

LEGEND:

- PROPERTY LINE
- PROP. ASPHALT PAVEMENT
- PROP. BUILDING AND GAS CANOPY
- PROP. HEAVY DUTY CONCRETE PAVEMENT
- PROP. STANDARD CONCRETE PAVEMENT
- EXISTING CONCRETE SIDEWALK
- PROP. GRAVEL
- PROP. STAMPED CONCRETE
- PROP. PARKING SPACE COUNT
- PROP. GAS PUMPS
- PROP. SIGN
- PROP. VENT STACK
- PROP. AIR MACHINE
- PROP. UNDERGROUND STORAGE TANKS
- PROP. LIGHT POLE
- PROP. TRANSFORMER PAD

SITE NOTES:

1. ALL DIMENSIONS SHOWN ARE SHOWN AT FACE OF CURB, UNLESS OTHERWISE NOTED. B/C INDICATES DIMENSION IS TO BACK OF CURB.
2. ALL RADII DIMENSIONS ARE 3' TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS," LATEST EDITION, FOOT DESIGN STANDARDS LATEST EDITIONS AND THE CITY OF FORT PIERCE LAND DEVELOPMENT CODE.
4. FREE STANDING SIGNAGE SHOWN ONLY FOR REPRESENTATIONAL PURPOSES, AND SHALL BE PERMITTED SEPARATELY.
5. PROPOSED DUMPSTER ENCLOSURE WILL HAVE A COMPATIBLE FINISH AND COLOR WITH THE RESPECTIVE STRUCTURE.
6. ALL IMPACTED RIGHT-OF-WAY AREAS SHALL BE SODDED.
7. THE PROPOSED CONVENIENCE STORE WITH GAS SALES IS A 24 HOUR OPERATION.

SITE DATA:

PROJECT NAME: WAWA - SR70 & JENKINS
 PROJECT USE: CONVENIENCE STORE W/ GAS SALES, 8 PUMPS (16 FUELING POSITIONS)
 APPLICANT: WAWA FLORIDA, LLC
 ENGINEER: BOHLER ENGINEERING
 SITE ADDRESS: 5575 OKEECHOBEE ROAD FORT PIERCE, FL 34947
 PARCEL ID NO'S: 2419-321-0001-000-5
 2419-322-0002-000-5

BUILDING SETBACKS	REQUIRED	PROVIDED
NORTH (ALONG OKEECHOBEE BLVD)	25'	178.7'
EAST (TO LEASE LINE)	15'	110.3'
SOUTH	15'	194.7'
WEST (ALONG JENKINS ROAD)	15'	129.5'

CANOPY SETBACKS	REQUIRED	PROVIDED
NORTH (ALONG OKEECHOBEE BLVD)	25'	66'
EAST (TO LEASE LINE)	15'	98.6'
SOUTH	15'	310.5'
WEST (ALONG JENKINS ROAD)	15'	60.7'

AREA CALCULATIONS
 TOTAL SITE AREA: 292,878 SF (6.72 AC)
 ROW DEDICATION: 1,399 SF (0.03 AC)
 NET SITE AREA: 291,479 SF (6.69 AC)
 WAWA LEASE AREA: 145,638 SF (3.34 AC) - 100.00%

TOTAL IMPERVIOUS AREA
 BUILDING AREA: 94,982 SF (2.18 AC) - 65.22%
 CANOPY AREA: 6,119 SF (0.14 AC) - 4.20%
 PAVEMENT / SIDEWALK AREA: 81,713 SF (1.88 AC) - 66.11%

TOTAL PERVIOUS AREA
 50,656 SF (1.16 AC) - 34.78%
 EXISTING ZONING: C-3 COMMERCIAL
 EXISTING LAND USE: GC (GENERAL COMMERCIAL)
 FEMA FLOOD ZONE: FLOOD ZONE "X" ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 12028, PANEL NUMBER 0107, SUFFIX J, MAP NUMBER 12111C0167J, EFFECTIVE FEBRUARY 16, 2012.

BUILDING HEIGHT:
 ALLOWABLE: 65'
 PROPOSED: 23'-10" (TOP OF PARAPET)
 PROVIDED: 33'-4" (TOP OF TOWER)

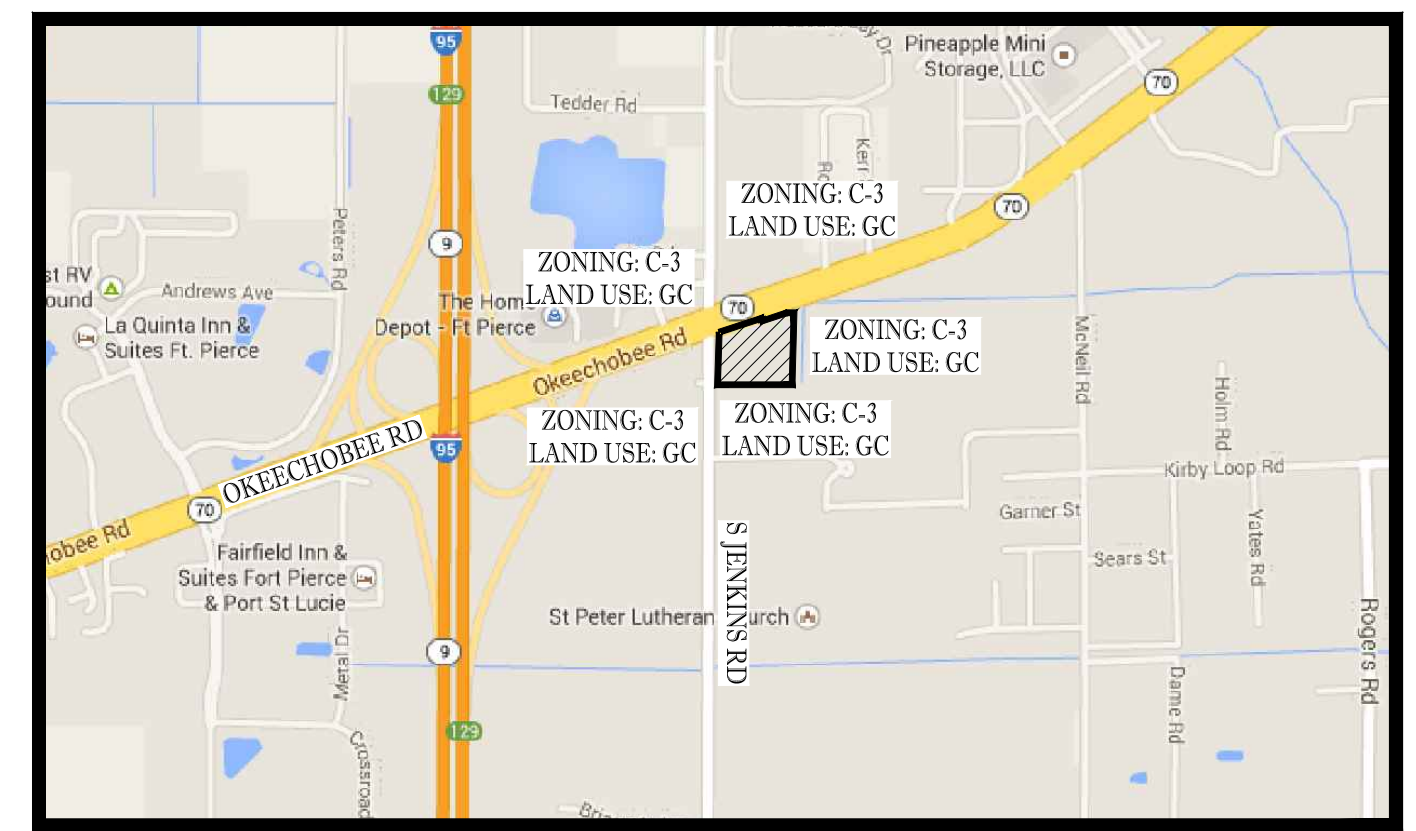
LANDSCAPE BUFFERS:
 NORTH: 10'
 EAST: N/A
 SOUTH: 10'
 WEST: 10'

PARKING REQUIREMENTS:
 CONVENIENCE STORE (6,119 SF) WITH GAS SALES: (5 SPACES / 1000 S.F.) = 30 SPACES
 TOTAL PROVIDED PARKING SPACES: 30 SPACES
 HANICAP PARKING STALL: 3 (20'X12')
 STANDARD PARKING STALL: 66 (20'X10', 18'X10')
 SPECIALTY PARKING STALL: 1 (20'X11')

PROPOSED ELECTRIC: FPUA ELECTRIC
PROPOSED WATER: FPUA WATER
PROPOSED SEWER: FPUA SEWER LIFT STATION
STORMWATER: ON-SITE STORMWATER COLLECTION FACILITY
REQUIRED PERMITS: CITY OF FORT PIERCE: SITE PLAN APPROVAL, LAND CLEARING PERMIT, ST. LUCIE COUNTY: RIGHT-OF-WAY PERMIT, FORT PIERCE UTILITIES AUTHORITY: WATER / SEWER PERMIT, S.F.W.I.D.: ENVIRONMENTAL RESOURCE GENERAL PERMIT, F.D.O.T.: DRIVEWAY CONNECTION PERMIT, DRAINAGE CONNECTION PERMIT, F.D.E.P.: NPDES NOTICE OF INTENT, WASTEWATER COLLECTION PERMIT

ADA ACCESSIBILITY NOTES:

1. ALL HANDICAPPED PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
2. AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO ALL BUILDING ENTRANCES MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
3. SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
4. IN THE CASE THAT A NEW SIDEWALK WILL BE CONSTRUCTED IN THE RW OF A SITE THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSS WALKS IN THE DRIVEWAY AS WELL AND WILL REQUIRE SPECIAL ATTENTION DURING STAKING TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSS WALK.
5. IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
6. ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTORS COST.



ZONING MAP
 SCALE: N.T.S.

BOHLER ENGINEERING
 SITE PLAN AND CONSTRUCTION DOCUMENTS
 LAND SURVEYING, PROGRAM MANAGEMENT, LANDSCAPE ARCHITECTURE, SUSTAINABLE DESIGN, PERMITTING SERVICES, TRANSPORTATION SERVICES
 OFFICES: BALTIMORE, MD; BOSTON, MA; CHICAGO, IL; FORT PIERCE, FL; FORT WORTH, TX; HONOLULU, HI; LOS ANGELES, CA; MEMPHIS, TN; MIAMI, FL; NEW YORK, NY; PHILADELPHIA, PA; RICHMOND, VA; TAMPA, FL; WASHINGTON, DC

REVISIONS

REV	DATE	COMMENT	BY
1	8/9/2016	PER CITY COMMENTS	SMT

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NOT APPROVED FOR CONSTRUCTION

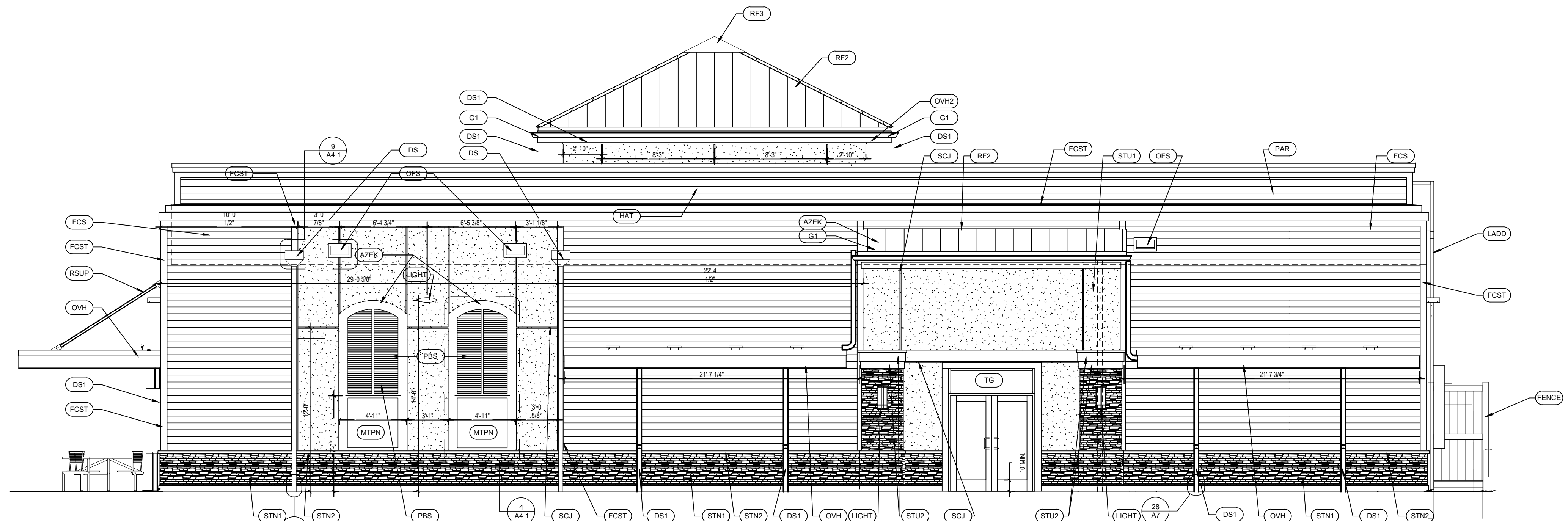
PROJECT No.: FL15009
 DRAWN BY: SMT
 CHECKED BY: GB
 DATE: 06/24/16
 SCALE: 1" = 30'
 CAD I.D.: SP0

SR 70 AND JENKINS FOR WAWA
 LOCATION OF SITE
 SEC SR 70 & S JENKINS RD
 FORT PIERCE, FLORIDA

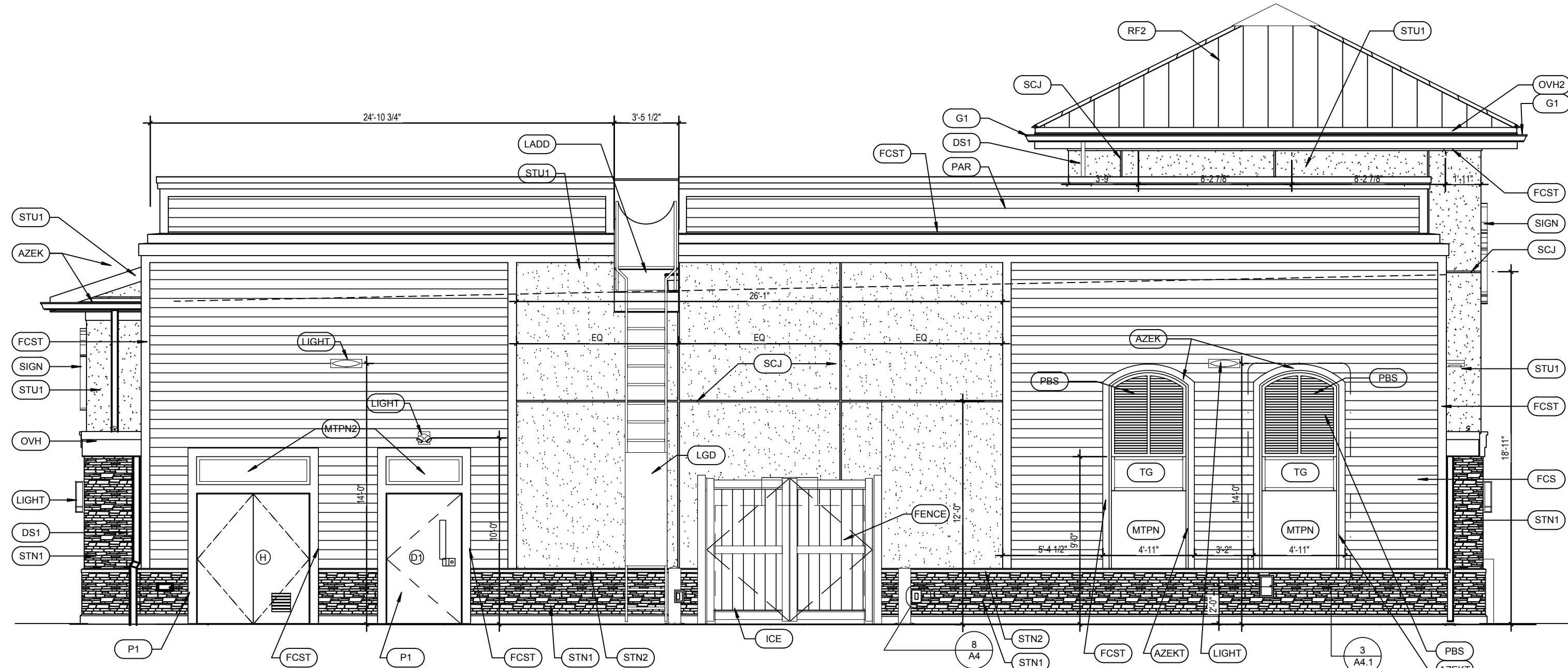
BOHLER ENGINEERING
 2255 GLADES ROAD, SUITE 305E
 BOCA RATON, FLORIDA 33431
 Phone: (561) 571-0280
 Fax: (561) 571-0281
 FLORIDA BUSINESS CERT. OF AUTH. NO. 30780
 LANDSCAPE ARCHITECT BUSINESS LIC. NO. LC2605656

STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 No. 74543
 08/16/16

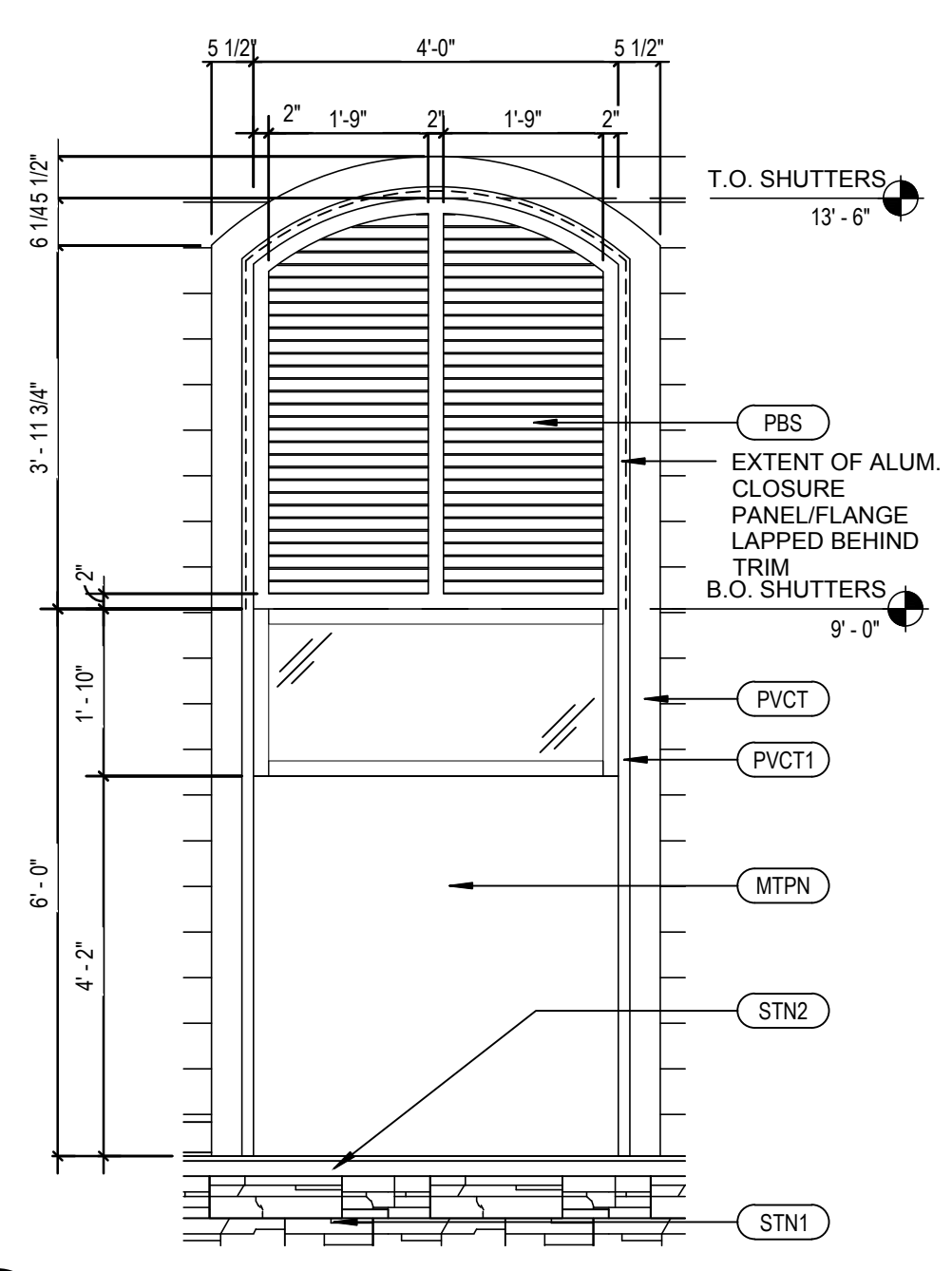
SHEET TITLE:
SITE LAYOUT PLAN
 SHEET NUMBER:
C-5



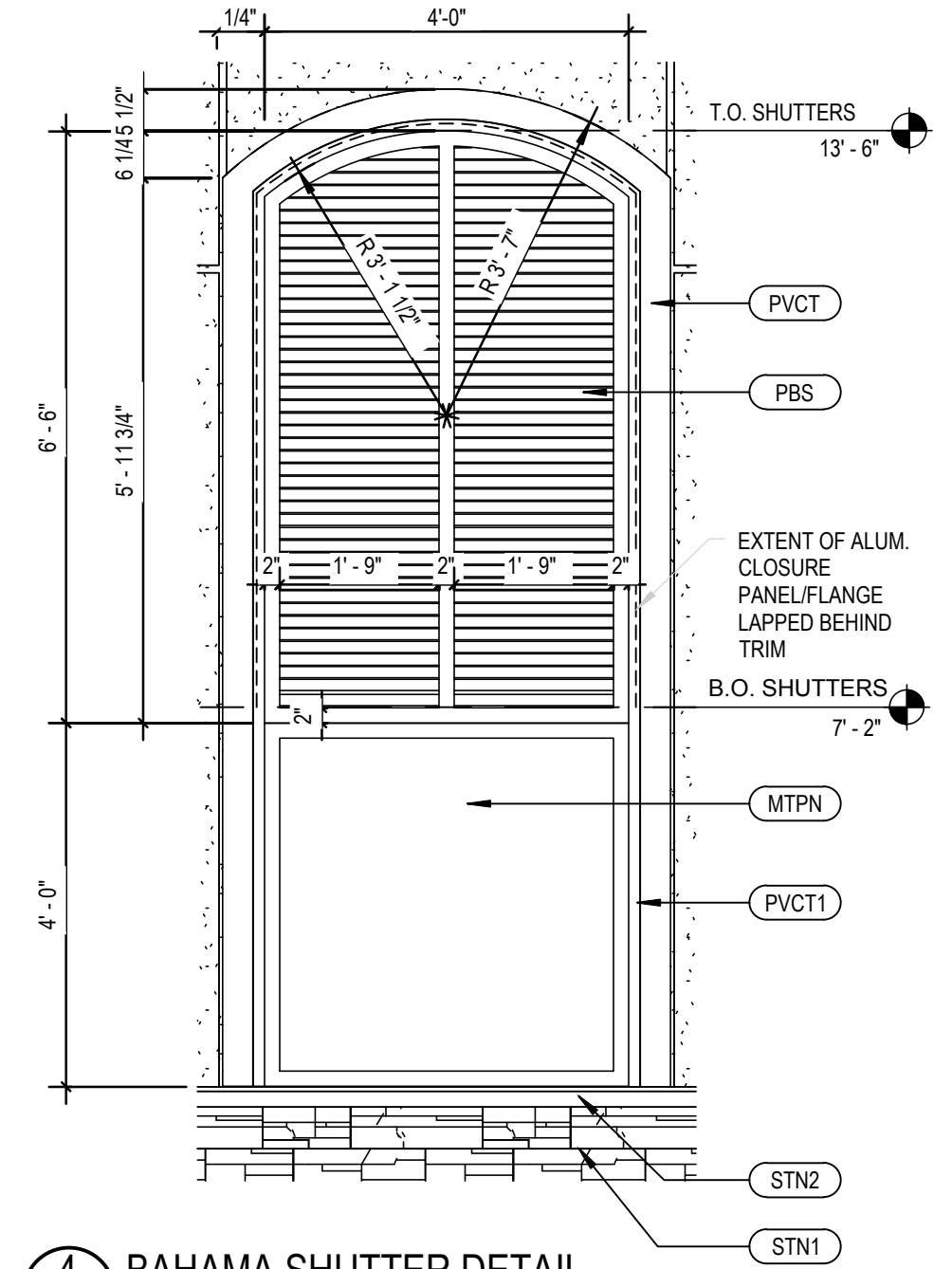
1 SOUTH (REAR) ELEVATION
A4.1 3/16" = 1'-0"



2 EAST (LEFT) ELEVATION
A4.1 3/16" = 1'-0"



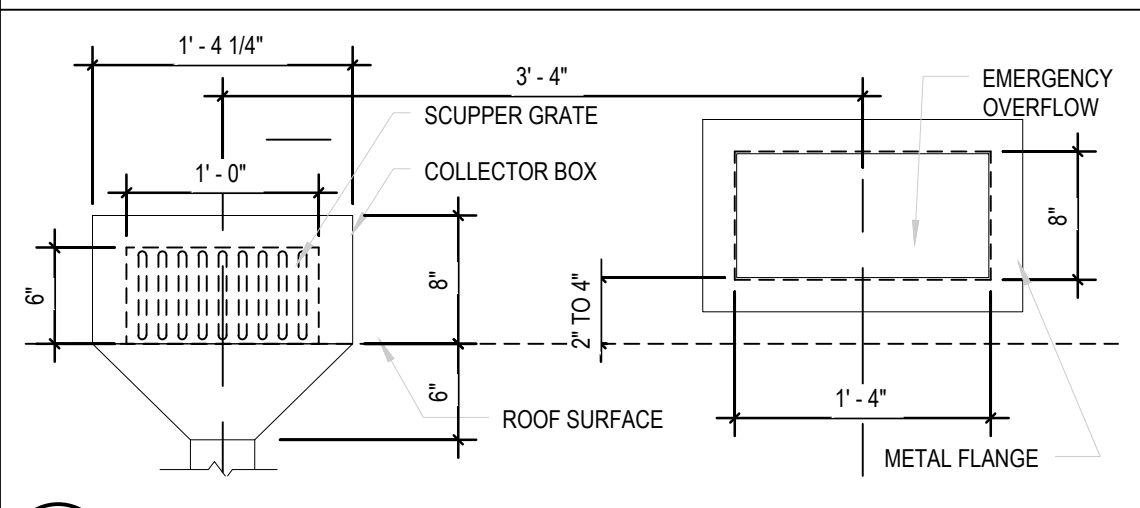
3 BAHAMA SHUTTER DETAIL
A4.1 1/2" = 1'-0"



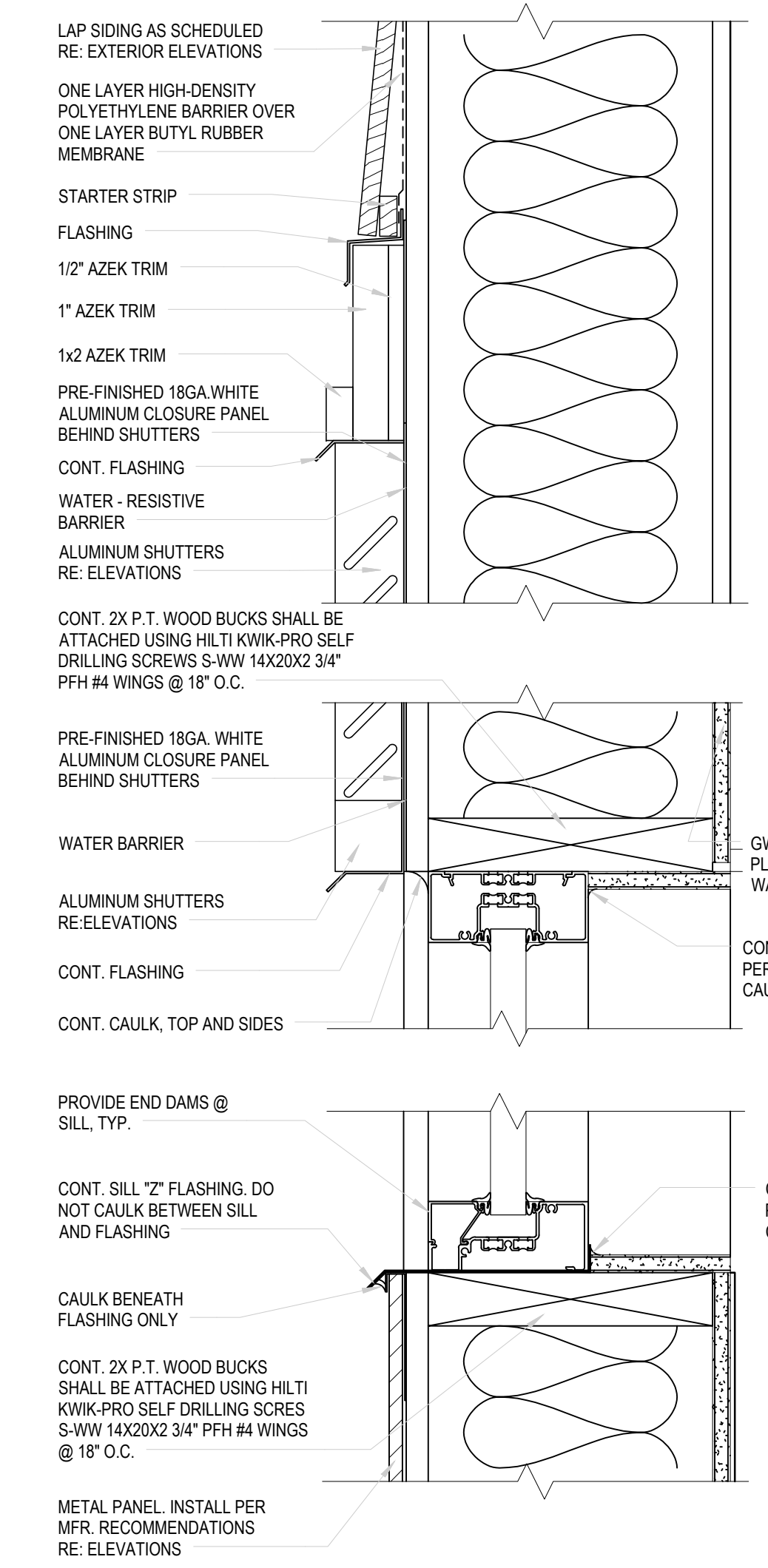
4 BAHAMA SHUTTER DETAIL
A4.1 1/2" = 1'-0"

GENERAL NOTES

- ALL BLOCKING @ HARDIE FOR LIGHTS, SECURITY ITEMS. SEE DETAIL 18/A7.
- MOUNT SECURITY CAMERAS THE SAME HEIGHT AS THE EXTERIOR WALL FIXTURE
- PROVIDE 6" X 8" ELECTRICAL BOX STONE TRIM BY BORAL. COLOR TAUPE AT ALL EXTERIOR ELECTRICAL RECEPTACLES MOUNTED ON STONE. SEE DETAIL 8/A4.



9 SCUPPER AND OVERFLOW DETAIL
A4.1 1" = 1'-0"



5 EXTERIOR WINDOW SECTION
A4.1 3" = 1'-0"

NOTE:
SIGNAGE IS SHOWN FOR REFERENCE ONLY.
SEPARATED PERMIT REQUIRED

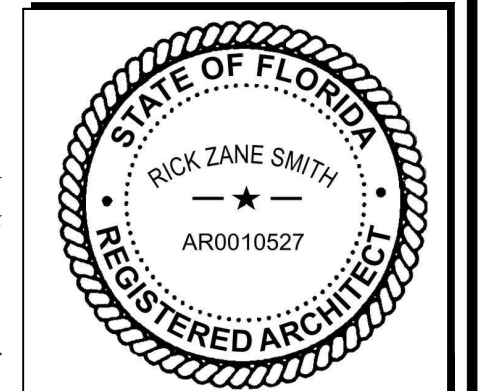
ARCHITECTURAL - EXTERIOR FINISH SCHEDULE				
SYMBOL	MATERIAL	MANUFACTURER	COLOR	NOTES
DS	STAINLESS STEEL THRUWALL SCUPPER & COLLECTOR AND 4" DIA. STAINLESS STEEL DOWNSPOUT		NATURAL MILL FINISH	COORDINATE WITH CIVIL FOR CONNECTION TO STORM SEWER. SEE DETAIL 29/A7
DS1	4" DIA. STAINLESS STEEL DOWNSPOUT. REFER TO SPECS FOR GAUGE		NATURAL MILL FINISH	COORDINATE WITH CIVIL FOR CONNECTION TO STORM SEWER. SEE DETAIL 28/A7
DS2	4" DIA. .032 ALUM. DOWNSPOUT		NATURAL MILL FINISH	
FCS	"ARTISAN" PLANK LAP SIDING	JAMES HARDIE	HARRIS CREAM, FINISH: BEADED SMOOTH, 8.25" X 12"	PRE-FINISHED
FCST	"ARTISAN" ACCENT TRIM	JAMES HARDIE	ARTIC WHITE, FINISH: SMOOTH, 1.5" TH X 6" W X 10'-0" L	PRE-FINISHED
G1	ALUMINUM GUTTERS		.032 POLISHED ALUMINUM W/ CLEAR ANODIZED FINISH	CONTINUOUS - NO SEAMS ALLOWED. SEE SHEET A3.1
HAT	36" X 48" ACCESS HATCH		FACTORY FINISH	
ICE	ICE MERCHANTISER	LEER	PAINT BENJAMIN MOORE, BM OC-1 NATURAL WICKER	
LADD	METAL EXTERIOR LADDER	EASTERN METAL SUPPLY	BRUSHED ALUMINUM	SEE A3.1 FOR DETAILS
LGD	6" LADDER GUARD RLG6	VISIONMASTERS EQUIP. CO.	MILL FINISH	
LIGHT	EXTERIOR LIGHT FIXTURE			SEE ELECTRICAL DRAWINGS
MTPN	METAL PANEL	PIONEER ARCHITECTURAL SYSTEMS	COLOR TO MATCH ADJACENT TRIM	
MTPN2	METAL PANEL	PIONEER ARCHITECTURAL SYSTEMS	PAINT TO MATCH DOORS, P1	
OFS	STAINLESS STEEL 6" X 16" OVERFLOW SCUPPER		NATURAL MILL FINISH	
OVH	METAL OVERHANG FACING	ATAS ROOFING	ATAS 'STERACORE' PANELS. COLOR: #17 BRITE RED	SEE A3.1 FOR DETAILS. ALTERNATE: PETERSON PAC CLAD
OVH2	HIP ROOF FASCIA	ATAS ROOFING	ATAS 'STERACORE' PANELS. COLOR: #26 BONE WHITE	SEE A3.1 FOR DETAILS. ALTERNATE: PETERSON PAC CLAD
P1	PAINT	BENJAMIN MOORE	COLOR: WHITE DIAMOND 2121-60	DOOR & FRAME
PAR	ALUMINUM PARAPET CAP		COLOR TO MATCH ADJACENT TRIM	
PBS	PREFINISHED ALUMINUM BAHAMA SHUTTER	PIONEER ARCHITECTURAL SYSTEMS	COLOR TO MATCH ADJACENT TRIM	SHUTTER PER SPECS. CONTACT (321) 926-6667
PVCT	ACCENT TRIM	AZEK	WHITE, FINISH: SMOOTH	PRE-FINISHED, ALTERNATE: PALIGHT
PVCT1	ACCENT TRIM	AZEK	1 X 2 WHITE, FINISH: SMOOTH	PRE-FINISHED, ALTERNATE: PALIGHT
RF2	METAL ROOFING	ATAS ROOFING	MRO154 DUTCH SEAM, (1 1/2") 19.25", COLOR: #23 COPPERTONE	ALTERNATE: PETERSEN PAC CLAD
RF3	STANDING SEAM ROOF HIP CAP		TO MATCH METAL ROOFING	
RSUP	ROD SUPPORT & PLATE		POWDER COAT, MATCH SW #6076	SEE STRUCTURAL. ALL RODS NOT INDICATED ON STRUCTURAL ARE PURELY DECORATIVE RE: 21A3.1
SCJ	STUCCO CONTROL JOINT - 3/4" WIDE			W/ SHAPED ACCORDION STYLE RE: SPECS
SIGN	ILLUMINATED SIGNAGE			SIGN BY WAWA, SURFACE MOUNTED
SPAN	SPANDREL GLASS, 1" INSULATED TEMPERED	VERICON	SUBDUED BRONZE	FRIT TO BE ON INSIDE OF PANEL
STN1	MANUFACTURED STONE VENEER	BORAL	SOUTHWEST BLEND PF-8019, PRO-FIT LEDGESTONE	
STN2	PRE-CAST MANUFACTURED STONE	BORAL	TAUPE CSV-1375	
STN5	PRE-CAST STONE BASE		3" W X 6" H X 48" LENGTHS. NATURAL CONCRETE; MAINTAIN CONSISTENT COLOR THROUGHOUT PROJECT	SEE DETAIL 5 & 11/A6.1, 9/A10, AND 8/C1A1
STOR	STOREFRONT SYSTEM	KAWNEER	CLEAR ANODIZED	SEE SPECIFICATIONS
STU1	STUCCO	SENERGY	#3085 MERINGUE, FINISH: SAHARA	
STU2	STUCCO	SENERGY	#354 STARK WHITE, FINISH: FINE	
TG	1" INSULATED TEMPERED GLASS			SEE SPECIFICATIONS
TGT	1" INSULATED TEMPERED GLASS	PPG	SOLARGRAY VLT. SEE SPECS	SEE SPECIFICATIONS
FENCE	PVC FENCE AND GATES	BUFFTTECH	GALVESTON FENCE COLOR: WHITE.	8'-0" HIGH

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CLIENT NAME
WAWA
260 WEST BALTIMORE PIKE
WAWA, PENNSYLVANIA 19063

PROJECT NAME
WAWA F85 FB
Oleechobee Rd. & Jenkins Rd.
FL, Pierce, FL



Revision	Schedule	Date
1	DESCRIPTION	06/21/2016
2	ZONING	08/11/2016
3	ZONING	

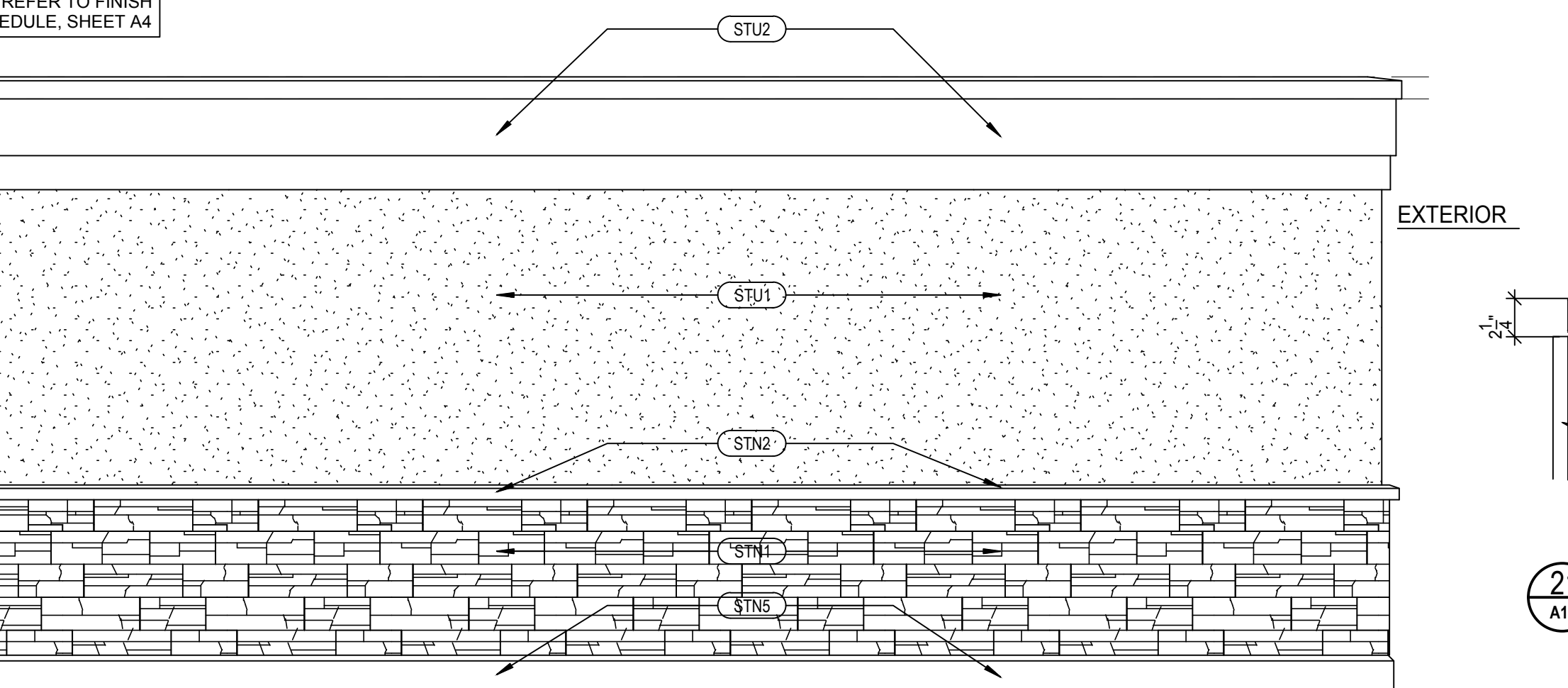
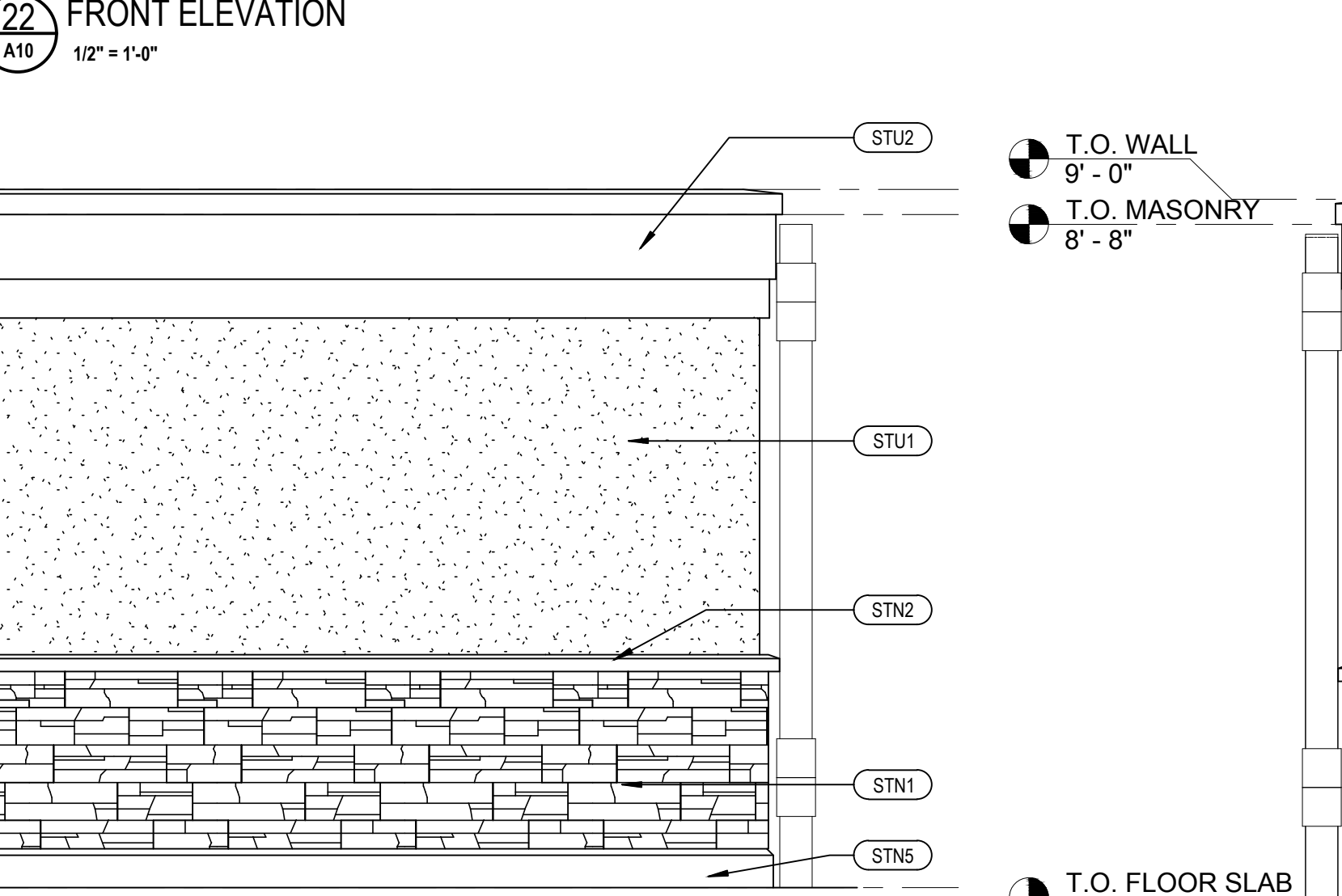
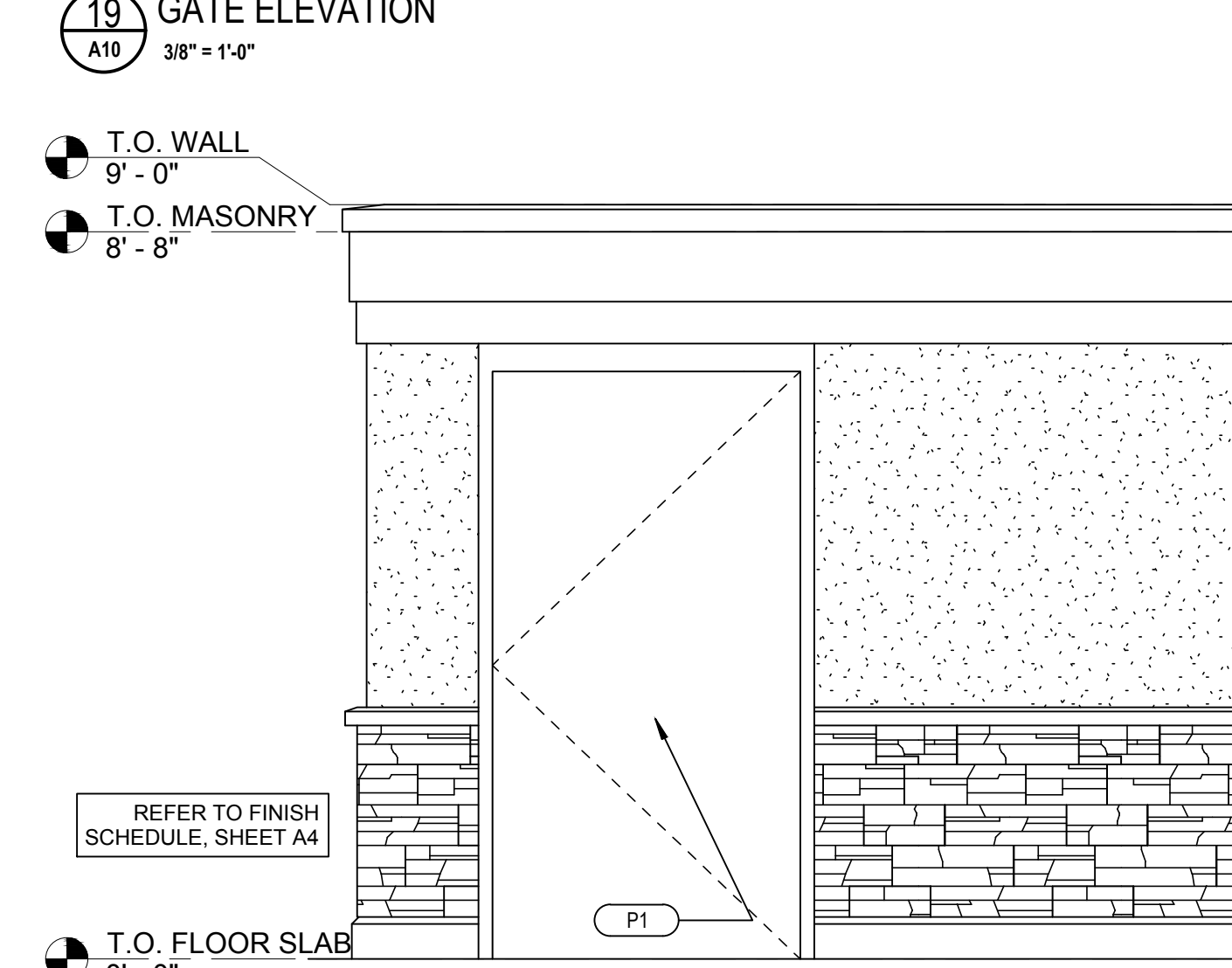
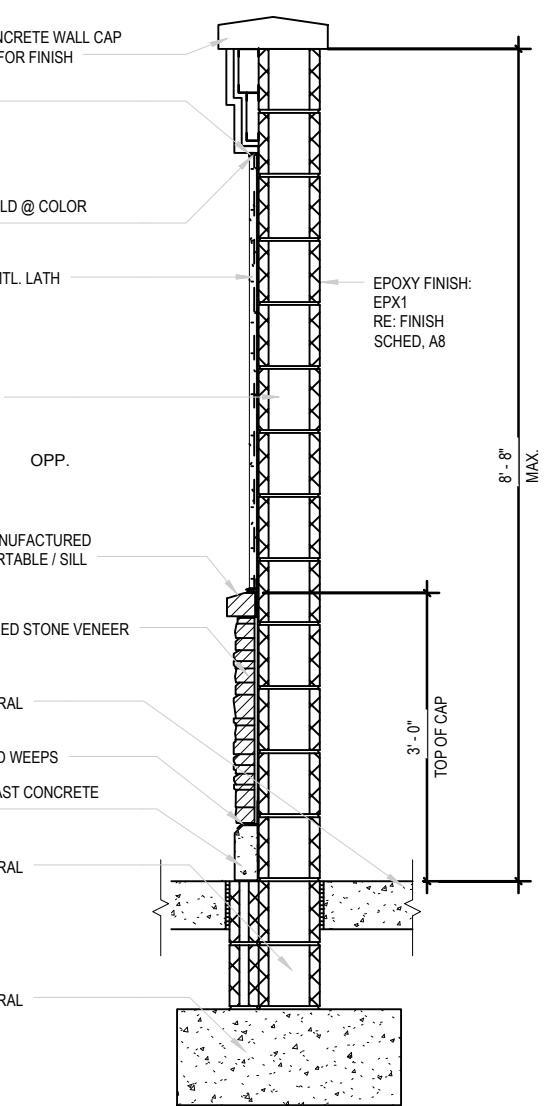
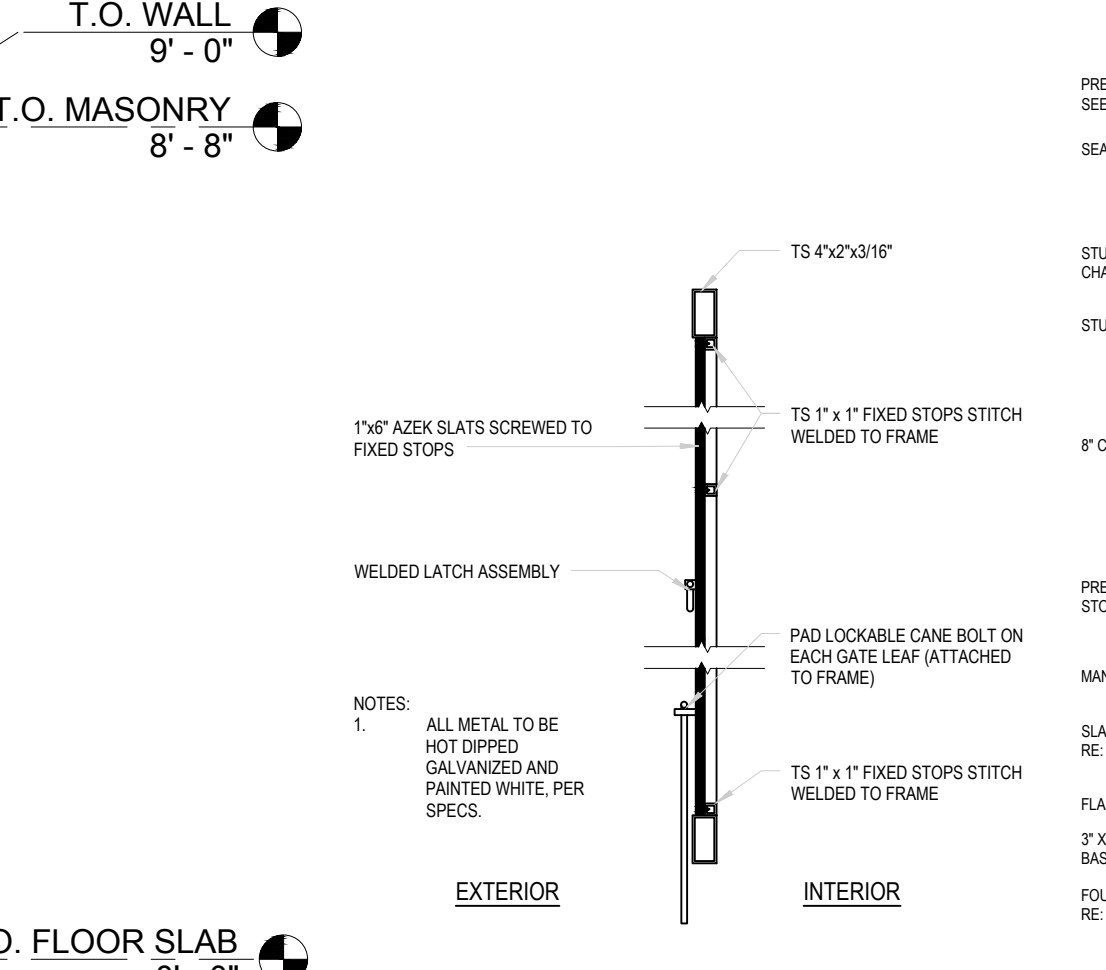
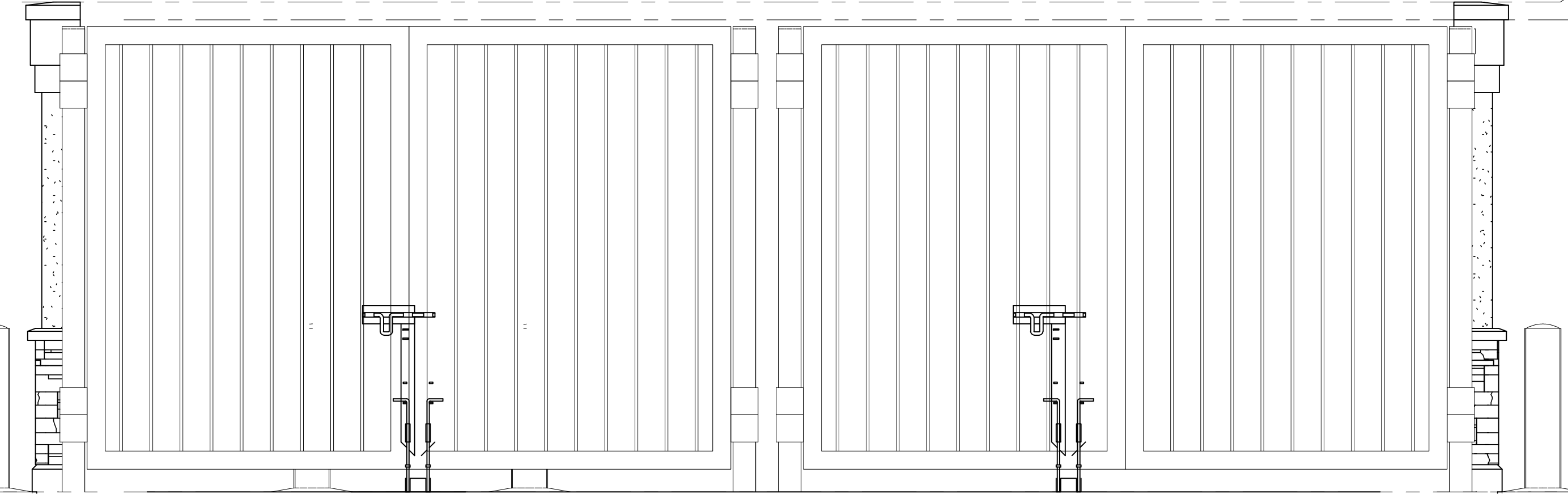
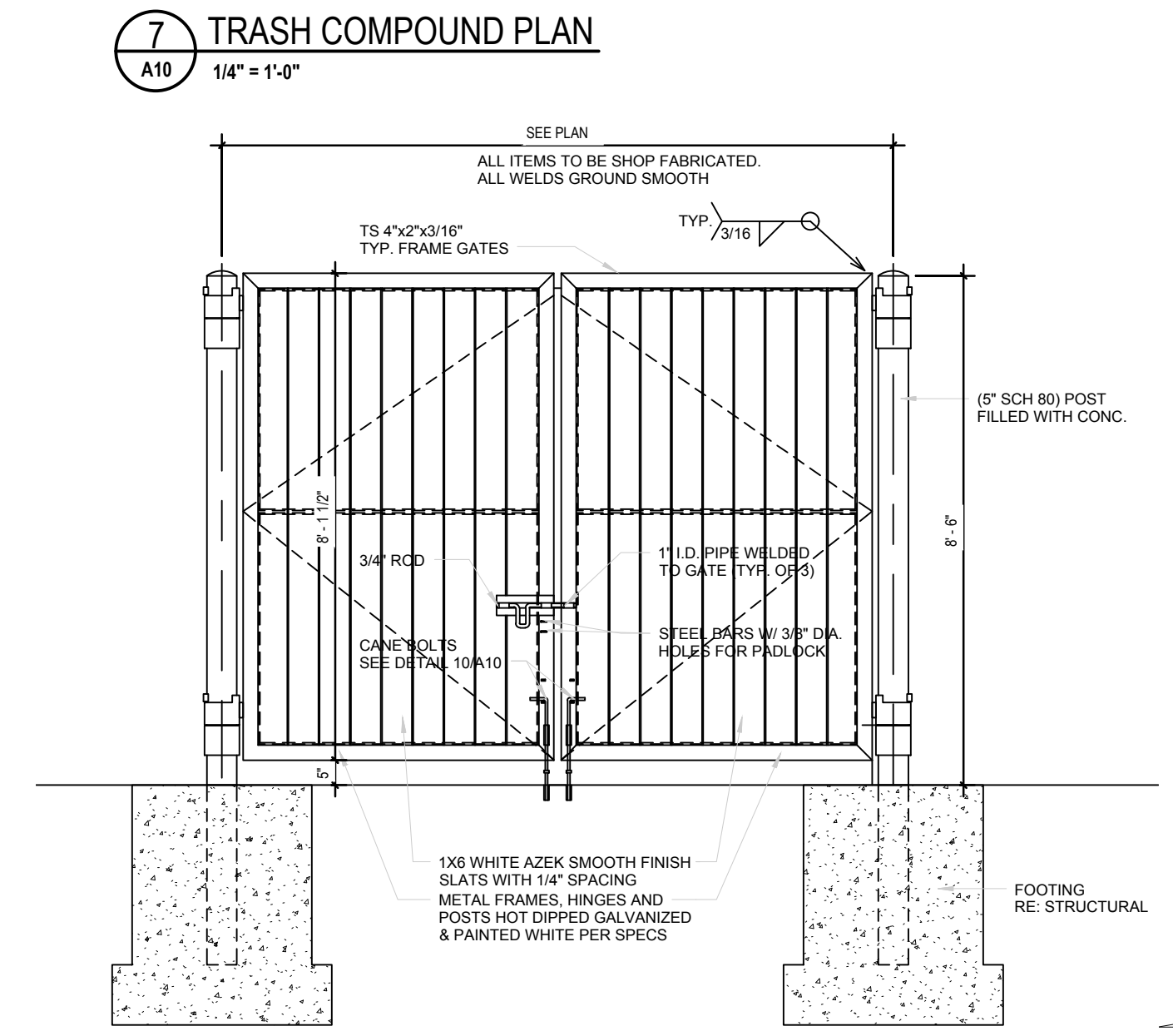
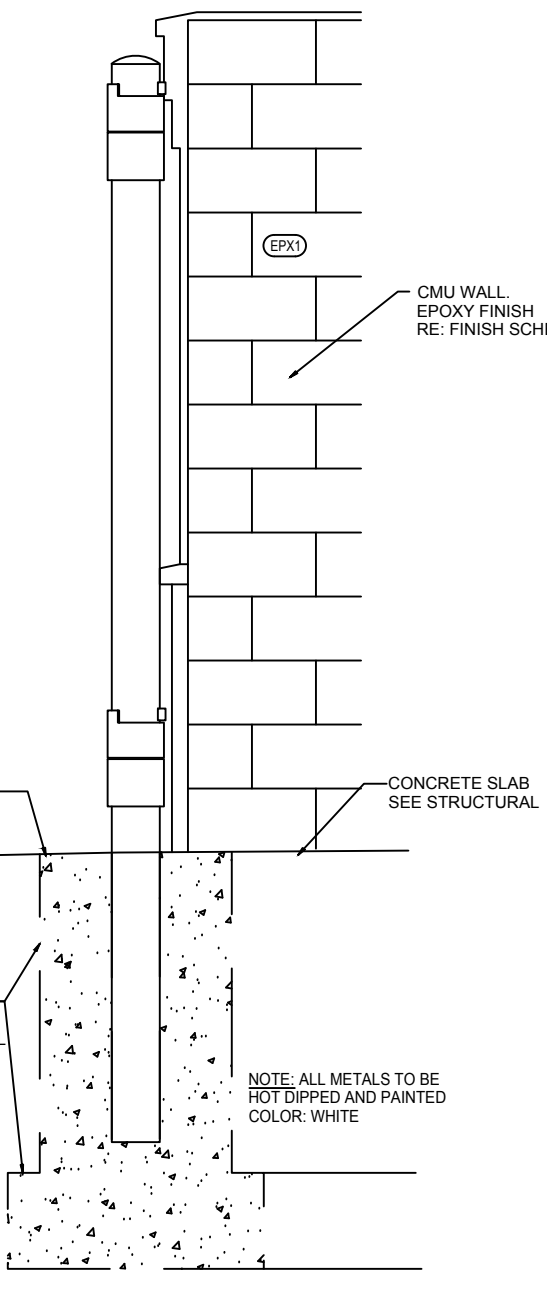
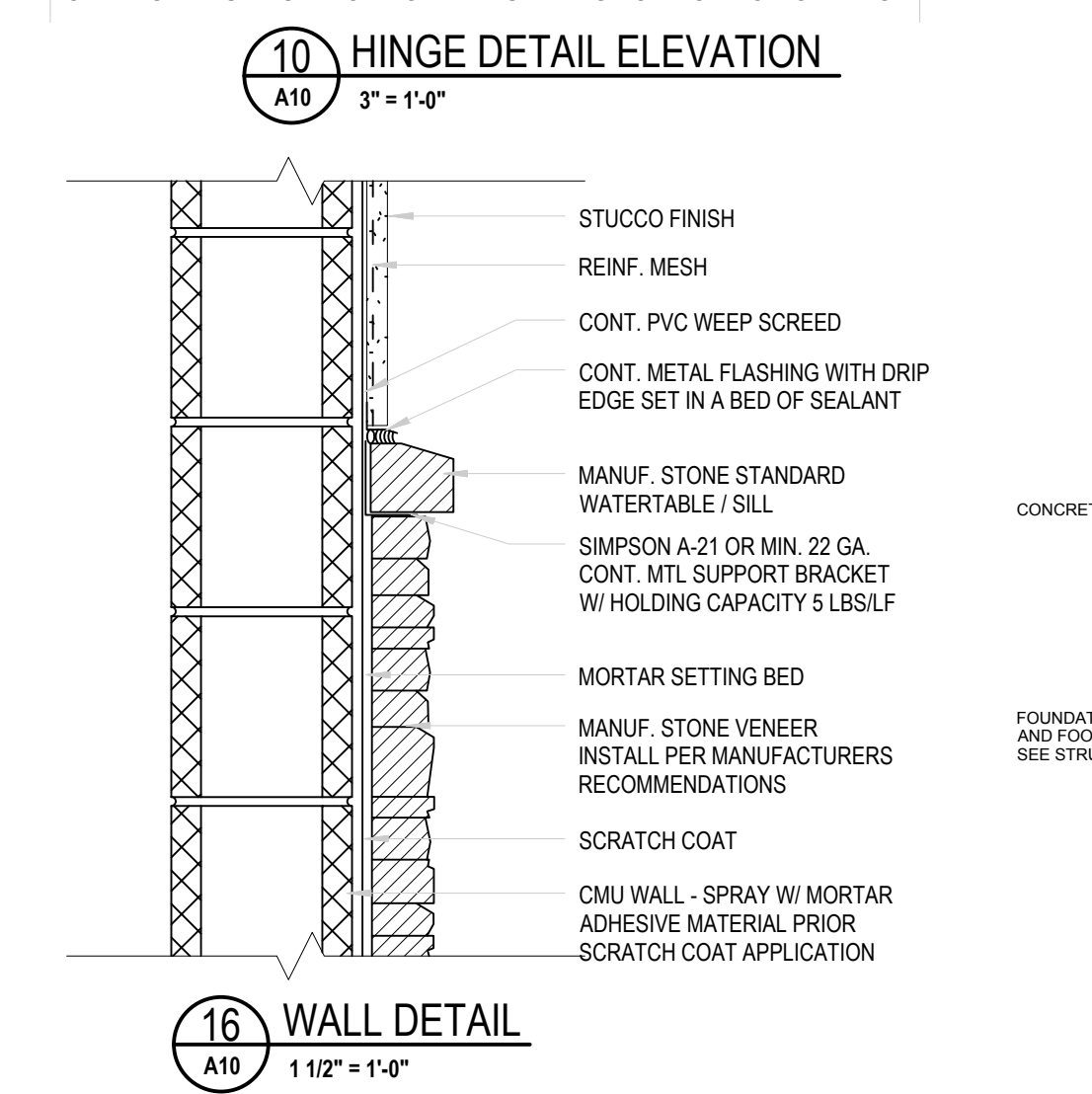
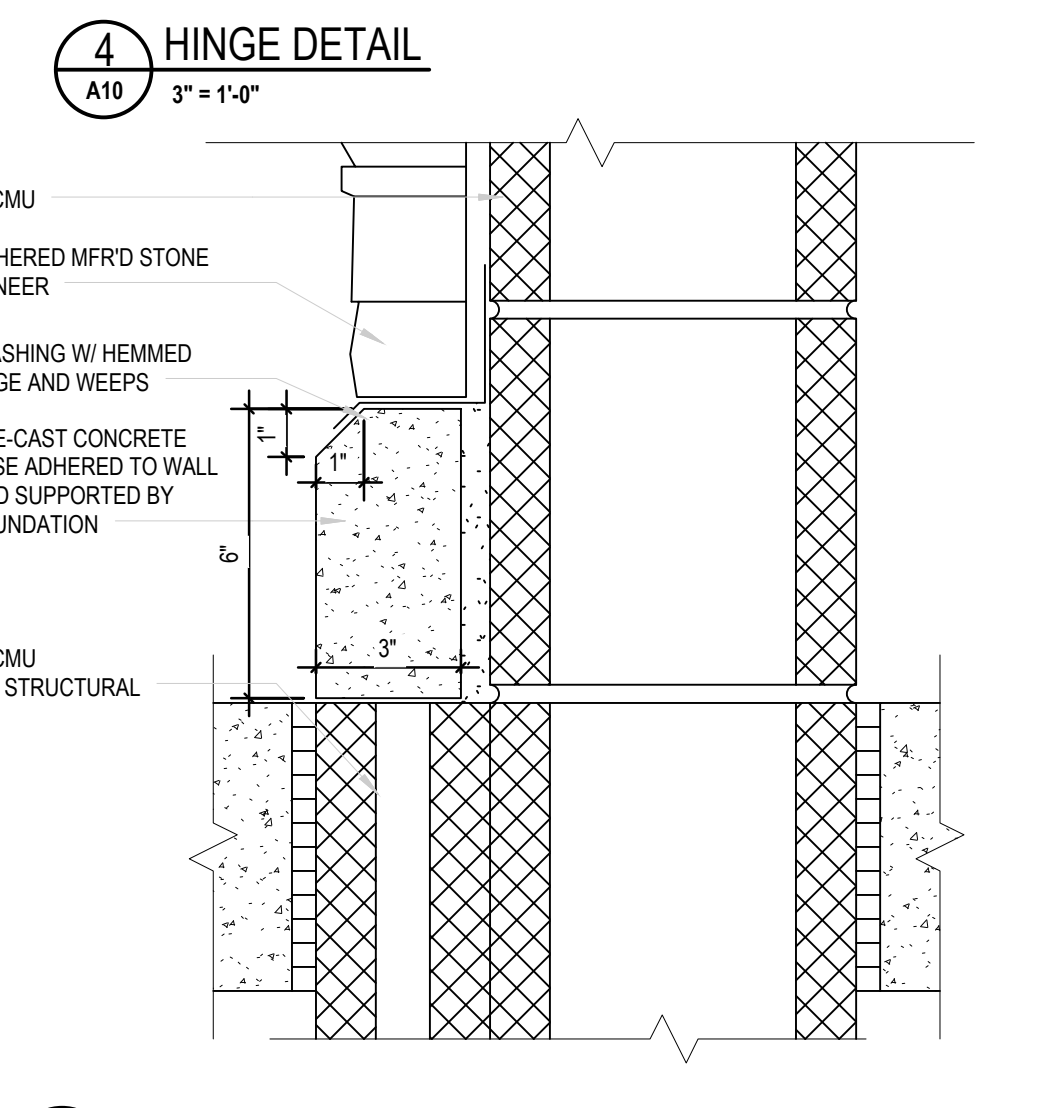
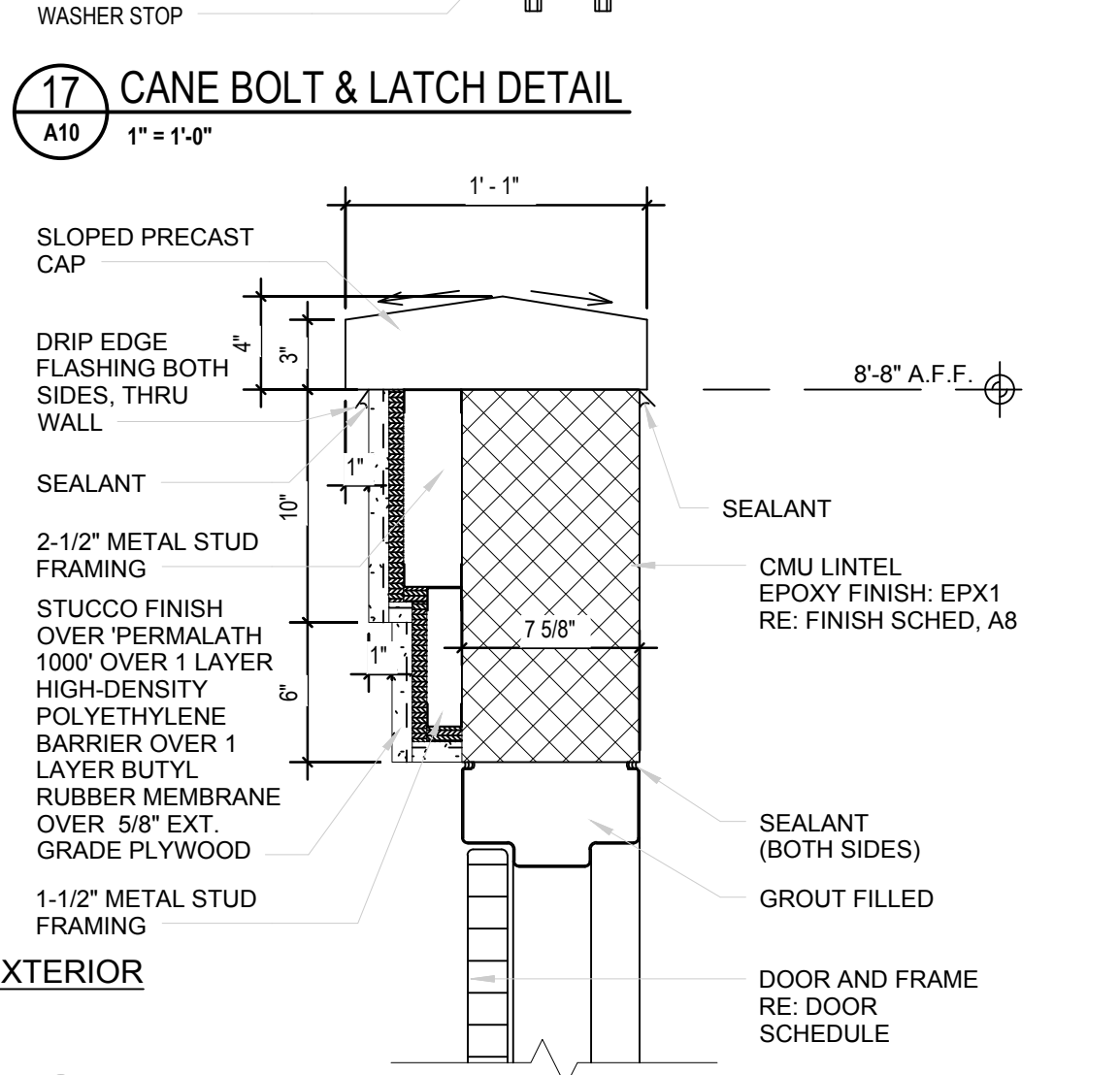
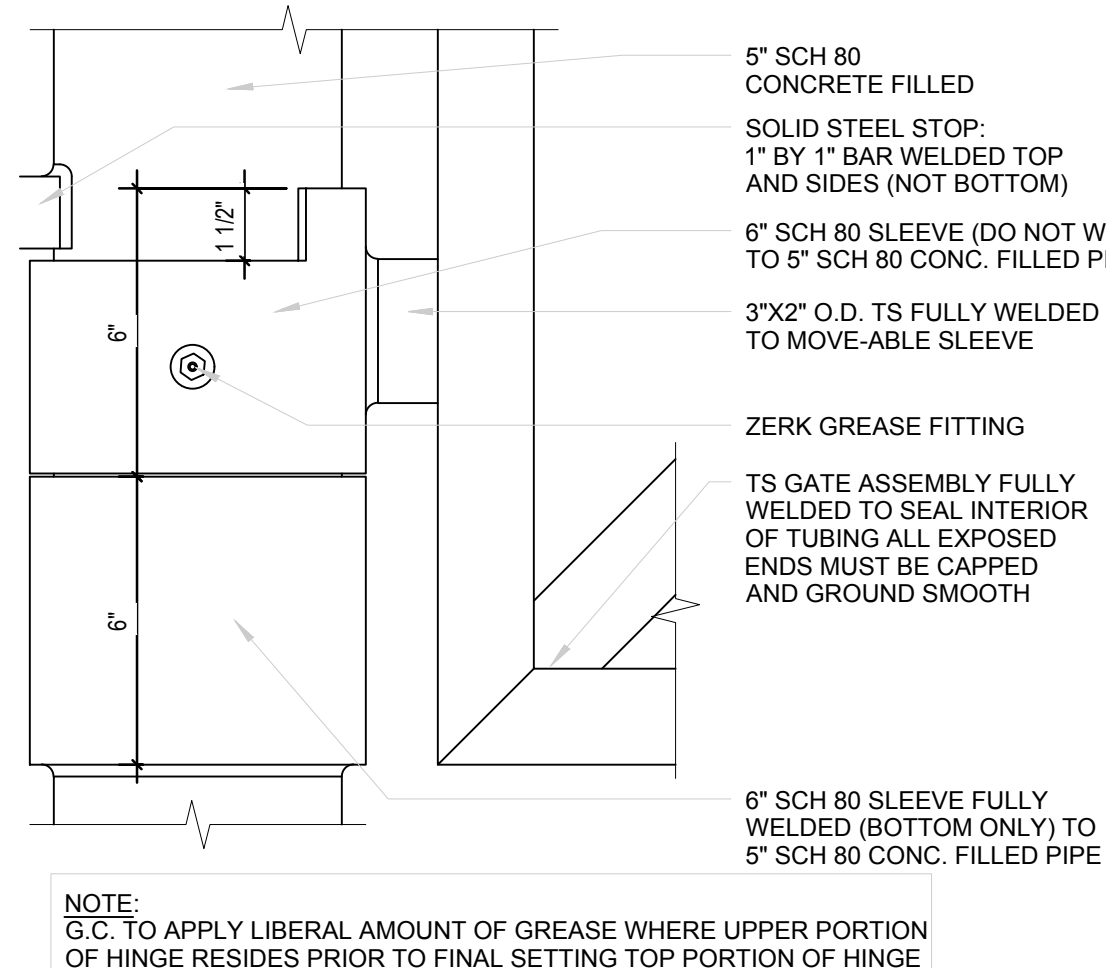
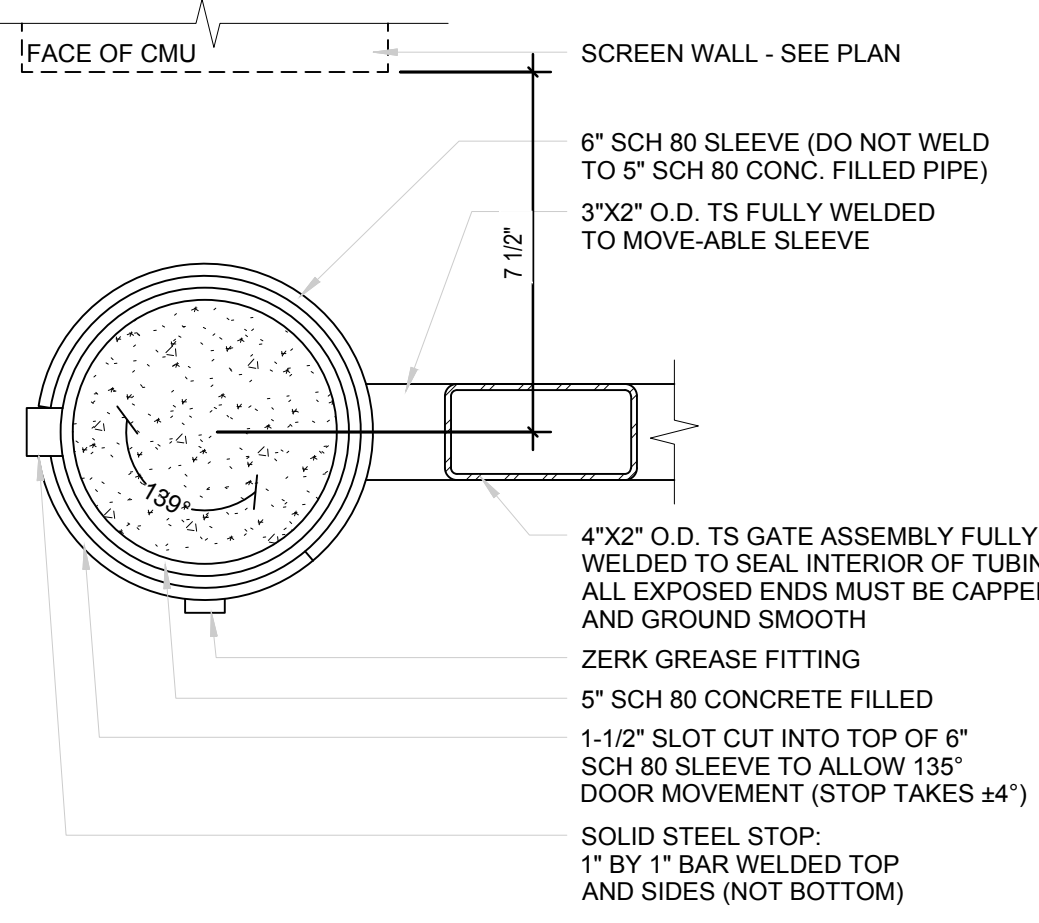
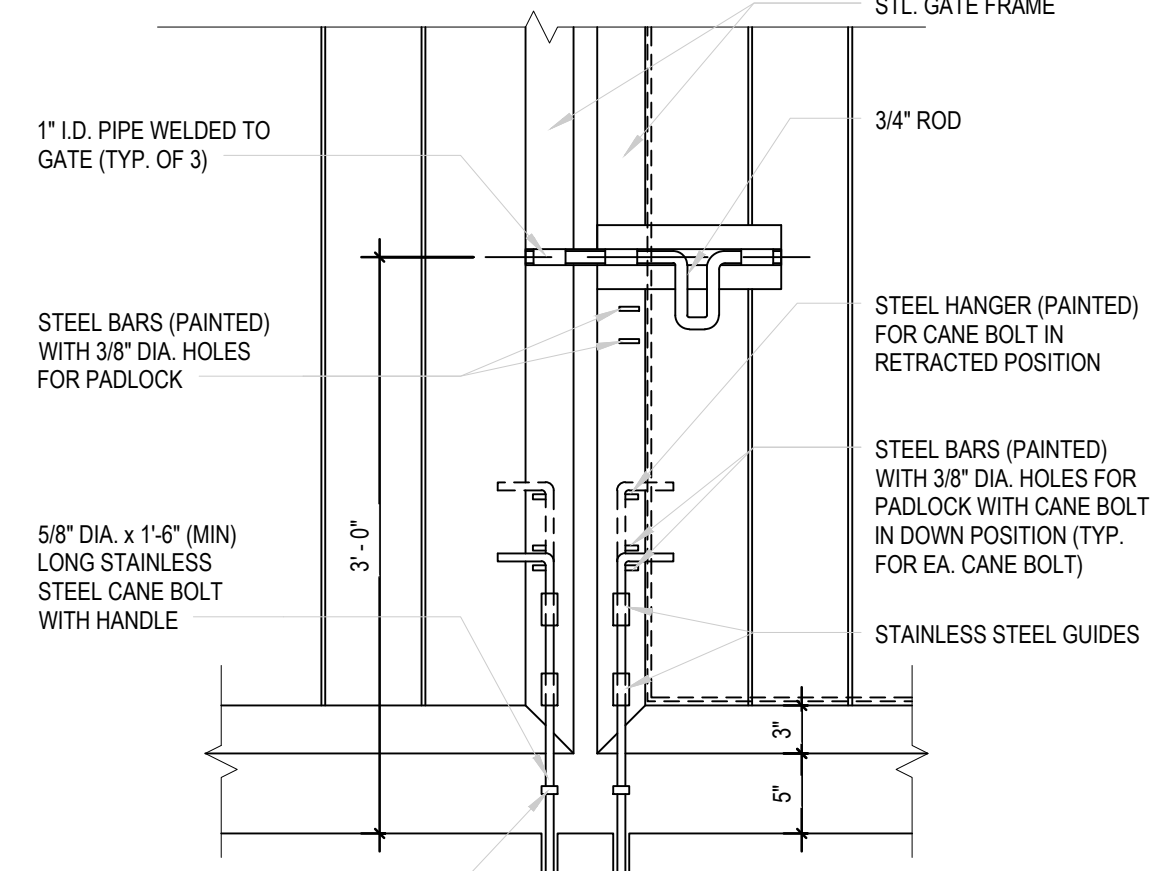
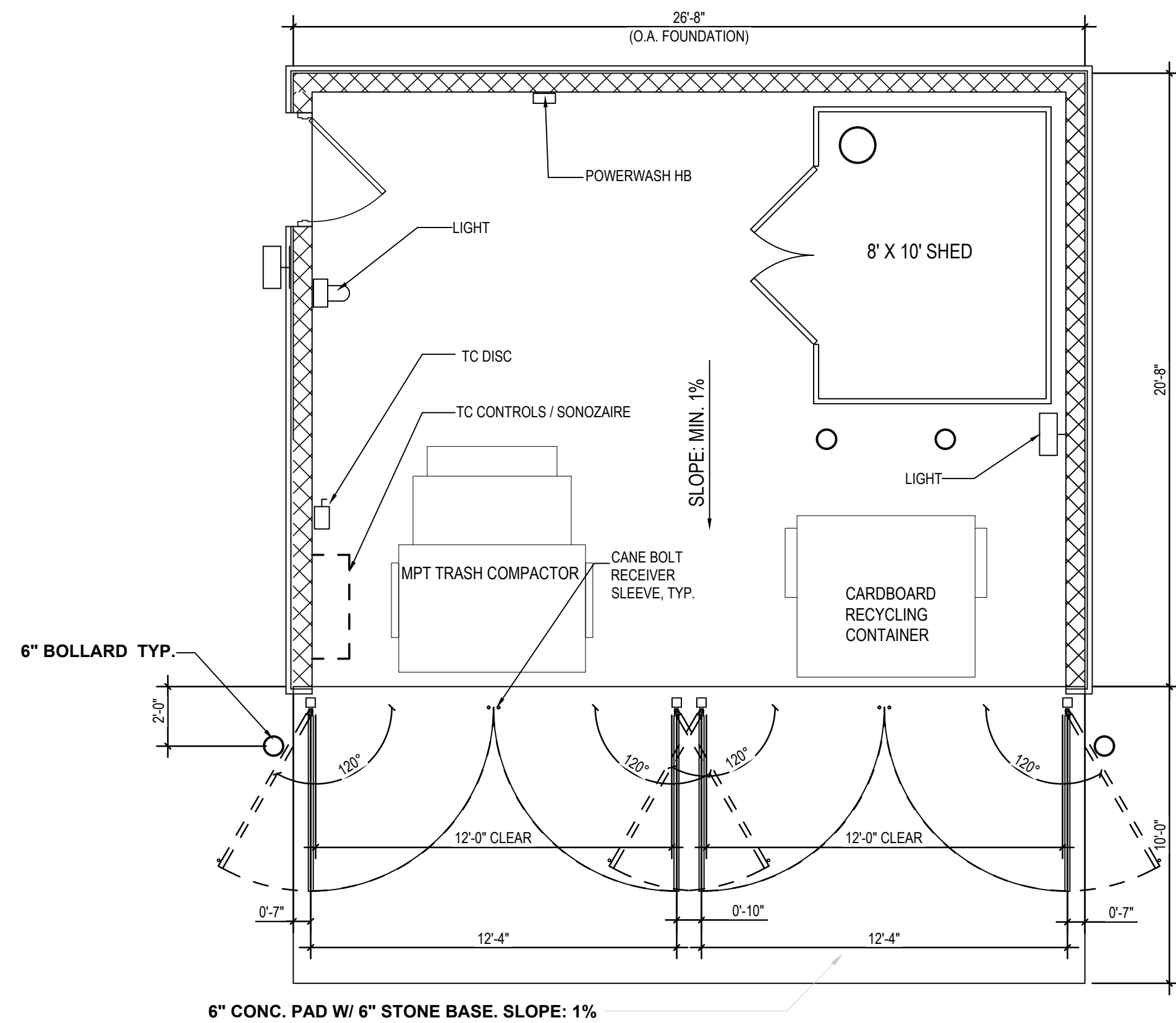
No.	DESCRIPTION	DATE	DRAWN	CHECKED
1		04/20/2016		

PROJECT NO. 2160209
DATE 04/20/2016
DRAWN
CHECKED

A4.1

EXTERIOR ELEVATIONS

DOOR SCHEDULE									
#	WIDTH	HEIGHT	THICKNESS	DOOR TYPE	DOOR MATERIAL	FRAME TYPE	THRESHOLD	HARDWARE SET	COMMENTS
TC	3'-10"	7'-0"	0'-1.3/4"	B	HM	HM	B	HW17	4" HEAD (DOUBLE DOOR) W/ BOLT HOLE IN GROUND



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4
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CLIENT NAME
WAWA
260 WEST BALTIMORE PIKE
WAWA, PENNSYLVANIA 19063

PROJECT NAME
WAWA F85 FB
Oheebobee Rd. & Jenkins Rd.
FL, Pierce, FL

SHEET TITLE
TRASH COMPOUND

Revision Schedule		Date	Description
No.	DESCRIPTION	DATE	ZONING
		06/21/2016	
		08/11/2016	

PROJECT NO.	2160290
DATE	04/20/2016
DRAWN	
CHECKED	

A10

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