

## PROJECT NARRATIVE MAYFAIR AT LAWNWOOD

### Introduction

The Mayfair at Lawnwood Project is located in the City of Ft. Pierce, St. Lucie, Florida. The property is located south of Okeechobee Road (SR 70) adjacent to the Lawnwood Regional Medical Center. The site is north of Virginia Avenue. Indian River State College and the St. Lucie County Administration Building are located along Virginia Avenue less than 1 mile from the site. These three major facilities provide potential purchasers of the units. The site is located midway between I-95, 2 miles to the west and US-1. This location is in one of the better neighborhoods of Ft. Pierce and provides a site that will meet the needs of the residents working in the immediate area. The location map to the left shows the site, road network and some of the facilities.



The project zoning is PUD/PD

The utilities for the project are extended to the site and no off-site costs are anticipated. In addition, based on a preliminary site inspection the infrastructure is nearly completed

### Previously Approved

The project is comprised of 3 parcels. The following is a table that details the three parcels:

Parcel	Parcel ID Number	Land Size (Acres)	Number of Buildings	Units
North Parcel		5.43	7	70
Middle Parcel		7.75	11	110
South Parcel		2.69	4	40
		15.87	22	220
<b>* Surveyed Size of 15.66 acres</b>				

The above information is based on the St Lucie County Property Appraiser.

The property was started in 2005 and the majority of the work was done in 2005 to 2007. The original developer was Oriole Homes. The engineer was LBFH. The architect was Jackson Kirtchner. Based on a preliminary inspection the north parcel is fully developed with the infrastructure completed including the parking lot. It appears that the pavement is in reasonable shape. The second lift of asphalt will be required. In addition, 1 of the 7 buildings has been completed and the units are in very good shape.



The middle parcel is the largest of the three with over 7.75 acres and building pads for 110 units. Based on an initial review very little of the infrastructure for the middle parcel has been installed

The southern parcel is the smallest parcel. This parcel is 2.69 acres and building pads for 40 units. Based on an initial review and a survey of the property all of the infrastructure, less pavement is installed.

The aerial above shows the three parcels. The north parcel is at the top of the aerial.

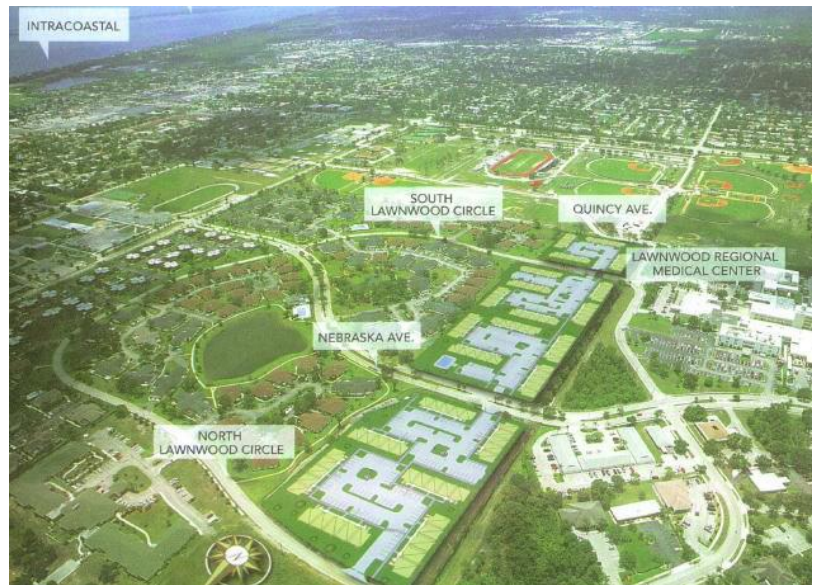
Based on a review of the site plan all the buildings are identical. The building mix is:

1 Bedroom/1.5 Bath	2 Units/ Building	44 Units
2 Bedroom/2 Bath	4 Units/Building	88 Units
3 Bedroom/2 Bath	4 Units/Building	88 Units
Total		220 Units

The units are large and range from slightly less than 1,000 Square Feet to 1,700 Square Feet. Each building is 12,500 Square Feet in Size.

The aerial over lay to the right shows the parking areas and building 22 building pads for the proposed project.

A copy of the existing Site plan is attached as Figure 1.



## Existing Building



The picture to the left shows the existing building. This 10 unit building is move in ready and has been fully maintained by the seller over the past 5 years.

### Justification

The property already has a zoning designation of PUD. This project was approved in 2005 for a total of 220 residential units. The project was partially constructed and with a large portion of the infrastructure installed and 1 of the buildings constructed. This project has been in this condition since it was abandoned in 2010/2011.

The principal justification for PUD is that the zoning exist on the property and the purpose of this amendment is to modify the master plan, change the conditions of approval and to add units to the project. A copy of the letter from the City approving the Site Plan Review for a Preliminary and Final Planned Unit Development Plan is attached.

The concept of PUD zoning is to provide a classification that will allow flexibility to more traditional zoning. These provisions were followed when the property was approved. Based on those approval a substantial amount of money was invested to construct the infrastructure and to build one of the buildings. The photographs attached are of the existing building. This building is located on the northern property.

### Current Plan

The current site plan shows ~~218 dwelling units and Residential~~, ACLF, Memory Care/Medical, Parking or Open Space use on the Southern Property. Based on the allowable 223 units the density is 14.7. This includes the 12 units per acre plus a portion of the bonus of 5 units per acre. All of the units will be 1 and 2 bedrooms. The property is located near a transit stop. This is shown on the transit map provided in the original submission. The additional density is justified by having smaller units, limiting the site to 1 and 2 bedroom units, being near a transit stop less than ¼ mile, and being an infill parcel.

The surrounding area is a transition from single/multi-family to institution. The area to the East is an established residential area with Single Family and Multi-Family Units. Many of these units have become Rental Units. The area to the West is a Regional Hospital and Medical Offices. The area to the South is a Regional Recreation area and the area to the North is vacant, with similar Land Uses to the subject Property. The proposed Use provides the transition from Residential to Institutional.

The demand for Rental Units have grown in recent years. The employment for the Regional Hospital, City and County administration offices, School Board Offices, Police and Fire, Higher Education do not have adequate and close opportunities for quality Rental Units. The proposed project will provide these units in close proximity to these potential residents.

The Land Use Comprehensive policy 1.1.5 provides for a density bonus of 5 DU/Acre. This project is within ¼ of a mile of a transit stop and will provide necessary rental housing to major employers already located on the Bus Route. It is an extension of previously granted density bonus. It is important to state

that the previously granted credits were relied on a substantial construction completion utilizing these density bonuses.

The property is located just north of a major recreation center. This center provides Active Recreation for the area. The proposed project will also have on-site recreation including a pool and cabana, BBQ pits with tables, a dog walking area and connecting walkways.

The location of this project provides a close alternative to major employment. The close proximity to a transit stop that services the majority of these employment centers will reduce the need for individual cars. With a significant employment base within walking distance the project will provide alternative housing that would allow the residents to walk to work. The proposed project will provide adequate walkways to the Regional Hospital and Bus Stop.

The Comprehensive Plan promotes development to increase the Tax Base and provide needed housing for existing and prospective residents. The proposed project meets that goal by increasing the value of the property with the construction of the proposed rental units. The proposed project if fully approved would add 218 units with a value of over \$100,000.00 per unit or \$21,800,000.00 in value. In addition, the potential increase in property values for the southern property could add an additional 3 to 5 million dollars. This increase will provide a substantial increase in the taxable base for the City.

As mentioned above the principal justification for the approval of the master plan is that the zoning exist. This is a modification to an expired master plan. The original developer, utilizing this zoning, made a significant investment to the property. The limited residential development in the city can be enhanced by this development. The close proximity to the major employers in the City and the location of the existing bus stop make this an attractive alternative to housing for many of the City existing and potential residents, and the significant increase in the tax base. It is for these reasons that the projects proposed plan is justified.

**Existing and Proposed Land Use Tables**

The following is a Land Use Table of the existing and the proposed design criteria for the PUD:

**Land Use Table**

Parcel ID	Acreage
2416-504-0199-000-1	5.35 acres
2416-504-0199-050-6	7.75 acres
2416-504-0199-200-3	2.69 acres
Total	15.8 acres <sup>±</sup> <b>15.66 acres Surveyed</b>
Existing Land Use	RM – Residential Medium
Proposed Land Use	RM – Residential Medium
Existing Zoning	PUD /PD
Proposed Zoning	PUD /PD
Adjacent Zoning	
North	R-4
South	OS-1
East	PUD /PD
West	C-1
FEMA Firm	12111C0187J
Flood Zone	X

	<b>Existing</b>	<b>Proposed</b>
Maximum Building Height	3 Story (35 Feet)	Residential 2 Story (24 Ft.) Commercial 3 Story (35 Ft)* *(Subject to Further Approval)
Property Set-back		
North		15 Feet
South		15 Feet
East		25 Feet
West		15 Feet
Building Separation	25 Feet	25 Feet
Open Space	20%	25% (Min.)
Parking		
Required	1.5 Spaces per unit (345)	1.5 Spaces per Unit (327)
Provided		1.71 Spaces per Unit (373)
HC Parking		
Required		2% (8)
Provided		11 % ( 44)

**Development of the Southern Parcel**

The development of the Mayfair property is based on the density of the property including the bonus density. Based on the analysis the allowable density is 223 residential units. This is based on the applying the ¼ mile distances to the % of the property and adding the 5 DU/Acre bonus. Based on the 187.92 units and the 35.25 units a total of 223 units are permitted to be constructed on the 3 parcels. The current plan being considered is as follows:

- North Parcel     86 Units
- Middle Parcel   132 Units
- South Parcel    Other Uses
- **Total**         **218 Units**

The plan is to construct units on the North and Middle parcel (218 Units). This would allow an additional 5 Units that could be constructed on the South Parcel.

The proposal is to construct the North two parcels with the residential units as shown on the PD plan that has been submitted. The South Parcel would be considered for construction of the following:

**Authorized Uses: The following uses considered require application for Design Review for approval:**

**Residential**     Maximum number of units without reducing the units in the North or Middle parcel is 5. In the event that all of the 218 units are not constructed on the North and South parcels then the excess units up to the 223 units can be constructed on the southern parcel.

**ACLF/Memory Care** The number of beds permitted on the property can be equated to 8 beds per unit or 40 beds. The use for the site would be restricted to the 40 beds unless there is an additional transfer of units from the North or Middle parcel. The 25 foot buffer, including the 6' buffer wall and landscaping will be constructed as part of the ACLF. The 25' Buffer will be constructed in the initial 3 months of the construction of the improvements.

**Open Space** The Southern Parcel may be used to increase the Open Space for the adjacent property. The increase in the open space will permit the construction of impervious improvements on the adjacent property. The use of the southern parcel to increase the open space for the adjacent property will require the southern property to be put in to a conservation easement. The use of the property will still require the site to have a 25 ft. buffer along the eastern edge. If during the planning stage the need to construct a 6' high wall is unnecessary, then it can be eliminated.

**Uses Requiring Major Amendment PD: The following uses considered would require the filing of a Major Amendment to the PD, Development Plan prior to further consideration for approval:**

**Medical** Limited Commercial Office and Support Facilities that complement the facilities that are concentrated around the Lawnwood Regional Medical Facility. The development on the South Parcel would be limited to:

- 30,000 Square Feet of building area with a FAR under .3.
- 2 Stories or 30 Feet in Height.
- Minimum Setback to building and Parking of 25 Feet, The Proposed 25 Buffer as previously required to be constructed along the Eastern Property Line. A 6' High Panel Wall constructed of Concrete to be constructed along the Eastern Property Line. (Timing of wall construction? From other segments, it suggests that it would be deferred until further development)
- The Medical use shall follow the appropriate City Code in the design and development of the site
- The proposed project will be in accordance with Figure 6.

**Parking** Limited Commercial Parking to support the demands generated by the Lawnwood Regional Medical Center. The development of the parking lot would require a 25' buffer along the eastern property line. The Proposed 25 Buffer as previously required to be constructed along the Eastern Property Line. A 6' High Panel Wall constructed of concrete to be constructed along the Eastern Property Line.

The Site Lighting would be limited, so that the allowable foot-candle at the eastern property line will be limited to .2 ft. candles.

The Parking lot shall be construed to meet all of the requirements as outlined in the City Code. All portions of the code including landscape, irrigation, buffers required will need to be followed in the design of the parking area. The approval of the use of the parking lot will need to be approved by the TRC.

The proposed project will be in accordance with Figure 7.

## **Architecture**

The intent is to develop the new buildings for the rental portion of the project utilizing the same architectural style of the initial building constructed on the site. Figures 3, 4 and 5 are color elevations of the proposed buildings

## **Rental vs. Owner Occupied**

When we first looked at the project we considered the building a condominium building or a for sale project. After we did our research we found that it would be impractical to do a condominium project since the value of units in the surrounding area is depressed. In order to see if there has been a change we have done some research and looked at what units are on the market. I have attached a copy of that analysis. Based on the research we find that the average unit is selling for slightly over \$40.00 per square feet. Since the construction cost plus land and infrastructure is over \$95.00 per square feet you can see that it is totally impractical to construct this project as a for sale project.

We also did a review of the units to the east that have homestead exemptions filed. I have attached a plan that shows the units that do and do not have homestead exemptions. The units that have been colored HAVE homestead exemptions. The ones that HAVE NOT been colored do not have homestead exemptions. I have also attached a table that identifies the number and percentages. As you can see 46% of the units do not have homestead exemptions. While this is not a complete analysis to show the number of "RENTAL" units it is a strong indication that the units are either rental or used seasonally by the owners.

The property is close to the existing transit line, right at ¼ of a mile, next door to 1,600 employees of HCA, close to many office buildings with employees. We have designed the project with professional and potentially shared units. This is the reasoning for the predominately 1 and 2 bedroom units. We have also reduced the sizes to allow us to upgrade the units and still provide reasonable rates to attract the professionals in the Hospital, State College, City and County employees, and School Board Employees that will be able to take advantage of the location and the proximity to the existing transit system.

## **Pedestrian Circulation**

I have attached a plan showing the existing, proposed and on-site side walk plans. The plans shows the interconnection to the existing system and some enhancements that we can make to complete the system. As we discussed we proposed to construct sidewalks on a minimum of one side of any adjacent street. Where there is existing walkways on the opposite side we would also construct sidewalk on that side. Where there are No walkways to the east or west we would proposed to construct sidewalks off our property to complete the network. We are fully commit to construct the number of feet of sidewalk required to have sidewalks on all adjacent streets to the property. We would like to work with the staff to identify a complete plan to service this project and the surrounding area.

## **Traffic**

The traffic impact of the proposed project is based on the original proposal for the development of 266 Apartments. Based on the study the impact of the 1,769 Average Daily Trips and 165 PM Peak Hour trips did not adversely impact the project will operate at satisfactory level of service. The current proposal is for the development of 218 units on the north and center parcel. Based on ITE code 220 the revised project will generate 1450 Average Daily Trips and 135 PM Peak hour trips. The southern parcel has various options.

The memory Care Unit traffic is based on ITE Code 255. This option adds 96 ADT and 6.8 Peak Hour Trips. This option generates less trips than was indicated in the traffic study.

The Office option is based on ITE Code 720. The 30,000 SF building generates 1,089 ADT and 107 PM Peak Hour Trips. In order to construct this option an updated traffic study would be required as part of the amendment to justify the use.

## **Phasing**

The approval of the plans by the City Commission for the PD and Master Plan will start the phasing of the project. This PD approval is referenced as the "Plan Approval".

The project will be developed into multiple phases. Phase 1 includes the north parcel and will have 10 existing and 76 additional units for a total of 86 units. The initial phase will start with the cleaning of the site, improving the landscaping and the renting of the exiting units. The marketing of the units will commence immediately upon the Plan Approval and it is anticipated that the building plans will be submitted for permit within 6 months of the Plan Approval. The initial phase of new building construction will start within 12 to 18 months after the Plan Approval and be constructed in 2-3 years. The entire time of phase 1 is 3-4 years from the plan approval.

The 2<sup>nd</sup> phase includes the middle parcel and is dependent on the success of renting the northern parcel. The 2<sup>nd</sup> phase could start in as little as 2 years after the Plan Approval and be completed in 3-4 years. It is anticipated that the 2<sup>nd</sup> phase will be completed in 6-7 years after the Plan Approval.

The last phase is not dependent on the first two phases and will be marketed separately of the initial two phases. It is anticipated that the 3<sup>rd</sup> phase can be done in the same timeframe of 6-7 years.

The above phasing plan is the extreme time needed to develop the property and it is anticipated that the phases will be completed prior to the dates outlined above.







From Bankim

Figure 3 Front Elevation



Figure 4 Rear Elevation



Figure 5 Side Elevations

- **Proposed Building Elevations Building**
- **Existing Structure**
- **Site Development Plans**
- **Landscape Plans (Overall Site & Individual Building)**
- **Proposed Sidewalk Plan**
- **Neighboring Densities & Occupancy - Maps & Data**
- **Transit Bus Routes**
- **Capacity Analysis & Traffic Study**

➤ **Proposed Building Elevations Building**



Front Elevation



Rear Elevation



Left Side Elevation

Right Side Elevation



## **Existing Structure**

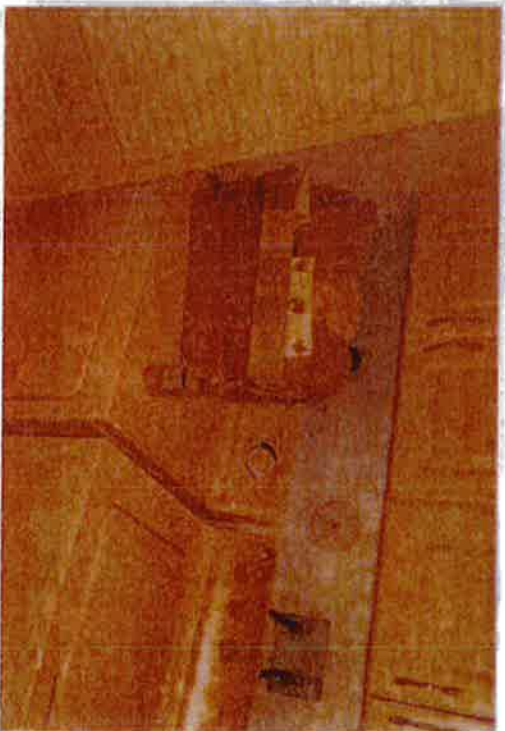
# Mayfair at Lawnwood

Photographs - Exterior



# Mayfair at Lawnwood

Photographs – Interior Model



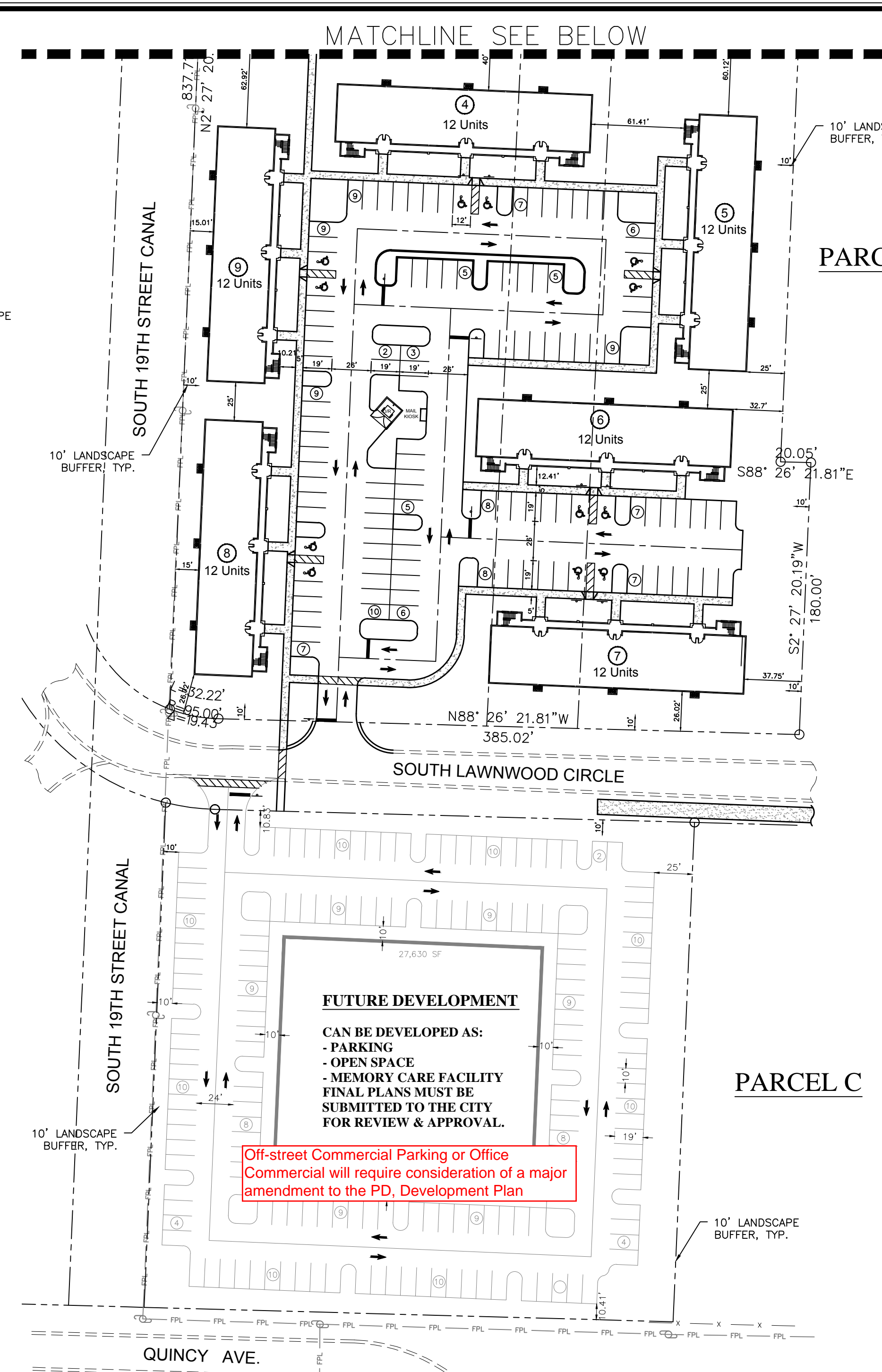
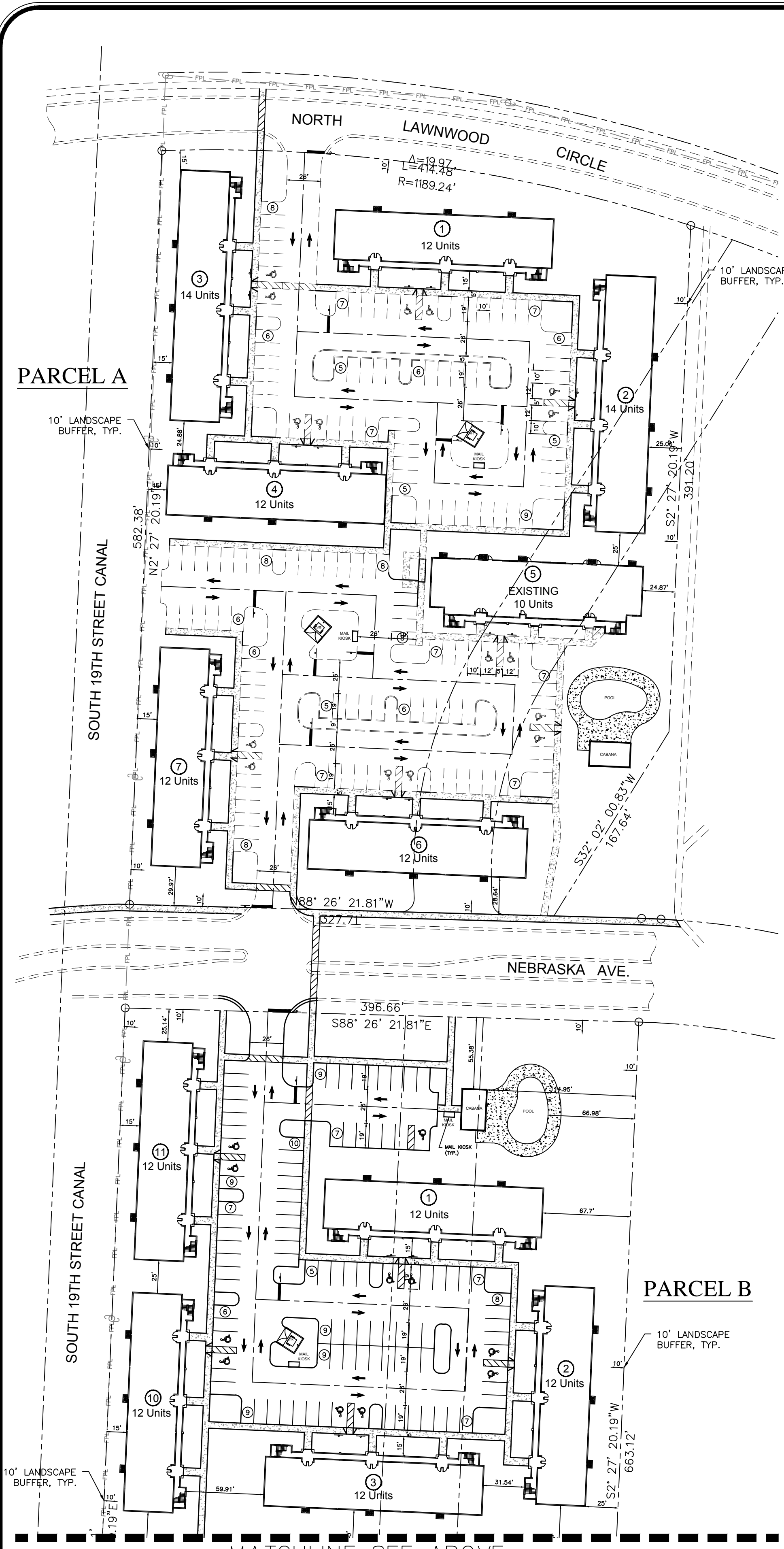


## **Site Development Plans**

Overall Site Plan  
Preliminary Paving & Drainage



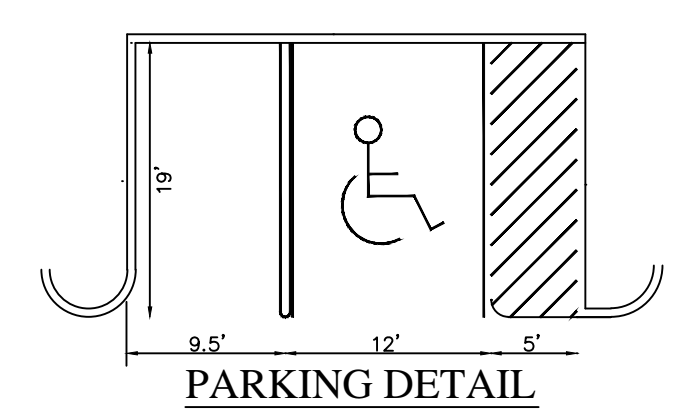
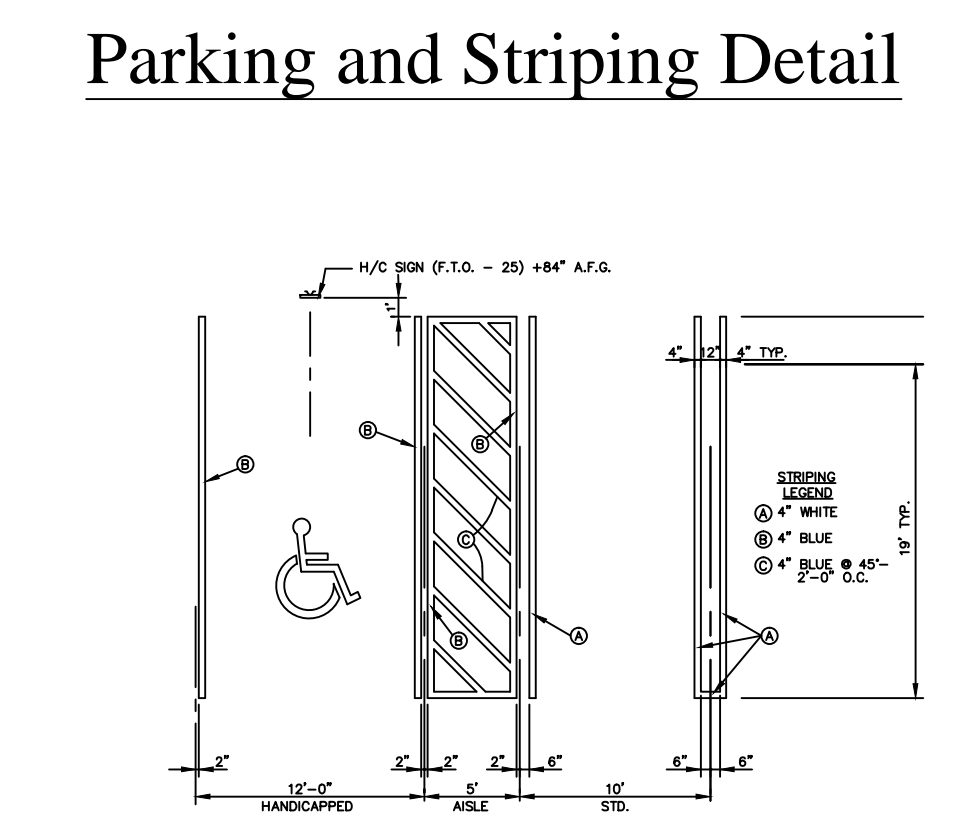
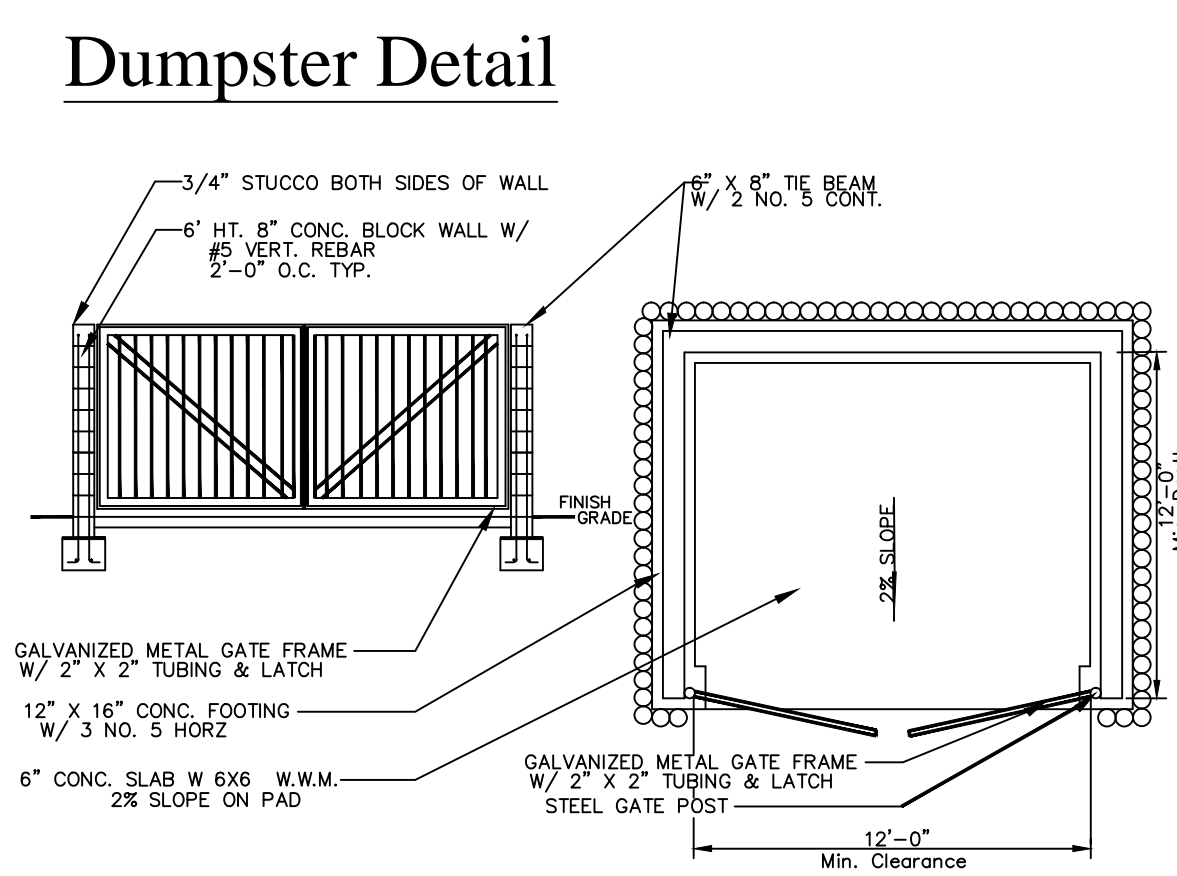
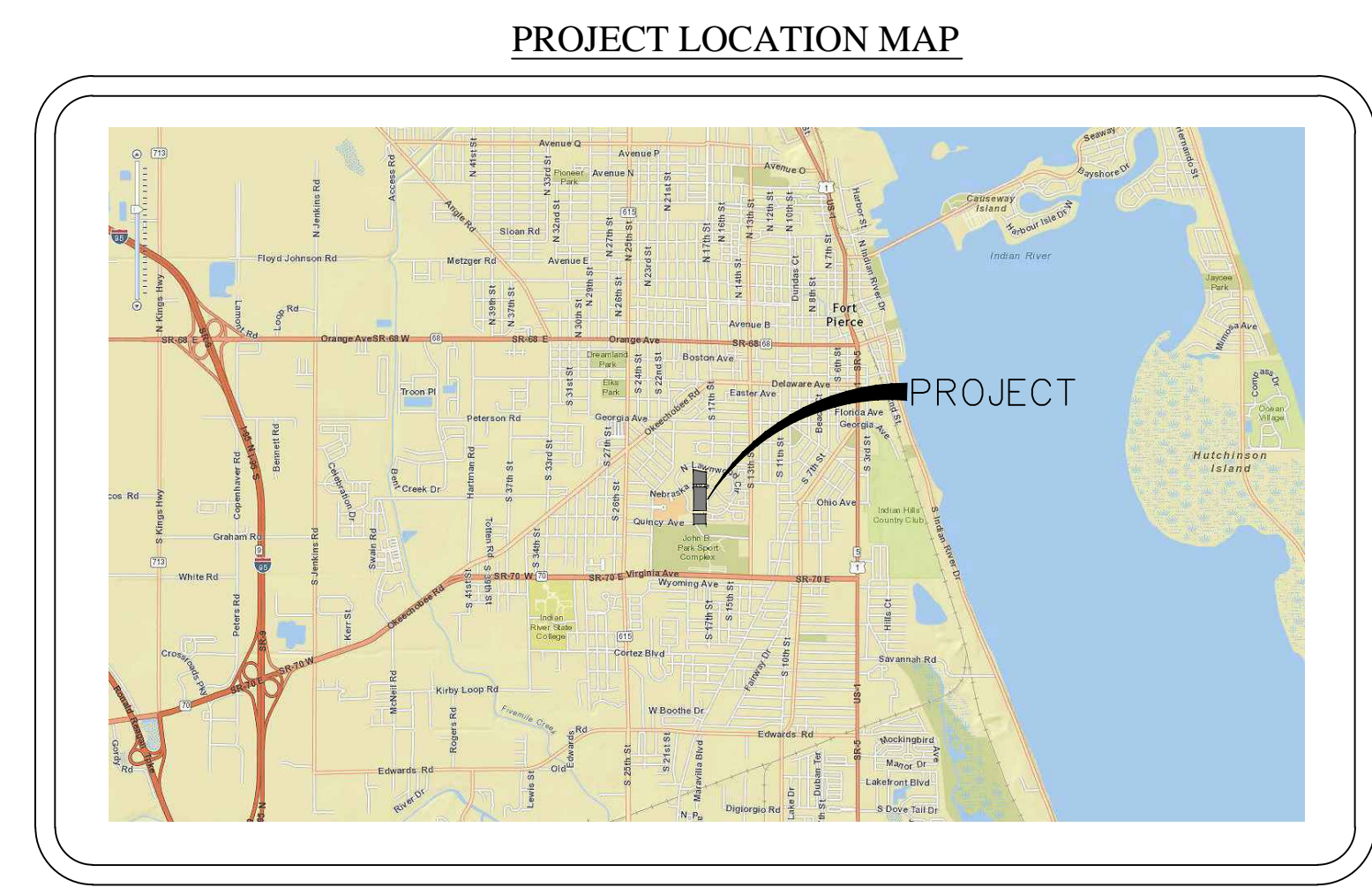
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	North	Middle	South	Total
Gross Area	5.24	7.76	2.66	15.66
Pervious				
Water Management	0.06	0.51	0.20	0.77
Other	1.86	2.66	0.95	5.47
Total	1.92	3.17	1.15	6.24
Impervious				
Buildings	1.27	1.91	0.70	3.88
Pavement	1.68	2.21	0.71	4.60
Walkways	0.28	0.38	0.11	0.77
Pool/Cabana	0.09	0.09	0.00	0.18
Total	3.32	4.59	1.52	9.43
Open Space	1.88	2.81	1.01	5.70
Area	5.24	7.76	2.66	15.66
%	35.84%	36.25%	37.97%	36.40%

**FUTURE DEVELOPMENT**  
 CAN BE DEVELOPED AS:  
 - PARKING  
 - OPEN SPACE  
 - MEMORY CARE FACILITY  
 FINAL PLANS MUST BE SUBMITTED TO THE CITY FOR REVIEW & APPROVAL.

Off-street Commercial Parking or Office Commercial will require consideration of a major amendment to the PD, Development Plan



	Parcel A	Parcel B	Parcel C	Total
Gross Area	5.24	7.76	2.66	15.66
# of Buildings	7	11	0	18
1 BR	40	66	0	106
2 BR	42	66	0	108
3 BR	4	0	0	4
	86	132	0	218
	16.41	17.01	0.00	13.92
Required Parking				
1.5 Spaces Per Unit	129	198	0	327
Provided	151	224	0	375
Parking Ratio	1.76	1.70	0.00	1.72

The property has a zoning of PUD and an overall density of 13.86. The underlying Land Use is Medium with a 6.5 to 12 DU/Acre. There is a bonus program for 5 additional units for a total of 17. The site should qualify for the total bonus.

**SITE DATA**

PARCEL ID NUMBER: PARCEL A 2416-504-0199-000-1 5.35 AC  
 PARCEL B 2416-504-0199-050-6 7.75 AC  
 PARCEL C 2416-504-0199-200-3 2.69 AC

PARCEL AREA: 15.8 +/- AC

EXISTING LAND USE: MULTI-FAMILY  
 PROPOSED LAND USE: MULTI-FAMILY

EXISTING PARCEL ZONING: PUD  
 PROPOSED PARCEL ZONING: PUD  
 ADJACENT EXISTING ZONING: NORTH: R4  
 SOUTH: OS1  
 EAST: PUD  
 WEST: C-1

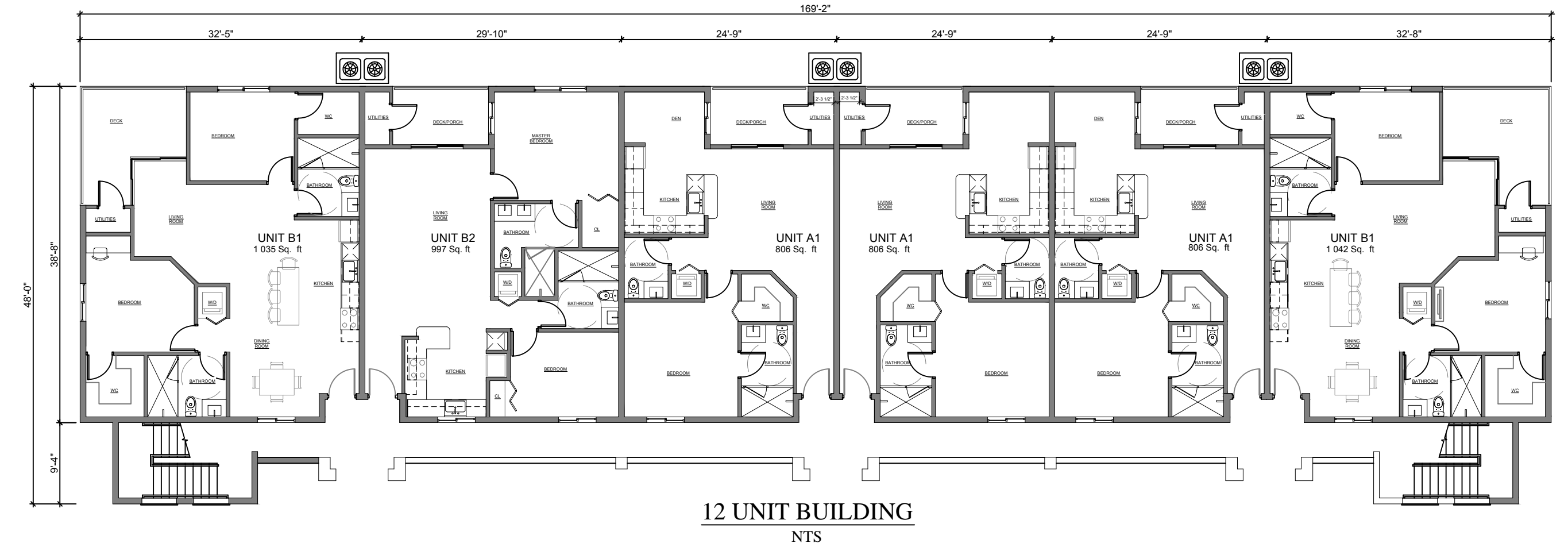
FEMA F.L.R.M. FLOOD ZONE: #12111C0187J  
 X

BUILDING SETBACKS: REQUIRED 15' PROVIDED

REAR: SIDE:

MAXIMUM BUILDING HEIGHT: 35'

PARKING CALCULATIONS:  
 REQUIRED: MULTI-FAMILY 1.5 SPACE / 1 D.U. @ 218 D.U. = 327  
 PROPOSED: 375 SPACES @ 1.72 SPACES PER UNIT  
 ACCESSIBLE PARKING REQUIRED: 9  
 ACCESSIBLE PARKING PROVIDED: 39



**IBI GROUP (FLORIDA) INC.**  
 ENGINEERS SURVEYORS PLANNERS  
 LANDSCAPE ARCHITECTS ENVIRONMENTAL CONSULTANTS  
 2200 PARK CENTRAL BLVD. N.  
 SUITE 101  
 MAITLAND, FLORIDA 32751  
 (407) 860-2120  
 ORLANDO  
 POMPANO BEACH

**MAYFAIR FORT PIERCE, FLORIDA**

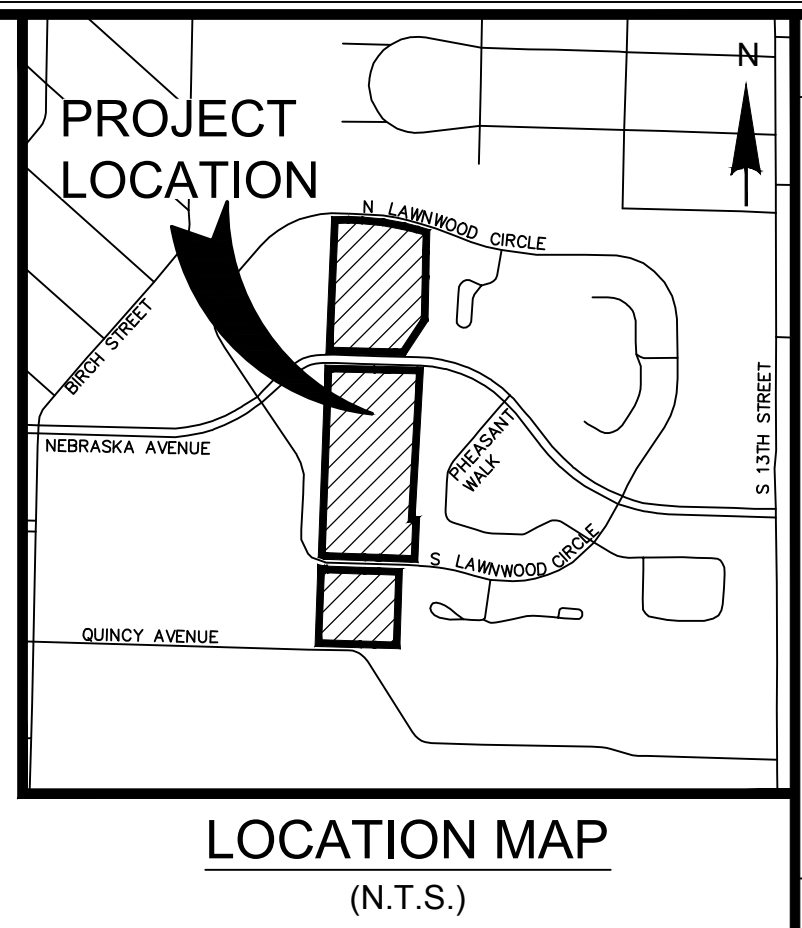
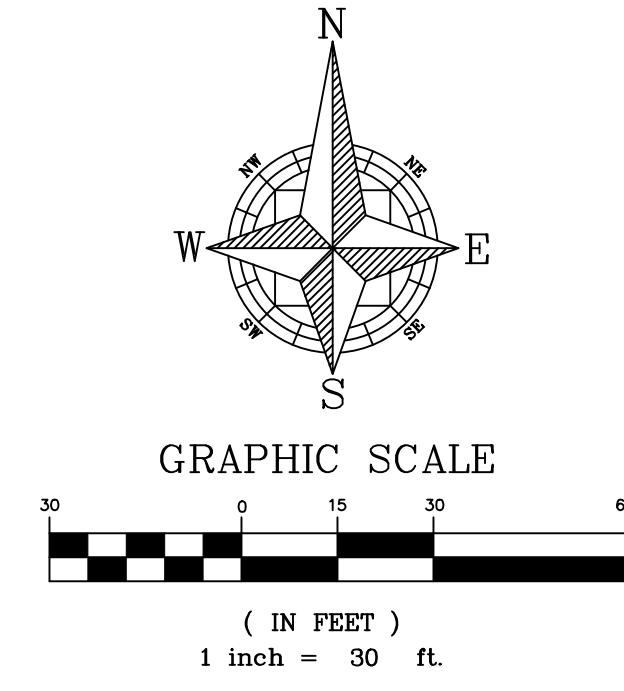
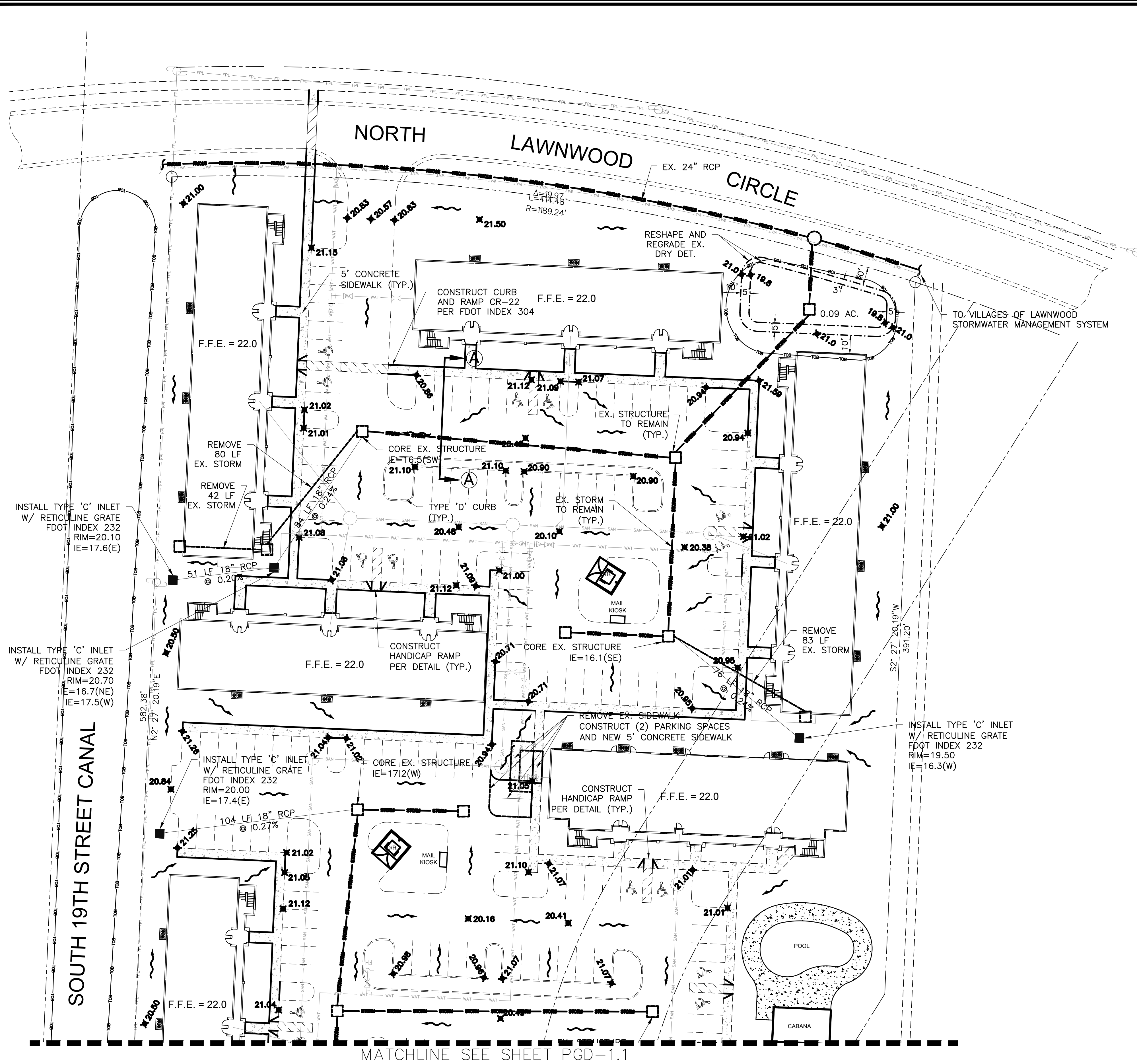
**SITE PLAN**

SCALE: 1" = 60'  
 PROJECT: 38890  
 SHEET: SP-1.0  
 DATE: 3/15/2016

IBI GROUP  
 FLORIDA ENGINEERING  
 BUSINESS NO. 2966

3/16/16

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**LEGEND**

	PROPOSED WATER MAIN
	PROPOSED GATE VALVE
	PROPOSED FIRE HYDRANT ASSEMBLY WITH VALVE
	PROPOSED WATER MAIN FITTINGS (REDUCER, TEE, BENDS)
	EXISTING WATER MAIN
	EXISTING WATER MAIN FITTINGS (TEE, GATE VALVE, REDUCER)
	EXISTING FIRE HYDRANT ASSEMBLY WITH VALVE
	PROPOSED SANITARY SEWER MAIN
	PROPOSED SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER MAIN
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED STORM SEWER
	PROPOSED STORM CATCH BASIN
	EXISTING STORM SEWER
	EXISTING STORM CATCH BASIN
	PROPOSED GRADE ELEVATION

INSTALL TYPE 'C' INLET W/ RETICULINE GRATE FDOT INDEX 232 RIM=20.10 IE=17.6(E)

INSTALL TYPE 'C' INLET W/ RETICULINE GRATE FDOT INDEX 232 RIM=20.70 IE=16.7(NE) IE=17.5(W)

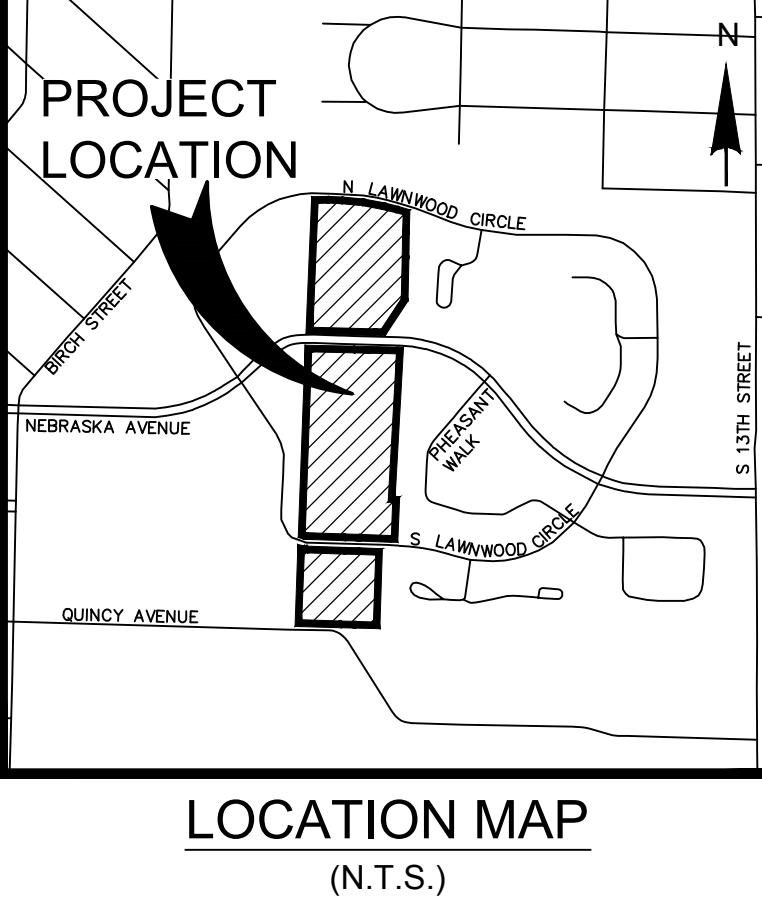
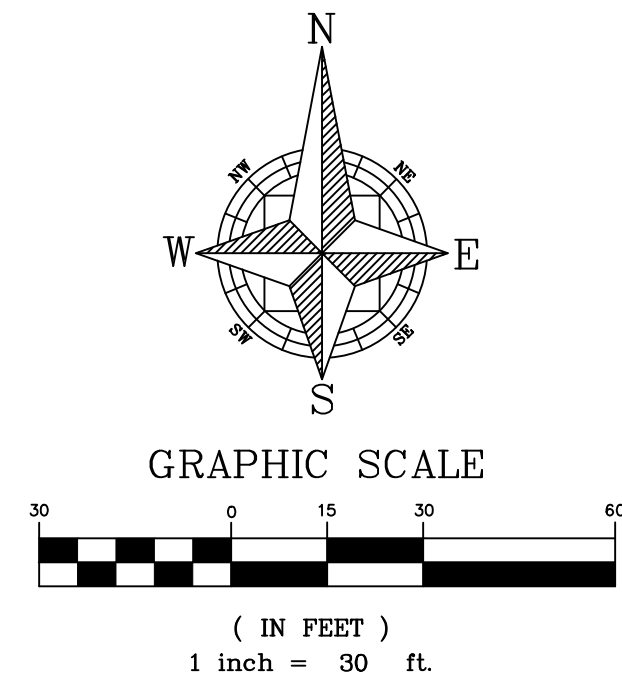
SOUTH 19TH STREET CANAL

MATCHLINE SEE SHEET PGD-1.1

<b>IBI GROUP (FLORIDA) INC.</b>				PLANNERS SURVEYORS ENVIRONMENTAL CONSULTANTS		POMPANO BEACH	
ENGINEERS LANDSCAPE ARCHITECTS				2200 PARK CENTRAL BLVD. N. SUITE 101 POMPANO BEACH, FLORIDA 33064 (954) 974-2200 (407) 860-2120		ORLANDO	
MAYFAIR FORT PIERCE, FLORIDA				PAVING, GRADING AND DRAINAGE PLAN			
SCALE 1" = 30'	DRAWN: BW	DESIGNED:	CHECKED: RW	DATE: 3/15/2016			
PROJECT 38890	SHEET PGD-1.0						
<b>IBI GROUP</b> FLORIDA ENGINEERING BUSINESS NO. 2966				NOT FOR CONSTRUCTION 3/16/16			

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MATCHLINE SEE SHEET PGD-1.0

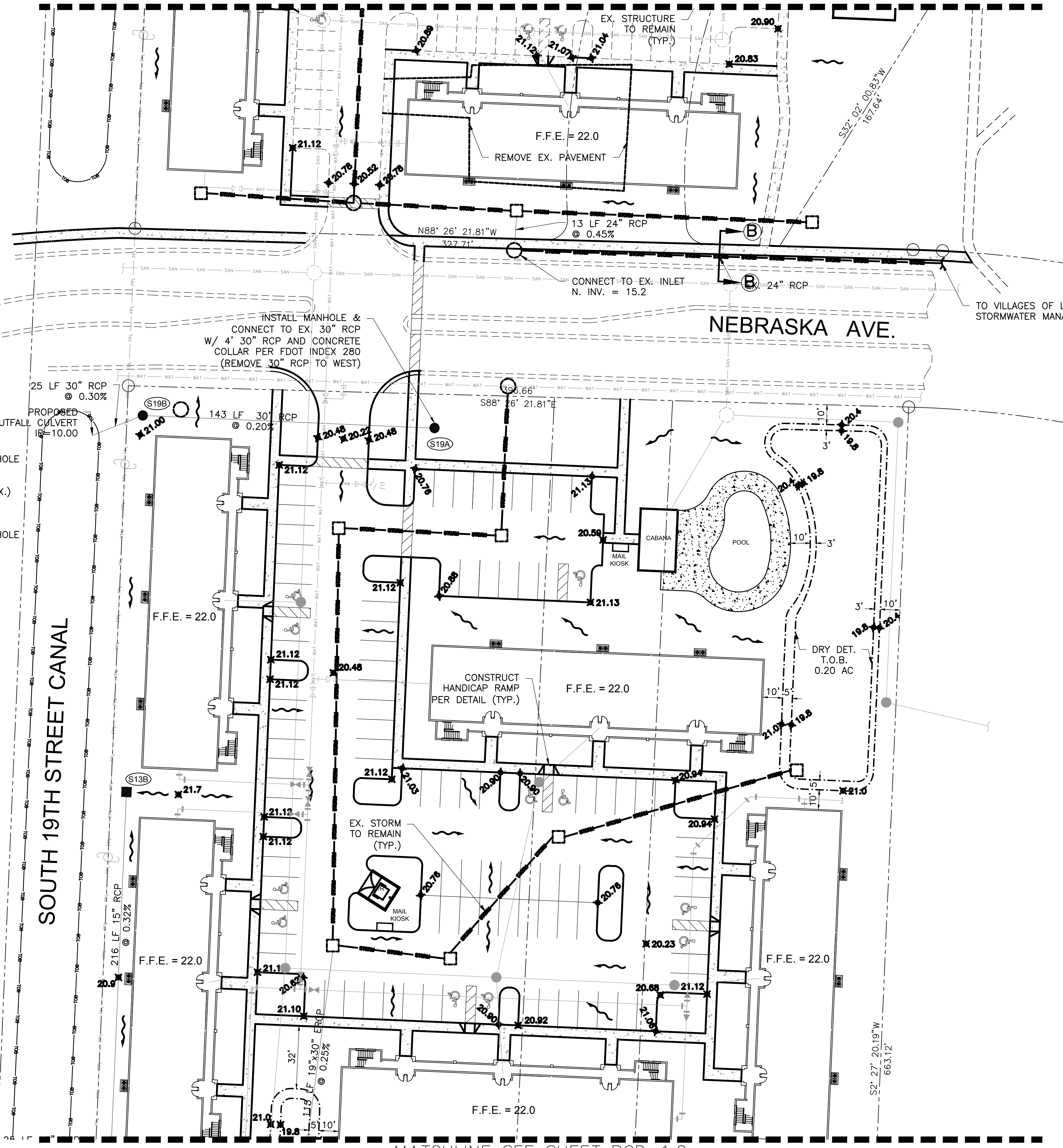


**LEGEND**

	PROPOSED WATER MAIN
	PROPOSED GATE VALVE
	PROPOSED FIRE HYDRANT ASSEMBLY WITH VALVE
	PROPOSED WATER MAIN FITTINGS (REDUCER, TEE, BENDS)
	EXISTING WATER MAIN
	EXISTING WATER MAIN FITTINGS (TEE, GATE VALVE, REDUCER)
	EXISTING FIRE HYDRANT ASSEMBLY WITH VALVE
	PROPOSED SANITARY SEWER MAIN
	PROPOSED SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER MAIN
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED STORM SEWER
	PROPOSED STORM CATCH BASIN
	EXISTING STORM SEWER
	EXISTING STORM CATCH BASIN
	PROPOSED GRADE ELEVATION

- (S19A) INSTALL TYPE J7-T MANHOLE  
FDOT INDEX 200 & 201  
RIM=20.80  
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IE=11.1(W)
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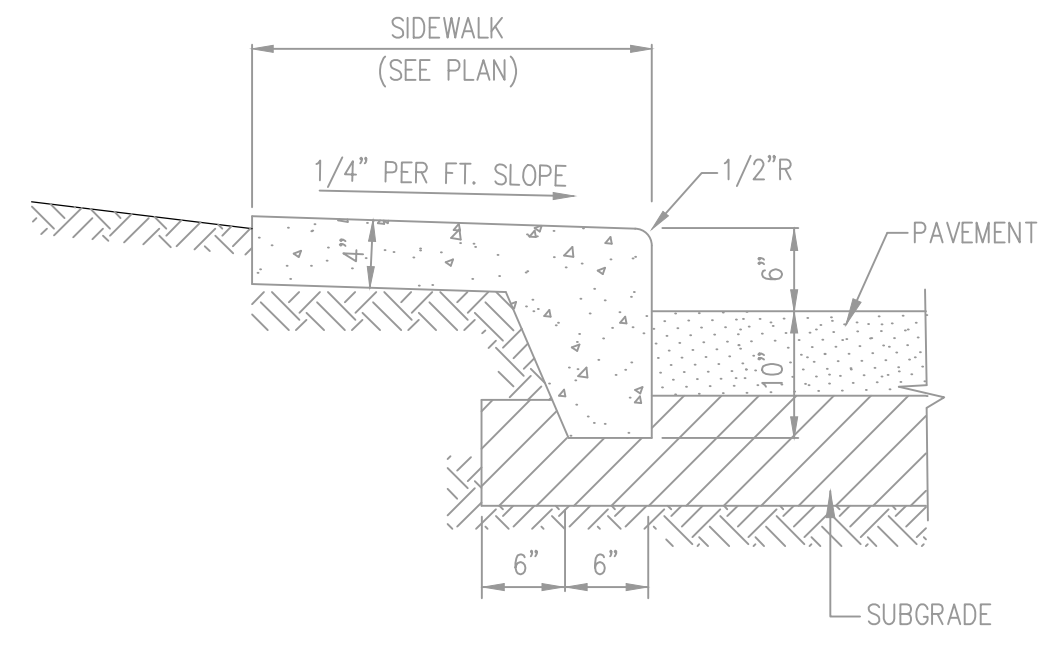


MATCHLINE SEE SHEET PGD-1.2

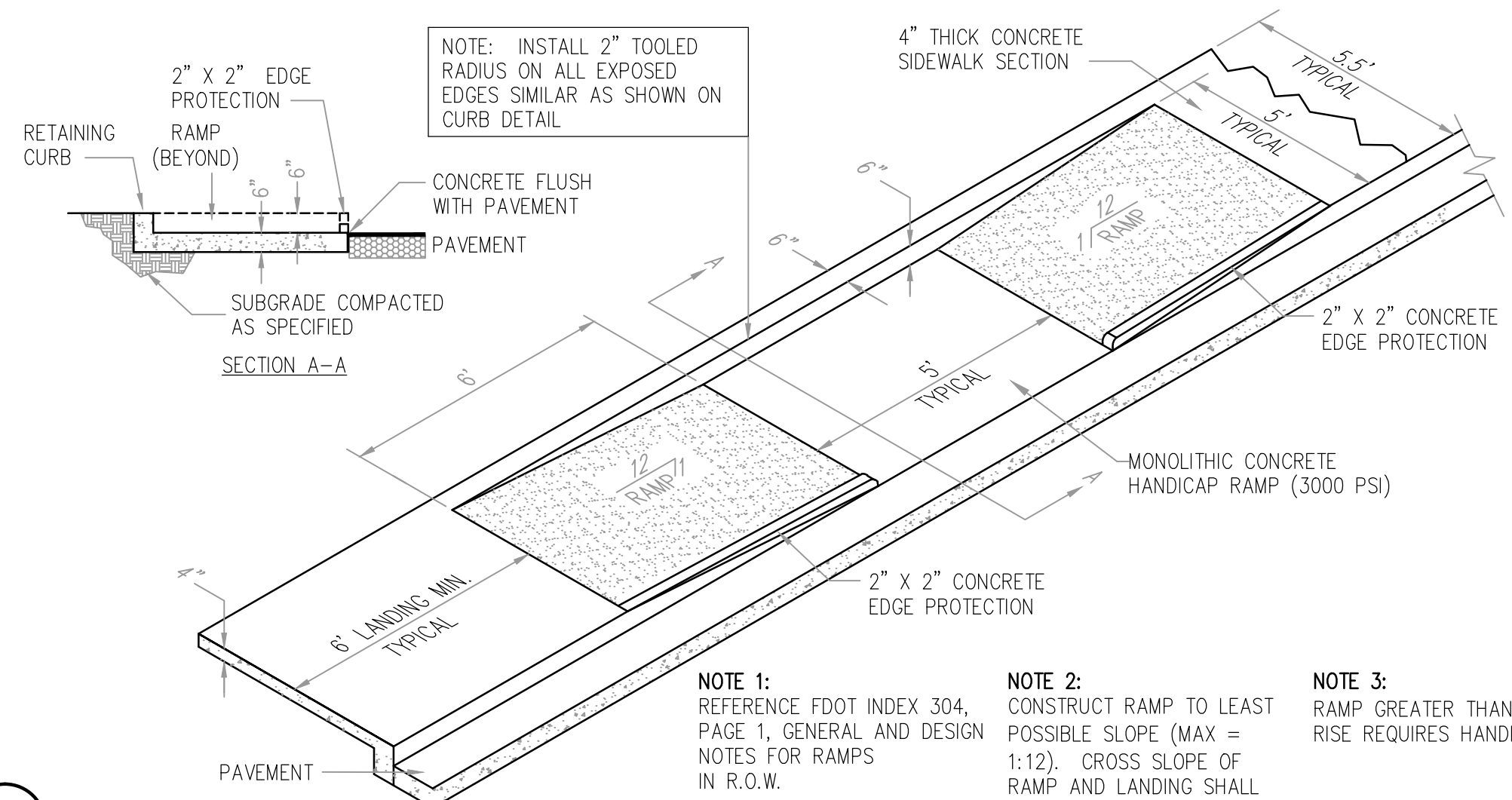
IBI GROUP (FLORIDA) INC. ENGINEERS SURVEYORS PLANNERS LANDSCAPE ARCHITECTS ENVIRONMENTAL CONSULTANTS		2200 PARK CENTRAL BLVD. N. SUITE 100 MAITLAND, FLORIDA 32751 (407) 866-2120		POMPANO BEACH ORLANDO	
MAYFAIR FORT PIERCE, FLORIDA		PAVING, GRADING AND DRAINAGE PLAN		SCALE 1" = 30'	DATE 3/15/2016
DRAWN: BW		DESIGNED:		PROJECT 38890	SHEET PGD-1.1
CHECKED: RW		DATE:		IBI GROUP FLORIDA ENGINEERING BUSINESS NO. 2966	
NOT FOR CONSTRUCTION					



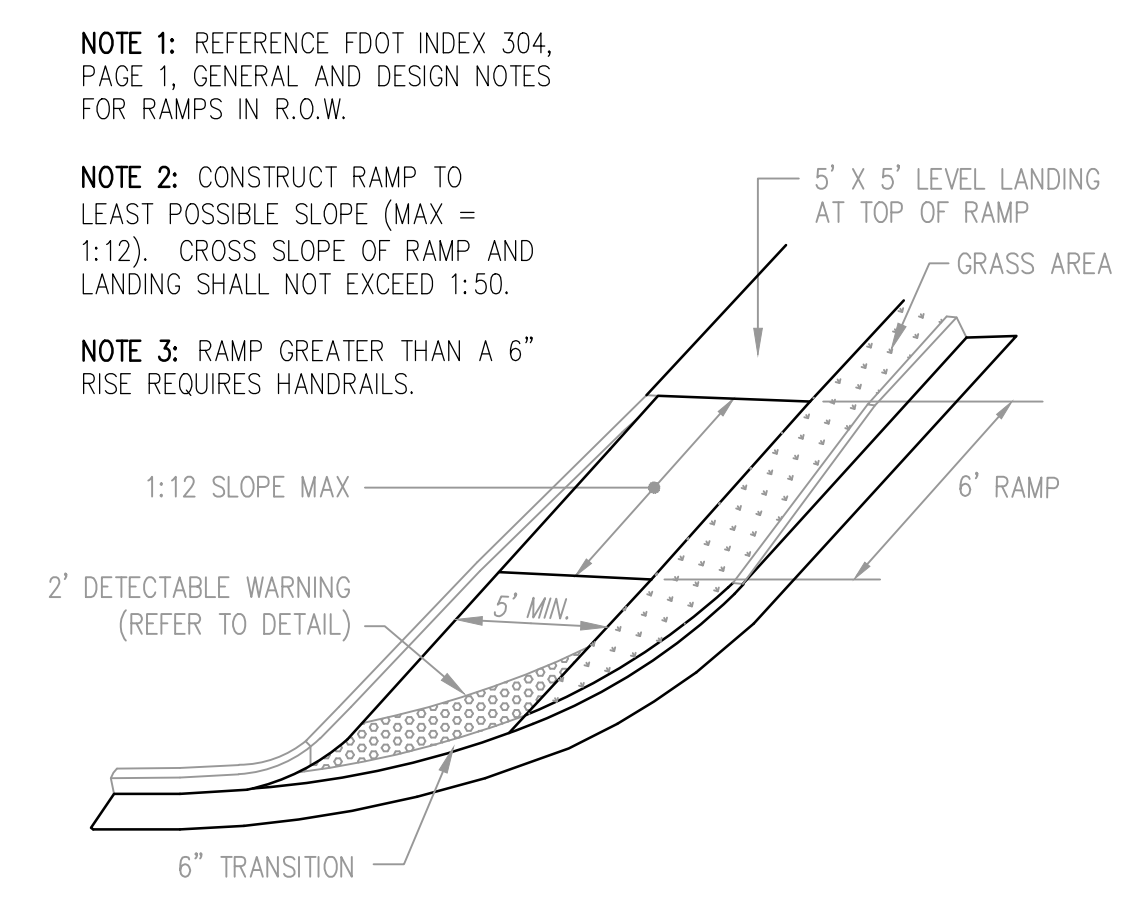




**(X) MONOLITHIC CURB AND SIDEWALK**  
3,500 PSI (MIN)

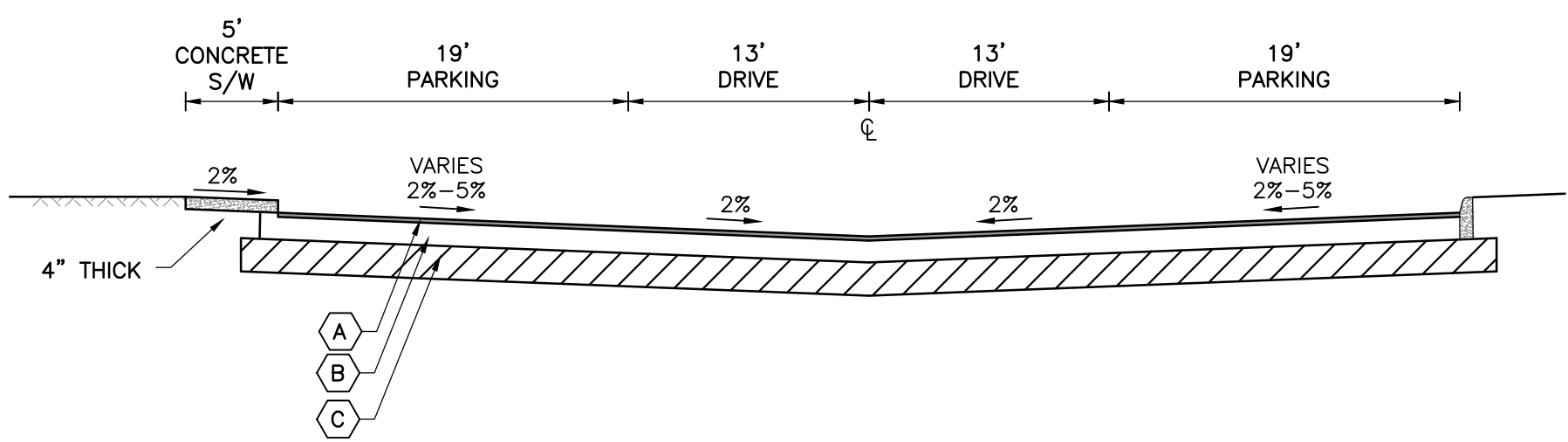


**(X) SIDEWALK HANDICAP RAMP**  
3000 PSI (MIN.) CONCRETE

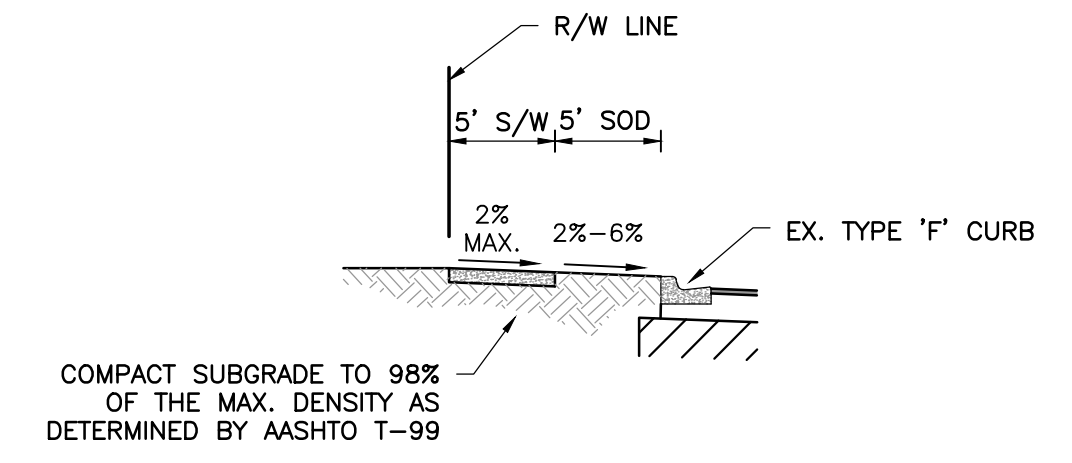


**(X) CORNER RAMP**  
3000 PSI (MIN.) CONCRETE

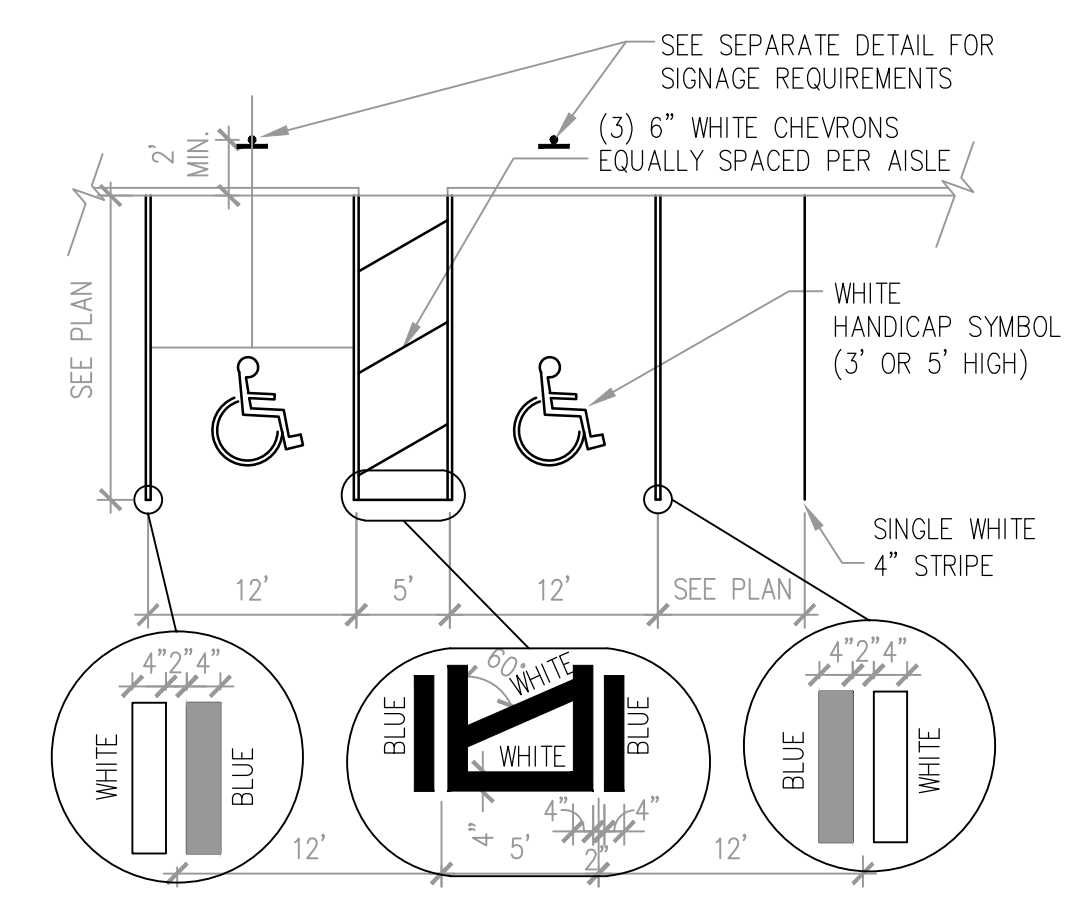
- PAVING LEGEND**
- A 1.5" TYPE S-III ASPHALTIC CONCRETE SURFACE COURSE (IN TWO 3/4" LIFTS)
  - B 8" LIMEROCK BASE COURSE, LBR 100 PRIMED ENTIRE WIDTH
  - C 12" STABILIZED SUBGRADE, LBR 40



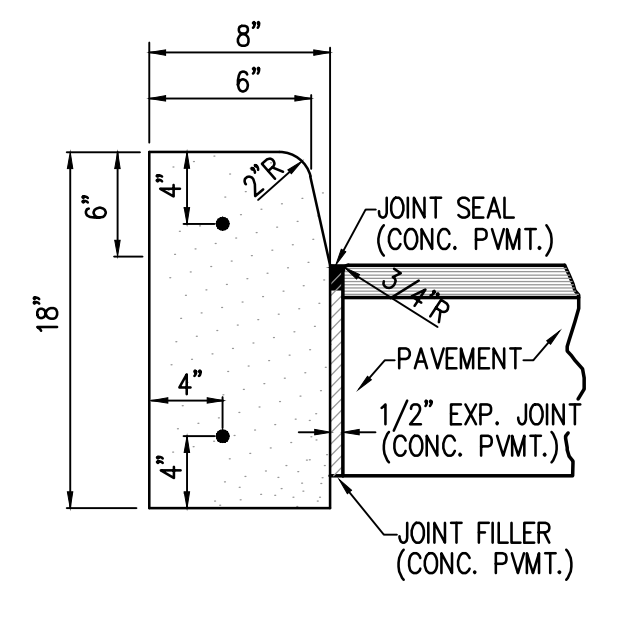
TYPICAL SECTION A-A



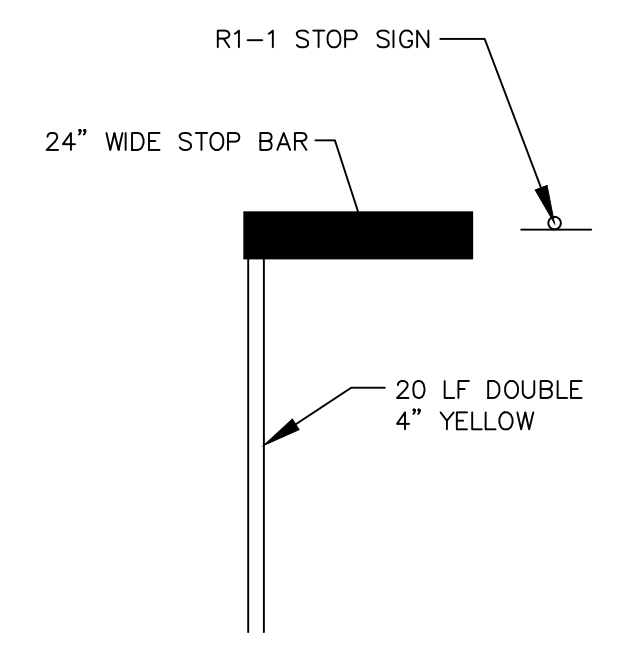
TYPICAL SECTION B-B



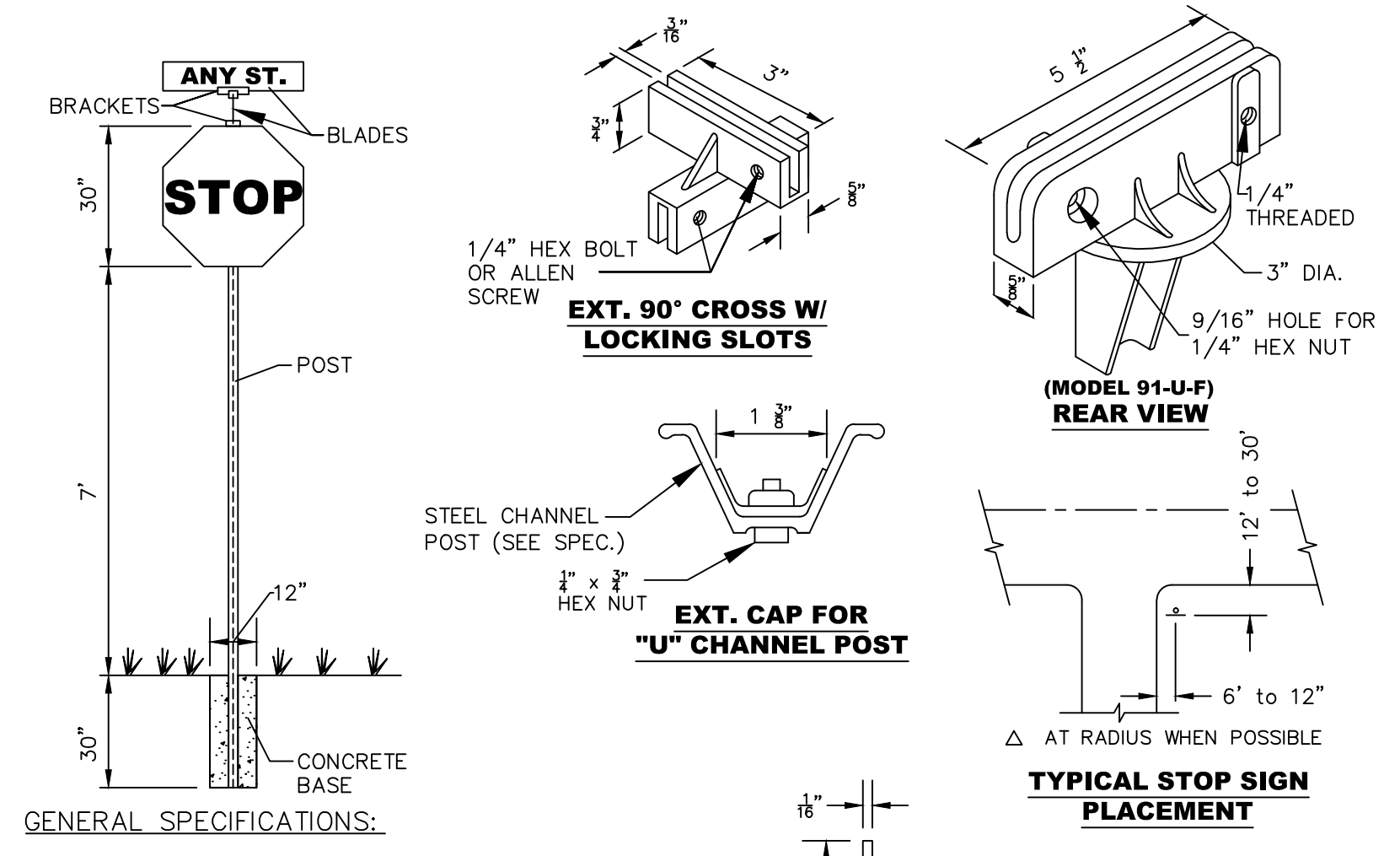
**(X) HANDICAP STRIPING**  
NTS  
MISC004.DWG



**(X) TYPE "D" CURB**  
3,500 PSI (MIN)  
NTS



**(MUST CONFORM WITH MUTCD AND BCTD STANDARDS)**  
**STOP BAR AND SIGN**  
NTS



**GENERAL SPECIFICATIONS:**

SHEET BLADE: ALCOA #86054.6063-T6 ALLOY ETCHED, DECREASED WITH #1200 ALODINE FINISH WITH #2277 GREEN SCOTCHLITE BACKGROUND OR EQUAL DIMENSIONS - 6" H., 24", 30" OR 36" L.

LETTER: NAME - 4" SERIES 'B' #2270 SCOTCHLITE (SYLVER) OR EQUAL - SUFFIX - 2" SERIES 'AS' ABOVE.

BRACKETS: SUPR-LOK PRUF.

POST: STEEL FLANGED CHANNEL POST WITH BAKED GREEN ALKYD FINISH PER A.S.T.M. - A - 123 WITHOUT ANCHOR PLATES. SEE DETAIL SHEET.

CONCRETE BASE: #2000# AS SHOWN.

STOP SIGN: R1-1 MUTCD - 30"x30" (HIGH INTENSITY)

LOCATION: ONE PER INTERSECTION AS INDICATED ON THE PLANS.

**CHANNEL POST**

DIMENSION	TOL.	2.00	3.00
'A'	± .05"	1-15"	1-7"
'B'	± .05"	3-10"	3-3"
'C'	± .15"	1-3/2"	1-3/8"
'D'	± .32"	1-3/2"	2-7/32"

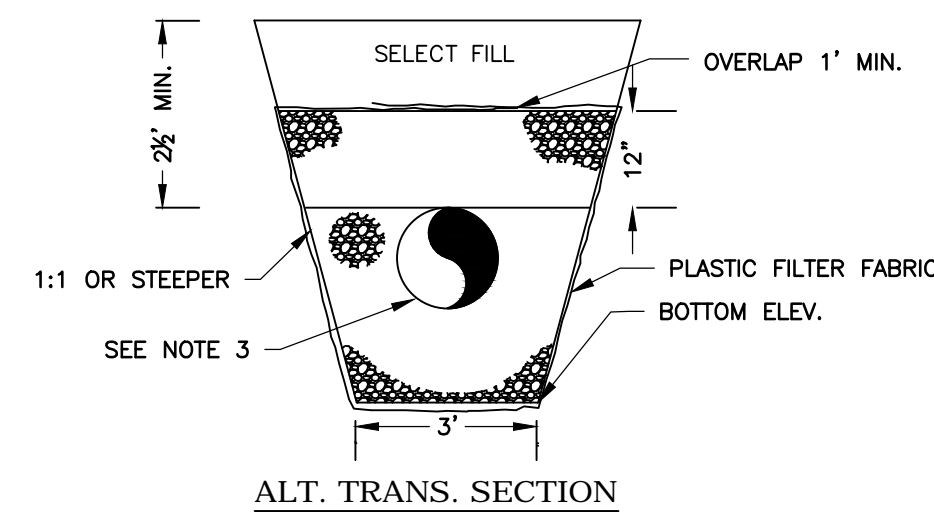
**STOP SIGN DETAIL**

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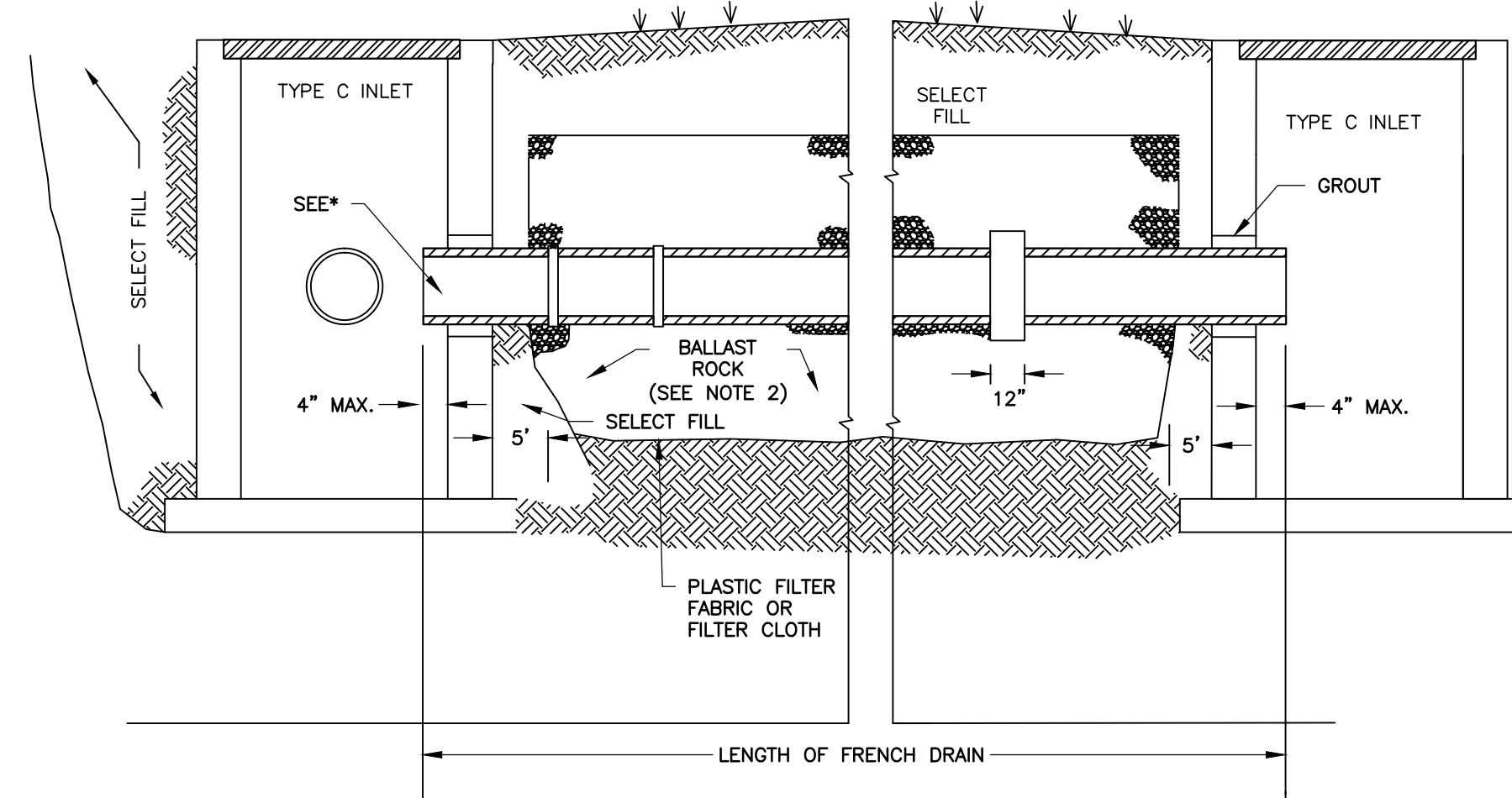
IBI GROUP (FLORIDA) INC.		PLANNERS	POMPANO BEACH
SURVEYORS		ENVIRONMENTAL CONSULTANTS	
ENGINEERS		ARCHITECTS	ORLANDO
LANDSCAPE ARCHITECTS		2200 PARK CENTRAL BLVD. N.	
		SUITE 301A	
		POMPANO BEACH, FLORIDA 33064	
		MAILING ADDRESS: POMPANO BEACH, FLORIDA 33064	
		(407) 860-2120	
MAYFAIR		PAVING, GRADING AND DRAINAGE	
FORT PIERCE, FLORIDA		DETAILS	
DRAWN:	BW	CHECKED:	RW
DESIGNED:		DATE:	3/15/2016
SCALE:	1" = 30'	PROJECT:	38890
		SHEET:	PGD-2.0
IBI GROUP		FLORIDA ENGINEERING	
BUSINESS NO. 2966		NOT FOR CONSTRUCTION	
		3/16/16	

**STORM DRAINAGE CONSTRUCTION NOTES**

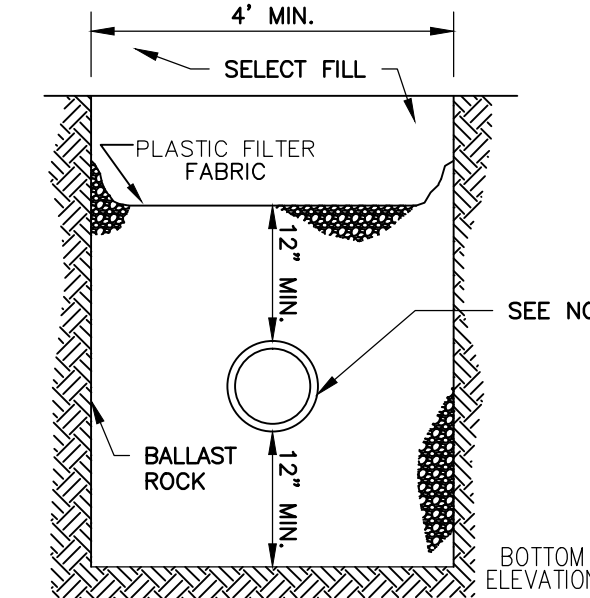
- ALL MATERIALS AND INSTALLATION METHODS USED FOR LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS FOR SUBDIVISIONS AND SITE PLANS SHALL BE IN CONFORMANCE WITH THE CITY, FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), AND THE FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS (LATEST EDITION).
- ALL STORM SEWERS AND CULVERTS LOCATED IN ROADWAY RIGHTS-OF-WAY AND ROADWAY EASEMENTS SHALL BE:
    - SMOOTH INNER WALL HIGH DENSITY POLYETHYLENE (HDPE) IN ACCORDANCE WITH AASHTO M-294, AASHTO MP7, ASTM D3350 AND ASTM D2412 FOR SIZES UP TO 42" IN DIAMETER.
    - PVC IN ACCORDANCE WITH THE PROVISION NOTED IN THE "SEWER DETAILS" OF THESE SPECIFICATIONS.
  - ALL STORM SEWER PIPE JOINTS LOCATED IN ROADWAY RIGHTS-OF-WAY AND ROADWAY EASEMENTS SHALL BE ENTIRELY WRAPPED WITH FILTER FABRIC WITH A MINIMUM WIDTH OF 24" AND A MINIMUM OF 24" OVERLAP SECURED WITH PLASTIC OR STAINLESS BANDS. GASKETS ARE NOT PERMITTED AS AN EQUIVALENT SUBSTITUTE FOR WRAPPING. THIS REQUIREMENT IS ENCOURAGED ON PRIVATE SITES. ADDITIONALLY, ALL JOINTS SHALL BE RUBBER GASKETED FOR BOTH ROUND AND ELLIPTICAL PIPE.
  - DEPTH OF COVER MEASURED TO THE TOP OF PIPE (NOT INCLUDING THE BELL JOINT) SHALL BE A MINIMUM OF 30 INCHES. DEVIATION FROM THIS REQUIREMENT MAY BE ALLOWED BY INCREASING THE PIPE'S STRUCTURAL CAPACITY. THIS DEVIATION MUST BE SPECIFIED ON THE PLANS APPROVED FOR CONSTRUCTION AND SUBSEQUENTLY REFLECTED ON THE SHOP DRAWINGS AND AS-BUILT PLANS.
  - ALL STORM DRAINAGE PIPES LOCATED IN ROADWAY RIGHTS-OF-WAY AND ROADWAY EASEMENTS SHALL BE A MINIMUM OF FIFTEEN INCH (15") DIAMETER OR EQUIVALENT. STORM DRAINAGE PIPES SMALLER THAN 15" ARE PERMITTED ON PRIVATE SITE PLANS PROVIDING THAT MAINTENANCE SHALL BE PERFORMED BY THE OWNER.
  - STORM INLETS, MANHOLES, AND CATCH BASINS SHALL BE EITHER POURED IN PLACE OR PRECAST REINFORCED CONCRETE. STRUCTURES SHALL BE REQUIRED AT EACH CHANGE OF PIPE SIZE OR CHANGE IN PIPE DIRECTION. ALL STRUCTURES SHALL BE IN COMPLIANCE WITH ASTM C-478 AND SHALL HAVE 8" THICK WALLS. 6" THICK WALLS MAY BE PERMITTED PROVIDING THAT THE PLANS SPECIFY INCREASED REINFORCEMENT IN ACCORDANCE WITH FDOT STANDARD INDEX NO. 201. IN ADDITION, THIS REQUIREMENT MUST BE REFLECTED ON BOTH THE SHOP DRAWING AND AS-BUILT PLANS.
  - STORM INLETS SHALL BE SPACED IN SUCH A MANNER AS TO ACCEPT ONE HUNDRED (100) PERCENT OF THE DESIGN STORM RUNOFF WITHOUT IMPEDING THE FLOW OF TRAFFIC. FOR ROADWAY SECTIONS WITH DESIGN SPEEDS OF 45 MPH AND LESS AND WITHOUT FULL WIDTH SHOULDERS, SPACING RESULTING FROM A RAINFALL INTENSITY OF FOUR INCHES (4") PER HOUR SHALL NOT EXCEED ONE-HALF OF THE TRAVEL LANE ADJACENT TO THE GUTTER. FOR SITE PLANS, INLET SPACING SHALL BE DESIGNED TO ACCEPT ONE HUNDRED (100) PERCENT OF THE RUNOFF FROM A RAINFALL INTENSITY OF FOUR INCHES (4") PER HOUR WITHOUT RESULTING IN PONDING OF WATER AROUND THE INLET.
  - FOR CONNECTIONS BETWEEN INLETS WITH PIPING 15" IN DIAMETER AND LARGER, THE MAXIMUM DISTANCES BETWEEN INLETS AND/OR CLEAN-OUT JUNCTION BOXES SHALL BE 300 FEET. CULVERTS SHALL BE SLOPED TO MAINTAIN A MINIMUM SELF-CLEANING VELOCITY OF 2.5 FEET PER SECOND USING A MANNING'S  $n$  OF 0.012. SPACING FOR CLEAN-OUTS AND INLETS FOR SMALLER PIPING SHALL BE REDUCED AND EVALUATED ON A CASE BY CASE BASIS.
  - THE MAXIMUM PERMISSIBLE SLOPE OF ANY NEW SITE GRADING IS 3:1 (HORIZONTAL:VERTICAL). THIS LIMIT SHALL BE APPLIED TO ALL AREAS EXCEPT STORMWATER CONVEYANCE AND TREATMENT SYSTEMS WHICH HAVE A MAXIMUM SLOPE OF 4:1 (EXCEPT BELOW THE WATER TABLE WHERE SHARPER SLOPES ARE PERMISSIBLE.)
  - ALL SWALES AND DITCHES SHALL HAVE A MAXIMUM PERMITTED SIDE SLOPE NOT GREATER THAN 4 TO 1 AT A MINIMUM. THE MAXIMUM PERMITTED BACKSLOPE SHALL BE 3:1, PROVIDED THAT A 2' WIDE BERM IS INSTALLED. DESIGN CENTERLINE AND TOP-OF-BANK ELEVATIONS SHALL BE NOTED AT INTERVALS OF 100'.
  - NORMAL ROADSIDE SWALES ARE PERMITTED TO BE CONSTRUCTED TO A MAXIMUM DEPTH OF 12" MAXIMUM BELOW THE OUTSIDE EDGE OF PAVEMENT OR CONCRETE CURB.
  - CONCRETE EROSION CONTROL MUST BE PROVIDED WHERE SWALES OR CULVERTS INTERCEPT DRAINAGE DITCHES.
  - SOIL EROSION CONTROL MEASURES, SATISFACTORY TO THE CITY, SHALL BE EMPLOYED DURING CONSTRUCTION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ANY AND ALL DEWATERING PERMITS THAT MAY BE REQUIRED.
  - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW AND MAINTAIN A COPY OF ALL PERMITS AT THE CONSTRUCTION SITE, AND ABIDE BY ALL CONDITIONS OF THE PERMITS.
  - PERMANENT VEGETATIVE COVER TO BE ESTABLISHED ON ALL DISTURBED AREAS. FLAT AREAS MAY BE SEEDDED, SLOPES WILL NEED TO BE SODDED.



MAY BE USED IN AREAS WHERE TRENCH WALLS WILL NOT STAND VERTICAL OR WHERE CAVE IN BELOW THE WATER TABLE IS LIKELY TO OCCUR. TO BE USED AT THE ENGINEER'S DISCRETION.



LONGITUDINAL SECTION

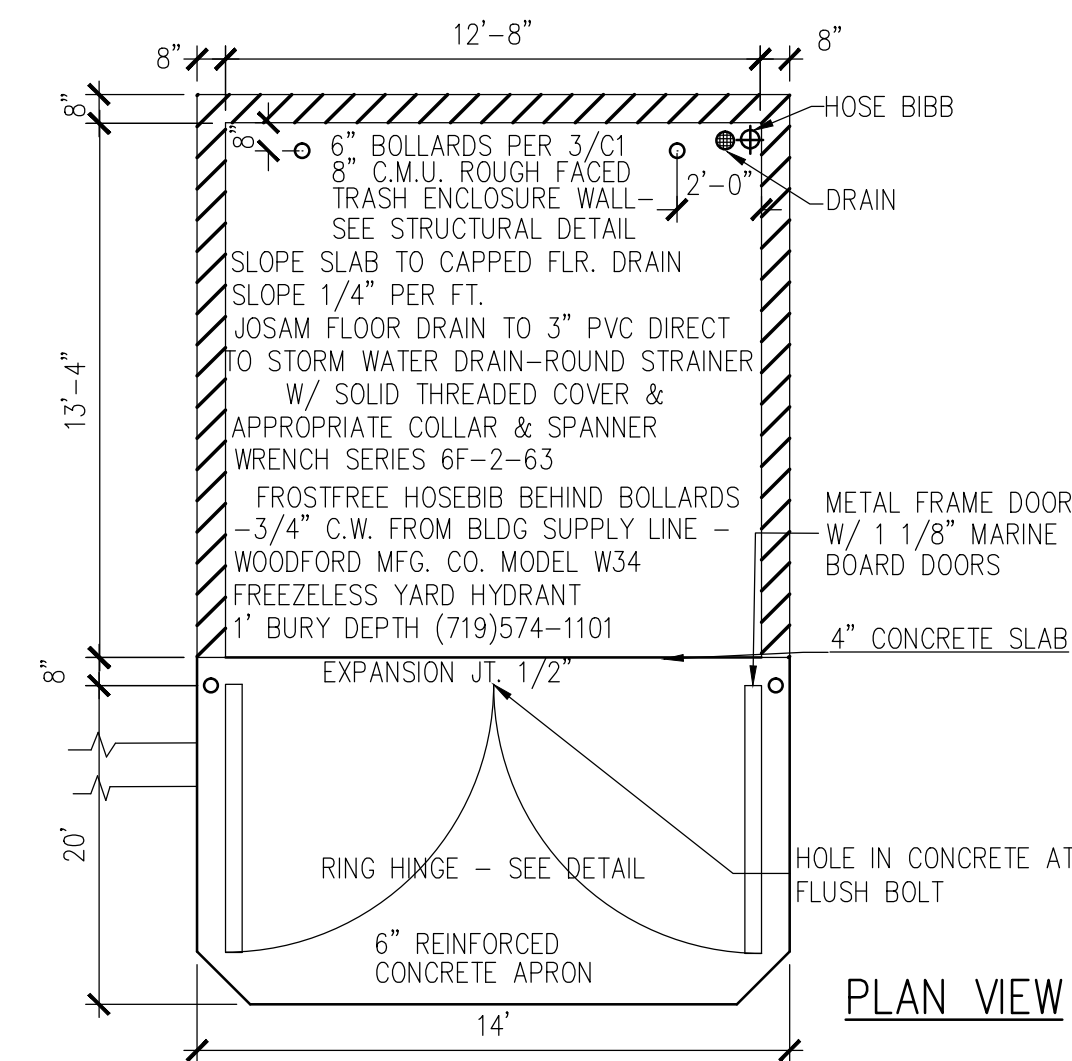


TRANSVERSE SECTION

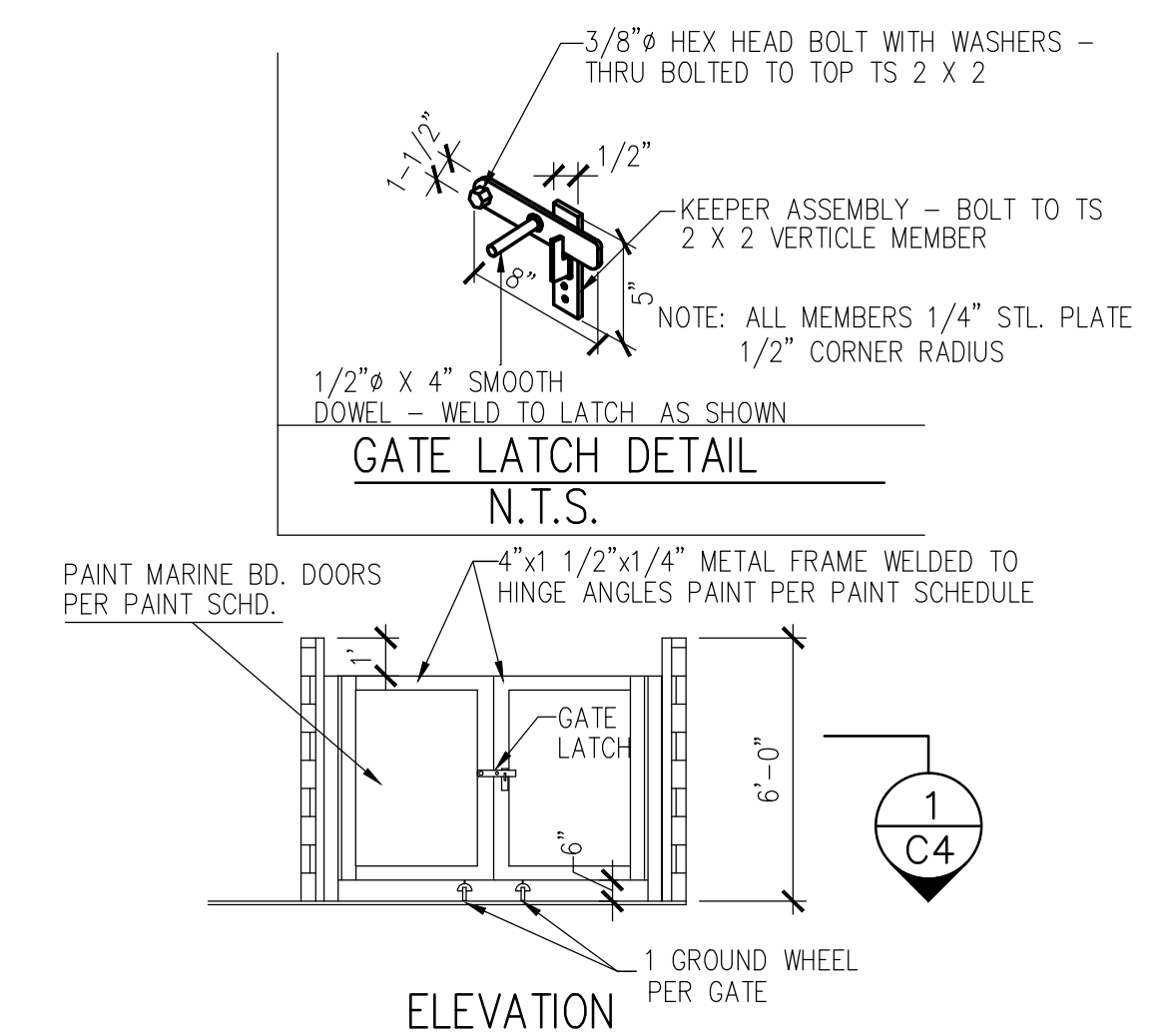
**NOTES:**

- PLASTIC FILTER FABRIC OR FILTER CLOTH (AT EA. SIDE, TOP AND BOTTOM) SHALL BE USED IN SANDY AREAS AS NOTED IN PLANS AND/OR AS DIRECTED BY THE ENGINEER.
- AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION, IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH BE COMPLETED IN ACCORDANCE WITH THE DETAILS.
- INVERT ELEVATION TO BE AS SHOWN IN PLANS.

**9 EXFILTRATION TRENCH DETAIL**  
N.T.S.



(X) DUMPSTER ENCLOSURE



(X) DUMPSTER ENCLOSURE GATE

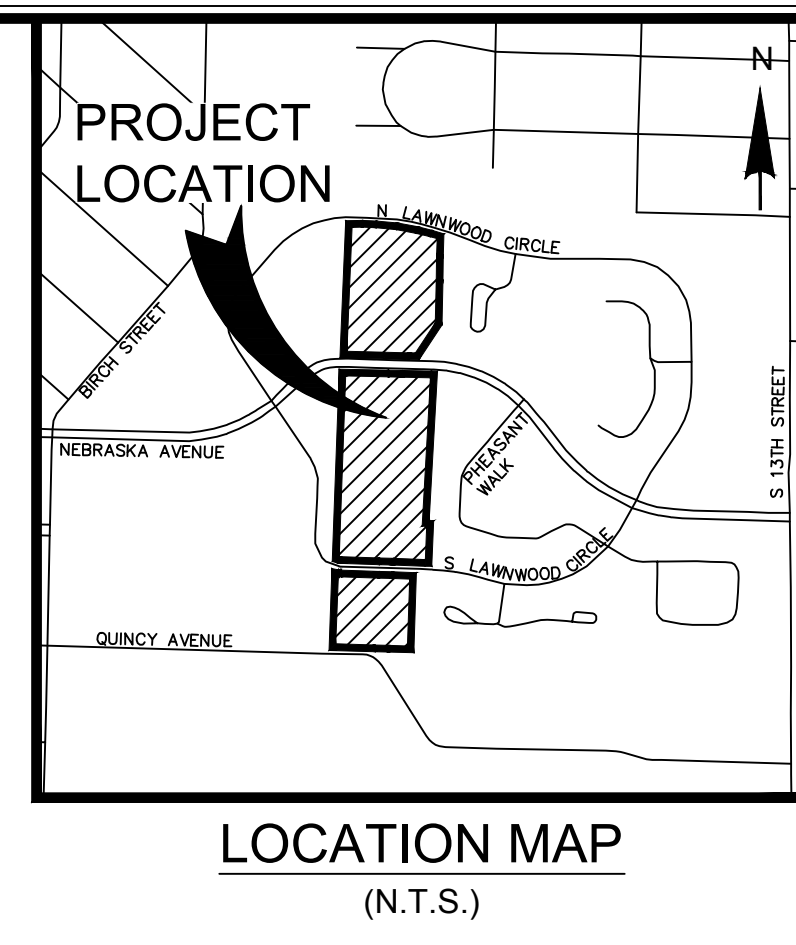
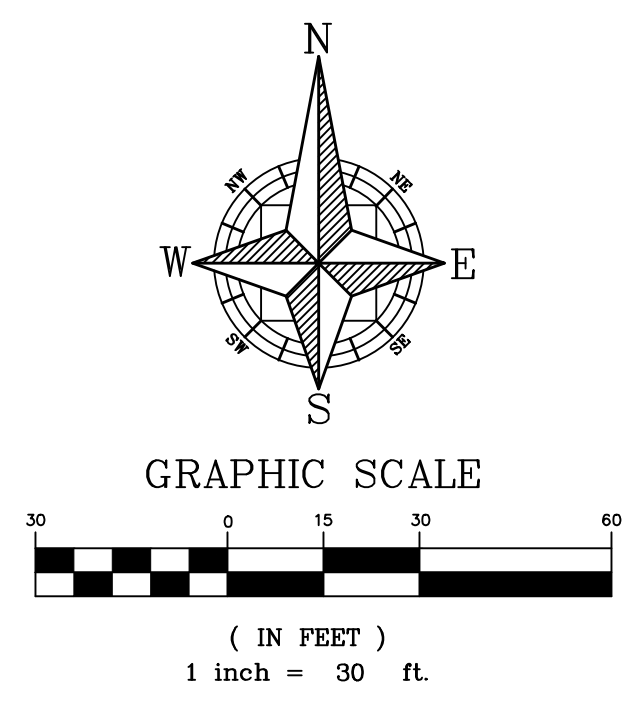
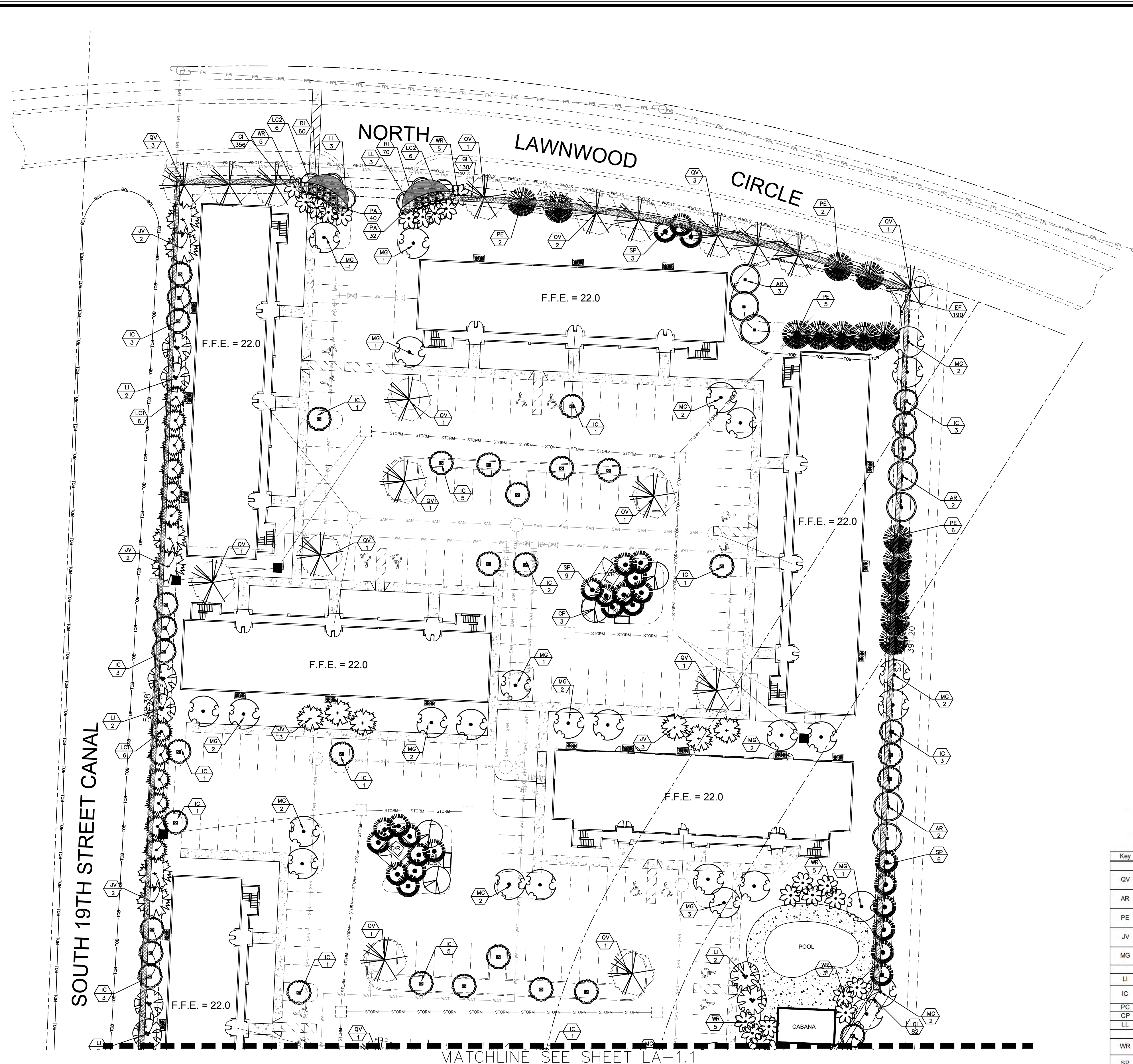
<p><b>IBI GROUP (FLORIDA) INC.</b>                  ENGINEERS ARCHITECTS SURVEYORS PLANNERS                  LANDSCAPE ARCHITECTS ENVIRONMENTAL CONSULTANTS                  2200 PARK CENTRAL BLVD. N.                  SUITE 101                  MAITLAND, FLORIDA 32751                  (407) 869-2120</p>		<p>ORLANDO                  POMPANO BEACH</p>
<p><b>MAYFAIR</b>                  FORT PIERCE, FLORIDA</p>		<p>PAVING, GRADING AND DRAINAGE                  DETAILS</p>
<p>SCALE: 1" = 30'</p>	<p>PROJECT: 38890</p>	<p>CHECKED: RW</p>
<p>DRAWN: BW</p>	<p>DESIGNED:</p>	<p>DATE: 3/15/2016</p>
<p>SHEET: PGD-2.1</p>		<p>IBI GROUP                  FLORIDA ENGINEERING                  BUSINESS NO. 2966</p>
<p>NOT FOR CONSTRUCTION</p>		

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## **Landscape Plans** (Overall Site & Individual Building)

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SOUTH 19TH STREET CANAL

MATCHLINE SEE SHEET LA-1.1

**Mayfair  
PLANT MATERIALS LIST**

Hardiness Zone 9b

Native plants and ecological communities as determined by the FDOACS, UFIFAS, FDEP-Florida Land Use Cover Classification System.  
Xeriscape principles as determined by the South Florida Water Management District "Waterwise" Xeriscape Plant Guide  
Compliance for planting adjacent to overhead electrical wires as determined by Florida Power & Light, Administrative Services

Key	Scientific Name	Common Name	Native	Xen	Height x Spread / Description	Spacing	Qty	SUBT	
<b>LARGE TREES</b>									
greater than 30 ft. at maturity									
QV	Quercus virginiana	Live Oak	Yes	High	12' high x 6' spread, 2-1/2" DBH, 4-1/2' CT., field grown	per plan	59	297	
AR	Acer rubrum	Red Maple	Yes	Mod.	12' high x 5' spread, 2-1/2" DBH, 4-1/2' CT., field grown	per plan	50		
PE	Pinus elliotti	Slash Pine	Yes	High	12' high x 5' spread, 2-1/2" DBH, 4-1/2' CT., field grown	per plan	79		
JV	Juniperus virginiana	Southern Red Cedar	Yes	High	10' high x 4' spread, full, 45 gal. or field grown	per plan	39		
MG	Magnolia grandiflora	Southern Magnolia	Yes	Mod.	12' high x 5' spread, 2-1/2" DBH, 4-1/2' CT., field grown	per plan	70		
<b>SMALL TREES</b>									
less than 25 ft. at maturity									
LI	Lagerstroemia indica "Muskogee"	Crepe Myrtle "Pink"	No	High	10' high x 4' spread, multi-trunk, 45 gal.	per plan	20	148	
IC	Ilex cassine	Dahoon Holly	Yes	High	10' high x 4' spread, full, 30 gal./45 gal., Air Root Pruned Container	per plan	85		
PC	Prunus caroliniana	Cherry Laurel	Yes	High	10' high x 4' spread, 4 CT., 45 gal. or field grown	per plan	0		
CP	Caesalpinia pulcherrima	Dwarf (Yellow) poinciana	No	High	10' high x 4' spread, 4 CT., 45 gal. or field grown	per plan	19		
LL	Ligustrum lucidum	Japanese privet	No	High	10' high x 4' spread, multi-trunk, 45 gal.	per plan	24		
WR	Washingtonia robusta	Washingtonia Palm	No	High	1/3 @ 16' high, 1/3 @ 20' high, 1/3 @ 24' high; staggered heights in all groupings, field grown	per plan	67		
SP	Sabal palm etto	Cabbage Palm	Yes	High	14' high to 20' high, staggered heights in all groupings, booted, field grown	per plan	60		
LC1	Livistona chinensis	Chinese Fan Palm	No	High	10' CT., 16" OA full heads, container or field grown	per plan	42		
LC2	Livistona chinensis	Chinese Fan Palm	No	High	6" OA, full to base, 7 gal.	per plan	48		
<b>SHRUBS</b>									
CI	Chrysobalanus icaco	Cocoplum "Red Tip"	Yes	High	24" OA, full to base, 3 gal.	24" OC	772	2,033	
EF	Eugenia foetida	Spanish Stopper	Yes	High	24" OA, full to base, 3 gal.	24" OC	613		
PA	Plumbago auriculata	Plumbago "Imperial Blue"	No	High	18" OA, full, 3 gal.	24" OC	209		
RI	Raphiolepis indica	Indian Hawthorn	No	High	12" OA, full, 3 gal.	18" OC	439		
							<b>Total</b>	<b>2,695</b>	

NOTE: ALL PROPOSED UNDERGROUND UTILITIES SHALL BE MODIFIED TO AVOID CONFLICTS WITH REQUIRED TREES IN LANDSCAPE ISLANDS / VUA AREAS. SEE ENGINEERING PLANS.

NOTE: PURSUANT TO TO FPL "RIGHT-TREE, RIGHT PLACE" GUIDELINES ALL PERIMETER BUFFER TREES IN CONFLICT WITH OVERHEAD POWER LINES HAVE BEEN ADJUSTED FOR COMPLIANCE.

NOTE: SOD TO BE INSTALLED IN ALL PERVIOUS AREAS NOT CONTAINING SHRUBS, GROUNDCOVER OR ALTERNATE LANDSCAPE FEATURES (MULCH, ROCK).

NOTE: ALL AREAS INDICATED FOR SOD SHALL BE INSTALLED WITH ST. AUGUSTINE "FLORITAM" SOD UNLESS ALTERNATE NOTED.

NOTE: ALL PLANTS SHALL BE INSTALLED AT SIZE INDICATED UNDER THE SPECIFICATIONS. CONTAINER SIZE LISTED IS FOR REFERENCE OR ESTIMATING ONLY.

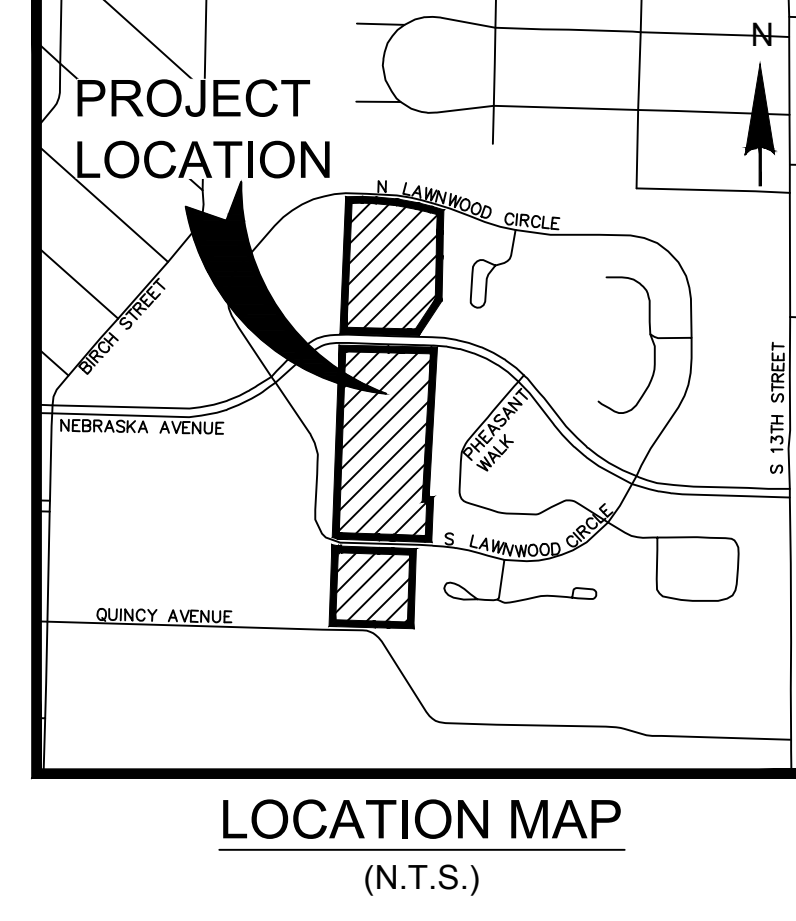
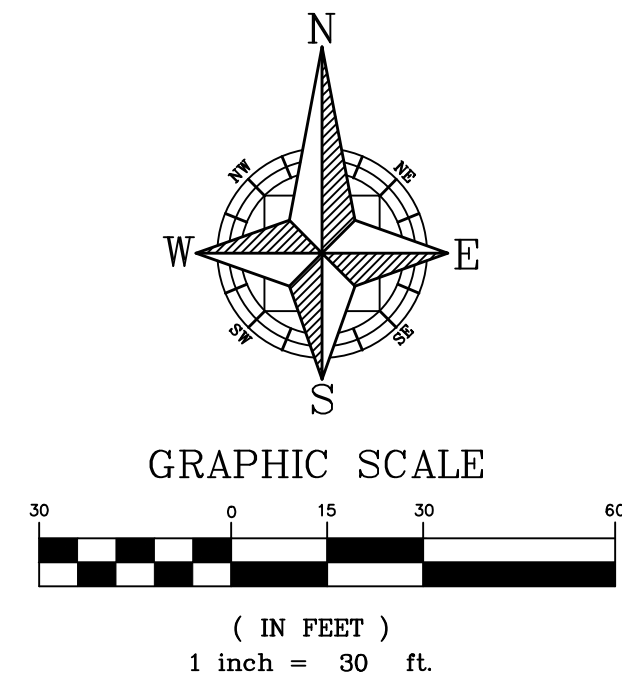
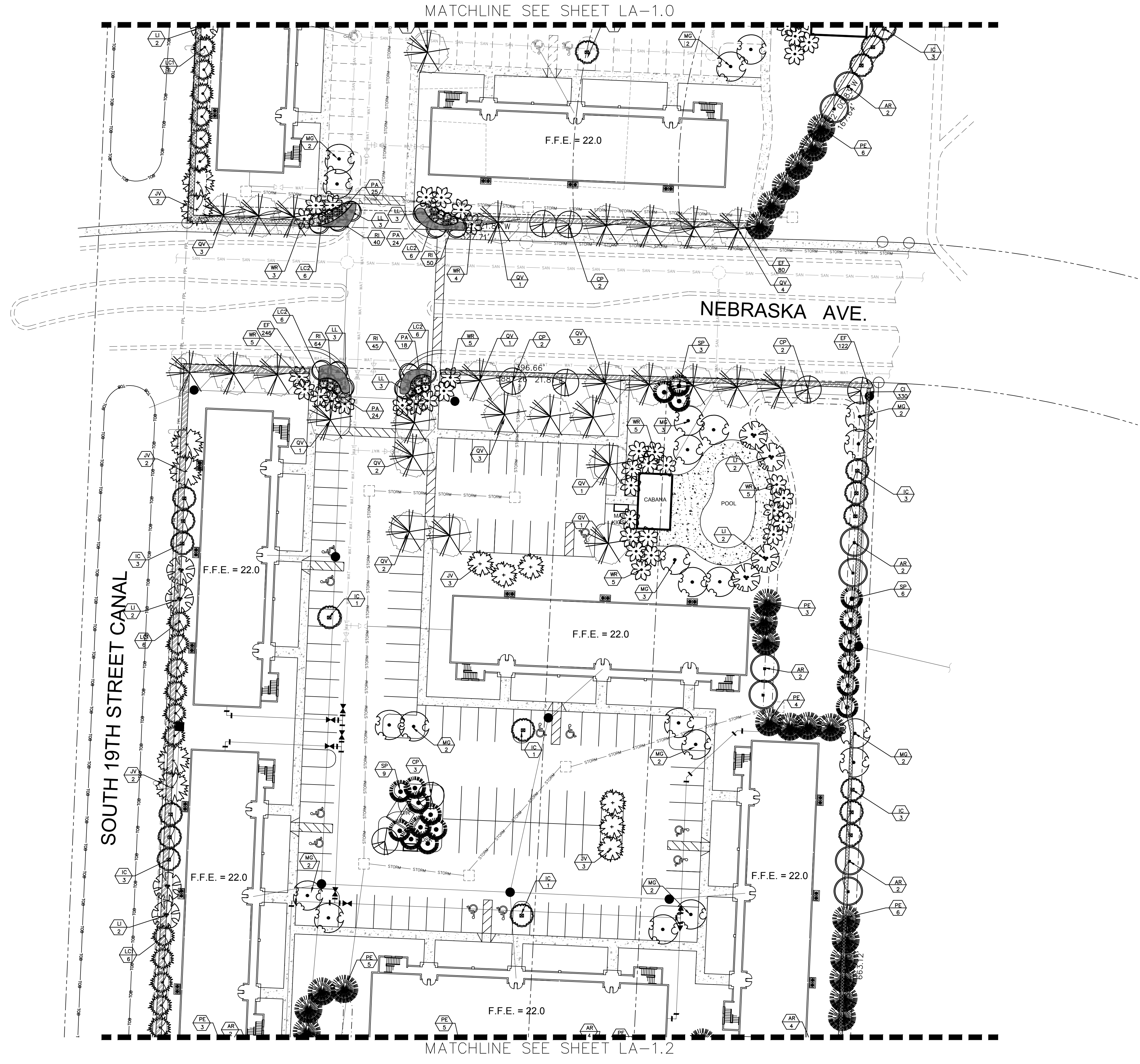
Total Native Plants 1,827  
Native % of Total 67.8%

Total Drought Tolerant Plants 2,575  
Drought Tol. % of Total 95.5%

DRAWN: BW		SCALE: 1" = 30'	PROJECT: 38890	SHEET: LA-1.0	DATE: 3/16/2016
DESIGNED:					
CHECKED: RW		<p><b>IBI GROUP</b> FLORIDA ENGINEERING BUSINESS NO. 2966</p>			
DATE:					
DRAWN: BW		<p><b>MAYFAIR FORT PIERCE, FLORIDA LANDSCAPE PLAN</b></p>			
DESIGNED:		<p><b>IBI GROUP (FLORIDA) INC.</b> PLANNERS SURVEYORS ENVIRONMENTAL CONSULTANTS</p>			
CHECKED: RW		<p>ENGINEERS ARCHITECTS 2200 PARK CENTRAL BLVD. N. SUITE 301 MAITLAND, FLORIDA 32751 (407) 860-2120</p>			
DATE:		<p>ORLANDO POMPANO BEACH</p>			
REV.	DATE	DESCRIPTION			

NOT FOR CONSTRUCTION  
3/16/16

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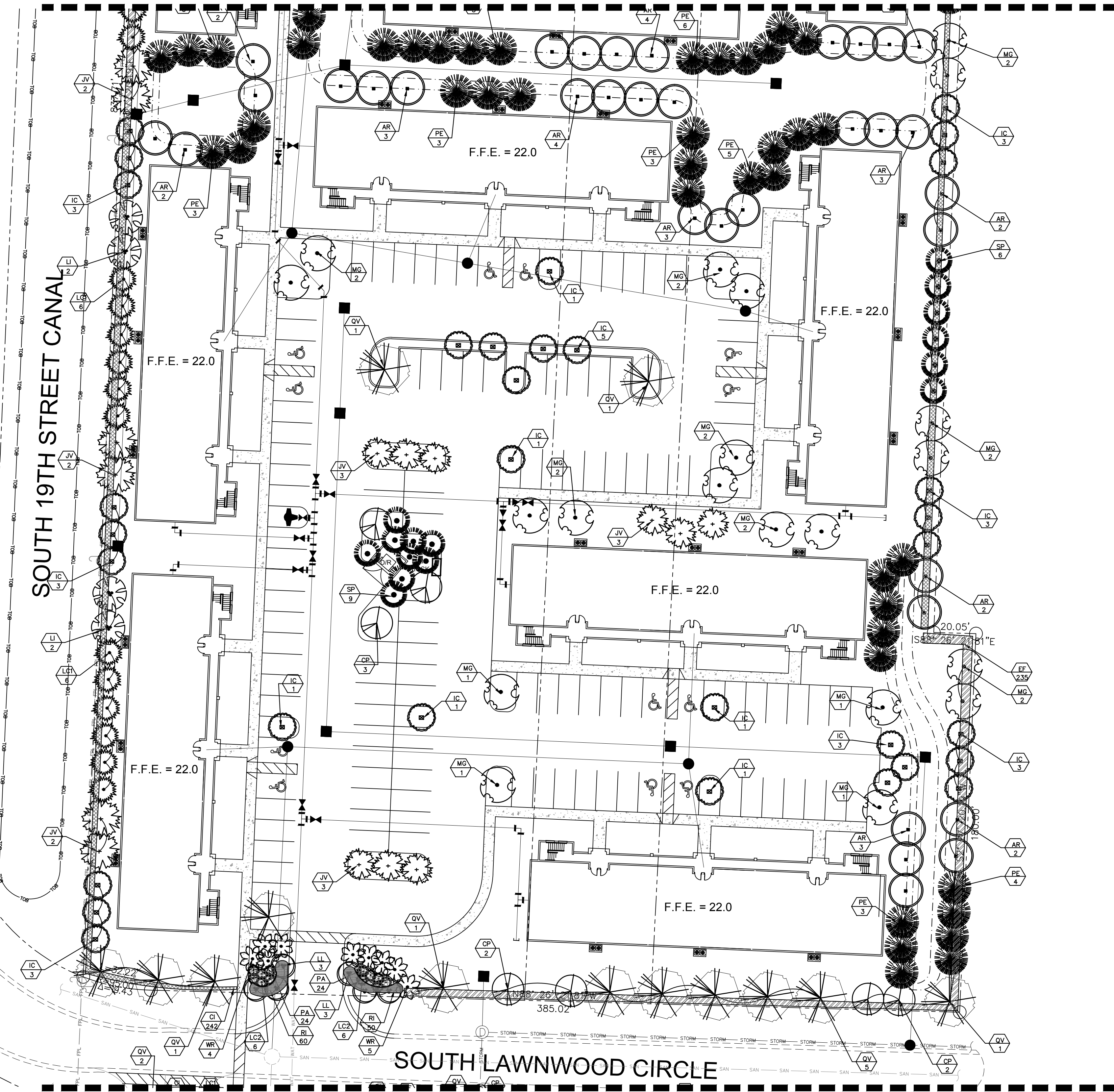
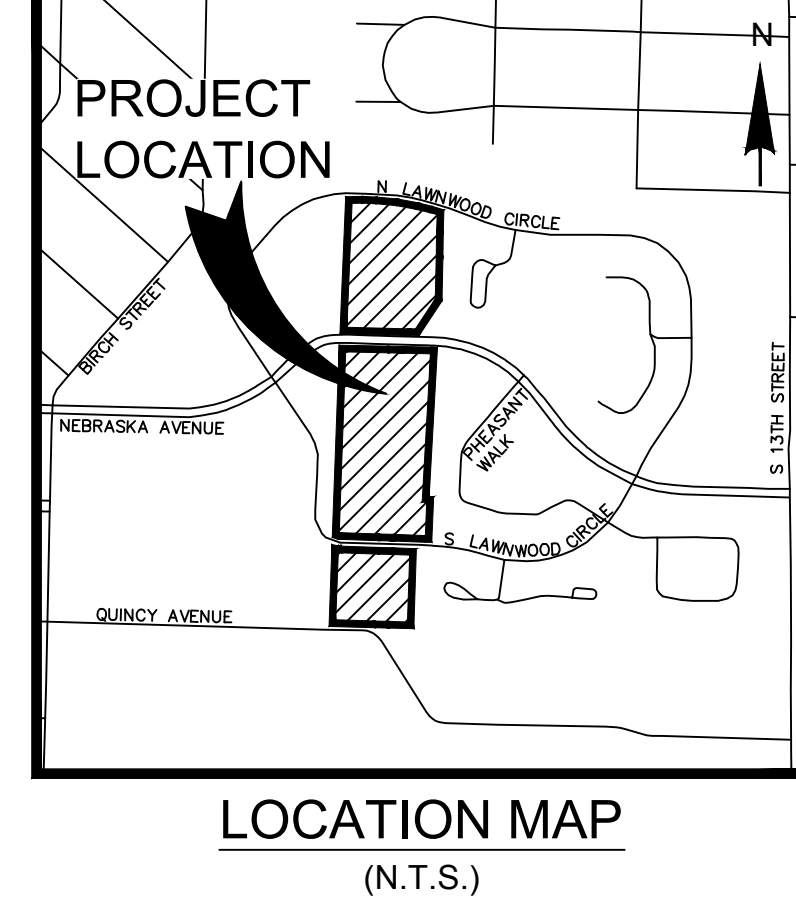
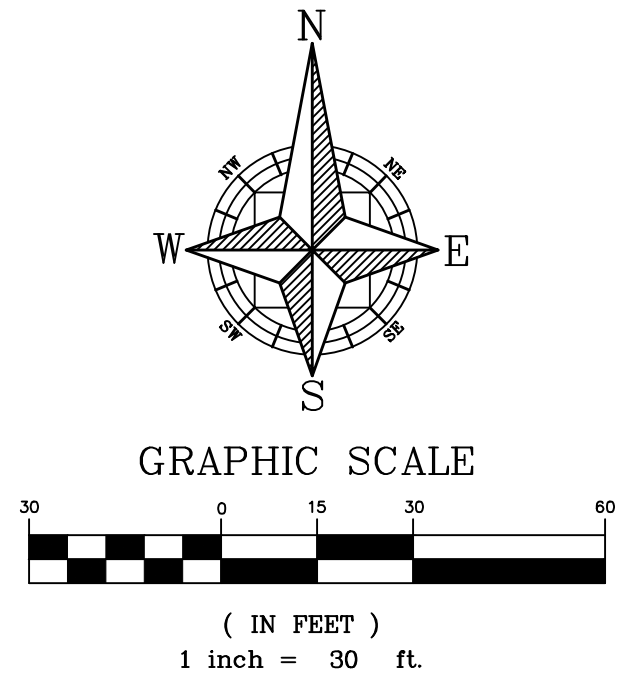
NOTE: SEE SHEET LA-1.0 FOR PLANT MATERIALS LIST.  
 NOTE: ALL PROPOSED UNDERGROUND UTILITIES SHALL BE MODIFIED TO AVOID CONFLICTS WITH REQUIRED TREES IN LANDSCAPE ISLANDS / VUA AREAS. SEE ENGINEERING PLANS.

<b>IBI GROUP (FLORIDA) INC.</b> ENGINEERS ARCHITECTS SURVEYORS PLANNERS LANDSCAPE ARCHITECTS ENVIRONMENTAL CONSULTANTS 2200 PARK CENTRAL BLVD. N. SUITE 101 MAITLAND, FLORIDA 32751 (407) 860-2120 ORLANDO POMPANO BEACH	
<b>MAYFAIR FORT PIERCE, FLORIDA</b> LANDSCAPE PLAN	
SCALE: 1" = 30' PROJECT: 38890 SHEET: LA-1.1	DRAWN: BW DESIGNED: CHECKED: RW DATE: 3/16/2016
<b>IBI GROUP</b> FLORIDA ENGINEERING BUSINESS NO. 2966	
NOT FOR CONSTRUCTION 3/16/16	

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MATCHLINE SEE SHEET LA-1.1

MATCHLINE SEE SHEET LA-1.3

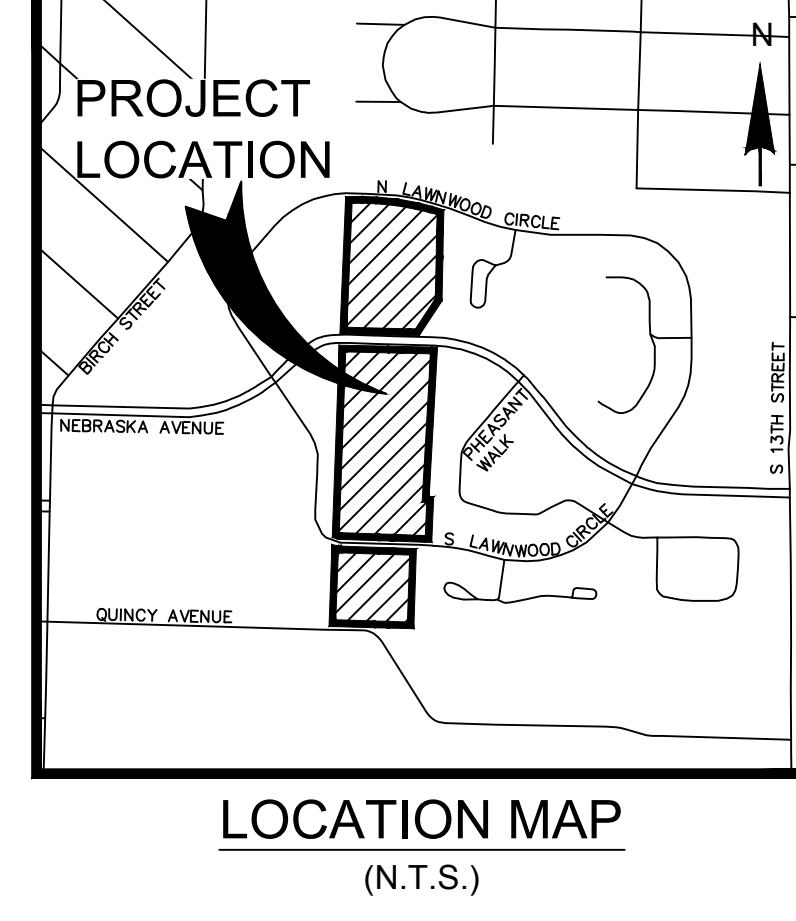
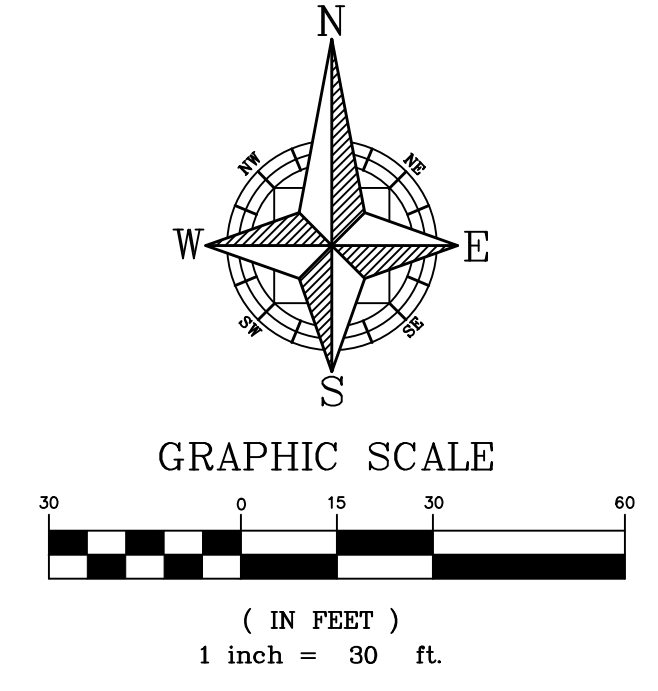
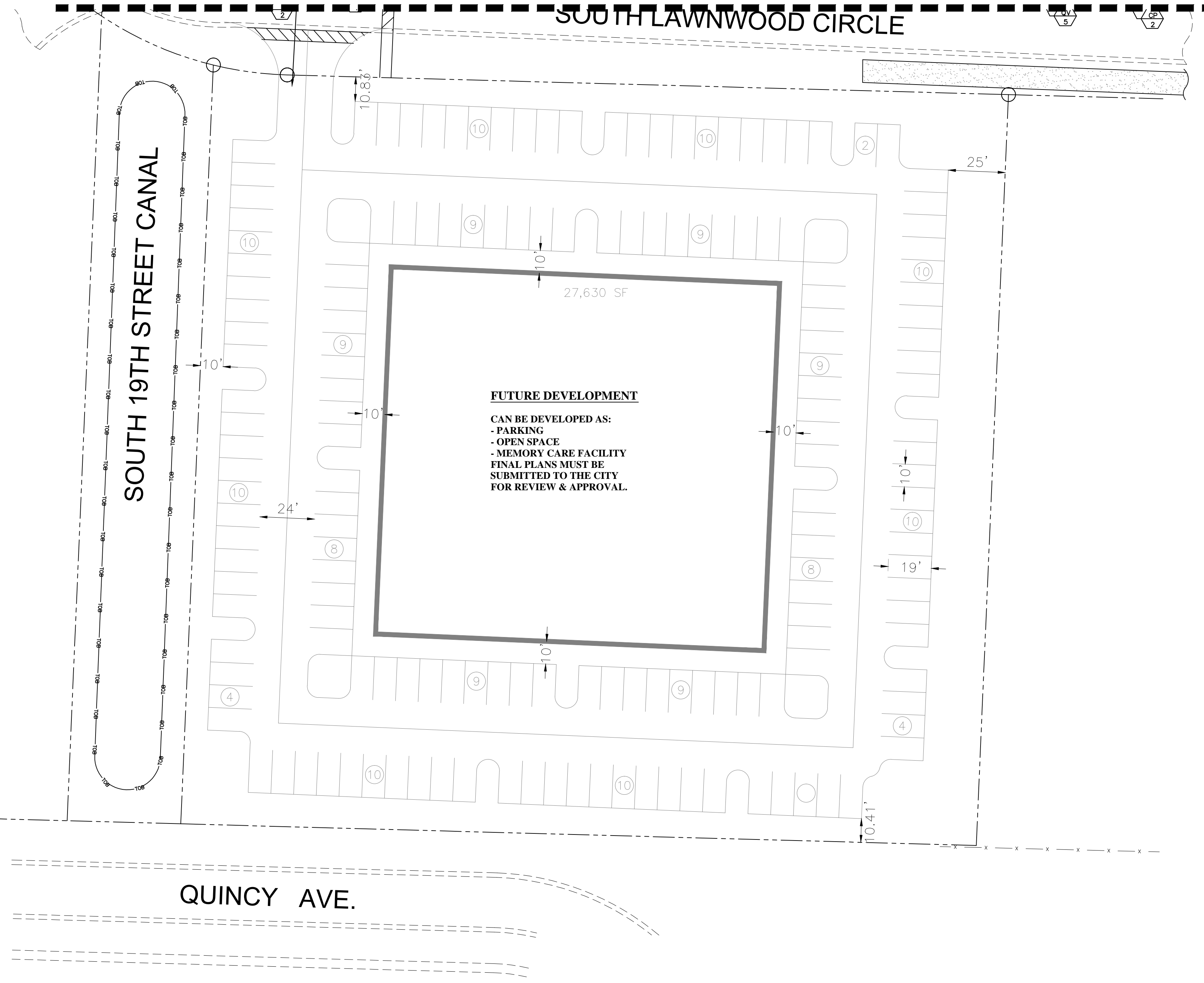


<b>IBI GROUP (FLORIDA) INC.</b> ENGINEERS ARCHITECTS SURVEYORS PLANNERS <a href="http://www.ibigroup.com">http://www.ibigroup.com</a> ENVIRONMENTAL CONSULTANTS 2200 PARK CENTRAL BLVD. N. SUITE 101 FORT LAUDERDALE, FLORIDA 33044 MAITLAND, FLORIDA 32751 (407) 866-2120		ORLANDO POMPANO BEACH
<b>MAYFAIR FORT PIERCE, FLORIDA</b>		LANDSCAPE PLAN
SCALE 1" = 30'	PROJECT 38890	SHEET LA-1.2
DRAWN: BW	DESIGNED: RW	CHECKED: RW
DATE: 3/16/2016		REV. DATE DESCRIPTION
<b>IBI GROUP</b> FLORIDA ENGINEERING BUSINESS NO. 2966		NOT FOR CONSTRUCTION 3/16/16

NOTE: SEE SHEET LA-1.0 FOR PLANT MATERIALS LIST.  
 NOTE: ALL PROPOSED UNDERGROUND UTILITIES SHALL BE MODIFIED TO AVOID CONFLICTS WITH REQUIRED TREES IN LANDSCAPE ISLANDS / VUA AREAS. SEE ENGINEERING PLANS.

J:\38890\5.9 Drawings\591sc\layouts\38890-LandscapePlan ALT.dwg Modified: 3/16/2016 By: becky.williams Plotted By: becky.williams

MATCHLINE SEE SHEET LA-1.2  
**SOUTH LAWNWOOD CIRCLE**



QUINCY AVE.

<b>IBI GROUP (FLORIDA) INC.</b> <small>ENGINEERS SURVEYORS PLANNERS</small> <small>LANDSCAPE ARCHITECTS ENVIRONMENTAL CONSULTANTS</small> <small>2300 MAILLAND CENTER PARKWAY SUITE 101 FORT PIERCE, FLORIDA 33904</small> <small>MAITLAND (407) 860-2120 ORLANDO (954) 974-2200 POMPANO BEACH</small>		PROJECT: <b>38890</b> SHEET: <b>LA-1.3</b>	DRAWN: <b>BW</b> DESIGNED: CHECKED: <b>RW</b> DATE: <b>3/16/2016</b>	MAYFAIR FORT PIERCE, FLORIDA LANDSCAPE PLAN	REV. DATE DESCRIPTION A 3-16-16 REVISION PARCEL C
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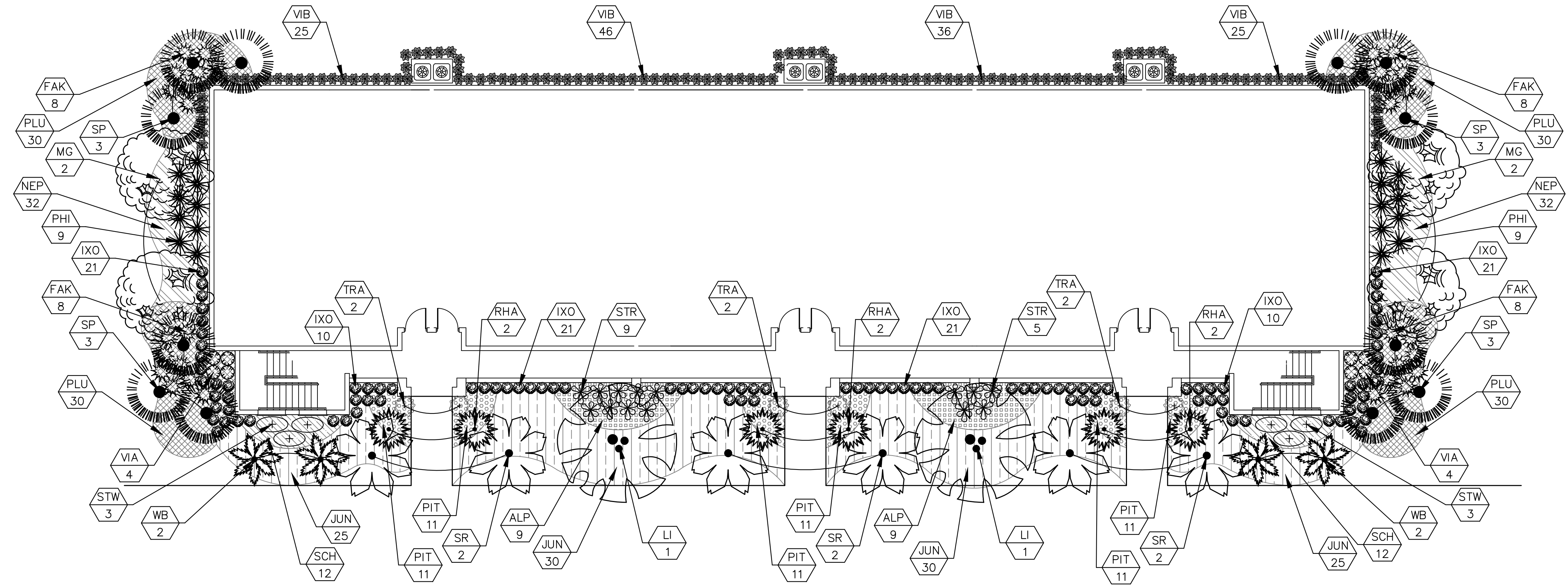
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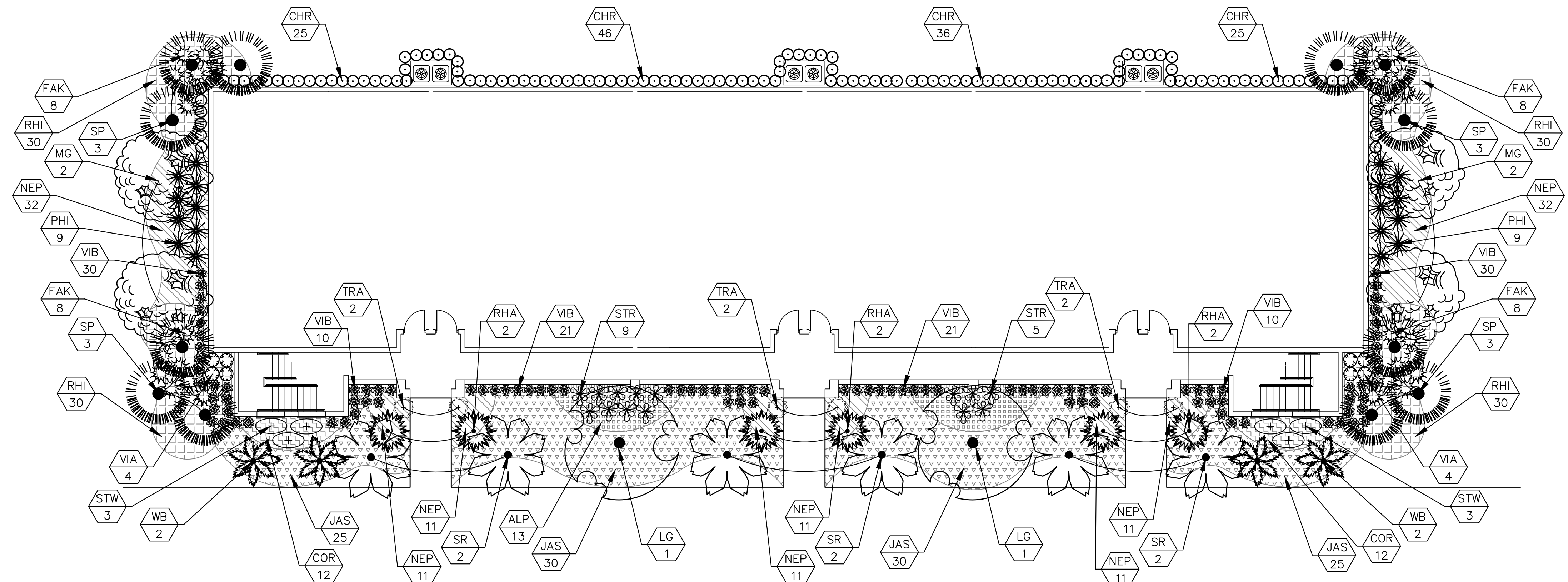
# 12 Unit Typical Plant List

	Sym	Key	Qty.	Crt.	Scientific/Common Name	Ht.	Spr.	Remarks
Trees and Palms	SR	6	1:1	QUEEN PALM STAGNUS ROMANOFFIANA	12'	GW	12' GW, MATCHED FULL HEAVY HEADS NO SCARRED TRUNKS	
	WB	4	1:1	FOXTAIL PALM WODYETIA BIFURCATA	6'	GW	6' GREY WOOD, MATCHING HEADS MIN. 9 FRONDS, NO SCARRED TRUNKS	
	SP	12	3:1	SABAL PALM SABAL PALMETTO 'WIBOOTS'	8'-10'		VARIED HEIGHTS, BOOTED TRUNKS MINIMUM 8' CT. TRUNKS WITH 4 STAGGERED FULL HEADS	
	LI	2	1:1	CREPE MYRTLE LASESTROEMIA INDICA	10'	5'	MULTI-TRUNK STANDARD, 3 TRUNKS MINIMUM MIN. 4' CT., FULL MATCHED	
	MG	4	1:1	'LITTLE GEM' MAGNOLIA MAGNOLIA GRANDIFLORA 'LITTLE GEM'	12'	5'	SINGLE STRAIGHT TRUNK, 2.5" D.B.H. MIN. 5' CT.	
	LG	2		WAX LIGUSTRUM LIGUSTRUM LUCIDUM	8'	5'	MULTI-TRUNK STANDARD 5 TRUNKS MINIMUM MIN. 4' CT., FULL MATCHED	
Accents	STW	6		WHITE BIRD OF PARADISE STRELTZIA NICOLAI	36"	36"	7 STEMS MIN. MATCHED 7 GALLON	
	STR	14		DWARF BIRD OF PARADISE STRELTZIA REGINAE	48"	48"	7 GALLON, FULL MIN. 6.5 FRONDS	
	RHA	6		LADY PALM RHAPIS EXCELSA	48"	36"	7 GALLON, FULL TO BASE MATCHED	
	ALP	18		VARIEGATED SHELL GINGER ALPINA ZERUMBET 'VAREGATA'	18"	24"	FULL TO BASE MIN. 3 GALLON, 36" O.C.	
	COR	24		HAWAIIAN TI PLANT CORDYLINE TERMINALIS 'BOLERO'	36"	24"	FULL 5 STEMS MIN. 3 GALLON	
Shrubs and Hedging	VIA	8		AWABUKI VIBURNUM VIBURNUM ODORATISSIMUM 'AWABUKI'	36"	30"	FULL TO BASE 3 GALLON, 36" O.C.	
	PHI	16		PHILODENDRON PHILODENDRON SELLOUM	42"	36"	FULL TO BASE MIN. 7 GALLON, 48" O.C.	
	IXO	104		IXORA IXORA COCCINEA 'JUNGLE FLAME'	24"	24"	FULL TO BASE 3 GALLON, 24" O.C.	
	VIB	132		SANDAKWIA VIBURNUM VIBURNUM SUSPENSUM	24"	24"	FULL TO BASE 3 GALLON, 24" O.C.	
	FAK	32		FAKAMATCHEE GRASS TRIPSACUM DACTYLOIDES	24"	24"	FULL TO BASE, MATCHED 3 GALLON, 36" O.C.	
	CHR	132		COCOPALM CHRYSOBALANUS ICAGO	24"	24"	FULL TO BASE 3 GALLON, 24" O.C.	
Groundcovers	PLU	120		PLUMBAGO PLUMBAGO AURICULATA 'IMPERIAL BLUE'	18"	18"	FULL TO BASE 3 GALLON, 24" O.C.	
	JAS	110		WAX JASMINE JASMINUM VOLUBILE	18"	18"	FULL 1 GALLON, 18" O.C.	
	NEP	130		FISHTAIL FERN NEPHROLEPIS FALCATA 'FURCANS'	12"	12"	FULL 1 GALLON, 18" O.C.	
	SCH	24		VARIEGATED SCHEFFLERA SCHEFFLERA ARBORICOLA 'VAREGATA'	24"	18"	FULL TO BASE MIN. 3 GALLON, 24" O.C.	
	PIT	66		VARIEGATED TOBIRA PITTOSPRUM PITTOSPORUM TOBIRA 'VAREGATA'	8"	8"	FULL TO BASE 1 GALLON, 18" O.C.	
	RHI	120		INDIAN HAWTHORN 'WHITE' RHAPHIOLEPIS INDICA 'ALBA'	18"	18"	FULL TO BASE 3 GALLON, 24" O.C.	
	JUN	110		BLUE RUG JUNIPER JUNIPERUS HORIZONTALIS 'WILTONII'	12"	18"	FULL TO BASE 3 GALLON, 24" O.C.	
	TRA	6		CONFEDERATE JASMINE TRACHELOSPERMUM JASMINOIDES			3 GALLON, FULL MIN. 5 RUNNERS, MIN. 30" LONG ATTACH TO FENCE / TRELLIS	
	SOD	SOD	XX,XXX S.F.		ST. AUGUSTINE FLORATUM STENOCHAPRUM SECUNDATUM			SOLID SOD STAGGER SEAMS FIELD VERIFY SOD AREAS



SUN EXPOSURE

12 UNITS



SHADE EXPOSURE

12 UNITS

**IBI GROUP (FLORIDA) INC.**  
 ENGINEERS ARCHITECTS SURVEYORS PLANNERS  
 LANDSCAPE ARCHITECTS ENVIRONMENTAL CONSULTANTS  
 2200 PARK CENTRAL BLVD. N. SUITE 100  
 POMPANO BEACH, FLORIDA 33064  
 (954) 974-2200  
 ORLANDO POMPANO BEACH

**MAYFAIR FORT PIERCE, FLORIDA**  
**LANDSCAPE TYPICALS**

SCALE: 1" = 10'  
 PROJECT: 38890  
 SHEET: LA-2.1  
 DATE: 3/16/2016

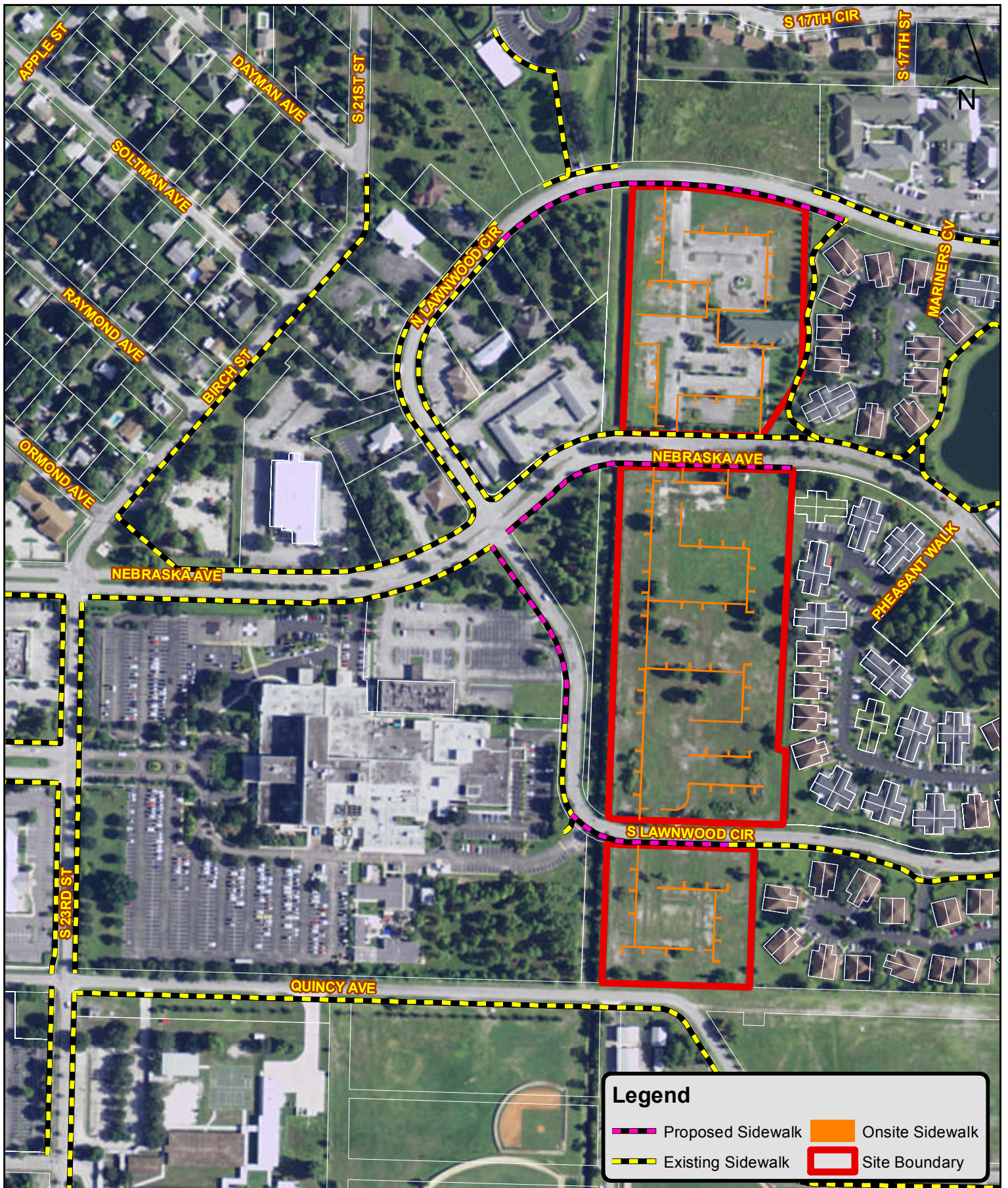
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➤ **Proposed Sidewalk Plan**



**Legend**

- Proposed Sidewalk
- Onsite Sidewalk
- Existing Sidewalk
- Site Boundary

## Mayfair at Longwood Sidewalk Map



**IBI Group (Florida) Inc.**  
 2200 Park Central Boulevard N. Suite 100  
 Pompano Beach, FL 33064  
 tel 954 974 2200  
 fax 954 973 2686

City of Fort Pierce

St. Lucie County

Florida

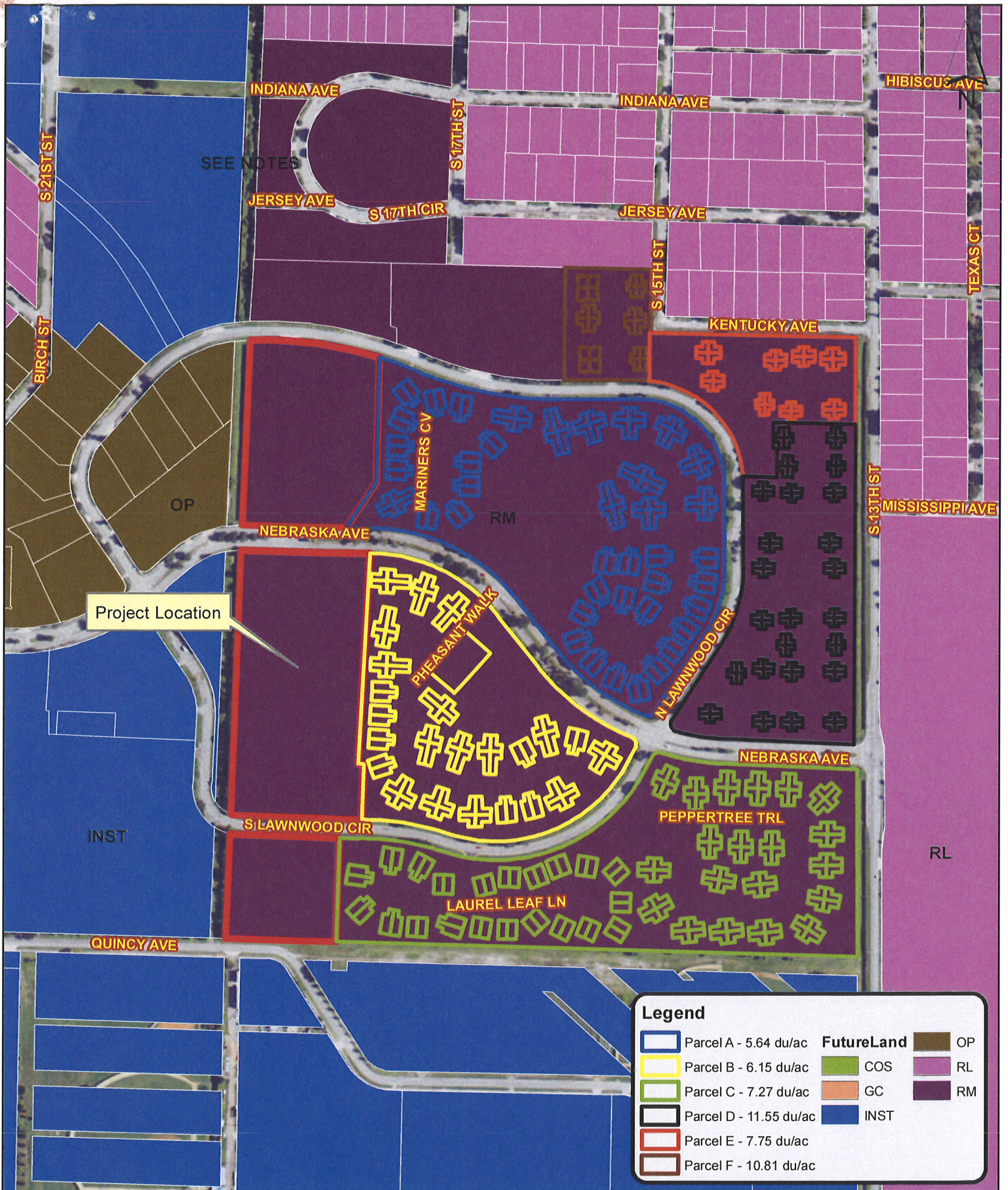
Scale: 1" = 300'

By: cmp

Job# 38890

Date: 06/06/2016

➤ **Neighboring Densities & Occupancy -  
Maps & Data**



Project Location

**Legend**

Parcel A - 5.64 du/ac	<b>FutureLand</b> OP
Parcel B - 6.15 du/ac	RL
Parcel C - 7.27 du/ac	RM
Parcel D - 11.55 du/ac	INST
Parcel E - 7.75 du/ac	
Parcel F - 10.81 du/ac	

## Mayfair at Longwood Neighboring Densities Map



**IBI Group (Florida) Inc.**  
 2200 Park Central Boulevard N. Suite 100  
 Pompano Beach, FL 33064  
 tel 954 974 2200  
 fax 954 973 2686

City of Fort Pierce

St. Lucie County

Florida

Scale: 1" = 400'

By: cmp

Job# 38890

Date: 01/13/2016



IBI Group (Florida) Inc.  
2200 Park Central Boulevard N. Suite 100  
Pompano Beach, FL 33064  
tel 954 974 2200  
fax 954 973 2686

## Mayfair at Longwood Adjacent Homestead Exemptions Map

City of Fort Pierce

St. Lucie County

Florida

Scale: 1" = 300'

By: cmp

Job# 38890

Date: 01/13/2016

**Mayfair Market Area as of 01/18/2016**  
**Available Condo/Townhome/Villa Properties**

Rick, these are the 'FOR SALE' units I pulled up from the most recent MOVATO listings I receive every day for this market area.

1303 Peppertree Trail, Apt B (Lakewood Villas) 2 Brm/2 Bath            1,850 sq ft	\$ 59,900 Time on Market: 81 days
1305 Peppertree Trail, Apt D (Lakewood Villas) 2 Brm/2 Bath            1,850 sq ft	\$ 74,900 Time on Market: 162 days
1327 Peppertree Trail, Apt ? (Lakewood Villas) 2 Brm/2 Bath            1,850 sq ft	\$ 68,000 Time on Market: 147 days
1317 Peppertree Trail, Apt ? (Lakewood Villas) 2 Brm/2 Bath            1,850 sq ft	\$ 69,900 Time on Market: 9 days
1302 Nebraska Avenue, Apt 12A 2 Brm/2 Bath            1,658 sq ft	\$ 69,900 Time on Market: 110 days
1525 Pheasant Walk, Apt A 2 Brm/2 Bath            1,800 sq ft	\$ 58,000 Time on Market: 74 days
1549 Pheasant Walk, Apt B 2 Brm/2 Bath            2,246 sq ft	\$ 89,000 Time on Market: 87 days
1611 Laurel Leaf Lane, Apt A 3 Brm/2 Bath            1,658 sq ft	\$ 89,900 Time on Market: 97 days

1440 N Lawnwood Circle, Apt 19-C  
2 Brm/1.5 Bath      1,658 sq ft      \$ 84,900  
Time on Market: 127 days

1458 N Lawnwood Circle, Apt ?  
2 Brm/1.5 Bath      1,658 sq ft      \$ 69,900  
Time on Market: 143 days

2090 Colonial Road, Apt 1  
2 Brm/2 Bath      2.141 sq ft      \$ 79,900  
Time on Market: 67 days

2080 Colonial Road, Apt 3  
2 Brm/2 Bath      1,905 sq ft      \$ 74,900  
Time on Market: 29 days

Parcel	A	B	C	D	E	F	AVERAGE
# of Units	102	75	122	96	32	24	451
Total Acreage	18.07	12.2	16.77	8.31	4.13	2.22	61.7
Density	5.64 du/ac	6.15 du/ac	7.27 du/ac	11.55 du/ac	7.75 du/ac	10.81 du/ac	7.31
Non-Homestead	39	22	59	54	20	15	209
% of Total	38%	29%	48%	56%	63%	63%	46%

➤ **Transit Bus Routes**

