

ORDINANCE NO. 15-048

AN ORDINANCE BY THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA, **REZONING PROPERTIES** GENERALLY LOCATED AT **1502 SEAWAY DRIVE**, FROM R4-A, HUTCHINSON ISLAND RESIDENTIAL ZONE, TO PD, PLANNED DEVELOPMENT ZONE; FURTHER **APPROVING A DEVELOPMENT PLAN** PURSUANT TO SECTION 22-58; REPEALING ALL ORDINANCES OR PARTS THEREOF IN CONFLICT HERewith; AND PROVIDING FOR AN EFFECTIVE DATE.

BE IT ORDAINED by the City Commission of the City of Fort Pierce, Florida, a municipal corporation, as follows:

SECTION 1. From and after the effective date hereof, the following properties legally described as:

- a.) 1502 Seaway Drive, Parcel ID: 2401-501-0279-000-1
Legal Description: FT PIERCE BEACH S/D BLK 16 LOTS 16 AND E 1/2 OF 17 (0.47 AC - 20,412 SF) (OR 1528-1900)
- b.) Parcel ID: 2401-501-0279-010-4
Legal Description: FT PIERCE BEACH S/D BLK 16 W 1/2 OF LOT 17 AND LOT 18 (0.47 AC - 20,412 SF) (OR 1528-1900)

shall be and the same is hereby rezoned from R-4A, Hutchinson Island Medium Density Residential Zone, to PD, Planned Development Zone shown in Exhibit A; said properties being generally located at 1502 Seaway Drive in Fort Pierce, Florida.

SECTION 2. The Development Plan for the subject Planned Development as depicted on Exhibit "B", attached hereto and incorporated herein by reference, be in the same is hereby approved, and shall serve as the Development Plan associated with the subject Planned Development.

SECTION 3. All ordinance or parts of ordinances in conflict herewith are hereby repealed.

SECTION 4. This Ordinance is and the same shall become effective immediately upon final passage thereof.

**APPROVED AS TO FORM
AND CORRECTNESS:**

Robert V. Schwerer, Esq.
City Attorney

STATE OF FLORIDA)
ST. LUCIE COUNTY)^{SS}

WE, THE UNDERSIGNED, Mayor Commissioner and the City Clerk of the City of Fort Pierce, Florida, do hereby certify that the foregoing and above Ordinance No. 15-048 was duly advertised by title only in the St. Lucie News Tribune on July 5th, 2015; copy of said ordinance was made available at the office of the City Clerk to the public upon request; said ordinance was duly introduced, read by title only, and passed on first reading by the City Commission of the City of Fort Pierce, Florida, on July 20th, 2015; and was duly introduced, read by title only, and passed on second and final reading on August 3rd, 2015, by the City Commission of the City of Fort Pierce, Florida.

IN WITNESS HEREWITH, we hereunto set our hands and affix the Official Seal of the City of Fort Pierce, Florida, this the 3rd day of August, 2015.

MAYOR COMMISSIONER

CITY CLERK

(CITY SEAL)

Exhibit A: Future Zoning

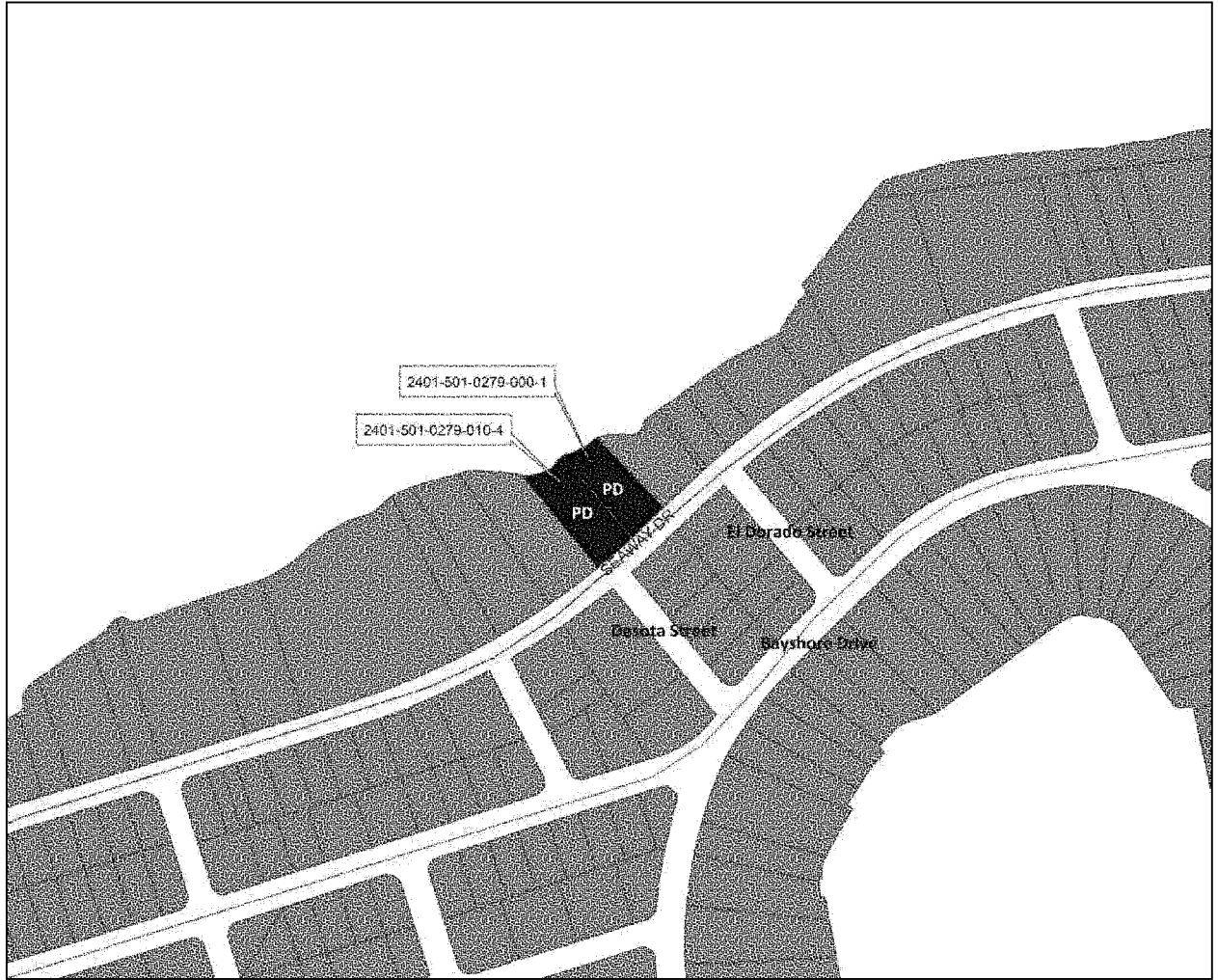
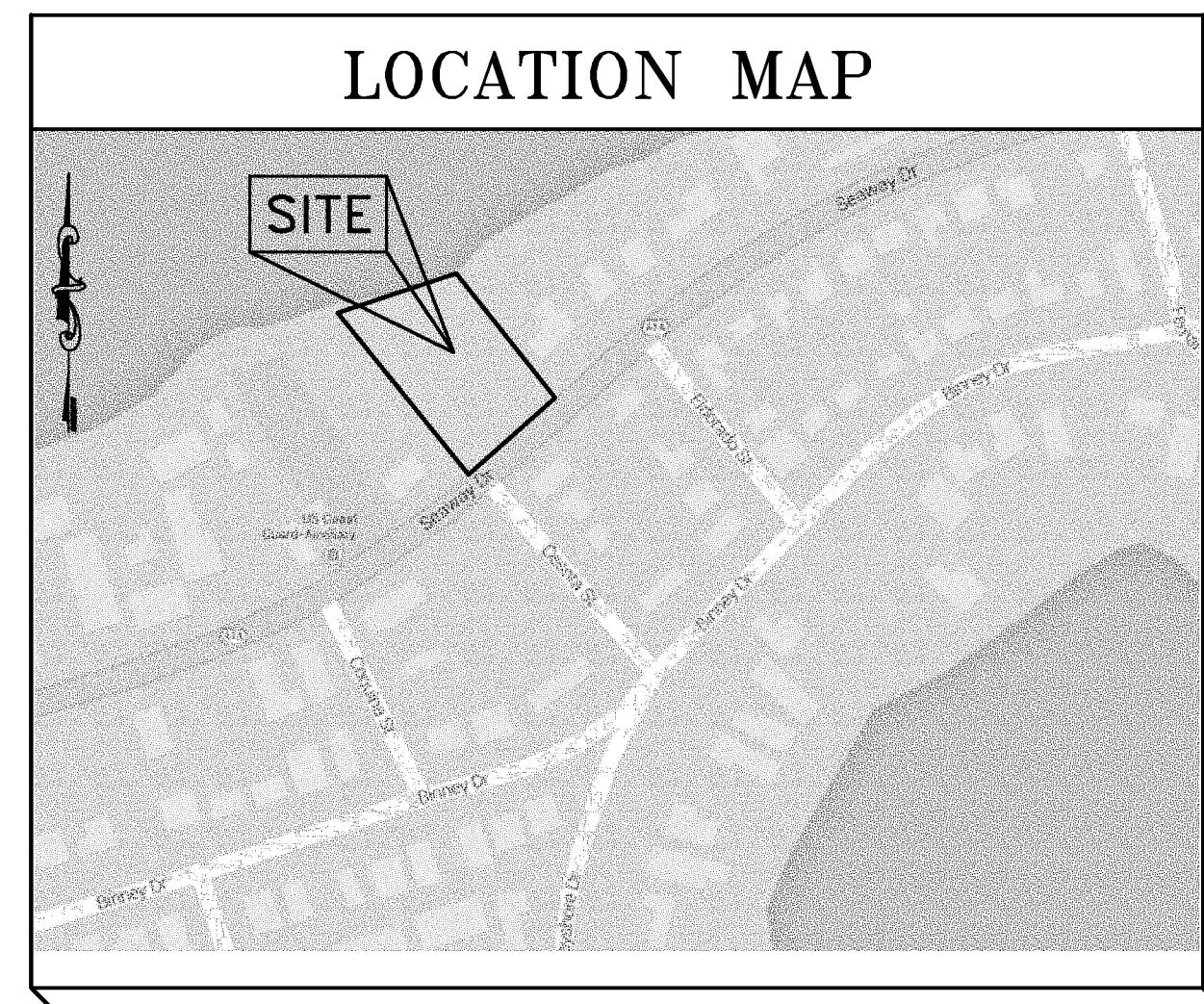


Exhibit B: Development Plan (Attached)

PLANNED DEVELOPMENT FOR INLET PALMS

SECTION 01, TOWNSHIP 35 S, RANGE 40 E
CITY OF FT. PIERCE, FLORIDA



LEGAL DESCRIPTION
LOTS 16, 17 AND 18, BLOCK 16, REVISED MAP OF FT. PIERCE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 29, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.


DRAWING INDEX	
SHEET	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS AND POLLUTION PREVENTION
3	POLLUTION PREVENTION DETAILS
4	SOIL BORINGS
5	PRELIMINARY PLAT
6	SITE PLAN
7	PAVING, GRADING AND DRAINAGE PLAN
8	UTILITY PLAN
9	LANDSCAPE PLAN
10	CROSS SECTIONS
11-13	MISCELLANEOUS DETAILS
14	AERIAL
ATTACHED	SURVEY

SITE DATA			
OWNER	BELMONT AVE PROPERTY, LLC 2777 N. CIRCLE DRIVE PALATKA, FL 32909-0000		
DEVELOPER	FOGIA CUSTOM HOMES 1555 INDIAN RIVER BLVD, UNIT B141 VERO BEACH, FL 32960		
ENGINEER	SCHULKE, BITTLE & STODDARD, L.L.C. JUDAH B. BITTLE, P.E. 57368 1717 INDIAN RIVER BLVD, SUITE 201 VERO BEACH, FL 32960 (772) 770-9622		
SURVEYOR	MERIDIAN LAND SURVEYORS CHARLES BLANCHARD, PSM #6756 1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FL 32960 PH: (772) 794-1213		
EXISTING USE	UNDEVELOPED (PREVIOUSLY A HOTEL)		
PROPOSED USE	SEVEN (7) MULTI-FAMILY UNITS		
PROJECT LOCATION	NORTH SIDE OF SEAWAY DRIVE AT DESOTO STREET		
SITE ADDRESS	1502 SEAWAY DRIVE, FT. PIERCE, FL		
PARCEL I.D. NUMBER	2401-501-0279-000-1 AND 2401-501-0279-010-4		
CURRENT LAND USE	HR (HUTCHINSON ISLAND RESIDENTIAL)		
CURRENT ZONING	R-4A (HUTCHINSON ISLAND MEDIUM DENSITY RESIDENTIAL)		
PROPOSED ZONING	PD (PLANNED DEVELOPMENT)		
DEVELOPMENT PARAMETERS:	EXISTING	PROPOSED	PROPOSED
	R-4A ZONING	PD ZONING	DEVELOPMENT
MIN. OVERALL LOT WIDTH	200'	175'	178.8'
MIN. INTERIOR LOT SIZE	1,500 SF	1,500 SF	2,949 SF
MAX. INTERIOR LOT WIDTH	24'	25'	24.7'
MIN. INTERIOR LOT DEPTH	90'	65'	67.9'
MIN. YARD SETBACKS:			
FRONT (SOUTH)	10'	10'	10.0'
SIDE (WEST)	10'	10'	15.0'
SIDE (EAST)	10'	10'	10.0'
REAR (NORTH)	15'	15'	15.0'
DISTANCE BETWEEN BLDGS.	20'	5'	7.0'
MAX. LOT COVERAGE BY BLDGS	45%	45%	27.6%
MIN. OPEN SPACE	25%	25%	28.7%
MAX. IMPERVIOUS AREA	75%	75%	71.3%
MAXIMUM DENSITY	8 UNITS/ACRE	8.5 UNITS/ACRE	8.45 UNITS/ACRE
A/C/ PAD SETBACK	10'	4'	4'
MAX. BLDG. HEIGHT	45'	*SEE BELOW	*SEE BELOW
* UNITS 1 AND 3 - 43'-3 1/4" ABOVE VE 7' NAVD			
UNITS 2 AND 4 - 47'-4" ABOVE VE 7' NAVD			
UNITS 5 AND 6 - 43'-3 1/4" ABOVE VE 7' NAVD			
UNITS 7 - 43'-8 3/4" ABOVE DATUM 6' NAVD			
AREA CALCULATIONS:	EXISTING	PROPOSED	
SITE AREAS:			
DEVELOPABLE AREA:	36,055 SF	0.828 AC	100.0%
IMPERVIOUS AREA:	25,695 SF	0.590 AC	71.3%
BUILDING AREA:	9,938 SF	0.228 AC	27.6%
DRIVEWAY/CONCRETE/PORCH AREA:	10,912 SF	0.251 AC	30.3%
POOL/PATIO/WALKWAY AREA:	4,845 SF	0.111 AC	13.4%
PERVIOUS AREA:	10,360 SF	0.238 AC	28.7%
GREEN SPACE:	10,360 SF	0.238 AC	28.7%
NATIVE VEGETATION/PRESERVATION:	N/A. NO PRESERVATION REQUIRED, NO NATIVE HABITAT IS EXISTING		
PARKING CALCULATIONS:			
REQUIRED: 2 SPACE PER UNIT			
7 UNITS X 2 SPACES/UNIT = 14 SPACES			
PROVIDED: 14 INTERIOR DRIVEWAY PARKING SPACES			
AVERAGE DAILY TRIPS:			
PROPOSED USE: PER ITE 9TH EDITION TRIP GENERATION MANUAL, LAND USE 230			
7 MULTI-FAMILY UNITS X 7.78 TRIPS/UNIT = 55 TRIPS			
CONSTRUCTION SCHEDULE:			
DATE OF COMMENCEMENT: 8/15	DATE OF COMPLETION: 1/16		
GENERAL NOTES	<ol style="list-style-type: none"> PROPOSED PUBLIC WATER SUPPLY - FT. PIERCE UTILITY AUTHORITY PROPOSED PUBLIC SEWER - FT. PIERCE UTILITY AUTHORITY GARBAGE IS HANDLED WITH CANS STORED IN THE UNITS. NO DUMPSTER PROPOSED. THE PARCEL OF LAND SHOWN HEREON APPEARS TO BE IN FLOOD ZONE AE-8, AE-7, C & VE-8 PER FLOOD INSURANCE RATE MAP #2111C0183 J, DATED FEBRUARY 16TH, 2012. ALL CONSTRUCTION ON SITE TO BE DONE PER ALL CITY OF FT. PIERCE STANDARDS AND SPECIFICATIONS. ALL UTILITY CONSTRUCTION ON SITE TO BE DONE PER F.P.U.A. UTILITY STANDARDS AND SPECIFICATIONS, LATEST EDITION. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST VERSIONS OF THE MULT.C.D., FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS, AND CITY OF FT. PIERCE TYPICAL PAVEMENT MARKINGS AND SIGNING DETAILS. IN ADDITION, ALL PAVEMENT MARKINGS WITHIN THE RIGHT-OF-WAY SHALL BE INSTALLED IN THERMO-PLASTIC. EXISTING DRIVES AND/OR INTERSECTIONS SHOWN ARE WITHIN THE 300' RADIUS REQUIRED FROM THE PROPOSED SITE. THE EXISTING SPEED LIMIT FOR SEAWAY DRIVE IS 35 M.P.H. ALL PROPOSED TRAFFIC CONTROL DEVICES SHOWN ON SITE TO BE PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. THE SITE LIGHTING (SOURCE OF ILLUMINATION) CANNOT BE VISIBLE FROM THE SITE. ANY NUISANCE/EXOTIC PLANTS IN THE DEVELOPED AREA WILL BE REMOVED. AT INTERSECTIONS, WALLS, FENCES, PLANTS OR SIGHT OBSTRUCTIONS OF ANY KIND OVER 18" IN HEIGHT ARE PROHIBITED WITHIN THE SITE DISTANCE TRIANGLE AS REQUIRED BY FDOT INDEX 546, 2014 EDITION. ANY DISTURBED AREAS ON SITE OR IN THE COUNTY RIGHT-OF-WAY TO BE SOODED. RUN-OFF FROM ROOF TO BE DIRECTED TO STORMWATER SYSTEM. ALL LIGHTS MUST MEET THE FOLLOWING CRITERIA: <ul style="list-style-type: none"> - ALL POLES MUST BE BLACK OR BRONZE - ALL LIGHTS MUST BE DIRECTED DOWNWARD, WITH A 90 DEG. CUT-OFF - LIGHTS MUST NOT CAUSE GLARE ONTO ADJACENT R/W OR PROPERTIES. ALL STOP SIGNS (R1-1) SHALL BE 30" NO DEWATERING BETWEEN 8 PM AND 6 AM WITHOUT CITY OF FT. PIERCE APPROVAL. AN ENTRANCE GATE IS PROPOSED FOR THIS SITE. CITY OF FT. PIERCE OR FOOT MAY HAVE UNDERGROUND CONDUIT FOR TRAFFIC SIGNAL INTERCONNECTIONS IN THIS AREA AS WELL AS OTHER TRAFFIC SIGNAL EQUIPMENT. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT SUNSHINE STATE ONE CALL SYSTEM AT 1-800-432-4270 FOR LOCATIONS OF THIS EQUIPMENT AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION. ALL SOLID, NON-BREAKAWAY OBJECTS (GATE POSTS/COLUMNS, BOLLARDS, STREET LIGHT POLES, ETC.) ALONGSIDE INTERIOR STREETS AND DRIVING AISLES SHALL BE LOCATED OUTSIDE THE CLEAR ZONE. FOR STREETS AND DRIVING AISLES WITH A DESIGN SPEED OF 25 MPH OR LESS, THE MINIMUM CLEAR ZONE IS 2.5 FEET FROM THE FACE OF THE CURB (TYPE 'D' OR 'F'), OR 6 FEET FROM THE EDGE OF THE TRAVEL LANE. THIS APPLIES TO PUBLIC AND PRIVATE PROPERTY. THE BEARING BASE FOR THIS SURVEY IS A GRID BEARING OF S48°30'43"W ALONG THE NORTH R/W LINE OF SEAWAY DRIVE AND BASED ON FOUND MONUMENTATION. THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988. THE BENCHMARK IS COS MONUMENT G 231 1965, ELEVATION 4.47' NAVD. SECONDARY BENCHMARK IS AS SHOWN HEREON. THE CONVERSION TO NAVD29 IS BY ADDING 1.469 FT. ALL CROSS WALKS SHALL HAVE TRUNCATED DOME WARNING SURFACE SYMBOL ON THE SIDEWALK ADJACENT TO THE PAVED DRIVEWAY PER FDOT INDEX NO. 304. ANY ABANDONED FLOW WELLS FOUND ON SITE SHALL BE PLUGGED PURSUANT TO D.O.H. AND SPWMD REGULATIONS. ALL PAVEMENT MARKINGS IN THE RIGHT-OF-WAY SHALL BE 90 MIL., EXTRUDED TYPE, ALKO BASE THERMOPLASTIC. ALL HANDICAPPED PARKING SPACES SHALL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH THE FDOT STANDARD INDEX 17346, 2014 EDITION. ALL STOP SIGNS SHALL BE HIGH INTENSITY RETRO-REFLECTIVITY ALL UTILITIES MUST BE PLACED UNDERGROUND. THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITY LINES AND STRUCTURES PRIOR TO CONSTRUCTION. PROPANE TANKS TO BE UNDERGROUND. 		

SCHULKE, BITTLE & STODDARD, L.L.C.

CIVIL & STRUCTURAL ENGINEERING · LAND PLANNING · ENVIRONMENTAL PERMITTING

CERTIFICATION OF AUTHORIZATION NO.: 00008668

1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960
TEL 772 / 770-9622 FA 772 / 770-9496 EMAIL 

ENGINEER CERTIFICATION:

DATE:
 □ JOSEPH W. SCHULKE, P.E. REG. No 47049
 □ JUDAH B. BITTLE, P.E. REG. No 57598
 □ WILLIAM P. STODDARD, Ph.D., P.E. REG. No 57605

EROSION CONTROL NOTES

1. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UP-SLOPE LAND DISTURBANCE TAKES PLACE.
2. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
3. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
4. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE. A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED.
5. AFTER ANY SIGNIFICANT RAINFALL, 1/2" OR GREATER, SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED FOR INTEGRITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
6. CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITH AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME, SLOPE DRAIN STRUCTURE OR APPROVED CONTROL.
8. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORM WATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-ADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
9. WHEN WORK IN A LIVE WATER COURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION.
10. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
11. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE, WHERE SEDIMENT IS TRANSPORTED INTO A PUBLIC ROAD SURFACE. THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO ALL SUBDIVISION LOTS AS WELL AS TO LARGER LAND-DISTURBING ACTIVITIES.
12. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY AREA IS NO LONGER NEEDED.
13. PROPERTIES AND WATERWAYS DOWNSTREAM FROM CONSTRUCTION SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION.
14. EROSION CONTROL DESIGN AND CONSTRUCTION SHALL FOLLOW THE REQUIREMENTS IN INDICATED NUMBERS 101, 102 AND 103 OF F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS, IN ADDITION TO THESE PLANS.
15. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN-OFF OR DEWATERING ACTIVITIES.
16. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY REQUIREMENTS. POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE. NOI TO BE POSTED ON SITE.
18. NO TURBID DISCHARGE. TURBIDITY READINGS ARE REQUIRED ONCE A WEEK AND MUST BE REPORTED TO THE PROJECT ENGINEER.
19. DEWATERING ACTIVITIES:
 - A. DISCHARGE MUST NOT EXCEED STATE WATER QUALITY STANDARDS.
 - B. CONTRACTOR MUST HAVE OR OBTAIN A TRANSFERABLE SRRMID CONSUMPTIVE USE PERMIT KNOWN AS A "NOTICED GENERAL PERMIT FOR SHORT TERM CONSTRUCTION DEWATERING" UNLESS DEWATERING ACTIVITIES WILL RESULT IN LESS THAN 3000 GPD FOR 30 DAYS OR LESS.
 - C. NO HYDRAULIC PUMPS MAY BE USED FOR DEWATERING UNLESS APPROVED BY THE WATER MANAGEMENT DISTRICT FOR THAT AREA. DEWATERING EXISTING STORMWATER RETENTION AREAS (POND/LAKES) MAY BE EMPTY FROM THIS CONDITION. CONTRACTOR TO CONFIRM WITH SRRMID.
 - D. NO TURBID DISCHARGE. TURBIDITY READINGS ARE REQUIRED ONCE A WEEK AND MUST BE REPORTED TO THE PROJECT ENGINEER AND TO CITY OF FT. PIERCE.
20. SEE ADDITIONAL DETAILS, SPECIFICATIONS AND REQUIREMENTS OF SHEET 4.11-13.

STORMWATER POLLUTION PREVENTION PLAN

1. A SITE PLAN MUST BE DEVELOPED AND MUST CONTAIN, AT A MINIMUM, THE FOLLOWING INFORMATION:
 - A. DRAINAGE PATTERNS - SEE SURVEY AND DRAINAGE PLAN SHEET 3 & 7.
 - B. APPROXIMATE SLOPES AFTER MAJOR GRADING ACTIVITIES - SEE SHEET 7.
 - C. AREAS OF SOIL DISTURBANCE - SEE SHEETS 2, AND THIS SHEET.
 - D. OUTLINE ALL AREAS THAT ARE NOT TO BE DISTURBED - N/A.
 - E. LOCATION OF ALL MAJOR STRUCTURAL AND NON-STRUCTURAL CONTROLS, THIS SHEET.
 - F. THE LOCATION OF EXPECTED STABILIZATION PRACTICES, THIS SHEET.
 - G. NO WETLANDS AND SURFACE WATERS.
 - H. LOCATIONS WHERE STORMWATER MAY DISCHARGE TO A SURFACE WATER OR MSA - SEE SHEET 7.
2. DESCRIBE THE NATURE OF THE CONSTRUCTION ACTIVITY: DEMOLITION, LAND CLEARING, EARTHWORK, PAVING AND UTILITY WORK FOR BUILDING, PARKING AND SITE IMPROVEMENTS.

1. DESCRIBE THE INTENDED SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES:
 - A. SITE PREPARATION AND STABLE CONSTRUCTION ENTRANCE.
 - B. INSTALL SILT FENCE AROUND PERIMETER OF SITE. INSTALL TURBIDITY BARRIERS AT ALL OUTFALL LOCATIONS. CLEAR LAND AND CONSTRUCT BERM ON TEMPORARY SWALES AS SHOWN ON PLANS. BERM SHALL BE CONSTRUCTED USING INITIAL IMPORTED FILL MATERIAL. THE BERM AND SWALE SHALL BE SEEDED.

TOTAL AREA OF THE SITE: 0.828 ACRES
 TOTAL AREA OF THE SITE TO BE DISTURBED: 0.828 ACRES

EXISTING DATA DESCRIBING THE SOIL OR QUALITY OF ANY STORMWATER DISCHARGE: SEE SOIL BORINGS BY SHEETS 2. NO DISCHARGE FROM DISTURBED AREAS IS ANTICIPATED.

DRAINAGE AREA SIZE FOR EACH DISCHARGE POINT:
 ENTRANCE TO SITE: 0.028 ACRES

LATITUDE AND LONGITUDE OF THE SITE:
 LATITUDE = N 27° 27' 34.1"
 LONGITUDE = W 80° 17' 53.9"

1. BEST MANAGEMENT PRACTICES (BMPs) AND MEASURES THAT WILL BE IMPLEMENTED AT THE CONSTRUCTION SITE AND TIME FRAMES IN WHICH THE CONTROLS WILL BE IMPLEMENTED.
2. THE CONTRACTOR WILL USE HAY BALES, SILT FENCE, FILTER BARRIERS, AND OTHER BMPs. THE TIME FRAMES FOR CLEARING, EARTHWORK, AND ANTICIPATED BMPs ARE:
 - A. INSTALL SILT FENCE AT PERIMETER OF SITE AND SILT BARRIERS AT DOWNSTREAM DITCHES/SWALES.
 - B. CLEAR/GRUB AREA NECESSARY FOR TEMPORARY GRAVEL DRIVEWAY AND ADJACENT SWALE.
 - C. CONSTRUCT TEMPORARY GRAVEL DRIVEWAY WITH SWALE, AND GRADE/SOD SWALE AT ENTRANCE.
 - D. CLEAR BALANCE OF SITE.
 - E. CONSTRUCT 12" HIGH AND MITERED END SECTIONS.
 - F. IMPORT FILL MATERIAL.
 - G. CONSTRUCT CONTAINMENT BERMS, SEED/MULCH BERMS.
 - H. FILL BALANCE OF SITE.
 - I. MAINTAIN DOWNSTREAM SILT BARRIERS AND PERIMETER SILT FENCE, DURING CONSTRUCTION.
 - J. INCORPORATE ADDITIONAL BMPs WHEN NEEDED DURING THE COURSE OF CONSTRUCTION.
 - K. POLYWAXED SILT FENCE/FILTER SOCKS AND INLETS ARE INSTALLED.
 - L. PROVIDE STOCKPILE PROTECTION, CONCRETE/STUCCO WASH AREAS, AND OTHER BMPs WHEN NECESSARY TO CONTAIN PROPOSED WORK.

1. TEMPORARY AND PERMANENT STABILIZATION PRACTICES:
 - A. TEMP: HAY BALE/SILT FENCES/FLOATING TURBIDITY BARRIERS PER PLAN. FILTER FABRIC SHALL BE PLACED UNDER THE ROCK GRAVEL DRIVEWAY, AT ALL SWALE OUTFALLS, AND RETENTION POND OUTFALLS.
 - B. PERM: SEED/MULCH/SOD, CONTROLLED GRADING AND DRAINAGE TO DETENTION BASINS.
 - C. STABILIZE ALL DE-NUDED AREAS IF LEFT UNDISTURBED FOR MORE THAN 7 DAYS - USE EYE GRASS PER MANUFACTURER'S APPLICATION RATES, AND MULCHED WITH STRAW AT 4000 LB PER ACRE.

1. STRUCTURAL CONTROLS TO BE IMPLEMENTED TO DIVERT STORMWATER FLOW FROM RECEIVING WATERS:
 - A. TEMP: GRAVEL ENTRANCE ROAD, GRADED TO DRAIN TO A TEMPORARY SEDIMENT SWALE OR RETENTION AREA.
 - B. TEMP: BERMS AT RETENTION PONDS.
 - C. TEMP: BERMS AT PROJECT PERIMETER - PER PLAN.
 - D. INLETS/OUTLETS WILL BE PROTECTED WITH FILTER FABRIC AND PROPERLY INSTALLED HAY BALES.
 - E. SILT FENCE SHALL BE PLACED AROUND THE ENTIRE PERIMETER OF DISTURBED AREAS.
 - F. A DOUBLE ROW OF SILT FENCE WILL BE PROVIDED AROUND ALL STOCK PILE AREAS.

1. PERMANENT STORMWATER MANAGEMENT CONTROLS SUCH AS, DETENTION OR RETENTION SYSTEMS OR VEGETATED SWALES.
 - A. WET DETENTION SYSTEMS INCORPORATED AS PERMANENT BMP FOR WATER QUALITY CONTROL.

1. DESCRIBE IN DETAIL CONTROLS FOR THE FOLLOWING POTENTIAL POLLUTANTS:
 - A. WASTE DISPOSAL:
 - A. ON SITE WASTE WILL BE CONTAINERIZED. CONTRACTOR IS RESPONSIBLE FOR RECYCLING ALL WASTE MATERIALS, WITH A MINIMUM REQUIREMENT OF 75%.
 - B. CONCRETE/STUCCO WASH AREA SHALL BE PROVIDED.
 - C. STOCKPILE AREAS SHALL BE PROTECTED WITH SILT FENCE AND STABILIZED/SEEDED IF LEFT UNATTENDED FOR MORE THAN 7 DAYS.
 - B. OFFSITE VEHICLE TRACKING:
 - A. PROVIDE HARD SURFACE AT TEMP. DRIVEWAY (ROCK/GRAVEL DRIVEWAY).
 - B. REGULAR MAINTENANCE OF ADJACENT ROAD RIGHT OF WAY, INCLUDING STREET SWEEPING, & RUT REPAIR IN NON-PAVED AREAS.
 - C. APPLICATION RATES OF ALL FERTILIZERS, HERBICIDES AND PESTICIDES:
 - A. NONE PROPOSED.
 - D. STORAGE, APPLICATION, GENERATION AND MIGRATION OF ALL TOXIC SUBSTANCES:
 - A. NONE PROPOSED.

1. DESCRIPTION OF THE MAINTENANCE PLAN FOR ALL STRUCTURAL AND NON-STRUCTURAL CONTROLS.
 - A. CONTRACTOR SHALL HAVE SWPPP COMPONENTS INSPECTED BY A FDEP CERTIFIED INSPECTOR AND MAINTAIN ALL CONTROLS DAILY, AND HAVE WEEKLY SWPPP INSPECTION REPORTS PREPARED, AND WITHIN 24 HOURS OF THE END OF ANY RAINFALL EVENT THAT IS 1/2" OR GREATER. ENGINEER SHALL INSPECT PERIODICALLY.

1. NOTES:
 - A. THIS PLAN (SHEETS 4 AND 5), COPY OF FDEP NOI (STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES) AND ALL REQUIRED INSPECTION REPORTS, TESTS, AND ALL OTHER DOCUMENTATION SHALL BE KEPT AT THE PROJECT SITE.
 - B. THE FOLLOWING CERTIFICATION SHALL BE COMPLETED BY ALL CONTRACTORS/SUB-CONTRACTORS RESPONSIBLE FOR ANY PORTION OF THE IMPLEMENTATION OF THE SWPPP PLAN.

CERTIFICATION:
 "I CERTIFY UNDER THE PENALTY OF LAW THAT I UNDERSTAND AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER."

SWPPP DESCRIPTION OF WORK/RESPONSIBILITY	NAME/TITLE	CONTRACTOR OR SUB CONTRACTOR (NAME, ADDRESS, PHONE)	NAME/SIGNATURE TO CERTIFICATION	DATE

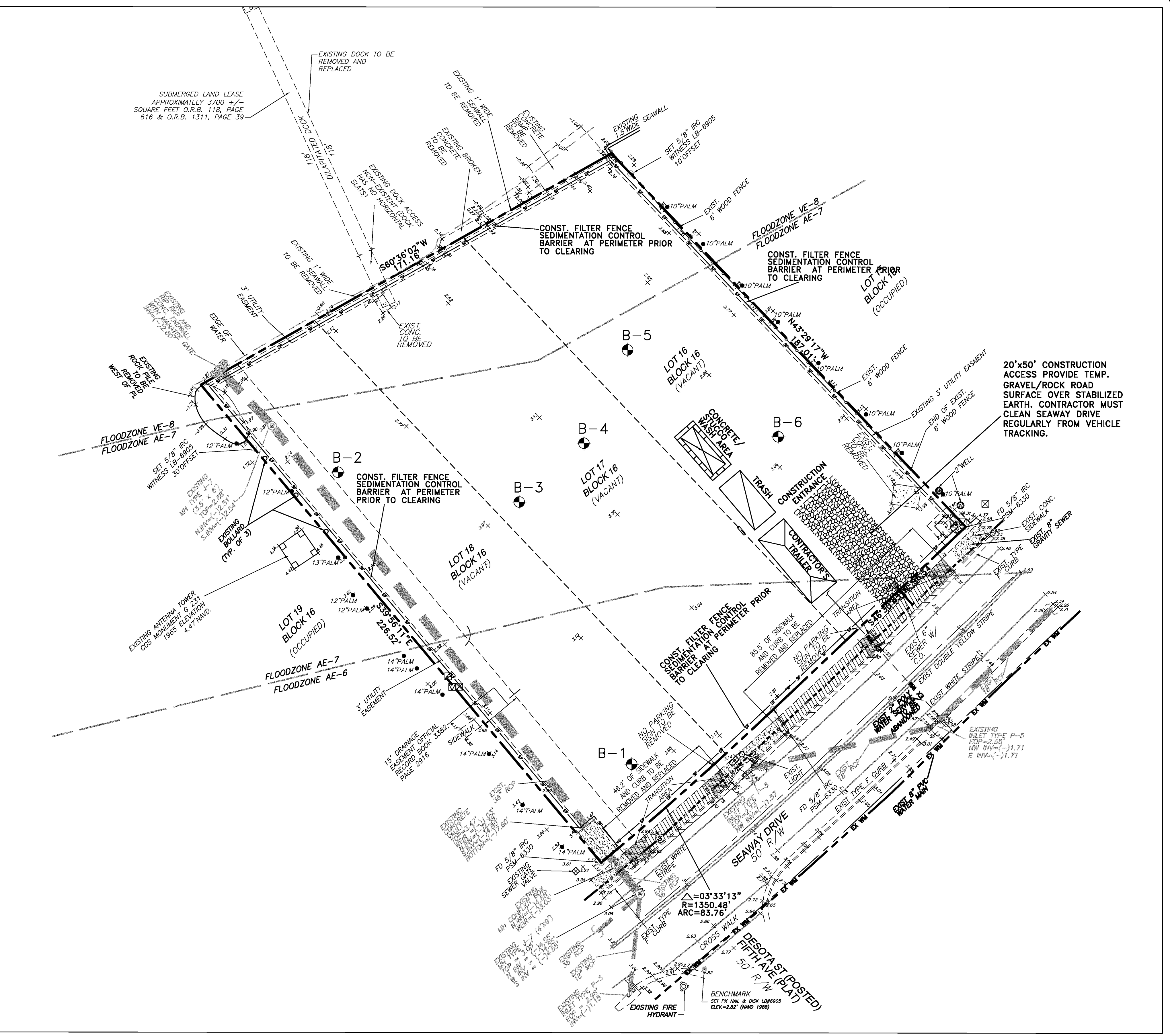
PLAN PREPARATION

1. THIS PLAN ORIGINALLY PREPARED BY THE OWNER'S ENGINEER. THIS PLAN WILL BE MADE AVAILABLE TO CONTRACTOR TO EDIT, CHANGE, MODIFY, AS IT DEEMS NECESSARY FOR COMPLIANCE WITH FDEP REGULATIONS, PERMIT CONDITIONS, AND AS REQUIRED FOR CONTRACTOR TO SIGN THE CERTIFICATION ON BEHALF OF THE ENTITY (CONTRACTOR) RESPONSIBLE FOR SWPPP PLAN IMPLEMENTATION.
2. THE FOLLOWING CERTIFICATION SHALL BE SIGNED BY THE ENTITY (CONTRACTOR) RESPONSIBLE FOR SWPPP PLAN IMPLEMENTATION:

"I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED, BASED ON MY KNOWLEDGE OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS."

BY: _____ DATE: _____
 SIGNATURE _____

- A. ARCHAEOLOGICAL:
 - A. PREHISTORIC OR HISTORIC ARTIFACTS, SUCH AS POTTERY OR CERAMICS, STONE TOOLS, OR METAL IMPLEMENTS, OR ANY OTHER PHYSICAL REMAINS THAT COULD BE ASSOCIATED WITH THE NATIVE AMERICAN CULTURES, OR EARLY COLONIAL OR AMERICAN SETTLEMENT ARE ENCOUNTERED AT ANY TIME WITHIN THE PROJECT SITE AREA, THE PERMITTED PROJECT SHOULD CEASE ALL ACTIVITIES INVOLVING SUBSURFACE DISTURBANCE IN THE IMMEDIATE VICINITY OF SUCH DISCOVERIES. THE PERMITTEE, OR OTHER DESIGNEE, SHOULD CONTACT THE FLORIDA DEPARTMENT OF STATE, DIVISION OF HISTORICAL RESOURCES, REVIEW AND COMPLIANCE SECTION AT (850)245-6333 OR (800)847-7278, AS WELL AS THE APPROPRIATE PERMITTING AGENCY OFFICE. PROJECT ACTIVITIES SHOULD NOT RESUME WITHOUT VERBAL AND/OR WRITTEN AUTHORIZATION FROM THE DIVISION OF HISTORICAL RESOURCES. IN THE EVENT THAT UNMARKED HUMAN REMAINS ARE ENCOUNTERED DURING PERMITTED ACTIVITIES, ALL WORK SHALL STOP IMMEDIATELY AND THE PROPER AUTHORITIES NOTIFIED IN ACCORDANCE WITH SECTION 872.05, FLORIDA STATUTES.
- B. EROSION AND SEDIMENTATION CONTROL:
 - A. THE LAND DISTURBING ACTIVITY SHALL CONFORM TO EXISTING TOPOGRAPHY AND SOIL TYPE SO AS TO CREATE THE LOWEST PRACTICAL EROSION POTENTIAL.
 - B. LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN A MANNER MINIMIZING EROSION.
 - C. THE DISTURBED AREA AND THE DURATION OF EXPOSURE TO ERODIBLE ELEMENTS SHALL BE KEPT TO A PRACTICABLE MINIMUM.
 - D. EROSION CONTROL MUST BE STRICTLY MAINTAINED DURING CUT AND FILL OPERATIONS.
 - E. DISTURBED SOIL SHALL BE STABILIZED AS QUICKLY AS PRACTICABLE.
 - F. WHENEVER FEASIBLE, NATURAL VEGETATION OR MULCHING SHALL BE EMPLOYED TO PROTECT EXPOSED CRITICAL AREAS DURING DEVELOPMENT.
 - G. TEMPORARY VEGETATION OR MULCHING SHALL BE EMPLOYED TO PROTECT EXPOSED CRITICAL AREAS DURING DEVELOPMENT.
 - H. PERMANENT VEGETATION AND STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICABLE.
 - I. ADEQUATE PROVISIONS MUST BE PROVIDED TO MINIMIZE DAMAGE FROM SURFACE WATER TO THE CUT FACE OF EXCAVATION OR THE SLOPING SURFACE OF FILLS.
 - J. TO THE EXTENT NECESSARY, SEDIMENT IN RUNOFF WATER MUST BE TRAPPED BY THE USE OF DEBRIS BASINS, SEDIMENT BASINS, SILT TRAPS OR SIMILAR MEASURES UNTIL THE DISTURBED AREA IS STABILIZED.
 - K. CUTS AND FILLS MUST BE CONSTRUCTED IN SUCH A MANNER THAT EROSION AND RUNOFF FROM THE SITE DOES NOT ENDANGER ADJACENT PROPERTY.
 - L. FILLS MAY NOT ENDOACH UPON NATURAL WATERCOURSES OR CONSTRUCTED CHANNELS IN A MANNER SO AS TO ADVERSELY AFFECT OTHER PROPERTY OWNERS WITHOUT ADEQUATE PROVISIONS FOR AN EQUIVALENT ALTERNATE SYSTEM WITH A POSITIVE OUTFALL.
 - M. ALL R.O.W.'S, WATERWAYS, STREETS AND SIDEWALKS SHALL BE BUFFERED BY A TYPICAL 20' FOOT WIDE STRIP OF GRASS OR OTHER SUITABLE MEANS.
 - N. GRADING EQUIPMENT MUST CROSS FLOWING STREAMS BY MEANS OF BRIDGES OR CULVERTS EXCEPT WHEN SUCH METHODS NOT FEASIBLE AND PROVIDED IN ANY CASE, THAT SUCH CROSSINGS ARE KEPT TO A MINIMUM AND SEDIMENTATION CONTROL DEVICES ARE PROVIDED.



GRAPHIC SCALE

(IN FEET)

1 inch = 20 ft.

0 20 40 60 80

- HATCH LEGEND**
- PROPOSED BRICK PATIERS
 - EXISTING CONCRETE TO REMAIN
 - PROPOSED CONCRETE
 - PROPOSED BUILDING FOOTPRINT
 - EXISTING SIDEWALK TO BE REMOVED
 - EXISTING CURB TO BE REMOVED

- Legend & Abbreviations**
- PLS - PROFESSIONAL LAND SURVEYOR
 - PSM - PROFESSIONAL SURVEYOR & MAPPER
 - LB - LAND SURVEYING BUSINESS
 - CL - CENTERLINE
 - R - RADIUS
 - L - LENGTH
 - Δ - DELTA ANGLE
 - E.P. - EDGE OF PAVEMENT
 - BC - BACK OF CURB
 - B.M. - BENCHMARK
 - POC - POINT OF COMMENCEMENT
 - POB - POINT OF BEGINNING
 - o - (PCP) PERMANENT CONTROL POINT
 - PCP - PERMANENT CONTROL POINT
 - PRM - (PRM) PERMANENT REFERENCE MONUMENT
 - PRM - PERMANENT REFERENCE MONUMENT
 - o - (P) IRON PIPE
 - IP - IRON PIPE
 - o - (RC) IRON ROD & CAP
 - IRC - IRON ROD & CAP
 - CM - CONCRETE MONUMENT
 - FD - FOUND
 - (M) - MEASURED
 - (P) - PLAT
 - (C) - CALCULATED
 - TCB - TRAFFIC CONTROL BOX
 - GUY WIRE
 - WOOD UTILITY POLE
 - TELEPHONE SERVICE
 - CABLE TV BOI
 - WELL
 - HYDRANT
 - GATE VALVE
 - IRRIGATION VALVE
 - WATER METER
 - SANITARY MANHOLE
 - SANITARY SERVICE
 - SEPTIC TANK
 - SEPTIC MANHOLE
 - CURB INLET
 - SURFACE INLET
 - MITERED END SECTION
 - CONCEPTUAL DRAINAGE
 - STREET SIGN
 - PROPOSED GRADE
 - NAVD - NORTH AMERICAN VERTICAL DATUM
 - AC - TYPICAL ELEVATION
 - AC - AIR CONDITIONER
 - CONC. - CONCRETE
 - F.F. - FINISH FLOOR
 - BSB - BUILDING SETBACK LINE
 - EL. ELEV. - ELEVATION
 - R.W. - RIGHT OF WAY
 - AB - AS-BUILT
 - PK - PARKER-KALON

SCHULKE, BITTLE & STODDARD, L.L.C.
 CIVIL & STRUCTURAL ENGINEERING - LAND PLANNING - ENVIRONMENTAL PERMITTING
 CERTIFICATION OF AUTHORIZATION NO.: 00008668
 1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960
 TEL 772/770-9622 FAX 772/770-9496 EMAIL

EXISTING CONDITIONS/DEMOLITION AND POLLUTION PREVENTION PLAN

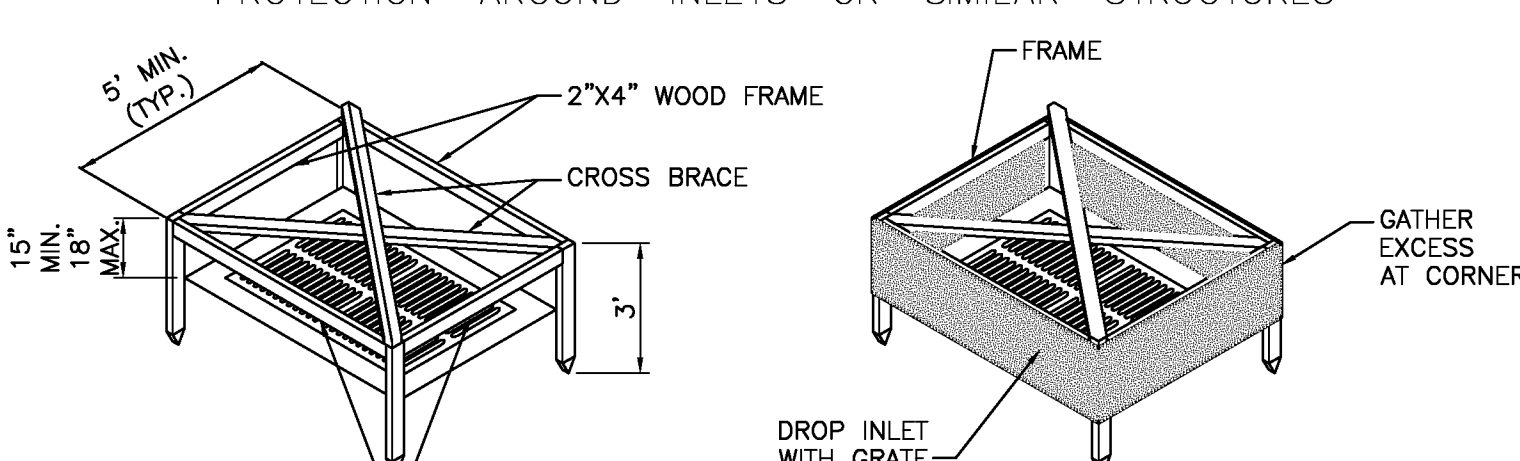
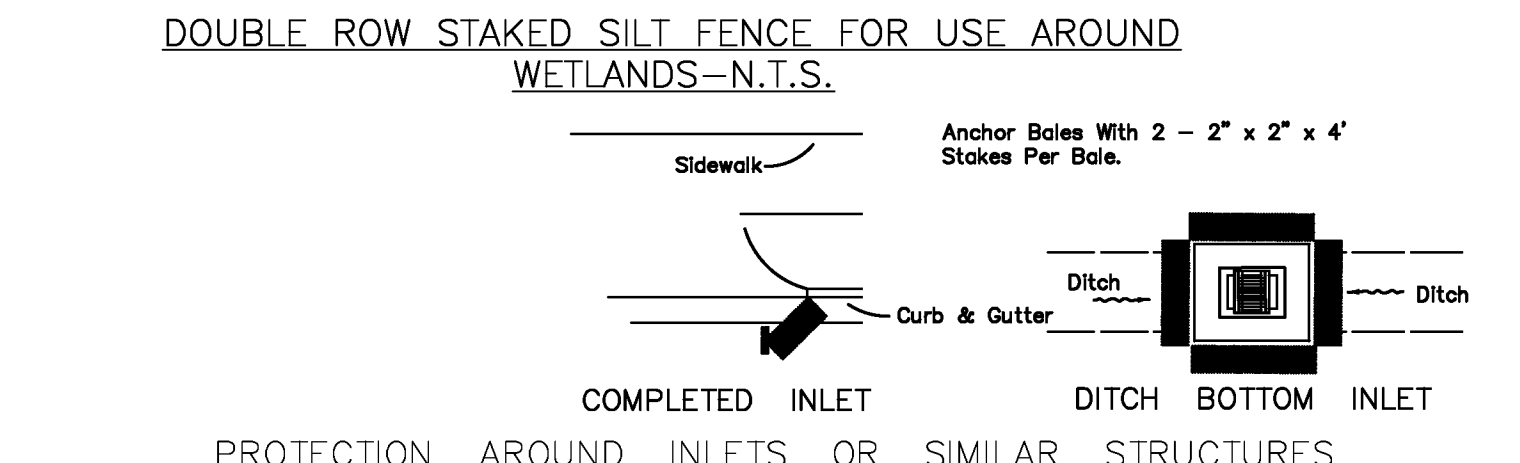
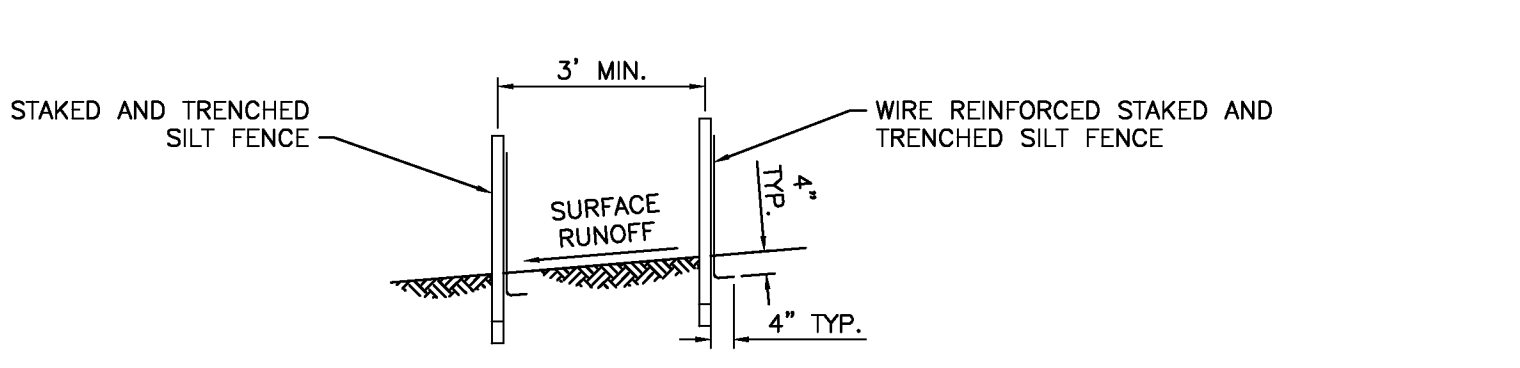
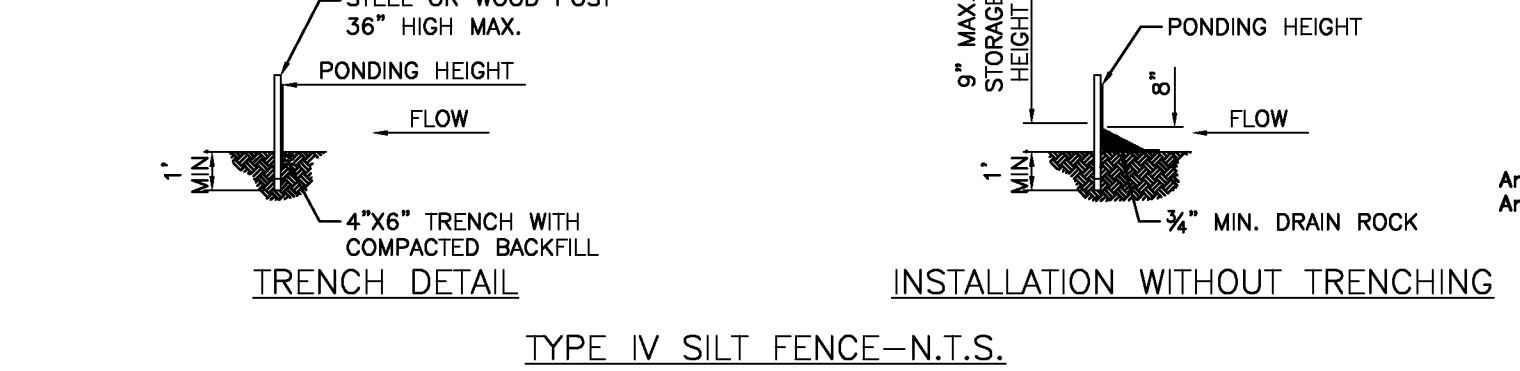
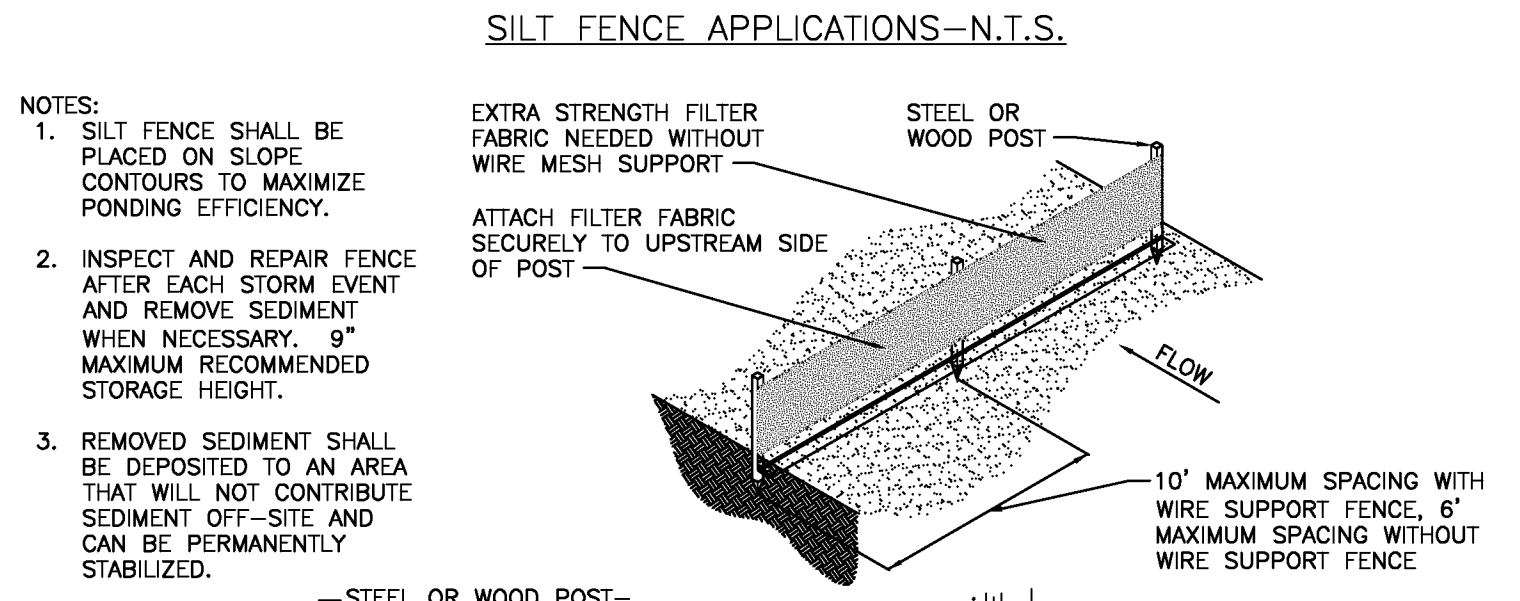
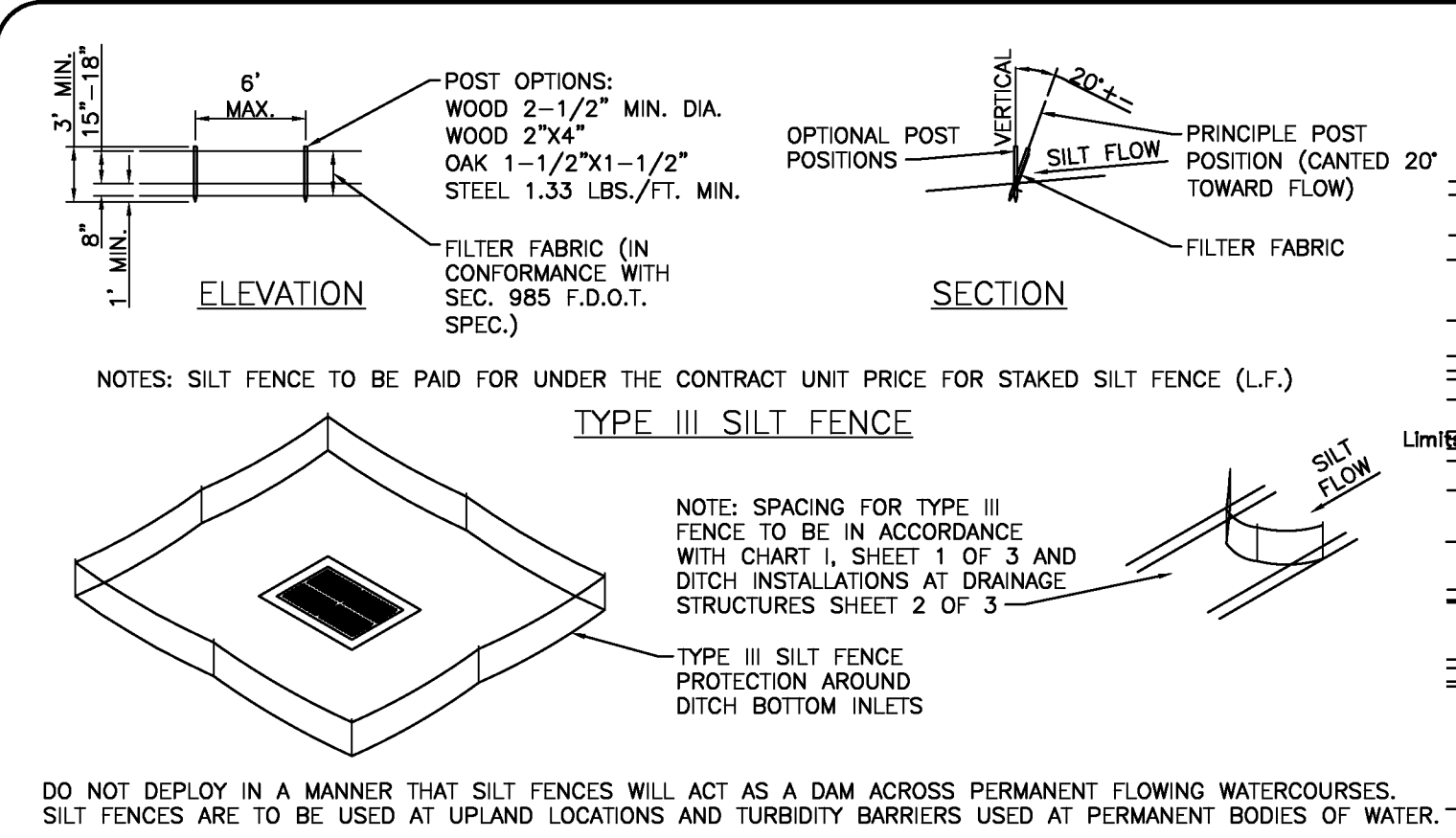
INLET PALMS

ENGINEER CERTIFICATION
 JOSEPH M. SCHULKE
 FL. REG. NO. 47048
 JOHN B. BITTLE
 FL. REG. NO. 57396
 WILLIAM P. STODDARD
 FL. REG. NO. 57605

DATE: 5/29/15
 REVISION: 1
 REVISED PER CORP: 1

DRAWING 15-053
 DESIGNED J.B.B.
 DRAWN J.B.B.
 CHECKED J.B.B.
 SCALE 1:20
 DATE 4/15/2015

DATE: SHEET 2 PROJECT NO. 15-053

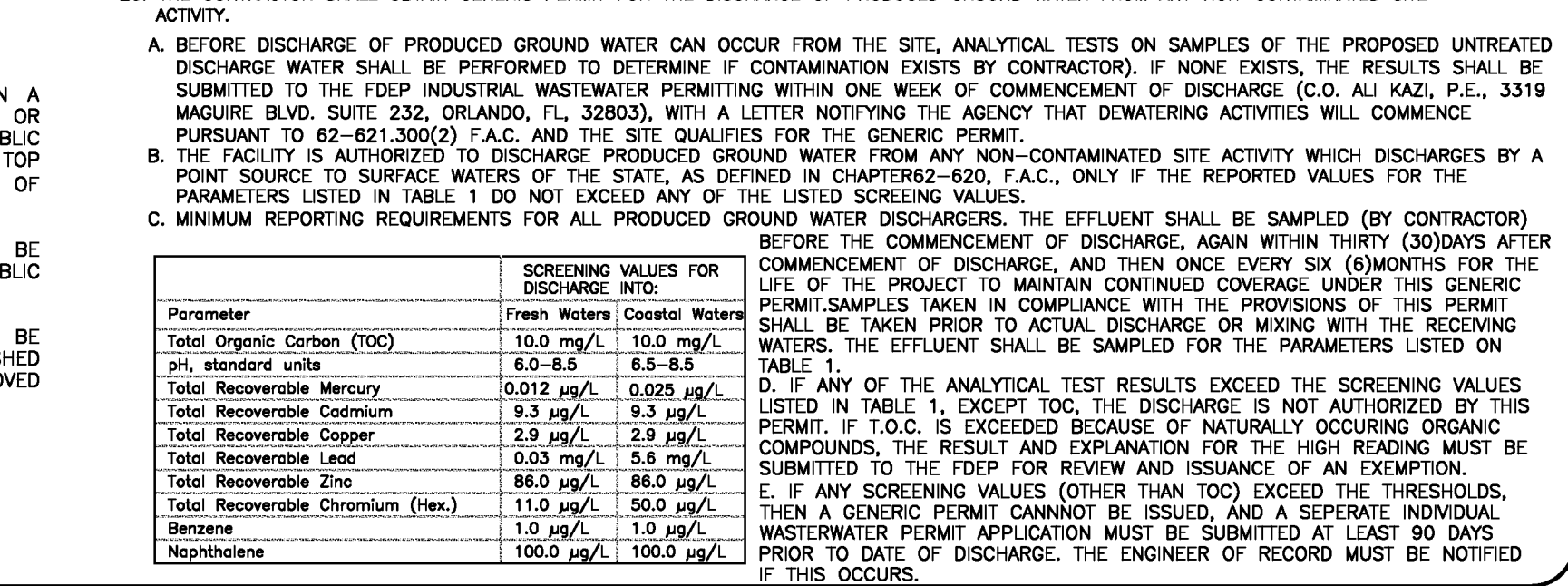
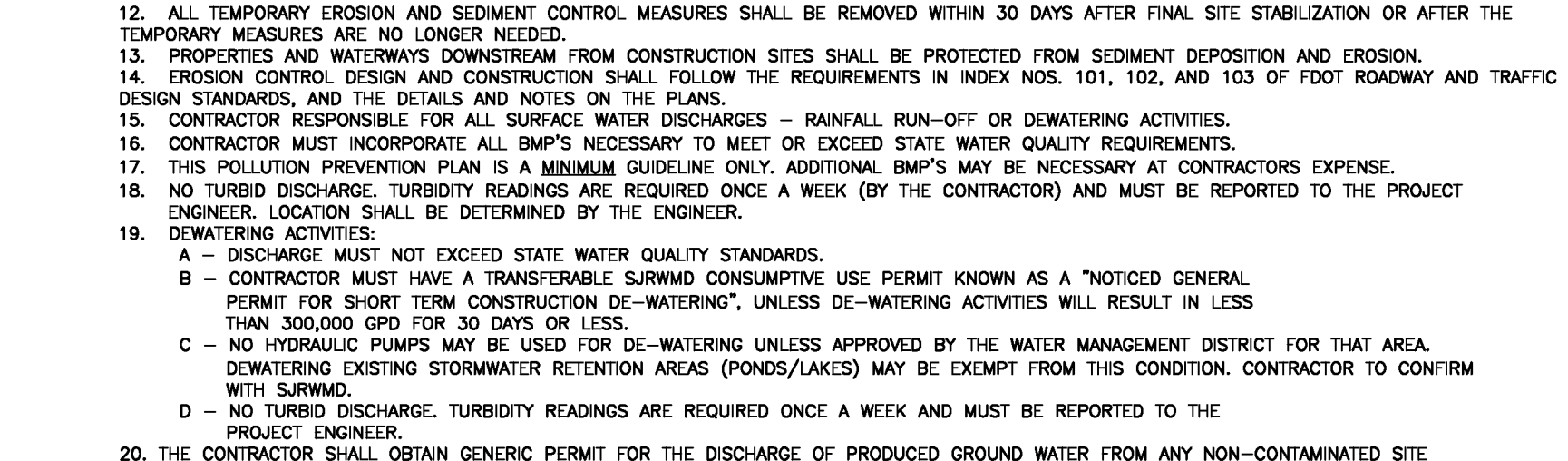
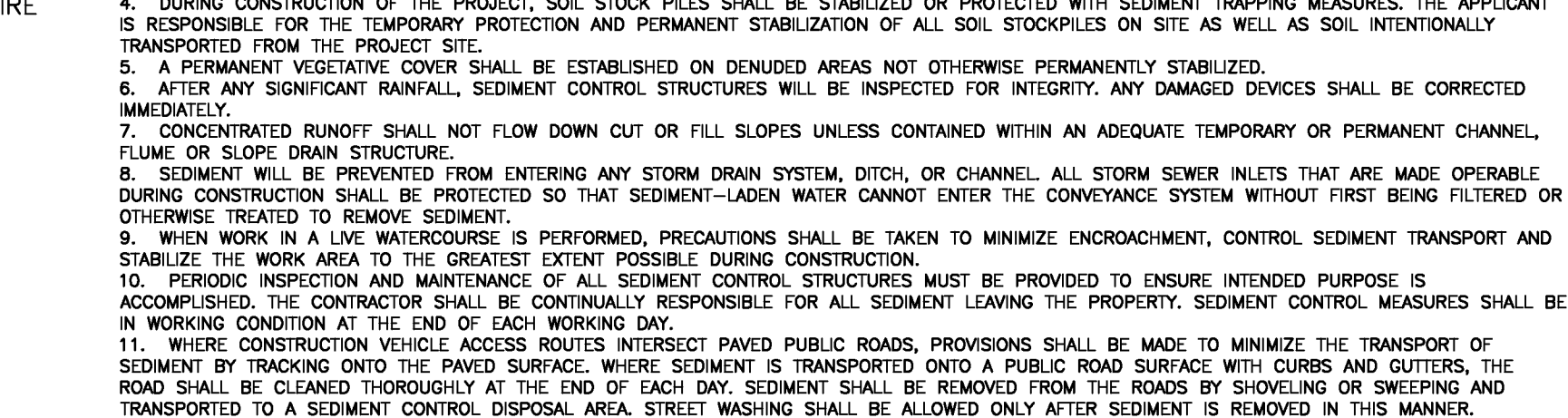
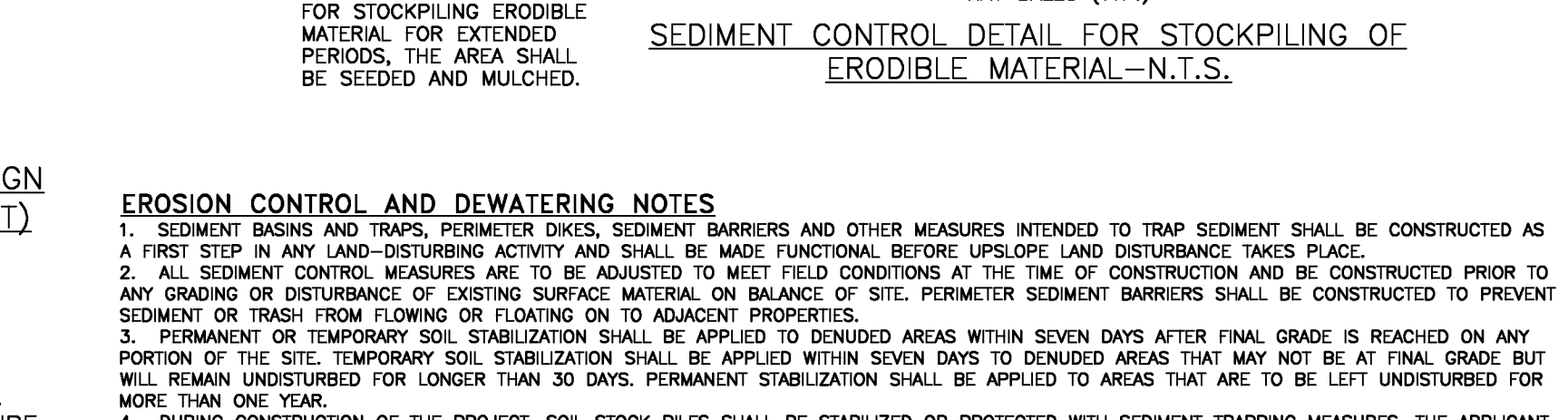
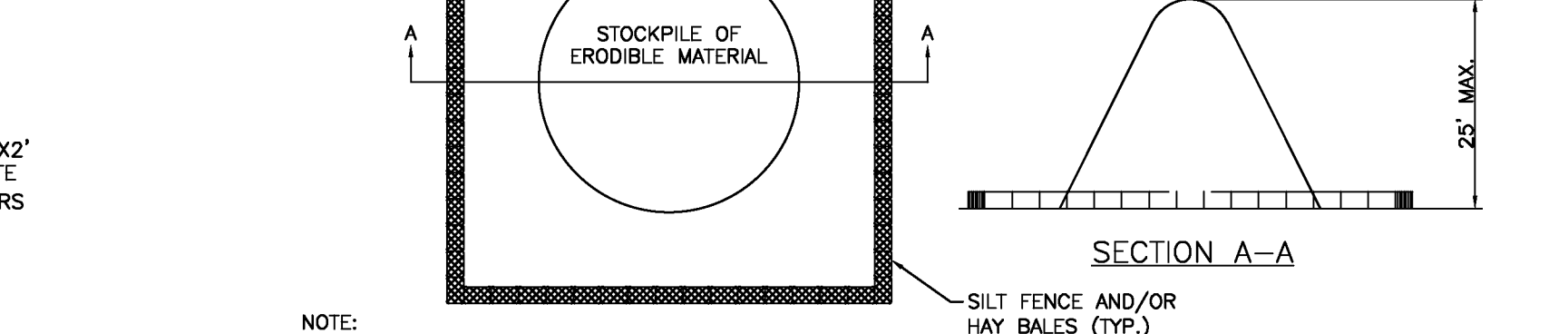
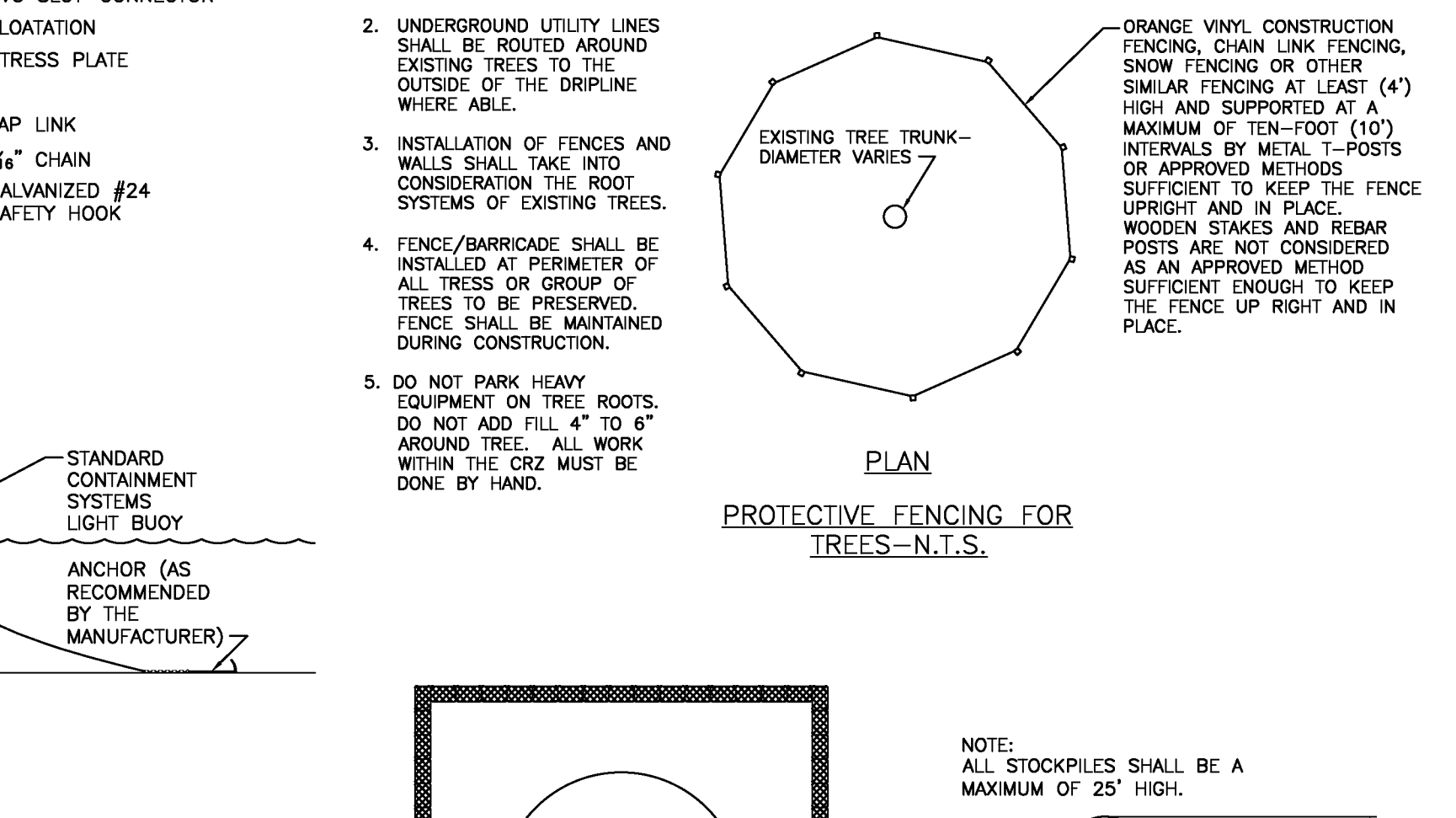
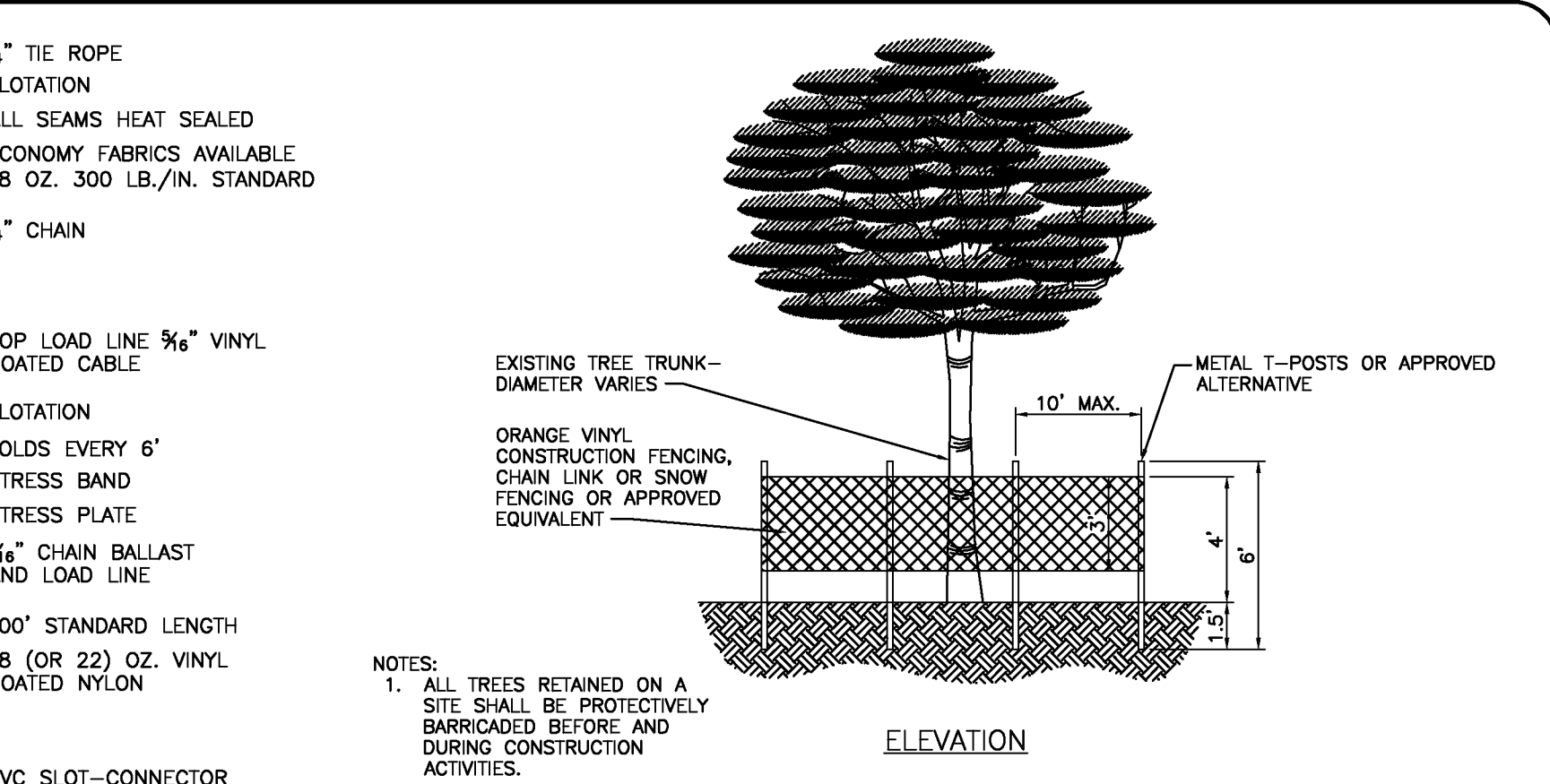
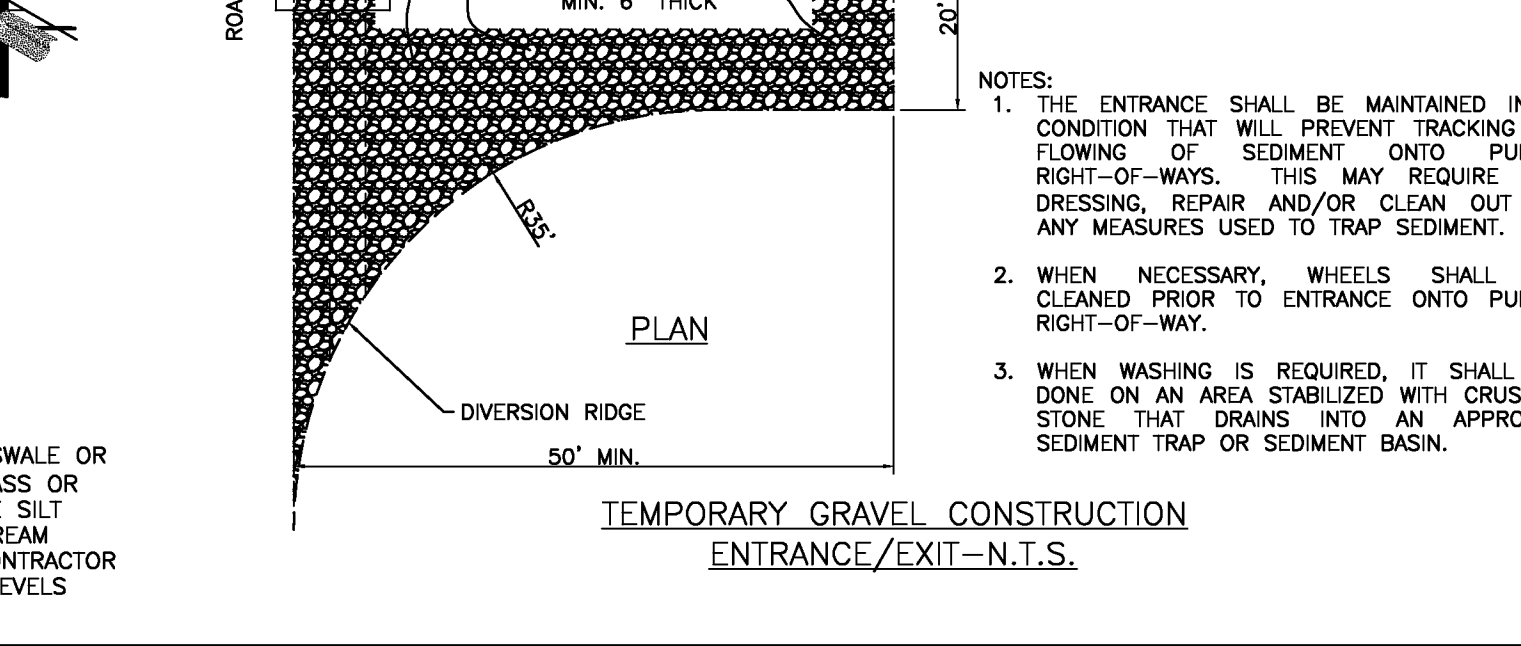
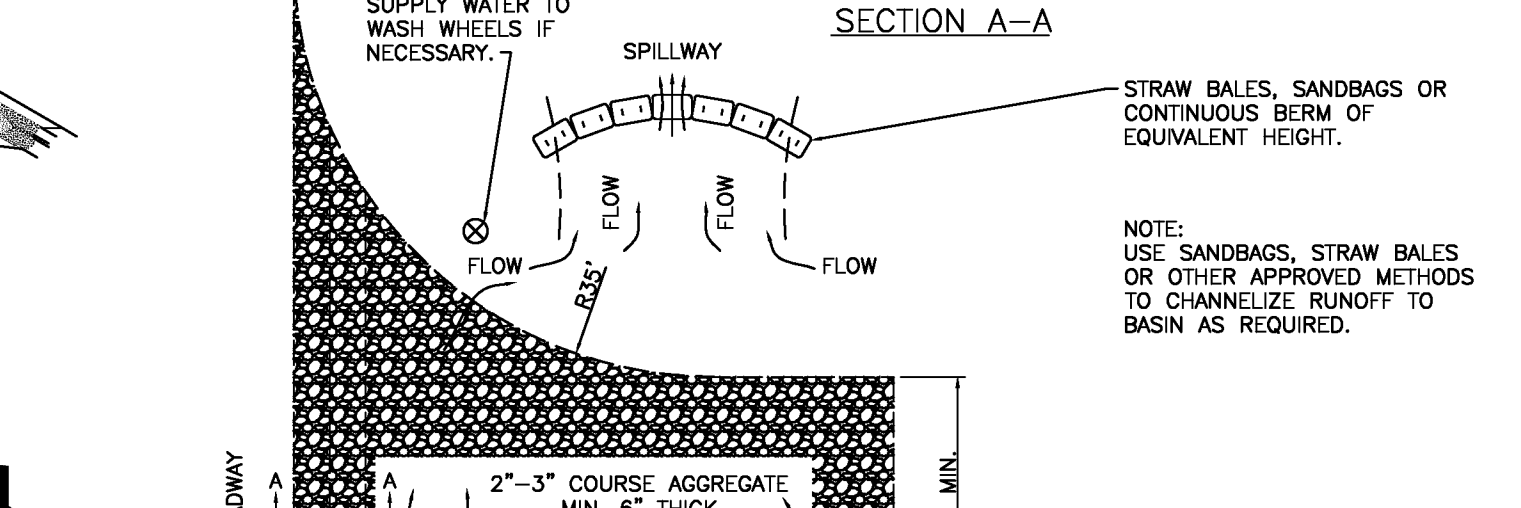
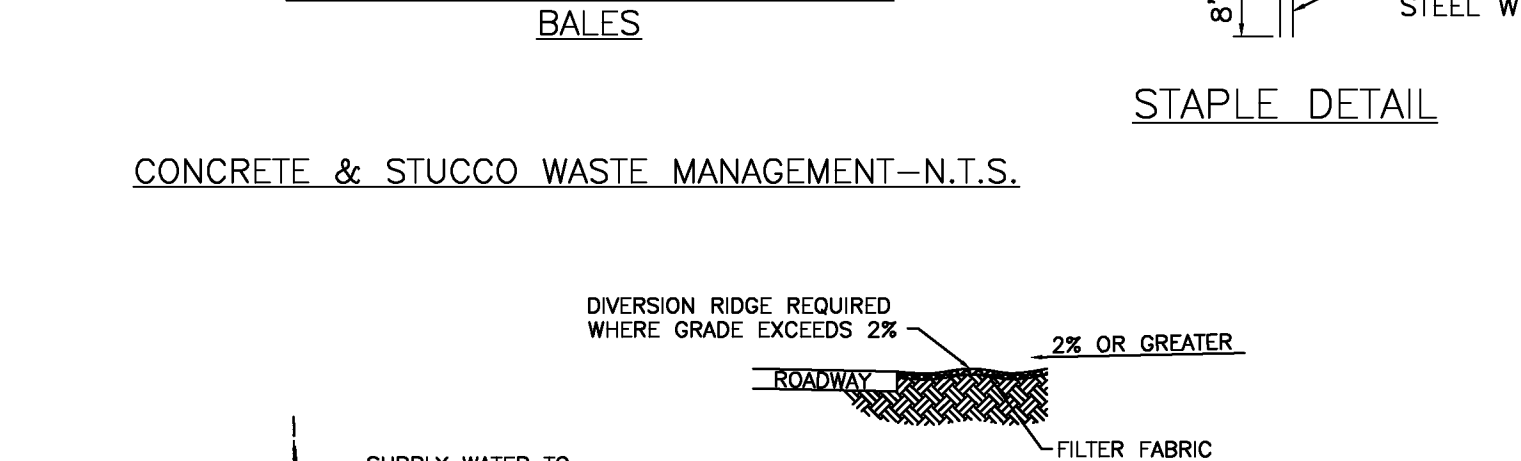
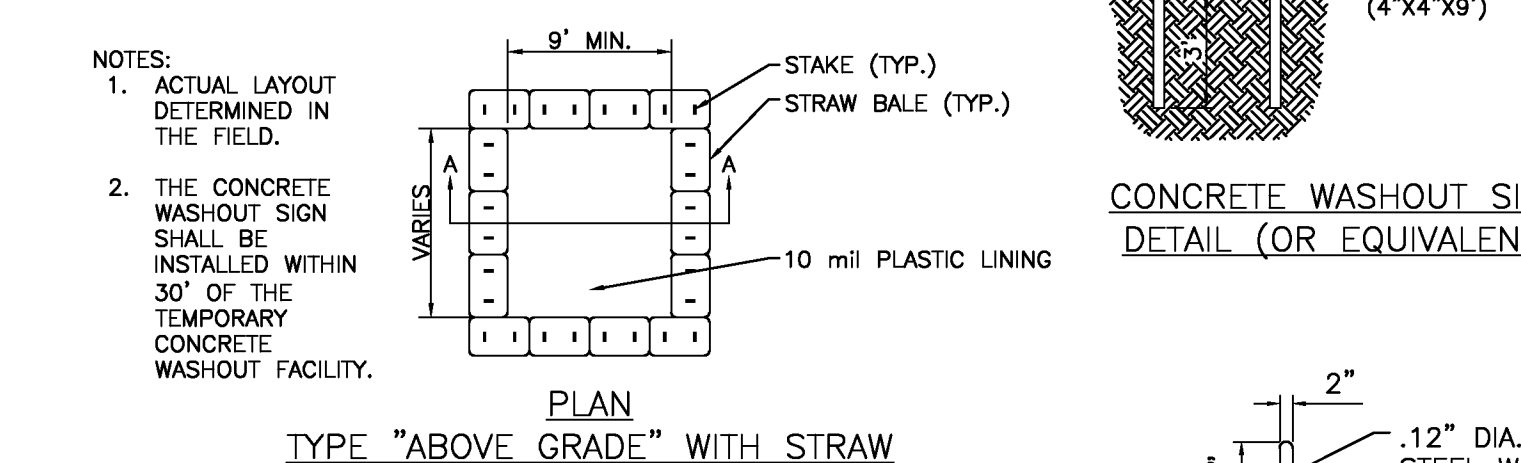
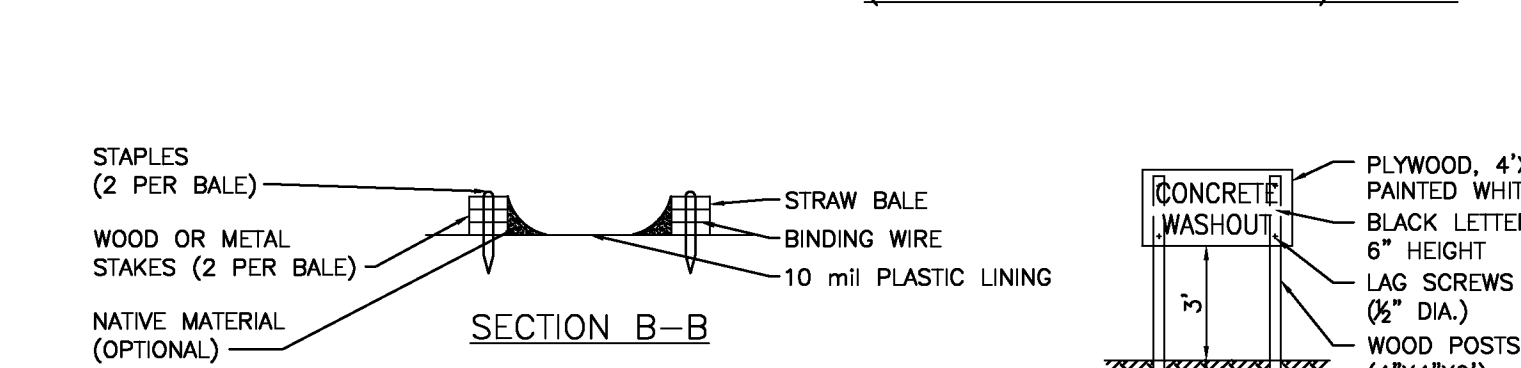
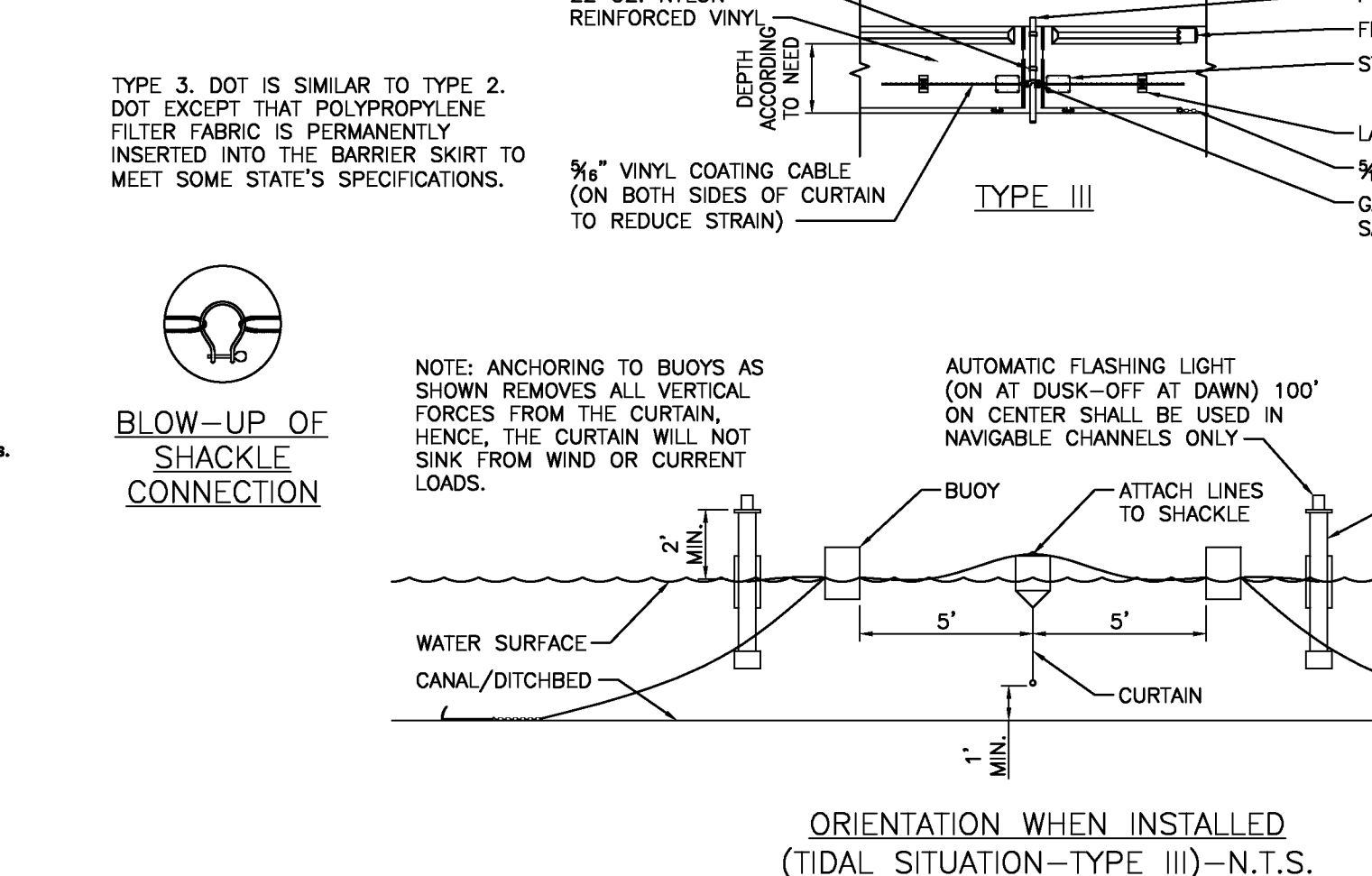
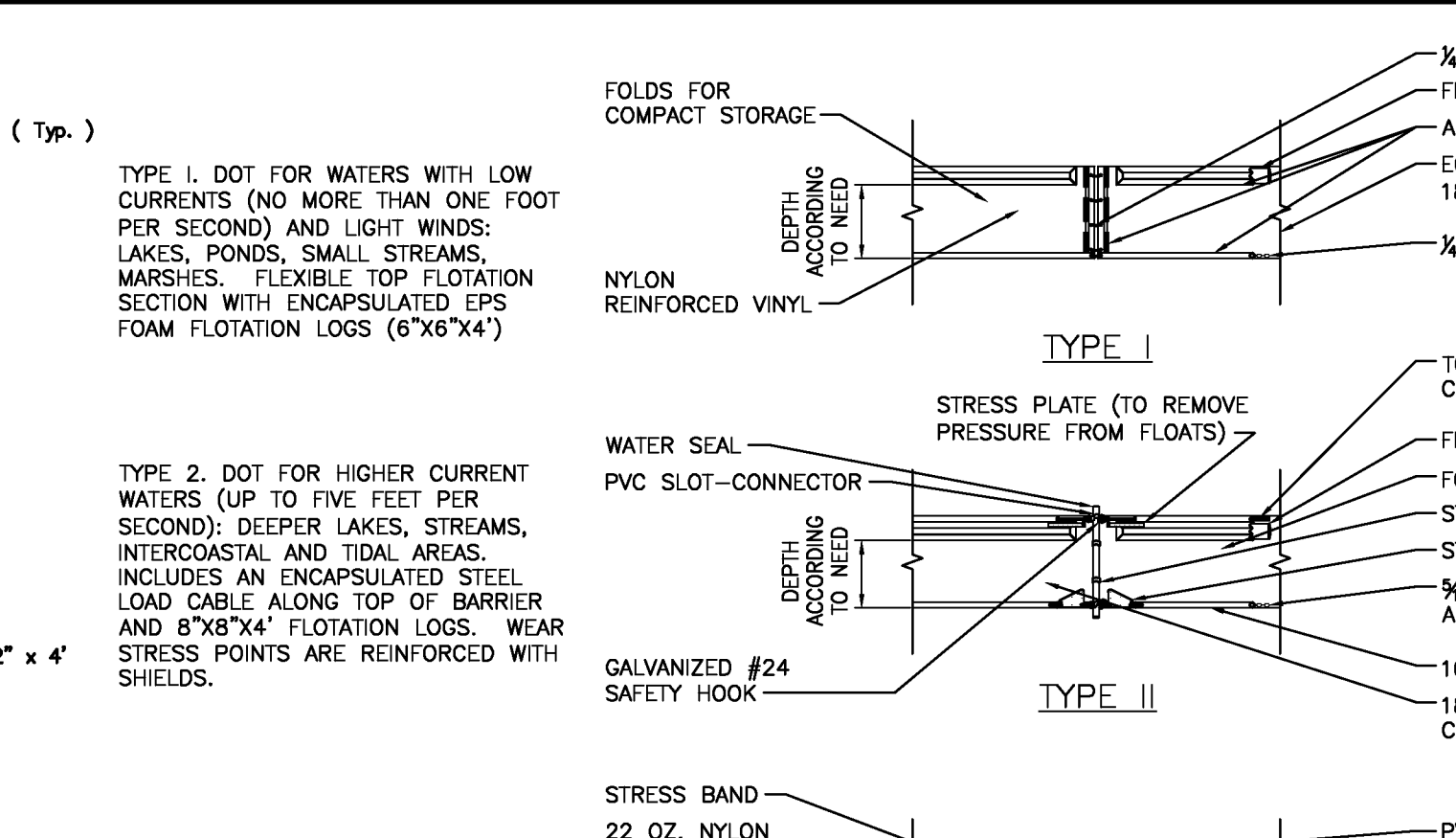
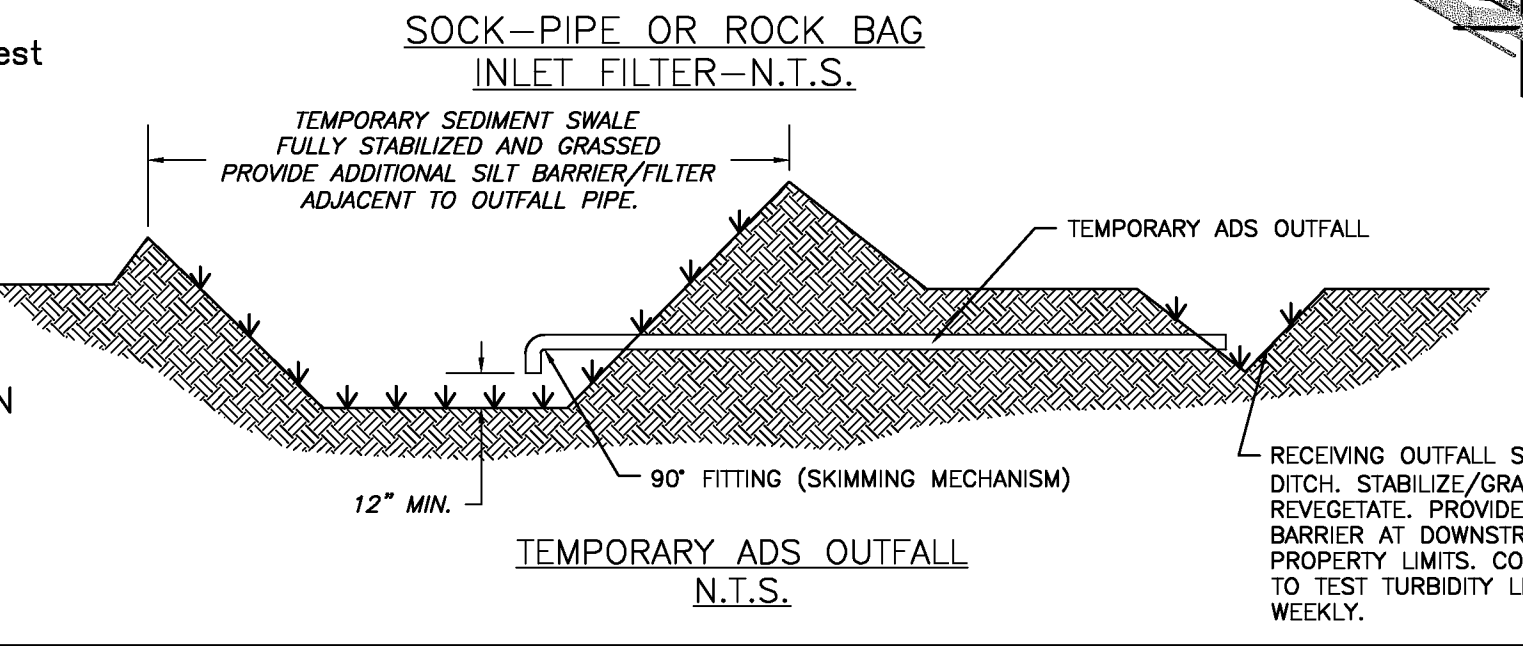
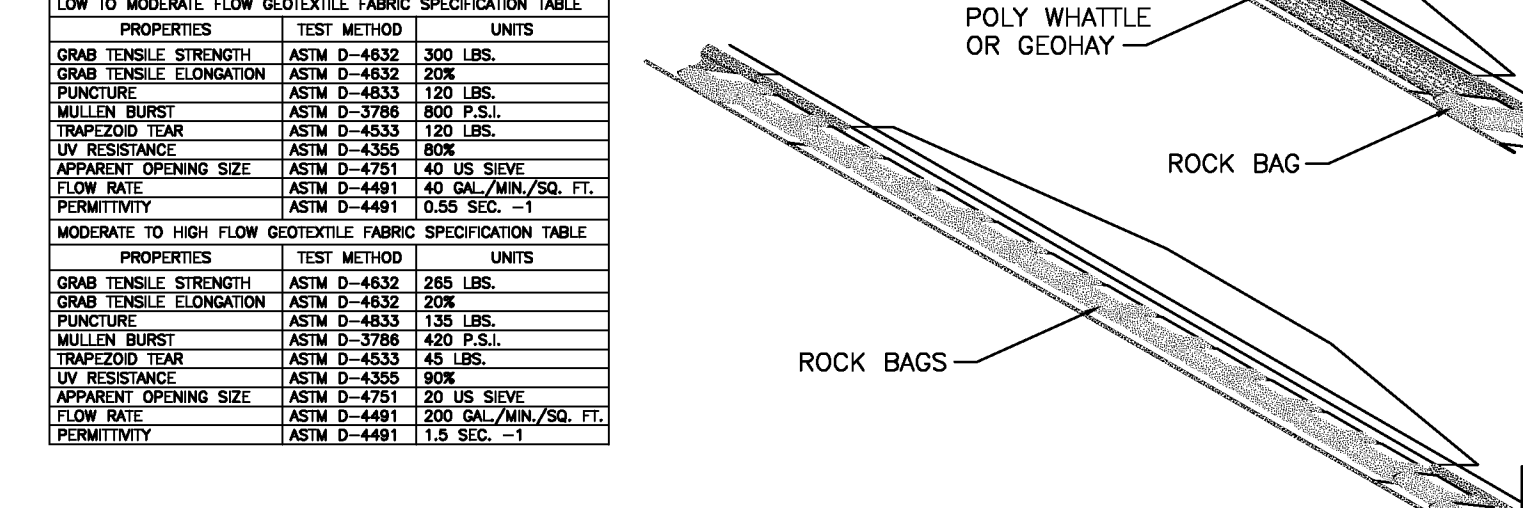
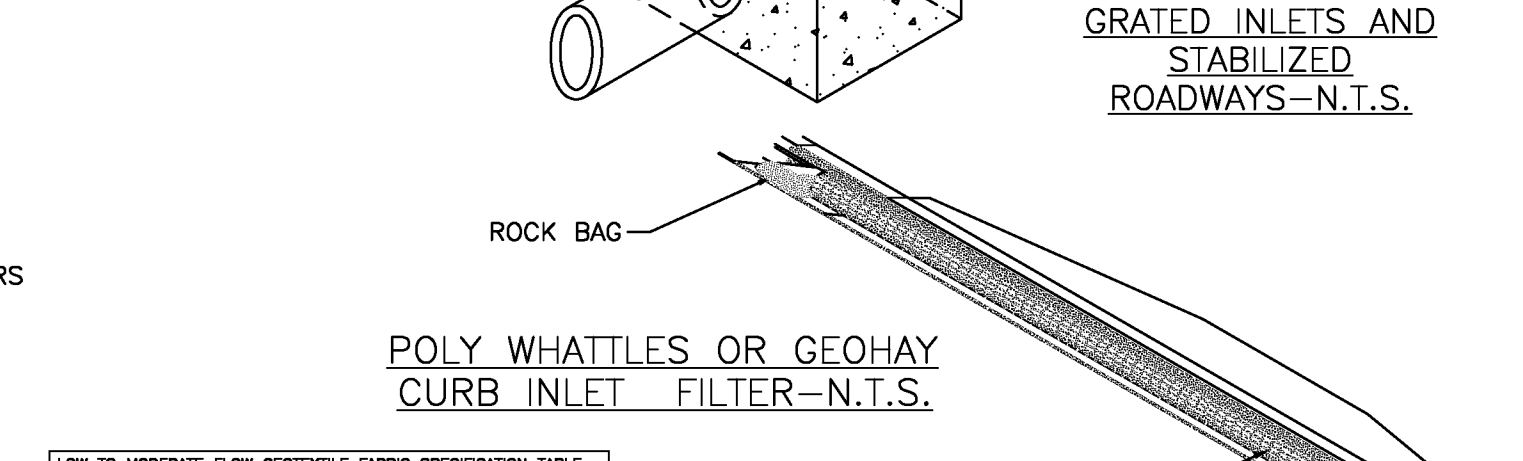
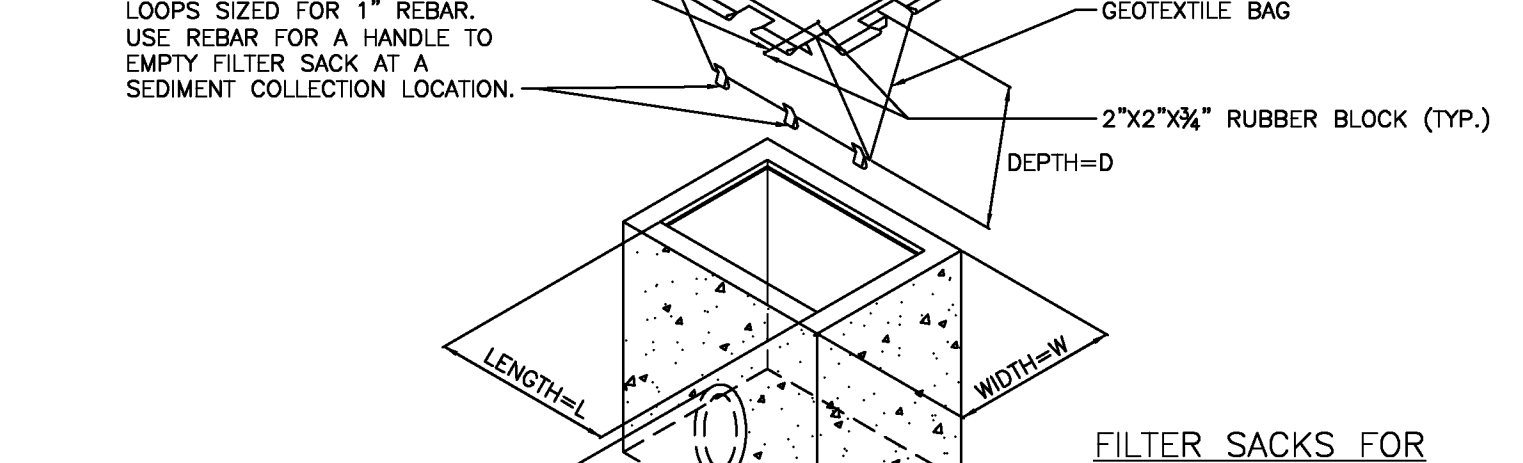
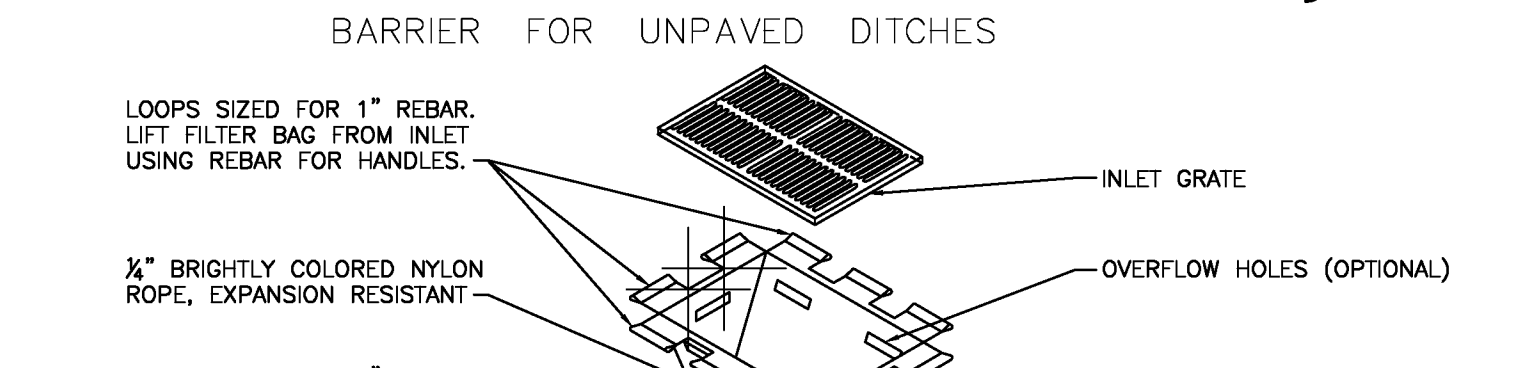
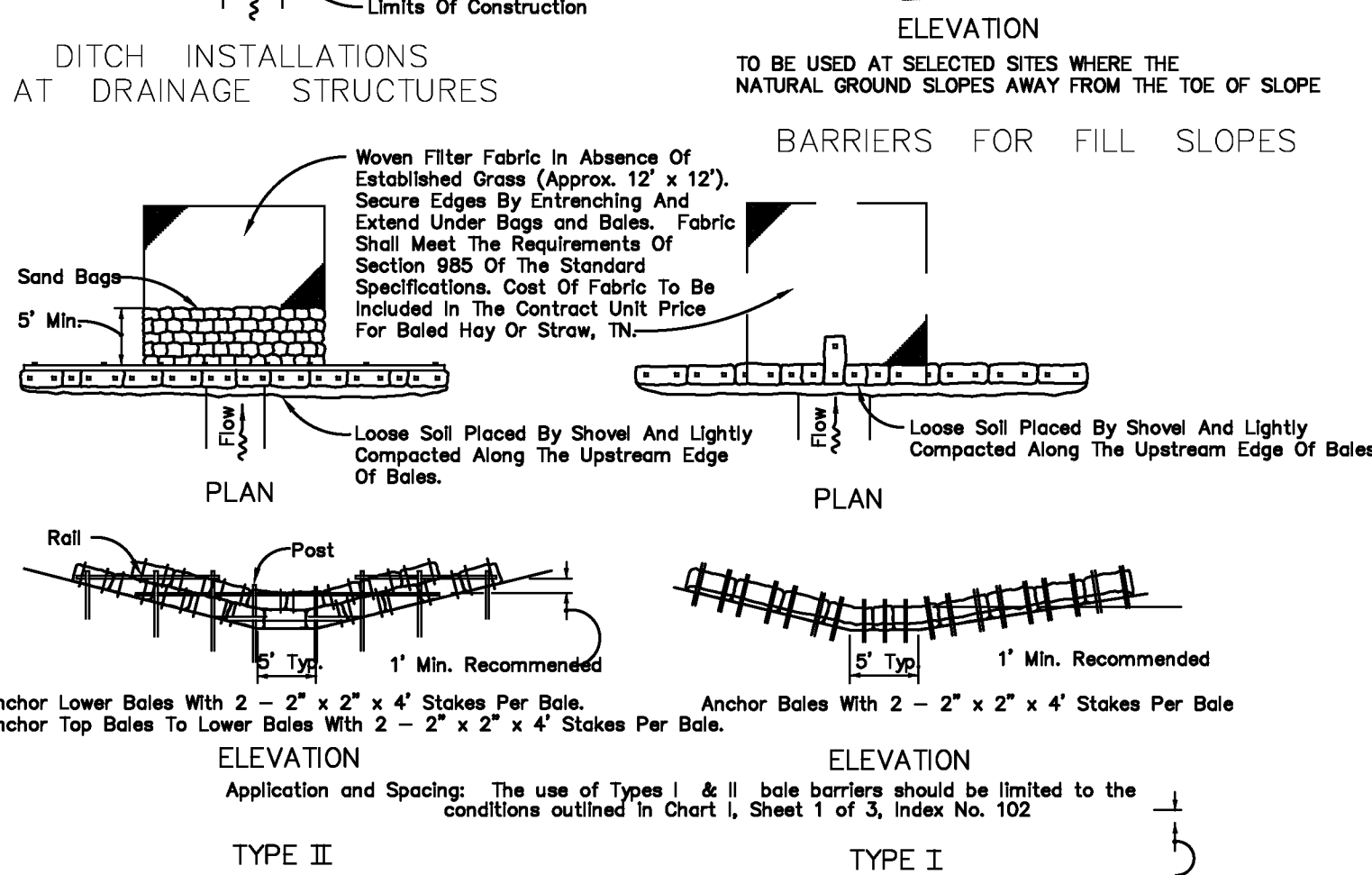
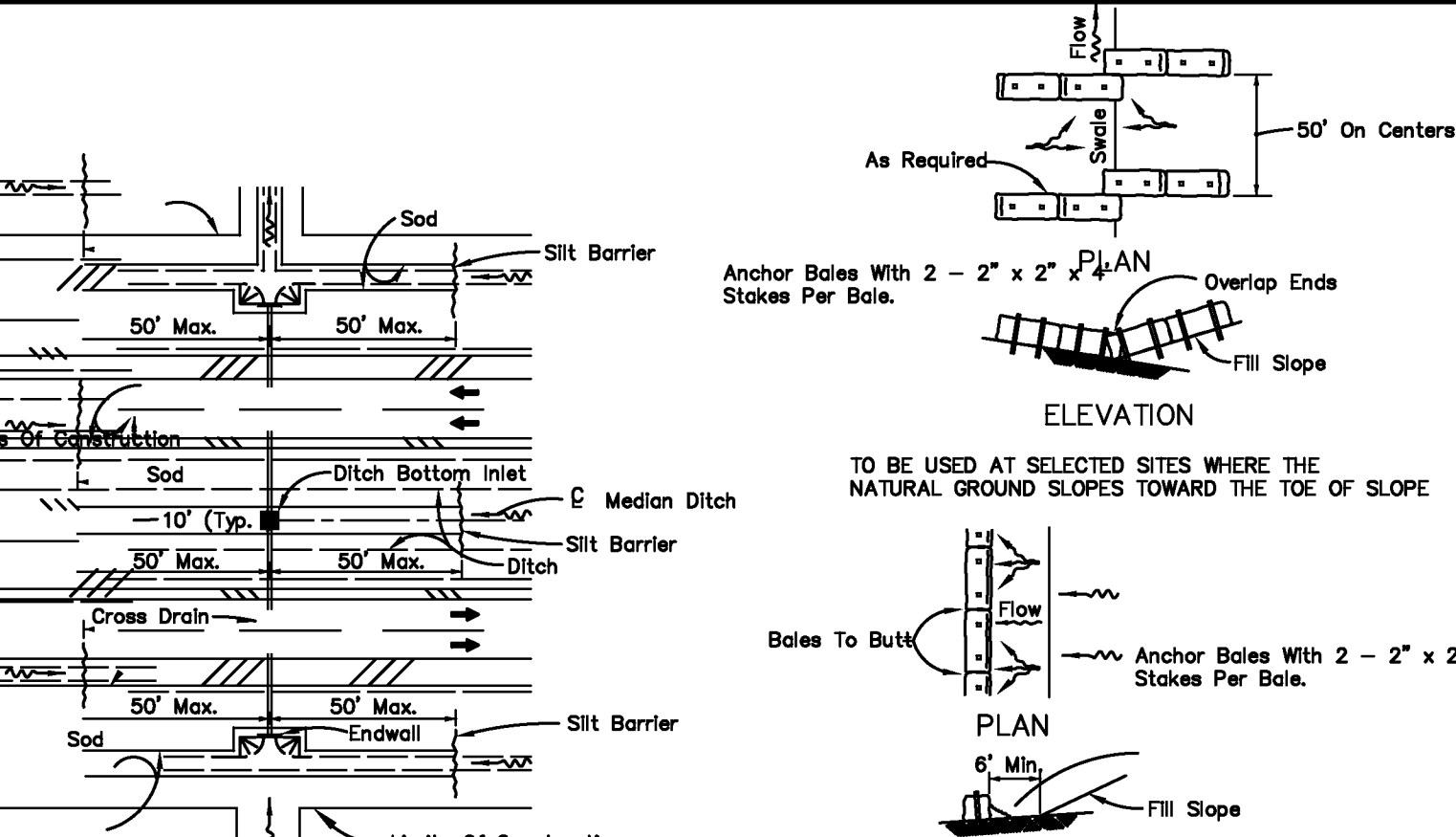
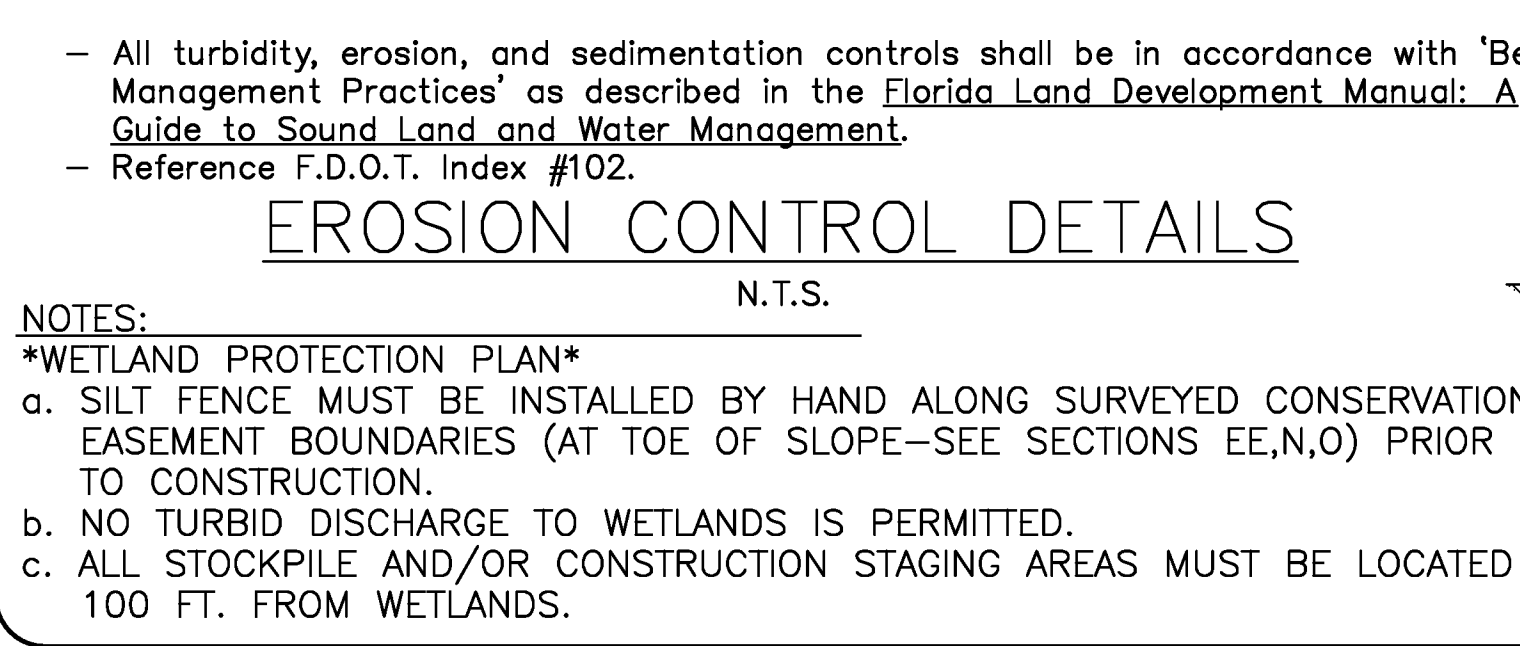


LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE

PROPERTIES	TEST METHOD	UNITS
GRAND TENSILE STRENGTH	ASTM D-4832	300 LBS.
GRAND TENSILE ELONGATION	ASTM D-4832	20%
PUNCTURE	ASTM D-4833	150 LBS.
MULLEN BURST	ASTM D-3786	800 P.S.I.
TEAR BURST	ASTM D-4833	150 LBS.
UV RESISTANCE	ASTM D-4355	20%
APPARENT OPENING SIZE	ASTM D-4751	40 US SEIVE
FLOW RATE	ASTM D-4441	40 GAL./MIN./50 FT. PERMITTIVITY
PERMITTIVITY	ASTM D-4481	0.55 SEC. -1

MEDIUM TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE

PROPERTIES	TEST METHOD	UNITS
GRAND TENSILE STRENGTH	ASTM D-4832	285 LBS.
GRAND TENSILE ELONGATION	ASTM D-4832	20%
PUNCTURE	ASTM D-4833	135 LBS.
MULLEN BURST	ASTM D-3786	420 P.S.I.
TEAR BURST	ASTM D-4833	145 LBS.
UV RESISTANCE	ASTM D-4355	20%
APPARENT OPENING SIZE	ASTM D-4751	20 US SEIVE
FLOW RATE	ASTM D-4441	200 GAL./MIN./50 FT. PERMITTIVITY
PERMITTIVITY	ASTM D-4481	1.5 SEC. -1



SCHULKE, BITTLE & STODDARD, L.L.C.
 CIVIL & STRUCTURAL ENGINEERING - LAND PLANNING - ENVIRONMENTAL PERMITTING
 1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960
 TEL: 772/770-9622 FAX: 772/770-9496 EMAIL: INFO@SCHULKEBITTLESTODDARD.COM

STORMWATER POLLUTION PREVENTION DETAILS

INLET PALMS

ENGINEER CERTIFICATION
 JOSEPH W. SCHULKE
 JAMES R. BITTLE
 WILLIAM P. STODDARD
 FL. REG. NO. 47948
 FL. REG. NO. 57396
 FL. REG. NO. 57605

DATE: SHEET 3 PROJECT NO. 15-053

DRAWING 15-053
 DESIGNED J.B.B.
 DRAWN J.B.B.
 CHECKED J.B.B.
 SCALE N.T.S.
 DATE 4/15/15

REVISION PER CORP
 5/29/15

KSM
KELLER, SCHLEICHER & MacWILLIAM ENGINEERING AND TESTING, INC.
 NORTH (772) 337-7776 P.O. BOX 78-1377 SEBASTIAN, FL 32976-1377 SEBASTIAN (772) 337-7776
 PALM BEACH (561) 845-7445 P.O. BOX 78-1377 SEBASTIAN, FL 32976-1377 MELBOURNE (321) 768-8488
 PALM BEACH (561) 845-7445 P.O. BOX 78-1377 SEBASTIAN, FL 32976-1377 ST. LUCCIE (772) 337-7776
 FAX (561) 845-6876 FAX (561) 845-6876 FAX (772) 337-7776
 C.A. 5683 E-Mail: KSM@KSMENGINEERING.NET April 21, 2015

Joseph Foglia
 Foglia Construction
 622 Beachland Blvd.
 Vero Beach, FL 32963

Re: **The Inlet Palms**
 1502 Seaway Drive
 Fort Pierce, Florida
 KSM Project #: 150817-B

Dear Mr. Foglia:

As requested, KSM Engineering & Testing has performed a subsurface investigation at the above referenced site. The data gathered during the investigation, together with our geotechnical related opinions, are included in this report.

A. Site Description:

The site is located on the Fort Pierce Inlet at 1502 Seaway Drive, Fort Pierce, Florida. At the time of drilling, the waterfront site was cleared and fairly flat with no major vegetation.

B. Project Description:

It is our understanding that seven (7) townhomes are planned for the site. Although our office was not provided with detailed structural loads, for our geotechnical analysis, we have assumed the maximum wall loading for the 3-story structures will be about 7,000 pounds per linear foot along the wall foundation and less than 150 kips for any individual column loads.

Site grading for the new structure will include approximately several feet of structural fill to reach the desired grades.

Ronald G. Keller, P.E.; 37293 / SI Lic. No. 860 / Julie E. Keller, P.E.; 63366

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C. The scope of our study consisted of the following:

1. Performed Standard Penetration Test Borings in the proposed construction area to estimate the subsurface relative density.
2. Measured the groundwater level at each boring.
3. Evaluated the existing soil conditions with respect to the proposed construction and provided recommendations for site preparation and foundation design.
4. Prepared this report to document our findings.

D. Site Investigation:

The site investigation program consisted of performing a total of six (6) Standard Penetration Test borings in the proposed construction area. The borings were terminated at depths of 40 to 60 feet below existing grade. The locations of the borings are shown on the attached boring location plan.

The SPT borings were completed in accordance with procedures described in ASTM D-1586. A standard 1.5 inch I.D., 2 inch O.D. split-spoon sampler is driven into the soil by successive blows of a 140 pound hammer freely falling 30 inches. The number of blows required to drive the sampler 1 foot, after seating 6 in., is designated the Penetration Resistance, or "N" value. At regular intervals the sampler is extracted from the ground and opened to allow visual examination and classification of the retrieved soil sample. Also, the groundwater table was allowed to stabilize and the depth of the groundwater elevation recorded from existing grade.

The records of the soils encountered, the penetration resistances and groundwater level are shown on the attached logs.

Ronald G. Keller, P.E.; 37293 / SI Lic. No. 860 / Julie E. Keller, P.E.; 63366

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 C.A. 5683 E-Mail: KSM@KSMENGINEERING.NET April 21, 2015

E. Engineering Evaluation and Conclusions:

Based on the information obtained from this site investigation we are pleased to offer the following evaluation:

The boring logs indicate there are soft soil layers located on the site including organic material. The soft and organic layers were encountered about 4 feet to 8 feet below grade. Another soft layer of gray clay and sand was found in two (2) of the soils borings at a depth of approximately 13 feet below existing grade. This layer is approximately 2 to 4 feet thick.

In order for a shallow foundation to perform satisfactorily, it must be able to support the structural loads with an acceptable factor of safety against excessive settlements, both total and differential. Due to the settlement potential of the soft/organic soil layers found on the site, we do not recommend supporting the proposed structures on conventional shallow footings. The anticipated settlement, in our opinion, would be too excessive and beyond the general accepted safe limits for the structure.

In order to avoid any damaging structural distress due to settlements, and based on past experience of other projects that had similar underlying subsurface conditions, we recommend the installation of a concrete pile supported foundation system. The concrete piles will carry the structural loads below the weak soil layers. We recommend using auger cast-in-place piles. Although we have not been furnished with estimated structural loads, we assume that the following capacities will be sufficient to support the intended loading.

Pile Diameter (Inches)	Pile Capacity (Kips)	Pile Depth (Feet)	Allowable Uplift (kips)	Lateral Load (kips)
14	36	25	20	5
14	45	30	28	5
14	75	37	40	5

All Piles should be installed and inspected in accordance to the recommendation published by the Auger Cast-In-Place Pile Committee of the Deep Foundation Institute.

Ronald G. Keller, P.E.; 37293 / SI Lic. No. 860 / Julie E. Keller, P.E.; 63366

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 FAX (561) 845-6876 FAX (561) 845-6876 FAX (772) 337-7776
 C.A. 5683 E-Mail: KSM@KSMENGINEERING.NET April 21, 2015

F. Site Preparation:

The proposed building area, plus a minimum margin of five feet beyond the proposed building limits shall be stripped and grubbed of surface debris, including vegetation, roots and organic matter and profiled. Sufficient passes should be made during compaction operations to produce a density no less than 90 percent of its modified dry Proctor value to a depth of two feet.

After the exposed surface has been profiled, the building and pavement areas may be filled to the desired grades. The fill material shall consist of clean granular sand containing less than 10% material passing the U.S. Standard No. 200 mesh sieve. Place structural fill in loose layers of 12 inches in thickness and compact each lift to at least 95 percent of its modified dry Proctor value.

We recommend field density tests and on-site inspection be performed at appropriate times during the earth work operations in order to verify that the site preparations have been properly constructed.

G. Swimming Pools:

The pool shell and pool deck can also be supported on a pile foundation system.

An alternative would be to over-excavate the pool site completely removing the soft organic material from 4 feet to 8 feet and replace it with 3/4 stone. Compact the 3/4" stone with a "tampering jack" compactor in 12 inch lifts so the substrate below the pool is firm and stable. Call for an inspection to verify that the site has been properly prepared prior to placing the pool shell reinforcing.

Backfill material behind the pool shell shall consist of clean granular sand with less than 10 percent "fines" passing the U.S. No. 200 sieve. Place backfill material in loose lifts of 12 inches in thickness and compact each lift to no less than 95 percent of its modified dry Proctor value (ASTM D 1557).

Ronald G. Keller, P.E.; 37293 / SI Lic. No. 860 / Julie E. Keller, P.E.; 63366

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KELLER, SCHLEICHER & MacWILLIAM ENGINEERING AND TESTING, INC.
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 PALM BEACH (561) 845-7445 P.O. BOX 78-1377 SEBASTIAN, FL 32976-1377 MELBOURNE (321) 768-8488
 PALM BEACH (561) 845-7445 P.O. BOX 78-1377 SEBASTIAN, FL 32976-1377 ST. LUCCIE (772) 337-7776
 FAX (561) 845-6876 FAX (561) 845-6876 FAX (772) 337-7776
 C.A. 5683 E-Mail: KSM@KSMENGINEERING.NET April 21, 2015

H. Closure:

This report has been prepared in accordance with generally accepted soil and foundation engineering practices based on the results of the test borings and the assumed loading conditions. This report does not reflect any variations which may occur between the borings. If variations appear evident during the course of construction, it would be necessary to re-evaluate the recommendations of this project.

We are pleased to be of assistance to you on this phase of your project. When we may be of assistance to you or should you have any questions, please feel free to call.



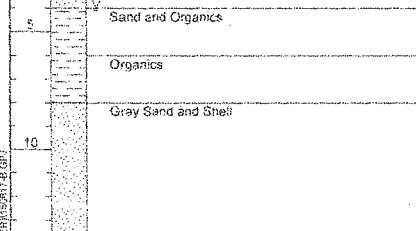
Email: RSG007@aol.com rstoddard@kseengineers.com

KSM
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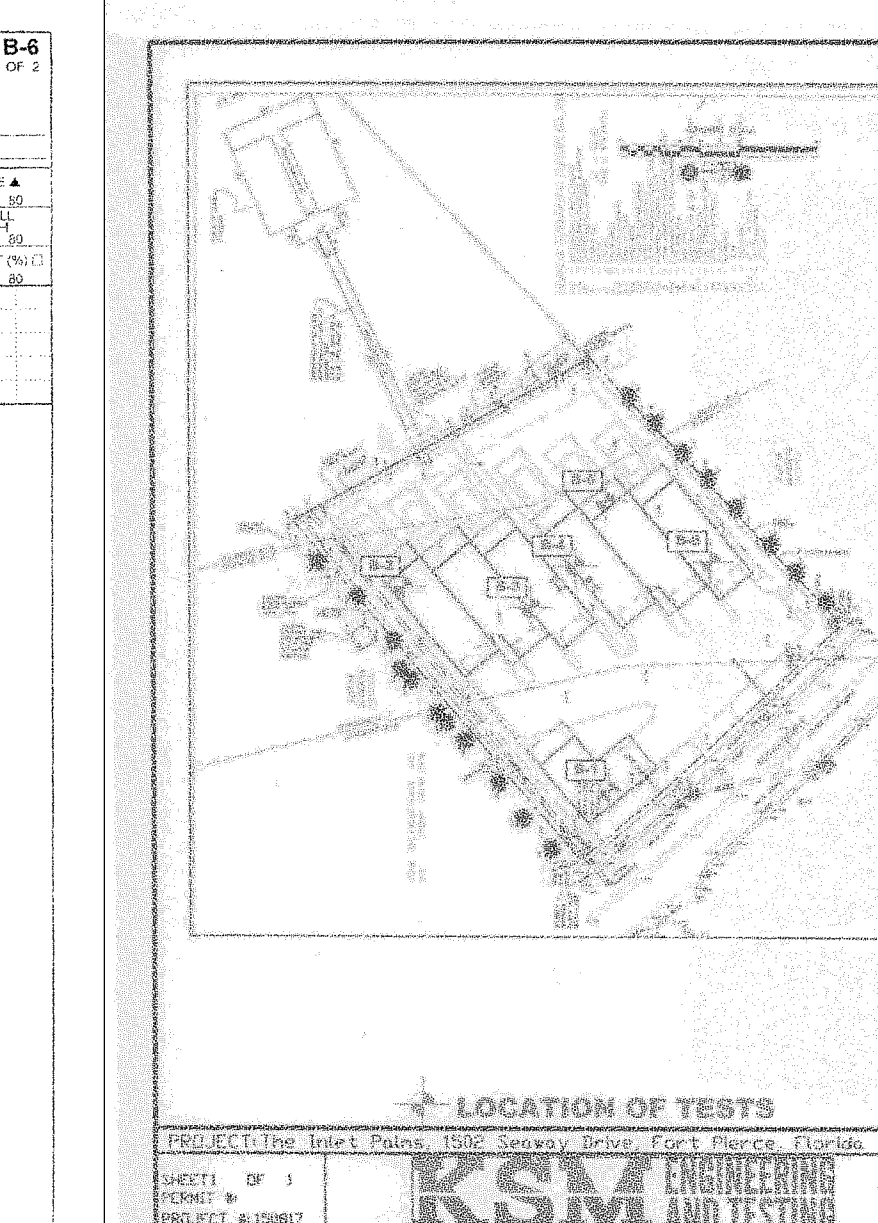
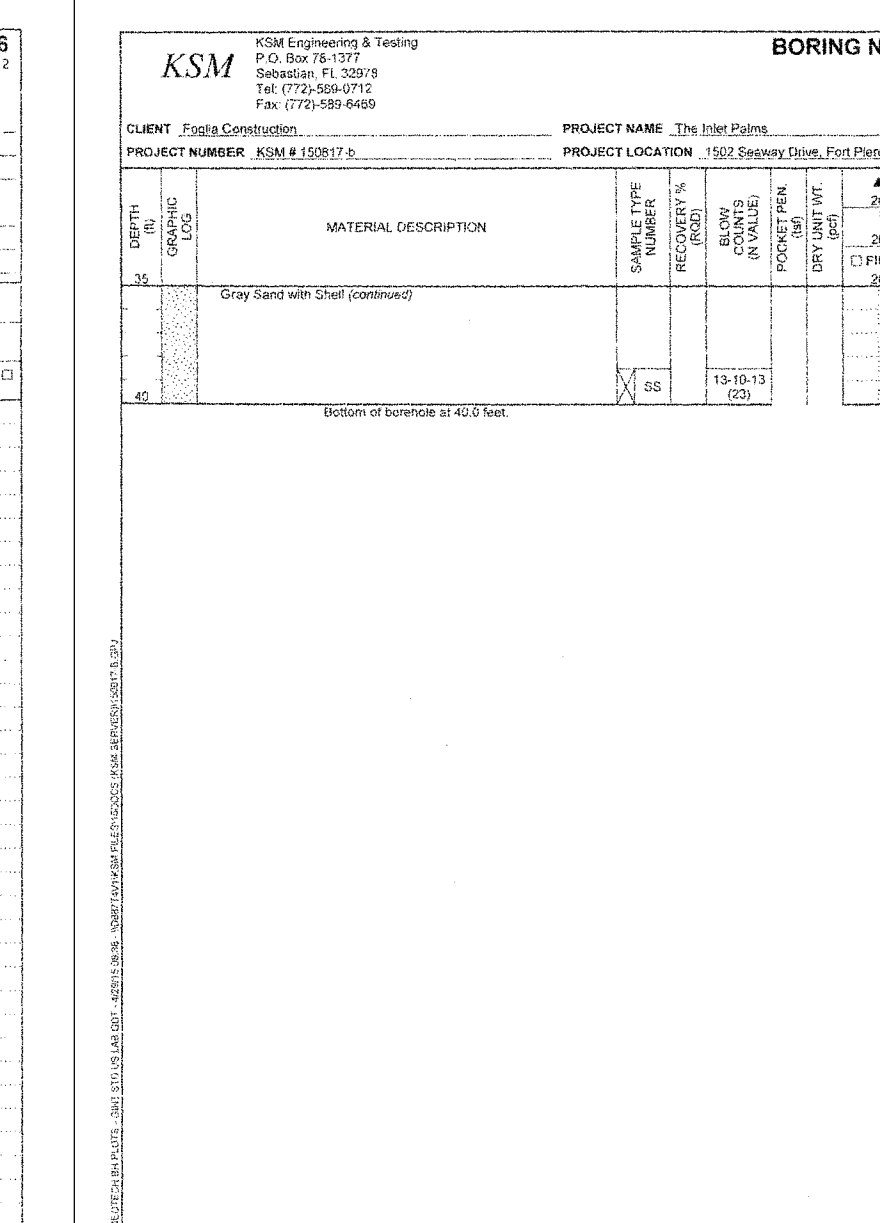
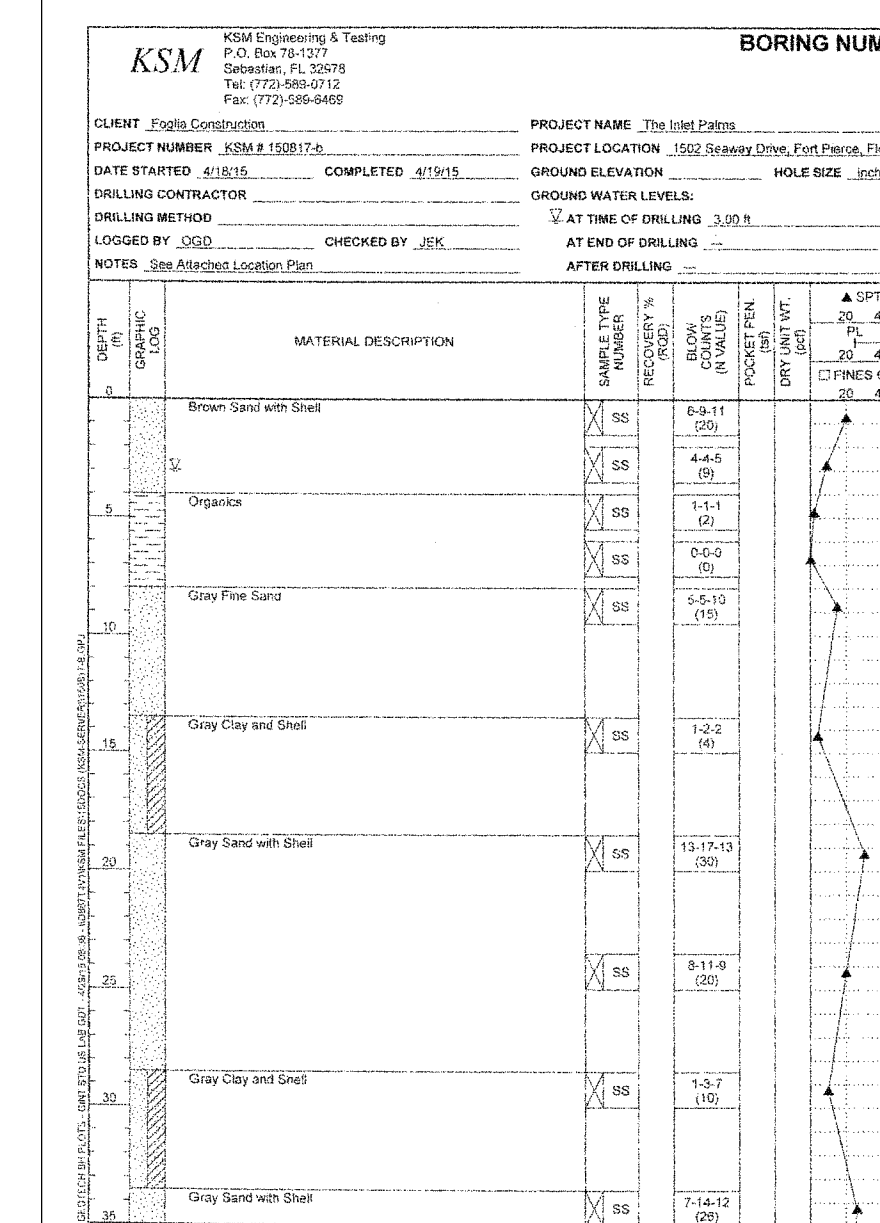
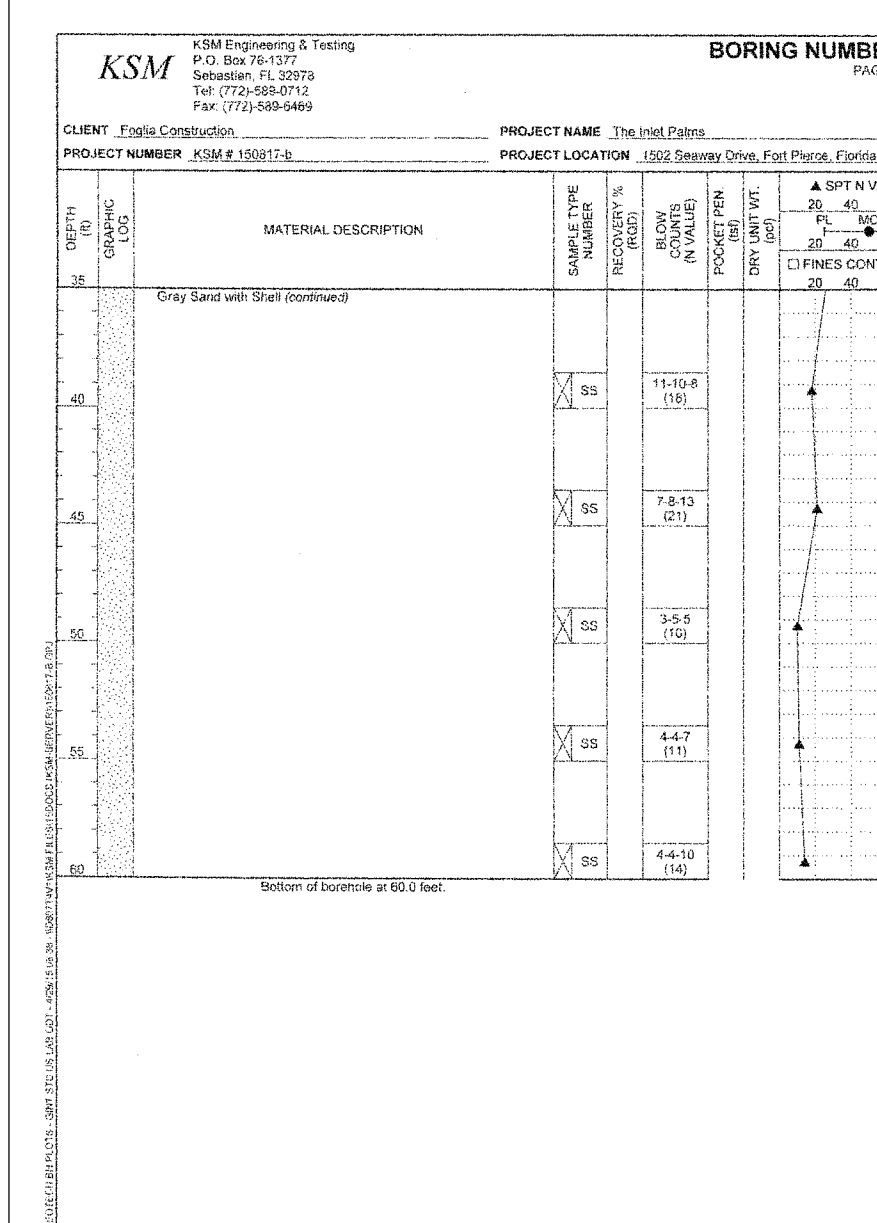
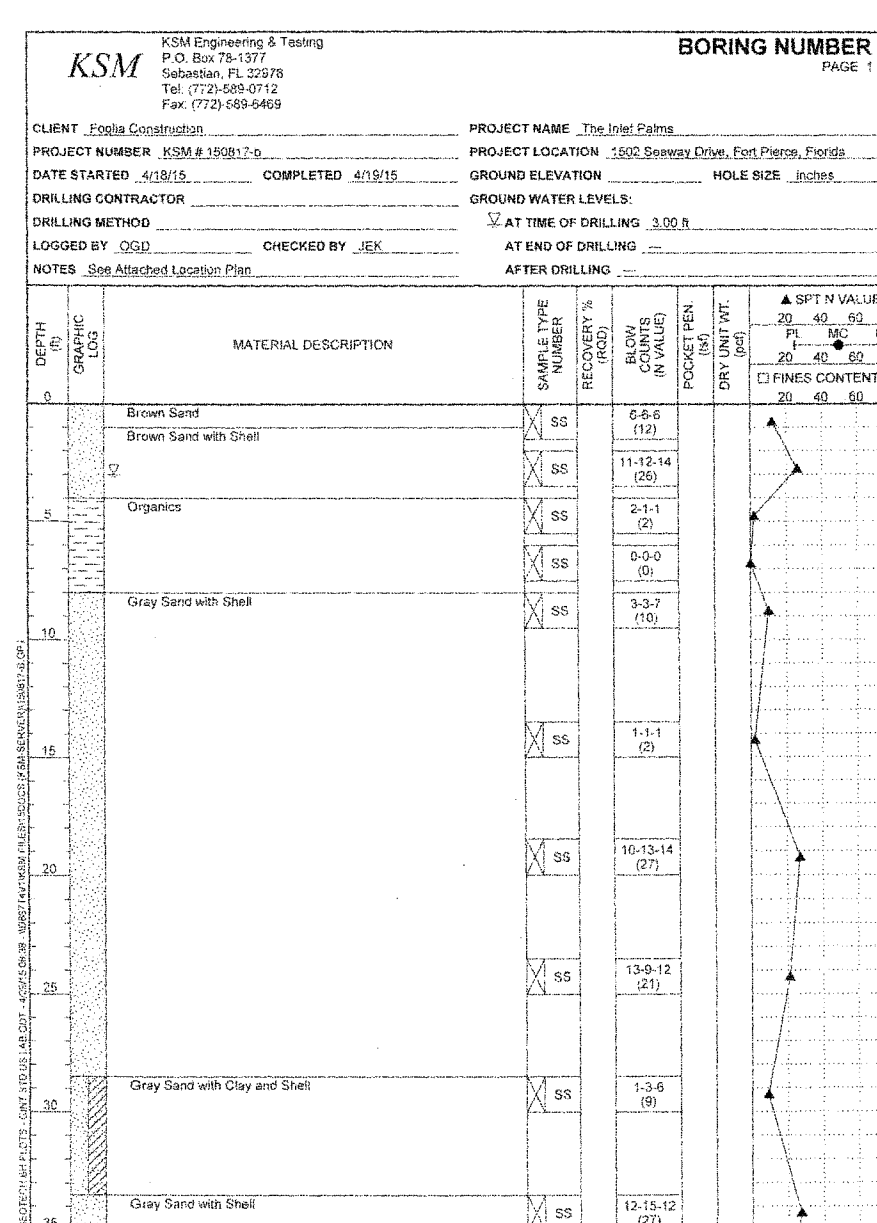
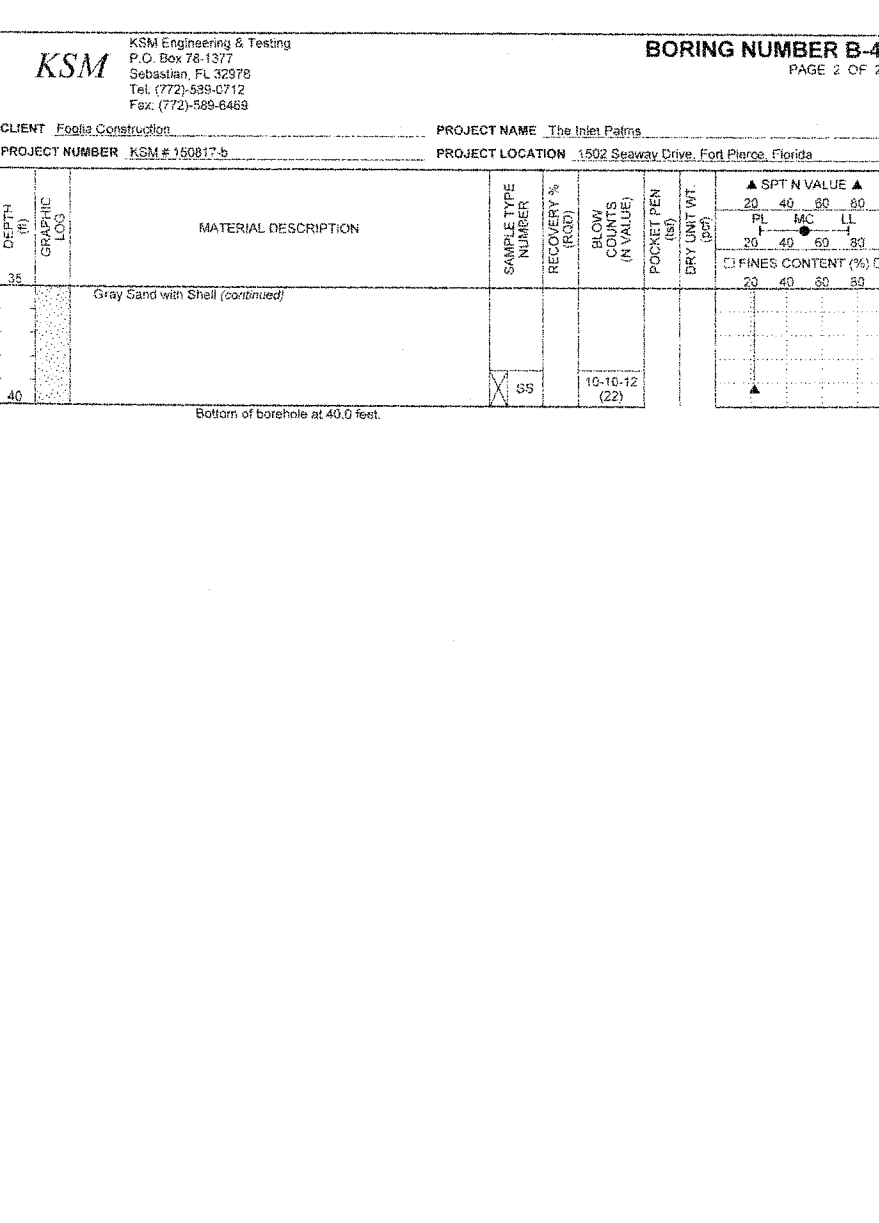
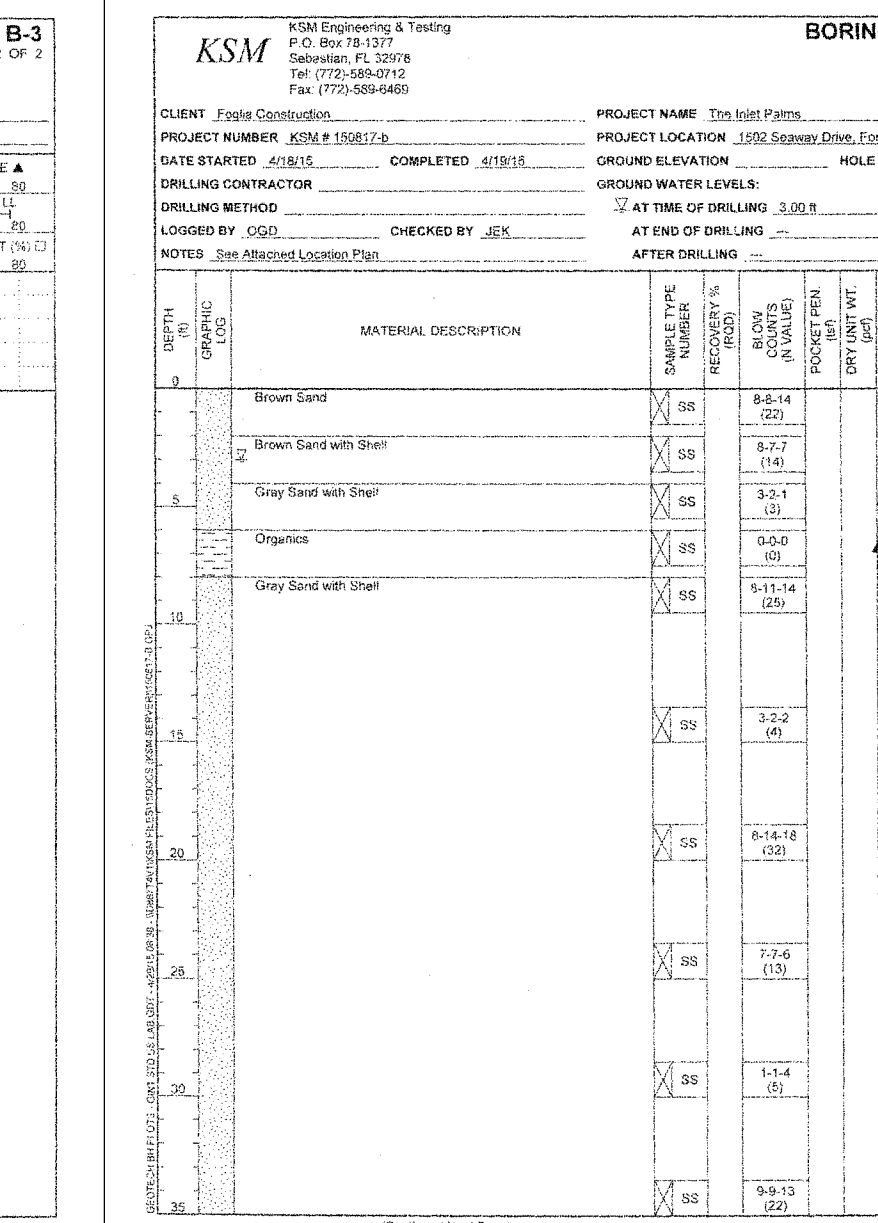
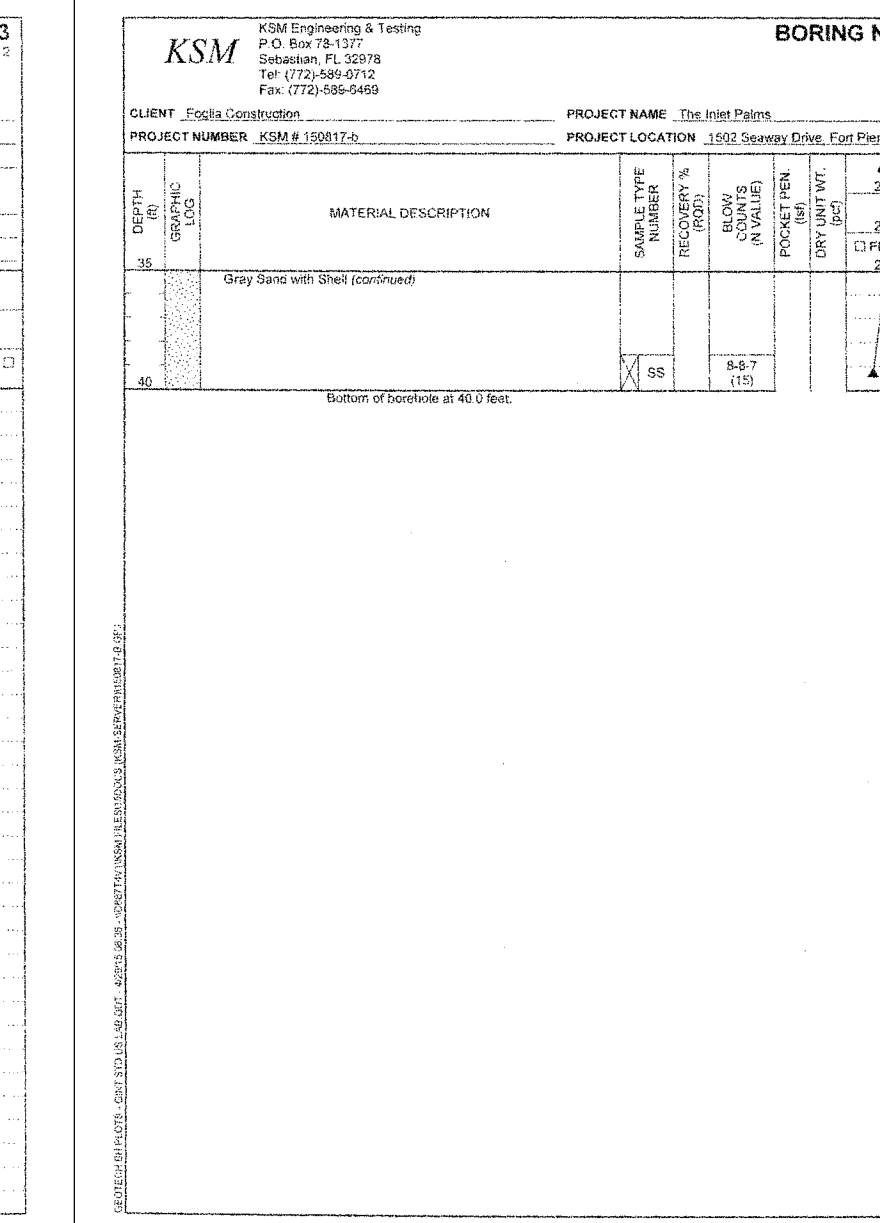
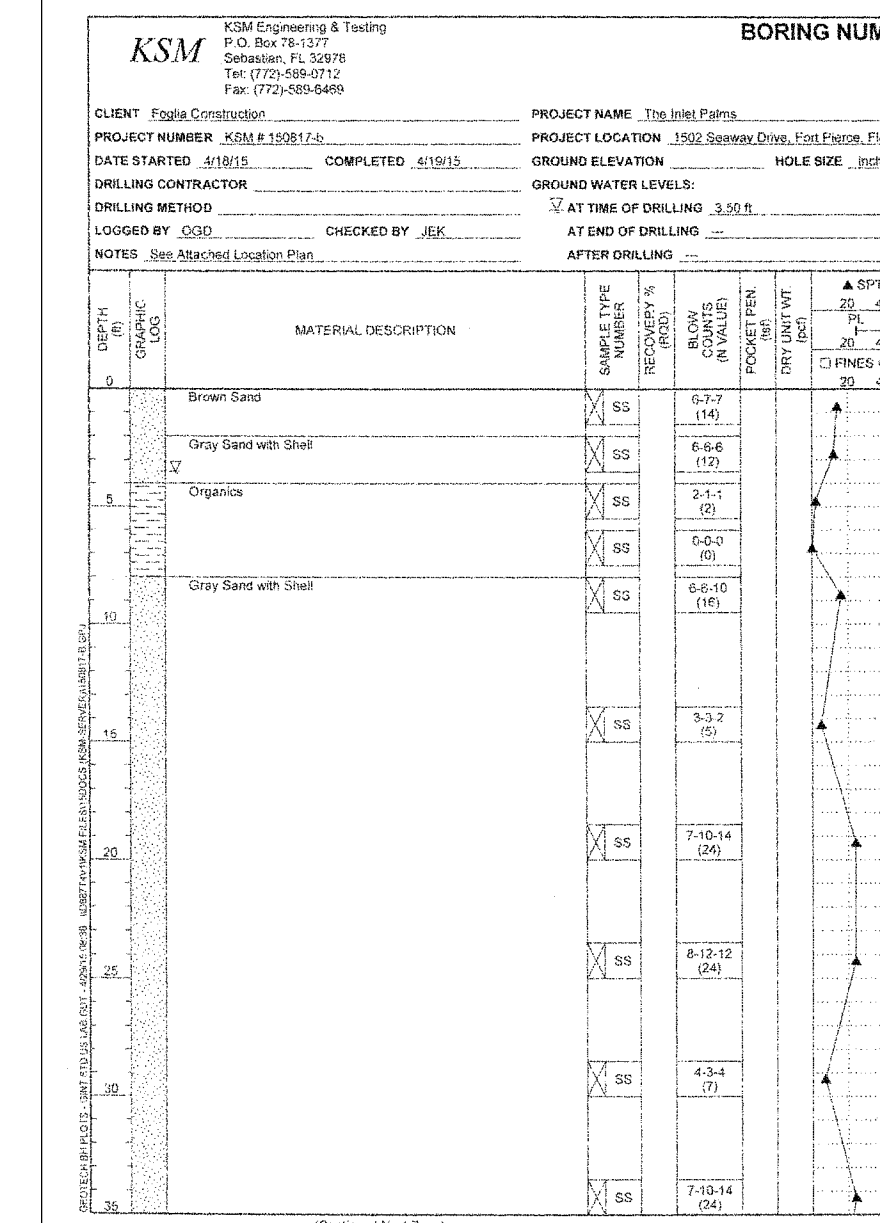
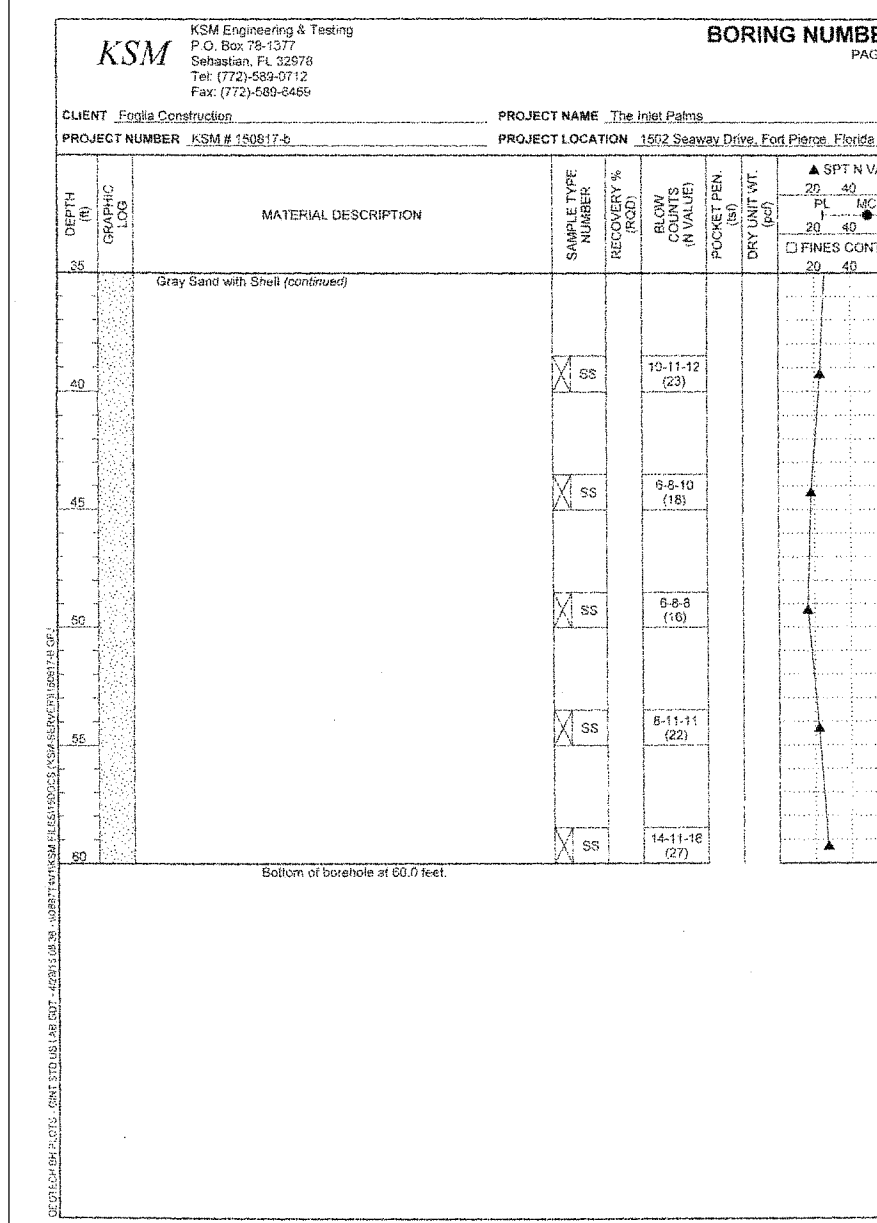
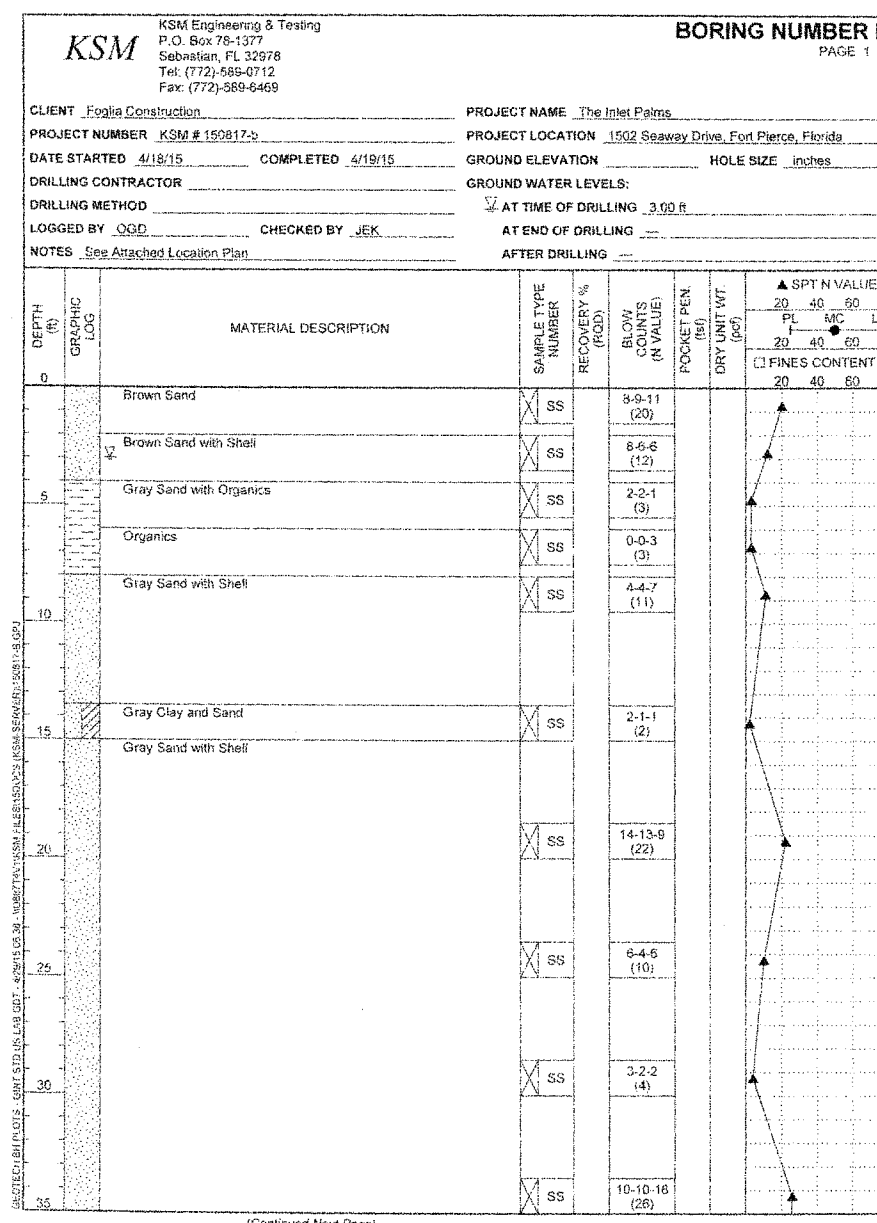
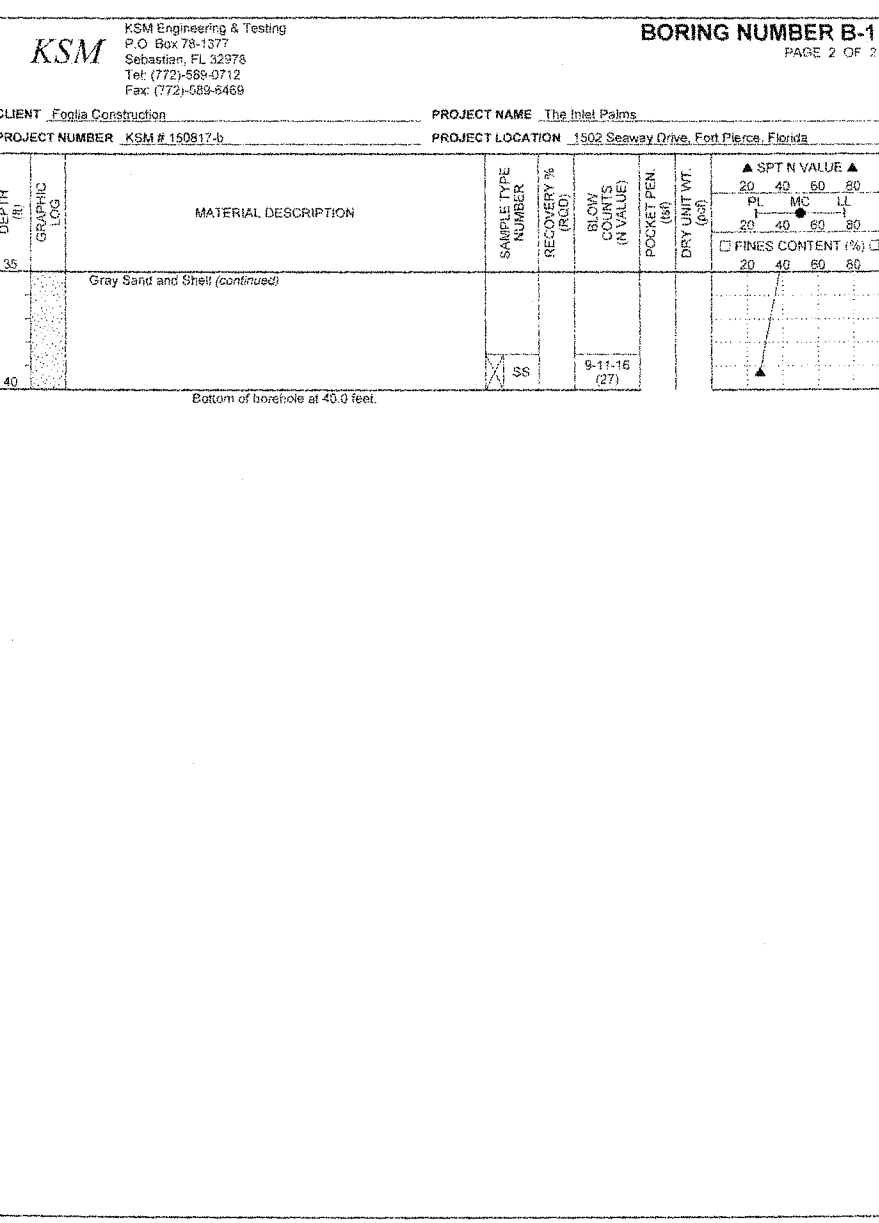
H. Closure:

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Email: RSG007@aol.com rstoddard@kseengineers.com



Ronald G. Keller, P.E.; 37293 / SI Lic. No. 860 / Julie E. Keller, P.E.; 63366

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Ronald G. Keller, P.E.; 37293 / SI Lic. No. 860 / Julie E. Keller, P.E.; 63366

DATE	REVISION
5/29/15 <td>1</td>	1

SCHULKE, BITTLE & STODDARD, L.L.C.
 CIVIL & STRUCTURAL ENGINEERING - LAND PLANNING - ENVIRONMENTAL PERMITTING
 CERTIFICATION OF AUTHORIZATION NO. 0008085
 1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960
 TEL 772 770-9622 FAX 772 770-9486 EMAIL info@schulkebittle.com

SOIL BORINGS

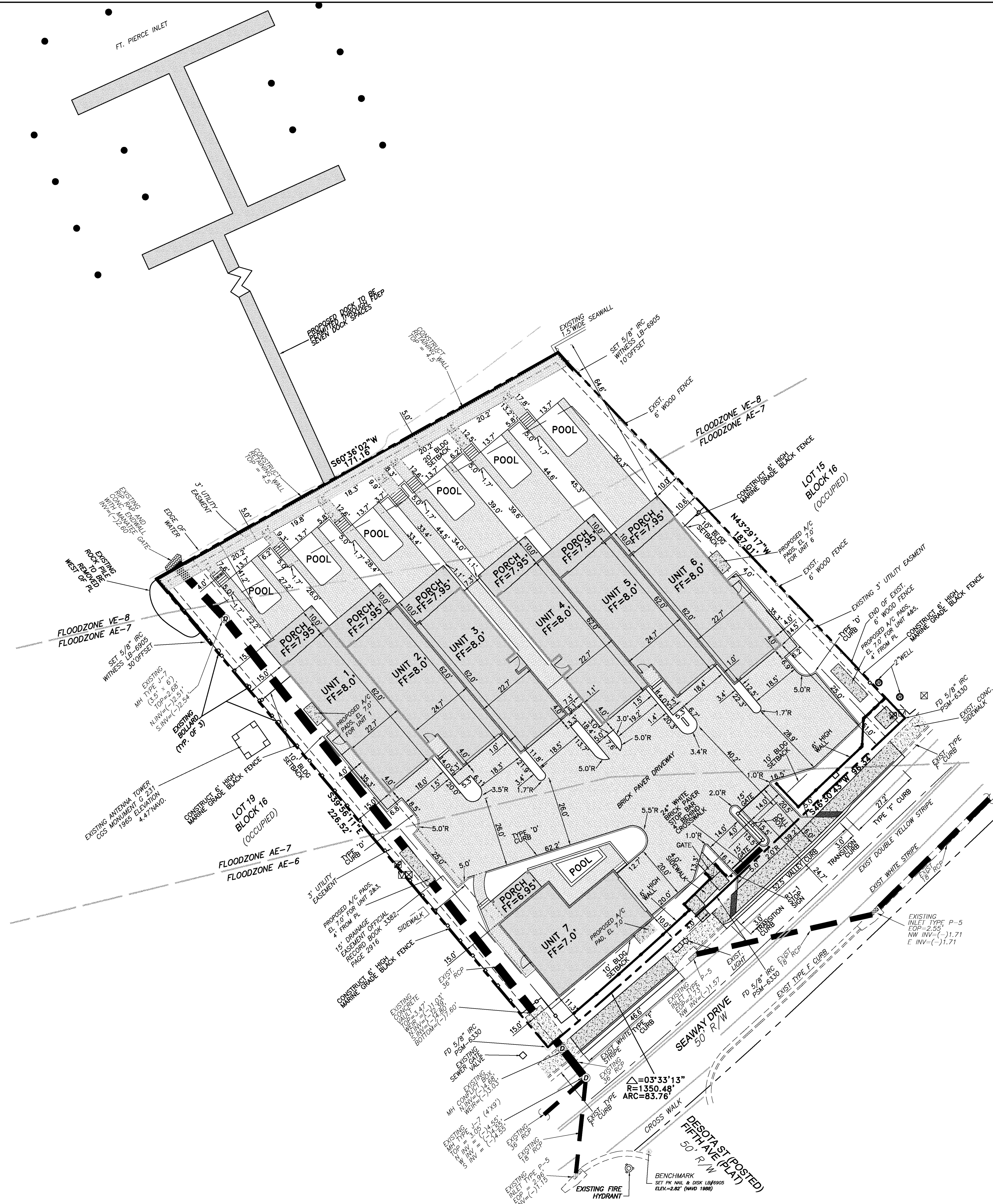
ENGINEER CERTIFICATION

JOSEPH W. SCHULKE
 FL. REG. NO. 47048

JOAH B. BITTLE
 FL. REG. NO. 57398

WILLIAM P. STODDARD
 FL. REG. NO. 57605

DATE: SHEET 4 PROJECT NO. 15-053



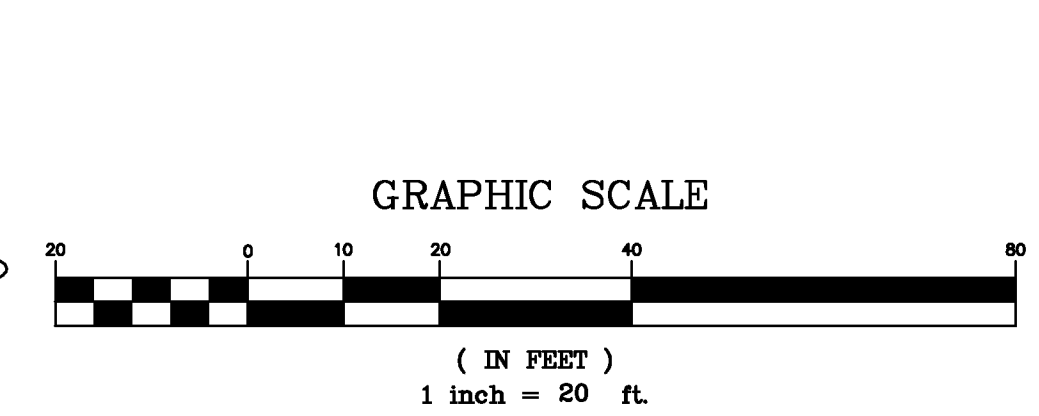
LEGEND

--- EX SAN ---	EXISTING SANITARY SEWERLINE	9.0'R	PROPOSED EOP RADIUS
--- SAN ---	PROPOSED SANITARY SEWERLINE	1,000 GAL UNDERGROUND	PROPRANE TANK
--- EX DW ---	EXISTING DRAINAGE PIPE	24" ADS YARD DRAIN	STORMTECH DRAIN
--- DW ---	PROPOSED DRAINAGE PIPE	PROPOSED WALL	TRENCH DRAIN
--- EX WM ---	EXISTING WATER MAIN	☆	STREET LIGHT
--- WM ---	PROPOSED WATER MAIN	⊗	MODIFIED TYPE 'C' INLET
---	FILTER FENCE/SEDIMENT BARRIER	⊕	JUNCTION MANHOLE
---	EXISTING WOOD FENCE	⊖	DRAINAGE STRUCTURE LABEL
---	PROPOSED FENCE	⊙	FIRE HYDRANT
24.45	PROPOSED SPOT ELEVATION AT EOP/SIDEWALK	⊕	PROPOSED SIGN
25.0	PROPOSED GRADE / CONTOUR	⊙	SEWER MANHOLE
---	PROPOSED DRAINAGE FLOW DIRECTION		

Legend & Abbreviations

PLS	PROFESSIONAL LAND SURVEYOR	(P)	PLAT	NAVD	NORTH AMERICAN VERTICAL DATUM
PSM	PROFESSIONAL SURVEYOR & MAPPER	(C)	CALCULATED	A/C	AIR CONDITIONER
LS	LAND SURVEYING BUSINESS	⊗	TRAFFIC CONTROL BOX	CONC.	CONCRETE
CL	CENTERLINE	---	WOOD UTILITY POLE	FF	FINISH FLOOR
R	RADIUS	---	TELEPHONE SERVICE	BSB	BUILDING SETBACK LINE
L	LENGTH	---	CABLE TV BOX	EL/ELEV.	ELEVATION
Δ	DELTA ANGLE	---	ELECTRIC BOX	R/W	RIGHT OF WAY
EP	EDGE OF PAVEMENT	---	LIGHT POST	AB	AS-BUILT
B/C	BACK OF CURB	---	HYDRANT	PK	PARKER-KALON
B.M.	BENCHMARK	---	GATE VALVE		
POB	POINT OF BEGINNING	---	IRRIGATION VALVE		
POC	POINT OF COMMENCEMENT	---	WATER METER		
PCP	PERMANENT CONTROL POINT	---	SANITARY MANHOLE		
(PRM)	PERMANENT REFERENCE MONUMENT	---	SANITARY SERVICE		
PRM	PERMANENT REFERENCE MONUMENT	---	SEPTIC TANK		
(P)	IRON PIPE	---	DRAINAGE MANHOLE		
IP	IRON PIPE	---	CURB INLET		
(IRC)	IRON ROD & CAP	---	SURFACE INLET		
IRC	IRON ROD & CAP	---	MITERED END SECTION		
(CM)	CONCRETE MONUMENT	---	CONCEPTUAL DRAINAGE		
CM	CONCRETE MONUMENT	---	STREET SIGN		
FD	FOUND				
(M)	MEASURED				

- NOTES**
- ALL DISTURBED AREAS IN THE RIGHT-OF-WAY SHALL BE SODED. SEED AND MULCH IS NOT ACCEPTABLE.
 - ANY DAMAGE TO THE EXISTING INFRASTRUCTURE, INCLUDING SIDEWALKS, BY THE CONTRACTOR MUST BE REPLACED PRIOR TO FINAL INSPECTION. SIDEWALK PATCHING IS NOT ACCEPTABLE.
 - CURB RAMPS MUST MEET THE REQUIREMENTS OF FOOT STANDARD INDEX 304.
 - ALL STRIPING WITHIN THE RIGHT-OF-WAY SHALL BE THERMOPLASTIC.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING PUBLIC ROADWAY, CURBS, GUTTERS, SIDEWALKS, DRAINAGE SYSTEMS AND UTILITIES AS A DIRECT RESULT OF NEW CONSTRUCTION. ROAD IMPROVEMENTS SUCH AS BUT NOT LIMITED TO RESURFACING MAYBE REQUIRED.
 - THE SITE DRAINAGE AND CONSTRUCTION IMPROVEMENTS SHALL NOT ADVERSELY IMPACT ADJOINING PROPERTIES AND/OR ROADWAYS.
 - IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT SUNSHINE STATE ONE CALL SYSTEM AT 1-800-432-4770 FOR LOCATIONS OF THIS EQUIPMENT AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION.
 - ANY CONFLICTS WITH THE PLANS AND EXISTING UTILITIES, DRAINAGE, ETC TO BE REPORTED TO ENGINEER FOR RESOLUTION OF ISSUES.
 - CONTRACTOR TO FIELD VERIFY ALL REPORTED INVERTS AND UTILITIES AND REPORT TO ENGINEER.
 - PROPRANE TANKS TO BE UNDERGROUND.



HATCH LEGEND

[Pattern]	PROPOSED BRICK PAVERS
[Pattern]	EXISTING CONCRETE TO REMAIN
[Pattern]	PROPOSED CONCRETE
[Pattern]	PROPOSED BUILDING FOOTPRINT

DATE	5/29/15
REVISION	
MARK	1 REVISED PER COFP
DRAWING 15-053	
DESIGNED J.L.B.	
DRAWN J.B.B.	
CHECKED J.B.B.	
SCALE 1/20	
DATE 4/15/2015	

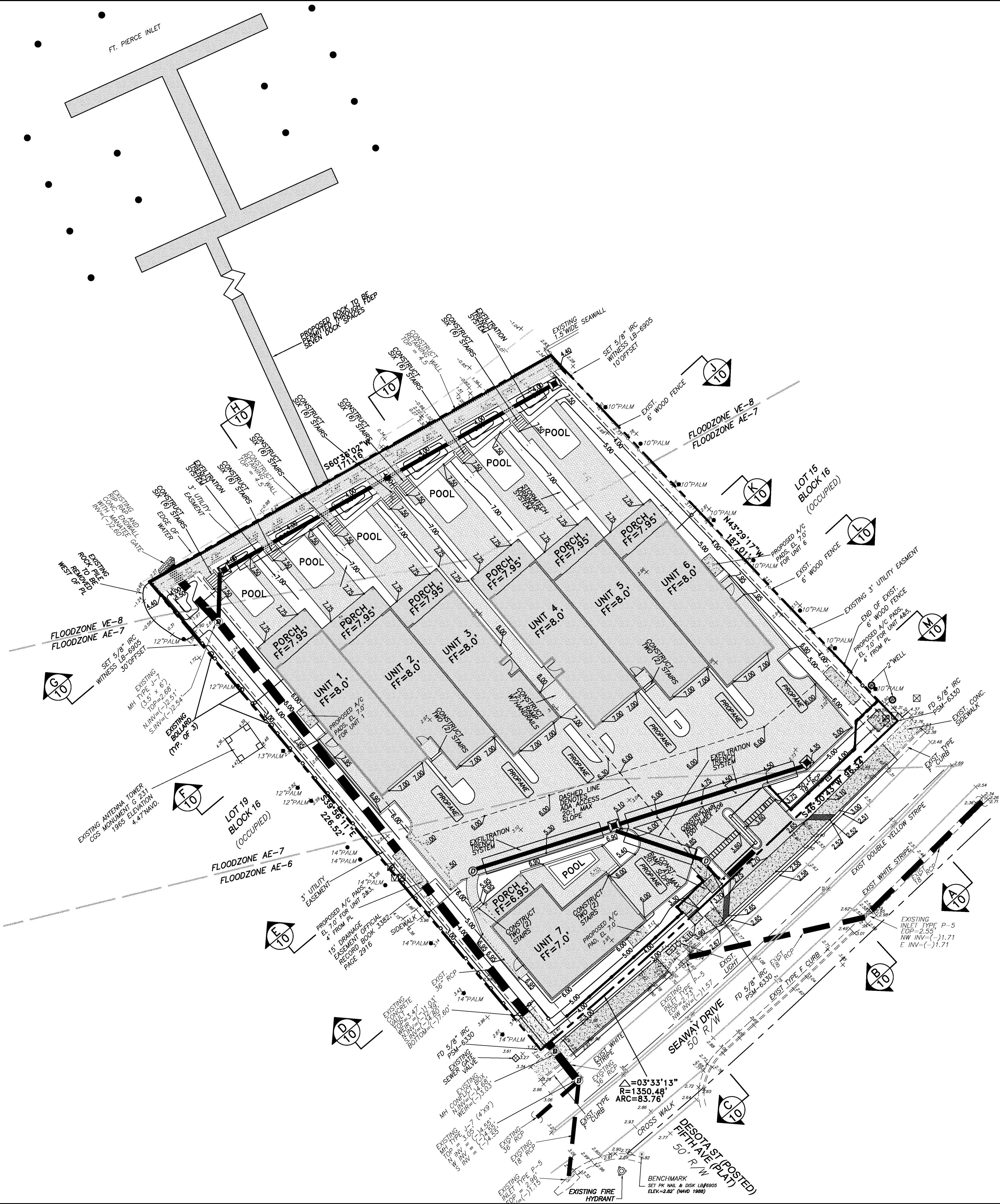
SCHULKE, BITTLE & STODDARD, L.L.C.
 CIVIL & STRUCTURAL ENGINEERING - LAND PLANNING - ENVIRONMENTAL PERMITTING
 CERTIFICATION OF AUTHORIZATION NO.: 00008888
 1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960
 TEL 772/770-8622 FAX 772/770-9496 EMAIL

SITE PLAN

INLET PALMS

ENGINEER CERTIFICATION
 JOSEPH W. SCHULKE
 FL. REG. NO. 47048
 JODAN B. BITTLE
 FL. REG. NO. 57396
 WILLIAM P. STODDARD
 FL. REG. NO. 57065

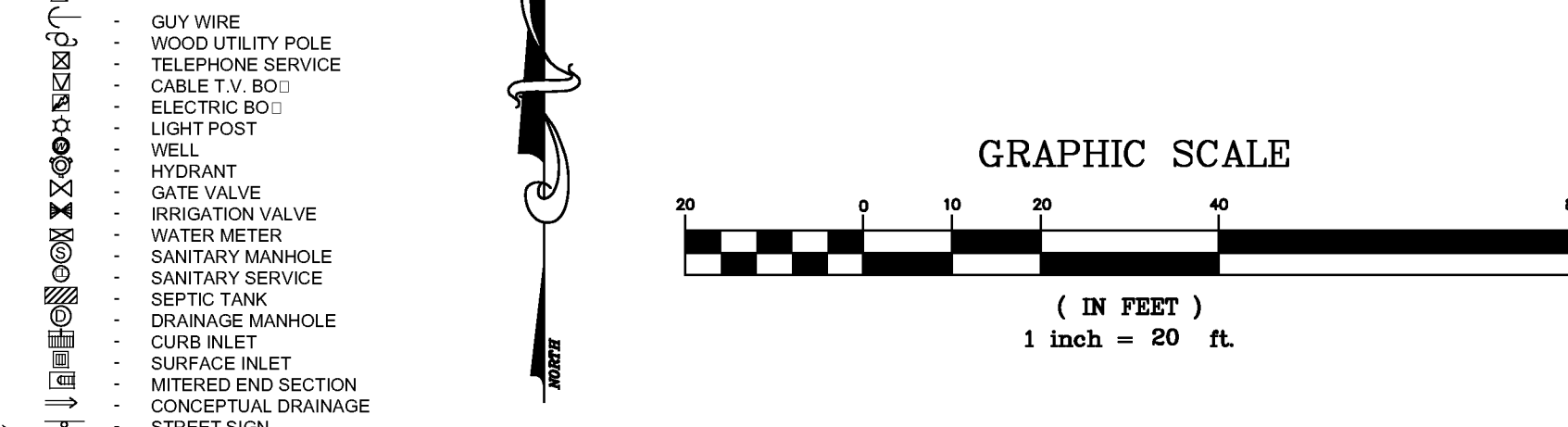
DATE: _____
 SHEET: **6**
 PROJECT NO.: 15-053



LEGEND

---	EXISTING SANITARY SEWERLINE	9.0'R	PROPOSED EOP RADIUS
---	PROPOSED SANITARY SEWERLINE	PROPRANE	1000 GAL UNDERGROUND PROPRANE TANK
---	EXISTING DRAINAGE PIPE	⊗	24" ADS YARD DRAIN
---	PROPOSED DRAINAGE PIPE	⊗	STORMTECH DRAIN
---	EXISTING WATER MAIN	---	PROPOSED WALL
---	PROPOSED WATER MAIN	⊗	TRENCH DRAIN
---	FILTER FENCE/SEDIMENT BARRIER	⊗	STREET LIGHT
---	EXISTING WOOD FENCE	⊗	MODIFIED TYPE 'C' INLET
---	PROPOSED FENCE	⊗	JUNCTION MANHOLE
24.45	PROPOSED SPOT ELEVATION AT EOP/SIDEWALK	⊗	DRAINAGE STRUCTURE LABEL
25.0	PROPOSED GRADE / CONTOUR	⊗	FIRE HYDRANT
→	PROPOSED DRAINAGE FLOW DIRECTION	⊗	PROPOSED SIGN
		⊗	SEWER MANHOLE

- NOTES**
- ALL DISTURBED AREAS IN THE RIGHT-OF-WAY SHALL BE SODED.
 - SEED AND MULCH IS NOT ACCEPTABLE.
 - ANY DAMAGE TO THE EXISTING INFRASTRUCTURE, INCLUDING SIDEWALKS, BY THE CONTRACTOR MUST BE REPLACED PRIOR TO FINAL INSPECTION. SIDEWALK PATCHING IS NOT ACCEPTABLE.
 - CURB RAMPS MUST MEET THE REQUIREMENTS OF FDOT STANDARD INDEX 304.
 - ALL STRIPING WITHIN THE RIGHT-OF-WAY SHALL BE THERMOPLASTIC.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING PUBLIC ROADWAY, CURBS, GUTTERS, SIDEWALKS, DRAINAGE SYSTEMS AND UTILITIES AS A DIRECT RESULT OF NEW CONSTRUCTION. ROAD IMPROVEMENTS SUCH AS BUT NOT LIMITED TO RESURFACING MAYBE REQUIRED.
 - THE SITE DRAINAGE AND CONSTRUCTION IMPROVEMENTS SHALL NOT ADVERSELY IMPACT ADJOINING PROPERTIES AND/OR ROADWAYS.
 - IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT SUNSHINE STATE ONE CALL SYSTEM AT 1-800-432-4770 FOR LOCATIONS OF THIS EQUIPMENT AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION.
 - ANY CONFLICTS WITH THE PLANS AND EXISTING UTILITIES, DRAINAGE, ETC TO BE REPORTED TO ENGINEER FOR RESOLUTION OF ISSUES.
 - CONTRACTOR TO FIELD VERIFY ALL REPORTED INVERTS AND UTILITIES AND REPORT TO ENGINEER.
 - PROPANE TANKS TO BE UNDERGROUND.



- 1. SUBMITTALS**
- FOR ALL SITE WORK CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT PRODUCT DATA IN THE FORM OF MANUFACTURERS' CUT SHEETS AND CATALOG DATA FOR ALL PRODUCTS, MATERIAL AND EQUIPMENT CLEARLY INDICATING THE SPECIFIC PART OR PRODUCT CATALOG NUMBER(S) FOR APPROVAL.
 - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL PRODUCTS, MATERIALS AND EQUIPMENT REQUIRED TO BE FABRICATED, OR WHEN STANDARD PUBLISHED PRODUCT DATA IS NOT SUITABLE FOR USE.
 - SUBMIT 6 COPIES OF RE-USED INFORMATION, NEATLY BOUND AND INDEXED PER CATEGORY FOR THE FOLLOWING:
 - A. UTILITIES: ALL PIPE, FITTINGS, VALVES, OTHER MISCELLANEOUS APPURTENANCES, CONTROLS, PUMP STATION EQUIPMENT, COMPONENTS AND STRUCTURES, AND ALL OTHER UTILITY SYSTEM PRODUCTS, MATERIALS AND COMPONENTS AND SIMILAR CONTROLS.
 - B. DRAINAGE: ALL PIPE, FITTINGS, AND COMPONENTS THEREOF; STRUCTURES, FRAMES, GRATES, LIDS, GASKETS, FASTENERS, COUPLINGS AND SIMILAR, AND ALL OTHER DRAINAGE SYSTEM PRODUCTS, MATERIALS, AND COMPONENTS AND SIMILAR CONTROLS.
 - C. PAVING AND GRADING: FOOT CERTIFICATIONS AND LAB ANALYSIS/RESULTS FOR PAVEMENT, BASE, SUBGRADE, AND FILL MATERIALS. INCLUDE EVIDENCE (CERTIFICATIONS) THAT THE MATERIALS PROPOSED TO BE USED MEET OR EXCEED REQUIREMENTS SPECIFIED IN THE CONTRACT DOCUMENTS.
 - D. SIGNING AND PAVEMENT MARKING: SIGN AND PAVEMENT MARKING PRODUCTS AND MATERIALS, AND EVIDENCE THAT THE PRODUCTS MATERIALS PROPOSED TO BE USED MEET OR EXCEED REQUIREMENTS SPECIFIED IN THE CONTRACT DOCUMENTS, LOCAL ENGINEERING DEPARTMENT, MUTCO AND FDOT SPECIFICATIONS.
 - E. IRRIGATION: ALL PIPE, FITTINGS, VALVES, OTHER MISCELLANEOUS APPURTENANCES, CONTROLS, PUMP STATION EQUIPMENT, COMPONENTS AND STRUCTURES, AND ALL OTHER UTILITY SYSTEM PRODUCTS, MATERIALS AND COMPONENTS AND SIMILAR CONTROLS, WELLS, AND/OR OTHER IRRIGATION SOURCES. THE CONTRACTOR SHALL SUBMIT AN IRRIGATION COORDINATION DRAWING, INDICATING CONTRACTORS PROPOSED LOCATION OF MAIN LINES, SECONDARY LINES, HEAD LOCATIONS, BASKETS, CONTROL PANELS, SENSORS, CONTROL VALVE AND VALVE LOCATIONS. THIS DRAWING SHOULD CLEARLY DEPICT ADJUSTMENTS OR CHANGES THE CONTRACTOR PROPOSES. THE DRAWINGS SHALL INDICATE ALL PROPOSED SUBSTITUTIONS OF MATERIAL AND/OR MANUFACTURER.
 - ALLOW TWO WEEKS FOR THE ENGINEER TO COMPLETE REVIEW OF PRODUCT DATA AND SHOP DRAWINGS. ENGINEER WILL NOT BE RESPONSIBLE FOR PROJECT DELAYS RELATED TO DELIVERY AND TRANSMISSION OF THE DOCUMENTS ONCE INFORMATION HAS LEFT ENGINEERS OFFICE. ITEMS REQUIRING A LONG LEAD TIME SHOULD BE SUBMITTED AS SOON AS POSSIBLE.
 - THE CONTRACTOR SHALL PROVIDE A STAMP INDICATING HIS REVIEW AND APPROVAL, INITIALED OR SIGNED, CERTIFYING TO REVIEW OF SUBMITTAL, VERIFICATION OF PRODUCTS, FIELD MEASUREMENTS AND FIELD CONSTRUCTION CRITERIA, AND COORDINATION OF THE INFORMATION WITHIN THE SUBMITTAL WITH THE REQUIREMENTS OF THE WORK AND OF CONTRACT DOCUMENTS, INCLUDING PLANS AND SPECIFICATIONS OF OTHER DESIGN PROFESSIONALS (I.E. ARCHITECT, MECHANICAL, ELECTRICAL, AND STRUCTURAL ENGINEERS).

- 2. TESTING**
- WATER, PRESSURE (MAIN AND TAPS), BACTERIOLOGICAL, BACKFLOW PREVENTOR TESTS AND CERTIFICATION AND AS PER PROJECT SPECIFICATIONS, LOCAL UTILITIES DEPARTMENT, AND FDOT REQUIREMENTS.
 - SEWER, E.F.T.V., AND BACKFLOW PREVENTOR TESTS (MANS AND TAPS) LEFT STATION STARTUP, ALL PER PROJECT SPECIFICATIONS, COVB AND FDOT REQUIREMENTS.
 - DRAINAGE: E.F.T.V. LAMPING (FIELD), AND BACKFILL DENSITIES PER PROJECT SPECIFICATIONS AND LOCAL ENGINEERING REQUIREMENTS.
 - EARTHWORK & PAVING: DENSITIES, LBRS AND FBVS AS PER PROJECT SPECIFICATIONS AND LOCAL ENGINEERING REQUIREMENTS.
 - SUBMIT ALL TEST RESULTS FOR ENGINEERING REVIEW WITHIN 3 DAYS OF TESTING. FAILURE TO PROVIDE TEST RESULTS, OR PROVIDING FAILING TEST RESULTS WILL BE GROUNDS FOR DELAY AND/OR REJECTION OF PAY REQUEST APPLICATIONS.

- 3. AS-BUILTS**
- GRADING: LOCATION AND ELEVATION OF ALL: CONCRETE AND PAVEMENT (VEHICLE USE AND PEDESTRIAN USE IMPROVEMENTS) AT HIGH POINTS, EDGE OF PAVEMENT, AND CENTERLINE AT 50' ON CENTER AND AT CHANGE OF DIRECTION, GRADE BREAKS (PROPERTY LINES), CROSS SECTIONS 90' ON CENTER, TOP OF BANK AND TO E. OF SLOPE AND/OR CENTERLINE OF SWALES AND RETENTION AREAS; CROSS SECTIONS 90' ON CENTER ON STORMWATER LAKES FROM TOP TO BOTTOM; MECHANICAL PADS AND FINISHED FLOOR ELEVATIONS; DETAILED LOCATION AND TOPOGRAPHY OF DRIVEWAY TURNOUTS.
 - WATER AND SEWER FORCE MAINS: LOCATION, TOP ELEVATION AND STATE PLANE COORDINATES AT ALL FITTINGS, VALVES, CHANGES OF DIRECTION AND AT 100' ON CENTER.
 - GRAVITY SEWERS:
 - SEWER STRUCTURES: DIAMETER OR SIZE, AND LOCATION AND ELEVATION OF STRUCTURES, TOP, BOTTOMS, AND SEWER INVERTS.
 - MANNS AND LATERALS: LOCATION AND INVERT ELEVATIONS AT CONNECTIONS, FITTINGS, AND TERMINATION.
 - LIFT STATIONS: HORIZONTAL LAYOUT AND LOCATION OF ALL EQUIPMENT, PANELS, VAULTS, WET WELL, VALVES; LOCATION OF CONDUIT RUNS AND WATER SERVICE; HOSE BIBB; LOCATION AND INVERT ELEVATIONS OF GRAVITY AND FORCE MAINS TO AND FROM LIFT STATION; WET WELL DIAMETER, TOP AND BOTTOM ELEVATIONS; PUMP(S) SIZE, TYPE, DISCHARGE DIAMETER, MANUFACTURER AND MODEL #.
 - DRAINAGE: ALL STRUCTURES DIAMETER OR SIZE, LOCATION, AND ELEVATION OF TOP, BOTTOM, AND INVERT ELEVATIONS. ALL PIPES, DIAMETER, TYPE, MATERIAL, LOCATION AND INVERT ELEVATION AT CONNECTIONS, FITTINGS, AND TERMINATION POINTS.
 - IRRIGATION: ALL LINES, SYSTEM EQUIPMENT COMPONENTS, MATERIALS INCLUDING PIPES, VALVES, FITTINGS, SPRINKLER HEADS, AND MISCELLANEOUS APPURTENANCES.
- 4. OPERATION AND MAINTENANCE MANUALS**
- CONTRACTOR SHALL PROVIDE THE OWNER WITH OPERATION AND MAINTENANCE MANUALS FOR ALL OPERABLE EQUIPMENT (PUMP STATIONS AND CONTROLS, AUTOMATIC CONTROL VALVES, AND OTHER AUTOMATED EQUIPMENT CONTROL PANELS, ETC).
 - OPERATION AND MAINTENANCE MANUALS SHALL BE SUBMITTED AS A PRE-REQUISITE TO THE PROJECT BEING DEEMED SUBSTANTIALLY COMPLETE.
- 5. WARRANTY**
- THE CONTRACTOR SHALL PROVIDE ALL WARRANTIES, CERTIFICATIONS, GUARANTEES, AND WARRANTY BONDS AS SPECIFIED IN THE CONTRACT DOCUMENTS AND PERMIT CONDITIONS INCLUDING:
- UTILITY MAINTENANCE BOND - FOR ALL PUBLIC WATER AND SEWER UTILITIES INFRASTRUCTURE - (2% OF CONTRACT VALUE)
 - ENGINEERING MAINTENANCE BOND - FOR ALL PAVING, GRADING, AND DRAINAGE IMPROVEMENTS AND INFRASTRUCTURE (2% OF CONTRACT VALUE)
- 6. OWNER TRAINING**
- THE CONTRACTOR SHALL INCLUDE 2 HOURS OF OWNER TRAINING (FOR EACH WATER, SEWER, DRAINAGE, AND IRRIGATION SYSTEM) FOR ALL OPERABLE EQUIPMENT AND SHALL INCLUDE THE TIME FOR INITIAL ADJUSTMENTS OF EQUIPMENT AND TIME FOR ONE FOLLOW-UP VISIT AND ADJUSTMENTS OF EQUIPMENT 60 DAYS AFTER END USER HAS OPERATIONAL TIME WITH THE EQUIPMENT.

HATCH LEGEND

- PROPOSED BRICK PAVERS
- EXISTING CONCRETE TO REMAIN
- PROPOSED CONCRETE
- PROPOSED BUILDING FOOTPRINT

DRAINAGE OUTFALL STATEMENT

THE PROJECT WILL HAVE TWO OUTFALL POINTS. THE FIRST BASIN IS THE SOUTH PORTION OF THE SITE THAT WILL FLOW INTO THE SEAWAY DRIVE DRAINAGE SYSTEM. THE SECOND BASIN IS THE NORTH PORTION OF THE SITE THAT WILL DISCHARGE INTO THE EXISTING PIPE ALONG THE WEST PROPERTY LINE.

DATE	5/29/15
REASON	REVISED PER CDP
MARK	1
DESIGNED J.B.B.	J.B.B.
DRAWN J.B.B.	J.B.B.
CHECKED J.B.B.	J.B.B.
SCALE	1:20
DATE	4/15/2015

SCHULKE, BITTLE & STODDARD, L.L.C.
 CIVIL & STRUCTURAL ENGINEERING - LAND PLANNING - ENVIRONMENTAL PERMITTING
 CERTIFICATION NO. 00008668
 1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960
 TEL 772 / 770-9622 FAX 772 / 770-9496 EMAIL

PAVING, GRADING & DRAINAGE PLAN

INLET PALMS

DATE	
SHEET	7
PROJECT NO.	15-053

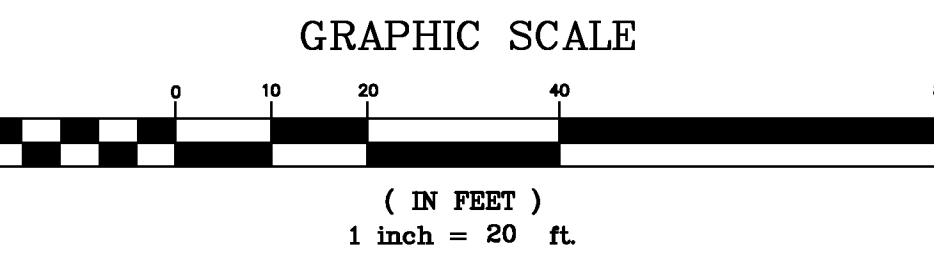
LEGEND

--- EX SAN --- EX SAN ---	EXISTING SANITARY SEWERLINE	9.0' R	PROPOSED EOP RADIUS
--- SAN --- SAN ---	PROPOSED SANITARY SEWERLINE	PROPRANE	1,000 GAL UNDERGROUND PROPRANE TANK
--- EX DW --- EX DW ---	EXISTING DRAINAGE PIPE	24"	24" ADS YARD DRAIN
--- DW --- DW ---	PROPOSED DRAINAGE PIPE	STORMTECH	STORMTECH DRAIN
--- EX WM --- EX WM ---	EXISTING WATER MAIN	---	PROPOSED WALL
--- WM --- WM ---	PROPOSED WATER MAIN	---	TRENCH DRAIN
---	FILTER FENCE/SEDIMENT BARRIER	☆	STREET LIGHT
---	EXISTING WOOD FENCE	---	MODIFIED TYPE 'C' INLET
---	PROPOSED FENCE	---	JUNCTION MANHOLE
24.45	PROPOSED SPOT ELEVATION AT EOP/SIDEWALK	BS-1	DRAINAGE STRUCTURE LABEL
25.0	PROPOSED GRADE / CONTOUR	---	FIRE HYDRANT
---	PROPOSED DRAINAGE FLOW DIRECTION	---	PROPOSED SIGN
---		---	SEWER MANHOLE

NOTES

- ALL DISTURBED AREAS IN THE RIGHT-OF-WAY SHALL BE SOODED. SEED AND MULCH IS NOT ACCEPTABLE.
- ANY DAMAGE TO THE EXISTING INFRASTRUCTURE, INCLUDING SIDEWALKS, BY THE CONTRACTOR MUST BE REPLACED PRIOR TO FINAL INSPECTION. SIDEWALK PATCHING IS NOT ACCEPTABLE.
- CURB RAMPS MUST MEET THE REQUIREMENTS OF FDOT STANDARD INDEX 304.
- ALL STRIPING WITHIN THE RIGHT-OF-WAY SHALL BE THERMOPLASTIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING PUBLIC ROADWAY, CURBS, GUTTERS, SIDEWALKS, DRAINAGE SYSTEMS AND UTILITIES AS A DIRECT RESULT OF NEW CONSTRUCTION. ROAD IMPROVEMENTS SUCH AS BUT NOT LIMITED TO RESURFACING MAYBE REQUIRED.
- THE SITE DRAINAGE AND CONSTRUCTION IMPROVEMENTS SHALL NOT ADVERSELY IMPACT ADJOINING PROPERTIES AND/OR ROADWAYS.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT SUNGRIE STATE CALL SYSTEM AT 1-800-432-4770 FOR LOCATIONS OF THIS EQUIPMENT AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION.
- ANY CONFLICTS WITH THE PLANS AND EXISTING UTILITIES, DRAINAGE, ETC TO BE REPORTED TO ENGINEER FOR RESOLUTION OF ISSUES.
- CONTRACTOR TO FIELD VERIFY ALL REPORTED INVERTS AND UTILITIES AND REPORT TO ENGINEER.
- PROPRANE TANKS TO BE UNDERGROUND.

- PLS - PROFESSIONAL LAND SURVEYOR
 PSM - PROFESSIONAL SURVEYOR & MAPPER
 LB - LAND SURVEYING BUSINESS
 CL - CENTERLINE
 R - RADIUS
 L - LENGTH
 Δ - DELTA ANGLE
 EP - EDGE OF PAVEMENT
 BC - BACK OF CURB
 B.M. - BENCHMARK
 POC - POINT OF COMMENCEMENT
 POB - POINT OF BEGINNING
 PCP - PERMANENT CONTROL POINT
 PPM - PERMANENT REFERENCE MONUMENT
 PIRM - PERMANENT REFERENCE MONUMENT
 (PI) IRON PIPE
 IP - IRON PIPE
 (RC) IRON ROD & CAP
 (CM) CONCRETE MONUMENT
 CON - CONCRETE MONUMENT
 FD - FOUND
 (M) MEASURED
 (P) FLAT
 (C) CALCULATED
 TRAFFIC CONTROL BOI
 GUY WIRE
 WOOD UTILITY POLE
 TELEPHONE SERVICE
 CABLE T.V. BOI
 ELECTRIC BOI
 LIGHT POST
 WELL
 HYDRANT
 GATE VALVE
 IRRIGATION VALVE
 WATER METER
 SANITARY MANHOLE
 SANITARY SERVICE
 SEPTIC TANK
 DRAINAGE MANHOLE
 CURB INLET
 SURFACE INLET
 MITERED END SECTION
 CONCEPTUAL DRAINAGE
 STREET SIGN
 PROPOSED GRADE
 NAVD - NORTH AMERICAN VERTICAL DATUM
 425' - TYPICAL ELEVATION
 AC - AIR CONDITIONER
 CONC - CONCRETE
 F.F. - FINISH FLOOR
 BSB - BUILDING SETBACK LINE
 EL. ELEV - ELEVATION
 RW - RIGHT OF WAY
 AB - AS-BUILT
 PK - PARKER-KALON



HATCH LEGEND

- PROPOSED BRICK PAVERS
- EXISTING CONCRETE TO REMAIN
- PROPOSED CONCRETE
- PROPOSED BUILDING FOOTPRINT

- 1. SUBMITTALS**
- A. PRODUCT DATA AND SHOP DRAWINGS**
- FOR ALL SITE WORK CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT PRODUCT DATA IN THE FORM OF MANUFACTURERS' CUT SHEETS AND CATALOG DATA FOR ALL PRODUCTS, MATERIAL AND EQUIPMENT CLEARLY INDICATING THE SPECIFIC PART OR PRODUCT CATALOG NUMBER(S) FOR APPROVAL.
 - THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL PRODUCTS, MATERIALS AND EQUIPMENT REQUIRED TO BE FABRICATED, OR WHEN STANDARD PUBLISHED PRODUCT DATA IS NOT SUITABLE FOR USE.
 - SUBMIT 6 COPIES OF REQUESTED INFORMATION, NEATLY BOUND AND INDEXED PER CATEGORY FOR THE FOLLOWING:
 - UTILITIES
 - PIPE, FITTINGS, VALVES, OTHER MISCELLANEOUS APPURTENANCES, CONTROLS, PUMP STATION EQUIPMENT, COMPONENTS AND STRUCTURES, AND ALL OTHER UTILITY SYSTEM PRODUCTS, MATERIALS AND COMPONENTS AND SIMILAR CONTROLS.
- B. DRAINAGE**
- ALL PIPE, FITTINGS, AND COMPONENTS THEREOF, STRUCTURES, FRAMES, GRATES, LIDS, GASKETS, FASTENERS, COUPLINGS AND SIMILAR, AND ALL OTHER DRAINAGE SYSTEM PRODUCTS, MATERIALS, AND COMPONENTS AND SIMILAR CONTROLS.
- C. PAVING AND GRADING**
- FOOT CERTIFICATIONS AND LAB ANALYSIS RESULTS FOR PAVEMENT, BASE, SUBGRADE, AND FILL MATERIALS, INCLUDING EVIDENCE (CERTIFICATIONS) THAT THE MATERIALS PROPOSED TO BE USED MEET OR EXCEED FDOT SPECIFICATIONS AND THE CONTRACT DOCUMENTS.
- D. SIGNING AND PAVEMENT MARKING**
- SIGN AND PAVEMENT MARKING PRODUCTS AND MATERIALS, AND EVIDENCE THAT THE PRODUCTS AND MATERIALS PROPOSED TO BE USED MEET OR EXCEED REQUIREMENTS SPECIFIED IN THE CONTRACT DOCUMENTS, LOCAL ENGINEERING DEPARTMENT MUTCO AND FDOT SPECIFICATIONS.
- E. IRRIGATION**
- ALL PIPE, FITTINGS, VALVES, OTHER MISCELLANEOUS APPURTENANCES, CONTROLS, PUMP STATION EQUIPMENT, COMPONENTS AND STRUCTURES, AND ALL OTHER UTILITY SYSTEM PRODUCTS, MATERIALS AND COMPONENTS AND SIMILAR CONTROLS, WELLS, AND/OR OTHER IRRIGATION SOURCES. THE CONTRACTOR SHALL SUBMIT AN IRRIGATION COORDINATION DRAWING, INDICATING CONTRACTOR'S PROPOSED LOCATION OF MAIN LINES, SECONDARY LINES, HEAD LOCATIONS, WELL, PUMP, CONTROL PANEL, SENSORS, CONTROL VALVE AND VALVE LOCATIONS. THIS DRAWING SHOULD INCLUDE ANY ADJUSTMENTS OR CHANGES TO THE CONTRACT DOCUMENTS. THE DRAWINGS SHALL INDICATE ALL PROPOSED SUBSTITUTIONS OF SILE, MATERIAL AND/OR MANUFACTURER.
- F. ALLOW TWO WEEKS FOR THE ENGINEER TO COMPLETE REVIEW OF PRODUCT DATA AND SHOP DRAWINGS. ENGINEER WILL NOT BE RESPONSIBLE FOR PROJECT DELAYS RELATED TO DELIVERY AND TRANSMISSION OF THE DOCUMENTS ONCE INFORMATION HAS LEFT ENGINEER'S OFFICE. ITEMS RETURNING A LONG LEAD TIME SHOULD BE SUBMITTED AS SOON AS POSSIBLE.**
- 5. THE CONTRACTOR SHALL PROVIDE A STAMP INDICATING ITS REVIEW AND APPROVAL, INITIALED OR SIGNED, CERTIFYING TO REVIEW OF SUBMITTALS, FIELD MEASUREMENTS AND FIELD CONSTRUCTION CRITERIA, AND COORDINATION OF THE INFORMATION WITHIN THE SUBMITTAL WITH REQUIREMENTS OF THE WORK AND OF CONTRACT DOCUMENTS, INCLUDING PLANS AND SPECIFICATIONS OF OTHER DESIGN PROFESSIONALS (I.E. ARCHITECT, MECHANICAL, ELECTRICAL, AND STRUCTURAL ENGINEERS).**
- B. TESTING**
- WATER, PRESSURE (MAIN AND TAPS), BACTERIOLOGICAL, BACKFLOW DENSITIES, BACKFLOW PREVENTOR TESTS AND CERTIFICATION AND AS PER PROJECT SPECIFICATIONS, LOCAL UTILITIES DEPARTMENT, AND FDP RE: UREMENTS.
 - SEWER, E, F, TV, AND BACKFLOW DENSITIES, PRESSURE TEST (MANS AND TAPS), LIFT STATION START-UP, ALL PER PROJECT SPECIFICATIONS, COVB AND FDP RE: UREMENTS.
 - DRAINAGE, E, F, L, LAMPING (FIELD), AND BACKFILL DENSITIES PER PROJECT SPECIFICATIONS AND LOCAL ENGINEERING RE: UREMENTS.
 - EARTHWORK & PAVING, DENSITIES, LBRS AND FBYS AS PER PROJECT SPECIFICATIONS AND LOCAL ENGINEERING RE: UREMENTS.
 - SUBMIT ALL TEST RESULTS FOR ENGINEERING REVIEW WITHIN 3 DAYS OF TESTING. FAILURE TO PROVIDE TEST RESULTS, OR PROVIDING FAILING TEST RESULTS WILL BE GROUNDS FOR DELAY AND/OR REJECTION OF PAY REQUEST APPLICATIONS.
- C. AS-BUILTS**
- GRADING: LOCATION AND ELEVATION OF ALL: CONCRETE AND PAVEMENT (VEHICLE USE AND PEDESTRIAN USE IMPROVEMENTS) AT HILLO POINTS, EDGE OF PAVEMENT, AND CENTERLINE AT 50' ON CENTER AND AT CHANGE OF DIRECTION, GRADE BREAKS, PROPERTY LINES (CROSS SECTIONS 50' ON CENTER), TOP OF BANK AND T.O.E. OF SLOPE AND/OR CENTERLINE OF SWALES AND RETENTION AREAS (CROSS SECTIONS BY ON CENTER ON STORMWATER LAKES FROM TOP TO BOTTOM MECHANICAL PADS AND FINISHED FLOOR ELEVATIONS: DETAILED LOCATION AND TOPOGRAPHY OF DRIVEWAY TURNOUTS.
 - WATER AND SEWER FORCE MAINS: LOCATION, TOP ELEVATION AND STATE PLANE COORDINATES AT ALL FITTINGS, VALVES, CHANGES OF DIRECTION AND AT 100' ON CENTER.
 - GRAVITY SEWER:
 - SEWER STRUCTURES: DIAMETER OR S.I.E. AND LOCATION AND ELEVATION OF STRUCTURES, TOP, BOTTOMS, AND SEWER INVERTS.
 - MANS AND LATERAL: LOCATION AND INVERT ELEVATIONS AT CONNECTIONS, FITTINGS, AND TERMINATION.
 - LEFT STATIONS: HORIZONTAL LAYOUT AND LOCATION OF ALL: EQUIPMENT, PANELS, VALVES, WET WELL, VALVES: LOCATION OF CONDUIT RUNS AND WATER SERVICE/ HOSE BIBB: LOCATION AND INVERT ELEVATIONS OF GRAVITY AND FORCE MAINS TO AND FROM LEFT STATION: WET WELL DIAMETER, TOP AND BOTTOM ELEVATION: DIAMETER, TYPE, DISCHARGE DIAMETER, MANUFACTURER AND MODEL #.
 - DRAINAGE: ALL STRUCTURES DIAMETER OR S.I.E., LOCATION, AND ELEVATION OF TOP, BOTTOM, AND INVERT ELEVATIONS, ALL PIPES, DIAMETER, TYPE, MATERIAL, LOCATION AND INVERT ELEVATION AT CONNECTIONS, FITTINGS, AND TERMINATION POINTS.
 - IRRIGATION: ALL LINES, SYSTEM EQUIPMENT COMPONENTS, MATERIALS INCLUDING PIPES, VALVES, FITTINGS, SPRINKLER HEADS, AND MISCELLANEOUS APPURTENANCES.
- D. OPERATION AND MAINTENANCE MANUALS**
- CONTRACTOR SHALL PROVIDE THE OWNER WITH OPERATION AND MAINTENANCE MANUALS FOR ALL OPERABLE EQUIPMENT (PUMP STATIONS AND CONTROLS, AUTOMATIC CONTROL VALVES, AND OTHER AUTOMATED EQUIPMENT CONTROL PANELS, ETC).
 - OPERATION AND MAINTENANCE MANUALS SHALL BE SUBMITTED AS A PRE-REQUISITE TO THE PROJECT BEING DEEMED SUBSTANTIALLY COMPLETE.
- E. WARRANTY**
- THE CONTRACTOR SHALL PROVIDE ALL WARRANTIES, CERTIFICATIONS, GUARANTIES, AND WARRANTY BONDS AS SPECIFIED IN THE CONTRACT DOCUMENTS AND PERMIT CONDITIONS INCLUDING:
- UTILITY MAINTENANCE BOND - FOR ALL PUBLIC WATER AND SEWER UTILITIES INFRASTRUCTURE - (25% OF CONTRACT VALUE)
 - ENGINEERING MAINTENANCE BOND - FOR ALL PAVING, GRADING, AND DRAINAGE IMPROVEMENTS AND INFRASTRUCTURE (25% OF CONTRACT VALUE)
- 4. OWNER TRAINING**
- THE CONTRACTOR SHALL INCLUDE 2 HOURS OF OWNER TRAINING FOR EACH WATER, SEWER, DRAINAGE, AND IRRIGATION SYSTEM COMPONENT AND SHALL INCLUDE THE TIME FOR INITIAL ADJUSTMENTS OF EQUIPMENT AND TIME FOR ONE FOLLOW-UP VISIT AND ADJUSTMENTS OF EQUIPMENT 60 DAYS AFTER END USER HAS OPERATIONAL TIME WITH THE EQUIPMENT.

DATE	5/29/15
REVISION	
MARK	1
DRAWING	DESIGNED
DRAWN	J.B.B.
CHECKED	J.B.B.
SCALE	1:20
DATE	4/15/15

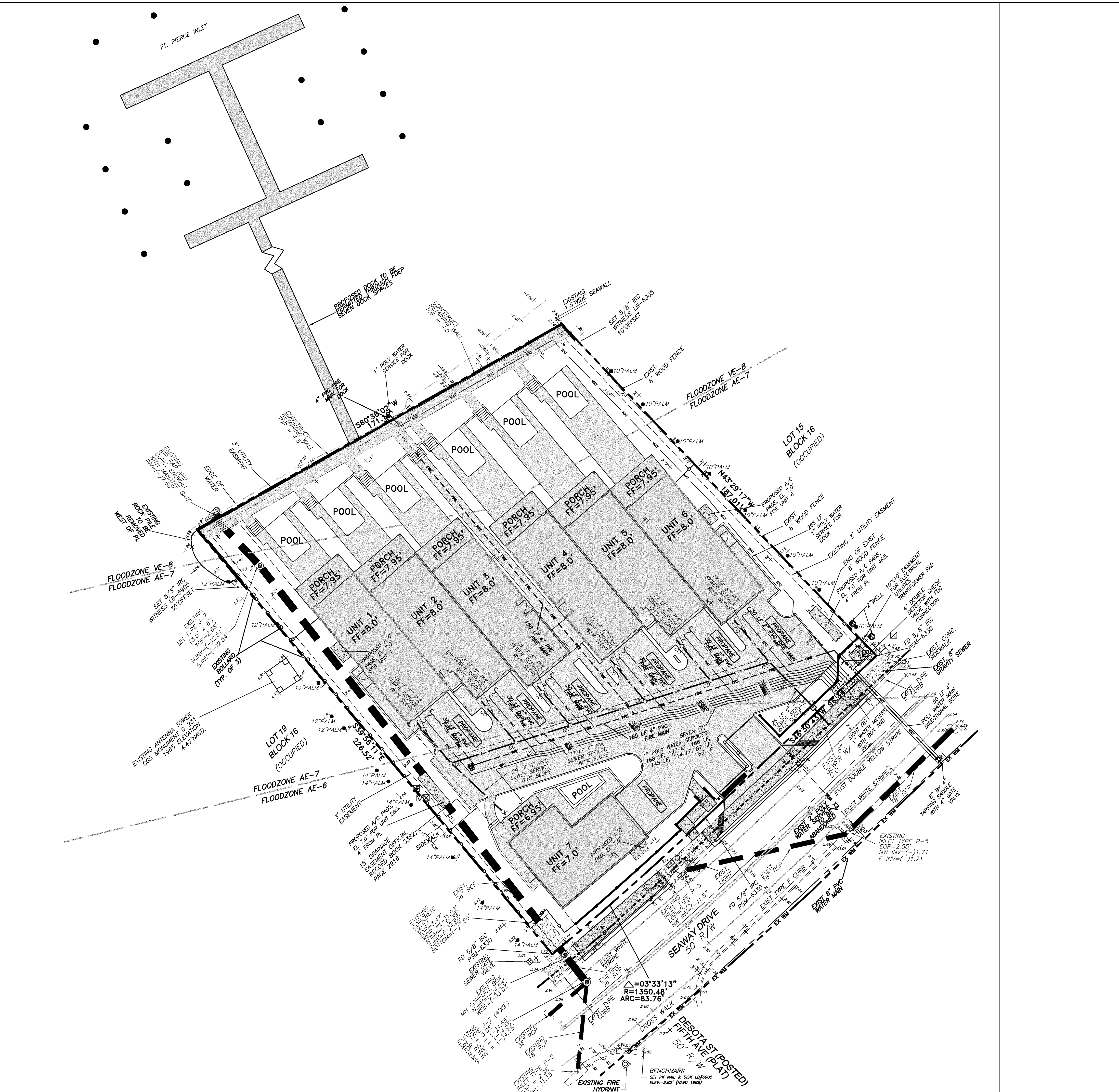
SCHULKE, BITTLE & STODDARD, L.L.C.
 CIVIL & STRUCTURAL ENGINEERING - LAND PLANNING - ENVIRONMENTAL PERMITTING
 CERTIFICATION NO.: 00008868
 1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960
 TEL 772/770-9496 FAX 772/770-9622 EMAIL

UTILITIES PLAN

INLET PALMS

ENGINEER CERTIFICATION
 JOSEPH M. SCHULKE
 FL. REG. NO. 47048
 ADAM B. BITTLE
 FL. REG. NO. 57306
 WILLIAM P. STODDARD
 FL. REG. NO. 57905

DATE: SHEET 8 PROJECT NO. 15-053



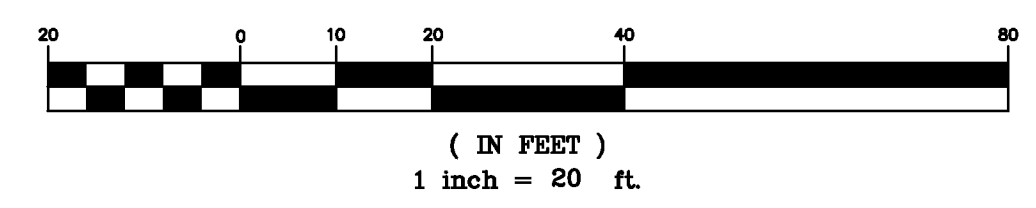
HATCH LEGEND

[Pattern]	PROPOSED BRICK PAVERS
[Pattern]	EXISTING CONCRETE TO REMAIN
[Pattern]	PROPOSED CONCRETE
[Pattern]	PROPOSED BUILDING FOOTPRINT

LEGEND

[Symbol]	EXISTING SANITARY SEWERLINE	9.0'R	PROPOSED EOP RADIUS
[Symbol]	PROPOSED SANITARY SEWERLINE	[Symbol]	1,000 GAL UNDERGROUND PROpane TANK
[Symbol]	EXISTING DRAINAGE PIPE	[Symbol]	24" ADS YARD DRAIN
[Symbol]	PROPOSED DRAINAGE PIPE	[Symbol]	STORMTECH DRAIN
[Symbol]	EXISTING WATER MAIN	[Symbol]	PROPOSED WALL
[Symbol]	PROPOSED WATER MAIN	[Symbol]	TRENCH DRAIN
[Symbol]	FILTER FENCE/SEDIMENT BARRIER	[Symbol]	STREET LIGHT
[Symbol]	EXISTING WOOD FENCE	[Symbol]	MODIFIED TYPE 'C' INLET
[Symbol]	PROPOSED FENCE	[Symbol]	JUNCTION MANHOLE
[Symbol]	PROPOSED SPOT ELEVATION AT EOP/SIDEWALK	[Symbol]	DRAINAGE STRUCTURE LABEL
[Symbol]	PROPOSED GRADE / CONTOUR	[Symbol]	FIRE HYDRANT
[Symbol]	PROPOSED DRAINAGE FLOW DIRECTION	[Symbol]	PROPOSED SIGN
[Symbol]		[Symbol]	SEWER MANHOLE

GRAPHIC SCALE



LANDSCAPE MATERIAL SCHEDULE

SYMBOL	AMOUNT	BOTANICAL NAME	COMMON NAME	SIZE	HGT	OTHER	NATIVE
[Symbol]	4	Clusia rosea	PITCH APPLE	2.5" DIA	12"	5' SPREAD	YES
[Symbol]	7	Veitchia merrii	CHRISTMAS TREE PALM	10" CLEAR	12"	5' SPREAD	YES
[Symbol]	4	Wodyetia bifurcata	FOX TAIL PALM	10" CLEAR	12"	5' SPREAD	YES
[Symbol]	23	Coccus nucifera	MAYPAN COCONUT	10" CLEAR	12"	5' SPREAD	YES
[Symbol]	9	Veitchia orcinia	MONTGOMERY PALM	10" CLEAR	12"	5' SPREAD	YES
[Symbol]	278	Podocarpus macrophyllus	PODOCARPUS	-	24"	24" O.C.	NO
[Symbol]	431	Ficus microcarpa	GREEN ISLAND FIGUS	-	12"	24" O.C.	YES

LANDSCAPE NOTES

SECTION 22-187. GENERAL LANDSCAPING REQUIREMENTS.

ALL LANDSCAPE PLANS SHALL MEET OR EXCEED THE FOLLOWING GENERAL LANDSCAPING REQUIREMENTS WHICH SHALL BE CONSIDERED COMPLEMENTARY TO THE LANDSCAPING PROVISIONS OF ANY OTHER CITY ORDINANCE. THIS SECTION SHALL NOT APPLY TO LOTS SUBJECT TO SECTION 22-186 ABOVE. A CERTIFICATE OF OCCUPANCY SHALL NOT BE ISSUED ON ANY PERMIT FOR THE USE, CONSTRUCTION, REPAIR OR RENOVATION OF ANY STRUCTURE WITHIN THE CITY, WHETHER RESIDENTIAL, COMMERCIAL, INDUSTRIAL OR ACCESSORY, UNLESS APPLICATION FOR ANY SUCH PERMIT IS ACCOMPANIED BY A DETAILED LANDSCAPE PLAN MEETING ALL REQUIREMENTS OF THIS ARTICLE. THE DEPARTMENT IS NOT AUTHORIZED TO EXEMPT THE PERMIT APPLICATION FROM ANY REQUIREMENT EXCEPT AS EXPRESSLY PROVIDED FOR IN THIS ARTICLE.

(1) REQUIREMENTS FOR PLANT MATERIALS. PLANT MATERIALS USED FOR CONFORMANCE WITH THIS ARTICLE SHALL MEET OR EXCEED THE STANDARDS FOR FLORIDA NO. 1 AS SET OUT IN THE MOST CURRENT EDITION OF "GRADES AND STANDARDS FOR NURSERY PLANTS PART 1 AND PART 2," STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE, TALLAHASSEE. THE CLERK'S OFFICE SHALL MAINTAIN A STOCK OF THESE MANUALS TO BE GIVEN TO PERMIT APPLICANTS, PARTICULARLY THOUGH NOT EXCLUSIVELY TO HOMEOWNERS, FOR THE APPLICANT'S USE IN SUBMITTING THE REQUIRED LANDSCAPE PLAN. ALL TREES REQUIRED BY THIS ARTICLE (EXCLUDING PALMS THAT ARE EXEMPT FROM THE GRADES AND STANDARDS) SHALL HAVE A FLORIDA NO. 1 OR BETTER "GRADES AND STANDARDS" CERTIFICATION TAG ATTACHED AT TIME OF DELIVERY THROUGH FINAL INSPECTION. GRASS SOIL SHALL BE CLEAN AND FREE OF WEEDS, PESTS AND DISEASES.

TREES:

A. TREES USED TO MEET THE REQUIREMENTS OF THIS SECTION SHALL BE SPECIES WHICH WHEN PLANTED HAVE A HEIGHT OF AT LEAST TWELVE (12) FEET AND HAVE TRUNKS WHICH CAN BE MAINTAINED IN A CLEAN CONDITION FOR OVER FIVE (5) FEET OF CLEAR WOOD. AT PLANTING, THE TREES SHALL HAVE A DIAMETER OF AT LEAST TWO AND ONE-HALF (2 1/2) INCHES AT A POINT FOUR AND ONE-HALF (4 1/2) FEET ABOVE GROUND LEVEL AND A SPREAD OF AT LEAST FIVE (5) FEET (EXCEPT FOR PALMS WHICH SHALL HAVE A MINIMUM CLEAR TRUNK OF TEN (10) FEET).

B. TREES TO MEET THE REQUIREMENTS OF THIS SECTION SHALL ALSO BE SPECIES WHICH IN THE COUNTY NORMALLY GROW IN A MANNER SUCH THAT AT MATURITY THEY WILL HAVE A MINIMUM CROWN SPREAD OF FIFTEEN (15) FEET AND A MINIMUM HEIGHT OF FIFTEEN (15) FEET. TREES WHICH CAN MEET THE HEIGHT REQUIREMENT AS SET OUT IN THIS ARTICLE BUT NOT THE CROWN REQUIREMENT MAY BE SUBSTITUTED FOR A WIDER CROWN, BUT WILL BE COUNTED AS ONE TREE. THREE PALMS MAY BE SUBSTITUTED FOR ONE TREE PROVIDED THAT FIFTY (50) PER CENT OF THE REQUIRED TREES SHALL BE SPECIES OTHER THAN PALM TREES (PALMACEAE FAMILY) EXCEPT WHEN PLANTED IN ACCORDANCE WITH AN APPROVED PLAN PREPARED BY A FLORIDA REGISTERED LANDSCAPE ARCHITECT.

C. TREES OF SPECIES WHOSE ROOTS ARE KNOWN TO CAUSE DAMAGE TO PUBLIC ROADWAYS OR OTHER PUBLIC WORKS SHALL NOT BE PLANTED CLOSER THAN TWELVE (12) FEET TO SUCH PUBLIC WORKS, UNLESS THE TREE ROOT SYSTEM IS COMPLETELY CONTAINED WITHIN A BARRIER WHICH THE MINIMUM INTERIOR CONTAINING DIMENSIONS SHALL BE THREE (3) FEET TIMES FIVE (5) FEET DEEP, AND FOR WHICH THE CONSTRUCTION REQUIREMENTS SHALL BE SIX-INCH THICK CONCRETE WITH FIBER MESH AND NO WIRE MESH OR BY A ROOT BARRIER PRODUCT APPROVED BY THE CITY ENGINEER.

D. NONE OF THE FOLLOWING TREES SHALL BE PLANTED IN THE CITY AND WHERE THEY PRESENTLY EXIST WHEN PERMIT APPLICATION IS MADE, THEY SHALL BE REMOVED AS A CONDITION OF ANY PERMIT: ORZELLA MALEUCUA, LEUCADENDRON (PUNK TREE), SCHINUS TEREBINTHIFOLIUS (BRAZILIAN PEPPER) AND CASUARINA SPP. (AUSTRALIAN PINE). NOR MAY ANY OF THE FOLLOWING TREES BE PLANTED FOR PURPOSES OF COMPLYING WITH REQUIREMENTS OF SECTION 22-187. THESE TREES ARE DESIGNATED AS CATEGORY 1 ON THE EXOTIC PLANT COUNCIL'S CURRENT LIST OF "FLORIDA'S MOST INVASIVE SPECIES": CUPANOPSIS ANACARDIODES (CARROTWOOD), DALBERGIA SISSOO (ROSEWOOD), ALBIZIA LEBNOK (WOMAN'S TONGUE), ARALICARIA HETEROPHYLLA (NORFOLK ISLAND PINE), GREVILLEA ROBUSTA (SILK OAK), MELIA AZADIRACHTA (CHINA BERRY), FIGUS SPP. (NON-NATIVE FIGUS), EUCALYPTUS SPP. (EUCALYPTUS).

F. SHRUBS AND HEDGES. SHRUBS USED TO MEET THE REQUIREMENTS OF THIS SECTION SHALL BE A MINIMUM OF TWENTY-FOUR (24) INCHES IN HEIGHT WHEN PLANTED. HEDGES, WHERE REQUIRED, SHALL BE PLANTED AND MAINTAINED AS TO FORM A THIRTY-FOUR (36) INCH OR HIGHER CONTINUOUS UNBROKEN SOLID VISUAL SCREEN.

G. GROUND COVERS. GROUND COVERS USED IN LIEU OF GRASS, OR IN PART, TO MEET THE REQUIREMENTS OF THIS SECTION, SHALL BE PLANTED IN SUCH A MANNER AS TO PRESENT A FINISHED APPEARANCE AND REASONABLY COMPLETE WITHIN THREE (3) MONTHS AFTER PLANTING.

H. GRASS. GRASS USED TO MEET THE REQUIREMENTS OF THIS SECTION SHALL BE PLANTED WITH SPECIES NORMALLY GROWN AS PERMANENT LAWNS IN THE COUNTY. GRASS AREAS WILL BE SODED, EXCEPT THAT PLUGGING, SPREADING OR SEEDING OF GRASS AREAS IS PERMISSIBLE WITH RESPECT TO SINGLE-FAMILY AND TWO-FAMILY RESIDENTIAL LOTS, AS TO ALL LOTS, SOIL SOD SHALL BE USED IN SWALES, DETENTION OR RETENTION AREAS AND OTHER AREAS SUBJECT TO EROSION.

I. EXISTING PLANT MATERIAL. WHEN PLANT MATERIAL EXISTS ON A SITE PRIOR TO THE DATE APPLICATION FOR A PERMIT IS MADE, CREDIT MAY BE ALLOWED FOR SUCH PLANT MATERIAL PROVIDED THAT IT IS PROTECTED DURING CONSTRUCTION AND INCORPORATED INTO THE REQUIRED LANDSCAPING IN A MANNER WHICH SATISFIES THE REQUIREMENTS OF THIS ARTICLE.

(12) INSTALLATION OF LANDSCAPING. ALL LANDSCAPING REQUIRED BY THIS ARTICLE SHALL BE INSTALLED IN COMPLIANCE WITH THESE REQUIREMENTS:

A. LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN, INCLUDING ALL SPECIFIED CONDITIONS TO A PARTICULAR LANDSCAPE APPROVAL, AND INSPECTED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY. SUCH INSPECTION SHALL INCLUDE VERIFICATION THAT PLANTING SOIL MEETS SPECIFIED CONDITIONS IN THE APPROVED LANDSCAPE PLAN. ANY CHANGES TO THE APPROVED LANDSCAPE PLAN, SUCH CHANGES MUST BE REVIEWED AND APPROVED BY THE DEPARTMENT AND NOTED ON THE PLAN PRIOR TO NOTIFICATION FOR THE FINAL INSPECTION FOR A CERTIFICATE OF OCCUPANCY.

B. LANDSCAPED AREAS SHALL BE COVERED IN THEIR ENTIRETY WITH SHRUBS, GROUND COVER, TURF, OR THREE (3) INCHES OF BULK ORGANIC MULCH OR OTHER SUITABLE MATERIAL WHICH PERMITS PERCOLATION AND IS APPROVED BY THE DEPARTMENT. WHERE MULCH IS USED, IT MUST BE PROTECTED FROM WASHING OUT OF THE PLANTING BED. ORGANIC MULCH, SUCH AS GRASS OR FOLIAGE, SHALL BE USED WHERE WASHING OCCURS. THE FINAL INSPECTION PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY, SHALL INCLUDE VERIFICATION THAT ANY MULCH IS INSTALLED AT THE REQUISITE DEPTH.

C. TREES WHICH ARE BALLED AND BURLAPED MUST HAVE THE BURLAP REMOVED OR FOLDED DOWN AT THE TIME OF THE PLANTING. ALL TWINE OR ROPE MUST BE REMOVED. IF WIRE BASKETS ARE USED, THE UPPER ROWS MUST BE CUT BEFORE PLANTING. REMOVE ALL SOIL FROM ABOVE THE ROOT FLARE AND PLANT THE TREE SO THE TOP OF THE ROOT BALL IS TEN (10) PER CENT ABOVE THE LANDSCAPE SOIL. DO NOT PLACE ANY SOIL OR MULCH OVER THE ROOT BALL. IF STAKES OR GUIDE WIRES ARE USED TO SUPPORT A TREE, THE WIRE MUST BE COVERED WITH PROTECTIVE MATERIAL WHERE IT IS IN CONTACT WITH THE TREE AND THE STAKES OR GUIDE WIRES MUST BE REMOVED AFTER ONE YEAR.

D. ALL LANDSCAPING REQUIRED BY THE CITY MUST BE PROTECTED FROM VEHICULAR AND PEDESTRIAN TRAFFIC BY THE INSTALLATION OF CURBING, WHEEL STOPS OR OTHER PROTECTIVE DEVICES ALONG THE PERIMETER OF ANY LANDSCAPING WHICH ADJACENT VEHICULAR USE AREAS OR SIDEWALKS. THESE PROTECTIVE DEVICES SHALL HAVE A MINIMUM HEIGHT OF SIX (6) INCHES ABOVE GRADE.

E. NO PARKING, DISPLAY OF VEHICLES OR OUTSIDE STORAGE OR DISPLAY OF MERCHANDISE IS PERMITTED IN OR OVER ANY REQUIRED LANDSCAPE AREA, NOR ARE VEHICLES PERMITTED TO OVERHANG ANY REQUIRED LANDSCAPED AREA.

F. SOIL, EXCEPT FOR PLANTING SOIL, IN WHICH REQUIRED LANDSCAPE IS TO BE INSTALLED MUST BE GENERALLY INDIGENOUS TO THE LOCALITY. SOIL MUST BE LOOSE, FRAGILE, AND FREE OF LIMESTONE AND OTHER CONSTRUCTION MATERIALS, ROAD BASE MATERIAL, ROCKS, WEEDS, GRASSES, HARD PAN, CLAY OR OTHER DEBRIS. PH SHALL BE ADJUSTED WHERE NECESSARY TO BE COMPATIBLE WITH THE PLANT SPECIES BEING INSTALLED. SOIL SHALL BE SLIGHTLY SMAILED TO RETAIN SURFACE STORMWATER. BACKFILL SOIL MATERIAL SHALL BE THOROUGHLY WATERED IN AND AROUND PLANT ROOT BALLS TO PREVENT ANY AIR POCKETS. THE USE OF AMENDED AND ENRICHED SOILS MAY BE REQUIRED BY THE DEPARTMENT WHERE NECESSARY TO INCREASE THE WATER RETENTION CAPABILITY IN ORDER TO REDUCE THE AMOUNT OF WATERING NEEDED TO MEET THE LANDSCAPING WATER REQUIREMENT. FINAL INSPECTION OF REQUIRED LANDSCAPE PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY SHALL INCLUDE PH TESTING TO VERIFY COMPATIBILITY WITH PERMITTED PLANTINGS.

G. TO MINIMIZE TRAFFIC HAZARDS AT STREET OR DRIVEWAY INTERSECTIONS, ALL LANDSCAPING INSTALLATIONS MUST PROVIDE UNOBSTRUCTED VIEWS AS REQUIRED IN SECTION 22-53.

H. ANY IRRIGATION SYSTEM PLACED ON CITY RIGHT-OF-WAY WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER WHO SHALL RELOCATE, REPLACE OR REPAIR THE SYSTEM AS APPROPRIATE IN THE EVENT IT IS DAMAGED DUE TO PERMITTED CONSTRUCTION IN THE RIGHT-OF-WAY.

I. PRIOR TO ISSUANCE OF OCCUPANCY, FINAL LANDSCAPE INSTALLATION SHALL BE CERTIFIED AS COMPLETE AND IN CONFORMANCE TO THE APPROVED LANDSCAPE PLAN BY SUBMISSION OF A CERTIFICATION LETTER BY A LANDSCAPE ARCHITECT.

(13) MAINTENANCE OF LANDSCAPING. PROPERTY OWNERS SHALL MAINTAIN ALL REQUIRED LANDSCAPING SO THAT IT CONTINUES TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE FREE OF REFUSE AND DEBRIS, IN CONFORMITY WITH THE FOLLOWING REQUIREMENTS:

A. VEGETATION REQUIRED BY THIS ARTICLE SHALL BE REPLACED WITH EQUIVALENT VEGETATION IF IT IS NOT LIVING. ALL TREES FOR WHICH CREDIT IS AWARDED AND WHICH SUBSEQUENTLY DIE SHALL BE REPLACED BY THE SAME NUMBER OF LIVING TREES ACCORDING TO THE STANDARDS ESTABLISHED IN THIS ARTICLE.

B. MAINTENANCE SHALL INCLUDE SUFFICIENT WEEDING, WATERING, FERTILIZING, PRUNING, MOWING, EDGING, MULCHING AND OTHER HORTICULTURAL PRACTICES SO AS TO ASSURE THAT THE LANDSCAPING CONTINUES TO MAINTAIN A HEALTHY, NEAT AND ORDERLY APPEARANCE.

LETTERS & ABBREVIATIONS

PLS	PROFESSIONAL LAND SURVEYOR
PSM	PROFESSIONAL SURVEYOR & MAPPER
LB	LAND SURVEYING BUSINESS
C	CENTRELINE
R	RADIUS
L	LENGTH
Δ	DELTA ANGLE
EP	EDGE OF PAVEMENT
B/C	BACK OF CURB
B.M.	BENCHMARK
POC	POINT OF COMMENCEMENT
POB	POINT OF BEGINNING
(PCP)	PERMANENT CONTROL POINT
P	PERMANENT CONTROL POINT
(PRM)	PERMANENT REFERENCE MONUMENT
PRM	PERMANENT REFERENCE MONUMENT
(IP)	IRON PIPE
IP	IRON PIPE
(IRC)	IRON ROD & CAP
IRC	IRON ROD & CAP
(CM)	CONCRETE MONUMENT
CM	CONCRETE MONUMENT
FD	FOUND
(M)	MEASURED
(P)	PLAT
(C)	CALCULATED
(TC)	TRAFFIC CONTROL BOX
(GUY)	GUY WIRE
(WU)	WOOD UTILITY POLE
(TS)	TELEPHONE SERVICE
(C/T)	CABLE T.V. BOX
(E)	ELECTRIC BOX
(L)	LIGHT POST
(W)	WELL
(H)	HYDRANT
(QV)	QUAKE VALVE
(WV)	WATER METER
(S)	SANITARY MANHOLE
(S)	SANITARY SERVICE
(S)	SEPTIC TANK
(M)	DRAINAGE MANHOLE
(C)	CURB INLET
(S)	SURFACE INLET
(M)	MITERED END SECTION
(C)	CONCEPTUAL DRAINAGE
(S)	STREET SIGN
(S)	PROPOSED GRADE
(N)	NORTH AMERICAN VERTICAL DATUM
(T)	TYPICAL ELEVATION
(AC)	AIR CONDITIONER
(C)	CONCRETE
(F.F.)	FINISH FLOOR
(B.S.B.)	BUILDING SETBACK LINE
(E)	ELEVATION
(R.W.)	RIGHT OF WAY
(A.B.)	AS-BUILT
(P.K.)	PARKER-KALON

LANDSCAPE CERTIFICATION:

JODAH B. BITTLE DATE

FCLD #DC1 70/HCI 8527

DATE	5/29/15
REVISION	5/29/15
MARK	1
DESIGNED	REVISED PER CORP
DRAWN	ADD ADDITIONAL E/W SHRUBS
CHECKED	7/7/15
SCALE	1:20
DATE	4/15/15

ENGINEER CERTIFICATION

[] JOSEPH W. SCHAKKE
FL. REG. NO. 47048

[] JODAH B. BITTLE
FL. REG. NO. 57396

[] WILLIAM P. STODDARD
FL. REG. NO. 57625

DATE: SHEET 9

PROJECT NO. 15-053

SCHULKE, BITTLE & STODDARD, L.L.C.

CIVIL & STRUCTURAL ENGINEERING - LAND PLANNING - ENVIRONMENTAL PERMITTING

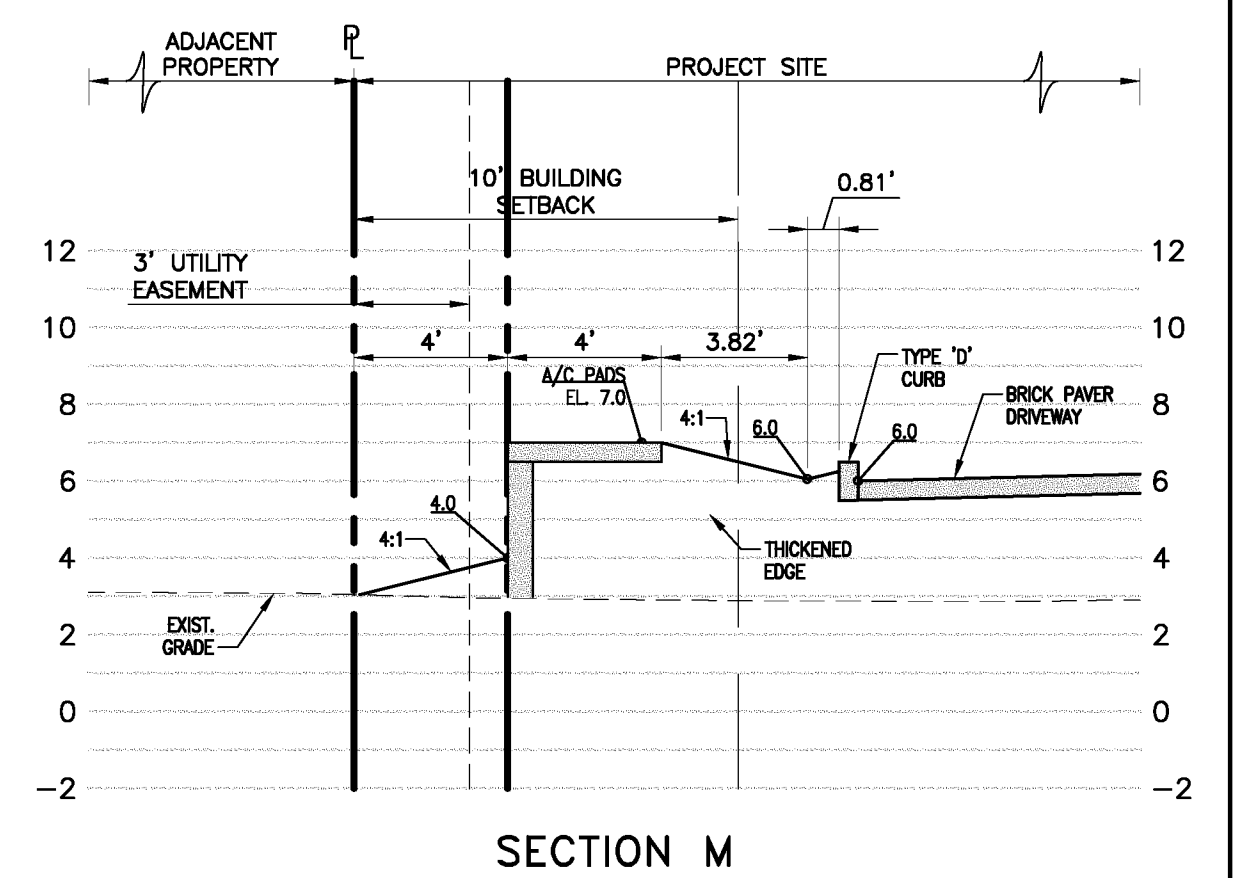
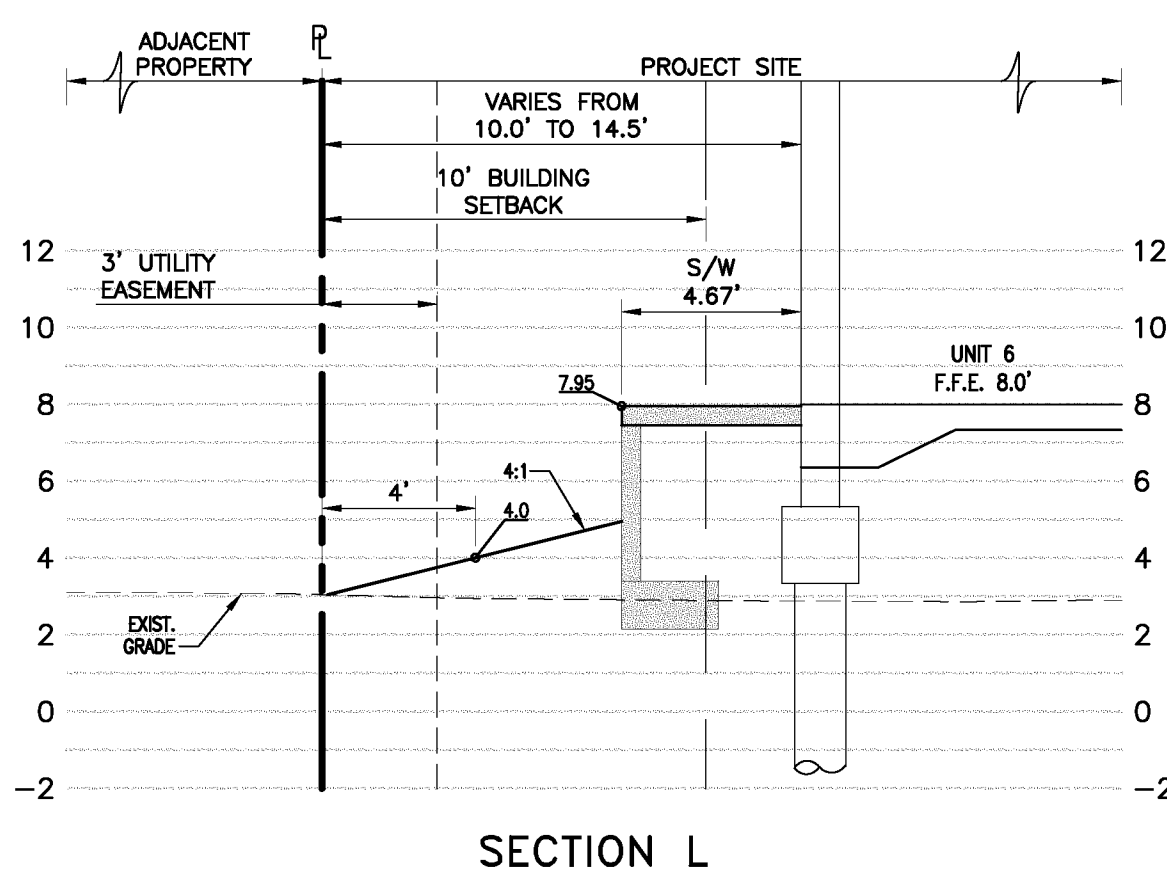
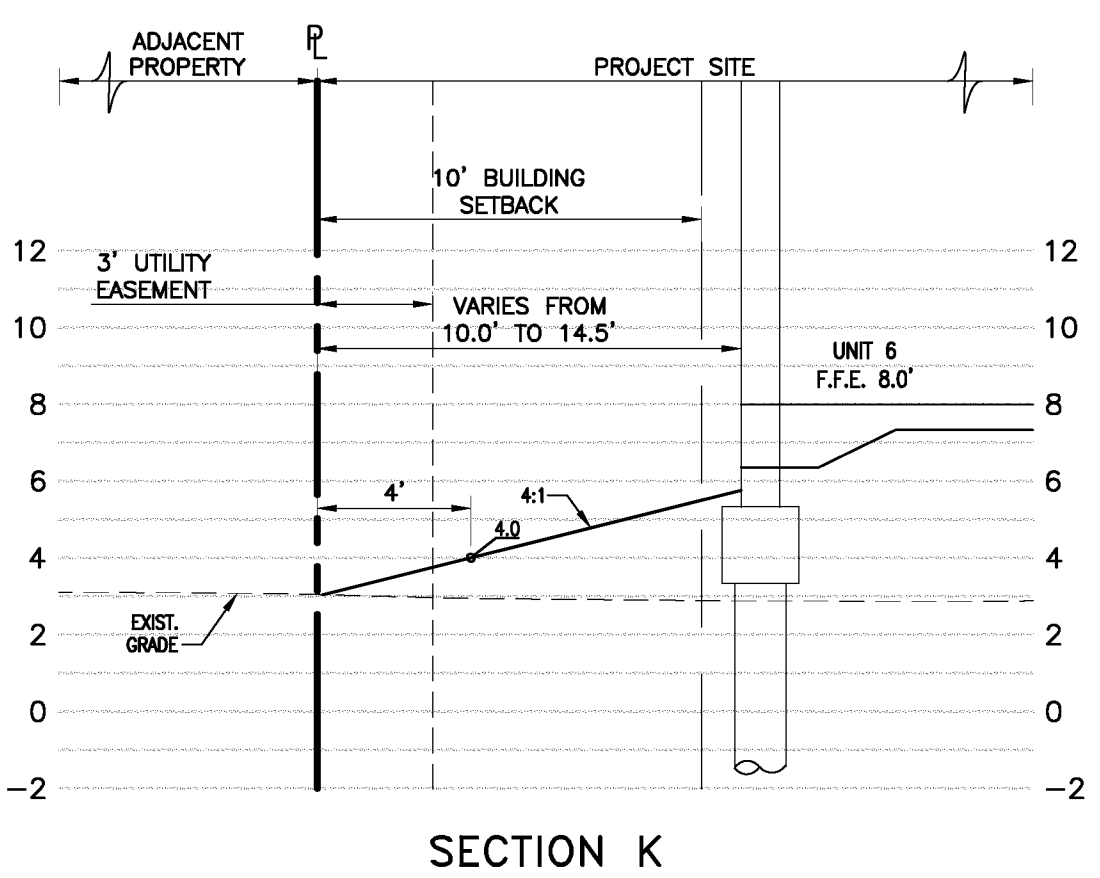
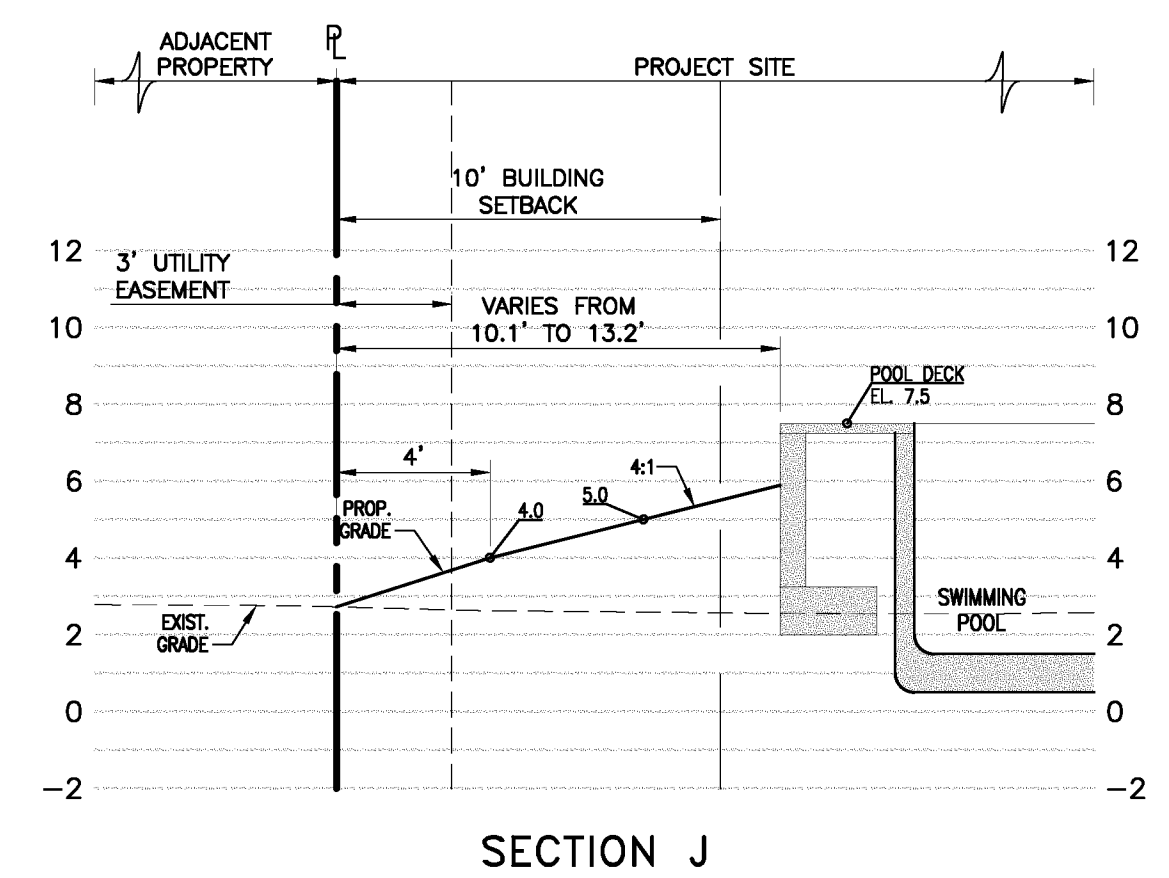
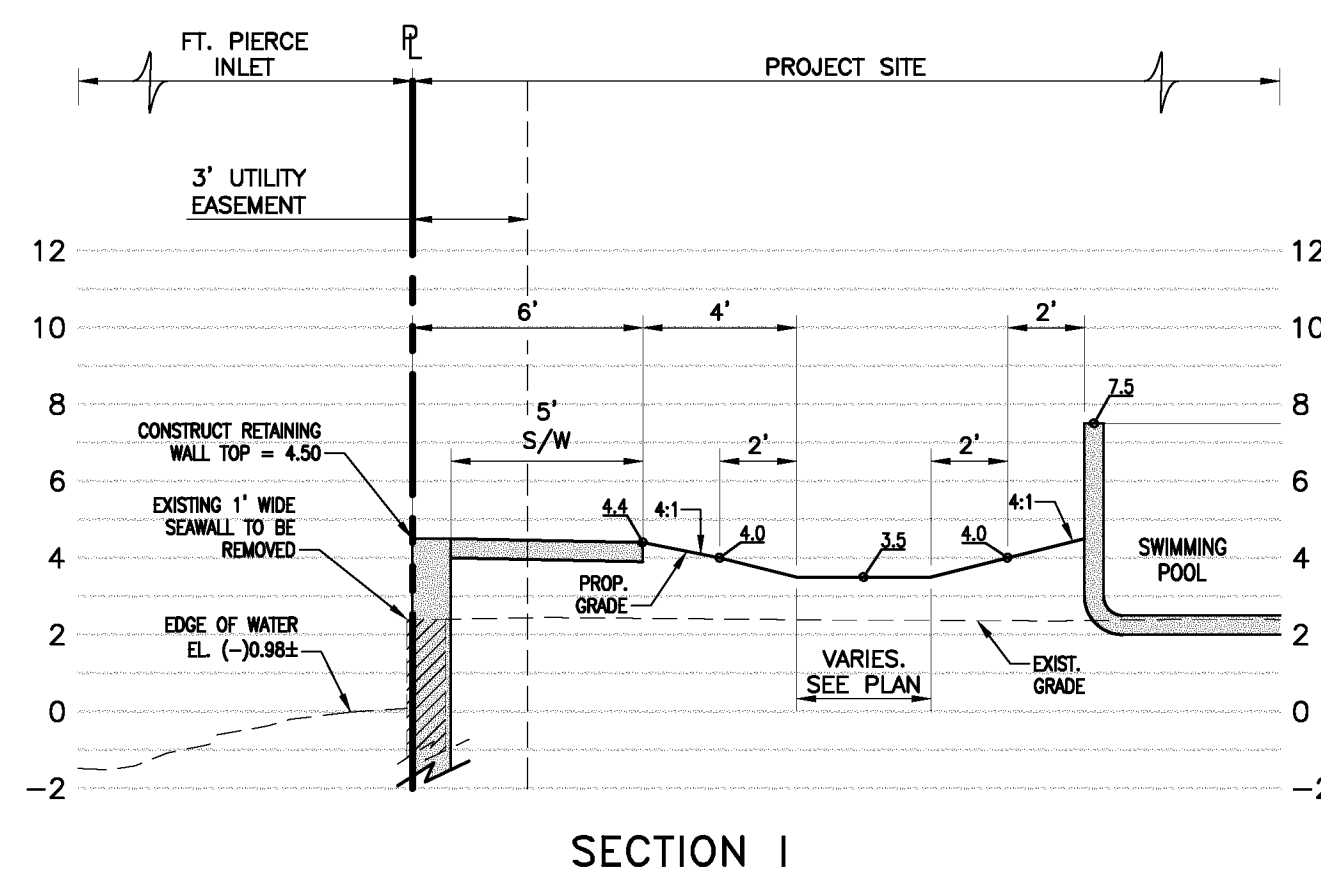
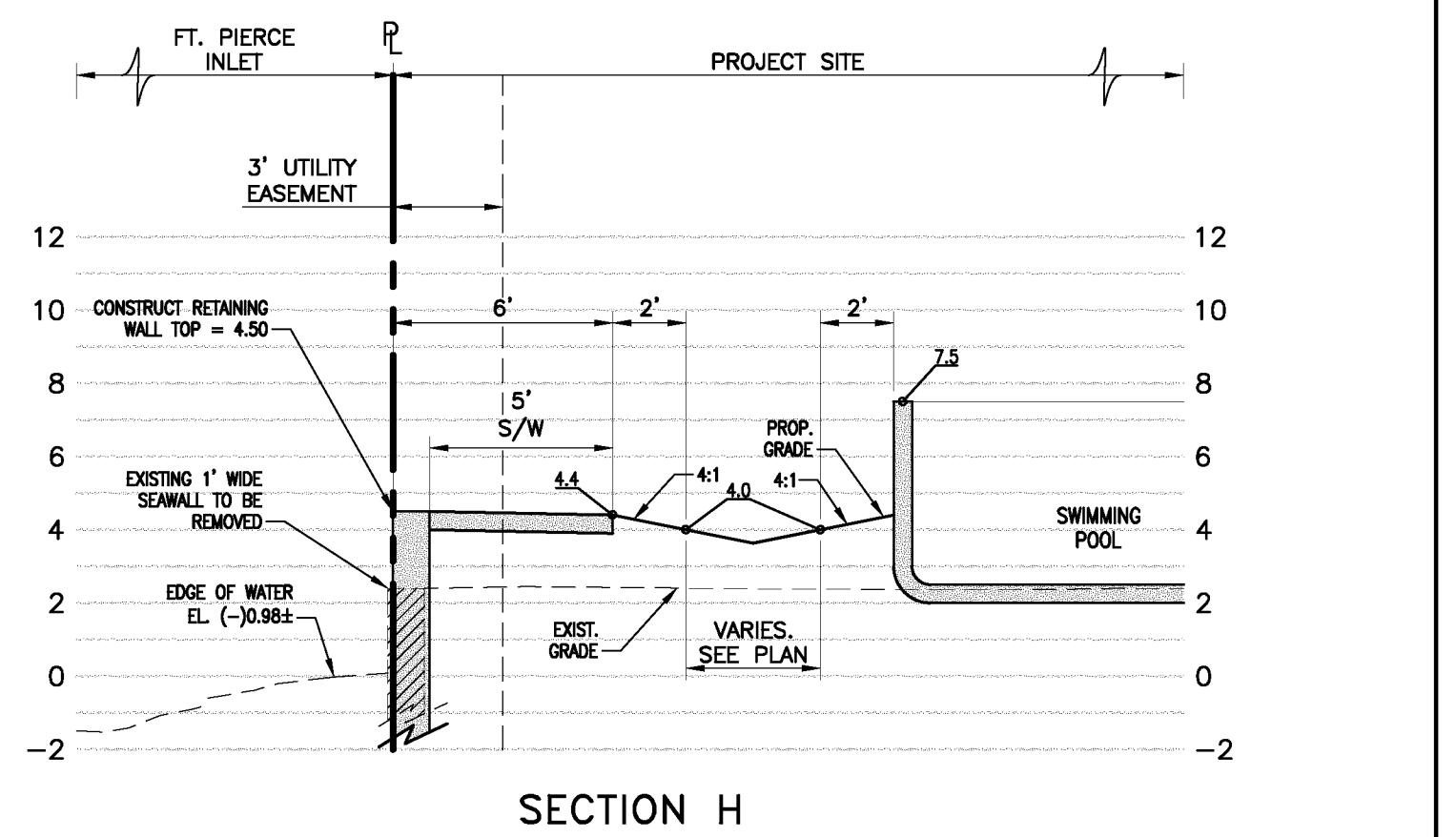
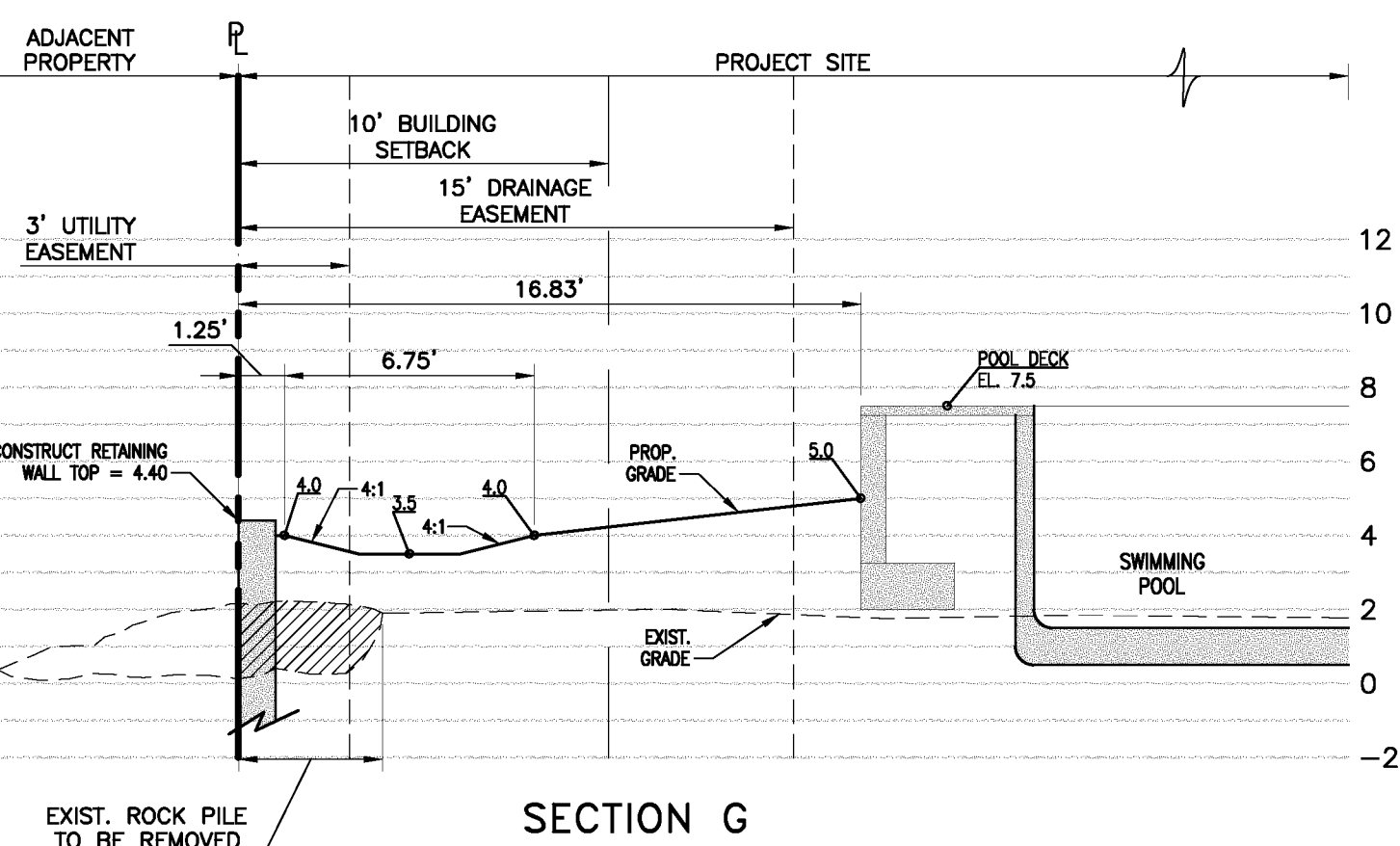
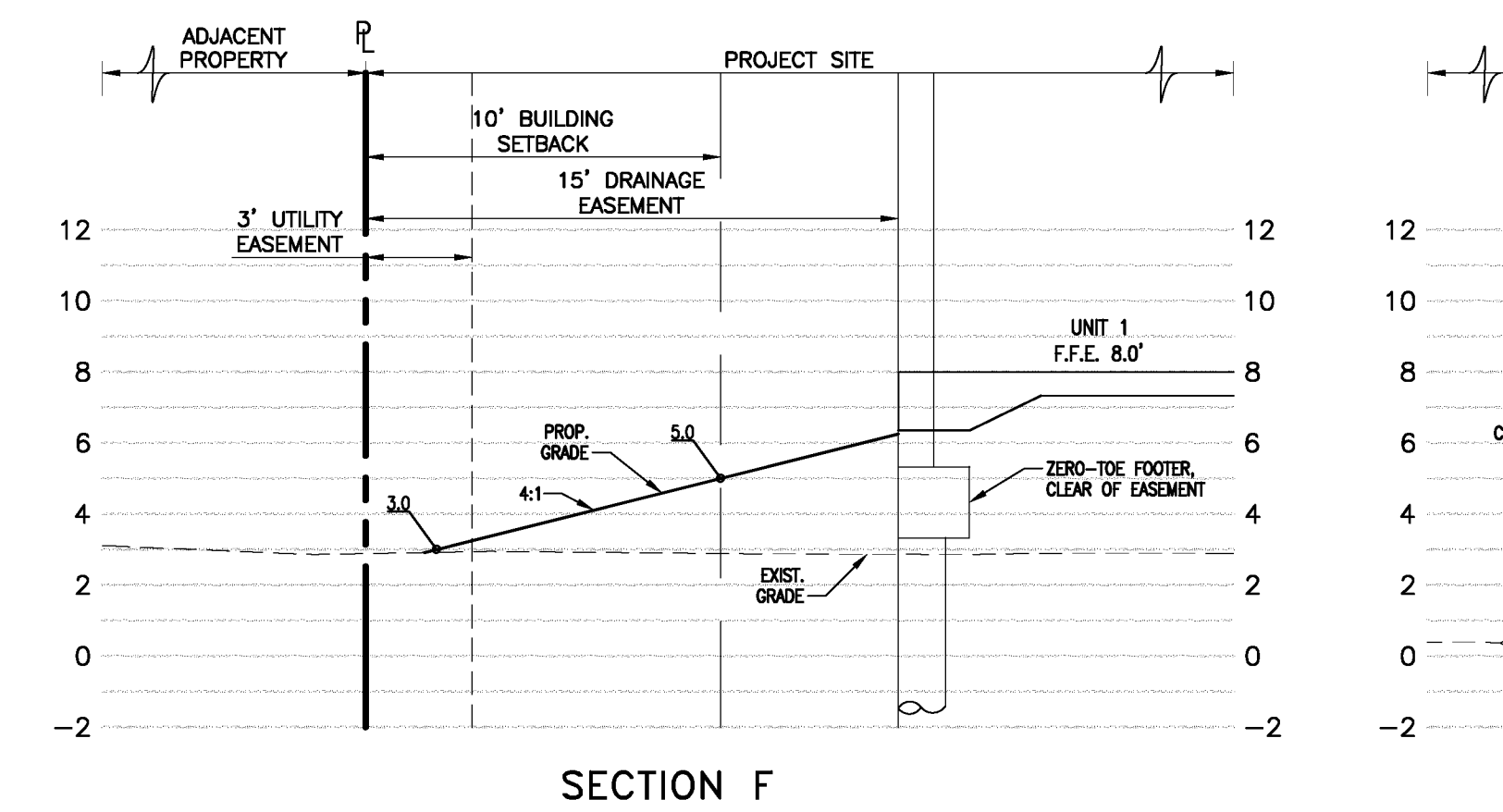
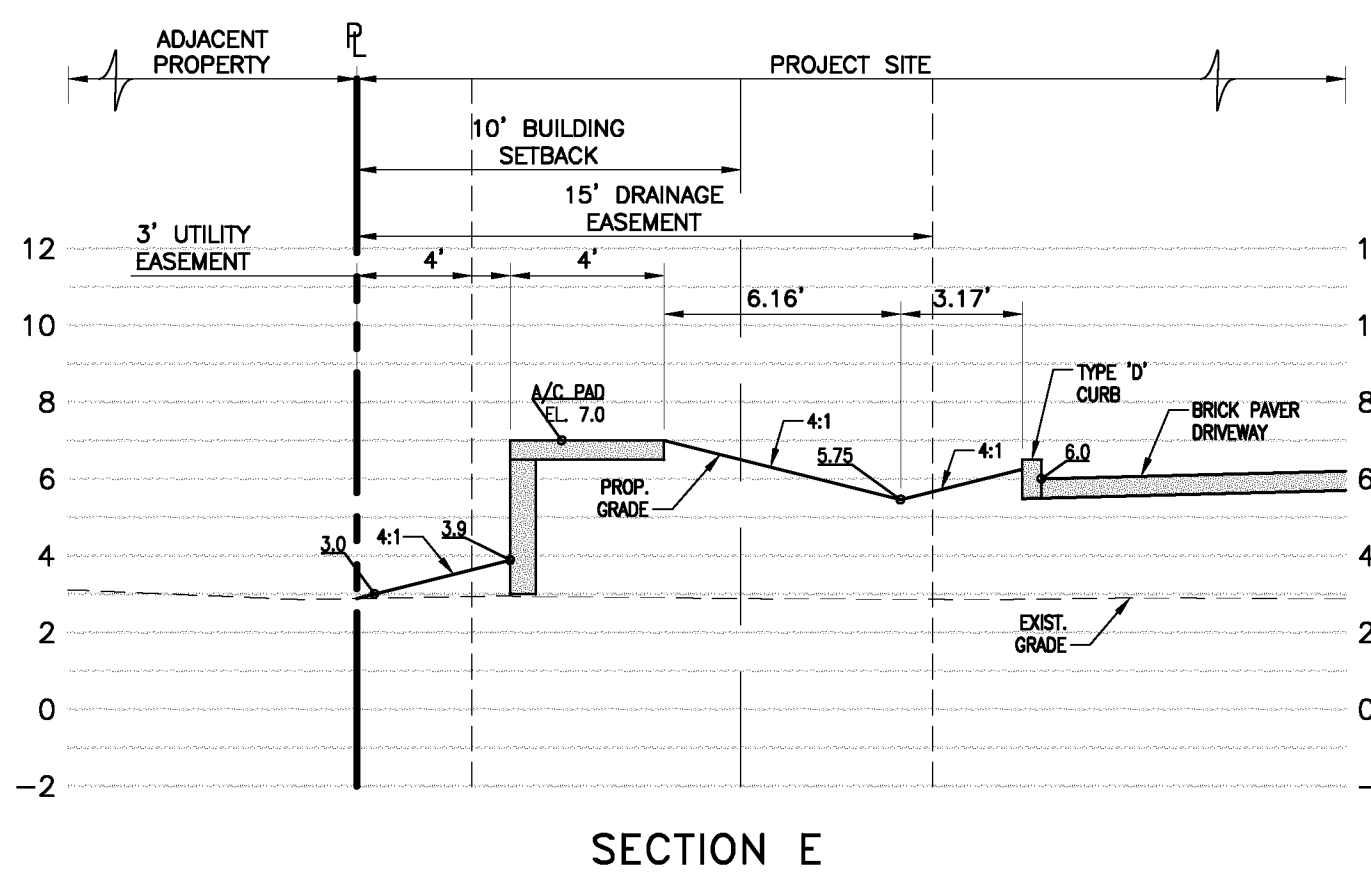
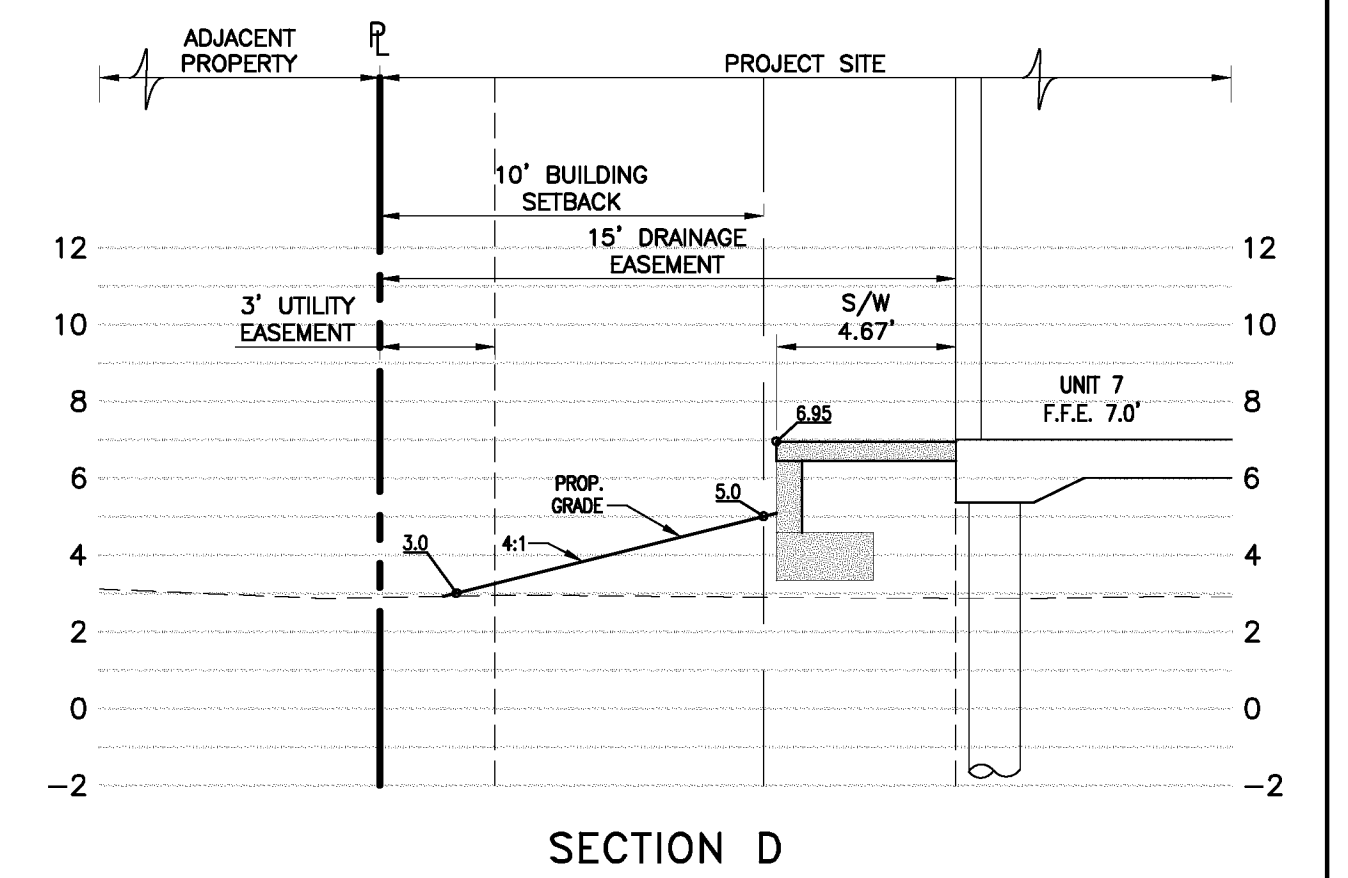
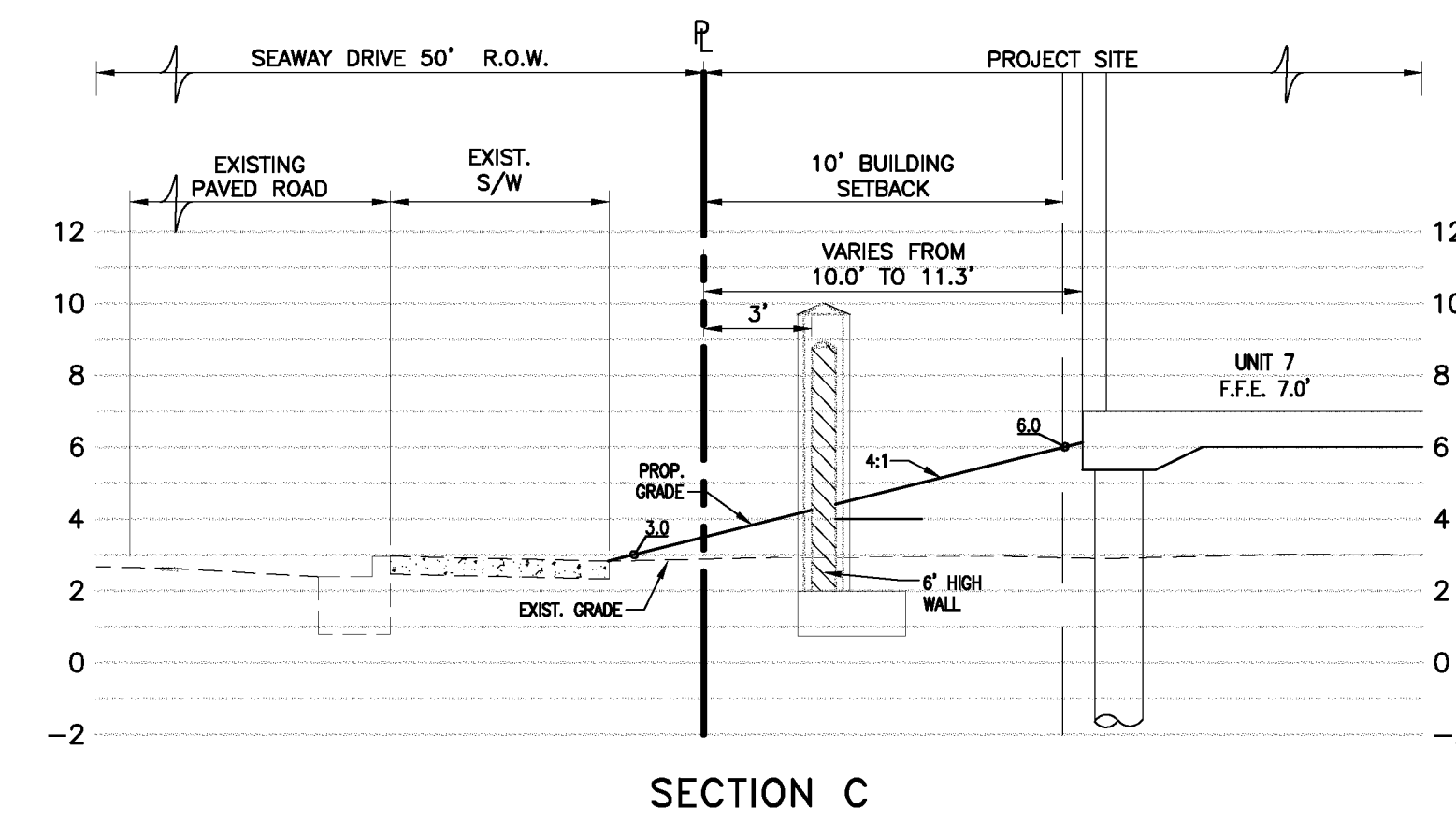
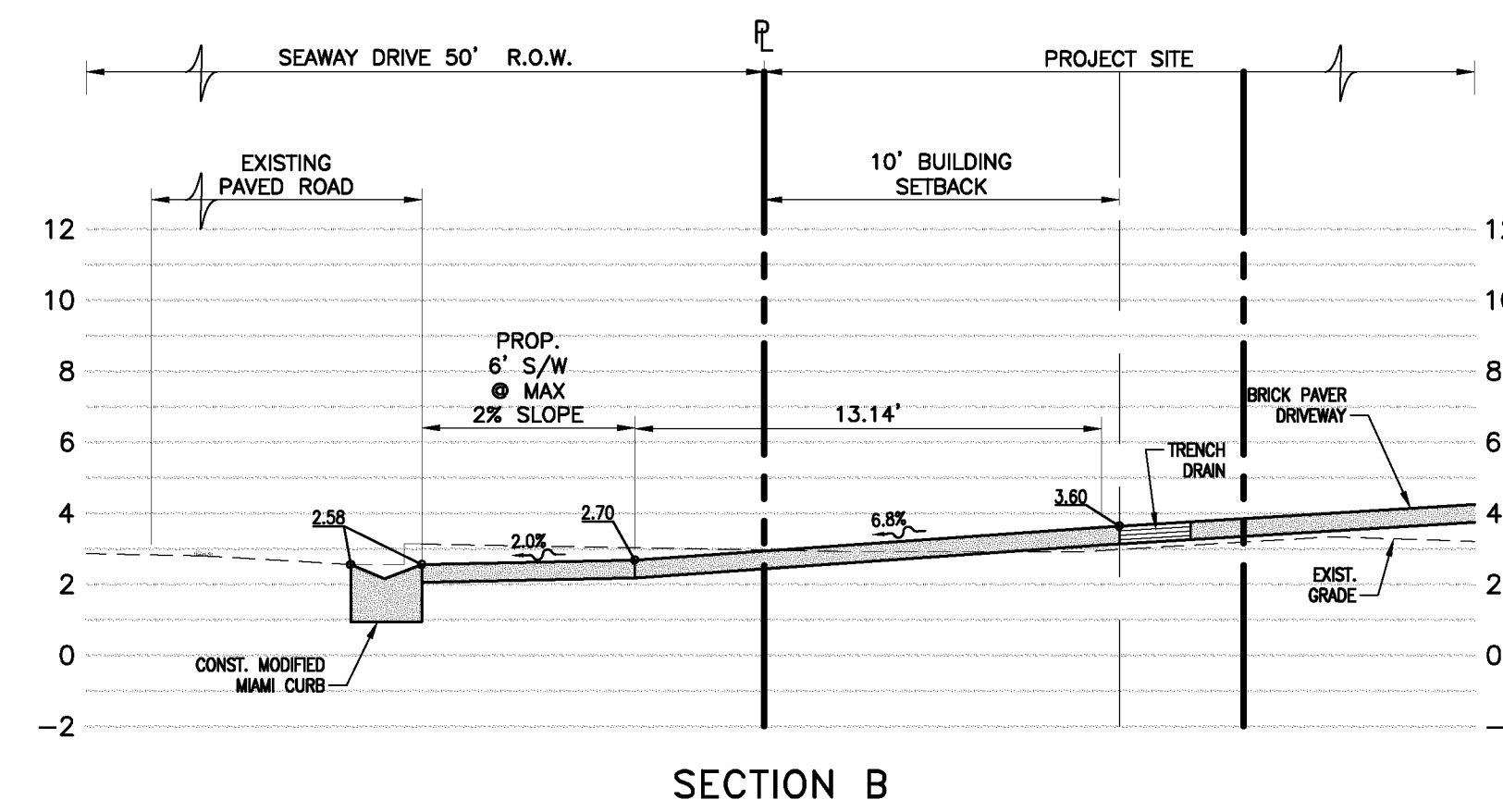
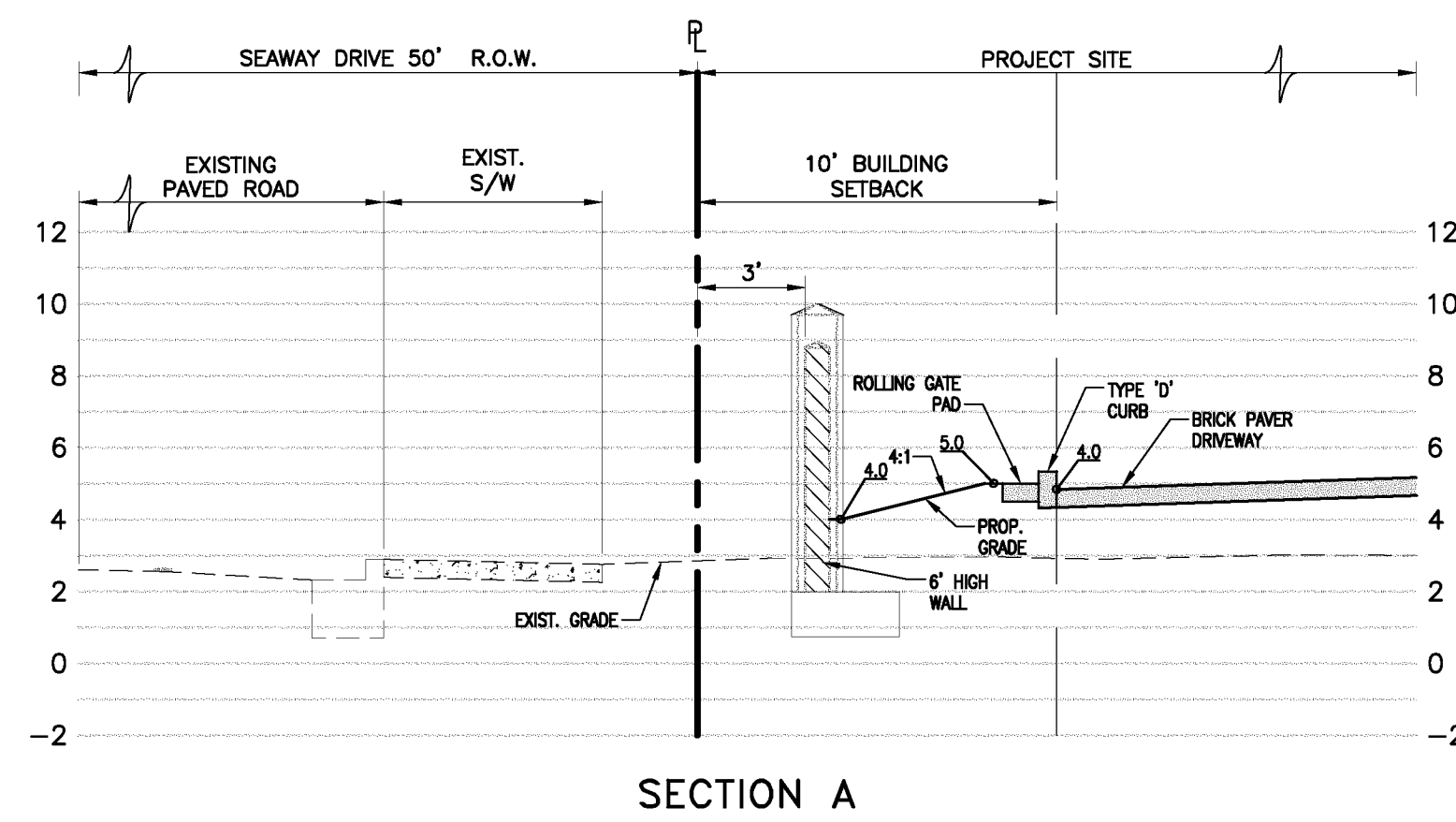
CERTIFICATION OF AUTHORIZATION NO.: 00008668

1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960

TEL 772 / 770-9622 FAX 772 / 770-9496 EMAIL []

LANDSCAPE PLAN

INLET PALMS

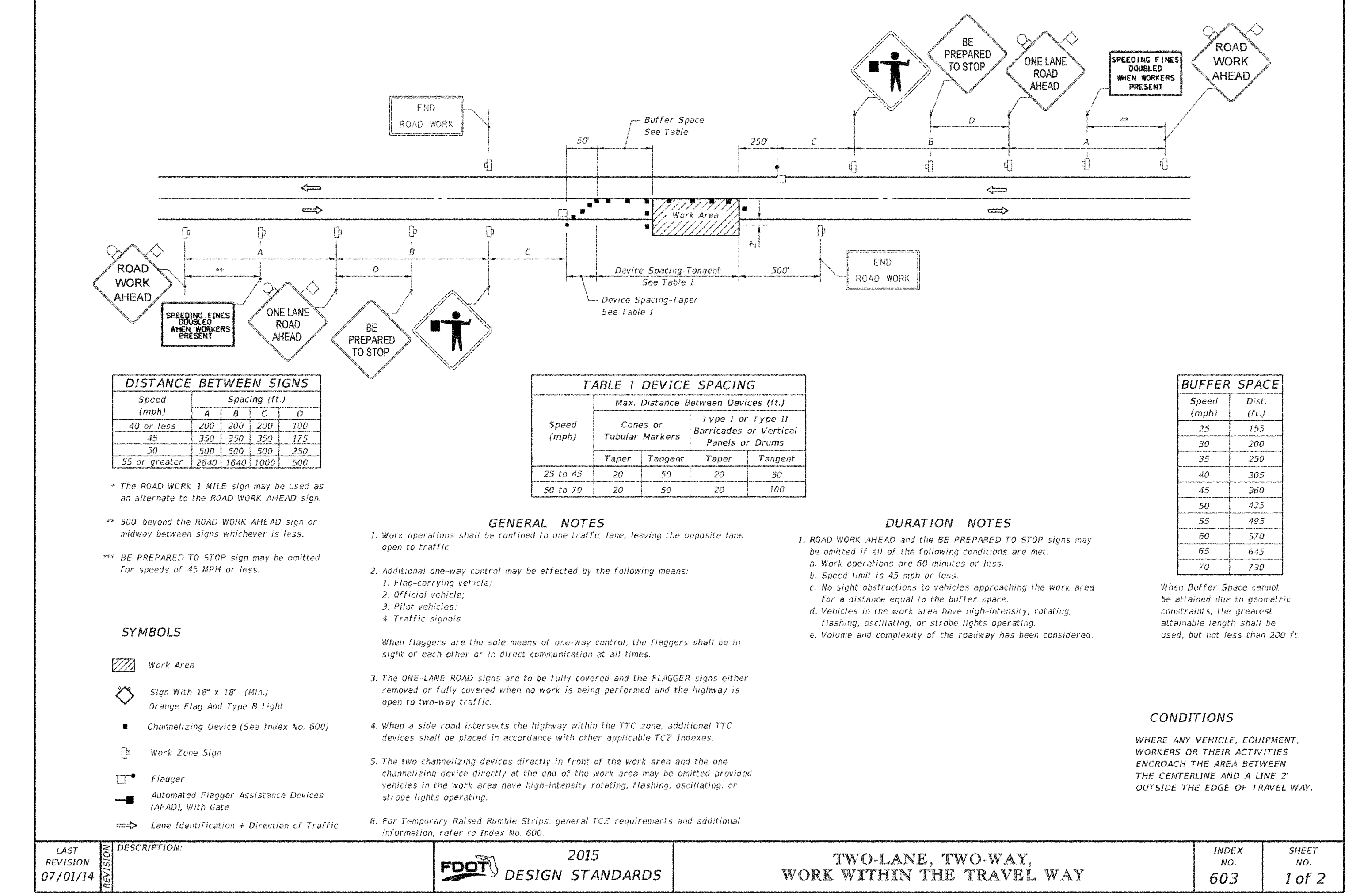
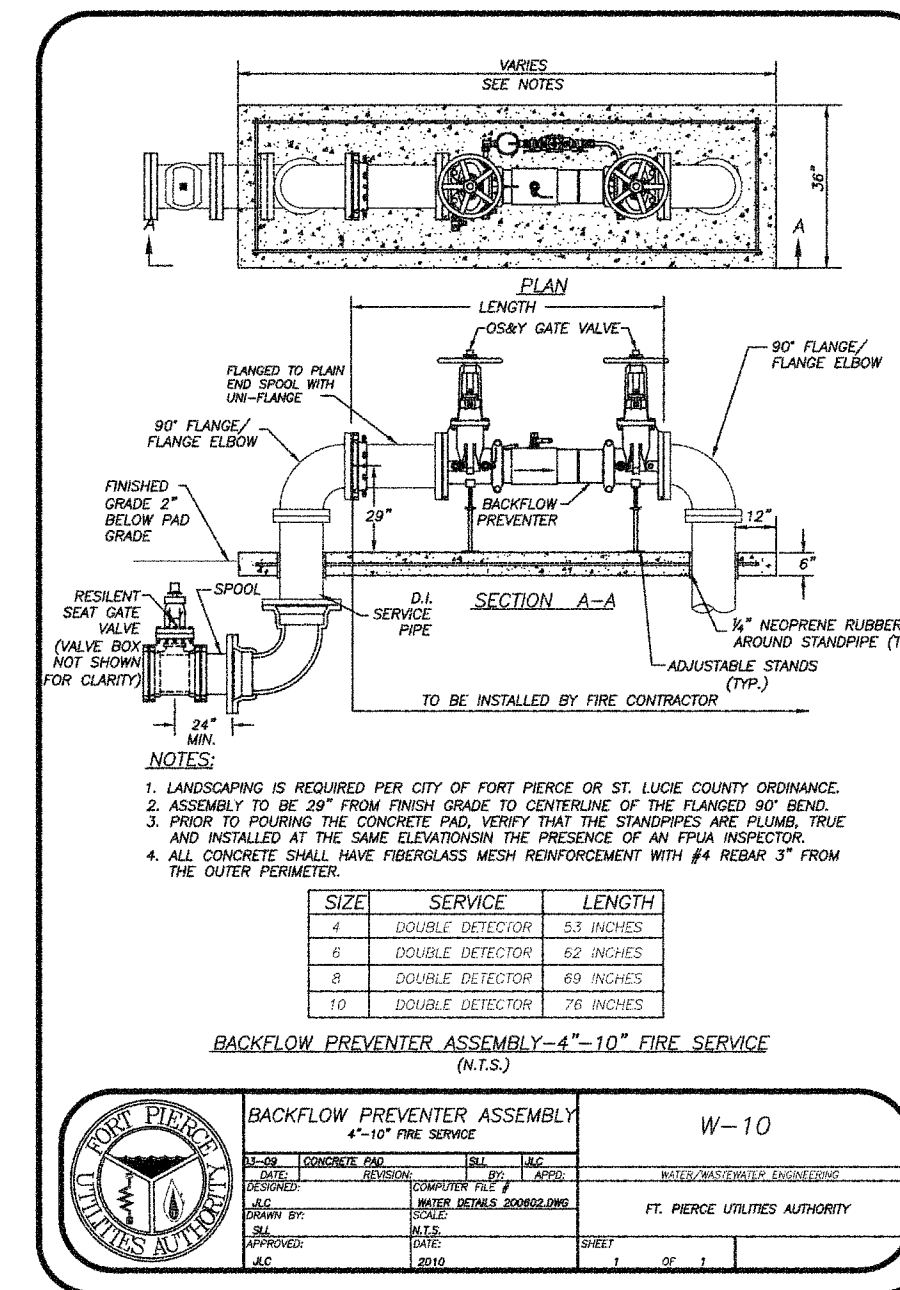
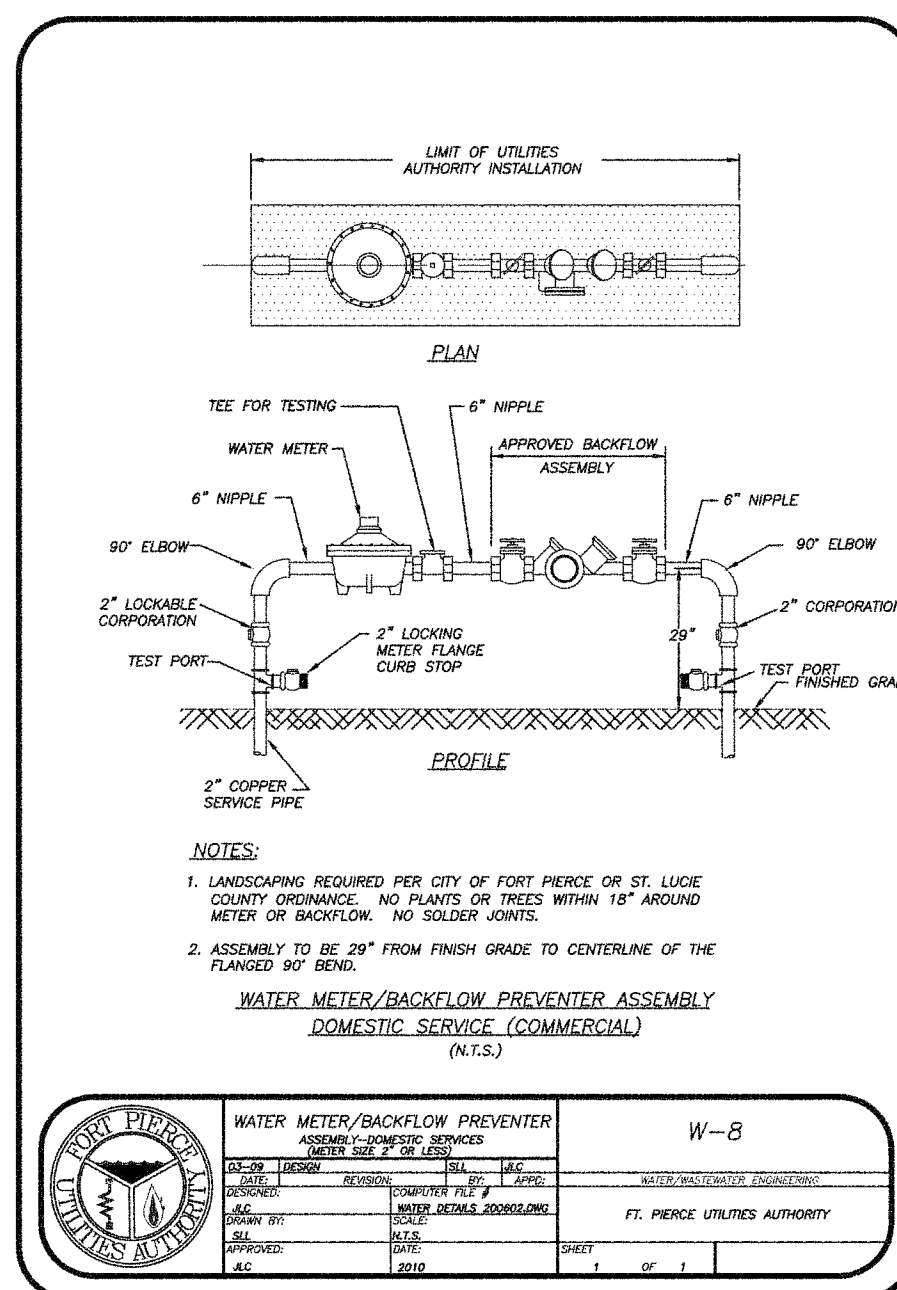
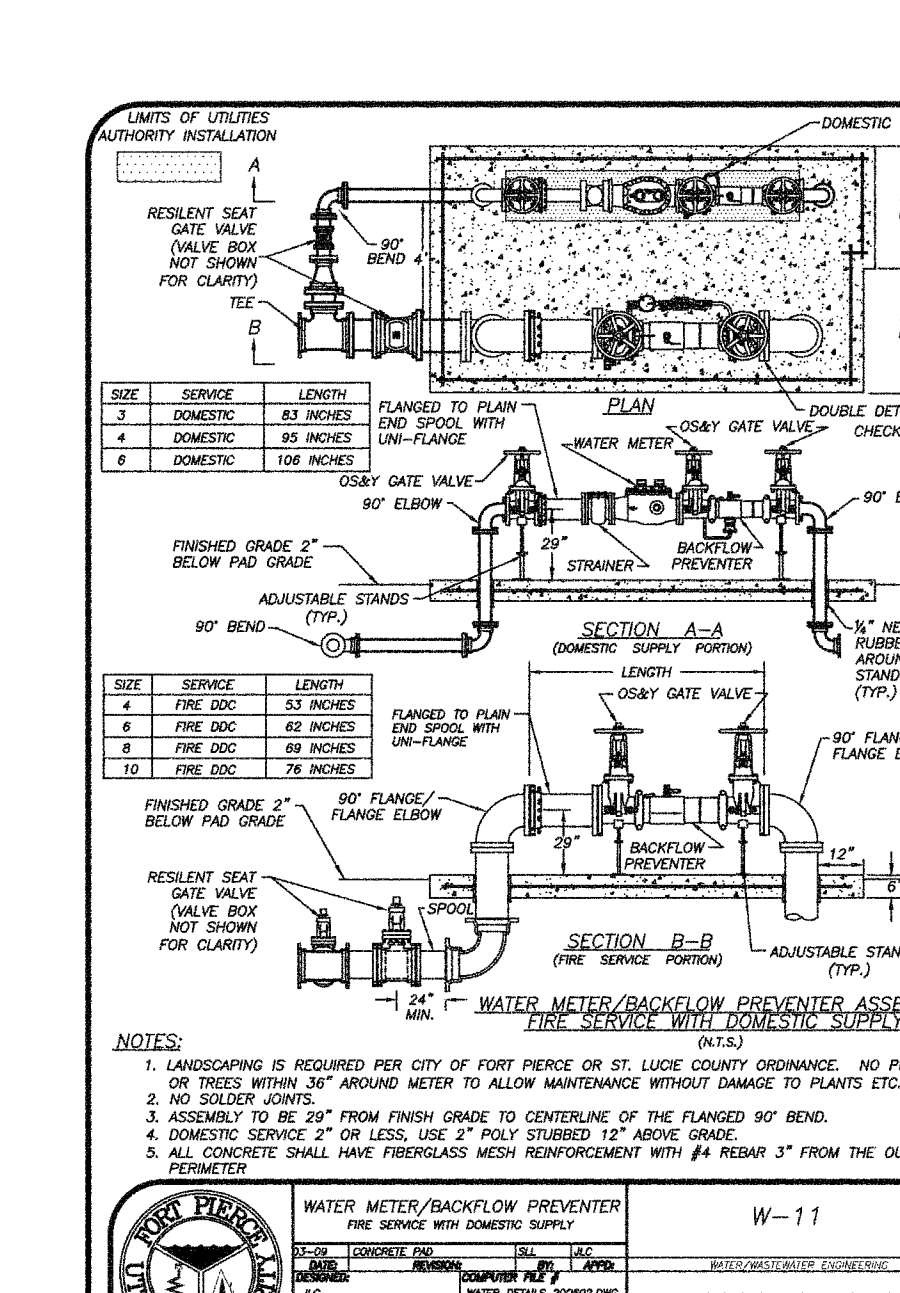
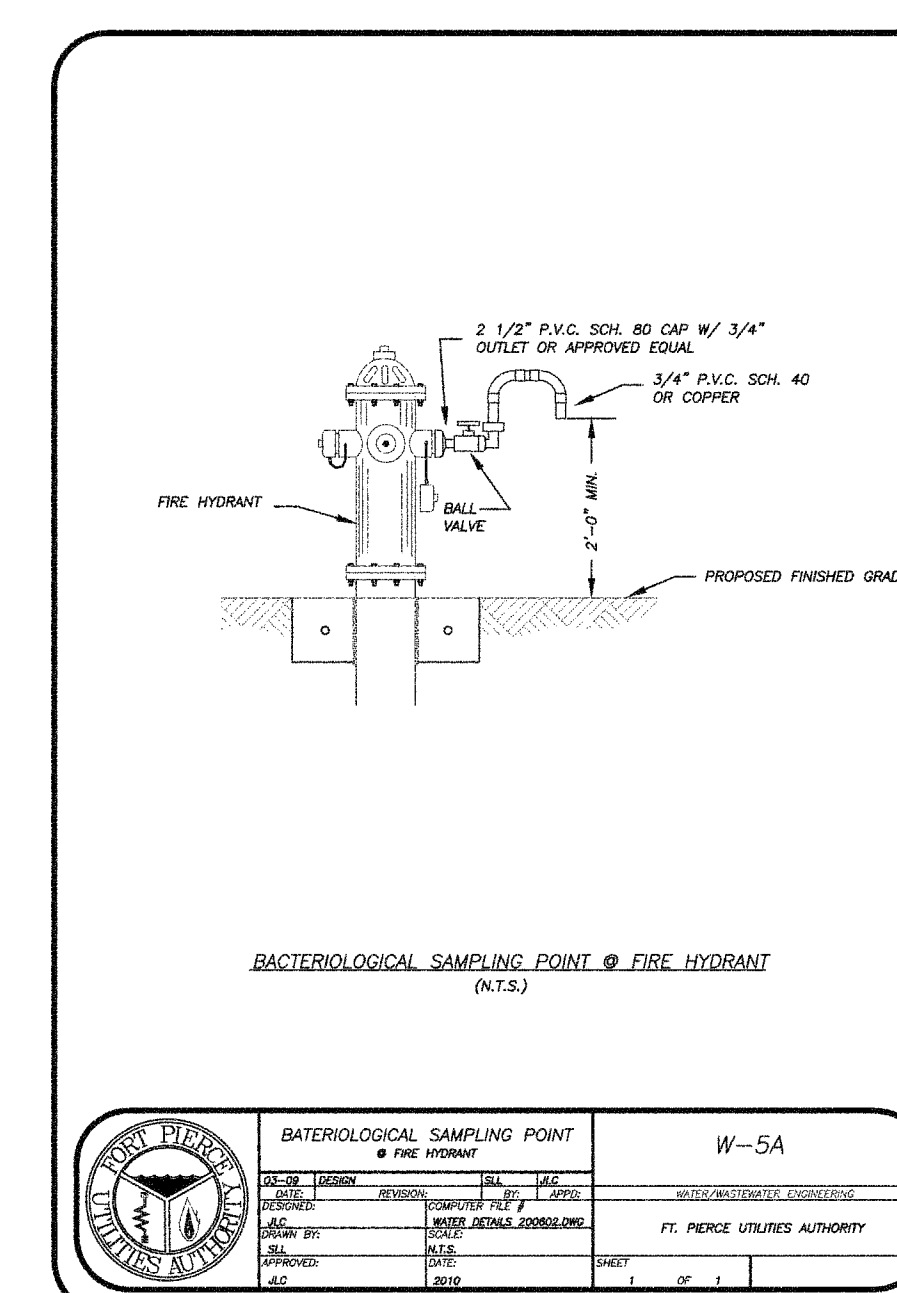
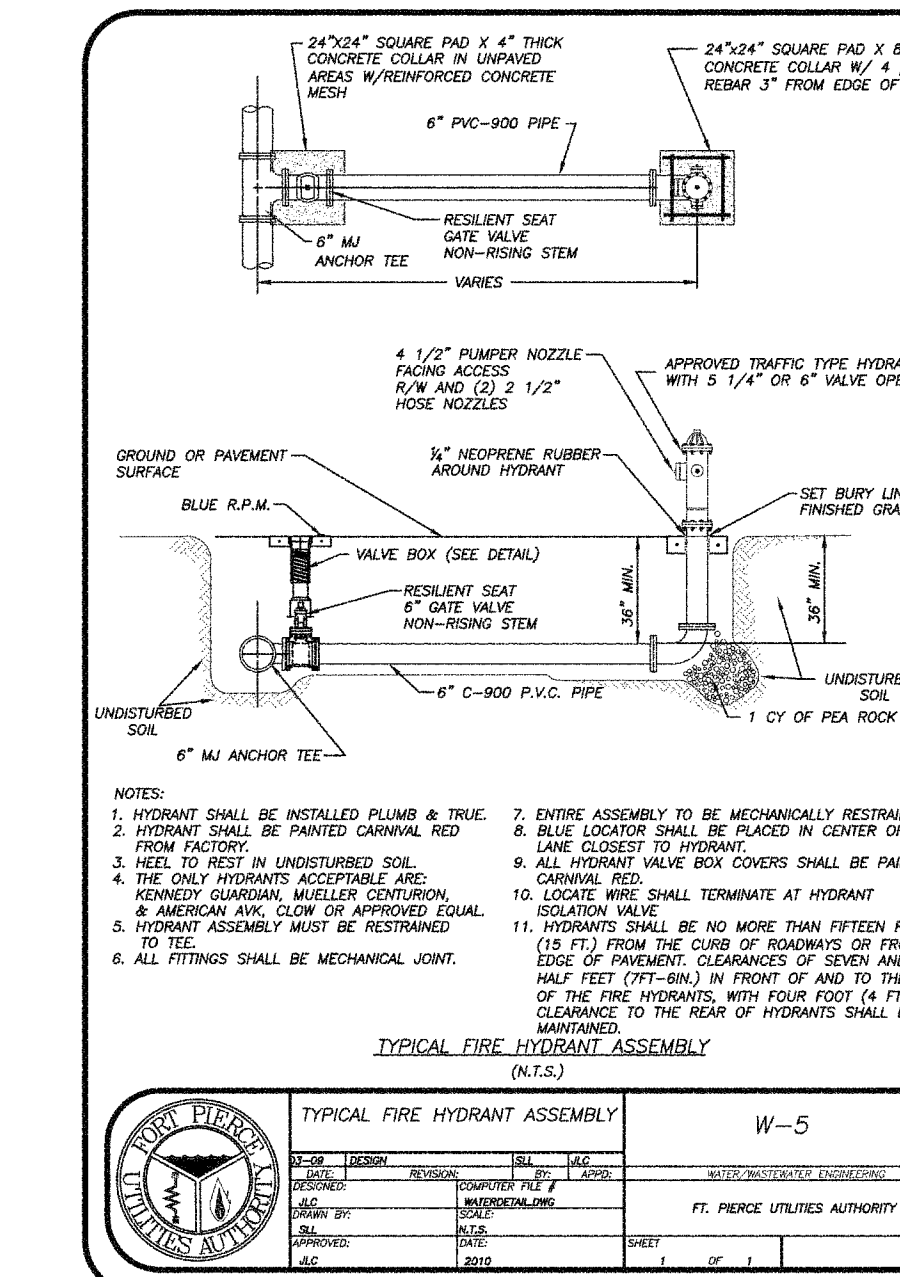
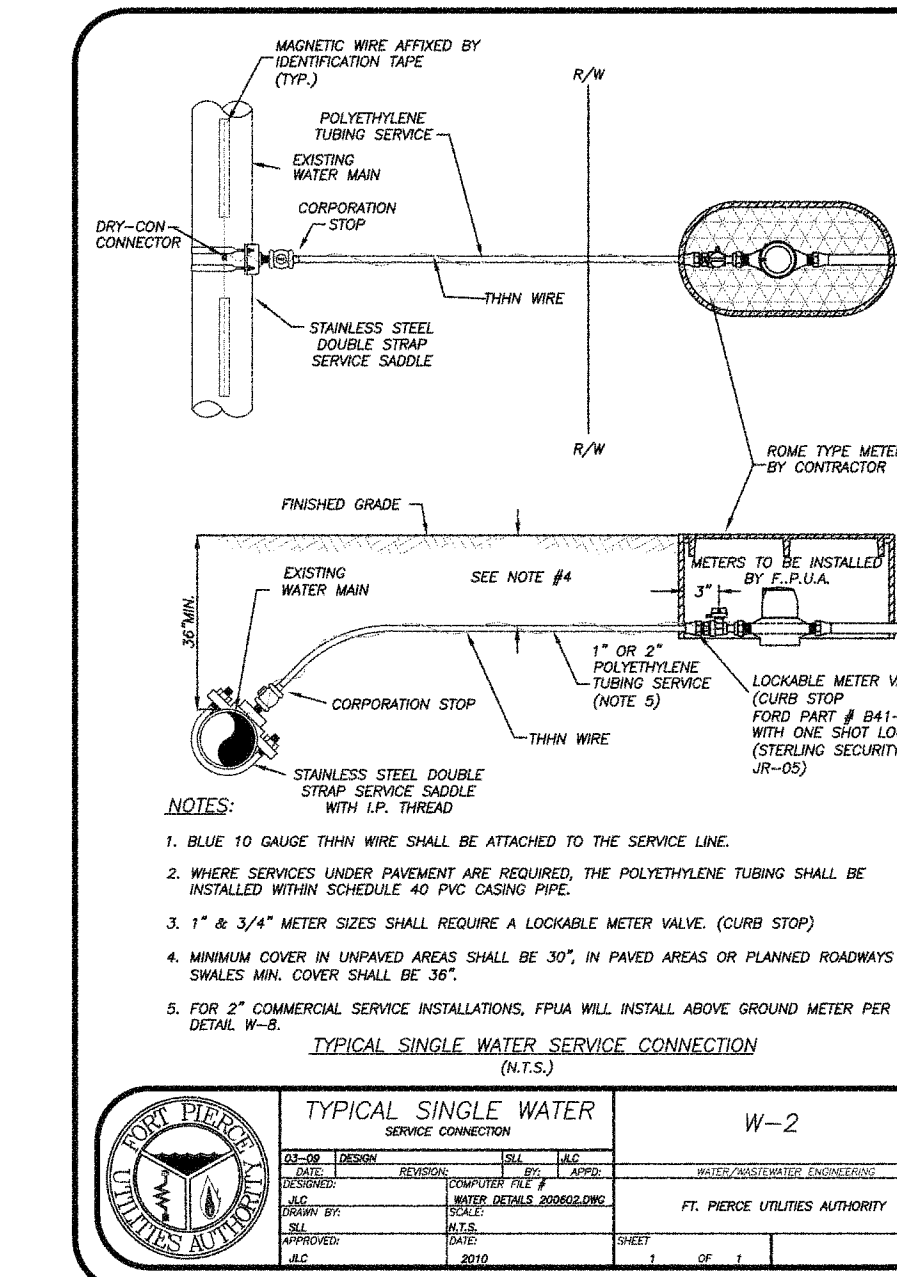
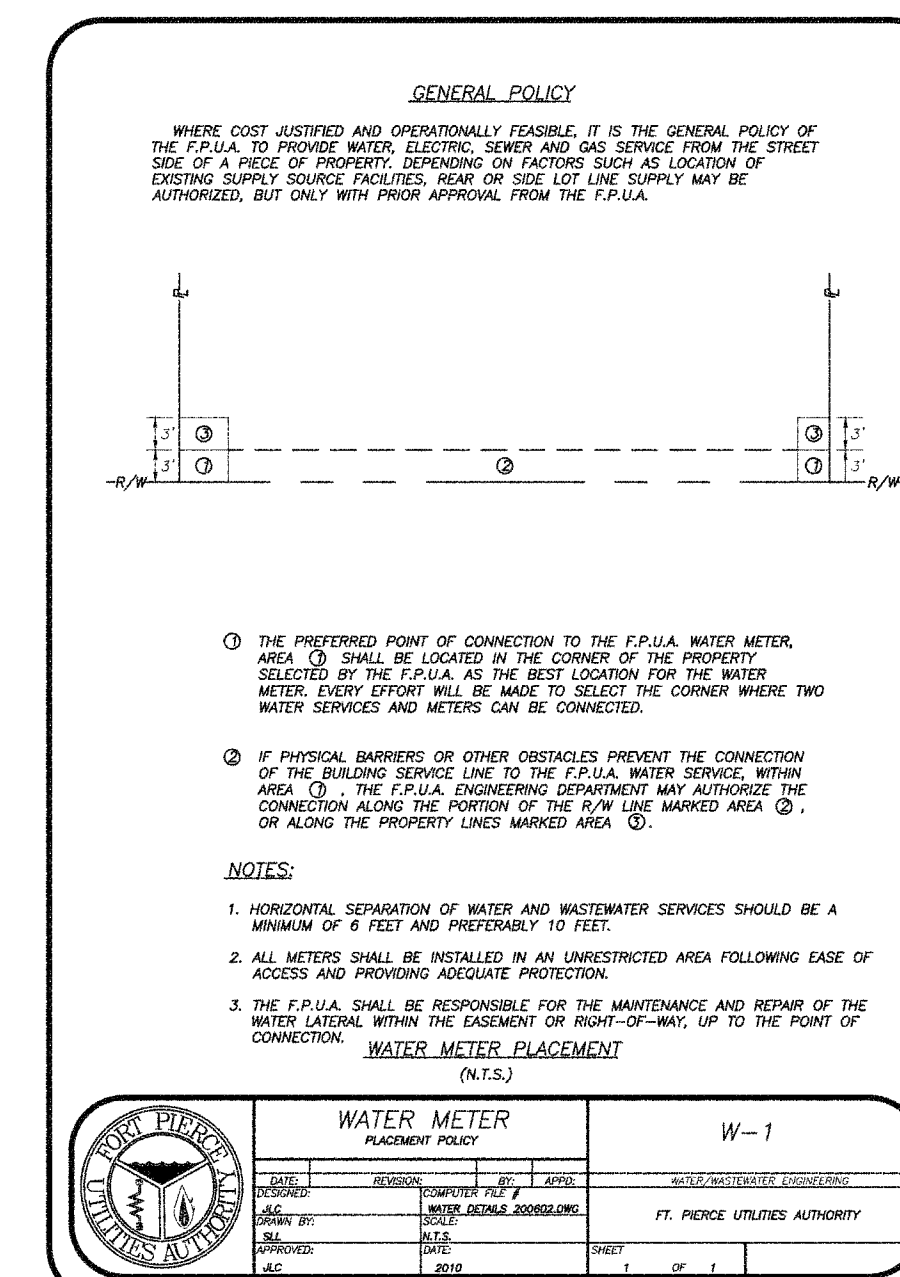
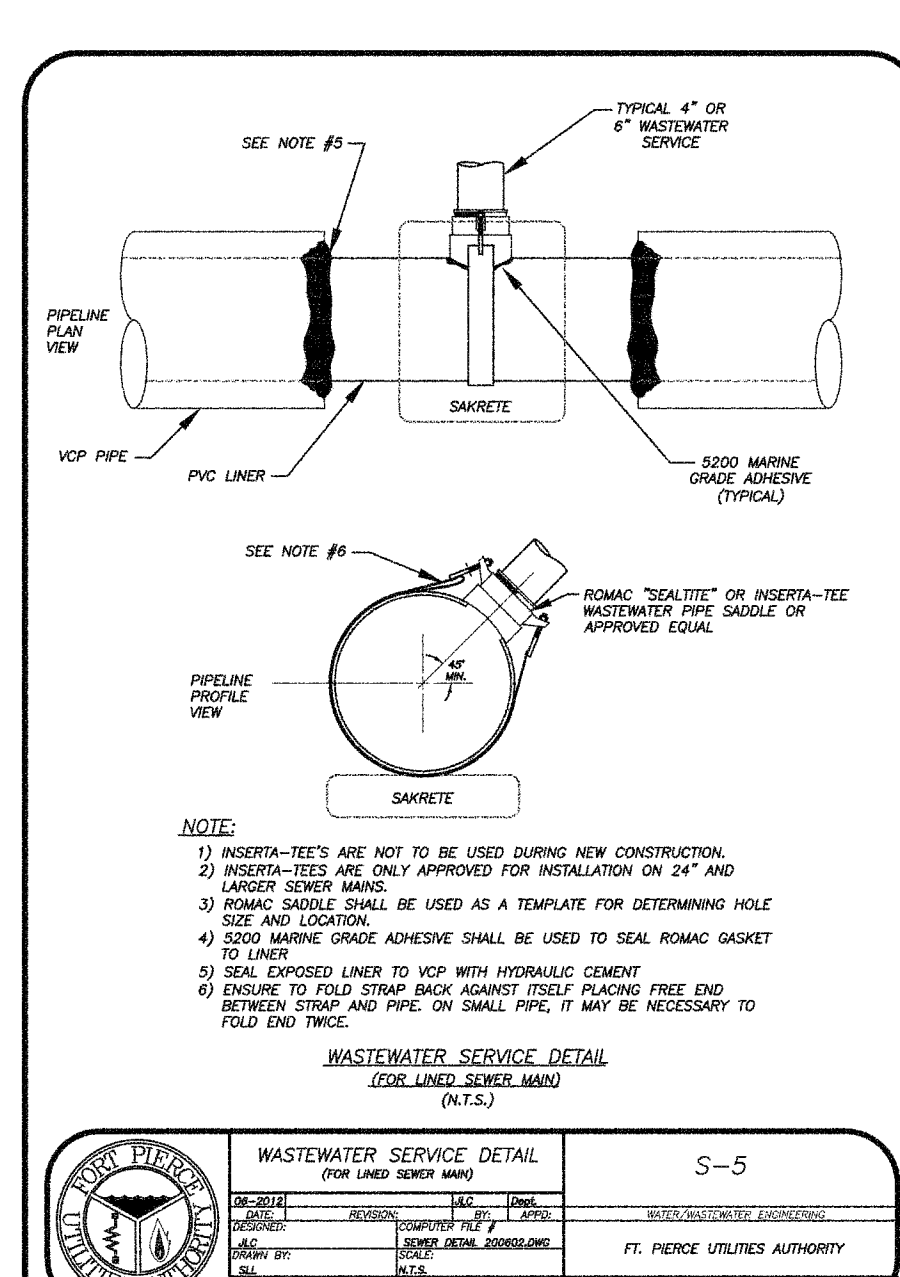
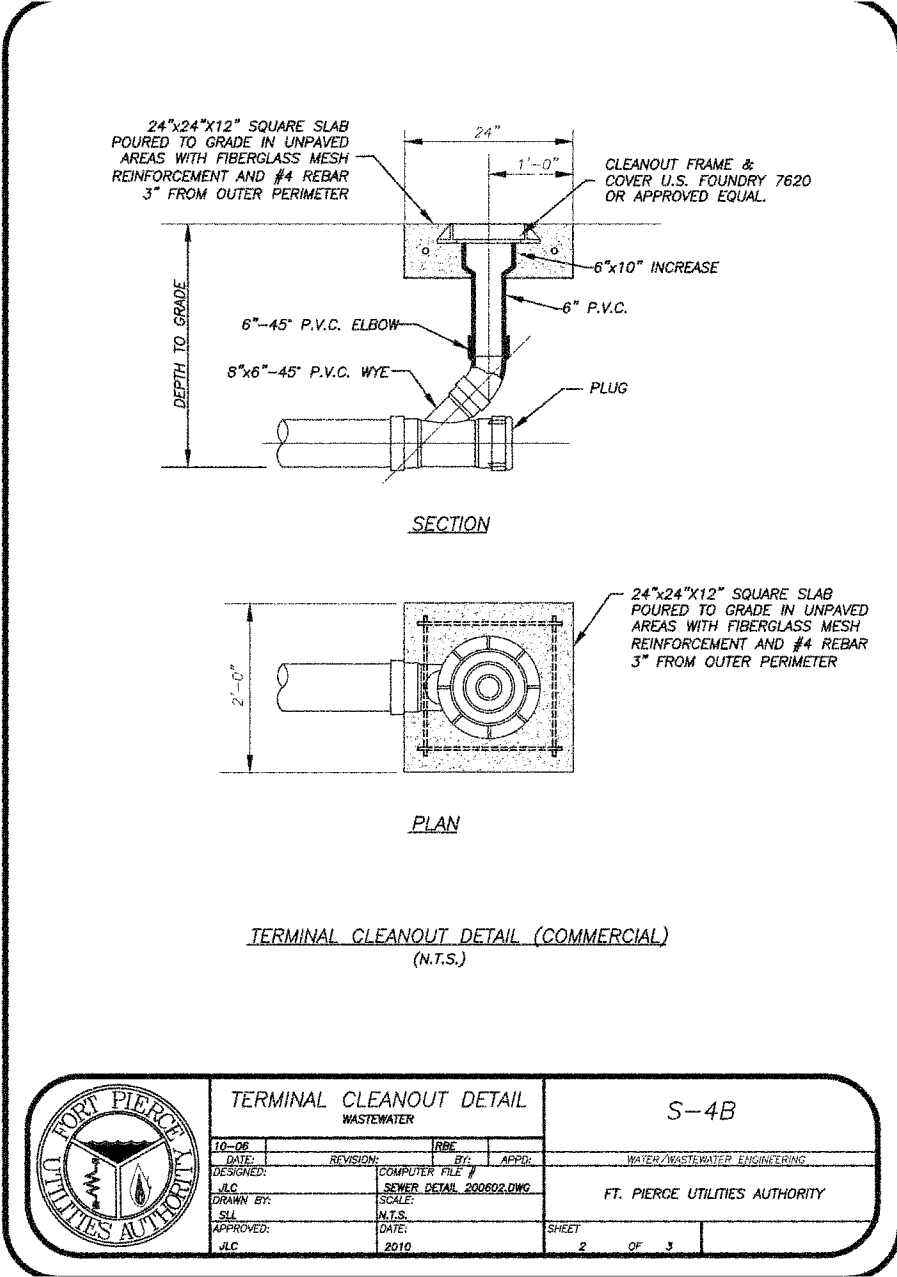


DATE	REVISION
5/25/15	REVISED PER COPF

SCHULKE, BITTLE & STODDARD, L.L.C.
 CIVIL & STRUCTURAL ENGINEERING - LAND PLANNING - ENVIRONMENTAL PERMITTING
 1140 COURT, SUITE F VERO BEACH, FLORIDA 32980
 TEL: 772/770-9622 FAX: 772/770-9496 EMAIL: info@schulkebittle.com

CROSS SECTIONS
 INLET PALMS

ENGINEER CERTIFICATION
<input type="checkbox"/> JOSEPH W. SCHULKE FL. REG. NO. 47046
<input type="checkbox"/> ADAMI B. BITTLE FL. REG. NO. 57396
<input type="checkbox"/> WILLIAM P. STODDARD FL. REG. NO. 57865
DATE: _____
SHEET 10
PROJECT NO. 15-053



SCHULKE, BITTLE & STODDARD, L.L.C.
CIVIL & STRUCTURAL ENGINEERING - LAND PLANNING - ENVIRONMENTAL PERMITTING
1717 INDIAN RIVER BLVD., SUITE 201, VERO BEACH, FLORIDA 32960
TEL: 772.770.9622 EMAIL: [redacted]

MISCELLANEOUS DETAILS & SPECIFICATIONS

INLET PALMS

ENGINEER CERTIFICATION
 JOSEPH W. SCHULKE
 JORAH B. BITTLE
 WILLIAM P. STODDARD
 FL REG. NO. 47048
 FL REG. NO. 57396
 FL REG. NO. 57600

DATE: SHEET 13
PROJECT NO. 15-053



MARK	REVISION	DATE
1	REVISED PER COFP	5/29/15

DRAWING 15-053	DESIGNED J.B.B.	DRAWN J.B.B.	CHECKED J.B.B.	SCALE 1:30	DATE 4/15/15
----------------	-----------------	--------------	----------------	------------	--------------

SCHULKE, BITTLE & STODDARD, L.L.C.
 CIVIL & STRUCTURAL ENGINEERING · LAND PLANNING · ENVIRONMENTAL PERMITTING
 CERTIFICATION OF AUTHORIZATION NO.: 00008668
 1717 INDIAN RIVER BLVD., SUITE 201 VERO BEACH, FLORIDA 32960
 TEL: 772 / 770-9622 FA: 772 / 770-9496 EMAIL: [REDACTED]

AERIAL

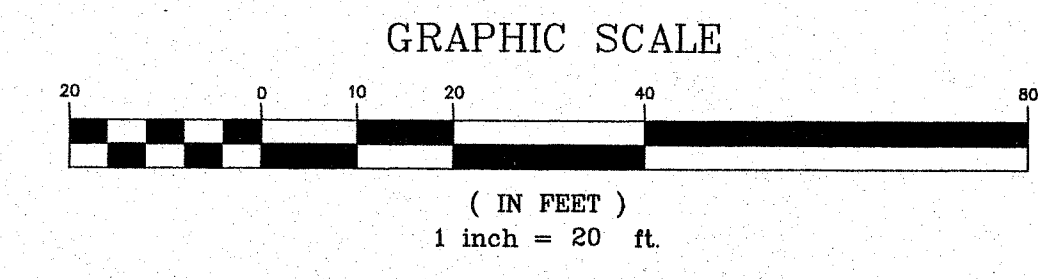
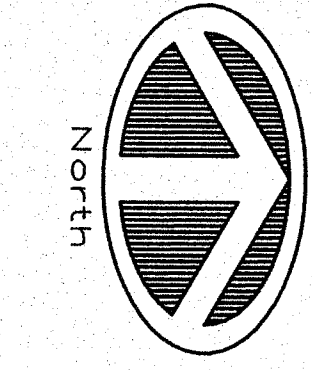
INLET PALMS

ENGINEER CERTIFICATION	
<input type="checkbox"/>	JOSEPH W. SCHULKE FL. REG. NO. 47048
<input type="checkbox"/>	DEAN B. BITTLE FL. REG. NO. 57396
<input type="checkbox"/>	WILLIAM P. STODDARD FL. REG. NO. 57865

DATE: _____
 SHEET: 14
 PROJECT NO: 15-053

Report of Survey:

- * TYPE OF SURVEY: BOUNDARY & TOPOGRAPHIC
- * THIS SURVEY PERFORMED BY:
MERIDIAN LAND SURVEYORS
1717 INDIAN RIVER BLVD. SUITE 101
VERO BEACH, FLORIDA 32968
- * PROFESSIONAL SURVEYOR & MAPPER IN RESPONSIBLE CHARGE:
CHARLES H. BLANCHARD P.S.M. #5755
- * THE EXPECTED USE OF THE LAND, AS CLASSIFIED IN THE FLORIDA STANDARDS OF PRACTICE (6J-17, FAC) IS COMMERCIAL /HIGH RISK. THE MINIMUM RELATIVE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 10,000. THE MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO BE IN EXCESS OF THIS ACCURACY REQUIREMENT.
- * THIS SURVEY MEETS ALL APPLICABLE REQUIREMENTS OF THE FLORIDA STANDARDS OF PRACTICE AS CONTAINED IN 6J-17, FLORIDA ADMINISTRATIVE CODE.
- * ELEVATIONS AND DIMENSIONS SHOWN HEREON ARE MEASURED IN FEET AND DECIMAL PARTS THEREOF.
- * THE LAST DATE OF FIELD WORK WAS: 03/30/15
- * BUILDING SETBACK LINES, IF SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION, BUT ARE NOT CERTIFIED TO. THE SETBACKS MUST BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION.
- * THE BEARING BASE FOR THIS SURVEY IS A GRID BEARING OF S46°30'43"W, ALONG THE NORTH R/W LINE OF SEAWAY DRIVE AND BASED ON FOUND MONUMENTATION.
- * THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR LOCATION OF ANY UNDERGROUND IMPROVEMENTS, UTILITIES, FOUNDATIONS, OR ENCROACHMENTS, EXCEPT AS SHOWN.
- * NO INSTRUMENTS OF RECORD REGARDING EASEMENTS, RIGHT-OF-WAYS, OR OWNERSHIP WERE SUPPLIED TO THIS SURVEYOR, EXCEPT AS SHOWN.
- * NO TITLE OPINION OR GUARANTEE IS EXPRESSED OR IMPLIED.
- * UNLESS A COMPARISON IS SHOWN, PLAT VALUES AND MEASURED VALUES ARE THE SAME.
- * LEGAL DESCRIPTION IS AS PROVIDED BY THE CLIENT.
- * UNLESS OTHERWISE INDICATED, FOUND MONUMENTATION, IS UNIDENTIFIED.
- * THE PARCEL OF LAND SHOWN HEREON APPEARS TO BE IN FLOOD ZONE AE-6, AE-7, C & VE-8 PER FLOOD INSURANCE RATE MAP #12111C0183 J, DATED FEBRUARY 16TH, 2012.
- * THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988. THE BENCHMARK IS CGS MONUMENT G 231 1965, ELEVATION 4.47' NAVD. SECONDARY BENCHMARK IS AS SHOWN HEREON.



CURVE	DELTA ANGLE	RADIUS	ARC
C 1	03°33'13"	1350.48'	83.76'

Legend & Abbreviations: (symbols not scaleable for size)

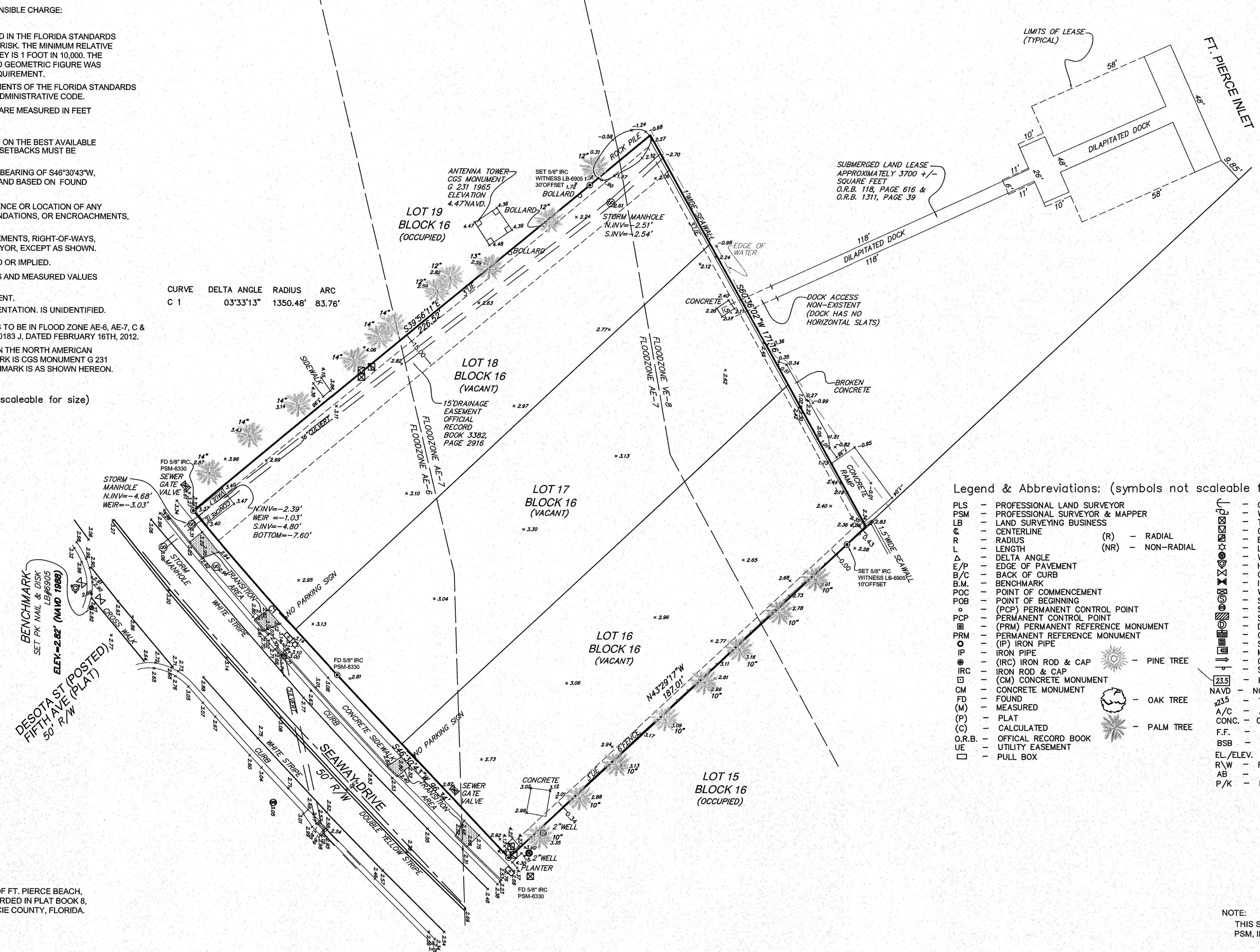
- PLS - PROFESSIONAL LAND SURVEYOR
- PSM - PROFESSIONAL SURVEYOR & MAPPER
- LB - LAND SURVEYING BUSINESS
- C - CENTERLINE
- R - RADIUS
- L - LENGTH
- E/P - DELTA ANGLE
- B/C - EDGE OF PAVEMENT
- B/C - BACK OF CURB
- B.M. - BENCHMARK
- POC - POINT OF COMMENCEMENT
- POB - POINT OF BEGINNING
- PCP - (PCP) PERMANENT CONTROL POINT
- PCP - PERMANENT CONTROL POINT
- PRM - (PRM) PERMANENT REFERENCE MONUMENT
- PRM - PERMANENT REFERENCE MONUMENT
- IP - (IP) IRON PIPE
- IP - IRON PIPE
- IRC - (IRC) IRON ROD & CAP
- IRC - IRON ROD & CAP
- CM - (CM) CONCRETE MONUMENT
- CM - CONCRETE MONUMENT
- FD - FOUND
- FD - MEASURED
- (M) - PLAT
- (C) - CALCULATED
- GUY WIRE
- WOOD UTILITY POLE
- TELEPHONE SERVICE
- CABLE T.V. BOX
- ELECTRIC BOX
- LIGHT POST
- WELL
- HYDRANT
- GATE VALVE
- IRRIGATION VALVE
- WATER METER
- SANITARY MANHOLE
- SANITARY SERVICE
- SEPTIC TANK
- DRAINAGE MANHOLE
- CURB INLET
- SURFACE INLET
- MITERED END SECTION
- CONCEPTUAL DRAINAGE
- STREET SIGN
- PROPOSED GRADE
- NAVD - NORTH AMERICAN VERTICAL DATUM
- TYPICAL ELEVATION
- A/C - AIR CONDITIONER
- CONC. - CONCRETE
- F.F. - FINISH FLOOR
- BSB - BUILDING SETBACK LINE
- EL./ELEV. - ELEVATION
- R/W - RIGHT OF WAY
- AB - AS-BUILT
- P/K - PARKER-KALON

Legend & Abbreviations: (symbols not scaleable for size)

- PLS - PROFESSIONAL LAND SURVEYOR
- PSM - PROFESSIONAL SURVEYOR & MAPPER
- LB - LAND SURVEYING BUSINESS
- C - CENTERLINE
- R - RADIUS (R) - RADIAL (NR) - NON-RADIAL
- L - LENGTH
- E/P - DELTA ANGLE
- B/C - EDGE OF PAVEMENT
- B/C - BACK OF CURB
- B.M. - BENCHMARK
- POC - POINT OF COMMENCEMENT
- POB - POINT OF BEGINNING
- PCP - (PCP) PERMANENT CONTROL POINT
- PCP - PERMANENT CONTROL POINT
- PRM - (PRM) PERMANENT REFERENCE MONUMENT
- PRM - PERMANENT REFERENCE MONUMENT
- IP - (IP) IRON PIPE
- IP - IRON PIPE
- IRC - (IRC) IRON ROD & CAP
- IRC - IRON ROD & CAP
- CM - (CM) CONCRETE MONUMENT
- CM - CONCRETE MONUMENT
- FD - FOUND
- FD - MEASURED
- (M) - PLAT
- (C) - CALCULATED
- O.R.B. - OFFICAL RECORD BOOK
- UE - UTILITY EASEMENT
- PULL BOX
- GUY WIRE
- WOOD UTILITY POLE
- TELEPHONE SERVICE
- CABLE T.V. BOX
- ELECTRIC BOX
- LIGHT POST
- WELL
- HYDRANT
- GATE VALVE
- IRRIGATION VALVE
- WATER METER
- SANITARY MANHOLE
- SANITARY SERVICE
- SEPTIC TANK
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- CURB INLET
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- NAVD - NORTH AMERICAN VERTICAL DATUM
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- F.F. - FINISH FLOOR
- BSB - BUILDING SETBACK LINE
- EL./ELEV. - ELEVATION
- R/W - RIGHT OF WAY
- AB - AS-BUILT
- P/K - PARKER-KALON

LEGAL DESCRIPTION:
LOTS 16, 17 AND 18, BLOCK 16, REVISED MAP OF FT. PIERCE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 29, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

NOTE:
THIS SURVEY IS BASED ON A MAP OF SURVEY BY ALEXANDER J. PIAZZA PSM, INC. LB #7280, DATED 09-21-05, PROJECT NUMBER 05-0543.



MERIDIAN
LAND SURVEYORS
1717 INDIAN RIVER BLVD, SUITE 201
VERO BEACH, FL. 32960 LB#6905
PHONE: 772-794-1213, FAX: 772-794-1096
E-MAIL: LB6905@BELLSOUTH.NET

TYPE: BOUNDARY & TOPOGRAPHIC	REVISIONS		
PROJECT# 15-024			
DATE: 3/23/15 F.B.214 PGE.27			
DRAWN BY: C.H.B.	2. 5-29-15 REVISE TYPO'S CHB		
CHECKED BY: S.P.T.	1. 4-21-15 ADD DRAINAGE EASEMENT CHB		
SCALE: 1:20 SHEET: 1 OF 1			
NO.	DATE	DESCRIPTION	BY

PLAT OF SURVEY FOR:
FOGLIA CONSTRUCTION

THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER NAMED BELOW.

Charles H. Blanchard
CHARLES H. BLANCHARD P.S.M. #5755

WATERFRONT TOWN HOMES
INLET PALMS

1502 SEAWAY DRIVE
FORT PIERCE, FLORIDA

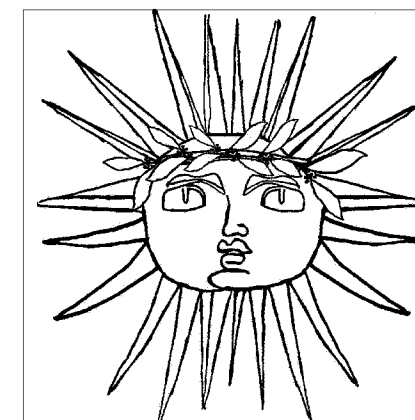
SPA - 04/30/2015
SPA COMMENTS - 05/28/2015



ARCHITECT:

Atelier d'Architecture

By Jeff L. Ray, Inc.
912 22nd Place
Vero Beach, Florida 32960



(772) 770-9094 ph/fax
(772) 766-1611 cell

Reg. No.: AA26002550 Lic. No.: AR94833	Dwn: J.L.R. Chd: J.L.R. Sheet No:	Dwg. File: Project No.: 1507
Date Signed:	A0.10	
<small>Copyright © 2015, Atelier d'Architecture By Jeff L. Ray, Inc.</small>		

Project:

WATERFRONT TOWN HOMES:
**INLET
PALMS**
FORT PIERCE, FLORIDA

Key Plan:

Issues:

No.	Date	Description
1.	04/30/2015	SPA
2.	05/28/2015	SPA COMMENTS



SOUTH ELEVATION BUILDINGS - 1 & 2

SCALE: 1/8" = 1'-0"

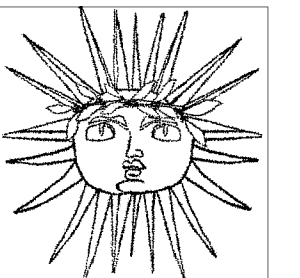


NORTH ELEVATION BUILDINGS - 1 & 2

SCALE: 1/8" = 1'-0"

ARCHITECT:

Atelier d'Architecture
By Jeff L. Ray, Inc.
912 22nd Place
Vero Beach, Florida 32960



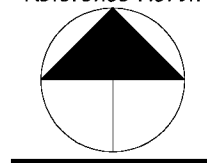
(772) 770-9094 ph/fax
(772) 766-1611 cell

SEAL:

Drawing Title:

ELEVATIONS

Reference North



Dwn:	Dwg. File:
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Chd:	Project No.:
.	.
Sheet No.:	.

Reg. No.: AA26002550
Lic. No.: AR94683

A3.10

Date Signed:

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Project:

WATERFRONT TOWN HOMES:
INLET
PALMS
FORT PIERCE, FLORIDA

Key Plan:

Issues:

No.:	Date:	Description:
1.	04/30/2015	SPA
2.	05/28/2015	SPA COMMENTS



WEST ELEVATION BUILDING - 1

SCALE: 1/8" = 1'-0"

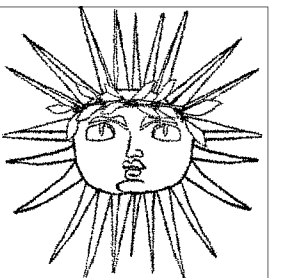


EAST ELEVATION BUILDING - 1

SCALE: 1/8" = 1'-0"

ARCHITECT:

Atelier d'Architecture
By Jeff L. Ray, Inc.
912 22nd Place
Vero Beach, Florida 32960



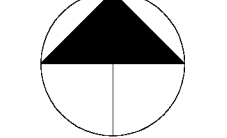
(772) 770-9094 ph/fax
(772) 766-1611 cell

SEAL:

Drawing Title:

ELEVATIONS

Reference North



Dwn:	Dwg. File:
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Chd:	Project No.:
.	.
Sheet No.:	.

Reg. No.: AA26002550
Lic. No.: AR94623

Date Signed:

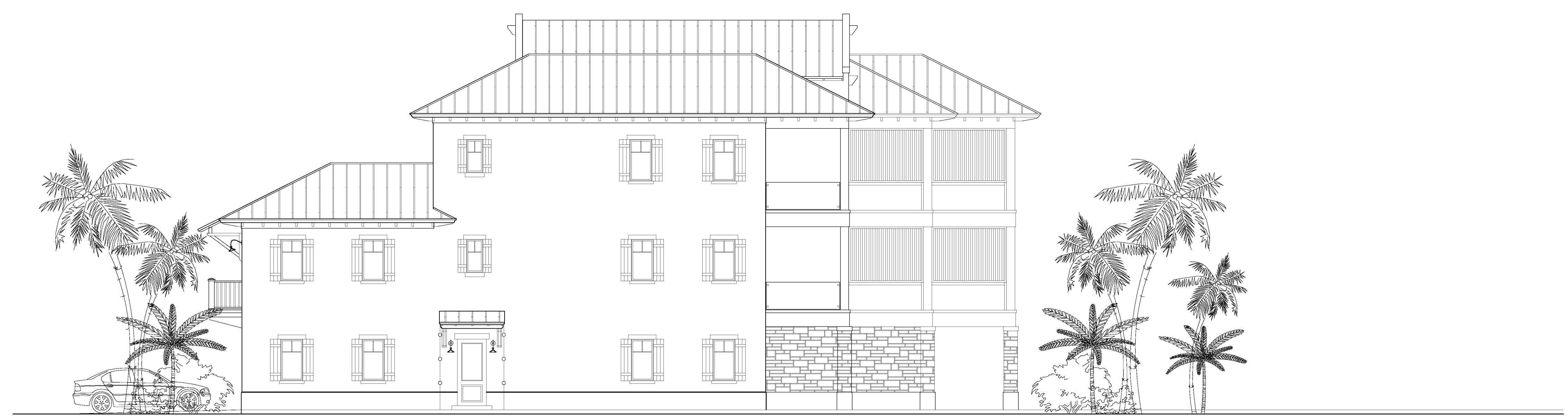
A3.11

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WEST ELEVATION BUILDING - 2

SCALE: 1/8" = 1'-0"



EAST ELEVATION BUILDING - 2

SCALE: 1/8" = 1'-0"

Project:

WATERFRONT TOWN HOMES:
**INLET
 PALMS**
 FORT PIERCE, FLORIDA

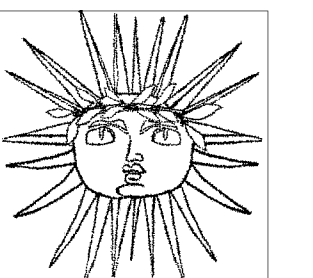
Key Plan:

Issues:

No.:	Date:	Description:
1.	04/30/2015	SPA
2.	05/28/2015	SPA COMMENTS

ARCHITECT:

Atelier d'Architecture
 By Jeff L. Ray, Inc.
 912 22nd Place
 Vero Beach, Florida 32960



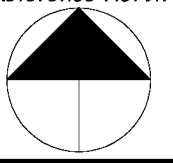
(772) 770-9094 ph/fax
 (772) 766-1611 cell

SEAL:

Drawing Title:

ELEVATIONS

Reference North



Dwn: J.L.R.
 Chd: Project No.:
 Sheet No.:

Reg. No.: AA26002550
 Lic. No.: AR94683

A3.12

Date Signed:

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INLET PALMS PLANNED DEVELOPMENT

CERTIFICATE OF DEDICATION

STATE OF FLORIDA
CITY OF FORT PIERCE
COUNTY OF ST. LUCIE

KNOW ALL MEN BY THESE PRESENTS, THAT FOGLIA CONTRACTING CORPORATION, A FLORIDA CORPORATION, FEE SIMPLE OWNER OF THE LAND DESCRIBED AND PLATTED HEREIN, AS INLET PALMS PLANNED DEVELOPMENT, BEING IN CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA, HAS CAUSED SAID LANDS TO BE SURVEYED AND PLATTED AS SHOWN HEREON AND DOES HEREBY DEDICATE AS FOLLOWS:

1) ACCESS, UTILITY AND DRAINAGE EASEMENT
THE ACCESS, UTILITY AND DRAINAGE EASEMENT AS SHOWN ON THIS PLAT IS DEDICATED IN PERPETUITY TO THE INLET PALMS OWNERS ASSOCIATION, INC., A FLORIDA NOT FOR PROFIT CORPORATION FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES BY ANY UTILITY PROVIDER, INCLUDING CABLE TELEVISION SERVICES, IN COMPLIANCE WITH SUCH ORDINANCES AND REGULATIONS AS MAY BE ADOPTED FROM TIME TO TIME BY THE CITY OF FORT PIERCE CITY COMMISSIONERS. FRONT YARD UTILITY EASEMENTS ARE SUBJECT TO THE RIGHT OF EACH LOT TO HAVE A DRIVEWAY FOR INGRESS AND EGRESS AS APPROVED BY THE CITY.

2) 10' X 10' UTILITY EASEMENT
THE 10 FOOT BY 10 FOOT UTILITY EASEMENT IS DEDICATED TO FORT PIERCE UTILITIES AUTHORITY FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF ELECTRIC UTILITIES.

3) TRACT "A"
TRACT "A" AS SHOWN ON THIS PLAT IS HEREBY DEDICATED IN PERPETUITY TO THE INLET PALMS OWNERS ASSOCIATION, INC., A FLORIDA NOT FOR PROFIT CORPORATION, FOR ACCESS BY THE LOT OWNERS OF INLET PALMS PLANNED DEVELOPMENT AND OR ALL UTILITY PROVIDERS FOR CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF THE INLET PALMS OWNERS ASSOCIATION, INC., A FLORIDA NOT FOR PROFIT CORPORATION.

4) TRACT "B"
TRACT "B" AS SHOWN ON THIS PLAT IS HEREBY DEDICATED IN PERPETUITY TO THE INLET PALMS OWNERS ASSOCIATION, INC., A FLORIDA NOT FOR PROFIT CORPORATION, FOR PRIVATE ACCESS FOR THE LOT OWNERS OF INLET PALMS PLANNED DEVELOPMENT FOR USES RELATED TO RIVER ACCESS, AS DETERMINED BY THE INLET PALMS OWNERS ASSOCIATION, INC. AND SHALL BE THE PERPETUAL MAINTENANCE OBLIGATION OF THE INLET PALMS OWNERS ASSOCIATION, INC., A FLORIDA NOT FOR PROFIT CORPORATION.

IN WITNESS WHEREOF, FOGLIA CONTRACTING CORPORATION, HAS CAUSED THESE PRESENTS TO BE SIGNED BY JOSEPH M. FOGLIA, PRESIDENT OF FOGLIA CONTRACTING CORPORATION, A FLORIDA CORPORATION, AND ITS CORPORATE SEAL AFFIXED HERETO BY AND WITH THE AUTHORITY OF ITS BOARD OF DIRECTORS THIS _____ DAY OF _____, 2015.

FOGLIA CONTRACTING CORPORATION, A FLORIDA CORPORATION,

BY: _____
JOSEPH M. FOGLIA
PRESIDENT

WITNESS _____ WITNESS _____
PRINTED NAME PRINTED NAME

ACKNOWLEDGMENT AS TO CERTIFICATE OF DEDICATION

STATE OF FLORIDA
COUNTY OF ST. LUCIE
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2015.
BY, JOSEPH M. FOGLIA, PRESIDENT OF FOGLIA CONTRACTING CORPORATION, A FLORIDA CORPORATION,

WHO IS PERSONALLY KNOWN TO ME OR HAS PRODUCED A DRIVER'S LICENSE AS IDENTIFICATION.

NOTARY PUBLIC: _____ COMMISSION #: _____
PRINTED NAME MY COMMISSION EXPIRES: _____

CERTIFICATE OF FINAL APPROVAL BY CITY COMMISSION

STATE OF FLORIDA
COUNTY OF ST. LUCIE

PURSUANT TO THE PROVISIONS OF THE FORT PIERCE COMMISSION THIS PLAT WAS GIVEN FINAL APPROVAL BY THE CITY COMMISSION AT A MEETING HELD ON THIS _____ DAY OF _____, 2015. THIS PLAT HAS BEEN REVIEWED FOR CONFORMITY TO CHAPTER 177 FLORIDA STATUTES BY A PROFESSIONAL SURVEYOR AND MAPPER EMPLOYED BY OR UNDER CONTRACT WITH THE CITY OF FORT PIERCE, FLORIDA,

THIS _____ DAY OF _____, 2015

FORT PIERCE CITY COMMISSION

BY: _____
LINDA COX, CITY CLERK

CITY ATTORNEY

IT IS HEREBY CERTIFIED THAT THE FOREGOING PLAT IS APPROVED AS TO FORM AND LEGAL SUFFICIENCY

BY: _____
ROBERT V. SCHWERER
CITY ATTORNEY
CITY OF FORT PIERCE, FLORIDA.

SEAL
FOGLIA CONTRACTING CORPORATION

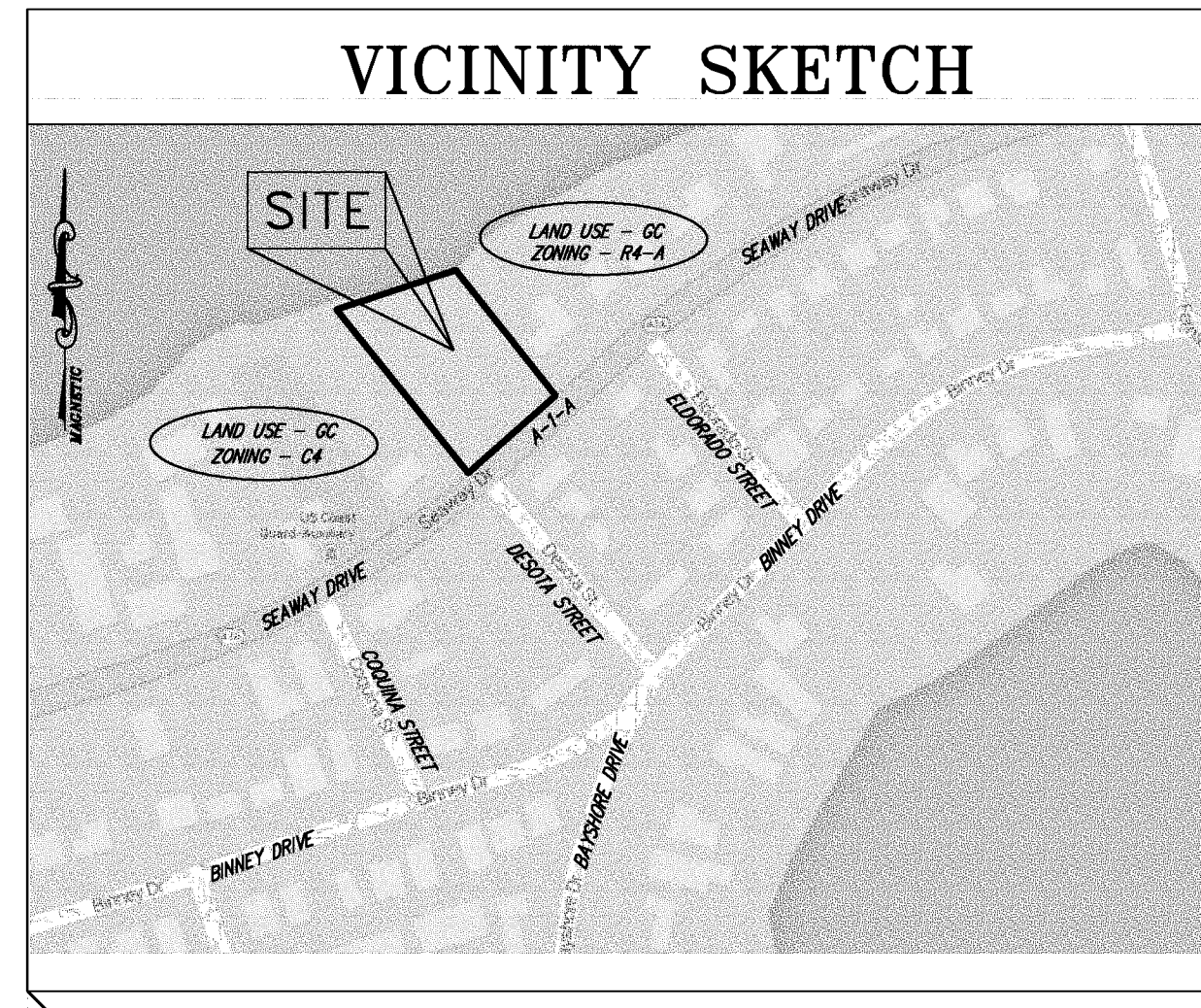
SEAL
CLERK TO THE BOARD OF CITY COMMISSIONERS

SEAL
CITY SURVEYOR AND MAPPER

SEAL
CHARLES H. BLANCHARD, PSM

SEAL
CLERK OF THE CIRCUIT COURT

BEING A RE-PLAT OF LOTS 16, 17 AND 18, BLOCK 16, REVISED MAP OF FT. PIERCE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 29, OF THE PUBLIC RECORDS OF CITY OF FORT PIERCE, ST. LUCIE COUNTY, FLORIDA, BEING A TRACT OF LAND LYING IN SECTION 1, TOWNSHIP 35 SOUTH, RANGE 40 EAST ST. LUCIE COUNTY, FLORIDA



VICINITY MAP NOT TO SCALE

TITLE CERTIFICATION

STATE OF FLORIDA
COUNTY OF ST. LUCIE

I, JOSEPH D. GROSSO, JR. P.A., MEMBER OF THE FLORIDA BAR, IN RELIANCE UPON THAT CERTAIN TITLE SEARCH REPORT DATED _____, ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY HEREBY CERTIFY THAT AS OF _____, 2015, AT _____ (M.):

1) APPARENT RECORD TITLE TO THE LAND DESCRIBED AND SHOWN ON THIS PLAT OF INLET PALM PLANNED DEVELOPMENT IS IN THE NAME OF THE ENTITIES AND/ OR PERSONS EXECUTING THE DEDICATION HEREON.
2) ALL RECORDED MORTGAGES, NOT SATISFIED OR RELEASED OF RECORD, ENCUMBERING THE LAND DESCRIBED HEREON ARE LISTED AS FOLLOWS:
NONE.

PURSUANT TO FLORIDA STATUTE 197.192, ALL TAXES HAVE BEEN PAID THROUGH THE YEAR 20____.

DATED THIS _____ DAY OF _____, 2015

JOSEPH D. GROSSO, JR. P.A.

BY: _____
JOSEPH D. GROSSO, JR. P.A.
850 NW FEDERAL HIGHWAY, SUITE 164
STUART, FL. 34994

CLERK'S CERTIFICATION

STATE OF FLORIDA
COUNTY OF ST. LUCIE

I, JOSEPH E. SMITH, CLERK OF THE CIRCUIT COURT OF ST. LUCIE COUNTY, FLORIDA, DO HEREBY CERTIFY THAT I HAVE EXAMINED THIS PLAT OF INLET PALMS PLANNED DEVELOPMENT, AND THAT IT COMPLIES WITH ALL THE REQUIREMENTS OF CHAPTER 177 OF THE LAWS OF FLORIDA. THIS PLAT FILED FOR RECORD THIS _____ DAY OF _____, 2014 AND RECORDED ON PAGE _____ OF PLAT BOOK _____ IN THE OFFICE OF THE CLERK OF CIRCUIT COURT OF ST. LUCIE COUNTY, FLORIDA

JOSEPH E. SMITH, CLERK OF CIRCUIT COURT

BY: _____
CLERK OF THE CIRCUIT COURT
ST. LUCIE COUNTY, FLORIDA

FLOOD HAZARD WARNING:

THIS PROPERTY MAY BE SUBJECT TO FLOODING DURING A 100 YEAR BASE FLOOD EVENT. YOU SHOULD CONTACT LOCAL BUILDING AND ZONING OFFICIALS AND OBTAIN THE LATEST INFORMATION REGARDING FLOOD ELEVATIONS AND RESTRICTIONS ON DEVELOPMENT BEFORE MAKING PLANS FOR THE USE OF THIS PROPERTY.

SURVEYOR'S NOTES

- 1) THE PARCEL OF LAND SHOWN HEREON APPEARS TO BE IN FLOOD ZONE AE-6, AE-7, C & VE-8 PER FLOOD INSURANCE RATE MAP #12111C0183 J, DATED FEBRUARY 16TH, 2012.
- 2) THE BEARING BASE FOR THIS SURVEY IS A GRID BEARING OF S46°30'43"W, ALONG THE NORTH R/W LINE OF SEAWAY DRIVE AND BASED ON FOUND MONUMENTATION. BASED ON THE NAD 83 NGS FINAL ADJUSTMENT OF 1990 FOR FLORIDA EAST ZONE, 901.3); THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988. THE BENCHMARK IS CGS MONUMENT G 231 1965, ELEVATION 4.47' NAVD. ONSITE BENCHMARK IS SET PARKER-KALON NAIL AND DISK "LB-6905" AT THE SOUTHWEST CORNER OF THE INTERSECTION OF SEAWAY DRIVE AND DESOTA STREET. THE CONVERSION FACTOR FOR NAVD 1988 TO NGVD 1929 IS +1.49'. THIS WAS DETERMINED USING CORPSCON FOR WINDOWS. VERSION 5.11.08.
- 3) PERMANENT REFERENCE MONUMENTS SET ARE 4" X 4" CONCRETE MONUMENTS WITH MAG NAIL AND BRASS DISC STAMPED "PRM HSBS LB 6905" UNLESS OTHERWISE NOTED.
- 4) PARCEL CORNER MARKERS SET ARE 5/8" IRON ROD WITH CAP STAMPED HSBS LB 6905.
- 5) TIES TO GOVERNMENT CORNERS AND ST. LUCIE COUNTY HORIZONTAL CONTROL NETWORK MONUMENTS CONFORM TO FGCC THIRD ORDER CLASS 1 STANDARDS.
- 6) UNLESS OTHERWISE INDICATED ALL LOT LINES ARE RADIAL.
- 7) THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED, BEING A LICENSED AND REGISTERED SURVEYOR AND MAPPER, DOES HEREBY CERTIFY THAT ON MARCH 13, 2015, HE COMPLETED THE SURVEY OF THE LANDS AS SHOWN IN THE FORGOING PLAT; THAT SAID PLAT IS A CORRECT REPRESENTATION OF THE LANDS THEREIN DESCRIBED AND PLATTED OR SUBDIVIDED; THAT PERMANENT REFERENCE MONUMENTS AND ALL LOT CORNERS WILL BE PLACED AS SHOWN THEREON AS REQUIRED BY CHAPTER 177, FLORIDA STATUTES, PART 1, AS AMENDED, AND THAT SAID LAND IS LOCATED IN ST. LUCIE COUNTY, FLORIDA.

DATE _____
CHARLES H. BLANCHARD, P.S.M. FLORIDA CERTIFICATE NO. 5755
HOUSTON, SCHULKE, BITTLE & STODDARD, INC. D/B/A
MERIDIAN LAND SURVEYORS
1717 INDIAN RIVER BOULEVARD SUITE 201, VERO BEACH, FLORIDA 32960
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NO. LB. 6905

SURVEYOR'S REVIEW CERTIFICATE

STATE OF FLORIDA
COUNTY OF ST. LUCIE

IT IS HEREBY CERTIFIED THAT THE UNDERSIGNED SURVEYOR AND MAPPER DULY LICENSED IN THE STATE OF FLORIDA HAS REVIEWED THIS PLAT FOR CONFORMITY WITH THE REQUIREMENTS OF CHAPTER 177 PART 1, FLORIDA STATUTES.

DATE _____
GREGORY S. FLEMING, PROFESSIONAL SURVEYOR AND MAPPER, FLORIDA REGISTRATION No.43508
CITY SURVEYOR
FORT PIERCE, FLORIDA

PLANNING AND DEVELOPMENT SERVICES APPROVAL

IT IS HEREBY CERTIFIED THAT THIS PLAT MEETS THE MINIMUM LOT DIMENSION REQUIREMENT OF THE PUD ZONING DISTRICT, AS SET FORTH IN SECTION 7.01.00 OF THE ST. LUCIE COUNTY LAND DEVELOPMENT CODE

THIS _____ DAY OF _____, 2015

BY: _____
MARK SATTERLEE
DIRECTOR OF PLANNING AND DEVELOPMENT SERVICES
ST. LUCIE COUNTY, FLORIDA.

LEGAL DESCRIPTION

BEING A REPLAT OF LOTS 19, 17 AND 18, BLOCK 16, REVISED MAP OF FT. PIERCE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 29, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA. AND LYING AND BEING A PORTION OF SECTION 1, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA. MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 16, BLOCK 16, SAID REVISED MAP OF FT. PIERCE BEACH, SAID POINT ALSO BEING ON THE NORTH RIGHT OF WAY LINE OF SEAWAY DRIVE (50' RIGHT OF WAY), RUN SOUTH 46°30'43" WEST ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 96.34 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTH, HAVING A RADIUS OF 1350.48 FEET. THENCE RUN WESTERLY ALONG THE ARC OF SAID CURVE AND NORTH RIGHT OF WAY LINE, THROUGH A CENTRAL OF 03°33'13". AN ARC DISTANCE OF 83.76 FEET TO THE SOUTHWEST CORNER OF LOT 18, BLOCK 16, SAID REVISED MAP OF FT. PIERCE BEACH; THENCE LEAVING SAID NORTH RIGHT OF WAY LINE RUN NORTH 39°56'11" WEST ALONG THE COMMON LINE OF LOTS 18 AND 19, BLOCK 16, SAID REVISED MAP OF FT. PIERCE BEACH, A DISTANCE OF 226.52 FEET TO THE NORTH LINE OF BLOCK 16, SAID REVISED MAP OF FT. PIERCE BEACH; THENCE LEAVING SAID COMMON LINE, RUN NORTH 60°36'02" EAST ALONG THE NORTH LINE OF BLOCK 16, REVISED MAP OF FT. PIERCE BEACH, A DISTANCE OF 171.16 FEET; THENCE LEAVING SAID NORTH LINE, RUN SOUTH 43°29'17" EAST ALONG THE COMMON LINE OF LOTS 15 AND 16, BLOCK 16, SAID REVISED MAP OF FT. PIERCE BEACH, A DISTANCE OF 187.01 FEET TO THE POINT OF BEGINNING.

SAID LAND CONTAINS 0.82 ACRES MORE OR LESS.

NOTICE:

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

PREPARED BY: CHARLES H. BLANCHARD PSM# 5755
FOR MERIDIAN LAND SURVEYORS
PREPARATION DATE: 6/10/15

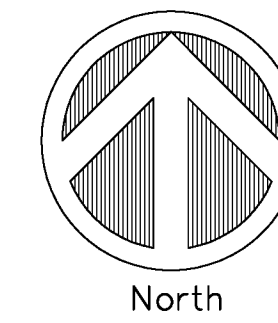
REVISIONS	
NO.	DATE
4	
3	
2	
1	7/01/15
REVISE PER PLANNING	

HOUSTON, SCHULKE, BITTLE & STODDARD, INC. D/B/A
MERIDIAN
LAND SURVEYORS
1717 INDIAN RIVER BLVD, SUITE 201
VERO BEACH, FL. 32960 LB6905
PHONE: 772-794-1213, FAX: 772-794-1096
E-MAIL: LB6905@BELLISOUTH.NET

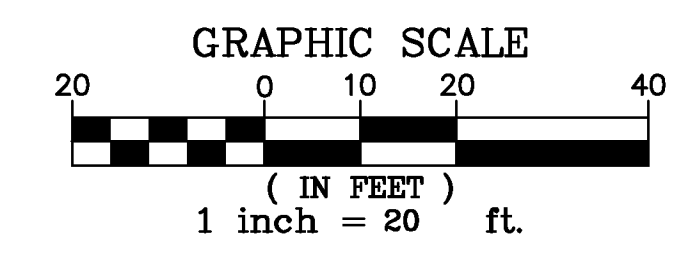
SHEET
1 of 2

INLET PALMS PLANNED DEVELOPMENT

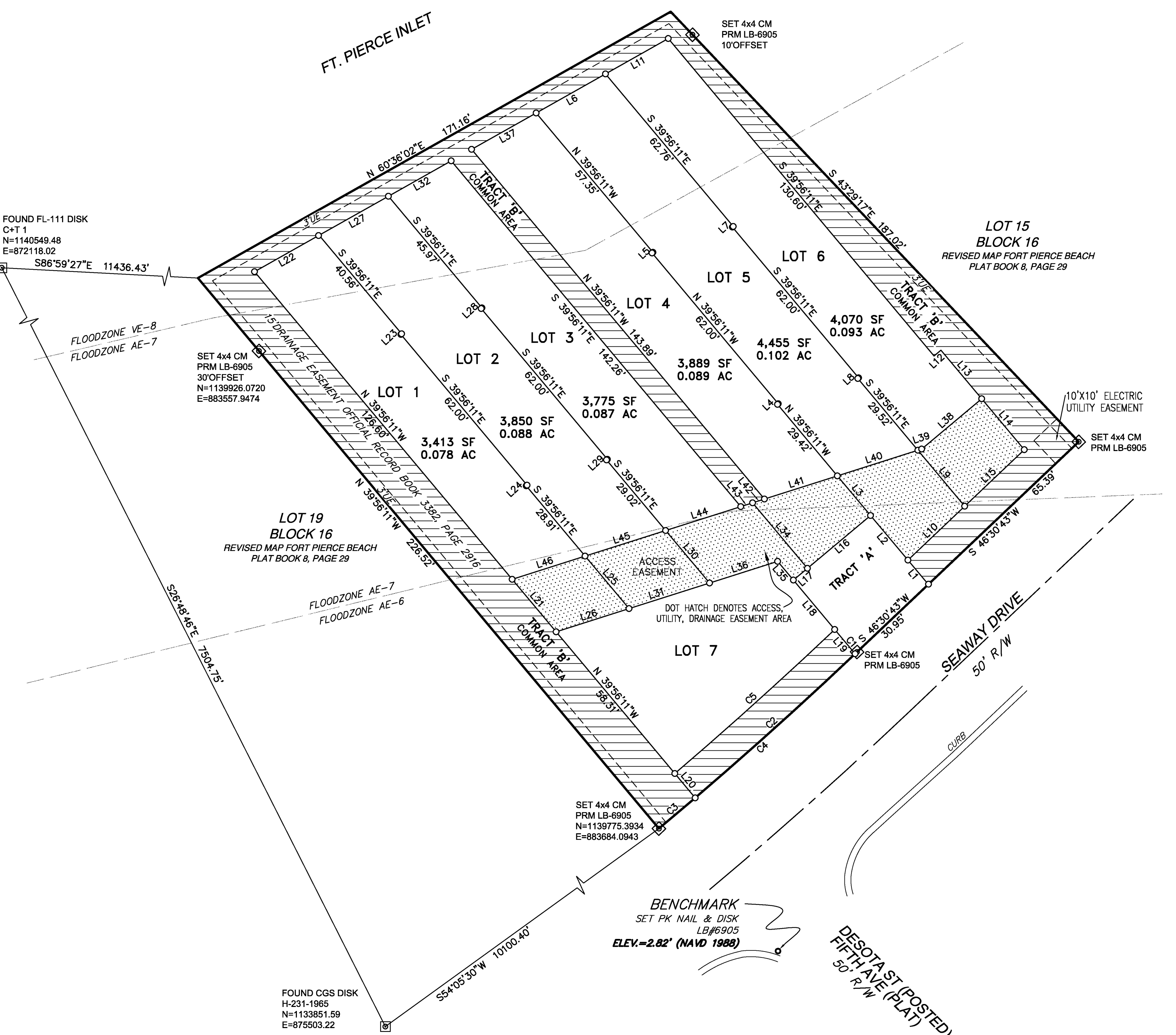
BEING A RE-PLAT OF LOTS 16, 17 AND 18, BLOCK 16, REVISED MAP OF FT. PIERCE BEACH, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 29, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, BEING A TRACT OF LAND LYING IN SECTION 1, TOWNSHIP 35 SOUTH, RANGE 40 EAST ST. LUCIE COUNTY, FLORIDA.



PLAT BOOK _____
PAGE _____
DOCKET NO. _____



LINE	BEARING	DISTANCE
L 1	N 39°56'11"W	10.02'
L 2	N 39°56'11"W	18.35'
L 3	N 39°56'11"W	16.31'
L 4	N 50°03'49"E	0.33'
L 5	N 50°03'49"E	0.33'
L 6	N 60°36'02"E	25.09'
L 7	S 50°03'49"W	0.33'
L 8	S 50°03'49"W	0.33'
L 9	S 39°56'11"E	23.02'
L 10	S 46°30'43"W	24.71'
L 11	N 60°36'02"E	22.72'
L 12	N 50°03'49"E	2.84'
L 13	S 39°56'11"E	20.01'
L 14	S 39°56'11"E	20.94'
L 15	S 46°30'43"W	25.89'
L 16	S 50°03'49"W	25.97'
L 17	S 50°03'49"W	5.78'
L 18	S 39°56'11"E	20.32'
L 19	S 39°56'11"E	10.02'
L 20	N 39°56'11"W	10.00'
L 21	N 39°56'11"W	21.61'
L 22	N 60°36'02"E	23.39'
L 23	S 50°03'49"W	0.33'
L 24	S 50°03'49"W	0.33'
L 25	S 39°56'29"E	21.61'
L 26	S 72°20'44"W	24.14'
L 27	N 60°36'02"E	25.09'
L 28	S 50°03'49"W	0.33'
L 29	S 50°03'49"W	0.33'
L 30	S 39°56'35"E	21.61'
L 31	S 72°20'44"W	26.66'
L 32	N 60°36'02"E	22.72'
L 33	NOT USED	
L 34	S 39°56'11"E	26.95'
L 35	N 39°56'11"W	7.71'
L 36	S 72°20'44"W	22.52'
L 37	N 60°36'02"E	23.39'
L 38	S 50°03'49"W	24.68'
L 39	S 72°20'44"W	1.25'
L 40	S 72°20'44"W	26.65'
L 41	S 72°20'44"W	24.14'
L 42	S 72°20'44"W	3.92'
L 43	S 72°20'44"W	3.92'
L 44	S 72°20'44"W	24.85'
L 45	S 72°20'44"W	26.66'
L 46	S 72°20'44"W	24.14'



- SYMBOL LEGEND**
- FOUND 4"x4" CONCRETE PERMANENT REFERENCE MONUMENT (PRM) STAMPED "LB# 4286"
 - LOT CORNER MARKER, 5/8" IRC, LB#6905 STAMPED "LB#6905"
 - SET P/K NAIL & DISK STAMPED "LB#6905"
 - ⊙ PERMANENT CONTROL POINT (PCP) STAMPED "LB#6905"
- ABBREVIATIONS**
- C.M. = CONCRETE MONUMENT
 - L = CHORD LENGTH
 - I.D. = IDENTIFICATION
 - PCP = PERMANENT CONTROL POINT
 - PRM = PERMANENT REFERENCE MONUMENT
 - FD. = FOUND
 - ELEV. = ELEVATION
 - IRC = IRON ROD & CAP
 - P.B. = PLAT BOOK
 - PG. = PAGE
 - OA = OVERALL
 - P.S.M. = PROFESSIONAL SURVEYOR & MAPPER
 - N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
 - N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
 - PB. = PLAT BOOK
 - O.R.B. = OFFICIAL RECORD BOOK
 - PG. = PAGE
 - POB = POINT OF BEGINNING
 - POC = POINT OF COMMENCEMENT
 - R/W = RIGHT-OF-WAY
 - L.B. = LAND SURVEYING BUSINESS
 - P/K = PARKER KALON
 - R/W = RIGHT OF WAY
 - DIST. = DISTANCE
 - TYP. = TYPICAL
 - P.U.D. = PLANNED URBAN DEVELOPMENT

NOTICE:

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CURVE	DELTA ANGLE	RADIUS	ARC	TANGENT	CHORD	CHORD BEARING
C 1	00°02'12"	1350.48'	0.86'	0.43'	0.86'	S 46°31'49"W
C 2	02°52'50"	1350.48'	67.90'	33.96'	67.89'	S 47°59'20"W
C 3	00°38'11"	1350.48'	15.00'	7.50'	15.00'	S 49°44'50"W
C 4	03°33'13"	1350.48'	83.76'	41.89'	83.75'	S 48°17'19"W
C 5	02°54'08"	1340.48'	67.90'	33.96'	67.89'	S 47°58'24"W

PREPARED BY: CHARLES H. BLANCHARD
FOR MERIDIAN LAND SURVEYORS
PREPARATION DATE: 6/10/15

REVISIONS		
NO.	DATE	DESCRIPTION
4		
3		
2		
1		

HOUSTON, SCHULKE, BITTLE, & STODDARD, INC. D/B/A
MERIDIAN
LAND SURVEYORS
1717 INDIAN RIVER BLVD, SUITE 201
VERO BEACH, FL. 32960 LB#6905
PHONE: 772-794-1213, FAX: 772-794-1096
E-MAIL: LB6905@BELLSOUTH.NET

June 1, 2015

Clarissa Davis
City of Fort Pierce
Planning Department
100 N. US 1
Fort Pierce, FL 34954

Re: Project Narrative
Inlet Palms PD
Parcel ID: 2401-501-0279-000-1 and 2401-501-0279-010-4

Dear Mrs. Davis:

The current property is Zoned Hutchinson Island Medium Density Residential Zone (R-4A). This zoning is primarily for a residential use. This may be a single family dwelling, duplex, triplex, quadplex or townhome. The proposed project would be considered as a townhome project. We would gladly have used the existing zoning and the existing zoning requirements. Unfortunately, the Zoning code is written in such a way that will not allow this site to be built as a townhome design. The following is a list of items that cannot be met by this project for the existing zoning requirements:

1. Sec 22-27.1 (b)(1)f. and Sec 22-3 Townhome Development Definition.
Required: The minimum lot width for townhome developments shall be two hundred (200) feet.
Proposed: The current lot width is 180.1' along the south property line and 171.16' along the north property line. This is substantially lower than the 200 foot minimum lot width.
2. Sec 22-27.1 (b)(1)f.
Required: Townhome Developments shall be subdivided into a minimum lot width of sixteen (16) feet and a maximum lot width of twenty-four (24) feet.
Proposed: Unit/Lot 2 and 5 are a minimum of 24.7' wide. Unit/Lot 7 is 28.0' wide. All three of these Unit/Lots do not meet the code requirement of a maximum of 24.0'.
3. Sec 22-27.1 (b)(1)i.
Required: The minimum lot depth for townhome development shall be ninety (90) feet.
Proposed: Unit/Lot 7 is proposed with a depth of 67.9'. This does not meet the code requirement of 90.0'.
4. Sec 22-27.1 (b)(2)h.
Required: The minimum distance between residential buildings shall be twenty (20) feet except that screen porches located on the ground floor may project into the minimum distance, and except that screen porches in owner occupied condominium projects that maintain a minimum building separation of twenty-eight (28) feet or more may be enclosed with glass.
Proposed: The distance between Unit 3 and Unit 4 is 7.3'. This does not meet the 20.0' required setback.

5. Sec 22-3 Definition of Dwelling, townhome.

Required: A single dwelling unit attached by at least one but no more than two-party wall(s) along more than fifty (50) per cent of the maximum depth of the unit to one or more other dwelling unit on a continuous foundation, with said party wall(s) being centered on the common property line(s) between adjacent lots.

Proposed: Unit/Lot 7 does not have a common wall with any other unit. This Unit/Lot does not meet this requirement.

These five requirements cannot be met by the developer for the project that is being submitted for site plan approval. We have no choice but to submit for the rezoning to Planned Development (PD).

Below is the graphical narrative of all items we are asking for with the PD submittal:

<u>DEVELOPMENT PARAMETERS :</u>	<u>EXISTING R-4A ZONING</u>	<u>PROPOSED PD ZONING</u>	<u>PROPOSED DEVELOPMENT</u>
MIN. OVERALL LOT WIDTH	200'	175'	178.8'
MIN. INTERIOR LOT SIZE	1,500 SF	1,500 SF	2,949 SF
MAX. INTERIOR LOT WIDTH	24'	25'	24.7'
MIN. INTERIOR LOT DEPTH	90'	65'	67.9'
MIN. YARD SETBACKS:			
FRONT (SOUTH)	10'	10'	10.0'
SIDE (WEST)	10'	10'	15.0'
SIDE (EAST)	10'	10'	10.0'
REAR (NORTH)	15'	15'	15.0'
DISTANCE BETWEEN BLDGS.	20'	5'	7.0'
MAX. LOT COVERAGE BY BLDGS	45%	45%	27.6%
MIN. OPEN SPACE	25%	25%	28.7%
MAX. IMPERVIOUS AREA	75%	75%	71.3%
MAXIMUM DENSITY	8 UNITS/ACRE	8.5 UNITS/ACRE	8.45 UNITS/ACRE
A/C/ PAD SETBACK	10'	4'	4'
MAX. BLDG. HEIGHT	45'	*SEE BELOW	*SEE BELOW
* UNITS 1 AND 3 - 43'-3 1/4" ABOVE VE 7' NAVD			
UNIT 2 - 47'-4" ABOVE VE 7' NAVD			
UNITS 4 AND 6 - 43'-3 1/4" ABOVE VE 7' NAVD			
UNIT 5 - 47'-4" ABOVE VE 7' NAVD			
UNIT 7 - 43'-8 3/4" ABOVE DATUM 6' NAVD			

The Development will be classified as Anglo Caribbean Transitional. This meets the intent of the development Objectives of the City and the City's Comprehensive Plan.

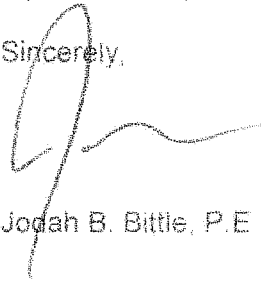
The property will be divided into seven (7) lots to serve seven (7) multi-family units. Each unit will be owned fee simple. All areas outside each individual lot will be maintained by the Homeowners Association.

The parcel size is 0.828 acres. The building lot coverage is 0.228 acres or 27.6%. The density proposed is 8.45 units/acre. The total amount of open space is 0.238 acres or 28.7%. We have no non-residential acreage.

The development will be built in one single phase. We are not proposing any phasing at this time.

If you have any questions or require additional information, please feel free to contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jodah B. Bittie'. The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Jodah B. Bittie, P.E