
TECHNICAL REVIEW COMMITTEE (TRC) COMMENTS FORM

FROM : Marc Meyers

RE : WaWa Gas Station – 5575 Okeechobee Rd.

DATE : 7/21/16

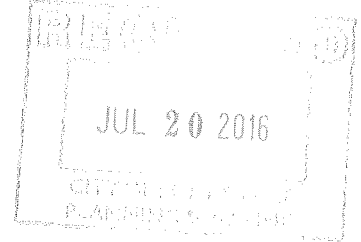
Items needing to be addressed are:

1. Fort Pierce Building and SLC P& Z front page
2. Demo of existing building?
3. Grease trap/interceptor?
4. Fuel tank separate permit
5. Dumpster separate permit – submitted
6. Canopy separate permit – submitted
7. Main building separate permit – submitted
8. Site work

THE SUNRISE CITY
FORT PIERCE
Florida

Engineering Department
100 North US Highway 1
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To : Kori Benton, Senior Planner
FROM : John R. Andrews, P.E., City Engineer *JA*
RE : Wawa Gas Station – 5575 Okeechobee Road
TRC No. 16-07000002
DATE : July 14, 2016



This is to advise you that we have completed the review of the following documents as received by this office on July 7, 2016:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Site Plan | <input type="checkbox"/> Engineering Drawings |
| <input type="checkbox"/> Test Reports & Related Documents | <input type="checkbox"/> Certificate of Completion |
| <input type="checkbox"/> Record Drawings | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we Recommend Do Not Recommend

- Approval of Site Plan Building Permit C/O

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

See attached for Site Plan comments to be addressed at time of Building Permit Application



ENGINEERING COMMENTS:

1. Cover Sheet C-1 shall be revised to identify City of Fort Pierce as the governing agency and not St. Lucie County under the headings of Planning and Zoning, Building, and Storm Drainage.
2. The plans shall identify the ADA detectable warning mats, located within the public road right-of-ways, as being brick red in color.
3. The engineering plans shall be revised to reflect all on-site drainage pipe as being comprised of either reinforced concrete pipe or aluminum pipe as stipulated in the City of Fort Pierce Code of Ordinances Section 17-28(b).
4. The Grading, Paving, and Drainage Plans have been conceptually reviewed and will be subjected to a more in-depth review at time of submittal for the Site Work Permit.

JRA/TST



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Scott Kerney P.E.
Engineer
WaWa Inc.
7699 Golf Channel Drive
Orlando, FL 32819

**Re: Design & Site Plan Review – Filling Station in C-3 Zoning District
5575 Okeechobee Road
TRC No. 16-07000002**

Dear Mr. Kerney,

The following are comments from the Planning Department's review of the application for Design and Site Plan Review of a Filling Station in the C-3 General Commercial District:

- 1) Per City Code Section 22-187. (10) Other areas. When an area other than a vehicular use and retention/detention area of a developed lot in a C-1, C-2, C-3, C-4, C-5, I-1, or I-2 zone abuts a lot in an E-1, R-1, R-2, R-3, R-4, R-5, OS-1, or OS-2, such area in a commercial or industrial zone shall have a site obscuring fence or planted material so as to provide a visual and noise buffer between such areas and the lot in the residential or open space zone.** Such fence will be constructed from wood, stone, brick or other suitable material and be a minimum of six (6) feet high. If planted material is used, it shall be planted and maintained so as to form a thirty-six-inch or higher continuous, unbroken solid screen. There shall be at least one shrub, bush or vine planted along the fence for each ten (10) feet of fence for the purpose of beautifying the fence. Slats shall not be put into chain-link fence to obscure the view. The planted material shall be a species which in the county normally grows to a height of six (6) feet or more. **Please integrate the appropriate buffering along the southern property line accordingly.**
- 2) Per City Code Section 22-178. (10) The Landscape Plan shall include tabulations which clearly show relevant statistical information necessary to evaluate compliance with provisions of this chapter. This shall include, but not be limited to, required buffers, vehicular use landscaping/screening, non-vehicular landscaping, and such other information as needed. Specifically, please identify landscape areas included in the tabulation of interior vehicular use area landscaping pursuant to City Code Section 22-187 (7) as referenced in page 3 of the Landscape Plan, which lists 4,936 SF of interior vehicular use landscaping.**
- 3) Per City Code Section 22-58 (d)(2) Site Plans shall include a general location map which shows the approximate location of streets, street signals and vehicular access points to streets along streets abutting the proposed development, rights-of-way, zoning districts, existing land uses and important physical features (including drainage ways) within five hundred**

(500) feet of property proposed for development. **Please update the general location map to clearly display zoning districts, existing land uses, and important physical features (including drainage ways) within five hundred (500) feet of property proposed for development.**

- 4) Per City Code Section 22-59 (g)(4) b. Elevations adjacent to a public right-of-way shall be considered as a building front and treated as such with appropriate entrances, fenestration or detailing & c. Articulation in the facade should give visual relief and be of sufficient depth to provide shade and shadow on adjacent building surfaces. Colors of wall surfaces shall be chosen to complement this facade articulation and colors shall be in keeping with the chosen architectural style and character. **Please consider integrating a minor awning/canopy over the rear door of the right elevation.**
- 5) Per City Code Section 22-31(c) (4) Materials or objects which would detract from the open space character of an uncovered or unenclosed area will not be permitted in such an area. **Please consider an architectural feature such as an awning or canopy to cover the proposed ice container outside of the establishment.**
- 6) Per City Code Section 22-59 (g)(4)j. Exterior building components and all proposed elements of the streetscape shall be painted with a color compatible with the architectural character and style of the proposed development as well as the surrounding buildings. **Please consider an architectural feature to screen the rooftop mechanical components, or consider painting for appropriate assimilation with design.**
- 7) Per City Code Section 22-187 (1)a. Trees used to meet the requirements of this section shall be species which when planted have a height of at least twelve (12) feet and have trunks which can be maintained in a clean condition for over five (5) feet of clear wood. At planting, the trees shall have a diameter of at least two and one-half (2½) inches at a point four and one-half (4½) feet above ground level and a spread of at least five (5) feet (except for **palms which shall have a minimum clear trunk of ten (10) feet**). **Please update the landscape plan to indicate that all palms provided on site will have a minimum of clear trunk height of ten (10) ft.**
- 8) Per City Code Section 22-59 (c)(1)i. the design review submittal shall include an accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design. **Please provide an exhibit of the proposed ground sign (s).**

10) Pursuant to City Code Section 22-62(d) *Where required:* Sidewalks and sidewalk linkages shall be installed in the following areas:

- (2) Safe and efficient sidewalk linkages shall be provided between building entrances and parking areas, and adjacent portions of the development, and adjacent rights-of-way.



- Please consider a design enhancement to the various bollards across the site such as cap elements, or minor lighting.
- Per discussions with the applicable sign representatives, it's noted that a second ground sign will require a variance.
- Please be cautious of sight lines/clear vision areas at intersections of driveways with other internal driveways.
- Per City Code Section 22-60 (j) (4) Outdoor lighting required by this section shall be designed so that any over spill of lighting onto adjacent properties shall not exceed five-tenths (.5) footcandle illumination, vertically and horizontally. The landscaping along the southern property line may account for any overages, but please verify.
- Please note that City Code Section 22-59 (6) guides use of a. Decorative, low-level intensity, non-concealed source lighting which defines vehicular and/or pedestrian ways may be acceptable if not used as general lighting for a development. & b. that exterior architectural, display and decorative lighting visible from all public rights-of-way shall be generated from concealed light source, low-level light fixtures. Color lamps shall not be used.

If deemed necessary, please provide a written response to each comment in order to expedite the review of any subsequent submittals. Please contact me should you have any questions regarding the project at (772) 467-3741 or by e-mail: vgilmore@city-ftpierce.com.

Sincerely,



Vennis Gilmore
Planning Analyst