

CITY OF FORT PIERCE

CITY COMMISSION AGENDA

Regular Meeting - Monday, March 7, 2016 - 6:30 p.m.

City Hall - City Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida

1. **CALL TO ORDER**
2. **OPENING PRAYER** - Father Michael McNally, St. Mark - Evangelist Catholic Church
3. **PLEDGE OF ALLEGIANCE**
4. **ROLL CALL**
5. **APPROVAL OF MINUTES**
 - a. Approval of minutes from the February 16, 2016 regular meeting.
6. **PROCLAMATIONS**
 - a. American Red Cross Month Proclamation being received by Sarah Ruwe, American Red Cross.
 - b. Believing in Girls Month Proclamation being received by Treasure Coast PACE Center for Girls.
 - c. Flood Safety Awareness Week Proclamation being received by Bob Worcester, SAFER St. Lucie.
7. **LETTERS TO COMMISSION**
 - a. Email from James Clasby in recognition of Kori Benton's timeliness, hard work and dedication.
 - b. Email from Gertrude Walker thanking the entire team, Mayor Hudson, Commissioners, City Manager Mimms, staff and volunteers for a wonderful Highwaymen Heritage Trail Festival Ribbon Cutting event.
 - c. Email from Tony Farella commending the Police Department for security provided at the Sunrise Theatre at 10:00 PM on February 20, 2016.

- d. Email from Charley Williams, who resides in Orlando, congratulating the entire team on the success of the ribbon cutting festival for The Highwaymen Trail.
- e. Letter from David M. Cleveland commending the Building Department for their professionalism, attention to detail and compliance with ever changing sets of codes.
- f. Email from Active Captain with a 5 star review "Great & Getting Better" of the new marina facility and staff.
- g. Letter from Doretha Hair Truesdell congratulating and thanking Elizabeth Woodruff and the City of Fort Pierce for their efforts and hard work on The Highwaymen Heritage Trail, Art Show and Festival.

8. **COMMENTS FROM THE PUBLIC ON AGENDA ITEMS NOT REQUIRING PUBLIC HEARINGS**

Any person who wishes to comment on an agenda item which is not under Public Hearings on the Agenda may be heard at this time and must sign up to speak in advance. Please limit your comments to three (3) minutes or less, as directed by the Mayor, as this section of the Agenda is limited to thirty minutes. The City Commission will not be able to take any official actions under Comments from the Public. Speakers will address the Mayor, Commissioners, and the Public with respect. Inappropriate language will not be tolerated.

9. **ADDITIONS OR DELETIONS TO AGENDA AND APPROVAL OF AGENDA**

10. **CONSENT AGENDA**

- a. Approval of Assignment of Lease between St. Lucie County and the City of Fort Pierce, assigning the County's rights, duties, liability and obligations of the Lease Agreement with the Fort Pierce Yacht Club for the property located at 700 North Indian River Drive to the City, contingent upon approval by City Attorney as to form and correctness.
- b. Approve License Agreement No. DACW17-3-16-0001 between Department of the Army and the City of Fort Pierce granting the city the ability to install, use, repair and maintain a concrete walkway/maintenance tract, lights, benches and trash receptacles on the South Jetty for a period of 5 years with an opportunity to renew.
- c. Request for partial release of two parcels located in St. Lucie County, identified as PID 1211-111-0001-0009 and 1214-111-0001-0008, owned by BAER, LLC, 1650 90th Avenue, Vero Beach, FL 32966 from a code enforcement lien in the amount of \$453,310.00 filed against 1635 Thumb Point Drive, Parcel ID 2401-605-0030-000-3 owned by John B. Culverhouse contingent upon payment of

\$5,000.00 within 60 days.

- d. Approve payment to Golf Net Renovations, a sole source provider, in the amount of \$10,865.00 to repair the driving range net.
- e. Approval of travel expenses in the amount of \$847.32 for Commissioner Alexander to attend the FBC-LEO Spring Conference being held on March 17 - 18, 2016 in Miramar, Florida.
- f. Approval of travel expenses in the amount of \$847.32 for Commissioner Sessions to attend the FBC-LEO Spring Conference being held on March 17 - 18, 2016 in Miramar, Florida.
- g. Approve grant award for Geraldine Clark and Hy-She Consignment Boutique, Inc. in the amount of \$3,000 as an eligible recipient under the 2015-16 CDBG Action Plan Grant Award for Small Business.
- h. Request approval of the professional services proposal submitted by Kimley-Horn and Associates, Inc. providing additional surveying and design services for the 13th Street and 17th Street projects in the amount of \$38,500.
- i. Approval to purchase a 2016 Ford Transit cargo van from Sunrise Ford and installation of shelving from Advanced Work Van Interiors for the Police Department Crime Scene Unit in the total amount of \$25,513.50.
- j. Request to reduce code enforcement fines in the amount of \$375,610.00 against 1512 Avenue J, Ft. Pierce, FL, Parcel ID # 2404-810-0019-000-9 which was previously owned by James Jones, 1512 Avenue J, Ft. Pierce, FL and currently owned by Jewell J. Eckles (daughter), 3309 Avenue T, Ft. Pierce, FL 34947 to \$950.00 payable in 12 months.

11. **PUBLIC HEARINGS**

- a. Review and approval with conditions an application for Site Plan submitted by Property Owner, O`Reilly Automotive Stores In.c, and representative, Bryan L. Zarlenga, PE. to construct a 7,248 sq. ft. retail auto parts store at 4760 S US Highway 1, Fort Pierce, FL. The property is zoned General Commercial (C-3) (3403-123-0000-000-4).
- b. Ordinance 16-005 Amending Section 12-103 extending the prohibition of fishing along Melody Lane. **SECOND READING**
- c. Ordinance 16-002 - Amendments to Chapter 9 & 22 - Zoning Fueling Station Regulation Updates – Location & Design **FIRST READING**

12. **MISCELLANEOUS REPORTS & REQUESTS**

- a. Update on City Marina Operations
- b. Monthly Financial Report for the Month Ending January 31, 2016

13. **CITY COMMISSION**

- a. Resolution No. 16-R05 appointing members to the City Planning Board.
- b. Submittal of applications for Board of Adjustment.
- c. Submittal of applications for Communitywide Council.
- d. Submittal of applications for Construction Board of Adjustments & Appeals.

14. **COMMENTS FROM THE PUBLIC**

Any person who wishes to comment on any subject may be heard at this time. Please limit your comments to three (3) minutes or less, as directed by the Mayor, as this section of the Agenda is limited to thirty minutes. The City Commission will not be able to take any official actions under Comments from the Public. Speakers will address the Mayor, Commissioners, and the Public with respect. Inappropriate language will not be tolerated.

15. **COMMENTS FROM THE CITY MANAGER**

- a. City Manager's Report - Together We Can

16. **COMMENTS FROM THE COMMISSION**

17. **ADJOURNMENT**

Pursuant to Section 286.0105, Florida Statutes, the City hereby advises you that if you or another person decide to appeal any decision made by the City Commission with respect to any matter considered at its meeting or hearing, that you or said person will need a record of the proceedings, and that for such purpose, affected persons may need to insure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. This notice does not constitute consent by the City for the introduction or admission into evidence of otherwise inadmissible or irrelevant evidence, nor does it authorize challenges or appeals not otherwise allowed by law.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this meeting should

contact the City Clerk's Office at (772) 467-3052 at least 48 hours prior to the meeting.

City Commission Regular Meeting

Agenda Item # 5. a.

Meeting Date: 03/07/2016

Re:

Submitted For: Linda Cox, City Clerk, City Clerk

SUBJECT:

Approval of minutes from the February 16, 2016 regular meeting.

Attachments

City Commission Minutes 2.16.2016

Form Review

Form Started By: Caleta Scott
Final Approval Date: 03/02/2016

Started On: 03/02/2016 10:35 AM

MINUTES OF A REGULAR MEETING OF THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA, HELD IN THE CITY HALL COMMISSION CHAMBERS, 100 NORTH U.S. #1, FORT PIERCE, FLORIDA, AT 6:30 P.M. ON TUESDAY, FEBRUARY 16, 2016.

1. **CALL TO ORDER** - Mayor Hudson called the meeting to order at 6:30 p.m.
2. **OPENING PRAYER** - Pastor Keith Albury of Macedonia Seventh Day Adventist Church offered the opening prayer.

3. **PLEDGE OF ALLEGIANCE**

4. **ROLL CALL**

Present: Mayor Linda Hudson; Commissioner Rufus Alexander; Commissioner Edward Becht; Commissioner Thomas Perona; Commissioner Reginald Sessions

Staff Present: City Clerk Linda Cox
City Manager Nicholas Mimms
City Attorney Robert Schwerer

5. **APPROVAL OF MINUTES**

- a. Approval of minutes from the February 1, 2016 regular meeting.

Motion was made by Commissioner Edward Becht, seconded by Commissioner Rufus Alexander to approve the minutes from the February 1, 2016 regular meeting.

AYE: Commissioner Rufus Alexander, Commissioner Edward Becht, Commissioner Thomas Perona, Commissioner Reginald Sessions, Mayor Linda Hudson

Passed

6. **PROCLAMATIONS**

- a. Mayor Hudson issued a proclamation declaring February 21 - 27, 2016 as National Engineer's Week.
- b. Mayor Hudson presented First Step Awards to Representative Larry Lee, Jr., Sheriff Ken Mascara, Commissioner Kim Johnson, Chief Diane Hopley-Burney, Fire Chief Buddy Emerson and Scott Van Duzer on behalf of the City of Fort Pierce, the Van Duzer Foundation and Restoring the Village.

7. **LETTERS TO COMMISSION** - The following letters will be kept on file at the City Clerk's office.

- a. Email from Mary Alice Bennett extending Representative Lee's sincere gratitude to Chief Hopley-Burney, Deputy Chief Amandro and Grants Coordinator Anthony Maynard for their contribution to the completion of the Restoring the Common Good Budget Request.

8. **COMMENTS FROM THE PUBLIC ON AGENDA ITEMS NOT REQUIRING PUBLIC HEARINGS** - There were no comments from the public.

9. CONSENT AGENDA

- a. Approve the award of RFP 2016-012 for Realtor Services to the highest ranked proposer, Coldwell Banker Paradise.
- b. Approval of an Interlocal Agreement between the St. Lucie County School Board and the City of Fort Pierce for operation and improvements for the Dan McCarty Middle School Track.

Commissioner Sessions pulled item **9a**.

Motion was made by Commissioner Thomas Perona, seconded by Commissioner Edward Becht to approve item **9b**.

AYE: Commissioner Rufus Alexander, Commissioner Edward Becht, Commissioner Thomas Perona, Commissioner Reginald Sessions, Mayor Linda Hudson

Passed

As to item **9a**, Commissioner Sessions abstained due to potential conflict of interest with Coldwell Banker Paradise.

Motion was made by Commissioner Edward Becht, seconded by Commissioner Thomas Perona to approve item **9a**.

AYE: Commissioner Rufus Alexander, Commissioner Edward Becht, Commissioner Thomas Perona, Mayor Linda Hudson

Other: Commissioner Reginald Sessions (ABSTAIN)

Passed

Commissioner Sessions filed form 8B as required.

10. PUBLIC HEARINGS

- a. Ordinance 16-001 - Modifying Article II, Section 2-29 to include a new item in the order of business for additions, deletions and approval of the agenda. **SECOND READING**

Linda Cox, City Clerk, introduced the Ordinance on second reading, by title only, into the record.

Mayor Hudson opened the public hearing.

Seeing no one, Mayor Hudson closed the public hearing.

Motion was made by Commissioner Reginald Sessions, seconded by Commissioner Thomas Perona to approve item **10a**.

AYE: Commissioner Rufus Alexander, Commissioner Edward Becht, Commissioner Thomas Perona, Commissioner Reginald Sessions, Mayor Linda Hudson

Passed

- b. Ordinance No. 16-003 pertaining to an application submitted by the property owners, Equity Trust Company, Mohammad Hajjar IRA, and Sassan LLC for Future Land Use Map for six (6) parcels of land, totaling +/- 36.93 acres, to change the future land use designation from RM, Medium Density Residential to NC, Neighborhood Commercial. Said parcels are generally located at the southwest corner of Hartman Road and Whiteway Dairy Road, or approximately 1803 Hartman Road. FIRST READING

Linda Cox, City Clerk, introduced the Ordinance on first reading, by title only, into the record.

Kori Benton, Senior Planner, gave a brief presentation and was available for questions.

Mayor Hudson opened the public hearing.

Dennis Murphy, applicant representative, stated that they concur with recommendations and will appear again within the next few months for final adoption consideration.

Karen Gelety, resident, spoke in support but expressed concern with road conditions of Hartman Road.

Kori Benton added that tonight's requests are for land use and zoning. Should the applicant take the next steps, Staff will work closely with the other agencies and make sure to review all components of submitted site plans.

Seeing no one else, Mayor Hudson closed the public hearing.

Motion was made by Commissioner Edward Becht, seconded by Commissioner Rufus Alexander to approve item **10b**.

AYE: Commissioner Rufus Alexander, Commissioner Edward Becht, Commissioner Thomas Perona, Commissioner Reginald Sessions, Mayor Linda Hudson

Passed

- c. Ordinance No. 16-004 pertinent to an application submitted by the property owners, Equity Trust Company, Mohammad Hajjar IRA, and Sassan LLC for a Zoning Atlas Amendment for six (6) parcels of land, totaling +/- 36.93 acres, to change the zoning designation from R-4, Medium Density Residential to NC, Neighborhood Commercial. Said parcels are generally located at the southwest corner of Hartman Road and Whiteway Dairy Road, or approximately 1803 Hartman Road. FIRST READING

Linda Cox, City Clerk, introduced the Ordinance on first reading, by title only, into the record.

Kori Benton, Senior Planner, gave a brief presentation and was available for questions.

Mayor Hudson opened the public hearing.

Seeing no one, Mayor Hudson closed the public hearing.

Motion was made by Commissioner Thomas Perona, seconded by Commissioner Edward Becht to approve item **10c**.

AYE: Commissioner Rufus Alexander, Commissioner Edward Becht, Commissioner Thomas Perona, Commissioner Reginald Sessions, Mayor Linda Hudson

Passed

- d. Ordinance 16-005 Amending Section 12-103 extending the prohibition of fishing along Melody Lane. FIRST READING

Linda Cox, City Clerk, introduced the Ordinance on first reading, by title only, into the record.

Nicholas Mimms, City Manager, gave a brief background and was available for questions.

Commission discussion included staff considerations, complaints from businesses and homeowners, as well as enforcement. Commissioner Sessions stated that he feels an extension is a little excessive. The fishing pier has been full of fisherman and it's another beautiful attraction for the waterfront. The Commission should provide input and direction in order to work towards a positive solution.

Mayor Hudson opened the public hearing.

Frank Fee III spoke in favor of extension.

Donna Friedman spoke in favor of extension.

Devoshay Johnson spoke in opposition of extension.

Further comment from the Commission included access to our waterways being a part of Fort Pierce's charm and being mindful of the development that has happened in the downtown area which offers necessity for some change. The need to look at the potential disadvantages, purpose of investment in construction of the pier, as well as adding a clear demarcation as a compromise, were also discussed. Robert Schwerer, City Attorney, stated that should the Commission decide to change the text of the Ordinance that would reduce the length of the prohibition, it can be done orally at this meeting.

Seeing no one else, Mayor Hudson closed the public hearing.

Motion was made by Commissioner Edward Becht, seconded by Commissioner Thomas Perona to approve item **10d** with an exception of the southern 300 feet.

AYE: Commissioner Rufus Alexander, Commissioner Edward Becht, Commissioner Thomas Perona, Mayor Linda Hudson

NAY: Commissioner Reginald Sessions

Passed

- e. Review and approval of an application for a Conditional Use, submitted by property owners: PC Hotel/Kevin Gallagher, and applicant: Water's Edge Recovery to allow the use of a detoxification facility (hospital) at 912 Avenue I. Property is zoned R4, Medium Density Residential (Parcel ID 2403-707-0009-000-6).

Rebecca Grohall, Planning Manager, advised the Commission that a super-majority vote would be required for the item to pass and that the item may be postponed. Robert Gorman, client representative, requested to proceed when asked for his preference.

Clarissa Davis, Planner, gave a brief presentation and was available for questions.

Commission discussion included parking concerns, conditions of surrounding parcels, and the need for a facility like this one in the area.

Mayor Hudson opened the public hearing.

Robert Gorman, applicant representative, gave a brief presentation and was available for

questions.

Tyler Gorman, owner, spoke in favor highlighting that the facility will be utilized for the initial, temporary stabilization period in the detoxification process.

Anthony Chambers spoke in favor.

Seeing no one else, Mayor Hudson closed the public hearing.

Motion was made by Commissioner Reginald Sessions, seconded by Commissioner Rufus Alexander to approve item **10e** with the following staff conditions, to include constructing a fence:

1. Provide required parking to the site or pursue payment in lieu of program.
2. Re-stripe existing parking stalls.
3. Install landscaping such as trees and shrubs as required per the code.
4. Comply with all violations reviewed by the Special Magistrate.
5. Construct a fence on the property.

AYE: Commissioner Rufus Alexander, Commissioner Edward Becht, Commissioner Thomas Perona, Commissioner Reginald Sessions, Mayor Linda Hudson

Passed

- f. Review and approval of an application for a Conditional Use, submitted by property owners: KMG Holdings, LLC, and applicant: The Haven Detox to allow the use of a detoxification facility (hospital) at 4707 Oleander Avenue, Fort Pierce, FL. The property is zoned R2, Intermediate Density Residential (Parcel ID 3404-501-0506-000-4)

Clarissa Davis, Planner, gave a brief presentation and was available for questions.

Mayor Hudson opened the public hearing.

Anderson Triggs, owner, gave a brief presentation and was available for questions.

Paul Dwyer spoke in opposition.

Jacqueline Lizella spoke in opposition.

James Hill spoke in opposition.

Fred LaSala spoke in opposition.

John Jacobs spoke in opposition.

Robert Gorman, applicant representative, responded providing the difference between detoxification and treatment facilities.

Bonnie LaSala spoke in opposition.

Anderson Triggs and Kirill Vesselov, owners, provided responses to members of the audience in opposition.

Seeing no one else, Mayor Hudson closed the public hearing.

Motion was made by Commissioner Edward Becht, seconded by Commissioner Thomas Perona to deny item **10f** with concern for public health, safety and welfare.

AYE: Commissioner Rufus Alexander, Commissioner Edward Becht, Commissioner Thomas Perona, Commissioner Reginald Sessions, Mayor Linda Hudson

Passed

- g. Review and approval of an application for Site Plan and Conditional Use, submitted by Property Owner, G. Flash G.P., Inc. c/o Ashton de Peyster, Applicant Harold H. Smyth, and representatives, William P. Stoddard, Ph. D., P.E., and Leo Giangrande, PE to complete the phased construction of a 198 Slip Marina, Boat Ramp, Dock Master's Quarters, Ship Store, and 10 RV Spaces at 601 Seaway Drive, Fort Pierce, FL. The property is zoned Tourist Commercial (C-5). (Parcel IDs 2402-312-0001-000-5 & 2402-331-0002-000-1).

Kori Benton, Senior Planner, gave a brief presentation and was available for questions.

Mayor Hudson opened the public hearing.

William Stoddard, client representative, gave a background on the site and the steps taken to make this project happen. He addressed the main concerns from Harbor Isle West residents.

Commission discussion included dinghy docks and buffers between Harbor Isle West and the proposed development.

Harold Smyth, discussed the dinghy dock option stating that no slips have been designated.

Ken Barclay provided community concerns, does not oppose development and would like to postpone for 30 days.

Steven Heller spoke in opposition of the RV pads.

Joan Sinnar provided concerns and would like to postpone for 30 days.

John Coseo spoke in opposition.

Carol Mushier supports conditions, provided concerns and would like to postpone.

Freid Barachovic spoke in support of development.

Don Voss spoke in support of development.

Richard Foster spoke in support of Phase I development.

James Maxwell spoke in support of development.

Upon a show of hands, there was a fairly equal show of opposition and support.

Ralph Boyd spoke in support of development.

Bruce Raheb spoke in support of development.

Harold Smyth responded stating that he would work with residents, the need for RV sites, addressed lighting, public access and security concerns.

Seeing no one else, Mayor Hudson closed the public hearing.

Commission discussion include addressing curfew, lighting clarification, RV placement and restrictions, traffic patterns, comparison of conditions on Sandhill Shores, gate connections and the need to provide a local contact phone for problems.

Motion was made by Commissioner Reginald Sessions, seconded by Commissioner Thomas Perona to approve item **10g** with the following staff conditions:

1. The applicant provides complete infrastructure and operational plans for the proposed RV spaces consistent with City Code Sections. 22-86. (5) & (6) and 22-85 (6), prior to building permit issuance for construction of this component.
2. The presented access and traffic flow plan for both vehicular and pedestrian traffic presented in the Site Plan are approved by the City of Fort Pierce Engineering Department and FDOT, and implemented, prior to issuance of Certificate of Occupancy.

3. Sidewalks are integrated within, and adjacent to, the development pursuant to City Code Section 22-62.(b)(4) & (d) prior to issuance of a Certificate of Occupancy.
4. The applicant provides updated traffic, parking, and drainage plans associated with Phase II of the development prior to issuance of building permits for said phase of construction.
5. The applicant presents the proposed light fixtures to ensure compliance with the City's design review guidelines, prior to building permit issuance.
6. The applicant receives approval by the City Engineer for the proposed pervious parking spaces pursuant to City Code Section 22-60 (c) a.& b. prior to building permit issuance.
7. A 24-hour telephone number for a company representative is to be provided to the police department for use when there is a complaint or problem.
8. Minimum restrictions required of Sandhill Shores RV Park and TC Motor Coach Park.

AYE: Commissioner Rufus Alexander, Commissioner Edward Becht, Commissioner Thomas Perona, Commissioner Reginald Sessions, Mayor Linda Hudson

Passed

- h. Review and approval of an application for a Conditional Use, submitted by property owners; the St. Lucie County Fire District, and applicant; M&R Global LLC to operate an Adult Day Care Facility located at 2400 Rhode Island Avenue, Fort Pierce, FL. The property is zoned C-1, Office Commercial (Parcel ID 2416-504-0754-010-3).

Vennis Gilmore, Planning Analyst, gave a brief presentation and was available for questions.

Mayor Hudson opened the public hearing.

Seeing no one, Mayor Hudson closed the public hearing.

Motion was made by Commissioner Edward Becht, seconded by Commissioner Rufus Alexander to approve item **10h**.

AYE: Commissioner Rufus Alexander, Commissioner Edward Becht, Commissioner Thomas Perona, Commissioner Reginald Sessions, Mayor Linda Hudson

Passed

11. MISCELLANEOUS REPORTS & REQUESTS

- a. Update on City Marina Operations - This item was postponed to a future meeting.

12. CITY COMMISSION

- a. Resolution 16-R04 Accepting the proposal of Capital One Public Funding, LLC to purchase the City's \$13,745,000 Stormwater Revenue Refunding Note and authorizing the execution and delivery of a Loan Agreement.

Linda Cox, City Clerk, introduced the Resolution, by title only, into the record.

Robert Schwerer, City Attorney, stated that taking advantage would save approximately \$100,000 per year in debt service.

Motion was made by Commissioner Edward Becht, seconded by Commissioner Thomas Perona to approve item **12a**.

AYE: Commissioner Rufus Alexander, Commissioner Edward Becht, Commissioner Thomas Perona, Commissioner Reginald Sessions, Mayor Linda Hudson

Passed

- b. Submittal of applications for City Planning Board. - This item will come back in the form of a Resolution.

13. COMMENTS FROM THE PUBLIC -

Don Voss

14. COMMENTS FROM THE CITY MANAGER

- a. City Manager's Departmental Activity Report

Nicholas Mimms, City Manager, announced the Highwaymen Heritage Trail Ribbon Cutting, Station 15 Rededication on February 26, 2016, parking improvement assessments, FEC clean up and recent successful SCORE workshop.

15. COMMENTS FROM THE COMMISSION

Commissioner Alexander had no comments.

Commissioner Perona stated that growing pains require balancing between builder proposals and homeowners' concerns. There is a lot of investment with time and effort in making Fort Pierce the right place. He is proud of the process.

Commissioner Sessions stated that he is concerned about police officers applying in for jobs outside of Fort Pierce and would like for it to be addressed.

Commissioner Becht stated that tonight was a good night and there are good things happening in Fort Pierce.

Mayor Hudson stated she'd like to send a letter in reference to beach re-nourishment on behalf of the Commission. The Highwaymen Festival is on February 20, 2016 and the Cracker Trail parade is on February 27, 2016.

- 16. ADJOURNMENT** - There being no further business, Mayor Hudson declared the meeting adjourned at 10:57 p.m.

ATTEST:

CITY CLERK

MAYOR COMMISSIONER

City Commission Regular Meeting

Agenda Item # 6. a.

Meeting Date: 03/07/2016

Re:

Submitted For: Linda Cox, City Clerk, City Clerk

SUBJECT:

American Red Cross Month Proclamation being received by Sarah Ruwe, American Red Cross.

Form Review

Form Started By: Caleta Scott
Final Approval Date: 02/17/2016

Started On: 02/17/2016 04:16 PM

City Commission Regular Meeting

Agenda Item # 6. b.

Meeting Date: 03/07/2016

Re:

Submitted For: Linda Cox, City Clerk, City Clerk

SUBJECT:

Believing in Girls Month Proclamation being received by Treasure Coast PACE Center for Girls.

Form Review

Form Started By: Caleta Scott
Final Approval Date: 02/17/2016

Started On: 02/17/2016 04:13 PM

City Commission Regular Meeting

Agenda Item # 6. c.

Meeting Date: 03/07/2016

Re:

Submitted For: Linda Cox, City Clerk, City Clerk

SUBJECT:

Flood Safety Awareness Week Proclamation being received by Bob Worcester, SAFER St. Lucie.

Attachments

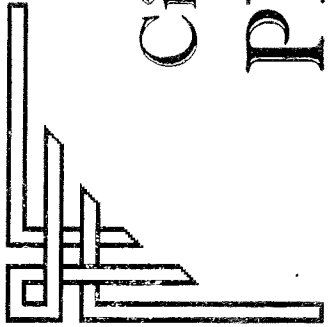
Flood Safety Awareness Week

Form Review

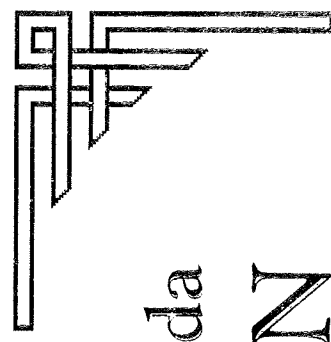
Form Started By: Caleta Scott

Started On: 02/26/2016 09:31 AM

Final Approval Date: 02/26/2016



City of Fort Pierce, Florida
PROCLAMATION



WHEREAS,

floods can happen anytime, anywhere and without warning; and

WHEREAS,

flooding creates emergencies of great concern to Fort Pierce, with imminent threat to life and property, has caused, and can cause extensive damage to homes, businesses and local government infrastructure; and

WHEREAS,

the State of Florida has received has received 22 presidential disaster declarations for severe weather events that have caused flooding since 2000; and

WHEREAS,

many parts of Florida have seen record breaking rainfall this year, creating elevated risk for flooding; and

WHEREAS,

damage from a flood is not normally covered under a standard homeowners' policy, residents are encouraged to review flood risk and purchase flood insurance to protect their property.

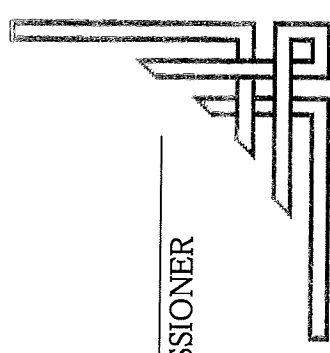
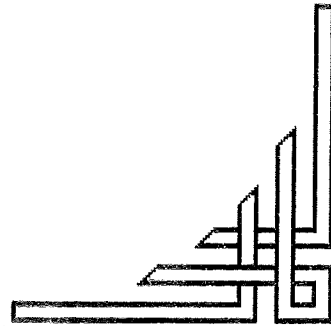
NOW, THEREFORE, I, Linda Hudson, Mayor of the City of Fort Pierce, Florida, do hereby proclaim the week of March 14 ~ 18, 2016, as:

Flood Safety Awareness Week

in the City of Fort Pierce.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the Official Seal of the City of Fort Pierce, Florida, to be affixed this 7th day of March, 2016.

MAYOR COMMISSIONER



City Commission Regular Meeting

Agenda Item # 7. a.

Meeting Date: 03/07/2016

Re: Email from James Clasby

Submitted For: Nick Mimms, City Manager, City Manager

SUBJECT:

Email from James Clasby in recognition of Kori Benton's timeliness, hard work and dedication.

Attachments

Email from James Clasby

Form Review

Inbox	Reviewed By	Date
City Manager	Nick Mimms	02/29/2016 12:36 PM
City Manager	Nick Mimms	02/29/2016 12:37 PM
Form Started By: Jennifer Robinson		Started On: 02/12/2016 08:52 AM
Final Approval Date: 02/29/2016		

From: "James Clasby" <james@paradisehomesfl.com>
To: nmimms@city-ftpierce.com, lhudson@city-ftpierce.com, ebecht@city-ftpierce.com, tperona@city-ftpierce.com, rsessions@city-ftpierce.com, ralexander@city-ftpierce.com
Date: Thu, Feb 11, 2016 4:15 PM
Subject: FW: <Watchdog: Virus checked>

I wanted to write this quick email to bring to your attention that you have a great public servant working for you. Kori Benton. Kori always replies to emails in a timely manner and when you call his phone at the city, he actually answers. Beyond simply answering the phone, Kori works hard to find the answers that I seek. It is obvious that he is very passionate about the city. He deserves to be recognized for his hard work and dedication. Simply put, the city needs more people like him.

Thank you and have a great weekend,

James Clasby, MPA

772-284-23-Your data has been truncated.

City Commission Regular Meeting

Agenda Item # 7. b.

Meeting Date: 03/07/2016

Re: Email from Gertrude Walker re: Highwaymen Heritage Trail Festival

Submitted For: Nick Mimms, City Manager, City Manager

SUBJECT:

Email from Gertrude Walker thanking the entire team, Mayor Hudson, Commissioners, City Manager Mimms, staff and volunteers for a wonderful Highwaymen Heritage Trail Festival Ribbon Cutting event.

Attachments

Email from Gertrude Walker

Form Review

Inbox	Reviewed By	Date
City Manager	Nick Mimms	02/29/2016 12:37 PM
City Manager	Jennifer Robinson	03/01/2016 08:22 AM
Form Started By: Jennifer Robinson		Started On: 02/22/2016 08:21 AM
Final Approval Date: 03/01/2016		



To: Jennifer D Robinson/cfp@cfp,
Cc: Elizabeth Woodruff/cfp@cfp,
Bcc:
Subject: Fw: Congratulations!
From: Nicholas Mimms/cfp - Monday 02/22/2016 08:07 AM

----- Forwarded by Nicholas Mimms/cfp on 02/22/2016 08:06 AM -----

From: Elizabeth Woodruff/cfp
To: Nicholas Mimms/cfp@cfp
Date: 02/22/2016 08:01 AM
Subject: Fw: Congratulations!

Thank you from Gertrude... for the entire 'Team'.

Libby Woodruff

Urban Redevelopment Manager
City of Fort Pierce
100 North U.S. Hwy. 1
Fort Pierce, Florida 34950
772-467-3169

~ We L-O-V-E Fort Pierce! ~

**A bad attitude is like a flat tire.
If you don't change it,
you'll never go anywhere.**

----- Forwarded by Elizabeth Woodruff/cfp on 02/22/2016 08:00 AM -----

From: Gertrude Walker <gwalker0818@gmail.com>
To: Libby Woodruff <EWoodruff@city-ftpierce.com>, Doretha Hair <dhair@aol.com>, caletascott@gmail.com, rgorhall@gmail.com
Date: 02/21/2016 02:17 PM
Subject: Congratulations!

Hi Libby,

Thank you for a wonderful festival. I just can't thank you enough for your steadfast efforts in fulfilling a dream that I and many others have harbored for years but most importantly for putting your whole heart into it and it showed. The entire team, Mayor Hudson, Commissioners, City Manager Mimms, staff, and volunteers were all phenomenal.

You a delight to work with.

Warmest regards,

Gertrude

City Commission Regular Meeting

Agenda Item # 7. c.

Meeting Date: 03/07/2016

Re: Email from Tony Farella - Security at the Sunrise Theatre

Submitted For: Nick Mimms, City Manager, City Manager

SUBJECT:

Email from Tony Farella commending the Police Department for security provided at the Sunrise Theatre at 10:00 PM on February 20, 2016.

Attachments

Email from Tony Farella

Form Review

Inbox	Reviewed By	Date
City Manager	Nick Mimms	02/29/2016 12:37 PM
City Manager	Jennifer Robinson	03/01/2016 08:23 AM
Form Started By: Jennifer Robinson		Started On: 02/22/2016 10:16 AM
Final Approval Date: 03/01/2016		



To: Jennifer D Robinson/cfp@cfp,
Cc: dhobley-burney@fppd.org,
Bcc:
Subject: Fw: security
From: Nicholas Mimms/cfp - Monday 02/22/2016 10:02 AM

From: Tony Farella [<mailto:arf0292@gmail.com>]
Sent: Sunday, February 21, 2016 7:57 AM
To: Rosetta Smith <rsmith@fppd.org>
Subject: security

Chief, I would like to commend your department in particular the Command person responsible for security at 10:00 pm on 02/20/16 at the Sunrise Theater. After exiting the performance my wife and I were greeted by the Police Officer stationed outside the main entrance. He made us feel safe as we had to walk a few blocks to our vehicle. He acknowledged us and stated to us " have a nice evening". That wasn't the end. After arriving at the public parking garage a marked patrol vehicle was observed inside the garage. I know from experience that Police Officers do not receive the respect that they deserve. I hope that everyone that exited that show felt the same way that my wife and I did.

A.R. Farella

City Commission Regular Meeting

Agenda Item # 7. d.

Meeting Date: 03/07/2016

Re: Email from Charley Williams - Ribbon-Cutting for Highwaymen Trail

Submitted For: Nick Mimms, City Manager, City Manager

SUBJECT:

Email from Charley Williams, who resides in Orlando, congratulating the entire team on the success of the ribbon cutting festival for The Highwaymen Trail.

Attachments

Email from Charley Williams

Form Review

Inbox	Reviewed By	Date
City Manager	Nick Mimms	02/29/2016 12:37 PM
City Manager	Jennifer Robinson	03/01/2016 08:23 AM
Form Started By: Jennifer Robinson		Started On: 02/22/2016 11:42 AM
Final Approval Date: 03/01/2016		



To: Jennifer D Robinson/cfp@cfp,
Cc: Elizabeth Woodruff/cfp@cfp,
Bcc:
Subject: Fw: Charley/Orlando: Congrats on a Wonderful Sat/Ribbon-Cutting for Highwaymen Trail.
Whoo Hoooo!
From: Nicholas Mimms/cfp - Monday 02/22/2016 10:40 AM

----- Forwarded by Elizabeth Woodruff/cfp on 02/22/2016 10:32 AM -----

From: Charley Williams <cjwilliams@g-e-c.com>
To: "Elizabeth Woodruff (ElizabethWoodruff@City-FtPierce.Com)"
<ElizabethWoodruff@City-FtPierce.Com>
Cc: "Kristen Congdon (kgcongdon@gmail.com)" <kgcongdon@gmail.com>
Date: 02/22/2016 10:21 AM
Subject: Charley/Orlando: Congrats on a Wonderful Sat/Ribbon-Cutting for Highwaymen Trail. Whoo Hoooo!

Hi Libby:

Just wanted to congratulate you and the entire team on a great Saturday morning in Ft. Pierce.

Long time coming I know.

So enjoyed the trolley tour with Gertrude Walker and Pam Carithers.

Seeing your trail markers made the story I've been following for years....come alive!

Cheers and best regards,

Charley

Charley Williams
Manager, Business Development
[25YrsGECLogo]
Geotechnical and Environmental Consultants, Inc. (GEC)
Phone: (321) 352-8967
Cell: (407) 467-5515
Email: cjwilliams@g-e-c.com<BLOCKED::blocked::mailto:cjwilliams@g-e-c.com>
website: www.g-e-c.com<<http://www.g-e-c.com/>>



image001.jpg

City Commission Regular Meeting

Agenda Item # 7. e.

Meeting Date: 03/07/2016

Re: Commendation Letter from Cleveland Design Group, Inc.

Submitted For: Nick Mimms, City Manager, City Manager

SUBJECT:

Letter from David M. Cleveland commending the Building Department for their professionalism, attention to detail and compliance with ever changing sets of codes.

Attachments

Letter from David M. Cleveland

Form Review

Inbox	Reviewed By	Date
City Manager	Nick Mimms	02/29/2016 12:37 PM
City Manager	Jennifer Robinson	03/01/2016 08:23 AM
Form Started By: Jennifer Robinson		Started On: 02/24/2016 11:40 AM
Final Approval Date: 03/01/2016		

CLEVELAND DESIGN GROUP INC.

772.464.2010
vidand12@yahoo.com

100 Avenue A, Suite 2E
Fort Pierce, Florida
34950

February 19, 2016

To: City of Fort Pierce
Mayor Linda Hudson

Re: Permit Issuance Time

Mayor Hudson,

I am in receipt of correspondence discussing the need to reduce the time that it takes to issue building permits within the City of Fort Pierce. The bar chart that I looked at indicates that a large commercial permit averages 24 days from submission to issuance. If indeed that is accurate, your building department is to be commended on the efficiency with which it processes permits.

No other surrounding jurisdiction comes close to the 24 day processing time.

The building department has remained very professional, often in the face of less than civil applicants. Their attention to detail and compliance with ever changing sets of codes is admirable.

David M. Cleveland
President

RECEIVED
FEB 22 2016
Building Department

City Commission Regular Meeting

Agenda Item # 7. f.

Meeting Date: 03/07/2016

Re: City Marina 5 Star Review

Submitted For: Nick Mimms, City Manager, City Manager

SUBJECT:

Email from Active Captain with a 5 star review "Great & Getting Better" of the new marina facility and staff.

Attachments

City Marina 5 Star Review

Form Review

Form Started By: Jennifer Robinson

Started On: 02/29/2016 01:04 PM

Final Approval Date: 02/29/2016



To: Jennifer D Robinson/cfp@cfp,
Cc: fpcmdean/cfp@cfp,
Bcc:
Subject: Fw: Fort Pierce City Marina has received a new review on ActiveCaptain...
From: Nicholas Mimms/cfp - Monday 02/29/2016 12:34 PM

----- Forwarded by fpcmdean/cfp on 02/29/2016 10:38 AM -----

From: reviews@activecaptain.com
To: fpcmdean@city-ftpierce.com
Date: 02/28/2016 03:31 PM
Subject: Fort Pierce City Marina has received a new review on ActiveCaptain...

*** ActiveCaptain Sponsor Review Email ***

Fort Pierce City Marina (marina) received a new 5 star review and now has a total of 136 reviews.

Direct link to marker:

<https://activecaptain.com/X.php?lat=27.4506405875887&lon=-80.3222623571472>

Captain: Just Bob (20)

Title of review

Great & Getting Better

Body of review

I write this with reservation because I don't want it to become too popular, but this place is great!

Not only is the new facility very nice, the marina staff is great, from the management to the dock staff.

The city has a reputation for being a rough city with more than its share of crime and poverty but we can tell you it's working hard to change that. From this great new Marina, to a renovated plaza and waterfront park, and one of the best farmers' markets in all of Florida. From a great restored theatre with a terrific lineup of shows to very good restaurants, Fort Pierce has all the ingredients to be a great destination.

We spent two months, December 15 - January 16 and are already planning on going back next year.

As has been mentioned, the currents are swift in the marina at peak flow, but if you plan for them and understand what they are doing to your vessel when docking, they are not a problem. You can always try to enter at slack current.

Bob & Dori
M/V Liberdade

City Commission Regular Meeting

Agenda Item # 7. g.

Meeting Date: 03/07/2016

Re: Commendation Letter from Doretha Hair Truesdell

Submitted For: Nick Mimms, City Manager, City Manager

SUBJECT:

Letter from Doretha Hair Truesdell congratulating and thanking Elizabeth Woodruff and the City of Fort Pierce for their efforts and hard work on The Highwaymen Heritage Trail, Art Show and Festival.

Attachments

Letter from Doretha Hair Truesdell

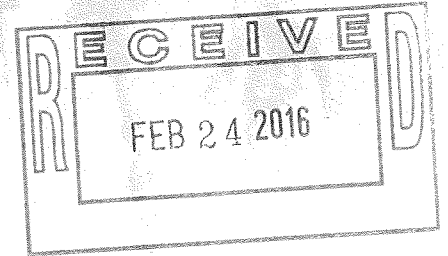
Form Review

Form Started By: Jennifer Robinson

Started On: 03/03/2016 08:35 AM

Final Approval Date: 03/03/2016

ORIGINAL FLORIDA HALL OF FAME HIGHWAYMEN, INC.
P.O.BOX 1254
FORT PIERCE, FLORIDA 34954-1254
Telephone # 772-252-4088



February 22, 2016

City of Fort Pierce
100 N. US 1
Fort Pierce, FL 34950

Attn: The Honorable Linda Hudson, Mayor and City Commissioners

Re: Commendation – Elizabeth Woodruff

The purpose of this letter is to congratulate Elizabeth Woodruff and the City of Fort Pierce for their unrivaled efforts and hard work on behalf of the Florida Highwaymen Heritage Trail, Art Show and Festival. The compliments about the Festival are too numerous to list.

The Original Florida Hall of Fame Highwaymen would like to say Thank You for all of your hard work. We are eagerly looking forward to our Highwaymen Festival in 2017.

Sincerely yours,

A handwritten signature in cursive script that reads "Doretha Hair Truesdell".

Doretha Hair Truesdell

City Commission Regular Meeting

Agenda Item # 10. a.

Meeting Date: 03/07/2016

Re: Fort Pierce Yacht Club - Assignment of Lease

Submitted For: Nick Mimms, City Manager, City Manager

SUBJECT:

Approval of Assignment of Lease between St. Lucie County and the City of Fort Pierce, assigning the County's rights, duties, liability and obligations of the Lease Agreement with the Fort Pierce Yacht Club for the property located at 700 North Indian River Drive to the City, contingent upon approval by City Attorney as to form and correctness.

SUMMARY:

On December 14, 1976, the County and City entered into a lease agreement for Indian River Memorial Park along Indian River Drive. The County vacated the property affected by the lease agreement and relocated all activities to the Fenn Center on September 30, 2008. Then, the City terminated the lease agreement with the County on November 14, 2008.

The County entered into a lease agreement with the Fort Pierce Yacht Club for 700 North Indian River Drive on September 8, 1984, and desires to assign this lease to the City effective November 14, 2008.

The Assignment of Lease was approved by the Board of County Commissioners at the January 26, 2016 meeting.

RECOMMENDATION:

Staff recommends approval of the Assignment of Lease.

ALTERNATIVES:

Staff will proceed as directed by the City Commission.

RESPONSIBLE STAFF:

Nicholas C. Mimms, City Manager

COORDINATED WITH:

Saint Lucie County

Fiscal Impact

Budgeted Y/N:

Fiscal Year:

Account:

Amount:

OTHER INFORMATION:

\$10.00/year per lease agreement.

Attachments

Lease Assignment

Form Review

Inbox	Reviewed By	Date
City Manager	Nick Mimms	02/10/2016 03:27 PM
City Manager	Nick Mimms	02/10/2016 03:27 PM
Form Started By: Jennifer Robinson		Started On: 01/15/2016 09:32 AM
Final Approval Date: 02/10/2016		

CITY OF FORT PIERCE - OFFICE OF THE CITY ATTORNEY

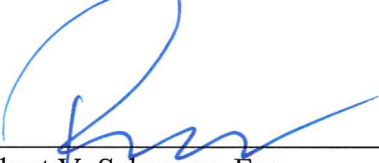
M E M O R A N D U M

TO: Linda Cox, City Clerk (*via email*)
FROM: Robert V. Schwerer, City Attorney
SUBJECT: Assignment of Lease – Fort Pierce Yacht Club
DATE: February 22, 2016

At their regular meeting of February 16, 2016, the City Commission approved an Assignment of Lease between the County and the City pertaining to the Fort Pierce Yacht Club lease subject to review and approval by the City Attorney. Prior to said meeting, Legal identified a number of edits that would be needed in order to approve of the form and correctness of the Assignment. Attached is a revised document approved by this office.

Please obtain the Mayor's and your signatures on the lines provided on both of the attached, and insert the date of the City's signing on the line below my signature. Thereafter, forward both of these to my office and we will transmit the same to the County Attorney for signing by the County.

Please do not hesitate to let me know if you have any questions concerning the attached.



Robert V. Schwerer, Esq.
City Attorney

/mlp
Attachment
cc: Nicholas Mimms, City Manager (*via email*)

ASSIGNMENT OF LEASE BETWEEN
ST. LUCIE COUNTY AND
FORT PIERCE YACHT CLUB
CONTRACT NO. C86-09-117

THIS ASSIGNMENT OF LEASE is made and entered into this _____ day of February, 2016, by and between **ST. LUCIE COUNTY**, a political subdivision of the State of Florida (the “County”) and the **CITY OF FORT PIERCE, FLORIDA**, a Florida municipal corporation, (the “City”).

W I T N E S S E T H:

WHEREAS, the County and the City entered into a Lease Agreement on December 14, 1976 for certain property known as Indian River Memorial Park located along Indian River Drive, Fort Pierce, Florida; and,

WHEREAS, the County and Fort Pierce Yacht Club entered into a Lease Agreement on September 8, 1984 for certain property located at 700 North Indian River Drive, Fort Pierce, Florida within Indian River Memorial Park; and,

WHEREAS, on September 30, 2008, the County vacated the lands and premises affected by the Lease entered into on December 14, 1976 and relocated all scheduled programming and other activities to the Havert L. Fenn Center; and,

WHEREAS, on November 14, 2008 the City terminated the Lease Agreement with the County dated December 14, 1976; and,

WHEREAS, the County desires to assign the Lease Agreement of November 14, 2008 with the Fort Pierce Yacht Club to the City.

NOW, THEREFORE, in consideration of the mutual covenants contained herein, the County and the City hereby agree as follows:

1. **Assignment of Lease**. The County hereby assigns to the City all of its interests, rights, duties and responsibilities as set forth in the Fort Pierce Yacht Club Agreement

dated September 8, 1984, incorporated herein.

- 2. **Assumption of Lease.** As of the Effective Date of this Assignment, the City hereby agrees to its substitution as Lessor and to perform and discharge all rights, duties, and responsibilities as set forth in the Agreement dated September 8, 1984.
- 3. **Effective Date.** This Assignment shall be effective as of the date of this Assignment.

IN WITNESS WHEREOF, the parties hereto have executed this Assignment on the date first above written.

ATTEST:

**BOARD OF COUNTY COMMISSIONERS
ST. LUCIE COUNTY**

Deputy Clerk

BY: _____
Chairman

**APPROVED
AS TO FORM AND CORRECTNESS**

BY: _____
Daniel S. McIntyre, County Attorney

Date: _____

ATTEST:

CITY OF FORT PIERCE, FLORIDA

BY: _____
Linda Cox, City Clerk

BY: _____
Linda Hudson, Mayor

**APPROVED
AS TO FORM AND CORRECTNESS:**

BY:  _____
Robert V. Schwerer, City Attorney

Date: _____

City Commission Regular Meeting

Agenda Item # 10. b.

Meeting Date: 03/07/2016

Re: South Jetty Walkway License Agreement

Submitted For: Mike Reals, Public Works Manager, Public Works

SUBJECT:

Approve License Agreement No. DACW17-3-16-0001 between Department of the Army and the City of Fort Pierce granting the city the ability to install, use, repair and maintain a concrete walkway/maintenance tract, lights, benches and trash receptacles on the South Jetty for a period of 5 years with an opportunity to renew.

SUMMARY:

The Public Works Department placed a concrete walkway/maintenance tract, low level solar lighting, benches and trash receptacles on the South Jetty as part of the Army Corps of Engineers (ACOE) South Jetty repair project the City assisted with after the 2005 hurricane season. In December, 2010, the City and the ACOE entered into a five - year license agreement for the continued use and maintenance of these facilities. It is the City's desire to continue such use and maintenance.

RECOMMENDATION:

Approve License Agreement

ALTERNATIVES:

Do not approve.

RESPONSIBLE STAFF:

Mike Reals, Public Works Manager

COORDINATED WITH:

Nick Mimms, City Manager
Rob Schwerer, City Attorney

Fiscal Impact

Budgeted Y/N:

Fiscal Year:

Account:

Amount:

OTHER INFORMATION:

No fiscal impact.

Attachments

South Jetty Walkway License

Form Review

Inbox

City Manager

Form Started By: Linda Cox

Final Approval Date: 02/29/2016

Reviewed By

Nick Mimms

Date

02/29/2016 12:37 PM

Started On: 02/11/2016 12:58 PM

DEPARTMENT OF THE ARMY LICENSE

Fort Pierce Harbor
PROJECT/INSTALLATION

St. Lucie County, Florida
COUNTY, STATE

THE SECRETARY OF THE ARMY, hereinafter referred to as the Secretary, under authority of General Administrative Powers, hereby grants to, the **CITY OF FORT PIERCE, FLORIDA**, hereinafter referred to as the grantee, a license to install, use, repair and maintain a concrete walkway/maintenance track, low level solar lights, benches and trash receptacles on the South Jetty of the Fort Pierce Harbor Project, hereinafter referred to as the premises, containing 0.33 acres, more or less, as shown highlighted on Exhibit "A", attached here and made part hereof, herein referred to as the premises.

THIS LICENSE is granted subject to the following conditions.

1. TERM

This license is granted for a term of five (5) years beginning 14 December 2015 and ending on 13 December 2020, but revocable at will by the Secretary and provided further that this license may be renewed at five (5) year intervals upon review and approval by the U. S. Army Corps of Engineers. Secretary. This license shall replace and supersede Department of the Army License No. DACW17-3-10-0002.

2. CONSIDERATION

a. The consideration for this license shall be the construction, operation and maintenance of the premises for the benefit of the general public in accordance with the terms and conditions hereinafter set forth.

3. NOTICES

All notices and correspondence to be given pursuant to this license shall be addressed, if to the grantee, to City Manager, City of Fort Pierce, City Hall, 100 North U.S. Highway 1, Ft. Pierce, Florida 34954; and if to the United States, to the District Engineer, Attention: Chief, Real Estate Division, Post Office Box 4970, Jacksonville, Florida 32232-0019; or as may from time to time otherwise be directed by the parties. Notice shall be deemed to have been duly given if and when enclosed in a properly sealed envelope addressed as aforesaid, and deposited, postage prepaid, in a post office regularly maintained by the United States Postal Service.

4. AUTHORIZED REPRESENTATIVES

Except as otherwise specifically provided, any reference herein to "District Engineer" or "said officer" shall include their duly authorized representatives. Any reference to "grantee" shall include any duly authorized representatives.

5. SUPERVISION BY THE DISTRICT ENGINEER

The use and occupation of the premises shall be subject to the general supervision and approval of the District Engineer hereinafter referred to as said officer, and to such rules and regulations as may be prescribed from time to time by said officer.

6. APPLICABLE LAWS AND REGULATIONS

The grantee shall comply with all applicable Federal, state, county and municipal laws, ordinances and regulations wherein the premises are located.

7. CONDITIONAL USE BY GRANTEE

The exercise of the privileges herein granted shall be:

- a. without cost or expense to the United States;
- b. subject to the right of the United States to improve, use or maintain the premises;
- c. subject to other outgrants of the United States on the premises;
- d. personal to the grantee, and this license, or any interest therein, may not be transferred or assigned.

8. CONDITION OF PREMISES

The grantee acknowledges that it has inspected the premises, knows its condition, and understands that the same is granted without any representations or warranties whatsoever and without any obligation on the part of the United States.

9. COST OF UTILITIES

The grantee shall pay the cost, as determined by the officer having immediate supervision over the premises, of producing and/or supplying any utilities and other services furnished by the Government or through Government-owned facilities for the use of the grantee, including the grantee' proportionate share of the cost of operation and maintenance of the Government-owned facilities by which such utilities or services are produced or supplied. The Government shall be under no obligation to furnish utilities or services. Payment shall be made in the manner prescribed by the officer having such jurisdiction.

10. PROTECTION OF PROPERTY

The grantee shall keep the premises in good order and in a clean, safe condition by and at the expense of the grantee. The grantee shall be responsible for any damage that may be caused to property of the United States by the activities of the grantee under this license, and shall exercise due diligence in the protection of all property located on the premises against fire or damage from any and all other causes. Any property of the United States damaged or destroyed by the grantee incident to the exercise of the privileges herein granted shall be promptly repaired or replaced by the grantee to a condition satisfactory to said officer, or at the election of said officer, reimbursement made therefor by the grantee in an amount necessary to restore or replace the property to a condition satisfactory to said officer.

11. INDEMNITY

The United States shall not be responsible for damages to property or injuries to persons which may arise from or be incident to the exercise of the privileges herein granted, or for damages to the property of the grantee, or for damages to the property or injuries to the person of the grantee's officers, agents, or employees or others who may be on the premises at their invitation or the invitation of any one of them, and the grantee shall hold the United States harmless from any and all such claims not including damages due to the fault or negligence of the United States or its contractors.

12. RESTORATION

On or before the expiration of this license or its termination by the grantee, the grantee shall vacate the premises, remove the property of the grantee, and restore the premises to a condition satisfactory to said officer. If, however, this license is revoked, the grantee shall vacate the premises, within such time as the District Engineer may designate. In either event, if the grantee shall fail or neglect to remove said property and restore the premises, then, at the option of said officer, the property shall either become the property of the United States without compensation therefor, or said officer may cause the property to be removed and no claim for damages against the United States or its officers or agents shall be created by or made on account of such removal and restoration work. The grantee shall also pay the United States on demand any sum, which may be expended by the United States after the expiration, revocation, or termination of this license in restoring the premises.

13. NON-DISCRIMINATION

The grantee shall not discriminate against any person or persons or exclude them from participation in the grantee's operations, programs or activities because of race, color, religion, sex, age, handicap or national origin in the conduct of operations on the premises. The grantee will comply with the Americans with Disabilities Act and attendant Americans with Disabilities Act Accessibility Guidelines (ADAAG) published by the Architectural and Transportation Barriers Compliance Board.

14. TERMINATION

This license may be terminated by the grantee at any time by giving the District Engineer at least ten (10) days notice in writing provided that no refund by the United States of any consideration previously paid shall be made and provided further, that in the event that said notice is not given at least ten (10) days prior to the rental due date, the grantee shall be required to pay the consideration for the period shown in the Condition on CONSIDERATION.

15. ENVIRONMENTAL PROTECTION

a. Within the limits of their respective legal powers, the parties to this license shall protect the premises against pollution of its air, ground and water. The grantee shall comply with any laws, regulations, conditions, or instructions affecting the activity hereby authorized if and when issued by the Environmental Protection Agency, or any Federal, state, interstate or local governmental agency having jurisdiction to abate or prevent pollution. The disposal of any toxic or hazardous materials within the premises is specifically prohibited. Such regulations, conditions, or instructions in effect or prescribed by said Environmental Protection Agency, or any Federal, state, interstate or local governmental agency are hereby made a condition of this license. The grantee shall not discharge waste or effluent from the premises in such a manner that the discharge will contaminate streams or other bodies of water or otherwise become a public nuisance.

b. The grantee will use all reasonable means available to protect the environment and natural resources, and where damage nonetheless occurs from the grantee's activities, the grantee shall be liable to restore the damaged resources.

c. The grantee must obtain approval in writing from said officer before any pesticides or herbicides are applied to the premises.

16. HISTORIC PRESERVATION

The grantee shall not remove or disturb, or cause or permit to be removed or disturbed, any historical, archeological, architectural or other cultural artifacts, relics, remains or objects of antiquity. In the event such items are discovered on the premises, the grantee shall immediately notify said officer and protect the site and the material from further disturbance until said officer gives clearance to proceed.

17. DISCLAIMER

This license is effective only insofar as the rights of the United States in the premises are concerned; and the grantee shall obtain any permit or license which may be required by Federal, state, or local statute in connection with the use of the premises. It is understood that the granting of this license does not preclude the necessity of obtaining a

Department of the Army permit for activities which involve the discharge of dredge or fill material or the placement of fixed structures in the waters of the United States, pursuant to the provisions of Section 10 of the Rivers and Harbors Act of 3 March 1899 (33 U.S.C. 403), and Section 404 of the Clean Waters Act (33 U.S.C. 1344).

THIS LICENSE is not subject to Title 10, United States Code, Section 2662, as amended.

IN WITNESS WHEREOF, I have hereunto set my hand by authority of the Secretary of the Army, this _____ day of _____, 2011.

AUDREY C. ORMEROD
District Chief of Real Estate
Real Estate Contracting Officer
U.S. Army Corps of Engineers
Jacksonville, Florida

THIS LICENSE is also executed by the grantee this _____ day of _____, 2016.

CITY OF FORT PIERCE, FLORIDA

BY: _____

Attest:

APPROVED AS TO FORM AND CORRECTNESS

BY:  _____
City Attorney

CERTIFICATE OF AUTHORITY

I, _____, certify that I am the _____ of the City Commission, Fort Pierce, Florida, that _____ who signed the foregoing instrument on behalf of the grantee was then _____ of the City Commission. I further certify that the said officer was acting within the scope of powers delegated to this officer by the governing body of the grantee in exercising said instrument.

Date: _____

(Signature)

City Commission Regular Meeting

Agenda Item # 10. c.

Meeting Date: 03/07/2016

Re: Partial Lien Reduction - 1635 Thumb Point Dr

Submitted For: Peggy Arraiz, Code Compliance Manager, Code Enforcement

SUBJECT:

Request for partial release of two parcels located in St. Lucie County, identified as PID 1211-111-0001-0009 and 1214-111-0001-0008, owned by BAER, LLC, 1650 90th Avenue, Vero Beach, FL 32966 from a code enforcement lien in the amount of \$453,310.00 filed against 1635 Thumb Point Drive, Parcel ID 2401-605-0030-000-3 owned by John B. Culverhouse contingent upon payment of \$5,000.00 within 60 days.

SUMMARY:

- In 2007, the City filed a lien against 1635 Thumb Point Drive and Mr. John B. Culverhouse for violation of the building code.
- This lien "spread" to all properties owned by John B. Culverhouse, including the two parcels identified as PID 1211-111-0001-0009 and 1214-111-0001-0008.
- The two identified parcels were sold in 2012 and the title company failed to identify the spreading lien.
- The two parcels have again been sold to a private party and they identified the cloud on the title from the prior spreading lien.
- A request is made to release these parcels from the spreading lien located at 1635 Thumb Point Drive in consideration for \$5000.00 payable in 60 days.
- The lien will remain attached to 1635 Thumb Point Drive and any other real property owned by Mr. John B. Culverhouse.

RECOMMENDATION:

The Code Enforcement Board and staff recommend accepting \$5000.00 for a partial release of the two identified parcels from the lien attached to 1635 Thumb Point Drive.

ALTERNATIVES:

Deny request.
Determine alternative recommendation.

RESPONSIBLE STAFF:

Colleen Greer, Code Enforcement Executive Secretary.

COORDINATED WITH:

Margaret Arraiz, Code Compliance Manager.
Kathy D'Arton, Accounts Receivable.

Fiscal Impact

Budgeted Y/N: 2016

Fiscal Year:

Account:

Amount: 5000.00

OTHER INFORMATION:

\$5,000 to the general fund.

Attachments

Request for Release

Tax Card

Breakdown

Form Review

Inbox

City Manager

City Manager

Form Started By: Collen Greer

Final Approval Date: 02/29/2016

Reviewed By

Jennifer Robinson

Nick Mimms

Date

02/29/2016 10:03 AM

02/29/2016 12:38 PM

Started On: 02/24/2016 11:37 AM



CITY OF FORT PIERCE

DIVISIONS OF CODE ENFORCEMENT & ANIMAL CONTROL

MARGARET M. ARRAIZ, CODE COMPLIANCE MANAGER

REQUEST FOR A REDUCTION OR RESCINDMENT OF CODE ENFORCEMENT FINES / LIENS

Date:			
Property address:		Indrio Road Extension - No address	
Owner(s) of record:		BAER, LLC, a Florida Limited Liability Company	
Mailing address:		1650 90th Avenue, Vero Beach, Florida 32966	
Property tax ID #:		1211-111-0001-000-9; and 1214-111-0001-000-8	
Original purchase date:		Unknown	Original purchase price: Unknown
Other Information:		<input type="checkbox"/> Inherited Property	<input type="checkbox"/> Purchased at Tax Sale <input type="checkbox"/> Adjoining Property Owner
Property is used for:		<input type="checkbox"/> Single Family <input type="checkbox"/> Multi-family <input checked="" type="checkbox"/> Agriculture Commercial	<input type="checkbox"/> Industrial <input type="checkbox"/> Vacant Lot
Name of person requesting reduction:		Frank H. Fee, III, Esquire	Relationship to owner(s) Attorney and agent for BAER, LLC (owner)
Telephone #:		c/o Frank H. Fee, III 772-461-5020	Mobile phone #:
E-mail:		ffee@feederossfee.com	Preferred contact method:
What are owner(s) intentions for property: Hold for agricultural use.			
Amount of Fine:		Unknown	Date Fine Initiated: Unknown
Are there current code violations?		<input type="checkbox"/> No <input type="checkbox"/> Yes	Explain: (please attached notice) unknown
Is a lien filed against the property?		<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes	If yes, what is the lien amount? \$200,000.00 +
Is property listed for sale?		<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	If yes, what is listing price?
Is property under contract for sale?		<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	If yes, what is the sale price?

AMOUNT OF FINE / LIEN \$ _____

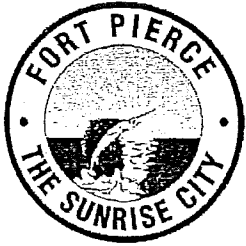
DOLLAR AMOUNT REQUESTING TO BE WAIVED \$ _____

DOLLAR AMOUNT I AGREE TO PAY **\$5,000.00**

If the city waives any fees, interest, penalties, fine or lien amount, the undersigned does hereby agree to pay the remainder within sixty (60) days from the date of the Board, Magistrate or Commission's decision unless an alternate time frame is specified in the motion.

Frank Fee III
(Signature of Owner or Representative)

BAER, LLC
(Printed Name)



CITY OF FORT PIERCE

DIVISIONS OF CODE ENFORCEMENT & ANIMAL CONTROL

MARGARET M. ARRAIZ, CODE COMPLIANCE MANAGER

REQUEST FOR REDUCTION OF PENALTY

By completing this form, you are making statements under oath. Failure to be truthful is a violation of Fort Pierce City Code and Florida Statutes pertaining to perjury, which is a felony punishable by up to fifteen (15) years imprisonment.

INSTRUCTIONS:

1. Please fill in blanks completely.
2. Be specific when writing your statement. Use additional pages if necessary.
3. If you are claiming medical or financial hardship, attach supporting documentation (i.e. doctor's statement or proof of income).
4. Complete either the application for Waiver of Penalties (lot clearing / demolition) or Request for Reduction / Rescindment (code enforcement fines).
5. For lot clearing or demolition liens, contact Kathy D'Arton in the Finance Department (772-467-3076) for cost / fees breakdown.
6. For code enforcement liens (those imposed by a Special Magistrate or Code Enforcement Board), contact Colleen Greer (772-467-3149) for cost / fees breakdown.
7. If you do not have access to a Notary of the Public, one will be provided to you by the Department at no charge. All forms must be signed in the presence of the Notary to be valid.
8. Return this form, the application and any other pertinent documentation to the Code Enforcement Department.
9. Requests for Reduction / Rescindment of code enforcement liens must be heard before either the Code Enforcement Board or Special Magistrate prior to being heard before the City Commission.

Property Address: Indrio Road Extension (Private)

Property Owner: BAER, LLC, a Florida Limited Liability Company
c/o FRank H. Fee, III, Esquire

Mailing Address: 426 Avenue A - Fort Pierce, Florida 34950

Telephone #: 772-461-5020 Cell Phone #: _____

E-Mail Address: ffee@feederossfee.com

Is the property in compliance? N/A If no, please explain The property not in compliance
is one or more lots in Thumb Point Subdivision owned by John B. Culverhouse. The subject
property is in Western St. Lucie County outside the municipal limits. It was formerly
owned by John B. Culverhouse, but was sold by him to Harry J. Kicliter, Jr., on
December 12, 2012, and re-sold by him to Applicant on December 24, 2015, by deed
recorded in O. R. Book 3822, Page 389 of the public records of St. Lucie County,
Florida. The Property of Applicant has been determined affected by the lien spreading
provision of FS§162.09(3).

100N.US Hwy 1 ☐ P.O.Box 1480 ☐ Fort Pierce, FL 34954-1480 ☐ 772-467-3000

www.cityoffortpierce.com



CITY OF FORT PIERCE

DIVISIONS OF CODE ENFORCEMENT & ANIMAL CONTROL

MARGARET M. ARRAIZ, CODE COMPLIANCE MANAGER

I, FRANK H. FEE, III, Esquire, do hereby submit this Petition in request for a reduction in the total amount of the penalty imposed and in support offer the following statement:

1. The undersigned represents BAER, LLC, a Florida Limited Liability Company ("BAER") and its title insuring agent, Old Republic Title Insurance Company and Treasure Coast Title & Escrow, and as such makes the following statement:
2. BAER purchased real property formerly owned by John B. Culverhouse, Jr., ("Culverhouse") by deed recorded in O. R. Book 3822, Page 389, St. Lucie County Public Records, paying full value therefor.
3. At the time of purchase, a lien for fines was recorded upon lots in the City located in Thumb Point Subdivision owned by Culverhouse, which spread to property purchased from him located elsewhere. The lien affecting the Thumb Point lots was not discovered by title search.
4. As to BAER, the non-compliance of Thumb Point Lots is irreparable by it, as it does not own the non-compliant lots.
5. It is requested that the penalties imposed as to the Thumb Point non-compliance be set at \$5,000.00 for the sole purpose of releasing the BAER lands located outside the City, pursuant to FS§162.09(2)(a), the legal description of which is attached hereto as Exhibit "A".

Date: Jan 25, 2016

Signed: [Signature]
Print Name: FRANK H. Fee, III, Esquire

STATE OF FLORIDA
COUNTY OF ST. LUCIE

PERSONALLY APPEARED before me, the undersigned authority Frank H. Fee, III, Esquire who acknowledged before me that the information contained herein is true and correct. He / ~~She~~ is ~~not~~ personally known to me and has produced _____ as identification.

SWORN TO AND SUBSCRIBED before me this 25th day of January, 2016.



[Signature]
Notary Public, State of Florida

EXHIBIT "A"

Being that part of Section 11, Township 34 South, Range 38 East, and that part of the North 1/2 of Section 14, Township 34 South, Range 38 East, St. Lucie County, Florida, lying East of the described line:

Begin at the Southeast corner of the West 3/4 of the North 1/2 of Section 14, thence run Northerly, a distance of 7,959.28 feet, more or less, to the Northeast corner of the West 3/4 of Section 11.

Less the South 30 feet of the North 1/2 of Section 14, Township 34 South, Range 38 East; but Together with the full rights of ingress and egress over and upon that certain 60 foot private road known as Indrio Road Extension, as reserved to John B. Culverhouse in that certain Warranty Deed of conveyance in favor of Strazzulla Bros. Co. Inc., recorded in O.R. Book 480, Page 2845, of the Public Records of St. Lucie County, Florida.

Property Identification

Site Address: 1635 THUMB POINT DR
 Map ID: 24/01E
 Parcel ID: 2401-605-0030-000-3
 Zoning: R1
 Account #: 15212
 Use Type: 0000
 Sec/Town/Range: 01/35S/40E
 Jurisdiction: Fort Pierce

Ownership

John B Culverhouse
 505 Beach CT
 Fort Pierce, FL 34950

Legal Description

THUMB POINT BLK 1 LOT 30 (OR 258-845)

Current Values

Just/Market: \$407,200
 Exemptions: \$50,000
 Assessed: \$287,840
 Taxable: \$237,840

Historical Values 3-year

Year	Just/Market	Assessed	Exemptions	Taxable
2015	\$407,200	\$287,840	\$50,000	\$237,840
2014	\$404,200	\$285,556	\$50,000	\$235,556
2013	\$390,500	\$281,336	\$50,000	\$231,336

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
09-01-1976	0258 / 0845	00	CV		\$125,000

Primary Building Information

Finished Area of this building: 0 SF
 Gross Area of this building: 0 SF

Exterior Data

View: Roof Cover: Roof Structure: Building Type:
 Year Built: N/A Frame: Grade: Effective Year: 2014
 Primary Wall: Story Height: No. Units: 0 Secondary Wall:

Interior Data

Bedrooms: 0 A/C %: 0% Electric: Primary Int Wall:
 Full Baths: 0 Heated %: N/A% Heat Type: Avg Hgt/Floor: 0
 Half Baths: 0 Sprinkled %: 0% Heat Fuel: Primary Floors:



Image or Sketch unavailable for display

Total Areas

Finished/Under Air (SF):	0
Gross Area (SF):	0
Land Size (acres):	0.33
Land Size (SF):	14,560
Total Building Count:	1

Special Features and Yard Items

Type	Qty	Units	Year Blt
POOL DK-AVG	1	590	1977
RES POOL AVG	1	578	1977
CONC DOCK	1	320	1977
SEAWALL CONC	1	322	1999
CHAINLINK 4'	1	225	2006

This information is believed to be correct at this time but it is subject to change and is not warranted.
 © Copyright 2016 Saint Lucie County Property Appraiser. All rights reserved.

MEMORANDUM

TO: The Honorable Mayor and Members of the City Commission

THROUGH: Nick Mimms, City Manager

FROM: Colleen Greer, Executive Assistant to Code Enforcement

SUBJECT: PARTIAL CODE ENFORCEMENT LIEN REDUCTION
1635 THUMB POINT DR, FT PIERCE, FL

DATE: March 7, 2016

The following is a breakdown of the above property:

	Costs (General Fund)	Interest & Penalties	Administrative Fees
CASE # 05-1201	\$453,310.00 +	\$.00	\$.00
TOTAL	\$453,310.00 +	\$.00	\$.00

CAN BE WAIVED (ALL COSTS)

\$453,310.00 +

City Commission Regular Meeting

Agenda Item # 10. d.

Meeting Date: 03/07/2016

Re: Approve payment to Golf Net Renovations in the amount of \$10,865.00 to repair driving range net.

Submitted For: Lucille Posa, Indian Hills Golf Course Manager, Indian Hills Golf Course

SUBJECT:

Approve payment to Golf Net Renovations, a sole source provider, in the amount of \$10,865.00 to repair the driving range net.

SUMMARY:

The driving range net was heavily damaged due to the rain, cold, and high winds experienced in the month of January, 2016. It presented a serious safety hazard to the vehicles driving up and down South 3rd Street as well as foot traffic.

RECOMMENDATION:

Approve the request for payment.

ALTERNATIVES:

Since the repairs were of an emergency nature, there were no alternatives.

RESPONSIBLE STAFF:

Lucille R. Posa, Golf Course Manager.

COORDINATED WITH:

Tony Barnes, Purchasing Director.

Fiscal Impact

Budgeted Y/N: Yes
Fiscal Year: 2016
Account: 40545025726445
Amount: \$11,000.00

FISCAL IMPACT:

As only \$5,000.00 was budgeted for this expense, we had to transfer funds from other line items to fund the balance.

Attachments

Invoice
Driving Range Net 2
Driving Range Net 2
Repairs
Repairs 2

Form Review

Inbox

Purchasing

Finance Department

City Manager

Form Started By: Lucille Posa

Final Approval Date: 03/02/2016

Reviewed By

Tony Barnes

Johnna Morris

Nick Mimms

Date

02/22/2016 01:28 PM

03/02/2016 09:15 AM

03/02/2016 02:59 PM

Started On: 02/22/2016 09:14 AM

Golf Net Renovations, Inc.
 11103 Bramblebrush St.
 Tampa, FL 33624

Invoice

Date 2/18/2016
 Invoice # 72

Bill To

City of Fort Pierce
 Indian Hills Golf Course
 Ms. Lucy Pose
 1600 S. 3rd St.
 Fort Pierce, FL 34950

Ship To

City of Fort Pierce
 Indian Hills G. C.
 Ms. Lucy Pose
 1600 S. 3rd St.
 Fort Pierce, Florida 34950

P.O. #
 Terms Net 30

Ship Date 2/18/2016
 Due Date 3/19/2016
 Other

Item	Description	Qty	Price	Amount
Labor	Repair Netting System	76	100.00	7,600.00
Lacing Twine		10	12.00	120.00
Netting Panels	25' X 50'	2	600.00	1,200.00
Eye Bolts, Nut...	4' threaded rod	1	20.00	20.00
Spring Snaps		275	1.00	275.00
Hotel/Per Diem	Seven Days	1	1,500.00	1,500.00
Travel	Tampa to Fort Pierce	2	75.00	150.00
			Subtotal	\$10,865.00
			Sales Tax (0.0%)	\$0.00
			Total	\$10,865.00

Golf Net Renovations, Inc.
 golfnetrenovations@verizon.net
 www.golfnetrenovations.com

813-597-3471
 813-963-6206

Payments/Credits \$0.00
 Balance Due \$10,865.00









STOP
RANGE BALLS
MUST NOT BE REMOVED
INDIAN HILLS CLUB

City Commission Regular Meeting

Agenda Item # 10. e.

Meeting Date: 03/07/2016

Re: Commissioner Alexander Travel

Submitted For: Linda Cox, City Clerk, City Clerk

SUBJECT:

Approval of travel expenses in the amount of \$847.32 for Commissioner Alexander to attend the FBC-LEO Spring Conference being held on March 17 - 18, 2016 in Miramar, Florida.

SUMMARY:

Approval of travel expenses in the amount of \$847.32 for Commissioner Alexander to attend the FBC-LEO Spring Conference being held on March 17 - 18, 2016 in Miramar, Florida

RECOMMENDATION:

Approve travel request.

ALTERNATIVES:

Deny request.

RESPONSIBLE STAFF:

Linda Cox, City Clerk

COORDINATED WITH:

Caleta Scott, Deputy City Clerk

Fiscal Impact

Budgeted Y/N: Y
Fiscal Year: 2016
Account: 00110005114030
Amount: 847.32

OTHER INFORMATION:

Amount is budgeted.

Attachments

FBC LEO - Alexander

Form Review

Inbox	Reviewed By	Date
City Manager	Jennifer Robinson	02/29/2016 09:40 AM
Finance Department	Johnna Morris	03/02/2016 09:15 AM
City Manager	Nick Mimms	03/02/2016 02:21 PM
Form Started By: Caleta Scott		Started On: 02/26/2016 08:45 AM
Final Approval Date: 03/02/2016		

REGISTRATION INFORMATION

FBC -LEO Spring Conference
City of Mirimar
2300 Civic Center Place
Mirimar, FL 33025
954-602-3198
elaroche@mirimarfl.gov

TRAVEL EXPENSE STATEMENT

HOTEL INFORMATION

Wingate by Wyndham Mirimar
2800 SW 149th Avenue
Mirimar, FL 33027
954-441-0122 ph
954-441-0328 fx

DATE: February 16, 2016

1. TRAVELER'S NAME: Rufus Alexander
2. DEPARTURE DATE: 3/16/2016
3. RETURN DATE: 3/20/2016
4. DESTINATION: Miramar, FL
5. CODE CHARGE: 001-1000-511-40-30
6. AMT BUDGETED: 847.82

DEPARTMENT: CITY COMMISSION
DEPARTURE TIME: 3:00 PM
RETURN TIME: 8:00 PM
PURPOSE: Florida Black Caucus Spring Conference

7. BALANCE AVAILABLE: 6127.66

Expenses must comply with City Code of Ordinances 1-158.
Per Diem Allowance \$50.00 or \$12.50 per quarter day.
Class A Travel 24-hour day.

* REGISTRATION FEE:
* HOTEL BILL: Confirmation # 1133714
BAGGAGE ALLOWANCE (\$5 PER PERSON)
* COMMUNICATION:
* FARES: AIR FARE
* TAXI, BUS
* CAR RENTAL
* MILEAGE @ 0.54 246 miles
* GASOLINE EXPENSE
* TOLL ROAD FEES,OR PARKING FEES
* MISC. EXPENSES
MEALS
BREAKFAST @ \$8.00 2
LUNCH @ \$8.00 2
DINNER @ \$20.00 2
SPECIAL LUNCHEON/BANQUET
6.5% STATE TAX
15% GRATUITIES

Table with columns: PREPAID EXPENSES, CREDIT CARD, ESTIMATED CASH EXPENSES, ACTUAL CASH EXPENSES. Rows include Registration Fee (284.00), Hotel Bill (338.00), Baggage Allowance (5.00), Mileage (132.84), Breakfast (16.00), Lunch (16.00), Dinner (40.00), State Tax (4.68), and Gratuities (10.80).

BREAKFAST = When travel begins before 6:00 a.m. and extends beyond 8:00 a.m.
LUNCH = When travel begins before 12:00 noon and extends beyond 2:00 p.m.
DINNER = When travel begins before 6:00 p.m. and extends beyond 8:00 p.m.

TOTALS table with values: 0.00, 622.00, 225.32

ADVANCE CASH RECEIVED:
REFUND DUE CITY:
REFUND DUE EMPLOYEE:

TRAVEL APPROVED BY: [Signature]
DEPARTMENT SUPERVISOR

EXPENSES ARE ALSO INCLUDED FOR THE FOLLOWING PERSONS:

CITY MANAGER
(220 WITH CITY MANAGER SIGNATURE ACCEPTED)
* RECEIPT REQUIRED
REV 1/16 DLN



BEAUTY AND PROGRESS
EST 1955

City of Miramar
An Equal Opportunity Employer

Mayor

Wayne M. Messam

Vice Mayor

Darline B. Riggs

City Commission

Winston F. Barnes

Maxwell B. Chambers

Yvette Colbourne

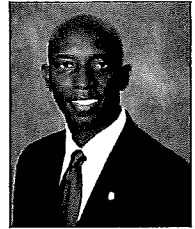
City Manager

Kathleen Woods-Richardson

"We're at the Center of
Everything"

Office of the Mayor
2300 Civic Center Place
Miramar, Florida 33025

Phone (954) 602-3151
FAX (954) 602-3709



January 14, 2016

FBC-LEO Members and Guests:

The Florida Black Caucus of Local Elected Officials is kicking 2016 off with a **Conference** scheduled for **March 17th and 18th** in the great city of Miramar!

Our conference will focus on issues and best practices that are vital to our respective communities as elected officials to include:

- Policy
- FLC Training Workshops
- Mobile Workshops
- Networking

We will also do a bus tour of the City of Miramar showcasing our renowned Ansin Sports Complex, Miramar Regional Park which will house a new 5,000 seat Amphitheater, the new Police Headquarters and provide an exclusive tour of the FBI state-of-the-art Headquarters building for the Southeast region of the United States.

In addition, the Jazz in the Gardens concert is scheduled for Saturday March 19 and Sunday, March 20th in Miami Gardens, our neighbors to the immediate south. We have provided a link for you in case you decide to stay the weekend and attend those festivities as well.

Details for FBC-LEO CONFERENCE registration are as follows:

- **FBC-LEO Dates of Conference:** Thursday, March 17 and Friday, March 18, 2016.
- **Hotel Reservations:** Wingate by Wyndham, 2800 SW 149th Avenue, Miramar FL 33027 – A limited block of rooms have been put aside for FBC-LEO at a fee of \$169 per night. Please reserve as soon as possible, cut off-date is February 20th. To reserve your room, the **Hotel phone number is 954.441.0122** or email the Front Office Manager – Alexandra Henning ahenning@napleshotelgroup.com
- **Registration Fee** for the Conference is \$160, please make checks payable to FBC-LEO and mail to the attention of Edna LaRoche, City of Miramar, 2300 Civic Center Place, Miramar, FL 33025 – For questions, 954-602-3198 or elaroche@miramarfl.gov
- **Jazz in the Gardens link for Tickets:**
http://jazzinthegardens.com/2016/ticket_prices.html

All the best,

Wayne Messam
Mayor



FBC-LEO

Florida Black Caucus of Local Elected Officials



FBC-LEO

Florida Black Caucus of Local Elected Officials

SPRING CONFERENCE 2016 ATTENDEES

WHO: FLORIDA BLACK CAUCUS – LOCAL ELECTED OFFICIALS

WHAT: SPRING CONFERENCE 2016

WHEN: THURSDAY, MARCH 17 AND FRIDAY, MARCH 18, 2016

HOTEL RESERVATIONS: Wingate by Wyndham, 2800 SW 149th Avenue
Miramar FL 33027 / 954.441.0122 or email the Front Office Manager
Alexandra Henning ahenning@napleshotelgroup.com

TO REGISTER FOR CONFERENCE ONLY:

Checks payable to FBC-LEO / Mail to attention of Edna LaRoche, City of Miramar, 2300 Civic Center Place, Miramar, FL 33025 – For Spring Conference information: <http://bit.ly/FBCLEO-SpringConf>

Registration Fee is \$160, Per Person/Per Guest – Once checks have been mailed, pls. send email to confirm you will be attending. Any questions, 954-602-3198 or elaroche@miramarfl.gov

TO REGISTER FOR CONFERENCE AND DISCOUNTED JAZZ IN THE GARDENS CONCERT TICKETS:

Checks payable to FBC-LEO / Mail to attention of Edna LaRoche, City of Miramar, 2300 Civic Center Place, Miramar, FL 33025

OPTION A

-CONFERENCE FEE:	\$160
-JAZZ IN THE GARDENS PRIME 13 - ROW 11 AND 12 TKTS. FOR SAT. AND SUN.	\$124 total for both days
TOTAL:	\$284

OR

OPTION B

-CONFERENCE FEE:	\$160
-JAZZ IN THE GARDENS RESERVED ROW 33 TKT FOR SATURDAY ONLY	\$ 72
TOTAL:	\$232



Wingate by Wyndham Miramar, FL - Credit Card Authorization Form
<Watchdog: Virus checked>
Alexandra Henning to: cscott

02/12/2016 04:04 PM

Good Afternoon,

As requested, I attached the credit card authorization form to this email.
As a reminder, here are the reservations I just made for you:

- Alexander, Rufus 3/16 to 3/18 for \$169+tax - Confirmation # is 1133714 (waiting on cc authorization form)
- Sessions, Regional 3/16 to 3/18 for \$169+tax - Confirmation # is 1133715 (waiting on cc authorization form)
- Alexander, Rufus 3/18 to 3/20 for \$169+tax - Confirmation # is 1133716 (guest pays own room)
- Sessions, Regional 3/18 to 3/20 for \$169+tax - Confirmation # is 1133717 (guest pays own room)

Please fill out the credit card authorization form completely and fax it back to us at 954-441-0328 or email it back to me.

Let me know if there is anything else I may help you with,

Best Regards,

Alexandra

Alexandra Henning
Front Office Manager
Wingate by Wyndham Miramar
2800 SW 149th Ave
Miramar, FL 33027
O:954-441-0122
F:954-441-0328
ahenning@napleshotelgroup.com

Att: [Handwritten scribbles]



Credit Card Authorization Request

I, _____ (name as it appears on the credit card) authorize the Wingate Inn-Ft. Lauderdale/Miramar to charge my credit card for the following reservation(s).

Name of Guest(s): _____

Confirmation Number(s): _____

Arrival Date: _____

Number of Nights: _____

Number of Rooms: _____

Credit Card Number: _____

Expiration Date: _____

Please charge my credit card for the following charges:

Room and Tax Only ___ Room, Tax, and Telephone Calls Only ___ All Charges ___

Please note: This authorization form is not valid unless signed by the cardholder and accompanied by a legible copy of both sides of the Credit Card and cardholder Driver's License.

Authorized Signature

Date

If you would like a copy of the bill faxed or emailed to you upon departure, please enter that information below.

Email: _____ Fax: _____

2800 SW 149th Avenue, Miramar, Florida 33027

Telephone: (954) 441-0122 Fax: (954) 441-0328

City Commission Regular Meeting

Agenda Item # 10. f.

Meeting Date: 03/07/2016

Re: Commissioner Sessions Travel

Submitted For: Linda Cox, City Clerk, City Clerk

SUBJECT:

Approval of travel expenses in the amount of \$847.32 for Commissioner Sessions to attend the FBC-LEO Spring Conference being held on March 17 - 18, 2016 in Miramar, Florida.

SUMMARY:

Approval of travel expenses in the amount of \$847.32 for Commissioner Sessions to attend the FBC-LEO Spring Conference being held on March 17 - 18, 2016 in Miramar, Florida.

RECOMMENDATION:

Approve travel request.

ALTERNATIVES:

Deny request.

RESPONSIBLE STAFF:

Linda Cox, City Clerk

COORDINATED WITH:

Caleta Scott, Deputy City Clerk

Fiscal Impact

Budgeted Y/N: Y
Fiscal Year: 2016
Account: 00110005114030
Amount: 847.32

OTHER INFORMATION:

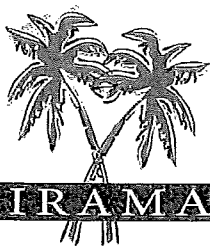
Amount is budgeted.

Attachments

FBC LEO - Sessions

Form Review

Inbox	Reviewed By	Date
City Manager	Jennifer Robinson	02/29/2016 09:41 AM
Finance Department	Johnna Morris	03/02/2016 09:15 AM
City Manager	Nick Mimms	03/02/2016 02:21 PM
Form Started By: Caleta Scott		Started On: 02/26/2016 08:59 AM
Final Approval Date: 03/02/2016		



BEAUTY AND PROGRESS
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City of Miramar
An Equal Opportunity Employer

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Wayne M. Messam

Vice Mayor

Darline B. Riggs

City Commission

Winston F. Barnes

Maxwell B. Chambers

Yvette Colbourne

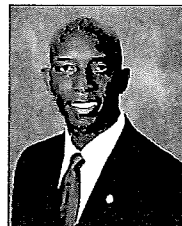
City Manager

Kathleen Woods-Richardson

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Miramar, Florida 33025

Phone (954) 602-3151
FAX (954) 602-3709



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- **Registration Fee** for the Conference is \$160, please make checks payable to FBC-LEO and mail to the attention of Edna LaRoche, City of Miramar, 2300 Civic Center Place, Miramar, FL 33025 – For questions, 954-602-3198 or elaroche@miramarfl.gov
- **Jazz in the Gardens link for Tickets:**
http://jazzinthegardens.com/2016/ticket_prices.html

All the best,

Wayne Messam
Mayor



FBC-LEO

Florida Black Caucus of Local Elected Officials



FBC-LEO

Florida Black Caucus of Local Elected Officials

SPRING CONFERENCE 2016 ATTENDEES

WHO: FLORIDA BLACK CAUCUS – LOCAL ELECTED OFFICIALS

WHAT: SPRING CONFERENCE 2016

WHEN: THURSDAY, MARCH 17 AND FRIDAY, MARCH 18, 2016

HOTEL RESERVATIONS: Wingate by Wyndham, 2800 SW 149th Avenue
 Miramar FL 33027 / 954.441.0122 or email the Front Office Manager
 Alexandra Henning ahenning@napleshotelgroup.com

TO REGISTER FOR CONFERENCE ONLY:

Checks payable to FBC-LEO / Mail to attention of Edna LaRoche, City of Miramar, 2300 Civic Center Place, Miramar, FL 33025 – For Spring Conference information: <http://bit.ly/FBCLEO-SpringConf>

Registration Fee is \$160, Per Person/Per Guest – Once checks have been mailed, pls. send email to confirm you will be attending. Any questions, 954-602-3198 or elaroche@miramarfl.gov

TO REGISTER FOR CONFERENCE AND DISCOUNTED JAZZ IN THE GARDENS CONCERT TICKETS:

Checks payable to FBC-LEO / Mail to attention of Edna LaRoche, City of Miramar, 2300 Civic Center Place, Miramar, FL 33025

OPTION A

-CONFERENCE FEE:	\$160
-JAZZ IN THE GARDENS PRIME 13 - ROW 11 AND 12	
TKTS. FOR SAT. AND SUN.	\$124 total for both days
TOTAL:	\$284

OR

OPTION B

-CONFERENCE FEE:	\$160
-JAZZ IN THE GARDENS RESERVED ROW 33	
TKT FOR SATURDAY ONLY	\$ 72
TOTAL:	\$232



Wingate by Wyndham Miramar, FL - Credit Card Authorization Form
<Watchdog: Virus checked>
Alexandra Henning to: cscott

02/12/2016 04:04 PM

Good Afternoon,

As requested, I attached the credit card authorization form to this email.
As a reminder, here are the reservations I just made for you:

- Alexander, Rufus 3/16 to 3/18 for \$169+tax - Confirmation # is 1133714 (waiting on cc authorization form)

Reginald
- Sessions, Regional 3/16 to 3/18 for \$169+tax - Confirmation # is 1133715 (waiting on cc authorization form)

- Alexander, Rufus 3/18 to 3/20 for \$169+tax - Confirmation # is 1133716 (guest pays own room)

Reginald
- Sessions, Regional 3/18 to 3/20 for \$169+tax - Confirmation # is 1133717 (guest pays own room)

Please fill out the credit card authorization form completely and fax it back to us at 954-441-0328 or email it back to me.

Let me know if there is anything else I may help you with,

Best Regards,

Alexandra

Alexandra Henning
Front Office Manager
Wingate by Wyndham Miramar
2800 SW 149th Ave
Miramar, FL 33027
O:954-441-0122
F:954-441-0328
ahenning@napleshotelgroup.com

Att:



Credit Card Authorization Request

I, _____ (name as it appears on the credit card) authorize the Wingate Inn-Ft. Lauderdale/Miramar to charge my credit card for the following reservation(s).

Name of Guest(s): _____

Confirmation Number(s): _____

Arrival Date: _____

Number of Nights: _____

Number of Rooms: _____

Credit Card Number: _____

Expiration Date: _____

Please charge my credit card for the following charges:

Room and Tax Only ___ Room, Tax, and Telephone Calls Only ___ All Charges ___

Please note: This authorization form is not valid unless signed by the cardholder and accompanied by a legible copy of both sides of the Credit Card and cardholder Driver's License.

Authorized Signature

Date

If you would like a copy of the bill faxed or emailed to you upon departure, please enter that information below.

Email: _____ Fax: _____

2800 SW 149th Avenue, Miramar, Florida 33027

Telephone: (954) 441-0122 Fax: (954) 441-0328

City Commission Regular Meeting

Agenda Item # 10. g.

Meeting Date: 03/07/2016

Re: Grant Award for Small Business

Submitted For: Libby Woodruff, Grant Writer, Urban Redevelopment

SUBJECT:

Approve grant award for Geraldine Clark and Hy-She Consignment Boutique, Inc. in the amount of \$3,000 as an eligible recipient under the 2015-16 CDBG Action Plan Grant Award for Small Business.

SUMMARY:

2015-16 CDBG Action Plan allocates grant funding to small businesses that attend at least two (2) small business workshops to purchase items to improve capacity & sustainability. This applicant attended workshops on 11/18/15 & 2/3/16 and has applied for business equipment grant funding.

RECOMMENDATION:

Approve this grant award for up to \$3,000 for Ms. Geraldine Clark to purchase equipment that will increase the capacity and sustainability of Hy-She Consignment Boutique, Inc.

ALTERNATIVES:

Do not approve this grant award.

RESPONSIBLE STAFF:

Libby Woodruff, Urban Redevelopment Manager

COORDINATED WITH:

Nicholas Mimms, City Manager

Fiscal Impact

Budgeted Y/N: Y
Fiscal Year: 2015
Account: 10390025548340
Amount: 3000.00

OTHER INFORMATION:

Funding for this grant award is through an approved activity listed in the City's 2015-2016 Community Development Block Grant Action Plan.

Attachments

Geraldine Clark Grant Application

Form Review

Inbox

City Manager

City Manager

Form Started By: Libby Woodruff

Final Approval Date: 03/02/2016

Reviewed By

Jennifer Robinson

Nick Mimms

Date

02/24/2016 04:53 PM

03/02/2016 02:21 PM

Started On: 02/24/2016 08:03 AM



Phase I - 2016 SMALL BUSINESS GRANT APPLICATION

ABOUT YOUR BUSINESS:

Business Name: Hyshe Consignment Boutique

Physical Address: 110 South US1 Ft Pierce Fl 34950

Mailing Address: 110 South US1 Ft Pierce Fl 34950

Website Address: _____

Contact Person: Geraldine Clark Title: owner

Best Contact Telephone Number # 772-979-2332

Amount of Grant Requested: \$ 3000

=====
Business Owner Signature: Geraldine Clark

Printed Name of Business Owner: Geraldine Clark

Owner Telephone Number: 772-979-2332 Email: hysheconsignment@gmail.com

=====

1. Please describe what would you like to purchase with the grant funds. Carpet
Cash register, manivan, paint, staff, jewelry case, phone, Alarms
racks

2. Please explain why you feel this purchase will help your business. Attract customer
to make money, increase Apporance

3. The following items **MUST** be included with your grant application:

- a. A copy of a current City of Fort Pierce Business Tax Receipt for the Business Name listed above;
- b. A printout from Sunbiz.org that shows that your business is registered with the Florida Division of Corporations.
- c. Copies of "Certificates of Completion" from at least two (2) different Small Business Educational Workshops;
- d. At least ONE estimate for the item(s) you wish to purchase with a grant. You may include the costs associated with permitting in your estimate.
Please Note: Your estimate MUST be provided on a contractor's letterhead, marked as "Estimate", or on a printout from internet website, catalog, etc.; and
- e. Written Permission from the Property Owner - if you are applying for funding to update signage, paint, or other improvements to a structure that you are renting for your business.

Certificate of Completion

This Certificate is Presented to:

Geraldine Clark

(Attendee Name)

Hy Size Boutique

(Business Name)

For Successfully Completing the Small Business Workshop Entitled

“Small Business Tax Issues”

November 18, 2015

An economic development
initiative funded by:



Jodi Hassen

SCORE Workshop Instructor

In collaboration with:



FOR THE LIFE OF YOUR BUSINESS

Certificate of Completion

This Certificate is Presented to:

Seralaine Clark

(Attendee Name)

MyShe Boutique

(Business Name)

For Successfully Completing the Small Business Workshop Entitled

“Small Business Financial Record Keeping”

February
November 3, 2016

An economic development
initiative funded by:



[Signature]
SCORE Workshop Instructor

In collaboration with:



City Commission Regular Meeting

Agenda Item # 10. h.

Meeting Date: 03/07/2016

Re: Approval of Kimley-Horn Specific Authorization No. 1 - 13th and 17th Roadway Design - Ref. RFQ No. 2013-005

Submitted For: John Andrews, City Engineer, Engineering

SUBJECT:

Request approval of the professional services proposal submitted by Kimley-Horn and Associates, Inc. providing additional surveying and design services for the 13th Street and 17th Street projects in the amount of \$38,500.

SUMMARY:

The original 13th Street (400 south of Avenue D to Avenue E) and 17th Street (Orange Avenue to Avenue D) design was completed nine (9) years ago and thus requires updates to include new construction and the modification of the project limits. Kimley-Horn also will prepare the technical specifications, coordinate with FPUA to incorporate all utility construction into the bid set, and prepare the required 13th Street Maintenance Map.

RECOMMENDATION:

Staff recommends approval

ALTERNATIVES:

Negotiate with the next consultant on the City's short list.

RESPONSIBLE STAFF:

Engineering

COORDINATED WITH:

FPUA

Fiscal Impact

Budgeted Y/N: N/A
Fiscal Year: 2015/2016
Account: 403-4300-538-3490
Amount: \$38,500

FISCAL IMPACT:

Funding of the \$38,500.00 shall be encumbered from the City's Stormwater Utility Revenue Account No. 403-4300-538-3490.

Attachments

CA Executed SA No. 1

Form Review

Inbox

Purchasing

Finance Department

City Manager

Form Started By: Tracy Telle

Final Approval Date: 03/02/2016

Reviewed By

Tony Barnes

Johnna Morris

Nick Mimms

Date

03/01/2016 08:57 AM

03/02/2016 09:40 AM

03/02/2016 02:22 PM

Started On: 02/11/2016 01:33 PM

SPECIFIC AUTHORIZATION NO. 1

13TH STREET AND 17TH STREET DESIGN MODIFICATIONS

SCOPE OF SERVICES

Pursuant to the provisions contained in the "RFQ No. 2013-005 – Professional Services Agreement" between The City of Fort Pierce (hereinafter referred to as "CITY") and Kimley-Horn and Associates, Inc. (hereinafter referred to as "ENGINEER") dated the _____ 5th day of _____ January _____ 2015, CITY authorizes the ENGINEER to provide services under the terms and conditions set forth herein and in the AGREEMENT, which is incorporated herein by reference as though set forth in full.

The CITY desires additional services related to the redesign of the 13th Street and 17th Street Roadway Improvement plans, hereinafter referred to as the "Project".

This Project is not an FDOT funded project.

Section 1 - Scope of Work and Schedule of Services

ENGINEER will provide the following services in accordance with this AUTHORIZATION:

Professional consultant services are required for the preparation of bid documents and specification package to support the design and bidding of a section of 13th Street and 17th Street as described in Exhibit "A". To support the bid and specification packages, the engineer will prepare construction plans associated with the improvements consisting of roadway construction plans complete with ADA upgrades, grading, paving and drainage improvements. The Project is more particularly described in Exhibit "A", attached hereto and incorporated by reference herein.

Section 2 - Deliverables

ENGINEER shall provide the following deliverables to the CITY as listed below and as described in Exhibit "A", attached hereto and incorporated by reference herein:

13th Street

Final Construction Plans	1 Month from NTP
Bid Specification Package	1 Month from NTP

17th Street

Final Construction Plans	3 Months from NTP
Bid Specification Package	3 Months from NTP

Section 3 - Method and Amount of Compensation

CITY will compensate ENGINEER for services under this AUTHORIZATION in accordance with the payment method as set forth in the attached Exhibit "B", attached hereto and incorporated by reference herein.

The budget (or fee) for the services is not to exceed \$38,500

SPECIFIC AUTHORIZATION NO. 1

13TH STREET AND 17TH STREET DESIGN MODIFICATIONS

Section 4 - CITY's Responsibilities

CITY hereby designates City Engineer or designee as CITY's representative pursuant to Section 8 of the AGREEMENT.

Section 5 - Other Provisions

All applicable portions of the AGREEMENT not specifically modified herein shall remain in full force and effect and are incorporated by reference herein. ~~Please note that the following services are not included in our proposal.~~

IN WITNESS WHEREOF, this AGREEMENT, consisting of six (6) pages has been fully executed on behalf of the ENGINEER by its duly authorized officer, and the CITY has the same to be duly executed in its name and in its behalf, effective as of the date herein above written.

CITY OF FORT PIERCE, FLORIDA:

By: _____
Linda Hudson, Mayor

Date: _____

Attest: _____
City Clerk

KIMLEY-HORN & ASSOCIATES, INC.

By: _____
Brian Good, P.E., Senior Vice President

Date: 1/21/2016

APPROVED AS TO FORM & CORRECTNESS:

By: _____
Robert V. Schwerer, Esquire, City Attorney

Date: 2/2/16

EXHIBIT "A"
DETAILED DESCRIPTION OF THE PROJECT
AND
ENGINEER SCOPE OF SERVICES

13TH STREET AND 17TH STREET DESIGN MODIFICATIONS

PROJECT DESCRIPTION:

Professional consultant services are required to support the replacement of existing utilities undertaken by Ft. Pierce Utility Authority (FPUA), the City is developing roadway restoration construction documents. The proposed project limits are proposed to be along 13th Street from 400 feet south of Avenue D to Avenue E; and 17th Street from Orange Avenue to Avenue D.

The ENGINEER will revise the previously prepared North 13th Street Improvements Phase II and North 17th Street Improvement plans to coincide with the roadway restoration limits required to support the proposed FPUA utility improvements. In addition, the ENGINEER will review the roadway corridor to determine what changes have occurred since the previous plan preparation and make necessary revisions to reflect current roadway corridor conditions.

DESCRIPTION OF TASK DELIVERABLES:

The ENGINEER agrees to perform professional roadway design and related services in connection with the project as required and set forth in the following:

A. General:

1. The ENGINEER will endeavor not to duplicate any previous work done on the project. After issuance of written authorization to proceed, the ENGINEER shall consult with the CITY to clarify and define the requirements for the project and review available data.
2. The ENGINEER will attend conferences with the CITY and its representatives upon reasonable request.

3. In order to accomplish the work described under this Task Order in the time frames and conditions set forth, the ENGINEER will observe the following requirements:
 - a. The ENGINEER will complete his work on the project within the time allowed by maintaining an adequate staff of registered engineers, draftsmen, and other employees on the work.
 - b. The ENGINEER will design the project in such a manner as to be in reasonable conformance with applicable federal, state and local laws, and shall comply with the Florida Department of Transportation's Plans Preparation Manual Design Criteria, latest edition.
 - c. The ENGINEER will prepare all necessary sketches and completed application forms to accompany the CITY's applications for required federal, state, or local permits.
 - d. The ENGINEER will cooperate with the CITY in order that all phases of the work may be properly scheduled and coordinated.
 - e. The ENGINEER will send a complete preliminary set of construction plans to any city, county, state, regional or federal regulatory agency from which a permit or other approval is required prior to final approval of the design by the City Engineer, and will coordinate the project design with all applicable agencies.
4. Compensation to the ENGINEER for basic services shall be in accordance with Section IV – Compensation, of this Agreement, as mutually agreed upon by the ENGINEER and CITY.

B. Supplemental Topographic Survey:

The ENGINEER will provide professional surveying services for the purpose of collecting supplemental topographic design data along the North 13th Street roadway corridor and North 17th Street to identify changes in existing conditions. It is observed that southern end of the roadway corridor have had changes made as a result of the previously CITY constructed N. 13th Street Improvements Phase IIA. In addition, a parcel(s) have been redeveloped along N. 13th Street along the west side of the corridor between Avenue D and Avenue E.

The topographic design survey will be prepared under the direct supervision of a Professional Surveyor and Mapper registered in the State of Florida, in accordance

with the Minimum Technical Standards for surveying in the State of Florida, pursuant to Chapter 5J-17, Florida Administrative Code.

C. Roadway Maintenance Map:

The ENGINEER will prepare a Roadway Maintenance Map that depicts the limits the CITY has maintained or repaired continuously N. 13th Street, within the project limits, for a period of 4 years. The map is intended to be filed with the office of the clerk of the circuit court in St. Lucie County to record the CITY's vested interest in N. 13th Street.

D. Roadway Plan Revision:

The ENGINEER will revise the previously prepared roadway construction plans, to coincide with the disturbance limits required to support the FPUA utility improvements and to reflect current roadway corridor conditions. The ENGINEER will prepare the project specification package and bid blank form (pay items and quantities) necessary to competitively bid the contemplated scope of work.

E. Coordination with Ft. Pierce Utility Authority:

The ENGINEER will coordinate with FPUA to reflect the proposed utility improvements within the roadway restoration plans and add the FPUA construction documents/ quantities into the roadway restoration plans.

TIME OF PERFORMANCE:

North 13th Street

Bid Plans and Specification Packages 1 months from NTP

North 17th Street

Bid Plans and Specification Packages 3 months from NTP

EXHIBIT "B"

COMPENSATION

The CITY agrees to pay and the ENGINEER agrees to accept for services rendered pursuant to fees in accordance with the following:

- A. Professional Services Fee: The basic compensation mutually agreed upon by the ENGINEER and the CITY follows:

Lump Sum Tasks

<u>Task Description</u>	<u>Fee</u>
N. 13 th Street	
Supplemental Topographic Survey	\$ 3,150
Roadway Maintenance Map	\$ 5,500
Roadway Plan Revision	\$ 8,750
Coordination with Ft. Pierce Utility Authority	\$ 3,500
N. 17 th Street	
Supplemental Topographic Survey	\$ 3,150
Roadway Plan Revision	\$ 10,950
Coordination with Ft. Pierce Utility Authority	\$ 3,500
<u>Grand Total</u>	<u>\$ 38,500</u>

Compensation will be computed at the hourly rates of

Project Manager	\$ 165.00
Assistant Project Manager	\$ 140.00
Senior Engineer	\$ 125.00
Engineer	\$ 105.00
Engineering Technician	\$ 90.00
Registered Land Surveyor	\$ 120.00
Survey Technician	\$ 75.00
Survey Crew	\$ 95.00
Secretary	\$ 50.00

City Commission Regular Meeting

Agenda Item # 10. i.

Meeting Date: 03/07/2016

Re: Request to Purchase - Crime Scene Van for Police Department

Submitted For: Diane Hobley-Burney, Chief of Police, Police Department

SUBJECT:

Approval to purchase a 2016 Ford Transit cargo van from Sunrise Ford and installation of shelving from Advanced Work Van Interiors for the Police Department Crime Scene Unit in the total amount of \$25,513.50.

SUMMARY:

The Police Department requests approval to purchase a 2016 Ford Transit cargo van from Sunrise Ford for our Crime Scene Unit. This van will be used by Crime Scene personnel to respond to crime scenes that require processing. The current van being used by our Crime Scene Unit is 16 years old, has over a 160,000 miles on it, has extensive rust and paint peeling, and is too small for their needs.

Sunrise Ford's purchase price is \$1,232 more than the Florida Sheriff's Association State Contract quote from Duval Ford in Jacksonville, FL. We recommend purchasing this vehicle from Sunrise Ford because they can deliver this vehicle in one week compared to Duval Ford's delivery date of 12-14 weeks. In addition, Sunrise Ford is our local dealer and is an excellent community partner.

RECOMMENDATION:

Staff recommends the purchase of this vehicle from Sunrise Ford.

ALTERNATIVES:

The alternative would be to purchase this van from Duval Ford in Jacksonville which would take 11-13 weeks longer to deliver and not support a local business.

RESPONSIBLE STAFF:

Lt. Chris Bender

COORDINATED WITH:

Lt. Chris Bender

Fiscal Impact

Budgeted Y/N: Y
Fiscal Year: 2016
Account: 001.6000.513.6440
Amount: \$25,513.50

FISCAL IMPACT:

The funds necessary to purchase this van and shelving are available in capital line item 001.6000.513.6440.

Attachments

Request Memorandum
Van Purchase Order
Van Quotes
Shelving Purchase Order
Shelving Quotes

Form Review

Inbox	Reviewed By	Date
Purchasing	Tony Barnes	02/26/2016 09:14 AM
Finance Department	Johnna Morris	03/02/2016 09:40 AM
City Manager	Nick Mimms	03/02/2016 02:59 PM
Form Started By: Christopher Bender		Started On: 02/19/2016 03:40 PM
Final Approval Date: 03/02/2016		

CITY OF FORT PIERCE
Florida

Interoffice Memorandum

Police Department

"In Honor We Serve"

Diane Hobley-Burney, Chief of Police



To: Deputy Chief Frank Amandro
From: Lt. Chris Bender *CB*
Date: February 11, 2016
Subject: Crime Scene Van Purchase

As directed, I have received estimates for a new Crime Scene van as the current one we have is 17 years old, has 160,000 miles on it, is too small for its intended purpose, and is deteriorating rapidly. We requested bids for a 2016 Ford Transit T-150 Cargo Van from two dealerships.

I received one estimate (\$21,425) from Duval Ford in Jacksonville as they are the Florida Sheriff's Association Contract dealer for this vehicle. I also received an estimate (\$22,657) from Sunrise Ford of Fort Pierce our local Ford dealer. I recommend that we purchase the vehicle from Sunrise Ford even though it is \$1,232 more than the Florida Sheriff's Association Contract because they can deliver the vehicle within one week (Duval Ford's delivery time was 12 weeks) of ordering it and they are our local dealer. We can't wait an additional 12 weeks to replace the current van as it is in terrible condition.

In addition to the van purchase I am also requesting the purchase of a shelving unit to be installed in the interior of the vehicle. This shelving unit will allow our crime scene technicians to store all of their equipment in an orderly fashion. The shelving will also help secure sensitive equipment used by them. I have attached three quotes for the shelving unit and recommend that we purchase the shelving from Advanced Work Van Interiors Inc. as they are the lowest bidder at \$2,856.50.

I am requesting that we purchase the attached van and shelving from our Capital line item budget 001.6000.513.6440. The funds (\$25,513.50) are available within our 2016 budget.

I have attached the estimates for the van as well as for the shelving. I have also included the purchase order request for your approval.

REQUEST FOR PURCHASE FORT PIERCE POLICE DEPARTMENT

Date: 2/12/2016

VENDOR:

Sunrise Ford
5435 South US #1
Fort Pierce, FL 34982

Department/Division Police/SSB
Account Number 001.6000.513.6440
Com. Code: PDNWCR
Needed For Crime Scene Van

DATE	DEL DATE	VENDOR NUMBER	F.O.B.	TERMS	PURCHASE ORDER #

QUANTITY	UNIT	DESCRIPTION	STOCK NUMBER	UNIT COST	AMOUNT
1		2016 Ford Transit Cargo Van Middle Roof		\$22,657.00	\$22,657.00
		White in color			\$0.00
		Options as noted on attached quote			\$0.00
		Bid No. 2016-008			\$0.00
					\$0.00
					\$0.00
					\$0.00
					\$0.00
					\$0.00
					\$0.00
					\$0.00
					\$0.00
					\$0.00
					\$0.00
					\$0.00
					\$0.00
					\$0.00
					\$0.00
					\$0.00
				Total	\$22,657.00

REMARKS:
See attached quote for specs.

Requested By: St. Chris Bender

(2)

Approved By: [Signature]

Approved Date: 2/16/16

*ss/po for crime scene van.xls
revised 01/21/00*

**If over \$500.00 you need three (3) quotes.
Attach quotes when submitting.**

NR



2016 FORD TRANSIT T-150 CARGO VAN (E1Z)

POLICE DEPARTMENT

BID NO. 2016-008 - NEW VEHICLES (FISCAL YEAR 2016)

EIC

SUNRISE FORD

Middle Roof

PRICE

BASE PRICE: \$ 22 094

Delete Side Glass (no side glass) \$ _____

Sliding Side Door \$ _____

Daytime Running Lights \$ 38

Backup Alarm \$ 150

Backup Camera with 3.5 LCD \$ 375

Medium Roof Option \$ _____

2 Additional Keys \$ _____

COLOR: WHITE

TOTAL: \$ 22 657

GRAND TOTAL \$ 22 657

APPROXIMATE DELIVERY: 1 week

DATE OF QUOTE: 2-9-16

VENDOR: Sunrise Ford

CONTACT: Vernon Lloyd

SIGNATURE: _____

PHONE: 772-461-6000

FAX: 772-264-6875

E-MAIL: LJMSVRN@aol.com



FORT PIERCE POLICE DEPARTMENT

Prepared for:	Contract Holder	DATE:
FORT PIERCE POLICE DEPARTMENT LT. CHRIS BENDER 772-467-6944 cbender@fppd.org	Duval Ford Fleet Sales Bambi Darr (Work) 904-388-2144 (Fax) 904-387-6816 (Cell) 910-622-6544 Bambi.darr@duvalfleet.com 1616 Cassat Ave. Jax, FL 32210	2/5/16
PLEASE CONFIRM RECEIPT OF QUOTE VIA EMAIL		



I appreciate your interest and the opportunity to quote. Prices are published by the Florida Sheriff's Association/ Florida Association of Counties & Florida Fire Chiefs' Association Automotive Contract #15.13.0904 chassis / 15.23.0904. (www.flsheriffs.org) If you have any questions regarding this quote please call! Vehicle will be ordered **white exterior** unless specified on purchase order.

Labor	Code	Equipment	Price
0	SPEC #33	2016 FORD TRANSIT T-150 CARGO VAN (E1Z)	\$ 20,007.00
0	MED ROOF	MEDIUM ROOF WITH 100.1" INTERIOR	\$ 1,100.00
0	T150. E1C	T150/ MED ROOF/ 130" WHEELBASE/ SLIDING PASS DOOR / 8,600# GVWR	INCL
0	17A	DELETE SIDE GLASS ONLY- Includes fixed rear glass, deletes 17B side and rear	\$ (25.00)
0	CARGO SLIDE	Sliding cargo side door. Includes fixed glass.	\$ 149.00
0	942	DAYTIME RUNNING LIGHTS	\$ 44.00
0	BUA	BACKUP ALARM- DEALER INSTALLED	\$ 150.00
0	61C	BACKUP CAMERA WITH 3.5" LCD	STD
0		OXFORD WHITE	STD
UNIT COST			\$ 21,425.00
TOTAL QUANTITY		1	TOTAL PURCHASE \$ 21,425.00

ANCED WORK VAN INTERIORS INC
7652 CENTRAL INDUSTRIAL DR. #1
WEST PALM BEACH, FL 33404
561-855-6263 FAX:561-855-6268

Estimate

DATE	ESTIMATE NO.
2/3/2016	2601

NAME / ADDRESS
Fort Pierce Police Department 920 S. U.S. #1 Fort Pierce, FL 34954

TERMS	DUE DATE	REP	FOB
Due on receipt	2/3/2016	RMY	W.P.B.

DESCRIPTION	QTY	COST	TOTAL
ADRIAN STEEL FORD TRANSIT MED ROOF 130" W/B PACKAGE 5156TM130 BASE SHELVING INCLUDING SAFETY PARTITION	1	2,500.00	2,500.00
33WB SHELF RACK WITH BINS	1	385.00	385.00
Subtotal			2,885.00
DISCOUNT ON SALE: PREFERRED CUSTOMER/FT. PIERCE POLICE DEPT.		-10.00%	-288.50
DISCOUNT ON SALE: RAILS NOT NEEDED		-200.00	-200.00
Assembly & Installation Labor		250.00	250.00
SBIN060614 6" BLUE PLASTIC BIN	10	15.00	150.00
SBIN120614 PLASTIC BIN	3	20.00	60.00
<i>As requested by Crime Scene Unit AST M Wase Hest</i>			
THANK-YOU FOR THE OPPORTUNITY TO QUOTE		TOTAL	\$2,856.50

All Star Van & Truck Equipment, Inc.

3939 Pembroke Road

Hollywood, FL 33021

Ph (954) 981-8302 Fax (954)374-0999

Estimate

Date	Estimate #
2/4/2016	4794

Name / Address
Fort Pierce Police Department 920 S. U.S. #1 Fort Pierce, FL 34954

Description	Qty	Rate	Total
PCKG# 5156TM130			
S1M2HC2PM PERF. PART.PNL KT PM	1	505.00	505.00T
WKC1PM3 WING KIT PROMASTER+3	1	235.00	235.00T
HAD4459 HYBRID SHF UNIT 14x59x44	3	510.00	1,530.00T
RK130FTM RAIL KIT, TRANSIT MR, MWB	1	270.00	270.00T
SBIN060614 SNAP IN BIN 6" X 6" X 14"	10	18.00	180.00T
SBIN120614 SNAP IN BIN 12x6x1	3	25.00	75.00T
Assembly & Installation Labor	1	250.00	250.00T

Thank you for the opportunity to quote.

Subtotal	\$3,045.00
Sales Tax (6.0%)	\$182.70
Total	\$3,227.70

Advanced Van & Truck
 Equipment, Inc.
 154 Incubator Court
 Sanford, FL 32771
 407-268-9995 Fax 407-268-9166

Estimate

Date	Estimate #
2/4/2016	1633

Name / Address
Fort Pierce Police Department 920 S. U.S. #1 Fort Pierce, FL 34954

Terms	Rep	FOB
Due on receipt	EU	Sanford

Item	Description	Qty	Cost	Total
ADRIAN ST...	ADRIAN STEEL #5156TM130 BASE SHELVING PKG. FOR FORD TRANSIT MEDIUM ROOF 130"WB:	1	2,575.00	2,575.00
33W	33W Shelf/Bin Rack	1	390.00	390.00T
SBIN060614	SBIN060614 SNAP/IN/BIN 6x6x14	10	16.00	160.00 16.00T
SBIN120614	SBIN120614 SNAP/IN/BIN 12x6x14	3	22.00	66.00 22.00T
	Subtotal			3,003.00
labor	Labor assembly & installation		250.00	250.00T
THANK YOU FOR THE OPPORTUNITY TO QUOTE			Subtotal	\$3,253.00
			Sales Tax (0.0%)	\$0.00
			Total	\$3,253.00

3,441.00 *[Handwritten signature]*

Phone #	Fax #
407-268-9995	407-268-9166

City Commission Regular Meeting

Agenda Item # 10. j.

Meeting Date: 03/07/2016

Re: Lien Reduction Request - Case #04-0636 - 1512 Avenue J

Submitted For: Peggy Arraiz, Code Compliance Manager, Code Enforcement

SUBJECT:

Request to reduce code enforcement fines in the amount of \$375,610.00 against 1512 Avenue J, Ft. Pierce, FL, Parcel ID # 2404-810-0019-000-9 which was previously owned by James Jones, 1512 Avenue J, Ft. Pierce, FL and currently owned by Jewell J. Eckles (daughter), 3309 Avenue T, Ft. Pierce, FL 34947 to \$950.00 payable in 12 months.

SUMMARY:

BACKGROUND: The property is currently vacant. At the time of the violation, the property was owned by Mrs. Eckles' father, James Jones (deceased) and occupied by her sister Ellen Rolle (deceased). Mrs. Eckles was unaware of the lien until she went to check on the property, found it had be demolished through the city and that there was a code enforcement lien. Mrs. Eckles is a retired senior citizen living on of a retirement check.

RECOMMENDATION:

The Special Magistrate heard Mrs. Eckle's request and recommends to the City Commission to reduce the lien to \$950.00 of which she will request from the finance department to be set up on a 12-month payment plan. This recommendation is based upon:

1. Mrs. Eckles has inherited this property and the attached lien.
2. Mrs. Eckles had no knowledge of the code enforcement action or a lien being recorded until after the demolition of the property.
3. Mrs. Eckles is a retired senior citizen living on a retirement check.

ALTERNATIVES:

1. Deny the request.
2. Make alternative recommendations.

RESPONSIBLE STAFF:

Colleen Greer, Executive Secretary.

COORDINATED WITH:

Margaret Arraiz, Code Compliance Manager.

Fiscal Impact

Budgeted Y/N: 2016

Fiscal Year:

Account:

Amount: 950.00

OTHER INFORMATION:

\$950.00 to the general account.

Attachments

Request for Reduction

Tax Card

7 Criteria

Breakdown

Form Review

Inbox

City Manager

Form Started By: Collen Greer

Final Approval Date: 02/29/2016

Reviewed By

Nick Mimms

Date

02/29/2016 12:38 PM

Started On: 02/22/2016 11:54 AM



January 20

CITY OF FORT PIERCE

DIVISIONS OF CODE ENFORCEMENT
& ANIMAL CONTROL

MARGARET M. ARRAIZ, CODE COMPLIANCE MANAGER

REQUEST FOR A REDUCTION OR RESCINDMENT OF CODE ENFORCEMENT FINES / LIENS

Date:	1-4-16		
Property address:	1512 Avenue J		
Owner(s) of record:	James Jones / Jewell J. Eckles		
Mailing address:	3309 Avenue T		34947
Property tax ID #:	2404-810-0019-000/9		
Original purchase date:	1925?	Original purchase price:	?
Other Information:	<input checked="" type="checkbox"/> Inherited Property	<input type="checkbox"/> Purchased at Tax Sale	<input type="checkbox"/> Adjoining Property Owner
Property is used for:	<input checked="" type="checkbox"/> Single Family	<input type="checkbox"/> Multi-family	<input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input type="checkbox"/> Vacant Lot
Name of person requesting reduction:	Jewell J. Eckles	Relationship to owner(s):	self
Telephone #:	772-467-0110	Mobile phone #:	
E-mail:		Preferred contact method:	772-467-0110
What are owner(s) intentions for property:	Keep in family		
Amount of Fine:	375,610.00	Date Fine Initiated:	
Are there current code violations?	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	Explain: (please attached notice)
Is a lien filed against the property?	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	If yes, what is the lien amount? \$375,610.00
Is property listed for sale?	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	If yes, what is listing price? -
Is property under contract for sale?	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes	If yes, what is the sale price? -

AMOUNT OF FINE / LIEN

\$ 375,610.00

DOLLAR AMOUNT REQUESTING TO BE WAIVED

\$ 375,610.00

DOLLAR AMOUNT I AGREE TO PAY

\$?

If the city waives any fees, interest, penalties, fine or lien amount, the undersigned does hereby agree to pay the remainder within sixty (60) days from the date of the Board, Magistrate or Commission's decision unless an alternate time frame is specified in the motion.

Jewell Eckles
(Signature of Owner or Representative)

Jewell J. Eckles
(Printed Name)



CITY OF FORT PIERCE

DIVISIONS OF CODE ENFORCEMENT & ANIMAL CONTROL

MARGARET M. ARRAIZ, CODE COMPLIANCE MANAGER

REQUEST FOR REDUCTION OF PENALTY

By completing this form, you are making statements under oath. Failure to be truthful is a violation of Fort Pierce City Code and Florida Statutes pertaining to perjury, which is a felony punishable by up to fifteen (15) years imprisonment.

INSTRUCTIONS:

1. Please fill in blanks completely.
2. Be specific when writing your statement. Use additional pages if necessary.
3. If you are claiming medical or financial hardship, attach supporting documentation (i.e. doctor's statement or proof of income).
4. Complete either the application for Waiver of Penalties (lot clearing / demolition) or Request for Reduction / Rescindment (code enforcement fines).
5. For lot clearing or demolition liens, contact Kathy D'Arton in the Finance Department (772-467-3076) for cost / fees breakdown.
6. For code enforcement liens (those imposed by a Special Magistrate or Code Enforcement Board), contact Colleen Greer (772-467-3149) for cost / fees breakdown.
7. If you do not have access to a Notary of the Public, one will be provided to you by the Department at no charge. All forms must be signed in the presence of the Notary to be valid.
8. Return this form, the application and any other pertinent documentation to the Code Enforcement Department.
9. Requests for Reduction / Rescindment of code enforcement liens must be heard before either the Code Enforcement Board or Special Magistrate prior to being heard before the City Commission.

Property Address: 1512 Avenue J. / Ft. Pierce, Fla. 34947
 Property Owner: James Jones / Jewell J. Eckler
 Mailing Address: 3309 Avenue T / Ft. Pierce, Fla. 34947
 Telephone #: 772-467-0110 Cell Phone #: _____
 E-Mail Address: _____

Is the property in compliance? If no, please explain _____



CITY OF FORT PIERCE

DIVISIONS OF CODE ENFORCEMENT & ANIMAL CONTROL

MARGARET M. ARRAIZ, CODE COMPLIANCE MANAGER

I, Jewell J. Eckles, do hereby submit this Petition in request for a reduction in the total amount of the penalty imposed and in support offer the following statement:

I do not live at the property. The property has been vacant for some time. I was not aware of the code violations mounting up against the property. I am a senior citizen, retired, living off of a retirement check. No way I can pay \$375,610.00 fines, but will attempt to pay a reduced amount for expenses incurred by the city for whatever.

Date: 1/4/16

Signed: Jewell Eckles
Print Name: Jewell J. Eckles

STATE OF FLORIDA
COUNTY OF ST. LUCIE

PERSONALLY APPEARED before me, the undersigned authority Jewell J Eckles who acknowledged before me that the information contained herein is true and correct. He / She is not personally known to me and has produced FL DL E242-430-43-929-0 as identification.

SWORN TO AND SUBSCRIBED before me this 5th day of January, 2016.



COLLEEN GREER
MY COMMISSION # EE 216024
EXPIRES: November 13, 2016
Bonded Thru Budget Notary Services

Colleen Greer
Notary Public, State of Florida

Property Identification

Site Address: 1512 Avenue J Parcel ID: 2404-810-0019- Account #: 17822 Sec/Town/Range:
 000-9 04/35S/40E
 Map ID: 24/04G Zoning: R4 Use Type: 0100 Jurisdiction: Fort Pierce

Ownership

James Jones
 % Jewell J Eckles
 3309 Avenue T
 Fort Pierce, FL 34947

Legal Description

RE-S/D OF JELLISONS S/D BLK D LOT 5

Current Values

Just/Market: \$9,000 Assessed: \$9,000
 Exemptions: \$0 Taxable: \$9,000

Historical Values 3-year

Year	Just/Market	Assessed	Exemptions	Taxable
2015	\$9,000	\$9,000	\$0	\$9,000
2014	\$11,500	\$11,500	\$0	\$11,500
2013	\$11,000	\$11,000	\$0	\$11,000

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
01-01-1900					\$0

Primary Building Information

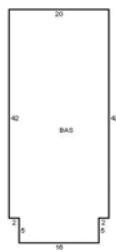
Finished Area of this building: 920 SF
 Gross Area of this building: 920 SF

Exterior Data

View:	Roof Cover: Fibrglss Shg	Roof Structure: Gable	Building Type: HD
Year Built: 1925	Frame:	Grade: D	Effective Year: 1950
Primary Wall: Frm Stucco	Story Height: 1 Story	No. Units: 1	Secondary Wall:

Interior Data

Bedrooms: 3	A/C %: 0%	Electric: MAXIMUM	Primary Int Wall:
Full Baths: 1	Heated %: 0%	Heat Type: FrcdHotAir	Avg Hgt/Floor: 0
Half Baths: 0	Sprinkled %: N/A%	Heat Fuel: ELEC	Primary Floors: Double Pine



Total Areas

Finished/Under Air (SF):	920
Gross Area (SF):	920
Land Size (acres):	0.11
Land Size (SF):	4,815
Total Building Count:	1

Special Features and Yard Items

Type	Qty	Units	Year Blt
------	-----	-------	----------

This information is believed to be correct at this time but it is subject to change and is not warranted.
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Case No: 04-0636

LIEN REDUCTION HEARING Date: January 20, 2016
CONTESTING OF FINE/NON-COMPLIANCE

1.) The gravity or seriousness of the violation:	Minor
2a.) Any and all actions taken by the violator to correct the violations; OR	Yes, property has been demolished.
2b.) If the violations were not corrected by the original violator, what action was taken by any other owner or interested party to bring the violation into compliance:	Same as Above
3.) The length of time necessary to bring the property into compliance:	11 Plus years
4.) The number of times the violator was previously found in violation by either the CEB, SM or other quasi-judicial or judicial process, or otherwise admitted guilt in any such proceeding:	1
5.) The number of violation notices the violator has received in the past, as well as their nature and final disposition of each notice:	17
6.) Whether or to what extent there are extenuating factors preventing timely compliance, such as unavoidable personal hardship:	Property has been demolished.
7.) Whether or to what extent there are pending violation proceedings on the subject property or any other property within the city owned by the respondent:	No

MEMORANDUM

TO: The Honorable Mayor and Members of the City Commission

THROUGH: Nick Mimms, City Manager

FROM: Colleen Greer, Executive Secretary to Code Enforcement

SUBJECT: CODE ENFORCEMENT LIEN REDUCTION
1512 Avenue J

DATE: February 22, 2016

The following is a breakdown of the above property:

	Costs (General Fund)	Interest & Penalties	Administrative Fees
CASE # 04-0636	\$375,600.00	\$0.00	\$10.00
TOTAL	\$375,600.00	\$0.00	\$10.00

CAN BE WAIVED (ALL COSTS)

\$375,600.00.

City Commission Regular Meeting

Agenda Item # 11. a.

Meeting Date: 03/07/2016

Re: Application for Site Plan - O'Reilly Auto Parts - 4760 S US Highway 1

Submitted For: Rebecca Grohall, Planning & Zoning Manager, Planning & Zoning

SUBJECT:

Review and approval with conditions an application for Site Plan submitted by Property Owner, O'Reilly Automotive Stores

In.c, and representative, Bryan L. Zarlenga, PE. to construct a 7,248 sq. ft. retail auto parts store at 4760 S US Highway 1, Fort Pierce, FL. The property is zoned General Commercial (C-3) (3403-123-0000-000-4).

SUMMARY:

- The applicant is requesting the review and approval of a Site Plan to construct a 7,248 sq. ft. retail auto parts store at 4760 S US Highway 1.
- The proposed structure will have a standing seam metal roof with a minor slope concealed with the use of parapets and cornice treatments. The overall height of the structure is twenty-one feet and four inches (21'-4") ft.
- City Code Section 22-60 requires thirty-one (31) spaces for a retail store of the subject size. The applicant proposes the installation of twenty-eight (28) parking spaces (two of which is handicapped-accessible), and a bicycle rack adjacent to the building entrance, along with a payment to the City of \$6,000 to the City of Fort Pierce, in-lieu of providing the remaining three (3) spaces required.
- The Planning Board, at their February 9th, 2016 meeting, voted unanimously to recommend approval of the request with the condition that the applicant submit a truck turning radius analysis exhibit for the site to verify functionality of the rear delivery space. The exhibit presenting functionality has been submitted and is attached.

RECOMMENDATION:

- Approval with the condition that applicant implements a 5 ft. walkway to the future FDOT sidewalk upon completion of said FDOT sidewalk.

ALTERNATIVES:

- Approval with alternative conditions
- Denial

RESPONSIBLE STAFF:

Kori Benton, Senior Planner

COORDINATED WITH:

Technical Review Committee

Fiscal Impact

Budgeted Y/N:

Fiscal Year:

Account:

Amount:

OTHER INFORMATION:

Increased Ad-Valorem Tax Revenue and \$6,000 for the City's Parking Fund.

Attachments

Staff Report

Site Aerial

Project Application

Proposed Elevations & Floor Plans

Proposed Site Plan

Proposed Landscape Plan

Truck Turning Movements

Form Review

Inbox

City Manager

Form Started By: Kori Benton

Final Approval Date: 03/02/2016

Reviewed By

Nick Mimms

Date

03/02/2016 09:01 AM

Started On: 02/24/2016 03:20 PM



CITY OF FORT PIERCE

PLANNING DEPARTMENT

REBECCA GROHALL, AICP, PLANNING MANAGER
COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

TO: Nicholas Mimms, PE, City Manager

THROUGH: Rebecca Grohall, AICP, Planning Manager

FROM: Kori Benton, Senior Planner

SUBJECT: Application for Site Plan
O'Reilly Auto Parts
4760 S US Highway 1

DATE: February 24, 2016

STAFF REPORT

Owner/Applicant: O'Reilly Automotive Stores Inc
PO Box 06116
Chicago, IL 60606

Representatives: Emerald Coast Permitting, Inc. Bryan L. Zarlenga PE
534 Driftwood Point Rd CARDNO
Santa Rosa Beach, FL 32459 380 Park Place Boulevard,
Suite 300, Clearwater, FL

Requested Action: Approval of a Site Plan to construct a retail auto parts store

Location: 4760 S US Highway 1

Parcel IDs: 3403-123-0000-000-4

Current Zoning: C-3, General Commercial

Future Land Use: General Commercial (GC)

Surrounding Zoning:

North	East	South	West
C-3	C-3	C-3	C-3

Site Size: 0.85 acres

Utilities: Located within the FPUA Retail Service Area

Staff Analysis:

In accordance with Sections 22-31 and 22-58 of the City Code, the applicant is requesting the review and approval of a Site Plan to construct a 7,248 sq. ft. retail auto parts store. The subject site is vacant, with the previous structure demolished in 2010.

The proposed site plan proposes construction of a retail auto parts store with support parking, lighting, landscaping, and storm water retention facilities on the east side of US Highway 1.

The proposed structure will have a standing seam metal roof with a minor slope concealed with the use of parapets and cornice treatments. The overall height of the structure is twenty-one feet and four inches (21'-4") ft. Architectural enhancements include projecting canopies, and covered entry at the US Highway 1 entrance, retail windows, and metal shutters to punctuate the presented elevations. The building style is characterized by use of subtle building materials such as Split Face Block, finished in earth tones and accent colors. The use of vertically articulated parapets and horizontal façade schemes, as well as the integration of crisp angles and corners, broken by variations in material, height, and girth, provide a contemporary concept to blend with more modern architecture established along the corridor.

The landscape plan accents the development through compliance with all requirements of the City landscape requirements. The plan preserves a handful of existing cabbage palms on-site, planting 36 new trees, and various species of shrubs to accent and buffer the site. A conceptual irrigation plan has been provided to present the capacity to establish and maintain the proposed landscape. The existing Tanglewood Mobile Home Park to the east will be buffered by the installation of several Florida Elm canopy trees.

Vehicular access to the site is provided via a single two-way driveways located on US Highway 1, designed and permitted through FDOT. Parking demands for the store are accommodated via twenty-eight (28) parking spaces (two of which is handicapped-accessible), and a bicycle rack adjacent to the building entrance. The applicant proposes to submit a payment to the City of \$6,000 to the City of Fort Pierce, in-lieu of providing the remaining three (3) spaces required by City Code. The applicant has provided justification to alleviate concerns of the presented reduction of spaces, based upon prospective customer volume.

An off-street loading space is provided towards the north east corner of the structure to accommodate product deliveries and staging on-site.

Pedestrian connections are being deferred based upon a FDOT work plan for this corridor, at which time a five (5) ft. walkway will be implemented to the building entrance.

Site lighting will be provided for the parking area and the perimeter of the proposed structure in accordance with City Code requirements, as presented in the provided lighting plan.

The traffic impact statement provided indicates a total of 435 daily trips may be generated by the project. Of these trips, 16 AM peak hour, and 42 PM peak hour trips are presented for the surrounding roadway network. This US Highway 1 roadway segment is expected to operate at their current adopted level of service (LOS) with the additional trips; however a designated turn lane into the site may be contemplated at the time of roadway enhancement. At which time, staff supports shared driveway, or cross access connections with adjoining sites.

Technical Review Committee

All affected departments have reviewed and approved the Site Plan based on compliance with the requirements of the City Code.

Planning Board:

The Planning Board, at their February 9th, 2016 meeting, voted unanimously to recommend approval of the request with the condition that the applicant submit a truck turning radius analysis exhibit for the site to verify functionality of the rear delivery space. The applicant has filed this exhibit with staff which has been attached to the application packet for further review.

Staff Recommendation:

The proposed Site Plan meets the requirements of the City Code, and is found to be consistent with the City's Comprehensive Plan; therefore Staff recommends approval of the Site Plan with the condition that applicant implements a 5 ft. walkway to the future FDOT sidewalk upon completion of said FDOT sidewalk.



TC Jaguar
/Land Rover

SL Outboard

Tanglewood
Mobile Home Park

Greco
Nissan

Del Rio Plaza

U
S

H
i
g
h
w
a
y

1



4760 S US Highway 1

Site Aerial





CITY OF FORT PIERCE

PLANNING DEPARTMENT

REBECCA GROHALL, AICP, PLANNING MANAGER
COMPREHENSIVE PLANNING ◊ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ◊ URBAN DESIGN ◊ URBAN FORESTRY ◊ ZONING

Property address or Location 4760 SOUTH U.S. HIGHWAY 1
Parcel ID #(s) 3403-123-0000-0004
Project description CONSTRUCTION OF A NEW COMMERCIAL BUILDING FOR THE PURPOSE OF THE RETAIL SALE OF AUTO PARTS.

O'REILLY AUTOMOTIVE STORES, INC.
Property Owner(s)
233 S. PATTERSON AVE.
Street Address
SPRINGFIELD, MO 65802
City State Zip
(417) 862-2674
Phone Number
ptasset@oreillyauto.com
Email Address

EMERALD COAST PERMITTING, INC.
Applicant/Representative, Title, Company
534 DRIEWOOD POINT ROAD
Street Address
SANTA ROSA BEACH, FL 32459
City State Zip
(850) 837-7444
Phone Number
emeraldcoastpermitting@cox.net
Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

[Signature]
Property Owner(s) Signature(s)

STATE OF Missouri COUNTY Greene
The foregoing instrument was acknowledged before me this 15th day of December, 2014, by
Scott Kraus who is personally known to me or has produced

[Signature]
Signature of Notary

BECKY PILAND
Notary Public - Notary Seal
STATE OF MISSOURI
Greene County
My Commission Expires: June 5, 2017
Commission #13488017

INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation
				Contributing Individual Non-Contributing None

Pre-Application Meeting Date _____
Intake Planner _____
Planner Assigned _____
Approved By _____ Date _____
Comments _____

Fees _____ Control # _____ B. Permit # _____

Intake Date Stamp

DEVELOPMENT REVIEW

General Information

- Incomplete application packets cannot be accepted.
- Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

Choose Application Type:

Application Type			
<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Conditional Use with New Const.	<input type="checkbox"/> Major Amendment	
<input type="checkbox"/> Conceptual Development Plan		<input type="checkbox"/> Minor Amendment	

Site Information:

Non-Residential: Proposed Sq. Ft.: 7,220 Residential: Proposed Units: N/A

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West
CG	C3	C3	C3

Application Outlook



Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- Complete notarized application
- Warranty Deed
- SLC Property Record Card
- Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- General location map (see Section 22-58.d.2)
- Survey (see Section 22-58.d.3)
- Site Plan (see Section 22-58.d.4)
- Landscaping Plan (see Section 22-187)
- Storm Drainage Plan (see Section 22-58.d.6)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 22-58.d.7)
- Lighting Plan (see Section 22-58.d.8)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)



**CITY OF FORT PIERCE
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION**

COMPREHENSIVE PLANNING ◊ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ◊ URBAN DESIGN ◊ URBAN FORESTRY ◊ ZONING

CERTIFICATE OF CONCURRENCY APPLICATION

Project Name: NEW O'REILLY AUTO PARTS STORE

- Name of owner(s): O'REILLY AUTOMOTIVE STORES, INC.
Mailing Address: (Street) 233 SOUTH PATTERSON
(City) SPRINGFIELD (State) MO (Zip) 65802
Phone # (417) 862-2674
- Name of Applicant: O'REILLY AUTOMOTIVE STORES, INC.
Mailing Address: (Street) 233 SOUTH PATTERSON
(City) SPRINGFIELD (State) MO (Zip) 65802
Phone # (417) 862-2674
- Name of Representative: EMERALD COAST PERMITTING, INC.
Mailing Address: (Street) 534 DRIFTWOOD POINT ROAD
(City) SANTA ROSA BEACH (State) FL (Zip) 32459
Phone # (850) 837-7444 Fax # (850) 837-7677
E-mail: emeraldcoastpermitting@cox.net
- Is this concurrency application related to a specific project? (Please circle one)
Yes No
If yes, list the corresponding site plan or subdivision name:

To be completed by the City	
Date Received _____	By _____
Fee: _____	Receipt# _____

5. Capacity Analysis: (SEE ATTACHED)

I. Site Data:

	Existing Use	Future Land Use	Zoning
North			
South			
East			
West			

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current					
Proposed					N/A

II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6 = persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning	Total gallons per day
Proposed Zoning	Total gallons per day
Change in Demand	Total gallons per day

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning	Total gallons per day
Proposed Zoning	Total gallons per day
Change in Demand	Total gallons per day

C. Parks and Recreation (Residential Classifications Only):
(Du x 2.6 = persons + 44,227 = population /LOS)

Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

D. Public Schools (Residential Classifications Only): Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name		
City		
Distance		
Current Zoning Enrollment Demand		
Proposed Zoning Enrollment Demand		
Change in Demand		

E. Solid Waste: 2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units	
Demand Analysis	Maximum
Current Zoning	
Proposed Zoning	
Change in Demand	

F. Stormwater: Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)	
Impact	

III. Transportation Analysis

G. Traffic Most recent ITE Code for use; HCM Roadway Capacity		
	AADT	AM/PM Peak Hour Trips
Demand Analysis	Maximum	Maximum
Current Zoning		
Proposed Zoning		
Change in Demand	Trips	Trips
Impact to Capacity		

6. Project Description

PHASING	
Is this project (phase) part of a larger project?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If yes, enumerate each phase, the number of units or square footage in each phase and beginning/completion date.	
Total Project: Residential Units:	Single Family: Multifamily:
Non-residential (square footage):	
Mixed-use (describe use):	
(If this is a single phase project, name it Phase I – Total)	

RESIDENTIAL DATA					
Type	Phase	Number of Units	Acres	Expected beginning date	Expected completion date
Single-family, detached					
Single-family, attached					
Multi-family					
Other (specify)					

NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date

7. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated. Yes No

8.
 - a. Does this application involve demolition or re-use of any structure(s)? Yes No
If yes, what is the size of the structure(s) to be demolished or re-used? _____
 - b. What is the current use of the structure to be demolished or re-used? _____
 - c. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site? Yes No
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

9. Exemptions Requested:

Applicant Acknowledgements (Owner's signature must be notarized)

I certify that: (Check One)

X I (we) do hereby certify that I (we) own in fee simple the above referenced described property for which a certificate of concurrency is requested, and that the application is true, correct, and complete to the best of my knowledge.

_____ I (we) are not the owner of the above described property; however, the owners signature below authorizes the applicants the authority to act as agent for the owner(s) of record and that the application is true, correct, and complete to the best of my knowledge.

[Signature]
 Applicants Signature _____ Date _____
233 SOUTH PATTERSON SPRINGFIELD Mo 65802
 Address _____ City _____ State _____ Zip _____
(417) 862-2674 (417) 829-5715 ptasset@oreillyauto.com
 Phone _____ Fax _____ E-mail Address _____

Property Owners Acknowledgements: (please print) - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application for a change in future land use. The property owner's signature below shall also authorize the applicant (if other than the property owner) and/or Agent to act in his/her behalf for the purpose of seeking a certificate of concurrency.

[Signature] _____ Phone: (417) 862-2674
 Property Owner's Name (Please Print) _____

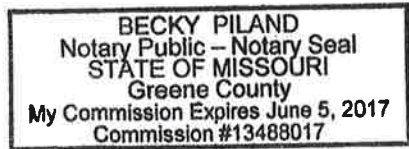
233 SOUTH PATTERSON SPRINGFIELD Mo 65802
 Address _____ City _____ State _____ Zip _____

[Signature] _____
 Property Owner's Signature _____ Date _____

Missouri, County of Greene
 STATE OF ~~FLORIDA~~, CITY OF ~~FORT PIERCE~~
 The foregoing instrument was acknowledged before me this 1st day of December, 2014, by Scott Kraus who is personally known to me or has produced _____ as identification.

[Signature]
 Signature of Notary

Becky Piland
 Type or Print Name of Notary



(seal)



CITY OF FORT PIERCE

PLANNING DEPARTMENT

COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
 HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

CAPACITY ANALYSIS

I. Site Data:

	Existing Use	Future Land Use	Zoning
North	COMMERCIAL	GENERAL COMMERCIAL	CG
South	COMMERCIAL	GENERAL COMMERCIAL	C3
East	RIGHT OF WAY	RIGHT OF WAY	N/A
West	COMMERCIAL	GENERAL COMMERCIAL	C3

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current	GENERAL COMMERCIAL	C3		0.762 AC	ZONE X
**Proposed	GENERAL COMMERCIAL	C3	7,228 SF	0.762 AC	N/A

II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	0 Total gallons per day
**Proposed Zoning/FLU	904 Total gallons per day
**Change in Demand	904 Total gallons per day

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	⁰ Total gallons per day
**Proposed Zoning/FLU	723 Total gallons per day
**Change in Demand	723 Total gallons per day

C. Parks and Recreation (Residential Classifications Only): (Du x 2.6 = persons + 44,227 = population /LOS) N/A				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people	N/A	N/A	N/A
Urban District	5 acres per 1,000 people	N/A	N/A	N/A
Community	2.5 acres per 1,000 people	N/A	N/A	N/A
Neighborhood	1.36 acres per 1,000 people	N/A	N/A	N/A

D. Public Schools (Residential Classifications Only): Single Family: (du x 0.405 = students/70% K-8/30% High) N/A Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name	N/A	N/A
City	N/A	N/A
Distance	N/A	N/A
Current Zoning/FLU Enrollment Demand	N/A	N/A
**Proposed Zoning/FLU Enrollment Demand	N/A	N/A
**Change in Demand	N/A	N/A

E. Solid Waste: Residential (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	0
**Proposed Zoning/FLU	6 YD
*Change in Demand	6 YD

F. Stormwater:
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)

Impact	STORMWATER MANAGEMENT FACILITIES WILL INCLUDE A CHAMBER SYSTEM, PIPES, INLETS AND CONTROL STRUCTURE DESIGNED TO CITY AND SFWMD REQUIREMENTS. POST-DEVELOPMENT RATE WILL BE LESS THAN THE PRE-DEVELOPMENT RATE FOR THE 25-YEAR 3-DAY STORM.
---------------	--

III. Transportation Analysis: *Complete ITE Trip Generation Form (Attached)*

G. Transportation Analysis: Complete ITE Trip Generation Data Form		
Most recent ITE Code for use; HCM Roadway Capacity		
	AADT	AM/PM Peak Hour Trips
Demand Analysis	Maximum	Maximum
Current Zoning/FLU	C3	C3
**Proposed Zoning/FLU	C3	C3
*Change in Demand	29,941 Trips	435 Trips
Impact to Capacity	ADDITION OF 435 DAILY TRIP (42 PM PEAK TRIPS)	

IV. Project Description

PHASING

Is this project (phase) part of a larger project? Yes No

If yes, enumerate each phase, the number of units or square footage in each phase and beginning/completion date.

Total Project: Residential Units: Single Family: Multifamily: _____

Non-residential (square footage): _____

Mixed-use (describe use): _____

(If this is a single phase project, name it Phase I – Total)

RESIDENTIAL DATA					
	N/A				
Type	Phase	Number of Units	Acres	Expected beginning date	Expected completion date
Single-family, detached	N/A	N/A	N/A	N/A	N/A
Single-family, attached	N/A	N/A	N/A	N/A	N/A
Multi-family	N/A	N/A	N/A	N/A	N/A
Other (specify)	N/A	N/A	N/A	N/A	N/A

NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date
COMMERCIAL (AUTO PARTS RETAIL)- PHASE 1	1	7,228	0.762	10/01/2015	04/30/2016

- A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated. Yes No
- B. 1. Does this application involve demolition or re-use of any structure(s)? Yes No
If yes, what is the size of the structure(s) to be demolished or re-used? N/A
2. What is the current use of the structure to be demolished or re-used? N/A
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site? Yes No
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)
- C. Exemptions Requested: N/A
- ** Complete section if requesting a change in zoning, future land use, or expanding

November 24, 2014



Mr. Steve Peterie
O'Reilly Automotive Stores, Inc.
233 S. Patterson
Springfield, MO 65802

Cardno

12481 Telecom Drive
Tampa, FL 33637
USA

Phone: +1 813 221 0048

www.cardno.com

RE: Fort Pierce Traffic Analysis – 4760 US Highway 1

Dear Mr. Peterie:

Cardno has completed the traffic analysis for the O'Reilly Auto Parts store proposed at 4760 US highway 1 in Ft. Pierce, Florida. The 7,228 square foot store has a build-out year of 2015. The traffic analysis based on the site plan that includes one driveway on US 1 is as follows:

TRIP GENERATION ANALYSIS

The trip generation analysis was conducted utilizing the equations found in the Institute of Transportation Engineers (ITE) *Trip Generation*, 9th Edition for land use code (LUC) 843: Automobile Parts Sales. It is anticipated that 435 daily trips, 16 AM peak-hour trips (8 inbound, 8 outbound) and 42 PM peak-hour trips (21 inbound, 21 outbound) will be generated by the project. A summary of the daily, AM and PM peak-hour trip generation is included in **Table 1**. The ITE Trip Generation information is provided in **Appendix A**.

Table 1 O'Reilly Auto Parts Trip Generation										
LUC	Land Use Type	Size	Units	Daily	AM Peak Hour			PM Peak Hour		
					Total	Enter	Exit	Total	Enter	Exit
843	Automobile Parts Sales	7,228	SF	435	16	8	8	42	21	21

Australia • Belgium • Canada • Colombia • Ecuador • Germany • Indonesia • Italy • Kenya • New Zealand • Papua New Guinea • Peru • Philippines • Tanzania • United Arab Emirates • United Kingdom • United States • Operations in 85 countries

O:\JOB\00334\0033400144\FP1trafficanalysis.doc\FInalfp1trafficanalysis.doc

SITE ACCESS

Access/egress for the site is proposed via one full-access driveway on US Highway 1.

PROJECT TRIP DISTRIBUTION AND ASSIGNMENT

The trip distribution and project assignment utilized in the study were determined based upon the existing travel patterns within the study area. A review of available existing annual average daily traffic (AADT) information from FDOT Florida Traffic Online and the St. Lucie Transportation Planning Organization *Traffic Counts and Level of Service (LOS) Report for Fall 2013* provided data for US 1, north of Midway Road. The proposed trip distribution and project trips assigned to the driveway for the AM and PM peak periods are shown in **Figure 1**. The traffic data is included in **Appendix B**.

ROADWAY CAPACITY ANALYSIS

US Highway 1 is a five-lane roadway (4-lane plus two-way-left-turn lane) in the vicinity of the project site and currently operates at LOS D during both the AM and PM peak hours based on the latest traffic counts provided by St. Lucie County Transportation Planning Organization. It has a peak hour/peak direction service capacity of 1,860 vehicles and a PM peak hour directional volume of 1,424 vehicles. With the additional 16 AM peak hour trips and 42 PM peak hour trips added to this roadway, the LOS is expected to remain within the service capacity of the roadway.

CONCLUSION

Based on the data collected and analysis, the proposed development is expected to result in minimal impact to the surrounding roadway network.

Sincerely,



Susan C. Joel, PE, PTOE
Senior Traffic Engineer
For Cardno TBE
Direct Line 727.519.4170



US HWY 1 / S. FEDERAL HWY

56%
4 (12)

44%
4 (9)

44%
4 (9)
56%
4 (12)

PROPOSED
O'REILLY AUTO
PARTS STORE

LEGEND	
$\frac{XX\%}{XX (XX)}$	- PROJECT DISTRIBUTION - AM (PM) PROJECT VOLUMES
-----	- DRIVEWAY

DATE: 11/2014 TIME: SCALE: 1 FILENAME: c:\08\00334\00334-001-44\ACAD\Vicinity.dwg



PROJECT: O'REILLY AUTO PARTS (4760 US HIGHWAY 1)

CITY, COUNTY: FT. PIERCE, ST. LUCIE COUNTY

TITLE: PROJECT DISTRIBUTION AND DRIVEWAY VOLUMES

FIGURE: 1

**APPENDIX A
TRIP GENERATION**

O'Reilly Auto Parts
 Location: 4760 US Highway 1
 Fort Pierce, Florida

ITE Trip Generation (9th edition)

LUC 843 pg. 1604

Auto Parts Sales
 Size: 7228 SF

Average Vehicle Trip Ends per 1,000 SF Gross Floor Area (ITE 9th Edition)

LUC 843	Daily :			
	Avg. Rate = 61.91	447.4855 Trips		
	Eqn: $T=81.02(X)-150.75$	434.8626 Trips	<input type="text" value="435"/>	
	AM Peak Hour:			
	Avg. Rate = 2.21	15.97388 Trips		
	Eqn: $T=2.76(X)-4.34$	15.60928 Trips	<input type="text" value="16"/>	
	PM Peak Hour:			
	Avg. Rate = 5.98	43.22344 Trips		
	Eqn: $T=7.87(X)-14.86$	42.02436 Trips	<input type="text" value="42"/>	

PM Peak Hour :		
49% Entering	20.58	21
51% Exiting	21.42	21
	42	42

AM Peak Hour :		
51% Entering	8.16	8
49% Entering	7.84	8
	16	16

**APPENDIX B
TRAFFIC COUNT DATA**

FLORIDA DEPARTMENT OF TRANSPORTATION
 2013 ANNUAL AVERAGE DAILY TRAFFIC REPORT - REPORT TYPE: ALL

COUNTY: 94 ST. LUCIE

SITE TYPE	DESCRIPTION	DIRECTION 1	DIRECTION 2	AADT TWO-WAY	"K" FCTR	"D" FCTR	"T" FCTR
0001	SEMINOLE RD- SOUTH OF PENNY LN	OE	OE	80 F	9.0	50.8F	11.9F
0003	CR 707/INDIAN RIVER DR - N OF ORANGE AVE (COUNTY 9)	N	S	2700	9.0	55.9F	21.0A
0004	INDIAN RIVER DR - 707 S OF AIA/BRIDGE (COUNTY 4)	N	S	2800	9.0	55.9F	1.2P
0006	SR 713/KINGS HWY - S OF SR 614/INDRO RD (COUNTY 9)	N	S	6000	9.0	50.8F	7.3P
0009	SR 5/US 1 - S OF INDRIO RD (COUNTY 9)	N	S	7800	9.0	55.9F	3.5P
0010	SR 5/US 1 - S OF 608/ST LUCIE BLVD (COUNTY 10)	N	S	7700	9.0	55.9F	3.3P
0011	SR 615/25 ST - S OF SR 608/ST LUCIE BLVD (COUNTY 9)	N	S	3600	9.0	50.8F	5.0P
0012	SR 5/US 1 - S OF CR 611/EDWARDS RD (COUNTY 12)	N	S	15000	9.0	55.9F	5.5P
0014	SR 615/25 ST - S OF SR 68/ORANGE AVE (COUNTY 14)	N	S	9200	9.0	50.8F	3.1P
0015	SR 615/25 ST - N OF SR 70/VIRGINIA AVE (COUNTY 1)	N	S	10500	9.0	50.8F	4.2P
0016	CR 615/25 ST S - N OF CR 712/MIDWAY RD (COUNTY 1)	N	S	7800E	9.0	50.8F	8.5F
0019	CR 615/AIROSA BLVD - N OF CR 716/PORT ST LUCIE B	N	S	7200E	9.0	50.8F	2.9P
0020	SR 5 / US 1 - N OF CR 712/MIDWAY RD (COUNTY 20)	N	S	14500	9.0	55.9F	2.8P
0021	SR 615 / 25 ST - S OF CORTEZ BLVD-N OF EDWARDS R	N	S	10500	9.0	50.8F	3.6P
0022	HARTMAN RD - N. OF OKEECHOBBE RD.	OE	OE	4600 F	9.0	50.8F	11.9F
0023	CR 712/MIDWAY RD - W OF SR 5/US1 (COUNTY 126)	E	W	1800E	9.0	50.8F	5.0P

SITE TYPE : BLANK= PORTABLE; T= TELEMETERED
 "K" FACTOR : DEPARTMENT ADOPTED STANDARD K FACTOR BEGINNING WITH COUNT YEAR 2011
 AADT FLAGS : C= COMPUTED; E= MANUAL EST; F= FIRST YEAR EST; S= SECOND YEAR EST; T= THIRD YEAR EST; X= UNKNOWN
 "D/T" FLAGS : A= ACTUAL; F= FACTOR CATG; D= DIST FUNCL; P= PRIOR YEAR; S= STATEWIDE DEFAULT; W= ONE-WAY ROAD; X= CROSS REF

Traffic Counts and Level of Service Report Fall 2013

Roadway Name	Location	AADT	Pk Hr Service Capacity	AM Pk Hr Pk Dir		PM Pk Hr Pk Dir				
				Volume	LOS	V/C	Volume	LOS	V/C	
TULIP BLVD	PAAR DR to DARWIN BLVD	3,300	550	227	C	217	C	0.597	C	0.571
US 1	MARTIN COUNTY LINE to LENNARD RD	48,802	3,770	2,222	C	2,613	C	0.748	C	0.880
US 1	LENNARD RD to PORT ST LUCIE BLVD	48,802	3,590	2,222	C	2,613	C	0.785	C	0.923
US 1	MARIPOSA AVE to JENNINGS RD	33,607	2,940	1,613	B	1,712	B	0.672	B	0.713
US 1	JENNINGS RD to TIFFANY AVE	33,607	2,940	1,613	B	1,712	B	0.672	B	0.713
US 1	TIFFANY AVE to WALTON RD	33,607	2,940	1,613	B	1,712	B	0.672	B	0.713
US 1	WALTON RD to VILLAGE GREEN DR	43,377	2,940	2,350	B	2,107	B	0.979	B	0.878
US 1	VILLAGE GREEN DR to SPANISH LAKES BLVD	52,770	3,090	2,803	C	2,625	C	0.934	C	0.875
US 1	SPANISH LAKES BLVD to PRIMA VISTA BLVD	52,770	2,810	2,803	D	2,625	D	0.998	D	0.934
US 1	PRIMA VISTA BLVD to RIO MAR DR	35,436	3,090	1,639	B	1,613	B	0.650	B	0.640
US 1	RIO MAR DR to KITTERMAN RD	29,505	2,810	1,442	C	1,306	C	0.661	C	0.599
US 1	KITTERMAN RD to SAEGER AVE	29,505	2,940	1,442	B	1,306	B	0.601	B	0.544
US 1	SAEGER AVE to EASY ST	29,505	2,450	1,442	D	1,306	D	0.589	D	0.533
US 1	EASY ST to MIDWAY RD	27,709	3,090	1,292	B	1,255	B	0.513	B	0.498
US 1	MIDWAY RD to WEATHERBEE RD	29,941	1,860	1,407	D	1,424	D	0.756	D	0.766
US 1	MIDWAY RD to FARMER'S MARKET RD	29,941	1,960	1,407	B	1,424	B	0.902	B	0.913
US 1	FARMER'S MARKET RD to EDWARDS RD	29,941	1,960	1,407	B	1,424	B	0.902	B	0.913
US 1	EDWARDS RD to SAVANNAH RD	31,459	1,770	1,441	D	1,413	D	0.814	D	0.798
US 1	GARDENIA AVE to VIRGINIA AVE	31,459	1,770	1,441	D	1,413	D	0.814	D	0.798
US 1	SAVANNAH RD to GARDENIA AVE	31,459	1,500	1,441	D	1,413	D	0.961	D	0.942
US 1	VIRGINIA AVE to OHIO AVE	30,672	1,770	1,477	D	1,489	D	0.834	D	0.841
US 1	OHIO AVE to GEORGIA AVE	30,672	1,770	1,477	D	1,489	D	0.834	D	0.841
US 1	GEORGIA AVE to DELAWARE AVE	25,426	1,770	1,311	C	1,253	C	0.986	C	0.942
US 1	DELAWARE AVE to CITRUS AVE	27,451	1,500	1,391	D	1,355	D	0.927	D	0.903
US 1	CITRUS AVE to ORANGE AVE	22,239	1,500	1,107	D	998	D	0.738	D	0.665
US 1	ORANGE AVE to AVENUE A	27,451	1,500	1,391	D	1,355	D	0.927	D	0.903
US 1	AVENUE A to AVENUE C	27,451	1,500	1,391	D	1,355	D	0.927	D	0.903
US 1	AVENUE C to AVENUE D	27,451	1,500	1,391	D	1,355	D	0.927	D	0.903
US 1	AVENUE D to SEAWAY DR	27,451	1,500	1,391	D	1,355	D	0.927	D	0.903

* Volumes shown were adjusted using FDOT Seasonal Factors

* AADT = Annual Average Daily Traffic



CITY OF FORT PIERCE

PLANNING DEPARTMENT

COMPREHENSIVE PLANNING ◊ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ◊ URBAN DESIGN ◊ URBAN FORESTRY ◊ ZONING

APPLICATION FOR DESIGN REVIEW

- Project Name: NEW O'REILLY AUTO PARTS STORE
1. Project description for which design review approval is requested: CONSTRUCTION OF A NEW COMMERCIAL BUILDING FOR THE PURPOSE OF THE RETAIL SALE OF AUTO PARTS.
 2. Property Tax I.D. #: 3403 - 123 - 0000 - 0004
 3. Property Address: 4160 SOUTH US HIGHWAY 1
 4. Zoning District: C3 5. Future Land Use: GC (GENERAL COMMERCIAL)
 6. Historic District Y/N No if yes, which District: N/A
 7. Total Acreage: 0.762 ACRES
 8. Name of Owner(s): O'REILLY AUTOMOTIVE STORES, INC.
Signature of Owner(s): [Signature]
Mailing Address: (street) 233 SOUTH PATTERSON
(City) SPRINGFIELD (State) MO (zip) 65802
Phone # (417) 862-2674
 9. Name of Applicant: O'REILLY AUTOMOTIVE STORES, INC.
Signature of Applicant: [Signature]
Mailing Address: (street) 233 SOUTH PATTERSON
(City) SPRINGFIELD (State) MO (zip) 65802
Phone # (417) 862-2674
 10. Name of Representative: EMERALD COAST PERMITTING, INC.
Signature of Representative: _____
Mailing Address: (street) 534 DREWWOOD POINT ROAD
(City) SANTA ROSA BEACH (State) FL (zip) 32459
Phone # (850) 837-7444 Fax (850) 837-7677
E-mail: emeraldcoastpermitting@cox.net

11. **Property Owners Acknowledgements:** - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the site plan as described herein.

[Signature] (417) 862-2674
Property Owner's Name (Please Print) Phone
233 SOUTH PATTERSON SPRINGFIELD MO 65802
Address State Zip

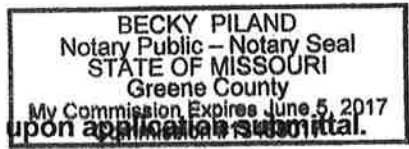
Property Owner's Signature _____ Date _____

Missouri
STATE OF FLORIDA)
ST LUCIE COUNTY)
Greene

The foregoing instrument was acknowledged before me this 15th day of December, 2014, by Scott Kraus who is personally known to me ~~or has produced~~ _____ as identification.

Becky Piland
Signature of Notary

(seal)



A complete Administrative Review packet is required upon application submittal.

To be completed by the City

Date Received _____ By _____
Fee: _____ Receipt# _____

**All required application information must be provided at time of submittal.
Packets must be folded to 8 1/2 x 11 and collated.**

APPLICATION REQUIREMENTS:

- a. **Application fee**
- b. **Application submission shall include the following:**
 - TRC (Initial Submission): One (1) original and (13) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
 - Planning Board: One (1) original and (16) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
 - City Commission: One (1) original and (11) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.

DESIGN REVIEW APPLICATION CHECKLIST
(City Code of Ordinances 22-59)

1. Submittal for Administrative Review:

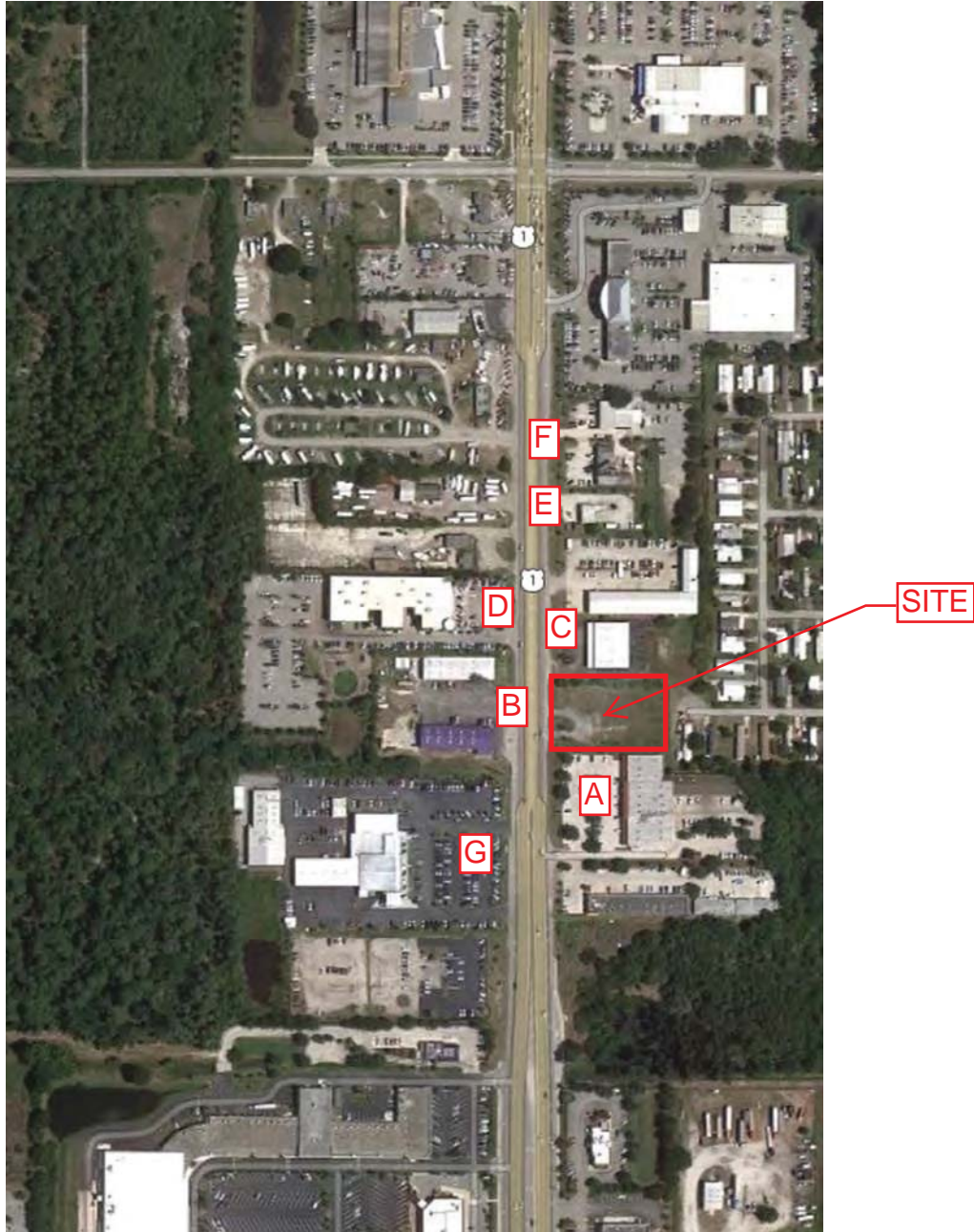
1. A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 22-194, location of bordering streets and, if applicable, wetlands and beaches.
2. A Site Analysis Study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment and other site features that may influence design elements.
3. A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the Site Analysis Study results.
4. Context photographs of neighboring uses and architectural styles.
5. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the City's Planning Department.
6. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty years of age, documentation of these structures with data from the Florida Master Site File form is also required.
7. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
8. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
9. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
10. Exterior elevations showing architectural character, external architectural features and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.

2. Submittal for Final Review:

1. A Written Narrative describing how the project conforms to Administrative Approval and Design Review Guidelines of this section.
2. A final site plan meeting the requirements of Section 22-58.
3. A final site lighting plan that meets the requirements of Section 22-58(d)(8).
4. A final landscape plan that meets the requirements of Article XII, Landscaping and Trees.
5. Final floor plans and elevation drawings (1/8"=1'-0" minimum scale), as detailed under Administrative Approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
6. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

November 4, 2015

New O'Reilly Auto Parts Store
4760 S. US Hwy 1,
Fort Pierce, FL #1 (FP1)

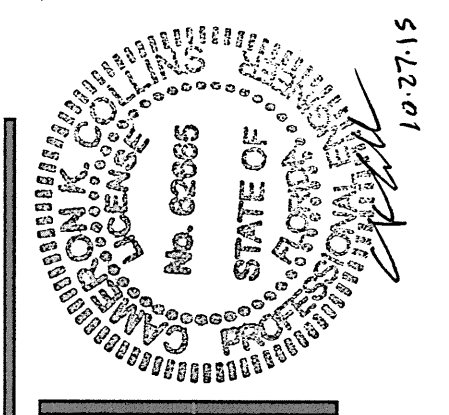






RECEIVED
OCT 27 2015
1736 EAST SUNSHINE, SUITE 417
SPRINGFIELD, MISSOURI 65804

Cameron K. Collins, P.E. #62665
3333 E. Battelle Road, Suite 1000
Springfield, Missouri 65804
Phone: 417.862.3265
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mfc.com
mfc.com
MINIFAC
MINIATURE FACILITY LIGHTING



CRAIG A. SCHNEIDER, AIA
ARCHITECT
417.862.0558
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architect@esteryschneider.com

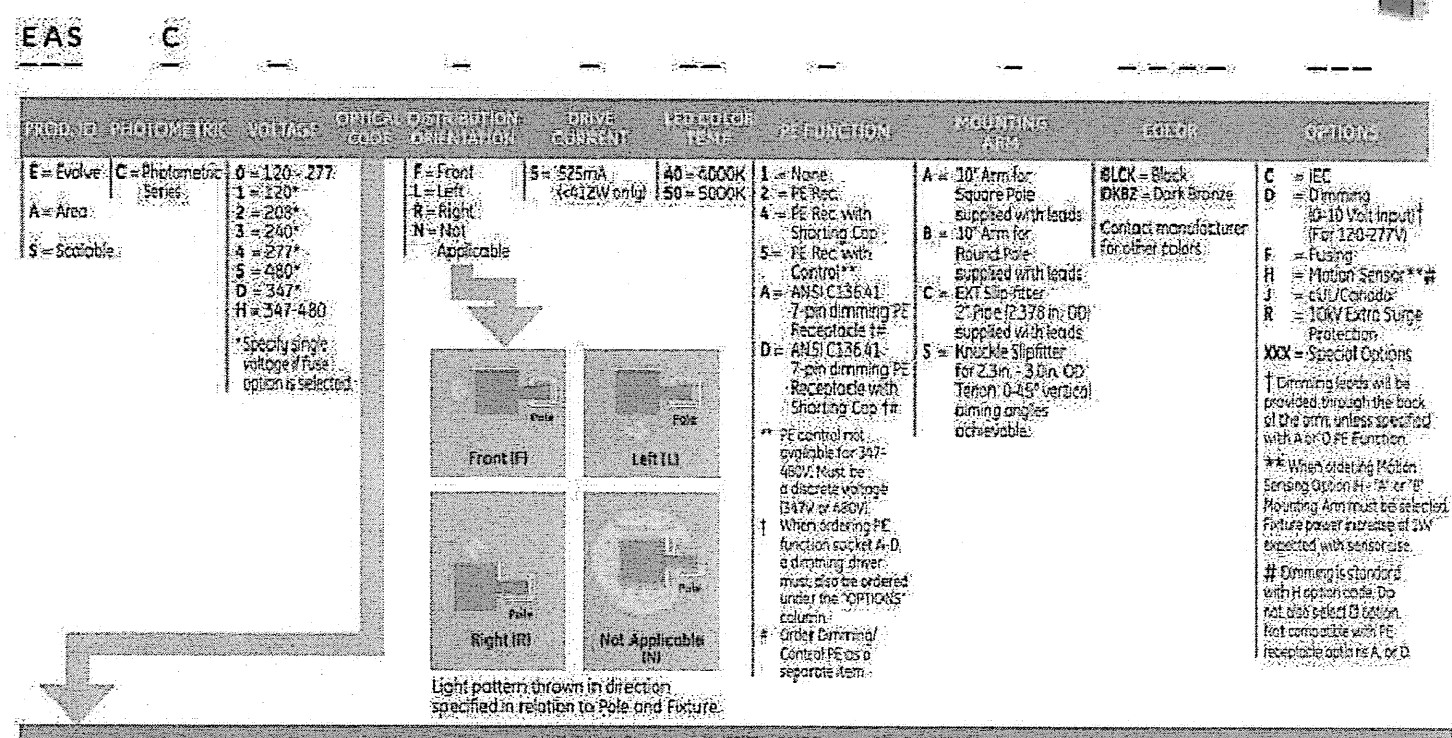
New O'Reilly Auto Parts Store:
S. U.S. HWY 1
FORT PIERCE, FL
(FORT PIERCE #1)

O'Reilly AUTO PARTS
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
417-862-2674 PHONE

COMM # 3625
DATE: 10-27-15
REVISION DATE:

SL2 of 2

Ordering Number Logic
Evolve™ LED Scalable Area Light (EAS)



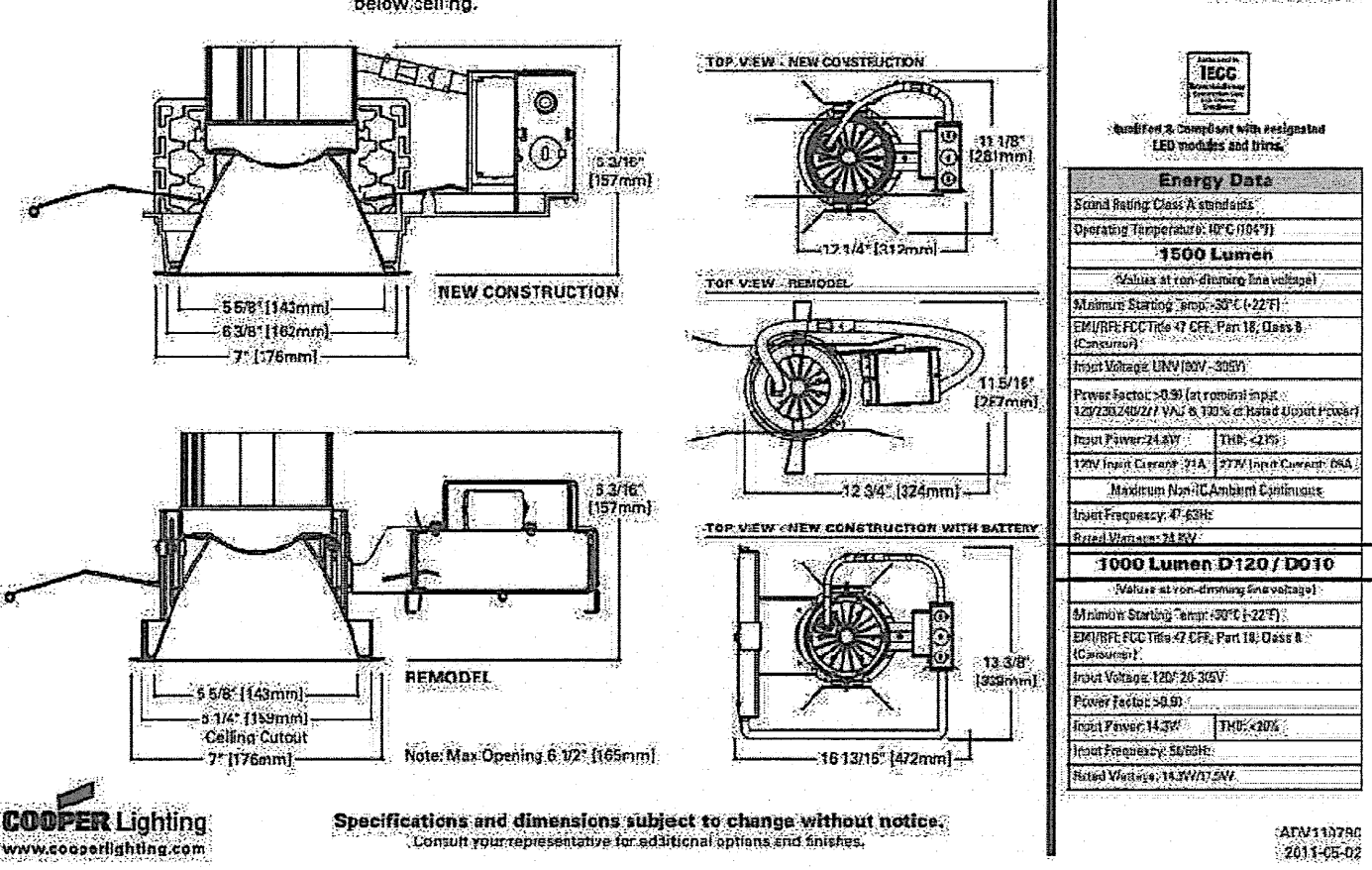
TYPE I	TYPE II	TYPE III	TYPE IV	TYPE V	TYPE VI	TYPE VII	TYPE VIII	TYPE IX	TYPE X	TYPE XI	TYPE XII	TYPE XIII	TYPE XIV	TYPE XV	TYPE XVI	TYPE XVII	TYPE XVIII	TYPE XIX	TYPE XX	TYPE XXI	TYPE XXII	TYPE XXIII	TYPE XXIV	TYPE XXV	TYPE XXVI	TYPE XXVII	TYPE XXVIII	TYPE XXIX	TYPE XXX																																																																		
05	06	07	08	09	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	KA

PORTFOLIO™

Product	Type
LD610	6 inch recessed narrow beam
LD615	6 inch recessed narrow beam
LD6R10	6 inch recessed narrow beam
LD6R15	6 inch recessed narrow beam
6LN	6 inch narrow beam
LED	6 inch narrow beam
Narrow Downlight	6 inch narrow beam

DESCRIPTION
6 inch LED recessed narrow beam downlight specially designed for LED technology. Two-stage reflector system produces smooth distribution with excellent light control and low aperture brightness. Linear packages include 1000 and 1500 delivered lumens with color temperatures of 2700K, 3000K, 3500K, 4000K. Suitable for commercial application and specific high off-axis requirements (with assigned trim) for Title 24-2008 and IECC-2008.

SPECIFICATION FEATURES:
Lower Shading Reflector: Self-flanges; spun 0.031" thick aluminum lower reflector in combination with a lensed upper optical chamber provides superior lumen output with minimal source brightness. Available in all Portfolio AIA's finishes.
Trim Retention: Lower reflector is retained with two torsion springs holding the flange tightly to the finished ceiling surface.
Plaster Frame / Collar: New Construction Housing: Die cast aluminum 1-1/2" deep collar accommodates ceiling materials up to 2" Rammed Housing: Galvanized steel plaster ring adjusts to accept up to 1" ceiling thickness.
Universal Mounting Bracket: Accepts 1/2" CM, C channel and bar hangers and adjusts 5" vertically from above and below the ceiling new construction housing only.

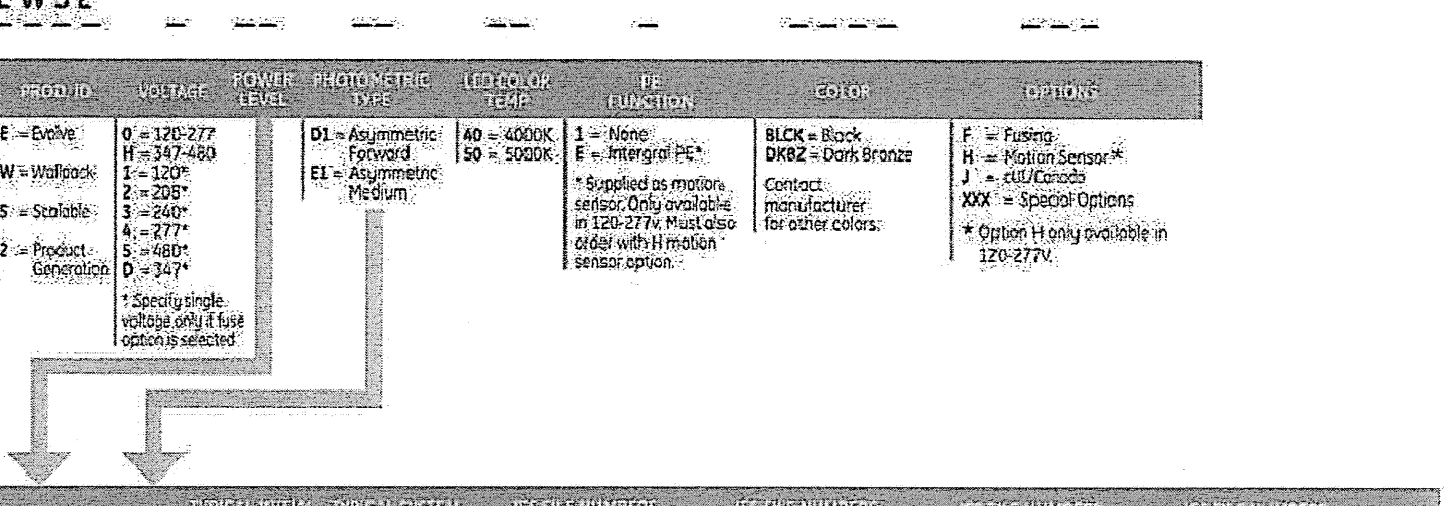


TYPE 'L' LIGHT FIXTURE

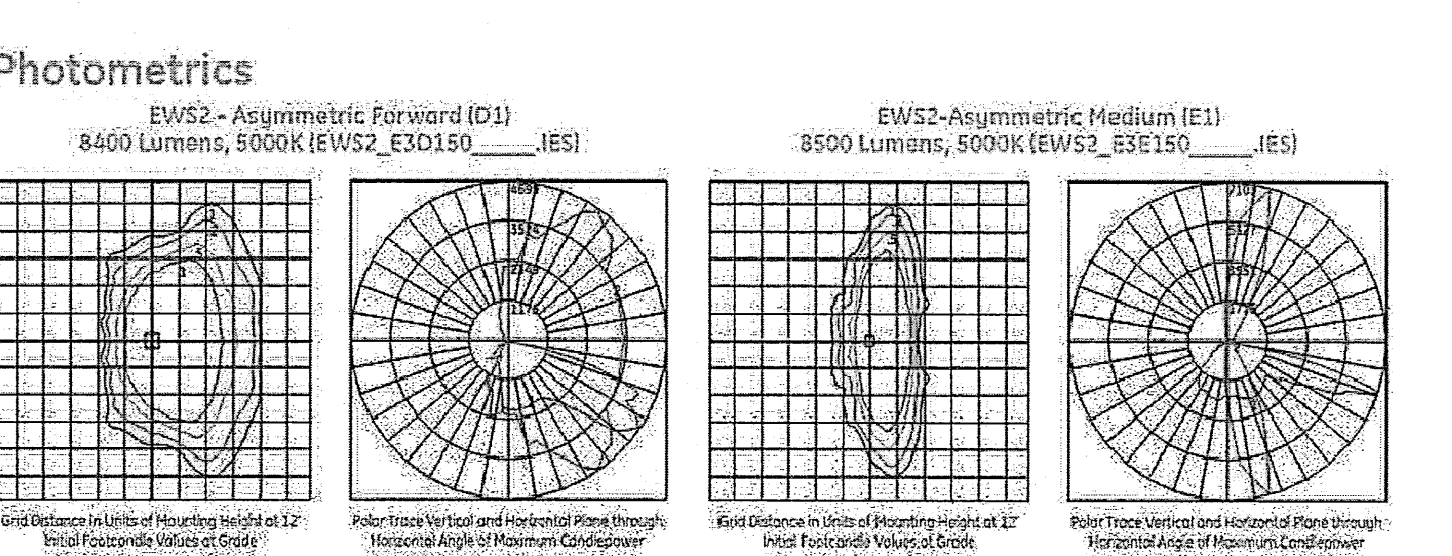
TYPE 'S1' LIGHT FIXTURE



Ordering Number Logic
Scalable Wall Pack (EWS2)



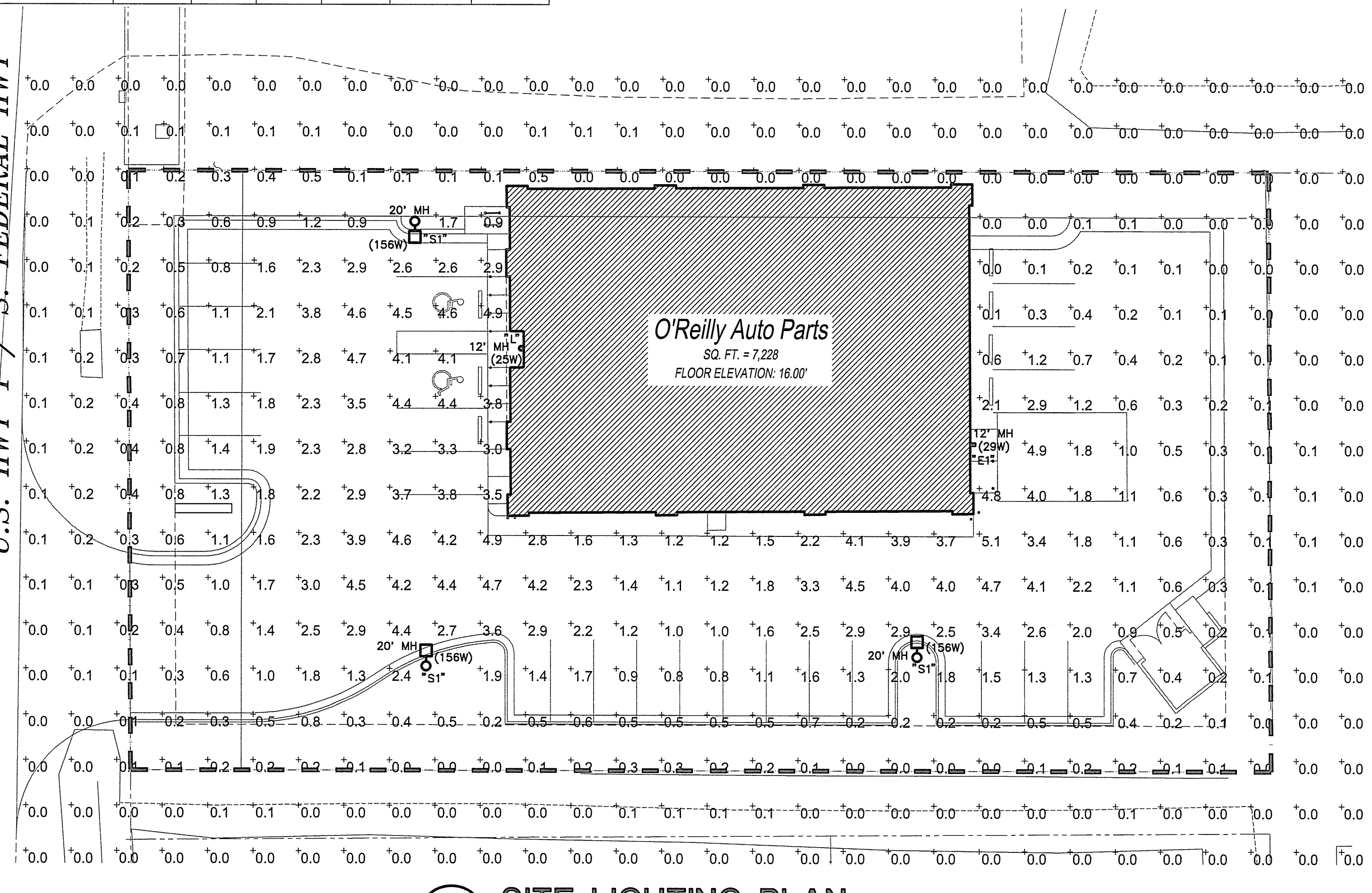
TYPE I	TYPE II	TYPE III	TYPE IV	TYPE V	TYPE VI	TYPE VII	TYPE VIII	TYPE IX	TYPE X	TYPE XI	TYPE XII	TYPE XIII	TYPE XIV	TYPE XV	TYPE XVI	TYPE XVII	TYPE XVIII	TYPE XIX	TYPE XX	TYPE XXI	TYPE XXII	TYPE XXIII	TYPE XXIV	TYPE XXV	TYPE XXVI	TYPE XXVII	TYPE XXVIII	TYPE XXIX	TYPE XXX																																																																						
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	KA



TYPE 'E1' LIGHT FIXTURE

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING AREA	+	2.2 fc	6.1 fc	0.1 fc	61.0:1	22.0:1
PROPERTY LINE	+	0.1 fc	0.5 fc	0.0 fc	N / A	N / A



1 SITE LIGHTING PLAN
SCALE: 1"=20'
NORTH

HA: ORE 0724 \ D:\0724SL2_27 Oct 2015 - 2:32 pm

November 4, 2015

Design Guidelines Written Narrative:

New O'Reilly Auto Parts Store
4760 South US Highway 1
Fort Pierce, FL #1 (FP1)

The following is provided as a draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis study results.

Construction of a new O'Reilly Auto Parts Store is being planned at 4760 South US Highway 1 in Fort Pierce.

The new commercial retail auto parts store is proposed to be 7,248 S.F. and shall be Architectural split face block with architectural features. Architectural elements include roof articulation, decorative cornice, accent projection at the main entrance, projecting custom metal canopies and projecting pilasters to add articulation to blank facades. The property is currently a vacant lot and is zoned C-3 (General Commercial). Site improvements include 28 on-site parking spaces, landscaping, utilities and stormwater management. The store will be owned by O'Reilly Automotive Stores, Inc. and is a business for the purpose of the retail sale of auto parts.

Products stored in the building are automotive parts and related vehicle accessories. A semi-truck will make deliveries to the store five days of the week. The delivery door is located on the East side of the building and shall be accessed from the parking lot outside of regular business hours.

Typical operating hours are Monday through Saturday 7:30 AM to 9:00 PM and Sunday 9:00 AM to 7:00 PM. O'Reilly Auto Parts stores typically employ approximately 12 people, regularly, with 4 to 8 employees in the store at all times and expects to host 1 to 15 customers at any given time.

d. Context photographs of neighboring uses and architectural styles.

Please see the attached context photographs of the neighboring architectural styles for your reference.

e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.

Please see the attached context photographs and revised color elevations for your reference and approval.

Sec. 22-59. - Design review.- (g) Design Guidelines, (2) Entrance

a. Buildings shall have architectural features such as porches or roof overhangs that delineate or emphasize entrances. Covered entrances shall be proportioned to human scale and follow logic of design relative to the building. This entrance shall face the public right-of-way, be well-defined architecturally and readily visible to pedestrian and vehicular traffic.

The building entrance is proposed to be emphasized with a "raised portal" that projects over and out from the curtain wall entrance on the West elevation along with a custom metal canopy. Canopies have also been added to the South elevation to create additional shade and shadow in addition to the pilasters and decorative cornice.

b. To provide for consistent spatial order of streets, and to accommodate a human scale and pedestrian activity, the inside line of the front yard (setback) shall be considered a frontage line. Exceptions to this requirement may

be granted for development in the following zoning districts: OS-1 (Open Space Recreation), OS-2 (Open Space Conservation), I-1 (Light Industrial), CP-1 (Commercial Parkway), C-6 (Marine Commercial), and C-3 (General Commercial) on properties backing onto a highway and fronting an internal access road.

The frontage line has been designed with additional plantings and architectural features to accommodate a human scale and pedestrian activity. Access to the public way has been provided along with bike racks to encourage pedestrian activity.

c. Doors shall have detail appropriate to the architectural character of the proposed building and may be defined with sidelights, transoms or wooden or metal shutters.

The main entrance door has been provided, recessed and with sidelights including transom which faces the public right of way to enhance the architectural character of the building and be consistent in architectural style.

d. Porches shall have a minimum depth of six (6) feet and may encroach up to six (6) feet into the front yard (setback), or into a side yard that abuts a public right-of-way or public space.

The main entrance has been designed with a projecting “raised portal”, custom metal canopy and recessed feature to enhance and meet the intent of a “front porch” like area for encouraging a human scale and pedestrian activity. This feature is consistent in architectural style with the proposed building and surrounding commercial development.

Sec. 22-59. - Design review.- (g) Design Guidelines, (3) Windows

d. Windows must be placed on elevations that face the public right-of-way and must be in scale and compatible with the architectural style of the building. The bottom of the window (knee wall) shall not be lower than twenty-four (24) inches in residential or office buildings, or higher than forty-eight (48) inches from grade or sidewalk in retail buildings.

A curtain wall has been provided at the main entrance which faces the public right of way and is in scale and compatible with the architectural style of the building.

e. Large expanses of wall without windows or detail that face the public right-of-way are prohibited. Retail buildings shall have fenestration that reveals interior activity and encourages interest in the products or services provided.

A curtain wall has been provided at the main entrance which faces the public right of way that reveals interior activity and encourages interest in the products and services provided.

Sec. 22-59. - Design review.- (g) Design Guidelines, (4) Elevations

b. Elevations adjacent to a public right-of-way shall be considered as a building front and treated as such with appropriate entrances, fenestrations, or detailing.

The West elevation is adjacent to a public right of way and is considered the building front. This elevation has been treated with a curtain wall, projecting “raised portal”, custom metal canopy, pilasters, architectural trim detail, bike racks and plantings.

c. Articulation in the facade should give visual relief and be of sufficient depth to provide shade and shadow on adjacent building surfaces. Colors of wall surfaces shall be chosen to complement this facade articulation and colors shall be in keeping with the chosen architectural style and character.

The building is proposed to have pilasters on each facade to provide articulations along blank walls and provide variations in roof lines and heights with raised pilasters and decorative cornice. The building entrance has been designed with a projecting “raised portal”, curtain wall, custom metal canopy and recessed “front porch” like area. The South elevation side, which will be minimally visible from the public right of way has been designed with projecting pilasters and additional custom metal canopies to bring visual relief and are sufficient depth to provide shade and shadow on the adjacent building surfaces. The proposed wall surface colors are complimenting earth tones and are consistent with the architectural style and character of the building and complements adjacent commercial development.

k. Blank walls are discouraged. Walls shall be punctuated with windows, doors or architectural elements. New construction that includes long dimensions of continuous wall shall employ the use of site breaks to punctuate the streetscape.

The building has been designed with architectural elements including roofline articulation, decorative cornices, a projecting “raised portal” at the main entrance, projecting pilasters, custom metal canopies and utilizes new and existing plantings and vegetation to aid in bring visual relief and adding interest and articulation to blank walls. This is consistent with the architectural style and character of the building and complements adjacent commercial developments in the area.



1 WEST ELEVATION

CE1 SCALE: 1/8" = 1'-0"

63" O'Reilly and 29" AUTO PARTS (Stacked)



2 NORTH ELEVATION

CE1 SCALE: 1/8" = 1'-0"



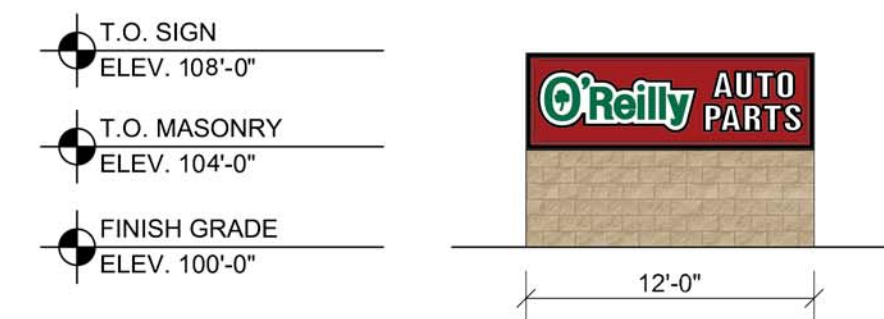
3 EAST ELEVATION

CE1 SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION

CE1 SCALE: 1/8" = 1'-0"

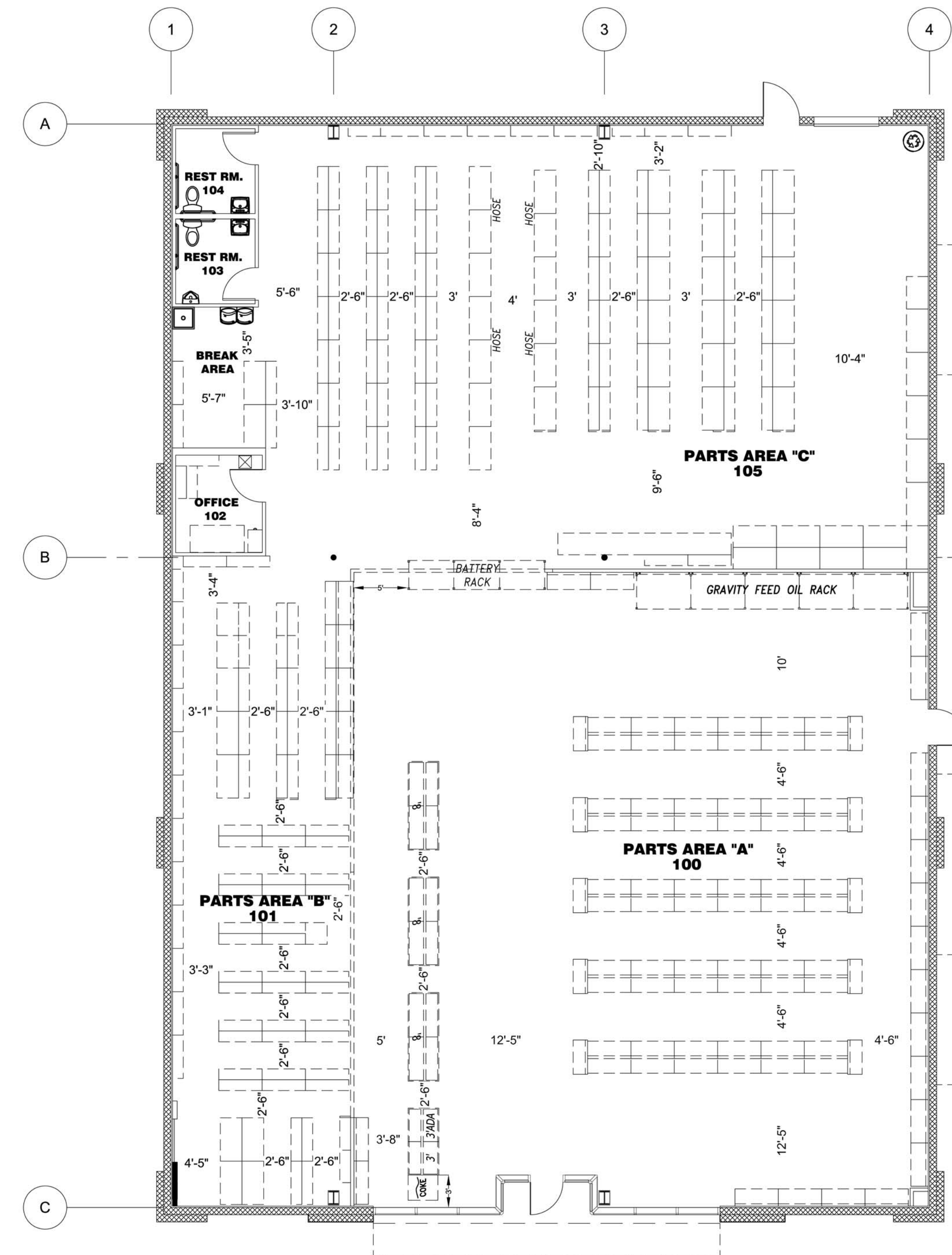


6 PROPOSED SITE SIGN

CE1 SCALE: 1/4" = 1'-0"

FINISH LEGEND:

	FIELD BLOCK -	PAINTED SPLIT FACE C.M.U. COLOR: SHERWIN WILLIAMS "LATTE" SW6108
	ACCENT BLOCK -	PAINTED SPLIT FACE C.M.U. COLOR: SHERWIN WILLIAMS "SOFTER TAN" SW6141
	EIFS AROUND SIGN -	CUSTOM RED MIX BY DRYVIT ORAP011030S WITH DRYVIT STRATOTONE HIGH PERFORMANCE COLORANT (FACTORY MIXED ONLY)
	CURTAIN WALL -	KAWNEER "DARK IVY"



5 FLOOR PLAN

CE1 SCALE: 1/8" = 1'-0"



NOT FOR CONSTRUCTION

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 e-mail: architect@esterlyschneider.com

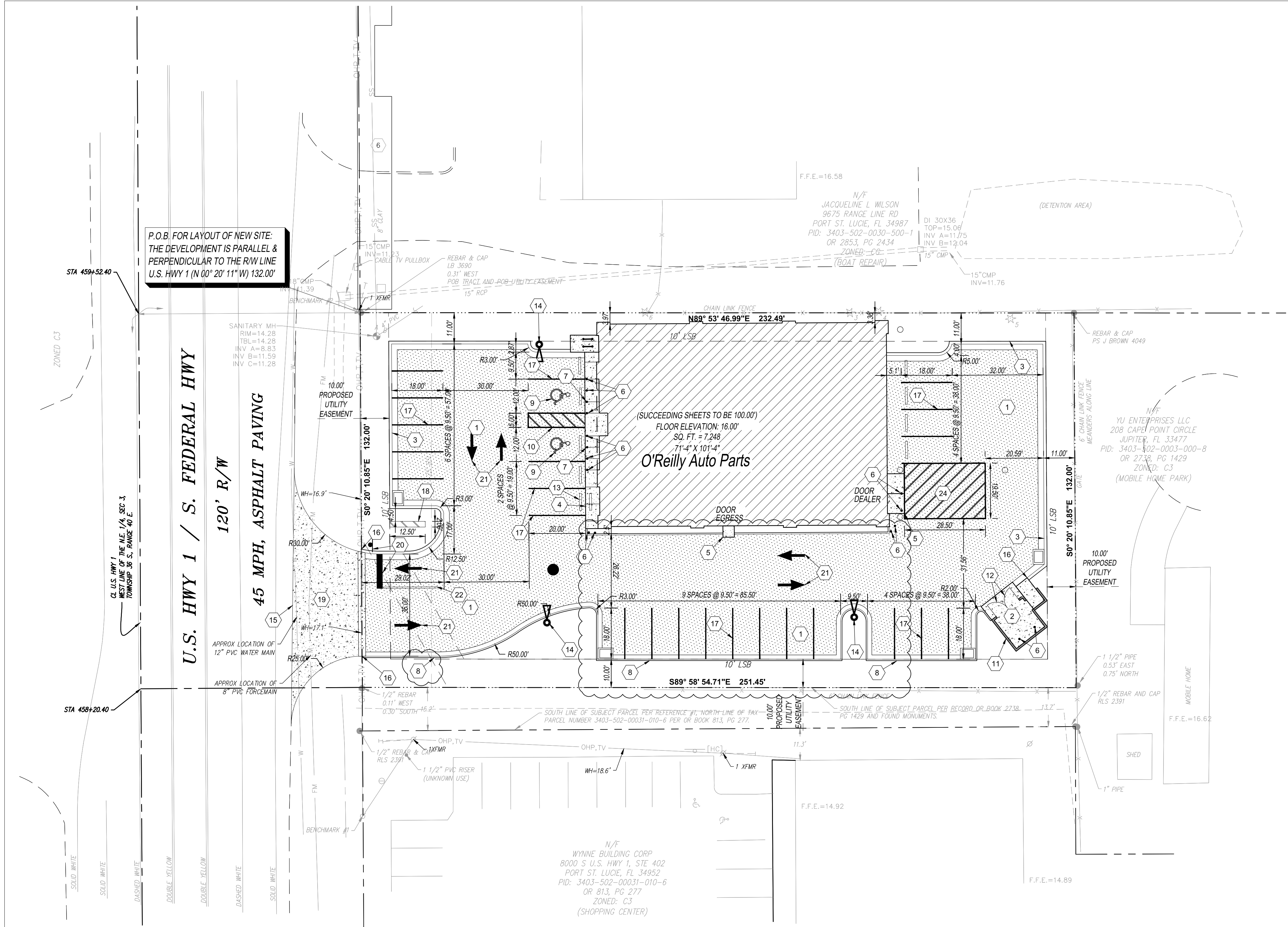
New O'Reilly Auto Parts Store:
 S. U.S. HWY 1
 FORT PIERCE, FL
 (FORT PIERCE #1)

O'Reilly AUTO PARTS
 233 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 417-862-2674 PHONE

COMM # _____
 DATE: 10-14-14
 REVISION DATE: 2-11-15
 10-15-15
 10-21-15
 10-30-15
 2-1-16

CE1 of 1

Plot Stamp: 1/28/2016 4:30:23 PM - Ianna Rubio
 File: J:\00334\00334001_4\acad\dwg\CS-SITE.dwg, Tab: Layout1



P.O.B. FOR LAYOUT OF NEW SITE:
 THE DEVELOPMENT IS PARALLEL &
 PERPENDICULAR TO THE R/W LINE
 U.S. HWY 1 (N 00° 20' 11" W) 132.00'

U.S. HWY 1 / S. FEDERAL HWY
 120' R/W
 45 MPH, ASPHALT PAVING

O'Reilly Auto Parts

SYMBOLS LEGEND

REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND

	NEW BUILDING CONSTRUCTION
	AREA OF CONCRETE
	AREA OF PAVING
	NEW MONUMENT SIGN LOCATION
	NEW CONCRETE WHEELSTOP
	NEW LIGHT POLE LOCATION
	NEW FENCE CONSTRUCTION
	PROPERTY LINE
	CENTER LINE
	RIGHT-OF-WAY

KEY NOTES:

- CONCRETE PAVING: REFER TO DETAILS 2/C8 & 6/C8.
- CONCRETE DUMPSTER PAD: REFER TO DETAIL 2/C8.
- CONCRETE CURB: REFER TO DETAIL 13/C8.
- CONCRETE SIDEWALK: REFER TO DETAILS 5/C8, 10/C8.
- CONCRETE DOOR LANDING: REFER TO DETAIL AND STRUCTURAL DETAILS. RAMP PAVING AS INDICATED. LANDING CAN BE POURED MONOLITHIC IF CONCRETE PAVING IS USED.
- STEEL BOLLARD: PROVIDE (2) AT TRASH PAD AND OVERHEAD DOOR, PROVIDE (8) AT FRONT ENTRANCE AND (4) AT BUILDING CORNERS. REFER TO STRUCTURAL PLAN FOR LOCATION. REFER TO DETAIL 12/C8.
- HANDICAP PARKING SIGN: REFER TO DETAIL 8/C8.
- CONCRETE CURB: INSTALL FDOT "F" CURB. REFER TO INDEX 300.
- HANDICAP PARKING SYMBOL: REFER TO DETAIL 4/C8.
- HANDICAP ACCESS UNLOADING ZONE: SLOPE 2% MAX. EACH WAY AND STRIPE ADA COMPLIANT.
- DUMPSTER ENCLOSURE: PER DETAILS 1/C9 & 2/C9.
- SCREEN FENCE GATE: REFER TO DETAIL 1/C9.
- CONCRETE BUMPER BLOCK: 8" x 6" x 6" LONG CONCRETE. ANCHOR TO PAVING WITH (2) 1" x 6" LONG #4 REBAR (TO SIT LEVEL WITH PAVING). REFER TO DETAIL 7/C8.
- PARKING LOT LIGHTING: REFER TO SITE ELECTRICAL PLAN FOR LOCATION AND TYPE.
- LIMITS OF NEW PAVING: MATCH EXISTING PER FDOT STANDARDS. REFER TO FDOT DETAILS FOR MIN. REQ.
- ROLL DOWN CURB: TERMINATE AND ROLL DOWN NEW CURB WHERE INDICATED. ROLL DOWN AT 1:2.
- STRIPING: PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS).
- SIGN LOCATION: SIGN FURNISHED AND INSTALLED BY OWNER. REFER TO STRUCTURAL & ELECTRICAL PLAN FOR DETAILS.
- CONCRETE DRIVE APRON: DRIVEWAY TO BE INSTALLED PER FDOT INDEX NO. 515. REFER TO DETAILS 2/C8 AND FDOT DETAILS.
- STOP SIGN AND PAVEMENT MARKING: (SEE FDOT INDEX 17346 SIGN R1-1) RIGHT TURN ONLY SIGN UNDER STOP SIGN (PER MUTCD R3-5R)
- DIRECTIONAL ARROW/STRIPING: REFER TO DETAIL 3/C8.
- DOUBLE YELLOW STRIPING: 20' DOUBLE YELLOW STRIPING FROM STOP BAR. PER FDOT INDEX 17346. REFER TO FDOT DETAILS.
- BIKE RACK: 5 SPACE (GSA 116-1002 OR APPROVED EQUALLY) PAINT SHERWIN WILLIAMS "HUNT CLUB" SW6468 SEMI-GLOSS.
- LOADING ZONE: 19.5' x 29' LOADING AREA

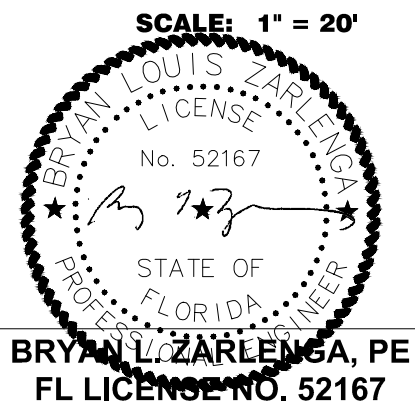
SITE DATA TABLE:

1. SITE ADDRESS:	4780 U.S. HWY 1
2. GROSS SITE AREA:	33,191 SF (0.762 AC)
3. EXISTING LAND USE:	CG GENERAL COMMERCIAL
4. BUILDING SETBACKS REQUIRED:	LANDSCAPE BUFFERS REQUIRED
FRONT - 25 FT	FRONT - 10 FT
SIDE - 0 FT	SIDES - 10 FT
REAR - 0 FT	REAR - 10 FT
STREET SIDE - NONE	
5. SITE AREA (EXISTING):	
PAVING AND CONCRETE	4,665.41 SF (14.06%)
TOTAL IMPERVIOUS AREA	4,665.41 SF (14.06%)
PERVIOUS AREA	28,525.59 SF (85.94%)
GROSS SITE AREA	33,191 SF (100%)
6. SITE AREA (PROPOSED):	
PAVING AND CURB	17,577 SF (52.98%)
BUILDING AREA	7,248 SF (21.84%)
CONCRETE	810 SF (2.44%)
TOTAL IMPERVIOUS AREA	25,634 SF (77.23%)
PERVIOUS AREA	7,556 SF (22.77%)
GROSS SITE AREA	33,191 SF (100%)
FLOOR AREA RATIO	7,248/33,191 = 0.2184 (21.84%)
RIGHT-OF-WAY PAVING/CONCRETE	1,163 SF
7. PARKING REQUIREMENTS:	
1 SPACE PER 200 SF OF GROSS FLOOR AREA	37 SPACES
PARKING SPACES PROVIDED:	
REGULAR PARKING	26 SPACES
HANDICAP	2 SPACES
TOTAL PARKING SPACES PROVIDED	28 SPACES
PER CITY OF FT. PIERCE SECTION 22-60 (a)(5), A PAYMENT IN-LIEU OF WILL BE SUBMITTED TO MEET A PORTION (9 SPACES) OF THE REQUIRED PARKING	
8. FLOOD ZONE:	
THIS PROPERTY LIES WITHIN FLOOD ZONE "X" AS DEPICTED ON FLOOD INSURANCE RATE MAP NO. 12111C0189J. EFFECTIVE DATE FEBRUARY 16, 2012.	
9. THERE ARE NO ENVIRONMENTALLY SENSITIVE AREAS ON THIS SITE.	
10. ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH ALL APPLICABLE FORT PIERCE REQUIREMENTS.	
11. BUILDING HEIGHT:	24 FT 3 IN

GENERAL NOTES:

- REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- ALL SITE DIMENSIONS TO THE GUTTER LINE OF CURB, CONCRETE OR PROPERTY LINE UNLESS OTHERWISE NOTED. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND STARTING CONSTRUCTION.
- COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- REFER TO STRUCTURAL PLANS FOR DEVELOPMENT OF SIDEWALKS ADJACENT TO FOUNDATIONS.
- ANY EXISTING SIDEWALK IN DISREPAIR TO BE REPLACED.
- CONTRACTOR TO REPAIR / REPLACE DAMAGED SIDEWALK PER DETAIL 10/C8.
- SITE IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH FORT PIERCE AND O'REILLY CONSTRUCTION SPECIFICATIONS.
- PRIOR TO INSTALLATION, GENERAL CONTRACTOR TO CONFIRM THAT LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SIGN LOCATION SHOWN. IF ANY POTENTIAL CONFLICT IS DISCOVERED, GENERAL CONTRACTOR TO CONTACT THE O'REILLY PROJECT ADMINISTRATOR BEFORE PROCEEDING.
- O'REILLY WILL PAY INTO FUND IN LIEU OF INSTALLING SIDEWALK ON US HWY 1.
- ALL CONSTRUCTION WILL COMPLY WITH SECTIONS 17 & 22 OF CITY OF FORT PIERCE CODE OF ORDINANCES.
- O'REILLY WILL PAY INTO TRANSPORTATION FUND FOR PARKING DEFICIENCY.

SITE DEVELOPMENT PLAN



CLEARWATER
 380 PARK PLACE BLVD, STE 300, CLEARWATER, FL 33759
 TEL: (727) 531-3505 FAX: (727) 431-1777
 www.cardno.com Certificate of Authorization No. 3843

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New O'Reilly Auto Parts, Store:
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 (FORT PIERCE #1)



COMM # 3625

DATE: 10-24-14
 REVISION DATE: 07-28-15
 10-27-15
 01-28-16

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SYMBOLS LEGEND

REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND

- PROPERTY LINE
- LANDSCAPE BUFFER
- AREA OF CONCRETE
- SIGN
- NEW LIGHT POLE LOCATION
- NEW SIGN LOCATION

KEY NOTES

- 1 PROPERTY LINE
- 2 EXISTING OVERHEAD POWER/UTILITY LINES
- 3 ALL DISTURBED AREAS WITHIN THE FDOT RIGHT OF WAY SHALL BE RE-GRADED AND SODDED WITH ARGENTINE BAHIA SOD.
- 4 10' LANDSCAPE BUFFER
- 5 BIKE RACK
- 6 EXISTING CHAIN LINK FENCE
- 7 UTILITY ACCESS EASEMENT

EXISTING TREE CHART

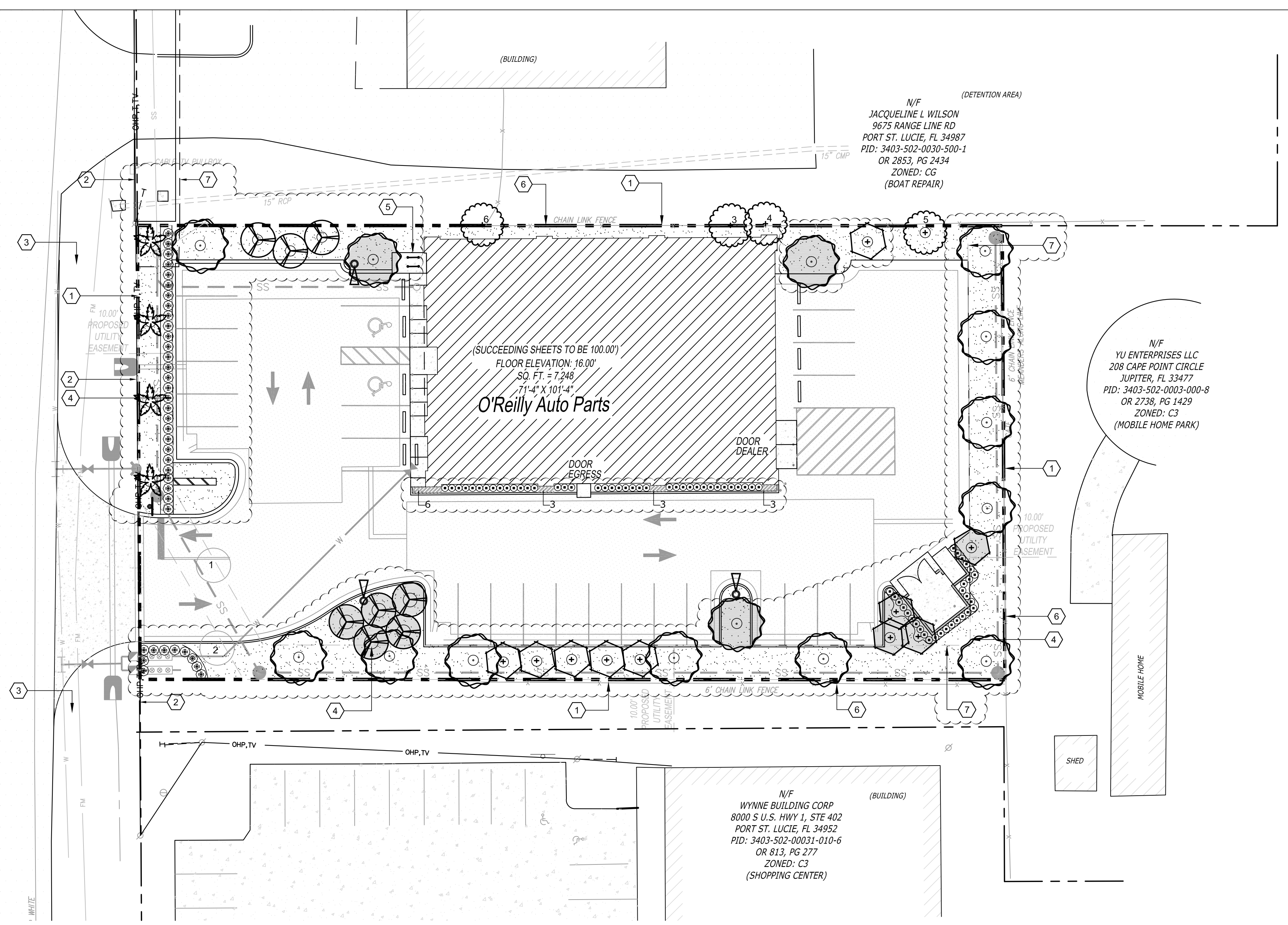
TREE TO BE REMOVED - NUMBER IN SYMBOL CORRELATES WITH BELOW EXISTING TREE CHART

TREE TO BE RETAINED - NUMBER IN SYMBOL CORRELATES WITH BELOW EXISTING TREE CHART

1	10" PALM
2	10" PALM
3	20" PALM
4	18" PALM
5	14" PALM
6	6" PALM

TREES TO BE REMOVED: 1-2
 TREES TO REMAIN: 3-6

NOTE: CONTRACTOR SHALL REMOVE ALL INVASIVE SPECIES, AS LISTED ON THE FLORIDA EXOTIC PEST PLANT COUNCIL'S INVASIVE PLANT SPECIES LIST, FROM PROPERTY.



LANDSCAPE ORDINANCE REQUIREMENTS

MINIMUM INTERIOR LANDSCAPED AREA FOR VEHICULAR USE AREA:	
VEHICULAR USE AREA	= 17,577 SF
REQUIRED LANDSCAPE AREA	= 1,172 SF (1 SF PER 15 SF OF TOTAL VUA)
PROPOSED LANDSCAPE AREA	= 1,418 SF
REQUIRED TREES	= 12 (1 TREE PER 100 SF OF LANDSCAPE AREA)
PROPOSED TREES	= 12
REQUIRED LANDSCAPE ADJACENT TO RIGHT OF WAY & PERIMETER	
US HWY 1 / S. FEDERAL HWY:	
BUFFER WIDTH	= 10'
REQUIRED LANDSCAPE AREA	= 936 SF
TREES REQUIRED	= 4 CANOPY TREES (1 PER 300 SF OF REQUIRED LANDSCAPE AREA = 3.12 TREES)
TREES PROPOSED	= 4 PALM TREES
SHRUBS	= HEDGE (24" HEIGHT)
SIDE YARD AND REAR YARD:	
BUFFER WIDTH	= 10'
NORTH:	
REQUIRED LANDSCAPE AREA	= 1,268 SF
TREES REQUIRED	= 7 TREES (1 PER 200 SF OF REQUIRED LANDSCAPE AREA)
TREES PROPOSED	= 7 (1 EXISTING)
WEST:	
REQUIRED LANDSCAPE AREA	= 789 SF
TREES REQUIRED	= 4 TREES (1 PER 200 SF OF REQUIRED LANDSCAPE AREA)
TREES PROPOSED	= 4
SOUTH:	
REQUIRED LANDSCAPE AREA	= 2,138 SF
TREES REQUIRED	= 11 TREES (1 PER 200 SF OF REQUIRED LANDSCAPE AREA)
TREES PROPOSED	= 11

PLANT MATERIALS SCHEDULE

SYMBOLS	COMMON NAME	BOTANICAL NAME	SIZE	SPACING	MIN SIZE	QTY
TREES						
	FLORIDA ELM	ULMUS AMERICANA V. FLORIDANA	2.5" CAL.	AS SHOWN	12' HT.	14
	'WATCHEZ' CRAPE MYRTLE MULTI-TRUNK	LAGERSTROEMIA INDICA 'WATCHEZ'	2.5" CAL.	AS SHOWN	12' HT.	10
	BOTTLEBRUSH TREE	CALLISTEMON RIGIDUS	3" CAL.	AS SHOWN	12' HT.	8
	CABBAGE PALM -10' CLEAR TRUNK	SABAL PALMETTO	15" OV. HT.	AS SHOWN	10' CLT.	4
SHADED TREES REPRESENT TREES FOR VEHICULAR USE AREA						
SHRUBS						
	MRS. SCHILLERS DELIGHT VIBURNUM	V. OBOVATUM 'MRS. SCHILLERS DELIGHT'	7 GAL.	3'-0" O.C.	24" HT.	38
	PODOCARPUS	PODOCARPUS MACROPHYLLA	7 GAL.	2'-0" O.C.	24" HT.	68
GROUND COVER						
	EVERGREEN GIANT LIRIOPE	LIRIOPE MUSCARI 'EVERGREEN GIANT'	1 GAL.	1'-8" O.C.		15
	ARGENTINE BAHIA	PASPALUM NOTATUM 'ARGENTINE'	SOD			6,900 SF
MULCH NOTE: ALL PLANT BEDS SHALL CONTAIN A 4" LAYER OF PINE NEEDLES (TYP.) ALL TREES IN SOD SHALL RECEIVE A 4" DIAMETER MULCH RING (TYP.)						
SOD NOTE: DROUGHT TOLERANT BAHIA, AS SPECIFIED ABOVE, TO BE USED TO COVER ALL AREAS DISTURBED DURING CONSTRUCTION. CONTRACTOR SHALL REPAIR AND REPLACE ANY DAMAGE TO THE SITE OUTSIDE OF PROPERTY LINES DUE TO ON-SITE CONSTRUCTION ACTIVITY.						

PLANTING PLAN

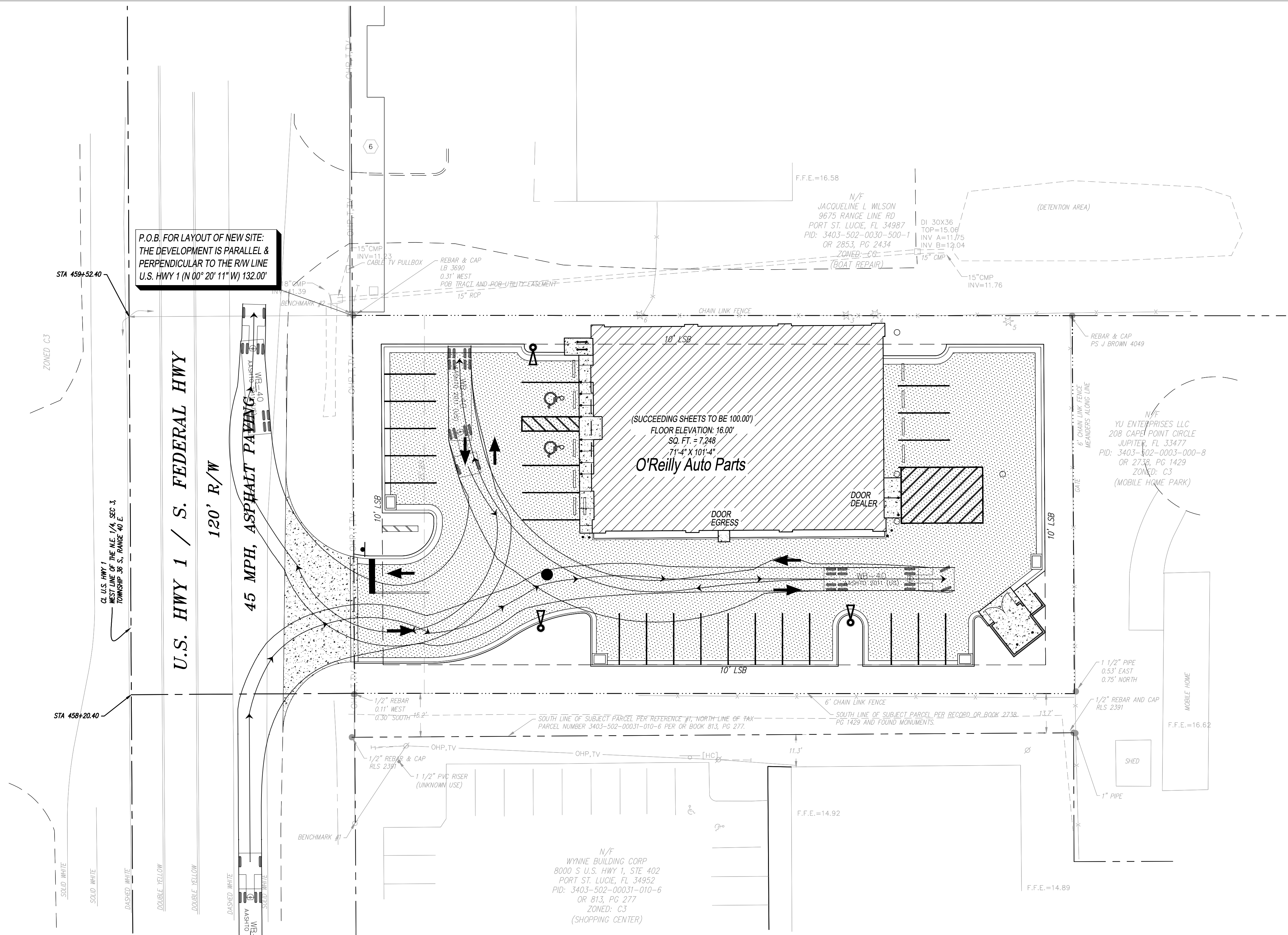
SCALE: 1" = 20'

ANDREW HILL, R.L.A.
 FL LICENSE NO. LA6667073

COMM # 3625

DATE: 10-24-14
 REVISION
 DATE: 07-28-15
 10-27-15
 01-28-16

Plot Stamp: 3/1/2016 3:46:13 PM - Joann Rubio
 File: J:\0033\0033\001_4\Ascdwg\Exhibits\Autobum_2016-05-01.dwg Tab: Layout1



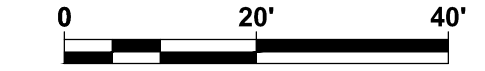
GENERAL NOTES:

A. MERCHANDISE DELIVERIES TO OCCUR OUTSIDE OF BUSINESS OPERATING HOURS AS PERMITTED BY CITY OF FT. PIERCE ORDINANCES.

SYMBOLS LEGEND	
REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND	
	NEW BUILDING CONSTRUCTION
	AREA OF CONCRETE
	AREA OF PAVING
	NEW MONUMENT SIGN LOCATION
	NEW CONCRETE WHEELSTOP
	NEW LIGHT POLE LOCATION
	NEW FENCE CONSTRUCTION
	PROPERTY LINE
	CENTER LINE
	RIGHT-OF-WAY

TRUCK TURNING MOVEMENTS

SCALE: 1" = 20'



NOT FOR CONSTRUCTION
 BRYAN L. ZARLENGA, PE
 FL LICENSE NO. 52167

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 CLEARWATER
 380 PARK PLACE BLVD, STE 300, CLEARWATER, FL 33759
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O'Reilly AUTO PARTS
 233 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 417-862-2674 PHONE

COMM # 3625

DATE: 10-24-14
 REVISION
 DATE:

City Commission Regular Meeting

Agenda Item # 11. b.

Meeting Date: 03/07/2016

Re: Fishing along Melody Lane

Submitted For: Linda Cox, City Clerk, City Clerk

SUBJECT:

Ordinance 16-005 Amending Section 12-103 extending the prohibition of fishing along Melody Lane. SECOND READING

SUMMARY:

At the December 14, 2015 conference agenda, the City Commission tasked staff to develop a mechanism to gain community input regarding fishing activities along Melody Lane in an effort to improve pedestrian traffic on the public sidewalk now that a public fishing pier is available. Ordinance 16-005 was prepared to provide a forum for public input through a public hearing.

The City opened the Melody Lane Fishing Pier to the public on or around January 11, 2016 followed by a ribbon cutting ceremony on February 2.

The ordinance has been revised in accordance with the Commission discussion at the February 16, 2016 meeting.

RECOMMENDATION:

Review and discuss Ordinance 16-005.

ALTERNATIVES:

Do not pass the ordinance.

RESPONSIBLE STAFF:

Nicholas Mimms, City Manager

COORDINATED WITH:

Linda W. Cox, City Clerk

Fiscal Impact

Budgeted Y/N:

Fiscal Year:

Account:

Amount:

OTHER INFORMATION:

No fiscal impact.

Attachments

16-005 Revised

Form Review

Inbox

City Manager

Form Started By: Linda Cox

Final Approval Date: 02/18/2016

Reviewed By

Nick Mimms

Date

02/10/2016 02:31 PM

Started On: 01/28/2016 02:30 PM

ORDINANCE NO. 16-005

AN ORDINANCE AMENDING THE CODE OF ORDINANCES OF THE CITY OF FORT PIERCE, FLORIDA; AMENDING **SECTION 12-103 FISHING WITHIN THE CITY**; EXTENDING THE **PROHIBITION OF FISHING ALONG MELODY LANE**; REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HEREWITH' PROVIDING SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Fort Pierce established Chapter 12, Parks, Recreation and Special Events with the adoption of Ordinance L-246; and

WHEREAS, the City Commission constructed the Melody Lane Fishing Pier which opened for public use on or around January 11, 2016; and

WHEREAS, the City Commission desires to modify Sec. 12-103 prohibiting fishing from certain specified areas along Melody Lane in an effort to improve pedestrian traffic on the public sidewalk now that a public fishing pier is available.

NOW, THEREFORE, BE IT ORDAINED by the City Commission of the City of Fort Pierce, Florida, as follows:

Sec. 12-103. Fishing within city.

(a) The city hereby prohibits fishing from certain specified areas, as follows:

- (1) From the South Bridge located on Seaway Drive within the city except from the balconies or walkways underneath and attached to either side of such bridge;
- (2) From the land or shoreline, including structures attached thereto, along the west bank of the Indian River Lagoon in the area known as River Walk starting at the base of the South Bridge on Seaway Drive, extending south until the mouth or entrance to Moore's Creek;
- (3) From the land or shoreline, in, on, upon or under the waters of Moore's Creek, east of Indian River Drive, being the area where Moore's Creek enters the Indian River Lagoon;
- (4) From the land or shoreline, including structures attached thereto, in, on, upon or under the waters of the City Marina, except as otherwise provided by marina rules or dockage license agreements;
- (5) From the land or shoreline, including structures attached thereto, along the west bank of the Indian River Lagoon in the area known as Marina Square, starting at Avenue A and extending south ~~to Orange Avenue~~ to a point three hundred feet (300') north of the southerly terminus of Melody Lane, except from the City's dock structure known as the Melody Lane Public Fishing Pier; and
- (6) From the sidewalk adjacent to the south side of Fort Pierce Inlet in the area known as Inlet Linear Park, west of but not including the South Jetty or the adjacent picnic area.

(b) No fishing areas encompassed and included in this part are generally described as provided by diagram, a current copy of which shall be kept on file with the Clerk of the City of Fort Pierce, and referenced hereto.

(c) Areas encompassed and included in this part, wherein fishing is prohibited, shall be posted with signage indicating such restriction.

SECTION 3. All ordinances or parts of ordinances in conflict herewith are and the same shall be repealed and shall be of no further force or effect whatsoever.

SECTION 4. The provisions of this Ordinance are declared to be severable and if any section, sentence, clause, or phrase of this Ordinance shall, for any reason, be held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining sections, sentences, clauses, and phrases of this Ordinance but shall remain in effect, it being the legislative intent that this Ordinance shall stand notwithstanding the invalidity of any part.

SECTION 5. This Ordinance is and the same shall become effective immediately upon final passage hereof.

APPROVED AS TO FORM
AND CORRECTNESS:

Robert V. Schwerer, Esq.
City Attorney

STATE OF FLORIDA

COUNTY OF ST. LUCIE

WE, THE UNDERSIGNED, Mayor Commissioner and the City Clerk of the City of Fort Pierce, Florida, do hereby certify that the foregoing and above Ordinance No. 16-005 was duly advertised by title only in the St. Lucie News Tribune on February 5, 2016; copy of said ordinance was made available at the office of the City Clerk to the public upon request; said ordinance was duly introduced, read by title only, and passed on first reading by the City Commission of the City of Fort Pierce, Florida, on February 16, 2016; and was duly introduced, read by title only, and passed on second and final reading on March 7, 2016, by the City Commission of the City of Fort Pierce, Florida.

IN WITNESS HEREWITH, we hereunto set our hands and affix the Official Seal of the City of Fort Pierce, Florida, this the 7th day of March, 2016.

Linda Hudson,
Mayor Commissioner

Linda W. Cox,
City Clerk

(CITY SEAL)

City Commission Regular Meeting

Agenda Item # 11. c.

Meeting Date: 03/07/2016

Re: Proposed Ordinance 16-002 - Amendments to Chapter 9 & 22 - Zoning Fueling Station Regulation Updates – Location & Design

Submitted For: Rebecca Grohall, Planning & Zoning Manager, Planning & Zoning

SUBJECT:

Ordinance 16-002 - Amendments to Chapter 9 & 22 - Zoning Fueling Station Regulation Updates – Location & Design FIRST READING

SUMMARY:

- The Planning Board, at their November 10th, 2015 meeting, voted unanimously to recommend approval of the presented amendment. The City Commission, in the 1960s, established regulations and guidelines for the development, and redevelopment, of filling stations, adopted as Article X. –Filling Stations, located within Chapter 9 – Licenses and Business Regulations.
- The progression of more modern and appropriate guidelines, particularly those established within Chapter 22 – Zoning have been adopted and developed over several decades to better serve the health, safety, and welfare of the community, rendering much of the 1960 regulations obsolete.
- The proposed amendment retains, and relocates relevant clarifications for uses associated with fueling stations, maintains requirements for enclosure of various business activities, and affirms the mandate for compliance with the City’s design review guidelines.

RECOMMENDATION:

- Approval

ALTERNATIVES:

- Approval with Amendments
- Denial

RESPONSIBLE STAFF:

Kori Benton, Senior Planner

COORDINATED WITH:

Technical Review Committee

Fiscal Impact

Budgeted Y/N:

Fiscal Year:

Account:

Amount:

OTHER INFORMATION:

No fiscal impact is presented with this amendment.

Attachments

Staff Report

Proposed Ordinance 16-002

Proposed Filling Station Guidelines

Article X - Filling Stations - Current

Land Development Code & Supplemental Regulations Applicable to Fueling Stations

Form Review

Inbox

City Manager

Form Started By: Kori Benton

Final Approval Date: 03/02/2016

Reviewed By

Nick Mimms

Date

03/02/2016 02:59 PM

Started On: 02/25/2016 10:08 PM



CITY OF FORT PIERCE

PLANNING DEPARTMENT

REBECCA GROHALL, AICP, PLANNING MANAGER
COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

TO: Nicholas Mimms, PE, City Manager

THROUGH: Rebecca Grohall, AICP, Planning Director

FROM: Kori Benton, Senior Planner

RE: Ordinance 16-002
Amendments to Chapter 9 & 22 - Zoning.
Fueling Station Regulation Updates – Location & Design

DATE: February 25th, 2016

STAFF REPORT

Requested Action:

Review and approval of Ordinance 16-002, amending City Code Chapter 9 – Licenses and Business Regulations and Section 22-73; to eliminate obsolete components of Filling (Fueling) Station regulations located in Chapter 9 – Licenses and Business Regulations, and relocate appropriate regulations within Chapter 22 – Zoning.

Staff Analysis:

In the 1960s, the City Commission established regulations and guidelines for the development, and redevelopment, of filling stations, adopted as Article X. –Filling Stations, located within Chapter 9 – Licenses and Business Regulations. Filling stations were regarded as any building, structure or land used for the dispensing, sale or offering for sale at retail of any automobile fuels, oils or accessories incident thereto, including lubrication of automobiles and replacement or installation of minor parts and accessories, but not including major repair work, such as motor replacement, body and fender repair or spray painting. The term was demonstrated as interchangeable with "gasoline station" and "service station".

The regulations adopted sought to minimize the proliferation of gas stations, through the formation of minimum separation distances between filling stations, and distance from schools, churches, hospitals, nursing, or convalescent homes. Furthermore, the policies established design guidelines for the building size, architecture, and outdoor components supporting the use. The ordinances provided zoning type regulations to the use, in the absence of more comprehensive land development code.

Many of the restrictions, and intent of the guidelines, contained within Article X have been enhanced with enactment of Chapter 22 – Zoning, Chapter 3- Alcoholic Beverage, Chapter 17- Streets & Sidewalks, and the integration of various supplementary regulations. The aforementioned Chapters in the City Code, and their developed content fulfill the intent to “protect the public safety and welfare and enhance the city's beauty and protect property values by regulating the intervals of such filling stations, controlling the physical accesses to public dedicated rights-of-way of new or remodeled stations and establishing a basis by which new or remodeled filling stations shall buffer themselves against adjacent residential areas” with more

advanced guidelines such as, but not limited to, the establishment of zoning districts, the Use Table which limits eligible locations, design review guidelines, access control requirements, alcoholic beverage sales restrictions, and landscaping mandates.

These guidelines notes, particularly those established within Chapter 22 – Zoning have been adopted and developed over several decades to better serve the health, safety, and welfare of the community, rendering much of the 1960 regulations obsolete. The current proposal seeks to eliminate the unnecessary, and superfluous, components and fulfillment of the underlying purpose of the regulation with the comprehensive regulations established, and presently integrated in the City’s Land Development Code.

The proposes amendment retains, and relocates relevant clarifications for uses associated with fueling stations, maintains requirements for enclosure of activities, and affirms the mandate for compliance with the City’s design review guidelines. The regulations to be brought forward into Section 22-73 are presented as follows:

Sec. 22-73. - Fueling Stations

- (a) **Purpose.** It is the purpose of this section is to protect the public safety and welfare, and enhance the city's beauty and protect property values by regulating the location of filling stations and design of new or remodeled stations.
- (b) **Applicability.** This article shall apply to any building, structure or land used for the dispensing, sale or offering for sale at retail of any automobile fuels, oils or accessories incident thereto, including lubrication of automobiles and replacement or installation of minor parts and accessories, but not including major repair work, such as motor replacement, body and fender repair or spray painting. This shall also include the terms “fueling station”, “filling station”, "gasoline station", "service station", and “Gasoline service station”. This section shall not apply to fueling operations accessory to marinas or industrial uses which do not offer retail sale to the general public.
- (c) **General requirements.** Fueling stations shall comply with the following regulations:
 1. **Enclosed structure.** All tire repairing, battery charging, lubricating or washing of automobiles, and/or storage of merchandise or supplies, must be accommodated or conducted wholly within the main structure or an enclosed structure of any new, remodeled, relocated or existing filling station.
 2. **The design of each new station, or remodeling of an existing station, shall be in compliance with the design review guidelines as contained in Section 22-59 – Design Review. Renovations, alterations and/or additions to existing structures shall be reviewed as minor applications pursuant to City Code Section 22-59.**

The Use Table will remain unchanged with this amendment, maintaining the classifications for fueling stations as follows:

ZONING DISTRICT	E1	E2	E3	R1	R2	R3	R4	R4A	R5	C1	C2	C3	C4	C5	C6	CP	I1	I2	I3	OS1	OS2	A1	A2
Vehicle Sales & Service																							
-Automobile Rentals	-	-	-	-	-	-	-	-	-	-	-	P	C	C	C	C	P	-	P	-	-	-	-
-Automobile Sales	-	-	-	-	-	-	-	-	-	-	-	P	C	C	C	C	P	-	P	-	-	-	-
-Boat Rentals	-	-	-	-	-	-	-	-	-	-	-	P	C	P	C	C	P	-	P	-	-	C	P
-Boat Sales	-	-	-	-	-	-	-	-	-	-	-	P	C	C	C	C	P	-	P	-	-	-	P
-Fueling Station	-	-	-	-	-	-	-	-	-	C	C	P	C	C	-	C	-	P	-	-	-	-	-
-Travel Plaza	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	C	-	-	-	-	-	-	-
-Truck Stop	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	C	-	-	-	-	-	-	-

City Code Section 22-131. - Basic amendment standards.

Before an amendment is approved, findings will be made that the following standards are satisfied:

- (1) The amendment is consistent with the comprehensive plan;
- (2) The amendment will not have an adverse affect on the ability of the city to:
 - a. Satisfy land and water use needs; and
 - b. Meet transportation demands and provide community facilities and services; and
- (3) The amendment will promote and protect the public health, safety and general welfare.

The presented amendments meet the standards for authorization of amendment to the Land Development Regulations, and are consistent with the City's Comprehensive Plan.

Technical Review Committee:

All affected departments have reviewed and approved the proposed text amendment based on compliance with the requirements of the City Code, and consistency with the Comprehensive Plan.

The comment issued by the Engineering Department was resolved by clarifying that the application of design review guidelines to exterior design is independent of the thresholds and requirement for site plan review. Design review guidelines are applicable for any new development or redevelopment of a fueling station; however site plan review is only a requirement for fueling stations in excess of 4,000 sq. ft.

Planning Board:

The Planning Board, at their November 10th, 2015 meeting, voted unanimously to recommend approval of the presented amendment.

Staff Recommendation:

Staff recommends approval of Ordinance 16-002 based upon its compliance with City Code Section 22-131 and the Comprehensive Plan.

ORDINANCE NO. 16-002

AN ORDINANCE BY THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA, AMENDING CHAPTER 9 - LICENSES AND BUSINESS REGULATIONS, BY DELETING ARTICLE X, **FILLING STATIONS** (RELOCATING FILLING STATION PROVISIONS TO CHAPTER 22 – ZONING), AMENDING CHAPTER 22, ARTICLE IV, SUPPLEMENTARY REGULATIONS, CREATING SECTION 22-73, FUELING STATIONS, ESTABLISHING FUELING STATION REQUIREMENTS, REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HERewith; PROVIDING A SEVERABILITY CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, The City of Fort Pierce, in 1960, established regulations for filling stations based upon an abundance of filling stations and their accessory uses which have the effect on the city of impeding both vehicular and pedestrian traffic, which could adversely influence the city's aesthetic potential, and in many cases materially affect surrounding property values.; and

WHEREAS, The City of Fort Pierce seeks to further the promotion of health, safety, and welfare of the community by ensuring guidelines established for filling stations account for community growth, economic development, and advances in technology; and

WHEREAS, The City of Fort Pierce is eliminating obsolete components of Filling Station regulations located in Chapter 9 – Licenses and Business Regulations, and relocating appropriate regulations within Chapter 22 – Zoning in order to further the goals, policies, and objectives of the Comprehensive Plan; therefore:

NOW, THEREFORE, BE IT ORDAINED by the City Commission of the City of Fort Pierce, Florida as follows:

SECTION 1. Article X. - Filling Stations, is hereby eliminated as follows:

Sec. 9-321. - Definitions. Reserved

~~In the interpretation and enforcement of this article, all words other than the terms specifically defined in this section shall have, as implied by their context, their ordinarily accepted meanings as generally used; words in the masculine gender include the feminine and neuter. The following definitions shall apply in the interpretation and enforcement of this article and of any rules and regulations adopted pursuant hereto:-~~

~~Accessory uses: Minor repair activities, battery charging, lubricating or washing of automobiles and/or storage of related merchandise and supplies.-~~

~~Accessway improvements: Curb cuts and driveways from a filling station to a dedicated public right of way, determined by the jurisdictional agency (the city public works department).-~~

~~Buffering: A solid or louvered masonry wall at least six (6) feet in height but no greater than eight (8) feet in height.-~~

~~Dedicated public right of way: A right of way, dedicated for public use and maintained by public funds, whether improved or not.-~~

~~Filling station: Any building, structure or land used for the dispensing, sale or offering for sale at retail of any automobile fuels, oils or accessories incident thereto, including lubrication of automobiles and replacement or installation of minor parts and accessories, but not including~~

~~major repair work, such as motor replacement, body and fender repair or spray painting. This term shall also include the terms "gasoline station" and "service station."~~

~~Minimum separation distance: That distance measured by the nearest exterior wall line of the buildings between two (2) filling stations, school, church, nursing and convalescent home or hospital.~~

~~Nonconformancy: The discontinuance for six (6) months of the activities of any filling station or accessory use defined herein, whether voluntarily or through destruction of improvements through fire, hurricane or other act of God.~~

~~Relocated: A filling station conforming to the provisions of this article voluntarily removed to a second site or so moved within an expanded existing site, with the discontinuation of operation of the original filling station.~~

~~Remodeling: A basic alteration or enlargement of the floor plan of the main filling station structure.~~

~~Roadway jurisdiction: The governmental level at which roadway maintenance within a dedicated public right-of-way is conducted, either by the city or the state department of transportation.~~

Sec. 9-322. - Scope and application. Reserved

~~(a) — Statement of policy. There exists in the city an abundance of filling stations and their accessory uses which have the effect on the city of impeding both vehicular and pedestrian traffic, which could adversely influence the city's aesthetic potential, and in many cases materially affect surrounding property values.~~

~~(b) — Purpose of article. It is the purpose of this article to protect the public safety and welfare and enhance the city's beauty and protect property values by regulating the intervals of such filling stations, controlling the physical accesses to public dedicated rights-of-way of new or remodeled stations and establishing a basis by which new or remodeled filling stations shall buffer themselves against adjacent residential areas.~~

Sec. 9-323. - Regulation. Reserved

~~(a) — Zoning. The location of any new, remodeled or relocated filling station shall be in accordance with the permitted use provisions of the city zoning ordinance, as amended.~~

~~(b) — Construction, etc. No filling station, whether having accessory uses or not, shall be erected, relocated or remodeled unless it complies with the provisions of this article. However, so long as existing filling stations, with or without accessory uses, shall continue to operate on an hourly or weekly basis customary to such facilities, this article shall have no effect within the effective period of the issuance of a building permit or the extension of such permit.~~

~~(c) — Enclosed structure. All tire repairing, battery charging, lubricating or washing of automobiles, and/or storage of merchandise or supplies, must be accommodated or conducted wholly within the main structure or an enclosed structure of any new, remodeled, relocated or existing filling station.~~

~~(d) — Distance Two stations. The "minimum separation distance" between a new filling station and an existing one shall be no closer than one thousand (1,000) feet, as measured in the manner prescribed in section 9-321.~~

~~(e) — Same Station and school, etc. The minimum separation distance between a new filling station and any school, church or hospital, nursing or convalescent home shall be no closer than one thousand (1,000) feet, as measured in the manner prescribed in section 9-321.~~

~~(f) — Relocation. A filling station in existence, whether with or without accessory uses, may be voluntarily relocated to a second site if such site is within two hundred (200) feet of the premises of the original station, as measured in the manner established in section 9-321, and if the original filling station ceases to function as such.~~

~~(g) — Site plan. Prior to the application for a building permit for any new, relocated or remodeled filling station a site plan shall be submitted to the office of the director of building and code enforcement and shall indicate the following:~~

~~(1) — The placement of all structures, tanks, etc., on said lot.~~

~~(2) — The location of buffering within the subject property which shall be along any lot line where such lot line abuts a residentially zoned area of the city.~~

~~(3) — The anticipated curb cuts and driveways providing access to a public dedicated right-of-way and in accordance with the standards or recommendations of that agency having roadway jurisdiction over said right-of-way.~~

~~(4) — The site of each new filling station shall have a minimum frontage of one hundred twenty-five (125) feet along a dedicated public right-of-way.~~

~~(5) — The design of each new station, or in the remodeling of an existing station, shall be such that it shall be in architectural harmony and compatible with designs of other business activities in the area. Building facades of brightly adorned, porcelainized steel panels in garish combinations shall be prohibited. Major oil companies that have developed a standardized building design with a well known color scheme and a recognizable insignia may use the same.~~

~~(6) — All new buildings shall have a minimum of one thousand (1,000) square feet under roof and within the exterior walls of the same, excluding canopies.~~

~~(h) — Issuance of permit. When the above site plan is amended to satisfactorily comply with the above standards or recommendations the director of building and code enforcement may issue a building permit for the contemplated filling station.~~

~~(i) — Applicability of distance restrictions. The above-referenced distance restrictions shall not apply to property situated within one thousand five hundred (1,500) linear feet of a limited access highway.~~

Sec. 9-324. - Implementation. Reserved

~~(a) — The city commission, and it alone, shall hear any appeals regarding the strict application of the provisions of this article; any such appeal shall be identified as one of the following:~~

~~(1) — Removal of noneonforming status of a filling station presently out of business and structurally intact.~~

~~(2) — A variance of the minimum separation distance provisions of this article.~~

~~(b) — All appeals shall be made in writing, addressed to the commission, with appropriate survey material, maps and site plans attached.~~

~~(c) — After due hearing thereon, said commission may grant or deny such appeal; provided, however, that a four-fifths affirmative vote of the commission shall be required for granting.~~

~~(d) — No such appeal shall be granted unless the commission finds that all of the following conditions exist:~~

~~(1) — Such action may be taken without substantial detriment to the public good.~~

~~(2) — The granting of such an appeal is necessary to preserve a substantial property right and not merely to serve as a convenience to the applicant.~~

~~(3) — The authorizing of the appeal will not impair surrounding property values or unreasonably increase congestion on public streets, increase the danger of fire or in any other respect impair the public health, safety, comfort, morals or general welfare of the city's citizens.~~

SECTION 2. Section 22-73, Supplemental Regulations, Chapter 22, Reserved, is hereby created to encompass Fueling Station requirements as follows:

Sec. 22-73. - Reserved. Fueling Stations

(a) Purpose. It is the purpose of this section is to protect the public safety and welfare, and enhance the city's beauty and protect property values by regulating the location of filling stations and design of new or remodeled stations.

(b) Applicability. This article shall apply to any building, structure or land used for the dispensing, sale or offering for sale at retail of any automobile fuels, oils or accessories incident thereto, including lubrication of automobiles and replacement or installation of minor parts and accessories, but not including major repair work, such as motor replacement, body and fender repair or spray painting. This shall also include the terms “fueling station”, “filling station”, "gasoline station", "service station", and “Gasoline service station”. This section shall not apply to fueling operations accessory to marinas or industrial uses which do not offer retail sale to the general public.

(c) General requirements. Fueling stations shall comply with the following regulations:

1. Enclosed structure. All tire repairing, battery charging, lubricating or washing of automobiles, and/or storage of merchandise or supplies, must be accommodated or conducted wholly within the main structure or an enclosed structure of any new, remodeled, relocated or existing filling station.

2. The design of each new station, or remodeling of an existing station, shall be in compliance with the design review guidelines as contained in Section 22-59 – Design Review. Renovations, alterations and/or additions to existing structures shall be reviewed as minor applications pursuant to City Code Section 22-59.

SECTION 3. All ordinances or parts of ordinances in conflict herewith are and the same shall be repealed and shall be of no further force or effect whatsoever.

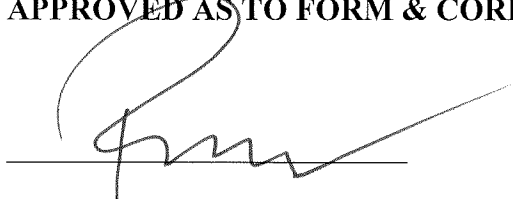
SECTION 4. This Ordinance is and the same shall become effective immediately upon final passage.

Linda Hudson, Mayor

ATTEST:

Linda Cox, City Clerk

APPROVED AS TO FORM & CORRECTNESS:

A handwritten signature in black ink, appearing to read "R. Schwerer", is written over a horizontal line.

Robert V. Schwerer, Esq.,

City Attorney

Proposed Filling Station Guidelines – Relocation to Section 22-73

Sec. 22-73. - Fueling Stations

(a) Purpose. It is the purpose of this section is to protect the public safety and welfare, and enhance the city's beauty and protect property values by regulating the location of filling stations and design of new or remodeled stations.

(b) Applicability. This article shall apply to any building, structure or land used for the dispensing, sale or offering for sale at retail of any automobile fuels, oils or accessories incident thereto, including lubrication of automobiles and replacement or installation of minor parts and accessories, but not including major repair work, such as motor replacement, body and fender repair or spray painting. This shall also include the terms “fueling station”, “filling station”, "gasoline station", "service station", and “Gasoline service station”. This section shall not apply to fueling operations accessory to marinas or industrial uses which do not offer retail sale to the general public.

(c) General requirements. Fueling stations shall comply with the following regulations:

1. Enclosed structure. All tire repairing, battery charging, lubricating or washing of automobiles, and/or storage of merchandise or supplies, must be accommodated or conducted wholly within the main structure or an enclosed structure of any new, remodeled, relocated or existing filling station.
2. The design of each new station, or remodeling of an existing station, shall be in compliance with the design review guidelines as contained in Section 22-59 – Design Review. Renovations, alterations and/or additions to existing structures shall be reviewed as minor applications pursuant to City Code Section 22-59.

Current Filling Station Guidelines – Chapter 9

ARTICLE X. - FILLING STATIONS⁹¹

Sec. 9-321. - Definitions.

In the interpretation and enforcement of this article, all words other than the terms specifically defined in this section shall have, as implied by their context, their ordinarily accepted meanings as generally used; words in the masculine gender include the feminine and neuter. The following definitions shall apply in the interpretation and enforcement of this article and of any rules and regulations adopted pursuant hereto:

Accessory uses: Minor repair activities, battery charging, lubricating or washing of automobiles and/or storage of related merchandise and supplies.

Accessway improvements: Curb cuts and driveways from a filling station to a dedicated public right-of-way, determined by the jurisdictional agency (the city public works department).

Buffering: A solid or louvered masonry wall at least six (6) feet in height but no greater than eight (8) feet in height.

Dedicated public right-of-way: A right-of-way, dedicated for public use and maintained by public funds, whether improved or not.

Filling station: Any building, structure or land used for the dispensing, sale or offering for sale at retail of any automobile fuels, oils or accessories incident thereto, including lubrication of automobiles and replacement or installation of minor parts and accessories, but not including major repair work, such as motor replacement, body and fender repair or spray painting. This term shall also include the terms "gasoline station" and "service station."

Minimum separation distance: That distance measured by the nearest exterior wall line of the buildings between two (2) filling stations, school, church, nursing and convalescent home or hospital.

Nonconformancy: The discontinuance for six (6) months of the activities of any filling station or accessory use defined herein, whether voluntarily or through destruction of improvements through fire, hurricane or other act of God.

Relocated: A filling station conforming to the provisions of this article voluntarily removed to a second site or so moved within an expanded existing site, with the discontinuation of operation of the original filling station.

Remodeling: A basic alteration or enlargement of the floor plan of the main filling station structure.

Roadway jurisdiction: The governmental level at which roadway maintenance within a dedicated public right-of-way is conducted, either by the city or the state department of transportation.

(Code 1960, § 9A-1)

Sec. 9-322. - Scope and application.

- (a) **Statement of policy.** There exists in the city an abundance of filling stations and their accessory uses which have the effect on the city of impeding both vehicular and pedestrian traffic, which could adversely influence the city's aesthetic potential, and in many cases materially affect surrounding property values.
- (b) **Purpose of article.** It is the purpose of this article to protect the public safety and welfare and enhance the city's beauty and protect property values by regulating the intervals of such filling stations, controlling the physical accesses to public dedicated rights-of-way of new or remodeled stations and establishing a basis by which new or remodeled filling stations shall buffer themselves against adjacent residential areas.

Current Filling Station Guidelines – Chapter 9

(Code 1960, § 9A-2)

Sec. 9-323. - Regulation.

- (a) Zoning. The location of any new, remodeled or relocated filling station shall be in accordance with the permitted use provisions of the city zoning ordinance, as amended.
- (b) Construction, etc. No filling station, whether having accessory uses or not, shall be erected, relocated or remodeled unless it complies with the provisions of this article. However, so long as existing filling stations, with or without accessory uses, shall continue to operate on an hourly or weekly basis customary to such facilities, this article shall have no effect within the effective period of the issuance of a building permit or the extension of such permit.
- (c) Enclosed structure. All tire repairing, battery charging, lubricating or washing of automobiles, and/or storage of merchandise or supplies, must be accommodated or conducted wholly within the main structure or an enclosed structure of any new, remodeled, relocated or existing filling station.
- (d) Distance—Two stations. The "minimum separation distance" between a new filling station and an existing one shall be no closer than one thousand (1,000) feet, as measured in the manner prescribed in section 9-321.
- (e) Same—Station and school, etc. The minimum separation distance between a new filling station and any school, church or hospital, nursing or convalescent home shall be no closer than one thousand (1,000) feet, as measured in the manner prescribed in section 9-321.
- (f) Relocation. A filling station in existence, whether with or without accessory uses, may be voluntarily relocated to a second site if such site is within two hundred (200) feet of the premises of the original station, as measured in the manner established in section 9-321, and if the original filling station ceases to function as such.
- (g) Site plan. Prior to the application for a building permit for any new, relocated or remodeled filling station a site plan shall be submitted to the office of the director of building and code enforcement and shall indicate the following:
 - (1) The placement of all structures, tanks, etc., on said lot.
 - (2) The location of buffering within the subject property which shall be along any lot line where such lot line abuts a residentially zoned area of the city.
 - (3) The anticipated curb cuts and driveways providing access to a public dedicated right-of-way and in accordance with the standards or recommendations of that agency having roadway jurisdiction over said right-of-way.
 - (4) The site of each new filling station shall have a minimum frontage of one hundred twenty-five (125) feet along a dedicated public right-of-way.
 - (5) The design of each new station, or in the remodeling of an existing station, shall be such that it shall be in architectural harmony and compatible with designs of other business activities in the area. Building facades of brightly adorned, porcelanized steel panels in garish combinations shall be prohibited. Major oil companies that have developed a standardized building design with a well known color scheme and a recognizable insignia may use the same.
 - (6) All new buildings shall have a minimum of one thousand (1,000) square feet under roof and within the exterior walls of the same, excluding canopies.
- (h) Issuance of permit. When the above site plan is amended to satisfactorily comply with the above standards or recommendations the director of building and code enforcement may issue a building permit for the contemplated filling station.
- (i) Applicability of distance restrictions. The above-referenced distance restrictions shall not apply to property situated within one thousand five hundred (1,500) linear feet of a limited access highway.

Current Filling Station Guidelines – Chapter 9

(Code 1960, § 9A-3; Ord. No. J-134, § 1, 12-19-94)

Sec. 9-324. - Implementation.

- (a) The city commission, and it alone, shall hear any appeals regarding the strict application of the provisions of this article; any such appeal shall be identified as one of the following:
 - (1) Removal of nonconforming status of a filling station presently out of business and structurally intact.
 - (2) A variance of the minimum separation distance provisions of this article.
- (b) All appeals shall be made in writing, addressed to the commission, with appropriate survey material, maps and site plans attached.
- (c) After due hearing thereon, said commission may grant or deny such appeal; provided, however, that a four-fifths affirmative vote of the commission shall be required for granting.
- (d) No such appeal shall be granted unless the commission finds that all of the following conditions exist:
 - (1) Such action may be taken without substantial detriment to the public good.
 - (2) The granting of such an appeal is necessary to preserve a substantial property right and not merely to serve as a convenience to the applicant.
 - (3) The authorizing of the appeal will not impair surrounding property values or unreasonably increase congestion on public streets, increase the danger of fire or in any other respect impair the public health, safety, comfort, morals or general welfare of the city's citizens.

(Code 1960, § 9A-4)

Secs. 9-325—9-333. - Reserved.

Established Regulations Applicable to Fueling Stations

Collectively guide appropriate location, design, access, and landscaping/buffering of Fueling Stations

Section 22-22. – Allowed uses. (Use Table)

Section 22-59. - Design review.

Section 22-61. – Access control.

Section 22-187. - General landscaping requirements.

Sec. 22-22. - Allowed Uses.

(a) *Uses listed.* Uses listed are allowed in each zoning district in accordance with the Use Table.

(b) *Permitted uses.* Uses identified with a “P” in the Use Table are permitted in the subject zoning district provided that the uses will not violate basic use standards specified in each zoning district, other applicable use standards, additional zoning ordinance provisions and other city laws.

(c) *Conditional uses.* Uses identified with a “C” in the Use Table are permitted in the subject zoning district, if the city commission, after a public hearing, determines that the location and development plans comply with applicable standards and will not violate basic use standards specified in each zoning district, other applicable use standards, additional zoning ordinance provisions and other city laws.

(d) *Prohibited uses.* Uses identified with a “-” in the Use Table are expressly prohibited.

(e) *Use table.*

ZONING DISTRICT	E1	E2	E3	R1	R2	R3	R4	R4A	R5	C1	C2	C3	C4	C5	C6	CP	I1	I2	I3	OS1	OS2	A1	A2
Overnight Accommodations																							
–Bed & Breakfast	-	-	-	-	-	-	C	C	C	-	P	P	P	P	-	-	-	-	-	-	-	-	-
–Dwelling Rental	-	-	-	C	C	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
–Hotel/Motel	-	-	-	-	-	-	-	-	-	-	-	P	P	P	P	C	-	-	-	-	-	-	-
–Recreational Vehicle Park	-	-	-	-	-	-	-	-	-	-	-	C	-	C	-	-	-	-	-	-	-	-	-
–Resort Hotel	-	-	-	-	-	-	-	-	-	-	-	P	P	P	P	-	-	-	-	-	-	-	-
Parking, Commercial	-	-	-	-	-	-	-	C	-	C	-	P	C	C	-	C	-	C	-	-	-	-	-
Retail Sales & Service, Sales-Oriented (except as noted below)	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	C	-	-	-	-	-	-	-
–Art Gallery	-	-	-	-	-	-	-	-	-	C	C	P	P	P	-	C	-	-	-	-	-	-	-
–Farmers Market or Farm Stand	P	-	-	-	-	-	-	-	-	-	-	P	P	P	-	C	C	-	-	-	-	-	-
–Grocery or Liquor Store	-	-	-	-	-	-	C	-	C	-	P	P	P	C	-	C	-	-	-	-	-	-	-
–Neighborhood Commercial Sale	-	-	-	-	C	C	P	P	P	-	P	P	P	C	-	C	-	-	-	-	-	-	-
–Office Supplies & Electronics	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	C	-	-	-	-	-	-	-
–Pet Stores	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	C	-	-	-	-	-	-	-
Retail Sales & Service, Personal-Service Oriented (except as noted below)	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	C	-	-	-	-	-	-	-
–Art Studio	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	C	-	-	-	-	-	-	-
–Animal Care Facilities & Service	-	-	-	-	-	-	-	-	-	-	-	C	-	P	-	C	-	-	-	-	-	-	-
–Animal Grooming Services	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	C	-	-	-	-	-	-	-
–Check Cashing/Loan Service	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	-	-	-	-	-	-	-	-
–Educational Service Establishments	-	-	-	-	-	-	-	-	C	C	C	P	P	C	P	P	P	C	C	-	-	-	-
–Laundry & Dry Cleaners Pick-Up	-	-	-	-	-	-	C	C	C	C	P	P	P	P	-	C	-	-	-	-	-	-	-
–Laundromat	-	-	-	-	-	-	C	C	C	C	P	P	P	C	-	C	-	-	-	-	-	-	-
–Mortuaries or Funeral Homes	-	-	-	-	-	-	-	-	-	-	-	P	P	-	-	C	-	-	-	-	-	-	-
–Neighborhood Commercial Services	-	-	-	-	C	C	P	P	P	C	P	P	P	P	-	C	-	-	-	-	-	-	-
–Pawn Shop	-	-	-	-	-	-	-	-	-	-	-	P	P	C	-	C	-	-	-	-	-	-	-
–Personal Improvement Service	-	-	-	-	-	-	C	C	C	C	-	P	P	P	-	C	-	-	-	-	-	-	-
–Veterinary (Without Outdoor Runs)	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	C	-	-	-	-	-	-	-
Retail Sales & Service, Repair-Oriented	-	-	-	-	-	-	-	P	-	C	-	P	P	P	-	P	-	-	-	-	-	-	-
Self-Service Storage	-	-	-	-	-	-	-	-	-	-	-	C	-	C	C	-	P	-	P	-	-	-	-
Vehicle Sales & Service																							
–Automobile Rentals	-	-	-	-	-	-	-	-	-	-	-	P	C	C	C	C	P	-	P	-	-	-	-
–Automobile Sales	-	-	-	-	-	-	-	-	-	-	-	P	C	C	C	C	P	-	P	-	-	-	-
–Boat Rentals	-	-	-	-	-	-	-	-	-	-	-	P	C	P	C	C	P	-	P	-	-	-	C
–Boat Sales	-	-	-	-	-	-	-	-	-	-	-	P	C	C	C	C	P	-	P	-	-	-	P
–Fueling Station	-	-	-	-	-	-	-	-	-	C	C	P	C	C	-	C	-	P	-	-	-	-	-
–Travel Plaza	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	C	-	-	-	-	-	-	-
–Truck Stop	-	-	-	-	-	-	-	-	-	-	-	P	-	-	-	C	-	-	-	-	-	-	-
–Vehicle Repair, General	-	-	-	-	-	-	-	-	-	-	-	C	C	-	-	C	-	-	-	-	-	-	-
–Vehicle Repair, Limited	-	-	-	-	-	-	-	-	-	-	-	P	C	-	-	P	-	-	-	-	-	-	-
–Vehicle Storage	-	-	-	-	-	-	-	-	-	-	-	C	-	-	C	-	P	C	P	-	-	-	-
INDUSTRIAL																							
Artisan	-	-	-	-	-	-	-	-	-	-	-	C	C	-	-	P	P	-	P	-	-	-	-
–Cabinet Shops, Woodworking	-	-	-	-	-	-	-	-	-	-	-	C	C	-	C	P	P	-	P	-	-	-	-
Light Industrial Service (except as noted below)	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-	P	P	-	P	-	-	-	-
–Catering Facility, Large-Scale	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-	P	P	-	P	-	-	-	-
–Crematorium	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-	-	-	-	-	-	-	-	-
–Building Maintenance Facilities And Services	-	-	-	-	-	-	-	-	-	-	-	C	-	-	C	-	-	-	-	-	-	-	-
–Contractors/Others Performing Services Off-Site	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-	P	P	-	P	-	-	-	-
–Microbrewery	-	-	-	-	-	-	-	-	-	C	C	C	C	C	C	C	-	-	-	-	-	-	-
–Research Service	-	-	-	-	-	-	-	-	-	-	-	C	-	-	P	P	P	-	P	-	-	-	-
Marine-Related Industrial	-	-	-	-	-	-	-	-	-	-	-	C	-	-	P	-	C	P	P	-	-	-	P
Warehouse & Freight (except as noted below)	-	-	-	-	-	-	-	-	-	-	-	C	-	-	-	P	P	C	P	-	-	-	-
–Parcel Service	-	-	-	-	-	-	-	-	-	-	-	P	P	-	-	P	P	C	P	-	-	-	-
Waste-Related Use (except as noted below)	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	C	C	-	-	-	-	-
–Solid Waste Separation, Transfer Station	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	C	C	-	-	-	-	-
–Recycling Center	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	C	C	C	-	-	-	-
–Wrecking or Salvage Yard	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	C	C	C	-	-	-	-	-

Sec. 22-59. - Design review.

- (a) **Applicability.** All development requiring site plan approval, or development abutting arterial roads, which submits application for development subsequent to the enactment of this ordinance, shall be subject to the city's design review process. In addition, all city-sponsored development projects not subject to site plan review shall require administrative review and approval according to the guidelines of this section. Such development proposals shall be reviewed for consistency with the city's design review guidelines outlined in this chapter. Until such time as a separate design review board is established, the city's planning board shall function as the design review board and shall be responsible for such design review, which shall be completed as part of the development review process. Applications for design review approval must satisfy the application submission requirements and shall be submitted to the department of planning. Design review related to any changes to historic structures, or any new construction on an historic site or in an historic district shall be reviewed by the historic preservation board in lieu of the design review board in accordance with chapter 23. Use of obligatory verbs in this section such as "shall" and "must" are imperatives applicable as binding directives of the ordinance. Discretionary language such as "should," "may," "might," and "is encouraged" are applicable as general guidance for design choices. Design choices based on discretionary language will be subject to the assessment and recommendation of the director of planning and the design review board.
- (b) **Purpose.** Design review guidelines proposed in this section shall be considered as addenda to rather than replacement of existing code requirements of this chapter. The quality and compatibility of proposed development in the city is of critical public concern for all building and/or site improvements. The city's design review guidelines suggest approaches to design situations that will contribute to the existing and developing character of the city. The intent of the city's design review process is not to stifle innovative architecture but rather to assure respect for and reduce incompatible and adverse impacts on the visual experience throughout the city. This shall be accomplished through respectful interpretation of vernacular building typologies and styles in proposed development. Proposed designs shall take cues from traditional proportioning systems and be synonymous with a chosen style. The city's exemplary wood and masonry vernacular buildings are characterized by a blend of Cracker, Classical Revival, Victorian, Mediterranean, including Mission and Spanish Eclectic, Streamlined Art Deco, Mid-Century Modern, Colonial, Prairie and Craftsman styles. Interpretation of this vernacular palette, influenced by the tropical climate and regional architectural patterns, is strongly encouraged. The guidelines serve to encourage quality site and architectural design and construction compatible with the scale and character of the city's mix of existing buildings and land uses. Consideration of quality and compatibility shall be based on the massing, form and articulation of building walls, and order, rhythm and proportion of doors and windows rather than gratuitous decoration and ornamentation. It is the further purpose of this ordinance to provide procedures whereby exceptions to specific criteria may be made in appropriate situations to advance the stated purpose of this ordinance.
- (c) **Submission requirements.** Applications for design review approval shall be submitted on a supplemental application form as published by the Department of Planning along with the appropriate fee as required by section 22-142, Filing fees. All presentation materials shall include a graphic scale and may include scale figures of pedestrians, vehicles and other common elements found in the public environment. The following materials must be submitted with an application, unless waived by city administrative staff as not necessary, before an application shall be considered complete and accepted for review:
- (1) **Administrative approval.**
 - a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 22-194, location of bordering streets and, if applicable, wetlands and beaches.
 - b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation,

the surrounding built environment and other site features that may influence design elements.

- c. A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 22-58(e) is also available.

(2) Final approval.

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 22-58.
- c. A final site lighting plan that meets the requirements of subsection 22-58(d)(8).
- d. A final landscape plan that meets the requirements of Article XII, Landscaping and Trees.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

(d) Procedure for approval. When site plan approval is required pursuant to section 22-58, the following procedure relating to design review shall take place at the same time:

- (1) The application for design review approval shall be submitted to the department of planning and development when application is made for site plan approval. The department shall review the application for design review approval to insure that it conforms with requirements of this

section. If there are no violations, the department shall forward the application for design review to the design review board with a written report on the application's conformity with the city's design review guidelines set out in this section. This submittal will be made at the same time that a site plan is submitted in accordance with subsection 22-58(f) to the planning board.

- (2) The design review board shall review the application and make a recommendation to the commission for approval or disapproval. If the board recommends disapproval, the reasons shall be stated. The board shall consider the following standards:
 - (i) The design, including landscape features, is architecturally compatible with surrounding structures so as to be reasonably harmonious in landscaping, style, and color;
 - (ii) If the property is located within a historic preservation district, the design features are reasonably consistent with the historic character of the predominant architectural style within the district;
 - (iii) The design features will enhance or preserve the quality of the surrounding area so as not to detract from existing property values or impact adversely on existing scenic, natural, or historic beauty;
 - (iv) The design avoids undue monotony in structural design features.

The board may condition recommendation for approval upon an applicant obtaining of a suitable variance pursuant to article VIII from the board of adjustment.

- (3) The city commission shall hold a hearing on the application for design review approval at the same time it conducts a hearing on the site plan. It shall not approve the application for design review approval if:
 - (i) The application does not meet all applicable provisions of this Code;
 - (ii) The health, safety, and general welfare of the public are not properly provided for.
- (4) When development does not require site plan approval in accordance with section 22-58, but does involve property abutting an arterial road, design review approval shall be requested through a minor application. The department shall approve such minor application for design review approval if it meets the requirements of this section.
- (5) Any change or modification in an approved application for design review shall be approved in the same manner as required for original approval except that the department may itself authorize a change or modification if such change or modification is minor and does not substantially alter the design characteristics or features previously approved. A proposed change or modification shall not be considered until a completed application form and filing fee are received by the department. If design review approval was originally necessary because the development requires site plan approval in accordance with section 22-58, and the department determines that a proposed change or modification is minor, the department shall advise the city commission of its intent to approve a minor change or modification and the change or modification shall then become effective unless the city commission finds that the proposed change or modification is substantial, not minor, whereupon the request for change or modification shall be reviewed by the same procedure required for original approval.

(e) Expiration of approval.

- (1) Expiration of approval shall coincide with expiration of the associated site plan.
- (2) Where site plan approval is not required, the applicant shall have one year to complete the approved activity.

(f) Definitions. Words and terms not defined in this section shall be interpreted in accordance with their normal dictionary meaning and customary usage. The following words, terms and phrases, when used in this chapter shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

- (1) Appearance: The outward aspect visible to the public.
- (2) Appurtenances: The functional objects accessory to and part of buildings.
- (3) Architectural character: The composite or aggregate of the characteristics, inferences or implications of structure, form, materials and function of a building, group of buildings, or other architectural composition.
- (4) Architectural feature: A prominent or significant part or element of a building, structure or site.
- (5) Architectural style: The characteristic form and detail, as of buildings of a particular historic period.
- (6) Berm: A raised form of earth to provide screening or to improve the aesthetic character.
- (7) City: Shall refer to the City of Fort Pierce, or the area within the Urban Services Boundary of St. Lucie County.
- (8) Civic: Shall mean of or relating to a citizen, a city, a citizenship or civil affairs.
- (9) Cohesiveness: Shall mean unity of composition and style between design elements of a building or group of buildings and their appurtenances, including site arrangement, landscape, signage and graphics.
- (10) Development: Shall mean any building activity requiring a permit from the City of Fort Pierce.
- (11) Encroachment: The building of a structure within the yard area of the parcel or parcels on which an application for development is applied.
- (12) Exterior building component: An essential and visible part of the exterior of a building.
- (13) External architectural feature: The architectural style and general arrangements of such portion of a building or structure as is designated to be open to view from a public street, place or waterway, including the kind, color and texture of the building material of such portion and the type of window, doors, lights, attached or ground signs, and other fixtures appurtenant to such portion.
- (14) Frontage line: Refers to the line upon which the front wall of a building sits and is synonymous with its front yard line (setback). Frontage lines also exist for side walls facing a public right-of-way. Porches, stoops, balconies and bay windows may protrude beyond the frontage line as specified in this section.
- (15) Landscaping: Shall mean all forms of planting and vegetation, ground forms, rock groupings, water patterns, walls, fences, driveways and pools and all other visible construction except buildings and utilitarian structures.
- (16) Logic of design: Shall mean accepted principles and criteria of validity in the solution of the problem of design.
- (17) Mechanical equipment: Shall mean equipment, devices and accessories, the use of which relates to water supply, drainage, heating, ventilating, air conditioning and similar purposes.
- (18) Minor application: Applications for development which do not require site plan approval as defined in subsection 22-58(b).
- (19) Miscellaneous structures: Shall mean structures, other than buildings, visible from public ways. Examples are: Memorials, stagings, antennas, water tanks and towers, sheds, shelters, fences and walls, kennels, transformers, or drive-up facilities.
- (20) Open space: A spatially-defined public area bound by streets, structure or landscape so as to be differentiated from private outdoor areas in use and design. These areas shall follow logic of design within the site plan and generally be regular in shape.
- (21) Plant materials: Shall mean trees, shrubs, vines, ground covers, grass perennials, annuals and bulbs.

- (22) Preservation: The protection and care which prevent destruction or deterioration of significant structures, buildings or natural resources.
- (23) Proportion: Shall mean relationship of parts of a building, landscape, structures or buildings to each other and to the whole; balance.
- (24) Scale: Shall mean harmonious relationships of the size of parts to one another and to the human figure.
- (25) Screening: Shall mean a structure or planting which conceals from view from public ways the areas behind such structure or planting.
- (26) Shrub: A multi-stemmed woody plant other than a tree.
- (27) Site break: A structural or landscape device to interrupt long vistas and create visual interest in a site development.
- (28) Street hardware: Shall mean objects other than buildings, structures and plantings located in streets and public ways and outside of buildings. Examples are lamp posts, utility poles, traffic lights, traffic signs, benches, litter containers, planting containers, letter boxes and fire hydrants.
- (29) Streetscape: The scene as may be observed along streets composed of natural and manmade components including buildings, paving, planting, street hardware and miscellaneous structures.
- (30) Utilitarian structure: A structure or enclosure relating to mechanical or electrical services to a building or development.
- (31) Utility hardware: Shall mean devices such as poles, crossarms, transformers and vaults, gas pressure regulating assemblies, hydrants and buffalo boxes that are used for water, gas, oil, sewer and electrical services to a building or a project.
- (32) Utility service: Shall mean any device, including wire, pipe and conduit, which carries gas, water, electricity, oil and communications into a building or development.
- (33) Waterway: Shall mean any canal, lake, river, tributary, channel, lagoon or connecting water within or adjacent to the boundaries of the city.

(g) Design review guidelines

- (1) Roofs.
 - a. Principal pitched roofs of wood vernacular styles shall be a symmetrical hip with a slope of 6:12 to 10:12. Pitched roofs of designs reflecting Mediterranean, Mission, Spanish Eclectic, Craftsman and Prairie styles may have slopes of 3:12 to 6:12. A broken pitch roof (a roof which becomes shallower in slope at one-third (1/3) of the distance from the eave to the peak) is encouraged. Also allowed are gabled hips, flared hips and, where appropriate to mark an architectural feature or civic gesture, gable ends.
 - b. Rooflines may be punctuated with dormers, windows or ventilation louvers that add detail and interest to the facade. Dormers shall light habitable spaces and have shed roofs with a minimum slope of 3:12 or pitched roofs with a slope to match the principal structure. Eyebrow dormers are also encouraged.
 - c. The use of deep (32"—40") overhangs and, where appropriate, detailed eave brackets, are strongly encouraged. Variation in roof heights or articulation of a flat roof overhang along the facade is encouraged to add visual interest to a streetscape and delineation of activity within a structure.
 - d. Ancillary roofs (attached to walls or roofs) may be sheds sloped no less than 3:12. Roofs on towers shall be flat or have a slope which matches the primary structure.
 - e. The finished roofing material for visible pitched roofs shall be one of the following:
 - 1. Cedar shingles with factory treated class B finish;

2. steel, copper, or factory painted aluminum standing seam, batten seam, or Bermuda roofing;
 3. Galvanized steel "5-V crimp" roofing panels or pre-finished steel;
 4. Galvanized metal or copper shingles of Victorian or diamond shape or pattern;
 5. Asphalt dimensional shingles for residential buildings only;
 6. Built-up or membrane roof behind parapets;
 7. Flat concrete tile;
 8. Clay or cement barrel, s-shaped or mission tiles.
- f. The fascias around the eaves shall have limited simple detail that complements the fenestration, porch overhangs or entrances.
 - g. Exposed rafters with simple detailed ends may be substituted for fascia type arrangements.

(2) Entrances.

- a. Buildings shall have architectural features such as porches or roof overhangs that delineate or emphasize entrances. Covered entrances shall be proportioned to human scale and follow logic of design relative to the building. This entrance shall face the public right-of-way, be well-defined architecturally and readily visible to pedestrian and vehicular traffic.
- b. To provide for consistent spatial order of streets, and to accommodate a human scale and pedestrian activity, the inside line of the front yard (setback) shall be considered a frontage line. Exceptions to this requirement may be granted for development in the following zoning districts: OS-1 (Open Space Recreation), OS-2 (Open Space Conservation), I-1 (Light Industrial), CP-1 (Commercial Parkway), C-6 (Marine Commercial), and C-3 (General Commercial) on properties backing onto a highway and fronting an internal access road.
- c. Doors shall have detail appropriate to the architectural character of the proposed building and may be defined with sidelights, transoms or wooden or metal shutters.
- d. Porches shall have a minimum depth of six (6) feet and may encroach up to six (6) feet into the front yard (setback), or into a side yard that abuts a public right-of-way or public space.

(3) Windows.

- a. Windows shall have well-defined frames, transoms or sills, and should be accentuated with shutters or Bahamas awnings where appropriate. Material of frames, shutters and awnings shall be painted or stained wood, aluminum or vinyl-clad wood, steel or aluminum.
- b. Reflective or mirrored glass is not permitted, however on side and rear elevations, translucent glass may be used. Minimal tinting to meet energy code requirements may be permitted. Glass block may be used where appropriate to the architectural style.
- c. Storefront glass shall be clear and unobstructed from signs and the backs of counters, display racks and merchandise.
- d. Windows must be placed on elevations that face the public right-of-way and must be in scale and compatible with the architectural style of the building. The bottom of the window (knee wall) shall not be lower than twenty-four (24) inches in residential or office buildings, or higher than forty-eight (48) inches from grade or sidewalk in retail buildings.
- e. Large expanses of wall without windows or detail that face the public right-of-way are prohibited. Retail buildings shall have fenestration that reveals interior activity and encourages interest in the products or services provided.

(4) Elevations.

- a. Building designs shall reflect traditional proportions and architectural vocabularies demonstrated in local precedents or regional building types and styles. Wood vernacular styles include Cracker, Classical Revival and Victorian. Masonry vernacular buildings demonstrate details of Mediterranean styles including Mission and Spanish Eclectic. Streamlined Art Deco and Mid-Century Modern buildings in masonry systems are also imbedded in local and regional vernacular. Elements borrowed and interpreted from Colonial, Prairie and Craftsman styles can be found in wood and masonry systems, or a combination of the two.
- b. Elevations adjacent to a public right-of-way shall be considered as a building front and treated as such with appropriate entrances, fenestration or detailing.
- c. Articulation in the facade should give visual relief and be of sufficient depth to provide shade and shadow on adjacent building surfaces. Colors of wall surfaces shall be chosen to complement this facade articulation and colors shall be in keeping with the chosen architectural style and character.
- d. Materials for facades shall be of stucco, wood clapboard, wood shingles, cement siding in clapboard style boards, modular unit masonry, coral or keystone. Brick coursework should use traditional methods that enhance elevations and frame fenestration and door openings. Metal or vinyl siding, and simulated stonework on expanses of building walls shall not be permitted. Two-dimensional stucco details that mimic three-dimensional articulation or structure shall not be permitted.
- e. Proportion and composition of fenestration on new construction shall be compatible with architectural style. Vertical proportions are generally encouraged in all wall openings, especially for traditional architectural vocabulary. Stylistically modern buildings may utilize horizontally proportioned openings where appropriate.
- f. Storefronts and their entrances are to follow logic of design and be contained within structural bays of the building.
- g. Infill storefront design shall be compatible with the existing architecture of the building and block. Details and architectural features should relate to the entire building and block.
- h. Roll down gates, security shutters and bars that are visible from any public right-of-way should be avoided.
- i. Storm shutters shall be deployed only upon the issuance of a storm warning from the governing agency authorized to issue such warning.
- j. Exterior building components and all proposed elements of the streetscape shall be painted with a color compatible with the architectural character and style of the proposed development as well as the surrounding buildings.
- k. Blank walls are discouraged. Walls shall be punctuated with windows, doors or architectural elements. New construction that includes long dimensions of continuous wall shall employ the use of site breaks to punctuate the streetscape.
- l. To assure compatible site design and elevations as seen from the water, development adjacent to or visible from waterways may be expected to meet specific requests from the design review board beyond what is outlined in this section.

- (5) Streetscape improvement guidelines. Streetscape improvements include those architectural or functional facilities or structures which occur on site but are not part of the building and which contribute to the overall appearance of the development and encourage and facilitate human interaction with the environment. Examples include, but are not limited to decorative light fixtures, fountains, sculpture and other civic art, benches and tables, planters, retaining walls, pedestrian and bicycle paths, bicycle parking structures, trash receptacles and enclosures, vendor areas, bollards and fences. These improvements shall be designed to be consistent with

all guidelines of this section, and shall be reviewed for aesthetic functionality and compatibility with the city's design expectations.

(6) Lighting.

- a. Decorative, low-level intensity, non-concealed source lighting which defines vehicular and/or pedestrian ways may be acceptable if not used as general lighting for a development.
- b. Exterior architectural, display and decorative lighting visible from all public rights-of-way shall be generated from concealed light source, low-level light fixtures. Color lamps shall not be used.
- c. Site lighting shall conform to the provisions of subsection 22-58(d)(8).

(7) Landscaping.

- a. All landscape designs and drawings shall conform to chapter 22, article XII of this Code.
- b. Landscaping for the proposed development shall provide visually harmonious and compatible settings for structures on the same lot as well as adjoining or nearby lots and shall blend with the surrounding landscape. The scale of the proposed landscaping shall be in proportion to the building and to the human scale of the streetscape.
- c. Screening shall be provided by appropriately designed walls and mature plant materials rather than the construction of berms.

(8) Walls and fences.

- a. Walls and fences shall be considered as an integral part of the design proposal, and shall generally be constructed of the same material as the first floor of the primary building.
- b. Concrete walls shall be faced with stuccoed or stone, or shall incorporate some perforated pattern cohesive with the design intent. Gates and fences shall be wood, an appropriate composition of iron, metal or aluminum, or masonry piers with wood pickets.

(9) Signs.

- a. Signs will be reviewed for compliance with the guidelines of this section, section 15-6, and for compatibility with the city's developing character.
- b. Signage shall be considered as an external architectural feature consistent with and in proportion to the overall design scheme for new construction and renovation.

(10) Awnings.

- a. Awnings shall only be used where architecturally compatible with the building. The shape of the awning and related hardware should be consistent with the architecture of the building as well as proportionate with the scale of the facade and its surroundings regarding design, color, scale and fabric.
- b. Where a single building has several storefronts and tenants, or within a single center, they should all have a consistent design, scale, color scheme, and fabric throughout.
- c. Awning fabric shall be made of non-glossy material, such as treated cotton for durability, and ribbing (seams) should run vertically.
- d. Awnings shall not be used as an attention-getting device, and should contain only minimal signage on the awning fabric. Awnings should not be backlit; simple down-lighting to illuminate the window, door or sidewalk should be used.

(11) Renovations, alterations and/or additions.

- a. Renovations, alterations and/or additions to existing structures shall be reviewed as minor applications.

- b. Such alterations shall be compatible with the city's existing and developing character regarding scale, massing, materials and architectural design referenced in the above sections. Primary elevations of the facade shall be reconstructed, as appropriate, according to the design review guidelines for new development.
- c. Renovation projects shall encompass, where appropriate, the entire site.

(Ord. No. K-497, § 1, 7-16-07; K-497, §, 7-16-07)

Sec. 22-61. - Access control.

- (a) General provisions. Driveways in all districts for all uses, except single-family dwellings and duplexes, will comply with the provisions in this section in order to promote the safety of the motorist and pedestrian and to minimize traffic congestion.
- (b) Design standards.
 - (1) Number of access points.
 - a. Not more than one two-way driveway or two (2) one-way driveways will be permitted on any arterial street for the first two hundred (200) feet of street frontage under one ownership. Where such ownership includes over two hundred (200) feet of street frontage, additional driveways may be permitted if adequate justification is presented and approval is given by the city engineer.
 - b. Not more than one two-way driveway will be permitted on any collector street for the first one hundred (100) feet of frontage under one ownership. Where such ownership includes over one hundred (100) feet of street frontage, additional driveways may be permitted if adequate justification is presented and approval is given by the city engineer.
 - c. Driveways with design standards which insure reasonable driveway design and construction for the protection of the user will be permitted on all local streets.
 - (2) Location of access points. The location of access points or driveways on streets of the various roadway classes will conform to the distance requirements measured from curb line to curb line (or edge of pavement where no curb exists) for corner clearance, driveway spacing and property clearance. Where these distance requirements described in the following paragraphs cannot be satisfied, consolidation of access for adjacent properties will be considered prior to issuance of any administrative variations based upon engineering judgment.
 - a. Distance to intersections (corner clearance): All driveways will conform to the following minimum distance requirements by roadway class for corner clearance as follows:

Roadway Class	Minimum Corner Clearance (Feet)
Arterial street	230
Collector street	115
Local street	50

- b. Distance between driveways (driveway spacing): Two way driveways on the same side of the street will conform to the minimum distance requirements for driveway spacing by roadway class as follows:

	Minimum	
	Driveway Spacing (Feet)	
Arterial	Collector	Local
150	100	50

Two (2) one-way driveways on the same side of the street can have a spacing one-half the distances shown above, provided that any spacing which results in a distance of less than forty (40) feet is increased to forty (40) feet.

- c. Distance to property lines (property clearance): Distance to property lines from driveways will be one-half ($\frac{1}{2}$) the distances of two-way driveway spacing by roadway class included under b. above.

- (3) Driveway widths. The following driveway widths will be utilized on all roadway classes:

Driveway	Minimum	Maximum
Residential	12	26
Other		
One-way	14	16
Two-way	24	36

Wider driveways may be required for mobile home parks and recreational vehicle parks and may otherwise be permitted (twelve (12) feet for each additional lane), if adequate justification is presented and approval is given by the city engineer.

- (4) Angle of intersection with streets. The angle of intersection of a driveway with a street must be ninety (90) degrees for two-way driveways.
- (5) Construction and maintenance. Driveways shall be constructed in accordance with Chapter 17 of this Code of Ordinances and will be maintained in good condition at all times by the owner or owners of the property being served by the driveway.

(Ord. No. H-186, § 30-61, 6-15-81)

Sec. 22-187. - General landscaping requirements.

All landscape plans shall meet or exceed the following general landscaping requirements which shall be considered complimentary to the landscaping provisions of any other city ordinance. This section shall not apply to lots subject to section 22-186 above. A certificate of occupancy shall not be issued on any permit for the use, construction, repair or renovation of any structure within the city, whether residential, commercial, industrial or accessory, unless application for any such permit is accompanied by a detailed landscape plan meeting all requirements of this article. The department is not authorized to exempt the permit application from any requirement except as expressly provided for in this article.

- (1) Requirements for plant materials. Plant materials used for conformance with this article shall meet or exceed the standards for Florida No. 1 as set out in the most current edition of "Grades and Standards for Nursery Plants Part 1 and Part 2.", State of Florida, Department of Agriculture, Tallahassee. The clerk's office shall maintain a stock of these manuals to be given to permit applicants, particularly though not exclusively to homeowners, for the applicant's use in submitting the required landscape plan. All trees required by this article (excluding palms that are exempt from the grades and standards) shall have a Florida No. 1 or better "Grades and Standards" certification tag attached at time of delivery through final inspection. Grass sod shall be clean and free of weeds, pests and diseases.

Trees:

- a. Trees used to meet the requirements of this section shall be species which when planted have a height of at least twelve (12) feet and have trunks which can be maintained in a clean condition for over five (5) feet of clear wood. At planting, the trees shall have a diameter of at least two and one-half (2½) inches at a point four and one-half (4½) feet above ground level and a spread of at least five (5) feet (except for palms which shall have a minimum clear trunk of ten (10) feet).
- b. Trees used to meet the requirements of this section shall also be species which in the county normally grow in a manner such that at maturity they will have a minimum crown spread of fifteen (15) feet and a minimum height of fifteen (15) feet. Trees which can meet the height requirement at maturity but not the crown requirements may be grouped to form a wider crown, but will be counted as one tree. Three palms may be substituted for one tree provided that fifty (50) per cent of requirement shall be trees.
- c. Fifty (50) per cent of the required trees shall be species other than palm trees (Palmaceae family) except when planted in accordance with an approved plan prepared by a Florida registered landscape architect.
- d. Trees of species whose roots are known to cause damage to public roadways or other public works shall not be planted closer than twelve (12) feet to such public works, unless the tree root system is completely contained within a barrier for which the minimum interior containing dimensions shall be three (3) feet times five (5) feet and five (5) feet deep, and for which the construction requirements shall be six-inch thick concrete with fiber mesh and no wire mesh or by a root barrier product approved by the city engineer.
- e. None of the following trees shall be planted in the city and where they presently exist when permit application is made, their removal shall be a condition of any final development order: *Melaleuca*, *leucadendron* (punk tree), *Schinus terebinthifolius* (Brazilian pepper) and *Casuarina* sp. (Australian pine). Nor may any of the following trees be planted for purposes of complying with requirements of this article: any species designated as category I on the Exotic Plant Pest Council's current list of "Florida's Most Invasive Species", *Cupaniopsis anacardioides* (Carrotwood), *Dalbergia sissoo* (Rosewood), *Albizia lebeck* (Woman's tongue), *Araucaria heterophylla* (Norfolk Island pine), *Grevillea robusta*

(Silk oak), Melia azadaracha (Chinaberry), Ficus spp. (non-native Ficus), Eucalyptus spp. (Eucalyptus).

- f. Shrubs and hedges. Shrubs used to meet the requirements of this section shall be a minimum of twenty-four (24) inches in height when planted. Hedges, where required, shall be planted and maintained so as to form a thirty-six-inch or higher continuous, unbroken, solid, visual screen.
 - g. Ground covers. Ground covers used in lieu of grass, or in part, to meet the requirements of this section, shall be planted in such a manner as to present a finished appearance and reasonably complete coverage within three (12) months after planting.
 - h. Grass. Grass used to meet the requirements of this section shall be planted with species normally grown as permanent lawns in the county. Grass areas will be sodded, except that plugging, sprigging or seeding of grassy areas is permissible with respect to single- family and two-family residential lots. As to all lots, solid sod shall be used in swales, detention or retention areas and other areas subject to erosion.
 - i. Existing plant material. When plant material exists on a site prior to the date application for a permit is made, credit may be allowed for such plant material provided that it is protected during construction and incorporated into the required landscaping in a manner which satisfies the requirements of this article.
- (2) Landscaped areas. Each separate landscaped area shall have at least one tree, one or more shrubs as approved by the department, or one or more hedges, and ground cover. So as to support long term plant health, planting soil for all landscaped areas shall consist of existing soil mixed with fifty (50) per cent recycled top soil. Such planting soil shall be free of debris, roots, clay, stones, plants or other foreign materials. The planting soil meeting requirements of this subsection shall extend to an appropriate depth so as to eliminate any hindrance to planting operations or detriment to good plant growth. Compliance with these soil requirements shall be verified as part of the final inspection.
- (3) Landscaping design standards. For commercial, professional, multifamily, industrial and institutional structures, these design standards are in addition to, and not in place of, other requirements imposed by this article.
- (4) Landscape strips. Between street rights-of-way and vehicular use, building and retention/detention areas, there shall be a landscaped strip of land, except where driveways are located, meeting these requirements:
- a. The strip shall be at least six (6) feet wide for lots under ten thousand (10,000) square feet in size and at least ten (10) feet wide for lots ten thousand (10,000) square feet or larger;
 - b. The landscape strip shall include an average of at least one tree for each three hundred (300) square feet of required landscaped area. The remainder of the required landscaped area shall be completely covered with grass, ground cover or other landscaped treatment and shall additionally contain a screen of landscaping which shall be installed and maintained so as to form a thirty-six-inch or higher continuous, unbroken, solid, visual screen within a maximum of one year after the landscaping takes place, except in clear vision areas required in section 22-53.
- (5) Other property. All property, other than the required landscape strip, located between street right-of-way and buildings, shall be completely covered with grass or other ground cover except to the extent there are permitted, impervious surface structure such as sidewalks, plazas and driveways.
- (6) Vehicular use, building, retention/detention areas adjacent to other property. Landscape standards for these areas are as follows:
- a. Where a vehicular use area does not abut a street right-of-way but abuts other property, there will be a landscaped strip of land which is at least ten (10) feet wide. When a property

line abuts a building, another structure, a joint driveway or joint parking area, such landscaped strip shall not be required.

- b. The landscaping strip required by the immediately foregoing subsection shall include an average of at least one tree for each two hundred (200) square feet of the required landscape area. The remainder of the required landscape area shall be landscaped with grass, ground cover or other landscape treatment. When the area to be screened abuts residentially zoned property, a site-obscuring fence or planted material which is not less than six (6) feet in height shall be included. If planted material is used, it shall be planted and maintained so as to form a three-foot or higher continuous, unbroken, solid visual screen within a maximum of one year after planting. The planted material shall be a species which in St. Lucie County normally grows to a height of six (6) feet or more.
- (7) Interior vehicular use areas. The following are standards relating to landscaping of interior vehicular use areas:
- a. Lots with vehicular use areas that are four thousand (4,000) or more square feet in size shall have at least one square foot of interior landscaping for each fifteen (15) square feet of vehicular use area, except that areas in an I-1 or I-2 zone shall only be required to have at least one square foot of interior landscaping for each thirty (30) square feet of vehicular use area. Each separate landscaped area shall be curbed and contain a minimum of one hundred (100) square feet of area and shall be at least ten (10) feet wide and ten (10) feet deep exclusive of curbing in all locations. Progressive urban parking area designs may be used to provide adequate space for multiple tree plantings and allow for proper tree root development so shade trees can grow and develop large canopies to reduce parking lot heat islands.
 - b. Interior landscaping shall include an average of at least one tree for each one hundred (100) square feet of required landscaped area. The remainder of the required landscaped area shall be landscaped with grass, ground cover or other landscaped treatment. Such landscaped areas shall be located in such a manner as to divide and break up the expanse of paving and at strategic points to guide traffic flow and direction.
 - c. When trees exist on a site prior to site development, the amount of the required interior landscaped area may be reduced by the following amount for preserving existing trees, provided that the total amount of the interior landscaped area is not reduced by more than fifty (50) per cent.

Diameter of tree	Reduction in interior
4.5 feet above ground level	Landscaped areas
Over 12 inches	500 square feet
6 inches to 12 inches	400 square feet
Under 6 inches but over 3 inches	100 square feet

These reductions in the interior landscaped areas shall only apply where the preserved tree is in a planting area which has dimensions not less than the radius of the crown

spread measured from the trunk center and where no grade changes within the landscaped area may be anticipated.

- (8) Lands adjacent to street right-of-way. Lands immediately adjacent to street right-of-way shall meet the following requirements:
 - a. Trees will be planted along the public right-of-way in a manner directed by the department so as to assure shading for sidewalks and to contribute to the streetscape design of the roadway;
 - b. Palms, trees and shrubs may be required for driveway entrances or other key points of interest as determined by the department to the extent that such plantings do not exceed requirements set for clear vision areas as specified by section 22-53.
- (9) Reserved.
- (10) Other areas. When an area other than a vehicular use and retention/detention area of a developed lot in a C-1, C-2, C-3, C-4, C-5, I-1, or I-2 zone abuts a lot in an E-1, R-1, R-2, R-3, R-4, R-5, OS-1, or OS-2, such area in a commercial or industrial zone shall have a site obscuring fence or planted material so as to provide a visual and noise buffer between such areas and the lot in the residential or open space zone. Such fence will be constructed from wood, stone, brick or other suitable material and be a minimum of six (6) feet high. If planted material is used, it shall be planted and maintained so as to form a thirty-six-inch or higher continuous, unbroken solid screen. There shall be at least one shrub, bush or vine planted along the fence for each ten (10) feet of fence for the purpose of beautifying the fence. Slats shall not be put into chain-link fence to obscure the view. The planted material shall be a species which in the county normally grows to a height of six (6) feet or more.
- (11) Screening of refuse collection areas. Refuse and recycling dumpsters utilized by multifamily residential complexes, in commercial, industrial and institutional facilities shall be screened from view on all sides and shall be gated. Gates may be left open only on scheduled pick up days and must be closed following pick up. Such screening shall consist of a six-foot-high masonry wall or wooden fence. In addition, when feasible, one shrub or hedge shall be planted at two-foot centers along the outside perimeter of the screen. Dumpsters shall be located in an area that minimizes public view. This subsection shall apply to dumpsters servicing structures built on or after June 1, 1996.
- (12) Installation of landscaping. All landscaping required by this article shall be installed in compliance with these requirements:
 - a. Landscaping shall be installed in accordance with the approved landscape plan, including all specified conditions to a particular landscape approval, and inspected prior to issuance of a certificate of occupancy. Such inspection shall include verification that planting soil meets specified composition and depth requirements. In the event there are any changes to the approved landscape plan, such changes must be reviewed and approved by the department and noted on the plan prior to notification for the final inspection for a certificate of occupancy.
 - b. Landscaped areas shall be covered in their entirety with shrubs, ground cover, turf, or three (3) inches of bulk organic mulch or other suitable material which permits percolation and is approved by the department. Where mulch is used, it must be protected from washing out of the planting bed. Inorganic mulch, such as gravel or rock, should only be used where washouts occur. The final inspection prior to issuance of certificate of occupancy, shall include verification that any mulch is installed at the requisite depth.
 - c. Trees which are balled and burlaped must have the burlap removed or folded down at the time of the planting. All twine or rope must be removed. If wire baskets are used, the upper rows must be cut before planting. Remove all soil from above the root flare and plant the tree so the top of the root ball is ten (10) per cent above the landscape soil. Do not place any soil or mulch over the root ball. If stakes or guide wires are used to support a tree, the

wire must be covered with protective material where it is in contact with the tree and the stakes or guide wires must be removed after one year.

- d. All landscaping required by the city must be protected from vehicular and pedestrian traffic by the installation of curbing, wheel stops or other protective devices along the perimeter of any landscaping which adjoins vehicular use areas or sidewalks. These protected devices shall have a minimum height of six (6) inches above grade.
 - e. No parking, display of vehicles or outside storage or display of merchandise is permitted in or over any required landscape area, nor are vehicles permitted to overhang any required landscaped area.
 - f. Soil, except for planting soil, in which required landscape is to be installed must be generally indigenous to the locale. Soil must be loose, friable, and free of limestone and other construction materials, road base material, rocks, weeds, grasses, hard pan, clay or other debris. PH shall be adjusted where necessary to be compatible with the plant species being installed. Soil shall be slightly swaled to retain surface stormwater. Backfill soil material shall be thoroughly watered in and around plant root balls to prevent any air pockets. The use of amended and enriched soils may be required by the department where necessary to increase the water retention capabilities of soil in order to reduce the amount of watering needed to meet the landscaping water requirement. Final inspection of required landscape prior to issuance of the certificate of occupancy shall include PH testing to verify compatibility with permitted plantings.
 - g. To minimize traffic hazards at street or driveway intersections, all landscaping installations must provide unobstructed views as required in section 22-53.
 - h. Any irrigation system placed on city right-of-way will be the responsibility of the property owner who shall relocate, replace or repair the system as appropriate in the event it is damaged due to permitted construction in the right-of-way.
 - i. Prior to issuance of certificate of occupancy, final landscape installation shall be certified as complete and in conformance to the approved landscape plan by submission of a certification letter by a landscape architect.
- (13) Maintenance of landscaping. Property owners shall maintain all required landscaping so that it continues to present a healthy, neat and orderly appearance free of refuse and debris, in conformity with the following requirements:
- a. Vegetation required by this article shall be replaced with equivalent vegetation if it is not living. All trees for which credit is awarded and which subsequently die shall be replaced by the same number of living trees according to the standards established in this article.
 - b. Maintenance shall include sufficient weeding, watering, fertilizing, pruning, mowing, edging, mulching and other horticultural practices so as to assure that the landscaping continues to maintain a healthy, neat and orderly appearance.

(Ord. No. K-126, § 4, 1-22-02; Ord. No. K-485, § 1, 4-16-07)

City Commission Regular Meeting

Agenda Item # 12. a.

Meeting Date: 03/07/2016

Re: City Marina presentation

Submitted For: Dean Kubitschek, Director of Marina, Marina

SUBJECT:

Update on City Marina Operations

Attachments

Marina Update

Form Review

Inbox	Reviewed By	Date
City Manager	Dean Kubitschek	01/08/2016 01:39 PM
City Manager	Nick Mimms	01/13/2016 05:14 PM
Form Started By: Dean Kubitschek		Started On: 12/29/2015 12:44 PM
Final Approval Date: 02/18/2016		



Ft. Pierce

**City
Marina**

The Sunrise City

October 2015 – January 2016
Update

247 Total Slips

(with the ability to handle up to 274 boats)

137 Floating – 137 Fixed

39 slips

98 slips

5,427 LF
Fixed docks

5,627 LF
Floating docks



Fort Pierce City Marina

City Marina use
Ankona tide chart
Fort Pierce Inlet tides 2 1/2 hr prior



Cobb's Landing Restaurant



Dock Master

Gift Shop

LOUNGE

ATM

LAUNDRY

Tiki Bar & Restaurant

Diesel & Gas



"A" Dock

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9
- 10
- 11
- 12
- 13
- 14
- 15
- 16
- 17
- 18
- 19
- 20
- 21

35' min

"B" Dock

- 37
- 38
- 39
- 40
- 41
- 42
- 43
- 44
- 45
- 46
- 47
- 48
- 49
- 50
- 51
- 52

40' min

40' min

45' min

"C" Dock

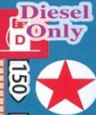
- 69A
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- 81
- 82
- 83

50' min

"F" Dock

- 143
- 144
- 145
- 146
- 147
- 148
- 149
- 150
- 151
- 152
- 153
- 154
- 155
- 156
- 157
- 158
- 174
- 175

50' min.
45' min.



"E" Dock

- 116
- 117
- 118
- 119
- 120
- 121
- 122
- 123
- 124
- 125
- 126
- 127
- 128
- 129

40' min.

"D" Dock

- 101
- 102
- 103
- 104
- 105
- 106
- 107
- 108
- 109
- 110
- 111
- 112
- 113
- 114
- 115

100



"G" Dock

30' min.

"H" Dock

- 176
- 177
- 178
- 179
- 180
- 181
- 182
- 183
- 184
- 185
- 186
- 187
- 188
- 189
- 190
- 191
- 192
- 193
- 194
- 195

40' min.

"I" Dock

- 196
- 197
- 198
- 199
- 200
- 201
- 202
- 203
- 204
- 205
- 206
- 207
- 208
- 209
- 210
- 211

35' min.
40' min.

"J" Dock

- 212
- 213
- 214
- 215
- 216
- 217
- 218
- 219
- 220
- 221
- 222

160' max

"M" Dock

- 223
- 224
- 225
- 226
- 227
- 228
- 229

150' max

"N" Dock

- 230
- 231
- 232
- 233
- 234
- 235

130' max

"O" Dock

- 236
- 237
- 238
- 239
- 240
- 241
- 242
- 243
- 244
- 245
- 246
- 247
- 248
- 249
- 250
- 251
- 252
- 252A

50' min
60' min
70' min

LEGEND

- 30 Amp
- 50 Amp
- 100/50Amp



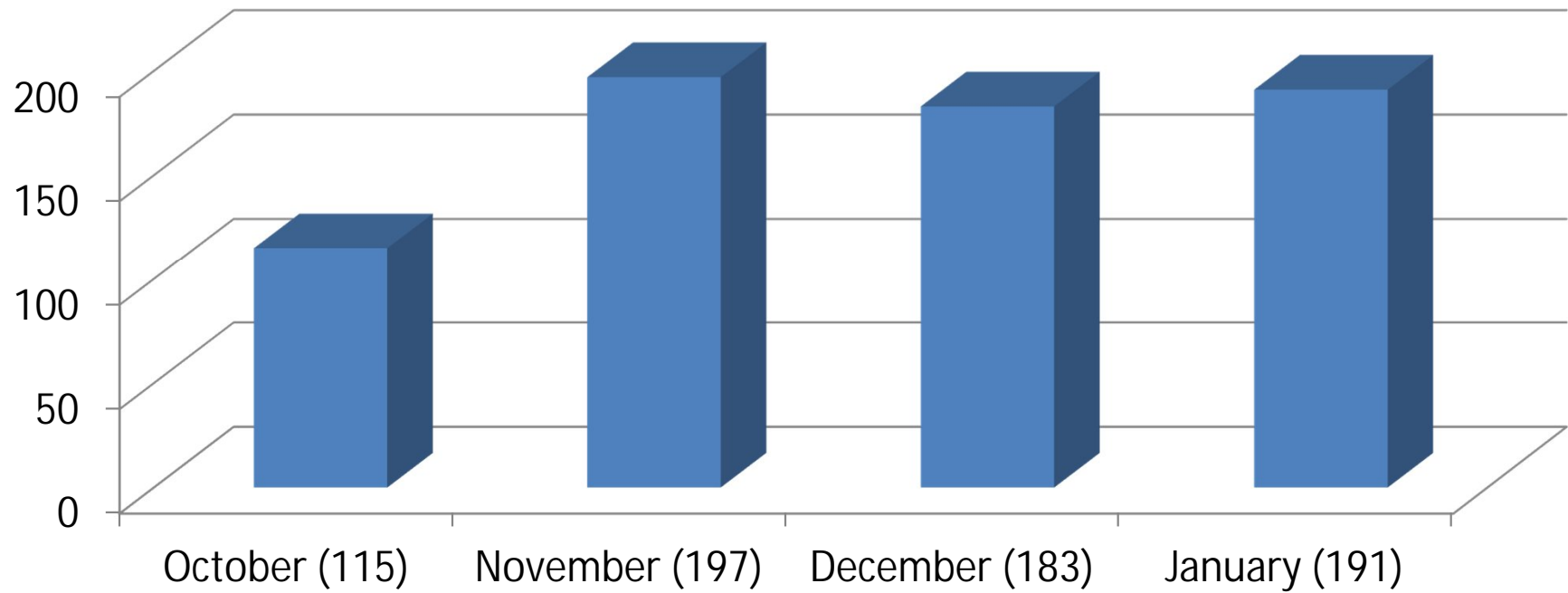
MAP NOT TO SCALE

New Floating Docks - As of 2015

FREE WiFi

Overnight fueling available call
772-979-4019
or 16 vhf radio

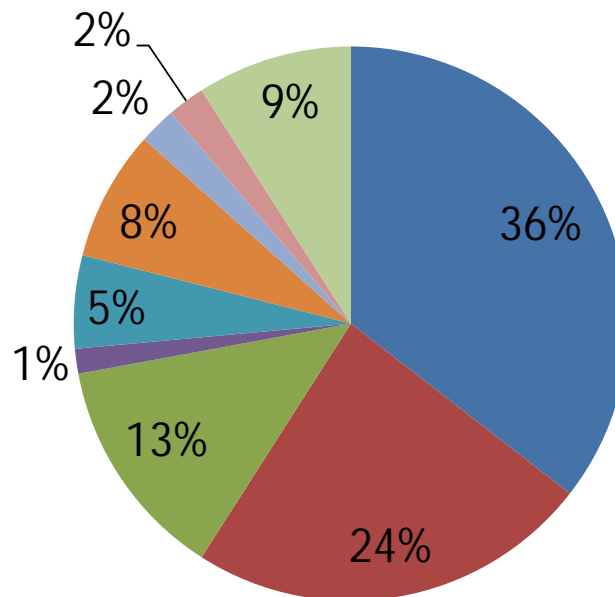
Boats Handled



Occupancy Example for one day

12-15-15 / 1-15-16

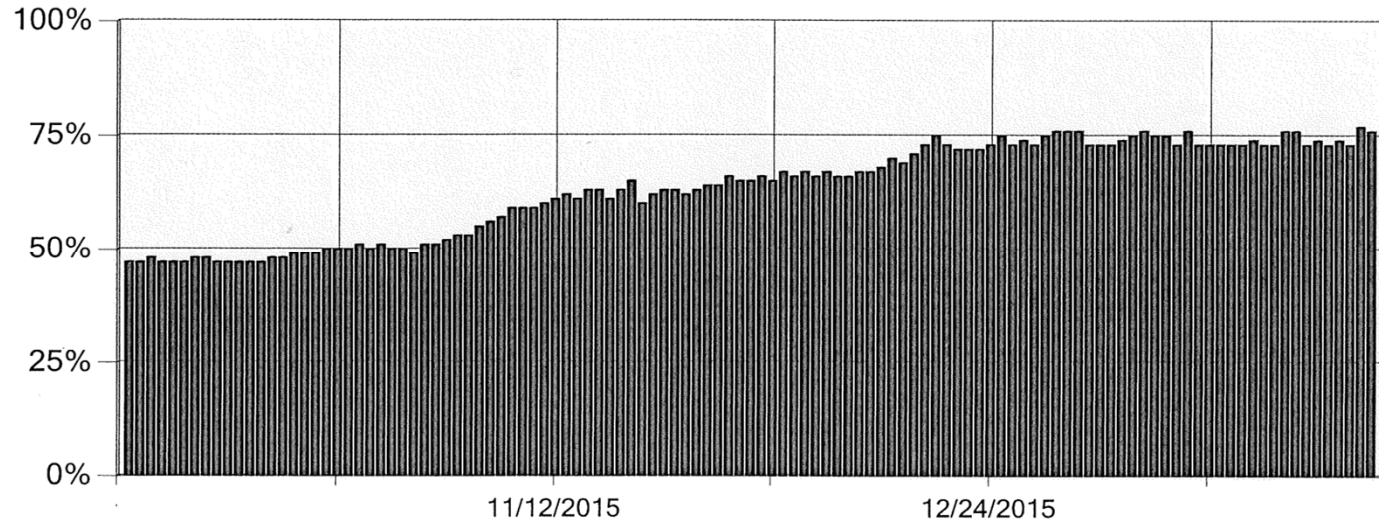
- Annual (98 / 90)
- Liveaboard (36 / 41)
- Overnight out of 15 (15 / 13)
- Storage out of 18 (6)
- Vacant
- Seasonal (65 / 68)
- Temporarily Away (4 / 4)
- Fisherman's Wharf out of 41 (21 / 25)
- Business' not set up (6)



Occupancy % for Thursday, October 01, 2015 to Sunday, January 31, 2016

Secondary Impacts

- Gift Shop
- Restaurants
- Local Stores
- Taxis, Rental Cars
- Indian Hills Golf Club
- Sunrise Theatre
- Bait & Tackle Shops



FORT PIERCE CITY MARINA
REVENUES

	10/22/2015	11/12/2015	12/3/2015	12/24/2015	1/15/2016
	OCTOBER	NOVEMBER	DECEMBER	DECEMBER	JANUARY
Annual, Seasonal Dockage	\$ 50,362	\$ 67,070	\$ 63,045	\$ 63,045	\$ 62,317
Transient monthly or overnight	\$ 24,684	\$ 45,064	\$ 62,375	\$ 62,375	\$ 72,862
Fuel Sales Diesel: \$2.01 5:1 Ratio Gas: \$3.02	\$ 62,515	\$ 71,550	\$ 49,044	\$ 49,044	\$ 70,653
Garbage & Water	\$ 1,833	\$ 1,526	\$ 1,436	\$ 1,436	\$ 1,357
Electrical	\$ 9,410	\$ 8,987	\$ 10,026	\$ 10,026	\$ 13,489
Liveaboards	\$ 1,170	\$ 3,889	\$ 5,035	\$ 5,035	\$ 6,805
Total	\$149,974	\$198,086	\$191,061	\$191,061	\$227,483



772-464-1245

fpcm@city-ftpierce.com

Effective 6/1/2015

1 Avenue A

Fort Pierce, FL 34950

FREE SECURED WI FI
All Prices Are Subject to Change

DOCKAGE RATES

Based on length overall (davits to bow pulpit) or slip minimum, whichever is greater

*Pay for 12 months in advance and get the 13th month dockage free

DAILY \$2.00 / FT Boat US Price \$1.70/FT **Plus Electric**
\$2.00 / FT 85/FT or larger Boat US Price \$1.85/FT

6 nights in a row get the 7th night FREE (electric is separate)

30-amp: \$6.00 per night two cords \$10.00 TOTAL

50-amp: Single Phase \$10 per night. second chord \$18.00 TOTAL

100 amps: \$30 per night, two cords - \$58.00 TOTAL

INTERNAL BASIN AND FLOATING DOCKS

1-4 MONTHS \$13.75 / FT Plus Utilities and Electric \$100.00 Live aboard Fee (10 days +)
5-11 MONTHS \$12.75 / FT \$25.00 each additional person
12 MONTHS \$11.00 / FT
85ft + or Any Vessel with a Beam wider than 21 Foot
\$14.00 FT Annually (No Weekly Rate) **Utilities Plus Metered Electric**
\$15.00 FT Monthly

Departure before the 15th of the month is prorated at ½ month – after the 15th of the month – NO PRORATION.

KEY DEPOSIT \$25.00 per key or signed credit card imprint required
DINGHY TIE-UP \$5.00 per person for showers, Garbage drop-off free
A.C. STORAGE LOCKERS \$24.95 Small 4 FT x 2.5FT \$39.95 Large 4FT x 10 FT x 2.5 FT
STAFF LABOR \$65.00 / Hour - minimum 1 Hour
UTILITIES \$10.00 Garbage/Water monthly
PUMPOUTS Free

ELECTRICITY LONG TERM

	AC 1 Unit	2 to3 UNITS
30 amp	\$35.00	\$65.00
50 amp	\$65.00	\$120.00
30 amp (2 chords)	\$65.00	\$85.00
50 amp (2 chords)	\$120.00	\$145.00

ELECTRIC METERED Where available, meter required \$.12 5 cents per KW ...If Usage is over 900 KW – Additional Demand Rate will be Charged
Meter Processing Fee \$2.50 month
SPLITTER RENTAL 1ST Day FREE, \$3.00 each additional day - Credit Card on file required

MOORES CREEK

\$9.75 / FT Annually 30/35FT Minimum **Utilities Plus Electric**
\$10.25 / FT Monthly

Rate Comparison

Marina	# Slips	Overnight	Monthly	Seasonal	Annual
FP City Marina	274	\$2.00	\$13.75	\$12.75	\$11.00
Fisherman's Wharf	41	\$1.25	\$ 9 - 9.50	\$ 9 - 9.50	\$ 9 - 9.50
Loggerhead	130	\$2.00	\$15.50	\$14.00	\$13.00
VB Municipal	88	\$1.60	\$13.50	\$12 - 15.00	\$9.75 - 10.75
Harbortown	340	\$1.85	\$14.00	\$13.00	\$ 5.50 - 9.00
Harbor Isle	63	\$1.85	\$13.50	\$12.00	\$11.00
Pelican Yacht Club	93	\$2.00	\$14.00	\$14.00	\$14.00
Sunset Bay (price is \$1.00 less during non-season for monthly, seasonal and annual)	180 / 200	\$2.00	\$16 - 17.00	\$14 - 16.00	\$14.00

Updated 2/24/16

Waterfront Protection Project monitoring requirements

Island completion date was March 2015

Monitoring requirements for the government agencies

Approximately 115 acres of submerged lands

Annual requirements:

- Visual Topographic survey – 3D data
- Bathymetric Survey/Hydrographic Surveys
- Sea grass recruitment

Bi-Annual

- Oyster recruitment – first 2 years – annual next 3 years
- Mangrove and dune habitat – 1 year, bi-annual next 4 years

Quarterly

- Limestone Habitat – first 2 years, annual next 3 years



BEST OF THE TREASURE COAST

BEST MARINA 2016

FORT PIERCE CITY MARINA

1 Ave. A
Fort Pierce
772.464.1245

Fort Pierce Marina is the only marina around with nearly direct access to the ocean... just a short trip through the Fort Pierce Inlet and you're out there in the Atlantic with the ocean breezes on your face and nothing but water as far east as the eye can see.

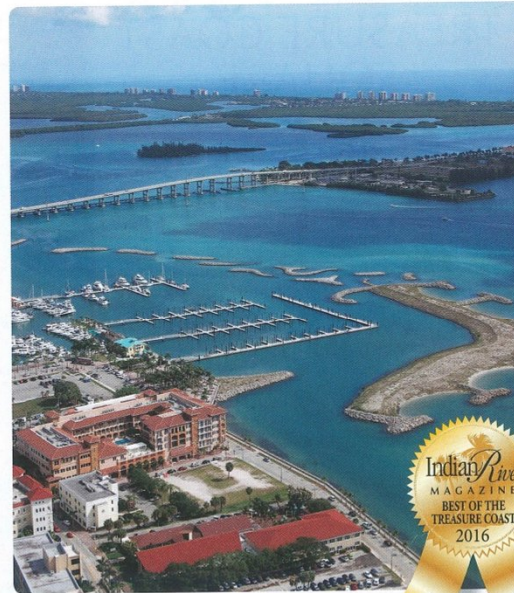
"Our marina is a quiet, clean, friendly gateway to the Bahamas," says marina manager Dean Kubitschek.

The marina is finally back to full strength with 137 boat slips after the back-to-back hurricanes in 2004 ripped out most of its docks. Its amenities are everything you'd expect from a fine marina, including Wi-Fi, catering to long-term, medium-term and short-term visits.

Two restaurants are a few steps from the docks — one right on the water. And next to the marina is a park with benches and a fountain. The park hosts many events throughout the year, which is ideal for boaters at the marina.

The restored historical downtown is only a block away, offering a variety of restaurants and shops for browsing. The 1923 Sunrise Theatre, restored to its former glory and now on the National Register for Historic Places presents performances nearly every night during the winter season.

Boaters love the Fort Pierce Marina. "Beautiful view, site of the Green Market. Good restaurants," says one. Another says simply, "Location!" and that sums it up.



BEST OF THE TREASURE COAST

WHAT READERS SAY

“Fort Pierce City Marina has a brand-new look and provides excellent value for the price, with extras thrown in like a nearby downtown, Friday Fest and Farmers’ Market for marina residents and guests.”

“Fantastic new multi-million dollar floating dock system is state-of-the-art, the staff is fantastic and provides a world-class marina in historical downtown Fort Pierce.”

“A beautiful new marina where you can walk to numerous restaurants and the Sunrise Theatre.”

Fort Pierce Inlet



City Commission Regular Meeting

Agenda Item # 12. b.

Meeting Date: 03/07/2016

Re: Monthly Financial Report for the Month Ending January 31, 2016

Submitted For: Johnna Morris, Finance Director, Finance Department

SUBJECT:

Monthly Financial Report for the Month Ending January 31, 2016

SUMMARY:

The Finance Director prepares and presents to the City Commission and Citizens a monthly report on the financial status of the different funds of the City. The financial report for the month ending January 31, 2016, encompasses General, Marina, Solid Waste, Golf Course, Sunrise Theatre, Building & Code, and Fort Pierce Redevelopment Agency Funds.

RECOMMENDATION:

The Finance Department welcomes any suggestions and/or changes to the format.

ALTERNATIVES:

The report can be enhanced or changed.

RESPONSIBLE STAFF:

Finance Director.

COORDINATED WITH:

Finance Department & City Manager.

Fiscal Impact

Budgeted Y/N: Y

Fiscal Year: 2016

Account:

Amount:

OTHER INFORMATION:

Monthly Report on budgeted Revenue and Expenditures.

Attachments

January Monthly Financial Report

Form Review

Inbox

Finance Department

City Manager

Form Started By: Queen Thompkins

Final Approval Date: 03/02/2016

Reviewed By

Johnna Morris

Nick Mimms

Date

03/02/2016 09:14 AM

03/02/2016 02:22 PM

Started On: 02/22/2016 10:28 AM

City of Fort Pierce
Monthly Financial Report
For the Month Ending January 31, 2016
(33% Year Lapse)

General Fund				
Revenue	Budget		FYTD	%
Beginning Available Resources		\$	4,245,533	
Revenue:				
Taxes	\$ 18,943,496	\$	12,758,024	67.35%
Licenses & Permits	348,000		314,443	90.36%
Intergovernmental	2,994,000		993,186	33.17%
Charges for Services	201,600		76,703	38.05%
Fines & Forfeitures	167,500		50,636	30.23%
Miscellaneous Revenue	1,821,952		455,556	25.00%
Interfund Transfers	2,882,437		0	0.00%
Contribution from Enterprise	7,170,772		359,500	5.01%
Capital Projects Loan	1,400,000		1,400,000	100.00%
Appropriated Fund Balance	550,000		0	0.00%
Restricted Revenue	(626,494)		0	0.00%
Total Revenue	\$ 35,853,263	\$	16,408,047	45.76%

Expenditures:	Budget		FYTD	%
City Commission	\$ 208,361	\$	69,281	33.25%
City Manager	606,019		226,734	37.41%
City Attorney	605,108		173,080	28.60%
City Clerk	284,796		92,209	32.38%
Administrative Services	590,176		226,139	38.32%
Finance	736,272		234,549	31.86%
MIS	994,642		398,020	40.02%
Planning	451,837		145,172	32.13%
Code Enforcement	880,723		398,625	45.26%
Police	12,864,723		3,981,888	30.95%
Public Works/Director	93,729		26,836	28.63%
Public Works/Fleet Maint.	492,552		143,140	29.06%
Public Works/Facilities Maint.	879,181		330,756	37.62%
Public Works/Parks & Grounds	1,908,734		489,100	25.62%
Public Works/Streets	1,704,576		544,005	31.91%
Engineering	1,099,251		374,717	34.09%
Riverwalk	150,397		53,892	35.83%
Administrative	11,302,186		3,243,096	28.69%
Total Expenditures	\$ 35,853,263	\$	11,151,241	31.10%

Net Resources	\$ 5,256,806
Total Available Resources	\$ 9,502,339
Less:	
10% Budget Reserve	(3,585,326)
Reserve	(626,494)
Unrestricted Resources	\$ 5,290,519

Special Revenue Funds

FPRA	Budget	FYTD	%
Beginning Available Resources		\$ 69,040	
Revenue:			
Taxes	4,445,548	4,443,310	99.95%
Licenses & Permits	0	0	0.00%
Intergovernmental	75,000	19,486	25.98%
Miscellaneous Revenue	160,500	61,987	38.62%
Transfers	1,676,422	0	0.00%
Total Revenue	6,357,470	4,524,783	71.17%
Expenses:			
Operating	323,500	97,138	30.03%
Capital Outlay	0	0	0.00%
Other Programs & Projects	20,000	13,792	68.96%
Transfers	6,013,970	0	0.00%
Total Expenses	6,357,470	110,930	1.74%
Net Resources		4,413,853	
Unrestricted Resources		\$ 4,482,893	

CDBG	Budget	FYTD	%
Beginning Available Resources		\$ 697,670	
Revenue:			
Intergovernmental Revenue	1,360,105	70,402	5.18%
Misc. Revenue	0	631	0.00%
Transfers	0	0	0.00%
Total Revenue	1,360,105	71,033	5.22%
Expenses:			
Administrative	180,902	65,338	36.12%
Rehabilitation Department	50,000	2,824	5.65%
Capital Outlay	0	0	0.00%
Economic Development	265,318	53,204	20.05%
Public Service	70,000	16,067	22.95%
Unencumbered	71,377	0	0.00%
Roll Over Expenditures	722,508	0	0.00%
Total Expenses	1,360,105	137,432	10.10%
Net Resources		(66,400)	
Unrestricted Resources		\$ 631,271	

Grant Administration	Budget	FYTD	%
Beginning Available Resources		\$ 200,710	
Revenue:			
Program Income	50,000	16,387	32.77%
Misc. Revenue	193,250	30,070	15.56%
Interfund Transfers	0	0	0.00%
Total Revenue	243,250	46,457	19.10%
Expenses:			
Personnel Services	0	0	0.00%
Operating	243,250	22,281	9.16%
Transfers	0	0	0.00%
Total Expenses	243,250	22,281	9.16%
Net Resources		24,176	
Unrestricted Resources		\$ 224,885	

SHIP	Budget	FYTD	%
Beginning Available Resources		\$ 62,431	
Revenue:			
SHIP	204,112	140,156	68.67%
Program Income	0	0	0.00%
Misc. Revenue	0	15,092	0.00%
Carry Over Funding	44,506	0	0.00%
Total Revenue	248,618	155,248	62.44%
Expenses:			
Operating	20,411	204	1.00%
Grants/Programs & Projects	228,207	4,740	2.08%
Total Expenses	248,618	4,944	1.99%
Net Resources		150,304	
Unrestricted Resources		\$ 212,735	

Enterprise Funds

Marina	Budget	YTD	%
Beginning Available Resources			
	\$	291,581	
Revenue:			
Grants	470,000	0	0.00%
Charges for Services	1,539,348	447,783	29.09%
Misc. Revenue	1,526,800	427,780	28.02%
Debt Proceeds	0	0	0.00%
Approp Retained Earnings	27,122	0	0.00%
Total Revenue	3,563,270	875,563	24.57%
Expenses:			
Personnel Services	351,859	122,067	34.69%
Operating	2,714,454	724,948	26.71%
Capital	498,000	23,208	4.66%
Debt Service	451,114	10,739	2.38%
Non Operating	305,626	37,500	12.27%
Total Expenses	4,321,053	918,461	21.26%
Plus Depreciation		252,594	
Net Resources		209,697	
Unrestricted Resources Available	\$	501,278	

Golf Course	Budget	YTD	%
Beginning Available Resources		-	
Revenue:			
Charges for Services	1,327,500	416,469	31.37%
Misc. Revenue	130,750	38,261	29.26%
Approp Retained Earnings	0	0	0.00%
Total Revenue	1,458,250	454,730	31.18%
Expenses:			
Personnel Services	633,868	229,588	36.22%
Operating	925,055	316,240	34.19%
Capital	7,000	0	0.00%
Non Operating	32,641	7,043	21.58%
Total Expenses	1,598,564	552,871	34.59%
Plus Depreciation		46,771	
Net Resources		(51,370)	
Unrestricted Resources Available	\$	(51,370)	

Building	Budget	YTD	%
Beginning Available Resources			
	\$	329,834	
Revenue:			
Licenses & Permits	1,180,000	472,765	40.06%
Charges for Services	37,000	5,940	16.05%
Fine & Forfeits	3,000	600	20.00%
Misc. Revenue	24,000	10,006	41.69%
Transfers	0	0	0.00%
Approp Retained Earnings	(14,679)	0	0.00%
Total Revenue	1,229,321	489,312	39.80%
Expenses:			
Personnel Services	716,730	237,898	33.19%
Operating	444,766	139,514	31.37%
Capital	70,000	0	0.00%
Non Operating	0	0	0.00%
Total Expenses	1,231,496	377,412	30.65%
Plus Depreciation		905	
Net Resources		112,805	
Unrestricted Resources Available	\$	442,639	

Solid Waste	Budget	YTD	%
Beginning Available Resources			
	\$	52,854	
Revenue:			
Charges for Services	6,107,000	2,153,561	35.26%
Misc. Revenue	4,000	4,453	111.33%
Approp Retained Earnings	191,280	0	0.00%
Total Revenue	6,302,280	2,158,014	34.24%
Expenses:			
Personnel Services	2,017,627	699,196	34.65%
Operating	3,084,653	1,084,025	35.14%
Capital	350,000	67,597	19.31%
Non Operating	1,200,000	315,000	26.25%
Total Expenses	6,652,280	2,165,817	32.56%
Plus Depreciation		109,016	
Net Resources		101,212	
Unrestricted Resources Available	\$	154,066	

Sunrise Theatre	Budget	YTD	%
Beginning Available Resources			
	\$	61,453	
Revenue:			
Grants	0	17,235	0.00%
Charges for Services	3,125,000	2,095,846	67.07%
Misc. Revenue	297,600	95,772	32.18%
Transfers	450,000	0	0.00%
Total Revenue	3,872,600	2,208,853	57.04%
Expenses:			
Personnel Services	586,481	145,455	24.80%
Operating	3,823,297	1,834,266	47.98%
Capital	1,000	0	0.00%
Non Operating	0	0	0.00%
Total Expenses	4,410,778	1,979,721	44.88%
Plus Depreciation		179,375	
Net Resources		408,507	
Unrestricted Resources Available	\$	469,960	

**RESTRICTED REVENUE RECONCILIATION
THRU 1/31/2016**

3/1/2016

	Receipts Budget 2009-2013	Receipts Budget 2013-2014	Receipts Budget 2014-2015	Receipts Budget 2015-16		Total Receipts	Expenses Budget 2009-2013	Expenses Budget 2013-2014	Expenses Budget 2014-2015	Expenses Budget 2015-2016	Committed		Expend Total	Balance FY2016
Parks MSTU	1,022,567.00	176,773.00	151,555.00			1,350,895.00	399,714.00		260,145.00	131,686.75	0.00	0.00	791,545.75	559,349.25
													0.00	
Grants	186,300.00					186,300.00	186,300.00						186,300.00	0.00
						0.00								
Art In Public Places	208,722.00					208,722.00	23,738.15						23,738.15	184,983.85
						0.00								
Royalties (Gaming)	246,147.98	43,689.44	42,165.03		2d	332,002.45	224,985.60	5,937.11 a			0.00	(1) (2)	230,922.71	101,079.74
						0.00								
Tree Preservation Fees	40,000.00	6,000.00	10,900.00			56,900.00	5,136.88		3,831.10	0.00			8,967.98	47,932.02
Sidewalks PILO		938.22	13,779.00			14,717.22							0.00	14,717.22
Parking PILO		16,000.00	2,000.00			18,000.00							0.00	18,000.00
Storm Water Utility Fee	26,177.25	1,920.97	8,065.48	1,591.68		37,755.38					0.00		0.00	37,755.38
Road Impact Fees	268,273.06	87,390.57	116,573.34	64,731.39		536,968.36	137,687.14	0.00	19,125.95	0.00	0.00	(3) (6)	156,813.09	380,155.27
Park Impact Fees	166,726.17	23,628.91	26,241.54	9,493.40		226,090.02	63,331.76	13,772.80	99,072.00		0.00	(2) (4)	176,176.56	49,913.46
Building Impact Fees	70,681.00	8,318.30	18,260.11	4,623.95		101,883.36	8,735.09				0.00	(2) (6)	8,735.09	93,148.27
Solid Waste	19,233.86	2,056.73	7,355.23	931.78		29,577.60	19,233.86				0.00	(5)	19,233.86	10,343.74
Impact Admin Fee	15,710.16	7,215.15	5,718.41	3,174.26		31,817.98	15,710.16	2,523.72	1,440.94	237.08			19,911.90	11,906.08
Multimodal Transportation	0.00	4,000.00				4,000.00							0.00	4,000.00
PFSRD Parks and Recreation	7,500.00					7,500.00	0.00	7,500.00			0.00		7,500.00	0.00
PFSRD Road Improvements	129,258.58					129,258.58	73,529.71						73,529.71	55,728.87
						0.00								
Other Miscell. Restricted	48,808.29		76,958.91			125,767.20	48,808.29					(1)	48,808.29	76,958.91
Uncommitted Funds	31,139.56	4,399.72	4,930.10	2,457.02		42,926.40	31,139.56						31,139.56	11,786.84
	551,091.34	382,331.01	484,502.15	87,003.48		932,274.72	1,238,050.20	29,733.63	383,614.99	131,923.83	0.00		1,783,322.65	1,657,758.90 Actual Balance

City Commission Regular Meeting

Agenda Item # 13. a.

Meeting Date: 03/07/2016

Re: Planning Board Applications

SUBJECT:

Resolution No. 16-R05 appointing members to the City Planning Board.

SUMMARY:

Currently, 6 regular members and 1 alternate member have terms expiring on February 29, 2016. Additionally, there is an alternate vacancy following a resignation.

All regular and alternate members have submitted an application seeking reappointment. Four new individuals have submitted applications for consideration as well.

Attendance records are attached for your review.

RECOMMENDATION:

Vote for a total of 8 individuals to fill the seats.

ALTERNATIVES:

Seek additional applications.

RESPONSIBLE STAFF:

Rebecca Grohall, Planning Manager

COORDINATED WITH:

Linda W. Cox, City Clerk

Fiscal Impact

Budgeted Y/N:

Fiscal Year:

Account:

Amount:

OTHER INFORMATION:

No fiscal impact

Attachments

16-R05

Baker

Bernetti

Burdge

Creyaufmiller

Cummings

Dahan

Paul

Weaver

Form Review

Inbox

City Manager

Form Started By: Linda Cox

Final Approval Date: 02/18/2016

Reviewed By

Nick Mimms

Date

02/10/2016 02:37 PM

Started On: 02/02/2016 02:32 PM

RESOLUTION NO. 16-R05

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF FORT PIERCE, FLORIDA, **CERTIFYING THE APPOINTMENT OF MEMBERS TO THE CITY PLANNING BOARD**; PROVIDING FOR AN EFFECTIVE DATE.

BE IT RESOLVED By the City Commission of the City of Fort Pierce, Florida, that the following be and are hereby appointed and/or reappointed by the City Commission to serve as members of the City Planning Board; said terms to commence upon adoption of this resolution and to expire as indicated below, or when a successor has been duly appointed.

<u>Name</u>	<u>Type</u>	<u>Term Expires</u>
Bob Burdge	Regular	March 6, 2018
Brian Paul	Regular	March 6, 2018
Marcia Baker	Regular	March 6, 2018
Mike Dahan	Regular	March 6, 2018
Frank Creyaufmiller	Regular	March 6, 2018
J. Eloise Cumings	Regular	March 6, 2018
Steve Weaver	Alternate #1	March 6, 2018
Al Bernetti	Alternate #2	March 6, 2017

BE IT FURTHER RESOLVED that this Resolution shall become effective upon adoption.

IN WITNESS WHEREOF, this Resolution has been duly adopted this 7th day of March, 2016.

LINDA HUDSON, MAYOR COMMISSIONER

ATTEST:

LINDA W. COX, CITY CLERK

(CITY SEAL)

APPROVED AS TO FORM
AND CORRECTNESS:

Robert V. Schwerer, City Attorney



CITY OF FORT PIERCE

100 NORTH US HWY 1
FORT PIERCE, FLORIDA 34950
(772) 467-3000 FAX (772) 467-3841

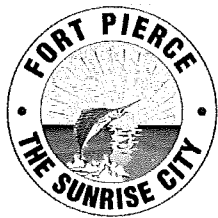
APPLICATION FOR APPOINTMENT/REAPPOINTMENT

Name of Board or Boards for which you are applying: PLANNING BOARD

Name: <u>MARCIA BAKER</u>	Phone: <u>772-465-3718</u>
Home Address: <u>1753 SEAWAY DR. FT PIERCE 34949</u>	How long at this address? <u>27 YEARS</u>
Are you a citizen of the United States? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation: <u>INSURANCE AGENT</u>	
Do you own a business that operates within the City of Fort Pierce? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list the address and nature of said business:	
Do you now or in the future plan to do business with the City of Fort Pierce? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, in what capacity?	
Are you employed by a business that is located within the City of Fort Pierce? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, state the business and location: <u>RAINS INSURANCE 204 N. 2nd ST FT PIERCE</u>	
Do you have special training or knowledge in the area of: Architecture: <input type="checkbox"/> Yes <input type="checkbox"/> No Engineering: <input type="checkbox"/> Yes <input type="checkbox"/> No Real Estate Brokering: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Contracting: <input type="checkbox"/> Yes <input type="checkbox"/> No Land Development: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Other: Describe your education, background, training and knowledge in the above area(s): <u>WAS LICENSED RE BROKER & APPRAISER - 1958-1988</u> <u>TITLE INSPECTOR, LAND DEVELOPER 1965-1982</u>	
Are you currently a member of a Commission-appointed board/committee? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, please specify:	
Have you ever been convicted of a crime? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, what was the nature of the crime(s) you were convicted of:	
Referred by:	Email Address: <u>MS. MARCIA BAKER@ATT.NET</u>
Date: <u>1/13/2016</u>	Applicant's Signature: <u>Marcia Baker</u>

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.

Please return form to: City Clerk's Office – 100 North US Hwy 1, Fort Pierce, Florida 34950
fax (772) 468-3841 or via email at lcox@city-ftpierce.com



CITY OF FORT PIERCE

100 NORTH US HWY 1
FORT PIERCE, FLORIDA 34950
(772) 467-3000 FAX (772) 467-3841

APPLICATION FOR APPOINTMENT/REAPPOINTMENT

Name of Board or Boards for which you are applying: PLANNING BOARD

Name: <u>AL BEAVERI</u>	Phone: <u>772-519-0482</u>
Home Address: <u>177 BAYSHORE DR. #207 Ft. Pierce 34949</u>	How long at this address? <u>17 years</u>
Are you a citizen of the United States? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation: <u>REAL ESTATE BROKER</u>	
Do you own a business that operates within the City of Fort Pierce? If yes, list the address and nature of said business:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Do you now or in the future plan to do business with the City of Fort Pierce? If yes, in what capacity?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Are you employed by a business that is located within the City of Fort Pierce? If yes, state the business and location:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <u>McCurdy & Co.</u>
Do you have special training or knowledge in the area of: Architecture: <input type="checkbox"/> Yes <input type="checkbox"/> No Engineering: <input type="checkbox"/> Yes <input type="checkbox"/> No Real Estate Brokering: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Contracting: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Land Development: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Other: Describe your education, background, training and knowledge in the above area(s): <u>CREATED & OWNED MAGIE HOMES AND DEVELOPMENTS IN OSCEOLA COUNTY FROM 1987 TO 2005</u>	
Are you currently a member of a Commission-appointed board/committee? If yes, please specify:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <u>CODE BOARD</u>
Have you ever been convicted of a crime? If yes, what was the nature of the crime(s) you were convicted of:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Referred by: <u>KORI BENSON</u>	Email Address: <u>CAPITALBEAVERI@GMAIL.COM</u>
Date: <u>9/23/15</u>	Applicant's Signature: <u>Al Beaveri</u>

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.

Please return form to: City Clerk's Office – 100 North US Hwy 1, Fort Pierce, Florida 34950
fax (772) 467-3841 or via email at lcox@city-ftpierce.com



CITY OF FORT PIERCE

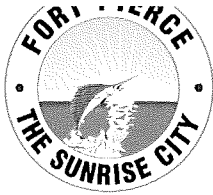
100 NORTH US HWY 1
 FORT PIERCE, FLORIDA 34950
 (772) 467-3000 FAX (772) 467-3841

APPLICATION FOR APPOINTMENT/REAPPOINTMENT

Name of Board or Boards for which you are applying: _____

Name:	Phone:
Home Address:	How long at this address?
Are you a citizen of the United States? <input type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation:	
Do you own a business that operates within the City of Fort Pierce? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, list the address and nature of said business:	
Do you now or in the future plan to do business with the City of Fort Pierce? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, in what capacity?	
Are you employed by a business that is located within the City of Fort Pierce? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, state the business and location:	
Do you have special training or knowledge in the area of: Architecture: <input type="checkbox"/> Yes <input type="checkbox"/> No Engineering: <input type="checkbox"/> Yes <input type="checkbox"/> No Real Estate Brokering: <input type="checkbox"/> Yes <input type="checkbox"/> No Contracting: <input type="checkbox"/> Yes <input type="checkbox"/> No Land Development: <input type="checkbox"/> Yes <input type="checkbox"/> No Other: Describe your education, background, training and knowledge in the above area(s):	
Are you currently a member of a Commission-appointed board/committee? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, please specify:	
Have you ever been convicted of a crime? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, what was the nature of the crime(s) you were convicted of:	
Referred by:	Email Address:
Date:	Applicant's Signature

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.
 Please return form to: City Clerk's Office – 100 North US Hwy 1, Fort Pierce, Florida 34950
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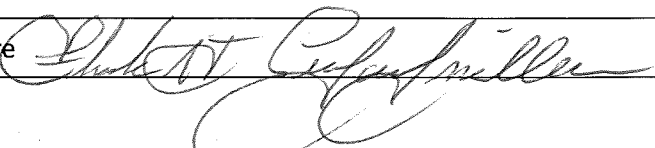
CITY OF FORT PIERCE

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(772) 467-3000 FAX (772) 467-3841

APPLICATION FOR APPOINTMENT/REAPPOINTMENT

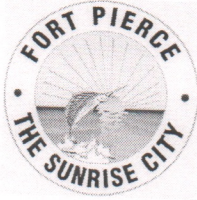
Planning Board

Name of Board or Boards for which you are applying: _____

Name: Frank A.J. Creyaufmiller	Phone: 919-345-8080
Home Address: 4320 Gator Trace Circle Fort Pierce 34982	How long at this address? Jan 2012
Are you a citizen of the United States? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation: Retired - Independent Business Owner	
Do you own a business that operates within the City of Fort Pierce? If yes, list the address and nature of said business:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Do you now or in the future plan to do business with the City of Fort Pierce? If yes, in what capacity?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Are you employed by a business that is located within the City of Fort Pierce? If yes, state the business and location:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Do you have special training or knowledge in the area of: Architecture: <input type="checkbox"/> Yes <input type="checkbox"/> No Engineering: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Real Estate Brokering: <input type="checkbox"/> Yes <input type="checkbox"/> No Contracting: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Land Development: <input type="checkbox"/> Yes <input type="checkbox"/> No Other: Describe your education, background, training and knowledge in the above area(s): I have been a member of many business related boards and two of the Homeowners boards of Gator Trace	
Are you currently a member of a Commission-appointed board/committee? If yes, please specify:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Have you ever been convicted of a crime? If yes, what was the nature of the crime(s) you were convicted of:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Referred by: Mr. Ed Cox	Email Address:
Date: October 28, 2015	Applicant's Signature 

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.

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fax (772) 468-3841 or via email at lcox@city-ftpierce.com



CITY OF FORT PIERCE

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FORT PIERCE, FLORIDA 34950
(772) 467-3000 FAX (772) 467-3841

APPLICATION FOR APPOINTMENT/REAPPOINTMENT

Name of Board or Boards for which you are applying: City Planning Board

Name: <u>Eloise Cummings</u>	Phone: <u>772-801-5521</u>
Home Address: <u>1320 Bayshore Drive</u>	How long at this address? <u>15 years</u>
Are you a citizen of the United States? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation: <u>Realtor / Operations Assistant at HCB</u>	
Do you own a business that operates within the City of Fort Pierce? If yes, list the address and nature of said business: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Do you now or in the future plan to do business with the City of Fort Pierce? If yes, in what capacity? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Are you employed by a business that is located within the City of Fort Pierce? If yes, state the business and location: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <u>ABC Realty 946 Jeanette Drive Ste A Fort Pierce FL 34949</u> <u>Harbor Community Bank 222 Colonial Road Ste 201 Fort Pierce FL 34950</u>	
Do you have special training or knowledge in the area of: Architecture: <input type="checkbox"/> Yes <input type="checkbox"/> No Engineering: <input type="checkbox"/> Yes <input type="checkbox"/> No Real Estate Brokering: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Contracting: <input type="checkbox"/> Yes <input type="checkbox"/> No Land Development: <input type="checkbox"/> Yes <input type="checkbox"/> No Other: Describe your education, background, training and knowledge in the above area(s): <u>Real Estate Agent.</u>	
Are you currently a member of a Commission-appointed board/committee? If yes, please specify: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <u>Planning Board</u>	
Have you ever been convicted of a crime? If yes, what was the nature of the crime(s) you were convicted of: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Referred by: <u>Jack Cahill</u>	Email Address: <u>eloisefp@gmail.com</u>
Date: <u>1/13/10</u>	Applicant's Signature: <u>[Signature]</u>

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.
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APPLICATION FOR APPOINTMENT/REAPPOINTMENT

Name of Board or Boards for which you are applying: PLANNING BOARD

Name: <u>Michel Dahan</u>	Phone: <u>772-812-9600</u>
Home Address: <u>1809 Eucalyptus AV</u>	How long at this address? <u>2</u>
Are you a citizen of the United States? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation: <u>Realtor</u>	
Do you own a business that operates within the City of Fort Pierce? If yes, list the address and nature of said business: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Do you now or in the future plan to do business with the City of Fort Pierce? If yes, in what capacity? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Are you employed by a business that is located within the City of Fort Pierce? If yes, state the business and location: <input type="checkbox"/> Yes <input type="checkbox"/> No <u>Realtor for Coldwell Banker</u>	
Do you have special training or knowledge in the area of: Architecture: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Engineering: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Real Estate Brokering: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Contracting: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Land Development: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Other: Describe your education, background, training and knowledge in the above area(s): <u>I AM A REALTOR</u>	
Are you currently a member of a Commission-appointed board/committee? If yes, please specify: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <u>PLANNING BOARD & CIVIL SERVICE APPEALS</u>	
Have you ever been convicted of a crime? If yes, what was the nature of the crime(s) you were convicted of: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <u>POSSESSION</u>	
Referred by:	Email Address: <u>Michel - Dahan @ yahoo.com</u>
Date: <u>01/15/2015</u>	Applicant's Signature: <u>MDahan</u>

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.

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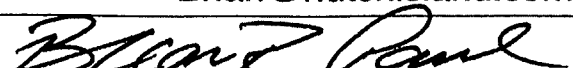
CITY OF FORT PIERCE

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FORT PIERCE, FLORIDA 34950
(772) 467-3000 FAX (772) 467-3841

APPLICATION FOR APPOINTMENT/REAPPOINTMENT

Planning Board

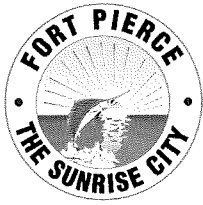
Name of Board or Boards for which you are applying: _____

Name: Brian Paul		Phone: 772.519.0464	
Home Address: 8 Harbour Isle E PH06		How long at this address? 5 years	
Are you a citizen of the United States? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Occupation: Local Business Owner			
Do you own a business that operates within the City of Fort Pierce? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, list the address and nature of said business: Pelican Seafood Company. 735 N US Highway 1, Fort Pierce FL, 34950. Fish Market The Inlet Grill and Beachfront Inn. 110 South Ocean Drive, Fort Pierce FL, 34949. Hotel and Restaurant			
Do you now or in the future plan to do business with the City of Fort Pierce? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, in what capacity?			
Are you employed by a business that is located within the City of Fort Pierce? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, state the business and location:			
Do you have special training or knowledge in the area of: Architecture: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Engineering: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Real Estate Brokering: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Contracting: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Land Development: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Other: Describe your education, background, training and knowledge in the above area(s): B.A. Business Administration. 100 USCG Merchant Mariners Masters License. I have knowledge of opening businesses in Fort Pierce, including working with the Building Department, Planning Department, and many other departments within The City.			
Are you currently a member of a Commission-appointed board/committee? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, please specify: City of Fort Pierce Planning Board			
Have you ever been convicted of a crime? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, what was the nature of the crime(s) you were convicted of:			
Referred by: Ed Becht		Email Address: Brian@hutchisland.com	
Date: 1/1/2016	Applicant's Signature 		

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.

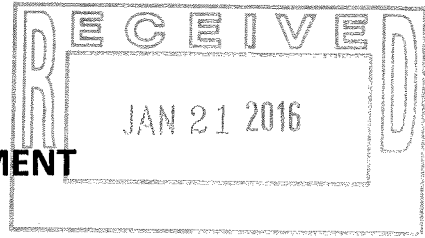
Please return form to: City Clerk's Office – 100 North US Hwy 1, Fort Pierce, Florida 34950

fax (772) 468-3841 or via email at lcox@city-ftpierce.com



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APPLICATION FOR APPOINTMENT/REAPPOINTMENT

Planning Board

Name of Board or Boards for which you are applying: _____

Name: Steven Weaver	Phone: 772 344 7100
Home Address: 607 Malabar Avenue	How long at this address? 1 year
Are you a citizen of the United States? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation: Builder, Realtor, Development Consultant	
Do you own a business that operates within the City of Fort Pierce? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, list the address and nature of said business: 101A Seaway Drive	
Do you now or in the future plan to do business with the City of Fort Pierce? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, in what capacity?	
Are you employed by a business that is located within the City of Fort Pierce? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, state the business and location: RealTime Property Development Services, Inc 101 Seaway Drive Coldwell Banker Real Estate 411 S. US 1	
Do you have special training or knowledge in the area of: Architecture: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Engineering: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Real Estate Brokering: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Contracting: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Land Development: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Other: Describe your education, background, training and knowledge in the above area(s): Extensive Background as Builder, Realtor, Development Consultant, Familiar with all aspects of Architecture and Engineering	
Are you currently a member of a Commission-appointed board/committee? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, please specify: Planning Board	
Have you ever been convicted of a crime? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, what was the nature of the crime(s) you were convicted of:	
Referred by: Commisioner Alexander	Email Address: reaaltimefla@aol.com
Date: 1/17/16	Applicant's Signature:

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.
Please return form to: City Clerk's Office – 100 North US Hwy 1, Fort Pierce, Florida 34950
fax (772) 468-3841 or via email at lcox@city-ftpierce.com

City Commission Regular Meeting

Agenda Item # 13. b.

Meeting Date: 03/07/2016

Re: Board of Adjustment Applications

SUBJECT:

Submittal of applications for Board of Adjustment.

SUMMARY:

Currently, two regular members have terms that expired on February 28, 2016. Additionally there are two alternate vacancies.

All regular members have submitted applications seeking reappointment. Attendance records are attached for your review.

RECOMMENDATION:

Vote for a total of 2 individuals to fill the seats.

ALTERNATIVES:

Seek additional applications.

RESPONSIBLE STAFF:

Rebecca Grohall, Planning Director

COORDINATED WITH:

Linda W. Cox, City Clerk

Fiscal Impact

Budgeted Y/N:

Fiscal Year:

Account:

Amount:

OTHER INFORMATION:

No fiscal impact.

Attachments

Board of Adjustment Attendance

Crist Application

McCain Application

Form Review

Inbox
City Manager

Reviewed By
Nick Mimms

Date
02/29/2016 02:27 PM

Form Started By: Alicia Rosenthal
Final Approval Date: 02/29/2016

Started On: 02/17/2016 08:38 AM

Board of Adjustment Attendance
January 2015 - January 2016

Board Member	Present	Excused Absence	Unexcused Absence	Total Meetings
BENTON, CLEM (Resigned 11/2015)	4	3		7
CRIST, JAMES	7	1		8
CALVERT, JOYCE	6	2		8
CLARK, BENNIE	7	1		8
MCCAIN, BRET	6	2		8
BEAVIN, BJ (Resigned 7/2015)	3	4		7
NUNN, WILLIAM	5	3		8



CITY OF FORT PIERCE

100 NORTH US HWY 1
FORT PIERCE, FLORIDA 34950
(772) 467-3000 FAX (772) 467-3841

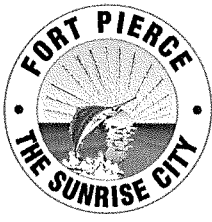
APPLICATION FOR APPOINTMENT/REAPPOINTMENT

Name of Board or Boards for which you are applying: BOARD OF ADJUSTMENTS + APPEALS

Name: <u>JAMES CRIST</u>	Phone: <u>772-370-4024</u>
Home Address: <u>4365 GATOR TRACE LN.</u>	How long at this address? <u>16 yrs</u>
Are you a citizen of the United States? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation: <u>BUILDING Contractor</u>	
Do you own a business that operates within the City of Fort Pierce? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, list the address and nature of said business: <u>CRIST CONSTRUCTION CO. 4365 GATOR TRACE LN. 34982</u>	
Do you now or in the future plan to do business with the City of Fort Pierce? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, in what capacity? <u>Various construction projects</u>	
Are you employed by a business that is located within the City of Fort Pierce? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, state the business and location:	
Do you have special training or knowledge in the area of: Architecture: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Engineering: <input type="checkbox"/> Yes <input type="checkbox"/> No Real Estate Brokering: <input type="checkbox"/> Yes <input type="checkbox"/> No Contracting: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Land Development: <input type="checkbox"/> Yes <input type="checkbox"/> No Other: Describe your education, background, training and knowledge in the above area(s): <u>BS degree in BUILDING SCIENCE AUBURN UNIVERSITY</u>	
Are you currently a member of a Commission-appointed board/committee? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, please specify: <u>Bd of ADJUSTMENTS</u>	
Have you ever been convicted of a crime? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, what was the nature of the crime(s) you were convicted of:	
Referred by:	Email Address: <u>jimcrist@yahoo.com</u>
Date: <u>2/1/16</u>	Applicant's Signature: <u>James Crist</u>

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.

Please return form to: City Clerk's Office – 100 North US Hwy 1, Fort Pierce, Florida 34950
fax (772) 468-3841 or via email at lcox@city-ftpierce.com



CITY OF FORT PIERCE

100 NORTH US HWY 1
FORT PIERCE, FLORIDA 34950
(772) 467-3066 FAX (772) 467-3841

APPLICATION FOR APPOINTMENT/REAPPOINTMENT

Name of Board or Boards for which you are applying: Board of Adjustments

Name: <u>Bret McCain</u>	Phone: <u>772-216-6285</u>
Home Address: <u>3021 Fairway Drive</u> City/Zip Code: <u>Fort Pierce, FL 34947</u>	How long at this address? <u>1 yr</u>
Are you a citizen of the United States? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation: <u>Self Employed</u>	
Do you own a business that operates within the City of Fort Pierce? If yes, list the address and nature of said business: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Do you now or in the future plan to do business with the City of Fort Pierce? If yes, in what capacity? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <u>Supply of traffic and pedestrian safety solutions</u>	
Are you employed by a business that is located within the City of Fort Pierce? If yes, state the business and location: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <u>Universal Signs & Accessories</u>	
Do you have special training or knowledge in the area of: Architecture: <input type="checkbox"/> Yes <input type="checkbox"/> No Engineering: <input type="checkbox"/> Yes <input type="checkbox"/> No Real Estate Brokering: <input type="checkbox"/> Yes <input type="checkbox"/> No Contracting: <input type="checkbox"/> Yes <input type="checkbox"/> No Land Development: <input type="checkbox"/> Yes <input type="checkbox"/> No Other: <input checked="" type="checkbox"/> Describe your education, background, training and knowledge in the above area(s): <u>↻ Educational training in criminal justice</u> <u>↻ Experience in safety solutions and countermeasures</u>	
Are you currently a member of a Commission-appointed board/committee? If yes, please specify: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <u>Board of Adjustment, Chairman</u>	
Have you ever been convicted of a felony? If yes, what was the nature of the crime(s) you were convicted of: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Referred by: <u>N/A</u>	Applicant Email Address: <u>bmccain1982@gmail.com</u>
Date: <u>2/19/16</u>	Applicant's Signature: <u>Bret McCain</u>

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.
Please return form to: City Clerk's Office - 100 North US Hwy 1, Fort Pierce, Florida 34950
fax (772) 467-3841 or via email at lcox@city-ftpierce.com

Board of Adjustment meets on the 4th Thursday of the month at 6 p.m. The board reviews and votes on variance and special exception applications along with appeals. Members must be a St. Lucie County resident.

Board of Examiners of Contractors meets on the 2nd Tuesday of each month at 9:00 a.m. The board provides practical and adequate control of all contractors in the construction trades in the city. Members must be a St. Lucie County resident for a least two years representing specific fields.

Civil Service Appeals Board meets as needed to hear employee appeals, conduct investigations and enforce a code of rules. Members must be St. Lucie County residents and not an employee of the city.

Code Enforcement Board meets on the 2nd Wednesday of every other month at 9:00 a.m. to determine if an individual has violated the City's Code of Ordinances and impose penalties as appropriate. Members must be a resident of the City and represent specific fields whenever possible.

Communitywide Council meets on the 2nd Wednesday of each month at 6:00 p.m. The Council reviews the city's Community Development Block Grant (CDBG) Program Annual Action Plan, economic development business loan applications, non-profit organizations' request for funding applications, and proposed projects for recommendations to staff and City Commission. Members must represent specific targeted areas and be a city resident.

Construction Board of Adjustments & Appeals meets on the last Tuesday of each month at 9:00 a.m. This board considers decisions of building officials and applications for variance. Members represent specific fields from the construction industry.

Community Redevelopment Agency Advisory Committee meets on the 3rd Wednesday of each month at 2:00 p.m. Its function is to study, review and provide recommendations, guidance and advice as to matters relevant to the purposes and goals of the Fort Pierce Redevelopment Agency. Members must be a resident within the district boundaries, own a business or be a financial executive of a business within the boundaries.

Fort Pierce Authentic Tours Advisory Board meets on the 2st Thursday of each month at 3:30 p.m. This board is an economic development initiative of the city to build capacity and sustainability for local businesses involved or related to the eco/agri/nature tourism industry. Members must be business owners located within or focused on assets centered around the City.

Fort Pierce Utilities Authority meets on the 1st and 3rd Tuesday of each month at 4:00 p.m. In 1972, the citizens of Fort Pierce voted by referendum to create the Fort Pierce Utilities Authority which oversees utility services provide to city residents. Members must be a qualified elector of the City.

Historic Preservation Board meets on the 4th Monday of each month at 6:00 p.m. This board handles many tasks including maintaining historic district boundaries and monitoring the upkeep of the local register of historic sites and districts. Members must be city residents or operate a business in the City.

Keep Fort Pierce Beautiful Advisory Board meets on the 2nd Tuesday of each month at 2:00 along with the **Tree Board**. The board engages, educates and empowers community members to take greater responsibility for creating a clean and beautiful city through litter abatement, waste reduction, recycling and community beautification in order to improve health and prosperity of our community. Members must be city residents or own a business in the city. There is one seat dedicated for a St. Lucie County resident.

Planning Board meets on the 2nd Tuesday of each month at 6:00 p.m. This board is essential in reviewing and influencing the management of growth in Fort Pierce. Members must be a city resident for at least two years.

Retirement Board meets on the 3rd Thursday of each month at 2:00 p.m. The Retirement System was established to help provide a portion of the financial security required for active and retired employees. The system was established as a defined benefit plan under authority of an act of the City Commission in Chapter 13 of the Code of the Ordinances.

Sunrise Theatre Advisory Board meets on the 2nd Tuesday of each month at 5:30 p.m. at the Sunrise Theatre. This Board serves as a liaison between the community and the Theater.

City Commission Regular Meeting

Agenda Item # 13. c.

Meeting Date: 03/07/2016

Re: Communitywide Council Re-Appointments

Submitted For: Libby Woodruff, Grant Writer, Urban Redevelopment

SUBJECT:

Submittal of applications for Communitywide Council.

SUMMARY:

Communitywide Council Members Ellen Mancini, Edward Cox, Al Maige and Irene Szedlmayer's Applications for Appointment/Reappointment to continue to serve the City on the Communitywide Council are presented for the City Commission's review and approval.

RECOMMENDATION:

Approve the reappointment of Ellen Mancini, Edward Cox, Al Maige and Irene Szedlmayer to the Communitywide Council.

ALTERNATIVES:

Do not approve their reappointments.

RESPONSIBLE STAFF:

Libby Woodruff

COORDINATED WITH:

Rebecca Grohall

Fiscal Impact

Budgeted Y/N: N

Fiscal Year:

Account:

Amount:

OTHER INFORMATION:

There will be no fiscal impact from this agenda item.

Attachments

CWC Applications

CWC Member Attendance Log

Form Review

Inbox

City Manager

City Manager

Reviewed By

Jennifer Robinson

Nick Mimms

Date

02/29/2016 09:33 AM

03/02/2016 09:01 AM

Form Started By: Libby Woodruff
Final Approval Date: 03/02/2016

Started On: 02/12/2016 01:25 PM

APPLICATION FOR APPOINTMENT / REAPPOINTMENT

Communitywide Council

Name: Elken MAUCINI

Phone: 772-532-0096

Address: 20 ORANGE AVE, #402

Zip: 34950

Occupation: Retired
States? yes

Are you a citizen of the United States?

Do you own a business that operates within the City of Fort Pierce? no

If yes, list the address, and nature of said business:

Do you now or in the future plan to do business with the City of Fort Pierce? no

If yes, in what capacity?

Are you employed by a business that is located within the City of Fort Pierce? no

If yes, state the business and location:

Do you have special training or knowledge in the area of:

Architecture:

Engineering:

Real Estate

Brokering:

Contracting:

Land Development:

Other LAW

areas:

Describe your education, background, training and knowledge in

the above areas:

ASSISTANT STATE'S ATTORNEY, Ft Pierce
Retired Sept 2011. Former Board MEMBER OF MAID ST. + FARMERS MARKET

Have you ever been convicted of a crime? Yes: No:

If yes, what is the nature of the crime(s) you were convicted of:

Date:

2/2016

Signature:



Referred by:

Revised:

CITY OF FORT PIERCE

100 NORTH U.S. #1
FORT PIERCE, FLORIDA 34950



CITY OF FORT PIERCE

100 NORTH U.S. #1
FORT PIERCE, FLORIDA 34950

APPLICATION FOR APPOINTMENT/REAPPOINTMENT

TO BE DETERMINED Board

Name: EDWARD V. COX (ED)

LINE: 772-429-1928
Phone: CELL: 772-359-6717

Address: 4344 GATOR TRACE CIRCLE
FORT PIERCE, FL 34982

Zip Code: _____

Occupation: PLEASE SEE RESUME Are you a citizen of the United States? YES

Do you own a business that operates within the City of Fort Pierce? NO

If yes, list the address, and nature of said business: _____

Do you now or in the future plan to do business with the City of Fort Pierce? NO If yes, in what capacity? _____

Are you employed by a business that is located within the City of Fort Pierce? NO

If yes, state the business and location: _____

Do you have special training or knowledge in the area of:

Architecture _____ Engineering _____ Real Estate Brokering _____
Contracting _____ Land Development _____ Other areas: _____

Describe your education, background, training and knowledge in the above areas.

PLEASE SEE RESUME

Have you ever been convicted of a crime? Yes _____ No X If yes, what is the nature of the crime(s) you were convicted of: _____

Date: 2/2016

Signature Ed Cox

Referred by :



CITY OF FORT PIERCE

100 NORTH US HWY 1
FORT PIERCE, FLORIDA 34950
(772) 467-3000 FAX (772) 467-3841

APPLICATION FOR APPOINTMENT/REAPPOINTMENT

Choose Board from drop-down list:

Name: <i>Irene A. Szedlmayer</i>	Home Phone: <i>956 - 854-5236</i>
Home Address: <i>713 Easter Ave, Fort Pierce, FL 34950</i>	
Are you a citizen of the United States? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation:	
Do you own a business that operates within the City of Fort Pierce? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list the address and nature of said business:	
Do you now or in the future plan to do business with the City of Fort Pierce? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, in what capacity?	
Are you employed by a business that is located within the City of Fort Pierce? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, state the business and location:	
Do you have special training or knowledge in the area of: Architecture: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Engineering: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Real Estate Brokering: <input type="checkbox"/> Yes <input type="checkbox"/> No Contracting: <input type="checkbox"/> Yes <input type="checkbox"/> No Land Development: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Other: <input type="text"/>	
Describe your education, background, training and knowledge in the above area(s): <i>I practiced law for 10yrs in NJ. I have a masters degree in City + Regional Planning; 6+yrs in City planning departments, gardener, naturalist, user of public parks, walker, quilter, bird watcher.</i>	
Are you currently a member of a Commission-appointed board/committee? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, please specify:	
Have you ever been convicted of a crime? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, what was the nature of the crime(s) you were convicted of:	
Date: <i>2/2016</i>	Referred by: <i>self; Darryl Bey</i>

Please return form to: City Clerk's Office - 100 North US Hwy 1, Fort Pierce, Florida 34950
or via email at lcox@city-ftperce.com



CITY OF FORT PIERCE

100 NORTH U.S. #1
FORT PIERCE, FLORIDA 34950

APPLICATION FOR APPOINTMENT / REAPPOINTMENT

Communitywide Council

Name: AL MAIGE Phone: 772 4610276

Address: 310 S. 33 ST. Fort Pierce Zip: 34947

Occupation: Retired Are you a citizen of the United States? Yes

Do you own a business that operates within the City of Fort Pierce? yes

If yes, list the address, and nature of said business:
Rental property

Do you now or in the future plan to do business with the City of Fort Pierce? NO

If yes, in what capacity? N/A

Are you employed by a business that is located within the City of Fort Pierce? yes

If yes, state the business and location: Dundas Court, 909 Ave. B

Do you have special training or knowledge in the area of:

Architecture: Engineering: Real Estate Brokering:
Contracting: Land Development: Other areas:

Describe your education, background, training and knowledge in the above areas:

4 years engineering education;

Have you ever been convicted of a crime? Yes: X No: If yes, what is the nature of the crime(s) you were convicted of: Reckless operation of a vessel.

Date: 2/2016 Signature: [Signature]

Referred by: Fort Pierce Citizens Academy Revised: 7/1/10

Fort Pierce Communitywide Council
Attendance Log (absences are marked with 'X')

(month/year)

Council Member	4/15	6/15	9/15	1/16	2/16
Edward Cox					
Al Maige					
Ellen Mancini					X
Irene Szedlmayer					
Gwendolyn Taylor					
Kevin Griffin					

City Commission Regular Meeting

Agenda Item # 13. d.

Meeting Date: 03/07/2016

Re: Don Bergman Construction Board of Adjustments & Appeals

Submitted For: Linda Cox, City Clerk, City Clerk

SUBJECT:

Submittal of applications for Construction Board of Adjustments & Appeals.

SUMMARY:

Mr. Don Bergman's term is expiring and he has requested reappointment. He is currently serving as Chair.

RECOMMENDATION:

Staff recommends reappointment of Don Bergman

ALTERNATIVES:

Seek other applications.

RESPONSIBLE STAFF:

Marc Meyers, Building Official

COORDINATED WITH:

Kristie Kirstein, Senior Permit Clerk

Fiscal Impact

Budgeted Y/N:

Fiscal Year:

Account:

Amount:

OTHER INFORMATION:

No fiscal impact.

Attachments

Don Bergman Application

Don Bergman Attendance

Form Review

Inbox

City Manager

Form Started By: Miriam Garcia

Final Approval Date: 02/29/2016

Reviewed By

Nick Mimms

Date

02/29/2016 12:38 PM

Started On: 02/26/2016 03:57 PM




CITY OF FORT PIERCE

100 NORTH US HWY 1
FORT PIERCE, FLORIDA 34950
(772) 467-3066 FAX (772) 467-3841

APPLICATION FOR APPOINTMENT/REAPPOINTMENT

Name of Board or Boards for which you are applying: CONSTRUCTION BOARD OF ADJUSTMENTS & APPEALS

Name: <u>DON BERGMAN</u>	Phone: <u>772-466-5832</u>
Home Address: <u>4362 GATOR TRACE LN.</u> City/Zip Code: <u>FORT PIERCE, FL 34982</u>	How long at this address? <u>15 YEARS</u>
Are you a citizen of the United States? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Occupation: <u>ARCHITECT</u>	
Do you own a business that operates within the City of Fort Pierce? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, list the address and nature of said business: <u>DON BERGMAN ARCHITECTURE LLC</u> <u>4362 GATOR TRACE LN. FORT PIERCE, FL 34982</u>	
Do you now or in the future plan to do business with the City of Fort Pierce? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, in what capacity? <u>YES, PLANNING THROUGH CONSTRUCTION DOCUMENTS FOR CLIENTS IN FORT PIERCE</u> <u>INCLUDING ANY OPPORTUNITIES WITH THE CITY OF FORT PIERCE.</u>	
Are you employed by a business that is located within the City of Fort Pierce? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, state the business and location: <u>DON BERGMAN ARCHITECTURE LLC</u> <u>4362 GATOR TRACE LN. FORT PIERCE, FL 34982</u>	
Do you have special training or knowledge in the area of: Architecture: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Engineering: <input type="checkbox"/> Yes <input type="checkbox"/> No Real Estate Brokering: <input type="checkbox"/> Yes <input type="checkbox"/> No Contracting: <input type="checkbox"/> Yes <input type="checkbox"/> No Land Development: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Other: Describe your education, background, training and knowledge in the above area(s): <u>MASTER OF ARTS IN ARCHITECTURE UF 1984</u> <u>DBPR REGISTERED ARCHITECT</u>	
Are you currently a member of a Commission-appointed board/committee? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, please specify: <u>BOARD OF EXAMINERS OF CONTRACTORS</u>	
Have you ever been convicted of a felony? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, what was the nature of the crime(s) you were convicted of:	
Referred by:	Applicant Email Address: <u>HOBIEONE@BELLSOUTH.NET</u>
Date: <u>02.24.16</u>	Applicant's Signature: 

APPLICATIONS EXPIRE 6 MONTHS FROM THE DATE OF SUBMISSION. PLEASE REAPPLY AS OFTEN AS DESIRED.

Please return form to: City Clerk's Office - 100 North US Hwy 1, Fort Pierce, Florida 34950
fax (772) 467-3841 or via email at lcov@city-ftpierce.com

CONSTRUCTION BOARD OF ADJUSTMENTS AND APPEALS

MEETING ATTENDANCE - 2015

Meeting Dates:	1/27/2015	2/24/2015	3/31/2015	4/28/2015	5/26/2015	6/30/2015	7/28/2015	8/25/2015	9/29/2015	10/27/2015	11/24/2015	12/29/2015
Don Bergman	NM	P	NM	EA	NM	P	NM	NM	NM	NM	NM	NM

No meetings held in January or February 2016

* P - PRESENT

* EA - EXCUSED ABSENCE

* A - ABSENT

* NM - NO MEETING

City Commission Regular Meeting

Agenda Item # 15. a.

Meeting Date: 03/07/2016

Re: City Manager's Report - Together We Can

Submitted For: Nick Mimms, City Manager, City Manager

SUBJECT:

City Manager's Report - Together We Can

Attachments

Together We Can

Form Review

Inbox

Stop has been removed

City Manager

Form Started By: Jennifer Robinson

Reviewed By

Linda Cox

Date

03/03/2016 05:20 PM

Started On: 02/12/2016 09:01 AM

Together We Can



Transform Our City

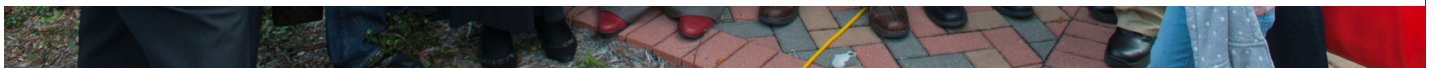
March 7, 2016

City Manager Report

The Highwaymen Heritage Trail



Ribbon Cutting for The Highwaymen Heritage Trail



The Highwaymen Heritage Trail



View across beautiful Moore's Creek of The Highwaymen art booths

On February 20, 2016, the City of Fort Pierce held a formal Ribbon Cutting Ceremony for the Highwaymen Heritage Trail, a tribute to the Highwaymen artists and their contribution to the rich cultural history of Fort Pierce. The Ribbon Cutting Ceremony was held at the Intermodal Transit Facility, 725 Avenue D, in front of an exquisite Royal Poinciana Tree mosaic where the artists' names are engraved on affixed bronze plaques.

A Guided Trail Tour using the City's trolley and a charter luxury bus began immediately following the ribbon cutting. More than 80 people participated in the Guided Tour, which included narrators Doretha Hair Truesdale, widow of Highwayman Artist Alfred Hair, Sr. and Gertrude Walker, wife of Highwayman Artist Charles Walker, and Pamela Carithers, Director of Lincoln Park Main Street.

The First Annual Highwaymen Art Show featuring many of the original Highwaymen artists and a family-friendly festival continued throughout the day along beautiful Moore's Creek Linear Park until 5:00pm. Hundreds of visitors from across Florida and as far away as Chicago attended the ribbon cutting, art show and festival.

The Highwaymen Heritage Trail and accompanying website (TheHighwaymenTrail.com) is a three year project underwritten by two grants from the Florida Humanities Council (FHC) and the City of Fort Pierce. Scholarly research, videographers, website and graphic art designers, area schools, teachers, students, local citizens and many of the original Highwaymen artists contributed to the project's design and content.



Hundreds of children enjoyed The Highwaymen Festival's 'Kidz Zone'

The Highwaymen Heritage Trail

Partnerships in the promotion of the Project included: St. Lucie County Tourism Development Council, Lincoln Park Main Street, Main Street Fort Pierce, Indian River State College, Fort Pierce Utilities Authority, Visit Florida, the Florida Humanities Council, the National Endowment for the Arts

The Family Friendly Festival included an educational component. Three area middle schools participating - provided over 30 entries in the Highwayman Art Contest. Students were provided educational information about the Highwaymen and an opportunity to participate in the First Annual Highwaymen Art Contest.

Cash Prizes were awarded to the art classes -

1st Place - Alexis McEwen, Francis K. Sweet Middle School - \$200

2nd Place - Isabel Keane - Fairlawn Elementary - \$150

3rd Place - Niya Battistini - Fort Pierce Magnet School for the Arts - \$100



State Representative Larry Lee, Jr. with Original Highwayman Artist James Gibson

Construction Project Updates

Veterans Memorial Park Phase II Stormwater Improvements – Construction of the stormwater improvements are underway. Contractor has completed the southern bio-swale, the concrete terrace seating area at the lake edge, the pedestrian bridge cap beam, and the underground drainage. Work continues on the lake area and the northern parking area/access aisle.



Southern bio-swale



Pedestrian bridge and terrace seating

Stormwater Related Issues/Items

Continuation of private development construction site inspections, turbidity monitoring, investigate drainage issues pre/during/post storm event, extend/update the City's Drainage Maintenance Map, and prepare the Central Indian River Lagoon BMAP Annual Progress Report.



Flooding issue - post storm event

H.D. King Power Plant Clean-up

Cardno continues design work on the seawall replacement along Moore's Creek. 60% design plans expected within 30 days. Contractor preparing to mobilize to site the first week of March. Anticipate remediation work to begin within two weeks.

13th Street and 17th Street Reconstruction

Paving and drainage plans have been completed for both projects and are being reviewed by staff. Awaiting final plans from FPUA to incorporate into our bid plans. Contract documents are being assembled for 13th Street with anticipation of bidding set for second week of March. FPUA currently working on design plans for water and sewer for 17th Street.

Street Resurfacing

Finalizing contract with Lynch Paving. Anticipate construction beginning within 30 days. Streets to be resurfaced include 12th Street (Ave. H to Ave. M), 21st Street, Birch Street, and 23rd Street from Georgia Avenue to Virginia Avenue.

City Marina Dinghy Dock Construction

Awaiting the executed BIG grant contracts to proceed with the project advertisement. We have been notified that the State will be working on our grant documents at the end of January. RFP anticipated advertisement in February and construction start anticipated March/April 2016. We have received the executed FIND documents for incorporation into the RFP documents.

Indian Hills Recreation Area

Stormwater Improvements – Work continues on the pedestrian bridges with sub-structure construction. Path work began from southernmost end, working north. Contractor currently grading and shaping banks along pathway. Picnic shelters arrived ahead of schedule and are currently under construction on the north side.

Site Developments

SQUARE GROUPEUR TIKI BAR

Square Grouper Tiki Bar 2/29/16



Installing a support for the outdoor tiki bar



Second floor deck ready for inspection



Ongoing construction



OCULINA BANK

Oculina Bank construction progress 2/29/16



New Oculina Bank



Economic Development Initiatives

Creation of a Project Meeting Checklist

In an effort to streamline and adequately prepare for meetings with potential projects, we developed a check list that will be completed prior to team meetings.

Economic Development Tool Kit

City is working with Main Street Fort Pierce to produce a "Fort Pierce Snapshot" book which will contain demographic information and other business related information.

Development of a permit process flow chart to include expedited permitting.

Working in partnership with the EDC, St. Lucie County and Port St. Lucie to formalize our "Tool Kit" and create consistency where possible. Basically providing an outline of all incentives available to be used by EDC and each municipality.

Business Climate Visits/Site Visits

Schedule visits with area business to determine their business health. At this time, we are looking at some of the largest tax payers as potential businesses to visit.

Lawnwood Regional Medical Center – December 14

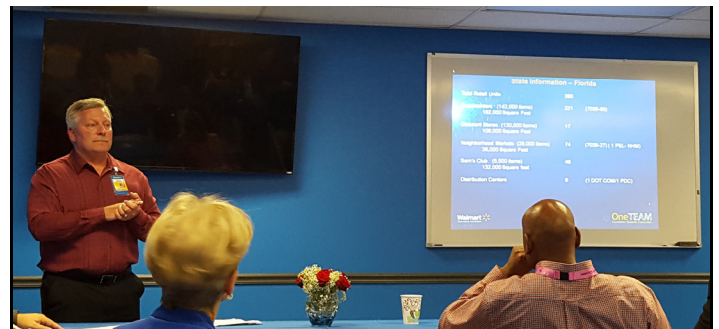
Treasure Coast Food Bank – February 9

Rocla Concrete Ties – February 9

Walmart Distribution Center - February 17

Waste Pro – February 23

Tent Logix – March 9



Mitch Hall, General Manager, Wal-Mart Distribution Center

City Clerk's Office



Deputy City Clerk Miriam Garcia volunteering at The Highwaymen Heritage Festival.

NEW BUSINESSES - FEBRUARY 2016

Business Name	Street Address
21st Century Oncology LLC	5550 S US Hwy 1
B&M Enterprises Of The Treasure Coast LLC	1200 Tumblin Kling Rd
Beachsiderehab	300 S 6th St
Credible Auto Spa	2200 S US Hwy 1
Crook, William F., M.D.	5550 S US Hwy 1
Dosoretz, Daniel E., M.D.	5550 S US Hwy 1
Dynamic Life Recovery	1905 S 25th St
Ear, Nose & Throat Associates	2100 Nebraska Ave
First Choice Healthcare And Counseling LLC	608 S US Hwy 1
Florida Land Trade	942 Seaway Dr
Forever Loving Hands, Inc.	1903 Plover Ave
Gasiorek, Scott A., M.D.	5550 S US Hwy 1
Joy's Gas Service, LLC	2050 Oleander Blvd
Kayaks and Stuff of the Treasure Coast LLC	704 Skylark Dr
Let Me Clean Your BBQ, Inc.	100 Treasure Cay Dr
Mata, Maria De Las Nieve M.D.	1700 S 23rd St
Ministerio Ex 3:14	1223 Delaware Ave
Palm Tree Auto Sales	5250 S US Hwy 1
Perman, Mark Lee, M.D.	5550 S US Hwy 1
Pressure Washing Treasure Coast LLC	1905 Sunrise Blvd
Props Auto Sales, LLC	402 N US Hwy 1
South Exchange, Inc.	1900 Okeechobee Rd
Sunrise City Paddle Sports	1 Avenue A
Tazzy T's Boutique "LLC"	5207 Okeechobee Rd
The Beach Spa LLC	946 Seaway Dr
The Diaz Group, LLC	426 Avenue A
The Hungry Marlin Cafe LLC	2331 S US Hwy 1
Veterans Environmental Sustainability Community	501 S 10th St

Finance Department

We are nearing the completion of our Comprehensive Annual Financial Report (CAFR), which is tentatively scheduled to be presented to the City Commission on March 21, 2016.



Planning Department



The City Commission conditionally approved Causeway Cove Marina & RV Site Plan and Conditional Use to grant construction of a 198 Slip Marina, Boat Ramp, Dock Master's Quarters, Ship Store, and 10 RV Spaces at the former Causeway Mobile Home property.



This is the newly renovated Old Federal Courthouse, 300 S 6th Street - Soon to be home to the Therapeutic Counseling Center, which has created 54 new jobs.

Orange Avenue Corridor Community Meeting



The Community Meeting on Thursday, February 25, 2016 was attended by over 50 people who gave their input by speaking one on one with staff and with each other. This is a great start on dialogue for rejuvenating the Orange Avenue corridor.

Indian Hills Golf Course

INDIAN HILLS JANUARY SALES REPORT

	1/2015	1/2016*	% Change
Golf Rounds	4,625	4,522	-2%
Golf Fees	\$169,138	\$151,886	-10%
Range Tokens	\$4,967	\$3,347	-33%
Membership Pass	\$5,519	\$3,235	-41%
Food & Beverages	\$8,164	\$5,779	-29%
Merchandise	\$3,381	\$6,380	89%
	\$191,169	\$170,626	-11%

INDIAN HILLS FEBRUARY SALES REPORT

	2/2015	2/2016	% Change
Golf Rounds	4,641	5,414	17%
Golf Fees	\$166,444	\$174,516	5%
Range Tokens	\$6,354	\$5,480	-14%
Membership Pass	\$1,464	\$2,108	44%
Food & Beverages	\$7,550	\$8,299	10%
Merchandise	\$3,706	\$4,290	16%
	\$185,518	\$194,692	5%

*Decrease due to unfavorable weather conditions.



The First Tee Program is held every Wednesday afternoon from 4 pm to 5 pm. Currently, there are 10 participants from the Boys & Girls Club. The program runs year round. They have their own instructors, but David Patterson has filed paperwork to join the team. We are pleased to sponsor this program at no charge.

Police Department



Harbour Isle West Social Committee Meeting welcomes guest Chief Diane Hobley-Burney



Front porch roll call was conducted at St. Lucie Elementary where officers greeted students. St. Lucie Elementary will be our first District 2 School to participate in the Courage for Life program. The Principal, Ms. Woulard, would like officers to be a part of the school's mentoring program. Here are some of our amazing police officers mentoring our young students.

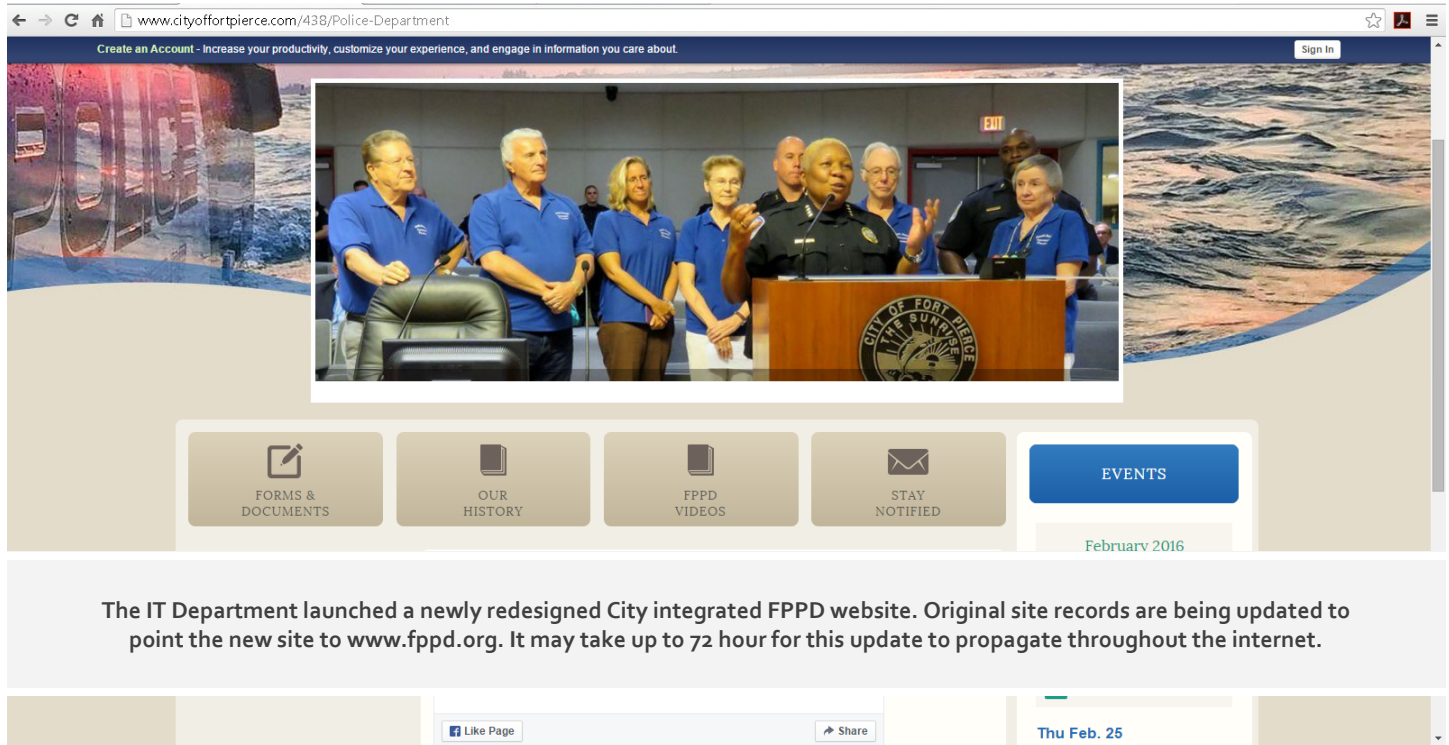


Matt Samuel has loaned the police department ten (10) Highwaymen Paintings, which are proudly displayed in the Chief's Conference Room. Citizens, Support Staff, and Officers are encouraged to come view the amazing display of paintings from several of the Highwaymen Artists. The collection of paintings will be on Exhibit for the next month or so. These Highwaymen Artists are an important part of Fort Pierce's rich culture.



Chief Hobley-Burney was presented the Treasure Coast Pioneer Award on February 24, 2016 by Treasure Coast Lexus, PNC Bank and WFLM 104.7 Radio.

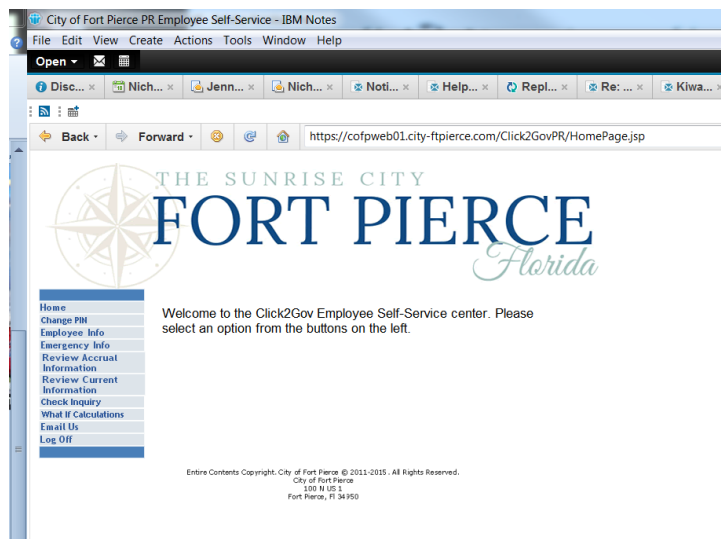
Information Technology Department



IT staff completed Tightrope training that will enable the creation of shows, schedules, and content.

Began implementing phone system changes designed to minimize chances of unanswered/unresponded to calls and voicemails at the department level. Calls received for general help will now be routed to the appropriate department's line from the operator (instead of an individual's line) which in turn rings on all respective members of that department's line. In the event the call isn't answered, any voicemail left will be forwarded to all members of that department via email.

Human Resources Department



Employee Self-Service is a tool that enables the employees of an institution to access their pay checks and deduction records through a secured portal that is validated through a User ID and Password.

- 1) Employees can view and/or make changes to their records from home or the office. This eliminates the need to contact the Human Resources office during business hours to request an update.
- 2) Employees can access their personal information and view benefits and deduction information.
- 3) Employees can use what-if scenarios to make changes to benefits, etc.

Sunrise Theatre

Former professional golfer and humorist, David Feherty, tee'd off his one liners to a sold-out crowd, prior to hosting the Honda Classic, on the Sunrise stage. This event featured a VIP Meet & Greet ticket, which included an opportunity to meet Mr. Feherty, have a photo taken with him and an autographed copy of his latest book. To the delight of those in attendance, Mr. Feherty also gave a short preview of what to expect from his upcoming performance later that evening.

On February 11, a sold-out audience enjoyed the legendary Tony Bennett and his daughter Antonia. Mr. Bennett performed all of his signature songs to the delight of attendees young and old. His 3 piece band, all legendary musicians in their own right, showcased their talents as well, performing various solos on their individual instruments.

On February 22, the Sunrise was filled to capacity with students from schools throughout the county to see the Super Scientific Circus. During the hour long event, the students were entertained while learning about the science of physics, gravity, matter, centrifugal force, etc., through a fun yet educational format. These School Time Performances are provided free of charge, including transportation, by the Sunrise Theatre and Sunrise Theatre Foundation. Performances of this nature are offered 5 -6 times per year.



David Feherty



Students attending the Super Scientific Circus performance



SUNRISE THEATRE FINANCIAL REPORT - JAN 2016

Date	Show	Attendance	Total - Expense	Total - Revenue	Gain/(Loss)
1/2/2016	I Lived	451	2,041.34	4,017.45	1,976.11
1/10/2016	Ragtime	735	42,015.33	42,943.26	927.93
1/15/2016	Elvis Rockin' Bday Bash	786	21,762.13	27,813.86	6,051.73
1/17/2016	Air Supply	1099	48,681.13	70,751.12	22,069.99
1/19/2016	Street Beat Kids	N/A	3,658.15	0.00	(3,658.15)
1/20/2016	Paul Anka	1027	94,762.47	94,109.78	(652.69)
1/22/2016	Engelbert Humperdink	727	62,550.65	50,743.48	(11,807.17)
1/24/2016	The Jive Aces	157	13,255.64	6,263.36	(6,992.28)
1/29/2016	The Bronx Wonderers	616	9,531.85	25,180.22	15,648.37
1/30/2016	Graham Nash	696	38,935.98	41,087.09	2,151.11
1/2016	Jazz Jam - BB	591	1,066.28	4,044.00	2,977.72
1/2016	Comedy Corner - BB	236	2,764.20	4,962.00	2,197.80
TOTALS			\$341,025.15	\$371,915.62	\$30,890.47

City Marina

With the help of local boaters, Fred Danise, Assistant Dock Master, was able to assist a green turtle in distress which was then transported by Fish Wildlife officers.



Public Works Department



The PWD is securing a contractor to provide concrete curb delineation within the temporary parking area established at the west end of Jetty Park. This will bring organization to that heavily utilized area.



Look for an Eye catching recycling truck to hit the street of Fort Pierce very soon. This is the first of many efforts to increase recycling awareness in our community.



The peacock crossing signs have been installed in the Orange Avenue corridor.



The PWD has added a second picnic table with concrete slab and trash receptacle at the old library site at Marina Square. The area underneath the oak tree has become a popular spot for folks to have lunch or take a break .

River Walk Center

upcoming events

Event	Date	Time	Location
Sandy Shoes Festival	3/19	10a - 10p	Veteran's Memorial Park
Hooked on Music	3/26	4p - 11p	City Marina
Waterside Blues	3/27	1p - 5p	Marina Square
Brown Bag Luncheon	3/28 - 4/1	11a - 2p	Marina Square
Dancing in the Streets	3/30	6:30p - 9p	2nd St. & Orange Ave
Jazz Music Extravaganza	3/31	6:30p - 9:30p	Marina Square

CONSTRUCTION UPDATE



Code Enforcement

This is 2002 Orange Avenue - a new owner purchased the building and immediately began curing all code violations and gave the entire exterior a new make-over.



These photos are of the retention area of the Beachcomber's Homeowner's Association that was not being maintained. The before and after photos show a property being brought into compliance voluntarily by the responsible parties.

