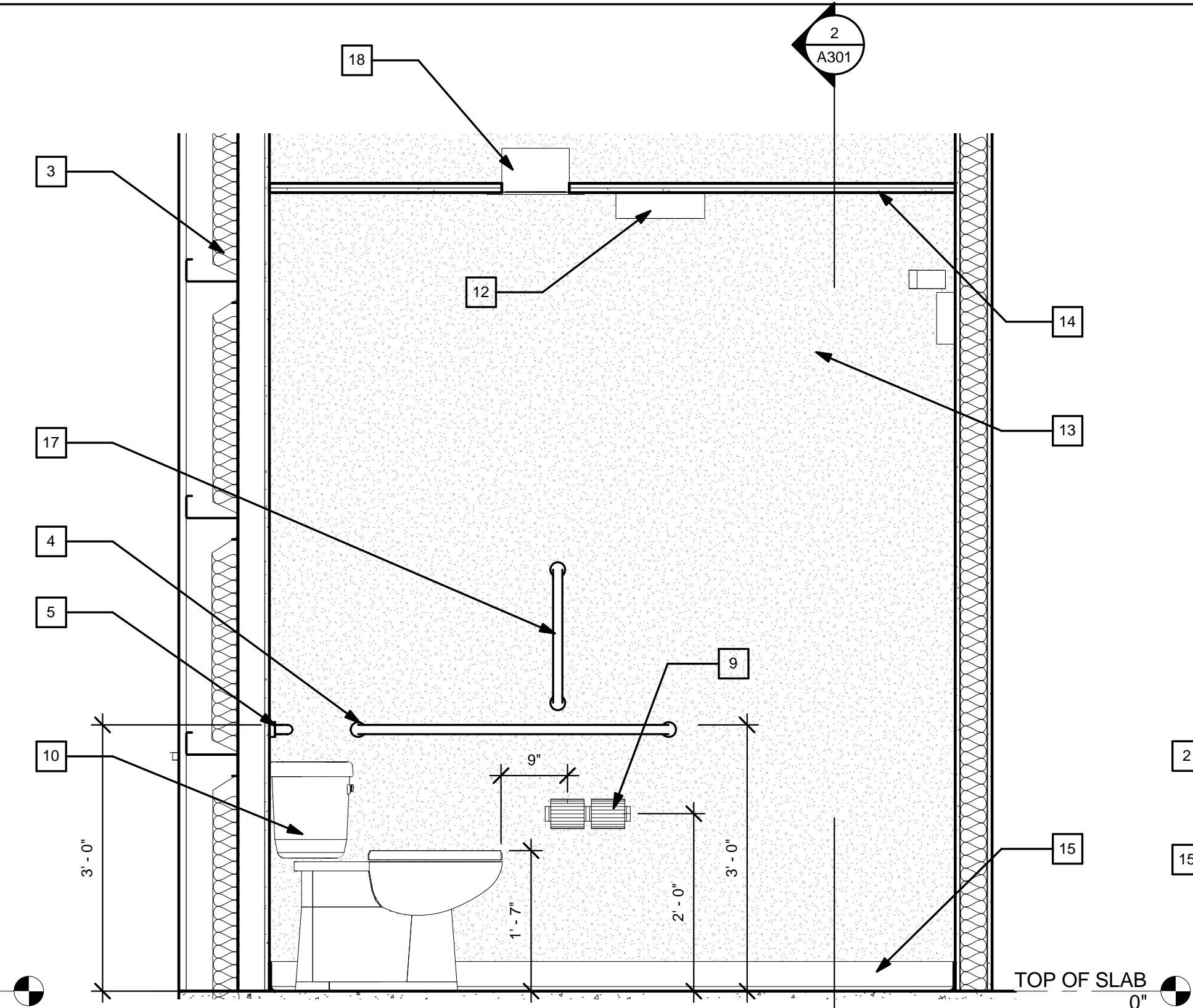
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Licenses:
Eng. C.O.A. No. 3215
Survey L.B. No. 7143
Arch. Lic. No. AA2600926
Landscape Lic. No. LC0000298

ENLARGED PLANS
FORT PIERCE STATE FARMERS MARKET
3475 SOUTH US 1 HWY
FORT PIERCE, FLORIDA 34982

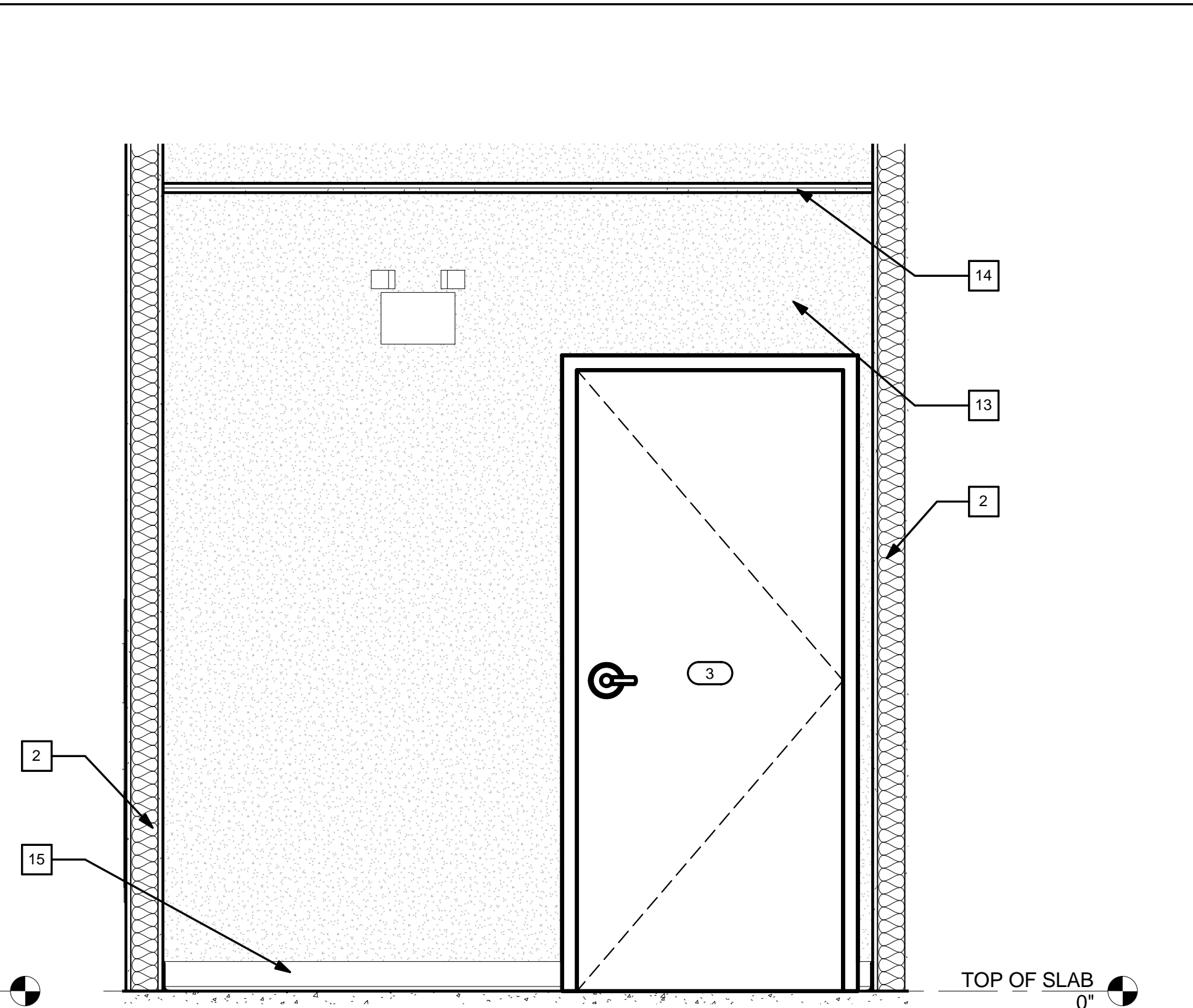
Sheet No.
A105



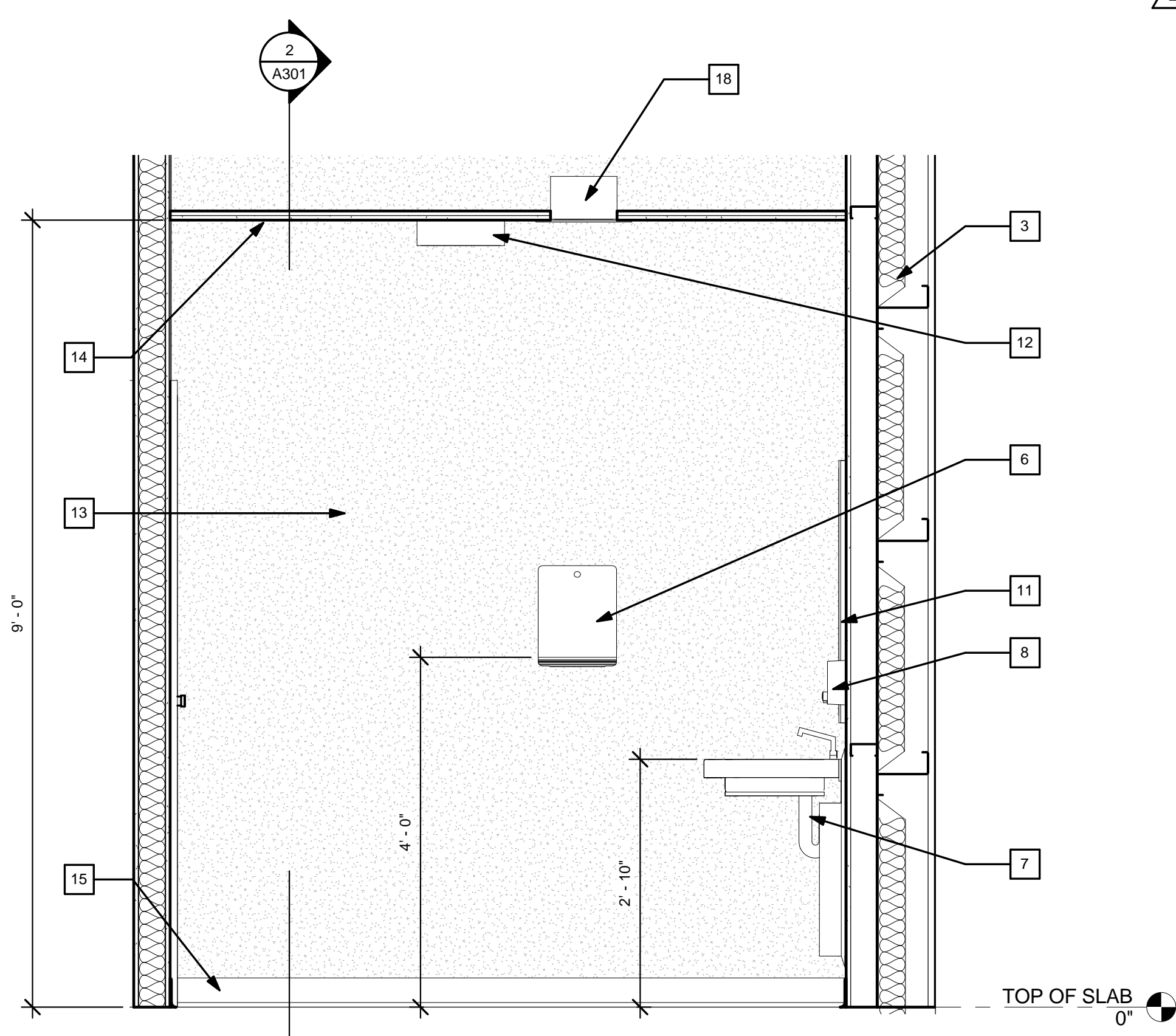
2 INTERIOR NORTH ELEVATION
3/4" = 1'-0"



3 INTERIOR EAST ELEVATION
3/4" = 1'-0"



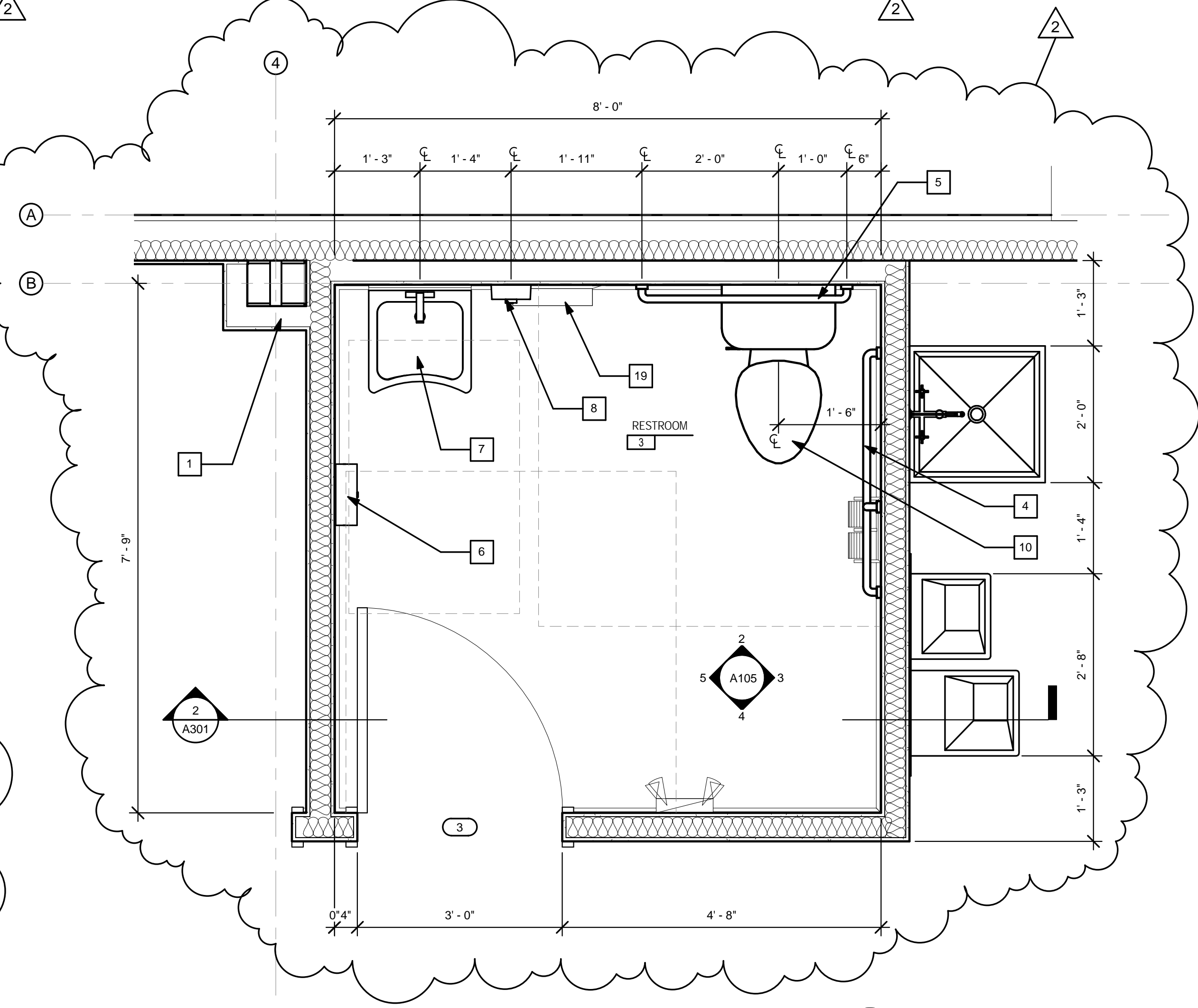
4 INTERIOR SOUTH ELEVATION
3/4" = 1'-0"



5 INTERIOR WEST ELEVATION
3/4" = 1'-0"

FLOOR PLAN KEYNOTES

1. WRAP COLUMN TO 1'-0" ABOVE CEILING
2. 3" SOUND BATT AROUND RESTROOM WALL
3. EXTERIOR WALL
4. 42" GRAB BAR
5. 36" GRAB BAR
6. WALL HUNG PAPER TOWEL DISPENSER
7. ADA HAND SINK - INSTALL TRAP WRAP KIT
8. WALL MOUNTED SOAP DISPENSER
9. DOUBLE TOILET PAPER DISPENSER
10. FLOOR MOUNTED WATER CLOSET - FLUSH CONTROL LOCATED ON LAVATORY SIDE
11. ADA MIRROR MOUNTED AT 40° TO REFLECTIVE MIRROR SURFACE - MAX.
12. CEILING MOUNTED LIGHT FIXTURE
13. GYPSUM WALL BOARD FINISH - PAINTED
14. GYPSUM WALL BOARD CEILING - PAINTED
15. 4" VINYL WALL BASE
16. 4' x 4' SHEET OF FRP OVER GWB BEHIND SERVICE SINK
17. 18" VERTICAL GRAB BAR
18. CEILING MOUNTED EXHAUST FAN
19. SEMI-RECESSED WASTE RECEPTACLE

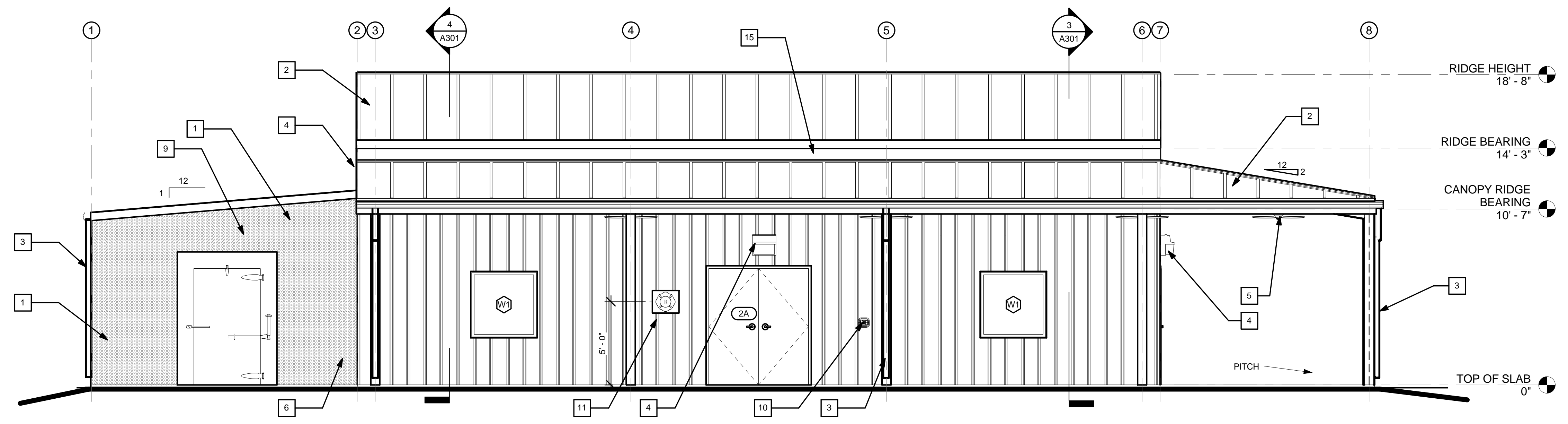


1 RESTROOM PLAN
3/4" = 1'-0"

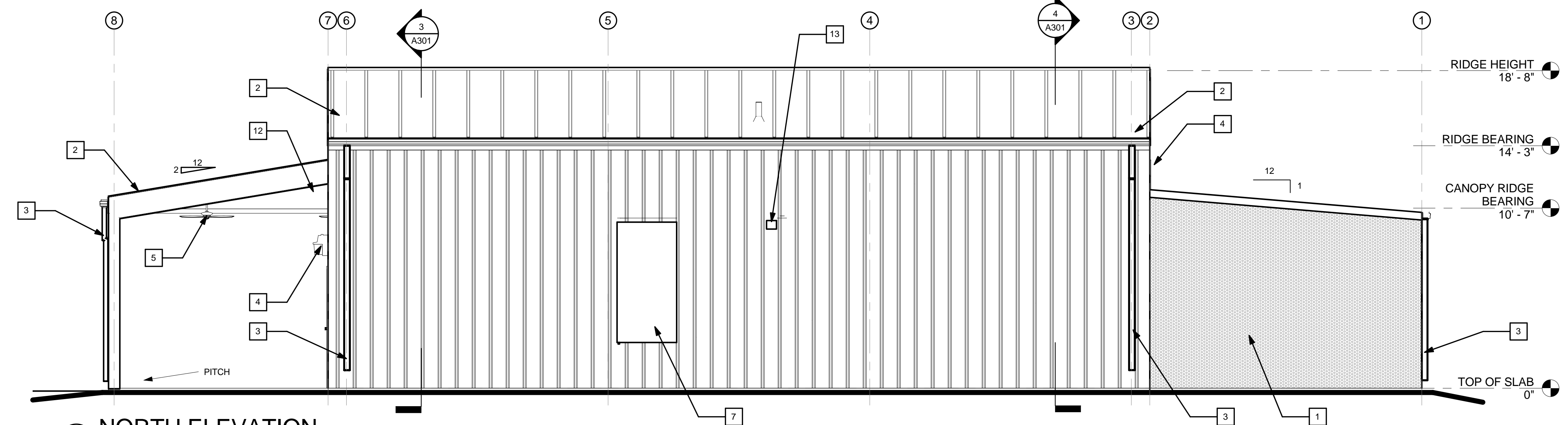


ELEVATION KEY NOTES:

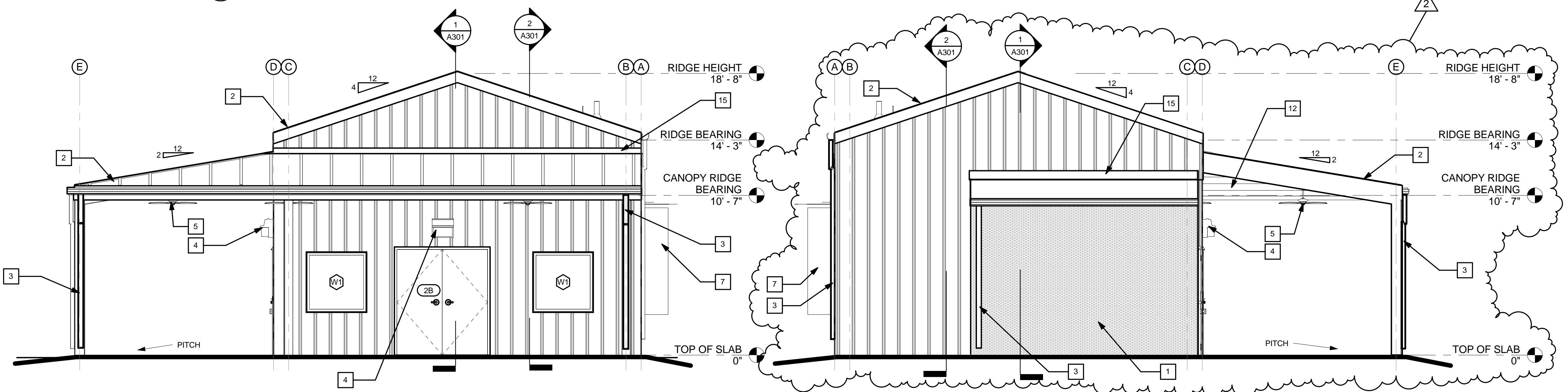
- 1 EMBOSSED ALUMINUM DIMPLE FINISH PER SUPPLIER OF COOLER PACKAGE
- 2 STANDING SEAM METAL ROOFING (24 GA)
- 3 PREFINISHED .032 THICK ALUMINUM DOWNSPOUT TO DISCHARGE ON GRADE
- 4 EXTERIOR WALL MOUNTED LIGHT FIXTURE
- 5 EXTERIOR GRADE CEILING FAN
- 6 CONCRETE BOLLARD
- 7 WALL MOUNTED A/C UNIT - REFER TO MECHANICAL AND ELECTRICAL DRAWINGS
- 8 6' - 12' ROLL UP DOOR
- 9 WALK IN COOLER
- 10 KNOX BOX
- 11 MALTESE CROSS MOUNTED AT 5'-0" ABOVE FINISHED FLOOR, REFER TO SHEET A002
- 12 EXPOSED STRUCTURAL CEILING
- 13 RESTROOM FAN EXHAUST OUTLET
- 14 METAL SIDING (26 GA)
- 15 METAL COUNTER FLASHING



1 SOUTH ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



3 EAST ELEVATION
1/4" = 1'-0"

4 WEST ELEVATION
1/4" = 1'-0"



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• Puerto Rico
• Connecticut
• Maryland
• Texas

CERTIFICATION
BY: JOHN A. BAER, AIA

REVISIONS	DATE	DESCRIPTION
2	09/16/2014	ADDENDUM 2 / FINAL ALTERNATE SELECTION

Designed by:	JAB
Drawn by:	LDM
Checked by:	VT
Approved by:	JAB
Scale:	As Indicated
Date:	01-22-2014
Job No.:	F7686
File:	C:\Users\jbaer\Documents\Projects\Market Central\Market

Plans Prepared By:
CPH, Inc.
500 West Fulton St.
Santford, FL 32771
Ph: 407-322-6844
Licenses:
Eng. C.O.A. No. 3215
Survey L.B. No. 7143
Arch. Lic. No. AA2600926
Landscape Lic. No. LC0000298

ELEVATIONS
FORT PIERCE STATE FARMERS MARKET
3475 SOUTH US 1 HWY
FORT PIERCE, FLORIDA 34982

Sheet No.
A201

NOTE: THE SCALE OF THESE PLANS MAY HAVE CHANGED DUE TO REPRODUCTION

6/20/2014 11:37:43 AM

REVISIONS	DATE	DESCRIPTION	BY
# 2	09/16/2014	ADDENDUM 2 / FINAL ALTERNATE SELECTION	JAB

Designed by:	JAB
Drawn by:	LDM
Checked by:	VT
Approved by:	JAB
Scale:	As Indicated
Date:	01-22-2014
Job No.:	F7686
File:	C:\Users\jbaer\Documents\FORT PIERCE FARMERS MARKET (FINAL).dwg

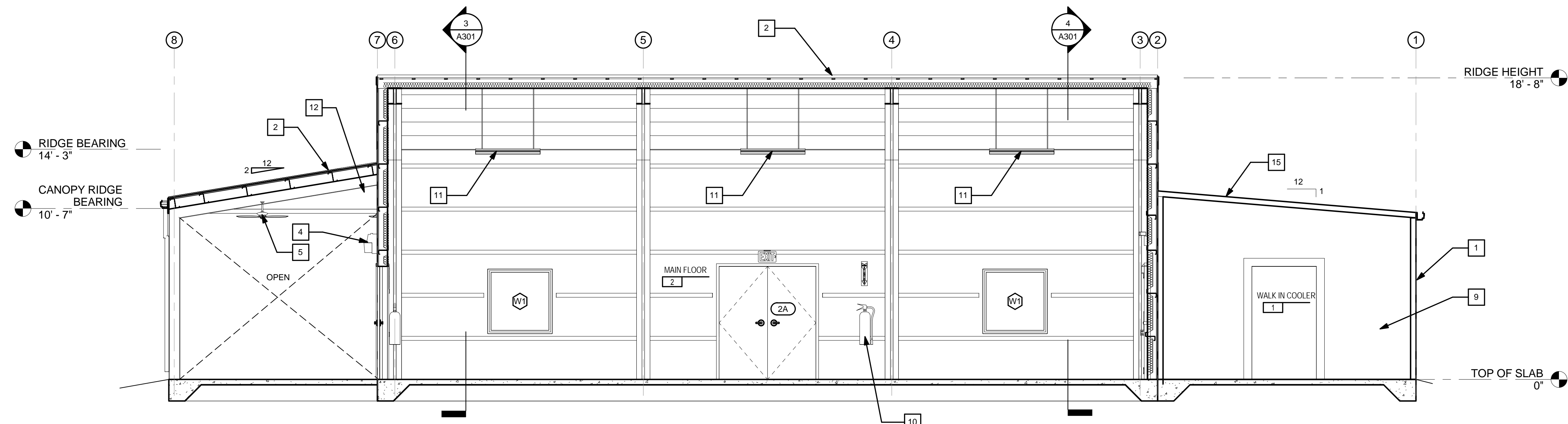
Plans Prepared By
CPH, Inc.
500 West Fulton St.
Santaflo, FL 32771
Ph: 407-322-6841
Licenses:
Eng. C.O.A. No. 3215
Survey L.B. No. 7143
Arch. Lic. No. AA2600926
Landscape Lic. No. LC0000298

SECTIONS
FORT PIERCE STATE FARMERS MARKET
3475 SOUTH US 1 HWY
FORT PIERCE, FLORIDA 34982

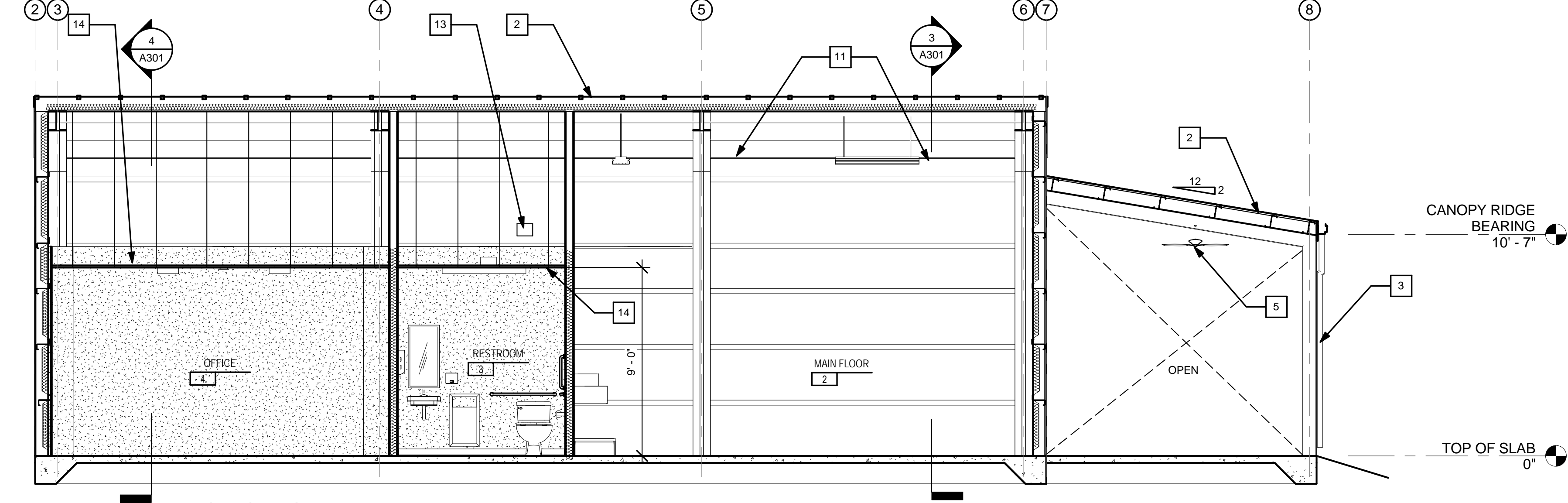
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A301

SECTION KEY NOTES:

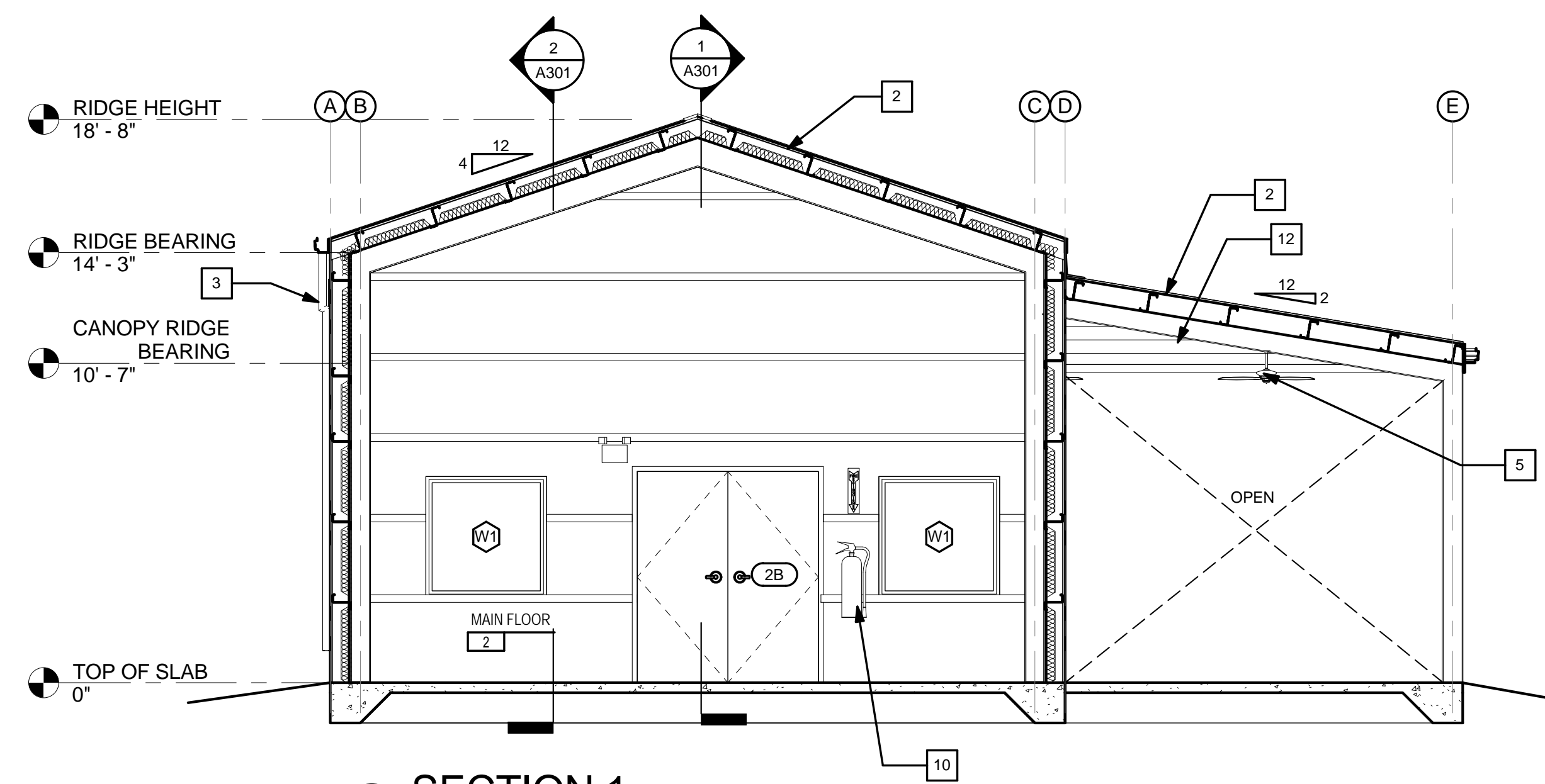
- 1 EMBOSSED ALUMINUM DIMPLE FINISH PER SUPPLIER OF COOLER PACKAGE
- 2 STANDING SEAM METAL ROOFING (24 GA)
- 3 PREFINISHED .032 THICK ALUMINUM DOWNSPOUT TO DISCHARGE ON GRADE
- 4 EXTERIOR WALL MOUNTED LIGHT FIXTURE
- 5 EXTERIOR GRADE CEILING FAN
- 6 CONCRETE BOLLARD
- 7 WALL MOUNTED A/C UNIT - REFER TO MECHANICAL AND ELECTRICAL DRAWINGS
- 8 6' - 12' ROLL UP DOOR
- 9 WALK IN COOLER
- 10 SURFACE MOUNTED FIRE EXTINGUISHER
- 11 WIRE HUNG FLORESCENT LIGHTING
- 12 EXPOSED STRUCTURAL CEILING
- 13 RESTROOM FAN EXHAUST OUTLET
- 14 SUSPENDED GYPSUM BOARD CEILING
- 15 ROOF MEMBRANE SUPPLIED BY COOLER MANUFACTURER
- 16 METAL SIDING (26 GA)
- 17 METAL COUNTER FLASHING



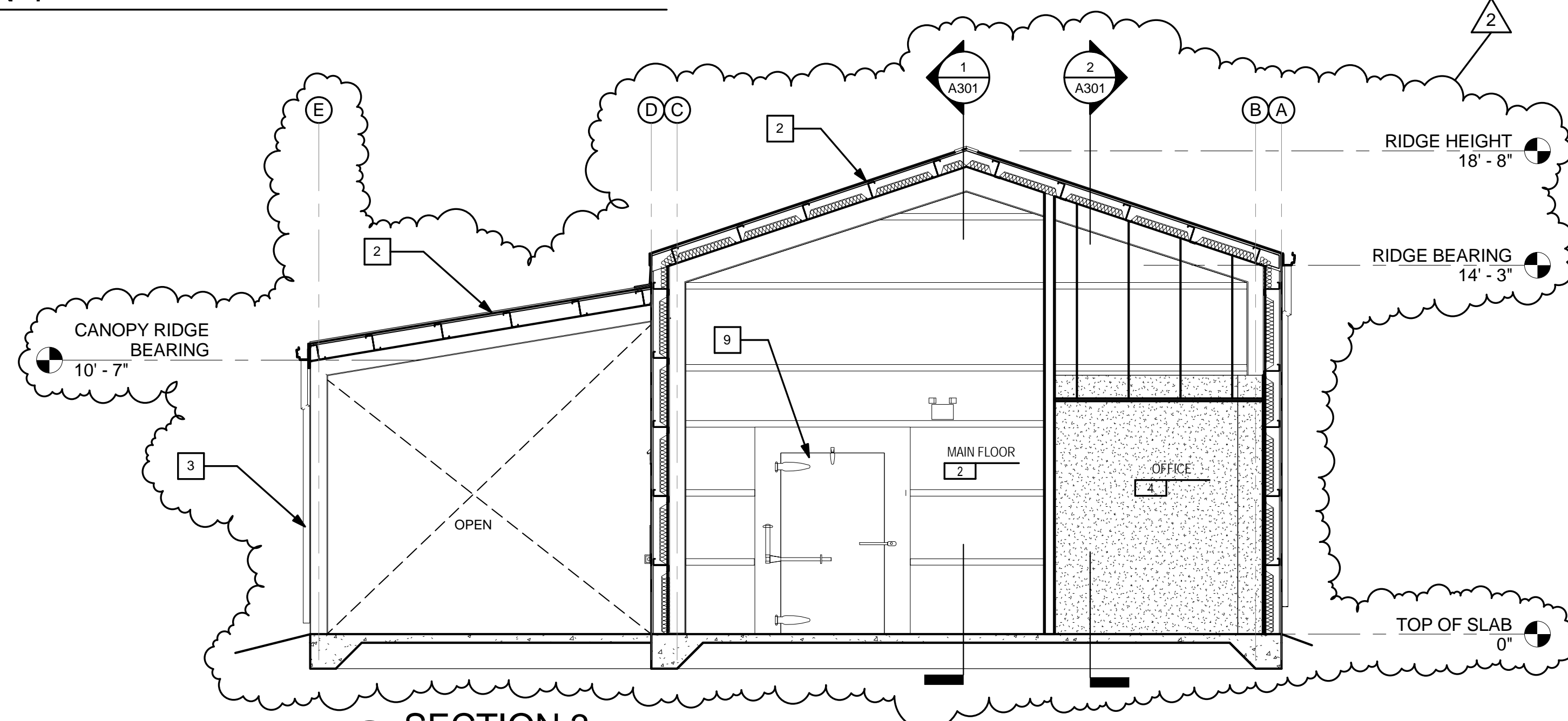
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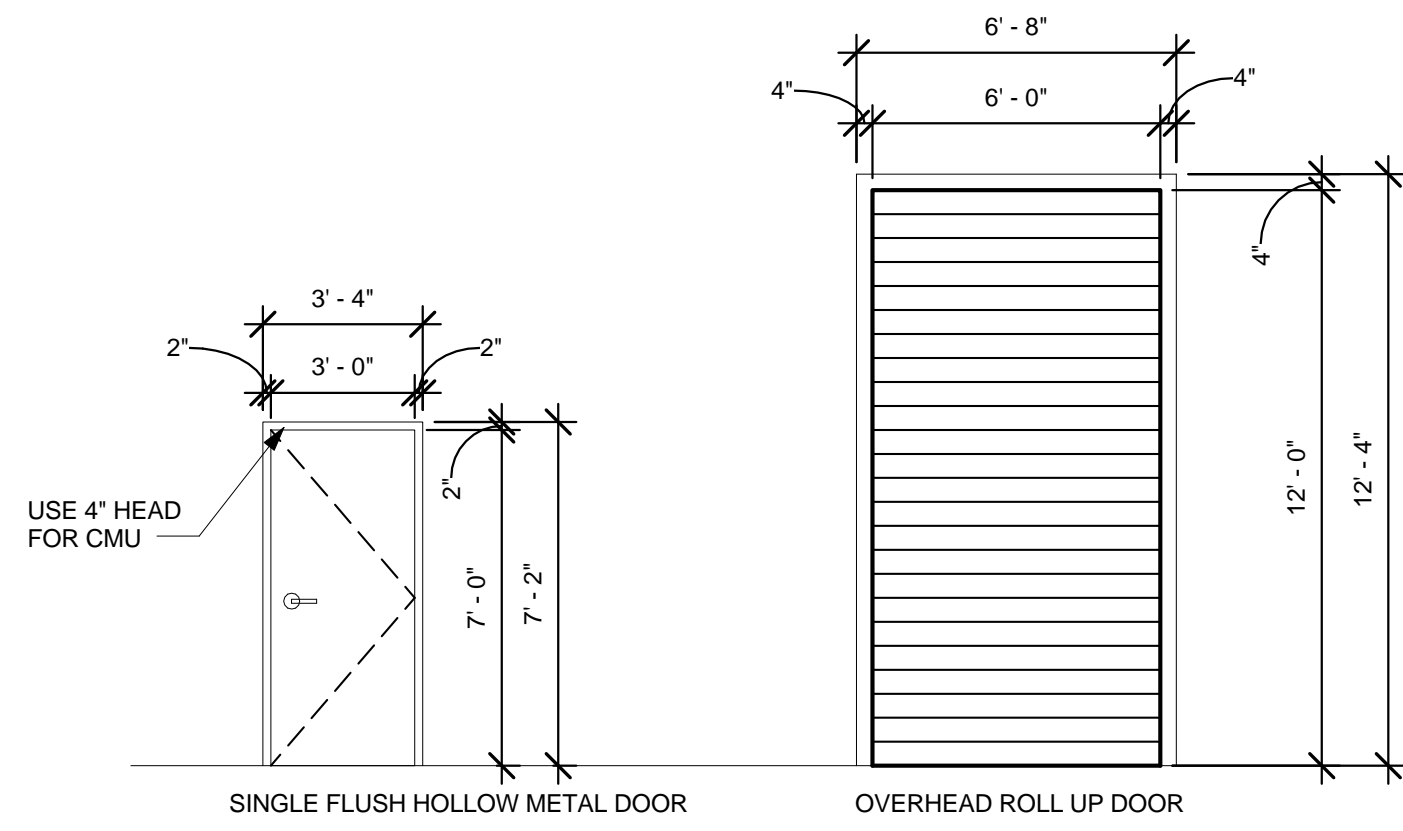
SECTION 4
1/4" = 1'-0"



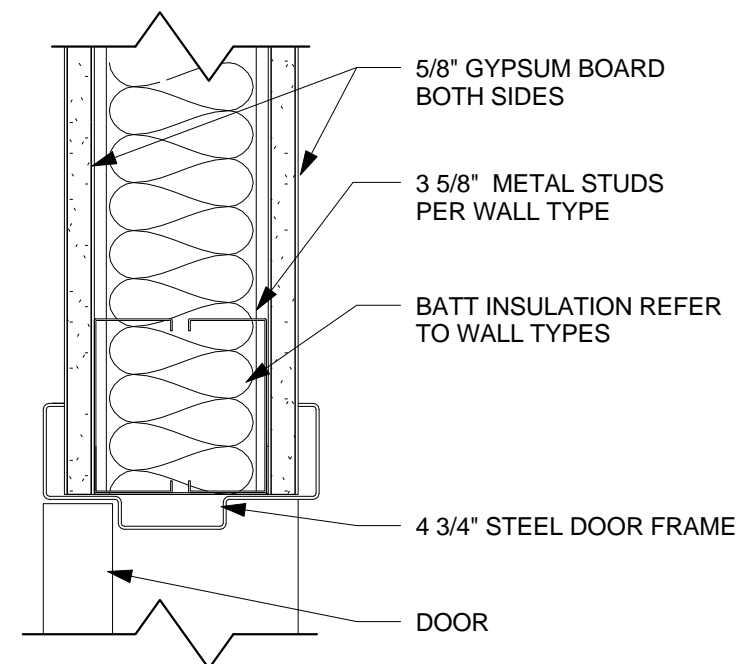
SECTION 1
1/4" = 1'-0"



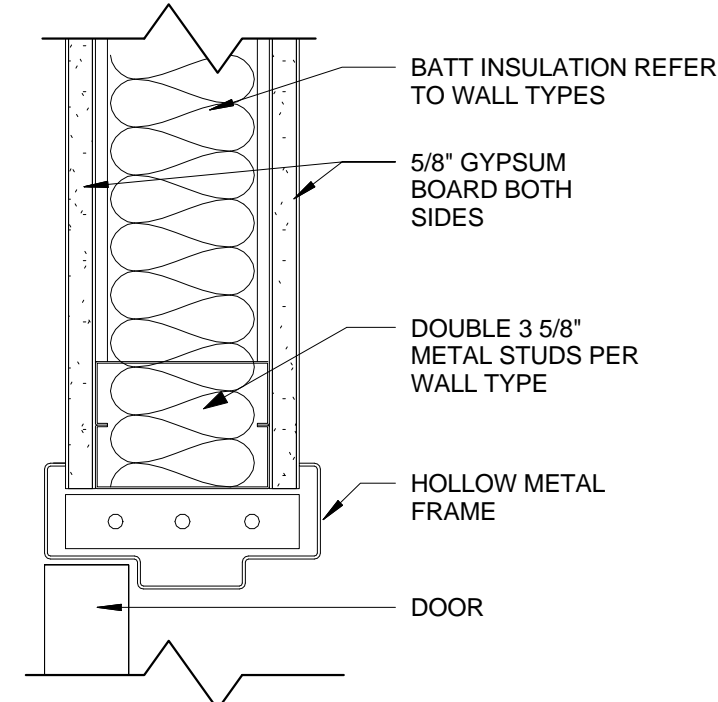
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1/4" = 1'-0"



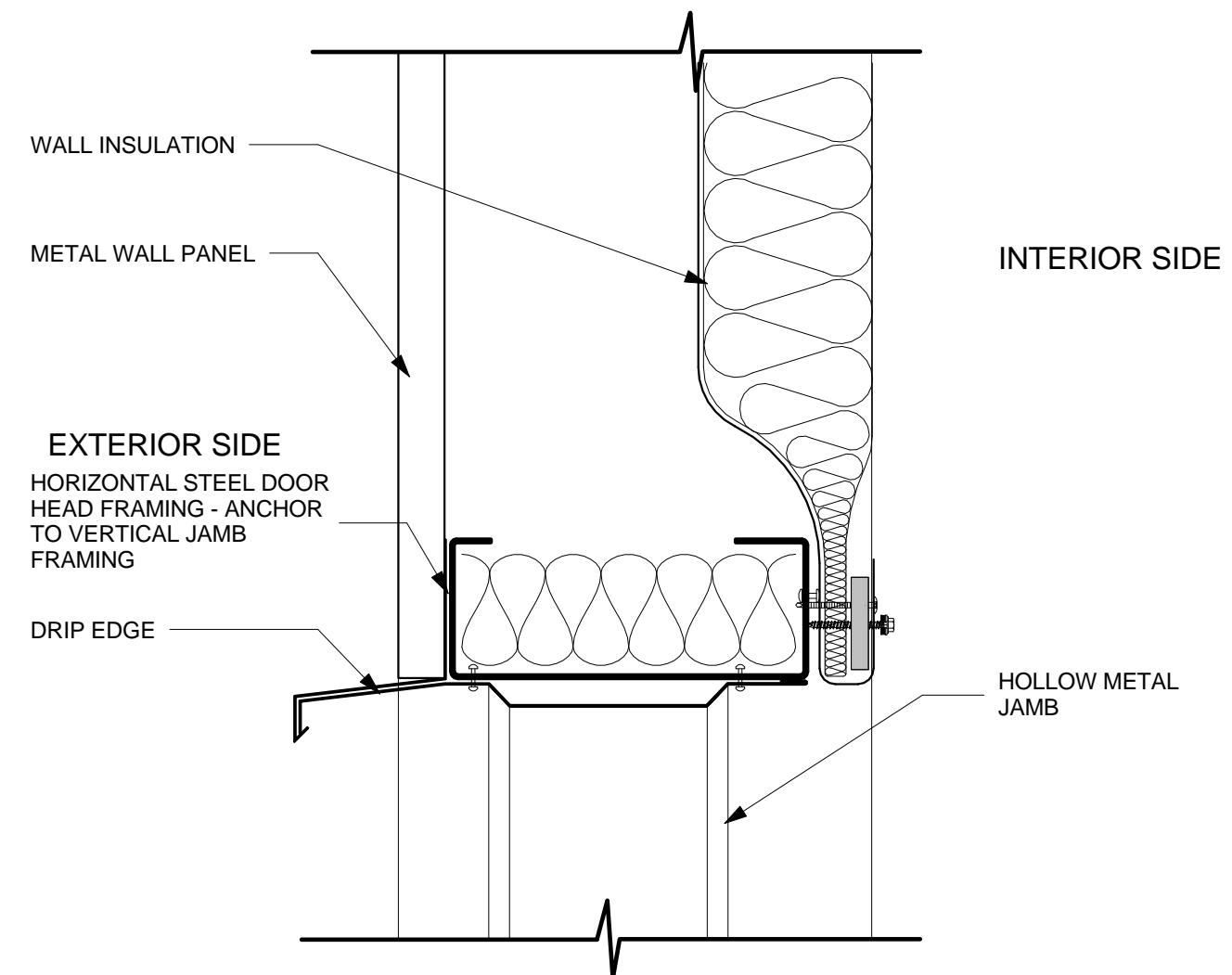
1 DOOR ELEVATIONS
1/4" = 1'-0"



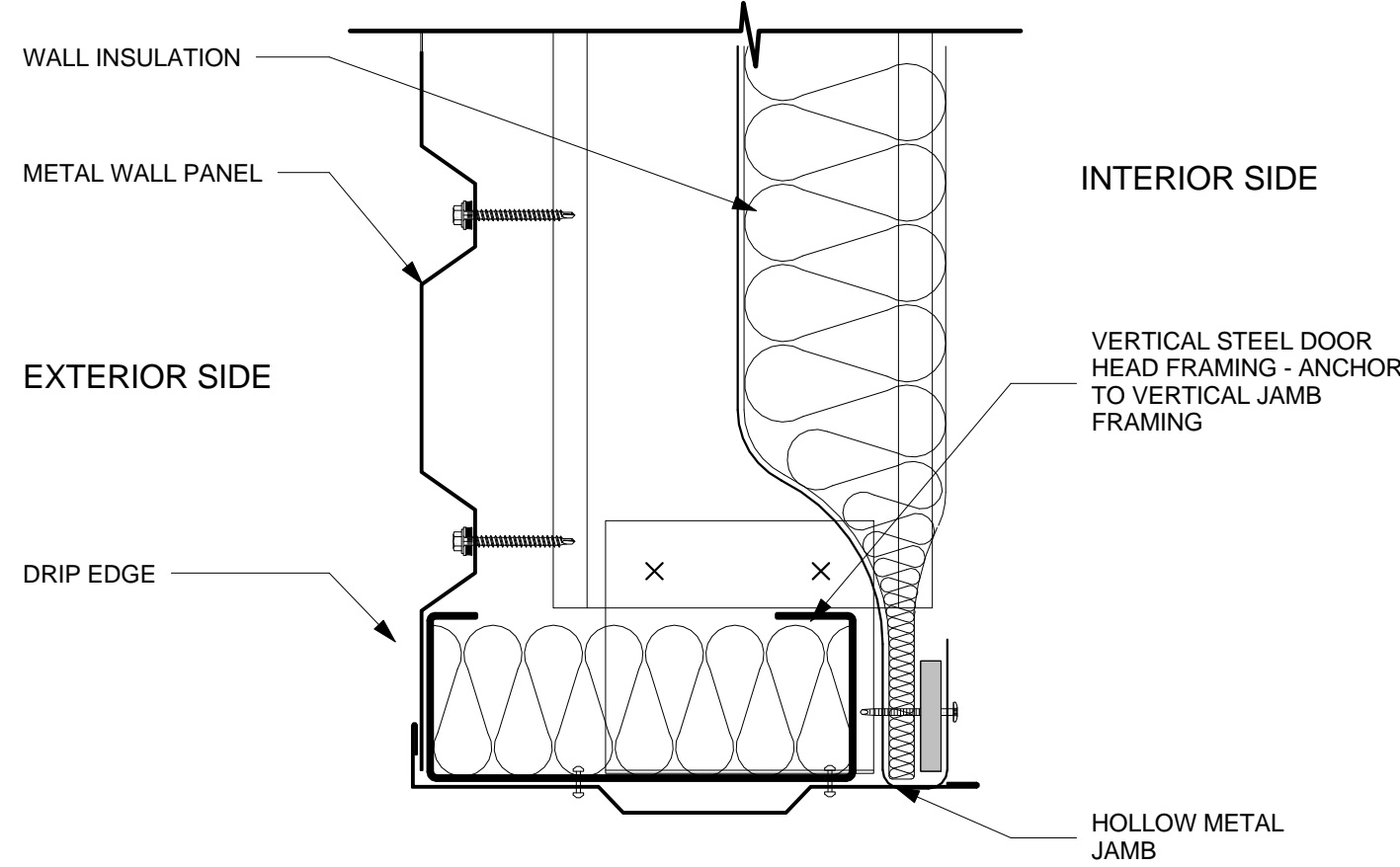
2 HEAD DETAIL
3" = 1'-0"



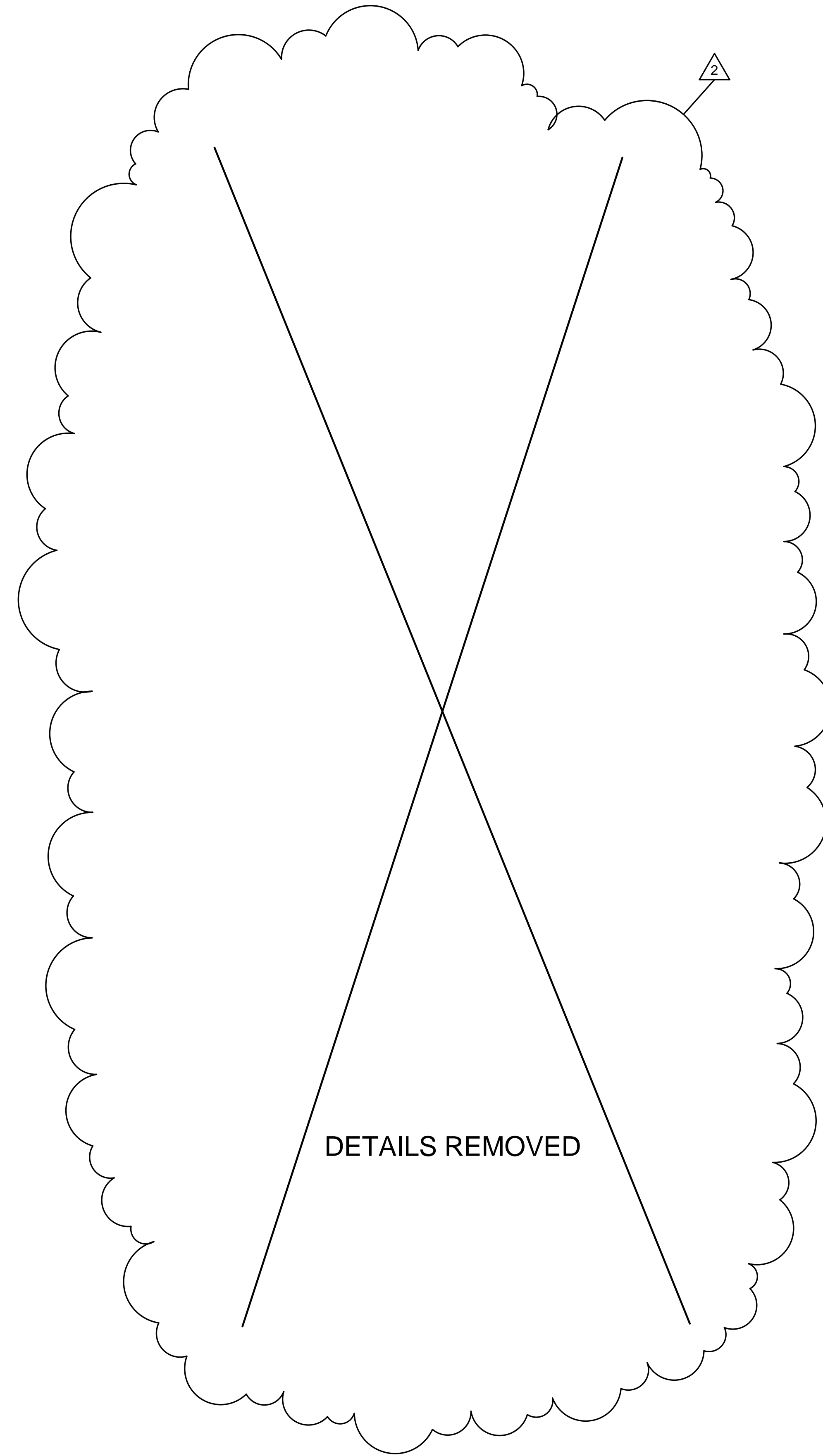
3 JAMB DETAIL
3" = 1'-0"



4 EXTERIOR DOOR HEAD DETAIL
3" = 1'-0"



5 EXTERIOR DOOR JAMB DETAIL
3" = 1'-0"



DESIGNED BY:	DATE	DESCRIPTION
JAB	09/16/2014	ADDENDUM 2 / FINAL ALTERNATE SELECTION
LDM		
VT		
JAB		
Asindred		
Scale:	0'-22/2014	
Date:		
Job No.:	F7686	
File:		

Plans Prepared By
CPH, Inc.
500 West Fulton St.
Sarasota, FL 32771
Ph: 407-322-6841
Licenses:
Eng. C.O.A. No. 3215
Survey L.B. No. 7143
Arch. Lic. No. AA2600926
Landscape Lic. No. LC0000298

DOOR DETAILS
FORT PIERCE STATE FARMERS MARKET
3475 SOUTH US 1 HWY
FORT PIERCE, FLORIDA 34982

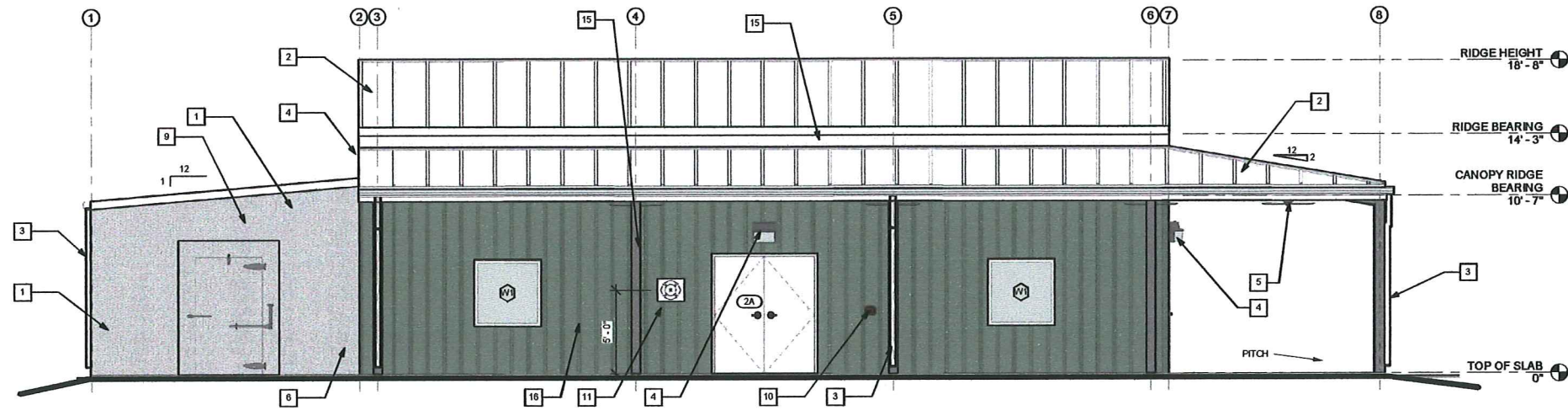
Sheet No.
A501

ELEVATION KEY NOTES:

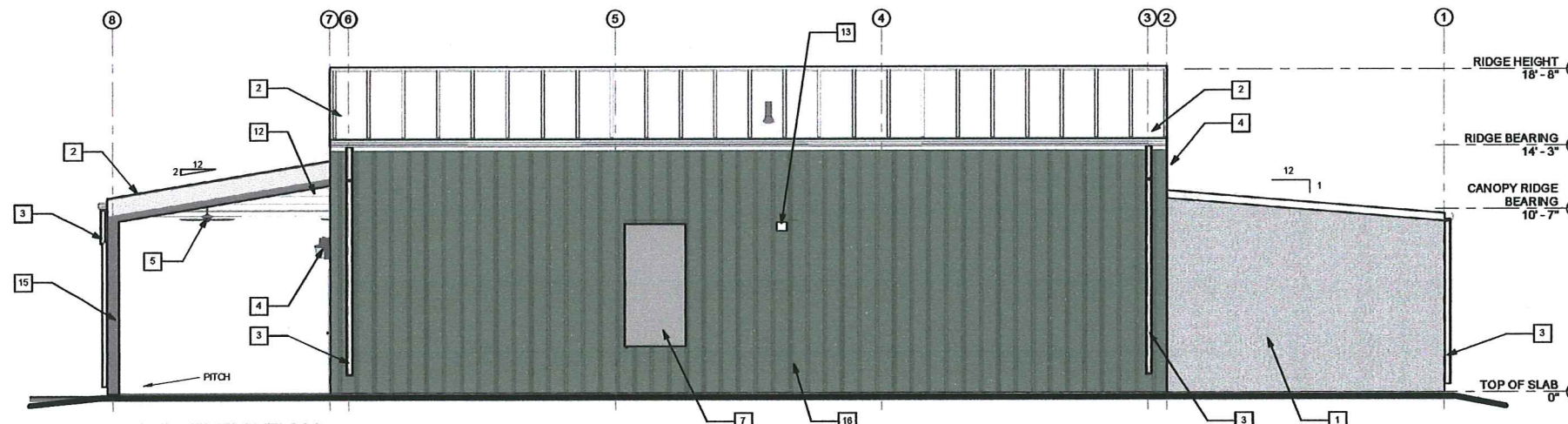
- 1 ALUMINUM FINISH PER SUPPLIER OF COOLER PACKAGE
- 2 STANDING SEAM METAL ROOFING (24 GA), PRE-FINISHED SNOW WHITE
- 3 PREFINISHED .032 THICK ALUMINUM DOWNSPOUT TO DISCHARGE ON GRADE
- 4 EXTERIOR WALL MOUNTED LIGHT FIXTURE
- 5 EXTERIOR GRADE CEILING FAN
- 6 CONCRETE BOLLARD
- 7 WALL MOUNTED A/C UNIT - REFER TO MECHANICAL AND ELECTRICAL DRAWINGS
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- 11 MALTESE CROSS MOUNTED AT 5'-0" ABOVE FINISHED FLOOR, REFER TO SHEET A002
- 12 EXPOSED STRUCTURAL CEILING
- 13 RESTROOM FAN EXHAUST OUTLET
- 14 METAL SIDING (26 GA), PRE-FINISHED COLONY GREEN
- 15 METAL COUNTER FLASHING
- 16 RIGID FRAME, PAINT "ASH GREY"

MATERIALS KEY

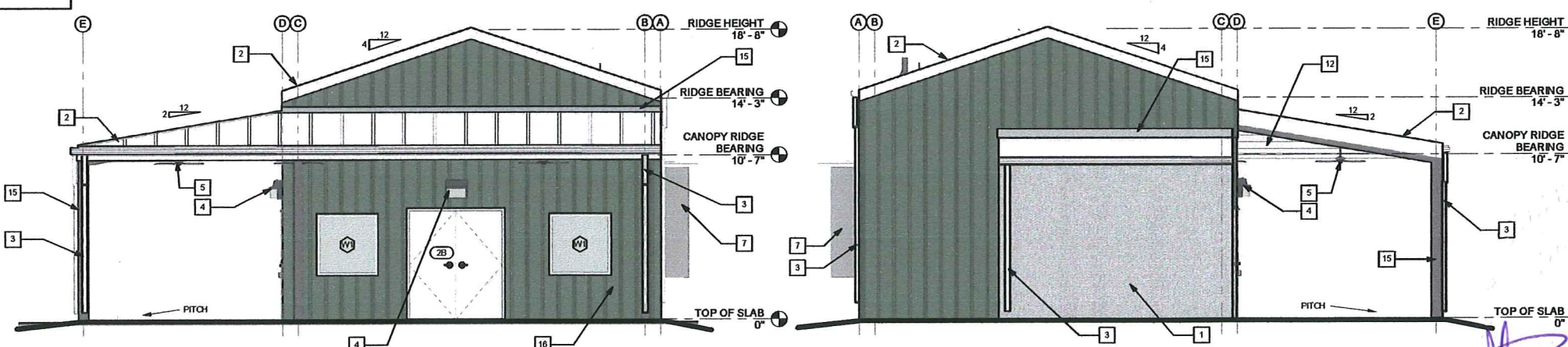
- KYNAR 500: SNOW WHITE**
- METAL ROOF PANEL, TRIMS, GUTTERS AND DOWNSPOUTS
- CERAM-A STAR 950: COLONY GREEN**
- METAL WALL PANEL
- CERAM-A STAR 950: ASH GREY**
- RIGID FRAME
- EMBOSSED ALUMINUM**
- COOLER



1 SOUTH ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



3 EAST ELEVATION
1/4" = 1'-0"

4 WEST ELEVATION
1/4" = 1'-0"



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CERTIFICATION
BY: JOHN A. BAER, AIA

DATE	DESCRIPTION	BY
08/12/2014	ADDENDUM 2 / FINAL ALTERNATE SELECTION	JAB
09/24/2014	RESPONSE TO COMMENTS	JAB

Designed by:	JAB	LDM
Drawn by:	VT	VT
Checked by:	JAB	JAB
Approved by:	JAB	At Issue
Date:	01/22/2014	7/202
Job No.:		
File:		

Planned by:
CPI Inc.
600 West Fulton St.
Barford, FL 32711
PH: 407.222.8911
Licenses:
Eng. C.O.A. No. 2215
Survey L.S. No. 7143
Arch. Lic. No. AA200028
Landscape Lic. No. LC000028

ELEVATIONS
FORT PIERCE STATE FARMERS MARKET
3475 SOUTH US HWY
FORT PIERCE, FLORIDA 34982

Sheet No.
A201

Handwritten signature and date: 11/7/14

NOTE: THE SCALE OF THESE PLANS MAY HAVE CHANGED DUE TO REPRODUCTION



Farmers
MARKET

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PARKING ONLY



US-1