

CITY PLANNING BOARD

BOARD AGENDA

Planning Board Regular Meeting - Tuesday, September 13, 2016 - 6:00 p.m.
City Hall - City Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **CONSIDERATION OF ABSENCES**
5. **CERTIFICATION OF ALTERNATE MEMBER VOTING STATUS**
6. **APPROVAL OF MINUTES**
 - a. Minutes from the August 9, 2016 meeting.
7. **NEW BUSINESS**
 - a. Waiver of Distance - Wood Fyah Bar & Grill - 2164 N US Hwy 1
 - b. Planned Development (PD) - Mayfair at Lawnwood - 1801 Nebraska Avenue
8. **BOARD COMMENTS**
9. **ADJOURNMENT**

Any person seeking to appeal any decision by the Planning Board with respect to any matter considered at this meeting is advised that a record of proceedings is required in any such appeal and that such person may need to insure that a verbatim record of the proceedings is made including the testimony and evidence upon which the appeal is to be based. Persons who require special accommodations under the Americans with Disabilities Act (ADA) should contact (772) 467-3729, at least five (5) days prior to the meeting. Persons who are hearing or speech impaired may use the Florida Relay System by dialing 711.

Planning Board

6. a.

Meeting Date: 09/13/2016

Information

REQUESTED ACTION

Minutes from the August 9, 2016 meeting.

LOCATION

RESPONSIBLE STAFF

RECOMMENDATION

Attachments

Planning Board Minutes 8/9/16

Form Review

Form Started By: Alicia Rosenthal

Started On: 08/11/2016 04:51 PM

Final Approval Date: 08/12/2016

DRAFT



CITY OF FORT PIERCE PLANNING BOARD

Planning Board Minutes

OF THE REGULAR MEETING OF THE FORT PIERCE CITY PLANNING BOARD HELD ON TUESDAY, **AUGUST 9, 2016**, IN FORT PIERCE CITY HALL, COMMISSION CHAMBERS, 100 NORTH US HIGHWAY 1, FORT PIERCE, FLORIDA.

1. CALL TO ORDER

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

Present: **Frank Creyaufmiller; Eloise Cumings; Marcia Baker; Charles Hayek; John George; Mike Dahan; Robert Poitier; Brian Paul; Tim O'Connell; Al Bernetti; Steve Weaver; Bob Burdge, Chairman**

Staff Present: **James Messer, City Attorney**
Rebecca Grohall, AICP, Planning Director
Kori Benton, Senior Planner
Vennis Gilmore, Planning Analyst
Alicia Rosenthal, Administrative Assistant

4. CONSIDERATION OF ABSENCES

All members were present. Mr. Poitier asked to be excused from the July 12, 2016 Planning Board meeting due to an emergency.

Motion was made by Marcia Baker, and seconded by John George to approve the absence of Mr. Poitier from the July 12, 2016 meeting.

AYE: Robert Poitier, Brian Paul, Tim O'Connell, Frank Creyaufmiller, Eloise Cumings, Marcia Baker, Charles Hayek, John George, Mike Dahan, Chairman Bob Burdge
Passed

5. CERTIFICATION OF ALTERNATE MEMBER VOTING STATUS

No alternate members were needed.

6. APPROVAL OF MINUTES

- a. Minutes from the July 12, 2016 meeting

Motion was made by John George, and seconded by Charles Hayek to approve the minutes from the July 12, 2016 meeting.

AYE: Brian Paul, Tim O'Connell, Frank Creyaufmiller, Eloise Cumings, Marcia Baker, Charles Hayek, John George, Mike Dahan, Robert Poitier, Chairman Bob Burdge
Passed

7. NEW BUSINESS

- a. **Mayfair at Lawnwood - Request Continuance to the September 13, 2016 Planning Board Meeting**

Mr. Benton gave an update on the status of the Mayfair at Lawnwood project.

Motion was made by Marcia Baker, and seconded by John George to take Mayfair at Lawnwood from the floor.

AYE: Eloise Cumings, Marcia Baker, Charles Hayek, John George, Mike Dahan, Robert Poitier, Brian Paul, Tim O'Connell, Frank Creyaufmiller, Chairman Bob Burdge
Passed

Motion was made by Marcia Baker, and seconded by Charles Hayek to table Mayfair at Lawnwood until the September 13, 2016 Planning Board meeting.

AYE: Mike Dahan, Robert Poitier, Brian Paul, Tim O'Connell, Frank Creyaufmiller, Eloise Cumings, Marcia Baker, Charles Hayek, John George, Chairman Bob Burdge
Passed

- b. **Site Plan & Design Review - Wawa - 5575 Okeechobee Road**

Mr. Gilmore gave an overview of the application and answered questions from the Board. Mr. Benton provided additional information on generators, distribution truck access and turning radius.

Sergio Martinez, Wawa Representative from Bohler Engineering, answered questions from the Board. Nathan Griffis, Architect from Cuhaci and Peterson, provided additional information on the generators.

Motion was made by Frank Creyaufmiller, and seconded by Charles Hayek to forward a recommendation of approval to the City Commission with the following conditions:

1) The appropriate landscape buffer is integrated along the southern property line per City Code Section 22-187. (10).

2) An appropriate architectural feature such as an awning or canopy is provided to cover or screen the proposed ice container outside of the establishment per City Code Section 22-31 (c) (4) j.

3) The north-west entry and shared driveway is shifted to the south, away from Okeechobee Road, to provide greater clearance, stacking area, and minimization of internal intersection conflicts.

AYE: Marcia Baker, Charles Hayek, John George, Mike Dahan, Robert Poitier, Brian Paul, Tim O'Connell, Frank Creyaufmiller, Eloise Cumings, Chairman Bob Burdge

Passed

c. Conceptual Development Plan - Interstate Business Park - 2496 S. Kings Highway

Mr. Benton gave an overview of the application and answered questions from the Board on Florida Department of Transportation (FDOT) plans and buffering of residential properties. No one spoke for or against the project.

Motion was made by Charles Hayek, and seconded by Frank Creyaufmiller to forward a recommendation of approval to the City Commission.

AYE: Charles Hayek, John George, Mike Dahan, Robert Poitier, Brian Paul, Tim O'Connell, Frank Creyaufmiller, Eloise Cumings, Marcia Baker, Chairman Bob Burdge

Passed

d. Conceptual Development Plan - Kings Highway Business Park - 7001 White Road

Mr. Benton gave an overview of the application and answered questions from the Board regarding drainage and improvements to White Road.

Troy Holloway, Applicant Representative, from Gentile, Glas, Holloway, O'Mahoney & Associates provided more information on the drainage.

Motion was made by Charles Hayek, and seconded by Frank Creyaufmiller to forward a recommendation of approval to the City Commission.

AYE: John George, Mike Dahan, Robert Poitier, Brian Paul, Tim O'Connell, Frank Creyaufmiller, Eloise Cumings, Marcia Baker, Charles Hayek, Chairman Bob Burdge

Passed

8. BOARD COMMENTS

Ms. Baker spoke against the new parking regulations in downtown.

9. ADJOURNMENT

Planning Board

7. a.

Meeting Date: 09/13/2016

Information

REQUESTED ACTION

Waiver of Distance - Wood Fyah Bar & Grill - 2164 N US Hwy 1

LOCATION

2164 N US Hwy 1 (Parcel ID: 1433-440-0009-010-1)

RESPONSIBLE STAFF

Maria Lewicka, AICP
Historic Preservation Planner

RECOMMENDATION

Approval

Attachments

Staff Report
Application
TRC Review Comments
Aerial Location Map
Zoning Map
Property Card

Form Review

Form Started By: Maria Lewicka
Final Approval Date: 09/07/2016

Started On: 09/02/2016 03:12 PM



TO: Members of the City of Fort Pierce Planning Board

THROUGH: Rebecca Grohall, AICP, Planning Director and FPRA Director

FROM: Maria Lewicka, AICP, Historic Preservation Planner

RE: **Application for Waiver of Distance – 2COP Alcoholic Beverage License
 Wood Fyah Bar & Grill
 2164 North US Hwy 1**

DATE: August 24, 2016

STAFF REPORT

Applicant/Business Owner: Wood Fyah Bar & Grill
 2164 North US Hwy 1
 Fort Pierce, FL 34946

Property Owner: Dover-Neal Development Inc.
 4261 13th Street
 Wyandotte, MI 48192

Requested Action: Approval of a Waiver of Distance for an Alcoholic Beverage License

Type of License: 2COP: Sale of Beer and Wine for Consumption On Premises and Package Sales of Sealed Containers.

Name of Establishment: Wood Fyah Bar & Grill

Type of Establishment: Restaurant

Site Location: 2164 North US Hwy 1

Parcel ID: 1433-440-0009-010-1

Current Zoning: C-3, General Commercial Zone

Future Land Use: CG, General Commercial

Surrounding Zoning:

North	East	South	West
C-3	C-3/C-6	C-3	C-3

Staff Analysis:

Section 3-7 of the City Code prohibits the City from granting approval for the sale of alcoholic beverages by retail for consumption on the premises where the establishment is located within 1,600 feet of other licensed establishments, a church, or a school unless a Waiver of Distance is granted.

The applicant is requesting a 2COP license to serve beer and wine for consumption on premises in a restaurant. However, (2) licensed establishments are located within 1,600 feet of the proposed establishment. Therefore, in accordance with Section 3-9 of the City Code, the applicant is requesting a waiver of the minimum required distance of 1,600 feet between the applicant's establishment, and two neighboring licensed establishments.

As specified by Section 3-15 of the City Code, a waiver of distance shall be granted only if it does not adversely affect community health, safety or general welfare and that the following are considered:

a. The actual location and distance of the proposed establishment with respect to other places of business licensed to sell intoxicating beverages, whether on or off the premises, as well as churches and schools;

Per the manner of measurement outlined in City Code Section 3-8, there are two (2) similar licensed establishments located within 1,600 feet of the proposed establishment. The existing site of St. Lucie Inn Lounge & package maintains an active license to sell alcoholic beverages and is approximately 650 feet away. Touch of Brooklyn Pizza is located approximately 1,100 feet away from the proposed location.

b. The type and size of the establishment, including any bar floor space and seating capacity, and whether, in view of such type or size, the proposed establishment is likely to create a public nuisance or traffic impediment by drawing crowds or persons milling about outside the building;

The proposed restaurant has a gross floor area of approximately 3,440 square feet. The restaurant is planned to seat 53 patrons via traditional dining tables and 12 via bar stools. Given the type and size of the proposed establishment (typical restaurant serving lunch and dinner), staff finds that it is not likely to create a public nuisance or traffic impediment by drawing crowds or persons milling about outside the building.

c. Whether adequate parking and landscaping for the facility are provided so as to meet the requirements set forth in sections 22-59 through 22-61;

The existing site contains adequate parking and landscaping.

d. Whether the facility is physically separated or well buffered from all adjacent residentially zoned areas;

The proposed establishment is surrounded entirely by commercially zoned property. The perimeter landscaping and abutting roadways offer a sufficient landscape buffer for the surrounding uses.

e. Whether traffic generated by patrons or pickup/delivery vehicles will pass through low or moderate density residentially zoned neighborhoods;

The proposed establishment's access is from US Hwy 1 and from A-1-A. It would not be necessary for either customers or commercial vehicles to pass through low or moderate density residentially zoned neighborhoods.

f. Whether, if the facility is located within sixteen hundred (1,600) feet of a church or school, it will generate traffic which may adversely affect the safety of persons attending such church or school.

This establishment is not located within 1,600 feet of a church or school.

Staff Comments:

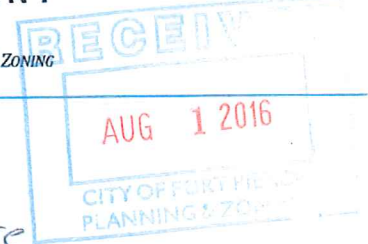
As the proposed establishment does not present factors that adversely affect community health, safety or general welfare, meets the above-summarized criteria, and has been reviewed and approved by the Technical Review Committee, Staff recommends that the Planning Board forward a recommendation to the City Commission for **approval** of the Waiver of Distance for a 2COP Alcoholic Beverage License for the proposed Wood Fyah Bar & Grill establishment.



CITY OF FORT PIERCE

PLANNING DEPARTMENT

COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN REDEVELOPMENT ♦ ZONING



WAIVER OF DISTANCE

Property address or Location 2164 N. U.S. Hwy 1, FT. Pierce
Parcel ID #(s) 1433-440-0009-010-1
Project description Note: Actual Address of restaurant is 2164 N. us. 1, Hwy 1
additional units 9180 2162, 2158+2160 - FT. Pierce, FL

Dover- Neal Development
Property Owner(s) 4261 13th street
Street Address WyAndo He, MI 48148192
City 313 State 600 Zip 2100
Phone Number idoverspike@ecorse.com
Email Address

WOOD EYAH BARD GRILL
Applicant/Representative, Title, Company 2164 North US Hwy 1
Street Address Fort Pierce FL 34946
City 772 State 672 Zip 9329
Phone Number Orlene.goodazz@yahoo.com
Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

[Signature]
Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY
The foregoing instrument was acknowledged before me this 21st day of July, 2016, by Ivan Doverspike who is personally known to me or has produced his drivers license as identification.

SANDRA J. FRASIER
NOTARY PUBLIC, STATE OF MI
COUNTY OF WAYNE
MY COMMISSION EXPIRES Sep 27 2018
ACTING IN COUNTY OF Wayne

[Signature] Signature of Notary (seal)

INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3000 x729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date _____
Intake Planner _____
Planner Assigned _____
Approved By _____ Date _____
Comments _____

Fees _____ Control # _____ B. Permit # _____

Intake Date Stamp

WAIVER OF DISTANCE

Submit one (1) original & seven (7) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- As-built site drawing, to scale, including the building, front door, parking area, traffic ingress and egress, sidewalks, landscaping and exterior lighting
- Sketch of the building's interior layout including square footage of the following: kitchen, bar area, seating arrangement, and restrooms
- Complete, notarized

Application Type:

- 1 APS/2APS: Beer Only / Package Sales or On-Premises Consumption
- 1 COP/2COP: Beer and Wine/Package Sales or On-Premises Consumption
- 3 APS: Beer, Wine & Liquor/Package Sales Only
- 4 COP: Beer, Wine & Liquor/On-Premises Consumption

Business Information:

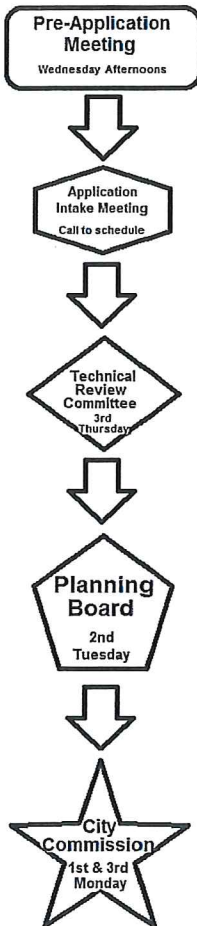
- New Business
- Transfer from: _____ Open since: _____
address year

Building Size 3140 Maximum Occupancy _____ Total Seating 65 Parking Spaces 34

Hours of Operation:

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
to	to	to	to	to	to	to
11 10	11 10	11 10	11 10	11 11	11 11	—

Application Outlook



Minimum requirements for on-premises consumption.

(1) An applicant holding a "Beer and Wine—Consume on Premises and Package Sales" license must be engaged in conducting a bona fide restaurant establishment, for which such waiver is sought, and to qualify as a bona fide restaurant the restaurant must:

- (a) Have tables capable of seating not fewer than twenty (20) persons simultaneously, for the purpose of serving meals;
- (b) Must dispense sales of beer and wine only to persons patronizing the establishment for the main purpose of ordering and consuming food;
- (c) Have permanent kitchen facilities with a commercial stove, refrigerator and oven located within the premises in which meals are regularly prepared for service to patrons of the establishment.

(2) An applicant holding a "Beer, Wine and Liquor—Consume on Premises and Package Sales" license must demonstrate that any parking area provided for is illuminated by not less than three (3) footcandles per square foot of parking lot area.

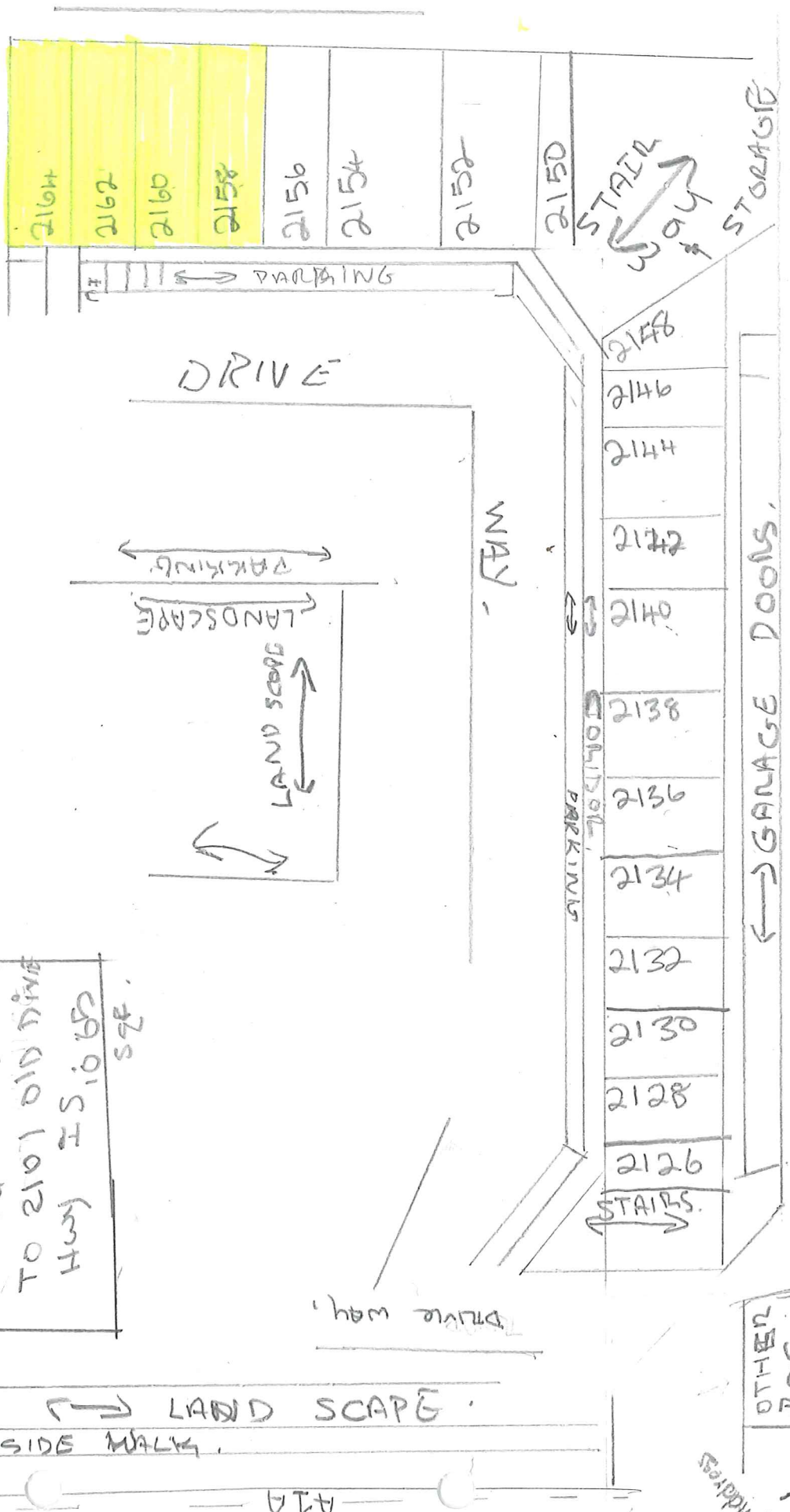
Wood Fyala Bar & Grill
 2164 North US Hwy 1
 Fort Pierce FL 34946

US 1
 ADDRESS

Addressess
 ↓

FROM ADDRESS.
 2164 N US 1
 TO 2101 Old Dixie
 Hwy IS 1065
 size.

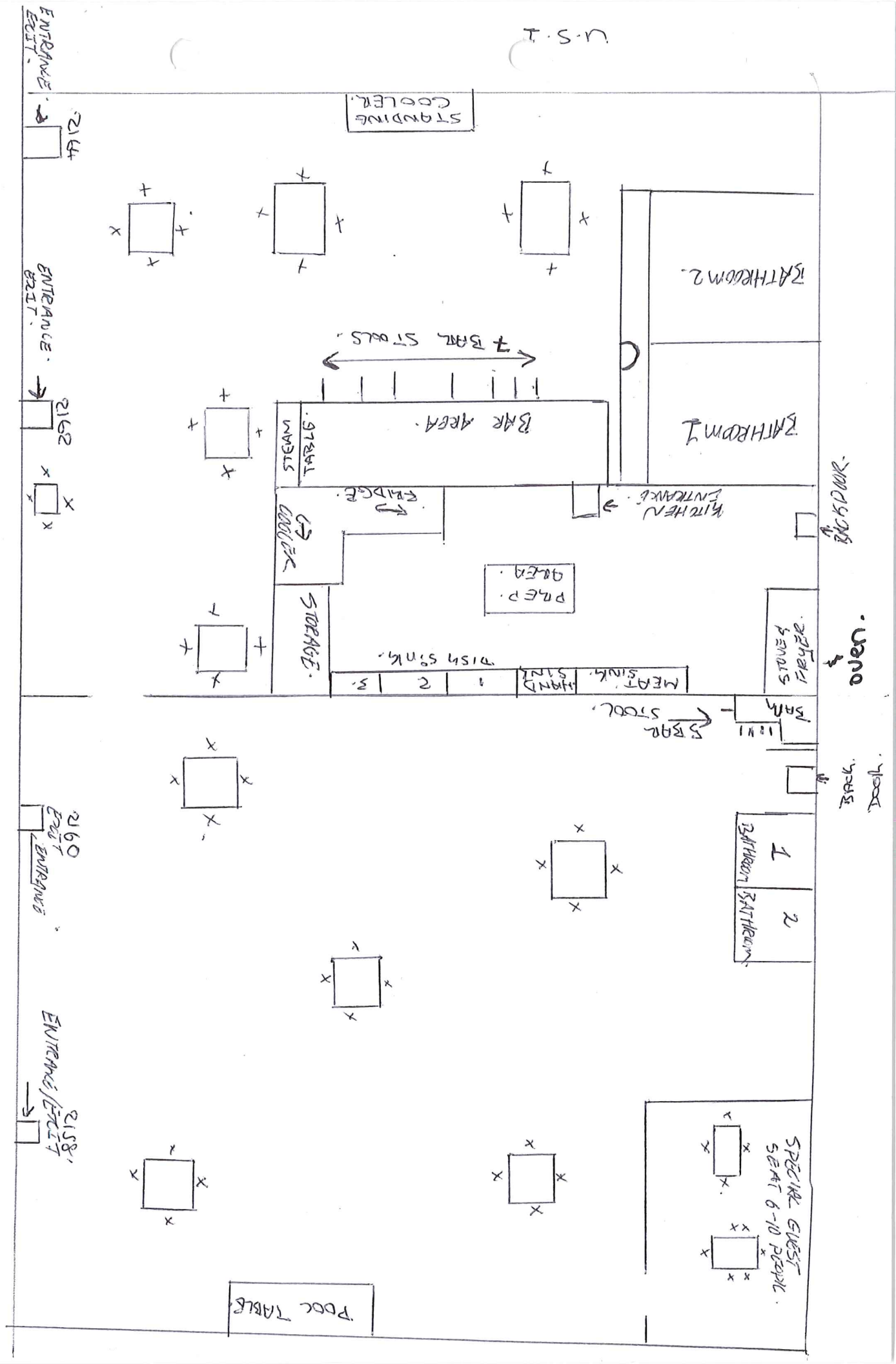
LAND SCAPES
 SIDE WALK



OTHER BOARD
 2101 Old Dixie Hwy
 ↑
 Address

2101 Old Dixie Hwy
 OLD DIXIE

U.S.I.



RESTAURANT FLOOR PLAN - 50L

WOOD FURN BAR & GRILL

WOOD FURN HAS FOUR STORE FRONTS

FROM 2164 - 2158

TOTAL SQR 3440

Bar 285 sqft

Bathroom each 120 sqft (4)

Kitchen 620 sqft

HANDICAP ENTRANCE



August 17, 2015

Wood Fyah Bar & Grill
2164 North U.S. Hwy 1
Fort Pierce, FL 34946

arlenegoodazz@yahoo.com

**Re: Planning Department Comments
Technical Review – Wood Fyah Bar & Grill
Waiver of Distance – 2COP License
2164 N US Highway 1**

Dear Wood Fyah Bar & Grill

The following are technical review comments from the Planning Department's review of the application for **Waiver of Distance** for a 2COP license for the sale of Beer & Wine License for consumption on premise:

1) Pursuant to City Code Section 3-14. , the Minimum requirements for on-premises consumption are presented below for the requested 2COP license:

(1) An applicant holding a "Beer and Wine—Consume on Premises and Package Sales" license must be engaged in conducting a **bona fide restaurant** establishment, for which such waiver is sought, and **to qualify as a bona fide restaurant the restaurant must:**

(a) Have tables capable of seating not fewer than twenty (20) persons simultaneously, for the purpose of serving meals;

(b) Must dispense sales of beer and wine only to persons patronizing the establishment for the main purpose of ordering and consuming food;

(c) Have permanent kitchen facilities with a commercial stove, refrigerator and oven located within the premises in which meals are regularly prepared for service to patrons of the establishment.

Chapter 3 further defines a **Restaurant** as: A business licensed as a restaurant by the state division of hotels and restaurants and by the city to be a place **where full-course meals are prepared, in a full-service kitchen with a commercial stove, refrigerator and oven, which facility provides seating for at least twenty (20) patrons with standard height dining room tables or booths of adequate size to accommodate the service of full-course meals in accordance with the number of chairs found at the table, with such seating exclusive of seating at bars, counters, or cocktail tables and has a city local business tax receipt as a restaurant.** The primary operation of the restaurant shall be for the serving of full-course meals.

-The presented floor plan does not show the required oven. Please revise the floor plan to meet the minimum requirements for pursuing a 2COP license.

2) The parking area is required to be lit at a minimum average of two (2) footcandles, as required by City Code. If the site lighting is deficient, please provide a site lighting plan to detail the proposed lighting improvements.

If you have any inquiries or concerns, please let me know. Please contact me should you have any questions regarding the project at (772) 467-3738 or by e-mail: mlewicka@city-ftpierce.com.

Sincerely,

A handwritten signature in black ink, appearing to read "Maria Lewicka". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Maria Lewicka, AICP
Historic Preservation Planner



THE SUNRISE CITY

FORT PIERCE
BUILDING DEPARTMENT *Florida*

TO : Maria Lewicka, AICP, Historic Preservation Planner

FROM : Kristie Kirstein, Senior Permit Specialist

RE : Technical Review Project: #16-8000002
2164 N US Hwy 1 – Waiver of Distance

DATE : 8/17/16

The Building Department only comment is a reminder that any proposed site work or construction work may require permits. Based on additional information you have provided me, this proposed business will not require a change of use through our department.



Wood Fyah Bar and Grill - 2164 N.

Martha Kerr

to:

'Maria Lewicka'

08/22/2016 11:04 AM

Hide Details

From: Martha Kerr <mkerr@fpu.com>

To: 'Maria Lewicka' <MLewicka@city-ftpierce.com>

History: This message has been replied to.

Good Morning,

Below are additional comments on **Waiver of Distance** – Wood Fyah Bar and Grill - 2164 N.

US Hwy

W/WW Engineering Dept: Waiver of Distance is approved. Inspection of the grease trap has been completed and FUA is working with the owner to correct.

Regards,

Martha Kerr

FPUA

Staff Assistant

W/WW Engineering Department

1701 S. 37th Street

Fort Pierce, FL 34947

Telephone: (772) 466-1600, Ext. 3473

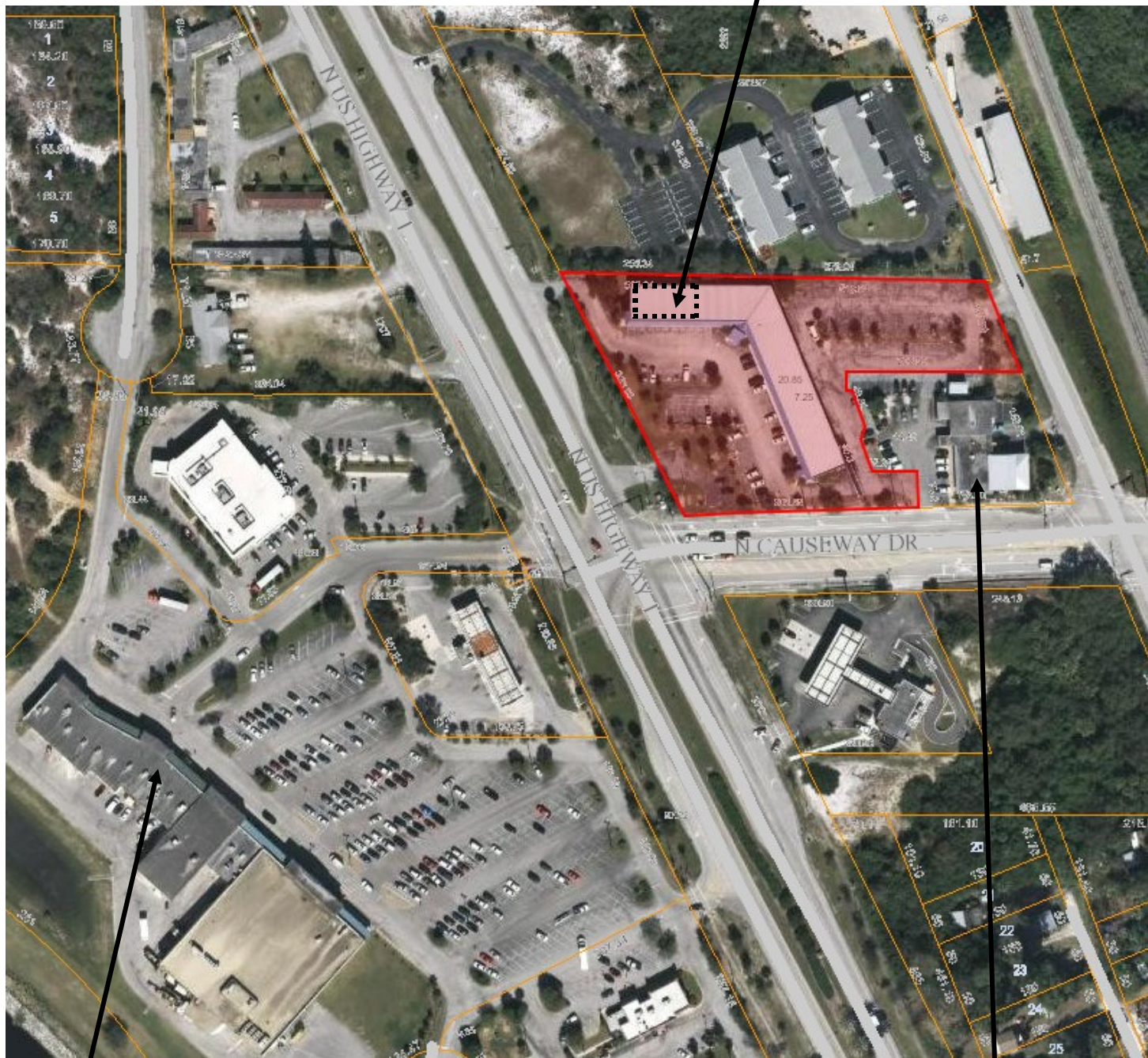
Fax: (772) 468-2414

mkerr@fpu.com

Please note: Florida has a very broad public records law. Most written communications to or from Fort Pierce Utilities Authority employees regarding government business are public records, available to the public and media upon request. Your e-mail communications may be subject to public disclosure.

(For additional information, go to http://www.fpu.com/important_information/privacy.php)

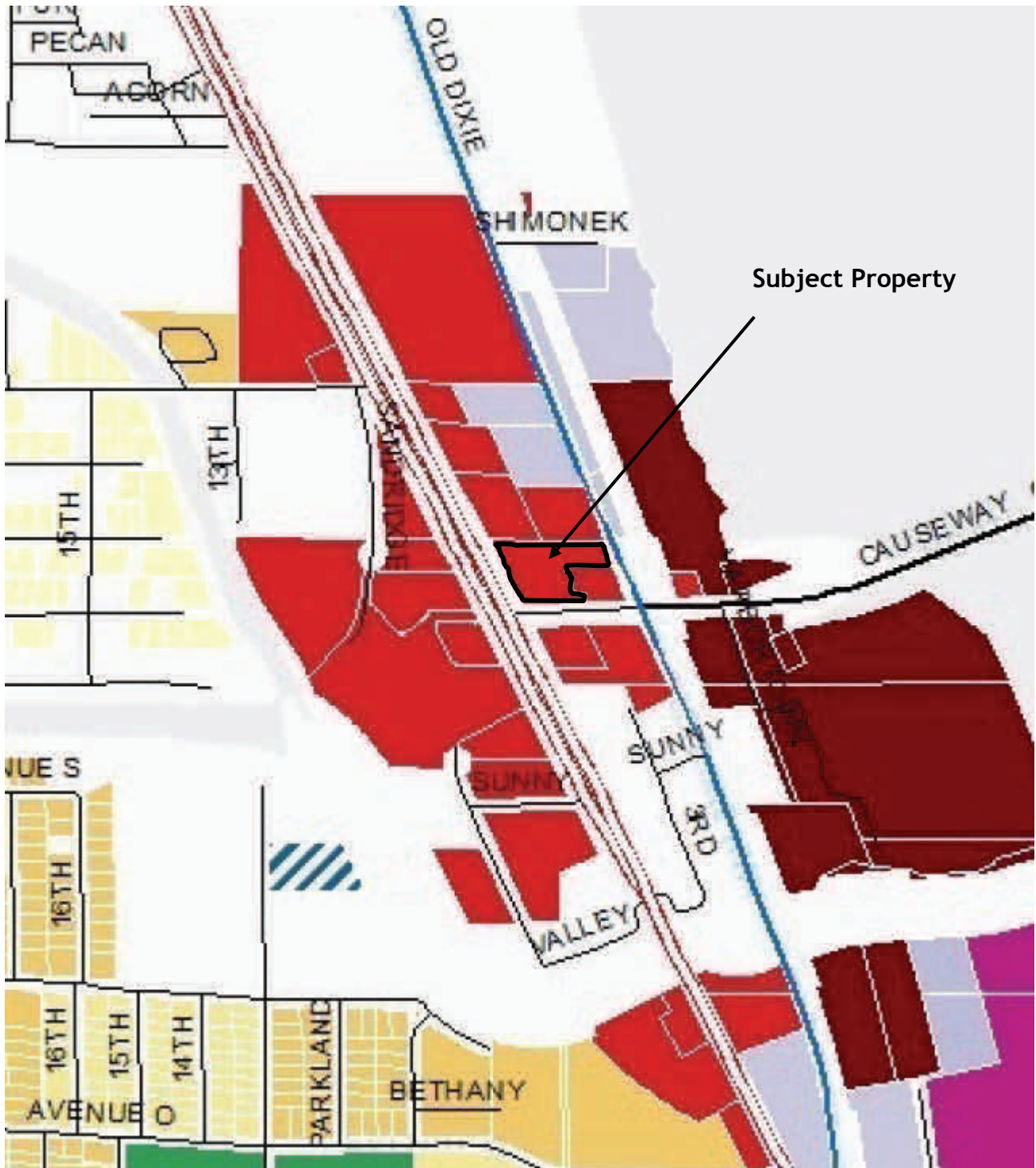
Wood Fyah Bar & Grill
(Proposed Restaurant)



Touch of Brooklyn Pizza

St. Lucie Inn Lounge & Package

Wood Fyah Bar & Grill Site Location



- C3 General Commercial
- C6 Marine Commercial
- I1 Light Industrial

Zoning Map

Property Identification

Site Address: 2202 N US HWY 1
 Sec/Town/Range: 33/34S/40E
 Map ID: 14/34S
 Zoning: C3

Parcel ID: 1433-440-0009-010-1
 Account #: 11543
 Use Type: 1600
 Jurisdiction: Fort Pierce

Ownership

Dover-Neal Development Inc
 4261 13th St
 Wyandotte, MI 48192

Legal Description

33/34 34 40 BEG AT INT OF N R/W A1A AND ELY R/W US HWY 1
 RUN N 87 DEG 48 MIN 28 SEC E ALG SD N R/W OF A1A 308.53 FT, TH
 N 02 DEG 12 MIN 29 SEC W 37.30 FT, TH S 87 DEG 48 MIN 28 SEC W
 55.34 FT, TH N 23 DEG 50 MIN 19 SEC W 38.30 FT, TH N 19 DEG 04
 MIN 13 SEC E 14.45 FT, TH N 21 DEG 10 MIN 31 SEC W 48.62 FT, TH
 N 89 DEG 38 MIN 12 SEC W 7.25 FT, TH N 00 DEG 10 MIN 45 SEC E
 20.85 FT, TH N 89 DEG 17 MIN 30 SEC E 203.59 FT TO WLY R/W OLD
 DIXIE HWY, TH N23 DEG 30 MIN 41 SEC W ALG SD WLY R/W 137.39
 FT, TH N 89 DEG 40 MIN W 283.65 FT, TH N 89 DEG 42 MIN W 229.89
 FT TO E R/W US 1, THSLY ALG US 1 329.97 FT TO POB (2.57 AC) (OR
 889-1023 AND 1026)



Current Values

Just/Market Value: \$1,075,200
 Assessed Value: \$1,075,200
 Exemptions: \$0
 Taxable Value: \$1,075,200
 Taxes for this parcel: SLC Tax Collector's Office
 Download TRIM for this parcel: Download PDF

Total Areas

Finished/Under Air (SF): 29,515
 Gross Area (SF): 40,099
 Land Size (acres): 2.57
 Land Size (SF): 111,949

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Mar 7, 1994	0889 / 1023	XX00	WD	F N B PROPERTIES INC	\$1,040,000
Oct 20, 1992	0813 / 2899	XX01	CT		\$975,000

Building Information (1 of 1)

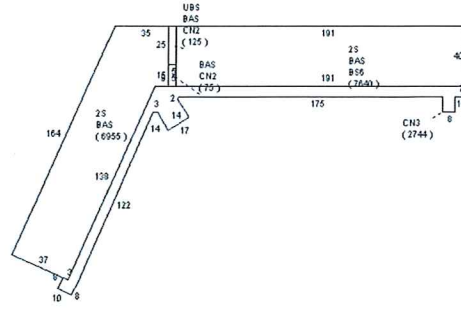
Finished Area: 29,515 SF
 Gross Total Area: 40,099 SF

Exterior Data

View:	Roof Cover: Roll Comp	Roof Structure: BarJst/Rigid
Building Type: NSCT	Year Built: 1984	Frame:
Grade: Y_D+	Effective Year: 1984	Primary Wall: CB Stucco
Story Height: 1 Story	No. Units: 34	Secondary Wall:

Interior Data

Bedrooms: 0	Electric: MAXIMUM	Primary Int Wall:
Full Baths: 0	Heat Type: FredHotAir	Avg Hgt/Floor: 0
Half Baths: 0	Heat Fuel: ELEC	Primary Floors: Carpet
A/C %: 100%	Heated %: 100%	Sprinkled %: 0%



Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
2S	ONE FULL STORY OVER BASE (TOTAL 2 FLOORS)	14595	14595	888
BAS	BASE AREA	14795	14795	988
BS6	BASEMENT/60	7640	0	462
CN2	CANOPY	200	0	100
CN3	CANOPY	2744	0	760
UBS	UPPER BASE AREA/+1	125	125	60

Special Features and Yard Items

Type	Qty	Units	Year Blt
ELEVATOR	1	2670	1979
ASP2 LOW	1	26000	1979
DOUBLE LIGHT	1	3	1984
SINGLE LIGHT	1	6	1984
CONCRET RAMP	1	48	1984
CEMENT CURB	1	156	1984
CONCRETE LOW	1	2974	1984

Current Year Values

Current Values Breakdown		Current Year Exemption Value Breakdown				
		Tax Year	Grant Year	Code	Description	Amount
Building:	\$963,300					
Land:	\$111,900					
Just/Market:	\$1,075,200					
Ag Credit:	\$0					
Save Our Homes or 10% Cap:	\$0					
Assessed:	\$1,075,200					
Exemption(s):	\$0					
Taxable:	\$1,075,200					

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
1999	0041	53.1	Fort Pierce Stormwater Charge	\$2,867.40

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office.

Historical Values

2015	\$1,003,500	\$1,003,500	\$0	\$1,003,500
2014	\$1,025,500	\$1,025,500	\$0	\$1,025,500
2013	\$1,013,400	\$1,013,400	\$0	\$1,013,400

Permits

Number	Date	Description	Amount	Fee
F00-0001162		Roof	\$52,500	\$0
F900000917	Jul 18, 1990	Heat and Air Conditioning	\$4,000	\$4,000
F96-000068	Jan 26, 1996	Alterations/Remodeling	\$8,000	\$8,000
F01-00001084	Mar 6, 2002	Alterations/Remodeling	\$1,800	\$75
RF2002-107	Dec 30, 2002	Roof	\$52,500	\$650
CP200416	Jul 12, 2004	Concrete	\$800	\$75
EXH20042	Dec 14, 2004	Unknown	\$10,000	\$275
MC2004193	Dec 14, 2004	Air Conditioning Only	\$9,575	\$375
MC200584	Apr 29, 2005	Air Conditioning Only	\$7,000	\$195
FSP20052	May 2, 2005	Sprinkler System	\$900	\$75
CR200623	Jun 8, 2006	Alterations/Remodeling	\$1,000	\$100
MC200641	Sep 14, 2006	Air Conditioning Only	\$75,000	\$900
0700000976	Jan 18, 2008	Roof	\$350,000	\$3,499
0800000574	Nov 12, 2008	Demolition	\$0	\$130
0800000684	Mar 10, 2009	Alterations/Remodeling	\$42,000	\$498
0800001493	Mar 31, 2009	Yard Sprinkler System	\$12,900	\$129
BP10-2085	Nov 12, 2010	Alterations/Remodeling	\$545	\$150
BP13-3023	Dec 13, 2013	Alterations/Remodeling	\$12,300	\$352

Notice: This does not necessarily represent all the permits for this property.

Click the following link to check for additional permit data in Fort Pierce

This information is believed to be correct at this time but it is subject to change and is not warranted.

© Copyright 2016 Saint Lucie County Property Appraiser. All rights reserved.

Planning Board

7. b.

Meeting Date: 09/13/2016

Information

REQUESTED ACTION

Planned Development (PD) - Mayfair at Lawnwood - 1801 Nebraska Avenue

LOCATION

1801 Nebraska Avenue

RESPONSIBLE STAFF

Kori Benton, Senior Planner

RECOMMENDATION

Approval with the following conditions: 1) The property owner and/or applicant secures the necessary authorization and/or easements to complete the proposed off-site sidewalk connections; 2) The development of the southern parcel as a forty (40) unit ACLF/Memory Care facility is subject to the review and approval of a design review application pursuant to City Code Section 22-59. - Design subject to consideration by the Planning Board and City Commission.

Attachments

PB Staff Report - Mayfair at Lawnwood
Update - Meeting between Application & Representatives of Concerned Parties
Aerial & Zoning Map
Mayfair at Lawnwood - Planned Development Booklet
Development Application, Record Cards, Agent Authorization & Title
Site Plan & Survey
Elevations, Typical Floor Plan & Parking Lot Lighting
Landscape Plans - Overall & Individual Building Plans
Preliminary Paving, Grading, & Drainage Plan
SFWMD Correspondance & Previous SFWMD Permit (Partially Certified & Expired)
Mayfair Density Bonus & Surrounding Neighborhood Review
Mayfair - Sidewalk Exhibit - Final
Capacity Analysis & Traffic Study
2nd Submittal TRC Comments & Applicant's Response May 2016
1st Submittal TRC Comments November 2015 & Applicant's Responses January 2016
2005 Planning Board Minutes & Overview
2004 Application & Planning Board Discussion

Form Review

Form Started By: Kori Benton

Started On: 09/06/2016 04:24 PM

Final Approval Date: 09/07/2016



CITY OF FORT PIERCE

PLANNING DEPARTMENT

REBECCA GROHALL, AICP, PLANNING DIRECTOR & FPRA DIRECTOR
COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ ZONING

TO: Members of the City of Fort Pierce Planning Board

THROUGH: Rebecca Grohall, AICP, Planning Director

FROM: Kori Benton, Senior Planner

RE: Application for Planned Development (PD)
Mayfair at Lawnwood
1801 Nebraska Avenue

DATE: June 7, 2016

STAFF REPORT

Owner: Mayfair At Lawnwood Reph LLC
780 NW 42nd Ave Ste 300
Miami, FL 33126

Applicant/Representative: Richard Wohlfarth, PE - Associate Director
IBI Group (Florida) Inc.
2300 Maitland Center Parkway-Suite 101
Maitland FL 32751-7410

Requested Action: Approval of a Planned Development (PD)

Location: 1801 Nebraska Avenue

Parcel IDs: 2416-504-0199-000-1, 2416-504-0199-050-6 & 2416-504-0199-200-3

Current Zoning: PD, Planned Development

Proposed Zoning: PD, Planned Development

Future Land Use: RM, Medium Density Residential

Surrounding Zoning:

North	East	South	West
R-4	PD	OS-1	C-1

Site Size: 15.66 acres

Utilities: Located within the FPUA Retail Service Area

Staff Analysis:

Request

In accordance with Sections 22-40, 22-59, and 22-72 of the City Code, the applicant is requesting the review and approval of a Planned Development (PD) encompassing a phased multi-family residential and non-residential development. The subject property, containing three parcels of land, is currently zoned PD, Planned Development and is 15.66 acres in size.

Existing Conditions & Property History

The subject parcel was cleared in 2006 to facilitate the construction of the previously approved Mayfair at Lawnwood Development Plan, consisting initially of 230 residential units with a later amendment to 220 units. The previous development plan was marginally completed, leaving parking area infrastructure and a single, 10-unit residential building on the northern parcel. A limited collection of oak and pine trees remain across the middle properties, which were planned for preservation. The property has remained stagnant for nearly a decade as the development plan was discontinued and subsequently expired. The current application seeks to reutilize the baseline infrastructure for a redesigned development plan.

The subject site was rezoned in 1982 as a component of the master Planned Unit Development known as Longwood. The initial 1980s plan sought the development of 578 residential units in three phases, offering a variety of housing options and styles. The phasing of the development was not completed as intended, and the density of the completed sections were adjusted from the initial plan, with an overall reduction in units. The 1982 master plan conceptualized 264 units for the subject site, while the formal 1985 proposal for Longwood Place Apartments presented 256 units for this segment of Longwood. The project was never advanced, and remained motionless for nearly two decades. In 2003, an application for Longwood Commons Apartments was proposed for 264 units and later withdrawn. In 2004, a plan known as Lawnwood Gardens presented another plan for 264 units at the subject site, however pursuit of the plan was discontinued.

In 2005, the previously approved Mayfair at Lawnwood received preliminary and final development plan approval with various conditions agreed upon between the former developer and the Villages of Longwood Homeowners Association. The property was subsequently sold for development, cleared, and construction commenced on-site until market conditions impacted the development. The project remained inactive and the property was sold in 2009. In 2011, the new owners of the abandoned project applied to amend the conditions of approval for the development, but later withdrew the request. The subject site has retained the PD, Planned Development zoning designation, however the previously development plan has expired.

Project Summary

The newly proposed Mayfair at Lawnwood Development (PD-Mayfair) is designed for a 218 unit multi-family residential development, to be accompanied in a later phase by a variable development of the southern parcel as a forty (40) bed Adult Congregate Living Facility (ACLF). This proposal may be shifted to facilitate the construction of an extra five (5) residential units to utilize eligible density, or potentially reserve the southern parcel for Open Space if demand is not present for a small scale ACLF.

The subject site encompasses three parcels of land segmented by Nebraska Avenue and South Lawnwood Circle, situated between Lawnwood Regional Medical Center to the west and the Villages of Longwood to the east. The development of the Mayfair property is being considered for development as follows:

	North Parcel	Middle Parcel	South Parcel	<u>Total</u>
Parcel Size	5.24 acres	7.76 acres	2.66 acres	<u>15.66 acres</u>
Development Type	• 86 residential	• 132 residential	• 40 Bed ACLF/Memory	<u>223 Residential Units -</u>

	units	units	Care Facility or • 5 residential units or • Open space	<u>Maximum</u>
# of Residential Structures	7	11	0*	<u>18</u>
1 Bedroom Units	40	66	0*	<u>106</u>
2 Bedroom Units	42	66	0*	<u>108</u>
3 Bedroom Units	4	0	0*	<u>4</u>

The new development plan seeks a similar building layout to the approved 2005 plan, with a concentration of residential dwellings to the northern two parcels of the site. The new design features twelve to fourteen unit structures which adjust the overall building footprints and decrease the size of each unit marginally. The redesigned plan eliminates four (4) residential structures previously planned on the parcel south of South Lawnwood Circle and integrates two pools and cabanas, designated one for each segment of the residential development.

The concentration of the residential units provides cost savings per unit, and provides flexibility for the use of the southern 2.66 acre parcel which is considered for open space, an Adult Congregate Living Facility, development of five (5) additional residential units or the capacity to request consideration of a limited commercial use of the southern site at a later time.

Density

The Medium Density Residential (RM) Future Land Use designation is designed for parcels that are best suited for multifamily residential uses ranging in density from 6.5 to 12 dwelling units. The City's Comprehensive Plan and Land Development Code provide the capacity for a density bonus of up to five (5) dwelling units per acre upon fulfillment of the established criteria. A portion of the subject development is located within one-fourth (¼) mile radius of two (2) transit stops, which are actively serviced by the St. Lucie County transit authority. Approximately 7.05 acres of the site meet the distance requirements, therefore the proposed project qualifies for a prorated density bonus for such portion, representing up to thirty-five (35) additional units per Policy 1.1.6 of the City's Comprehensive Plan and Section 22-72 of the City Code.

A total of two-hundred and twenty-three (223) units may be proposed for this particular project, or an overall density of 14.24 dwelling units per acre. The review of the requested density bonus requested and transit map are provided within the application packet.

Design

The presented architectural design is reflective of the existing residential structure present from the previous development plan, embodying a passive contemporary style typified by an architectural shingle roof, defined covered entries, visible second floor walkways and elevated rear porches. The proposed two-story design features some variation in roof height, and articulated stucco design to enhance front and rear facades. The design utilizes a variety of landscaping species and sizes to accent elevations, and provide visual relief for each unit. The peak height of the residential structures is 24 ft., providing consistency with the established structure on-site and compatibility with surrounding developments.

The building placement maintains a minimum twenty-five foot setback from the adjacent property lines to the east, orienting the structures and placement of a decorative masonry wall for separation and privacy for the adjacent residential development. Entry points to the development and each building are emphasized through use of landscaping.

The project further incorporates active recreation for residents through the inclusion of two pools and cabanas, common area BBQ grills with seating, a dog walking area, and interconnected pedestrian pathways.

The development options for an ACLF/Memory Care facility for the southern parcel will be required to submit a design review application pursuant to City Code Section 22-59. - Design review for further consideration by the Planning Board and City Commission, prior to advancement of such development. The impending application will be required to contain a final design narrative, site plan, lighting plan, landscape plan, floor plans and elevation drawings of the proposed facility, meeting the requirements of City guidelines.

The development option of the southern parcel as an additional five (5) residential units is subject to the administrative review provisions of City Code Section 22-59. - Design review.

Transportation & Sidewalks

Access points to the development will be provided on North Lawnwood Circle, Nebraska Avenue and South Lawnwood Circle, with limited connectivity for vehicles across each segment of the project. This design minimizes the speed travelled within the parking areas, restricts pass through traffic, and more appropriately disperses traffic generated by the facility. Turn lanes within the median of Nebraska Avenue will remain.

On-site parking is provided beyond the requirements of City Code, incorporating parking for residents, guests and use of the on-site amenities. Bicycle racks will be provided on-site pursuant to City Code requirements. Site lighting will be provided via LED fixtures for the parking areas, and decorative light fixtures around the residential structures, in accordance with City Code requirements. The site design and lighting plan emphasizes limitation of spill-over to adjacent sites.

The development includes an extensive sidewalk plan which provides internal connectivity across the sites, to adjacent developments, and adjacent transit stops. The plan encompasses sidewalks along the boundaries of the development, as well as the infill of approximately 1,300 linear feet of off-site connections to eliminate gaps present to the west. The connection provides future residents valuable connections to the surrounding medical uses, transit stops, and parks. The applicant will be required to coordinate construction of such sidewalks with the adjacent properties owners and the City.

Stormwater Retention & Landscaping

Stormwater facilities for the development are integrated throughout the site via minor retention areas and shallow swales to provide pretreatment and storage prior to further discharge into the master retention lakes designed within Longwood. These dry retention areas are intermingled across the property and screened with landscaping to minimize appearance.

The stormwater management system previously authorized by the South Florida Water Management District (SFWMD) for the former project was only partially completed, and has since expired. A new SFWMD permit that complies with current District rules (Rule 60-330, Fla . Admin. Code) will be required prior to construction of the proposed development.

The presented landscape plan emphasizes the provision of parameter buffers along the boundaries of the site augmentation of the planned decorative masonry wall proposed along the eastern property lines. Each building has landscaping designed to accent each elevation and enhance integration into the master development.

The landscape plan proposes the planting of over 1,000 new trees across the development, providing a variety of species to augment the proposed structures, provide mitigation for the numerous trees previously cleared, and further the transition from Lawnwood Regional Medical Center to the Villages of Longwood. A series of hedge plants, flowering plants, and ground cover complete the extensive landscape plan presented. The overall development plan presents a planned open space level of 36.40%.

Traffic Impacts

The traffic impact study presents the generation of approximately 1450 Average Daily Trips (ADT) for the proposed 218 residences, of which 135 trips are PM and 112 trips are PM Peak hour trips. The variable development capacity for the southern parcel presents fluctuating traffic impacts, contingent upon the final direction for development. The utilization of the remaining segment for open space eliminates the production of traffic impacts, whereas the development of this parcel as an forty (40) bed ACLF or Memory Care facility adds approximately 96 ADT and 6.8 Peak Hour Trips to the development. The added impacts of these uses do not adversely affect the surrounding roadway links

The initial transportation network throughout Longwood was strategically designed and constructed within the initial Longwood PUD to accommodate the master development and expansion of medical uses surrounding the hospital. The trips are primarily concentrated onto Nebraska Avenue, a divided four-lane roadway linking 25th Street to 13th Street, providing access to surrounding developments. North and South Lawnwood Circles provide secondary connections to the integrated residential and medical uses.

The adjacent roadway linkage of 13th Street from Virginia Avenue to Nebraska Avenue and from Nebraska Avenue to Georgia Avenue presents level of service concerns, and further impact from the planned trips, as both segments operate at a Level of Service D. In the absence of additional right-of-way to expand travel lanes, or the designated turn lanes for various institutional users, options to improve the traffic service are limited. The replacement of the traffic light at Nebraska Avenue and 13th Street with a traffic circle (roundabout) would enhance the level of service, but may present functional challenges for the existing schools along this roadway. If the applicant seeks to amend the Planned Development to pursue approval for a limited commercial use for the southern parcel, reassessment of traffic impacts will be required. Additional review of the intersection of Nebraska Avenue and 25th Street will also be necessary in the future, as additional office commercial is development around Lawnwood.

Phasing

The project is planned to for development in multiple phases. Phase 1 encompasses the completion of 86 units and incorporated amenities at the north parcel. The initial phase of building construction is planned to begin within 12 to 18 months after the plan approval and is intended to be constructed in 2-3 years.

Phase 2 includes the middle parcel, which may commence in as little as 2 years after the plan approval however the applicant is seeking a development window of 5-7 years from development plan approval to complete this phase.

The Final Phase, for the southern parcel, is not dependent on the first two phases and will be marketed separately of the initial two phases. The applicant is requesting authorization of Phase 3 for 7 years from approval.

The applicant considers the timelines presented as the maximum timeline necessary to complete the development, anticipating that the phases will be completed prior to the dates outlined above. The offsite and common area improvements such as pool, cabana, and sidewalks will be appropriately linked to the corresponding phase.

The Planning Board may seek to consider recommending specific timelines or thresholds for tying certificate of occupancy for residential structures to the completion of the common area amenities, for example the requirement to complete the pool and cabana concurrent with the certificate of occupancy of the first residential structure, or an appropriate benchmark.

Comprehensive Plan & Compatibility

The subject property is designated with a Future Land Use of Medium Density Residential (RM) which is best suited for multifamily residential uses ranging in density from 6.5 to 12 dwelling units per acre. This category allows small-lot single family units and multifamily dwellings including duplexes, condominiums and townhomes. Limited commercial uses intended to serve the residential uses are also allowed. Compatible public, quasi-public, and special uses including parks, churches, non-profit clubs, schools and daycare facilities may be integrated as well. The plan also seeks consideration of a density bonus, for a portion of the property, pursuant to Comprehensive Plan Policy 1.1.5 which allows a density bonus of 5 dwelling units per acre above the maximum permitted density for developments located within ¼ mile of a rail station, multimodal transit center, or transit stop.

The proposed plan seeks to offer residential housing opportunities, within the allowable density limits, adjacent to Lawnwood Regional Medical Center, Indian River State College, and the various public facilities surrounding Lawnwood. The proposed development presents a transitional development between the established Villages of Longwood and the commercial hub surrounding Lawnwood Regional Medical Center. The design, height, and density of the residential project offer compatibility with the surrounding environment. The further development of the southern parcel with the flex option of an ACLF or Memory Care Facility will require further submittal for review of design compatibility.

Technical Review Committee

All affected departments have reviewed the proposed development plan for consistency with established ordinances and requirements of the City Code. Comments and approval from review by affected departments, and the corresponding responses and plan amendments by the applicant are provided for consideration.

Staff Recommendation:

The proposed Planned Development (PD) presents a residential and minor non-residential development plan consistent with the City's Land Development Regulations and Comprehensive Plan, therefore Staff recommends the Planning Board forward a recommendation of approval, with the following conditions:

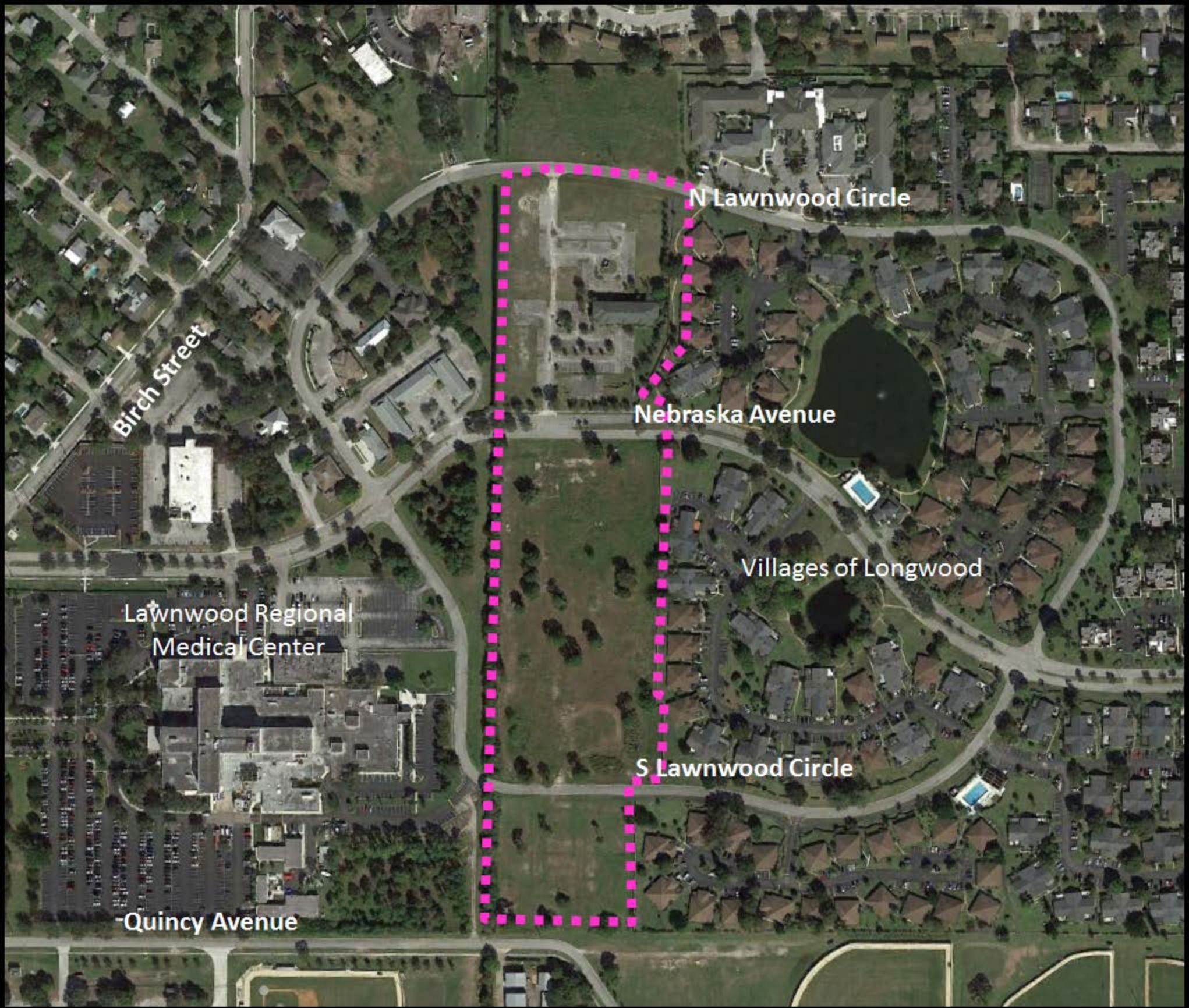
- 1) The property owner and/or applicant secures the necessary authorization and/or easements to complete the proposed off-site sidewalk connections;
- 2) The development of the southern parcel as a forty (40) unit ACLF/Memory Care facility is subject to the review and approval of a design review application pursuant to City Code Section 22-59. - Design subject to consideration by the Planning Board and City Commission.



Applicant Meeting Update:

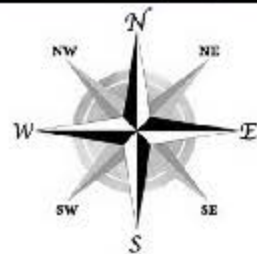
The applicant, Richard Wohlfarth, PE, of the IBI Group met on August 24th, 2016, with representatives of the Villages of Longwood; David Earle, Esq., Deborah Ross, Esq., and Kevin Henderson, PE at the offices of Ross, Earle, Bonan, & Ensor, P.A..

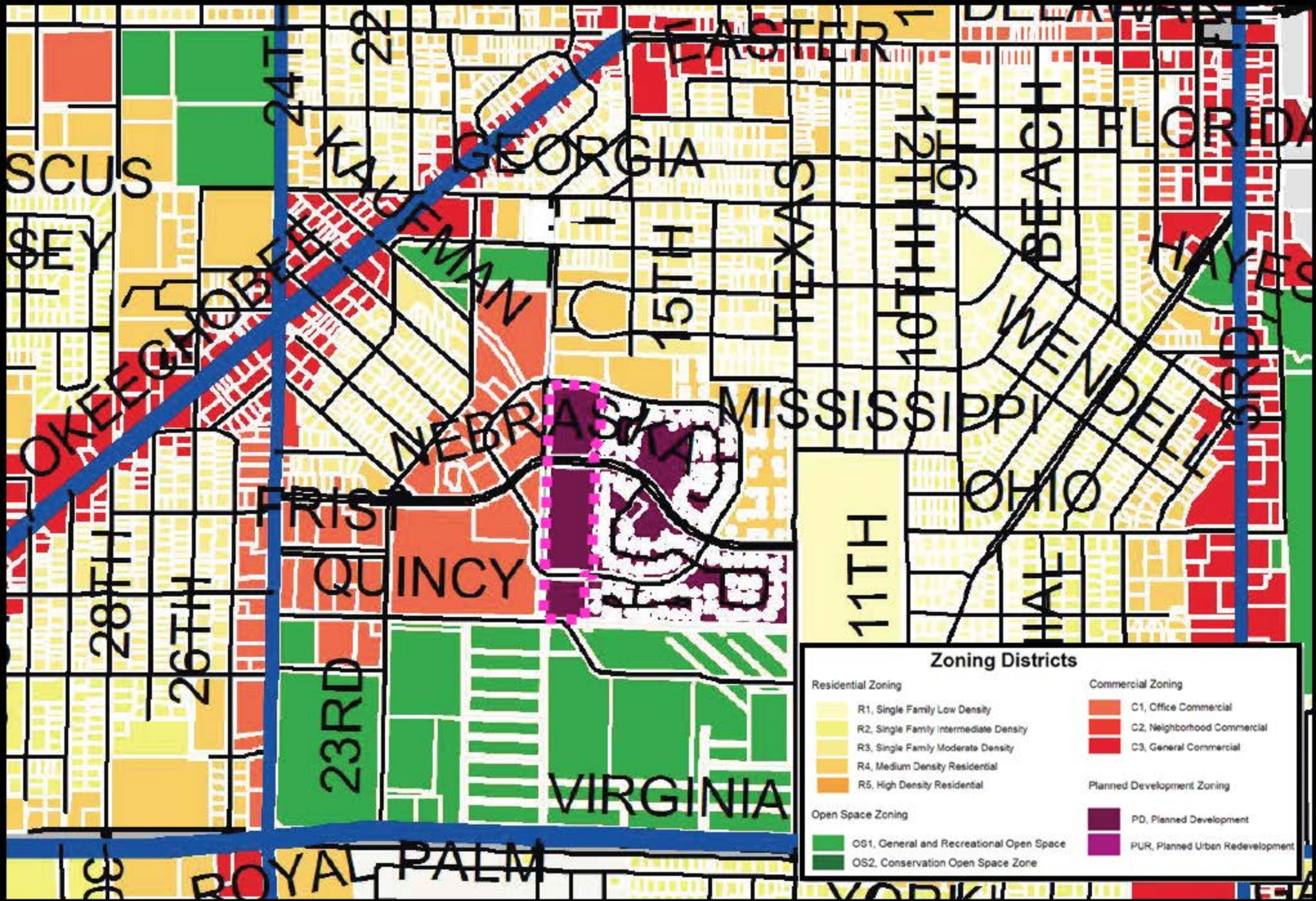
The parties discussed the issues and concerns presented during the June Planning Board meeting. These issues included, but were not limited to, drainage, density, occupant type. An update pertaining to the concern of drainage will be provided by the applicant at the September Planning Board Meeting.



Mayfair at Lawnwood

1801 Nebraska Avenue
Aerial Map



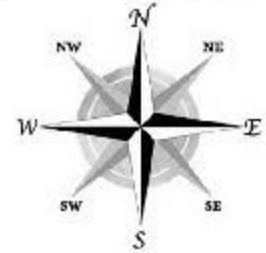


Zoning Districts

Residential Zoning	Commercial Zoning
R1, Single Family Low Density	C1, Office Commercial
R2, Single Family Intermediate Density	C2, Neighborhood Commercial
R3, Single Family Moderate Density	C3, General Commercial
R4, Medium Density Residential	
R5, High Density Residential	Planned Development Zoning
Open Space Zoning	PD, Planned Development
OS1, General and Recreational Open Space	PUR, Planned Urban Redevelopment
OS2, Conservation Open Space Zone	



Mayfair at Lawnwood
 1801 Nebraska Avenue
 Zoning Map



PROJECT NARRATIVE MAYFAIR AT LAWNWOOD

Introduction

The Mayfair at Lawnwood Project is located in the City of Ft. Pierce, St. Lucie, Florida. The property is located south of Okeechobee Road (SR 70) adjacent to the Lawnwood Regional Medical Center. The site is north of Virginia Avenue. Indian River State College and the St. Lucie County Administration Building are located along Virginia Avenue less than 1 mile from the site. These three major facilities provide potential purchasers of the units. The site is located midway between I-95, 2 miles to the west and US-1. This location is in one of the better neighborhoods of Ft. Pierce and provides a site that will meet the needs of the residents working in the immediate area. The location map to the left shows the site, road network and some of the facilities.



The project zoning is PUD/PD

The utilities for the project are extended to the site and no off-site costs are anticipated. In addition, based on a

preliminary site inspection the infrastructure is nearly completed

Previously Approved

The project is comprised of 3 parcels. The following is a table that details the three parcels:

Parcel	Parcel ID Number	Land Size (Acres)	Number of Buildings	Units
North Parcel		5.43	7	70
Middle Parcel		7.75	11	110
South Parcel		2.69	4	40
		15.87	22	220
* Surveyed Size of 15.66 acres				

The above information is based on the St Lucie County Property Appraiser.

The property was started in 2005 and the majority of the work was done in 2005 to 2007. The original developer was Oriole Homes. The engineer was LBFH. The architect was Jackson Kirtchner. Based on a preliminary inspection the north parcel is fully developed with the infrastructure completed including the parking lot. It appears that the pavement is in reasonable shape. The second lift of asphalt will be required. In addition, 1 of the 7 buildings has been completed and the units are in very good shape.



The middle parcel is the largest of the three with over 7.75 acres and building pads for 110 units. Based on an initial review very little of the infrastructure for the middle parcel has been installed

The southern parcel is the smallest parcel. This parcel is 2.69 acres and building pads for 40 units. Based on an initial review and a survey of the property all of the infrastructure, less pavement is installed.

The aerial above shows the three parcels. The north parcel is at the top of the aerial.

Based on a review of the site plan all the buildings are identical. The building mix is:

1 Bedroom/1.5 Bath	2 Units/ Building	44 Units
2 Bedroom/2 Bath	4 Units/Building	88 Units
3 Bedroom/2 Bath	4 Units/Building	88 Units
Total		220 Units

The units are large and range from slightly less than 1,000 Square Feet to 1,700 Square Feet. Each building is 12,500 Square Feet in Size.

The aerial over lay to the right shows the parking areas and building 22 building pads for the proposed project.

A copy of the existing Site plan is attached as Figure 1.



Existing Building



The picture to the left shows the existing building. This 10 unit building is move in ready and has been fully maintained by the seller over the past 5 years.

Justification

The property already has a zoning designation of PUD. This project was approved in 2005 for a total of 220 residential units. The project was partially constructed and with a large portion of the infrastructure installed and 1 of the buildings constructed. This project has been in this condition since it was abandoned in 2010/2011.

The principal justification for PUD is that the zoning exist on the property and the purpose of this amendment is to modify the master plan, change the conditions of approval and to add units to the project. A copy of the letter from the City approving the Site Plan Review for a Preliminary and Final Planned Unit Development Plan is attached.

The concept of PUD zoning is to provide a classification that will allow flexibility to more traditional zoning. These provisions were followed when the property was approved. Based on those approval a substantial amount of money was invested to construct the infrastructure and to build one of the buildings. The photographs attached are of the existing building. This building is located on the northern property.

Current Plan

The current site plan shows ~~218 dwelling units and Residential~~, ACLF, Memory Care/Medical, Parking or Open Space use on the Southern Property. Based on the allowable 223 units the density is 14.7. This includes the 12 units per acre plus a portion of the bonus of 5 units per acre. All of the units will be 1 and 2 bedrooms. The property is located near a transit stop. This is shown on the transit map provided in the original submission. The additional density is justified by having smaller units, limiting the site to 1 and 2 bedroom units, being near a transit stop less than ¼ mile, and being an infill parcel.

The surrounding area is a transition from single/multi-family to institution. The area to the East is an established residential area with Single Family and Multi-Family Units. Many of these units have become Rental Units. The area to the West is a Regional Hospital and Medical Offices. The area to the South is a Regional Recreation area and the area to the North is vacant, with similar Land Uses to the subject Property. The proposed Use provides the transition from Residential to Institutional.

The demand for Rental Units have grown in recent years. The employment for the Regional Hospital, City and County administration offices, School Board Offices, Police and Fire, Higher Education do not have adequate and close opportunities for quality Rental Units. The proposed project will provide these units in close proximity to these potential residents.

The Land Use Comprehensive policy 1.1.5 provides for a density bonus of 5 DU/Acre. This project is within ¼ of a mile of a transit stop and will provide necessary rental housing to major employers already located on the Bus Route. It is an extension of previously granted density bonus. It is important to state

that the previously granted credits were relied on a substantial construction completion utilizing these density bonuses.

The property is located just north of a major recreation center. This center provides Active Recreation for the area. The proposed project will also have on-site recreation including a pool and cabana, BBQ pits with tables, a dog walking area and connecting walkways.

The location of this project provides a close alternative to major employment. The close proximity to a transit stop that services the majority of these employment centers will reduce the need for individual cars. With a significant employment base within walking distance the project will provide alternative housing that would allow the residents to walk to work. The proposed project will provide adequate walkways to the Regional Hospital and Bus Stop.

The Comprehensive Plan promotes development to increase the Tax Base and provide needed housing for existing and prospective residents. The proposed project meets that goal by increasing the value of the property with the construction of the proposed rental units. The proposed project if fully approved would add 218 units with a value of over \$100,000.00 per unit or \$21,800,000.00 in value. In addition, the potential increase in property values for the southern property could add an additional 3 to 5 million dollars. This increase will provide a substantial increase in the taxable base for the City.

As mentioned above the principal justification for the approval of the master plan is that the zoning exist. This is a modification to an expired master plan. The original developer, utilizing this zoning, made a significant investment to the property. The limited residential development in the city can be enhanced by this development. The close proximity to the major employers in the City and the location of the existing bus stop make this an attractive alternative to housing for many of the City existing and potential residents, and the significant increase in the tax base. It is for these reasons that the projects proposed plan is justified.

Existing and Proposed Land Use Tables

The following is a Land Use Table of the existing and the proposed design criteria for the PUD:

Land Use Table

Parcel ID	Acreage
2416-504-0199-000-1	5.35 acres
2416-504-0199-050-6	7.75 acres
2416-504-0199-200-3	2.69 acres
Total	15.8 acres [±] 15.66 acres Surveyed
Existing Land Use	RM – Residential Medium
Proposed Land Use	RM – Residential Medium
Existing Zoning	PUD /PD
Proposed Zoning	PUD /PD
Adjacent Zoning	
North	R-4
South	OS-1
East	PUD /PD
West	C-1
FEMA Firm	12111C0187J
Flood Zone	X

	Existing	Proposed
Maximum Building Height	3 Story (35 Feet)	Residential 2 Story (24 Ft.) Commercial 3 Story (35 Ft)* *(Subject to Further Approval)
Property Set-back		
North		15 Feet
South		15 Feet
East		25 Feet
West		15 Feet
Building Separation	25 Feet	25 Feet
Open Space	20%	25% (Min.)
Parking		
Required	1.5 Spaces per unit (345)	1.5 Spaces per Unit (327)
Provided		1.71 Spaces per Unit (373)
HC Parking		
Required		2% (8)
Provided		11 % (44)

Development of the Southern Parcel

The development of the Mayfair property is based on the density of the property including the bonus density. Based on the analysis the allowable density is 223 residential units. This is based on the applying the ¼ mile distances to the % of the property and adding the 5 DU/Acre bonus. Based on the 187.92 units and the 35.25 units a total of 223 units are permitted to be constructed on the 3 parcels. The current plan being considered is as follows:

- North Parcel 86 Units
- Middle Parcel 132 Units
- South Parcel Other Uses
- **Total** **218 Units**

The plan is to construct units on the North and Middle parcel (218 Units). This would allow an additional 5 Units that could be constructed on the South Parcel.

The proposal is to construct the North two parcels with the residential units as shown on the PD plan that has been submitted. The South Parcel would be considered for construction of the following:

Authorized Uses: The following uses considered require application for Design Review for approval:

Residential Maximum number of units without reducing the units in the North or Middle parcel is 5. In the event that all of the 218 units are not constructed on the North and South parcels then the excess units up to the 223 units can be constructed on the southern parcel.

ACLF/Memory Care The number of beds permitted on the property can be equated to 8 beds per unit or 40 beds. The use for the site would be restricted to the 40 beds unless there is an additional transfer of units from the North or Middle parcel. The 25 foot buffer, including the 6' buffer wall and landscaping will be constructed as part of the ACLF. The 25' Buffer will be constructed in the initial 3 months of the construction of the improvements.

Open Space The Southern Parcel may be used to increase the Open Space for the adjacent property. The increase in the open space will permit the construction of impervious improvements on the adjacent property. The use of the southern parcel to increase the open space for the adjacent property will require the southern property to be put in to a conservation easement. The use of the property will still require the site to have a 25 ft. buffer along the eastern edge. If during the planning stage the need to construct a 6' high wall is unnecessary, then it can be eliminated.

Uses Requiring Major Amendment PD: The following uses considered would require the filing of a Major Amendment to the PD, Development Plan prior to further consideration for approval:

Medical Limited Commercial Office and Support Facilities that complement the facilities that are concentrated around the Lawnwood Regional Medical Facility. The development on the South Parcel would be limited to:

- 30,000 Square Feet of building area with a FAR under .3.
- 2 Stories or 30 Feet in Height.
- Minimum Setback to building and Parking of 25 Feet, The Proposed 25 Buffer as previously required to be constructed along the Eastern Property Line. A 6' High Panel Wall constructed of Concrete to be constructed along the Eastern Property Line. (Timing of wall construction? From other segments, it suggests that it would be deferred until further development)
- The Medical use shall follow the appropriate City Code in the design and development of the site
- The proposed project will be in accordance with Figure 6.

Parking Limited Commercial Parking to support the demands generated by the Lawnwood Regional Medical Center. The development of the parking lot would require a 25' buffer along the eastern property line. The Proposed 25 Buffer as previously required to be constructed along the Eastern Property Line. A 6' High Panel Wall constructed of concrete to be constructed along the Eastern Property Line.

The Site Lighting would be limited, so that the allowable foot-candle at the eastern property line will be limited to .2 ft. candles.

The Parking lot shall be construed to meet all of the requirements as outlined in the City Code. All portions of the code including landscape, irrigation, buffers required will need to be followed in the design of the parking area. The approval of the use of the parking lot will need to be approved by the TRC.

The proposed project will be in accordance with Figure 7.

Architecture

The intent is to develop the new buildings for the rental portion of the project utilizing the same architectural style of the initial building constructed on the site. Figures 3, 4 and 5 are color elevations of the proposed buildings

Rental vs. Owner Occupied

When we first looked at the project we considered the building a condominium building or a for sale project. After we did our research we found that it would be impractical to do a condominium project since the value of units in the surrounding area is depressed. In order to see if there has been a change we have done some research and looked at what units are on the market. I have attached a copy of that analysis. Based on the research we find that the average unit is selling for slightly over \$40.00 per square feet. Since the construction cost plus land and infrastructure is over \$95.00 per square feet you can see that it is totally impractical to construct this project as a for sale project.

We also did a review of the units to the east that have homestead exemptions filed. I have attached a plan that shows the units that do and do not have homestead exemptions. The units that have been colored HAVE homestead exemptions. The ones that HAVE NOT been colored do not have homestead exemptions. I have also attached a table that identifies the number and percentages. As you can see 46% of the units do not have homestead exemptions. While this is not a complete analysis to show the number of "RENTAL" units it is a strong indication that the units are either rental or used seasonally by the owners.

The property is close to the existing transit line, right at ¼ of a mile, next door to 1,600 employees of HCA, close to many office buildings with employees. We have designed the project with professional and potentially shared units. This is the reasoning for the predominately 1 and 2 bedroom units. We have also reduced the sizes to allow us to upgrade the units and still provide reasonable rates to attract the professionals in the Hospital, State College, City and County employees, and School Board Employees that will be able to take advantage of the location and the proximity to the existing transit system.

Pedestrian Circulation

I have attached a plan showing the existing, proposed and on-site side walk plans. The plans shows the interconnection to the existing system and some enhancements that we can make to complete the system. As we discussed we proposed to construct sidewalks on a minimum of one side of any adjacent street. Where there is existing walkways on the opposite side we would also construct sidewalk on that side. Where there are No walkways to the east or west we would proposed to construct sidewalks off our property to complete the network. We are fully commit to construct the number of feet of sidewalk required to have sidewalks on all adjacent streets to the property. We would like to work with the staff to identify a complete plan to service this project and the surrounding area.

Traffic

The traffic impact of the proposed project is based on the original proposal for the development of 266 Apartments. Based on the study the impact of the 1,769 Average Daily Trips and 165 PM Peak Hour trips did not adversely impact the project will operate at satisfactory level of service. The current proposal is for the development of 218 units on the north and center parcel. Based on ITE code 220 the revised project will generate 1450 Average Daily Trips and 135 PM Peak hour trips. The southern parcel has various options.

The memory Care Unit traffic is based on ITE Code 255. This option adds 96 ADT and 6.8 Peak Hour Trips. This option generates less trips than was indicated in the traffic study.

The Office option is based on ITE Code 720. The 30,000 SF building generates 1,089 ADT and 107 PM Peak Hour Trips. In order to construct this option an updated traffic study would be required as part of the amendment to justify the use.

Phasing

The approval of the plans by the City Commission for the PD and Master Plan will start the phasing of the project. This PD approval is referenced as the "Plan Approval".

The project will be developed into multiple phases. Phase 1 includes the north parcel and will have 10 existing and 76 additional units for a total of 86 units. The initial phase will start with the cleaning of the site, improving the landscaping and the renting of the exiting units. The marketing of the units will commence immediately upon the Plan Approval and it is anticipated that the building plans will be submitted for permit within 6 months of the Plan Approval. The initial phase of new building construction will start within 12 to 18 months after the Plan Approval and be constructed in 2-3 years. The entire time of phase 1 is 3-4 years from the plan approval.

The 2nd phase includes the middle parcel and is dependent on the success of renting the northern parcel. The 2nd phase could start in as little as 2 years after the Plan Approval and be completed in 3-4 years. It is anticipated that the 2nd phase will be completed in 6-7 years after the Plan Approval.

The last phase is not dependent on the first two phases and will be marketed separately of the initial two phases. It is anticipated that the 3rd phase can be done in the same timeframe of 6-7 years.

The above phasing plan is the extreme time needed to develop the property and it is anticipated that the phases will be completed prior to the dates outlined above.

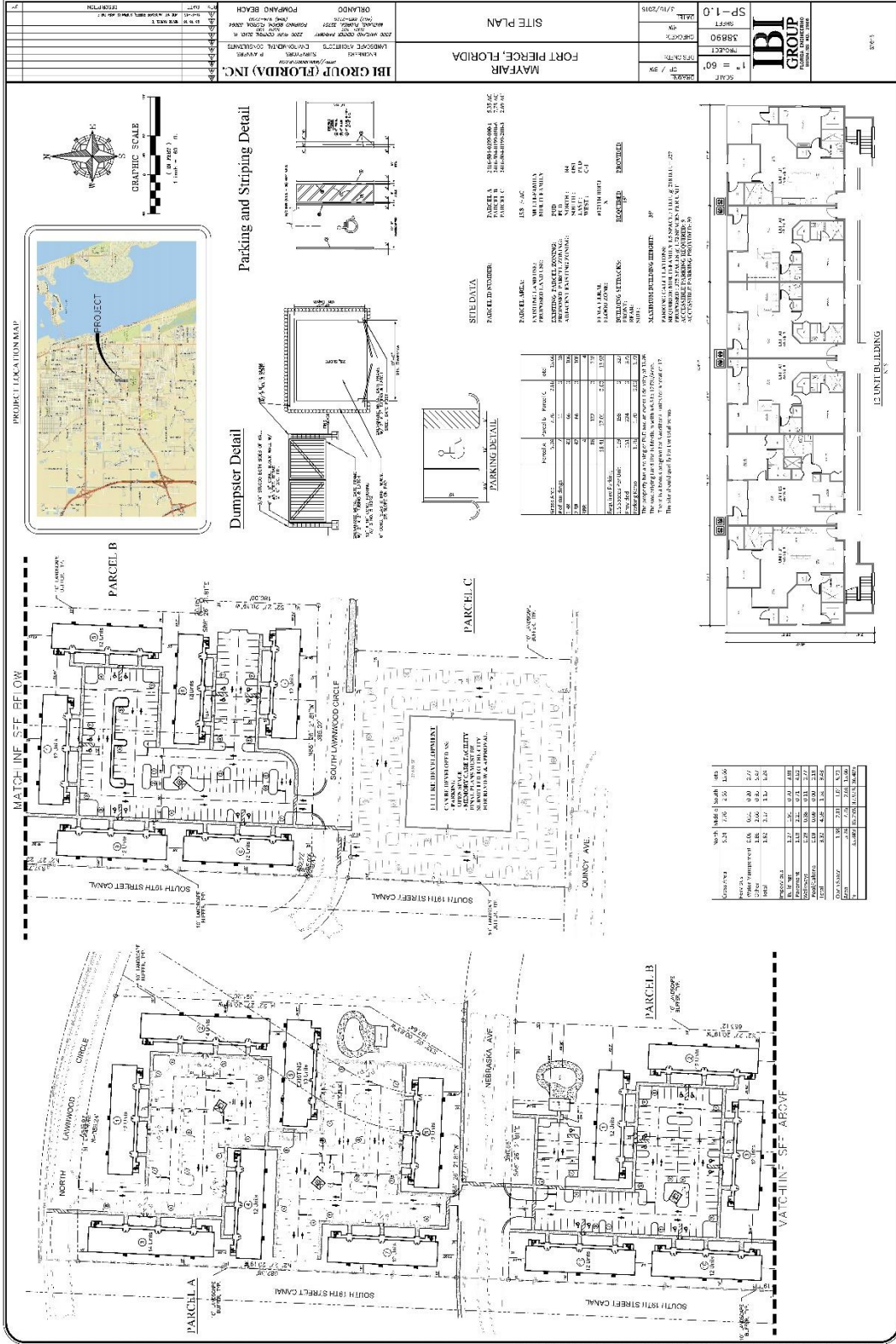


Figure 2 Proposed Site Plan



From Bankim

Figure 3 Front Elevation



Figure 4 Rear Elevation



Figure 5 Side Elevations

- **Proposed Building Elevations Building**
- **Existing Structure**
- **Site Development Plans**
- **Landscape Plans (Overall Site & Individual Building)**
- **Proposed Sidewalk Plan**
- **Neighboring Densities & Occupancy - Maps & Data**
- **Transit Bus Routes**
- **Capacity Analysis & Traffic Study**

➤ **Proposed Building Elevations Building**



Front Elevation



Rear Elevation



Left Side Elevation

Right Side Elevation



Existing Structure

Mayfair at Lawnwood

Photographs - Exterior



Mayfair at Lawnwood

Photographs – Interior Model





Site Development Plans

Overall Site Plan
Preliminary Paving & Drainage

MAYFAIR AT LAWNWOOD

CITY OF FORT PIERCE ST. LUCIE COUNTY, FLORIDA

PROJECT TEAM

OWNER

MAYFAIR AT LAWNWOOD REPH, LLC
ATTN: ELIZABETH A. McHUGH
780 N.W. 42ND AVENUE
MIAMI, FLORIDA 33126
PHONE: (305) 569-5146
EMAIL: EMCHUGH@OCEANBANK.COM

SURVEYOR

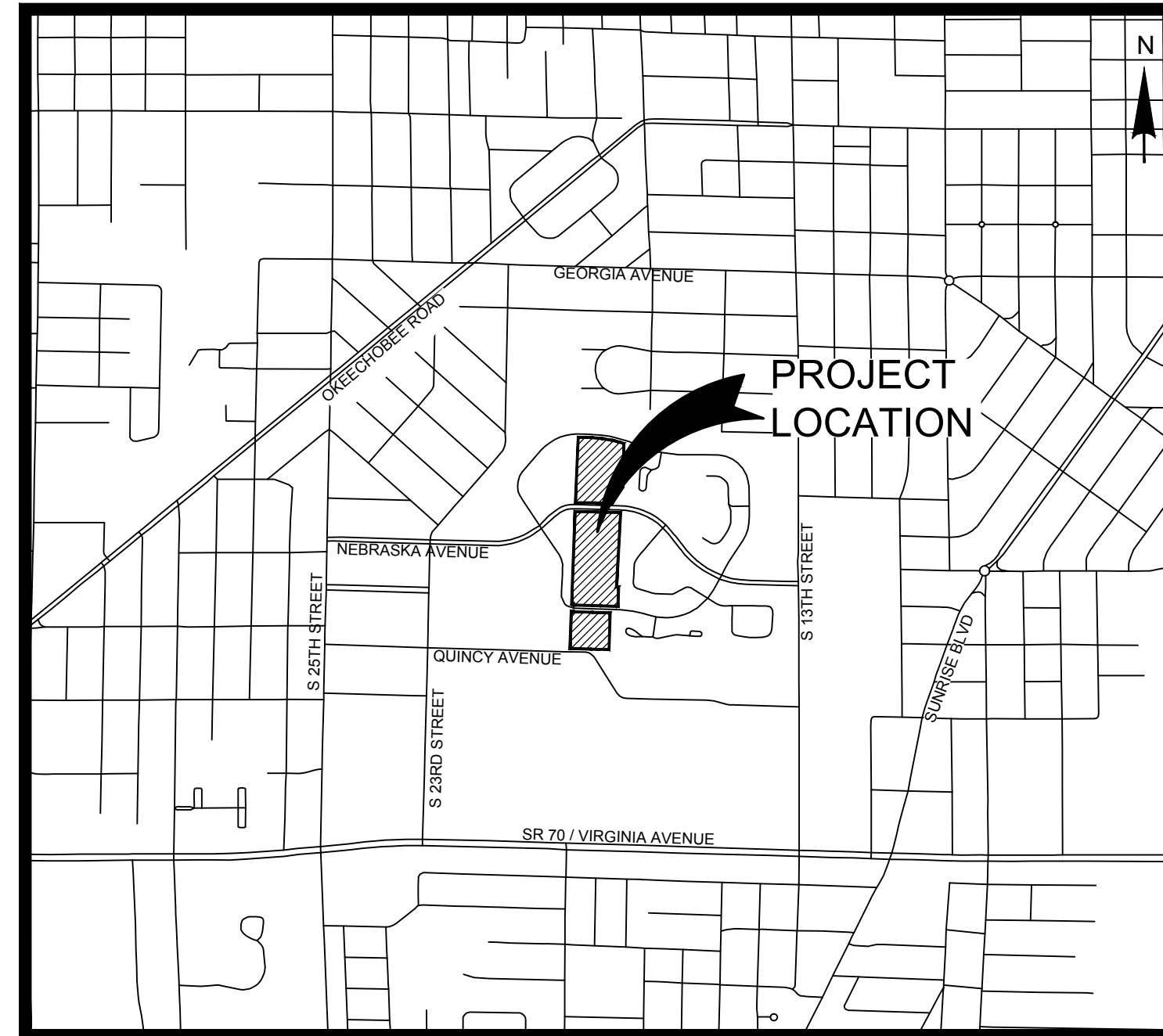
IBI GROUP (FLORIDA) INC.
SURVEYOR: WILSON E. WAY, PLS
2300 MAITLAND CENTER PARKWAY
SUITE 101
MAITLAND, FL 32751
PHONE: (407) 660-2120
FAX: (407) 875-8308
EMAIL: WILSON.WAY@BIGROUP.COM

CIVIL ENGINEER

IBI GROUP (FLORIDA) INC.
ENGINEER: RICHARD C. WOHLFARTH, P.E.
2300 MAITLAND CENTER PARKWAY
SUITE 101
MAITLAND, FL 32751
PHONE: (407) 660-2120
FAX: (407) 875-8308
EMAIL: RWOHLFARTH@BIGROUP.COM

ARCHITECT

IBI GROUP (FLORIDA) INC.
ARCHITECT: JOE GEROUX
2300 MAITLAND CENTER PARKWAY
SUITE 101
MAITLAND, FL 32751
PHONE: (407) 660-2120
FAX: (407) 875-8308
EMAIL: JOEGEROUX@BIGROUP.COM



LOCATION MAP

SCALE: NOT TO SCALE

LEGAL DESCRIPTION:

LAWNWOOD ADDN THAT PART OF LAWNWOOD ADDN MPDAF: BEG AT INT NLI NEBRASKA AV AND E LI S 19 ST (CANAL), TH N 1 25 E ALG E LI OF SD S 19 ST 582.85 TO S R/W LI OF N LAWNWOOD CIR, TH ELY ALG SD S R/W ON A CURVE CONCAVE SLY, DELTA 20 21 26, R OF 1189.24, ARC DIST 422.54, TH S 01 25 01 W 375.70 FT, TH S 30 59 45 W 183.44 FT TO N R/W LI NEBRASKA AV, TH N 89 28 42 W 327.66 FT TO POB INCL VAC STS AND ALLEYS AS IN OR 265-675 (5.43 AC) (OR 3116-1904)

AND

LAWNWOOD ADDN THAT PART OF LAWNWOOD ADDN MPDAF: BEG INT S R/W NEBRASKA AV AND E R/W S 19 ST (CANAL), TH RUN S 01 25 00 W ALG SD E R/W 837.73 FT TO N R/W OF S LAWNWOOD CIR, TH ELY ALG SD N R/W ON A CURVE CONC NLY DELTA 19 25 59, R OF 95 FT, ARC DIST 32.22 FT, TH S 89 28 42 E 385.02 FT, TH N 01 25 00 E 180 FT, TH N 89 28 42 W 20.04 FT, TH N 01 25 00 E 663.12 FT TO S R/W NEBRASKA AV, TH N 89 28 42 W ALG SD S R/W 395.42 FT TO POB INCL VAC STS AND ALLEYS AS IN OR 265-675 (7.75 AC) (OR 3116-1904)

AND

LAWNWOOD ADDN THAT PART OF LAWNWOOD ADDN MPDAF: BEG AT PT OF INT OF E LI OF S 19 ST CANAL AND LI DESC IN OR 83-343, TH CONT ELY ALG SD LI DESC IN OR 83-343 350 FT, TH N 01 25 E 330.54 FT TO S LI S LAWNWOOD CIR, TH WLY ON S R/W 350.17 FT, TH SLY 334 FT TO POB (2.69 AC) (OR 3116-1904)

DRAWING INDEX

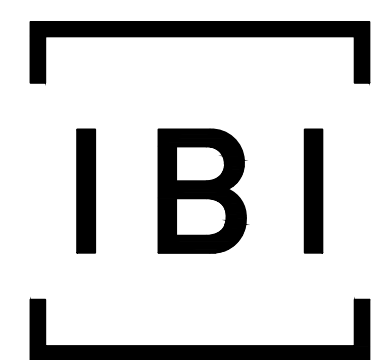
SP-1.0	PRELIMINARY SITE PLAN
PGD-1.0	PAVING, GRADING AND DRAINAGE PLAN
PGD-1.1	PAVING, GRADING AND DRAINAGE PLAN
PGD-1.2	PAVING, GRADING AND DRAINAGE PLAN
PGD-1.3	PAVING, GRADING AND DRAINAGE PLAN
PGD-2.0	PAVING, GRADING AND DRAINAGE DETAILS
PGD-2.1	PAVING, GRADING AND DRAINAGE DETAILS
WS-1.0	WATER AND SEWER PLAN
WS-1.1	WATER AND SEWER PLAN
WS-1.2	WATER AND SEWER PLAN
WS-1.3	WATER AND SEWER PLAN
WS-2.0	WATER AND SEWER DETAILS
WS-2.1	WATER AND SEWER DETAILS
WS-2.2	WATER AND SEWER DETAILS
LA-1.0	LANDSCAPE PLAN
LA-1.1	LANDSCAPE PLAN
LA-1.2	LANDSCAPE PLAN
LA-1.3	LANDSCAPE PLAN
LA-2.0	LANDSCAPE DETAILS AND NOTES
LA-2.1	LANDSCAPE TYPICALS
LA-2.2	LANDSCAPE TYPICALS

1 OF 2	SURVEY
2 OF 2	SURVEY



Front Elevation

48 HOURS BEFORE DIGGING
CALL TOLL FREE
811 or 1-800-432-4770
SUNSHINE STATE ONE CALL CENTER
ENGINEER'S PROJECT NO. 38890



IBI GROUP (FLORIDA) INC.

HTTP://WWW.IBIGROUP.COM
ENGINEERS SURVEYORS PLANNERS
LANDSCAPE ARCHITECTS ENVIRONMENTAL CONSULTANTS
2200 PARK CENTRAL BLVD. N. SUITE 100 POMPANO BEACH, FLORIDA, 33064 (954) 974-2200
2300 MAITLAND CENTER PARKWAY SUITE 101 MAITLAND, FLORIDA, 32751 (407) 660-2120
ENGINEER'S CERT. OF AUTH. #2966 LANDSCAPE LC #26000270 SURVEYOR'S AC #LB5610

PERMITS REQUIRED

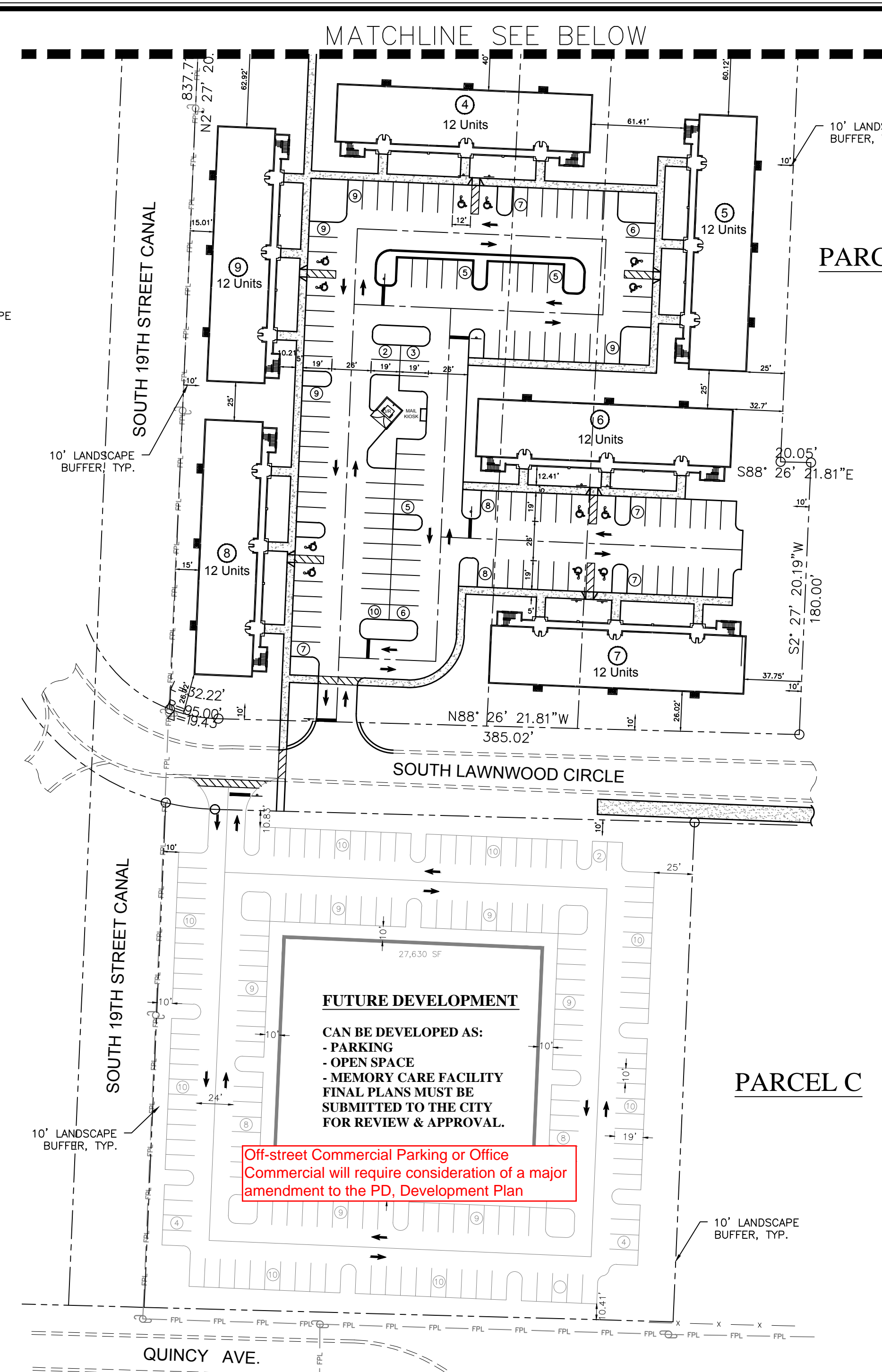
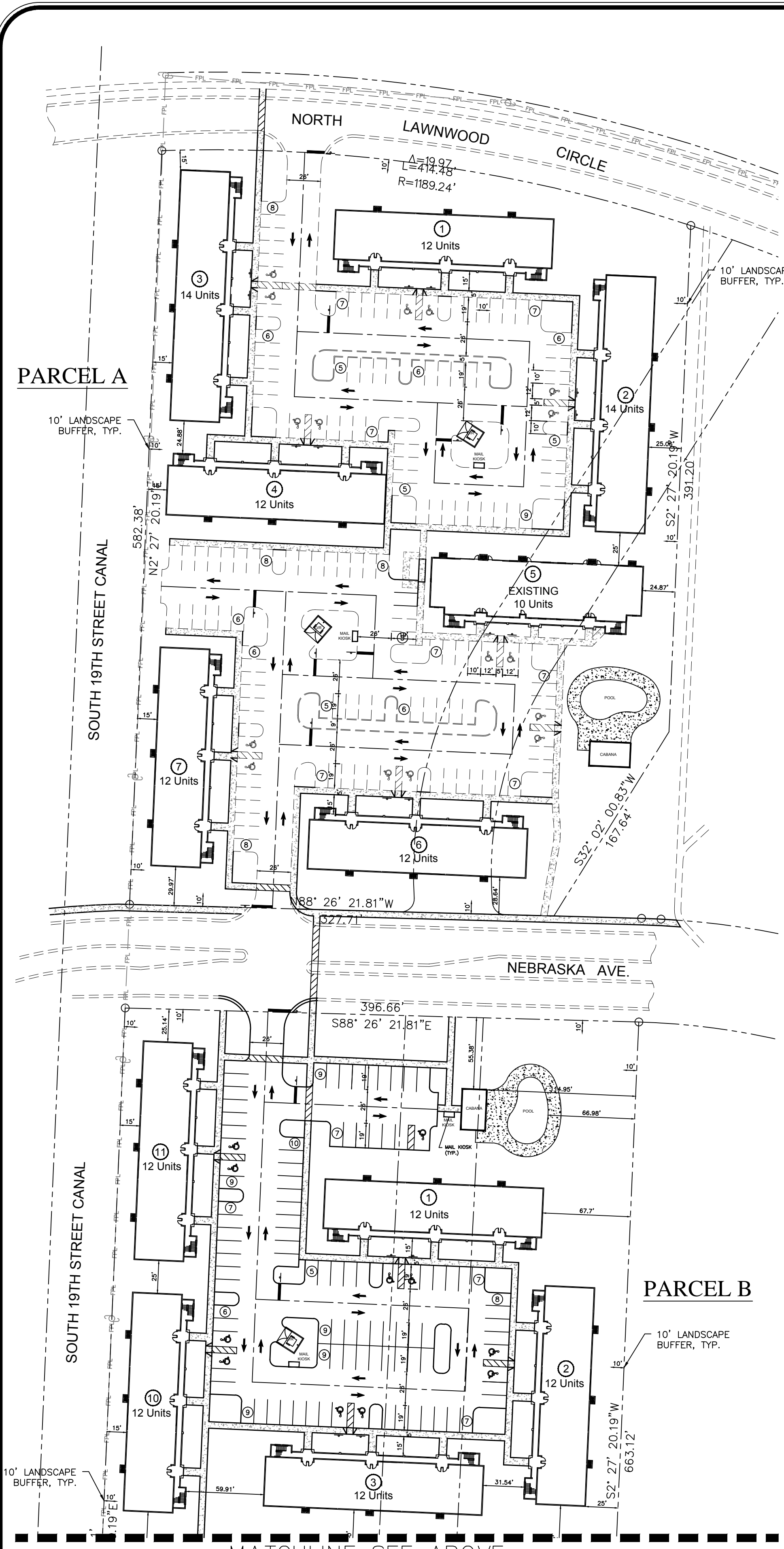
AGENCY	PERMIT TYPE	DATE APPROVED	APPROVAL NO.	EXPIRATION DATE

REV.	DATE	DESCRIPTION

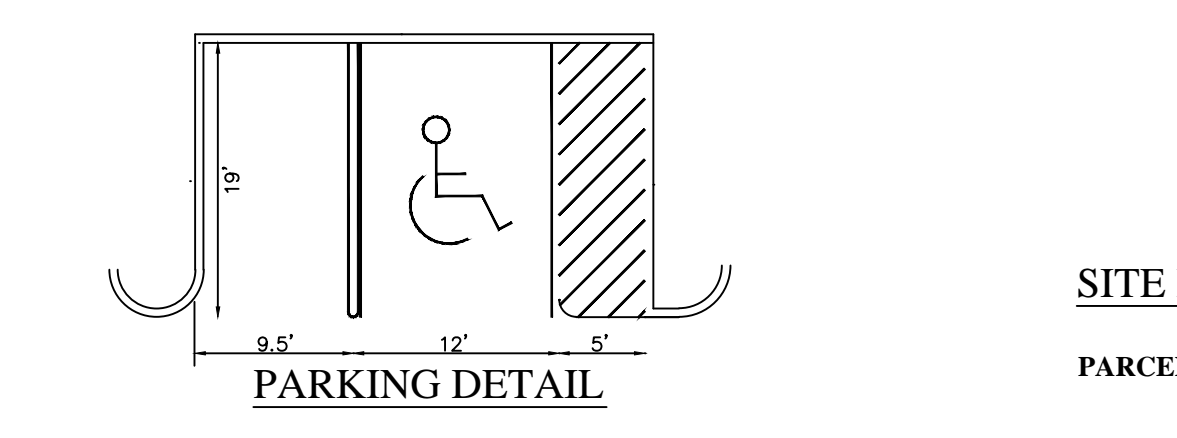
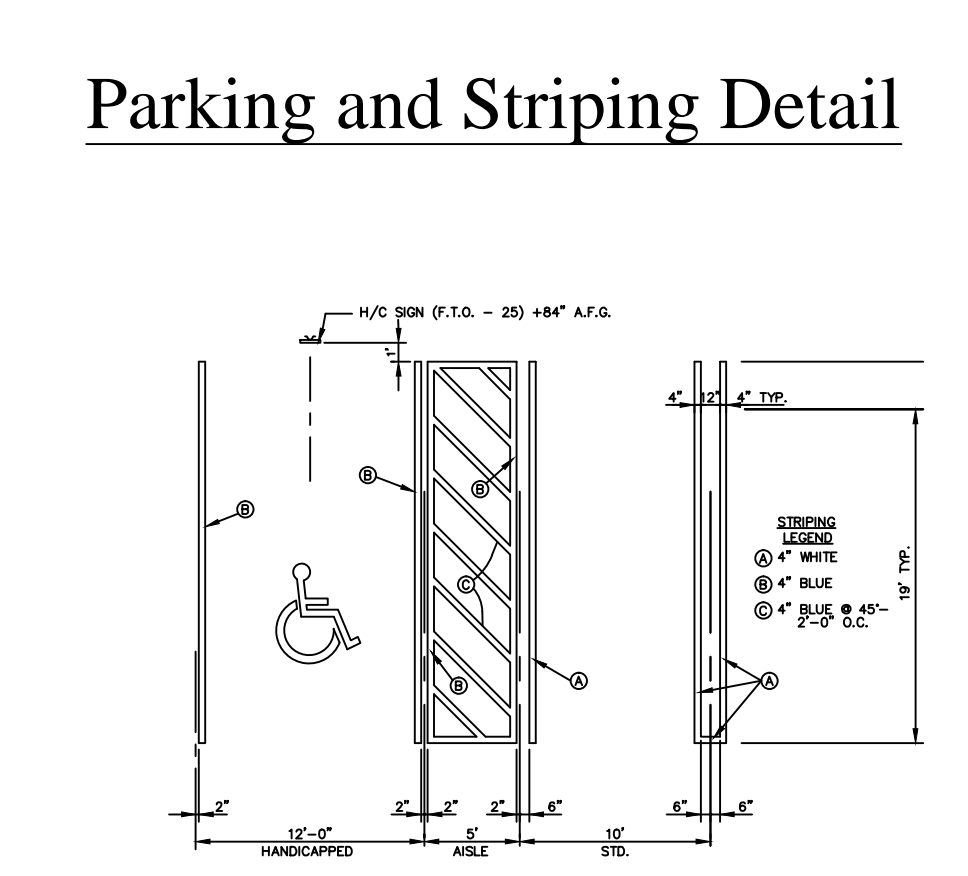
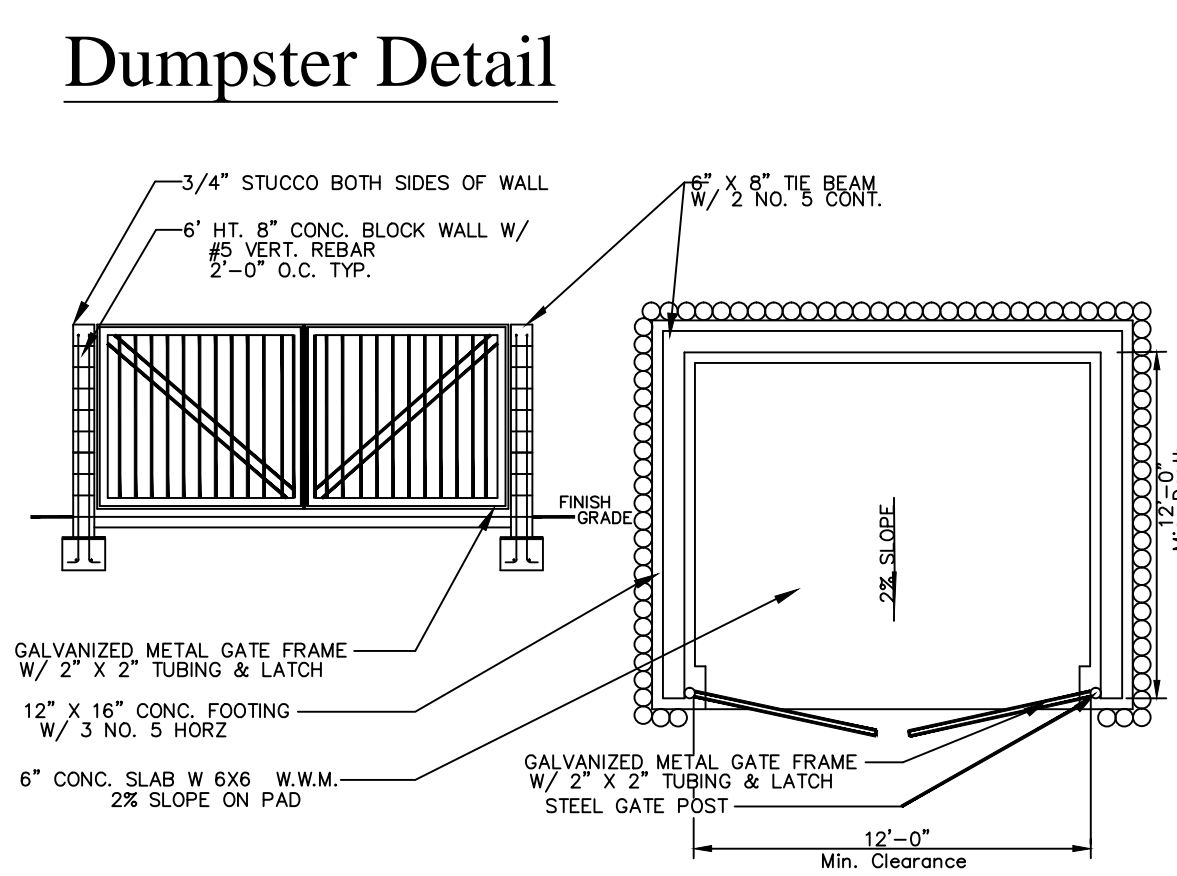
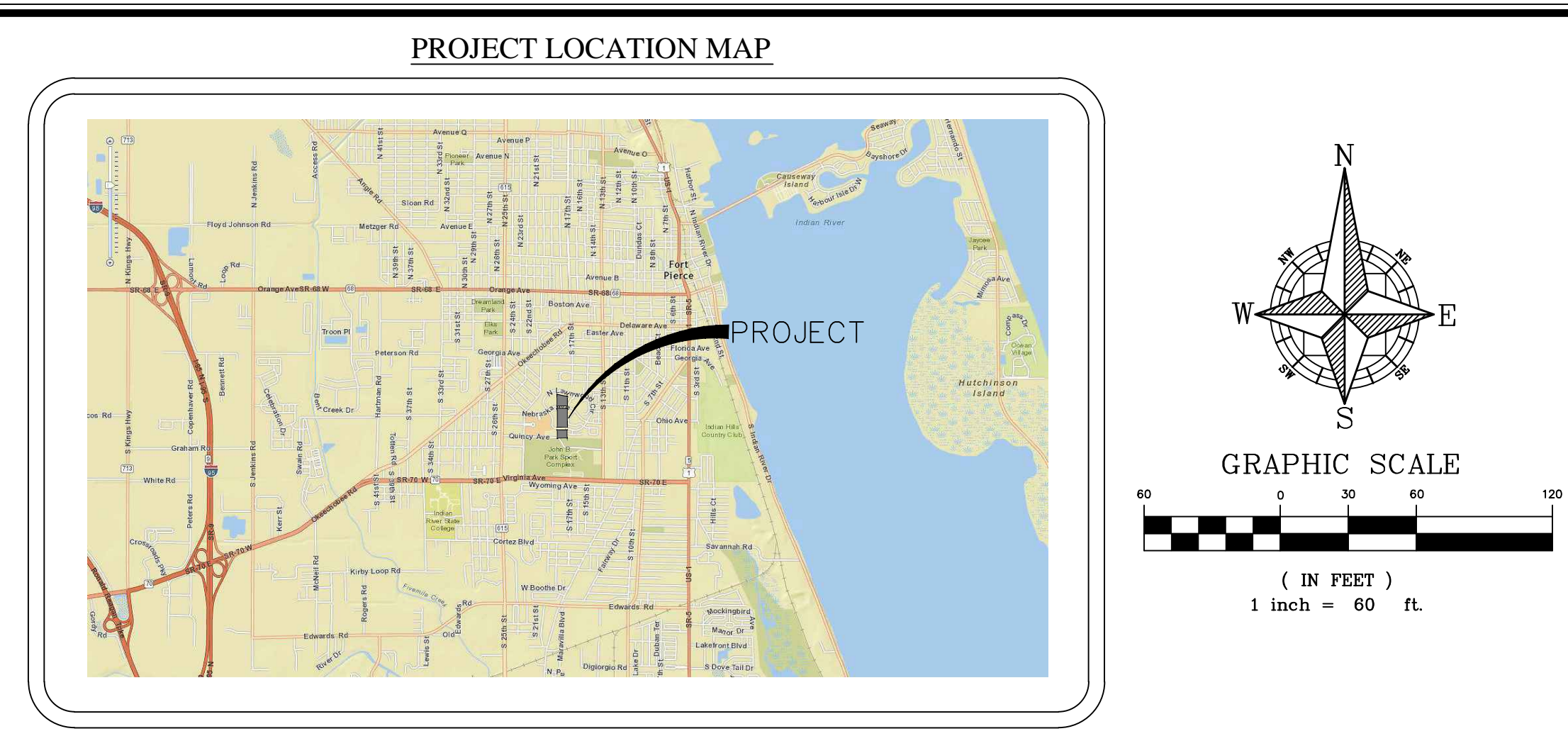
NOT FOR CONSTRUCTION

J:\38890\3.9 Drawings\5.9\5.9.dwg -COV.dwg Cover Mar 16, 2016 - 10:52am becky.williams

J:\38890\5.9 Drawings\590civil\layouts\38890-SP ALT.dwg By:becky.williams Plotted By:becky.williams Modified: 3/16/2016



	North	Middle	South	Total
Gross Area	5.24	7.76	2.66	15.66
Pervious				
Water Management	0.06	0.51	0.20	0.77
Other	1.86	2.66	0.95	5.47
Total	1.92	3.17	1.15	6.24
Impervious				
Buildings	1.27	1.91	0.70	3.88
Pavement	1.68	2.21	0.71	4.60
Walkways	0.28	0.38	0.11	0.77
Pool/Cabana	0.09	0.09	0.00	0.18
Total	3.32	4.59	1.52	9.43
Open Space	1.88	2.81	1.01	5.70
Area	5.24	7.76	2.66	15.66
%	35.84%	36.25%	37.97%	36.40%



SITE DATA

PARCEL ID NUMBER: PARCEL A 2416-504-0199-000-1 5.35 AC
 PARCEL B 2416-504-0199-050-6 7.75 AC
 PARCEL C 2416-504-0199-200-3 2.69 AC

PARCEL AREA: 15.8 +/- AC

EXISTING LAND USE: MULTI-FAMILY
 PROPOSED LAND USE: MULTI-FAMILY

EXISTING PARCEL ZONING: PUD
 PROPOSED PARCEL ZONING: PUD
 ADJACENT EXISTING ZONING: NORTH: R4
 SOUTH: OS1
 EAST: PUD
 WEST: C-1

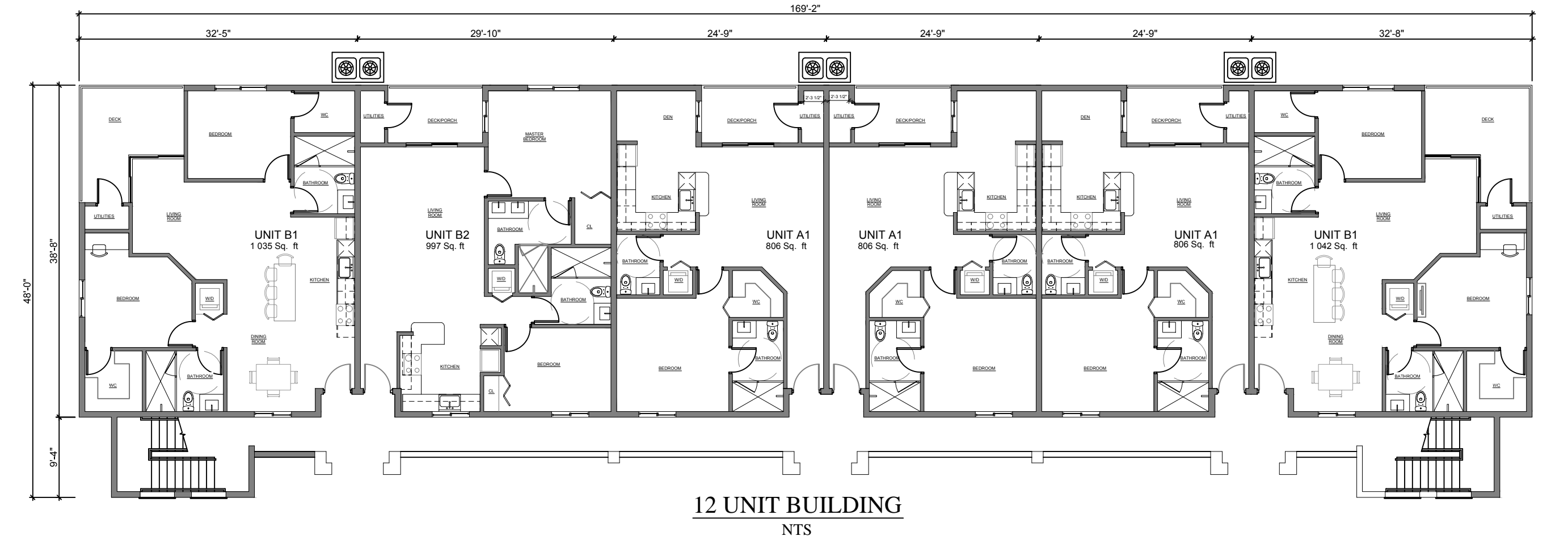
FEMA F.L.R.M. FLOOD ZONE: #12111C0187J
 X

BUILDING SETBACKS: REQUIRED 15' PROVIDED

REAR: SIDE

MAXIMUM BUILDING HEIGHT: 35'

PARKING CALCULATIONS:
 REQUIRED: MULTI-FAMILY 1.5 SPACE / 1 D.U. @ 218 D.U. = 327
 PROPOSED: 375 SPACES @ 1.72 SPACES PER UNIT
 ACCESSIBLE PARKING REQUIRED: 9
 ACCESSIBLE PARKING PROVIDED: 39



IBI GROUP (FLORIDA) INC.
 ENGINEERS SURVEYORS PLANNERS
 LANDSCAPE ARCHITECTS ENVIRONMENTAL CONSULTANTS
 2200 PARK CENTRAL BLVD. N.
 SUITE 101A FORT PIERCE, FLORIDA 33904
 MAITLAND, FLORIDA 32751
 (407) 860-2120
 ORLANDO POMPANO BEACH

MAYFAIR FORT PIERCE, FLORIDA

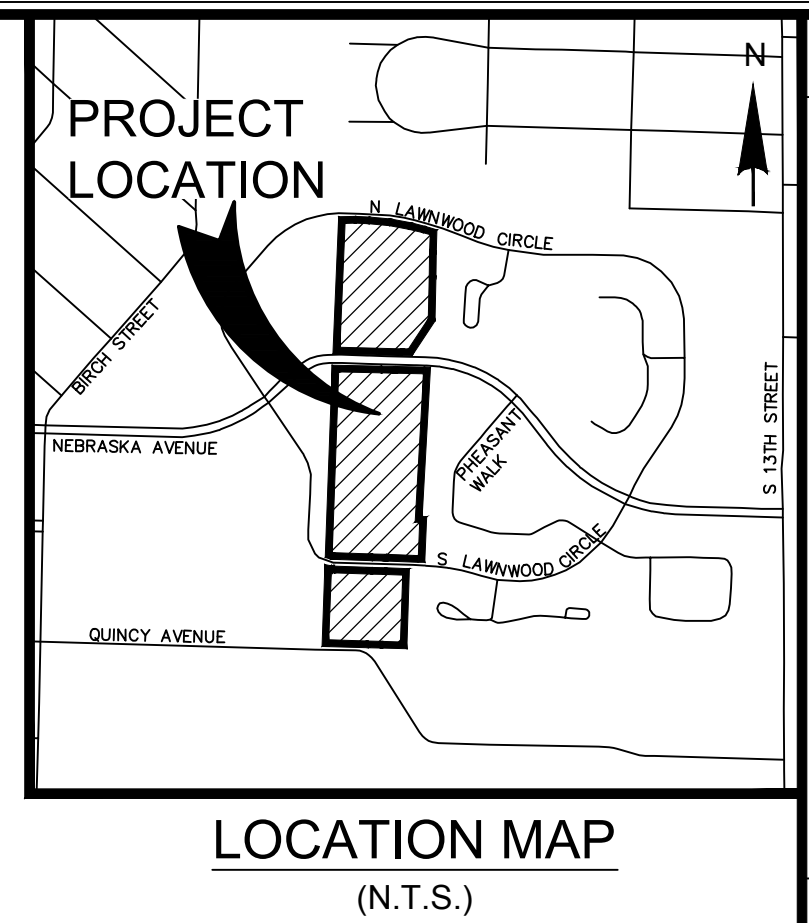
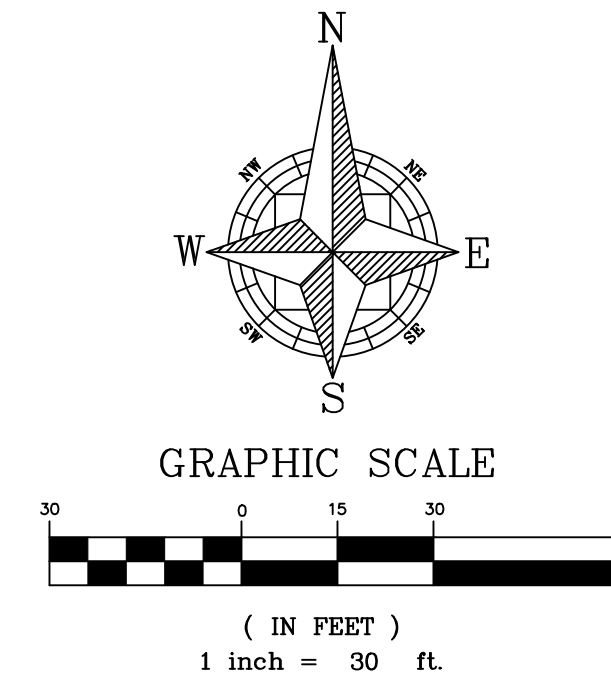
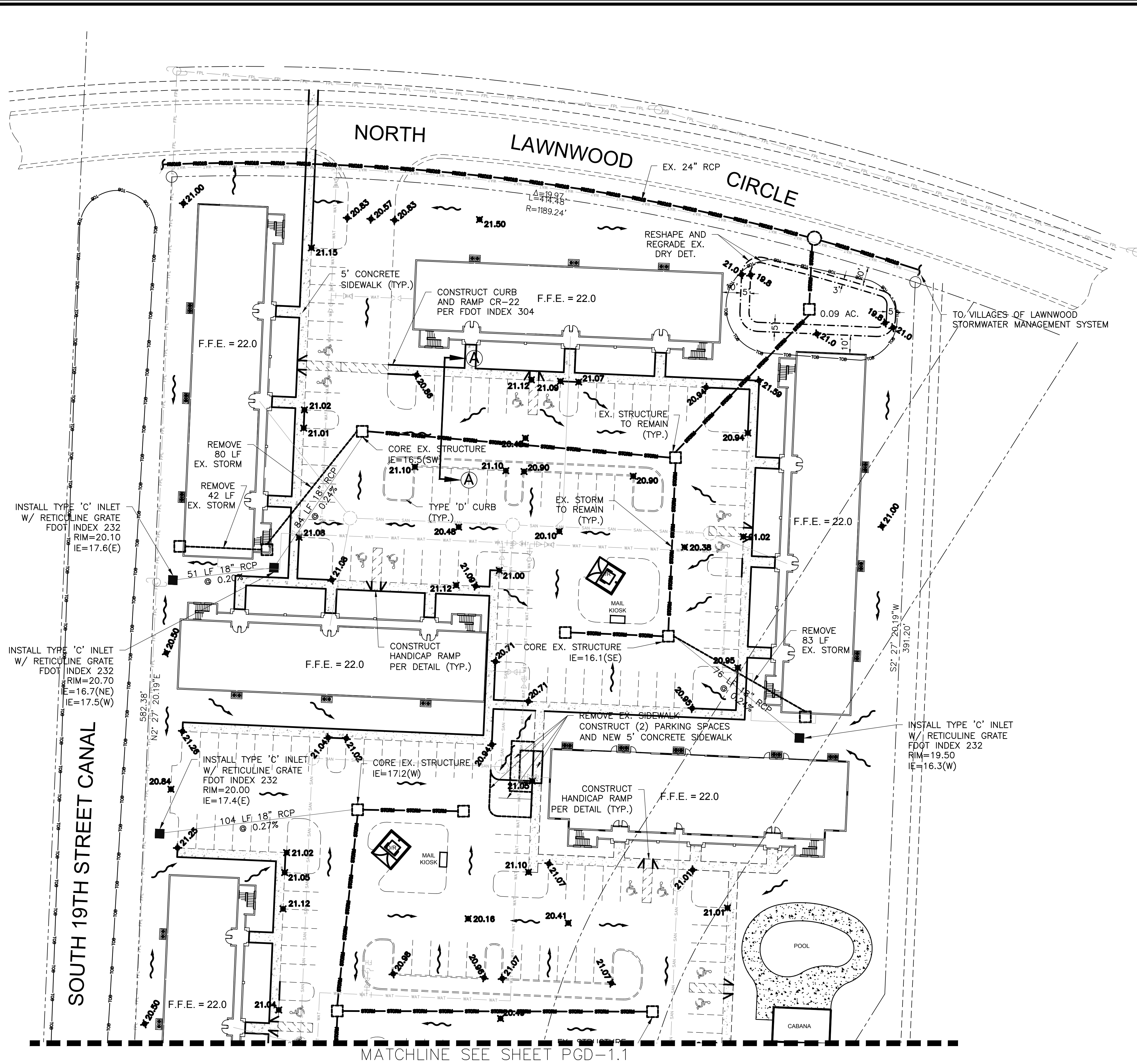
SITE PLAN

SCALE: 1" = 60'
 PROJECT: 38890
 SHEET: SP-1.0
 DATE: 3/15/2016

IBI GROUP
 FLORIDA ENGINEERING
 BUSINESS NO. 2966

3/16/16

J:\38890\5.9 Drawings\59civil\layouts\38890-PGD ALT.dwg Modified: 3/15/2016 By:becky.williams Plotted By:becky.williams



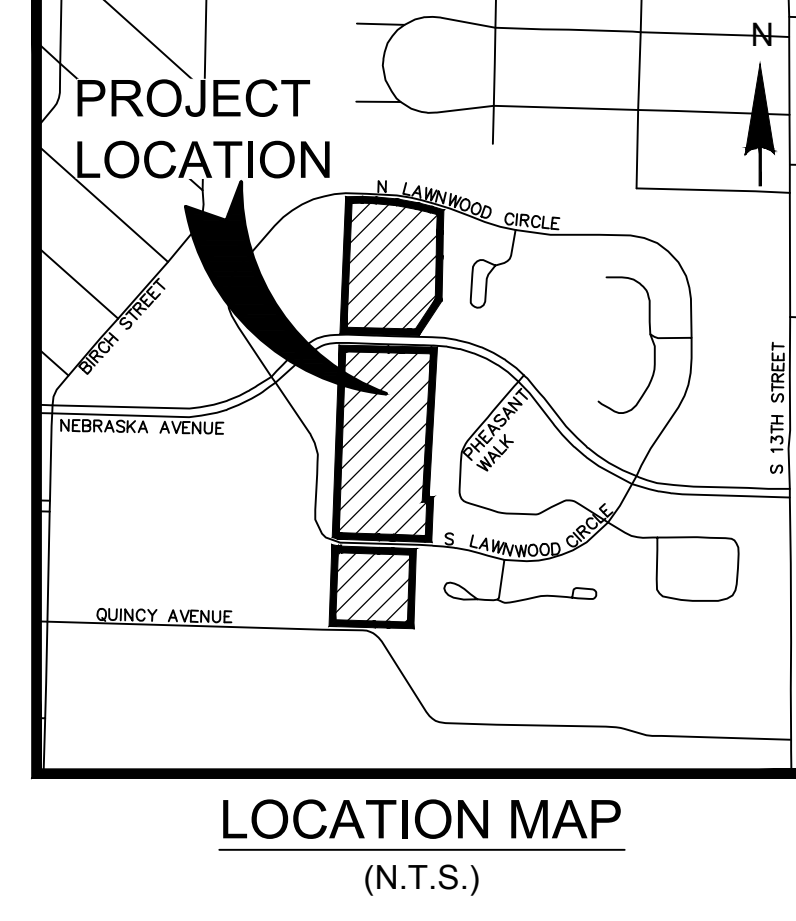
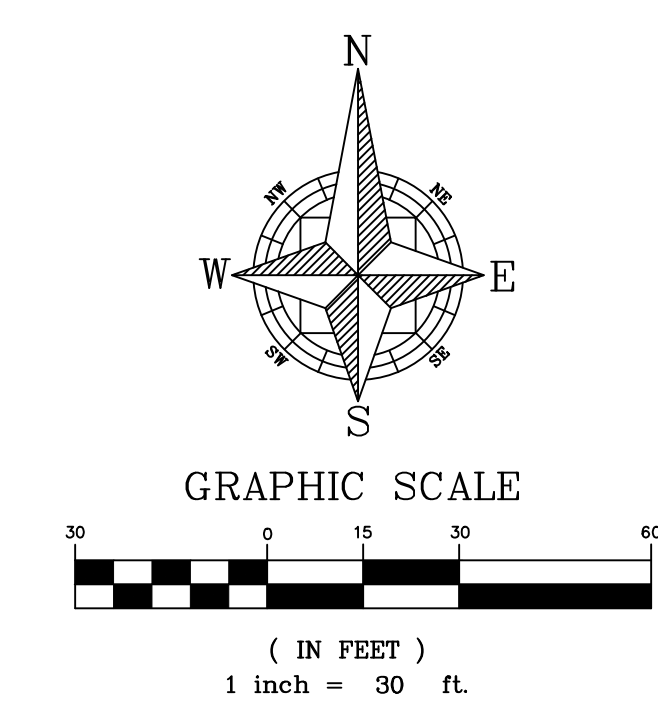
LEGEND

	PROPOSED WATER MAIN
	PROPOSED GATE VALVE
	PROPOSED FIRE HYDRANT ASSEMBLY WITH VALVE
	PROPOSED WATER MAIN FITTINGS (REDUCER, TEE, BENDS)
	EXISTING WATER MAIN
	EXISTING WATER MAIN FITTINGS (TEE, GATE VALVE, REDUCER)
	EXISTING FIRE HYDRANT ASSEMBLY WITH VALVE
	PROPOSED SANITARY SEWER MAIN
	PROPOSED SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER MAIN
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED STORM SEWER
	PROPOSED STORM CATCH BASIN
	EXISTING STORM SEWER
	EXISTING STORM CATCH BASIN
	PROPOSED GRADE ELEVATION

IBI GROUP (FLORIDA) INC.	
ENGINEERS SURVEYORS LANDSCAPE ARCHITECTS PLANNERS ENVIRONMENTAL CONSULTANTS	2200 PARK CENTRAL BLVD. N. SUITE 101 MAITLAND, FLORIDA 32751 (407) 869-2120 (954) 974-2200
MAYFAIR FORT PIERCE, FLORIDA	POMPAÑO BEACH
PAVING, GRADING AND DRAINAGE PLAN	
SCALE: 1" = 30'	DRAWN: BW
PROJECT: 38890	DESIGNED: RW
SHEET: PGD-1.0	CHECKED: RW
	DATE: 3/15/2016
 FLORIDA ENGINEERING BUSINESS NO. 2966	
NOT FOR CONSTRUCTION	
3/16/16	

J:\38890\5.9 Drawings\59civil\layouts\38890-PGD ALT.dwg Modified: 3/15/2016 By:becky.williams Plotted By:becky.williams

MATCHLINE SEE SHEET PGD-1.0



LOCATION MAP (N.T.S.)

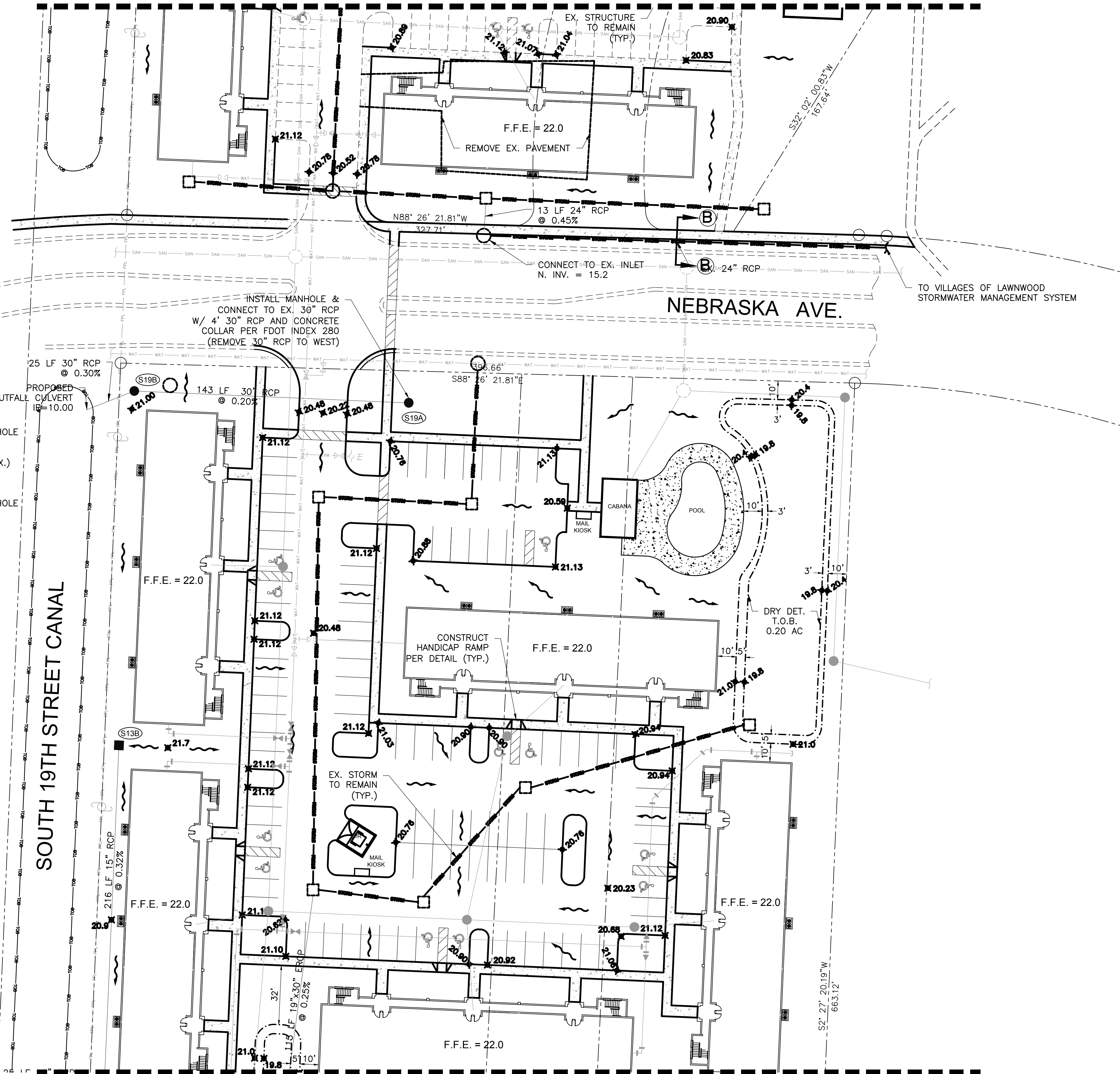
LEGEND

	PROPOSED WATER MAIN
	PROPOSED GATE VALVE
	PROPOSED FIRE HYDRANT ASSEMBLY WITH VALVE
	PROPOSED WATER MAIN FITTINGS (REDUCER, TEE, BENDS)
	EXISTING WATER MAIN
	EXISTING WATER MAIN FITTINGS (TEE, GATE VALVE, REDUCER)
	EXISTING FIRE HYDRANT ASSEMBLY WITH VALVE
	PROPOSED SANITARY SEWER MAIN
	PROPOSED SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER MAIN
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED STORM SEWER
	PROPOSED STORM CATCH BASIN
	EXISTING STORM SEWER
	EXISTING STORM CATCH BASIN
	PROPOSED GRADE ELEVATION

- (S19A) INSTALL TYPE J7-T MANHOLE
FDOT INDEX 200 & 201
RIM=20.80
IE=11.3±(CONNECT TO EX.)
IE=11.1(W)
- (S19B) INSTALL TYPE J7-T MANHOLE
FDOT INDEX 200 & 201
RIM=20.90
IE=10.1(E)
IE=10.1(W)

- (S13B) INSTALL TYPE 'C' INLET
FDOT INDEX 232
RIM=20.4
IE=18.2(S)

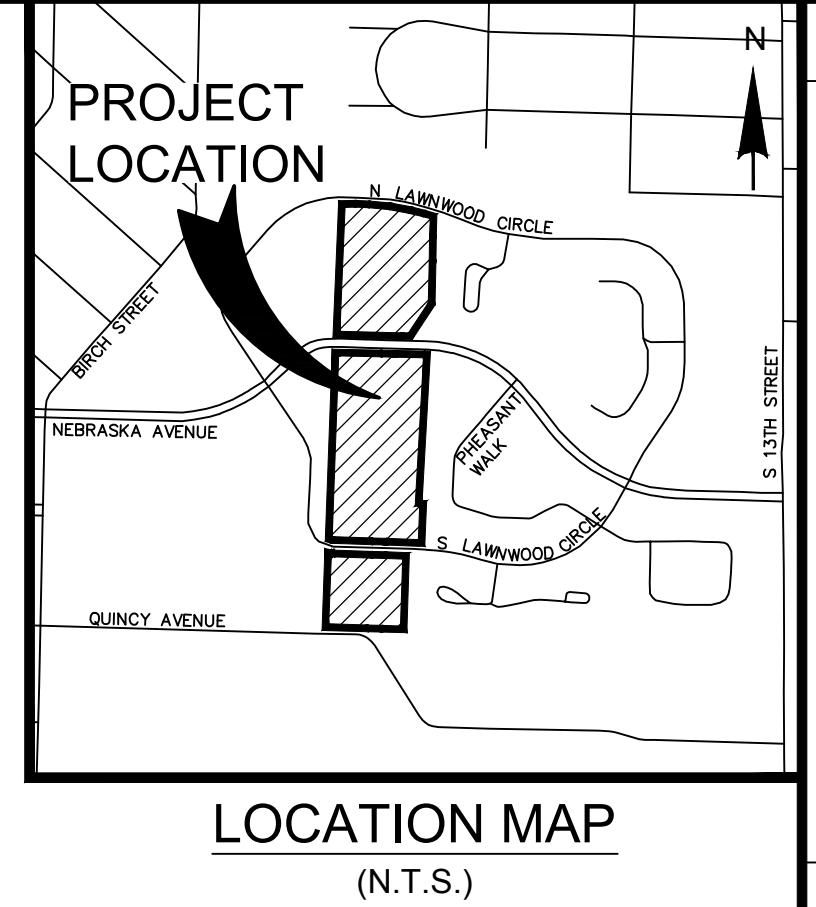
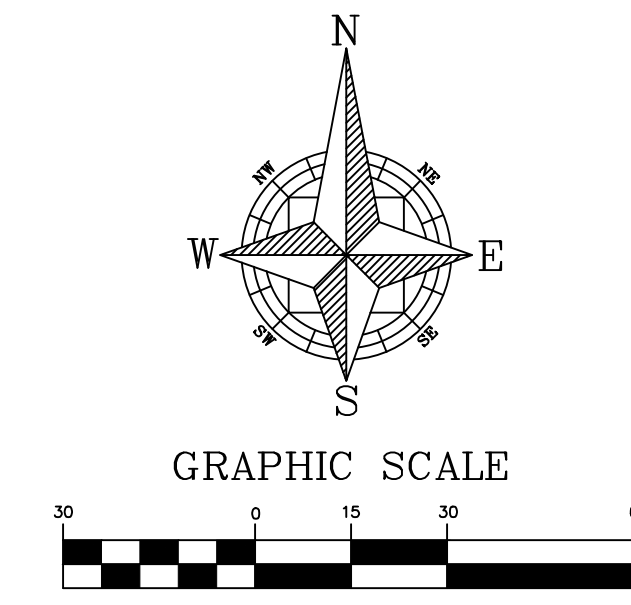
SOUTH 19TH STREET CANAL



MATCHLINE SEE SHEET PGD-1.2

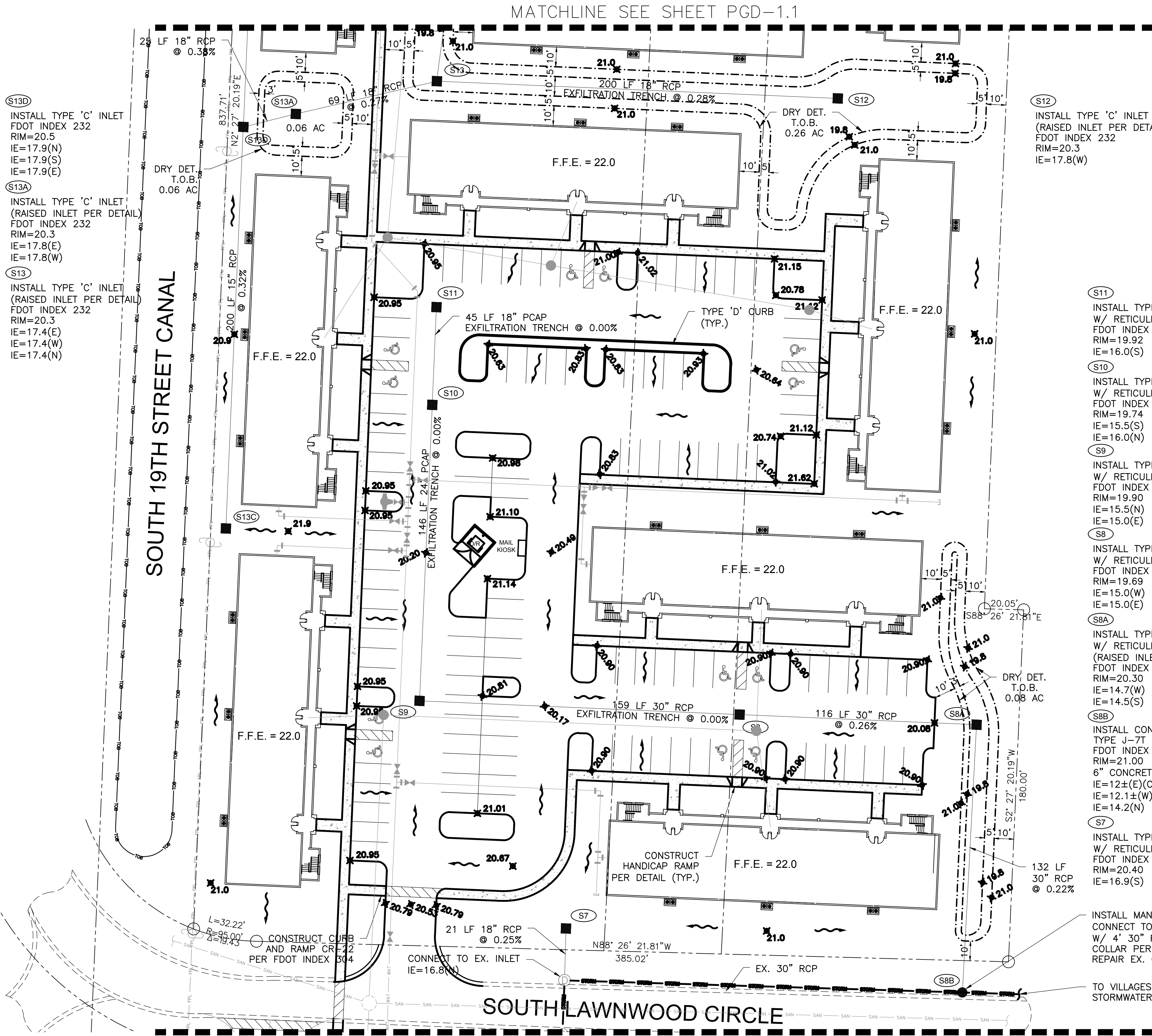
IBI GROUP (FLORIDA) INC. ENGINEERS SURVEYORS PLANNERS LANDSCAPE ARCHITECTS ENVIRONMENTAL CONSULTANTS		2200 PARK CENTRAL BLVD. N. SUITE 100 MAITLAND, FLORIDA 32751 (407) 860-2120		POMPAHO BEACH	
MAYFAIR FORT PIERCE, FLORIDA		PAVING, GRADING AND DRAINAGE PLAN		DATE	BY
SCALE	1" = 30'	PROJECT	38890	CHECKED:	
DRAWN:	BW	DESIGNED:		RW	
SHEET		PGD-1.1		DATE:	3/15/2016
IBI GROUP		FLORIDA ENGINEERING		BUSINESS NO. 2966	
NOT FOR CONSTRUCTION					
3/16/16					

MATCHLINE SEE SHEET PGD-1.1



LOCATION MAP
(N.T.S.)

- (S13D) INSTALL TYPE 'C' INLET
FDOT INDEX 232
RIM=20.5
IE=17.9(N)
IE=17.9(S)
IE=17.9(E)
- (S13A) INSTALL TYPE 'C' INLET
(RAISED INLET PER DETAIL)
FDOT INDEX 232
RIM=20.3
IE=17.8(E)
IE=17.8(W)
- (S13) INSTALL TYPE 'C' INLET
(RAISED INLET PER DETAIL)
FDOT INDEX 232
RIM=20.3
IE=17.4(E)
IE=17.4(W)
IE=17.4(N)



- (S12) INSTALL TYPE 'C' INLET
(RAISED INLET PER DETAIL)
FDOT INDEX 232
RIM=20.3
IE=17.8(W)
- (S11) INSTALL TYPE 'C' INLET
W/ RETICULINE GRATE
FDOT INDEX 232
RIM=19.92
IE=16.0(S)
- (S10) INSTALL TYPE 'C' INLET
W/ RETICULINE GRATE
FDOT INDEX 232
RIM=19.74
IE=15.5(S)
IE=16.0(N)
- (S9) INSTALL TYPE 'D' INLET
W/ RETICULINE GRATE
FDOT INDEX 232
RIM=19.90
IE=15.5(N)
IE=15.0(E)
- (S8) INSTALL TYPE 'C' INLET
W/ RETICULINE GRATE
FDOT INDEX 232
RIM=19.69
IE=15.0(W)
IE=15.0(E)
- (S8A) INSTALL TYPE 'C' INLET
W/ RETICULINE GRATE
(RAISED INLET PER DETAIL)
FDOT INDEX 232
RIM=20.30
IE=14.7(W)
IE=14.5(S)
- (S8B) INSTALL CONTROL STRUCTURE
TYPE J-7T MANHOLE
FDOT INDEX 200 & 201
RIM=21.00
6" CONCRETE WEIR=17.50
IE=12±(E)(CONNECT TO EX.)
IE=12.1±(W)(CONNECT TO EX.)
IE=14.2(N)
- (S7) INSTALL TYPE 'C' INLET
W/ RETICULINE GRATE
FDOT INDEX 232
RIM=20.40
IE=16.9(S)

LEGEND	
	PROPOSED WATER MAIN
	PROPOSED GATE VALVE
	PROPOSED FIRE HYDRANT ASSEMBLY WITH VALVE
	PROPOSED WATER MAIN FITTINGS (REDUCER, TEE, BENDS)
	EXISTING WATER MAIN
	EXISTING WATER MAIN FITTINGS (TEE, GATE VALVE, REDUCER)
	EXISTING FIRE HYDRANT ASSEMBLY WITH VALVE
	PROPOSED SANITARY SEWER MAIN
	EXISTING SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED STORM SEWER
	PROPOSED STORM CATCH BASIN
	EXISTING STORM SEWER
	EXISTING STORM CATCH BASIN
	PROPOSED GRADE ELEVATION

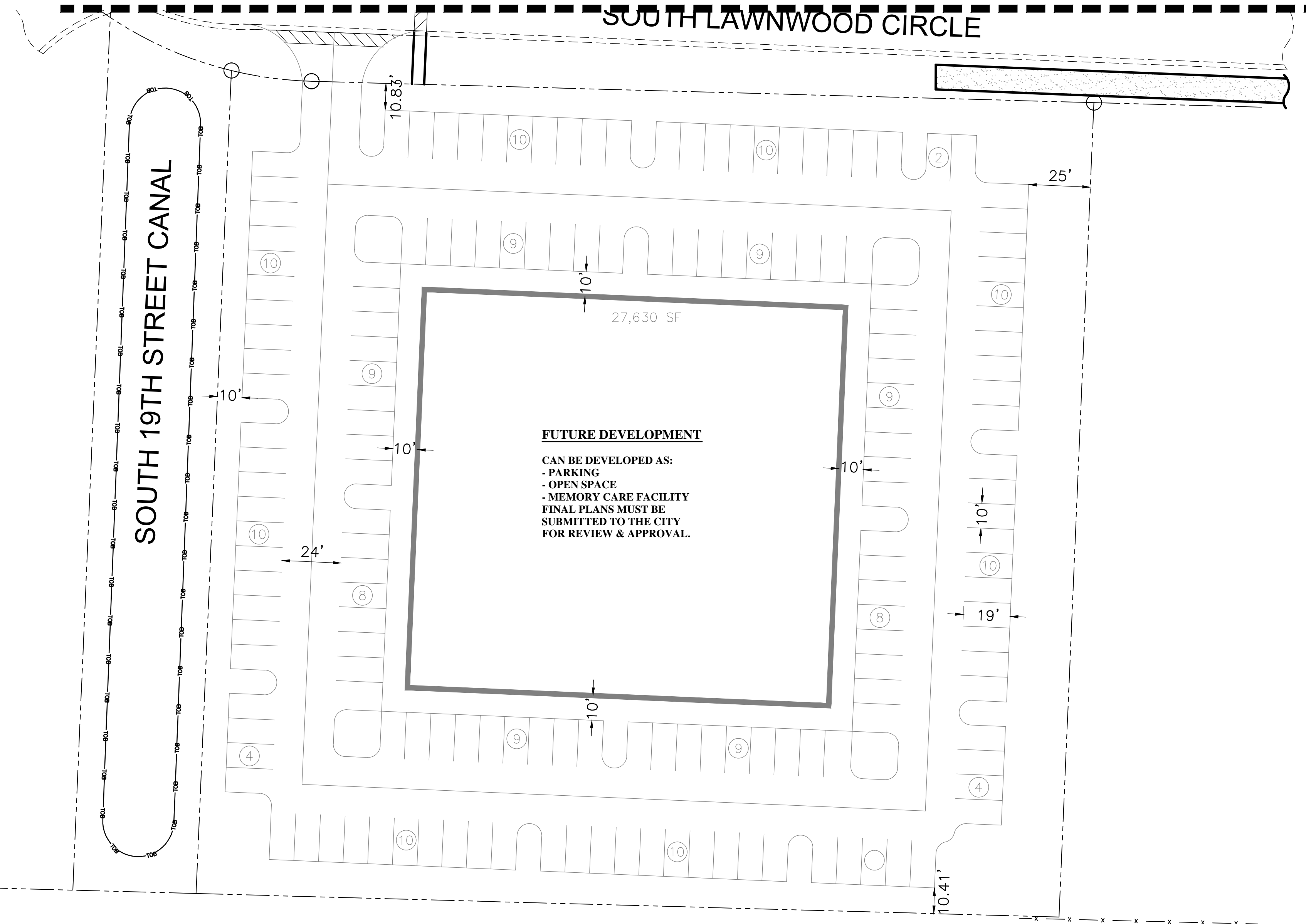
MATCHLINE SEE SHEET PGD-1.3

IBI GROUP (FLORIDA) INC.	
ENGINEERS LANDSCAPE ARCHITECTS	PLANNERS SURVEYORS ENVIRONMENTAL CONSULTANTS
2200 PARK CENTRAL BLVD. N. SUITE 301 MAITLAND, FLORIDA 32751 (407) 869-2120 WWW.IBIGROUP.COM	
MAYFAIR	POMPANO BEACH
FORT PIERCE, FLORIDA	ORLANDO
PAVING, GRADING AND DRAINAGE PLAN	
SCALE 1" = 30'	DATE 3/15/2016
PROJECT 38890	SHEET RW
DRAWN BW	CHECKED RW
DESIGNED	DATE 3/15/2016
PGD-1.2	
IBI GROUP	
FLORIDA ENGINEERING BUSINESS NO. 2966	
NOT FOR CONSTRUCTION	

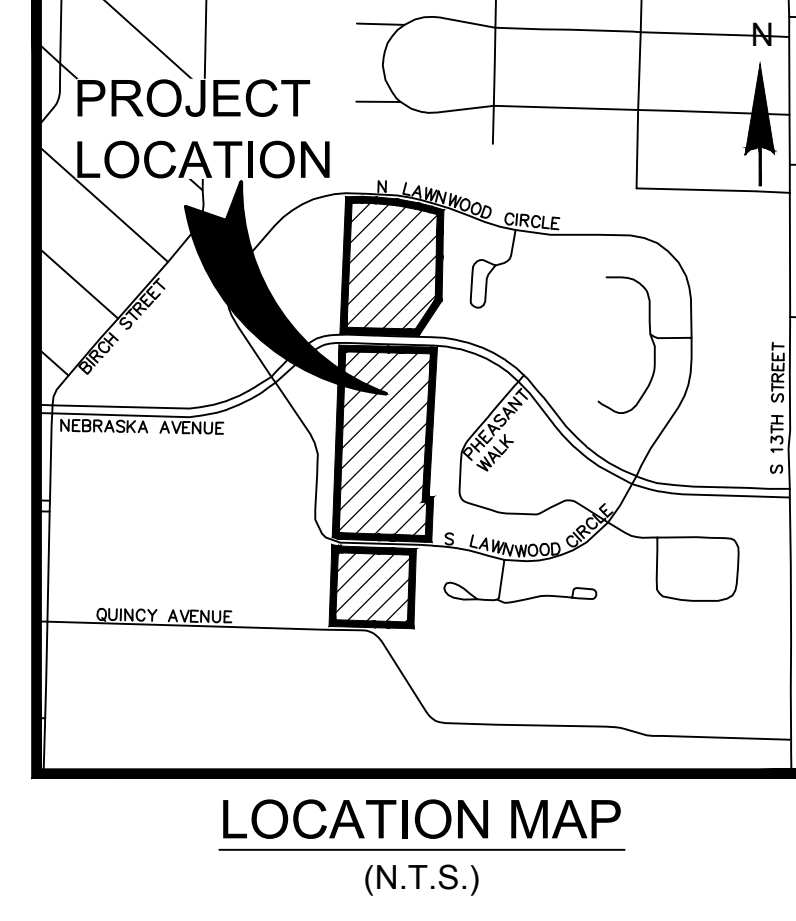
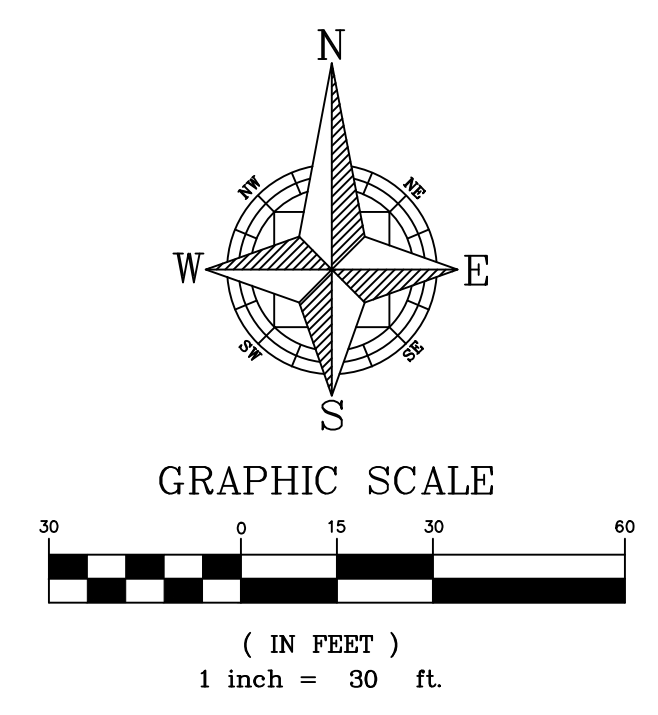
J:\38890\5.9 Drawings_99civil\layouts\38890-PGD ALT.dwg Modified: 3/15/2016 By: becky.williams Plotted By: becky.williams

MATCHLINE SEE SHEET PGD-1.2

SOUTH LAWNWOOD CIRCLE



FUTURE DEVELOPMENT
 CAN BE DEVELOPED AS:
 - PARKING
 - OPEN SPACE
 - MEMORY CARE FACILITY
 FINAL PLANS MUST BE
 SUBMITTED TO THE CITY
 FOR REVIEW & APPROVAL.



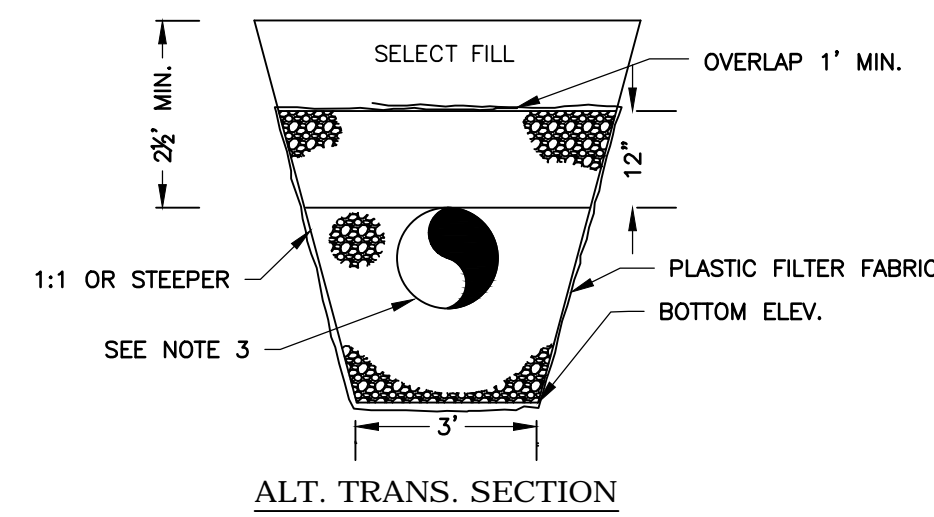
LEGEND

- PROPOSED WATER MAIN
- PROPOSED GATE VALVE
- PROPOSED FIRE HYDRANT ASSEMBLY WITH VALVE
- PROPOSED WATER MAIN FITTINGS (REDUCER, TEE, BENDS)
- EXISTING WATER MAIN
- EXISTING WATER MAIN FITTINGS (TEE, GATE VALVE, REDUCER)
- EXISTING FIRE HYDRANT ASSEMBLY WITH VALVE
- PROPOSED SANITARY SEWER MAIN
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER MAIN
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED STORM SEWER
- PROPOSED STORM CATCH BASIN
- EXISTING STORM SEWER
- EXISTING STORM CATCH BASIN
- PROPOSED GRADE ELEVATION

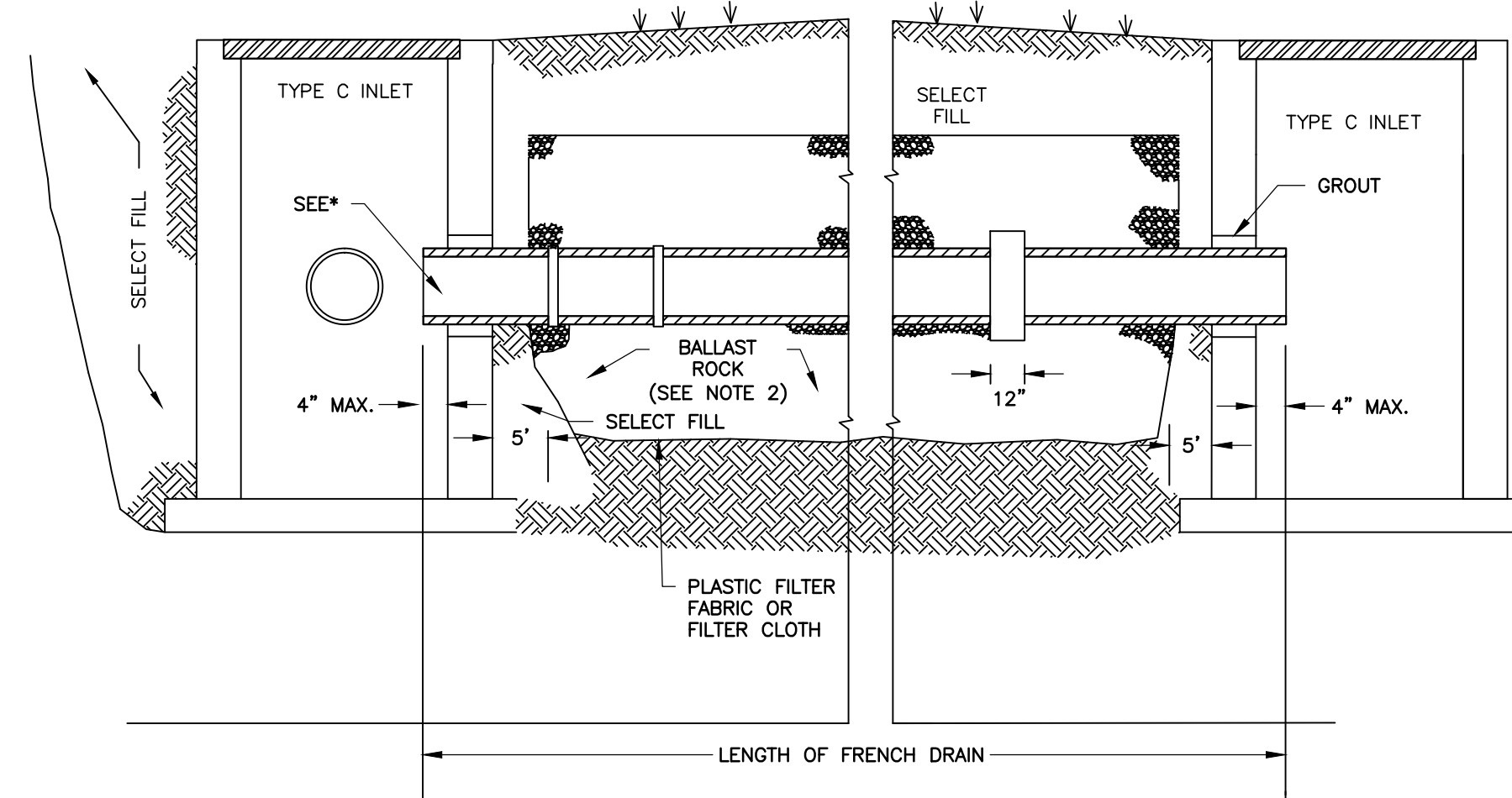
<p>IBI GROUP (FLORIDA) INC. ENGINEERS ARCHITECTS LANDSCAPE ARCHITECTS SURVEYORS PLANNERS ENVIRONMENTAL CONSULTANTS WWW.IBIGROUP.COM 2200 PARK CENTRAL BLVD. N. SUITE 101A MAITLAND, FL 32751 (407) 860-2120 ORLANDO, FLORIDA 32064 (954) 974-2200 POMPANO BEACH</p>	<p>MAYFAIR FORT PIERCE, FLORIDA</p>	<p>DRAWN: BW</p>	<p>SCALE: 1" = 30'</p>	<p>DATE: 3/15/2016</p>
	<p>PAVING, GRADING AND DRAINAGE PLAN</p>	<p>DESIGNED:</p>	<p>CHECKED: RW</p>	<p>PROJECT: 38890</p>
<p>IBI GROUP FLORIDA ENGINEERING BUSINESS NO. 2966</p>	<p>NOT FOR CONSTRUCTION</p>	<p>3/16/16</p>	<p>SHEET PGD-1.3</p>	<p>PROJECT 38890</p>

STORM DRAINAGE CONSTRUCTION NOTES

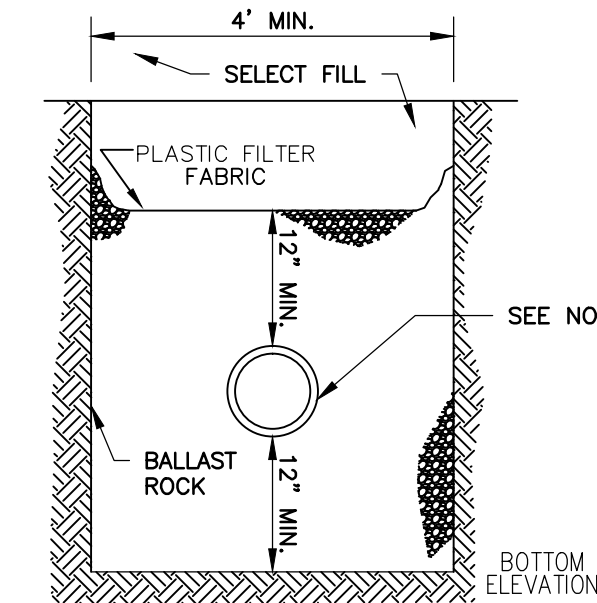
- ALL MATERIALS AND INSTALLATION METHODS USED FOR LAND DEVELOPMENT CODE REQUIRED IMPROVEMENTS FOR SUBDIVISIONS AND SITE PLANS SHALL BE IN CONFORMANCE WITH THE CITY, FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), AND THE FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS (LATEST EDITION).
- ALL STORM SEWERS AND CULVERTS LOCATED IN ROADWAY RIGHTS-OF-WAY AND ROADWAY EASEMENTS SHALL BE:
 - SMOOTH INNER WALL HIGH DENSITY POLYETHYLENE (HDPE) IN ACCORDANCE WITH AASHTO M-294, AASHTO MP7, ASTM D3350 AND ASTM D2412 FOR SIZES UP TO 42" IN DIAMETER.
 - PVC IN ACCORDANCE WITH THE PROVISION NOTED IN THE "SEWER DETAILS" OF THESE SPECIFICATIONS.
 - ALL STORM SEWER PIPE JOINTS LOCATED IN ROADWAY RIGHTS-OF-WAY AND ROADWAY EASEMENTS SHALL BE ENTIRELY WRAPPED WITH FILTER FABRIC WITH A MINIMUM WIDTH OF 24" AND A MINIMUM OF 24" OVERLAP SECURED WITH PLASTIC OR STAINLESS BANDS. GASKETS ARE NOT PERMITTED AS AN EQUIVALENT SUBSTITUTE FOR WRAPPING. THIS REQUIREMENT IS ENCOURAGED ON PRIVATE SITES. ADDITIONALLY, ALL JOINTS SHALL BE RUBBER GASKETED FOR BOTH ROUND AND ELLIPTICAL PIPE.
 - DEPTH OF COVER MEASURED TO THE TOP OF PIPE (NOT INCLUDING THE BELL JOINT) SHALL BE A MINIMUM OF 30 INCHES. DEVIATION FROM THIS REQUIREMENT MAY BE ALLOWED BY INCREASING THE PIPE'S STRUCTURAL CAPACITY. THIS DEVIATION MUST BE SPECIFIED ON THE PLANS APPROVED FOR CONSTRUCTION AND SUBSEQUENTLY REFLECTED ON THE SHOP DRAWINGS AND AS-BUILT PLANS.
 - ALL STORM DRAINAGE PIPES LOCATED IN ROADWAY RIGHTS-OF-WAY AND ROADWAY EASEMENTS SHALL BE A MINIMUM OF FIFTEEN INCH (15") DIAMETER OR EQUIVALENT. STORM DRAINAGE PIPES SMALLER THAN 15" ARE PERMITTED ON PRIVATE SITE PLANS PROVIDING THAT MAINTENANCE SHALL BE PERFORMED BY THE OWNER.
 - STORM INLETS, MANHOLES, AND CATCH BASINS SHALL BE EITHER POURED IN PLACE OR PRECAST REINFORCED CONCRETE. STRUCTURES SHALL BE REQUIRED AT EACH CHANGE OF PIPE SIZE OR CHANGE IN PIPE DIRECTION. ALL STRUCTURES SHALL BE IN COMPLIANCE WITH ASTM C-478 AND SHALL HAVE 8" THICK WALLS. 6" THICK WALLS MAY BE PERMITTED PROVIDING THAT THE PLANS SPECIFY INCREASED REINFORCEMENT IN ACCORDANCE WITH FDOT STANDARD INDEX NO. 201. IN ADDITION, THIS REQUIREMENT MUST BE REFLECTED ON BOTH THE SHOP DRAWING AND AS-BUILT PLANS.
 - STORM INLETS SHALL BE SPACED IN SUCH A MANNER AS TO ACCEPT ONE HUNDRED (100) PERCENT OF THE DESIGN STORM RUNOFF WITHOUT IMPEDING THE FLOW OF TRAFFIC. FOR ROADWAY SECTIONS WITH DESIGN SPEEDS OF 45 MPH AND LESS AND WITHOUT FULL WIDTH SHOULDERS, SPACING RESULTING FROM A RAINFALL INTENSITY OF FOUR INCHES (4") PER HOUR SHALL NOT EXCEED ONE-HALF OF THE TRAVEL LANE ADJACENT TO THE GUTTER. FOR SITE PLANS, INLET SPACING SHALL BE DESIGNED TO ACCEPT ONE HUNDRED (100) PERCENT OF THE RUNOFF FROM A RAINFALL INTENSITY OF FOUR INCHES (4") PER HOUR WITHOUT RESULTING IN PONDING OF WATER AROUND THE INLET.
 - FOR CONNECTIONS BETWEEN INLETS WITH PIPING 15" IN DIAMETER AND LARGER, THE MAXIMUM DISTANCES BETWEEN INLETS AND/OR CLEAN-OUT JUNCTION BOXES SHALL BE 300 FEET. CULVERTS SHALL BE SLOPED TO MAINTAIN A MINIMUM SELF-CLEANING VELOCITY OF 2.5 FEET PER SECOND USING A MANNING'S n OF 0.012. SPACING FOR CLEAN-OUTS AND INLETS FOR SMALLER PIPING SHALL BE REDUCED AND EVALUATED ON A CASE BY CASE BASIS.
 - THE MAXIMUM PERMISSIBLE SLOPE OF ANY NEW SITE GRADING IS 3:1 (HORIZONTAL:VERTICAL). THIS LIMIT SHALL BE APPLIED TO ALL AREAS EXCEPT STORMWATER CONVEYANCE AND TREATMENT SYSTEMS WHICH HAVE A MAXIMUM SLOPE OF 4:1 (EXCEPT BELOW THE WATER TABLE WHERE SHARPER SLOPES ARE PERMISSIBLE.)
 - ALL SWALES AND DITCHES SHALL HAVE A MAXIMUM PERMITTED SIDE SLOPE NOT GREATER THAN 4 TO 1 AT A MINIMUM. THE MAXIMUM PERMITTED BACKSLOPE SHALL BE 3:1, PROVIDED THAT A 2' WIDE BERM IS INSTALLED. DESIGN CENTERLINE AND TOP-OF-BANK ELEVATIONS SHALL BE NOTED AT INTERVALS OF 100'.
 - NORMAL ROADSIDE SWALES ARE PERMITTED TO BE CONSTRUCTED TO A MAXIMUM DEPTH OF 12" MAXIMUM BELOW THE OUTSIDE EDGE OF PAVEMENT OR CONCRETE CURB.
 - CONCRETE EROSION CONTROL MUST BE PROVIDED WHERE SWALES OR CULVERTS INTERCEPT DRAINAGE DITCHES.
 - SOIL EROSION CONTROL MEASURES, SATISFACTORY TO THE CITY, SHALL BE EMPLOYED DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ANY AND ALL DEWATERING PERMITS THAT MAY BE REQUIRED.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW AND MAINTAIN A COPY OF ALL PERMITS AT THE CONSTRUCTION SITE, AND ABIDE BY ALL CONDITIONS OF THE PERMITS.
 - PERMANENT VEGETATIVE COVER TO BE ESTABLISHED ON ALL DISTURBED AREAS. FLAT AREAS MAY BE SEEDED, SLOPES WILL NEED TO BE SODDED.



MAY BE USED IN AREAS WHERE TRENCH WALLS WILL NOT STAND VERTICAL OR WHERE CAVE IN BELOW THE WATER TABLE IS LIKELY TO OCCUR. TO BE USED AT THE ENGINEER'S DISCRETION.



LONGITUDINAL SECTION

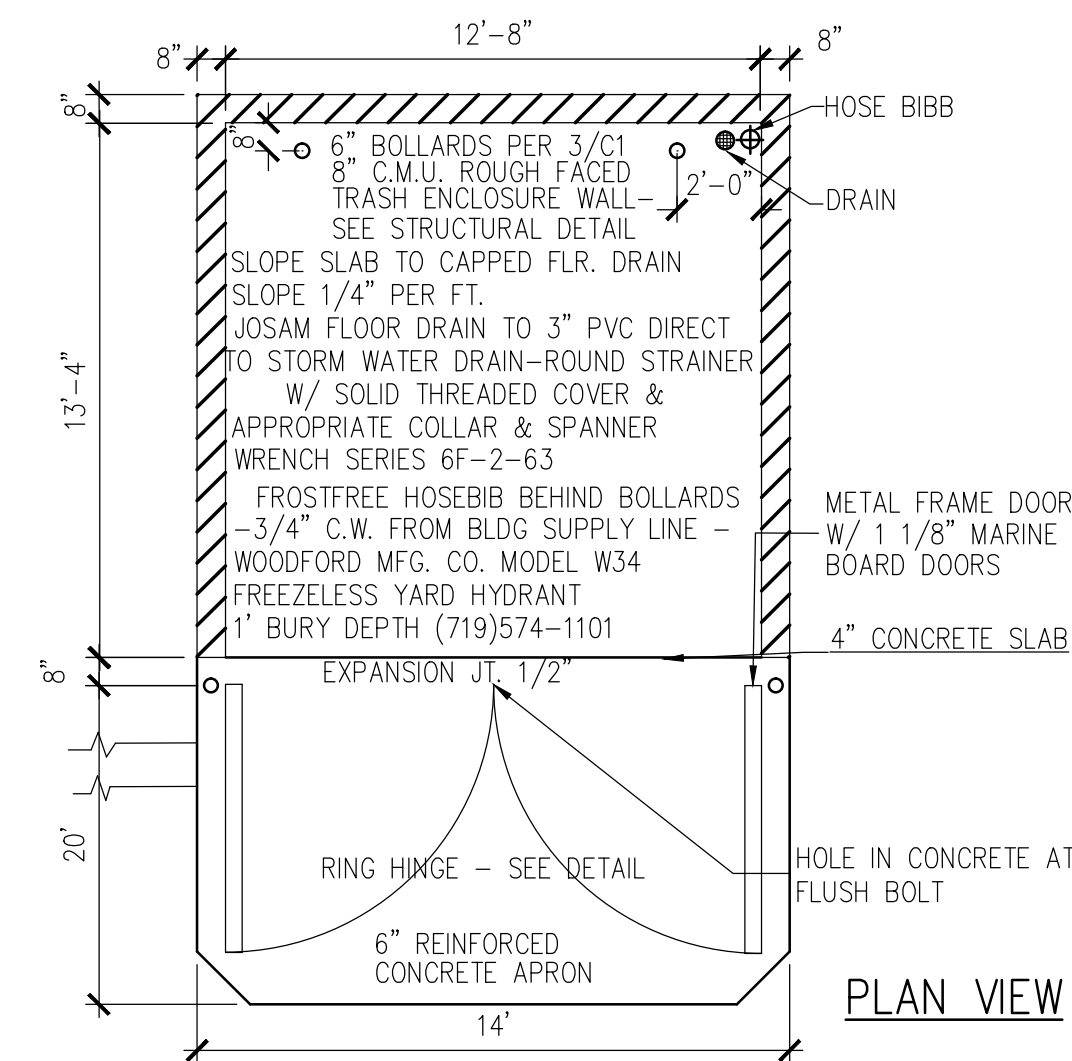


TRANSVERSE SECTION

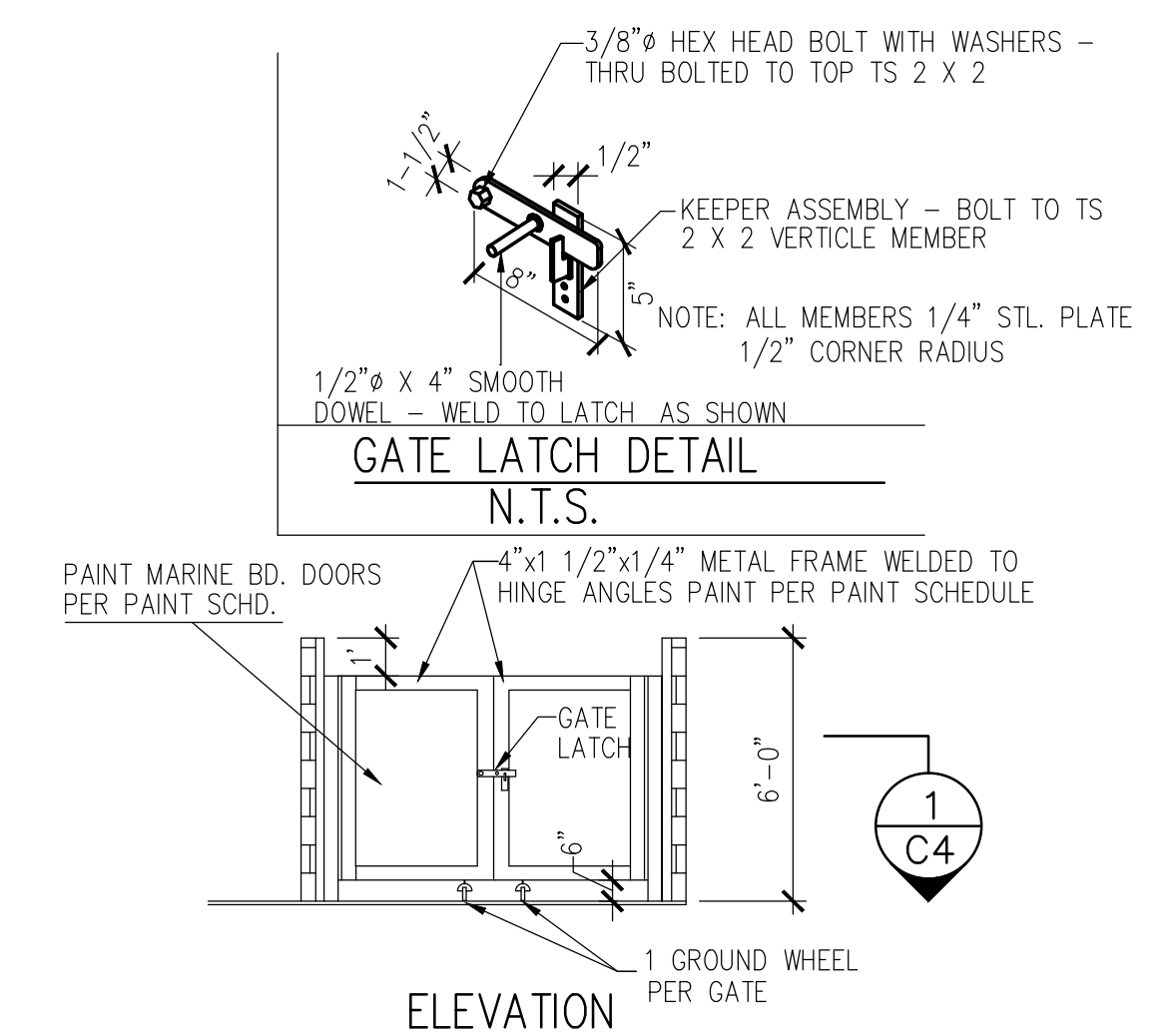
NOTES:

- PLASTIC FILTER FABRIC OR FILTER CLOTH (AT EA. SIDE, TOP AND BOTTOM) SHALL BE USED IN SANDY AREAS AS NOTED IN PLANS AND/OR AS DIRECTED BY THE ENGINEER.
- AFTER THE BALLAST ROCK HAS BEEN PLACED TO THE PROPER ELEVATION, IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION, SO THAT THE EXFILTRATION TRENCH BE COMPLETED IN ACCORDANCE WITH THE DETAILS.
- INVERT ELEVATION TO BE AS SHOWN IN PLANS.

9 EXFILTRATION TRENCH DETAIL N.T.S.



(X) DUMPSTER ENCLOSURE



(X) DUMPSTER ENCLOSURE GATE

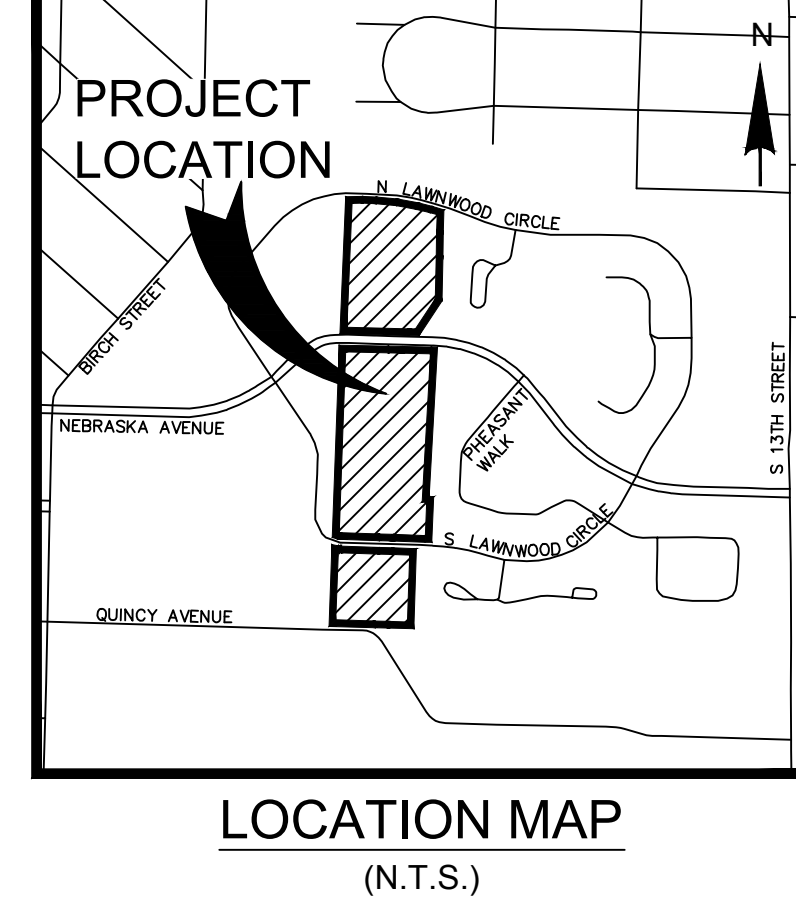
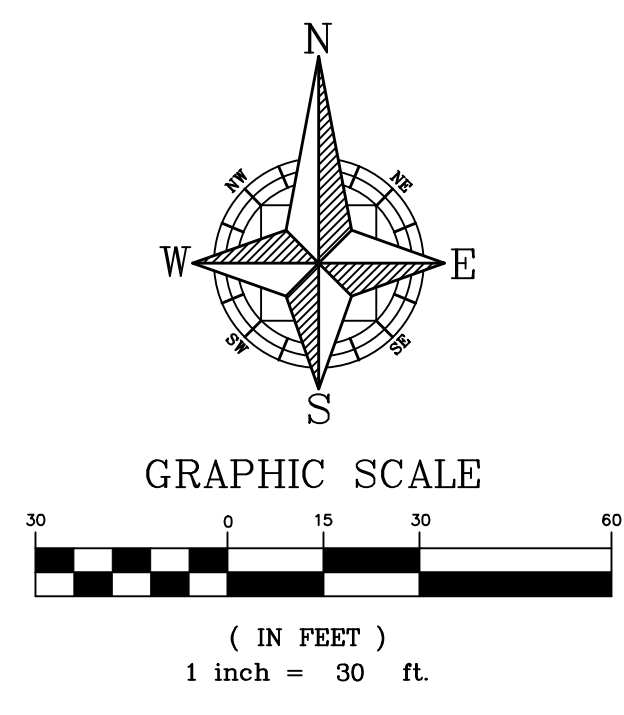
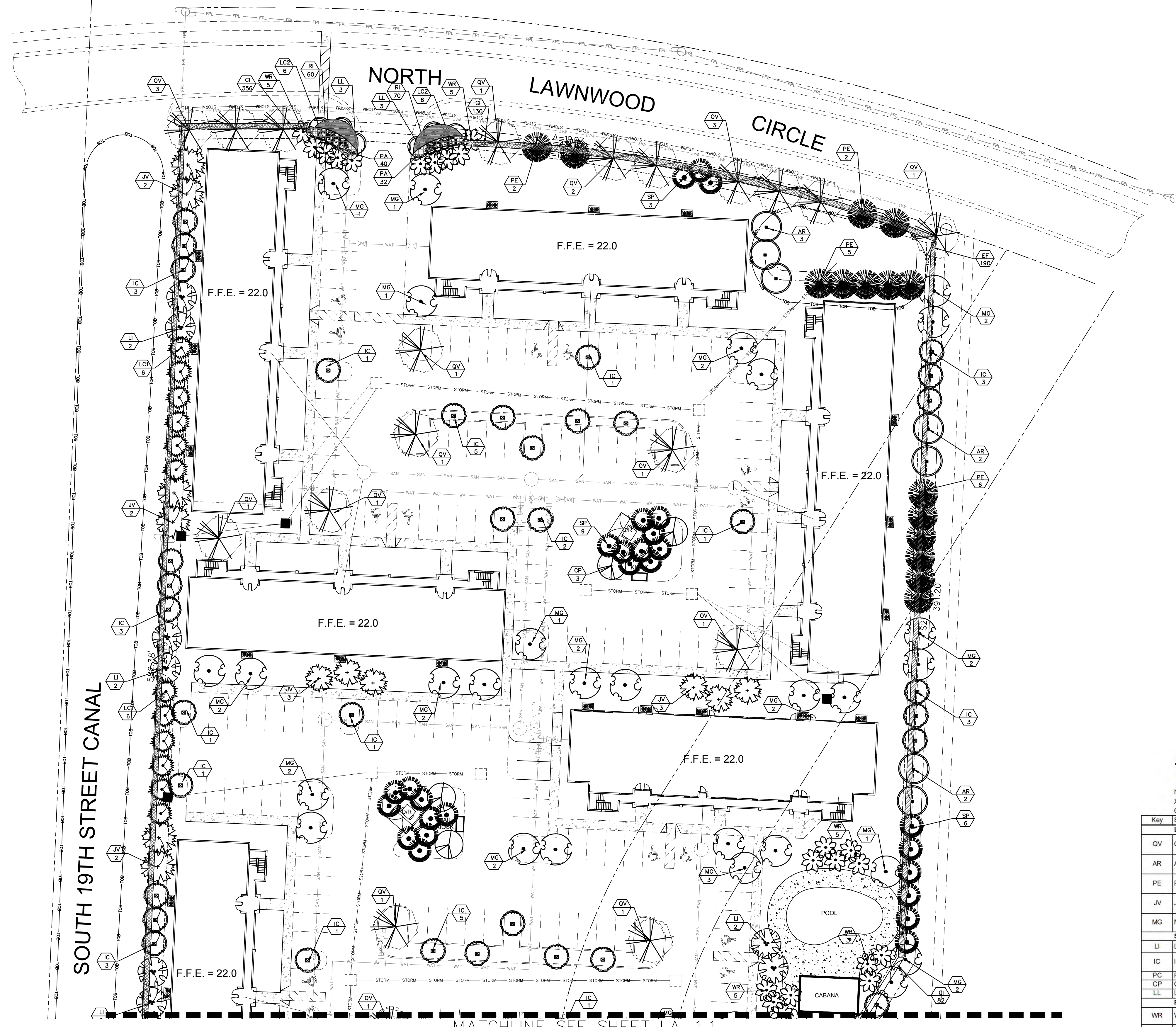
<p>IBI GROUP (FLORIDA) INC. URL: http://www.ibigroup.com ENGINEERS ARCHITECTS SURVEYORS PLANNERS ENVIRONMENTAL CONSULTANTS LANDSCAPE ARCHITECTS 2200 PARK CENTRAL BLVD. N. SUITE 101 MAITLAND, FLORIDA 32751 (407) 869-2120</p>		<p>ORLANDO POMPANO BEACH</p>
<p>MAYFAIR FORT PIERCE, FLORIDA</p>		<p>PAVING, GRADING AND DRAINAGE DETAILS</p>
<p>DRAWN: BW</p>	<p>DESIGNED:</p>	<p>CHECKED: RW</p>
<p>SCALE: 1" = 30'</p>	<p>PROJECT: 38890</p>	<p>SHEET: PGD-2.1</p>
<p>DATE: 3/15/2016</p>		<p>DESCRIPTION</p>
<p>IBI GROUP FLORIDA ENGINEERING BUSINESS NO. 2966</p>		<p>3/16/16</p>
<p>NOT FOR CONSTRUCTION</p>		

J:\38890\5.9 Drawings\59civil\layouts\38890-PGD ALT.dwg Modified: 3/15/2016 By:becky.williams Plotted By:becky.williams



Landscape Plans (Overall Site & Individual Building)

J:\38890\5.9 Drawings\591sc\layouts\38890-LandscapePlan ALI.dwg Modified: 3/16/2016 By: becky.williams Plotted By: becky.williams



SOUTH 19TH STREET CANAL

MATCHLINE SEE SHEET LA-1.1

Mayfair PLANT MATERIALS LIST

Native plants and ecological communities as determined by the FDOACS, UFIFAS, FDEP-Florida Land Use Cover Classification System. Xeriscape principles as determined by the South Florida Water Management District "Waterwise" Xeriscape Plant Guide. Compliance for planting adjacent to overhead electrical wires as determined by Florida Power & Light, Administrative Services.

Table with columns: Key, Scientific Name, Common Name, Native, Xen, Height x Spread / Description, Spacing, Qty, SUBT. Lists various plants like Live Oak, Red Maple, Slash Pine, Southern Red Cedar, Southern Magnolia, Crepe Myrtle, Dahoon Holly, Cherry Laurel, Dwarf Yellow Poinciana, Japanese Privet, Washingtonia Palm, Cabbage Palm, Chinese Fan Palm, Cocoplum, Spanish Stopper, Plum bago, and Indian Hawthorn.

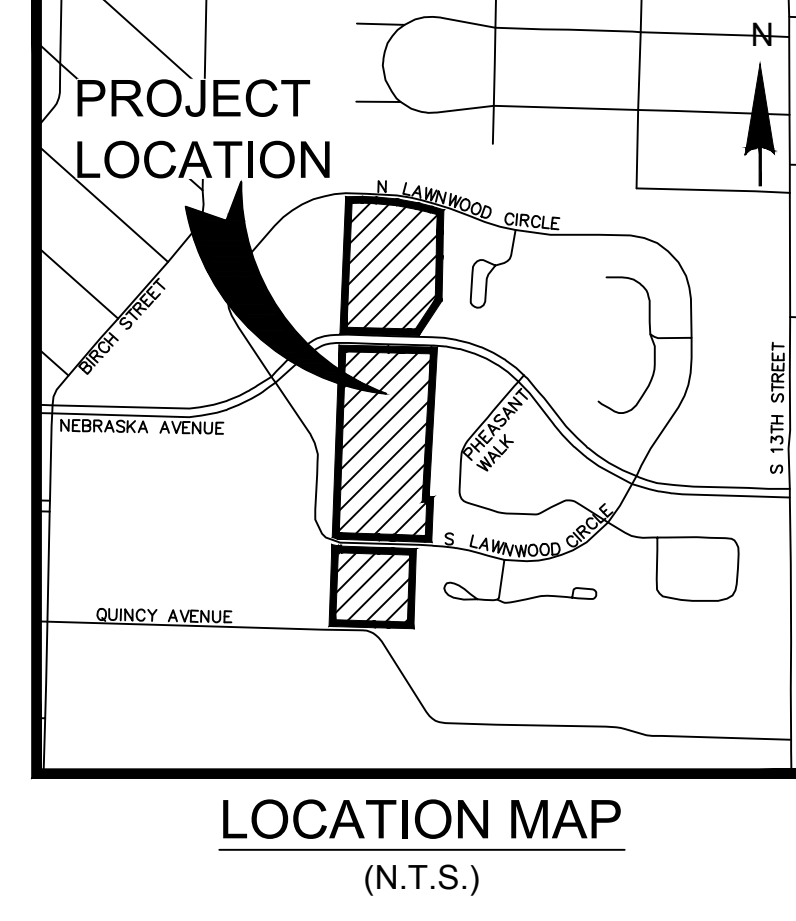
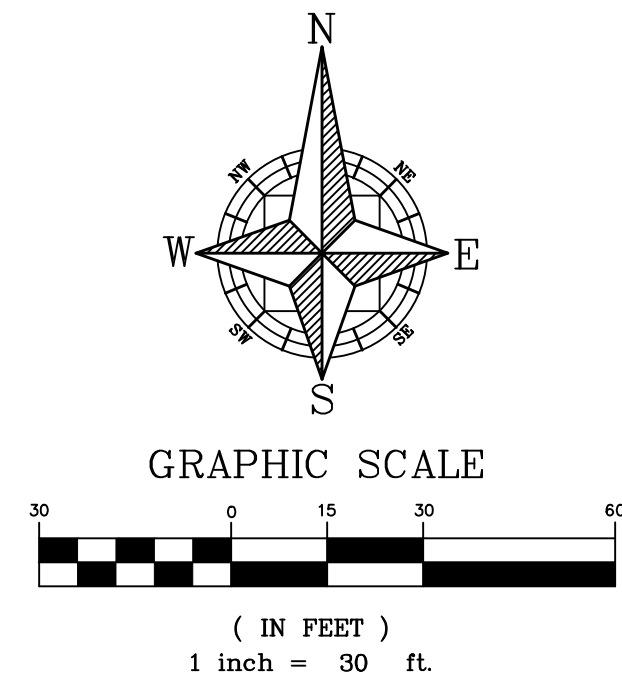
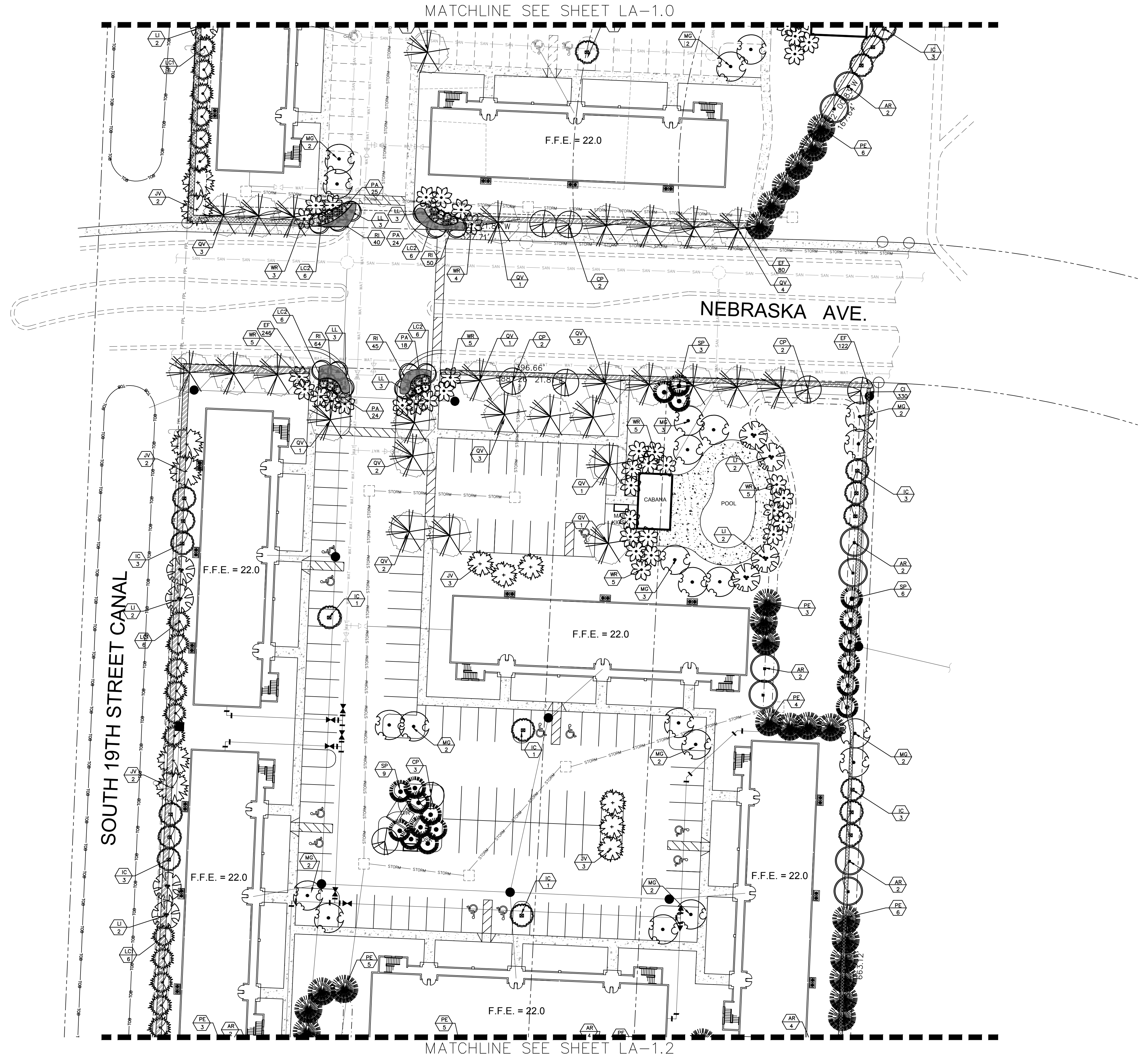
NOTE: ALL AREAS INDICATED FOR SOD SHALL BE INSTALLED WITH ST. AUGUSTINE "FLORITAM" SOD UNLESS ALTERNATE NOTED. Total Native Plants 1,827 Native % of Total 67.8%. NOTE: ALL PLANTS SHALL BE INSTALLED AT SIZE INDICATED UNDER THE SPECIFICATIONS. CONTAINER SIZE LISTED IS FOR REFERENCE OR ESTIMATING ONLY. Total Drought Tolerant Plants 2,575 Drought Tol. % of Total 95.5%

NOTE: ALL PROPOSED UNDERGROUND UTILITIES SHALL BE MODIFIED TO AVOID CONFLICTS WITH REQUIRED TREES IN LANDSCAPE ISLANDS / VUA AREAS. SEE ENGINEERING PLANS. NOTE: PURSUANT TO TO FPL "RIGHT-TREE, RIGHT PLACE" GUIDELINES ALL PERIMETER BUFFER TREES IN CONFLICT WITH OVERHEAD POWER LINES HAVE BEEN ADJUSTED FOR COMPLIANCE. NOTE: SOD TO BE INSTALLED IN ALL PERVIOUS AREAS NOT CONTAINING SHRUBS, GROUNDCOVER OR ALTERNATE LANDSCAPE FEATURES (MULCH, ROCK).

Project information block including IBI GROUP (FLORIDA) INC. logo, project name (MAYFAIR FORT PIERCE, FLORIDA), sheet number (38890), scale (1" = 30'), date (3/16/2016), and contact information for Pompano Beach, Orlando.

IBI GROUP FLORIDA ENGINEERING BUSINESS NO. 2966 NOT FOR CONSTRUCTION 3/16/16

J:\38890\5.9 Drawings\591sc\Layouts\38890-LandscapePlan ALT.dwg Modified: 3/16/2016 By:becky.williams Plotted By:becky.williams



<p>IBI GROUP (FLORIDA) INC. ENGINEERS ARCHITECTS SURVEYORS PLANNERS LANDSCAPE ARCHITECTS ENVIRONMENTAL CONSULTANTS 2200 PARK CENTRAL BLVD. N. SUITE 101 MAITLAND, FLORIDA 32751 (407) 866-2120</p>		<p>ORLANDO POMPANO BEACH</p>
<p>MAYFAIR FORT PIERCE, FLORIDA</p>		<p>LANDSCAPE PLAN</p>
<p>SCALE: 1" = 30'</p>	<p>PROJECT: 38890</p>	<p>SHEET: LA-1.1</p>
<p>DRAWN: BW</p>	<p>DESIGNED:</p>	<p>CHECKED: RW</p>
<p>DATE: 3/16/2016</p>		<p>REV. DATE DESCRIPTION</p>
<p>IBI GROUP FLORIDA ENGINEERING BUSINESS NO. 2966</p>		<p>NOT FOR CONSTRUCTION</p>

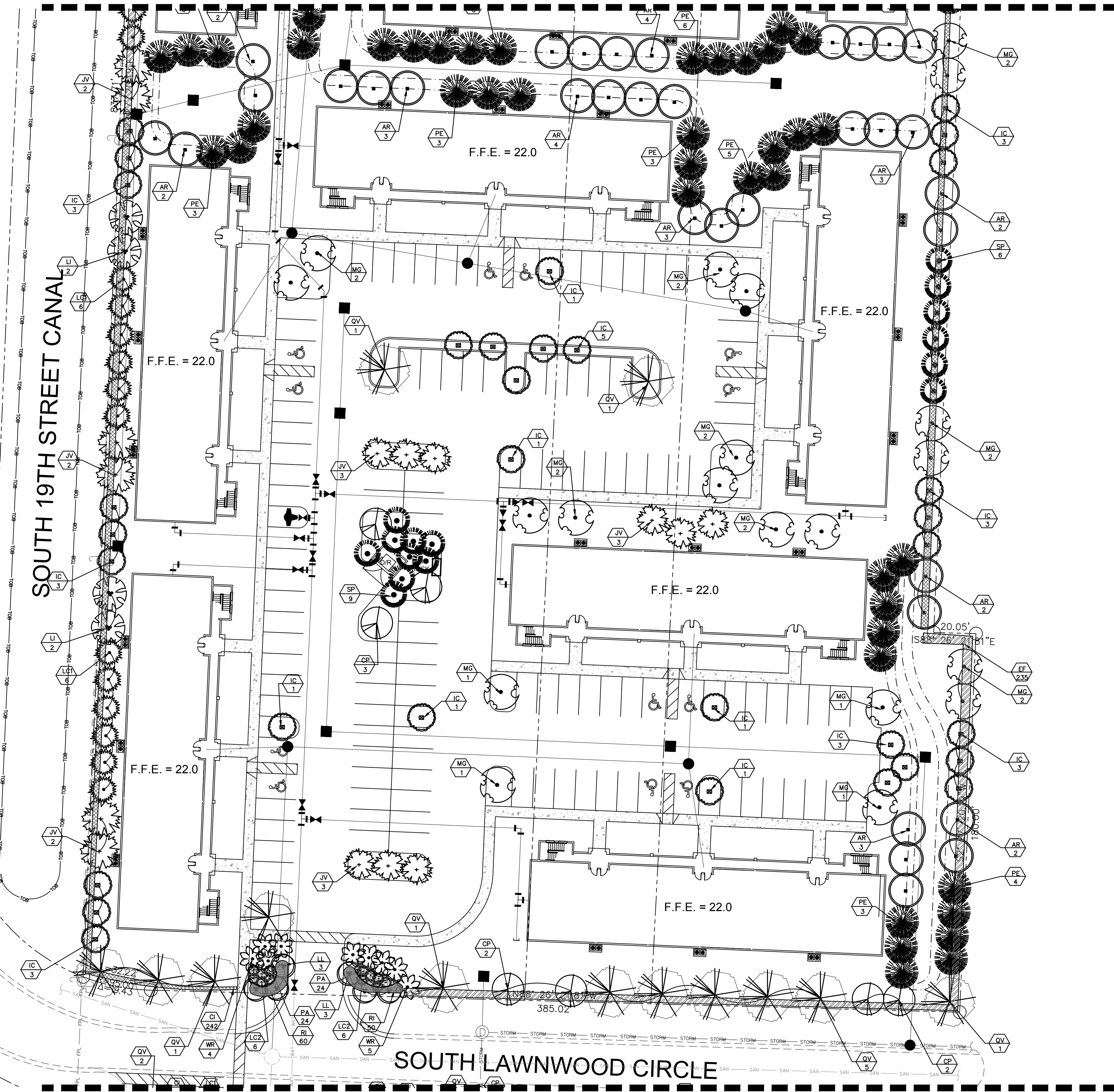
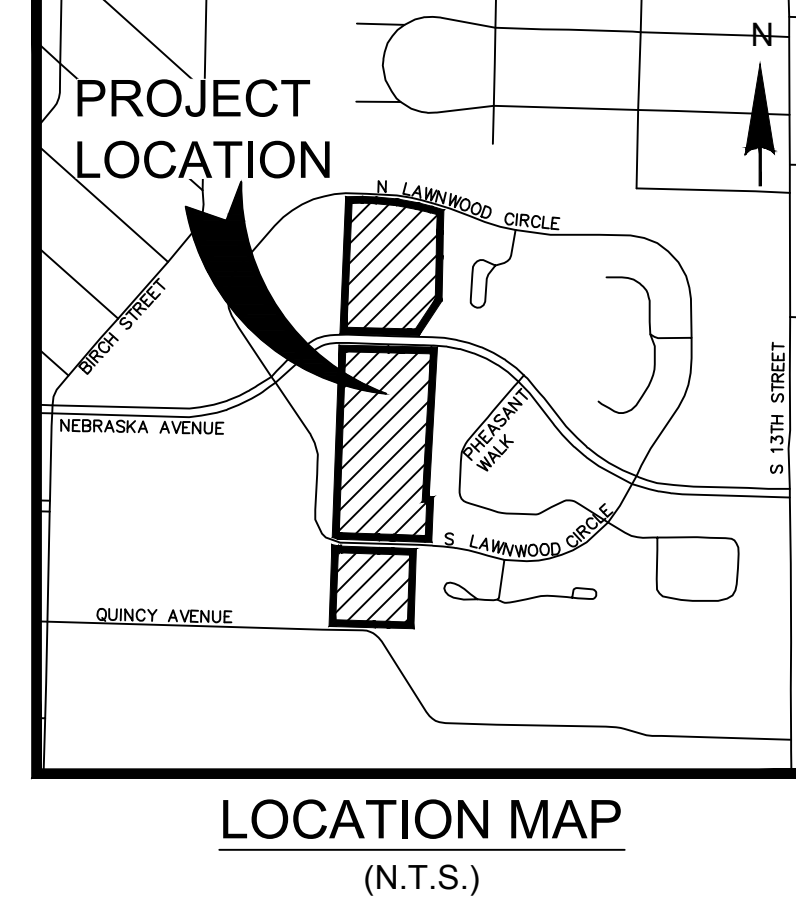
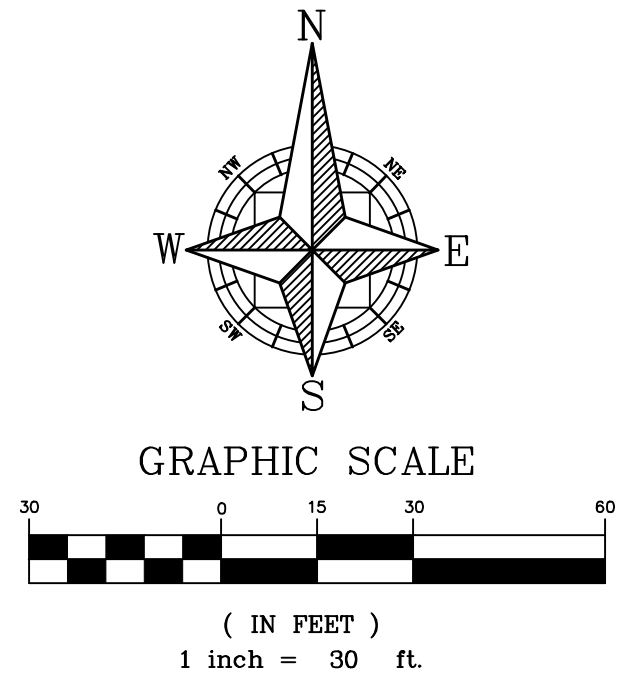
NOTE: SEE SHEET LA-1.0 FOR PLANT MATERIALS LIST.
 NOTE: ALL PROPOSED UNDERGROUND UTILITIES SHALL BE MODIFIED TO AVOID CONFLICTS WITH REQUIRED TREES IN LANDSCAPE ISLANDS / VUA AREAS. SEE ENGINEERING PLANS.

3/16/16

J:\38890\5.9 Drawings\Layouts\38890-LandscapePlan ALT.dwg Modified: 3/16/2016 By:becky.williams Plotted By:becky.williams

MATCHLINE SEE SHEET LA-1.1

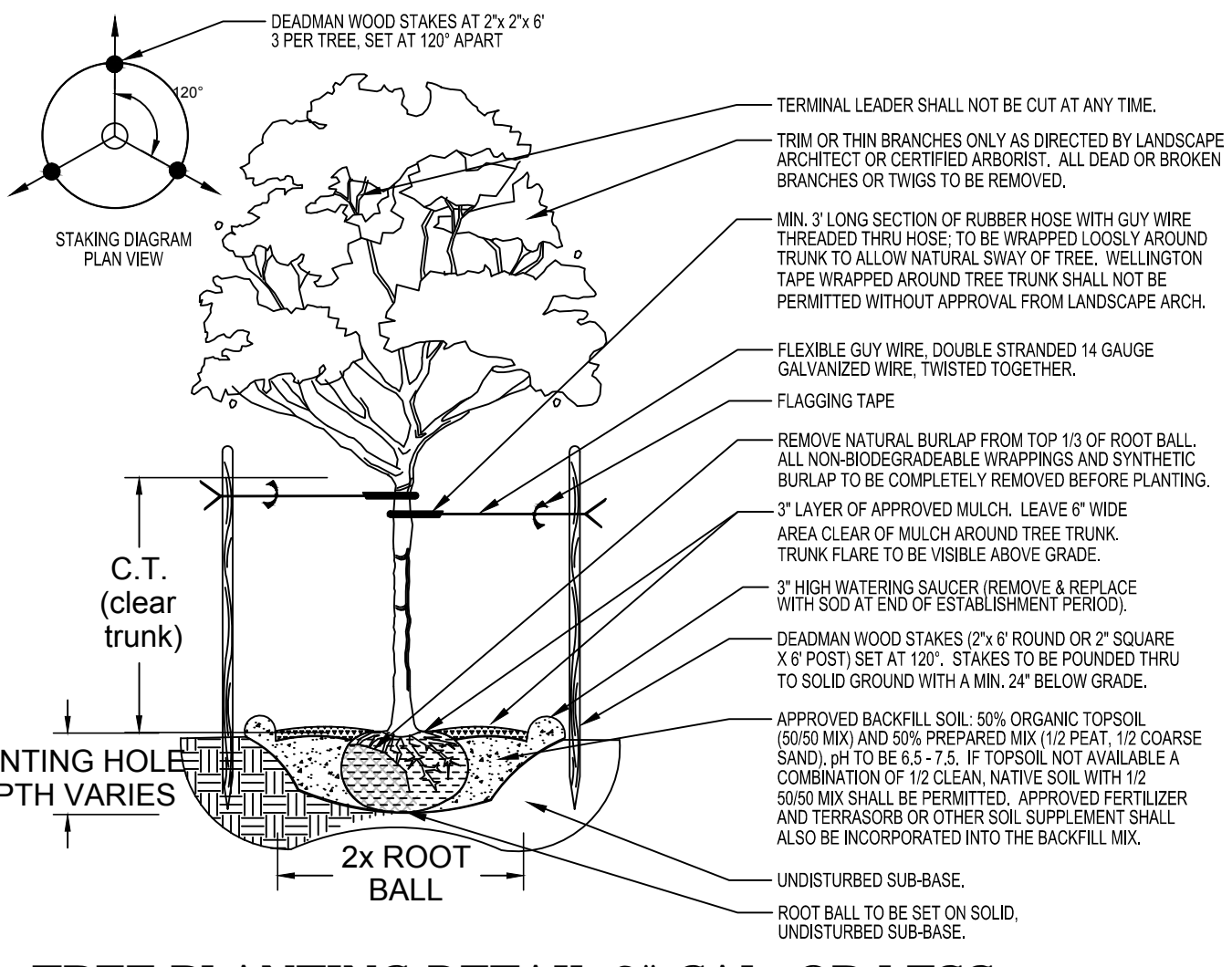
MATCHLINE SEE SHEET LA-1.3



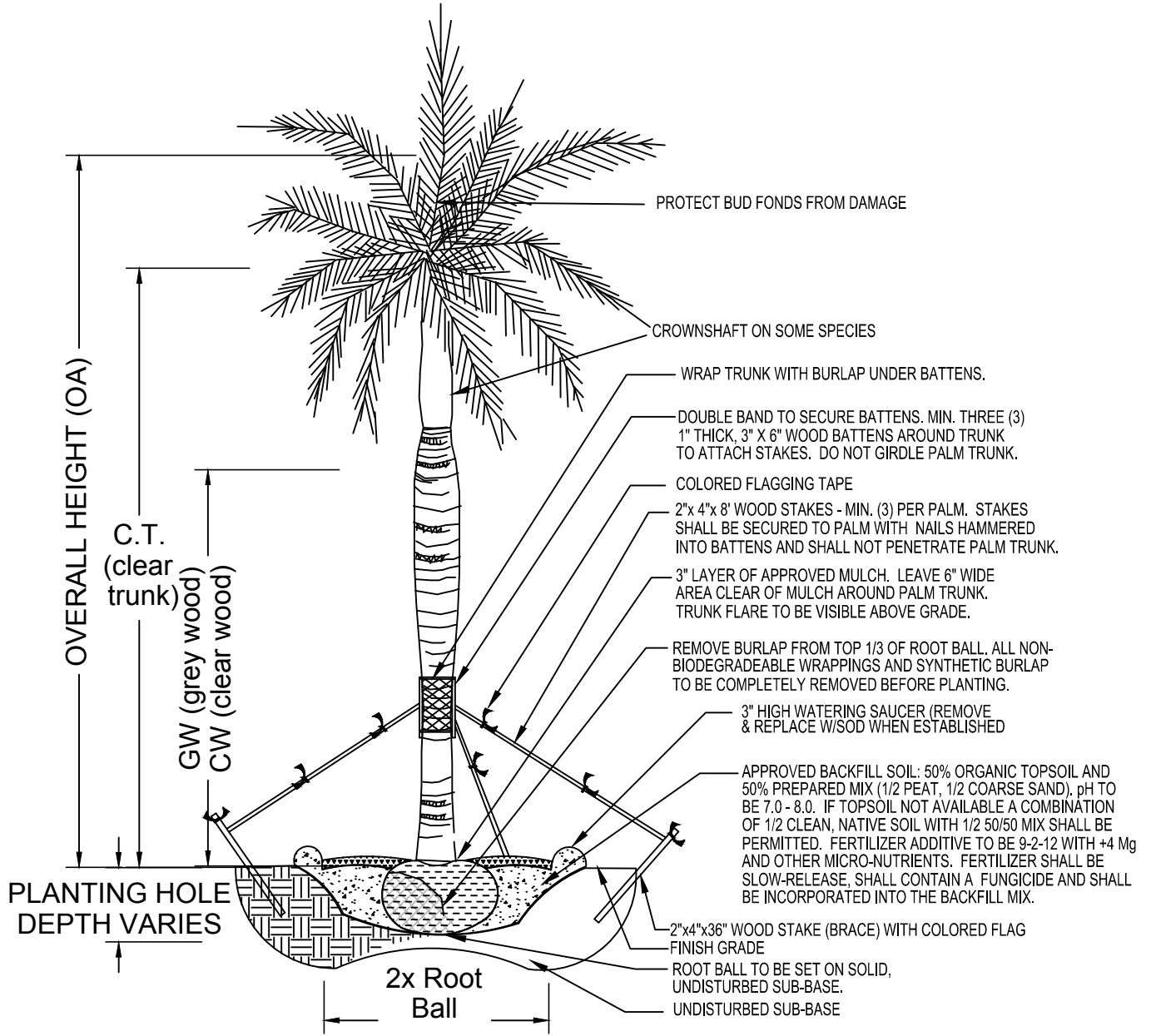
<p>IBI GROUP (FLORIDA) INC. <small>ENGINEERS ARCHITECTS SURVEYORS PLANNERS ENVIRONMENTAL CONSULTANTS</small> <small>2200 PARK CENTRAL BLVD. N. SUITE 101 MAITLAND, FLORIDA 32751 (407) 866-2120</small></p>		<p>ORLANDO POMPANO BEACH</p>
<p>MAYFAIR FORT PIERCE, FLORIDA</p>		<p>LANDSCAPE ARCHITECTS</p>
<p>LANDSCAPE PLAN</p>		<p>DATE: 3/16/2016</p>
<p>SCALE: 1" = 30'</p>	<p>PROJECT: 38890</p>	<p>CHECKED: RW</p>
<p>SHEET: LA-1.2</p>	<p>DATE: 3/16/2016</p>	<p>DATE: 3/16/2016</p>
<p>IBI GROUP <small>FLORIDA ENGINEERING BUSINESS NO. 2966</small></p>		
<p>NOT FOR CONSTRUCTION</p>		

NOTE: SEE SHEET LA-1.0 FOR PLANT MATERIALS LIST.
 NOTE: ALL PROPOSED UNDERGROUND UTILITIES SHALL BE MODIFIED TO AVOID CONFLICTS WITH REQUIRED TREES IN LANDSCAPE ISLANDS / VUA AREAS. SEE ENGINEERING PLANS.

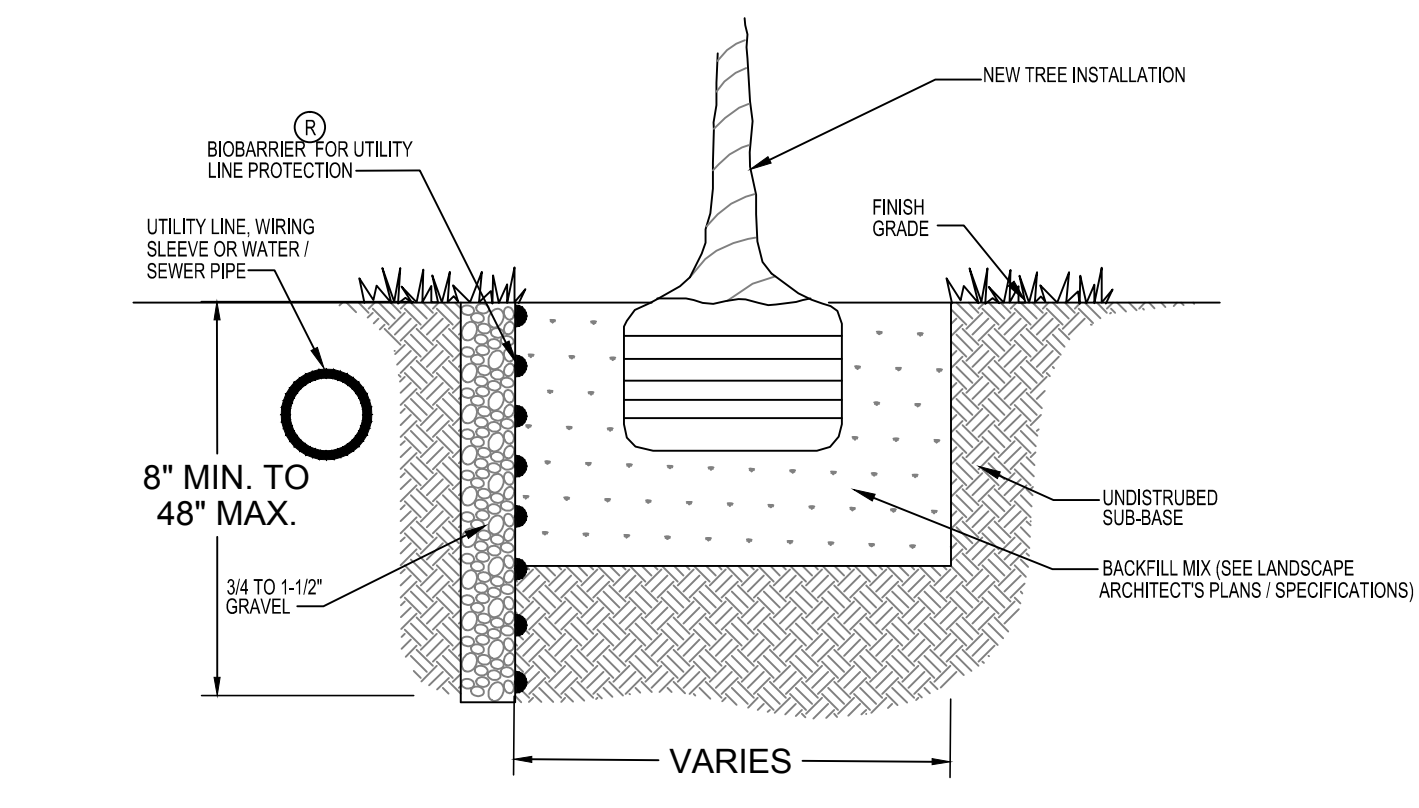
3/16/16



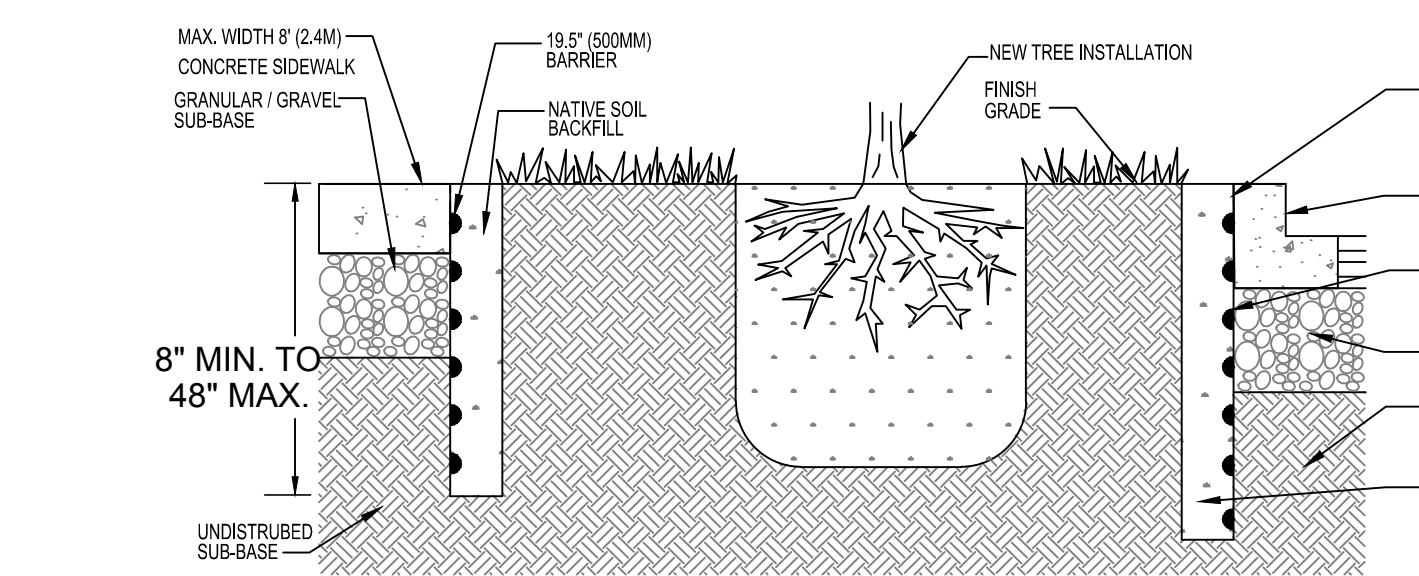
TREE PLANTING DETAIL-3" CAL. OR LESS.
not to scale



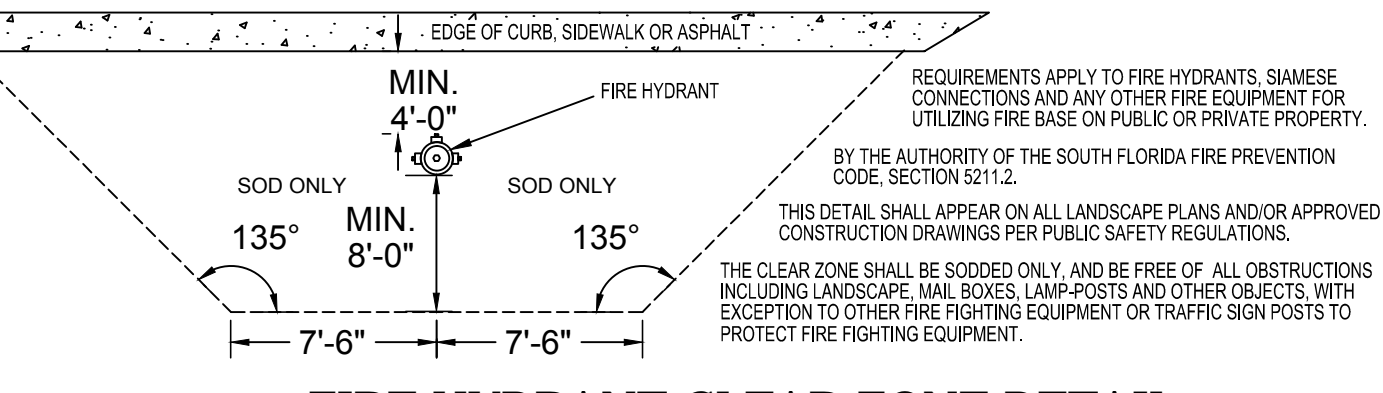
PALM PLANTING DETAIL-TYP.
not to scale



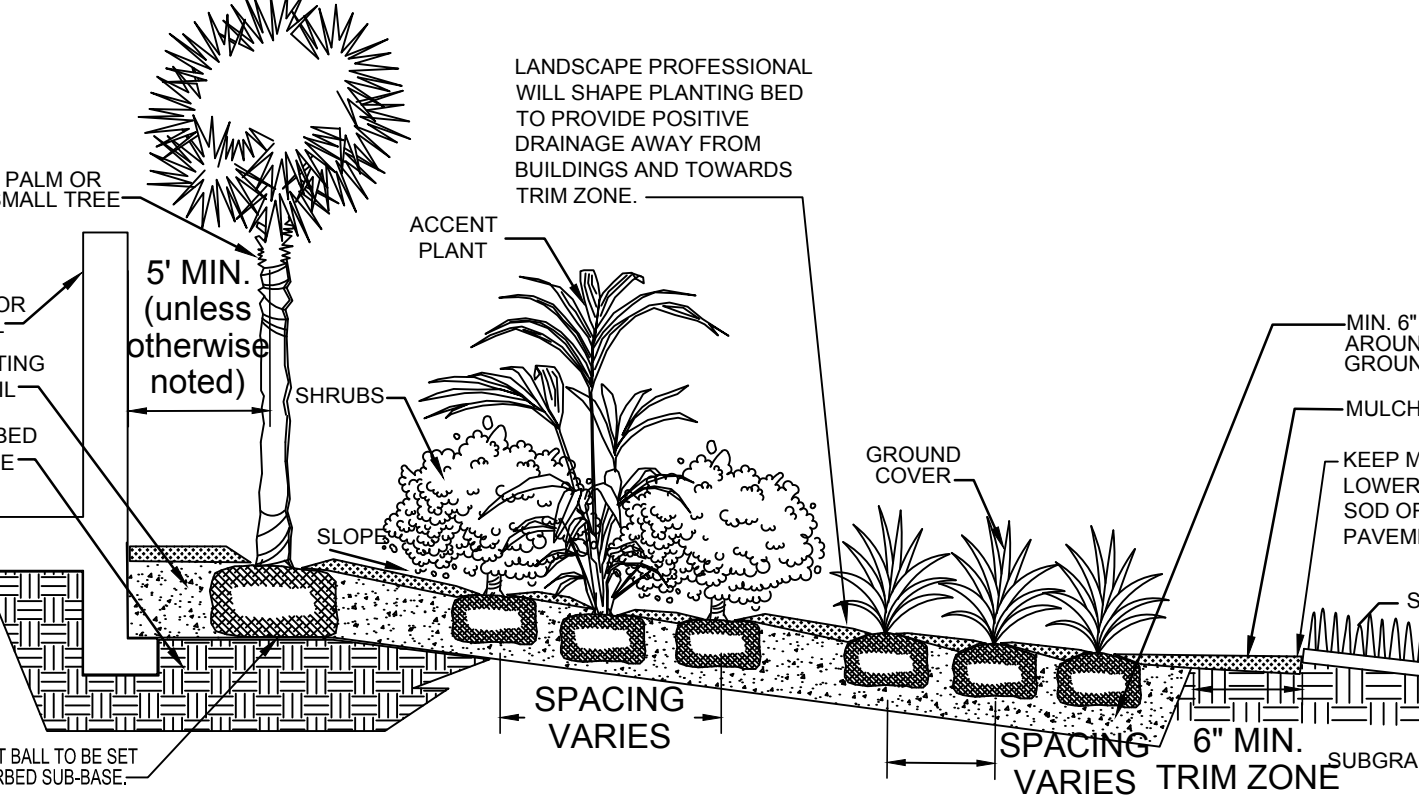
ROOT BARRIER DETAIL - UNDERGROUND UTILITY LINES
not to scale



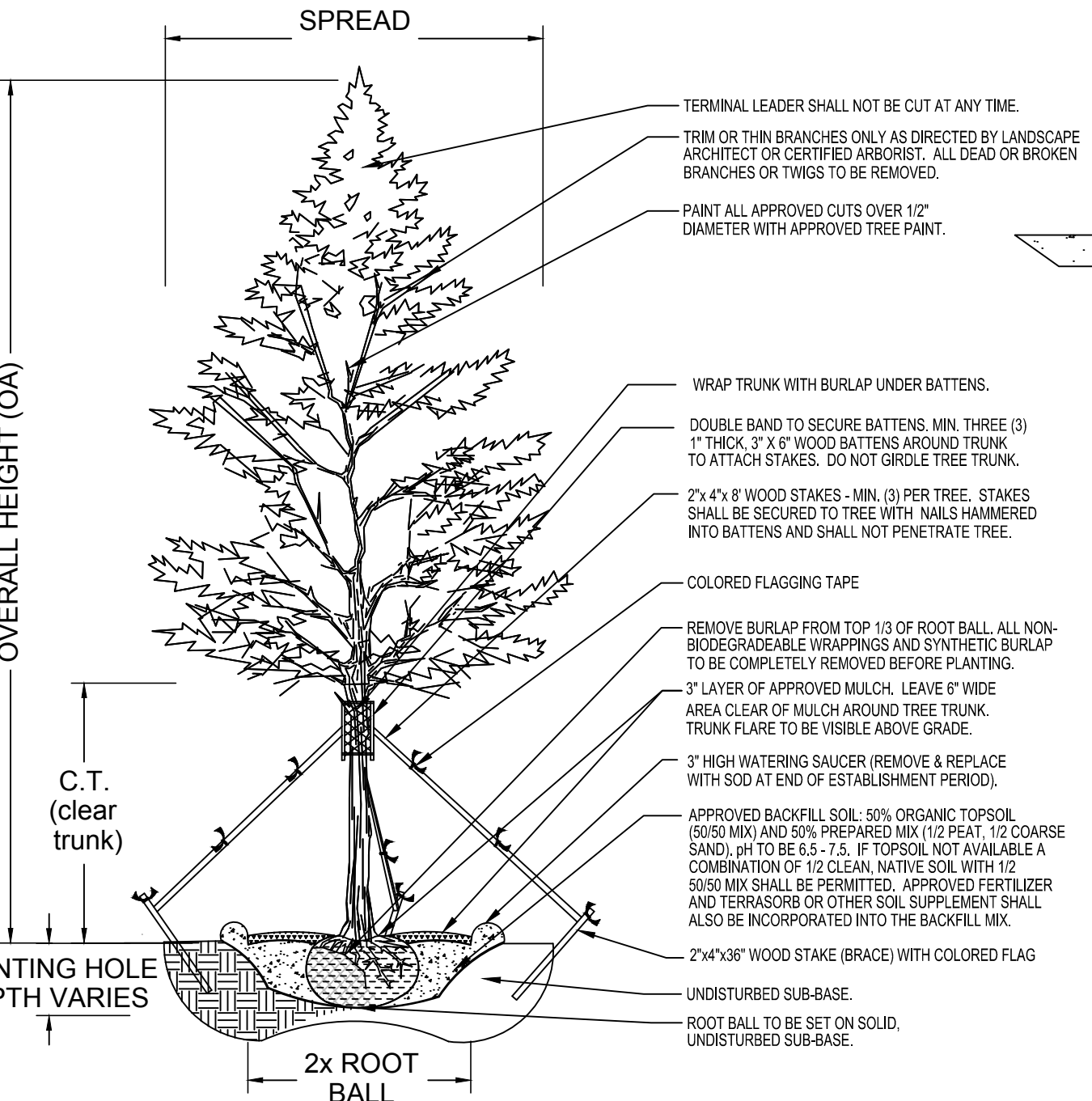
ROOT BARRIER DETAIL - PAVING / CURBING
not to scale



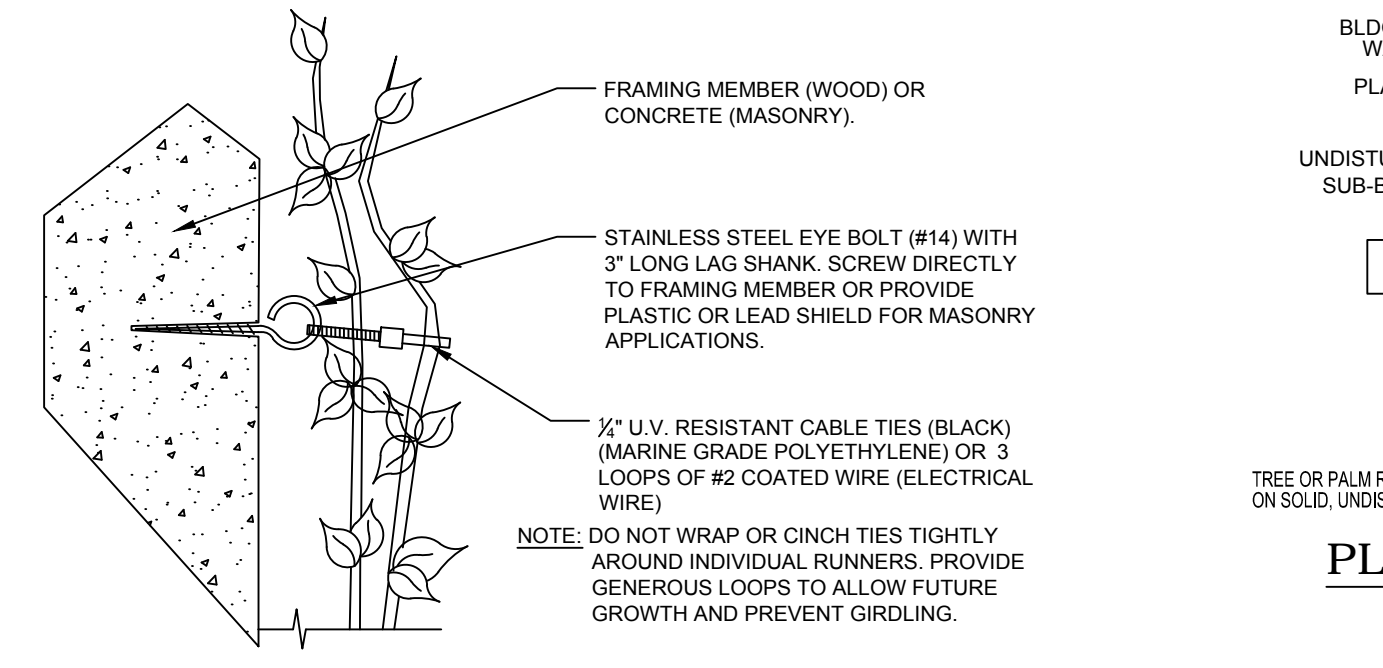
FIRE HYDRANT CLEAR ZONE DETAIL
not to scale



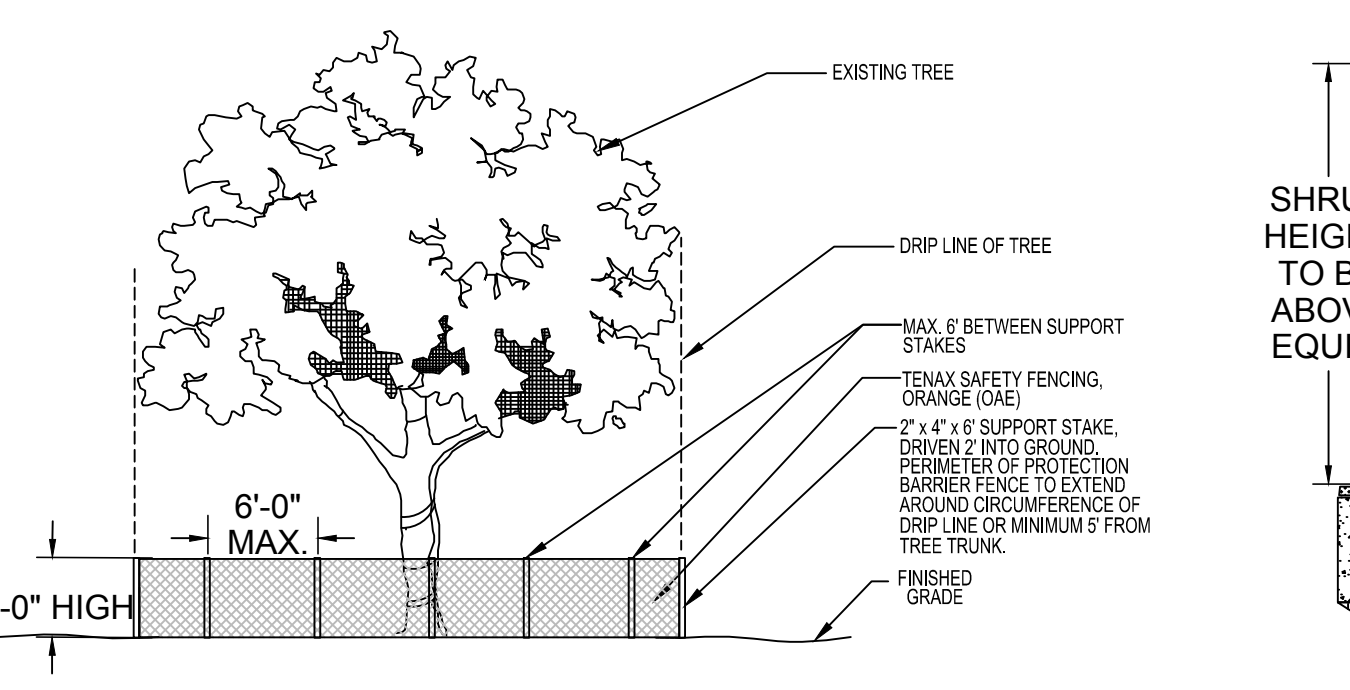
PLANTING BED - SHRUB INSTALLATION DETAIL - CROSS SECTION
not to scale



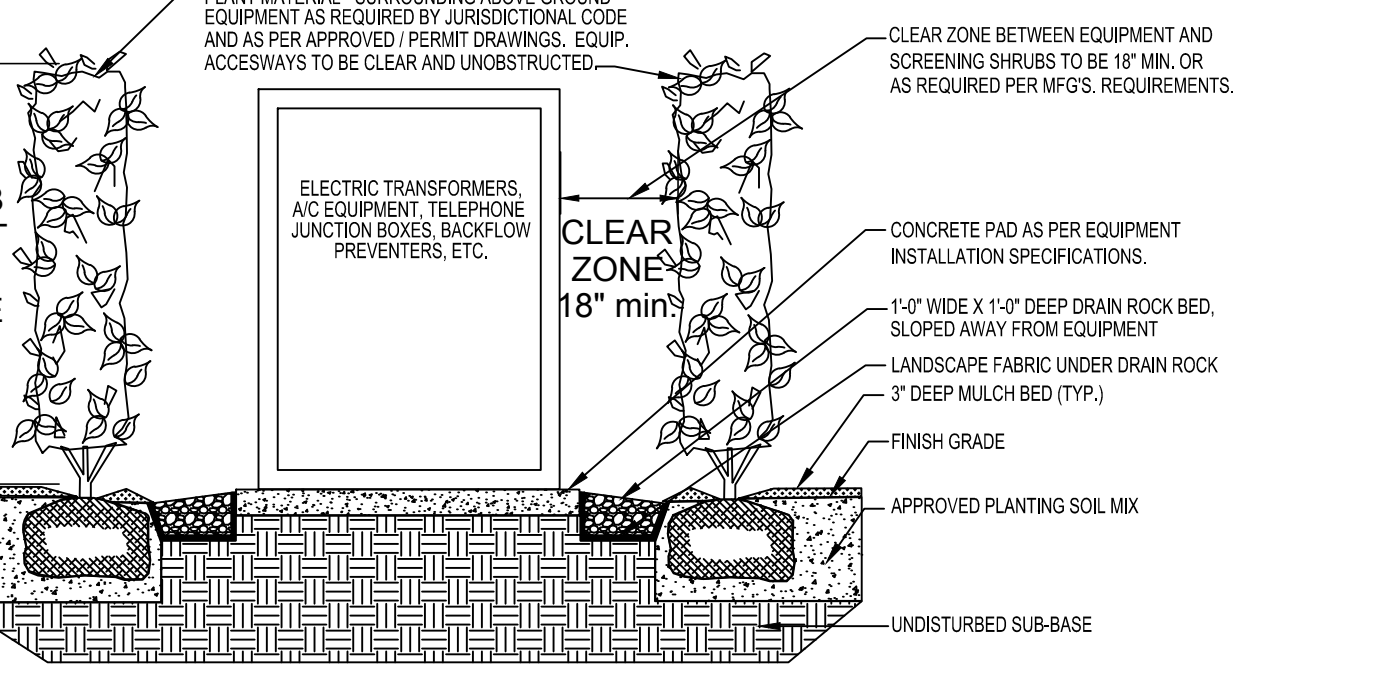
LARGE TREE PLANTING DETAIL- GREATER THAN 3\"/>



VINE TO WALL ATTACHMENT DETAIL
not to scale



TREE PROTECTION BARRIER DETAIL
not to scale



GROUND MOUNTED EQUIPMENT SCREENING DETAIL
not to scale

GENERAL NOTES, LANDSCAPE INSTALLATION SPECIFICATIONS

1. THE TERM "CONTRACTOR" REFERS TO THE PRINCIPAL COMPANY, OR OWNER/DEVELOPER, INCLUDING LANDSCAPING, OBLIGATED WITH THE RESPONSIBILITY FOR COORDINATING AND PERFORMING THE SITE WORK AND SECURING THE WORK OF SUBCONTRACTORS, DISCHARGING TO COMPLY WITH LOCAL BUILDING CODES AND ZONING ORDINANCES, AND WHICH IS THE ENTITY OF RECORD FOR OBTAINING PERMITS, SCHEDULING INSPECTIONS AND SECURING COMPLIANCE CERTIFICATES.
 2. THE CONTRACTOR SHALL CUT, CLEAR, STUMP GRIND, EXCAVATE AND REMOVE ALL EXOTIC, INVASIVE AND DESIGNATED TREES FROM THE SITE AND AREAS THAT HAVE EVIDENCE OF PREVIOUSLY EXISTING TREES AND/OR PALMS; INCLUDES REMOVING DEBRIS, LITTER AND STONES OVER 1" DIAMETER.
 3. THE CONTRACTOR SHALL REFER TO ALL TREE PRESERVATION PLANS, DETAILS AND SPECIFICATIONS IN CONJUNCTION WITH THE SITE PROJECT TO LOCATE AND TAG ANY AND ALL EXISTING TREES AND/OR PALMS PROPOSED FOR PRESERVATION OR RELOCATION. THE CONTRACTOR SHALL ADHERE TO ALL DIRECTIVES AND AS SHOWN ON THE TREE PRESERVATION PLANS REGARDING ALL TREE OR PALM RELOCATIONS AND TREE REMOVAL.
- LANDSCAPE PROPOSALS SHALL PROVIDE UNIT COSTS AND SHALL INCLUDE: EXCAVATIONS, PLANT MATERIAL LISTED, DELIVERY AND INSTALLATION (LABOR), TURF SOIL, SEEDING, TOP SOIL & FINE GRADING, SOIL BACKFILL, SOIL SUPPLEMENTS, FOLIAR SPRAYS, FERTILIZERS, GUYING AND STAKING, REQUIRED PRUNING, CLEAN-UP, WATERING AND ALL TAXES AND FEES NECESSARY TO SUCCESSFULLY ESTABLISH THE PROPOSED LANDSCAPE AND ECOLOGICAL COMMUNITIES.
- THE CONTRACTOR/BIDDER SHALL HAVE CAREFULLY READ AND FULLY UNDERSTAND ALL DRAWINGS (TREE PRESERVATION, LANDSCAPE AND IRRIGATION, PLUS RELATED ENGINEERING AND ARCHITECTURAL), DETAILS, SPECIFICATIONS AND NOTES OF SUCH LANDSCAPE/PLANTING PLANS FOR THE IDENTIFIED PROJECT AND LOCATION; AND CONTRACTOR/BIDDER ACKNOWLEDGES SAME BY SIGNATURE, DATE & COMPANY NAME BELOW THAT THE BID SUBMITTED REFLECTS AN ACCURATE INSTALLATION OF THE LANDSCAPE IN COMPLIANCE WITH ALL CONDITIONS SET FORTH, INCLUDING COORDINATION WITH RELATED TRADES, PROPERLY SEQUENCING WORK AND OFFICIAL AGENDA, SO SOONER.
- PLANT MATERIALS ARE SPECIFIED FOR COMPLIANCE WITH MINIMUM CODE REQUIREMENTS AND GOVERNING AGENCY REVIEW COMMENTS AS OF THE DATE OF SUBMITTAL. SUBCONTRACTORS ARE BOUND TO THE GENERAL CONTRACTOR AND ARE TO ASSUME ALL OBLIGATIONS AND RESPONSIBILITIES WHICH THE GENERAL CONTRACTOR IS BOUND TO THE OWNER. BOTH SHALL BE FAMILIAR WITH AND HAVE FULLY INVESTIGATED ALL LOCAL CODES AND ORDINANCES.
- CONTRACTOR SHALL PROVIDE A WRITTEN AGREEMENT TO COVER THE WARRANTY PERIOD AT TIME OF THE COMPLETION, INSPECTION AND PRIOR TO FINAL ACCEPTANCE. CONTRACTOR SHALL ALSO DEFINE INSPECTION DATES AND TIMES THROUGHOUT THE WARRANTY PERIOD TO MONITOR PLANTING UNDER WARRANTY. MAINTENANCE AGREEMENT WORK SHALL BE PERFORMED BY A QUALIFIED LANDSCAPE/IRRIGATION CONTRACTOR.
- CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY OF OBTAINING FROM GROWERS STATEMENT, AND INTERSTATE, SPECIFIED PLANT MATERIALS IN ADVANCE OF RECEIVING THE SITE TO LANDSCAPE PROFESSIONAL. AMOUNT OF THE CONTRACTOR PROVIDING THE MATERIALS AT BID PRICE. CONTRACTOR WILL PROVIDE OFF-SITE NURSERY FACILITIES FOR RECEIVING, MAINTAINING AND GROWING PLANT MATERIALS AT HIS OWN COST. WHEN SPECIAL CONDITIONS EXIST OR OTHER ARRANGEMENTS MUST BE MADE IN ORDER TO SUPPLY SPECIFIED PLANT MATERIALS, ONLY REGIONAL (FL-STATE) AGRICULTURAL DAMAGE AS DETERMINED BY FLORIDA D.O.A. AND/OR THE LOCAL COOPERATIVE EXTENSION SERVICE IN WRITING WILL BE CONSIDERED BY AUTHORITY. IN THIS CASE, THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING AND OBTAINING WRITTEN VERIFICATION FROM THE LANDSCAPE ARCHITECT AND THE PERMITTING JURISDICTION FOR ACCEPTABLE PLANT SUBSTITUTIONS.
- THE CONTRACTOR ACCEPTS THE LANDSCAPE PLANT, PLANT LIST, QUANTITIES AND SPECIFICATIONS CONTAINED HEREIN AS REQUIRED FOR SITE PLAN APPROVAL, ZONING AND LANDSCAPE PERMITTING. FINAL ARCHITECTURE, ENGINEERING IN PLANS AND UTILITY PROVIDERS MAY CREATE CONFLICTS AND OCCURRENCE OF DISCREPANCIES BETWEEN PLANT LOCATIONS, COUNTS ON PLAN, AND THE LIST. BIDDER AND CONTRACTORS SHALL REPORT IN WRITING ANY AND ALL DESIGN CONFLICTS TO THE LANDSCAPE ARCHITECT FOR RESOLUTION, AND AS REQUIRED BY CODE.

GENERAL NOTES, LANDSCAPE INSTALLATION SPECIFICATIONS (cont.)

4. THE CONTRACTOR SHALL EXCAVATE ALL UNDERGROUND UTILITY LINES AND ISLANDS TO A MIN. 2 1/2' DEPTH AND EXCAVATE ALL NON-ORGANIC SOILS WITHIN MIN. 10 FT. FROM THE EXISTING BUILDING PERIMETER TO A MIN. 12 INCHES DEPTH. THE CONTRACTOR SHALL BACKFILL THE STRIPS, ISLANDS AND BUILDING PERIMETERS WITH THE APPROVED 50/50 TOPSOIL MIX TO FINISHED GRADES. THE LANDSCAPE OR IRRIGATION PROFESSIONAL SHALL NOT PROCEED WITH WORK IN THESE DESIGNATED AREAS UNTIL SITE PREPARATION IS COMPLETE AND INSPECTED BY THE LANDSCAPE ARCHITECT AND/OR PERMITTING AGENCY.
5. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND UTILITIES WHICH ARE PROPERLY MARKED OR FOR WHICH HE HAS NOT OBTAINED PROPER MARKINGS THROUGH THE ONE CALL SYSTEM - 72 HOURS BEFORE DIGGING - CALL TOLL FREE 1 (800) 432-4270 OR FROM LOCAL UTILITY DEPARTMENTS. ALL ELECTRICAL, GAS, TELEPHONE, FIBER OPTICS, CABLE, WATER AND SEWER SERVICES LOCATED ON-SITE, OR ADJACENT PROPERTIES WITHIN 10' AND WITHIN ADJACENT R.O.W.'S SHALL BE CLEARLY MARKED.
6. THE CONTRACTOR SHALL PROVIDE ALL PROPOSED PLANTS AT FLA #1 GRADE OR BETTER AS DESCRIBED IN GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION AS PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, AND WILL PROVIDE CERTIFICATION FOR ANY AND ALL PLANTS IN DISPUTE. ALL PLANT MATERIAL PROVIDED SHALL MEET OR EXCEED THE MINIMUM SPECIFIED SIZE (HEIGHT, SPREAD, CALIPER, CLEAR TRUNK, ETC.) AS SHOWN ON THE LANDSCAPE PLANS. THE CONTRACTOR SHALL INSTALL PLANTS ACCORDING TO LANDSCAPE PLANS FOR SPACING AND PLACEMENT, AND PER THE LANDSCAPE DETAILS WITHOUT EXCEPTION. SHOULD ANY PLANT BE UNAVAILABLE THE CONTRACTOR WILL CONTACT THE LANDSCAPE ARCHITECT FOR RECOMMENDATIONS AND/OR APPROVAL OF ANY AND ALL SPECIES SUBSTITUTIONS.
7. THE CONTRACTOR SHALL PROVIDE PROPER TRANSPORT AND DELIVERY OF PLANT MATERIAL TO THE JOB SITE. PLANT MATERIAL SHALL NOT BE DROPPED, SCARRED OR OTHERWISE DAMAGED AT ANY TIME. DAMAGED PLANT MATERIALS SHALL BE REJECTED BY THE OWNER OR OWNER'S REPRESENTATIVE, REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. ANY PLANTS OTHER THAN FLA #1 GRADE OR WITH INDICATIONS OF DISEASE, INSECT INFESTATION, BROKEN BRANCHES, LACK OF WATER, GRUBBING OR SCORCHING AT DELIVERY SHALL BE REJECTED.
8. THE CONTRACTOR SHALL PROVIDE CERTIFIED ST. AUGUSTINE FLORITAN SOIL, UNLESS OTHERWISE INDICATED, TO ALL OPEN AREAS INSIDE THE PROPERTY NOT RECEIVING PLANT MATERIAL OR OTHER FORM OF GROUND COVER, LIVING OR NON-LIVING. THE CONTRACTOR WILL PROVIDE SOD TO ALL DAMAGED TURF AREAS, TO EDGE OF PAVEMENT AND TO THE EDGE OF WATER AT ALL WATER BODIES. ALL SOD SEAMS WILL BE BUTT JOINTS WITH ADJACENT ROLLS STAGGERED AND ALL EDGE PIECES ADJUTING TIGHTLY, LEAVING NO GAPS. THE CONTRACTOR SHALL REPAIR AND REPLACE ALL SOD ON ADJACENT PROPERTIES DAMAGED BY LANDSCAPE INSTALLATION WORK, AND SHALL NOTIFY THE OWNER OF THE ADJACENT PROPERTY, AND OBTAIN PERMISSION TO PERFORM SOD REPAIRS.
9. THE CONTRACTOR SHALL PROVIDE IMPORTED ORGANIC BACKFILL MIX AS NOTED ON THE PLANTING DETAILS WHICH WILL BE FREE OF ALL DEBRIS AND STONES OVER 1" DIAMETER. BACKFILL MIX WILL BE SHIPPED FROM HAWAII, BIOLOGICAL ORGANISMS, INCLUDING NEMATODES AND PARASITES AND WILL BE PH 6.5 - 6.0 RANGE AS DESCRIBED IN THE TREE OR PALM PLANTING DETAILS. NATIVE SOIL MAY BE MIXED WITH 50/50 MIX PER DETAILS ONLY IF APPROVED BACKFILL MIX IS NOT AVAILABLE. THE CONTRACTOR SHALL SUBMIT WRITTEN LAB RESULTS, CERTIFICATION OF SOIL CONTENT AND TRACKING RECEIPTS WITH TYPE AND VOLUME OF SOIL TO THE OWNER OR OWNER'S REPRESENTATIVE FOR VERIFICATION. BACKFILL MIX WILL BE TESTED FOR CONTENT BY THE LANDSCAPE ARCHITECT AT ANY TIME. FAILURE TO PROVIDE APPROVED BACKFILL, CERTIFICATION OF SOIL CONTENT AND/OR TRACKING RECEIPTS MAY RESULT IN REJECTION OF ENTIRE LANDSCAPE WITH REMOVAL AND REPLACEMENT COSTS BORNE SOLELY BY THE CONTRACTOR.
10. THE CONTRACTOR WILL PROVIDE FERTILIZER FOR ALL PLANTS UPON INSTALLATION AS SPECIFIED ON THE PLANTING DETAILS. FERTILIZER WILL BE THOROUGHLY INCORPORATED INTO THE BACKFILL MIX.
11. THE CONTRACTOR WILL PROVIDE "TERRASORB" OR OTHER APPROVED SOIL SUPPLEMENT (HUMECTANT AND HYDROSCOPIC COMPOUNDS), THOROUGHLY INCORPORATED INTO THE BACKFILL MIX ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS OR ALL PROPOSED PLANT MATERIAL IN EXISTING SANDY SOIL OR ON PAST DRAINING SITES. CONTRACTOR WILL BE FAMILIARIZED WITH THE SITE AND THE ENGINEERING SOIL REPORT.
12. UNLESS OTHERWISE DICTATED BY CITY OR COUNTY CODE, THE CONTRACTOR SHALL LOCATE ALL TREES WITH A MATURE HEIGHT OF OVER 20' NO CLOSER THAN 15 FEET TO ANY LIGHT POLES. PALMS WILL NOT BE CLOSER THAN 10 FEET TO ANY LIGHT POLE. THE CONTRACTOR MAY FIELD ADJUST HORIZONTAL LOCATION OF TREES AND PALMS FOR BEST FIT WHEN COORDINATED WITH AND CONSENT GIVEN BY THE OWNER OR OWNER'S REPRESENTATIVE. THE LANDSCAPE/IRRIGATION CONTRACTOR SHALL NOT PROCEED WITH WORK UNTIL SITE LIGHTING LOCATIONS ARE COMPLETELY STAKED-OUT TO CONFIRM APPLICABLE SEPARATION.
13. THE CONTRACTOR SHALL INSURE THAT ALL PLANT MATERIAL LOCATED WITHIN THE SIGHT TRIANGLE DISTANCE AREAS AT ROADWAY INTERSECTIONS AND ACCESS POINTS PROVIDE AN UNSTRUCTURED CROSS VISIBILITY AT A HORIZONTAL LEVEL BETWEEN 30" AND 8" IN HEIGHT. SEE LANDSCAPE PLANS FOR SIGHT TRIANGLES.
14. THE CONTRACTOR SHALL INSURE THAT ALL TREES OR PALMS LOCATED ADJACENT TO ANY OVERHEAD POWER LINES BE INSTALLED IN ACCORDANCE WITH FLORIDA POWER AND LIGHTS' "RIGHT TREE, RIGHT PLACE" GUIDELINES. ANY INSTANCES OF INSUFFICIENT SEPARATION BETWEEN TREES OR PALMS AND OVERHEAD LINES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION BEFORE INSTALLATION.
15. THE CONTRACTOR SHALL LOCATE ALL TREES AND PALMS CLEAR OF ALL TRAFFIC SIGNS AND IN SUCH A MANNER TO PREVENT BOTH THE TREE CANOPY AND PALM FRONDS FROM OBSTRUCTING ANY PORTION OF TRAFFIC SIGNS. THE LANDSCAPE/IRRIGATION CONTRACTOR SHALL NOT PROCEED WITH WORK UNTIL TRAFFIC SIGNAGE AND GUARDRAILS ARE COMPLETELY STAKED-OUT TO CONFIRM SEPARATION AND CLARIFICATION OF SIGNS.
16. THE CONTRACTOR WILL PROVIDE "WLT-PRUF" OR OTHER APPROVED SURFACANT TO BE SPRAYED ON ALL PROPOSED TREES AND PALMS IN AREAS OF SUSTAINED WINDS OF MORE THAN 10 KNOTS AND ALL COASTAL AREAS, ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS, TO PREVENT WINDSUNBURN AND EXCESSIVE WATER LOSS THROUGH TRANSPIRATION.
17. THE CONTRACTOR SHALL INSTALL INTERIM SUPPLEMENTAL IRRIGATION, I.E. REGULAR THROUGH, DEEP WATERING, TO ALL INSTALLED PLANT MATERIAL UNTIL SUCH TIME AS THE IRRIGATION SYSTEM IS INSTALLED AND HAS BEEN INSPECTED BY THE LANDSCAPE ARCHITECT AND DEMONSTRATED TO BE 100% OPERATIONAL, OR UNTIL THE CITY OR COUNTY'S FINAL INSPECTION, ACCEPTANCE AND PERMIT CLOSE-OUT.
18. THE CONTRACTOR SHALL PROVIDE ROOT BARRIER AT A VERTICAL DEPTH OF 18" MIN. TO 48" MAX. FOR ANY SHADE TREES OR LARGE PALMS WHICH ARE INSTALLED AS FOLLOWS: LESS THAN 5' (5) FEET FROM ADJACENT ASPHALT OR CONCRETE PAVEMENT, WITHIN CURBED PARKING ISLANDS LESS THAN 8" (8) FEET INTERIOR WIDTH OR WITHIN SIX (6) FEET PROXIMITY TO UNDERGROUND UTILITY OR INFRASTRUCTURE. ROOT BARRIER SHALL BE "ROOBARRIER", "TREEPOOD PARTNERS, LP", OR APPROVED EQUAL, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. SEE DETAIL, THIS PAGE.
19. THE CONTRACTOR SHALL PROVIDE GUYING OR STAKING TO ALL TREES AND PALMS ACCORDING TO THE DETAILS SHOWN IN THIS SHEET. GUYING AND STAKING REQUIREMENTS WILL BE STRICTLY ENFORCED THROUGHOUT CONSTRUCTION AND THE WARRANTY PERIOD. ALL TREES AND PALMS WILL BE PLUMB VERTICAL AT TIME OF INSPECTION. ALL GUYING OR STAKING SHALL BE REMOVED AFTER NINE MONTHS OR AT THE END OF HURRICANE SEASON, WHICHEVER IS GREATER.
20. THE CONTRACTOR SHALL PROVIDE APPROVED MULCH TO ALL TREES, SHRUBS AND PLANT BEDS. CONTRACTOR SHALL INSTALL MULCH AT A DEPTH OF 3" MIN., AND MAINTAIN A 48" DIAMETER RING AROUND FREE STANDING TREES. ALL TREES SHALL HAVE A 6" WIDE RING CLEAR OF MULCH AROUND TREE TRUNK. DO NOT MULCH ANNUAL FLOWER BEDS. APPROVED MULCH WILL BE NON-CYPRESS, STERILIZED NATURAL CELLULOSE FRAGMENTS AS RECOMMENDED BY SP7M00 XERSCAP PLANT GUIDE 1 AND WHICH COMPLIES WITH ALL APPLICABLE LAND DEVELOPMENT, ZONING AND BUILDING CODES.
21. THE CONTRACTOR WILL, WITH ALL QUOTATIONS OR PROPOSAL/AGREEMENTS, PROVIDE A BINDING LETTER AND WRITTEN REPLACEMENT WARRANTY FOR ALL INSTALLED PLANT MATERIAL AFTER FINAL INSPECTION AND ACCEPTANCE BY THE OWNER. WARRANTY SHALL BE FOR 1 YEAR FOR ALL TREES AND PALMS, 120 DAYS FOR SHRUBS. WHERE NON-TYPICAL COMPLETION CERTIFICATES OR ISSUES ARE ISSUED, CONTRACTOR MAY PETITION OWNER & AUTHORITY TO ACCEPT WORK IN CORRESPONDING INCREMENTAL SECTIONS. ALL PLANT MATERIAL SHALL NOT BE BOUND UNDER WARRANTY SHOULD IT BE CONFIRMED THAT DAMAGE OR DEATH TO PLANT MATERIAL BE THE RESULT OF AN "ACT OF GOD".
22. THE CONTRACTOR SHALL PROVIDE A WRITTEN AGREEMENT TO COVER THE WARRANTY PERIOD AT TIME OF THE COMPLETION, INSPECTION AND PRIOR TO FINAL ACCEPTANCE. CONTRACTOR SHALL ALSO DEFINE INSPECTION DATES AND TIMES THROUGHOUT THE WARRANTY PERIOD TO MONITOR PLANTING UNDER WARRANTY. MAINTENANCE AGREEMENT WORK SHALL BE PERFORMED BY A QUALIFIED LANDSCAPE/IRRIGATION CONTRACTOR.
23. THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY OF OBTAINING FROM GROWERS STATEMENT, AND INTERSTATE, SPECIFIED PLANT MATERIALS IN ADVANCE OF RECEIVING THE SITE TO LANDSCAPE PROFESSIONAL. AMOUNT OF THE CONTRACTOR PROVIDING THE MATERIALS AT BID PRICE. CONTRACTOR WILL PROVIDE OFF-SITE NURSERY FACILITIES FOR RECEIVING, MAINTAINING AND GROWING PLANT MATERIALS AT HIS OWN COST. WHEN SPECIAL CONDITIONS EXIST OR OTHER ARRANGEMENTS MUST BE MADE IN ORDER TO SUPPLY SPECIFIED PLANT MATERIALS, ONLY REGIONAL (FL-STATE) AGRICULTURAL DAMAGE AS DETERMINED BY FLORIDA D.O.A. AND/OR THE LOCAL COOPERATIVE EXTENSION SERVICE IN WRITING WILL BE CONSIDERED BY AUTHORITY. IN THIS CASE, THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING AND OBTAINING WRITTEN VERIFICATION FROM THE LANDSCAPE ARCHITECT AND THE PERMITTING JURISDICTION FOR ACCEPTABLE PLANT SUBSTITUTIONS.
24. THE CONTRACTOR ACCEPTS THE LANDSCAPE PLANT, PLANT LIST, QUANTITIES AND SPECIFICATIONS CONTAINED HEREIN AS REQUIRED FOR SITE PLAN APPROVAL, ZONING AND LANDSCAPE PERMITTING. FINAL ARCHITECTURE, ENGINEERING IN PLANS AND UTILITY PROVIDERS MAY CREATE CONFLICTS AND OCCURRENCE OF DISCREPANCIES BETWEEN PLANT LOCATIONS, COUNTS ON PLAN, AND THE LIST. BIDDER AND CONTRACTORS SHALL REPORT IN WRITING ANY AND ALL DESIGN CONFLICTS TO THE LANDSCAPE ARCHITECT FOR RESOLUTION, AND AS REQUIRED BY CODE.

SIGNATURE OF CONTRACTOR/BIDDER _____ DATE _____
COMPANY NAME, ADDRESS & PHONE _____
CONTRACTOR AND/OR LANDSCAPE & IRRIGATION PROFESSIONAL MUST HAVE THIS SIGNED DRAWING IN THE BUILDING PERMIT SET OF PLANS AND THE JOB SITE SET OF PLANS AT ALL TIMES.

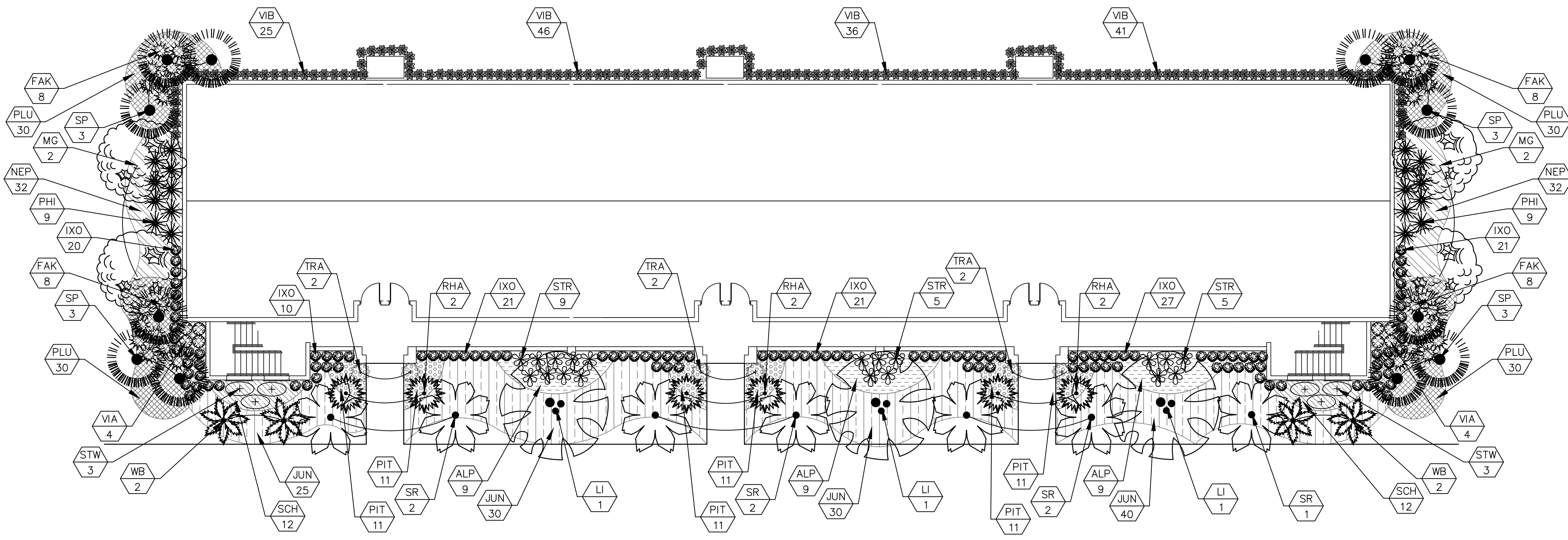
IBI GROUP (FLORIDA) INC. http://www.ibigroup.com		PLANNERS	DATE
ENGINEERS	LANDSCAPE ARCHITECTS	ENVIRONMENTAL CONSULTANTS	REV.
ENGINEERS SURVEYORS	PLANNERS	ENVIRONMENTAL CONSULTANTS	DATE
2200 PARK CENTRAL BLVD. N. SUITE 101 POMPAHO BEACH, FLORIDA 32064 (954) 860-2120	POMPAHO BEACH		
MAYFAIR FORT PIERCE, FLORIDA		LANDSCAPE DETAILS AND NOTES	
DRAWN: BW	DESIGNED: 38890	CHECKED: RW	DATE: 3/16/2016
SCALE: 1" = 60'	PROJECT: 38890	SHEET: LA-2.0	
IBI GROUP FLORIDA ENGINEERING BUSINESS NO. 2966		NOT FOR CONSTRUCTION	
		3/16/16	

j:\38890\5.9 Drawings\591pac\layouts\38890-LandscapePlan_ALT.dwg Modified: 3/16/2016 By:becky.williams Plotted By:becky.williams

J:\38890\5.9 Drawings\591sc\Layouts\38890-LandscapePlan_ALT.dwg Modified: 3/16/2016 By: becky.williams Plotted By: becky.williams

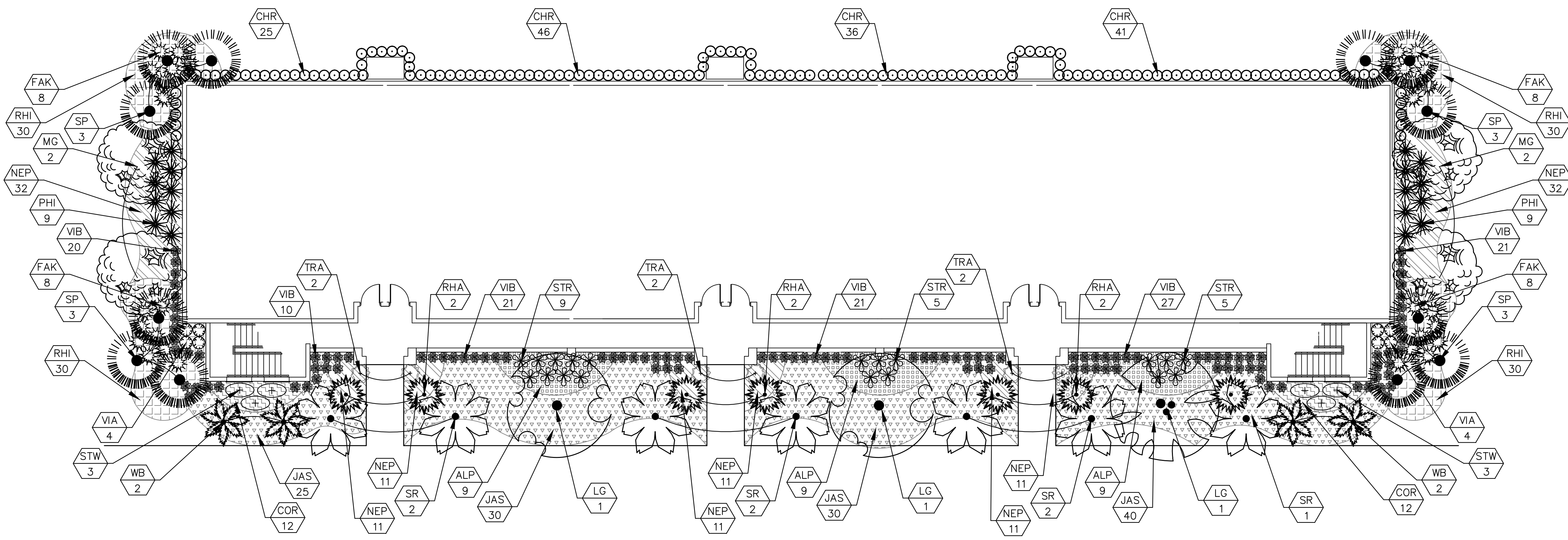
14 Unit Typical Plant List

Sym	Key	Qty.	Crt.	Scientific/Common Name	Ht.	Spr.	Remarks
Trees and Palms							
BR	6	11		QUEEN PALM SYAGRUS ROMANOFFIANA	12' GW		12' GW, MATCHED, FULL HEAVY HEADS, NO SCARRED TRUNKS
WB	4	11		FOXTAIL PALM WOODYETIA BIFURCATA	6' GW		6' GREY WOOD, MATCHING HEADS, MIN. 9' FRONDS, NO SCARRED TRUNKS
SP	12	31		SABAL PALM SABAL PALMETTO 'WIBOOT'S'	6'-10'		VARIED HEIGHTS, BOOTED TRUNKS, MINIMUM 5' CT, TRUNKS WITH 4 STAGGERED FULL HEADS
LI	2	11		CREPE MYRTLE LAGERSTROEMIA INDICA	10'	5'	MULTI TRUNK STANDARD, 3 TRUNKS MINIMUM, MIN. 4' CT., FULL MATCHED
MG	4	11		LITTLE GEM MAGNOLIA MAGNOLIA GRANDIFLORA 'LITTLE GEM'	12'	5'	SINGLE STRAIGHT TRUNK, 2.5" D.B.H. MIN. 5' CT.
LG	2			WAX LIGUSTRUM LIGUSTRUM LUCIDUM	8'	5'	MULTI TRUNK STANDARD, 3 TRUNKS MINIMUM, MIN. 4' CT., FULL MATCHED
Accents							
STW	6			WHITE BIRD OF PARADISE STRELTZIA NICOLAI	36"	36"	7 STEMS MIN, MATCHED 7 GALLON
STR	19			DWARF BIRD OF PARADISE STRELTZIA REGINAE	48"	48"	7 GALLON, FULL, MIN. 8" FRONDS
RHA	6			LADY PALM RHAPIS EXCELSA	48"	36"	7 GALLON, FULL TO BASE, MATCHED
ALP	27			VAREGATED SHELL GINGER ALPINA ZERUMBEI 'VAREGATA'	18"	24"	FULL TO BASE, MIN. 3 GALLON, 36" O.C.
COR	24			HAWAIIAN TI PLANT CORDYLINE TERMINALIS 'BOLERO'	36"	24"	FULL 5 STEMS MIN, 3 GALLON
Shrubs and Hedging							
VIA	6			AWABUKU VIBURNUM VIBURNUM COCAOTISSIMUM 'AWABUKU'	36"	30"	FULL TO BASE, 3 GALLON, 36" O.C.
PHI	18			PHILODENDRON PHILODENDRON SELLOUM	42"	36"	FULL TO BASE, MIN. 7 GALLON, 48" O.C.
IXO	120			IXORA IXORA COCCINEA 'JUNGLE FLAME'	24"	24"	FULL TO BASE, 3 GALLON, 24" O.C.
VIB	148			SANDANKWA VIBURNUM VIBURNUM SUSPENSUM	24"	24"	FULL TO BASE, 3 GALLON, 24" O.C.
FAK	32			FAKAHATCHEE GRASS TRIPLODIUM DACTYLOIDES	24"	24"	FULL TO BASE, MATCHED 3 GALLON, 36" O.C.
CHR	148			COCOPLUM CHRYSOBALANUS ICADO	24"	24"	FULL TO BASE, 3 GALLON, 24" O.C.
Groundcovers							
PLU	120			PLUMBAGO PLUMBAGO AURICULATA 'IMPERIAL BLUE'	18"	18"	FULL TO BASE, 3 GALLON, 24" O.C.
JAS	125			WAX JASMINE JASMINUM VOLUBILE	18"	18"	FULL 1 GALLON, 18" O.C.
NEP	130			FISHTAIL FERN NEPHROLEPS FALCATA 'FURCANS'	12"	12"	FULL 1 GALLON, 18" O.C.
SCH	24			VAREGATED SCHEFFLERA SCHEFFLERA ARBORESCENS 'VAREGATA'	24"	18"	FULL TO BASE, MIN. 3 GALLON, 24" O.C.
PIT	66			VAREGATED 'OSBA' PITTOSPORUM PITTOSPORUM TOBIRA 'VAREGATA'	8"	8"	FULL TO BASE, 1 GALLON, 18" O.C.
RHI	120			INDIAN HAWTHORN 'WHITE' RHAPHIOLEPS INDICA 'ALBA'	18"	18"	FULL TO BASE, 3 GALLON, 24" O.C.
JUN	125			BLUE RUG JUNPER JUNIPERUS HORIZONTALIS 'WILTONI'	12"	18"	FULL TO BASE, 3 GALLON, 24" O.C.
TRA	6			CONFEDERATE JASMINE TRACHELOSPERMUM JASMINOIDES			3 GALLON, FULL, MIN. 2 BRANCHES, MIN. 30" LONG, ATTACH TO FENCE/TRELLIS
SOD	SOD	XXXX	S.T.	ST. AUGUSTINE FLORATUM STENOCHAPRUM SECUNDATUM			SOLID SOD, STAGGER SEAMS, FIELD VERIFY SOD AREAS



SUN EXPOSURE

14 UNITS

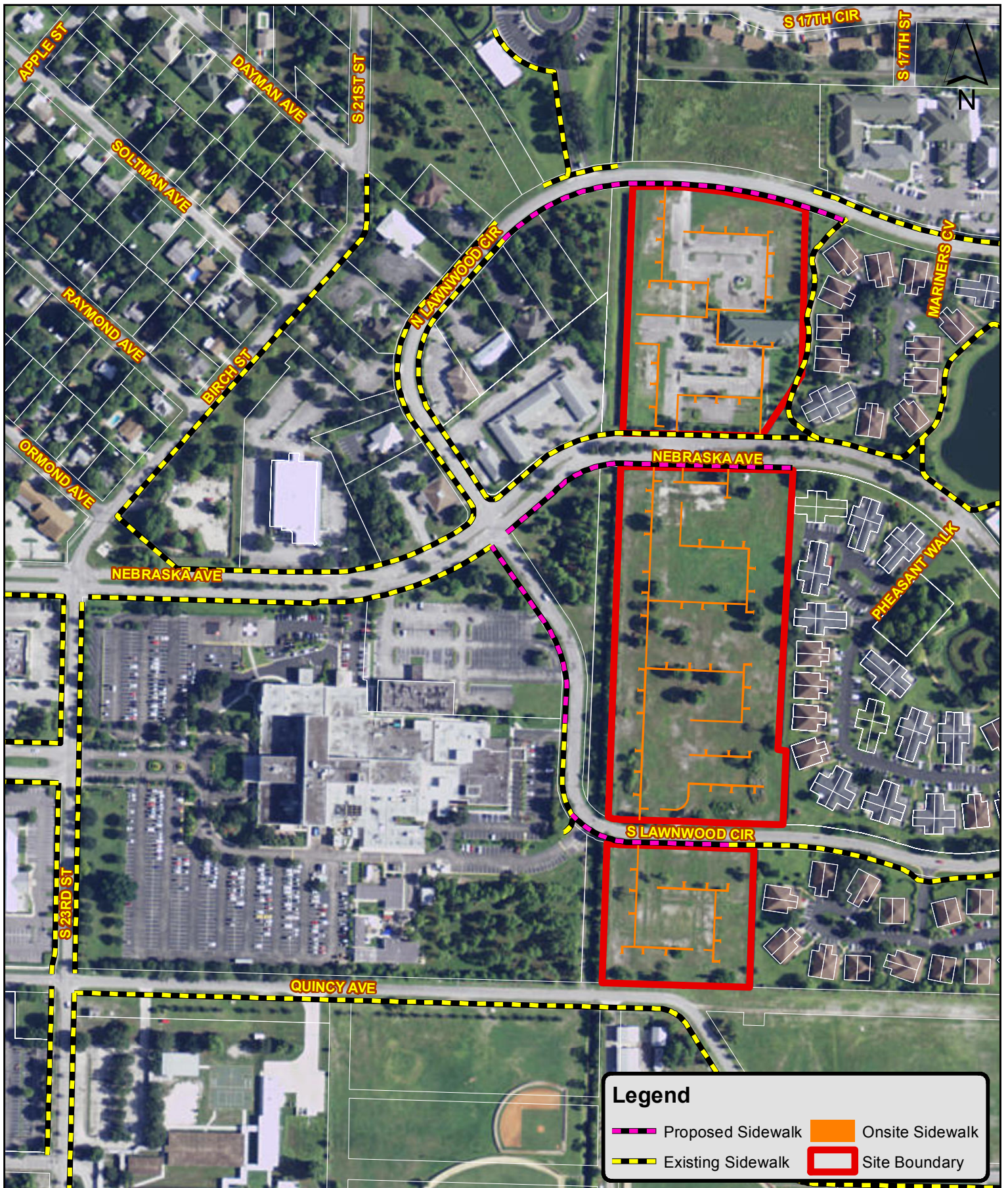


SHADE EXPOSURE

14 UNITS

IBI GROUP (FLORIDA) INC. ENGINEERS SURVEYORS PLANNERS LANDSCAPE ARCHITECTS ENVIRONMENTAL CONSULTANTS 2200 PARK CENTRAL BLVD. N. SUITE 101 POMPANO BEACH, FLORIDA 33064 (954) 974-2200 ORLANDO POMPANO BEACH		DATE: _____ REV: _____ DESCRIPTION: _____
MAYFAIR FORT PIERCE, FLORIDA LANDSCAPE TYPICALS		DRAWN: _____ DESIGNED: _____ CHECKED: _____ DATE: 3/16/2016
SCALE: 1" = 10' PROJECT: 38890 SHEET: LA-2.2	IBI GROUP FLORIDA ENGINEERING BUSINESS NO. 2966 NOT FOR CONSTRUCTION 3/16/16	

➤ **Proposed Sidewalk Plan**



Legend

- Proposed Sidewalk
- Onsite Sidewalk
- Existing Sidewalk
- Site Boundary

Mayfair at Longwood Sidewalk Map



IBI Group (Florida) Inc.
 2200 Park Central Boulevard N. Suite 100
 Pompano Beach, FL 33064
 tel 954 974 2200
 fax 954 973 2686

City of Fort Pierce

St. Lucie County

Florida

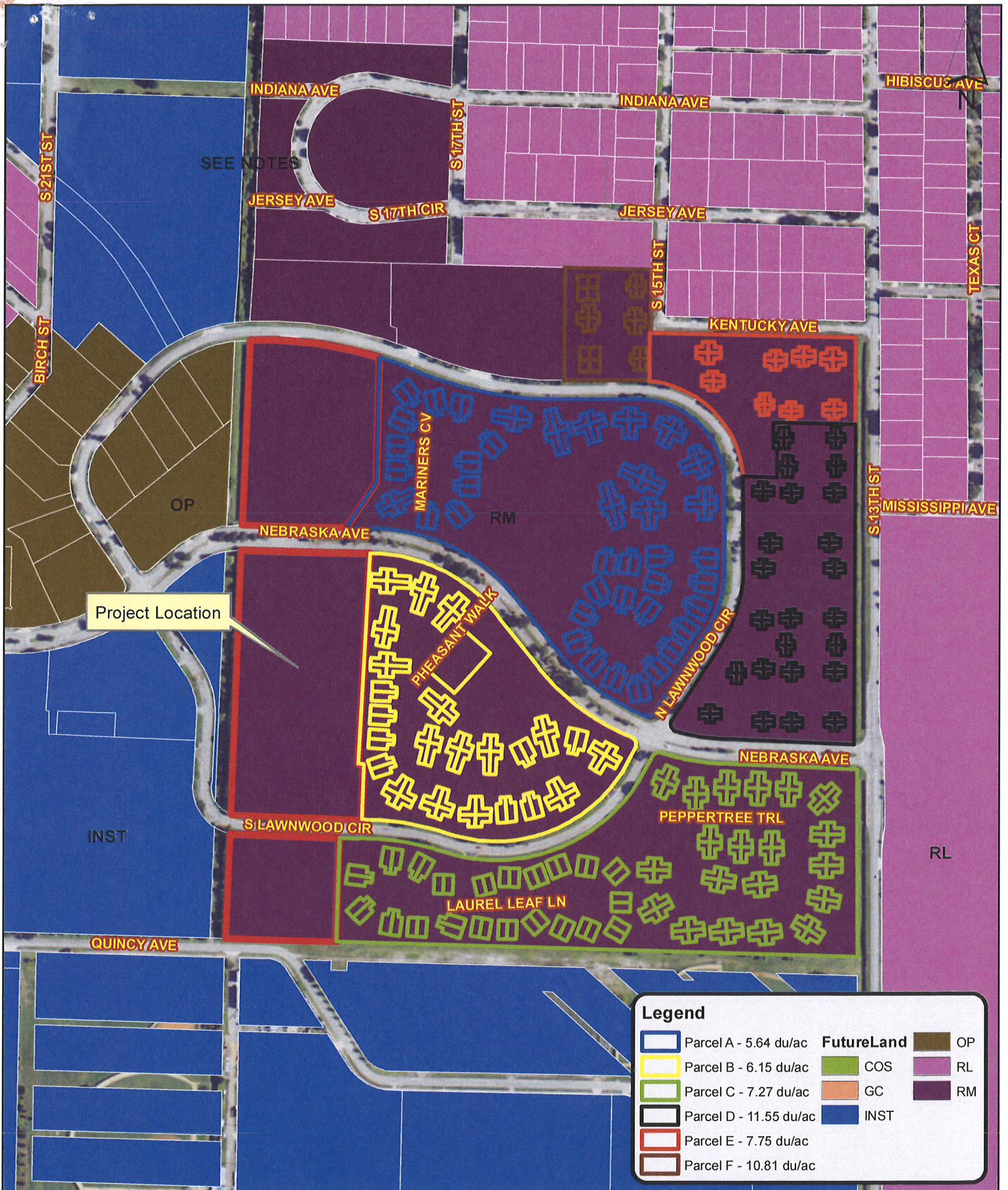
Scale: 1" = 300'

By: cmp

Job# 38890

Date: 06/06/2016

➤ **Neighboring Densities & Occupancy -
Maps & Data**



Project Location

Legend

Parcel A - 5.64 du/ac	FutureLand OP
Parcel B - 6.15 du/ac	COS
Parcel C - 7.27 du/ac	GC
Parcel D - 11.55 du/ac	INST
Parcel E - 7.75 du/ac	RL
Parcel F - 10.81 du/ac	RM

Mayfair at Longwood Neighboring Densities Map



IBI Group (Florida) Inc.
2200 Park Central Boulevard N. Suite 100
Pompano Beach, FL 33064
tel 954 974 2200
fax 954 973 2686

City of Fort Pierce

St. Lucie County

Florida

Scale: 1" = 400'

By: cmp

Job# 38890

Date: 01/13/2016



IBI Group (Florida) Inc.
2200 Park Central Boulevard N. Suite 100
Pompano Beach, FL 33064
tel 954 974 2200
fax 954 973 2686

Mayfair at Longwood Adjacent Homestead Exemptions Map

City of Fort Pierce

St. Lucie County

Florida

Scale: 1" = 300'

By: cmp

Job# 38890

Date: 01/13/2016

Mayfair Market Area as of 01/18/2016
Available Condo/Townhome/Villa Properties

Rick, these are the 'FOR SALE' units I pulled up from the most recent MOVATO listings I receive every day for this market area.

1303 Peppertree Trail, Apt B (Lakewood Villas) 2 Brm/2 Bath 1,850 sq ft	\$ 59,900 Time on Market: 81 days
1305 Peppertree Trail, Apt D (Lakewood Villas) 2 Brm/2 Bath 1,850 sq ft	\$ 74,900 Time on Market: 162 days
1327 Peppertree Trail, Apt ? (Lakewood Villas) 2 Brm/2 Bath 1,850 sq ft	\$ 68,000 Time on Market: 147 days
1317 Peppertree Trail, Apt ? (Lakewood Villas) 2 Brm/2 Bath 1,850 sq ft	\$ 69,900 Time on Market: 9 days
1302 Nebraska Avenue, Apt 12A 2 Brm/2 Bath 1,658 sq ft	\$ 69,900 Time on Market: 110 days
1525 Pheasant Walk, Apt A 2 Brm/2 Bath 1,800 sq ft	\$ 58,000 Time on Market: 74 days
1549 Pheasant Walk, Apt B 2 Brm/2 Bath 2,246 sq ft	\$ 89,000 Time on Market: 87 days
1611 Laurel Leaf Lane, Apt A 3 Brm/2 Bath 1,658 sq ft	\$ 89,900 Time on Market: 97 days

1440 N Lawnwood Circle, Apt 19-C
2 Brm/1.5 Bath 1,658 sq ft \$ 84,900
Time on Market: 127 days

1458 N Lawnwood Circle, Apt ?
2 Brm/1.5 Bath 1,658 sq ft \$ 69,900
Time on Market: 143 days

2090 Colonial Road, Apt 1
2 Brm/2 Bath 2,141 sq ft \$ 79,900
Time on Market: 67 days

2080 Colonial Road, Apt 3
2 Brm/2 Bath 1,905 sq ft \$ 74,900
Time on Market: 29 days

Parcel	A	B	C	D	E	F	AVERAGE
# of Units	102	75	122	96	32	24	451
Total Acreage	18.07	12.2	16.77	8.31	4.13	2.22	61.7
Density	5.64 du/ac	6.15 du/ac	7.27 du/ac	11.55 du/ac	7.75 du/ac	10.81 du/ac	7.31
Non-Homestead	39	22	59	54	20	15	209
% of Total	38%	29%	48%	56%	63%	63%	46%

➤ **Transit Bus Routes**



(A) FORT PIERCE INTERMODAL TRANSFER



(E) IRSC



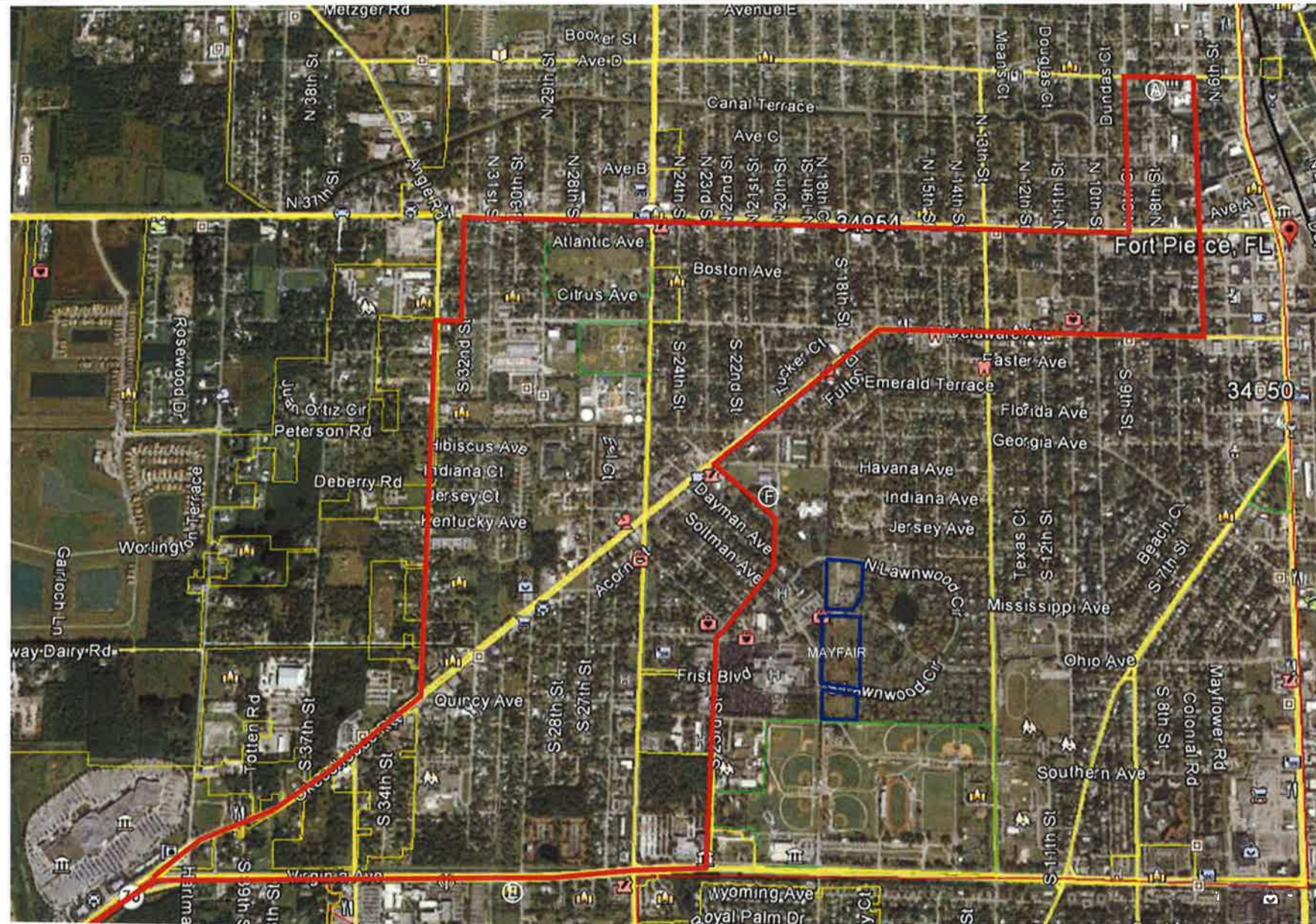
(F) 21 ST STREET & KAUFMAN AVE



**ROUTE 3 - SOUTH / SUR
FORT PIERCE BUSINESS TRANSIT LINE & BUS STOPS**

Fort Pierce Intermodal Facility*	21st Street & Kaufman Avenue	Walmart	Peters Road	IRSC	21st Street / Kaufman Avenue
7:00	7:10	7:21	7:30	7:40	7:46
8:00	8:10	8:21	8:30	8:40	8:46
9:00	9:10	9:21	9:30	9:40	9:46
10:00	10:10	10:21	10:30	10:40	10:46
11:00	11:10	11:21	11:30	11:40	11:46
12:00	12:10	12:21	12:30	12:40	12:46
1:00	1:10	1:21	1:30	1:40	1:46
2:00	2:10	2:21	2:30	2:40	2:46
3:00	3:10	3:21	3:30	3:40	3:46
4:00	4:10	4:21	4:30	4:40	4:46
5:00	5:10	5:21	5:30	5:40	5:46
*6:00					

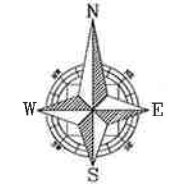
PM TIMES ARE INDICATED IN BOLD TYPE / LOS HORARIOS PM ESTAN INDICADOS EN NEGRITA
 *END OF THE LINE / **AL FIN DE LA LINEA **CONNECTION WITH ROUTES 1 & 2



TREASURE COAST CONNECTOR BUS ROUTE



ENLARGEMENT



SCALE	NA	PROJECT	38890	SHEET	RTE
DESIGNED	X XXXXXXX	CHECKED	X XXXXXXX	DATE	8/11/2015
<p>IBI GROUP (FLORIDA) INC. 2200 PARK CENTRAL BLVD. N. SUITE 100 POMPANO BEACH, FL 33064 (954) 974-2900 (407) 866-2120 ORLANDO POMPANO BEACH</p>					
<p>MAYFAIR City of Fort Pierce, Florida TREASURE COAST CONNECTOR BUS ROUTE</p>					
<p>IBI GROUP FLORIDA ENGINEERING BUSINESS NO. 2986</p>					
<p>NOT FOR CONSTRUCTION 8/11/15</p>					



CITY OF FORT PIERCE

PLANNING DEPARTMENT

Rebecca Grohall, AICP, Planning Manager
COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

DEVELOPMENT REVIEW

Property address or Location South 23rd Street; Nebraska Avenue

Parcel ID #(s) 2416-504-0199-050-6; 2416-504-0199-000-1; 2416-504-0199-200-3

Project description Proposed Apartment Project

Mayfair at Lawnwood Reph, LLC

Property Owner(s)
780 N.W. 42nd Street, #400

Street Address
Miami, Florida 33126

City State Zip
305-569-5146

Phone Number
emchugh@oceanbank.com

Email Address

Richard C. Wohlfarth, P.E. IBI Group (Florida) Inc.

Applicant/Representative, Title, Company
2300 Maitland Center Parkway Suite 101

Street Address
Maitland, Florida 32751

City State Zip
407-660-2120

Phone Number
Rwohlfarth@ibigroup.com

Email Address

Property Owner(s) Acknowledgements: This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgment of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY

The foregoing instrument was acknowledged before me this 28 day of Sept, 2015, by Carlos Scardino, VP REPT mgmt. who is personally known to me or has produced

ELSA MARIA CHOMAT
Signature of Notary

as identification.



INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3720

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date _____

Fees _____ Control # _____ B. Permit # _____

Intake Planner _____

Planner Assigned _____

Approved By _____ Date _____

Comments _____

Intake Date Stamp

DEVELOPMENT REVIEW

General Information

- Incomplete application packets cannot be accepted.
- Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

Choose Application Type:

Application Type			
<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Conditional Use with New Const.	<input type="checkbox"/> Major Amendment	
<input type="checkbox"/> Conceptual Development Plan		<input type="checkbox"/> Minor Amendment	

Site Information:

Non-Residential: Proposed Sq. Ft.: _____ Residential: Proposed Units: _____

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West
VACANT	Sports Complex	Single Family (Duplex & 4-plex)	Lawnwood Regional Hospital

Application Outlook



Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- Complete notarized application
- Warranty Deed
- SLC Property Record Card
- Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- General location map (see Section 22-58.d.2)
- Survey (see Section 22-58.d.3)
- Site Plan (see Section 22-58.d.4)
- Landscaping Plan (see Section 22-187)
- Storm Drainage Plan (see Section 22-58.d.6)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 22-58.d.7)
- Lighting Plan (see Section 22-58.d.8)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)

NO NO

MAYFAIR AT LAWNWOOD REPH, LLC

780 NW 42ND AVENUE

MIAMI, FLORIDA 33126

TO: City of Fort Pierce
St. Lucie County Fire District
South Florida Water Management District
St. Lucie County Health Department

RE: Mayfair at Lawnwood

On behalf of Mayfair at Lawnwood REPH, LLC, we hereby authorize IBI Group (Florida) Inc. to act as our agent relative to agency approvals and permits for the above referenced property and project.

Mayfair at Lawnwood REPH, LLC

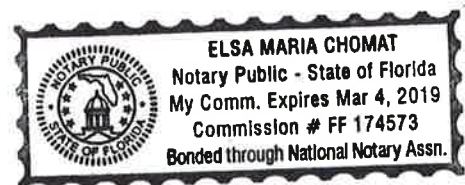
By: [Signature] Carlos Sandino, -VP 9/28/15
Signature Print Name Title Date

STATE OF FLORIDA
COUNTY OF DADE

The foregoing instrument was acknowledged before me this 28 day of Sept., 2015 by Carlos Sandino, managing member of Mayfair a Lawnwood REPH, LLC, who is personally known/provided identification to me on behalf of Mayfair at Lawnwood REPH, LLC.

(Notary Seal or Stamp)

[Signature]
Notary Public-State of Florida
Print Name: _____
My Commission Expires: _____



Site Address: NEBRASKA AVE
Map ID: 24/16N

Parcel ID: 2416-504-0199-000-1
Zoning: PUD

Account #: 25681
Use Type: 0300

Sec/Town/Range: 16/35S/40E
Jurisdiction: Fort Pierce

Ownership

Mayfair At Lawnwood Reph LLC
780 NW 42nd AVE Ste 400
Miami, FL 33126

Legal Description

LAWNWOOD ADDN THAT PART OF LAWNWOOD ADDN MPDAF: BEG AT INT NLI NEBRASKA AV AND E LI S 19 ST (CANAL), TH N 1 25 E ALG E LI OF SD S 19 ST 582.85 TO S R/W LI OF N LAWNWOOD CIR, TH ELY ALG SD S R/W ON A CURVE CONCAVE SLY, DELTA 20 21 26, R OF 1189.24, ARC DIST 422.54, TH S 01 25 01 W 375.70 FT, TH S 30 59 45 W 183.44 FT TO N R/W LI NEBRASKA AV, TH N 89 28 42 W 327.66 FT TO POB INCL VAC STS AND ALLEYS AS IN OR 265-675 (5.43 AC) (OR 3116-1904)

Current Values

Just/Market: \$892,000 Assessed: \$892,000
Exemptions: \$0 Taxable: \$892,000

Historical Values 3-year

Year	Just/Market	Assessed	Exemptions	Taxable
2015	\$892,000	\$892,000	\$0	\$892,000
2014	\$818,400	\$818,400	\$0	\$818,400
2013	\$832,700	\$832,700	\$0	\$832,700

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
06-08-2009	3116 / 1904	0312	CT	Mayfair At Lawnwood LLLP,	\$100
04-25-2005	2226 / 0001	02	WD	Max Ambach and Sons and Co,	\$4,000,000
02-10-1994	0889 / 0927	01	QC	HCA REALTY INC	\$100

Primary Building Information

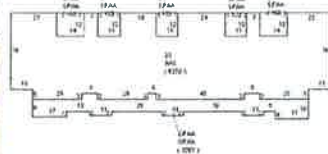
Finished Area of this building: 12,540 SF
Gross Area of this building: 16,186 SF

Exterior Data

View: Roof Cover: Dim Shingle Roof Structure: Hip Building Type: APT
Year Built: 2008 Frame: Grade: Y_C+ Effective Year: 2008
Primary Wall: CB Stucco Story Height: 2 Story No. Units: 10 Secondary Wall:

Interior Data

Bedrooms: 0 A/C %: 100% Electric: MAXIMUM Primary Int Wall:
Full Baths: 0 Heated %: 100% Heat Type: FrcdHotAir Avg Hgt/Floor: 0
Half Baths: 0 Sprinkled %: 0% Heat Fuel: ELEC Primary Floors: Carpet



Total Areas

Finished/Under Air (SF):	12,540
Gross Area (SF):	16,186
Land Size (acres):	5.35
Land Size (SF):	233,046
Total Building Count:	1

Special Features and Yard Items

Type	Qty	Units	Year Blt
CBSWall6"Blk	1	37	2007
ASP2 LOW	1	33403	2007
CEMENT CURB	1	940	2007
DOUBLE LIGHT	1	2	2008

This information is believed to be correct at this time but it is subject to change and is not warranted.
© Copyright 2015 Saint Lucie County Property Appraiser. All rights reserved.

Site Address: S 23rd ST Parcel ID: 2416-504-0199- Account #: 25685 Sec/Town/Range:
 Map ID: 24/16N 050-6 Zoning: PUD Use Type: 1000 16/35S/40E
 Jurisdiction: Fort Pierce

Ownership

Mayfair At Lawnwood Reph LLC
 780 NW 42nd Ave Ste 300
 Miami, FL 33126

Legal Description

LAWNWOOD ADDN THAT PART OF LAWNWOOD
 ADDN MPDAF: BEG INT S R/W NEBRASKA AV AND E
 R/W S 19 ST (CANAL), TH RUN S 01 25 00 W ALG SD E
 R/W 837.73 FT TO N R/W OF S LAWNWOOD CIR, TH ELY
 ALG SD N R/W ON A CURVE CONC NLY DELTA 19 25 59,
 R OF 95 FT, ARC DIST 32.22 FT, TH S 89 28 42 E 385.02
 FT, TH N 01 25 00 E 180 FT, TH N 89 28 42 W 20.04 FT, TH N
 01 25 00 E 663.12 FT TO S R/W NEBRASKA AV, TH N 89 28
 42 W ALG SD S R/W 395.42 FT TO POB INCL VAC STS
 AND ALLEYS AS IN OR 265-675 (7.75 AC) (OR 3116-1904)

Current Values

Just/Market: \$295,400 Assessed: \$181,170
 Exemptions: \$0 Taxable: \$181,170

Historical Values 3-year

Year	Just/Market	Assessed	Exemptions	Taxable
2015	\$295,400	\$181,170	\$0	\$181,170
2014	\$164,700	\$164,700	\$0	\$164,700
2013	\$164,700	\$164,700	\$0	\$164,700

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
06-08-2009	3116 / 1904	0312	CT	Mayfair At Lawnwood LLLP,	\$100
04-25-2005	2226 / 0001	02	WD	Max Ambach and Sons and Co,	\$4,000,000
01-01-1987	0534 / 1575	02	CV		\$625,500

Total Areas

Land Size (acres): 7.75
 Land Size (SF): 337,590
 Total Building Count: 1

Special Features and Yard Items

Type	Qty	Units	Year Blt
------	-----	-------	----------

This information is believed to be correct at this time but it is subject to change and is not warranted.
 © Copyright 2015 Saint Lucie County Property Appraiser. All rights reserved.

Site Address: S 23rd ST Parcel ID: 2416-504-0199- Account #: 25688 Sec/Town/Range:
 Map ID: 24/16S 200-3 Zoning: PUD Use Type: 1000 16/35S/40E
 Jurisdiction: Fort Pierce

Ownership

Mayfair At Lawnwood Reph LLC
 780 NW 42nd Ave Ste 300
 Miami, FL 33126

Legal Description

LAWNWOOD ADDN THAT PART OF LAWNWOOD
 ADDN MPDAF: BEG AT PT OF INT OF E LI OF S 19 ST
 CANAL AND LI DESC IN OR 83-343, TH CONT ELY ALG
 SD LI DESC IN OR 83-343 350 FT, TH N 01 25 E 330.54 FT
 TO S LI S LAWNWOOD CIR, TH WLY ON S R/W 350.17
 FT, TH SLY 334 FT TO POB (2.69 AC) (OR 3116-1904)

Current Values

Just/Market: \$102,400 Assessed: \$74,030
 Exemptions: \$0 Taxable: \$74,030

Historical Values 3-year

Year	Just/Market	Assessed	Exemptions	Taxable
2015	\$102,400	\$74,030	\$0	\$74,030
2014	\$67,300	\$67,300	\$0	\$67,300
2013	\$67,300	\$67,300	\$0	\$67,300

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
06-08-2009	3116 / 1904	0312	CT	Mayfair At Lawnwood LLLP,	\$100
04-25-2005	2226 / 0001	02	WD	Max Ambach and Sons and Co,	\$4,000,000
07-01-1983	0407 / 0023	02	CV		\$684,400

Total Areas

Land Size (acres): 2.69
 Land Size (SF): 117,016
 Total Building Count: 1

Special Features and Yard Items

Type	Qty	Units	Year Blt
------	-----	-------	----------

This information is believed to be correct at this time but it is subject to change and is not warranted.
 © Copyright 2015 Saint Lucie County Property Appraiser. All rights reserved.

IN THE CIRCUIT COURT OF THE 19th
JUDICIAL CIRCUIT IN AND FOR
ST. LUCIE COUNTY, FLORIDA

OCEAN BANK, a Florida banking
corporation,

CASE NO. : 08-001821-CA

Plaintiff,

v.

MAYFAIR AT LAWNWOOD, LLLP, a
Florida limited liability limited partnership,
ORIOLE HOMES CORP., a Florida
corporation, EMERALD WESTERN
DEVELOPMENT, LLC, a Florida limited
liability company, DEJOHN LAWNWOOD,
LLC., a Florida limited liability company,
and BOYLE ENGINEERING CORPORATION,
a California corporation,

Defendants.

AMENDED CERTIFICATE OF SALE

The undersigned Clerk of the Court certifies that Notice of Public Sale of the property described in the Summary Final Judgment of Foreclosure was published in the St. Lucie News Tribune, a newspaper circulated in St. Lucie Florida, in the manner shown by the Proof of Publication filed herein, and on June 8, 2009, the property was offered for public sale to the highest and best bidder for cash. The highest and best bid received for the property was submitted by Mayfair at Lawnwood Reph, LLC to whom the property was sold. The proceeds of the sale are retained for distribution in accordance with the Uniform Final Judgment of Mortgage Foreclosure.

WITNESS my hand and the seal of this Court on August 10

2009.

JOSEPH E. SMITH

**As Clerk, Circuit Court,
St. Lucie County, Florida**

Patricia McPherson
As Deputy Clerk

cc: Niall T. McLachlan, Esq.
Frank P. Terzo, Esq.
David L. Rosendorf, Esq.

IN THE CIRCUIT COURT OF THE 19TH
JUDICIAL CIRCUIT IN AND FOR
ST. LUCIE COUNTY, FLORIDA

OCEAN BANK, a Florida banking
corporation,

CASE NO. : 08-001821-CA

Plaintiff,

v.

MAYFAIR AT LAWNWOOD, LLLP, a
Florida limited liability limited partnership,
ORIOLE HOMES CORP., a Florida
corporation, EMERALD WESTERN
DEVELOPMENT, LLC, a Florida limited
liability company, DEJOHN LAWNWOOD,
LLC., a Florida limited liability company,
and BOYLE ENGINEERING CORPORATION,
a California corporation,

Defendants.

CERTIFICATE OF TITLE

The undersigned Clerk of the Court certifies that he executed and filed a Certificate of Sale in this action on June 8, 2009, ~~2009~~, for the property described herein and that no objections to the sale have been filed within the time allowed for filing objections.

The following property in St. Lucie County, Florida:

PARCEL 1:

A PART OF LAWNWOOD ADDITION SUBDIVISION, AS RECORDED IN PLAT BOOK 2, PAGE 16, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, BEING GEOMETRICALLY DESCRIBED AS FOLLOWS:

COMMENCING (P.O.C) AT THE SOUTHWEST CORNER OF A 16 FOOT ALLEY RUNNING EAST AND WEST THROUGH BLOCK 31 OF SAID LAWNWOOD ADDITION SUBDIVISION; THENCE RUN SOUTH 01°25' WEST ALONG THE EAST LINE OF THE SOUTH 19TH STREET CANAL RIGHT-OF-WAY, 839.34 FEET TO THE POINT OF BEGINNING (P.O.B.);

THENCE RUN NORTH 01°25' EAST ALONG THE EAST LINE OF THE SOUTH 19TH STREET CANAL RIGHT-OF-WAY, 582.38 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF LAWNWOOD CIRCLE NORTH; THENCE RUN SOUTHEASTERLY ALONG A CURVE

CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 1189.24 FEET, AN ARC DISTANCE OF 414.43 FEET, SAID CURVE HAVING A CHORD BEARING OF SOUTH 82°58'44" EAST, AND A CHORD DISTANCE OF 412.34 FEET, THE LAST DESCRIBED COURSE BEING ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF LAWNWOOD CIRCLE NORTH; THENCE RUN SOUTH 01°25' WEST PARALLEL WITH THE EAST RIGHT-OF-WAY LINE OF THE SOUTH 19TH STREET CANAL, 535.88 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF NEBRASKA AVENUE; THENCE RUN WESTERLY ALONG A CURVE CONCAVE TO THE SOUTH HAVING A RADIUS OF 635 FEET, AN ARC DISTANCE OF 15.00 FEET TO A POINT OF TANGENCY, SAID CURVE HAVING A CHORD BEARING OF NORTH 88°48'06" WEST AND A CHORD DISTANCE OF 15.00 FEET; THENCE RUN NORTH 89°28'42" WEST, PARALLEL WITH THE NORTH RIGHT-OF-WAY LINE OF QUINCY AVENUE, 395.42 FEET TO THE POINT OF BEGINNING, THE LAST TWO (2) DESCRIBED COURSES BEING ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF NEBRASKA AVENUE.

LESS THE FOLLOWING DESCRIBED PARCEL:

A PART OF LAWNWOOD ADDITION'S SUBDIVISION, AS RECORDED IN PLAT BOOK 2, PAGE 16, AND A PART OF LONGWOOD VILLAGE PHASE 3-A, AS RECORDED IN OFFICIAL RECORDS BOOK 586, PAGE 321, BOTH OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF NEBRASKA AVENUE AND THE WEST LINE OF SOUTH 13TH STREET, SAID POINT BEING LOCATED 600 FEET NORTH OF THE INTERSECTION OF THE NORTH LINE OF QUINCY AVENUE AND THE SAID WEST LINE OF SOUTH 13TH STREET AS MEASURED ALONG SOUTH 13TH STREET; RUN THENCE NORTH 89°28'42" WEST, ALONG THE SOUTH LINE OF NEBRASKA AVENUE, 401.23 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHEAST HAVING A RADIUS OF 805.94 FEET; THENCE RUN NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 23°18'40", AN ARC DISTANCE OF 327.90 FEET TO A POINT, SAID POINT BEING A POINT OF REVERSE CURVATURE OF THE ABOVE-MENTIONED CURVE AND A CURVE CONNECTING THE SOUTH RIGHT-OF-WAY LINE OF NEBRASKA AVENUE WITH THE NORTHWESTERLY RIGHT-OF-WAY LINE OF LAWNWOOD CIRCLE SOUTH; THENCE CONTINUE WESTERLY AND NORTHWESTERLY FROM SAID POINT OF REVERSE CURVATURE ALONG SAID CURVE HAVING A RADIUS OF 805.94 FEET; THROUGH A CENTRAL ANGLE OF 26°51'20", AN ARC DISTANCE OF 377.76 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE LEAVING THE SOUTH RIGHT-OF-WAY OF NEBRASKA AVENUE ALONG A LINE WHICH IS RADIAL TO SAID CURVE, ON A BEARING OF NORTH 50°41'19" EAST, A DISTANCE OF 80.00 FEET TO THE NORTHERLY RIGHT-OF-WAY OF SAID NEBRASKA AVENUE, THENCE RUN NORTH

39°18'41" WEST, 188.33 FEET TO A POINT OF CURVATURE OF A CURVE HAVING A RADIUS OF 635.00 FEET; THENCE RUN NORTHWESTERLY AND WESTERLY ALONG SAID CURVE CONCAVE TO THE SOUTHWEST, THROUGH A CENTRAL ANGLE OF 48°48'48", HAVING AN ARC LENGTH OF 540.99 FEET, TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL:

THENCE CONTINUING ALONG SAID CURVE AND THE NORTH LINE OF NEBRASKA AVENUE, THROUGH A CENTRAL ANGLE OF 1°21'12", AN ARC DISTANCE OF 15.00 FEET TO THE POINT OF TANGENCY; THENCE NORTH 89°28'41" WEST CONTINUING ALONG SAID NORTH RIGHT-OF-WAY OF NEBRASKA AVENUE, A DISTANCE OF 67.76 FEET; THENCE NORTH 30°59'45" EAST, DEPARTING SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 167.64 FEET; THENCE SOUTH 01°25'00" WEST A DISTANCE OF 144.69 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID NEBRASKA AVENUE AND THE POINT OF BEGINNING.

PARCEL 2:

A PART OF LAWNWOOD ADDITION SUBDIVISION, AS RECORDED IN PLAT BOOK 2, PAGE 16, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, BEING GEOMETRICALLY DESCRIBED AS FOLLOWS:

COMMENCING (P.O.C) AT THE SOUTHWEST CORNER OF A 16 FOOT ALLEY RUNNING EAST AND WEST THROUGH BLOCK 31 OF SAID LAWNWOOD ADDITION SUBDIVISION; THENCE RUN SOUTH 01°25' WEST ALONG THE EAST LINE OF THE SOUTH 19TH STREET CANAL RIGHT-OF-WAY, 919.35 FEET TO THE POINT OF BEGINNING (P.O.B.); THENCE RUN SOUTH 89°28'42" EAST ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF NEBRASKA AVENUE, SAID LINE BEING PARALLEL WITH THE NORTH RIGHT-OF-WAY LINE OF QUINCY AVENUE, A DISTANCE OF 396.67 FEET; THENCE RUN SOUTH 01°25' WEST PARALLEL WITH THE EAST LINE OF THE SOUTH 19TH STREET CANAL, 663.12 FEET; THENCE RUN SOUTH 89°28'42" EAST PARALLEL WITH THE NORTH RIGHT-OF-WAY LINE OF QUINCY AVENUE, 20.05 FEET; THENCE RUN SOUTH 01°25' WEST PARALLEL WITH THE EAST LINE OF THE SOUTH 19TH STREET CANAL, 180.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF LAWNWOOD CIRCLE SOUTH; THENCE RUN NORTH 89°28'42" WEST PARALLEL WITH THE NORTH RIGHT-OF-WAY LINE OF QUINCY AVENUE, 385.02 FEET TO A POINT OF CURVATURE OF A CURVE TO THE NORTHEAST HAVING A RADIUS OF 95 FEET; THENCE RUN NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 19°25'59", AN ARC DISTANCE OF 32.22 FEET TO THE EAST LINE OF THE SOUTH 19TH STREET CANAL, THE LAST (2) DESCRIBED COURSES BEING ALONG THE NORTH RIGHT-OF-WAY LINE OF LAWNWOOD CIRCLE SOUTH; THENCE RUN NORTH 01°25' EAST ALONG THE EAST LINE OF THE SOUTH 19TH STREET CANAL, 837.71 FEET TO THE POINT OF BEGINNING.

PARCEL 3:

A PART OF LAWNWOOD ADDITION SUBDIVISION, AS RECORDED IN PLAT BOOK 2,
PAGE 16, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, BEING GEOMETRICALLY
DESCRIBED AS FOLLOWS:

COMMENCING (P.O.C) AT THE SOUTHWEST CORNER OF A 16
FOOT ALLEY RUNNING EAST AND WEST THROUGH BLOCK 31
OF SAID LAWNWOOD ADDITION SUBDIVISION; THENCE RUN
SOUTH 01°25' WEST ALONG THE EAST LINE OF THE SOUTH
19TH STREET CANAL RIGHT-OF-WAY, 2153.02 FEET TO THE
POINT OF BEGINNING (P.O.B.); THENCE RUN NORTH 01°25'
EAST ALONG THE EAST LINE OF THE SOUTH 19TH STREET
CANAL, 334.00 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF
LAWNWOOD CIRCLE SOUTH; THENCE RUN SOUTHEASTERLY
ALONG A CURVE CONCAVE TO THE NORTHEAST HAVING A
RADIUS OF 155 FEET, THROUGH A CENTRAL ANGLE OF
12°07'54", AN ARC DISTANCE OF 32.82 FEET TO A POINT OF
TANGENCY, SAID CURVE HAVING A CHORD BEARING OF
SOUTH 83°24'45" EAST AND A CHORD DISTANCE OF 32.76
FEET; THENCE RUN SOUTH 89°28'42" EAST PARALLEL WITH THE
NORTH RIGHT-OF-WAY LINE OF QUINCY AVENUE, 317.37
FEET, THE LAST TWO (2) DESCRIBED COURSES BEING ALONG
THE SOUTHERLY RIGHT-OF-WAY LINE OF LAWNWOOD CIRCLE
SOUTH; THENCE RUN SOUTH 01°25' WEST PARALLEL WITH THE
EAST LINE OF THE SOUTH 19TH STREET CANAL, 330.54 FEET
TO THE NORTH RIGHT-OF-WAY LINE OF QUINCY AVENUE;
THENCE RUN NORTH 89°28'42" WEST ALONG THE NORTH
RIGHT-OF-WAY LINE OF QUINCY AVENUE, 350 FEET TO THE
POINT OF BEGINNING.

was sold to: **MAYFAIR AT LAWNWOOD REPH, LLC**, 780 NW 42nd Ave., Ste. 300, Miami, FL
33126

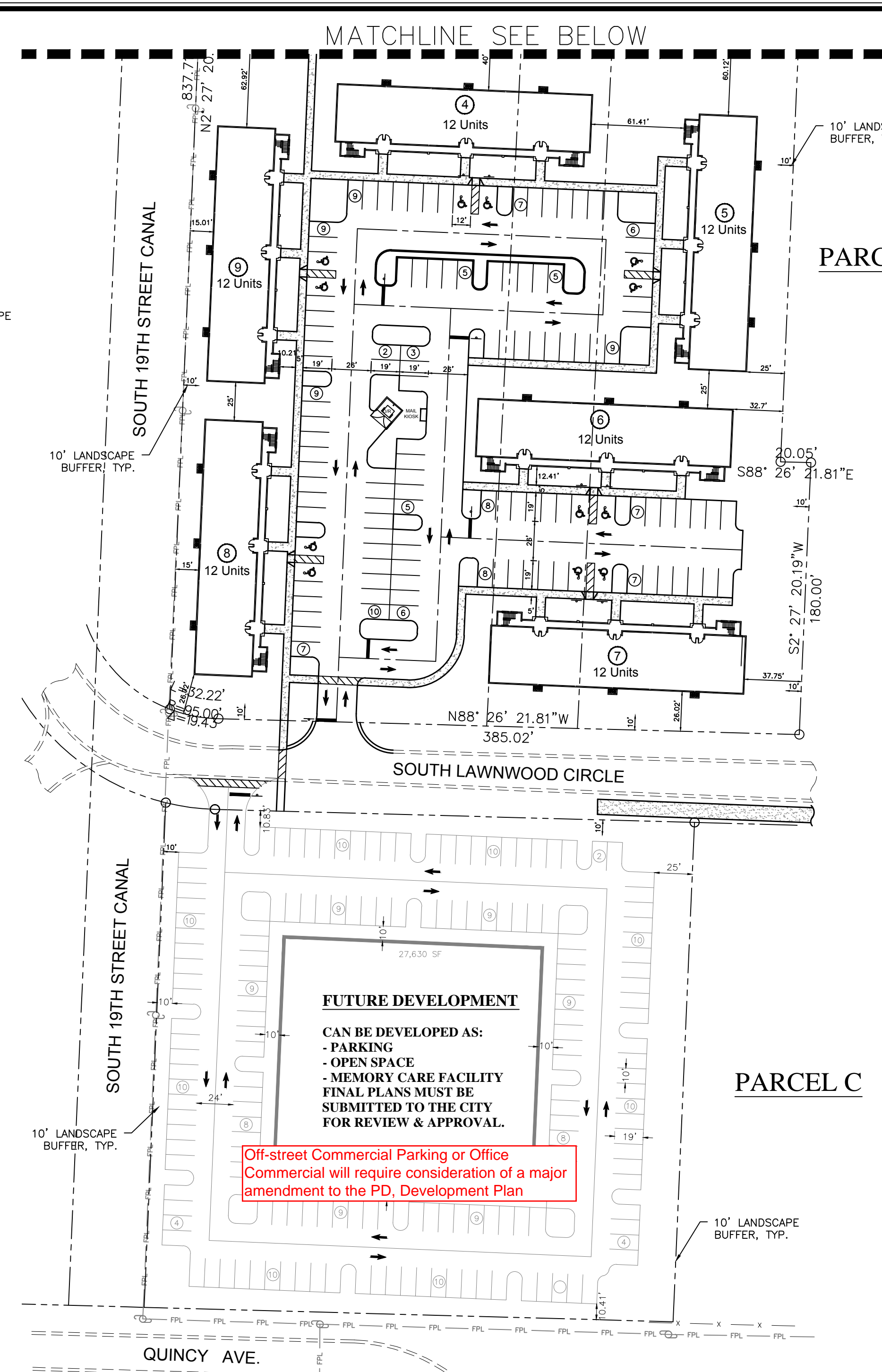
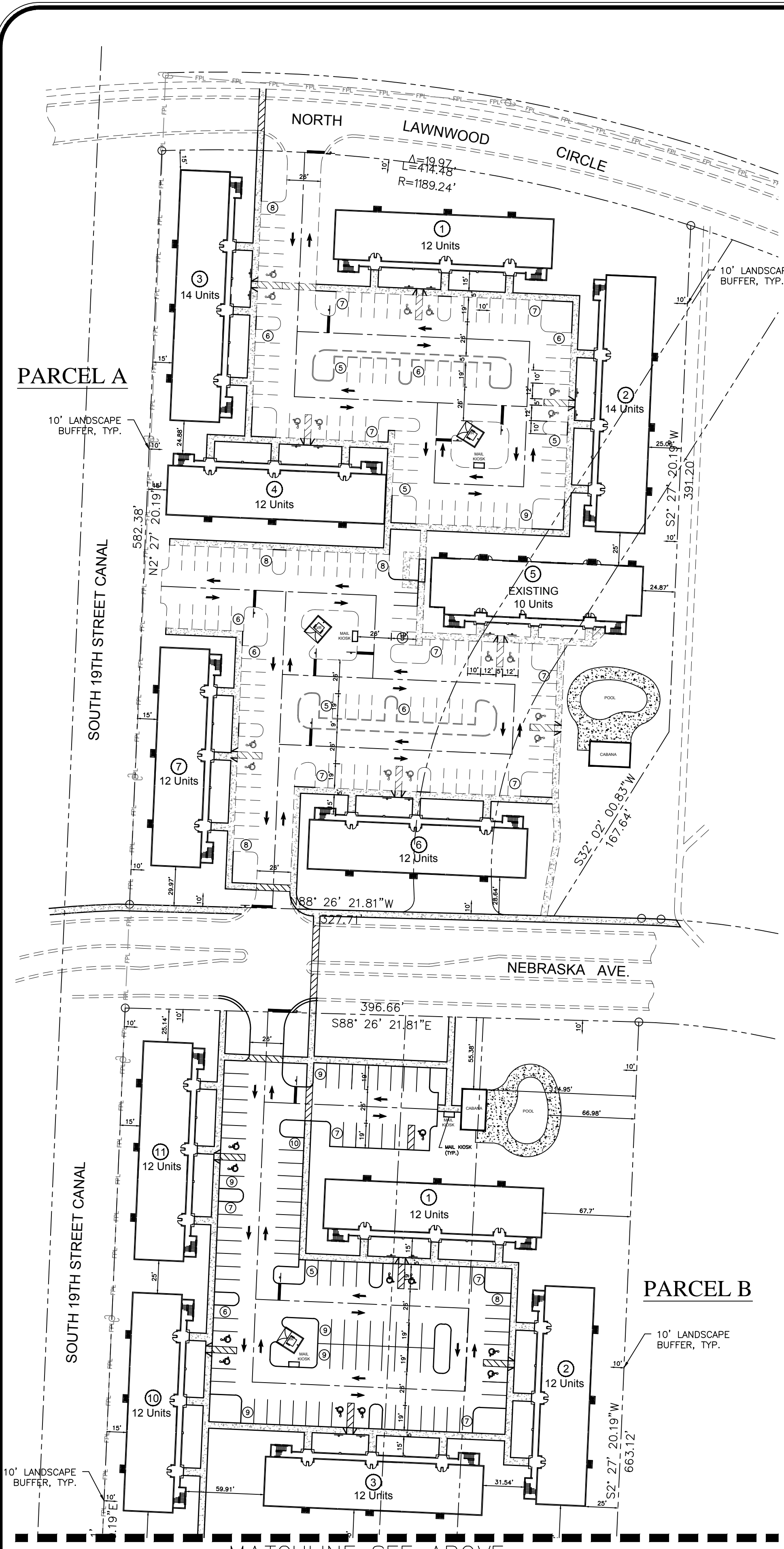
Witness my hand and seal of the Court this **10th** day of **August**, 2009.

JOSEPH E. SMITH
As Clerk, Circuit Court,
St. Lucie County, Florida

Patricia McPherson
Deputy Clerk

cc: Niall T. McLachlan, Esq.
Frank P. Terzo, Esq.
David L. Rosendorf, Esq.

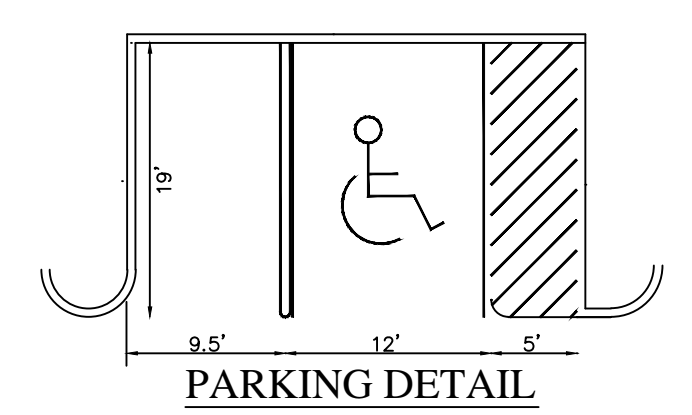
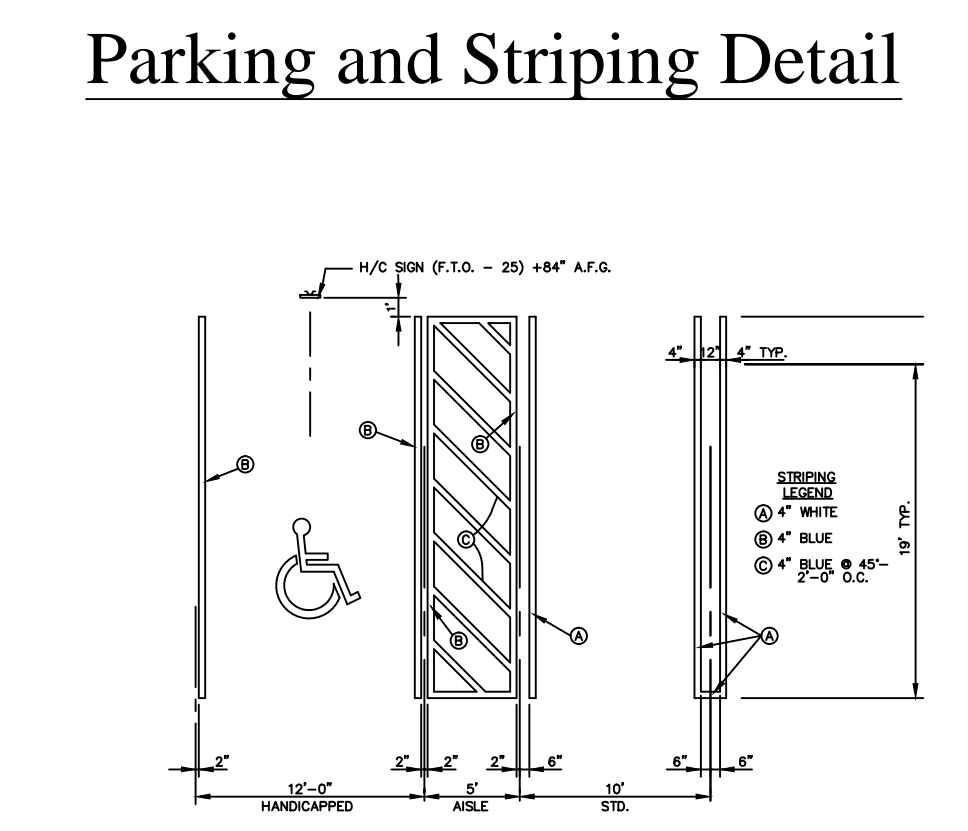
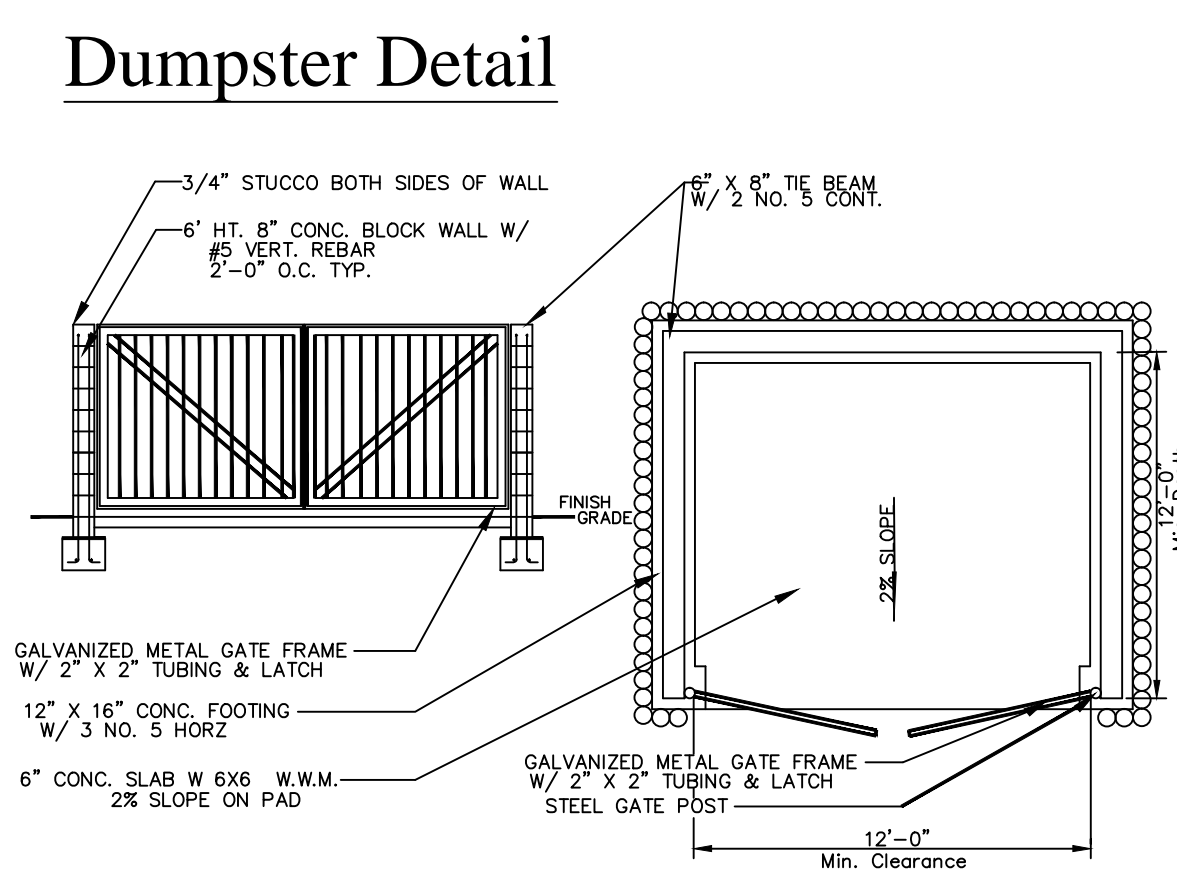
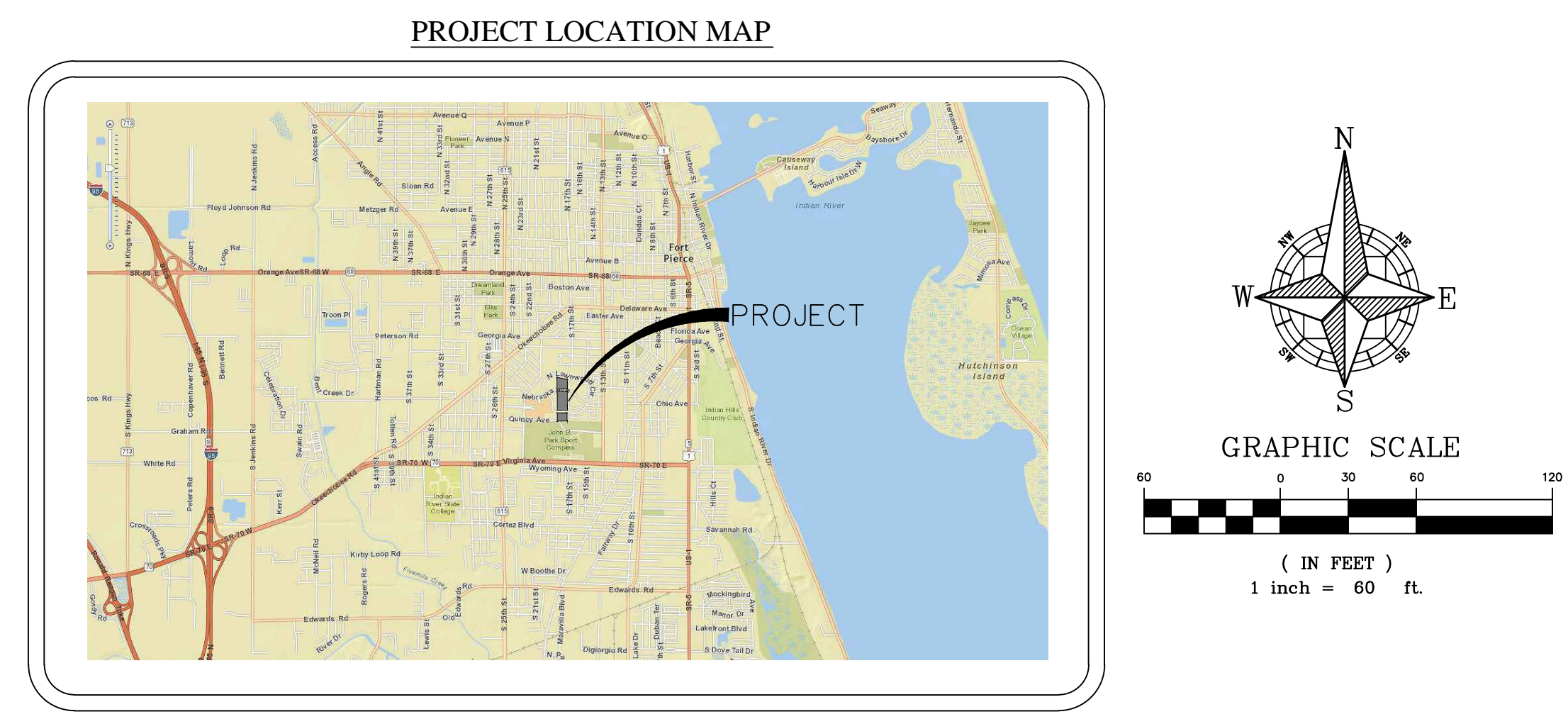
J:\38890\5.9 Drawings\590civil\layouts\38890-SP ALT.dwg By:becky.williams Plotted By:becky.williams Modified: 3/16/2016



	North	Middle	South	Total
Gross Area	5.24	7.76	2.66	15.66
Pervious				
Water Management	0.06	0.51	0.20	0.77
Other	1.86	2.66	0.95	5.47
Total	1.92	3.17	1.15	6.24
Impervious				
Buildings	1.27	1.91	0.70	3.88
Pavement	1.68	2.21	0.71	4.60
Walkways	0.28	0.38	0.11	0.77
Pool/Cabana	0.09	0.09	0.00	0.18
Total	3.32	4.59	1.52	9.43
Open Space	1.88	2.81	1.01	5.70
Area	5.24	7.76	2.66	15.66
%	35.84%	36.25%	37.97%	36.40%

FUTURE DEVELOPMENT
 CAN BE DEVELOPED AS:
 - PARKING
 - OPEN SPACE
 - MEMORY CARE FACILITY
 FINAL PLANS MUST BE SUBMITTED TO THE CITY FOR REVIEW & APPROVAL.

Off-street Commercial Parking or Office Commercial will require consideration of a major amendment to the PD, Development Plan



	Parcel A	Parcel B	Parcel C	Total
Gross Area	5.24	7.76	2.66	15.66
# of Buildings	7	11	0	18
1 BR	40	66	0	106
2 BR	42	66	0	108
3 BR	4	0	0	4
	86	132	0	218
	16.41	17.01	0.00	13.92
Required Parking				
1.5 Spaces Per Unit	129	198	0	327
Provided	151	224	0	375
Parking Ratio	1.76	1.70	0.00	1.72

The property has a zoning of PUD and an overall density of 13.86. The underlying Land Use is Medium with a 6.5 to 12 DU/Acre. There is a bonus program for 5 additional units for a total of 17. The site should qualify for the total bonus.

SITE DATA

PARCEL ID NUMBER: PARCEL A 2416-504-0199-000-1 5.35 AC
 PARCEL B 2416-504-0199-050-6 7.75 AC
 PARCEL C 2416-504-0199-200-3 2.69 AC

PARCEL AREA: 15.8 +/- AC

EXISTING LAND USE: MULTI-FAMILY
 PROPOSED LAND USE: MULTI-FAMILY

EXISTING PARCEL ZONING: PUD
 PROPOSED PARCEL ZONING: PUD
 ADJACENT EXISTING ZONING: NORTH: R4
 SOUTH: OS1
 EAST: PUD
 WEST: C-1

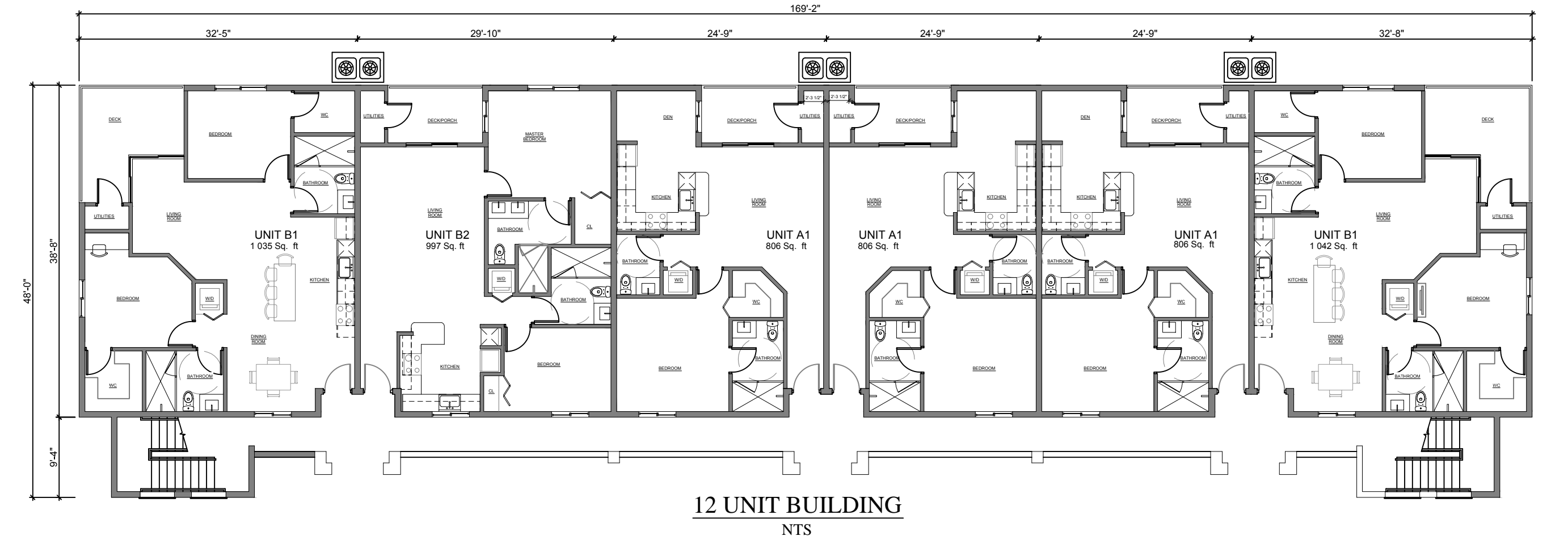
FEMA F.L.R.M. FLOOD ZONE: #12111C0187J
 X

BUILDING SETBACKS: REQUIRED 15' PROVIDED

REAR: SIDE:

MAXIMUM BUILDING HEIGHT: 35'

PARKING CALCULATIONS: REQUIRED: MULTI-FAMILY 1.5 SPACE / 1 D.U. @ 218 D.U. = 327
 PROPOSED: 375 SPACES @ 1.72 SPACES PER UNIT
 ACCESSIBLE PARKING REQUIRED: 9
 ACCESSIBLE PARKING PROVIDED: 39



SCALE	1" = 60'
PROJECT	38890
SHEET	SP-1.0
DATE	3/15/2016
DRAWN	CP / BW
DESIGNED	
CHECKED	RW
DATE	3/15/2016
IBI GROUP FLORIDA ENGINEERING BUSINESS NO. 2966	
MAYFAIR FORT PIERCE, FLORIDA	
SITE PLAN	
IBI GROUP (FLORIDA) INC.	
ENGINEERS	PLANNERS
LANDSCAPE ARCHITECTS	ENVIRONMENTAL CONSULTANTS
2200 PARK CENTRAL BLVD. N. SUITE 101 MAITLAND, FLORIDA 32751 (407) 860-2120 (954) 974-2200	
ORLANDO POMPANNO BEACH	
REV.	DATE
1	11-24-15
2	03-15-16
3	03-15-16
4	03-15-16
5	03-15-16
6	03-15-16
7	03-15-16
8	03-15-16
9	03-15-16
10	03-15-16
11	03-15-16
12	03-15-16
13	03-15-16
14	03-15-16
15	03-15-16
16	03-15-16
17	03-15-16
18	03-15-16
19	03-15-16
20	03-15-16
21	03-15-16
22	03-15-16
23	03-15-16
24	03-15-16
25	03-15-16
26	03-15-16
27	03-15-16
28	03-15-16
29	03-15-16
30	03-15-16
31	03-15-16
32	03-15-16
33	03-15-16
34	03-15-16
35	03-15-16
36	03-15-16
37	03-15-16
38	03-15-16
39	03-15-16
40	03-15-16
41	03-15-16
42	03-15-16
43	03-15-16
44	03-15-16
45	03-15-16
46	03-15-16
47	03-15-16
48	03-15-16
49	03-15-16
50	03-15-16
51	03-15-16
52	03-15-16
53	03-15-16
54	03-15-16
55	03-15-16
56	03-15-16
57	03-15-16
58	03-15-16
59	03-15-16
60	03-15-16
61	03-15-16
62	03-15-16
63	03-15-16
64	03-15-16
65	03-15-16
66	03-15-16
67	03-15-16
68	03-15-16
69	03-15-16
70	03-15-16
71	03-15-16
72	03-15-16
73	03-15-16
74	03-15-16
75	03-15-16
76	03-15-16
77	03-15-16
78	03-15-16
79	03-15-16
80	03-15-16
81	03-15-16
82	03-15-16
83	03-15-16
84	03-15-16
85	03-15-16
86	03-15-16
87	03-15-16
88	03-15-16
89	03-15-16
90	03-15-16
91	03-15-16
92	03-15-16
93	03-15-16
94	03-15-16
95	03-15-16
96	03-15-16
97	03-15-16
98	03-15-16
99	03-15-16
100	03-15-16

MAYFAIR AT LAWNWOOD

LEGAL DESCRIPTION

PARCEL 1:

A PART OF LAWNWOOD ADDITION SUBDIVISION, AS RECORDED IN PLAT BOOK 2, PAGE 16, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, BEING GEOMETRICALLY DESCRIBED AS FOLLOWS:

COMMENCING (P.O.C.) AT THE SOUTHWEST CORNER OF A 16 FOOT ALLEY RUNNING EAST AND WEST THROUGH BLOCK 31 OF SAID LAWNWOOD ADDITION SUBDIVISION, THENCE RUN SOUTH 01°25' WEST, ALONG THE EAST LINE OF THE SOUTH 19TH STREET CANAL RIGHT-OF-WAY, 839.34 FEET TO THE POINT OF BEGINNING (P.O.B.); THENCE RUN NORTH 01°25' EAST ALONG THE EAST LINE OF THE SOUTH 19TH STREET CANAL RIGHT-OF-WAY, 582.38 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF LAWNWOOD CIRCLE NORTH; THENCE RUN SOUTHEASTERLY ALONG A CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 1189.24 FEET, AN ARC DISTANCE OF 414.43 FEET, SAID CURVE HAVING A CHORD BEARING OF SOUTH 82°58'44" EAST, AND A CHORD DISTANCE OF 412.34 FEET, THE LAST DESCRIBED COURSE BEING ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF LAWNWOOD CIRCLE NORTH; THENCE RUN SOUTH 01°25' WEST PARALLEL WITH THE EAST RIGHT-OF-WAY LINE OF THE SOUTH 19TH STREET CANAL, 535.88 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF NEBRASKA AVENUE; THENCE RUN WESTERLY ALONG A CURVE CONCAVE TO THE SOUTH HAVING A RADIUS OF 635 FEET, AN ARC DISTANCE OF 15.00 FEET TO A POINT OF TANGENCY, SAID CURVE HAVING A CHORD BEARING OF NORTH 88°48'06" WEST AND A CHORD DISTANCE OF 15.00 FEET; THENCE RUN NORTH 89°28'42" WEST, PARALLEL WITH THE NORTH RIGHT-OF-WAY LINE OF QUINCY AVENUE, 395.42 FEET TO THE POINT OF BEGINNING, THE LAST TWO (2) DESCRIBED COURSES BEING ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF NEBRASKA AVENUE.

LESS AND EXCEPT:

PART OF LAWNWOOD ADDITION'S SUBDIVISION, AS RECORDED IN PLAT BOOK 2, PAGE 16, AND A PART OF LONGWOOD VILLAGE PHASE 3-A, AS RECORDED IN OFFICIAL RECORDS BOOK 586, PAGE 321, BOTH OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE SOUTH LINE OF NEBRASKA AVENUE AND THE WEST LINE OF SOUTH 13TH STREET, SAID POINT BEING LOCATED 600 FEET NORTH OF THE INTERSECTION OF THE NORTH LINE OF QUINCY AVENUE AND THE SAID WEST LINE OF SOUTH 13TH STREET AS MEASURED ALONG SOUTH 13TH STREET, RUN THENCE NORTH 89°28'42" WEST, ALONG THE SOUTH LINE OF NEBRASKA AVENUE, 401.23 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE TO THE NORTHEAST HAVING A RADIUS OF 805.94 FEET; THENCE RUN NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 23° 18'40", AN ARC DISTANCE OF 327.80 FEET TO A POINT, SAID POINT BEING A POINT OF REVERSE CURVATURE OF THE ABOVE-MENTIONED CURVE AND A CURVE CONNECTING THE SOUTH RIGHT-OF-WAY LINE OF NEBRASKA AVENUE WITH THE NORTHWESTERLY RIGHT-OF-WAY LINE OF LAWNWOOD CIRCLE SOUTH; THENCE CONTINUE WESTERLY AND NORTHWESTERLY FROM SAID POINT OF REVERSE CURVATURE ALONG SAID CURVE HAVING A RADIUS OF 805.94 FEET, THROUGH A CENTRAL ANGLE OF 26°51'20", AN ARC DISTANCE OF 377.76 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE LEAVING THE SOUTH RIGHT-OF-WAY OF NEBRASKA AVENUE ALONG A LINE WHICH IS RADIAL TO SAID CURVE, ON A BEARING OF NORTH 50°41'19" EAST, A DISTANCE OF 80.00 FEET TO THE NORTHERLY RIGHT-OF-WAY OF SAID NEBRASKA AVENUE, THENCE RUN NORTH 39°18'41" WEST, 188.33 FEET TO A POINT OF CURVATURE OF A CURVE HAVING A RADIUS OF 635.00 FEET; THENCE RUN NORTHWESTERLY AND WESTERLY ALONG SAID CURVE CONCAVE TO THE SOUTHWEST, THROUGH A CENTRAL ANGLE OF 48°48'48", HAVING AN ARC LENGTH OF 540.99 FEET, TO THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED PARCEL:

THENCE CONTINUING ALONG SAID CURVE AND THE NORTH LINE OF NEBRASKA AVENUE, THROUGH A CENTRAL ANGLE OF 1°21'12", AN ARC DISTANCE OF 15.00 FEET TO THE POINT OF TANGENCY; THENCE NORTH 89° 28'41" WEST CONTINUING ALONG SAID NORTH RIGHT-OF-WAY OF NEBRASKA AVENUE, A DISTANCE OF 67.76 FEET; THENCE NORTH 30°59'45" EAST, DEPARTING SAID NORTH RIGHT-OF-WAY LINE, A DISTANCE OF 167.64 FEET; THENCE SOUTH 01°25'00" WEST A DISTANCE OF 144.69 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF SAID NEBRASKA AVENUE AND THE POINT OF BEGINNING.

CONTAINING 0.14 ACRES, MORE OR LESS.

PARCEL 2:

A PART OF LAWNWOOD ADDITION SUBDIVISION, AS RECORDED IN PLAT BOOK 2, PAGE 16, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, BEING GEOMETRICALLY DESCRIBED AS FOLLOWS:

COMMENCING (P.O.C.) AT THE SOUTHWEST CORNER OF A 16 FOOT ALLEY RUNNING EAST AND WEST THROUGH BLOCK 31, OF SAID LAWNWOOD ADDITION SUBDIVISION, THENCE RUN SOUTH 01°25' WEST, ALONG THE EAST LINE OF THE SOUTH 19TH STREET CANAL RIGHT-OF-WAY, 919.35 FEET TO THE POINT OF BEGINNING (P.O.B.); THENCE RUN SOUTH 89°28'42" EAST, ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF NEBRASKA AVENUE, SAID LINE BEING PARALLEL WITH THE NORTH RIGHT-OF-WAY LINE OF QUINCY AVENUE, A DISTANCE OF 386.67 FEET; THENCE RUN SOUTH 01°25' WEST, PARALLEL WITH THE EAST LINE OF THE SOUTH 19TH STREET CANAL, 663.12 FEET; THENCE RUN SOUTH 89°28'42" EAST, PARALLEL WITH THE NORTH RIGHT-OF-WAY LINE OF QUINCY AVENUE, 20.05 FEET; THENCE RUN SOUTH 1°25' WEST, PARALLEL WITH THE EAST LINE OF THE SOUTH 19TH STREET CANAL, 180.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF LAWNWOOD CIRCLE SOUTH; THENCE RUN NORTH 89°28'42" WEST, PARALLEL WITH THE NORTH RIGHT-OF-WAY LINE OF QUINCY AVENUE, 389.00 FEET TO A POINT OF CURVATURE OF A CURVE TO THE NORTHEAST HAVING A RADIUS OF 95 FEET; THENCE RUN NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 19°25'59", AN ARC DISTANCE OF 32.22 FEET TO THE EAST LINE OF THE SOUTH 19TH STREET CANAL, THE LAST TWO (2) DESCRIBED COURSES BEING ALONG THE NORTH RIGHT-OF-WAY LINE OF LAWNWOOD CIRCLE SOUTH; THENCE RUN NORTH 01°25' EAST, ALONG THE EAST LINE OF THE SOUTH 19TH STREET CANAL, 837.71 FEET TO THE POINT OF BEGINNING.

PARCEL 3:

A PART OF LAWNWOOD ADDITION SUBDIVISION, AS RECORDED IN PLAT BOOK 2, PAGE 16, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, BEING GEOMETRICALLY DESCRIBED AS FOLLOWS:

COMMENCING (P.O.C.) AT THE SOUTHWEST CORNER OF A 16 FOOT ALLEY RUNNING EAST AND WEST THROUGH BLOCK 31, OF SAID LAWNWOOD ADDITION SUBDIVISION, THENCE RUN SOUTH 01°25' WEST, ALONG THE EAST LINE OF THE SOUTH 19TH STREET CANAL RIGHT-OF-WAY, 2153.02 FEET TO THE POINT OF BEGINNING (P.O.B.); THENCE RUN NORTH 01°25' EAST ALONG THE EAST LINE OF THE SOUTH 19TH STREET CANAL, 334.00 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF LAWNWOOD CIRCLE SOUTH; THENCE RUN SOUTHEASTERLY ALONG A CURVE CONCAVE TO THE NORTHEAST HAVING A RADIUS OF 155 FEET, THROUGH A CENTRAL ANGLE OF 120°75"44", AN ARC DISTANCE OF 32.82 FEET TO A POINT OF TANGENCY, SAID CURVE HAVING A CHORD BEARING OF SOUTH 83°24'42" EAST AND A CHORD DISTANCE OF 32.76 FEET; THENCE RUN SOUTH 89°28'42" EAST, PARALLEL WITH THE NORTH RIGHT-OF-WAY LINE OF QUINCY AVENUE, 317.37 FEET, THE LAST TWO (2) DESCRIBED COURSES BEING ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF LAWNWOOD CIRCLE SOUTH; THENCE RUN SOUTH 01°25' WEST, PARALLEL WITH THE EAST LINE OF THE SOUTH 19TH STREET CANAL, 330.54 FEET TO THE NORTH RIGHT-OF-WAY LINE OF QUINCY AVENUE. THENCE RUN NORTH 89°28'42" WEST, ALONG THE NORTH RIGHT-OF-WAY LINE OF QUINCY AVENUE, 350 FEET TO THE POINT OF BEGINNING.

SAID PARCELS (1-3) CONTAIN 15.66 ACRES, MORE OR LESS (15.52 NET ACRES).

LEGEND

- Δ = CENTRAL ANGLE
- R = CURVE RADIUS
- (C) = CURVELAMBETH
- (P) = PLAT
- (D) = DEED
- (R) = RADIAL
- FND = FOUND
- POC = POINT OF COMMENCEMENT
- POB = POINT OF BEGINNING
- PRF = PERMANENT REFERENCE WORKMAN
- CN = CONCRETE NONHUMENT
- FTE = FINISH FLOOR ELEVATION
- EL = ELEVATION
- FL = FLORIDA POWER AND LIGHT
- OHU = OVERHEAD UTILITIES
- HD = MAIL AND DOR
- P.L.S. = PROFESSIONAL LAND SURVEYOR
- LB = LICENSED BUSINESS
- P#B = PLAT BOOK
- R/W = RIGHT-OF-WAY
- WLE = WATER MAIN EASEMENT
- S.S.E. = SANITARY SEWER EASEMENT
- IP = 1/2" RIM PIPE
- HOOP = HANGCAP
- ALM = ALUMINUM
- CBS = CONCRETE BLOCK STRUCTURE
- SF = SQUARE FEET
- CI = CURB INLET
- CS = CONTROL STRUCTURE
- = SET #5 IR & CAP LB 7056
- = LIGHT POLE
- ⊙ = HAT FEESTAL
- ⊙ = WOOD POWER POLE
- = GUY WIRE
- CONC = CONCRETE
- WPP = WOOD POWER POLE
- WLE = UTILITY EASEMENT
- FF = FIRE HYDRANT
- = WATER VALVE
- = SANITARY VALVE
- = GAS VALVE
- TOB = TOP OF BANK
- ORP = OFFICIAL RECORD BOOK
- PS = PAGE
- RFC = REINFORCED CONCRETE PIPE
- AC = ACRES
- = CATCH BASIN
- ⊙ = SANITARY MANHOLE
- ⊙ = EXISTING WELL
- ⊙ = #5 IRON ROD
- ⊙ = #5 IRON ROD AND CAP
- = #14" SAGFLOW PREVENTOR/WATER METER
- = EXISTING STORM PIPE
- = EXISTING WATER MAIN
- = EXISTING FORCE MAIN
- = EXISTING SANITARY PIPE
- = OVERHEAD MANHOLE
- = FPL TRANSFORMER PAD
- = 4" CHAIN LINK FENCE
- = 4" HOOD HIRE FENCE
- = WOOD FENCE
- = CABLE TELEVISION BOX
- = HANGCAP PARKING SPACE
- = NUMBER OF REGULAR PARKING SPACES

SURVEY NOTES

1. THIS SURVEY IS NOT VALID WITHOUT A SIGNATURE AND ORIGINAL EMBOSSED SEAL OF A FLORIDA PROFESSIONAL LAND SURVEYOR.
2. DESCRIPTION PROVIDED BY CLIENT AND/OR THEIR AGENT.
3. THE LAST DATE OF FIELD WORK WAS JUNE 14, 2013 (GPS).
4. UNDERGROUND IMPROVEMENTS AND FOUNDATIONS WERE NOT LOCATED AS PART OF THIS SURVEY.
5. BEARINGS SHOWN HEREON ARE BASED ON THE EAST LINE OF SOUTH 19TH STREET CANAL BEARING NORTH 01°25'00" EAST, AS MONUMENTED. ALL BEARINGS ARE RELATIVE THERE TO.
6. PROPERTY LIES IN FLOOD ZONE X, PER FLOOD MAP 12111C0186 J, DATED 2-16-12.
7. ALL BOUNDARY INFORMATION SHOWN IS DEED AND CALCULATED UNLESS OTHERWISE SHOWN.
8. TITLE COMMITMENT NO. FA--CC--2037--423633 PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, DATED JANUARY 20, 2004 WAS REVIEWED AND INCORPORATED INTO THIS SURVEY.
9. BELLSOUTH EASEMENT IN O.R.B. 479, PAGE 2979 AND O.R.B. 499, PAGE 2949 AFFECTS THE PROPERTY BUT IS NOT DEFINED.
10. ORDINANCE H-247 RECORDED IN O.R.B. 393, PAGE 2615 PROVIDES THE NAME FOR NORTH AND SOUTH LAWNWOOD CIRCLE.
11. THE DEEDS IN O.R.B. 534, PAGE 1575 AND O.R.B. 889, PAGE 927 DESCRIBE PORTIONS OF THE SUBJECT PROPERTY, BUT DO NOT ABANDON ANY RIGHT-OF-WAYS.
12. THE DOCUMENT RECORDED IN O.R.B. 265, PAGE 275 WAS NOT PROVIDED TO THIS OFFICE FOR REVIEW AND INCLUSION.
13. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
14. OWNERSHIP OF FENCES IS UNKNOWN.
15. PER ORB 2432, PAGE 2170, THE DRAINAGE, FLOWAGE AND STORAGE EASEMENT IS A BLANKET EASEMENT COVERING THE ENTIRE PROPERTY.
16. PER ORB 3116, PAGE 2747, THE UTILITY EASEMENT IS A BLANKET EASEMENT APPLIED TO PARCEL 2 ONLY.
17. OVERALL PROPERTY CONTAINS 15.52 ACRES, MORE OR LESS.

Richard C. Laventure
RICHARD C. LAVENTURE
FLORIDA PROFESSIONAL LAND SURVEYOR # 5209

7/5/10
DATE

BOUNDARY SURVEY
PREPARED FOR
OCEAN BANK

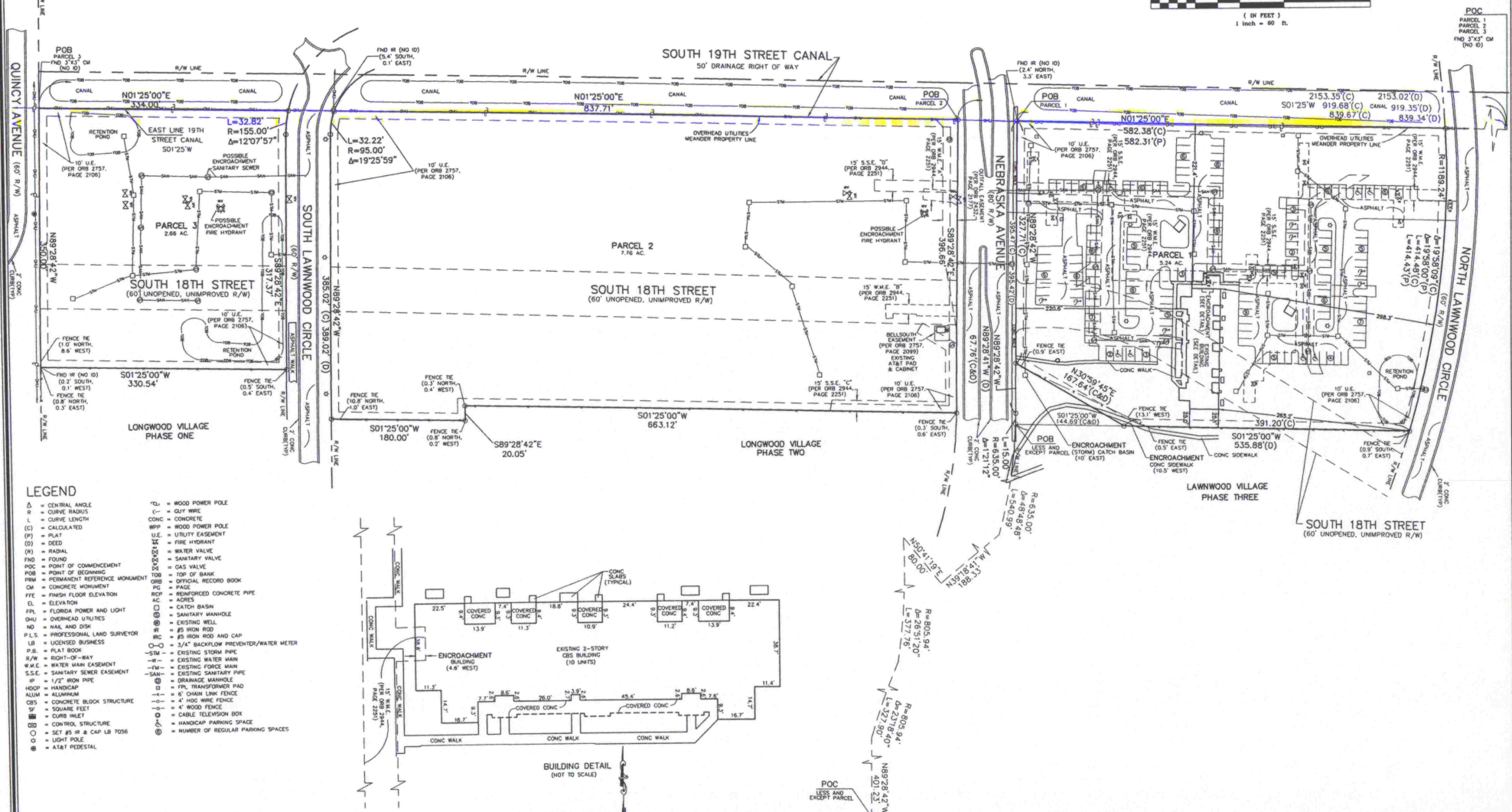
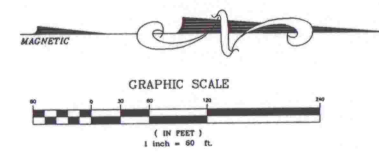
- REVISIONS -

REVISION	BY	DATE	BY	DATE
REVIEW AND INDICATE TITLE ELEMENTS	ALM	3/3/04	FIELD	2/11/04
THREE SURVEY	JPH	10/23/04	CALCS.	2/19/04
TOPIC SURVEY	JPH	2/18/05	DRAWN	2/11/04
UPDATE SURVEY	MMH	7/6/05	CHECKED	2/21/04
			FILE REF.	FIELD BK./PG.
			04.0447	04.0875

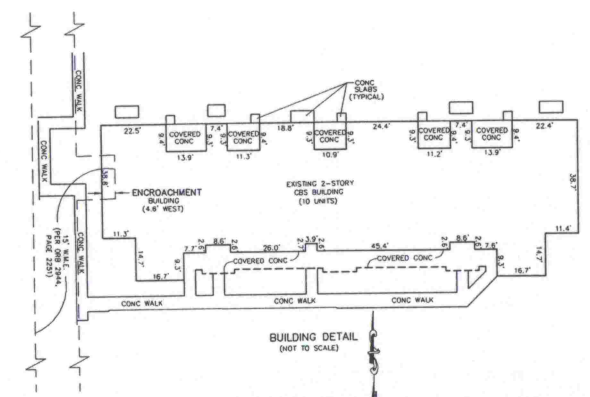


LAVENTURE & ASSOCIATES, INC.
PROFESSIONAL SURVEYING AND MAPPING
CIVIL ENGINEERING COORDINATION
774 N. HIGHWAY ROAD
FORT PIERCE, FLORIDA 34982
LB 7056 (772) 398-6430 PHONE (772) 398-6426 FAX

DATE: 2/11/04
HORIZ. SCALE: 1"=60'
VERT. SCALE: N/A
JOB NO. 13.0447-1
SHEET 1 OF 2



- LEGEND**
- Δ = CENTRAL ANGLE
 - R = CURVE RADIUS
 - L = CURVE LENGTH
 - (C) = CALCULATED
 - (P) = PLAT
 - (D) = DEED
 - (R) = RADIAL
 - FND = FOUND
 - POB = POINT OF COMMENCEMENT
 - POB = POINT OF BEGINNING
 - PRM = PERMANENT REFERENCE MONUMENT
 - CM = CONCRETE MONUMENT
 - FFE = FINISH FLOOR ELEVATION
 - EL = ELEVATION
 - FL = FLORIDA POWER AND LIGHT
 - ONU = OVERHEAD UTILITIES
 - ND = NAIL AND DISK
 - P.L.S. = PROFESSIONAL LAND SURVEYOR
 - LB = LICENSED BUSINESS
 - P.B. = PLAT BOOK
 - R/W = RIGHT-OF-WAY
 - W.M.E. = WATER MAIN EASEMENT
 - S.S.E. = SANITARY SINKER EASEMENT
 - IP = 1/2" IRON PIPE
 - HOCP = HANDICAP
 - ALUM = ALUMINUM
 - CBS = CONCRETE BLOCK STRUCTURE
 - SF = SQUARE FEET
 - CI = CURB INLET
 - DS = CONTROL STRUCTURE
 - SET 5" IN 8" CAP L.B. 7056
 - = LIGHT POLE
 - = AT&T PEDESTAL
 - = WOOD POWER POLE
 - = CUI WIRE
 - CONC = CONCRETE
 - MP = WOOD POWER POLE
 - U.E. = UTILITY EASEMENT
 - F = FIRE HYDRANT
 - W.V. = WATER VALVE
 - S.W. = SANITARY WALK
 - G.V. = GAS VALVE
 - T.O.B. = TOP OF BANK
 - PAGE = PAGE
 - REN = REINFORCED CONCRETE PIPE
 - ADRES = ADRES
 - CB = CATCH BASIN
 - SM = SANITARY MANHOLE
 - EW = EXISTING WELL
 - IR = IRON ROD
 - IR & CAP = IRON ROD AND CAP
 - BC = 3/4" BACKFLOW PREVENTER/WATER METER
 - STW = EXISTING STORM PIPE
 - EW = EXISTING WATER MAIN
 - EFM = EXISTING FORCE MAIN
 - ESWP = EXISTING SANITARY PIPE
 - DM = DRAINAGE MANHOLE
 - FTF = FPL TRANSFORMER PAD
 - CL = 4" CHAIN LINK FENCE
 - W.F. = 4" WOOD FENCE
 - HW = HANDBICAP PARKING SPACE
 - MR = NUMBER OF REGULAR PARKING SPACES



PLEASE SEE SHEET 1 OF 2 FOR NOTES AND CERTIFICATION.

BOUNDARY SURVEY
PREPARED FOR
OCEAN BANK

- REVISIONS -

BY	DATE	BY	DATE
REVER	3/3/04	ALJ	3/3/04
FREE SURVEY	3/23/04	JM	2/18/05
TOPO SURVEY	2/18/05	JM	2/11/04
UPDATE SURVEY	7/05/13	MWH	04/08/75

<p align="center">LAVENTURE & ASSOCIATES, INC. PROFESSIONAL SURVEYING AND MAPPING CIVIL ENGINEERING COORDINATION</p> <p align="center">174 W. MIDWAY ROAD LB 7056 (772) 398-6430 PHONE (772) 398-6426 FAX</p>		<p>DATE: 2/11/04 HORZ. SCALE: 1"=60' VERT. SCALE: N/A JOB NO: 13.0447-1 SHEET 2 OF 2</p>
--	--	--



Front Elevation



Rear Elevation

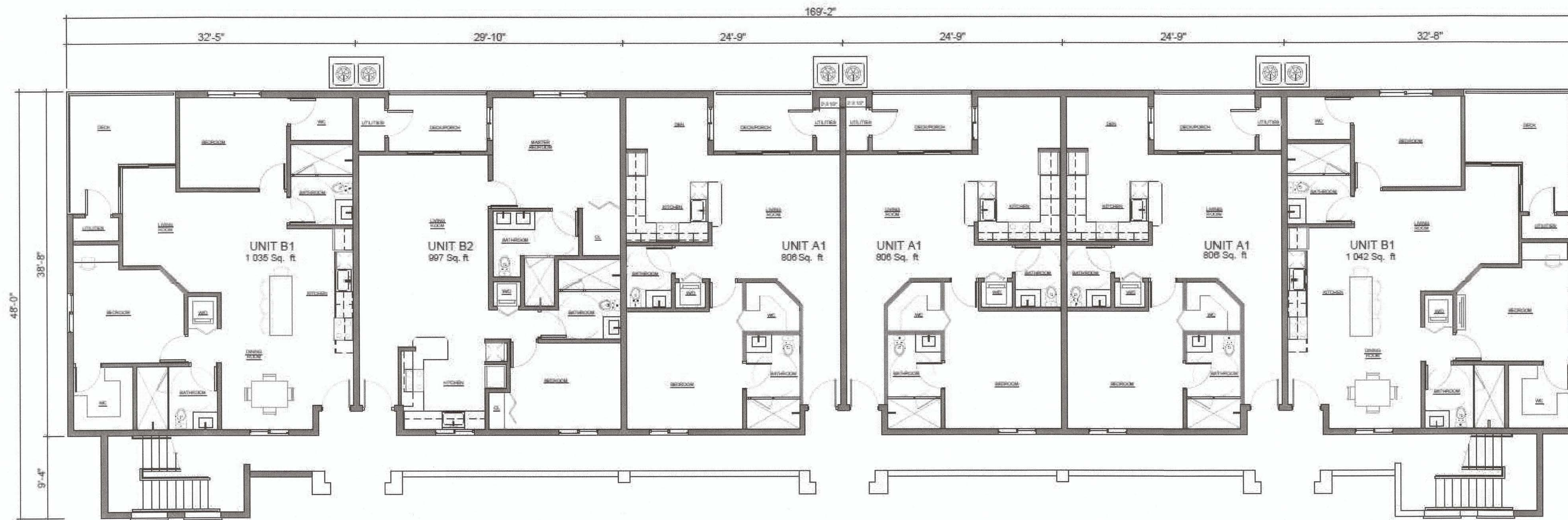


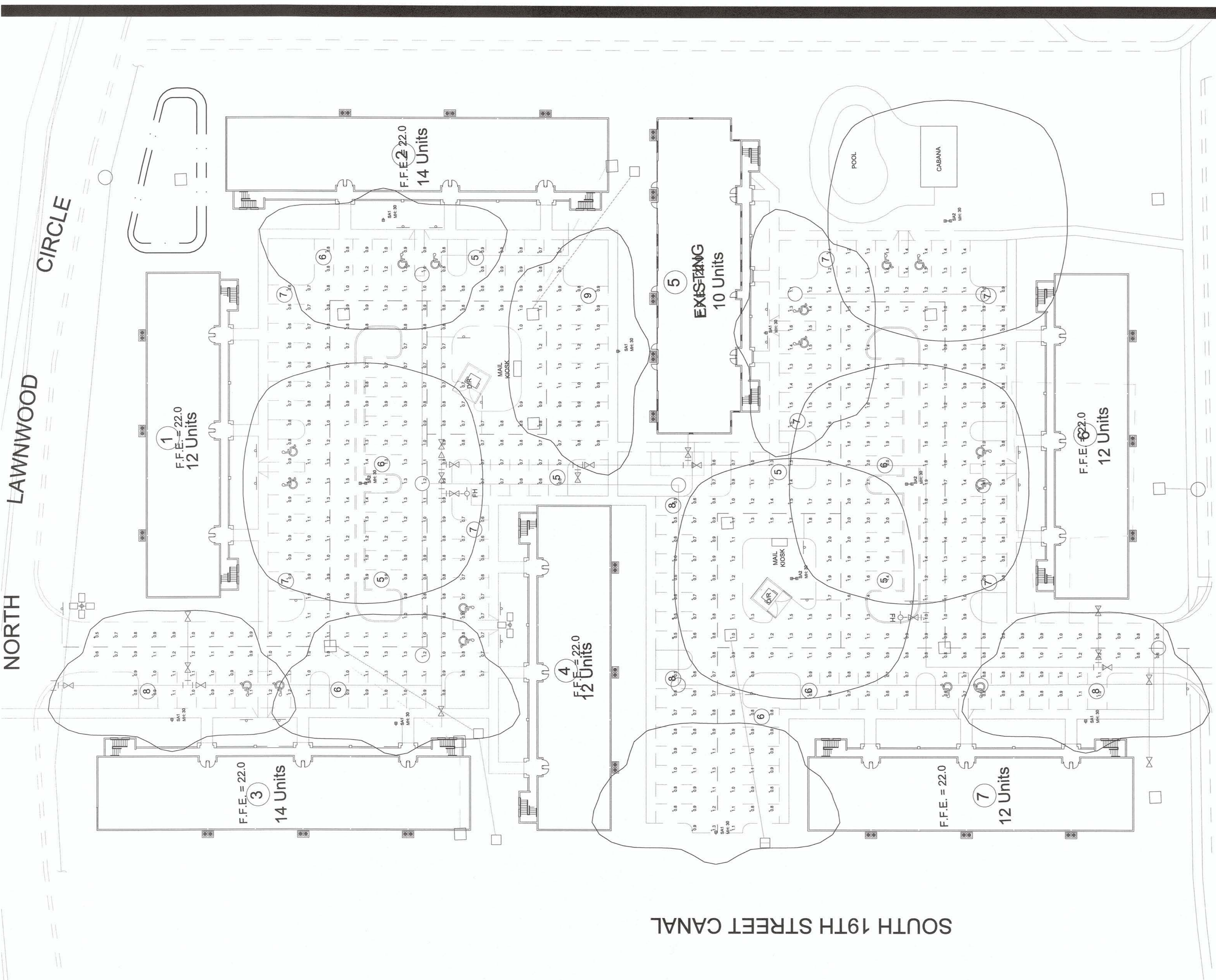
Left Side Elevation

Right Side Elevation



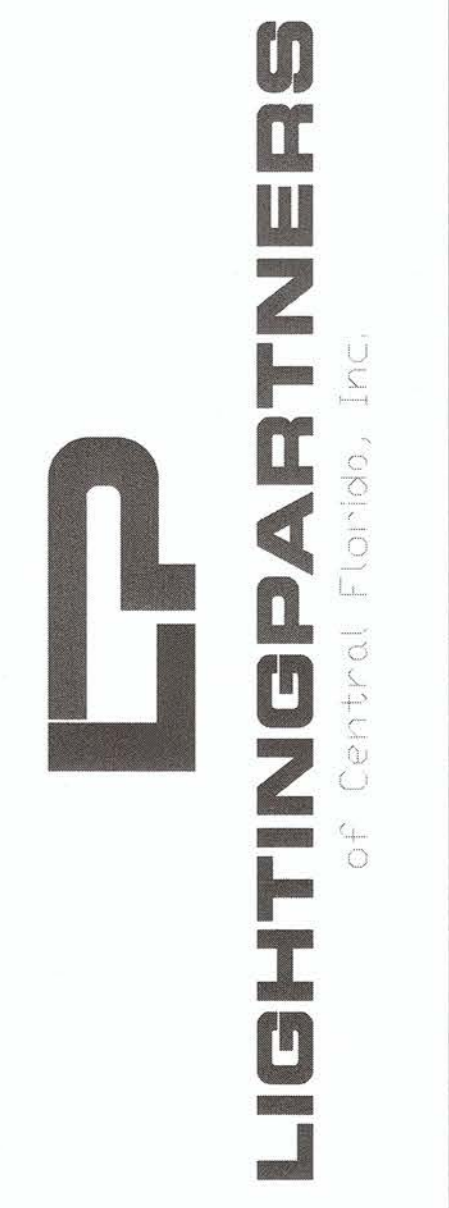
Front Elevation





- NOTES**
1. Readings shown are in units of maintained footcandles.
 2. Total light loss factor = See luminaire schedule.
 3. Test plane = 0' afg (Pavement Level).
 4. No light blocking objects were considered for this photometric analysis.
 5. Fixture mounting height = See plan view.
 6. Fixture spacing = See plan view.
 7. Reflectance = Not applicable (Direct Illuminance Calculation).
 8. This photometric layout was calculated using specific criteria, any deviation from stated parameters will effect actual performance.
 9. These lighting calculations are not a substitute for independent engineering analysis of lighting system suitability and safety.
 10. Green fixture isoline shows 0.5 fc level per luminaire.

LIGHTING PARTNERS OF CENTRAL FL
 (407) 852-7171
 JOSH WRIGHT
 jwright@lightingpartnerscf.com
 5776 HOFFNER AVE, SUITE 203,
 ORLANDO, FL 32822



PROJECT:
**MAYFAIR
 FORT PIERCE, FL
 PARKING LOT AREA
 AREA 1
 COOPER LIGHTING**

CLIENT:
**IBI Group
 Atn: Becky Williams**

PROJECT #:

DATE:
10/07/2015

- REVISIONS:
- Initial Design
 -
 -
 -
 -

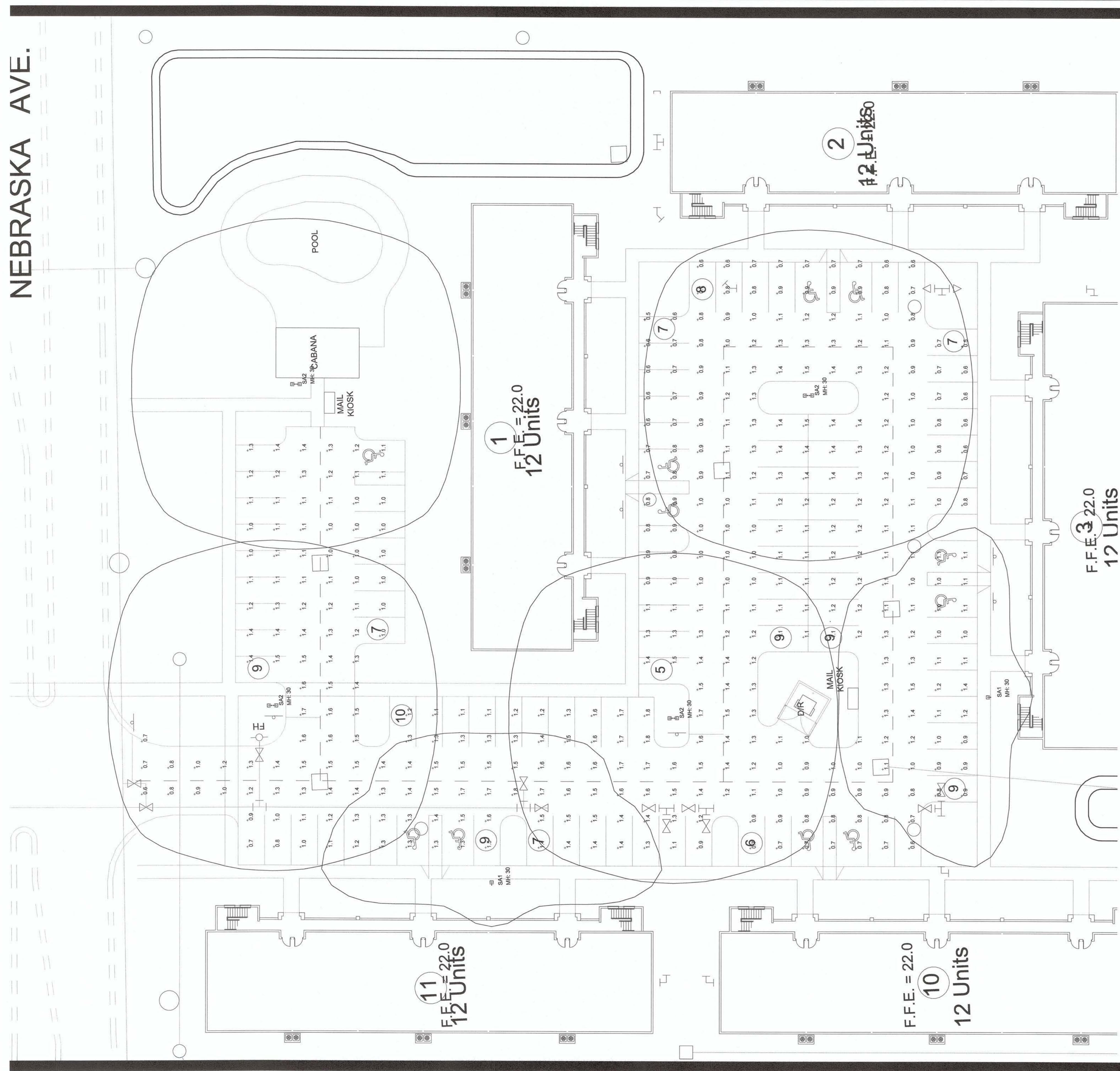
SCALE:
1" = 30'-0"

DESIGN AND DRAWING:
IF

Symbol	Qty	Label	Arrangement	Manufacturer	Description	LF	Lum. Watts	Air. Watts	Total Watts	Lum. Lumens	Avr. Lum. Lumens	BUD Rating
[Symbol]	14	SA1	SINGLE	COOPER LIGHTING - MCGRAWHILL	GLEON-AR-02-LED-E1-TW	0.912	107	107	1498	10426	10426	02-L0-G2
[Symbol]	14	SA2	BACK-BACK	COOPER LIGHTING - MCGRAWHILL	GLEON-AR-02-LED-E1-0W2	0.912	107	214	2996	11069	22119	04-L0-G2

Label	Calc-Type	Units	Avrg	Max	Min	Avrg/Wt	Max/Min
PARKING AREA	Illuminance	Fc	1.08	2.1	0.5	2.18	4.20

NEBRASKA AVE.



NOTES

1. Readings shown are in units of maintained footcandles.
2. Total light loss factor = See luminaire schedule.
3. Test plane = 0' afg (Pavement Level).
4. No light blocking objects were considered for this photometric analysis.
5. Fixture mounting height = See plan view.
6. Fixture spacing = See plan view.
7. Reflectance = Not applicable (Direct Illuminance Calculation).
8. This photometric layout was calculated using specific criteria, any deviation from stated parameters will effect actual performance.
9. These lighting calculations are not a substitute for independent engineering analysis of lighting system suitability and safety.
10. Green fixture isoline shows 0.5 fc level per luminaire.

Rev	Date	By	App'd	Description
1				Initial Design

LIGHTING PARTNERS OF CENTRAL FL
 (407) 852-7171
 JOSH WRIGHT
 jwright@lightingpartnerscf.com
 5776 HOFFNER AVE, SUITE 203,
 ORLANDO, FL 32822



PROJECT:
**MAYFAIR
 FORT PIERCE, FL
 PARKING LOT AREA
 AREA 2
 COOPER LIGHTING**

CLIENT:
**IBI Group
 Atn: Becky Williams**

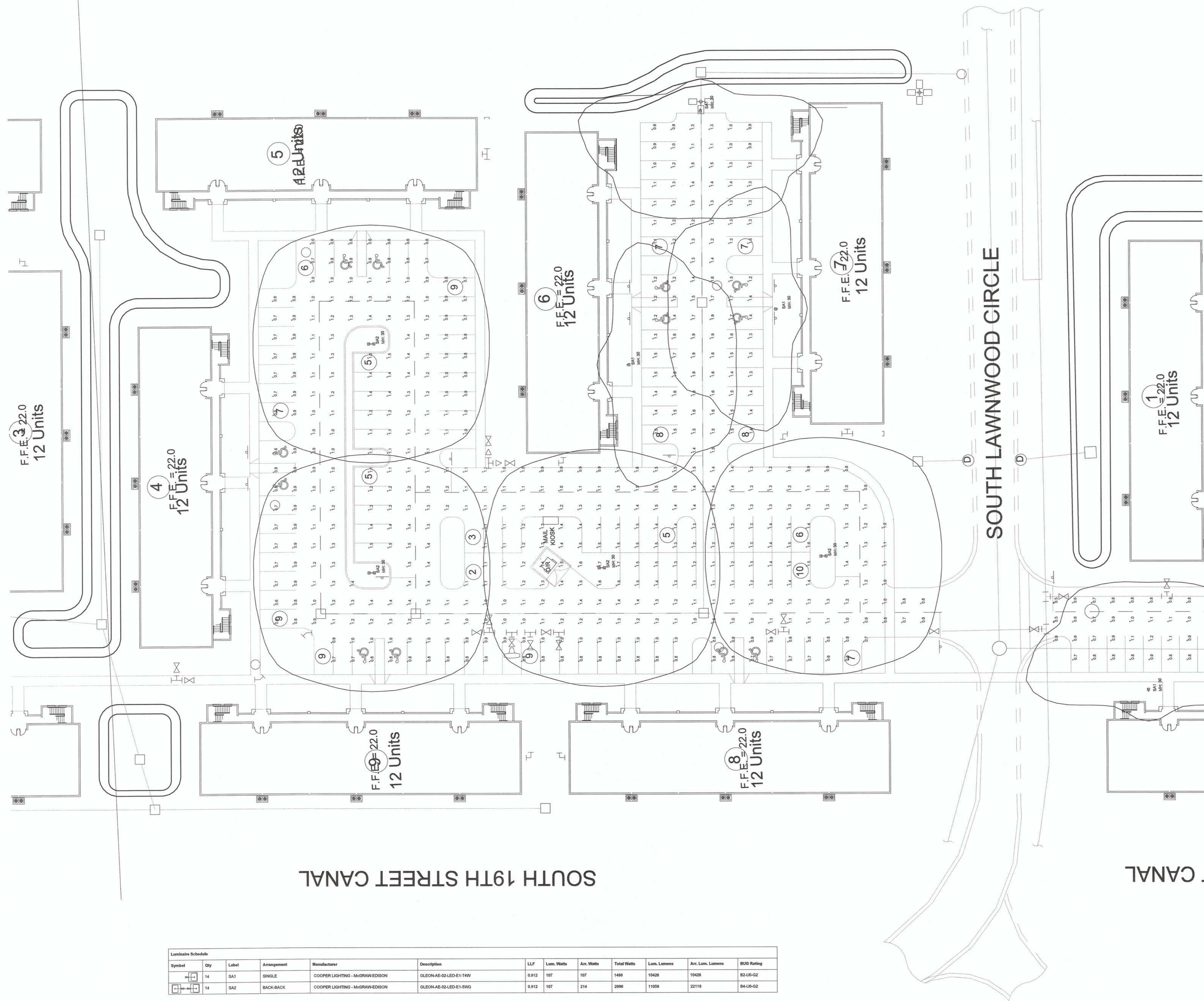
PROJECT #:

DATE:
10/07/2015

REVISIONS:
 ■ Initial Design
 ■
 ■
 ■

SCALE:
1" = 20'-0"

DESIGN AND DRAWING:
IF



- NOTES**
1. Readings shown are in units of maintained footcandles.
 2. Total light loss factor = See luminaire schedule.
 3. Test plane = 0' afg (Pavement Level).
 4. No light blocking objects were considered for this photometric analysis.
 5. Fixture mounting height = See plan view.
 6. Fixture spacing = See plan view.
 7. Reflectance = Not applicable (Direct Illuminance Calculation).
 8. This photometric layout was calculated using specific criteria, any deviation from stated parameters will effect actual performance.
 9. These lighting calculations are not a substitute for independent engineering analysis of lighting system suitability and safety.
 10. Green fixture isoline shows 0.5 fc level per luminaire.

Symbol	Qty	Label	Arrangement	Manufacturer	Description	LLF	Lum. Watts	Avg. Watts	Total Watts	Lum. Lumens	Avg Lum. Lumens	BSO Parking
[Symbol]	14	SAT	SINGLE	COOPER LIGHTING - MORGAN EDISON	OLEON-AE-Q2-LED-E1-TW	0.912	107	107	1498	1908	1908	BS108-G2
[Symbol]	14	SAZ	BACK-BACK	COOPER LIGHTING - MORGAN EDISON	OLEON-AE-Q2-LED-E1-SWG	0.912	107	214	2996	11059	22118	SA108-G2

Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING AREA	Harmonize	Fc	1.09	2.1	0.5	2.18	4.20

LIGHTING PARTNERS OF CENTRAL FL
 (407) 852-7171
 JOSH WRIGHT
 jwright@lightingpartnerscf.com
 5776 HOFFNER AVE. SUITE 203.
 ORLANDO, FL 32822



PROJECT:
**MAYFAIR
 FORT PIERCE, FL
 PARKING LOT AREA
 AREA 3
 COOPER LIGHTING**

CLIENT:
**IBI Group
 Atn: Becky Williams**

PROJECT #:

DATE:
10/07/2015

- REVISIONS:
- Initial Design
 -
 -
 -
 -

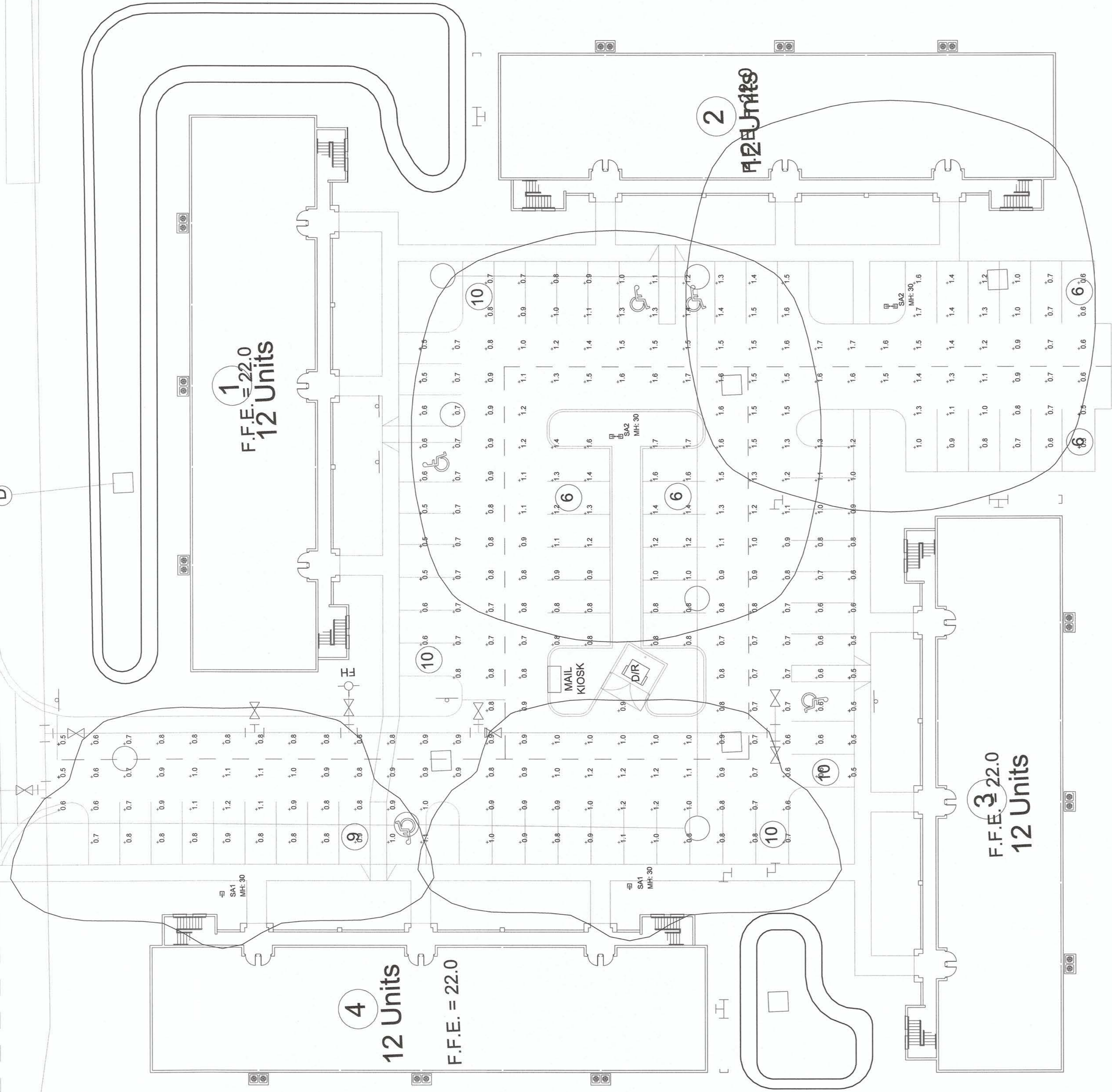
SCALE:
1" = 30'-0"

DESIGN AND DRAWING:
IF

SOUTH LAWNWOOD CIRCLE

SOUTH 19TH STREET CANAL

QUINCY AVF



- NOTES**
1. Readings shown are in units of maintained footcandles.
 2. Total light loss factor = See luminaire schedule.
 3. Test plane = 0' afg (Pavement Level).
 4. No light blocking objects were considered for this photometric analysis.
 5. Fixture mounting height = See plan view.
 6. Fixture spacing = See plan view.
 7. Reflectance = Not applicable (Direct Illuminance Calculation).
 8. This photometric layout was calculated using specific criteria, any deviation from stated parameters will effect actual performance.
 9. These lighting calculations are not a substitute for independent engineering analysis of lighting system suitability and safety.
 10. Green fixture isoline shows 0.5 fc level per luminaire.

Rev	Date	By	Appr	Description
1				Initial Design

LIGHTING PARTNERS OF CENTRAL FL
 (407) 852-7171
 JOSH WRIGHT
 jwright@lightingpartnerscf.com
 5776 HOFFNER AVE, SUITE 203,
 ORLANDO, FL 32822



PROJECT:
**MAYFAIR
 FORT PIERCE, FL
 PARKING LOT AREA
 AREA 4
 COOPER LIGHTING**

CLIENT:
**IBI Group
 Atn: Becky Williams**

PROJECT #:

DATE:
10/07/2015

- REVISIONS:
- Initial Design
 -
 -
 -
 -

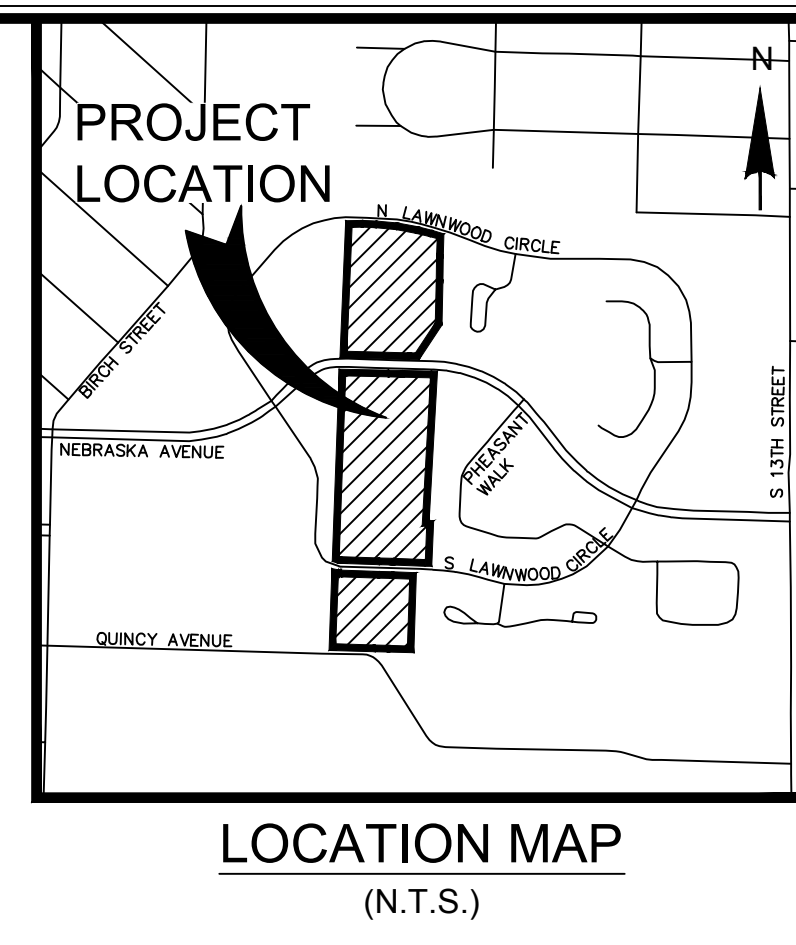
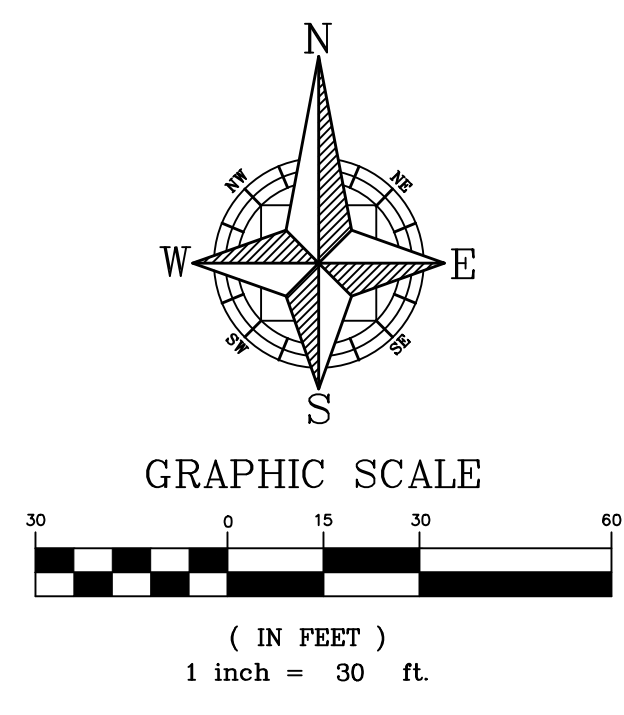
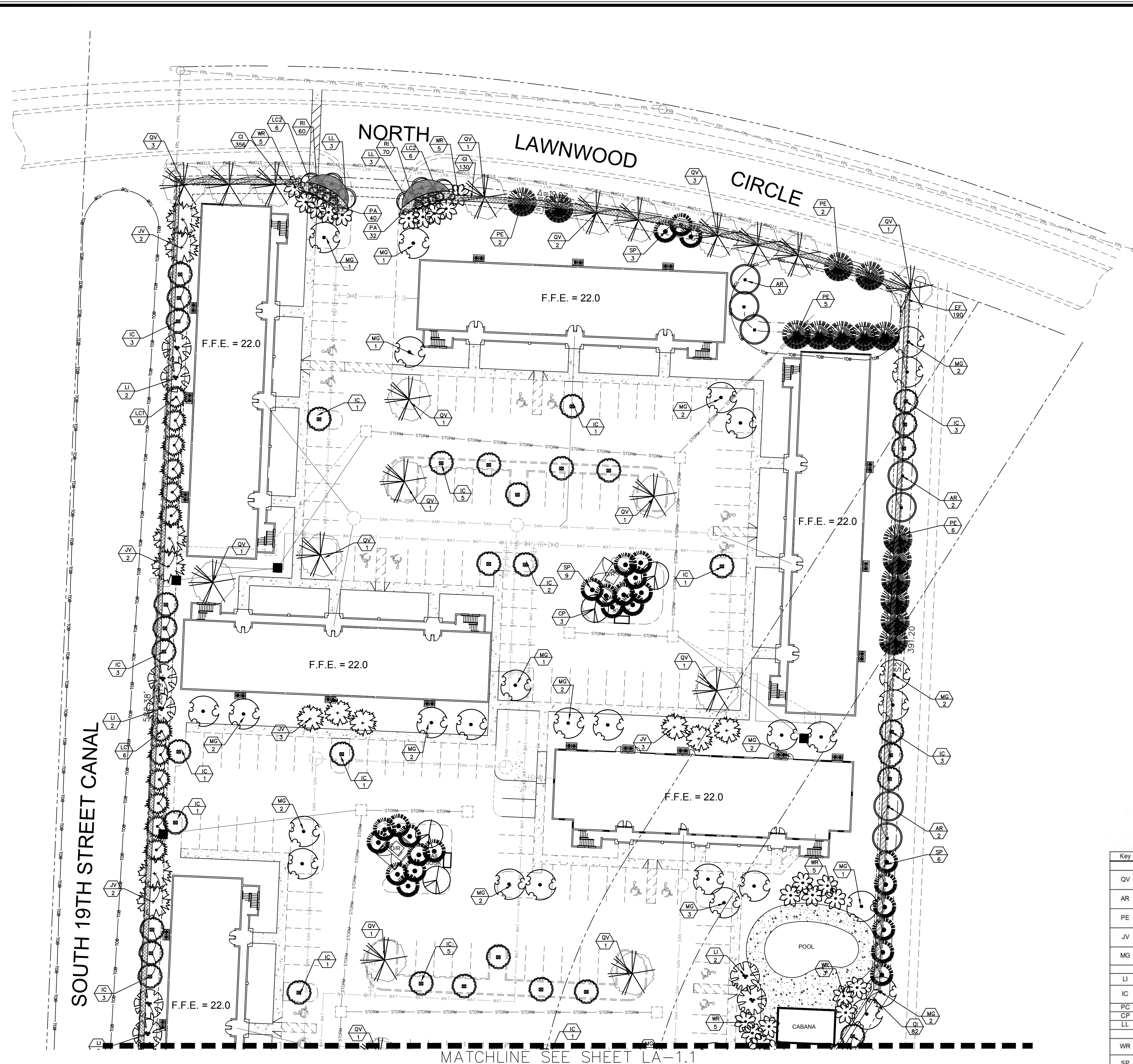
SCALE:
1" = 20'-0"

DESIGN AND DRAWING:
IF



Landscape Plans (Overall Site & Individual Building)

J:\38890\5.9 Drawings\591sec\Layouts\38890-LandscapePlan ALI.dwg Modified: 3/16/2016 By: becky.williams Plotted By: becky.williams



SOUTH 19TH STREET CANAL

MATCHLINE SEE SHEET LA-1.1

Mayfair PLANT MATERIALS LIST

Hardiness Zone 9b

Native plants and ecological communities as determined by the FDOACS, UFIFAS, FDEP-Florida Land Use Cover Classification System. Xeriscape principles as determined by the South Florida Water Management District "Waterwise" Xeriscape Plant Guide. Compliance for planting adjacent to overhead electrical wires as determined by Florida Power & Light, Administrative Services.

Key	Scientific Name	Common Name	Native	Xen	Height x Spread / Description	Spacing	Qty	SUBT	
LARGE TREES									
greater than 30 ft. at maturity									
QV	Quercus virginiana	Live Oak	Yes	High	12' high x 6' spread, 2-1/2" DBH, 4-1/2" CT., field grown	per plan	59	297	
AR	Acer rubrum	Red Maple	Yes	Mod.	12' high x 5' spread, 2-1/2" DBH, 4-1/2" CT., field grown	per plan	50		
PE	Pinus elliotti	Slash Pine	Yes	High	12' high x 5' spread, 2-1/2" DBH, 4-1/2" CT., field grown	per plan	79		
JV	Juniperus virginiana	Southern Red Cedar	Yes	High	10' high x 4' spread, full, 45 gal. or field grown	per plan	39		
MG	Magnolia grandiflora	Southern Magnolia	Yes	Mod.	12' high x 5' spread, 2-1/2" DBH, 4-1/2" CT., field grown	per plan	70		
SMALL TREES									
less than 25 ft. at maturity									
LI	Lagerstroemia indica "Muskogee"	Crepe Myrtle "Pink"	No	High	10' high x 4' spread, multi-trunk, 45 gal.	per plan	20	148	
IC	Ilex cassine	Dahoon Holly	Yes	High	10' high x 4' spread, full, 30 gal./45 gal., Air Root Pruned Container	per plan	85		
PC	Prunus caroliniana	Cherry Laurel	Yes	High	10' high x 4' spread, 4 CT., 45 gal. or field grown	per plan	0		
CP	Caesalpinia pulcherrima	Dwarf (Yellow) poinciana	No	High	10' high x 4' spread, 4 CT., 45 gal. or field grown	per plan	19		
LL	Ligustrum lucidum	Japanese privet	No	High	10' high x 4' spread, multi-trunk, 45 gal.	per plan	24		
WR	Washingtonia robusta	Washingtonia Palm	No	High	1/3 @ 16' high, 1/3 @ 20' high, 1/3 @ 24' high; staggered heights in all groupings, field grown	per plan	67		
SP	Sabal palm etto	Cabbage Palm	Yes	High	14' high to 20' high, staggered heights in all groupings, booted, field grown	per plan	60		
LC1	Livistona chinensis	Chinese Fan Palm	No	High	10' CT., 16" OA full heads, container or field grown	per plan	42		
LC2	Livistona chinensis	Chinese Fan Palm	No	High	6" OA, full to base, 7 gal.	per plan	48		
SHRUBS									
CI	Chrysobalanus icaco	Cocoplum "Red Tip"	Yes	High	24" OA, full to base, 3 gal.	24" OC	772	2,033	
EF	Eugenia foetida	Spanish Stopper	Yes	High	24" OA, full to base, 3 gal.	24" OC	613		
PA	Plumbago auriculata	Plumbago "Imperial Blue"	No	High	18" OA, full, 3 gal.	24" OC	209		
RI	Raphiolepis indica	Indian Hawthorn	No	High	12" OA, full, 3 gal.	18" OC	439		
							Total	2,695	

NOTE: ALL PROPOSED UNDERGROUND UTILITIES SHALL BE MODIFIED TO AVOID CONFLICTS WITH REQUIRED TREES IN LANDSCAPE ISLANDS / VUA AREAS. SEE ENGINEERING PLANS.

NOTE: PURSUANT TO TO FPL "RIGHT-TREE, RIGHT PLACE" GUIDELINES ALL PERIMETER BUFFER TREES IN CONFLICT WITH OVERHEAD POWER LINES HAVE BEEN ADJUSTED FOR COMPLIANCE.

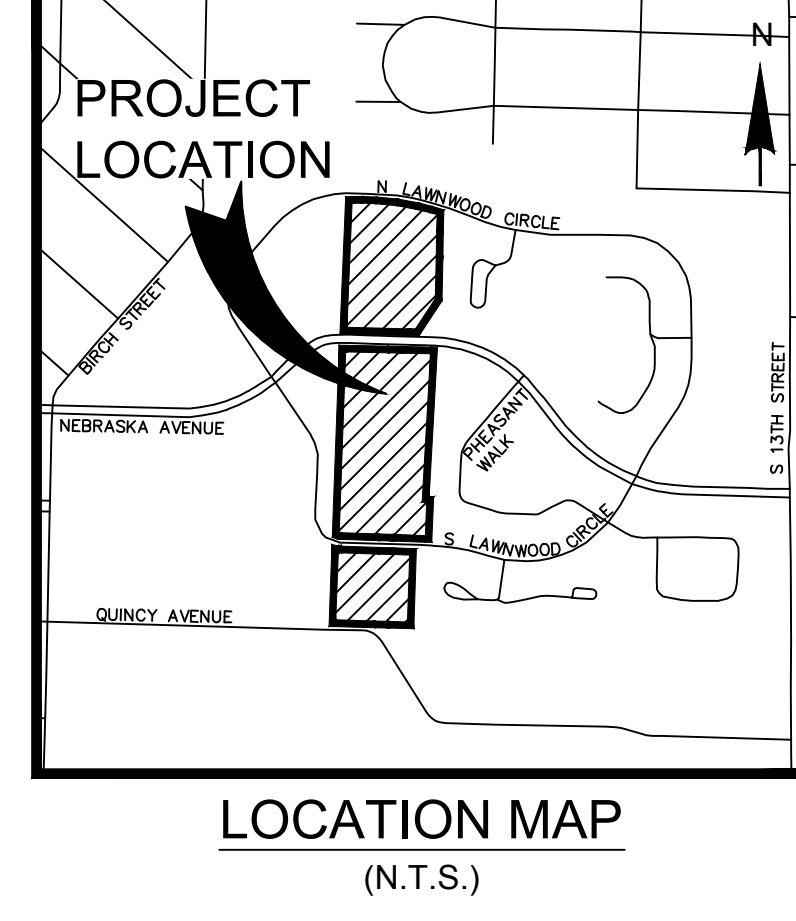
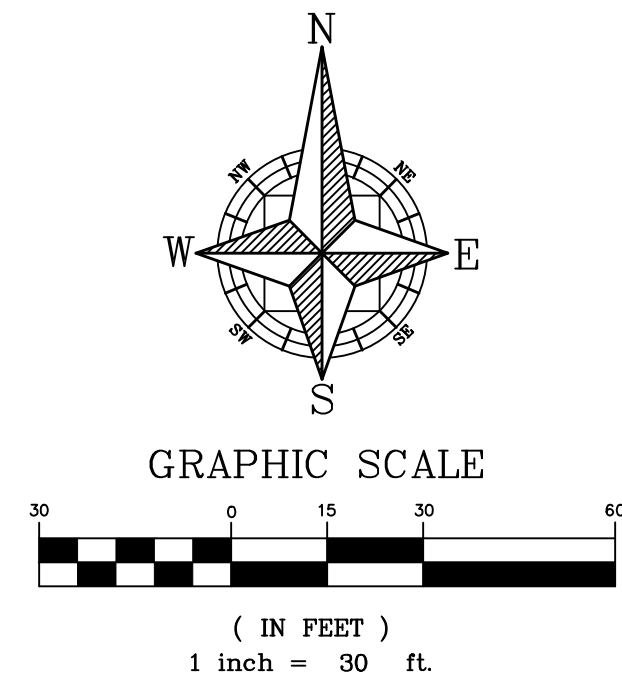
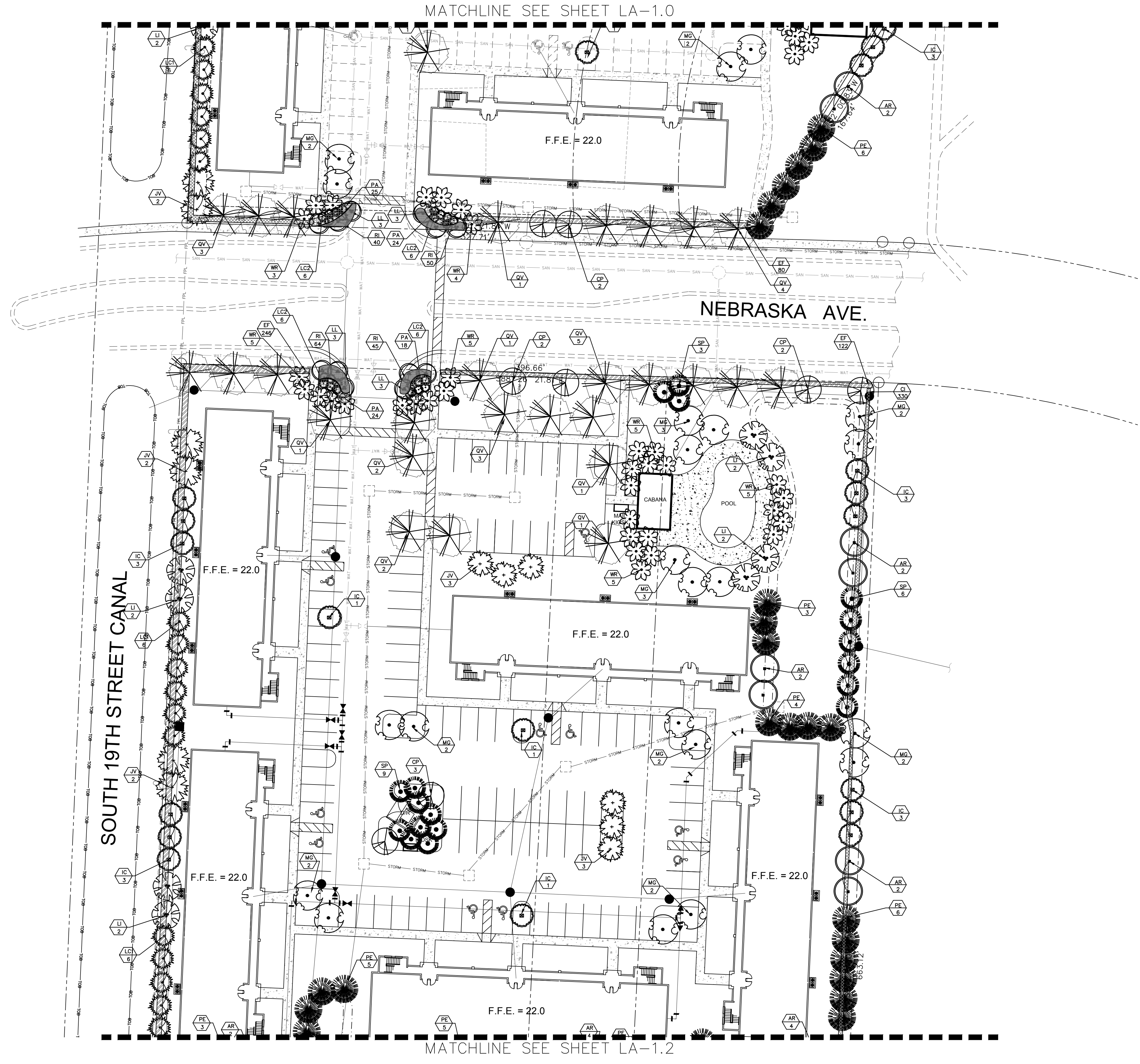
NOTE: SOD TO BE INSTALLED IN ALL PERVIOUS AREAS NOT CONTAINING SHRUBS, GROUNDCOVER OR ALTERNATE LANDSCAPE FEATURES (MULCH, ROCK).

NOTE: ALL AREAS INDICATED FOR SOD SHALL BE INSTALLED WITH ST. AUGUSTINE "FLORITAM" SOD UNLESS ALTERNATE NOTED. Total Native Plants 1,827 Native % of Total 67.8%

NOTE: ALL PLANTS SHALL BE INSTALLED AT SIZE INDICATED UNDER THE SPECIFICATIONS. CONTAINER SIZE LISTED IS FOR REFERENCE OR ESTIMATING ONLY. Total Drought Tolerant Plants 2,575 Drought Tol. % of Total 95.5%

DRAWN: BW		SCALE: 1" = 30'	PROJECT: 38890	SHEET: LA-1.0	DATE: 3/16/2016
DESIGNED:					
CHECKED: RW		MAYFAIR FORT PIERCE, FLORIDA LANDSCAPE PLAN			
DATE:		IBI GROUP (FLORIDA) INC. PLANNERS SURVEYORS ENVIRONMENTAL CONSULTANTS			
REV. DATE		ENGINEERS ARCHITECTS LANDSCAPE ARCHITECTS			
REV. DATE		2200 PARK CENTRAL BLVD. N. SUITE 301 MAITLAND, FLORIDA 32751 (407) 860-2120			
REV. DATE		POMPADOUR BEACH			
REV. DATE		ORLANDO			
REV. DATE		IBI GROUP FLORIDA ENGINEERING BUSINESS NO. 2966			
REV. DATE		NOT FOR CONSTRUCTION			

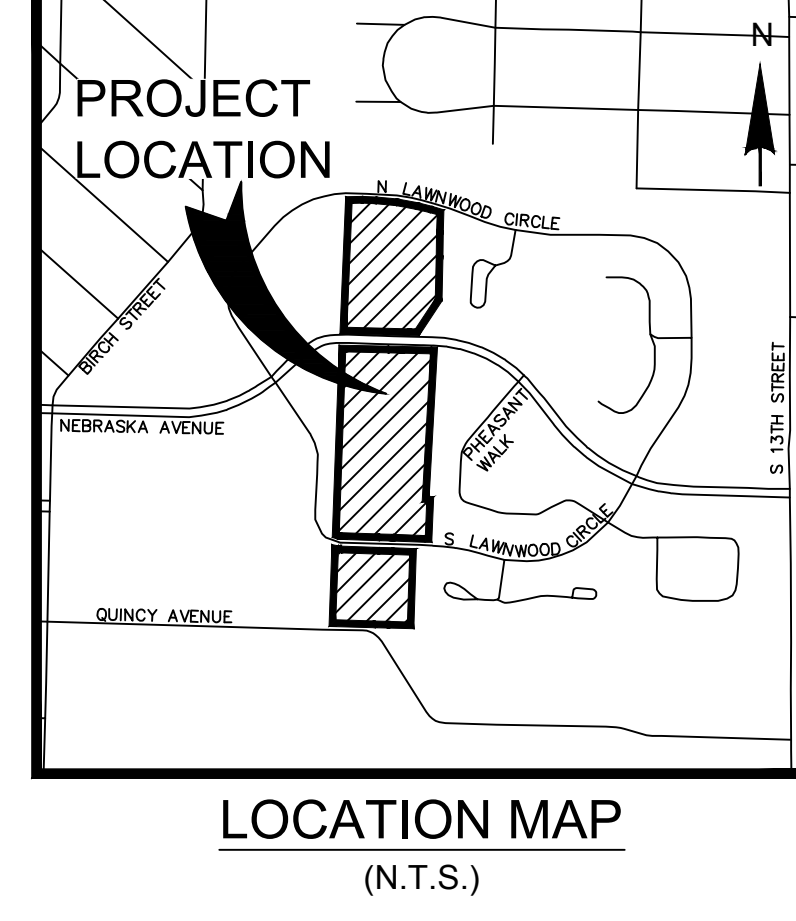
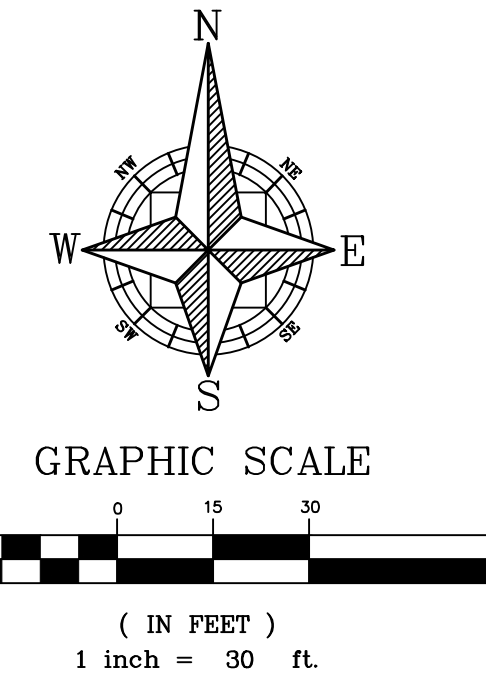
J:\38890\5.9 Drawings\591sc\Layouts\38890-LandscapePlan ALT.dwg Modified: 3/16/2016 By:becky.williams Plotted By:becky.williams



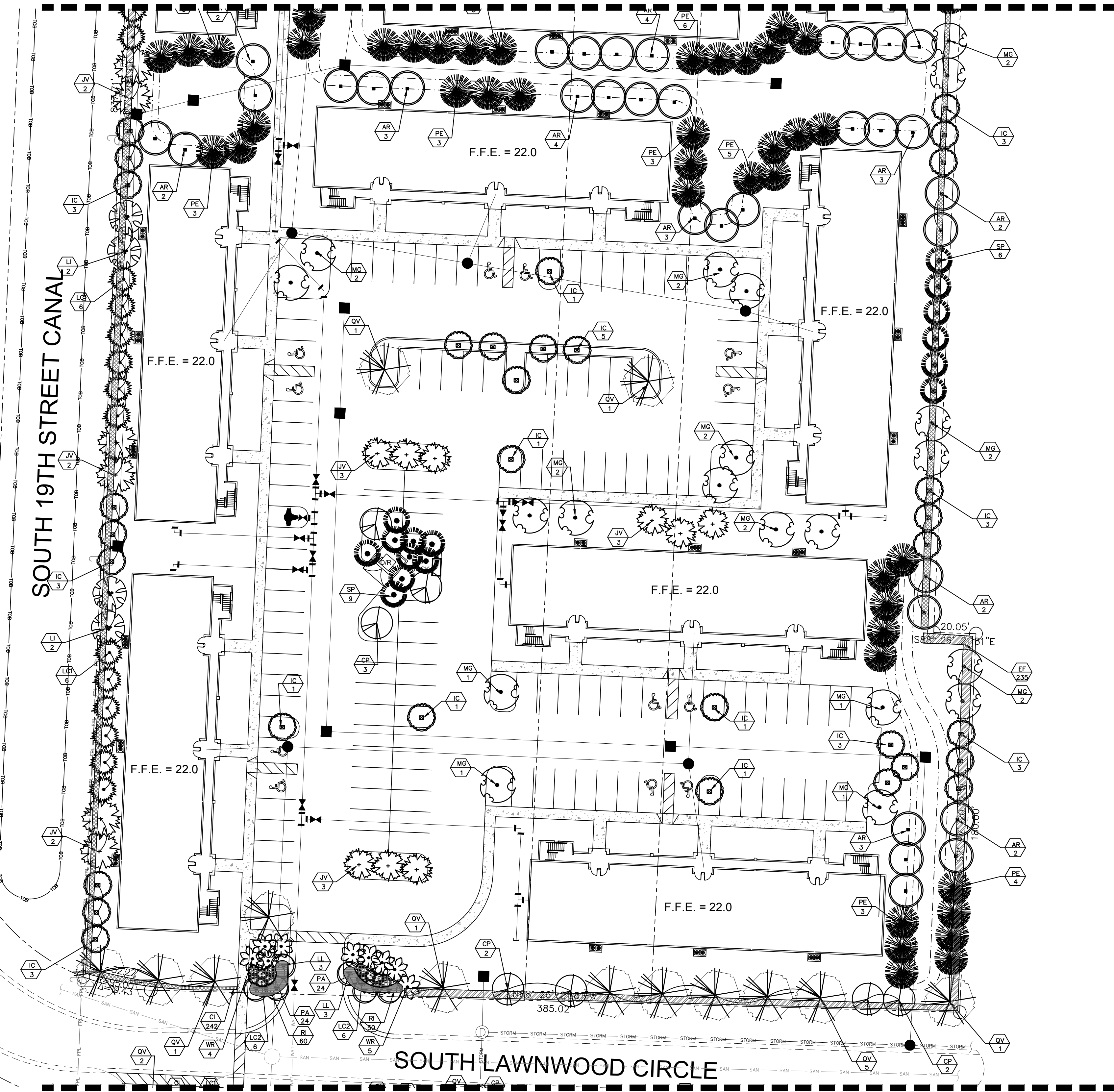
NOTE: SEE SHEET LA-1.0 FOR PLANT MATERIALS LIST.
 NOTE: ALL PROPOSED UNDERGROUND UTILITIES SHALL BE MODIFIED TO AVOID CONFLICTS WITH REQUIRED TREES IN LANDSCAPE ISLANDS / VUA AREAS. SEE ENGINEERING PLANS.

IBI GROUP (FLORIDA) INC. ENGINEERS ARCHITECTS SURVEYORS PLANNERS LANDSCAPE ARCHITECTS ENVIRONMENTAL CONSULTANTS 2200 PARK CENTRAL BLVD. N. SUITE 101 MAITLAND, FLORIDA 32751 (407) 866-2120 ORLANDO POMPANO BEACH	
MAYFAIR FORT PIERCE, FLORIDA LANDSCAPE PLAN	
SCALE: 1" = 30' PROJECT: 38890 SHEET: LA-1.1	DRAWN: BW DESIGNED: CHECKED: RW DATE: 3/16/2016
IBI GROUP FLORIDA ENGINEERING BUSINESS NO. 2966	
NOT FOR CONSTRUCTION 3/16/16	

MATCHLINE SEE SHEET LA-1.1



SOUTH 19TH STREET CANAL



SOUTH LAWNWOOD CIRCLE

MATCHLINE SEE SHEET LA-1.3

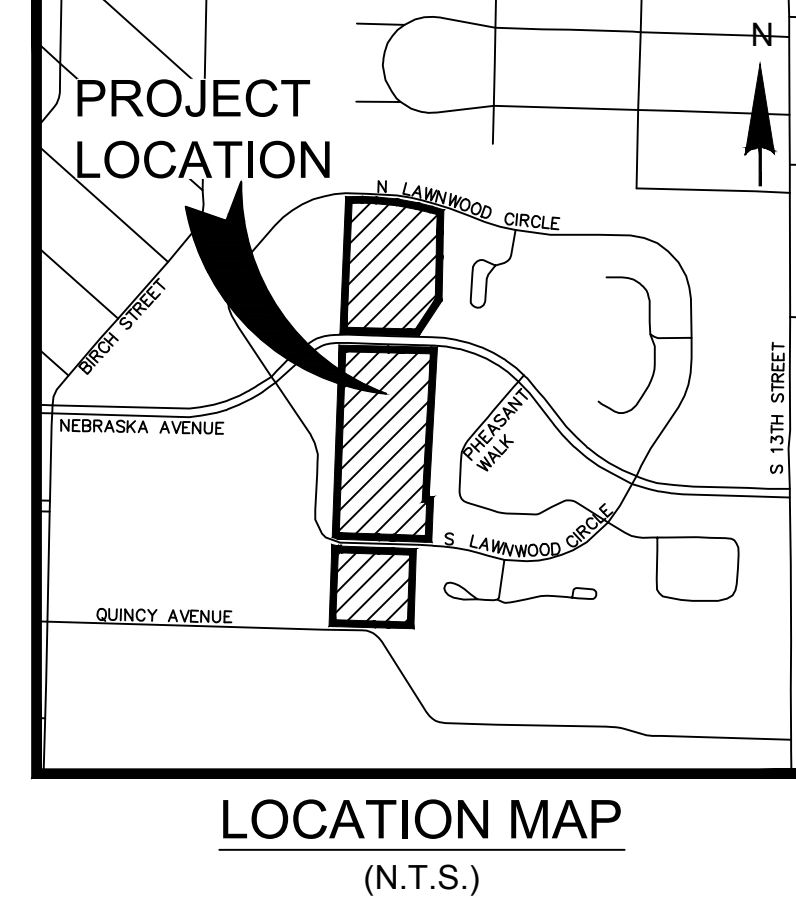
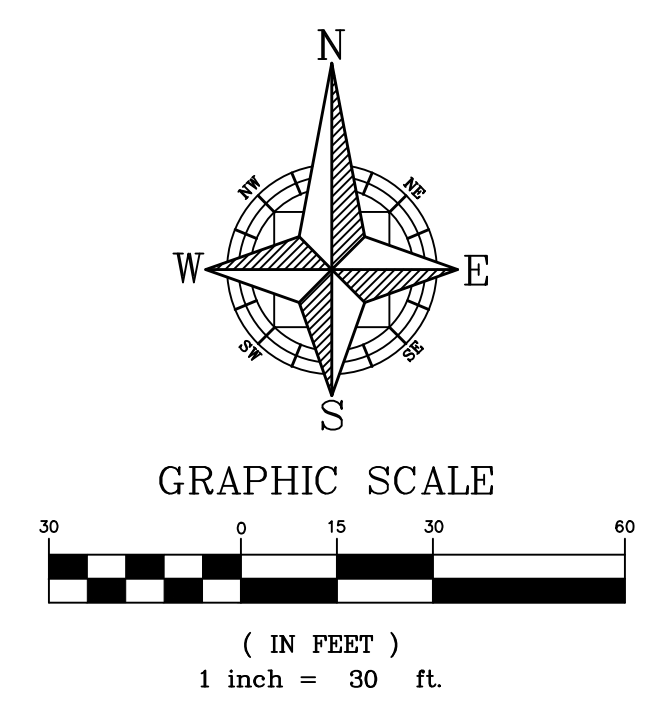
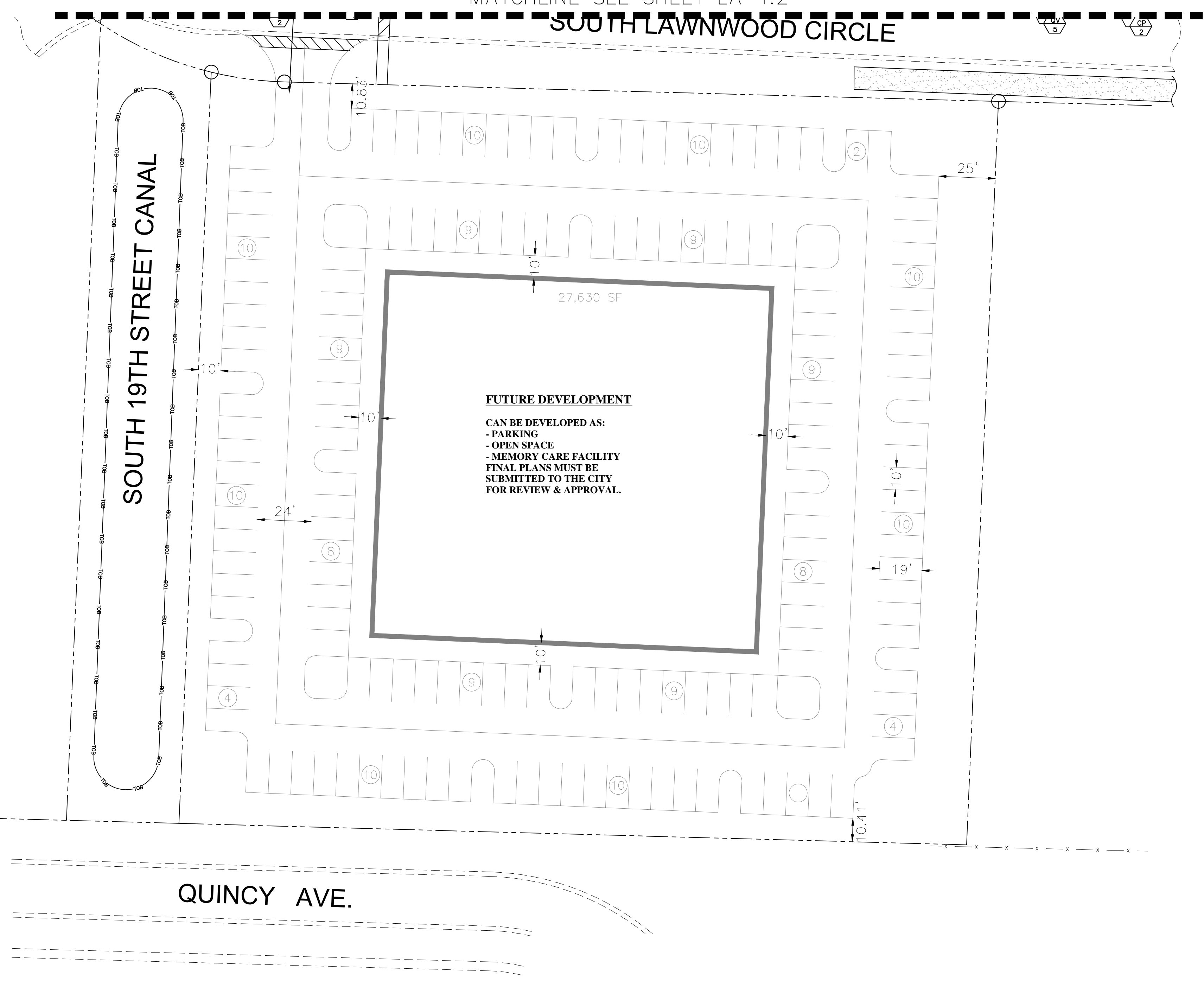
J:\38890\5.9 Drawings\Layouts\38890-LandscapePlan ALT.dwg Modified: 3/16/2016 By:becky.williams Plotted By:becky.williams

IBI GROUP (FLORIDA) INC. ENGINEERS ARCHITECTS SURVEYORS PLANNERS http://www.ibigroup.com ENVIRONMENTAL CONSULTANTS 2200 PARK CENTRAL BLVD. N. SUITE 301 POMPANO BEACH, FLORIDA 33064 (954) 974-2200 (407) 860-2120		ORLANDO POMPANO BEACH
MAYFAIR FORT PIERCE, FLORIDA		LANDSCAPE PLAN
SCALE 1" = 30' PROJECT 38890	DRAWN: BW DESIGNED: CHECKED: RW DATE: 3/16/2016	SHEET LA-1.2
IBI GROUP FLORIDA ENGINEERING BUSINESS NO. 2966		
NOT FOR CONSTRUCTION		
3/16/16		

NOTE: SEE SHEET LA-1.0 FOR PLANT MATERIALS LIST.
 NOTE: ALL PROPOSED UNDERGROUND UTILITIES SHALL BE MODIFIED TO AVOID CONFLICTS WITH REQUIRED TREES IN LANDSCAPE ISLANDS / VUA AREAS. SEE ENGINEERING PLANS.

J:\38890\5.9 Drawings\591sc\layouts\38890-LandscapePlan ALT.dwg Modified: 3/16/2016 By: becky.williams Plotted By: becky.williams

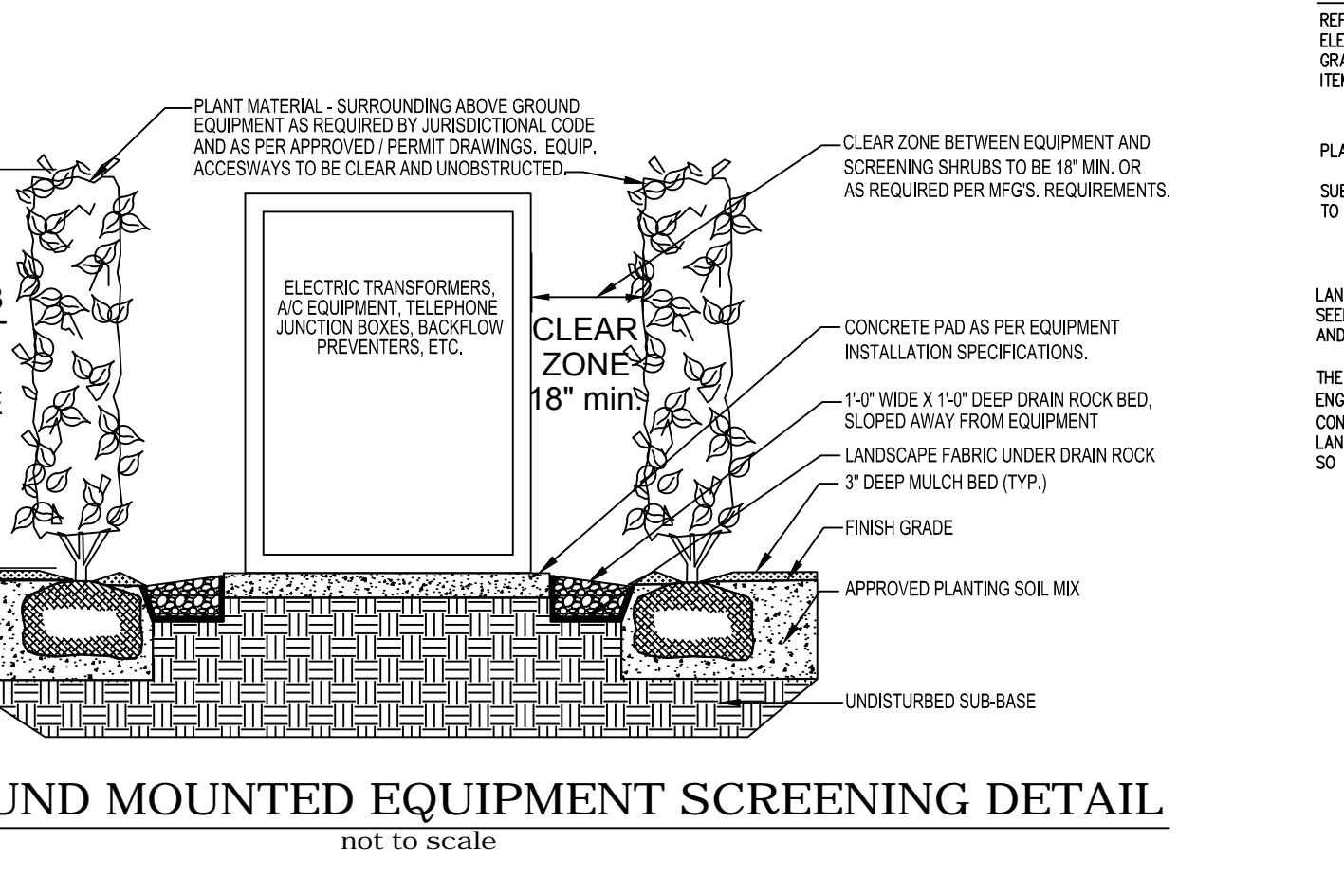
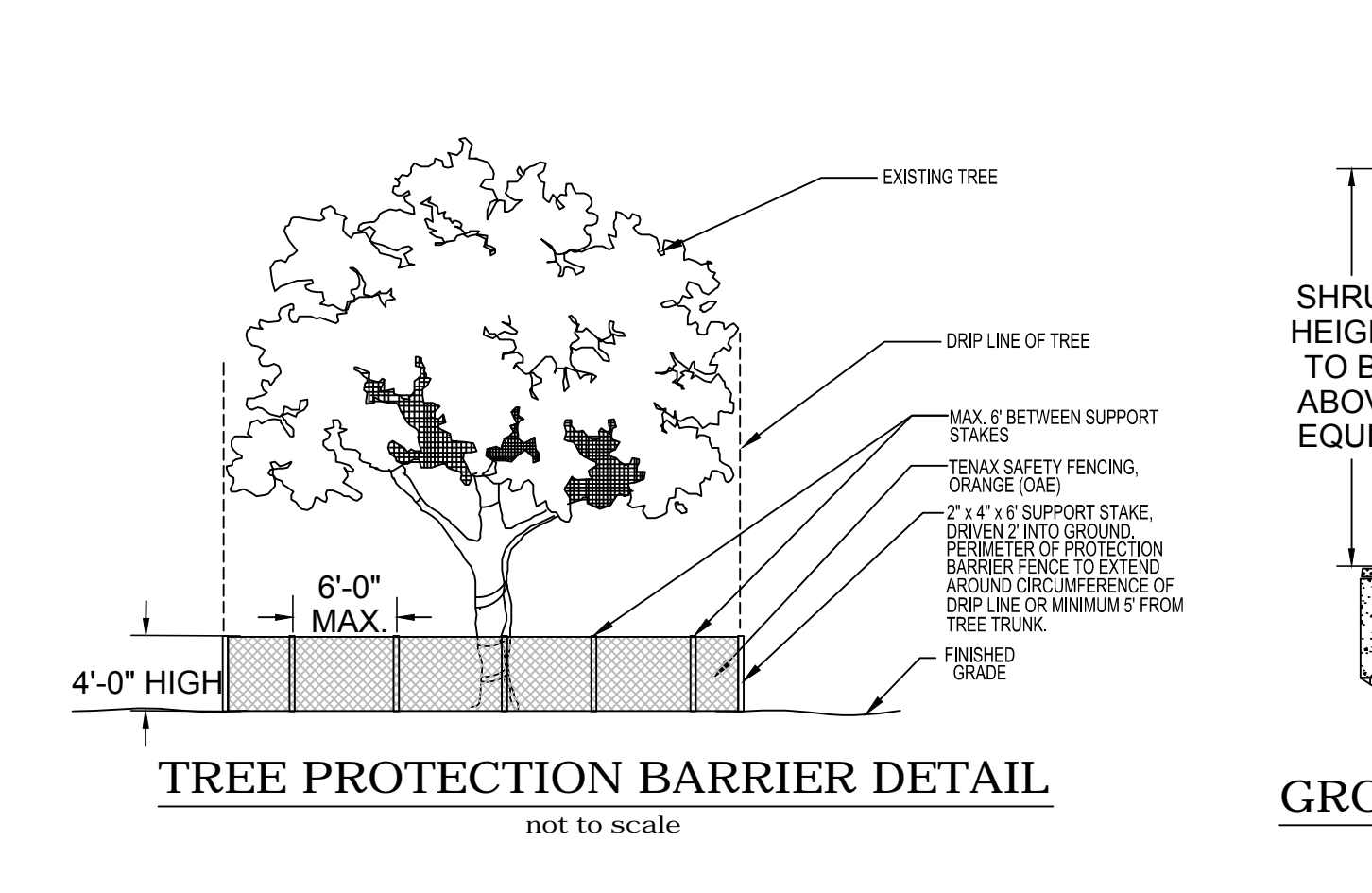
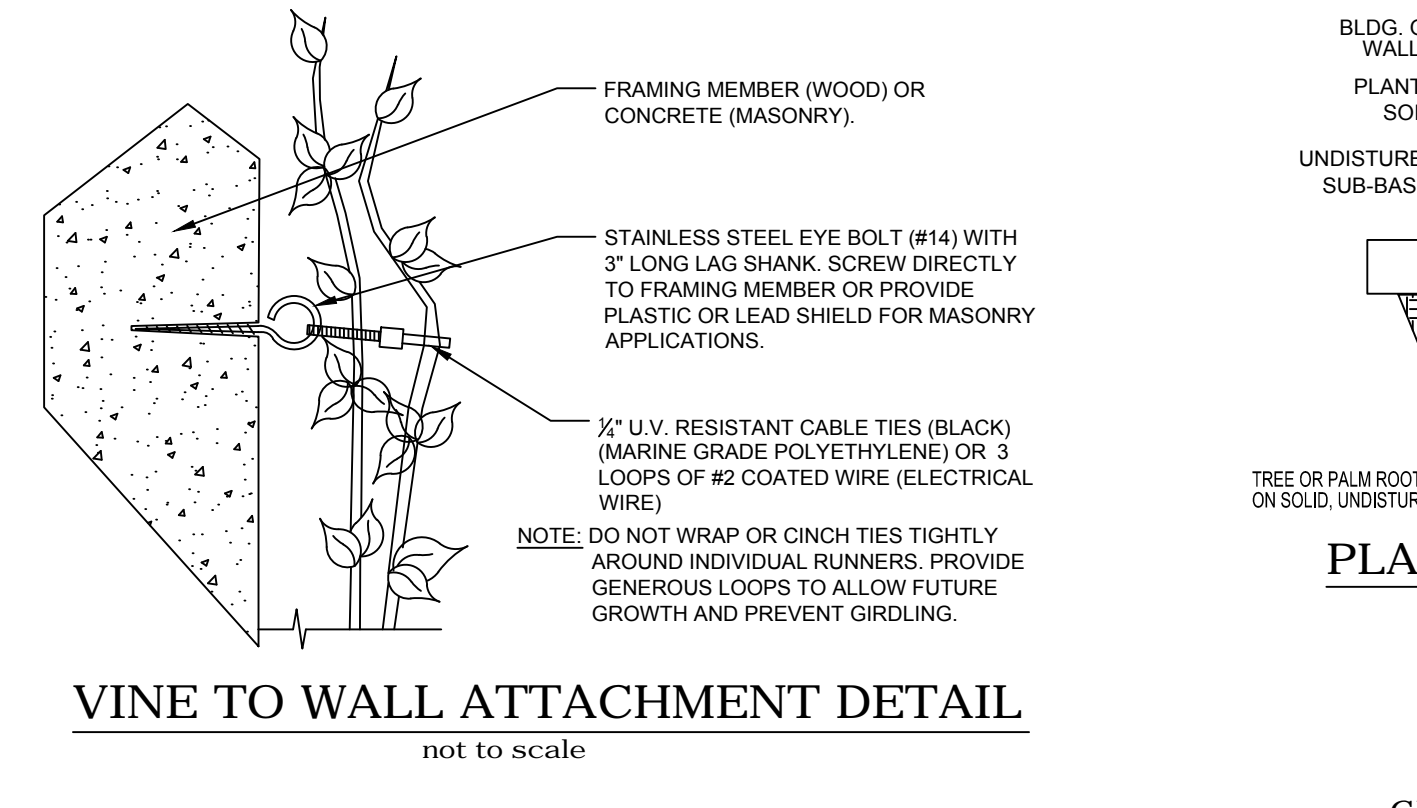
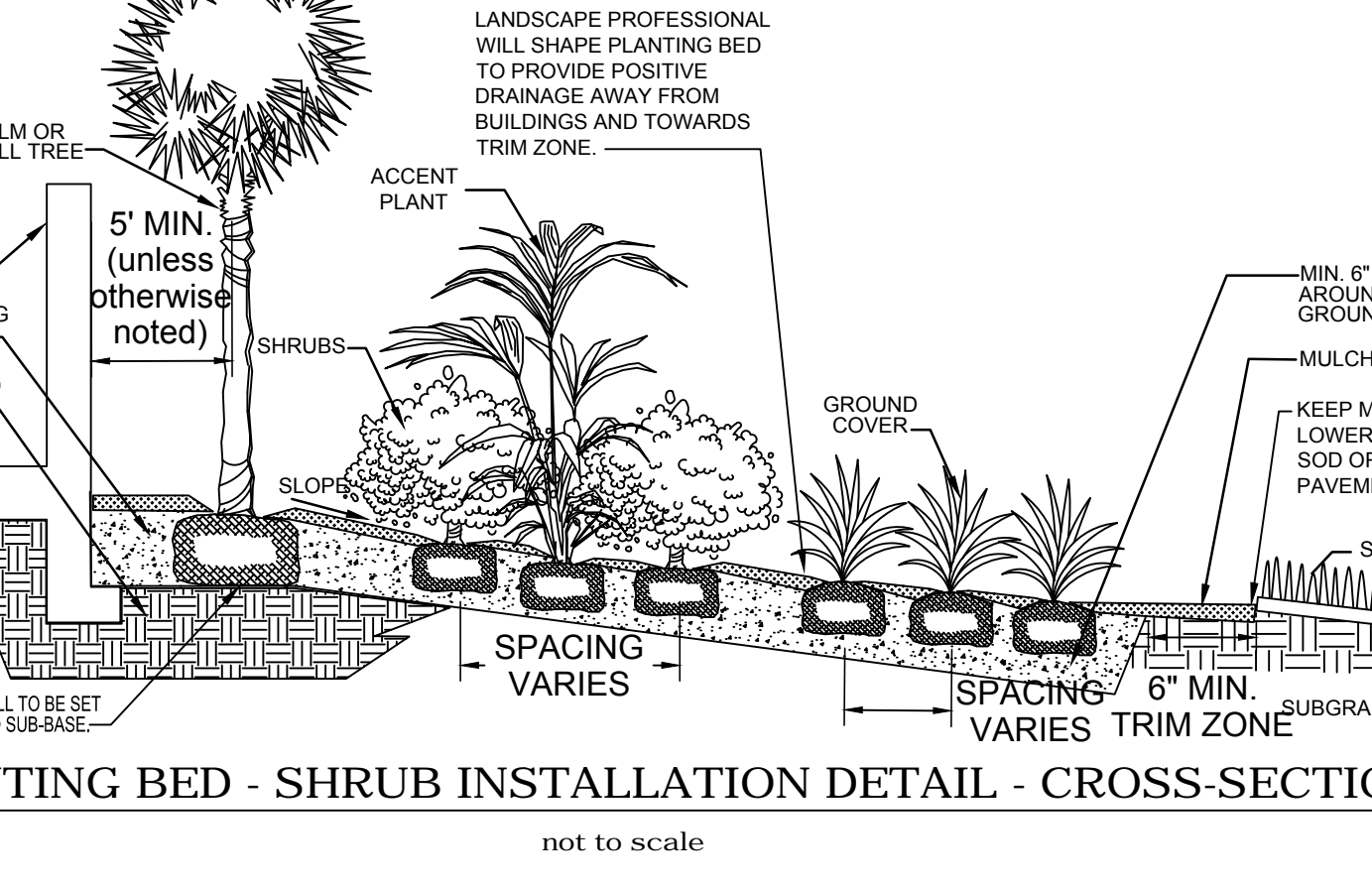
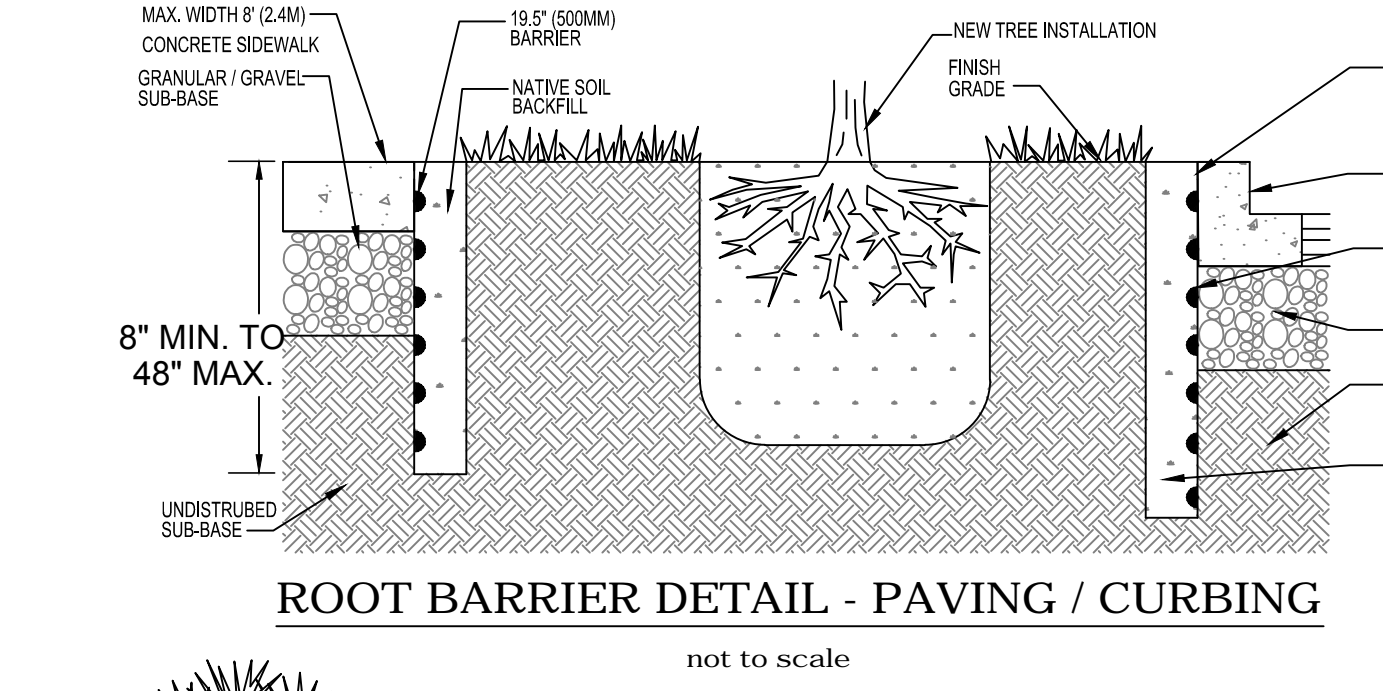
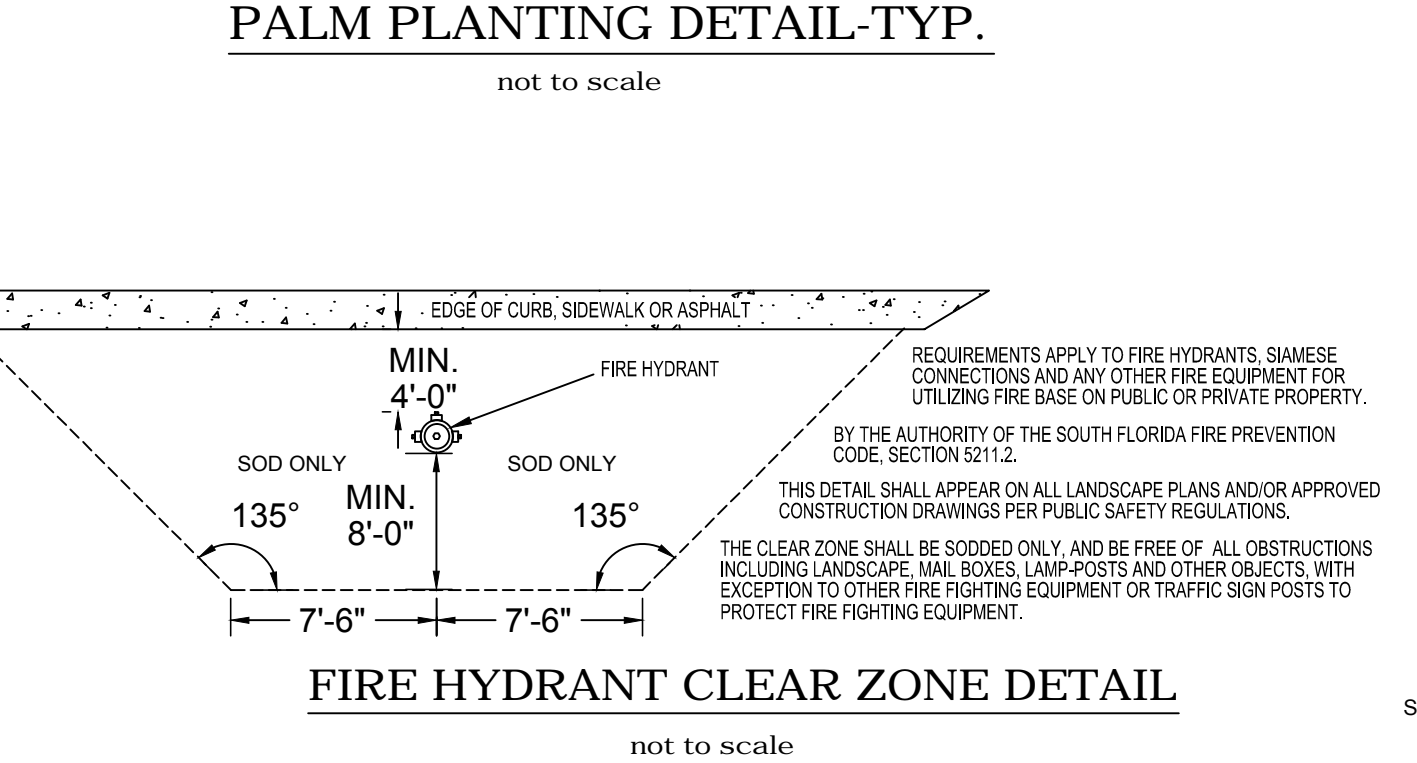
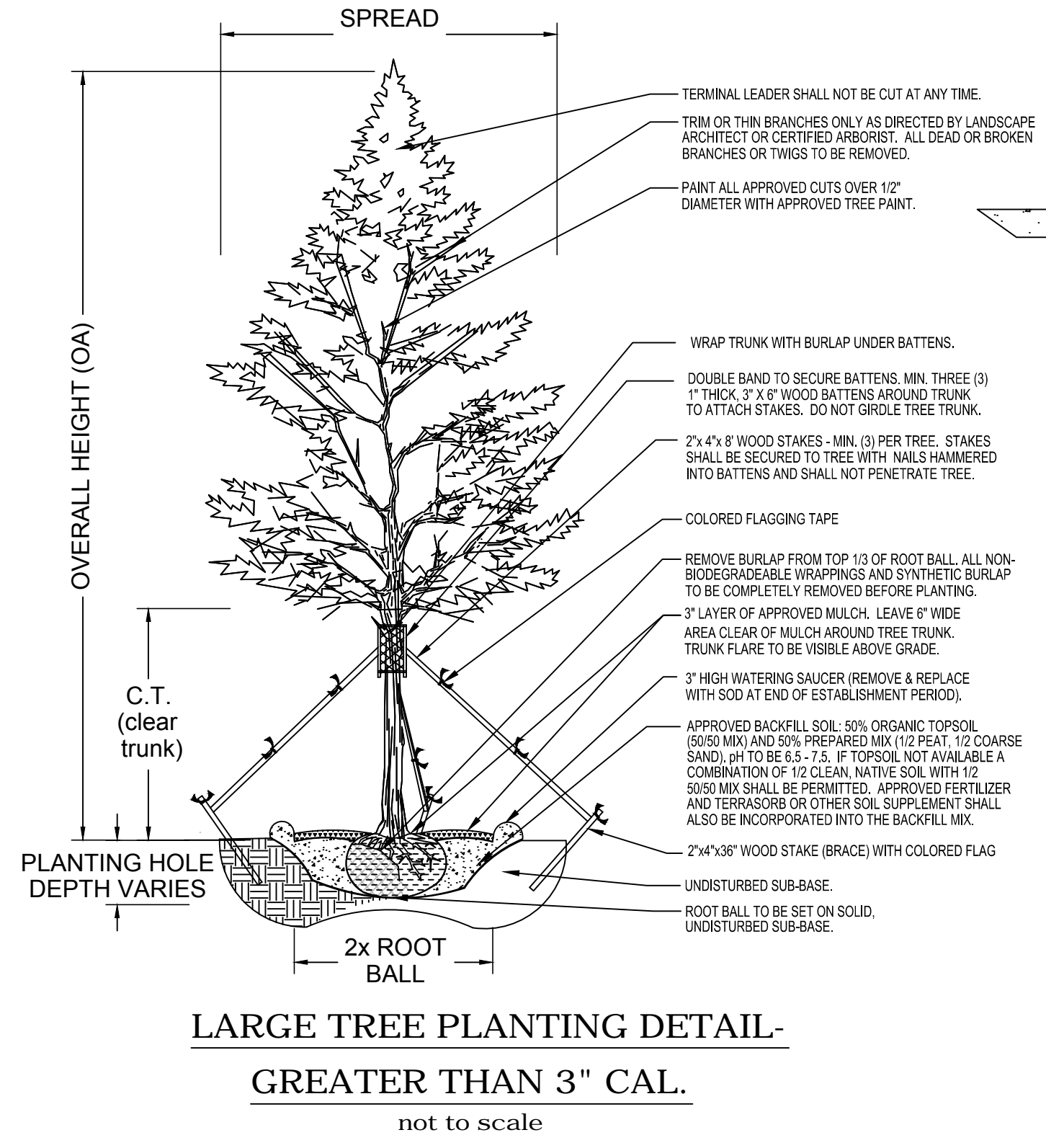
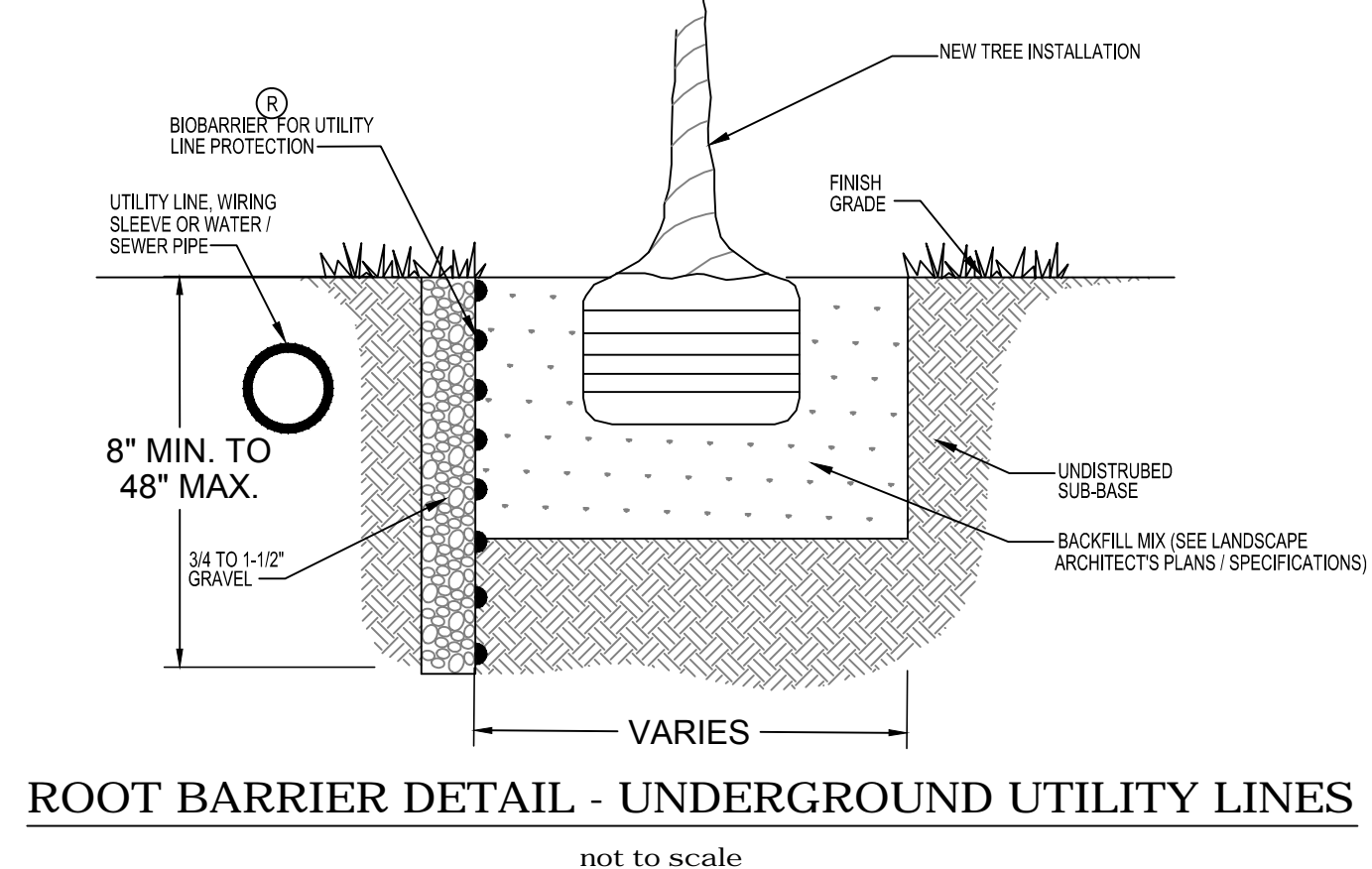
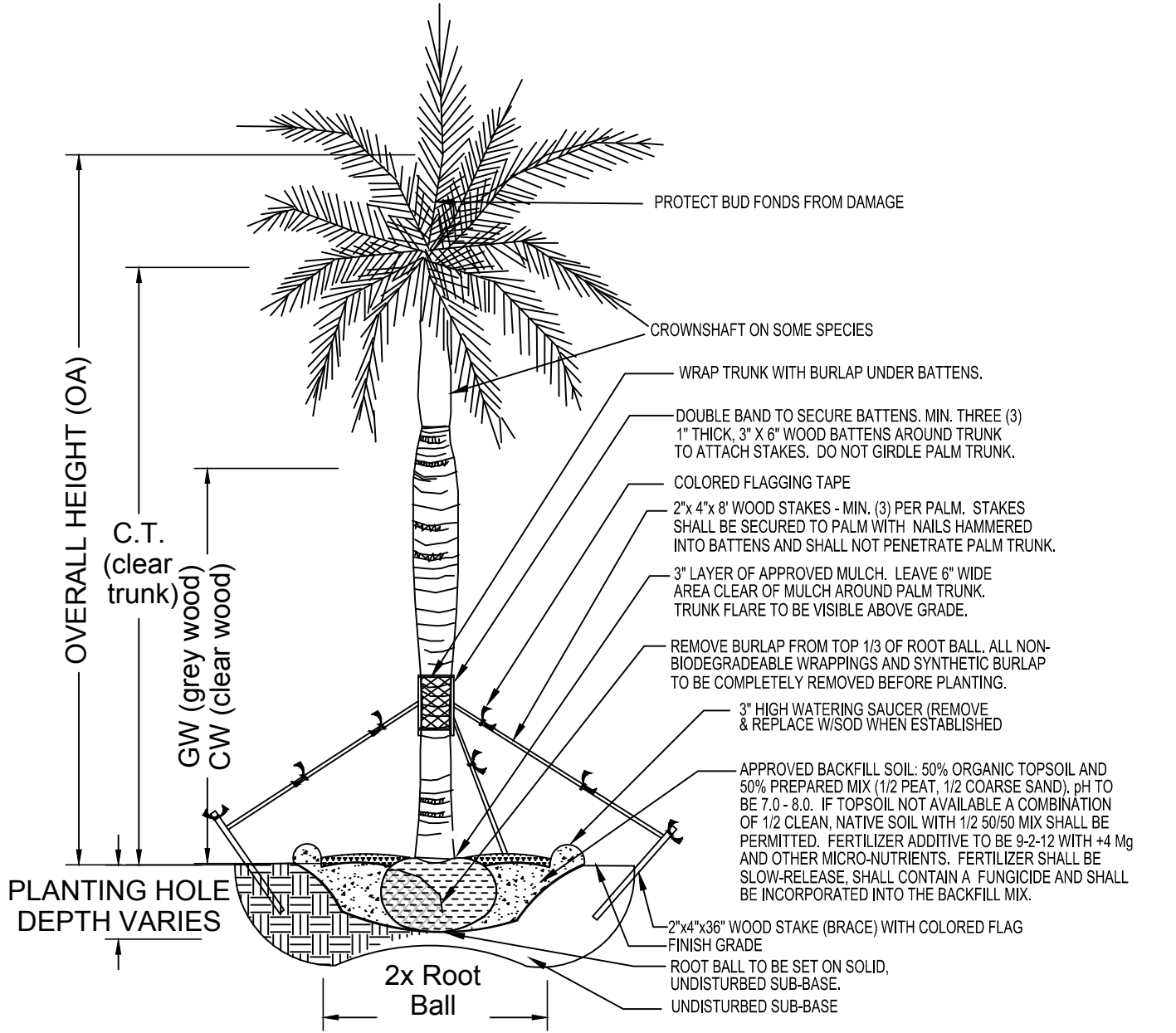
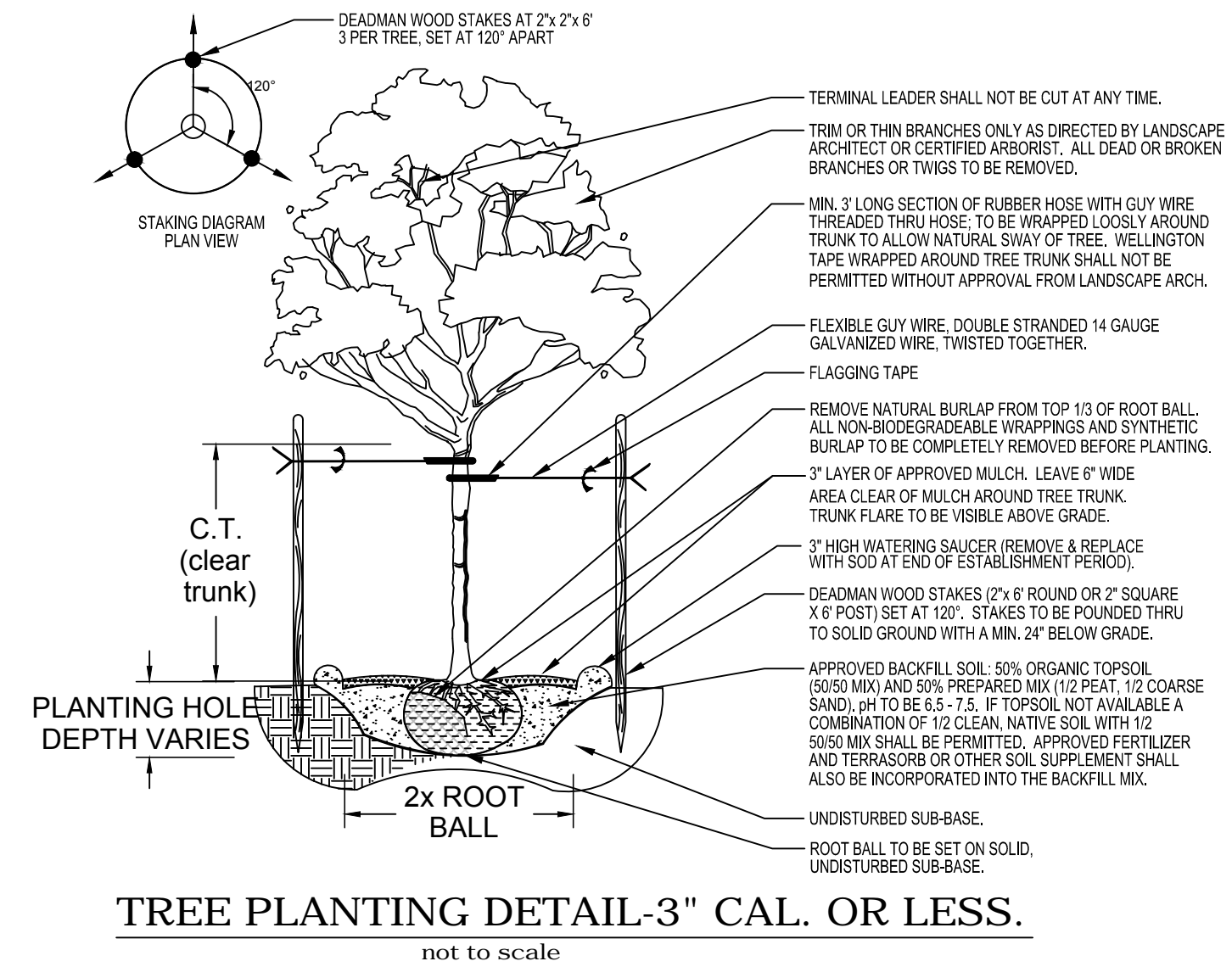
MATCHLINE SEE SHEET LA-1.2
SOUTH LAWNWOOD CIRCLE



QUINCY AVE.

<p>IBI GROUP (FLORIDA) INC. <small>ENGINEERS SURVEYORS PLANNERS LANDSCAPE ARCHITECTS ENVIRONMENTAL CONSULTANTS</small> <small>2300 MAILAND CENTER PARKWAY SUITE 101 FORT PIERCE, FLORIDA 33904 MAILING ADDRESS: SUITE 101 FORT PIERCE, FLORIDA 33904 (407) 860-2120</small></p>		<p>ORLANDO POMPANO BEACH</p>
<p>MAYFAIR FORT PIERCE, FLORIDA</p>		<p>LANDSCAPE PLAN</p>
<p>SCALE 1" = 30'</p>	<p>DRAWN: BW</p>	<p>DATE: 3/16/2016</p>
<p>PROJECT 38890</p>	<p>DESIGNED:</p>	
<p>SHEET LA-1.3</p>	<p>CHECKED: RW</p>	
<p>IBI GROUP FLORIDA ENGINEERING BUSINESS NO. 2966</p>		<p>DESCRIPTION</p>
<p>NOT FOR CONSTRUCTION</p>		<p>REV. DATE</p>

NOTE: SEE SHEET LA-1.0 FOR PLANT MATERIALS LIST.
NOTE: ALL PROPOSED UNDERGROUND UTILITIES SHALL BE MODIFIED TO AVOID CONFLICTS WITH REQUIRED TREES IN LANDSCAPE ISLANDS / VJA AREAS. SEE ENGINEERING PLANS.



GENERAL NOTES, LANDSCAPE INSTALLATION SPECIFICATIONS (cont.)

- THE CONTRACTOR SHALL EXCAVATE ALL UNDERGROUND UTILITY LINES AND ISLANDS TO A MIN. 2 1/2\"/>
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND UTILITIES WHICH ARE PROPERLY MARKED OR FOR WHICH HE HAS NOT OBTAINED PROPER MARKINGS THROUGH THE ONE CALL SYSTEM - 72 HOURS BEFORE DIGGING - CALL TOLL FREE 1 (800) 432-4270 OR FROM LOCAL UTILITY DEPARTMENTS. ALL ELECTRICAL, GAS, TELEPHONE, FIBER OPTICS, CABLE, WATER AND SEWER SERVICES LOCATED ON-SITE, OR ADJACENT PROPERTIES WITHIN 10' AND WITHIN ADJACENT R.O.W.'S SHALL BE CLEARLY MARKED.
- THE CONTRACTOR SHALL PROVIDE ALL PROPOSED PLANTS AT FLA #1 GRADE OR BETTER AS DESCRIBED IN GRADES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION AS PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, AND WILL PROVIDE CERTIFICATION FOR ANY AND ALL PLANTS IN DISPUTE. ALL PLANT MATERIAL PROVIDED SHALL MEET OR EXCEED THE MINIMUM SPECIFIED SIZE (HEIGHT, SPREAD, CALIPER, CLEAR TRUNK, ETC.) AS SHOWN ON THE LANDSCAPE PLANS. THE CONTRACTOR SHALL INSTALL PLANTS ACCORDING TO LANDSCAPE PLANS FOR SPACING AND PLACEMENT, AND PER THE LANDSCAPE DETAILS WITHOUT EXCEPTION. SHOULD ANY PLANT BE UNAVAILABLE THE CONTRACTOR WILL CONTACT THE LANDSCAPE ARCHITECT FOR RECOMMENDATIONS AND/OR APPROVAL OF ANY AND ALL SPECIES SUBSTITUTIONS.
- THE CONTRACTOR SHALL PROVIDE PROPER TRANSPORT AND DELIVERY OF PLANT MATERIAL TO THE JOB SITE. PLANT MATERIAL SHALL NOT BE DROPPED, SCARRED OR OTHERWISE DAMAGED AT ANY TIME. DAMAGED PLANT MATERIAL SHALL BE REJECTED BY THE OWNER OR OWNER'S REPRESENTATIVE, REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. ANY PLANTS OTHER THAN FLA #1 GRADE OR WITH INDICATIONS OF DISEASE, INSECT INFESTATION, BROKEN BRANCHES, LACK OF WATER, GRUBBING OR SCARRING AT DELIVERY SHALL BE REJECTED.
- THE CONTRACTOR SHALL PROVIDE CERTIFIED ST. AUGUSTINE FLORITAN SOIL, UNLESS OTHERWISE INDICATED, TO ALL OPEN AREAS INSIDE THE PROPERTY NOT RECEIVING PLANT MATERIAL OR OTHER FORM OF GROUND COVER, LIVING OR NON-LIVING. THE CONTRACTOR WILL PROVIDE SOIL TO ALL DAMAGED TURF AREAS, TO EDGE OF PAVEMENT AND TO THE EDGE OF WATER AT ALL WATER BODIES. ALL SOIL SEAMS WILL BE BUTT JOINTS WITH ADJACENT PROPERTIES DAMAGED BY LANDSCAPE INSTALLATION WORK, AND SHALL NOTIFY THE OWNER OF THE ADJACENT PROPERTY, AND OBTAIN PERMISSION TO PERFORM SOIL REPAIRS.
- THE CONTRACTOR SHALL PROVIDE IMPORTED ORGANIC BACKFILL MIX AS NOTED ON THE PLANTING DETAILS WHICH WILL BE FREE OF ALL DEBRIS AND STONES OVER 1\"/>
- THE CONTRACTOR WILL PROVIDE FERTILIZER FOR ALL PLANTS UPON INSTALLATION AS SPECIFIED ON THE PLANTING DETAILS. FERTILIZER WILL BE THOROUGHLY INCORPORATED INTO THE BACKFILL MIX.
- THE CONTRACTOR WILL PROVIDE "TERRASORB" OR OTHER APPROVED SOIL SUPPLEMENT (HUMECTANT AND HYDROSCOPIC COMPOUNDS), THOROUGHLY INCORPORATED INTO THE BACKFILL MIX ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS OR ALL PROPOSED PLANT MATERIAL IN EXISTING SANDY SOIL OR IN PAST DRAINING SITES. CONTRACTOR WILL BE FAMILIARIZED WITH THE SITE AND THE ENGINEERING SOIL REPORT.
- UNLESS OTHERWISE DICTATED BY CITY OR COUNTY CODE, THE CONTRACTOR SHALL LOCATE ALL TREES WITH A MATURE HEIGHT OF OVER 20' NO CLOSER THAN 15 FEET TO ANY LIGHT POLES. PALMS WILL NOT BE CLOSER THAN 10 FEET TO ANY LIGHT POLE. THE CONTRACTOR MAY FIELD ADJUST HORIZONTAL LOCATION OF TREES AND PALMS FOR BEST FIT WHEN COORDINATED WITH AND CONSENT GIVEN BY THE OWNER OR OWNER'S REPRESENTATIVE. THE LANDSCAPE/IRRIGATION CONTRACTOR SHALL NOT PROCEED WITH WORK UNTIL SITE LIGHTING LOCATIONS ARE COMPLETELY STAKED-OUT TO CONFIRM APPLICABLE SEPARATION.
- THE CONTRACTOR SHALL INSURE THAT ALL PLANT MATERIAL LOCATED WITHIN THE SIGHT TRIANGLE DISTANCE AREAS AT ROADWAY INTERSECTIONS AND ACCESS POINTS PROVIDE AN UNSTRUCTURED CROSS VISIBILITY AT A HORIZONTAL LEVEL BETWEEN 30\"/>
- THE CONTRACTOR SHALL INSURE THAT ALL TREES OR PALMS LOCATED ADJACENT TO ANY OVERHEAD POWER LINES BE INSTALLED IN ACCORDANCE WITH FLORIDA POWER AND LIGHTS' "RIGHT TREE, RIGHT PLACE" GUIDELINES. ANY INSTANCES OF INSUFFICIENT SEPARATION BETWEEN TREES OR PALMS AND OVERHEAD LINES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION BEFORE INSTALLATION.
- THE CONTRACTOR SHALL LOCATE ALL TREES AND PALMS CLEAR OF ALL TRAFFIC SIGNS AND IN SUCH A MANNER TO PREVENT BOTH THE TREE CANOPY AND PALM FRONDS FROM OBSTRUCTING ANY PORTION OF TRAFFIC SIGNS. THE LANDSCAPE/IRRIGATION CONTRACTOR SHALL NOT PROCEED WITH WORK UNTIL TRAFFIC SIGNS AND GUARDRAILS ARE COMPLETELY STAKED-OUT TO CONFIRM SEPARATION AND CLARITY OF SIGNS.
- THE CONTRACTOR WILL PROVIDE "WILT-PROOF" OR OTHER APPROVED SURFACANT TO BE SPRAYED ON ALL PROPOSED TREES AND PALMS IN AREAS OF SUSTAINED WINDS OF MORE THAN 10 KNOTS AND ALL COASTAL AREAS, ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS, TO PREVENT WINDSUNBURN AND EXCESSIVE WATER LOSS THROUGH TRANSPIRATION.
- THE CONTRACTOR SHALL INSTALL INTERIM SUPPLEMENTAL IRRIGATION, I.E. REGULAR THROUGH, DEEP WATERING, TO ALL INSTALLED PLANT MATERIAL UNTIL SUCH TIME AS THE IRRIGATION SYSTEM IS INSTALLED AND HAS BEEN INSPECTED BY THE LANDSCAPE ARCHITECT AND DEMONSTRATED TO BE 100% OPERATIONAL, OR UNTIL THE CITY OR COUNTY'S FINAL INSPECTION, ACCEPTANCE AND PERMIT CLOSE-OUT.
- THE CONTRACTOR SHALL PROVIDE ROOT BARRIER AT A VERTICAL DEPTH OF 18\"/>
- THE CONTRACTOR SHALL PROVIDE DIVING OR STAKING TO ALL TREES AND PALMS ACCORDING TO THE DETAILS SHOWN IN THIS SHEET. DIVING AND STAKING REQUIREMENTS WILL BE STRICTLY ENFORCED THROUGHOUT CONSTRUCTION AND THE WARRANTY PERIOD. ALL TREES AND PALMS WILL BE PLUMB VERTICAL AT TIME OF INSPECTION. ALL DIVING OR STAKING SHALL BE REMOVED AFTER NINE MONTHS OR AT THE END OF HURRICANE SEASON, WHICHEVER IS GREATER.
- THE CONTRACTOR SHALL PROVIDE APPROVED MULCH TO ALL TREES, SHRUBS AND PLANT BEDS. CONTRACTOR SHALL INSTALL MULCH AT A DEPTH OF 3\"/>
- THE CONTRACTOR WILL PROVIDE SCREEN HEDGE MATERIALS AT ALL PORTION MOUNTED, FREE-STANDING UTILITY EQUIPMENT OR ENCLOSURES SUCH AS TRANSFORMERS, AIR CONDITIONING COMPRESSORS, BACKFLOW PREVENTERS AND OTHER MECHANICAL EQUIPMENT. THE CONTRACTOR PROVIDING THE MATERIALS AT BID PRICE. SCREEN PLANT MATERIAL WILL BE LOCATED AT ALL NON-ACCESSIBLE PORTION OF SAID EQUIPMENT AND WILL BE EQUAL TO THE HEIGHT OF SUCH ELEMENTS (REFER TO GROUND MOUNTED EQUIPMENT SCREENING DETAIL). INSTALLATION SHALL BE PERFORMED PRIOR TO INSPECTION BY THE PERMITTING AGENCY. THE CONTRACTOR SHALL CONSULT WITH THE LANDSCAPE ARCHITECT FOR APPROPRIATE PLANT SPECIES, SIZE AND QUANTITY OF ALL SCREENING SHRUBS. THE CONTRACTOR SHALL SUBMIT A R.F.C.O. (REQUEST FOR CHANGE ORDER) FOR ALL ADDITIONAL REQUIRED SHRUBS TO SCREEN GROUND MOUNTED EQUIPMENT TO THE OWNER OR OWNER'S REPRESENTATIVE FOR CONSENT AND TO THE CITY FOR APPROVAL.
- THE CONTRACTOR WILL, WITH ALL QUOTATIONS OR PROPOSAL/AGREEMENTS, PROVIDE A BINDING LETTER AND WRITTEN REPLACEMENT WARRANTY FOR ALL INSTALLED PLANT MATERIAL AFTER FINAL INSPECTION AND ACCEPTANCE BY THE OWNER. WARRANTY SHALL BE FOR 1 YEAR FOR ALL TREES AND PALMS, 120 DAYS FOR SHRUBS. WHERE NON-TYPICAL COMPLETION CERTIFICATES OR ISSUES ARE ISSUED, CONTRACTOR MAY PETITION OWNER & AUTHORITY TO ACCEPT WORK IN CORRESPONDING INCREMENTAL SECTIONS. ALL PLANT MATERIAL SHALL NOT BE BOUND UNDER WARRANTY SHOULD IT BE CONFIRMED THAT DAMAGE OR DEATH TO PLANT MATERIAL BE THE RESULT OF AN "ACT OF GOD".
- THE CONTRACTOR WILL PROVIDE A WRITTEN AGREEMENT TO COVER THE WARRANTY PERIOD AT TIME OF THE COMPLETION, INSPECTION AND PRIOR TO FINAL ACCEPTANCE. CONTRACTOR SHALL ALSO DEFINE INSPECTION DATES AND TIMES THROUGHOUT THE WARRANTY PERIOD TO MONITOR PLANTING UNDER WARRANTY. MAINTENANCE AGREEMENT WORK SHALL BE PERFORMED BY A QUALIFIED LANDSCAPE/IRRIGATION CONTRACTOR.
- THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY OF OBTAINING FROM GROWERS STATEMENT, AND INTERSTATE, SPECIFIED PLANT MATERIALS IN ADVANCE OF RECEIVING SITE TO LANDSCAPE PROFESSIONAL. AMANDA OF THE CONTRACTOR PROVIDING THE MATERIALS AT BID PRICE. CONTRACTOR WILL PROVIDE OFF-SITE NURSERY FACILITIES FOR RECEIVING, MAINTAINING AND GROWING PLANT MATERIALS AT HIS OWN COST, WHEN SPECIAL CONDITIONS EXIST OR OTHER ARRANGEMENTS MUST BE MADE IN ORDER TO SUPPLY SPECIFIED PLANT MATERIALS. ONLY REGIONAL (FL-COUNTY) AGRICULTURAL DAMAGE AS DETERMINED BY FLORIDA D.O.A. AND/OR THE LOCAL COOPERATIVE EXTENSION SERVICE IN WRITING WILL BE CONSIDERED BY AUTHORITY. IN THIS CASE, THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING AND OBTAINING WRITTEN VERIFICATION FROM THE LANDSCAPE ARCHITECT AND THE PERMITTING JURISDICTION FOR ACCEPTABLE PLANT SUBSTITUTIONS.
- THE CONTRACTOR ACCEPTS THE LANDSCAPE PLAN, PLANT LIST, QUANTITIES AND SPECIFICATIONS CONTAINED HEREIN AS REQUIRED FOR SITE PLAN APPROVAL, ZONING AND LANDSCAPE PERMITTING. FINAL ARCHITECTURE, ENGINEERING IN PLANS AND UTILITY PROVIDERS MAY CREATE CONFLICTS AND OCCURRENCE OF DISCREPANCIES BETWEEN PLANT LOCATIONS, COUNTS ON PLAN, AND THE LIST. BIDDER AND CONTRACTORS SHALL REPORT IN WRITING ANY AND ALL DESIGN CONFLICTS TO THE LANDSCAPE ARCHITECT FOR RESOLUTION, AND AS REQUIRED BY CODE.

SIGNATURE OF CONTRACTOR/BIDDER _____ DATE _____
 COMPANY NAME, ADDRESS & PHONE _____
 CONTRACTOR AND/OR LANDSCAPE & IRRIGATION PROFESSIONAL MUST HAVE THIS SIGNED DRAWING IN THE BUILDING PERMIT SET OF PLANS AND THE JOB SITE SET OF PLANS AT ALL TIMES.

1. THE TERM "CONTRACTOR" REFERS TO THE PRINCIPAL COMPANY, OR OWNER/DEVELOPER, INCLUDING LANDSCAPING, OBLIGATED WITH THE RESPONSIBILITY FOR COORDINATING AND PERFORMING THE SITE WORK AND SECURING THE WORK OF SUBCONTRACTORS, DISCHARGING TO COMPLY WITH LOCAL BUILDING CODES AND ZONING ORDINANCES, AND WHICH IS THE ENTITY OF RECORD FOR OBTAINING PERMITS, SCHEDULING INSPECTIONS AND SECURING COMPLIANCE CERTIFICATES.

2. THE CONTRACTOR SHALL CUT, CLEAR, STUMP GRIND, EXCAVATE AND REMOVE ALL EXOTIC, INVASIVE AND DESIGNATED TREES FROM THE SITE AND AREAS THAT HAVE EVIDENCE OF PREVIOUSLY EXISTING TREES AND/OR PALMS; INCLUDES REMOVING DEBRIS, LITTER AND STONES OVER 1" DIAMETER.

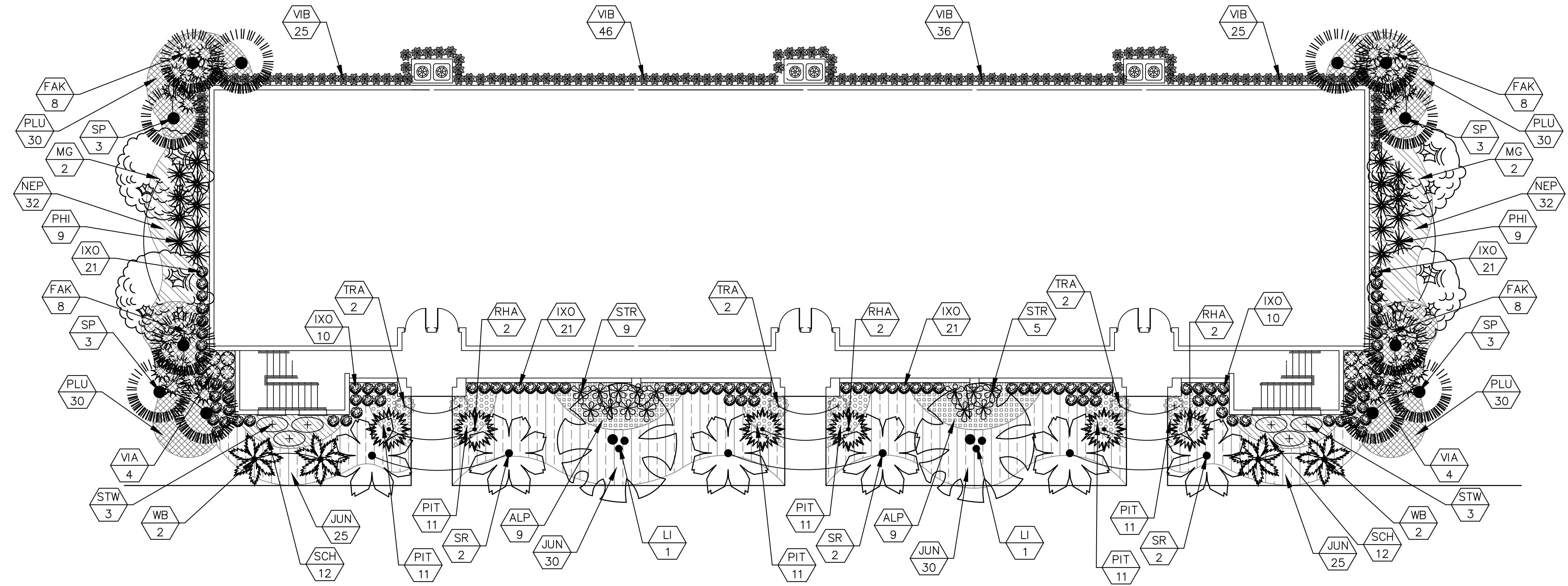
3. THE CONTRACTOR SHALL REFER TO ALL TREE PRESERVATION PLANS, DETAILS AND SPECIFICATIONS IN CONJUNCTION WITH THE SITE PROJECT TO LOCATE AND TAG ANY AND ALL EXISTING TREES AND/OR PALMS PROPOSED FOR PRESERVATION OR RELOCATION. THE CONTRACTOR SHALL ADHERE TO ALL DIRECTIVES AND AS SHOWN ON THE TREE PRESERVATION PLANS REGARDING ALL TREE OR PALM RELOCATIONS AND TREE REMOVAL.

IBI GROUP (FLORIDA) INC. http://www.ibigroup.com		PLANNERS	ENVIRONMENTAL CONSULTANTS
ENGINEERS	LANDSCAPE ARCHITECTS	SURVEYORS	PLANNERS
2200 PARK CENTRAL BLVD. N. SUITE 100 POMPAHO BEACH, FLORIDA 32064 (954) 860-2120		POMPAHO BEACH	
MAYFAIR FORT PIERCE, FLORIDA		LANDSCAPE DETAILS AND NOTES	
DRAWN: BW	DESIGNED:	CHECKED: RW	DATE: 3/16/2016
SCALE: 1" = 60'	PROJECT: 38890	SHEET: LA-2.0	
IBI GROUP FLORIDA ENGINEERING BUSINESS NO. 2966		NOT FOR CONSTRUCTION	

j:\38890\5.9 Drawings\591pac\layouts\38890-LandscapePlan_ALT.dwg Modified: 3/16/2016 By:becky.williams Plotted By:becky.williams

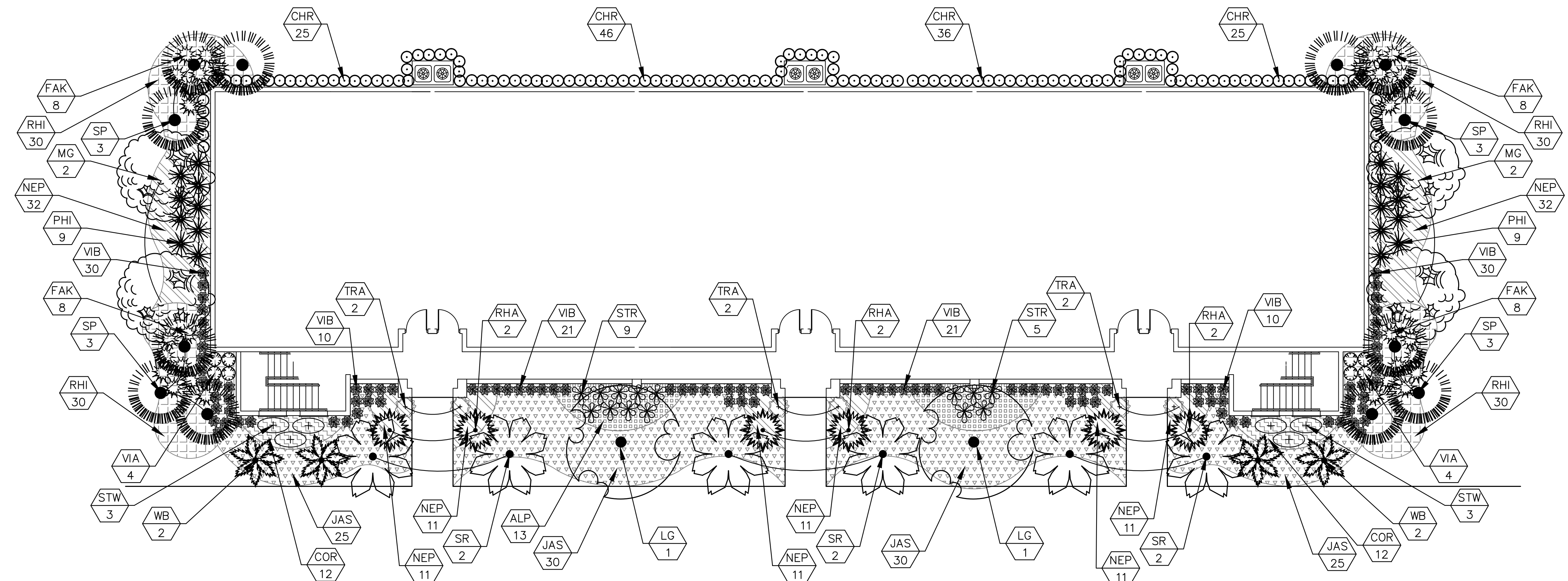
12 Unit Typical Plant List

	Sym	Key Qty.	Crt.	Scientific/Common Name	Ht.	Spr.	Remarks
Trees and Palms	SR	6	1:1	QUEEN PALM STAGRUS ROMANOFFIANA	12'	GW	12' GW, MATCHED FULL HEAVY HEADS NO SCARRED TRUNKS
	WB	4	1:1	FOXTAIL PALM WODYETIA BIFURCATA	6'	GW	6' GREY WOOD, MATCHING HEADS MIN. 9 FRONDS, NO SCARRED TRUNKS
	SP	12	3:1	SABAL PALM SABAL PALMETTO 'WIBOOTS'	8'-10'		VARIED HEIGHTS, BOOTED TRUNKS MINIMUM 8' CT. TRUNKS WITH 4 STAGGERED FULL HEADS
	LI	2	1:1	CREPE MYRTLE LASESTROEMIA INDICA	10'	5'	MULTI-TRUNK STANDARD, 3 TRUNKS MINIMUM MIN. 4' CT., FULL MATCHED
	MG	4	1:1	'LITTLE GEM' MAGNOLIA MAGNOLIA GRANDIFLORA 'LITTLE GEM'	12'	5'	SINGLE STRAIGHT TRUNK, 2.5" D.B.H. MIN. 5' CT.
	LG	2		WAX LIGUSTRUM LIGUSTRUM LUCIDUM	8'	5'	MULTI-TRUNK STANDARD 5 TRUNKS MINIMUM MIN. 4' CT., FULL MATCHED
Accents	STW	6		WHITE BIRD OF PARADISE STRELTZIA NICOLAI	36"	36"	7 STEMS MIN. MATCHED 7 GALLON
	STR	14		DWARF BIRD OF PARADISE STRELTZIA REGINAE	48"	48"	7 GALLON, FULL MIN. 6.5 FRONDS
	RHA	6		LADY PALM RHAPIS EXCELSA	48"	36"	7 GALLON, FULL TO BASE MATCHED
	ALP	18		VARIEGATED SHELL GINGER ALPINA ZERUMBET 'VAREGATA'	18"	24"	FULL TO BASE MIN. 3 GALLON, 36" O.C.
	COR	24		HAWAIIAN TI PLANT CORDYLINE TERMINALIS 'BOLERO'	36"	24"	FULL 5 STEMS MIN. 3 GALLON
Shrubs and Hedging	VIA	8		AWABUKI VIBURNUM VIBURNUM ODORATISSIMUM 'AWABUKI'	36"	30"	FULL TO BASE 3 GALLON, 36" O.C.
	PHI	16		PHILODENDRON PHILODENDRON SELLOUM	42"	36"	FULL TO BASE MIN. 7 GALLON, 48" O.C.
	IXO	104		IXORA IXORA COCCINEA 'JUNGLE FLAME'	24"	24"	FULL TO BASE 3 GALLON, 24" O.C.
	VIB	132		SANDAKWIA VIBURNUM VIBURNUM SUSPENSUM	24"	24"	FULL TO BASE 3 GALLON, 24" O.C.
	FAK	32		FAKAMATCHEE GRASS TRIPSACUM DACTYLOIDES	24"	24"	FULL TO BASE, MATCHED 3 GALLON, 36" O.C.
	CHR	132		COCOPALM CHRYSOBALANUS ICAGO	24"	24"	FULL TO BASE 3 GALLON, 24" O.C.
Groundcovers	PLU	120		PLUMBAGO PLUMBAGO AURICULATA 'IMPERIAL BLUE'	18"	18"	FULL TO BASE 3 GALLON, 24" O.C.
	JAS	110		WAX JASMINE JASMINUM VOLUBILE	18"	18"	FULL 1 GALLON, 18" O.C.
	NEP	130		FISHTAIL FERN NEPHROLEPIS FALCATA 'FURCANS'	12"	12"	FULL 1 GALLON, 18" O.C.
	SCH	24		VARIEGATED SCHEFFLERA SCHEFFLERA ARBORICOLA 'VAREGATA'	24"	18"	FULL TO BASE MIN. 3 GALLON, 24" O.C.
	PIT	66		VARIEGATED TOBIRA PITTOSPRUM PITTOSPORUM TOBIRA 'VAREGATA'	8"	8"	FULL TO BASE 1 GALLON, 18" O.C.
	RHI	120		INDIAN HAWTHORN 'WHITE' RHAPHIOLEPIS INDICA 'ALBA'	18"	18"	FULL TO BASE 3 GALLON, 24" O.C.
	JUN	110		BLUE RUG JUNIPER JUNIPERUS HORIZONTALIS 'WILTONII'	12"	18"	FULL TO BASE 3 GALLON, 24" O.C.
	TRA	6		CONFEDERATE JASMINE TRACHELOSPERMUM JASMINOIDES			3 GALLON, FULL MIN. 5 RUNNERS, MIN. 30" LONG ATTACH TO FENCE / TRELLIS
	SOD	SOD	XX,XXX S.F.	ST. AUGUSTINE FLORATUM STENOCHAPRUM SECUNDATUM			SOLID SOD STAGGER SEAMS FIELD VERIFY SOD AREAS



SUN EXPOSURE

12 UNITS



SHADE EXPOSURE

12 UNITS

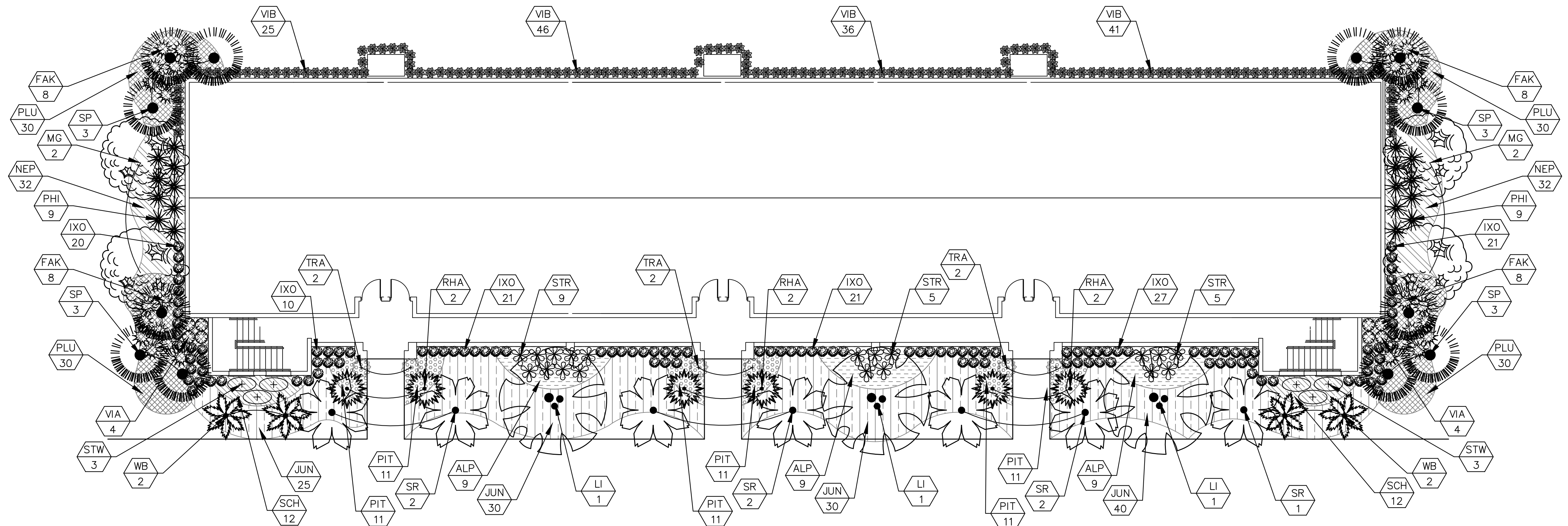
IBI GROUP (FLORIDA) INC. ENGINEERS ARCHITECTS SURVEYORS PLANNERS LANDSCAPE ARCHITECTS ENVIRONMENTAL CONSULTANTS 2200 PARK CENTRAL BLVD. N. SUITE 100 MAITLAND, FLORIDA 32751 (407) 660-2120 ORLANDO POMPANO BEACH	
MAYFAIR FORT PIERCE, FLORIDA LANDSCAPE TYPICALS	
DRAWN: BW DESIGNED: BW CHECKED: RW DATE: 3/16/2016	SCALE: 1" = 10' PROJECT: 38890 SHEET: LA-2.1 NOT FOR CONSTRUCTION 3/16/16
IBI GROUP FLORIDA ENGINEERING BUSINESS NO. 2966	

J:\38890\5.9 Drawings\591sc\Layouts\38890-LandscapePlan_ALT.dwg Modified: 3/16/2016 By:becky.williams Plotted By:becky.williams

J:\38890\5.9 Drawings\591sc\Layouts\38890-LandscapePlan_ALT.dwg Modified: 3/16/2016 By: becky.williams Plotted By: becky.williams

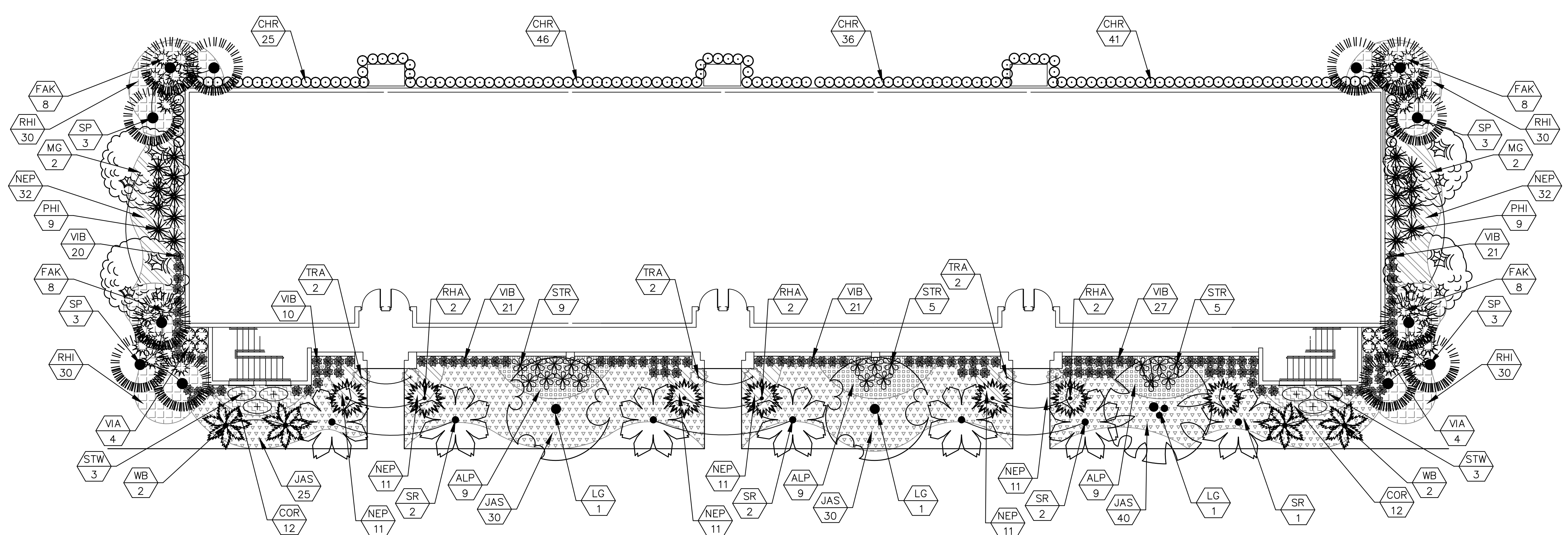
14 Unit Typical Plant List

Sym	Key	Qty.	Crt.	Scientific/Common Name	Ht.	Spr.	Remarks
Trees and Palms							
BR	6	11		QUEEN PALM SYAGRUS ROMANOFFIANA	12' GW		12' GW, MATCHED, FULL HEAVY HEADS, NO SCARRED TRUNKS
WB	4	11		FOXTAIL PALM WOODYETIA BIFURCATA	6' GW		6' GREY WOOD, MATCHING HEADS, MIN. 9' FRONDS, NO SCARRED TRUNKS
SP	12	31		SABAL PALM SABAL PALMETTO 'WIBOOT'S'	6'-10'		VARIED HEIGHTS, BOOTED TRUNKS, MINIMUM 5' CT, TRUNKS WITH 4 STAGGERED FULL HEADS
LI	2	11		CREPE MYRTLE LAGERSTROEMIA INDICA	10'	5'	MULTI TRUNK STANDARD, 3 TRUNKS MINIMUM, MIN. 4' CT., FULL MATCHED
MG	4	11		LITTLE GEM MAGNOLIA MAGNOLIA GRANDIFLORA 'LITTLE GEM'	12'	5'	SINGLE STRAIGHT TRUNK, 2.5" D.B.H. MIN. 5' CT.
LG	2			WAX LIGUSTRUM LIGUSTRUM LUCIDUM	8'	5'	MULTI TRUNK STANDARD, 3 TRUNKS MINIMUM, MIN. 4' CT., FULL MATCHED
Accents							
STW	6			WHITE BIRD OF PARADISE STRELTZIA NICOLAI	36"	36"	7 STEMS MIN, MATCHED 7 GALLON
STR	19			DWARF BIRD OF PARADISE STRELTZIA REGINAE	48"	48"	7 GALLON, FULL, MIN. 8" FRONDS
RHA	6			LADY PALM RHAPIS EXCELSA	48"	36"	7 GALLON, FULL TO BASE, MATCHED
ALP	27			VAREGATED SHELL GINGER ALPINA ZERUMBEI 'VAREGATA'	18"	24"	FULL TO BASE, MIN. 3 GALLON, 36" O.C.
COR	24			HAWAIIAN TI PLANT CORDYLINE TERMINALIS 'BOLERO'	36"	24"	FULL 5 STEMS MIN, 3 GALLON
Shrubs and Hedging							
VIA	6			AWABUKU VIBURNUM VIBURNUM COCAOTISSIMUM 'AWABUKU'	36"	30"	FULL TO BASE, 3 GALLON, 36" O.C.
PHI	18			PHILODENDRON PHILODENDRON SELLOUM	42"	36"	FULL TO BASE, MIN. 7 GALLON, 48" O.C.
IXO	120			IXORA IXORA COCCINEA 'JUNGLE FLAME'	24"	24"	FULL TO BASE, 3 GALLON, 24" O.C.
VIB	148			SANDANKWA VIBURNUM VIBURNUM SUSPENSUM	24"	24"	FULL TO BASE, 3 GALLON, 24" O.C.
FAK	32			FAKAHATCHEE GRASS TRIPLODIUM DACTYLOIDES	24"	24"	FULL TO BASE, MATCHED 3 GALLON, 36" O.C.
CHR	148			COCOPLUM CHRYSOBALANUS ICADO	24"	24"	FULL TO BASE, 3 GALLON, 24" O.C.
Groundcovers							
PLU	120			PLUMBAGO PLUMBAGO AURICULATA 'IMPERIAL BLUE'	18"	18"	FULL TO BASE, 3 GALLON, 24" O.C.
JAS	125			WAX JASMINE JASMINUM VOLUBILE	18"	18"	FULL 1 GALLON, 18" O.C.
NEP	130			FISHTAIL FERN NEPHROLEPS FALCATA 'FURCANS'	12"	12"	FULL 1 GALLON, 18" O.C.
SCH	24			VAREGATED SCHEFFLERA SCHEFFLERA ARBORESCENS 'VAREGATA'	24"	18"	FULL TO BASE, MIN. 3 GALLON, 24" O.C.
PIT	66			VAREGATED 'OSBA' PITTOSPORUM PITTOSPORUM TOBIRA 'VAREGATA'	8"	8"	FULL TO BASE, 1 GALLON, 18" O.C.
RHI	120			INDIAN HAWTHORN 'WHITE' RHAPHIOLEPS INDICA 'ALBA'	18"	18"	FULL TO BASE, 3 GALLON, 24" O.C.
JUN	125			BLUE RUG JUNPER JUNIPERUS HORIZONTALIS 'WILTONI'	12"	18"	FULL TO BASE, 3 GALLON, 24" O.C.
TRA	6			CONFEDERATE JASMINE TRACHELOSPERMUM JASMINOIDES			3 GALLON, FULL, MIN. 2 BRANCHES, MIN. 30" LONG, ATTACH TO FENCE/TRELLIS
SOD	SOD	XXXXX	S.T.	ST. AUGUSTINE FLORATUM STENOCHAPRUM SECUNDATUM			SOLID SOD, STAGGER SEAMS, FIELD VERIFY SOD AREAS



SUN EXPOSURE

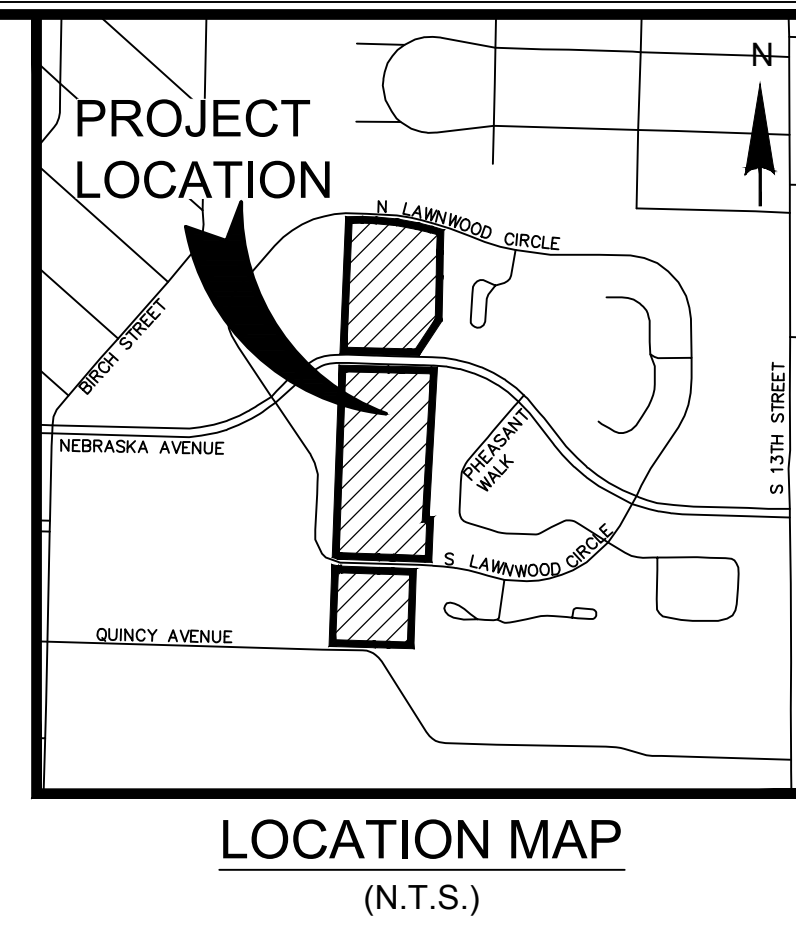
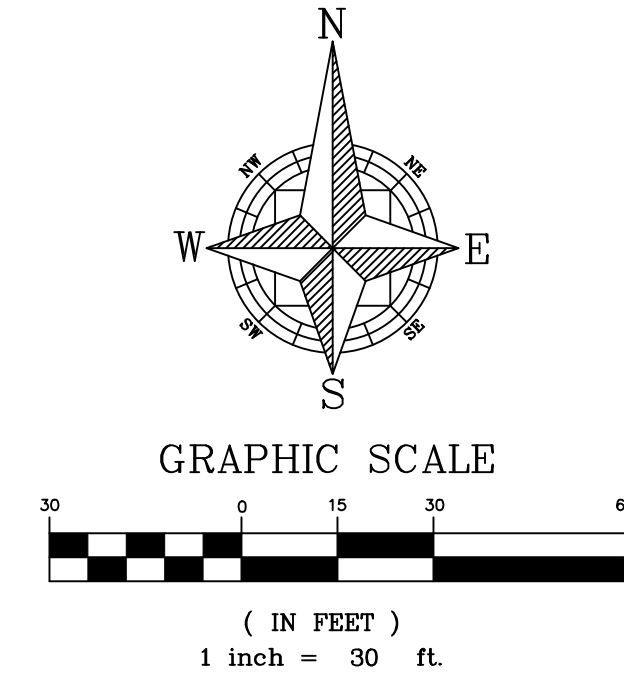
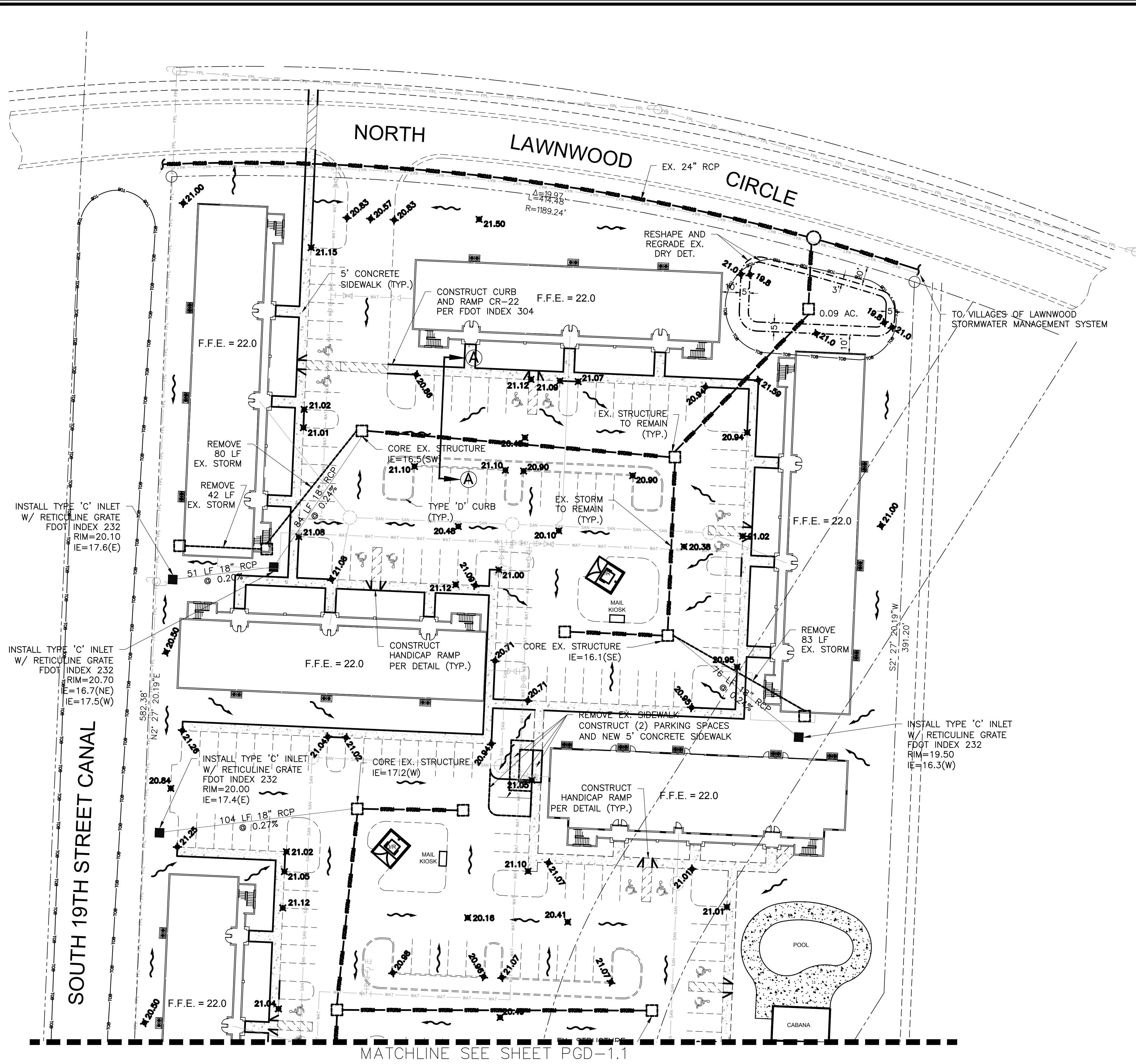
14 UNITS



SHADE EXPOSURE

14 UNITS

IBI GROUP (FLORIDA) INC. ENGINEERS SURVEYORS PLANNERS LANDSCAPE ARCHITECTS ENVIRONMENTAL CONSULTANTS 2200 PARK CENTRAL BLVD. N. SUITE 101 POMPANO BEACH, FLORIDA 33064 (954) 974-2200		ORLANDO POMPANO BEACH
MAYFAIR FORT PIERCE, FLORIDA		LANDSCAPE TYPICALS
SCALE: 1" = 10' PROJECT: 38890 SHEET: LA-2.2	DRAWN: BW DESIGNED: CHECKED: RW DATE: 3/16/2016	REV. DATE DESCRIPTION 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50
IBI GROUP FLORIDA ENGINEERING BUSINESS NO. 2966		NOT FOR CONSTRUCTION 3/16/16



LEGEND

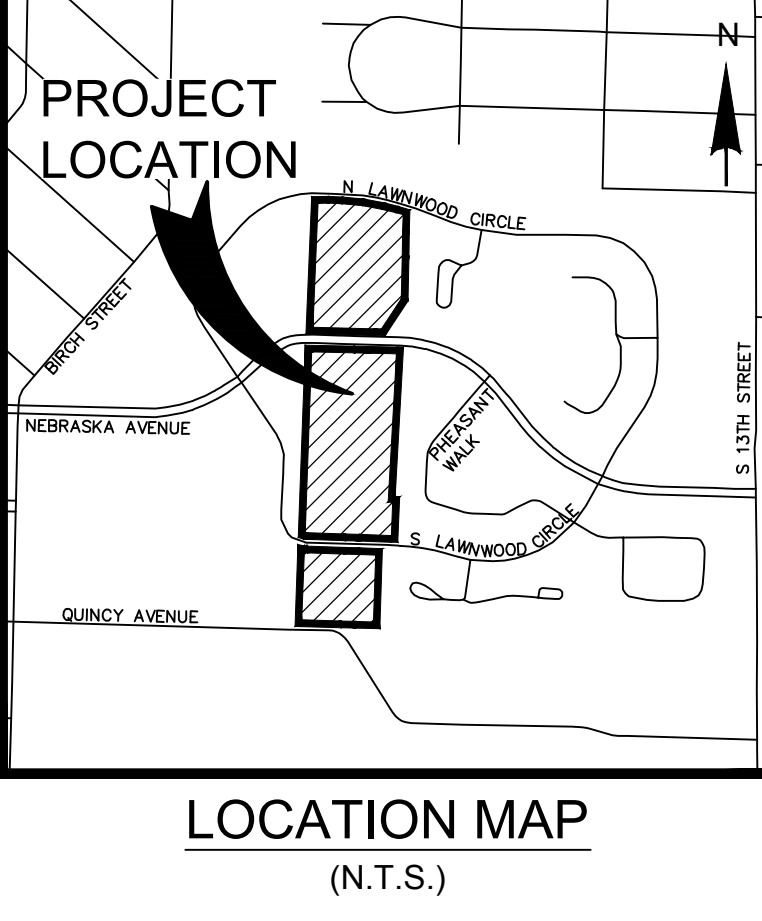
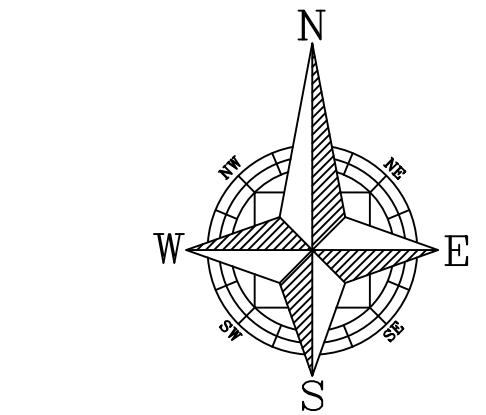
	PROPOSED WATER MAIN
	PROPOSED GATE VALVE
	PROPOSED FIRE HYDRANT ASSEMBLY WITH VALVE
	PROPOSED WATER MAIN FITTINGS (REDUCER, TEE, BENDS)
	EXISTING WATER MAIN
	EXISTING WATER MAIN FITTINGS (TEE, GATE VALVE, REDUCER)
	EXISTING FIRE HYDRANT ASSEMBLY WITH VALVE
	PROPOSED SANITARY SEWER MAIN
	PROPOSED SANITARY SEWER MANHOLE
	EXISTING SANITARY SEWER MAIN
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED STORM SEWER
	PROPOSED STORM CATCH BASIN
	EXISTING STORM SEWER
	EXISTING STORM CATCH BASIN
	PROPOSED GRADE ELEVATION

IBI GROUP (FLORIDA) INC.	
ENGINEERS SURVEYORS LANDSCAPE ARCHITECTS	PLANNERS ENVIRONMENTAL CONSULTANTS 2200 PARK CENTRAL BLVD. N. SUITE 101 MAITLAND, FLORIDA 32751 (954) 974-2200 (407) 860-2120
MAYFAIR FORT PIERCE, FLORIDA	POMPAÑO BEACH ORLANDO
PAVING, GRADING AND DRAINAGE PLAN	
SCALE: 1" = 30'	DRAWN: BW
PROJECT: 38890	DESIGNED: RW
SHEET: PGD-1.0	CHECKED: RW
	DATE: 3/15/2016
IBI GROUP FLORIDA ENGINEERING BUSINESS NO. 2966	
NOT FOR CONSTRUCTION 3/16/16	

J:\38890\5.9 Drawings\59civil\layouts\38890-PGD ALT.dwg Modified: 3/15/2016 By: becky.williams Plotted By: becky.williams

MATCHLINE SEE SHEET PGD-1.1

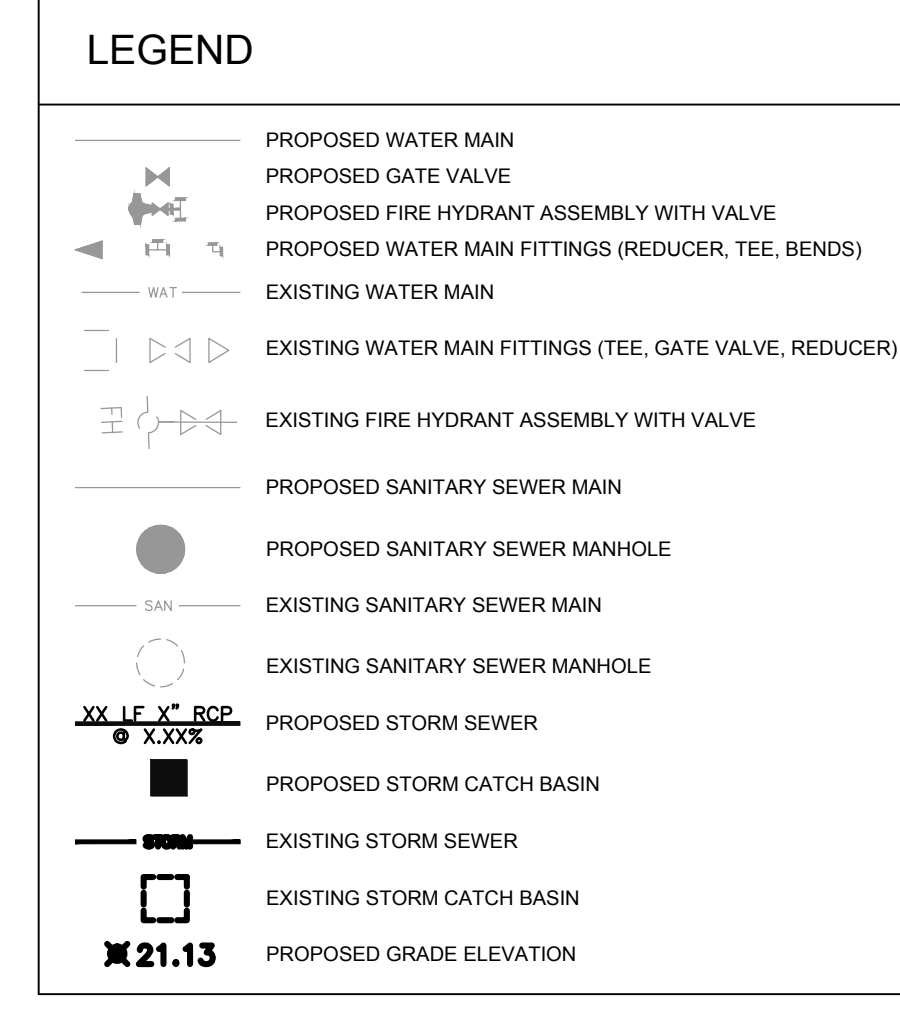
MATCHLINE SEE SHEET PGD-1.3



- (S13D) INSTALL TYPE 'C' INLET
FDOT INDEX 232
RIM=20.5
IE=17.9(N)
IE=17.9(S)
IE=17.9(E)
- (S13A) INSTALL TYPE 'C' INLET
(RAISED INLET PER DETAIL)
FDOT INDEX 232
RIM=20.3
IE=17.8(E)
IE=17.8(W)
- (S13) INSTALL TYPE 'C' INLET
(RAISED INLET PER DETAIL)
FDOT INDEX 232
RIM=20.3
IE=17.4(E)
IE=17.4(W)
IE=17.4(N)

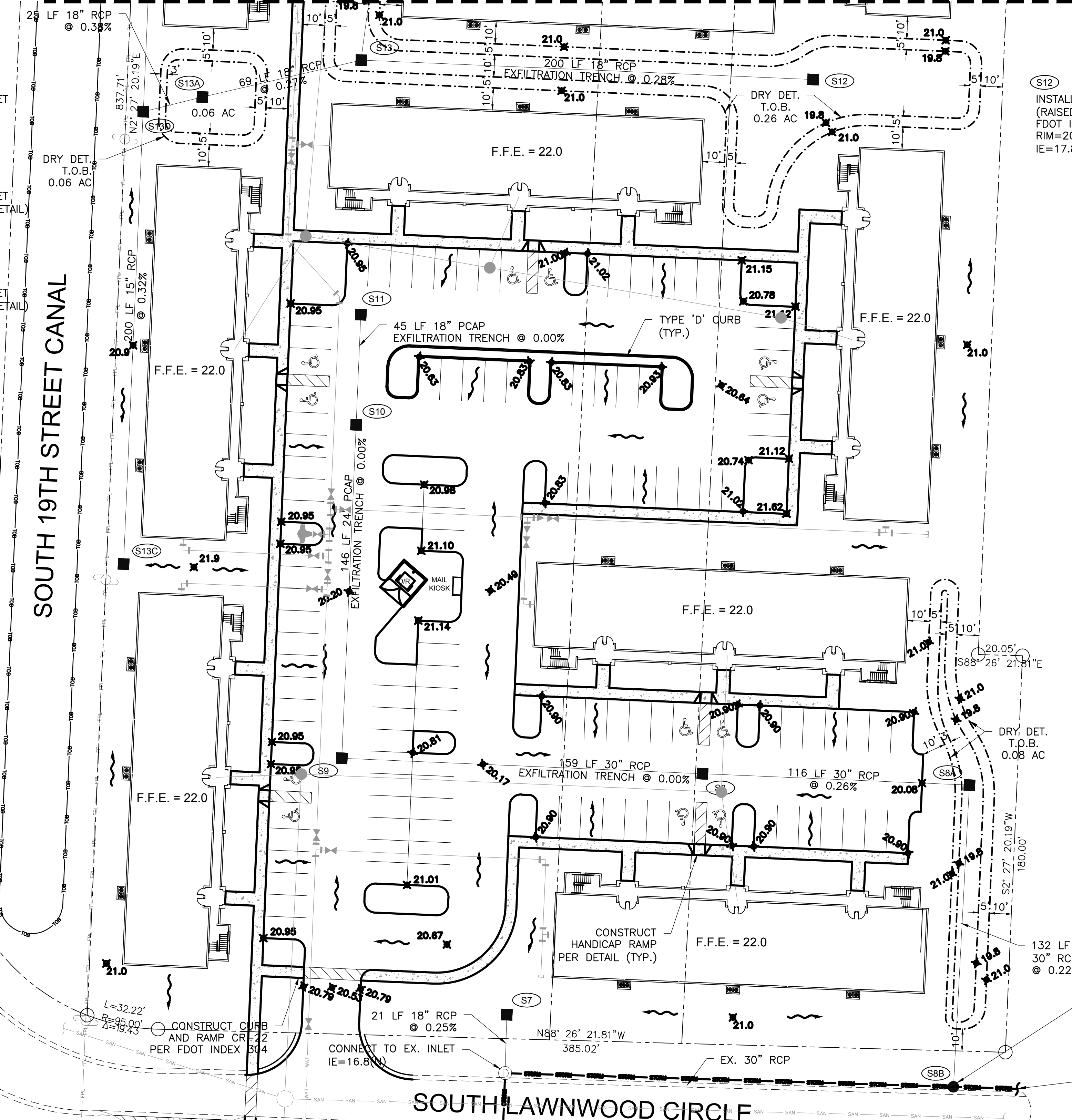
- (S12) INSTALL TYPE 'C' INLET
(RAISED INLET PER DETAIL)
FDOT INDEX 232
RIM=20.3
IE=17.8(W)

- (S11) INSTALL TYPE 'C' INLET
W/ RETICULINE GRATE
FDOT INDEX 232
RIM=19.92
IE=16.0(S)
- (S10) INSTALL TYPE 'C' INLET
W/ RETICULINE GRATE
FDOT INDEX 232
RIM=19.74
IE=15.5(S)
IE=16.0(N)
- (S9) INSTALL TYPE 'D' INLET
W/ RETICULINE GRATE
FDOT INDEX 232
RIM=19.90
IE=15.5(N)
IE=15.0(E)
- (S8) INSTALL TYPE 'C' INLET
W/ RETICULINE GRATE
FDOT INDEX 232
RIM=19.69
IE=15.0(W)
IE=15.0(E)
- (S8A) INSTALL TYPE 'C' INLET
W/ RETICULINE GRATE
(RAISED INLET PER DETAIL)
FDOT INDEX 232
RIM=20.30
IE=14.7(W)
IE=14.5(S)
- (S8B) INSTALL CONTROL STRUCTURE
TYPE J-7T MANHOLE
FDOT INDEX 200 & 201
RIM=21.00
6" CONCRETE WEIR=17.50
IE=12±(E)(CONNECT TO EX.)
IE=12.1±(W)(CONNECT TO EX.)
IE=14.2(N)
- (S7) INSTALL TYPE 'C' INLET
W/ RETICULINE GRATE
FDOT INDEX 232
RIM=20.40
IE=16.9(S)



SOUTH 19TH STREET CANAL

SOUTH LAWNWOOD CIRCLE



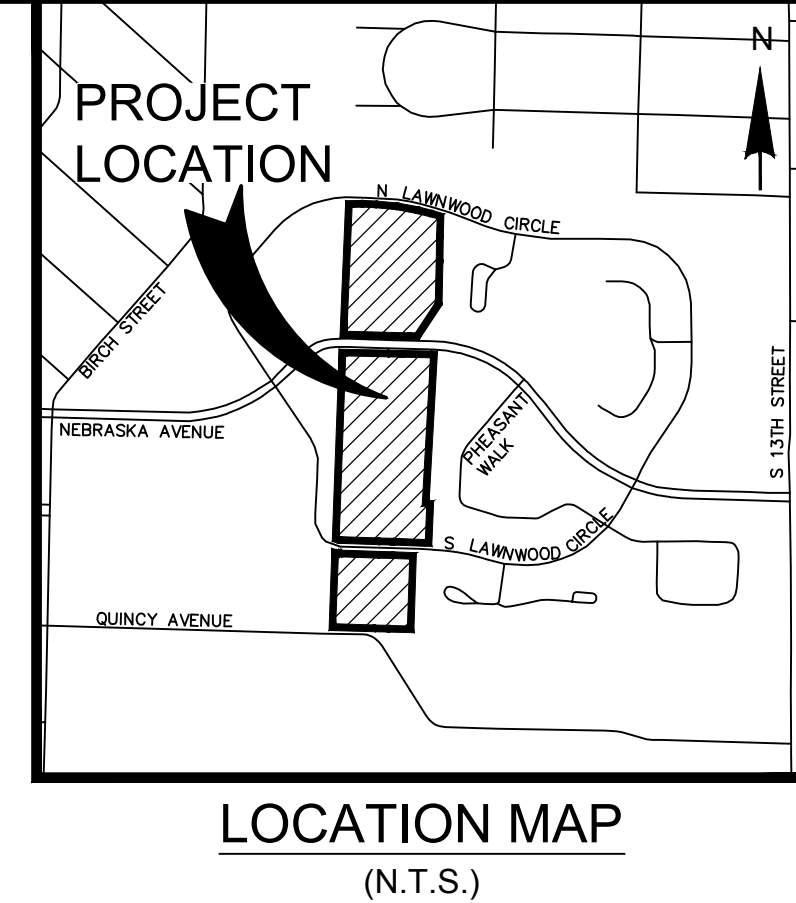
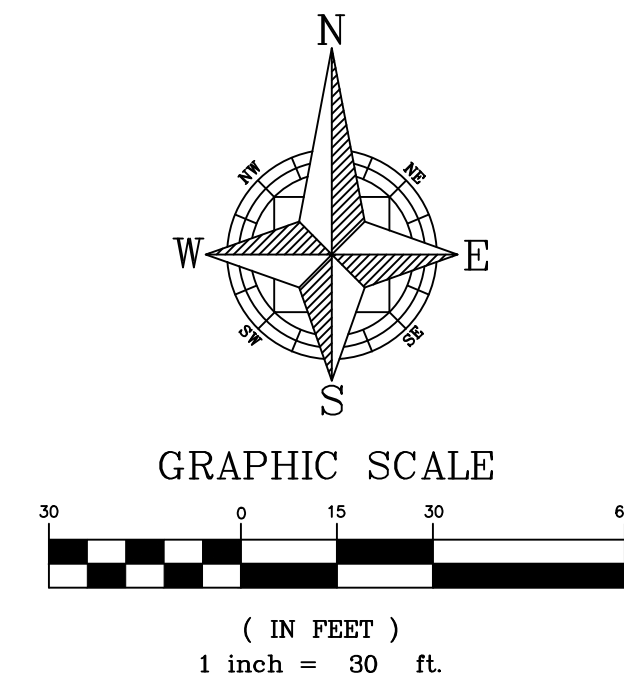
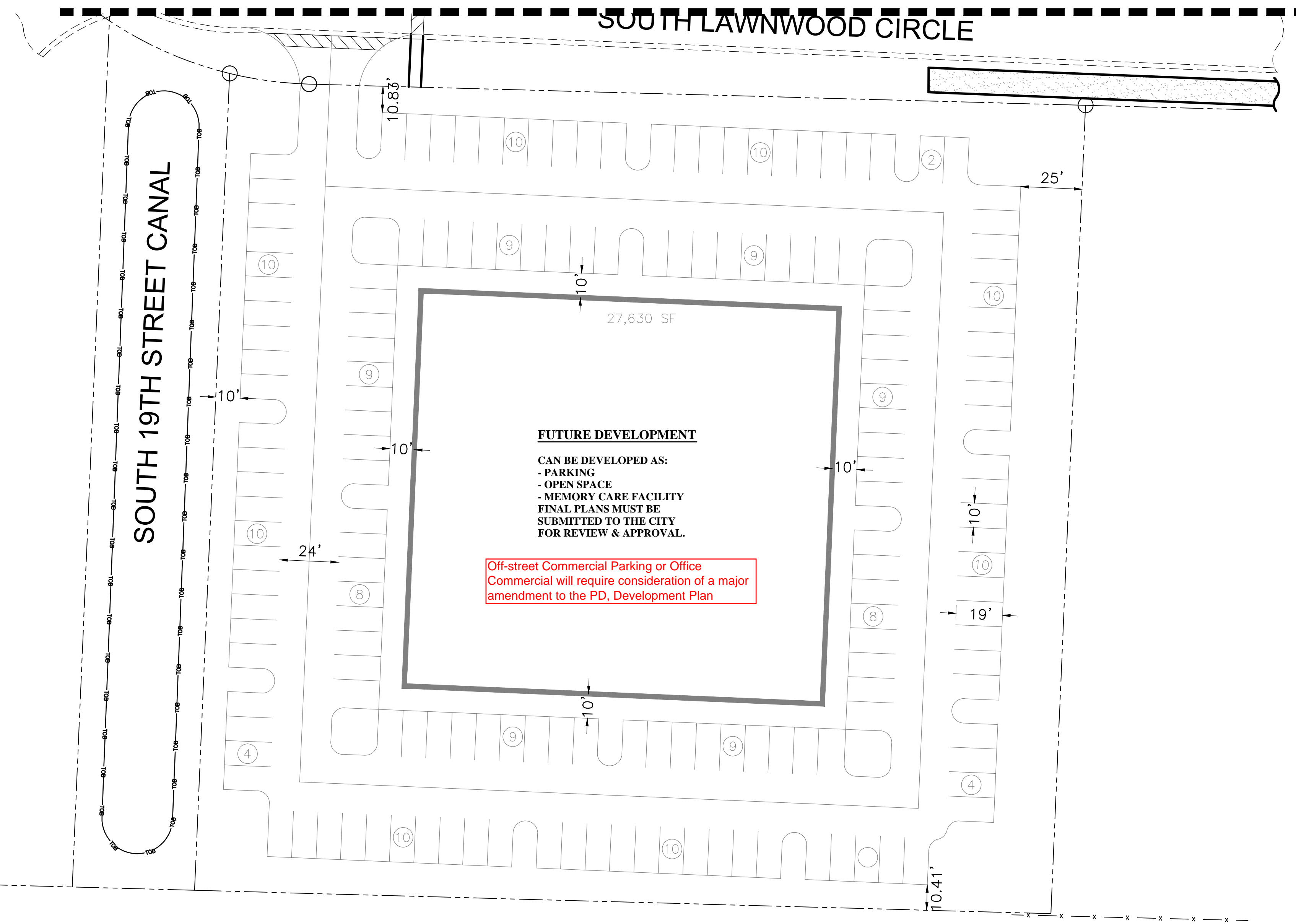
SCALE	1" = 30'
PROJECT	38890
SHEET	PGD-1.2
DRAWN	BW
DESIGNED	
CHECKED	RW
DATE	3/15/2016
IBI GROUP FLORIDA ENGINEERING BUSINESS NO. 2966	
NOT FOR CONSTRUCTION 3/16/16	
MAYFAIR FORT PIERCE, FLORIDA PAVING, GRADING AND DRAINAGE PLAN	
IBI GROUP (FLORIDA) INC. ENGINEERS SURVEYORS PLANNERS LANDSCAPE ARCHITECTS ENVIRONMENTAL CONSULTANTS 2200 PARK CENTRAL BLVD. N. SUITE 101 MAITLAND, FLORIDA 32751 (407) 869-2120 WWW.IBIGROUP.COM POMPANO BEACH ORLANDO	

J:\38890\5.9 Drawings\99civil\layouts\38890-PGD-ALT.dwg Modified: 3/15/2016 By: becky.williams Plotted: By: becky.williams

J:\38890\5.9 Drawings\59civil\layouts\38890-PGD ALT.dwg Modified: 3/15/2016 By: becky.williams Plotted By: becky.williams

MATCHLINE SEE SHEET PGD-1.2

SOUTH LAWNWOOD CIRCLE



LEGEND

- PROPOSED WATER MAIN
- PROPOSED GATE VALVE
- PROPOSED FIRE HYDRANT ASSEMBLY WITH VALVE
- PROPOSED WATER MAIN FITTINGS (REDUCER, TEE, BENDS)
- EXISTING WATER MAIN
- EXISTING WATER MAIN FITTINGS (TEE, GATE VALVE, REDUCER)
- EXISTING FIRE HYDRANT ASSEMBLY WITH VALVE
- PROPOSED SANITARY SEWER MAIN
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER MAIN
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED STORM SEWER
- PROPOSED STORM CATCH BASIN
- EXISTING STORM SEWER
- EXISTING STORM CATCH BASIN
- PROPOSED GRADE ELEVATION

<p>IBI GROUP (FLORIDA) INC. ENGINEERS SURVEYORS PLANNERS LANDSCAPE ARCHITECTS ENVIRONMENTAL CONSULTANTS</p> <p>2200 PARK CENTRAL BLVD. N. SUITE 100 MAITLAND, FLORIDA 32751 (407) 866-2120</p> <p>ORLANDO POMPANO BEACH</p>			
<p>MAYFAIR FORT PIERCE, FLORIDA</p>			
<p>PAVING, GRADING AND DRAINAGE PLAN</p>			
SCALE	1" = 30'		
DRAWN:	BW		
DESIGNED:			
CHECKED:	RW		
DATE:	3/15/2016		
PROJECT	38890		
SHEET	PGD-1.3		
<p>IBI GROUP FLORIDA ENGINEERING BUSINESS NO. 2966</p>			
<p>NOT FOR CONSTRUCTION</p>			
REV.	DATE	DESCRIPTION	BY



RE: Mayfair at Lawnwood - Proposed Development in City of Fort Pierce

Carter, Hugo

to:

'Kori Benton'

03/10/2016 08:22 AM

Cc:

Tracy Telle, "Boisclair, Guy"

Hide Details

From: "Carter, Hugo" <hcarter@sfwmd.gov>

To: 'Kori Benton' <KBenton@City-FtPierce.Com>

Cc: Tracy Telle <TTelle@City-FtPierce.Com>, "Boisclair, Guy" <gboiscl@sfwmd.gov>

History: This message has been replied to and forwarded.

1 Attachment



050608-14_CertAccept_20130402.pdf

The construction of the stormwater management system for the part of the project north of Nebraska Ave. has been certified as complete by the permittee's engineer. For the work south of Nebraska Ave., the District construction permit has expired (see attached letter). A new District permit that complies with current District rules (Rule 60-330, Fla. Admin. Code) will be required prior to construction of a project south of Nebraska Ave.

The District permit file for App. No. 050608-14 (Mayfair At Lawnwood, Phase Three Of Villages Of Longwood) is available on the District's ePermitting website at:

<http://my.sfwmd.gov/ePermitting/DetailedReport.do?applicationNo=050608-14>

If there are any other questions, please contact me.

Hugo A. Carter, P.E.

Section Leader

Martin/St. Lucie Regulatory Office

South Florida Water Management District

561-686-8800 ext 3621

863-462-5260 ext 3621

800-432-2045 ext 3621

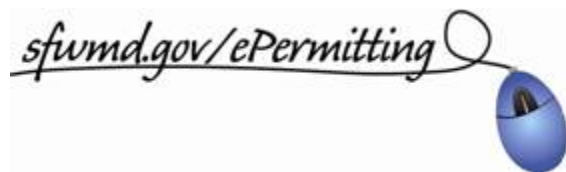
MAILING ADDRESS:

Okeechobee Service Center

3800 N.W. 16th Blvd, Suite A

Okeechobee, FL 34972

To electronically submit a new application or a response to a request for additional information, go to:



From: Kori Benton [<mailto:KBenton@City-FtPierce.Com>]

Sent: Monday, March 07, 2016 9:10 AM

To: Carter, Hugo <hcarter@sfwmd.gov>



SOUTH FLORIDA WATER MANAGEMENT DISTRICT

District Headquarters: 3301 Gun Club Road, West Palm Beach, Florida 33406 (561) 686-8800 www.sfwmd.gov

April 2, 2013

ELIZABETH MCHUGH
OCEAN BANK
780 NW 42ND AVENUE
MIAMI, FL 33126

Dear Ms. Mchugh :

**Subject : Acceptance of Construction Completion Certification
Initiate Permit Transfer & Conversion to Operation Phase
MAYFAIR AT LAWNWOOD, PHASE THREE OF VILLAGES OF
LONGWOOD
Permit No. 56-00463-S-02, Application No. 050608-14
St Lucie County, S16/T35S/R40E**

This letter is to acknowledge receipt of your consulting engineer's construction completion certification pertaining to the subject parcel's surface water management system. The submitted information has been accepted and incorporated into the permit file. By accepting the engineer's certification, the District staff considers the surface water management system permitted under the above listed application number(s) to be constructed in substantial conformance with the plans and specifications approved by the District. Specifically, this certification certifies the water management system north of Nebraska Avenue including control structure S-20. The balance was the project was not constructed. Since construction authorization has expired, a final certification is being issued for this application. IF CONSTRUCTION IS PROPOSED IN THE FUTURE, A PERMIT MODIFICATION WILL BE REQUIRED to construct on the balance of the project. This satisfies your permit's conditions regarding submittal of an engineer's certification for construction completion of the permitted stormwater management facilities.

Although the certification has been accepted, further action by you, as permittee, is required. In accordance with Rule 40E-1 and 40E-4, Florida Administrative Code (FAC) - upon construction completion and acceptance of the engineer's certification of the surface water management system, the permittee shall initiate the permit transfer to the responsible operating entity and the permit conversion to the operation phase.

The permit conversion / transfer Form #0920 should be completed by an officer of the association (operating entity) and submitted (if not previously furnished), along with a copy each of:

1. the ownership transfer or turnover document, i.e. warranty deed, turnover meeting minutes,

etc.

2. the recorded declaration of covenants and restrictions or condominium, with amendments and associated exhibits
3. the filed articles of incorporation with certificate of incorporation
4. all recorded plats
5. the recorded public noticing of the SFWMD permit, if the permit is not attached as an exhibit to the declaration of covenants and restrictions or condominium
6. documentary evidence of satisfaction of permit conditions (other than long term monitoring)

Also available is an affidavit which attests that the items required by the Basis of Review are contained in the documents. If you do not choose to execute the affidavit, you may enter the requisite information in the boxes and return to us in lieu of a checklist. Submitting this completed affidavit or checklist will expedite the legal / institutional review of your request for permit conversion / transfer to the operational phase. In addition, as required by rule 40E-4.361, F.A.C., the permit file must contain documentation that applicable conditions to the permit have been satisfied.

Please be aware that rules 40E-1.6107 and 40E-4.351, F.A.C. also specify "Until transfer is approved by the District, the permittee shall be liable for compliance with the permit. The permittee transferring the permit shall remain liable for any corrective actions that are required as a result of any violations of the permit which occurred prior to the transfer of the permit." As a consequence of noncompliance with these mandates you could be held responsible for adverse impacts to, or conditions of, the surface water management system. Please submit the above or notify District staff of your intentions within thirty (30) days of the date of this letter.

Should you have any questions, please contact Ms. Jennifer Krumlauf at (561) 682-2712.

Sincerely,



Guy Boisclair, Regulatory Professional 4
Environmental Resource Compliance
Okeechobee Service Center
South Florida Water Management District

Enclosure(s)

Form 0920
Affidavit

c: Leo Giangrande, P.E., AECOM



**SOUTH FLORIDA WATER MANAGEMENT DISTRICT
SURFACE WATER MANAGEMENT
GENERAL PERMIT NO. 56-00463-S-02
DATE ISSUED: October 5, 2005**

Form #0942
08/95

PERMITTEE: MAYFAIR AT LAWNWOOD LLLP
6400 CONGRESS AVENUE STE 2000
BOCA RATON, FL 33487

PROJECT DESCRIPTION: Construction and operation of a surface water management system to serve a 15.80-acre project known as Mayfair at Lawnwood, Phase Three of the Villages of Longwood.

PROJECT LOCATION: ST LUCIE COUNTY, SEC 16 TWP 35S RGE 40E

PERMIT DURATION: See Special Condition No:1. See attached Rule 40E-4.321, Florida Administrative Code.

This is to notify you of the District's agency action concerning Permit Application No. 050608-14, dated June 8, 2005. This action is taken pursuant to Rule 40E-1.606 and Chapter 40E-40, Florida Administrative Code (F.A.C.).

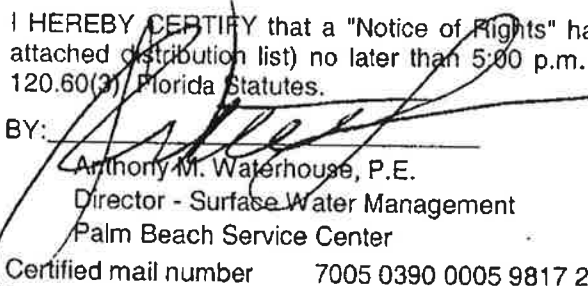
Based on the information provided, District rules have been adhered to and a Surface Water Management General Permit is in effect for this project subject to:

1. Not receiving a filed request for a Chapter 120, Florida Statutes, administrative hearing.
2. the attached 19 Standard Limiting Conditions (See Pages : 2 - 3 of 5),
3. the attached 14 Special Conditions (See Pages : 4 - 5 of 5) and
4. the attached 2 Exhibit(s).

Should you object to these conditions, please refer to the attached "Notice of Rights" which addresses the procedures to be followed if you desire a public hearing or other review of the proposed agency action. Please contact this office if you have any questions concerning this matter. If we do not hear from you in accordance with the "Notice of Rights," we will assume that you concur with the District's action.

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that a "Notice of Rights" has been mailed to the Permittee (and the persons listed in the attached distribution list) no later than 5:00 p.m. on this 5th day of October, 2005, in accordance with Section 120.60(3) Florida Statutes.

BY: 
Anthony M. Waterhouse, P.E.
Director - Surface Water Management
Palm Beach Service Center

Certified mail number 7005 0390 0005 9817 2619

154

STANDARD LIMITING CONDITIONS

1. The permittee shall implement the work authorized in a manner so as to minimize any adverse impact of the works on fish, wildlife, natural environmental values, and water quality. The permittee shall institute necessary measures during the construction period, including full compaction of any fill material placed around newly installed structures, to reduce erosion, turbidity, nutrient loading and sedimentation in the receiving waters.
2. Water quality data for the water discharged from the permittee's property or into surface waters of the State will be submitted to the District as required by Section 5.9, "Basis of Review for Surface Water Management Permit Applications within South Florida Water Management District". Parameters to be monitored may include those listed in Chapter 62-302, F.A.C.. If water quality data is required, the permittee shall provide data on volumes of water discharged, including total volume discharged during the days of sampling and total monthly discharges from the property or into surface waters of the State.
3. This permit shall not relieve the permittee of any obligation to obtain necessary federal, State, local or special district approvals.
4. The operation phase of this permit will not become effective until the District's acceptance of certification of the completed surface water management system. The permittee shall request transfer of the permit to the responsible operation entity accepted by the District, if different from the permittee. The transfer request can be submitted concurrently with the construction completion certification.
5. All road elevations shall be set in accordance with the criteria set forth in Section 6.5, "Basis of Review for Surface Water Management Permit Applications within South Florida Water Management District".
6. All building floor elevations shall be set in accordance with the criteria set forth in Section 6.4, "Basis of Review for Surface Water Management Permit Applications within South Florida Water Management District".
7. Off-site discharges during construction and development will be made only through the facilities authorized by this permit.
8. A permit transfer to the operation phase shall not occur until a responsible entity meeting the requirement in Section 9.0, "Basis of Review for Surface Water Management Permit Applications within South Florida Water Management District" has been established to operate and maintain the system. The entity must be provided with sufficient ownership or legal interest so that it has control over all water management facilities authorized herein.
9. The permit does not convey to the permittee any property rights or privileges other than those specified in the permit and Chapter 40E-4, F.A.C..
10. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, operation, maintenance or use of any facility authorized by the permit.
11. This permit is issued based on the applicant's submitted information which reasonably demonstrates that adverse water resource related impacts will not be caused by the completed permit activity. Should any adverse impacts caused by the completed surface water management system occur, the District will require the permittee to provide appropriate mitigation to the District or other impacted party. The District will require the permittee to modify the surface water management system, if necessary, to eliminate the cause of the adverse impacts.
12. Within 30 days of issuance of this permit, the permittee or authorized agent shall notify the District (via the supplied construction commencement notice or equivalent) of the actual or anticipated construction start date and the expected completion date.
13. When the duration of construction exceeds one year, the permittee or authorized agent shall submit

STANDARD LIMITING CONDITIONS

- construction status reports on an annual basis (via the supplied annual status report or equivalent) beginning one year after the initial commencement of construction.
14. Within 30 days after completion of construction of the surface water management system, the permittee or authorized agent shall file a written statement of completion and certification by a Florida registered professional engineer. These statements must specify the actual date of construction completion and must certify that all facilities have been constructed in substantial conformance with the plans and specifications approved by the District (via the supplied construction completion/certification or equivalent). The construction completion certification must include, at a minimum, existing elevations, locations and dimensions of the components of the water management facilities. Additionally, if deviations from the approved drawings are discovered during the certification process, the certification must be accompanied by a copy of the approved permit drawings with deviations noted.
 15. Within 30 days of any sale, conveyance or other transfer of any of the land which is proposed for development under the authorization of this permit, the permittee shall notify the District of such transfer in writing via either Form 0483, Request for Permit Transfer; or Form 0920, Request for Transfer of Surface Water Management Construction Phase to Operation Phase (to be completed and submitted by the operating entity), in accordance with Sections 40E-1.6105 AND 40E-4.351, F.A.C..
 16. A prorated share of surface water management retention/detention areas, sufficient to provide the required flood protection and water quality treatment, must be provided prior to occupancy of any building or residence.
 17. A stable, permanent and accessible elevation reference shall be established on or within one hundred (100) feet of all permitted discharge structures no later than the submission of the certification report. The location of the elevation reference must be noted on or with the certification report.
 18. It is the responsibility of the permittee to insure that adverse off-site water resource related impacts do not occur during construction.
 19. The permittee must obtain a Water Use permit prior to construction dewatering, unless the work qualifies for a general permit pursuant to Subsection 40E-20.302(4), F.A.C..

SPECIAL CONDITIONS

1. The construction phase of this permit shall expire on October 5, 2010.
2. Operation of the master surface water management system shall be the responsibility of the Longwood of Ft. Pierce Homeowners Association (HOA). Operation of the surface water management system within the proposed project area, excluding the outfall pipe for the master surface water management system, shall be the initial responsibility of Mayfair at Lawnwood, LLLP (ultimate responsibility to Mayfair at Longwood Condominium Association, Inc.).

Within one year of permit issuance or concurrent with the engineering certification of construction completion, whichever comes first, the permittee shall submit a copy of the recorded deed restrictions (or declaration of condominium, if applicable), a copy of the filed articles of incorporation, and a copy of the certificate of incorporation for the Mayfair at Lawnwood Condominium Association, Inc.

3. An agreement between Mayfair at Lawnwood Condominium Association, Inc. and Longwood of Ft. Pierce HOA, addressing the drainage rights and cost sharing responsibilities of the stated parties for the master and the proposed project surface water management systems, shall be executed. Said agreement shall be submitted by the permittee to the District concurrent with the engineering certification of construction completion.
4. Prior to construction commencement, the permittee shall submit a copy of the executed agreement between Longwood of Ft. Pierce HOA and Mayfair at Lawnwood Condominium Association, Inc., for the storm sewer outfall cross-easement, located within the proposed project area.
5. Discharge Facilities:

Structure: 1

1-4.5' WIDE SHARP CRESTED weir with crest at elev. 19.6' NGVD.
1-1.25' W X 1' H X 45 deg. TRIANGULAR ORIFICE with invert at elev. 14.5' NGVD.
770 LF of 2.5 dia. REINFORCED CONCRETE PIPE culvert.
Receiving body : 19TH Street Canal
Control elev : 14.5 feet NGVD.

Structure: S19

1-6" WIDE SHARP CRESTED weir with crest at elev. 17.5' NGVD.
77 LF of 24" dia. REINFORCED CONCRETE PIPE culvert.
Receiving body : Basin 1 (Nebraska Avenue)
Control elev : 14.5 feet NGVD.

Structure: S20

1-6" WIDE SHARP CRESTED weir with crest at elev. 17.5' NGVD.
20 LF of 24" dia. REINFORCED CONCRETE PIPE culvert.
Receiving body : Basin 1 (Nebraska Avenue)
Control elev : 14.5 feet NGVD.

Structure: S34

1-6" WIDE SHARP CRESTED weir with crest at elev. 17.2' NGVD.
Receiving body : Basin 1 (North Lawnwood Circle)
Control elev : 14.5 feet NGVD.

Structure: S6

SPECIAL CONDITIONS

1-6" WIDE SHARP CRESTED weir with crest at elev. 17.5' NGVD.
35 LF of 24" dia. REINFORCED CONCRETE PIPE culvert.
Receiving body : Basin 1 (S Lawnwood Circle)
Control elev : 14.5 feet NGVD.

Structure: S7

1-6" WIDE SHARP CRESTED weir with crest at elev. 17.5' NGVD.
40 LF of 30" dia. REINFORCED CONCRETE PIPE culvert.
Receiving body : Basin 1 (S Lawnwood Circle)
Control elev : 14.5 feet NGVD.

6. The permittee shall be responsible for the correction of any erosion, shoaling or water quality problems that result from the construction or operation of the surface water management system.
7. Measures shall be taken during construction to insure that sedimentation and/or turbidity violations do not occur in the receiving water.
8. The District reserves the right to require that additional water quality treatment methods be incorporated into the drainage system if such measures are shown to be necessary.
9. Facilities other than those stated herein shall not be constructed without an approved modification of this permit.
10. A stable, permanent and accessible elevation reference shall be established on or within one hundred (100) feet of all permitted discharge structures no later than the submission of the certification report. The location of the elevation reference must be noted on or with the certification report.
11. The permittee shall provide routine maintenance of all of the components of the surface water management system in order to remove all trapped sediments/debris. All materials shall be properly disposed of as required by law. Failure to properly maintain the system may result in adverse flooding conditions.
12. Minimum building floor elevation: BASIN: 1 - 21.50 feet NGVD.
13. Minimum road crown elevation: Basin: 1 - 19.00 feet NGVD.
14. All special conditions and exhibits previously stipulated by permit number 56-00463-S remain in effect unless otherwise revised and shall apply to this modification.

40E-4.321 Duration of Permits

(1) Unless revoked or otherwise modified pursuant to Rules 40E-4.331 and 40E-4.441, F.A.C., the duration of a surface water management permit issued under this chapter is as follows:

(a) Two years from the date of issuance for Conceptual Approval, unless within that period an application for a construction and operation permit is filed for any portion of the project. If an application for a construction and operation permit is filed, then the Conceptual Approval remains valid until final action is taken on the application. If the application is granted, then the Conceptual Approval is valid for an additional two years from the date of issuance of the construction and operation permit. Conceptual Approvals which have no applications for construction and operation filed for a period of two years will expire automatically.

(b) Five years from the date of issuance for a construction permit.

(c) Perpetual for an operation permit.

(2) The Governing Board shall issue permit extensions provided that a permittee files a written request with the District showing good cause. For the purpose of this rule, good cause shall mean a set of extenuating circumstances outside of the control of the permittee. Requests for extensions, which shall include documentation of the extenuating circumstances and how they have delayed this project, will not be accepted more than 180 days prior to the expiration date.

(3) For a Conceptual Approval filed concurrently with a development of regional impact (DRI) application for development approval (ADA) and a local government comprehensive amendment, the duration of the Conceptual Approval shall be two years from whichever one of the following occurs at the latest date:

(a) the effective date of the local government's comprehensive plan amendment,

(b) the effective date of the local government development order, or

(c) the date on which the district issues the Conceptual Approval, or

(d) the latest date of the resolution of any Chapter 120 or other legal appeals.

(4) Substantial modifications to Conceptual Approvals will extend the duration of the Conceptual Approval for two years from the date of issuance of the modification. For the purposes of this section, the term "substantial modification" shall mean a modification which is reasonably expected to lead to substantially different water resource or environmental impacts which require a detailed review.

(5) Modifications to construction permits issued pursuant to a formal permit application extend the duration of the permit for three years from the date of issuance of the modification. Construction permit modifications do not extend the duration of a Conceptual Approval.

(6) Permit modifications issued pursuant to subsection 40E-4.331(2)(b), F.A.C. (letter modifications) do not extend the duration of a permit.

NOTICE OF RIGHTS

Section 120.569(1), Fla. Stat. (1999), requires that "each notice shall inform the recipient of any administrative hearing or judicial review that is available under this section, s. 120.57, or s. 120.68; shall indicate the procedure which must be followed to obtain the hearing or judicial review, and shall state the time limits which apply." Please note that this Notice of Rights is not intended to provide legal advice. Not all the legal proceedings detailed below may be an applicable or appropriate remedy. You may wish to consult an attorney regarding your legal rights.

Petition for Administrative Proceedings

1. A person whose substantial interests are affected by the South Florida Water Management District's (SFWMD) action has the right to request an administrative hearing on that action. The affected person may request either a formal or an informal hearing, as set forth below. A point of entry into administrative proceedings is governed by Rules 28-106.111 and 40E-1.511, Fla. Admin. Code, (also published as an exception to the Uniform Rules of Procedure as Rule 40E-0.109), as set forth below. Petitions are deemed filed upon receipt of the original documents by the SFWMD Clerk.

a. Formal Administrative Hearing: If a genuine issue(s) of material fact is in dispute, the affected person seeking a formal hearing on a SFWMD decision which does or may determine their substantial interests shall file a petition for hearing pursuant to Sections 120.569 and 120.57(1), Fla. Stat. or for mediation pursuant to Section 120.573, Fla. Stat. within 21 days, except as provided in subsections c. and d. below, of either written notice through mail or posting or publication of notice that the SFWMD has or intends to take final agency action. Petitions must substantially comply with the requirements of Rule 28-106.201(2), Fla. Admin. Code, a copy of the which is attached to this Notice of Rights.

b. Informal Administrative Hearing: If there are no issues of material fact in dispute, the affected person seeking an informal hearing on a SFWMD decision which does or may determine their substantial interests shall file a petition for hearing pursuant to Sections 120.569 and 120.57(2), Fla. Stat. or for mediation pursuant to Section 120.573, Fla. Stat. within 21 days, except as provided in subsections c. and d. below, of either written notice through mail or posting or publication of notice that the SFWMD has or intends to take final agency action. Petitions must substantially comply with the requirements of Rule 28-106.301(2), Fla. Admin. Code, a copy of the which is attached to this Notice of Rights.

c. Administrative Complaint and Order: If a Respondent objects to a SFWMD Administrative Complaint and Order, pursuant to Section 373.119, Fla. Stat. (1997), the person named in the Administrative Complaint and Order may file a petition for a hearing no later than 14 days after the date such order is served. Petitions must substantially comply with the requirements of either subsection a. or b. above.

d. State Lands Environmental Resource Permit: Pursuant to Section 373.427, Fla. Stat., and Rule 40E-1.511(3), Fla. Admin. Code (also published as an exception to the Uniform Rules of Procedure as Rule 40E-0.109(2)(c)), a petition objecting to the SFWMD's agency action regarding consolidated applications for Environmental Resource Permits and Use of Sovereign Submerged Lands (SLERPs), must be filed within 14 days of the notice of consolidated intent to grant or deny the SLERP. Petitions must substantially comply with the requirements of either subsection a. or b. above.

e. Emergency Authorization and Order: A person whose substantial interests are affected by a SFWMD Emergency Authorization and Order, has a right to file a petition under Sections 120.569, 120.57(1), and 120.57(2), Fla. Stat., as provided in subsections a. and b. above. However, the person, or the agent of the person responsible for causing or contributing to the emergency conditions shall take whatever action necessary to cause immediate compliance with the terms of the Emergency Authorization and Order.

f. Order for Emergency Action: A person whose substantial interests are affected by a SFWMD Order for Emergency Action has a right to file a petition pursuant to Rules 28-107.005 and 40E-1.611, Fla. Admin. Code, copies of which are attached to this Notice of Rights, and Section 373.119(3), Fla. Stat., for a hearing on the Order. Any subsequent agency action or proposed agency action to initiate a formal revocation proceeding shall be separately noticed pursuant to section g. below.

g. Permit Suspension, Revocation, Annulment, and Withdrawal: If the SFWMD issues an administrative complaint to suspend, revoke, annul, or withdraw a permit, the permittee may request a hearing to be conducted in accordance with Sections 120.569 and 120.57, Fla. Stat., within 21 days of either written notice through mail or posting or publication of notice that the SFWMD has or intends to take final agency action. Petitions must substantially comply with the requirements of Rule 28-107.004(3), Fla. Admin. Code, a copy of the which is attached to this Notice of Rights.

2. Because the administrative hearing process is designed to formulate final agency action, the filing of a petition means that the SFWMD's final action may be different from the position taken by it previously. Persons whose substantial interests may be affected by

any such final decision of the SFWMD shall have, pursuant to Rule 40E-1.511(2), Fla. Admin. Code (also published as an exception to the Uniform Rules of Procedure as Rule 40E-0.109(2)(c)), an additional 21 days from the date of receipt of notice of said decision to request an administrative hearing. However, the scope of the administrative hearing shall be limited to the substantial deviation.

3. Pursuant to Rule 40E-1.511(4), Fla. Admin. Code, substantially affected persons entitled to a hearing pursuant to Section 120.57(1), Fla. Stat., may waive their right to such a hearing and request an informal hearing before the Governing Board pursuant to Section 120.57(2), Fla. Stat., which may be granted at the option of the Governing Board.

4. Pursuant to Rule 28-106.111(3), Fla. Admin. Code, persons may file with the SFWMD a request for extension of time for filing a petition. The SFWMD, for good cause shown, may grant the extension. The request for extension must contain a certificate that the petitioner has consulted with all other parties, if any, concerning the extension and that the SFWMD and all other parties agree to the extension.

CIRCUIT COURT

5. Pursuant to Section 373.617, Fla. Stat., any substantially affected person who claims that final agency action of the SFWMD relating to permit decisions constitutes an unconstitutional taking of property without just compensation may seek judicial review of the action in circuit court by filing a civil action in the circuit court in the judicial circuit in which the affected property is located within 90 days of the rendering of the SFWMD's final agency action.

6. Pursuant to Section 403.412, Fla. Stat., any citizen of Florida may bring an action for injunctive relief against the SFWMD to compel the SFWMD to enforce the laws of Chapter 373, Fla. Stat., and Title 40E, Fla. Admin. Code. The complaining party must file with the SFWMD Clerk a verified complaint setting forth the facts upon which the complaint is based and the manner in which the complaining party is affected. If the SFWMD does not take appropriate action on the complaint within 30 days of receipt, the complaining party may then file a civil suit for injunctive relief in the 15th Judicial Circuit in and for Palm Beach County or circuit court in the county where the cause of action allegedly occurred.

7. Pursuant to Section 373.433, Fla. Stat., a private citizen of Florida may file suit in circuit court to require the abatement of any stormwater management system, dam, impoundment, reservoir, appurtenant work or works that violate the provisions of Chapter 373, Fla. Stat.

DISTRICT COURT OF APPEAL

8. Pursuant to Section 120.68, Fla. Stat., a party who is adversely affected by final SFWMD action may seek judicial review of the SFWMD's final decision by filing a notice of appeal pursuant to Florida Rule of Appellate Procedure 9.110 in the Fourth District Court of Appeal or in the appellate district where a party resides and filing a second copy of the notice with the SFWMD Clerk within 30 days of rendering of the final SFWMD action.

LAND AND WATER ADJUDICATORY COMMISSION

9. A party to a "proceeding below" may seek review by the Land and Water Adjudicatory Commission (FLAWAC) of SFWMD's final agency action to determine if such action is consistent with the provisions and purposes of Chapter 373, Fla. Stat. Pursuant to Section 373.114, Fla. Stat., and Rules 42-2.013 and 42-2.0132, Fla. Admin. Code, a request for review of (a) an order or rule of the SFWMD must be filed with FLAWAC within 20 days after rendition of the order or adoption of the rule sought to be reviewed; (b) an order of the Department of Environmental Protection (DEP) requiring amendment or repeal of a SFWMD rule must be filed with FLAWAC within 30 days of rendition of the DEP's order, and (c) a SFWMD order entered pursuant to a formal administrative hearing under Section 120.57(1), Fla. Stat., must be filed no later than 20 days after rendition of the SFWMD's final order. Simultaneous with filing, a copy of the request for review must be served on the DEP Secretary, any person named in the SFWMD or DEP final order, and all parties to the proceeding below. A copy of Rule 42-2.013, Fla. Admin. Code is attached to this Notice of Rights.

PRIVATE PROPERTY RIGHTS PROTECTION ACT

10. A property owner who alleges a specific action of the SFWMD has inordinately burdened an existing use of the real property, or a vested right to a specific use of the real property, may file a claim in the circuit court where the real property is located within 1 year of the SFWMD action pursuant to the procedures set forth in Subsection 70.001(4)(a), Fla. Stat.

LAND USE AND ENVIRONMENTAL DISPUTE RESOLUTION

11. A property owner who alleges that a SFWMD development order (as that term is defined in Section 70.51(2)(a), Fla. Stat. to include permits) or SFWMD enforcement action is unreasonable, or unfairly burdens the use of the real property, may file a request for relief with the SFWMD within 30 days of receipt of the SFWMD's order or notice of agency action pursuant to the procedures set forth in Subsections 70.51(4) and (6), Fla. Stat.

MEDIATION

12. A person whose substantial interests are, or may be, affected by the SFWMD's action may choose mediation as an alternative remedy under Section 120.573, Fla. Stat. Pursuant to Rule 28-106.111(2), Fla. Admin. Code, the petition for mediation shall be filed within 21 days of either written notice through mail or posting or

publication of notice that the SFWMD has or intends to take final agency action. Choosing mediation will not affect the right to an administrative hearing if mediation does not result in settlement.

Pursuant to Rule 28-106.402, Fla. Admin. Code, the contents of the petition for mediation shall contain the following information:

(1) the name, address, and telephone number of the person requesting mediation and that person's representative, if any;

(2) a statement of the preliminary agency action;

(3) an explanation of how the person's substantial interests will be affected by the agency determination; and

(4) a statement of relief sought.

As provided in Section 120.573, Fla. Stat. (1997), the timely agreement of all the parties to mediate will toll the time limitations imposed by Sections 120.569 and 120.57, Fla. Stat., for requesting and holding an administrative hearing. Unless otherwise agreed by the parties, the mediation must be concluded within 60 days of the execution of the agreement. If mediation results in settlement of the dispute, the SFWMD must enter a final order incorporating the agreement of the parties. Persons whose substantial interest will be affected by such a modified agency decision have a right to petition for hearing within 21 days of receipt of the final order in accordance with the requirements of Sections 120.569 and 120.57, Fla. Stat., and SFWMD Rule 28-106.201(2), Fla. Admin. Code. If mediation terminates without settlement of the dispute, the SFWMD shall notify all parties in writing that the administrative hearing process under Sections 120.569 and 120.57, Fla. Stat., remain available for disposition of the dispute, and the notice will specify the deadlines that then will apply for challenging the agency action.

VARIANCES AND WAIVERS

13. A person who is subject to regulation pursuant to a SFWMD rule and believes the application of that rule will create a substantial hardship or will violate principles of fairness (as those terms are defined in Subsection 120.542(2), Fla. Stat.) and can demonstrate that the purpose of the underlying statute will be or has been achieved by other means, may file a petition with the SFWMD Clerk requesting a variance from or waiver of the SFWMD rule. Applying for a variance or waiver does not substitute or extend the time for filing a petition for an administrative hearing or exercising any other right that a person may have concerning the SFWMD's action. Pursuant to Rule 28-104.002(2), Fla. Admin. Code, the petition must include the following information:

(a) the caption shall read:

Petition for (Variance from) or (Waiver of) Rule (Citation)

(b) The name, address, telephone number and any facsimile number of the petitioner;

(c) The name, address telephone number and any facsimile number of the attorney or qualified representative of the petitioner, (if any);

(d) the applicable rule or portion of the rule;

(e) the citation to the statute the rule is implementing;

(f) the type of action requested;

(g) the specific facts that demonstrate a substantial hardship or violation of principals of fairness that would justify a waiver or variance for the petitioner;

(h) the reason why the variance or the waiver requested would serve the purposes of the underlying statute; and

(i) a statement of whether the variance or waiver is permanent or temporary. If the variance or waiver is temporary, the petition shall include the dates indicating the duration of the requested variance or waiver.

A person requesting an emergency variance from or waiver of a SFWMD rule must clearly so state in the caption of the petition. In addition to the requirements of Section 120.542(5), Fla. Stat. pursuant to Rule 28-104.004(2), Fla. Admin. Code, the petition must also include:

a) the specific facts that make the situation an emergency; and

b) the specific facts to show that the petitioner will suffer immediate adverse effect unless the variance or waiver is issued by the SFWMD more expeditiously than the applicable timeframes set forth in Section 120.542, Fla. Stat.

WAIVER OF RIGHTS

14. Failure to observe the relevant time frames prescribed above will constitute a waiver of such right.

28-106.201

INITIATION OF PROCEEDINGS

(INVOLVING DISPUTED ISSUES OF MATERIAL FACT)

- (2) All petitions filed under these rules shall contain:
- (a) The name and address of each agency affected and each agency's file or identification number, if known;
 - (b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding, and an explanation of how the petitioner's substantial interests will be affected by the agency determination;
 - (c) A statement of when and how the petitioner received notice of the agency decision;
 - (d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;
 - (e) A concise statement of the ultimate facts alleged, as well as the rules and statutes which entitle the petitioner to relief; and
 - (f) A demand for relief.

28-106.301 INITIATION OF PROCEEDINGS
(NOT INVOLVING DISPUTED ISSUES OF MATERIAL FACT)

- (2) All petitions filed under these rules shall contain:
- (a) The name and address of each agency affected and each agency's file or identification number, if known;
 - (b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding, and an explanation of how the petitioner's substantial interests will be affected by the agency determination;
 - (c) A statement of when and how the petitioner received notice of the agency decision;
 - (d) A concise statement of the ultimate facts alleged, as well as the rules and statutes which entitle the petitioner to relief; and
 - (e) A demand for relief.

28-107.004 SUSPENSION, REVOCATION, ANNULMENT, OR WITHDRAWAL

- (3) Requests for hearing filed in accordance with this rule shall include:
- (a) The name and address of the party making the request, for purposes of service;
 - (b) A statement that the party is requesting a hearing involving disputed issues of material fact, or a hearing not involving disputed issues of material fact; and
 - (c) A reference to the notice, order to show cause, administrative complaint, or other communication that the party has received from the agency.

42-2.013 REQUEST FOR REVIEW PURSUANT TO SECTION 373.114 OR 373.217

- (1) In any proceeding arising under Chapter 373, F.S., review by the Florida Land and Water Adjudicatory Commission may be initiated by the Department or a party by filing a request for such review with the Secretary of the Commission and serving a copy on any person named in the rule or order, and on all parties to the proceeding which resulted in the order sought to be reviewed. A certificate of service showing completion of service as required by this subsection shall be a requirement for a determination of sufficiency under Rule 42-2.0132. Failure to file the request with the Commission within the time period provided in Rule 42-2.0132 shall result in dismissal of the request for review.
- (2) The request for review shall identify the rule or order requested to be reviewed, the proceeding in which the rule or order was entered and the nature of the rule or order. A copy of the rule or order sought to be reviewed shall be attached. The request for review shall state with particularity:
- (a) How the order or rule conflicts with the requirements, provisions and purposes of Chapter 373, F.S., or rules duly adopted thereunder;

(b) How the rule or order sought to be reviewed affects the interests of the party seeking review;

(c) The oral or written statement, sworn or unsworn, which was submitted to the agency concerning the matter to be reviewed and the date and location of the statement, if the individual or entity requesting the review has not participated in a proceeding previously instituted pursuant to Chapter 120, F.S., on the order for which review is sought;

(d) If review of an order is being sought, whether and how the activity authorized by the order would substantially affect natural resources of statewide or regional significance, or whether the order raises issues of policy, statutory interpretation, or rule interpretation that have regional or statewide significance from a standpoint of agency precedent, and all the factual bases in the record which the petitioner claims support such determination(s); and

(e) The action requested to be taken by the Commission as a result of the review, whether to rescind or modify the order, or remand the proceeding to the water management district for further action, or to require the water management district to initiate rulemaking to adopt, amend or repeal a rule.

28-107.005 EMERGENCY ACTION

- (1) If the agency finds that immediate serious danger to the public health, safety, or welfare requires emergency action, the agency shall summarily suspend, limit, or restrict a license.
- (2) The 14-day notice requirement of Section 120.569(2)(b), F. S., does not apply and shall not be construed to prevent a hearing at the earliest time practicable upon request of an aggrieved party.

(3) Unless otherwise provided by law, within 20 days after emergency action taken pursuant to paragraph (1) of this rule, the agency shall initiate a formal suspension or revocation proceeding in compliance with Sections 120.569, 120.57, and 120.60, F.S.

40E-1.611 EMERGENCY ACTION

- (1) An emergency exists when immediate action is necessary to protect public health, safety or welfare; the health of animals, fish or aquatic life; the works of the District; a public water supply, or recreational, commercial, industrial, agricultural or other reasonable uses of land and water resources.
- (2) The Executive Director may employ the resources of the District to take whatever remedial action necessary to alleviate the emergency condition without the issuance of an emergency order, or in the event an emergency order has been issued, after the expiration of the requisite time for compliance with that order.

Last Date For Agency Action: 07-OCT-2005

GENERAL SURFACE WATER MANAGEMENT STAFF REPORT

Project Name: Mayfair At Lawnwood, Phase Three Of Villages Of Longwood

Permit No.: 56-00463-S-02

Application No.: 050608-14 **Associated File:** 050909-15 WU

Application Type: Surface Water Management (General Permit Modification)

Location: St Lucie County, S16/T35S/R40E

Permittee : Mayfair At Lawnwood Lllp

Operating Entity : Mayfair At Lawnwood Condominium Association, Inc.

Project Area: 15.8 acres

Project Land Use: Residential

Drainage Basin: NORTH ST LUCIE

Receiving Body: Master system

Class: N/A

Special Drainage District: NA

Conservation Easement To District : No

Sovereign Submerged Lands: No

PROJECT PURPOSE:

Construction and operation of a 15.80-acre, multi-family residential project known as Mayfair At Lawnwood.

PROJECT EVALUATION:**PROJECT SITE DESCRIPTION:**

The site is located in the City of Ft. Pierce, east of the 19th Street Canal, between North Lawnwood Circle and Quincy Avenue. The overall project master surface water management (SWM) system was previously authorized and constructed. The project is the third and final phase of the previously permitted project and is located at the western portion of the Villages of Longwood project; please refer to Exhibit 1 for a site location map.

There are no other surface waters or wetlands within the proposed project area.

PROJECT BACKGROUND:

Conceptual approval by the District for the 92.6 acre Hospital Corporation of America site, including construction and operation approval for 26.6 acres known as the Pines, was granted on September 14, 1978, as Permit No. 56-00249-S. The Pines subdivision included a 2.0-acre lake (wet detention area).

On September 13, 1982, conceptual approval was granted for the Longwood Village project under Permit No. 56-00463-S (Application No. 05142-C). The 66-acre Longwood Village was part of the originally permitted 92.6 acre Hospital Corporation of America site. Longwood Village is a multi-family residential subdivision with associated facilities. The surface water management system consists of a storm sewer system that conveys subdivision runoff to 3.7 acres of lakes (wet detention areas). Discharge from the lakes is through an orifice and weir to approximately 800 LF of 30 inch diameter RCP, with an ultimate outfall to the 19th Street Canal.

Construction and operation approval for the Villages of Longwood (previously the Longwood Village site) was granted on August 11, 1983, under Permit No. 56-00463-S (Application No. 03023-E). The Villages of Longwood project area contains the master surface water management (SWM) system that also serves the Pines project area. Two additional 19th Street Canal crossings were proposed at Lawnwood Circle North and Nebraska Avenue. The construction completion certification for the Master Surface Water Management System, including the installation of all storm sewer piping along the 66-acre project roadways to the 19th Street Canal, was submitted in June 2005, with approval in July 2005.

PROPOSED PROJECT:

The proposed project is the construction/operation of the stormwater management system specifically serving Mayfair at Lawnwood, 15.80 acres of multi-family, residential development. Mayfair at Lawnwood is the third and final phase of the conceptual surface water management permit for the Villages of Longwood. The percent impervious land use of the proposed project area is slightly higher than that accounted for in the master surface water management system. Dry detention areas are provided within the proposed project area to offset this minor land use change. In addition, the Engineer of Record has elected to install exfiltration trenches to provide additional stormwater storage for the proposed project.

Runoff discharged from the proposed project area will be directed to the master system of lakes that was previously permitted and constructed under Permit No. 56-00463-S, for treatment and storage. The existing master surface water management system discharges to the South 19th Street Canal. The existing outfall piping from Nebraska Avenue to the South 19th Street canal will be realigned (30" diameter RCP).

LAND USE:

As shown in the table below, "This Phase" refers to the proposed project area (Mayfair at Lawnwood). "Total Project" reflects permit number 56-00463-S.

Construction:

Project:

	This Phase	Total Project	
Building Coverage	4.20		acres
Impervious		34.80	acres
Pavement	5.10		acres
Pervious	6.50	27.50	acres
Water Mgnt Acreage		3.70	acres
Total:	15.80	66.00	

WATER QUANTITY:

Discharge Rate :

In the table below are the design storm events and the minimum elevations taken from Permit No. 56-00463-S

The proposed project is consistent with the design assumptions for the master surface water management system. Therefore, the surface water management system for this project has not been designed to limit discharge for the design event to a specified rate. Additional storage is provided within the dry detention areas to offset the minor land use changes.

The outfall of the master surface water system to the South 19th Street Canal is being relocated approximately 10 feet north of its present location. The proposed (relocated) Villages of Longwood culvert, as shown on Exhibit 2.01B (Sheet PGD-2), consists of 176 LF of 30" dia. RCP; the existing culvert is the same type and diameter. This proposed culvert will connect to the existing outfall piping at proposed structure S19A.

Discharge Storm Frequency : 10 YEAR-3 DAY

Design Rainfall : 8.83 inches

Basin	Allow Disch (cfs)	Method Of Determination	Peak Disch (cfs)	Peak Stage (ft, NGVD)
1	17	Pre Vs. Post	15	20.1

Finished Floors :

Building Storm Frequency : 100 YEAR-3 DAY

Design Rainfall : 12.91 inches

Basin	Peak Stage (ft, NGVD)	Proposed Min. Finished Floors (ft, NGVD)	FEMA Elevation (ft, NGVD)
1	21.1	22	20

Road Design :

Road Storm Frequency : 10 YEAR-1 DAY

Design Rainfall: 6.5 inches

Basin	Peak Stage (ft, NGVD)	Proposed Min. Road Crown (ft, NGVD)
1	19	19.69

Control Elevation :

Basin	Area (Acres)	Ctrl Elev (ft, NGVD)	WSWT Ctrl Elev (ft, NGVD)	Method Of Determination
1	15.80	14.5	14.50	Previously Permitted

Receiving Body :

Basin	Str.#	Receiving Body
1	1	19TH Street Canal
1	S19	Basin 1 (Nebraska Avenue)
1	S20	Basin 1 (Nebrasks Avenue)
1	S34	Basin 1 (North Lawnwood Circle)
1	S6	Basin 1 (S Lawnwood Circle)
1	S7	Basin 1 (S Lawnwood Circle)

Discharge Structures: Note: The units for all the elevation values of structures are (ft, NGVD)

Bleeders:

Basin	Str#	Count	Type	Width	Height	Length	Dia.	Invert Angle	Invert Elev.
1	1	1	Triangular Orifice	1.25'	1'			45 deg.	14.5

Culverts:

Basin	Str#	Count	Type	Width	Height	Length	Dia.
1	1	1	Reinforced Concrete Pipe	0	0	770'	2.5

Weirs:

Basin	Str#	Count	Type	Width	Height	Length	Dia.	Elev.
1	1	1	Sharp Crested	4.5'				19.6 (crest)

SWM(Internal) Structures: Note: The units for all the elevation values of structures are (ft, NGVD)

Culverts:

Basin	Str#	Count	Type	Width	Length	Dia.
1	S19	1	Reinforced Concrete Pipe		77'	24"
1	S20	1	Reinforced Concrete Pipe		20'	24"
1	S6	1	Reinforced Concrete Pipe		35'	24"
1	S7	1	Reinforced Concrete Pipe		40'	30"

Weirs:

Basin	Str#	Count	Type	Width	Height	Length	Dia.	Elev.
1	S19	1	Sharp Crested	6"				17.5 (crest)
1	S20	1	Sharp Crested	6"				17.5 (crest)
1	S34	1	Sharp Crested	6"				17.2 (crest)
1	S6	1	Sharp Crested	6"				17.5 (crest)
1	S7	1	Sharp Crested	6"				17.5 (crest)

WATER QUALITY :

As shown in the table below, additional treatment/storage within this proposed construction phase is provided to offset a slight increase in the currently proposed land use. Runoff from the proposed project area will be directed through exfiltration trenches and dry detention areas prior to connection to the master surface water system. The exfiltration trench is not required to meet district criteria. No adverse water quality impacts are anticipated as a result of the proposed project.

Basin	Treatment Method		Vol Req'd (ac-ft)	Vol Prov'd (ac-ft)
1	Treatment	Wet Detention	.11	.11

LEGAL ISSUES:

An agreement in principal has been reached between Mayfair at Lawnwood Condominium Association, Inc. and Longwood of Ft. Pierce HOA, addressing the drainage rights and cost sharing responsibilities of the stated parties for the master and the proposed project surface water management systems. An executed copy of said agreement shall be submitted to the District concurrent with the engineering certification of construction completion.

Prior to construction commencement, a copy of the executed agreement between Longwood of Ft. Pierce HOA and Mayfair at Lawnwood Condominium Association, Inc., for the storm sewer outfall cross-easement, located within the proposed project area, shall be submitted to the District.

CERTIFICATION AND MAINTENANCE OF THE WATER MANAGEMENT SYSTEM:

It is suggested that the permittee retain the services of a Professional Engineer registered in the State of Florida for periodic observation of construction of the surface water management (SWM) system. This will facilitate the completion of construction completion certification Form #0881 which is required pursuant to Section 10 of the Basis of Review for Environmental Resource Permit Applications within the South Florida Water Management District, and Rule 40E-4361(2), Florida Administrative Code (F.A.C.).

Pursuant to Chapter 40E-4 F.A.C., this permit may not be converted from the construction phase to the operation phase until certification of the SWM system is submitted to and accepted by this District. Rule 40E-4.321(7) F.A.C. states that failure to complete construction of the SWM system and obtain operation phase approval from the District within the permit duration shall require a new permit authorization unless a permit extension is granted.

For SWM systems permitted with an operating entity who is different from the permittee, it should be noted that until the permit is transferred to the operating entity pursuant to Rule 40E-1.6107, F.A.C., the permittee is liable for compliance with the terms of this permit.

The permittee is advised that the efficiency of a SWM system will normally decrease over time unless the system is periodically maintained. A significant reduction in flow capacity can usually be attributed to partial blockages of the conveyance system. Once flow capacity is compromised, flooding of the project may result. Maintenance of the SWM system is required to protect the public health, safety and the natural resources of the state. Therefore, the permittee must have periodic inspections of the SWM system performed to ensure performance for flood protection and water quality purposes. If deficiencies are found, it is the responsibility of the permittee to correct these deficiencies in a timely manner.

RELATED CONCERNS:

Water Use Permit Status:

The applicant has indicated that a groundwater well will be used as a source for irrigation water for the project. Water Use application number 050909-15 has been submitted / is being processed concurrently for this project. The applicant has indicated that a dewatering permit is not required.

This permit does not release the permittee from obtaining all necessary Water Use authorization(s) prior to the commencement of activities which will require such authorization, including construction dewatering and irrigation, unless the work qualifies for a No-Notice Short-Term Dewatering permit pursuant to Chapter 40E-20.302(3) or is exempt pursuant to Section 40E-2.051, FAC.

Historical/Archeological Resources:

No information has been received that indicates the presence of archaeological or historical resources or that the proposed activities could cause adverse impacts to archaeological or historical resources.

DCA/CZM Consistency Review:

The District has not received a finding of inconsistency from the Florida Department of Environmental Protection or other commenting agencies regarding the provisions of the federal Coastal Zone Management Plan.

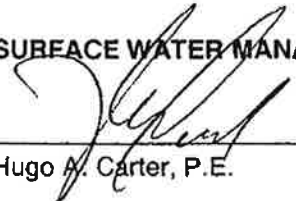
Enforcement:

There has been no enforcement activity associated with this application.

STAFF REVIEW:

DIVISION APPROVAL:

SURFACE WATER MANAGEMENT:



Hugo A. Carter, P.E.

DATE: 4 Oct-05

NATURAL RESOURCE MANAGEMENT:



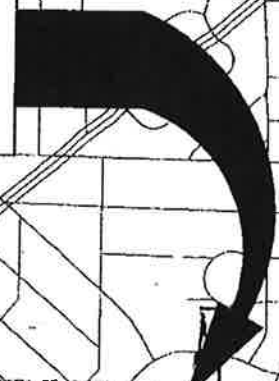
John A. Meyer

DATE: 29 Sept. 05

ST. LUCIE COUNTY
SECTION 16, TOWNSHIP 35S, RANGE 40E



**PROJECT
LOCATION**



**Mayfair at Lawnwood
Phase Three of Villages of Longwood
LOCATION MAP**

Application 050608-14

Exhibit 1 2005 LBFH Inc.



CONSULTING CIVIL ENGINEERS,
SURVEYORS & MAPPERS
"Partners For Results,
Value By Design"

2090 Palm Beach Lakes Blvd, Suite 600,
West Palm Beach, FL 33409

(561) 684-3375 Fax: (561) 689-8531

BPR & FBPE License No: 959

www.lbfh.com

Scale: NTS

Sheet 1

Computed: OTB

Checked: OTB

PROJECT NAME:

Mayfair At Lawnwood

Date

05/02/05

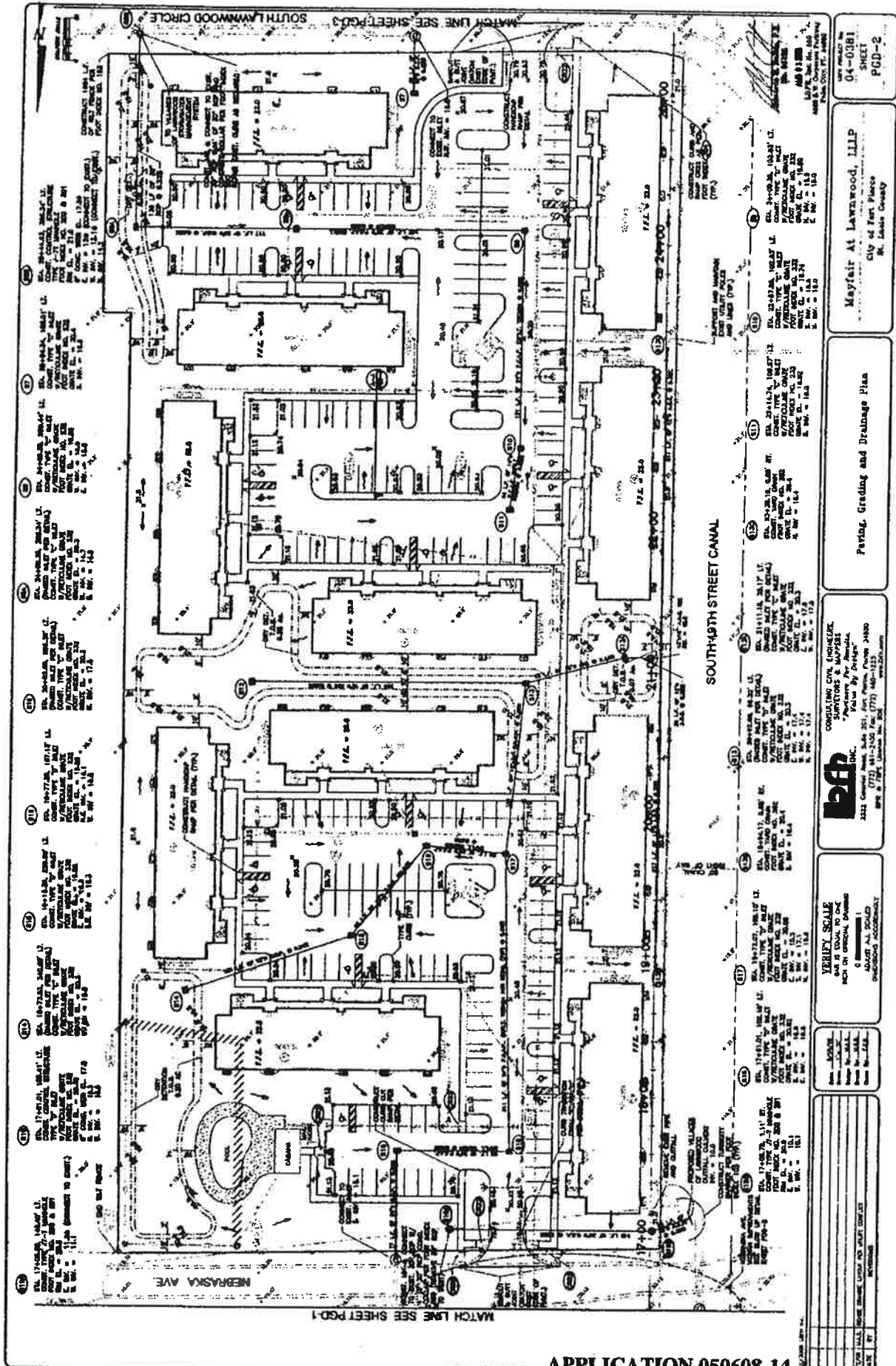
FILE NO.

02001LOCATE

Project No.

04-0381

Urbwing Name: P:\04-0381\Permit\SPW\040181LOCATE.dwg Layout Name: LBFH - Plotted by: Tara Bomber - Date: 5/18/2005 - 10:15 AM - LBFH, Inc.



PROJECT NO. 04-0381
SHEET PGD-2

Mayfair At Lawrencewood, Illip
City of Fort Pierce
St. Johns County

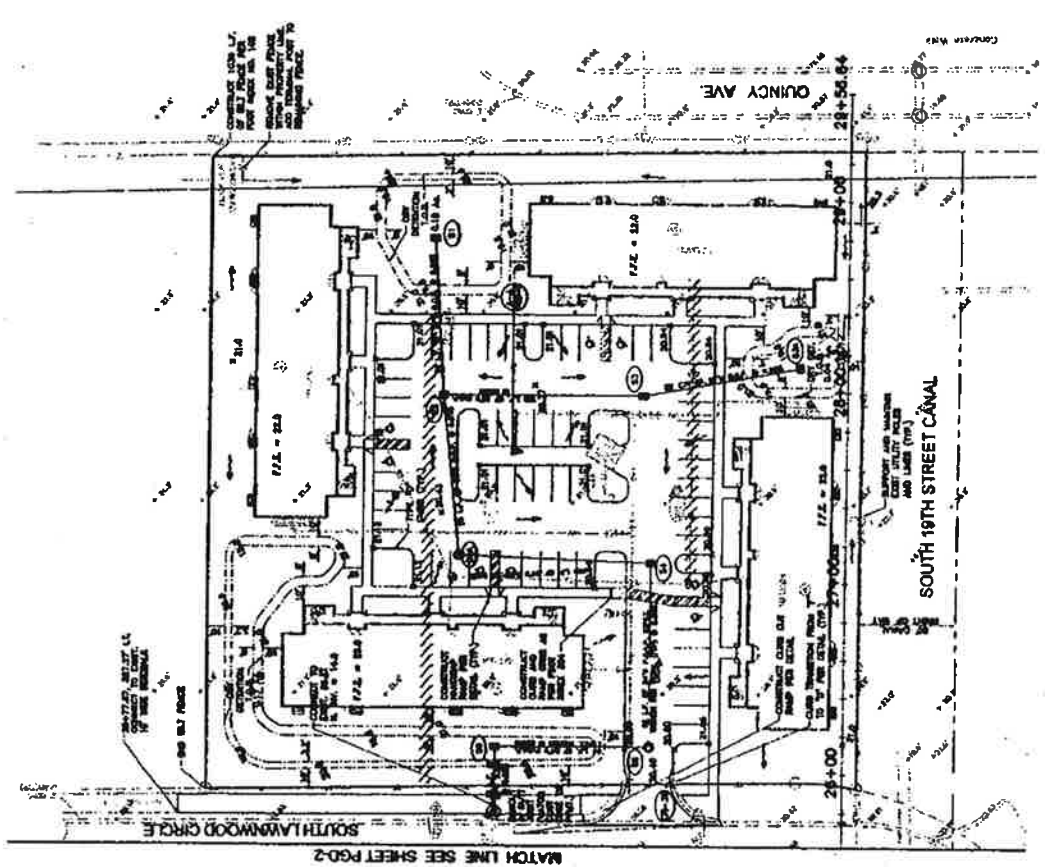
Paving, Grading and Drainage Plan

CONSULTING CIVIL ENGINEER
SAVITORS & ASSOCIATES
Professional Seal
2322 Central Avenue, Suite 201, Fort Pierce, Florida 34950
(888) 414-2500 Fax: (888) 414-2501
www.savitors.com

VERIFY SCALE
DATE: _____ BY: _____

DATE	BY

APPLICATION 050608-14
EXHIBIT 2.01B



- 1. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND RECORD THEM ON THE DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF ZION AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION.
- 2. ALL NEW CONCRETE SHALL BE FINISHED TO THE FINISH GRADE SHOWN ON THE DRAWING.
- 3. ALL NEW ASPHALT SHALL BE FINISHED TO THE FINISH GRADE SHOWN ON THE DRAWING.
- 4. ALL NEW GRAVEL SHALL BE FINISHED TO THE FINISH GRADE SHOWN ON THE DRAWING.
- 5. ALL NEW CURBS SHALL BE FINISHED TO THE FINISH GRADE SHOWN ON THE DRAWING.
- 6. ALL NEW SIDEWALKS SHALL BE FINISHED TO THE FINISH GRADE SHOWN ON THE DRAWING.
- 7. ALL NEW DRIVEWAYS SHALL BE FINISHED TO THE FINISH GRADE SHOWN ON THE DRAWING.
- 8. ALL NEW STAIRS SHALL BE FINISHED TO THE FINISH GRADE SHOWN ON THE DRAWING.
- 9. ALL NEW ROOFS SHALL BE FINISHED TO THE FINISH GRADE SHOWN ON THE DRAWING.
- 10. ALL NEW FLOORS SHALL BE FINISHED TO THE FINISH GRADE SHOWN ON THE DRAWING.

MLP
 MASONRY & CONCRETE, P.C.
 1437 W. 19TH ST.
 SUITE 200
 ZION, ILLINOIS 62590
 PHONE 618.771.1999

PROJECT NO. 04-0381
 SHEET PGD-3

Mayfair At Lawwood, LLLP
 CITY OF ZION PLANNING
 80 LAUREL CANYON

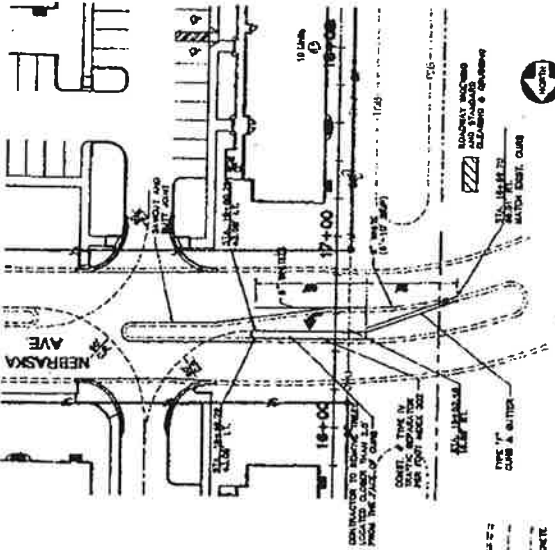
Paving, Grading and Drainage Plan

GENERAL CONTRACTOR: MASONRY & CONCRETE, P.C.
 ARCHITECT: MAYFAIR AT LAWWOOD, L.L.P.
 ENGINEER: MASONRY & CONCRETE, P.C.
 2323 Commerce Street, Suite 201, Zion, IL 62590
 (773) 441-2300 Fax: (773) 441-1323
 www.mcp.com

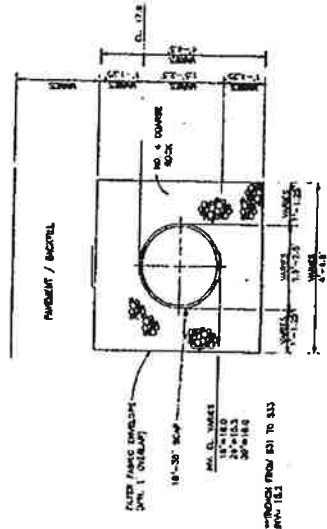
VERIFY SCALE
 THIS PLAN IS TO BE USED FOR GRADING AND DRAINAGE ONLY. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND RECORD THEM ON THE DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF ZION AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION.

DATE	BY	REVISION

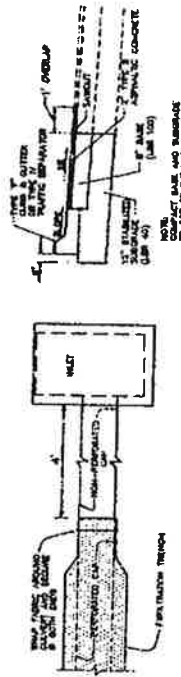
APPLICATION 050608-14
 EXHIBIT 2.01C



NEBRASKA AVE. MEDIAN IMPROVEMENTS
N.T.S.



FOOT INDEX 286 - INFILTRATION TRENCH DETAIL



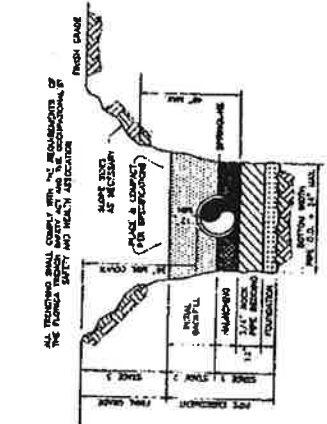
HIDENING DETAIL
N.T.S.



TYPICAL END OF INFILTRATION TRENCH
N.T.S.

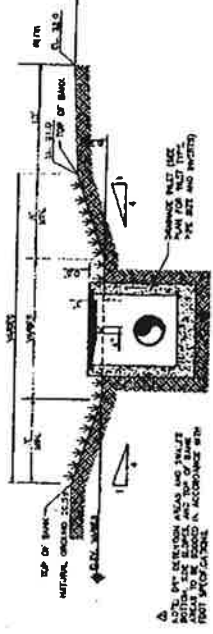
MATERIALS
 8\"/>

CONCRETE DIMENSION PAD SECTION
N.T.S.



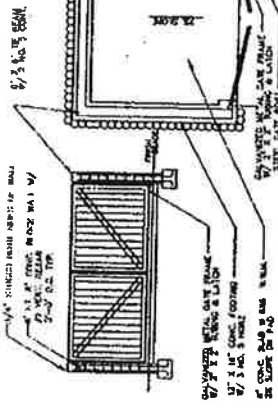
TYPICAL TRENCHING & BACKFILLING
N.T.S.

1. ALL TRENCHES SHALL COMPLY WITH THE REQUIREMENTS OF THE FLORIDA TRENCHING ACT.
2. DIMENSIONS A FUNDATION MAY BE REQUIRED AT FOOT SOIL CONDITIONS.
3. FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
4. DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
5. JOINTS SHALL BE MADE AT THE POINTS INDICATED.
6. JOINTS SHALL BE MADE AT THE POINTS INDICATED.
7. JOINTS SHALL BE MADE AT THE POINTS INDICATED.



DRY DETENTION WITH RAISED INLET SECTION
N.T.S.

ALL TRENCHING SHALL COMPLY WITH THE REQUIREMENTS OF THE FLORIDA TRENCHING ACT AND THE FLORIDA TRENCHING ACT. ALL TRENCHES SHALL BE MADE AT THE POINTS INDICATED. ALL TRENCHES SHALL BE MADE AT THE POINTS INDICATED. ALL TRENCHES SHALL BE MADE AT THE POINTS INDICATED.



RUMBLE ENCLOSURE
N.T.S.

ALL TO DIM. SEE PLAN FOR DETAILS. SEE PLAN FOR DETAILS. SEE PLAN FOR DETAILS.

City of Fort Pierce
St. Leon County

Paving, Grading and Bridge Details

CONSULTING CIVIL ENGINEER
 2000 Palm Beach Lakes Blvd., Suite 600, West Palm Beach, FL 33409
 (407) 835-3370 Fax: (407) 835-3371
 www.pbr.com

VERTICAL SCALE
 1\"/>

DATE: _____

STAFF REPORT DISTRIBUTION LIST

MAYFAIR AT LAWNWOOD, PHASE THREE OF VILLAGES OF LONGWOOD

Application No: 050608-14

Permit No: 56-00463-S-02

INTERNAL DISTRIBUTION

- X Benjamin Studt - 4250
- X Carolyn McCreedy - 4220
- X Hugo A. Carter, P.E. - 4220
- X John A. Meyer - 4250
- X ERC Martin/St. Lucie - 2280
- X Permit File

EXTERNAL DISTRIBUTION

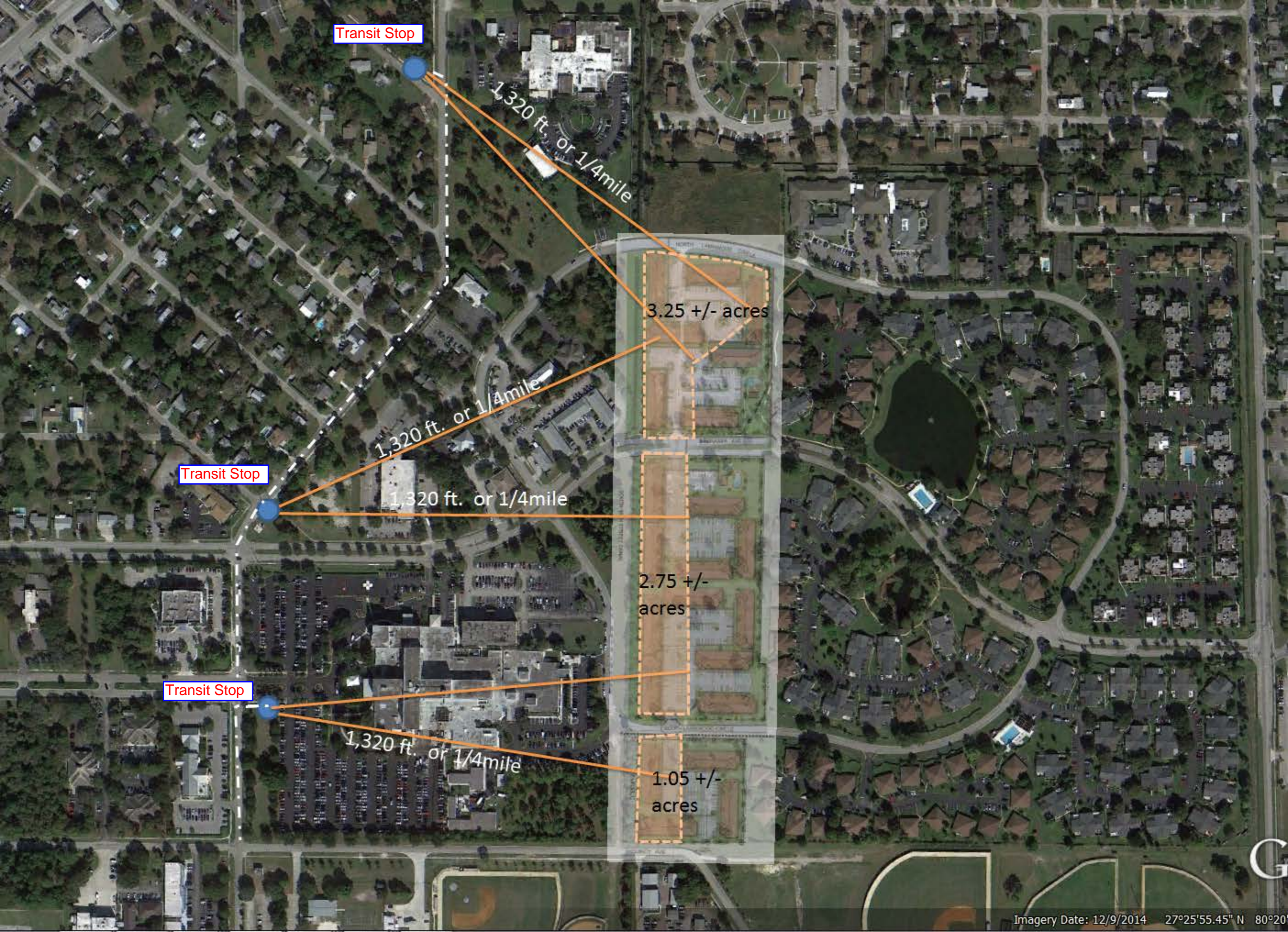
- X Permittee - Mayfair At Lawnwood Llp
- X Engr Consultant - Lbfh Inc

GOVERNMENT AGENCIES

- X City Engineer, City of Fort Pierce
- X City of Port St Lucie - Planning Div
- X Florida Fish & Wildlife Conservation Commission -
Imperiled Species Mgmt Section
- X St Lucie County - Planning Div
- X St. Lucie County Community Development Director
- X St. Lucie County Engineer - Chris Lastrange
- X St. Lucie County Environmental Resource Manager

OTHER INTERESTED PARTIES

- X Sierra Club - Central Florida Group P.O. Box 941692
- X Water Management Institute - Michael N. Vanatta



Transit Stop

1,320 ft. or 1/4mile

3.25 +/- acres

Transit Stop

1,320 ft. or 1/4mile

1,320 ft. or 1/4mile

2.75 +/- acres

Transit Stop

1,320 ft. or 1/4mile

1.05 +/- acres



Route 3
South Fort Pierce Business
Transit Line & Bus Stops

-  Bus Stop
-  Bus stop transfer
Fort Pierce Intermodal
-  Timepoint - Bus Stop



(Ord. No. H-186, § 30-62, 6-15-81; Ord. No. I-243, § 1, 10-19-87; Ord. No. L-260, § 1, 6-18-12)

Sec. 22-72. - Density bonuses.

(a) Purpose. To encourage infill and redevelopment in certain areas of the city through density bonus provisions in order to maximize existing infrastructure, protect natural resources, lower the cost of public services and promote a more sustainable community.

(b) General requirements.

- (1) Property located within the Coastal High Hazard Area (CHHA), as defined by the adopted City of Fort Pierce Comprehensive Plan and the Florida Statutes, is not eligible for density bonus provisions;
- (2) A maximum of five (5) dwelling units per acre density bonus is permitted for development located within one-fourth (¼) mile radius of a rail station, multimodal transit center or transit stop;
- (3) The rail station, multimodal transit center or transit stop must be serviced by the regulating transit authority of the particular transportation facility at the time that the density bonus is awarded;
- (4) Development is eligible for density bonus provisions if it is located within the one-fourth (¼) mile radius by any measure; and
- (5) The director of planning may make the determination that a development is eligible for density bonus provisions if it is located outside the one-fourth (¼) mile radius but within an enclave surrounded on all sides by several density bonus boundary limits.

(c) Tiered density bonus provisions.

- (1) Development located within the community redevelopment area (CRA) that is not located within the CHHA is eligible for a maximum density bonus of five (5) units-per-acre; and
- (2) Development located outside the CRA boundary and not in an R-1 zoning district shall be eligible for a maximum density bonus of three (3) units-per-acre; and
- (3) Development located on property in the R-1 zoning district and that is outside the CRA boundary shall be eligible for a maximum density bonus of one unit-per-acre.

(d) General standards.

- (1) The density bonus is measured from the maximum density permitted on site before the density bonus provisions are applied; and
- (2) All development receiving a density bonus shall require site plan approval through the planning department.

(3) Compatibility review.

- a. A determination shall be made as to whether the density bonus provisions will result in a significantly greater negative impact on the surrounding property. The determination shall be based upon a **comparison between the development impacts of the site before and after applying the density bonus provisions to the surrounding property** and shall address:
 1. Whether the increase in density will decrease visual access to the surrounding vista by existing development, especially with regard to historic sites, waterfront or open space areas by more than twenty-five (25) per cent;
 2. Whether buffer landscaping provides sufficient screening between sites; (*scale/height/maturity of landscaping)

3. Whether the orientation of buildings, doors or windows allow for sufficient sight-line separation between building sites; and
 4. Whether the increase in density will result in the decrease the level of service for public facilities (*park/recreation on-site?);
- b. Such negative impacts shall be mitigated as a condition of approval by related development standards as required by the director of planning, such as:
1. Increased building setbacks;
 2. Increased side yard setback;
 3. Increased planting and screening requirements;
 4. Orientation of buildings away from adjacent development;
 5. Location of open space toward surrounding development; and
 6. Any material improvement necessary to maintain the level of service of public facilities.
- c. Development requiring mitigation for one or more significant negative impacts will not be eligible for the flexible development identified in this section.
- (e) Flexible development standards.
- (1) Administrative relief may be provided by the director of planning with regard to the following:
 - a. Setback requirements may be reduced up to the required landscaped area;
 - b. Lot size requirements may be reduced up to ten (10) per cent;
 - c. Parking requirements may be reduced; and/or
 - d. The required twenty-five (25) per cent open space requirement for all development may be provided off-site, or may be reduced, if the development is connected by a continuous sidewalk to an existing public park that is located within one-fourth (¼) mile of the site.

(Ord. No. L-263, § 1, 8-20-12)

DIVISION 2. - LANDSCAPING.

Sec. 22-185. - Scope.

This division sets out requirements and standards for plant materials, installation, irrigation, design and developer responsibilities.

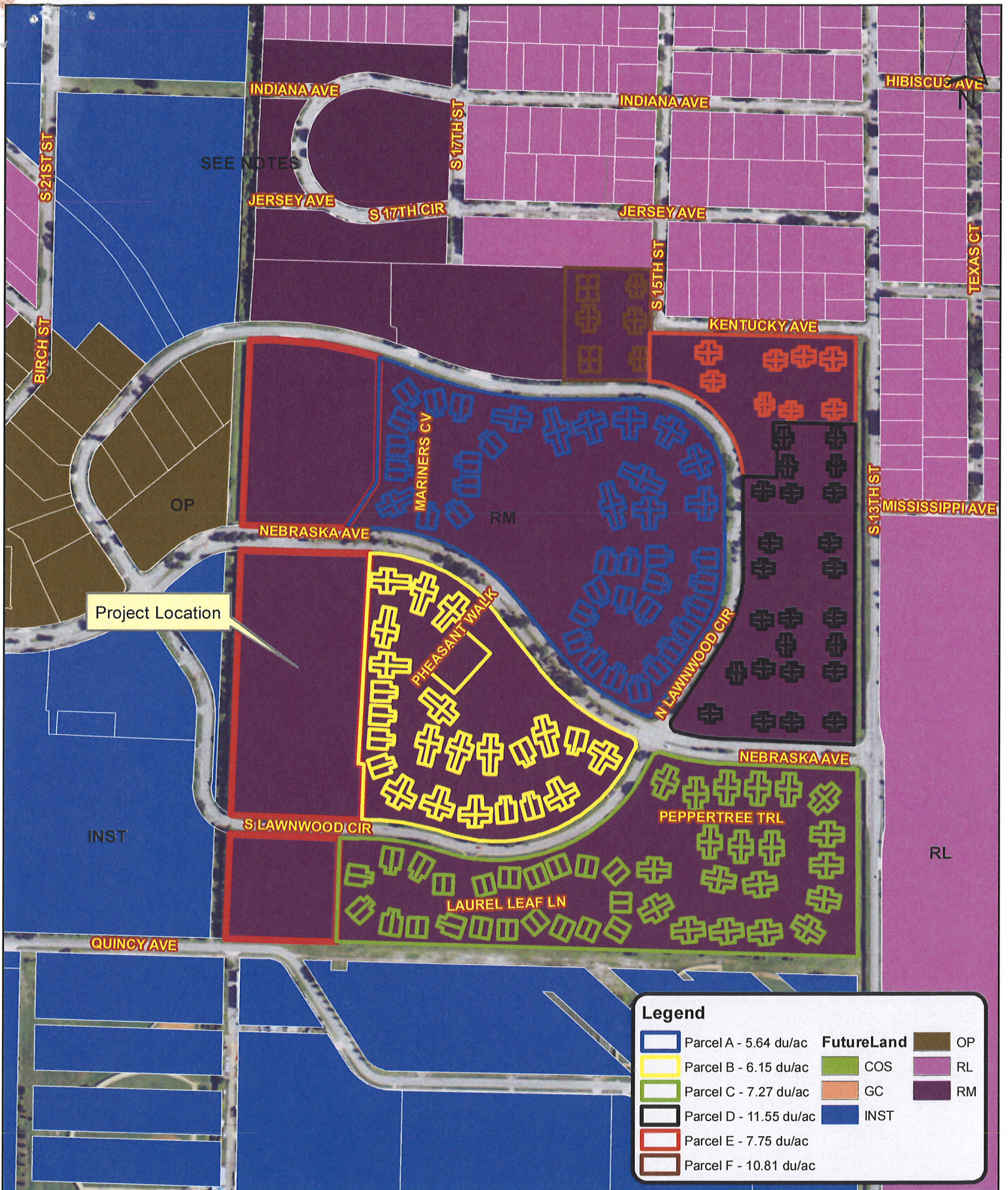
(Ord. No. K-126, § 4, 1-22-02)

Sec. 22-186 - Single- and two-family dwelling units.

Landscaping design standards for single-family and two-family residential structures. These standards shall apply to all new single-family and two-family dwelling that have less than four thousand (4,000) square feet of interior floor area or the remodeling of existing units with less than four thousand (4,000) square feet of interior floor area that require a building permit.

- (1) Residential structures constructed with other than slab on grade foundations shall be provided with a continuous skirting of landscaping, in the form of shrubs or hedges, for the entire

➤ **Neighboring Densities & Occupancy -
Maps & Data**



Project Location

Legend

Parcel A - 5.64 du/ac	FutureLand OP
Parcel B - 6.15 du/ac	FutureLand COS
Parcel C - 7.27 du/ac	FutureLand GC
Parcel D - 11.55 du/ac	INST
Parcel E - 7.75 du/ac	RL
Parcel F - 10.81 du/ac	RM

Mayfair at Longwood Neighboring Densities Map



IBI Group (Florida) Inc.
2200 Park Central Boulevard N. Suite 100
Pompano Beach, FL 33064
tel 954 974 2200
fax 954 973 2686

City of Fort Pierce
Scale: 1" = 400'

By: cmp

St. Lucie County
Job# 38890

Florida
Date: 01/13/2016



IBI Group (Florida) Inc.
2200 Park Central Boulevard N. Suite 100
Pompano Beach, FL 33064
tel 954 974 2200
fax 954 973 2686

Mayfair at Longwood Adjacent Homestead Exemptions Map

City of Fort Pierce

St. Lucie County

Florida

Scale: 1" = 300'

By: cmp

Job# 38890

Date: 01/13/2016

Mayfair Market Area as of 01/18/2016
Available Condo/Townhome/Villa Properties

Rick, these are the 'FOR SALE' units I pulled up from the most recent MOVATO listings I receive every day for this market area.

1303 Peppertree Trail, Apt B (Lakewood Villas) 2 Brm/2 Bath 1,850 sq ft	\$ 59,900 Time on Market: 81 days
1305 Peppertree Trail, Apt D (Lakewood Villas) 2 Brm/2 Bath 1,850 sq ft	\$ 74,900 Time on Market: 162 days
1327 Peppertree Trail, Apt ? (Lakewood Villas) 2 Brm/2 Bath 1,850 sq ft	\$ 68,000 Time on Market: 147 days
1317 Peppertree Trail, Apt ? (Lakewood Villas) 2 Brm/2 Bath 1,850 sq ft	\$ 69,900 Time on Market: 9 days
1302 Nebraska Avenue, Apt 12A 2 Brm/2 Bath 1,658 sq ft	\$ 69,900 Time on Market: 110 days
1525 Pheasant Walk, Apt A 2 Brm/2 Bath 1,800 sq ft	\$ 58,000 Time on Market: 74 days
1549 Pheasant Walk, Apt B 2 Brm/2 Bath 2,246 sq ft	\$ 89,000 Time on Market: 87 days
1611 Laurel Leaf Lane, Apt A 3 Brm/2 Bath 1,658 sq ft	\$ 89,900 Time on Market: 97 days

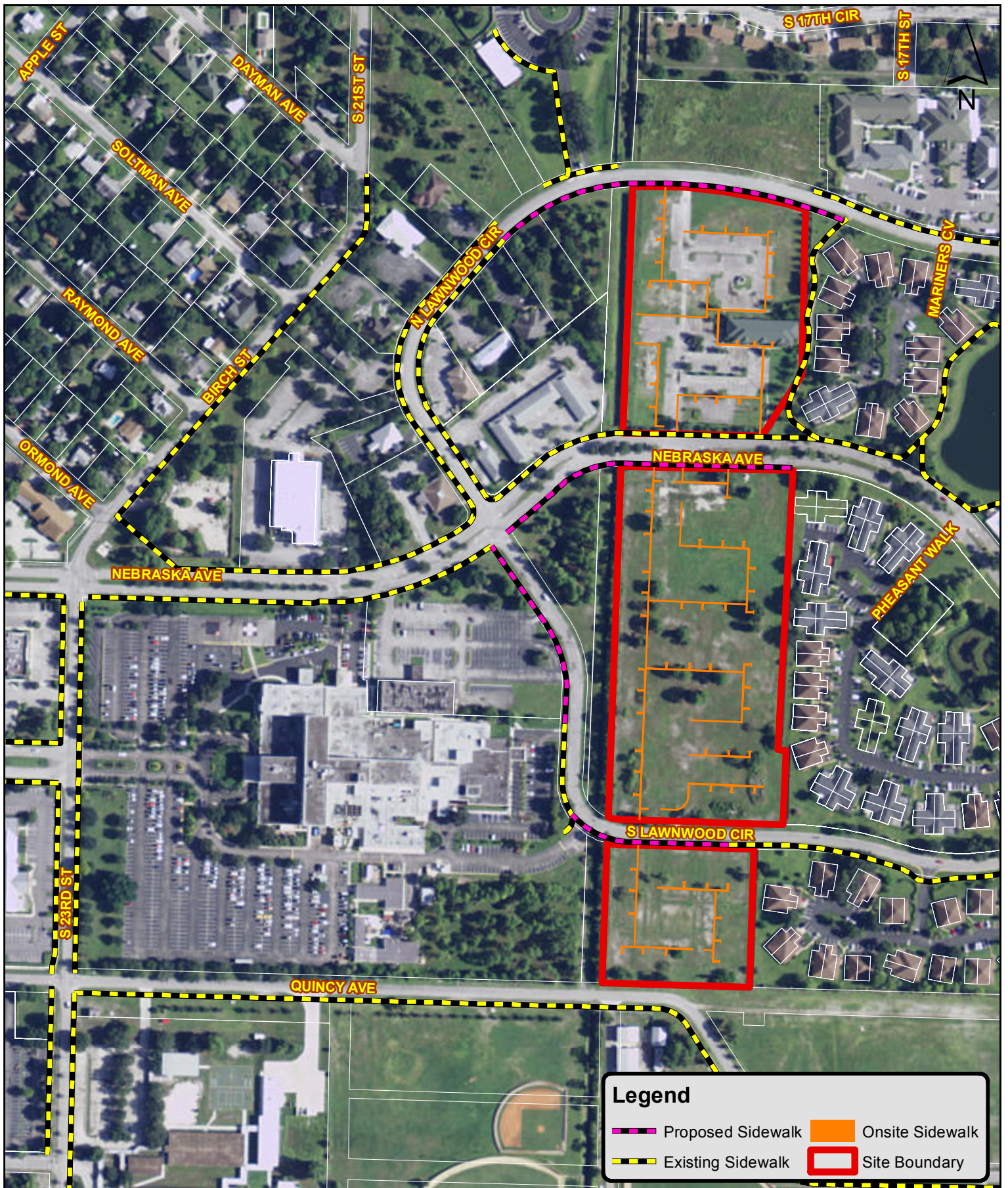
1440 N Lawnwood Circle, Apt 19-C
2 Brm/1.5 Bath 1,658 sq ft \$ 84,900
Time on Market: 127 days

1458 N Lawnwood Circle, Apt ?
2 Brm/1.5 Bath 1,658 sq ft \$ 69,900
Time on Market: 143 days

2090 Colonial Road, Apt 1
2 Brm/2 Bath 2,141 sq ft \$ 79,900
Time on Market: 67 days

2080 Colonial Road, Apt 3
2 Brm/2 Bath 1,905 sq ft \$ 74,900
Time on Market: 29 days

Parcel	A	B	C	D	E	F	AVERAGE
# of Units	102	75	122	96	32	24	451
Total Acreage	18.07	12.2	16.77	8.31	4.13	2.22	61.7
Density	5.64 du/ac	6.15 du/ac	7.27 du/ac	11.55 du/ac	7.75 du/ac	10.81 du/ac	7.31
Non-Homestead	39	22	59	54	20	15	209
% of Total	38%	29%	48%	56%	63%	63%	46%



Legend

- Proposed Sidewalk
- Onsite Sidewalk
- Existing Sidewalk
- Site Boundary

Mayfair at Longwood Sidewalk Map



IBI Group (Florida) Inc.
 2200 Park Central Boulevard N. Suite 100
 Pompano Beach, FL 33064
 tel 954 974 2200
 fax 954 973 2686

City of Fort Pierce

St. Lucie County

Florida

Scale: 1" = 300'

By: cmp

Job# 38890

Date: 06/06/2016



CITY OF FORT PIERCE COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION

*COMPREHENSIVE PLANNING ◊ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ◊ URBAN DESIGN ◊ URBAN FORESTRY ◊ ZONING*

CAPACITY ANALYSIS

I. Site Data:

	Existing Use	Future Land Use	Zoning
North	Vacant	RM	R4
South	Recreation	INST	OS1
East	Residential	RM	PUD
West	Hospital/Medical	Office INST/OP	C1

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current	Medium Residential	PUD	220 (13.86)	15.87	X
**Proposed	Medium Residential	PUD	266 (16.76)	15.87	N/A X

II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day 57,200
**Proposed Zoning/FLU	Total gallons per day 69,160
**Change in Demand	Total gallons per day 11,960

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day 57,200
**Proposed Zoning/FLU	Total gallons per day 69,160
**Change in Demand	Total gallons per day 11,960

C. Parks and Recreation (Residential Classifications Only): (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people	572	692	+ 120
Urban District	5 acres per 1,000 people	572	692	+ 120
Community	2.5 acres per 1,000 people	572	692	+ 120
Neighborhood	1.36 acres per 1,000 people	572	692	+ 120

D. Public Schools (Residential Classifications Only): Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name		
City	Ft. Pierce	Ft. Pierce
Distance		
Current Zoning/FLU Enrollment Demand	62	27
**Proposed Zoning/FLU Enrollment Demand	75	32
**Change in Demand	13	6

E. Solid Waste: 2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units	
Demand Analysis	Maximum
Current Zoning/FLU	29 yards
**Proposed Zoning/FLU	35 yards
*Change in Demand	6 yards

F. Stormwater:
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)

No change in the impervious area.

Impact	
---------------	--

III. Transportation Analysis: Complete ITE Trip Generation Form (Attached)

G. Transportation Analysis: Complete ITE Trip Generation Data Form		
Most recent ITE Code for use; HCM Roadway Capacity		
	AADT	AM/PM Peak Hour Trips
Demand Analysis	Maximum	Maximum
Current Zoning/FLU	1463	136/112
**Proposed Zoning/FLU	1769	165/136
*Change in Demand Impact to Capacity	Trips 306	Trips 29/23

IV. Project Description

PHASING
Is this project (phase) part of a larger project? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If yes, enumerate each phase, the number of units or square footage in each phase and beginning/completion date.
Total Project: Residential Units: 266 Single Family: Multifamily: 266
Non-residential (square footage): N/A
Mixed-use (describe use): N/A
(If this is a single phase project, name it Phase I – Total)

RESIDENTIAL DATA					
Type	Phase	Number of Units	Acres	Expected beginning date	Expected completion date
Single-family, detached					
Single-family, attached					
Multi-family	1	266	15.87	1st qtr. 2016	2018
Other (specify)					

NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date
N/A					

A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated. Yes No

- B. 1. Does this application involve demolition or re-use of any structure(s)? Yes No
If yes, what is the size of the structure(s) to be demolished or re-used? _____
2. What is the current use of the structure to be demolished or re-used? N/A
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site? Yes No
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

C. Exemptions Requested:

** Complete section if requesting a change in zoning, future land use, or expanding

PROVIDING FOR A DENSITY OF 17 DU/AC.

TRAFFIC IMPACT STUDY

**MAYFAIR AT LAWNWOOD
FORT PIERCE, FLORIDA**



Prepared for:

IBI Group (Florida), Inc.
2200 Park Central Boulevard North
Suite 100
Pompano Beach, Florida 33064

Prepared by:

Traffic Planning and Design, Inc.
535 Versailles Drive
Maitland, Florida 32751
407-628-9955

November 2015
TPD № 4714

PROFESSIONAL ENGINEERING CERTIFICATION

I hereby certify that I am a Professional Engineer properly registered in the State of Florida practicing with Traffic Planning & Design, Inc., a corporation authorized to operate as an engineering business, EB-3702, by the State of Florida Department of Professional Regulation, Board of Professional Engineers, and that I have prepared or approved the evaluations, findings, opinions, conclusions, or technical advice attached hereto for:

PROJECT: Mayfair at Lawnwood
LOCATION: Fort Pierce, Florida
CLIENT: IBI Group (Florida), Inc.

I hereby acknowledge that the procedures and references used to develop the results contained in these computations are standard to the professional practice of Transportation Engineering as applied through professional judgment and experience.

NAME: Turgut Dervish, P.E.
Florida P.E.: 20400
DATE: November 16, 2015
SIGNATURE: _____



TABLE OF CONTENTS

	Page
INTRODUCTION	1
PROPOSED DEVELOPMENT AND TRIP GENERATION.....	4
Trip Generation	
Trip Distribution/Assignment	
Project Significance/Impact Area	
EXISTING CONDITIONS ANALYSIS	8
Roadway Segment Analysis	
Intersection Analysis	
PROJECTED CONDITIONS ANALYSIS	11
Roadway Segment Analysis	
Intersection Analysis	
TURN LANE ANALYSIS	15
CONCLUSIONS	16
APPENDICES.....	17
A Turning Movement Counts Signal Timing Sheet	
B Existing HCS Capacity Worksheets	
C Trends Analysis Charts	
D Projected HCS Capacity Worksheets	

TABLE OF CONTENTS, continued

LIST OF TABLES

	Page
Table 1 Trip Generation Calculation.....	4
Table 2 Project Trip Significance.....	7
Table 3 Existing Roadway Capacity Analysis.....	8
Table 4 Existing Intersection Capacity Analysis.....	9
Table 5 Projected Roadway Capacity Analysis-Peak Hour.....	11
Table 6 Projected Intersection Capacity Analysis.....	12

LIST OF FIGURES

Figure 1 Site Location Map.....	2
Figure 2 Preliminary Site Plan.....	3
Figure 3 Trip Distribution/Assignment.....	5
Figure 4 Existing Traffic Counts.....	10
Figure 5A Projected P.M. Peak Hour Traffic Volumes.....	13
Figure 5B Projected P.M. Peak Hour Traffic Volumes.....	14

INTRODUCTION

This traffic analysis was conducted in order to assess the traffic impact of Mayfair, a proposed 266-unit multi-family residential project in the City of Fort Pierce, Florida. The project site is located on Nebraska Avenue between North Lawnwood Circle and Quincy Avenue. **Figure 1** depicts the site location and the area road roadways. Access to the site will be provided via driveways from North Lawnwood Circle, Nebraska Avenue and South Lawnwood Circle. **Figure 2** is a preliminary site plan depicting the project's building layout and its access configuration. Based on this plan, 52 units in four buildings will be accessed from North Lawnwood Circle, 94 units in nine buildings from Nebraska Avenue and 120 units in ten buildings from South Lawnwood Circle.

The analysis was performed in accordance with the *St. Lucie TPO Standardized Traffic Impact Studies (TIS) Methodology and Procedures*, dated January 23, 2014. Data utilized in the analysis consists of site plan development information provided by the Project Engineers, traffic counts and Level of Service standards/capacities obtained from St. Lucie MPO, and trip generation rates from the Institute of Transportation Engineers (ITE). Additionally, the TPD personnel conducted field surveys/observations of the area roadways and collected P.M. peak hour intersection counts.





Mayfair at Lawnwood Planned Development
 Project No 4714
 Figure 1

Site Location



PROPOSED DEVELOPMENT AND TRIP GENERATION

The proposed development is a 266-unit multi-family residential project. To determine the traffic impact of this development in the area, an analysis of its trip generation characteristics was made. This included the estimation of the trips to be generated and their distribution/assignment to the area roadways.

Trip Generation

The trip generation of the proposed development was calculated with the use of trip generation rates from the *9th Edition of the ITE Trip Generation Manual*. This calculation is summarized in **Table 1** which shows the development's daily and P.M. peak hour trips to be generated. As can be seen, the proposed development is expected to generate 1,769 daily trips and 165 P.M. peak hour trips.

Table 1
Trip Generation Calculation

ITE Code	Land Use	Size	Daily Trips		P.M. Peak Hour Generation			
			Rate	Trips	Rate	Enter	Exit	Total
220	Apartment	266 DU	6.65	1,769	0.62	107	58	165
Total Trips				1,769		107	58	165

Trip Distribution/Assignment

The trip distribution of the generated trips in the area were estimated from review of the existing P.M. peak hour counts made at the intersections at the two ends of Nebraska Avenue. Nebraska Avenue is a four lane divided roadway which extends from 13th Street on east and to 25th Street (Martin Luther King Jr. Boulevard) on the west. It is the area's major roadway providing external access to developments along Lawnwood Circle and Nebraska Avenue.

The distribution pattern determined based upon the existing P.M. peak hour counts is illustrated in **Figure 3**. This figure also shows the project's daily and P.M. peak hour trips assigned to the area roadways based upon this distribution.





Mayfair at Lawnwood Planned Development
 Project No 4714
Figure 3

Trip Distribution / Assignment



Project Significance/Impact Area

The extent of the project's impact area and the roadways/intersections to be included in the analysis were based upon St. Lucie MPO's one percent or five percent significance threshold established in the TIS Methodology and Procedures. According to these procedures the roadways and intersections which meet one of the five criteria below are to be included in the analysis:

1. Any road segment to which development traffic makes its connection to the Major Road Network, provided that the development traffic consumes one percent or more of the existing or committed two-way peak hour service capacity.
2. Major Road Segment on which the two-way peak hour project traffic consumes 5 (five) percent or more of the existing or committed two-way peak hour capacity.
3. Site driveway connections to public roads.
4. Intersections of local/non-major roads (that provide access to the development) with the Major Road Network.
5. Major intersections that are part of the impacted roadways.

Table 2 is a summary of the significance test, which shows that Nebraska Avenue and Lawnwood Circle meet the minimum 1.0% significance threshold. Therefore these roadways along with the following intersections will be numbered in the traffic analysis:

- Nebraska Avenue & 25th Street
- Nebraska Avenue & Lawnwood Circle
- Nebraska Avenue & 13th Street
- Site Driveway Connections



**Table 2
Project Trip Significance**

Roadway Segment	No. of Lanes	LOS Standard	Two-Way Peak Hour Service Capacity	Distribution	Project Trips	Project Significance
North Lawnwood Circle						
Nebraska Avenue to Project Site	2	D	1,200	20%	33	2.8
South Lawnwood Circle						
Nebraska Avenue to Project Site	2	D	1,200	45%	74	6.2
Nebraska Avenue						
25th Street to Lawnwood Circle	4	D	2,920	50%	83	2.8
Lawnwood Circle to 13th Street	4	D	2,920	50%	83	2.8
13th Street						
Virginia Avenue to Nebraska Avenue	2	D	1,170	30%	50	4.3
Nebraska Avenue to Georgia Avenue	2	D	1,260	20%	33	2.6
25th Street						
Virginia Avenue to Nebraska Avenue	4	D	3,580	25%	41	1.1
Nebraska Avenue to Okeechobee Road	4	D	3,580	25%	41	1.1



EXISTING CONDITIONS ANALYSIS

An analysis of the P.M. peak hour traffic conditions at the study roadways and intersections was conducted to establish their current operating conditions. This included the determination of the existing Levels of Service (LOS) for the roadway segments and vehicle delays at the intersection approaches along with the corresponding LOS.

Roadway Segment Analysis

The study roadway segments were analyzed by comparing their existing traffic volumes with their respective capacities at the adopted LOS standard. The P.M. peak hour volumes along the roadway segments were taken St. Lucie MPO's traffic counts and Level of Service Reports, Fall 2014. A summary of the P.M. peak hour roadway capacity analysis is presented in **Table 3** which shows that the roadways to be impacted by the proposed development currently operate at satisfactory Levels of Service.

**Table 3
Existing Roadway Capacity Analysis**

Roadway Segment	No. of Lanes	Adopted		Peak Direction	PHPD Volume	Existing LOS
		LOS	Capacity			
North Lawnwood Circle						
Nebraska Ave to Project Site	2	D	675	SB	74	C
South Lawnwood Circle						
Nebraska Ave to Project Site	2	D	675	NB	28	C
Nebraska Avenue						
25 th St to Lawnwood Cir	4	D	1,710	WB	201	C
Lawnwood Cir to 13 th St	4	D	1,710	EB	201	C
13th Street						
Virginia Ave to Nebraska Ave	2	D	710	SB	367	D
Nebraska Ave to Georgia Ave	2	D	790	SB	367	D
25th Street						
Virginia Ave to Nebraska Ave	4	D	2,000	SB	1,110	C
Nebraska Ave to Okeechobee Rd	4	D	2,000	SB	1,110	C



Intersection Analysis

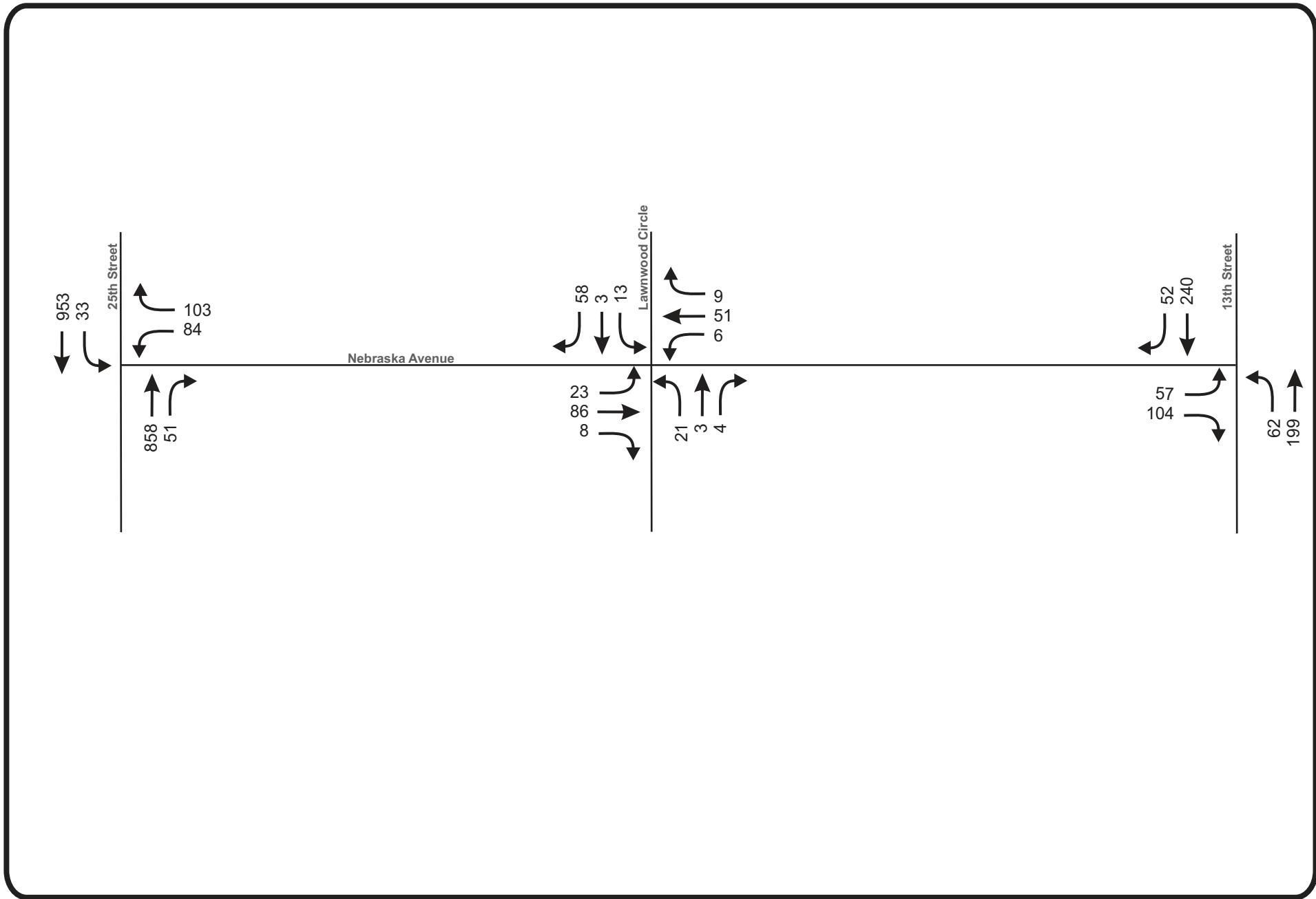
The intersection analysis was conducted in accordance with the procedures of the *2010 Highway Capacity Manual* (HCM) utilizing Highway Capacity Software (HCS) for signalized/unsignalized intersections. In the analysis, existing intersection geometry, peak hour volumes and signal timing/phasing data were used as inputs. The two-hour P.M. peak hour intersection counts made by 15-minute intervals along with signal timing data obtained in the field are included in **Appendix A**. The P.M. peak hour traffic counts, seasonally adjusted as per FDOT's Peak Season Factor Category Report, and used in the analysis are summarized in **Figure 4**.

The results of the intersection capacity analysis for the intersections are summarized in **Table 4** and detailed capacity analysis worksheets are included in **Appendix B**. The capacity analysis results indicate that the study intersections and their approaches currently operate at satisfactory Levels of Service.

Table 4
Existing Intersection Capacity Analysis

Intersection	Control	Period	EB		WB		NB		SB		Overall	
			Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS
Nebraska Avenue & 25 th Street	STOP	P.M.	----	----	21.9	C	----	----	10.5	B	----	----
Nebraska Avenue & Lawnwood Avenue	STOP	P.M.	7.4	A	7.4	A	10.1	B	9.1	A	----	----
Nebraska Avenue & 13 th Street	Signal	P.M.	19.3	B	----	----	3.7	A	6.7	A	8.5	A





Mayfair at Lawnwood Planned Development
 Project № 4714
Figure 4

Existing P.M. Peak Hour Traffic Volumes



PROJECTED CONDITIONS ANALYSIS

Traffic conditions were analyzed for the study roadways and intersections for operations with the completion and full occupancy in 2018. Projected traffic volumes consist of future background traffic combined with development-generated traffic (or trips). Future background traffic volumes were determined by applying an annual growth to the existing traffic volumes. A trends analysis of daily traffic volumes (AADTs) on Nebraska Avenue, 13th Street and 25th Street revealed annual growth rates ranging from -2.38 to +1.94%. The trends analysis charts are included in **Appendix C**. In the analysis a minimum annual growth of 2.0% was used to expand the existing traffic volumes to 2018.

Roadway Segment Analysis

The study roadways were analyzed for the P.M. peak hour for project completion in 2018. The analysis is summarized in **Table 5**. The table shows to the number of lanes, adopted/LOS capacity, total traffic volumes (background traffic + project trips) and resultant Levels of Service by roadway segment. The results indicate satisfactory traffic operating conditions in 2018 with project trips added.

**Table 5
Projected Roadway Capacity Analysis-Peak Hour**

Roadway Segment	No. of Lanes	Adopted		P.M. Peak Hour Volume			LOS
		LOS	Capacity	Background	Project	Total	
North Lawnwood Circle							
Nebraska Ave to Project Site	2	D	675	78	12	90	C
South Lawnwood Circle							
Nebraska Ave to Project Site	2	D	675	30	27	57	C
Nebraska Avenue							
25 th St to Lawnwood Cir	4	D	1,710	217	29	246	C
Lawnwood Cir to 13 th St	4	D	1,710	396	22	418	D
13th Street							
Virginia Ave to Nebraska Ave	2	D	710	396	17	413	D
Nebraska Ave to Georgia Ave	2	D	790	1,199	14	1,213	C
25th Street							
Virginia Ave to Nebraska Ave	4	D	2,000	1,199	27	1,226	C
Nebraska Ave to Okeechobee Rd	4	D	2,000	217	29	246	C



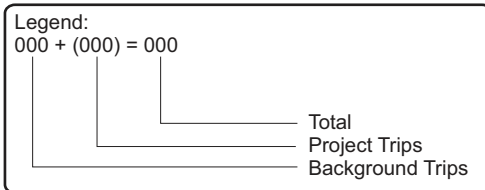
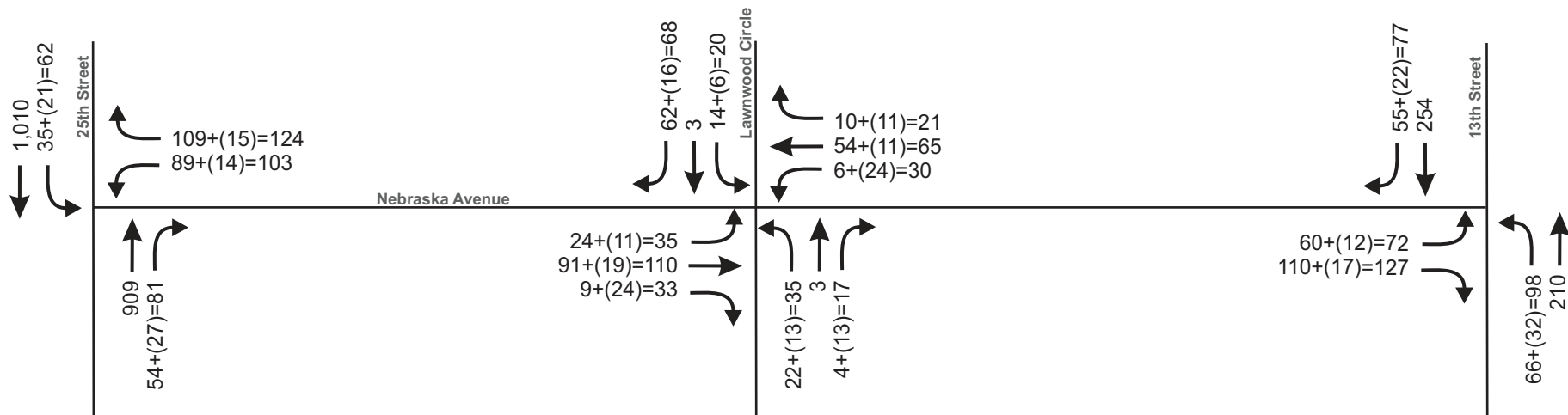
Intersection Analysis

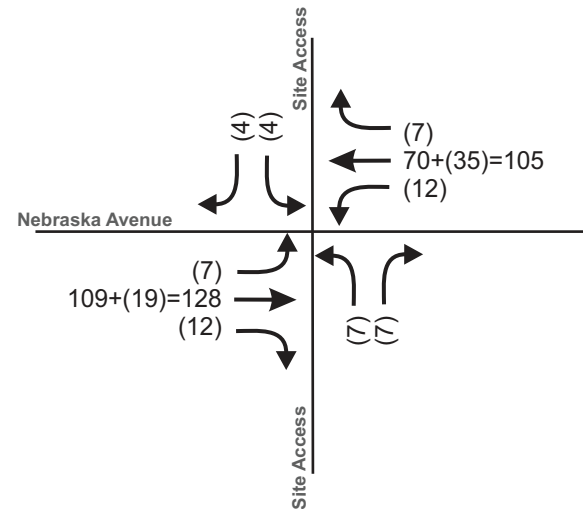
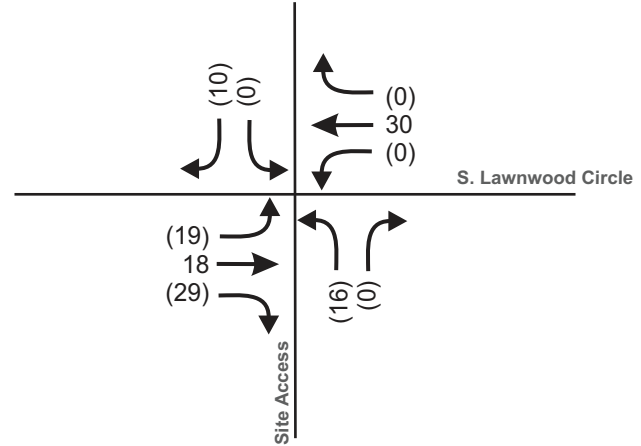
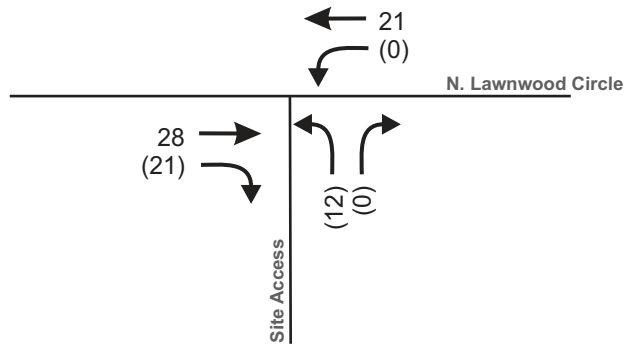
The analysis of projected conditions for the study intersections was accomplished similar to the existing conditions analysis utilizing the HCS software. The projected traffic volumes as shown in **Figures 5A and 5B** were used in conjunction with existing intersection geometry and traffic controls to perform a capacity analysis for total traffic with project trips. The results of the analysis are summarized in **Table 6**. These results indicate satisfactory traffic operating conditions in 2018 with the completion and full occupancy of the project. The HCS capacity sheets are included in **Appendix D**.

Table 6
Projected Intersection Capacity Analysis

Intersection	Control	Period	EB		WB		NB		SB		Overall	
			Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS
Nebraska Avenue & 25 th Street	STOP	P.M.	----	----	30.3	D	----	----	11.3	B	----	----
Nebraska Avenue & Lawnwood Avenue	STOP	P.M.	7.4	A	7.4	A	10.8	B	9.5	A	----	----
Nebraska Avenue & 13 th Street	Signal	P.M.	19.7	B	----	----	3.8	A	6.8	A	8.8	A
Site Access @ North Lawnwood Circle	STOP	P.M.	----	----	7.3	A	8.9	A	----	----	----	----
Site Access @ South Lawnwood Circle	STOP	P.M.	7.3	A	7.3	A	9.3	A	8.5	A	----	----
Site Access @ Nebraska Ave	STOP	P.M.	7.4	A	7.5	A	9.4	A	9.3	A	----	----







Legend:
 000 + (000) = 000

Total
 Project Trips
 Background Trips

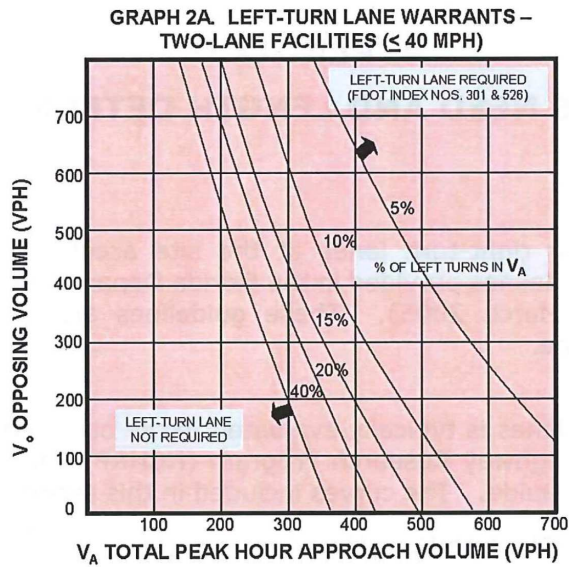


Projected P.M. Peak Hour Traffic Volumes

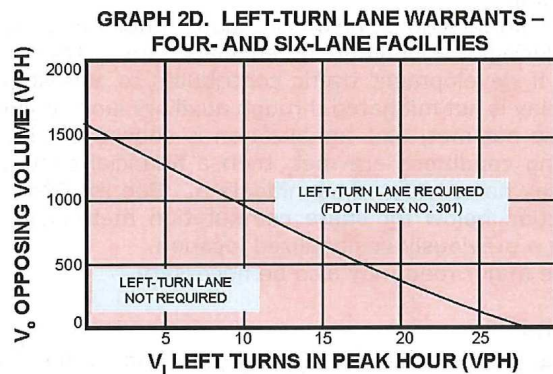


TURN LANE ANALYSIS

The need for turn lanes into the project site was evaluated using the FDOT Driveway Handbook for right turn lanes and the NCHRP Report 279 for left turn lanes. As per the FDOT Driveway Handbook, the projected right turns at the project entrances do not meet the 125-vehicle trip threshold required for right turn lanes. As for the protected left turns at the site entrances, the NCHRP Report warrant requirements illustrated in the graphs below are not satisfied.



Note: Left-turn lane not required when intersection of V_A and V_O is below the curve corresponding to the % of left turns in V_A .



Note: When $V_O < 400$ VPH, a left-turn lane is not normally warranted unless the advancing volume (V_A) in the same direction as left-turning traffic exceeds 400 VPH. ($V_A > 400$ VPH).



CONCLUSIONS

This analysis was conducted to assess the traffic impact of a multi-family residential project in Fort Pierce, Florida. Located to the north and south of Nebraska Avenue in the Lawnwood area, the development will consist of 266 units. The results of the study as documented herein are summarized below:

- The proposed development will generate 1,769 daily trips and 165 P.M. peak hour trips.
- Based upon the St. Lucie guidelines, the development will significantly impact Lawnwood Circle and Nebraska Avenue.
- Lawnwood Circle (north and south) and Nebraska Avenue currently operate at satisfactory Levels of Service and will continue to do so in 2018 with the project completed and fully occupied.
- The study intersections impacted by the proposed development currently operate at satisfactory Levels of Service and will continue to do so with the completion of the project.
- The project access connections on Lawnwood Circle and Nebraska Avenue will adequately serve the trips of the proposed development.



APPENDICES

APPENDIX A

Turning Movement Counts
Signal Timing Sheet

15 MINUTE TURNING MOVEMENT COUNTS

(Cars and Trucks)

DATE: November 9, 2015 (Monday)

CITY: Ft. Pierce

LATITUDE: 0

LOCATION: 13th St & Nebraska Av

COUNTY: St. Lucie

LONGITUDE: 0

13th St

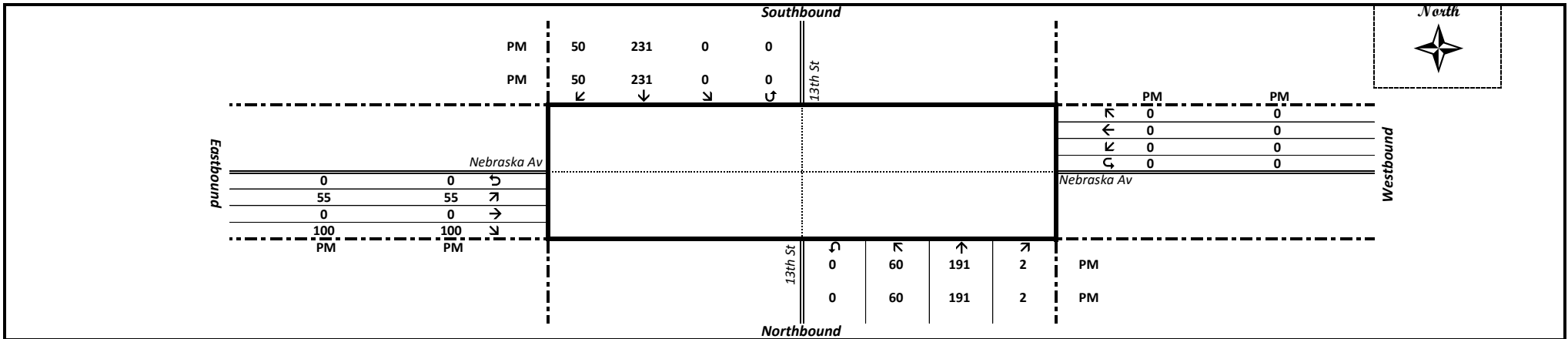
13th St

Nebraska Av

Nebraska Av

TIME BEGIN	NORTHBOUND					SOUTHBOUND					N/S TOTAL	EASTBOUND					WESTBOUND					E/W TOTAL	GRAND TOTAL
	L	T	R	U-turn	TOTAL	L	T	R	U-turn	TOTAL		L	T	R	U-turn	TOTAL	L	T	R	U-turn	TOTAL		
04:00 PM	7	35	0	0	42	0	40	6	0	46	88	19	0	25	0	44	0	0	0	0	0	44	132
04:15 PM	17	44	0	0	61	0	55	17	0	72	133	14	0	19	0	33	0	0	0	0	0	33	166
04:30 PM	9	35	0	0	44	0	53	11	0	64	108	15	0	19	0	34	0	0	0	0	0	34	142
04:45 PM	11	51	0	0	62	0	44	18	0	62	124	15	0	20	0	35	0	0	0	0	0	35	159
TOTAL	44	165	0	0	209	0	192	52	0	244	453	63	0	83	0	146	0	0	0	0	0	146	599
05:00 PM	18	35	1	0	54	0	57	12	0	69	123	19	0	33	0	52	0	0	0	0	0	52	175
05:15 PM	24	50	0	0	74	0	69	15	0	84	158	10	0	25	0	35	0	0	0	0	0	35	193
05:30 PM	7	50	1	0	58	0	44	11	0	55	113	18	0	15	0	33	0	0	0	0	0	33	146
05:45 PM	11	56	0	0	67	0	61	12	0	73	140	8	0	27	0	35	0	0	0	0	0	35	175
TOTAL	60	191	2	0	253	0	231	50	0	281	534	55	0	100	0	155	0	0	0	0	0	155	689

PM Peak		Peak Hour Factor: 0.892																						
05:00 PM to	06:00 PM	60	191	2	0	253	0	231	50	0	281	534	55	0	100	0	155	0	0	0	0	0	155	689



15 MINUTE TURNING MOVEMENT COUNTS

(Trucks Only)

DATE: November 9, 2015 (Monday)

CITY: Ft. Pierce

LATITUDE: 0

LOCATION: 13th St & Nebraska Av

COUNTY: St. Lucie

LONGITUDE: 0

13th St

13th St

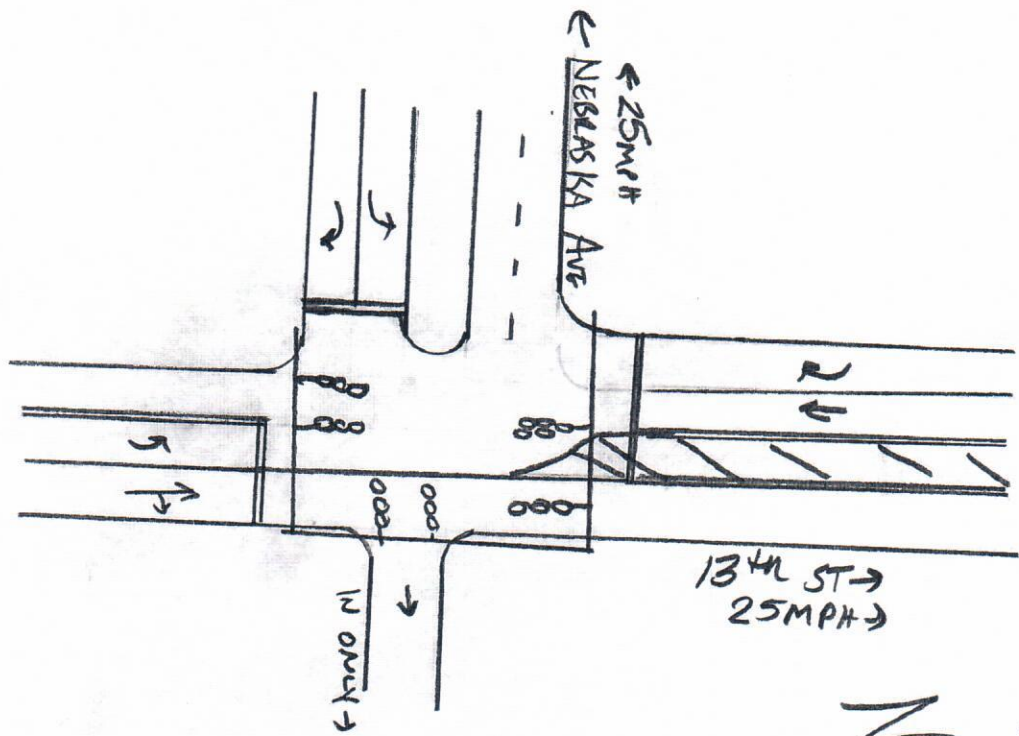
Nebraska Av

Nebraska Av

TIME BEGIN	NORTHBOUND					SOUTHBOUND					N/S TOTAL	EASTBOUND					WESTBOUND					E/W TOTAL	GRAND TOTAL
	L	T	R	U-turn	TOTAL	L	T	R	U-turn	TOTAL		L	T	R	U-turn	TOTAL	L	T	R	U-turn	TOTAL		
04:00 PM	0	0	0	0	0	0	1	0	0	1	1	0	0	0	0	0	0	0	0	0	0	0	1
04:15 PM	1	3	0	0	4	0	2	0	0	2	6	0	0	0	0	0	0	0	0	0	0	0	6
04:30 PM	0	1	0	0	1	0	2	0	0	2	3	0	0	2	0	2	0	0	0	0	0	2	5
04:45 PM	0	1	0	0	1	0	2	0	0	2	3	1	0	0	0	1	0	0	0	0	0	1	4
TOTAL	1	5	0	0	6	0	7	0	0	7	13	1	0	2	0	3	0	0	0	0	0	3	16
05:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
05:30 PM	0	0	0	0	0	0	1	0	0	1	1	0	0	0	0	0	0	0	0	0	0	0	1
05:45 PM	0	0	0	0	0	0	1	0	0	1	1	0	0	1	0	1	0	0	0	0	0	1	2
TOTAL	0	0	0	0	0	0	2	0	0	2	2	0	0	1	0	1	0	0	0	0	0	1	3

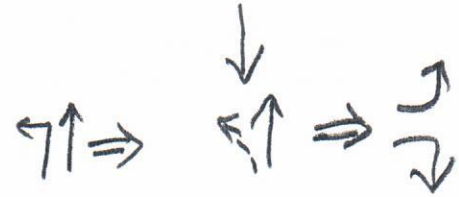
PM Peak

05:00 PM to 06:00 PM	0	0	0	0	0	0	2	0	0	2	2	0	0	1	0	1	0	0	0	0	0	1	3
----------------------	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---	---



Name : Nebraska Ave & 13th ST

	AM Time (Sec)			
Cycle	55	54	55	55
NB LT	6	7	6	6
NB LT & TI	24	24	25	25
SB Th	24	24	25	25
EB LT & Ri	14	15	15	15



APPENDIX B

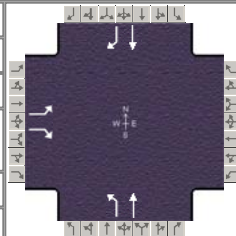
Existing HCS Capacity Worksheets

TWO-WAY STOP CONTROL SUMMARY								
General Information				Site Information				
Analyst	DWF			Intersection	25th St & Nebraska Ave			
Agency/Co.	TPD			Jurisdiction	Ft Pierce			
Date Performed	11/16/2015			Analysis Year	2015			
Analysis Time Period	PM Peak (Existing)							
Project Description								
East/West Street: Nebraska Ave				North/South Street: 25th Street				
Intersection Orientation: North-South				Study Period (hrs): 0.25				
Vehicle Volumes and Adjustments								
Major Street	Northbound			Southbound				
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume (veh/h)		858	51	33	953			
Peak-Hour Factor, PHF	1.00	0.90	0.90	0.90	0.90	1.00		
Hourly Flow Rate, HFR (veh/h)	0	953	56	36	1058	0		
Percent Heavy Vehicles	0	--	--	0	--	--		
Median Type	Two Way Left Turn Lane							
RT Channelized			0			0		
Lanes	0	2	0	1	2	0		
Configuration		T	TR	L	T			
Upstream Signal		0			0			
Minor Street	Eastbound			Westbound				
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume (veh/h)				84		103		
Peak-Hour Factor, PHF	1.00	1.00	1.00	0.90	1.00	0.90		
Hourly Flow Rate, HFR (veh/h)	0	0	0	93	0	114		
Percent Heavy Vehicles	0	0	0	1	0	0		
Percent Grade (%)	0			0				
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0			0		
Lanes	0	0	0	1	0	1		
Configuration				L		R		
Delay, Queue Length, and Level of Service								
Approach	Northbound	Southbound	Westbound			Eastbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration		L	L		R			
v (veh/h)		36	93		114			
C (m) (veh/h)		695	219		572			
v/c		0.05	0.42		0.20			
95% queue length		0.16	1.97		0.74			
Control Delay (s/veh)		10.5	33.1		12.9			
LOS		B	D		B			
Approach Delay (s/veh)	--	--	21.9					
Approach LOS	--	--	C					

TWO-WAY STOP CONTROL SUMMARY								
General Information				Site Information				
Analyst	DWF			Intersection	Nebraska Ave & Lawnwood Circle			
Agency/Co.	TPD			Jurisdiction	Fort Pierce			
Date Performed	11/16/2015			Analysis Year	2015			
Analysis Time Period	PM Peak (Existing)							
Project Description								
East/West Street: <i>Nebraska Avenue</i>				North/South Street: <i>Lawnwood Circle</i>				
Intersection Orientation: <i>East-West</i>				Study Period (hrs): <i>0.25</i>				
Vehicle Volumes and Adjustments								
Major Street	Eastbound			Westbound				
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume (veh/h)	23	86	8	6	51	9		
Peak-Hour Factor, PHF	0.92	0.92	0.92	0.92	0.92	0.92		
Hourly Flow Rate, HFR (veh/h)	24	93	8	6	55	9		
Percent Heavy Vehicles	0	--	--	0	--	--		
Median Type	Raised curb							
RT Channelized			0				0	
Lanes	1	2	0	1	2		0	
Configuration	L	T	TR	L	T		TR	
Upstream Signal		0			0			
Minor Street	Northbound			Southbound				
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume (veh/h)	21	3	4	13	3	58		
Peak-Hour Factor, PHF	0.92	0.92	0.92	0.92	0.92	0.92		
Hourly Flow Rate, HFR (veh/h)	22	3	4	14	3	63		
Percent Heavy Vehicles	0	0	0	0	0	0		
Percent Grade (%)		0			0			
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0				0	
Lanes	0	1	0	0	1		0	
Configuration		LTR			LTR			
Delay, Queue Length, and Level of Service								
Approach	Eastbound	Westbound	Northbound			Southbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration	L	L		LTR			LTR	
v (veh/h)	24	6		29			80	
C (m) (veh/h)	1551	1504		738			964	
v/c	0.02	0.00		0.04			0.08	
95% queue length	0.05	0.01		0.12			0.27	
Control Delay (s/veh)	7.4	7.4		10.1			9.1	
LOS	A	A		B			A	
Approach Delay (s/veh)	--	--		10.1			9.1	
Approach LOS	--	--		B			A	

HCS 2010 Signalized Intersection Results Summary

General Information				Intersection Information	
Agency	TPD			Duration, h	0.25
Analyst	DWF	Analysis Date	Nov 16, 2015	Area Type	Other
Jurisdiction	Fort Pierce	Time Period	PM Peak (Existing)	PHF	0.89
Intersection	13th Street & Nebraska Ave	Analysis Year	2015	Analysis Period	1 > 17:00
File Name	13th Street & Nebraska Avenue Existing PM Peak.xus				
Project Description	PM Peak (Existing)				



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	57		104				62	199			240	52

Signal Information													
Cycle, s	54.0	Reference Phase	2										
Offset, s	0	Reference Point	End										
Uncoordinated	Yes	Simult. Gap E/W	On	Green	3.0	29.0	10.0	0.0	0.0	0.0			
Force Mode	Fixed	Simult. Gap N/S	On	Yellow	3.0	3.0	3.0	0.0	0.0	0.0			
				Red	1.0	1.0	1.0	0.0	0.0	0.0			

Timer Results	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Assigned Phase		4			5	2		6
Case Number		9.0			1.0	4.0		7.3
Phase Duration, s		14.0			7.0	40.0		33.0
Change Period, (Y+R _c), s		4.0			4.0	4.0		4.0
Max Allow Headway (MAH), s		3.4			4.3	4.2		4.2
Queue Clearance Time (g _s), s		5.5			2.8	4.4		6.2
Green Extension Time (g _e), s		0.1			0.0	1.9		2.1
Phase Call Probability		1.00			1.00	1.00		1.00
Max Out Probability		0.35			1.00	0.01		0.00

Movement Group Results	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Assigned Movement	7		14				5	2			6	16
Adjusted Flow Rate (v), veh/h	64		117				70	224			270	58
Adjusted Saturation Flow Rate (s), veh/h/ln	1810		1594				1810	1900			1881	1610
Queue Service Time (g _s), s	1.6		3.5				0.8	2.4			4.2	0.9
Cycle Queue Clearance Time (g _c), s	1.6		3.5				0.8	2.4			4.2	0.9
Green Ratio (g/C)	0.19		0.19				0.63	0.67			0.54	0.54
Capacity (c), veh/h	335		295				752	1267			1010	865
Volume-to-Capacity Ratio (X)	0.191		0.396				0.093	0.177			0.267	0.068
Available Capacity (c _a), veh/h	335		295				752	1267			1010	865
Back of Queue (Q), veh/ln (95th percentile)	1.2		2.2				0.4	1.1			2.5	0.5
Queue Storage Ratio (RQ) (95th percentile)	0.00		0.00				0.00	0.00			0.00	0.00
Uniform Delay (d ₁), s/veh	18.6		19.3				4.2	3.4			6.8	6.0
Incremental Delay (d ₂), s/veh	0.1		0.3				0.1	0.1			0.1	0.0
Initial Queue Delay (d ₃), s/veh	0.0		0.0				0.0	0.0			0.0	0.0
Control Delay (d), s/veh	18.7		19.7				4.3	3.5			6.9	6.0
Level of Service (LOS)	B		B				A	A			A	A
Approach Delay, s/veh / LOS	19.3		B	0.0			3.7	A		6.7		A
Intersection Delay, s/veh / LOS	8.5						A					

Multimodal Results	EB		WB		NB		SB	
Pedestrian LOS Score / LOS	2.3	B	2.3	B	0.6	A	2.2	B
Bicycle LOS Score / LOS		F			1.0	A	1.0	A

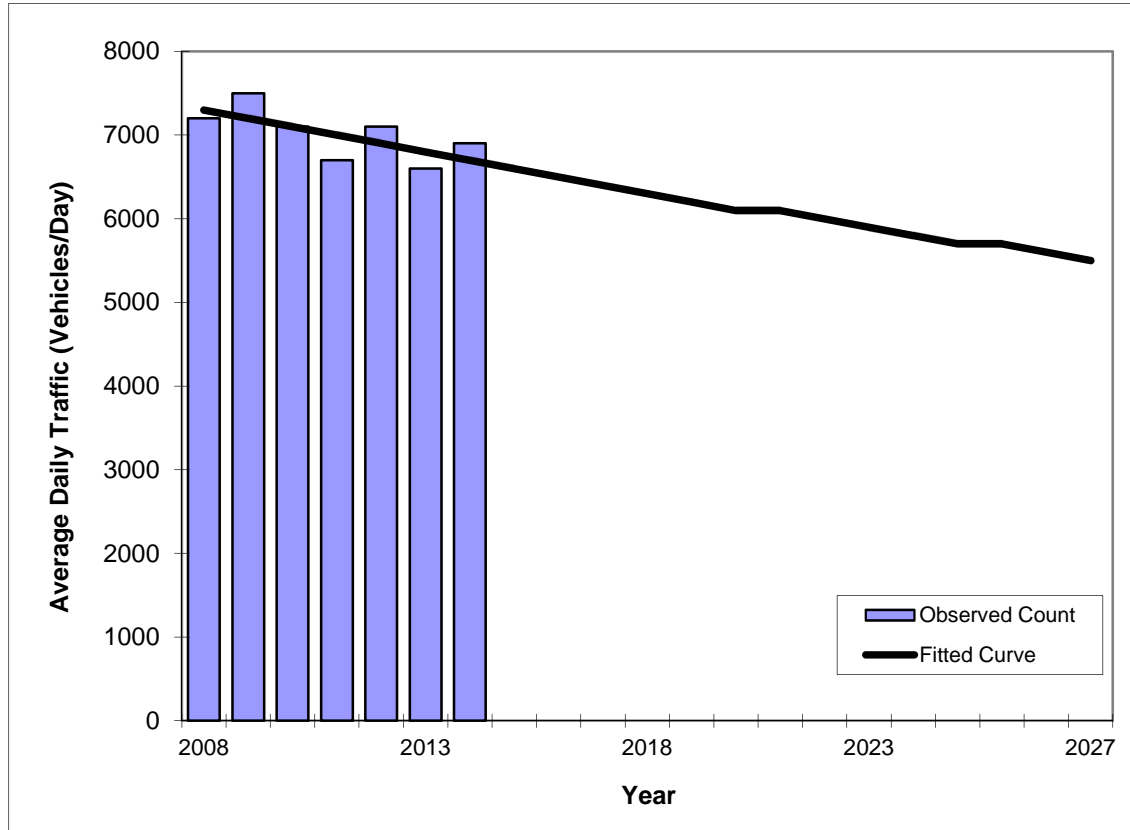
APPENDIX C

Trends Analysis Charts

TRAFFIC TRENDS

13th St -- Virginia Ave to Georgia Ave

County:	0
Station #:	0
Highway:	13th St



Year	Traffic (ADT/AADT)	
	Count*	Trend**
2008	7200	7300
2009	7500	7200
2010	7100	7100
2011	6700	7000
2012	7100	6900
2013	6600	6800
2014	6900	6700
2015 Opening Year Trend		
2015	N/A	6600
2016 Mid-Year Trend		
2016	N/A	6500
2020 Design Year Trend		
2020	N/A	6100
TRANPLAN Forecasts/Trends		

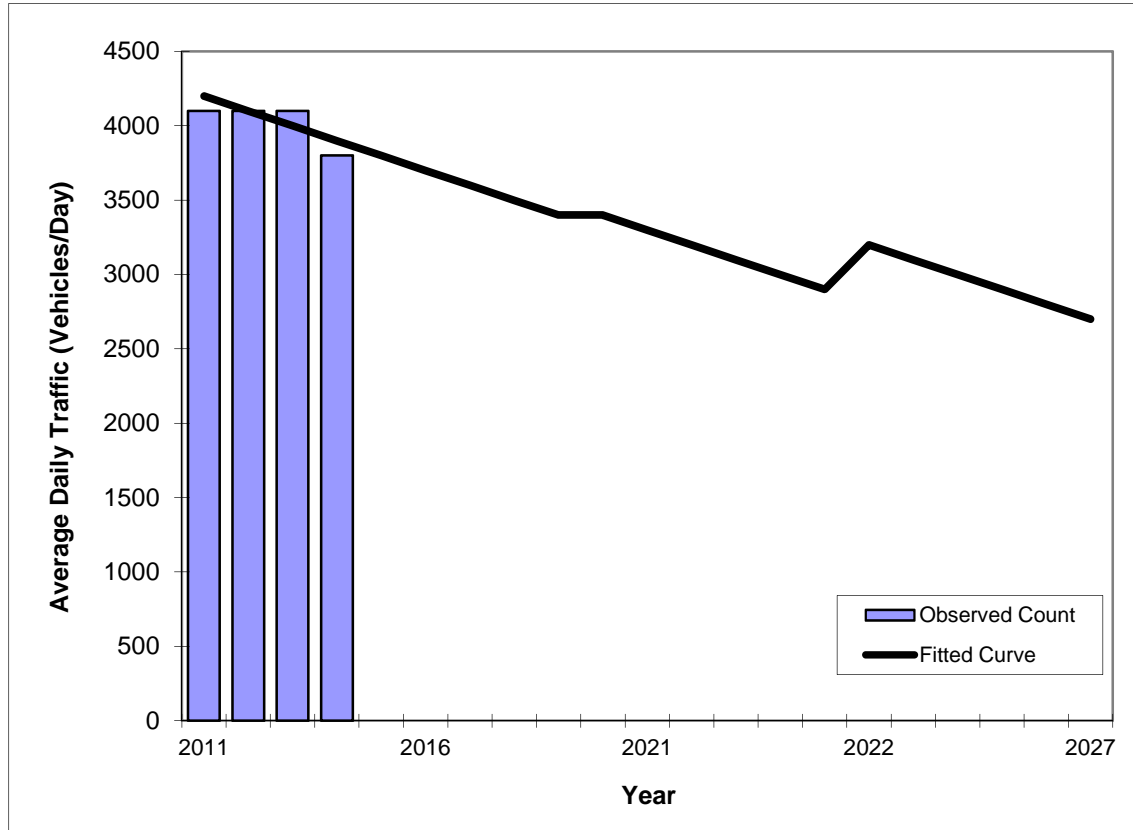
** Annual Trend Increase:	-96
Trend R-squared:	45.8%
Trend Annual Historic Growth Rate:	-1.37%
Trend Growth Rate (2014 to Design Year):	-1.49%
Printed:	17-Nov-15
Straight Line Growth Option	

*Axle-Adjusted

TRAFFIC TRENDS

Nebraska Ave -- 25th St to 13th St

County:	0
Station #:	0
Highway:	Nebraska Ave



Year	Traffic (ADT/AADT)	
	Count*	Trend**
2011	4100	4200
2012	4100	4100
2013	4100	4000
2014	3800	3900
2015 Opening Year Trend		
2015	N/A	3800
2016 Mid-Year Trend		
2016	N/A	3700
2020 Design Year Trend		
2020	N/A	3400
TRANPLAN Forecasts/Trends		

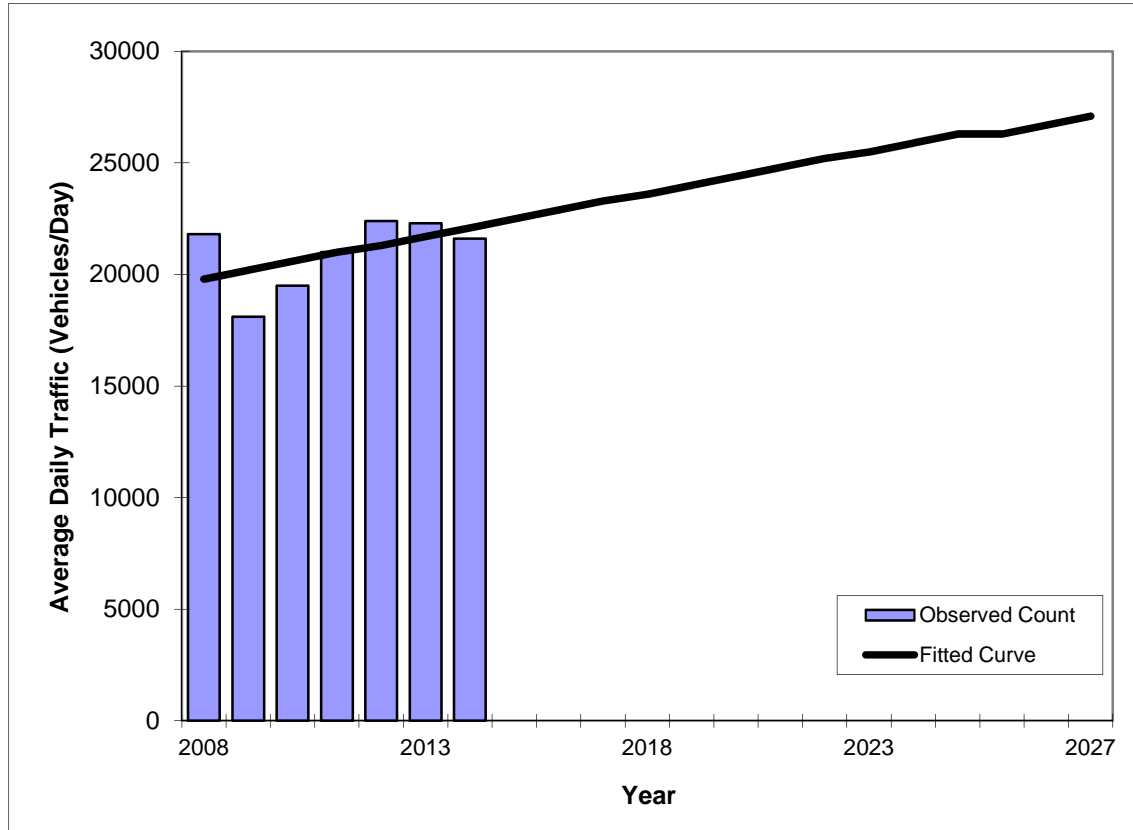
** Annual Trend Increase:	-90
Trend R-squared:	60.0%
Trend Annual Historic Growth Rate:	-2.38%
Trend Growth Rate (2014 to Design Year):	-2.14%
Printed:	17-Nov-15
Straight Line Growth Option	

*Axle-Adjusted

TRAFFIC TRENDS

25th St -- Virginia Ave to Okeechobee Rd

County:	0
Station #:	0
Highway:	25th St



Year	Traffic (ADT/AADT)	
	Count*	Trend**
2008	21800	19800
2009	18100	20200
2010	19500	20600
2011	21000	21000
2012	22400	21300
2013	22300	21700
2014	21600	22100
2015 Opening Year Trend		
2015	N/A	22500
2016 Mid-Year Trend		
2016	N/A	22900
2020 Design Year Trend		
2020	N/A	24400
TRANPLAN Forecasts/Trends		

** Annual Trend Increase:	382
Trend R-squared:	26.7%
Trend Annual Historic Growth Rate:	1.94%
Trend Growth Rate (2014 to Design Year):	1.73%
Printed:	17-Nov-15
Straight Line Growth Option	

*Axle-Adjusted

APPENDIX D

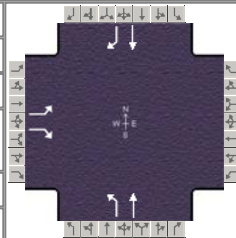
Projected HCS Capacity Worksheets

TWO-WAY STOP CONTROL SUMMARY								
General Information				Site Information				
Analyst	DWF			Intersection	25th St & Nebraska Ave			
Agency/Co.	TPD			Jurisdiction	Ft Pierce			
Date Performed	11/16/2015			Analysis Year	2015			
Analysis Time Period	PM Peak (Existing)							
Project Description								
East/West Street: Nebraska Ave				North/South Street: 25th Street				
Intersection Orientation: North-South				Study Period (hrs): 0.25				
Vehicle Volumes and Adjustments								
Major Street	Northbound			Southbound				
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume (veh/h)		909	81	62	1010			
Peak-Hour Factor, PHF	1.00	0.90	0.90	0.90	0.90	1.00		
Hourly Flow Rate, HFR (veh/h)	0	1010	90	68	1122	0		
Percent Heavy Vehicles	0	--	--	0	--	--		
Median Type	Two Way Left Turn Lane							
RT Channelized			0			0		
Lanes	0	2	0	1	2	0		
Configuration		T	TR	L	T			
Upstream Signal		0			0			
Minor Street	Eastbound			Westbound				
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume (veh/h)				103		124		
Peak-Hour Factor, PHF	1.00	1.00	1.00	0.90	1.00	0.90		
Hourly Flow Rate, HFR (veh/h)	0	0	0	114	0	137		
Percent Heavy Vehicles	0	0	0	1	0	0		
Percent Grade (%)	0			0				
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0			0		
Lanes	0	0	0	1	0	1		
Configuration				L		R		
Delay, Queue Length, and Level of Service								
Approach	Northbound	Southbound	Westbound			Eastbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration		L	L		R			
v (veh/h)		68	114		137			
C (m) (veh/h)		642	188		539			
v/c		0.11	0.61		0.25			
95% queue length		0.35	3.38		1.00			
Control Delay (s/veh)		11.3	49.9		13.9			
LOS		B	E		B			
Approach Delay (s/veh)	--	--	30.3					
Approach LOS	--	--	D					

TWO-WAY STOP CONTROL SUMMARY							
General Information				Site Information			
Analyst	DWF			Intersection	Nebraska Ave & Lawnwood Circle		
Agency/Co.	TPD			Jurisdiction	Fort Pierce		
Date Performed	11/16/2015			Analysis Year	2015		
Analysis Time Period	PM Peak (Projected)						
Project Description							
East/West Street: Nebraska Avenue				North/South Street: Lawnwood Circle			
Intersection Orientation: East-West				Study Period (hrs): 0.25			
Vehicle Volumes and Adjustments							
Major Street	Eastbound			Westbound			
Movement	1	2	3	4	5	6	
	L	T	R	L	T	R	
Volume (veh/h)	35	110	33	30	65	21	
Peak-Hour Factor, PHF	0.92	0.92	0.92	0.92	0.92	0.92	
Hourly Flow Rate, HFR (veh/h)	38	119	35	32	70	22	
Percent Heavy Vehicles	0	--	--	0	--	--	
Median Type	Raised curb						
RT Channelized			0				0
Lanes	1	2	0	1	2		0
Configuration	L	T	TR	L	T		TR
Upstream Signal		0			0		
Minor Street	Northbound			Southbound			
Movement	7	8	9	10	11	12	
	L	T	R	L	T	R	
Volume (veh/h)	35	3	17	20	3	68	
Peak-Hour Factor, PHF	0.92	0.92	0.92	0.92	0.92	0.92	
Hourly Flow Rate, HFR (veh/h)	38	3	18	21	3	73	
Percent Heavy Vehicles	0	0	0	0	0	0	
Percent Grade (%)		0			0		
Flared Approach		N			N		
Storage		0			0		
RT Channelized			0				0
Lanes	0	1	0	0	1		0
Configuration		LTR			LTR		
Delay, Queue Length, and Level of Service							
Approach	Eastbound	Westbound	Northbound			Southbound	
Movement	1	4	7	8	9	10	11
Lane Configuration	L	L		LTR			LTR
v (veh/h)	38	32		59			97
C (m) (veh/h)	1515	1439		683			893
v/c	0.03	0.02		0.09			0.11
95% queue length	0.08	0.07		0.28			0.36
Control Delay (s/veh)	7.4	7.6		10.8			9.5
LOS	A	A		B			A
Approach Delay (s/veh)	--	--		10.8			9.5
Approach LOS	--	--		B			A

HCS 2010 Signalized Intersection Results Summary

General Information				Intersection Information	
Agency	TPD			Duration, h	0.25
Analyst	DWF	Analysis Date	Nov 16, 2015	Area Type	Other
Jurisdiction	Fort Pierce	Time Period	PM Peak (Projected)	PHF	0.89
Intersection	13th Street & Nebraska Ave	Analysis Year	2017	Analysis Period	1 > 17:00
File Name	13th Street & Nebraska Avenue Projected PM Peak.xus				
Project Description	PM Peak (Projected)				



Demand Information	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h	72		127				98	210			254	77

Signal Information													
Cycle, s	54.0	Reference Phase	2										
Offset, s	0	Reference Point	End										
Uncoordinated	Yes	Simult. Gap E/W	On	Green	3.0	29.0	10.0	0.0	0.0	0.0			
Force Mode	Fixed	Simult. Gap N/S	On	Yellow	3.0	3.0	3.0	0.0	0.0	0.0			
				Red	1.0	1.0	1.0	0.0	0.0	0.0			

Timer Results	EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT
Assigned Phase		4			5	2		6
Case Number		9.0			1.0	4.0		7.3
Phase Duration, s		14.0			7.0	40.0		33.0
Change Period, (Y+R _c), s		4.0			4.0	4.0		4.0
Max Allow Headway (MAH), s		3.4			4.3	4.2		4.2
Queue Clearance Time (g _s), s		6.3			3.3	4.6		6.5
Green Extension Time (g _e), s		0.2			0.0	2.1		2.3
Phase Call Probability		1.00			1.00	1.00		1.00
Max Out Probability		0.80			1.00	0.02		0.00

Movement Group Results	EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R
Assigned Movement	7		14				5	2			6	16
Adjusted Flow Rate (v), veh/h	81		143				110	236			285	87
Adjusted Saturation Flow Rate (s), veh/h/ln	1810		1594				1810	1900			1881	1610
Queue Service Time (g _s), s	2.1		4.3				1.3	2.6			4.5	1.4
Cycle Queue Clearance Time (g _c), s	2.1		4.3				1.3	2.6			4.5	1.4
Green Ratio (g/C)	0.19		0.19				0.63	0.67			0.54	0.54
Capacity (c), veh/h	335		295				738	1267			1010	865
Volume-to-Capacity Ratio (X)	0.241		0.483				0.149	0.186			0.282	0.100
Available Capacity (c _a), veh/h	335		295				738	1267			1010	865
Back of Queue (Q), veh/ln (95th percentile)	1.5		2.8				0.6	1.2			2.7	0.7
Queue Storage Ratio (RQ) (95th percentile)	0.00		0.00				0.00	0.00			0.00	0.00
Uniform Delay (d ₁), s/veh	18.8		19.7				4.4	3.4			6.8	6.1
Incremental Delay (d ₂), s/veh	0.1		0.5				0.1	0.1			0.2	0.0
Initial Queue Delay (d ₃), s/veh	0.0		0.0				0.0	0.0			0.0	0.0
Control Delay (d), s/veh	18.9		20.1				4.5	3.5			7.0	6.2
Level of Service (LOS)	B		C				A	A			A	A
Approach Delay, s/veh / LOS	19.7		B	0.0			3.8	A		6.8		A
Intersection Delay, s/veh / LOS	8.8						A					

Multimodal Results	EB		WB		NB		SB	
Pedestrian LOS Score / LOS	2.3	B	2.3	B	0.6	A	2.2	B
Bicycle LOS Score / LOS		F			1.1	A	1.1	A

TWO-WAY STOP CONTROL SUMMARY								
General Information				Site Information				
Analyst	DWF			Intersection	N Lawnwood & Site Access			
Agency/Co.	TPD			Jurisdiction	Fort Pierce			
Date Performed	11/16/2015			Analysis Year	2017			
Analysis Time Period	PM Peak (Projected)							
Project Description								
East/West Street: N Lawnwood Circle				North/South Street: Site Access				
Intersection Orientation: East-West				Study Period (hrs): 0.25				
Vehicle Volumes and Adjustments								
Major Street	Eastbound			Westbound				
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume (veh/h)		28	21	0	21			
Peak-Hour Factor, PHF	1.00	0.92	0.92	0.92	0.92	1.00		
Hourly Flow Rate, HFR (veh/h)	0	30	22	0	22	0		
Percent Heavy Vehicles	0	--	--	0	--	--		
Median Type	Undivided							
RT Channelized			0			0		
Lanes	0	1	0	0	1	0		
Configuration			TR	LT				
Upstream Signal		0			0			
Minor Street	Northbound			Southbound				
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume (veh/h)	12		0					
Peak-Hour Factor, PHF	0.92	1.00	0.92	1.00	1.00	1.00		
Hourly Flow Rate, HFR (veh/h)	13	0	0	0	0	0		
Percent Heavy Vehicles	0	0	0	0	0	0		
Percent Grade (%)		0			0			
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0			0		
Lanes	0	0	0	0	0	0		
Configuration		LR						
Delay, Queue Length, and Level of Service								
Approach	Eastbound	Westbound	Northbound			Southbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration		LT		LR				
v (veh/h)		0		13				
C (m) (veh/h)		1567		948				
v/c		0.00		0.01				
95% queue length		0.00		0.04				
Control Delay (s/veh)		7.3		8.9				
LOS		A		A				
Approach Delay (s/veh)	--	--		8.9				
Approach LOS	--	--		A				

TWO-WAY STOP CONTROL SUMMARY								
General Information				Site Information				
Analyst	DWF			Intersection	S Lawnwood & Site Access			
Agency/Co.	TPD			Jurisdiction	Fort Pierce			
Date Performed	11/16/2015			Analysis Year	2017			
Analysis Time Period	PM Peak (Projected)							
Project Description								
East/West Street: S. Lawnwood Circle				North/South Street: Site Access				
Intersection Orientation: East-West				Study Period (hrs): 0.25				
Vehicle Volumes and Adjustments								
Major Street	Eastbound			Westbound				
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume (veh/h)	19	18	29	0	30	0		
Peak-Hour Factor, PHF	0.92	0.92	0.92	0.92	0.92	0.92		
Hourly Flow Rate, HFR (veh/h)	20	19	31	0	32	0		
Percent Heavy Vehicles	0	--	--	0	--	--		
Median Type	Undivided							
RT Channelized			0			0		
Lanes	0	1	0	0	1	0		
Configuration	LTR			LTR				
Upstream Signal		0			0			
Minor Street	Northbound			Southbound				
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume (veh/h)	16	0	0	0	0	10		
Peak-Hour Factor, PHF	0.92	0.92	0.92	0.92	0.92	0.92		
Hourly Flow Rate, HFR (veh/h)	17	0	0	0	0	10		
Percent Heavy Vehicles	0	0	0	0	0	0		
Percent Grade (%)	0			0				
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0			0		
Lanes	0	1	0	0	1	0		
Configuration		LTR			LTR			
Delay, Queue Length, and Level of Service								
Approach	Eastbound	Westbound	Northbound			Southbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration	LTR	LTR	LTR			LTR		
v (veh/h)	20	0	17			10		
C (m) (veh/h)	1593	1570	855			1048		
v/c	0.01	0.00	0.02			0.01		
95% queue length	0.04	0.00	0.06			0.03		
Control Delay (s/veh)	7.3	7.3	9.3			8.5		
LOS	A	A	A			A		
Approach Delay (s/veh)	--	--	9.3			8.5		
Approach LOS	--	--	A			A		

TWO-WAY STOP CONTROL SUMMARY								
General Information				Site Information				
Analyst	DWF			Intersection	Nebraska Ave & Site Access			
Agency/Co.	TPD			Jurisdiction	Fort Pierce			
Date Performed	11/16/2015			Analysis Year	2017			
Analysis Time Period	PM Peak (Projected)							
Project Description								
East/West Street: Nebraska Avenue				North/South Street: Site Access				
Intersection Orientation: East-West				Study Period (hrs): 0.25				
Vehicle Volumes and Adjustments								
Major Street	Eastbound			Westbound				
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume (veh/h)	7	128	12	12	105	7		
Peak-Hour Factor, PHF	0.92	0.92	0.92	0.92	0.92	0.92		
Hourly Flow Rate, HFR (veh/h)	7	139	13	13	114	7		
Percent Heavy Vehicles	0	--	--	0	--	--		
Median Type	Raised curb							
RT Channelized			0			0		
Lanes	1	2	0	1	2	0		
Configuration	L	T	TR	L	T	TR		
Upstream Signal		0			0			
Minor Street	Northbound			Southbound				
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume (veh/h)	7	0	7	4	0	4		
Peak-Hour Factor, PHF	0.92	0.92	0.92	0.92	0.92	0.92		
Hourly Flow Rate, HFR (veh/h)	7	0	7	4	0	4		
Percent Heavy Vehicles	0	0	0	0	0	0		
Percent Grade (%)	0			0				
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0			0		
Lanes	0	1	0	0	1	0		
Configuration		LTR			LTR			
Delay, Queue Length, and Level of Service								
Approach	Eastbound	Westbound	Northbound			Southbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration	L	L	LTR			LTR		
v (veh/h)	7	13	14			8		
C (m) (veh/h)	1479	1441	824			838		
v/c	0.00	0.01	0.02			0.01		
95% queue length	0.01	0.03	0.05			0.03		
Control Delay (s/veh)	7.4	7.5	9.4			9.3		
LOS	A	A	A			A		
Approach Delay (s/veh)	--	--	9.4			9.3		
Approach LOS	--	--	A			A		



IBI Group (Florida) Inc.
2300 Maitland Center Parkway–Suite 101
Maitland FL 32751 USA
tel 407 660 2120
fax 407 875 8308

June 6, 2016

Mr. Kori Benton
City of Ft. Pierce
100 North US 1
Ft. Pierce, Florida 34950

Dear Kori:

Please see our responses to your comments letter dated May 12, 2016.

Re: Technical Review – Mayfair at Lawnwood

- 1) Sidewalks:** The proposed sidewalk improvement plan provides a great opportunity to provide on-site and off-site sidewalk connectivity. In reviewing the proposed plan, it is recommended to shift the proposed sidewalk connection along North Lawnwood Circle to the southern ROW line, along the presented project, with an associated shift in off-site connections. Additionally, as Nebraska is a four lane, semi-divided, roadway it is recommended to provided a sidewalk connection along the project on both sides of the roadway. Please See Attached Exhibit for recommended adjustments/linkages.

Response: We agree. We have sent you revised sidewalk plan

- 2) Non-residential Uses:** The prospective integration of a 30,000 sq. ft. medical office or off-lot commercial parking lot, with limited restrictions presents concerns of capability with the adjoining neighborhood, as follows:

- **Medical Facility:**

The optional medical facility presents concerns related to the absence of hours of operation restrictions or specific use categories for optional businesses within the facility, as well as the projected level of traffic entering a residential street/neighborhood. The consideration of a reduction in the scale and intensity is encouraged, as this potential use presents issues of compatibility, with commercial uses east of the canal.

Original Traffic Study: 266 Units; 1769 Average Daily Trips and 165 PM Peak Hour trips did not adversely impact the project will operate at satisfactory level of service.

- 1450 Average Daily Trips and 135 PM Peak hour trips.

The 30,000 SF building is projected to generate 1,089 ADT and 107 PM Peak Hour Trips. In order to construct this option, the narrative indicates an updated traffic study would be required as part of the amendment to justify the use. Is it the intention to require a formal “amendment” to the PD, to be reviewed by the Planning Board & City Commission, to authorize this route of development? It’s noted that any vertical construction proposed on the southern parcel would be subject to the City’s Design Review guidelines; therefore the Planning Board (acting as the design review board) would be required to review any structures over 4,000 sq. ft. in size, for design and architectural compatibility.

Response: Understood

218 Units + 30,000 SF Office Commercial = 2,539 ADT trips – Concerns of quality of life impacts to adjacent residences, roadway linkages, and the probable need for off-site mitigation.

- **Limited Commercial Parking**

Pursuant to City Code Section 22-60 (b) (1) Off-lot parking; The off-lot spaces shall be provided on other property located within three hundred (300) feet of the main entrance of the principal structure.

Response: Understood

The potential parking area for Lawnwood presents concerns related to proximity to the medical facilities, hours of operation for this lot, and the intended users as the lot is adjoining a residential neighborhood. The consideration of reducing the scale of the parking area, hour of operation restrictions, and potentially limiting the intended users to employees may offer greater compatibility with the surrounding neighborhood.

Response: We will work with staff and fully understand that if we do the parking lot option, a modification to this PD or a new PD will be required.

- 2) **Phasing:** It is recommended that foundational landscaping (trees and shrubs planned along the right-of-way/entrance to each parcel) across the complete project are completed during Phase 1. The entire project site was cleared during the initial permitting of the project, however the previously required mitigation/replanting was never completed. Additionally, any off-site sidewalk connections proposed should be completed in an appropriate manner proportionate to the phasing proposed.

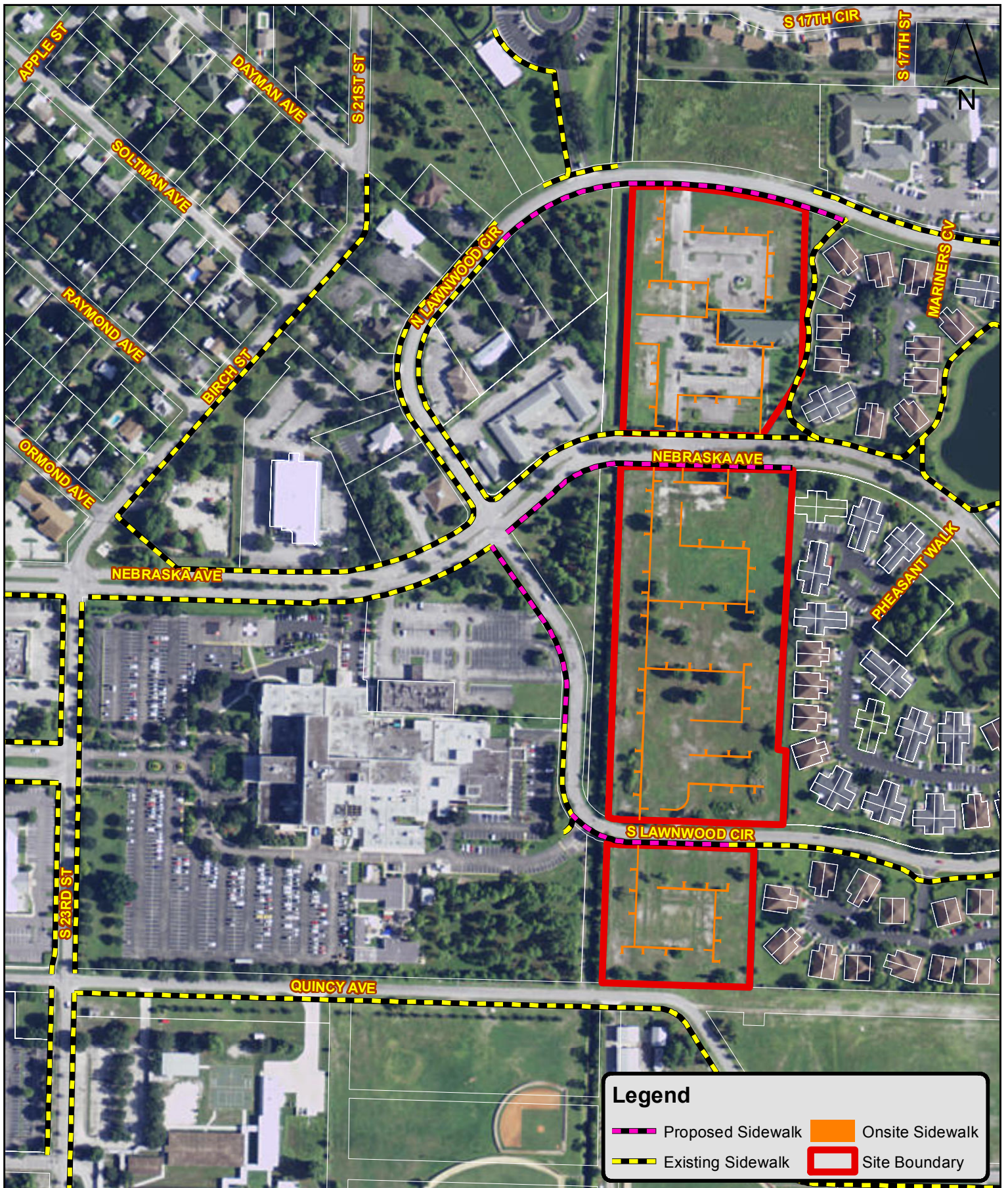
Response: Agreed.

Should you have any questions, please feel free to contact me at 407.660.2120.

Best Regards,



Richard C. Wohlfarth, P.E.
IBI Group (Florida) Inc.



Legend

- Proposed Sidewalk
- Onsite Sidewalk
- Existing Sidewalk
- Site Boundary

**Mayfair at Longwood
Sidewalk Map**



IBI Group (Florida) Inc.
 2200 Park Central Boulevard N. Suite 100
 Pompano Beach, FL 33064
 tel 954 974 2200
 fax 954 973 2686

City of Fort Pierce

St. Lucie County

Florida

Scale: 1" = 300'

By: cmp

Job# 38890

Date: 06/06/2016



CITY OF FORT PIERCE

PLANNING DEPARTMENT

COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

May 16th, 2016

Re: Technical Review – Mayfair at Lawnwood

Dear Mr. Wohlfarth, PE,

The following are advisory comments from the Planning Department's review of your application for a Planned Development:

1) Sidewalks: The proposed sidewalk improvement plan provides a great opportunity to provide on-site and off-site sidewalk connectivity. In reviewing the proposed plan, it is recommended to shift the proposed sidewalk connection along North Lawnwood Circle to the southern ROW line, along the presented project, with an associated shift in off-site connections. Additionally, as Nebraska is a four lane, semi-divided, roadway it is recommended to provided a sidewalk connection along the project on both sides of the roadway.

2) Non-residential Uses: The prospective integration of a 30,000 sq. ft. medical office or off-lot commercial parking lot, with limited restrictions presents concerns of capability with the adjoining neighborhood, as follows:

- **Medical Facility:**

The optional medical facility presents concerns related to the absence of hours of operation restrictions or specific use categories for optional businesses within the facility, as well as the projected level of traffic entering a residential street/neighborhood. The consideration of a reduction in the scale and intensity is encouraged, as this potential use presents issues of compatibility, east of the canal.

Traffic Study: 266 Units; 1769 Average Daily Trips and 165 PM Peak Hour trips did not adversely impact the project will operate at satisfactory level of service.

1450 Average Daily Trips and 135 PM Peak hour trips.

The 30,000 SF building generates 1,089 ADT and 107 PM Peak Hour Trips. In order to construct this option an updated traffic study would be required as part of the amendment to justify the use.

218 Units + 30,000 SF Office Commercial = 2,539 ADT trips – Concerns of quality of life impacts to adjacent residences, roadway linkages, and the probable need for off-site mitigation.

- **Limited Commercial Parking**

Pursuant to City Code Section 22-60 (b) (1) Off-lot parking; The off-lot spaces shall be provided on other property located within three hundred (300) feet of the main entrance of the principal structure.

The potential parking area for Lawnwood presents concerns related to proximity to the medical facilities, hours of operation for this lot, and the intended users as the lot is adjoining a residential neighborhood. The consideration of reducing the scale of the parking area, hour of operation restrictions, and potentially limiting the intended users to employees may offer greater compatibility with the surrounding neighborhood.

3) Phasing: It is recommended that foundational landscaping (trees and shrubs planned along the right-of-way/entrance to each parcel) across the complete project are completed during Phase 1. The entire project site was cleared during the initial permitting of the project, however the previously required mitigation/replanting was never completed. Additionally, any off-site sidewalk connections proposed should be completed in an appropriate manner proportionate to the phasing proposed.

If deemed necessary, please provide a written response to each comment in order to expedite the review of any subsequent submittals. Please contact me should you have any questions regarding the project at (772) 467-3739 or by e-mail: kbenton@city-ftpierce.com.

Sincerely,




Kori Benton
Senior Planner



CITY OF FORT PIERCE DEPARTMENT OF ENGINEERING

Roadway Design, Engineering Reviews, Stormwater Utility Management,
Project Management, Traffic Control and Maintenance

INTEROFFICE MEMORANDUM

TO: Kori Benton, Senior Planner
FROM: John R. Andrews, P.E., City Engineer 
SUBJECT: **Mayfair at Lawnwood Planned Development**
1801 Lawnwood Circle
TRC Project No. 15-42000003

DATE: May 6, 2016

cc:

Attachment(s):



This is to advise you that we have completed the review of the following documents as received May 5, 2016

- | | |
|---|--|
| <input checked="" type="checkbox"/> Planned Development | <input type="checkbox"/> P/D Drawings & Approved Site Plan |
| <input type="checkbox"/> Test Reports & Related Documents | <input type="checkbox"/> Certificate of Completion |
| <input type="checkbox"/> Record Drawings | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we Recommend; Do Not Recommend

- Approval Building Permit C/O

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- See attached for comments

ENGINEERING COMMENTS:

1. The previous comment "*Please submit a Boundary and Topographic survey signed and sealed by a Florida Registered Land Surveyor in accordance with the City of Fort Pierce Code of Ordinances Section 17-27(a)(7)*" was not satisfactorily addressed. The applicant submitted an unsigned and unsealed Boundary Survey and not the requested certified Boundary and Topographic Survey. Please submit a certified Boundary and Topographic Survey.
2. The previous comment "*The plans shall indicate a 5' wide concrete sidewalk to be constructed within the limits of Nebraska Avenue, Lawnwood Circle, Quincy Avenue right-of-ways. This sidewalk is required to be installed the entire limits of the property*" was not addressed.
3. We recommend the elimination of the mid-block crosswalks or verification that the projected pedestrian use warrants the installation.

JRA/tst

Mayfair at Lawnwood
Planned Development
Re-submittal
May 6, 2016

St. Lucie County Public Works/Engineering Comments

1. Road right of ways abutting the subject parcel are under the jurisdiction of the City of Ft. Pierce. **Advisory comment.**
2. Sheet PGD 1.0; Paving, grading and drainage plan; It is noted that the indicated dimension of 76 LF of 18" RCP scales to be 86'. **Previous comment has been addressed.**
3. Sheet PGD 1.0; Paving, grading and drainage plan; it is noted that the proposed structures have not been identified with a number designation. **Advisory comment.**
4. Will the City require the developer to install concrete sidewalks along the roadways abutting the development? **Based on conversations with Mr. Benton, Senior Planner this comment has been addressed.**
5. Is the water and wastewater capacity reserved by the developer? **Based on conversations with Mr. Benton, Senior Planner this comment has been addressed.**
6. It is noted that the project narrative indicated that the existing pavement was in reasonable shape. Have the storm water lines been inspected? It has been our past experience that when developments are abandoned the potential for the degradation of the existing infrastructure is highly probable. **Previous comment has not been addressed.**
7. Boundary Survey; Page 1 of 2; within the legend the word curve length is illegible. **An updated survey was not included within the re-submittal package. Previous comment has not been addressed.**
8. Boundary Survey; Page 1 of 2; no statement of horizontal control accuracy was indicated within the Survey Notes. **An updated survey was not included within the re-submittal package. Previous comment has not been addressed.**
9. Boundary Survey; Page 2 of 2; an incorrect definition has been utilized for the curve data indicated along the south right of way line of North Lawnwood Circle (Delta Angle $19^{\circ} 58'00''$ (P) and length of arc 414.43' (P) have been indicated as being plat distances. They should be indicated as (D) deed calls. **An updated survey was not included within the re-submittal package. Previous comment has not been addressed.**

Ron Harris
County Surveyor 772 462-1721.

Planned Development (PD) – Mayfair at Lawnwood – 1801 Lawnwood Circle

(Kori Benton)

- W/WW Engineering: Approved. Please submit 3 sets of detailed utility drawings and plan review application.
- Electric and Gas Engineering: Please provide electrical plans for review. Utility easement will be needed. We have no objection.
Approved as noted



CITY OF FORT PIERCE TECHNICAL REVIEW COMMITTEE

Minutes

OF THE REGULAR MEETING OF THE CITY OF FORT PIERCE TECHNICAL REVIEW COMMITTEE HELD ON THURSDAY, MAY 19TH, 2016, IN FORT PIERCE CITY HALL, COMMISSION CHAMBERS, 100 NORTH US HIGHWAY 1, FORT PIERCE, FLORIDA.

I. Call to Order

Chairwoman Grohall called the meeting to order.

II. Pledge of Allegiance

The Pledge of Allegiance was recited.

III. Roll Call

The agencies attending: SLCTPO, SLC Engineering, FPUA Electric, FP Building, FP Engineering, FP Planning, FPUA Water/Wastewater, FP Code, FP Police, SLC Fire District and FP Public Works

The agency with no attending representation: SLC Planning

IV. Approval of Minutes

Motion was made by FPUA Water/Wastewater and seconded by SLC Engineering to approve the minutes from the April 21, 2016 meeting.

V. New Business:

A. Planned Development (PD) – Mayfair at Lawnwood – 1801 Lawnwood Circle

Mr. Benton: The Mayfair at Lawnwood project has been resubmitted after revisions to the overall plan. Some of the notable highlights are the reduction in the quantity of residential units from 266 down to 218. The 218 units are proposed to be concentrated on the northern two parcels including this plan development and the reservation of the southern piece for variable use. The uses presented in this resubmittal encompass the prospects of green open space in coordination with Lawnwood, prospects of limited commercial parking to support Lawnwood Regional Medical Center, an Adult Congregate Living Facility with a memory care unit, or also limited commercial uses presenting medical uses for development.

The civil drawings, landscape plans and most of the other documents for the northern two parcels have not changed as the building foot print, size and location remain the same.

Chairwoman Grohall: What does the density represent on the parcel?

Mr. Benton: The represented density is approximately 15-20 units per acre. The applicants are applying for a density bonus for a portion of the property which is located within a ¼ mile of a transit stop. The previous development that was approved featured anywhere from 220 to 230 units so it is a slight reduction; however, it is the proposed concentration on the two northern parcels.

FP Planning:

The following are advisory comments from the Planning Department.

1) Sidewalks: The proposed sidewalk improvement plan provides a great opportunity to provide on-site and off-site sidewalk connectivity. In reviewing the proposed plan, it is recommended to shift the proposed sidewalk connection along North Lawnwood Circle to the southern ROW line, along the presented project, with an associated shift in off-site connections. Additionally, as Nebraska is a four lane, semi-divided, roadway it is recommended to provided a sidewalk connection along the project on both sides of the roadway. Please See Attached Exhibit for recommended adjustments/linkages.

2) Non-residential Uses: The prospective integration of a 30,000 sq. ft. medical office or off-lot commercial parking lot, with limited restrictions presents concerns of capability with the adjoining neighborhood, as follows:

- **Medical Facility:**

The optional medical facility presents concerns related to the absence of hours of operation restrictions or specific use categories for optional businesses within the facility, as well as the projected level of traffic entering a residential street/neighborhood. The consideration of a reduction in the scale and intensity is encouraged, as this potential use presents issues of compatibility, with commercial uses east of the canal.

Original Traffic Study: 266 Units; 1769 Average Daily Trips and 165 PM Peak Hour trips did not adversely impact the project will operate at satisfactory level of service.

- 1450 Average Daily Trips and 135 PM Peak hour trips.

The 30,000 SF building is projected to generate 1,089 ADT and 107 PM Peak Hour Trips. In order to construct this option, the narrative indicates an updated traffic study would be required as part of the amendment to justify the use. Is it the intention to require a formal "amendment" to the PD, to be reviewed by the Planning Board & City Commission, to authorize this route of development? It's noted that any vertical construction proposed on the southern parcel would be subject to the City's Design Review guidelines;

therefore the Planning Board (acting as the design review board) would be required to review any structures over 4,000 sq. ft. in size, for design and architectural compatibility.

218 Units + 30,000 SF Office Commercial = 2,539 ADT trips – Concerns of quality of life impacts to adjacent residences, roadway linkages, and the probable need for off-site mitigation.

- **Limited Commercial Parking**

Pursuant to City Code Section 22-60 (b) (1) Off-lot parking; the off-lot spaces shall be provided on other property located within three hundred (300) feet of the main entrance of the principal structure.

The potential parking area for Lawnwood presents concerns related to proximity to the medical facilities, hours of operation for this lot, and the intended users as the lot is adjoining a residential neighborhood. The consideration of reducing the scale of the parking area, hour of operation restrictions, and potentially limiting the intended users to employees may offer greater compatibility with the surrounding neighborhood.

3) Phasing: It is recommended that foundational landscaping (trees and shrubs planned along the right-of-way/entrance to each parcel) across the complete project are completed during Phase 1. The entire project site was cleared during the initial permitting of the project, however the previously required mitigation/replanting was never completed. Additionally, any off-site sidewalk connections proposed should be completed in an appropriate manner proportionate to the phasing proposed.

SLC Engineering:

1. Road right of ways abutting the subject parcel are under the jurisdiction of the City of Ft. Pierce. Advisory comment.
2. Sheet PGD 1.0; Paving, grading and drainage plan; It is noted that the indicated dimension of 76 LF of 18" RCP scales to be 86'. Previous comment has been addressed.
3. Sheet PGD 1.0; Paving, grading and drainage plan; it is noted that the proposed structures have not been identified with a number designation. Advisory comment.
4. Will the City require the developer to install concrete sidewalks along the roadways abutting the development? Based on conversations with Mr. Benton, Senior Planner this comment has been addressed.

5. Is the water and wastewater capacity reserved by the developer? Based on conversations with Mr. Benton, Senior Planner this comment has been addressed.
6. It is noted that the project narrative indicated that the existing pavement was in reasonable shape. Have the storm water lines been inspected? It has been our past experience that when developments are abandoned the potential for the degradation of the existing infrastructure is highly probable. Previous comment has not been addressed.
7. Boundary Survey; Page 1 of 2; within the legend the word curve length is illegible. An updated survey was not included within the re-submittal package. Previous comment has not been addressed.
8. Boundary Survey; Page 1 of 2; no statement of horizontal control accuracy was indicated within the Survey Notes. An updated survey was not included within the re-submittal package. Previous comment has not been addressed.
9. Boundary Survey; Page 2 of 2; an incorrect definition has been utilized for the curve data indicated along the south right of way line of North Lawnwood Circle (Delta Angle 19° 58'00" (P) and length of arc 414.43' (P) have been indicated as being plat distances. They should be indicated as (D) deed calls. An updated survey was not included within the re-submittal package. Previous comment has not been addressed.

FP Building: Back in January the applicant had some confusion as to the requirement for fire sprinklers within the buildings. It was discussed with the SLC Fire Department that any new buildings will have to be fire sprinkled. The existing building is fire sprinkled.

FP Engineering:

1. The plans shall indicate a 5' wide concrete sidewalk to be constructed within the limits of Nebraska Avenue, Lawnwood Circle, Quincy Avenue right-of-ways. This sidewalk is required to be installed the entire limits of the property. Need a response letter regarding this.
2. Elimination of the midblock crosswalks unless pedestrian traffic requires this.

FPUA Water/Wastewater: Approved. Please submit 3 sets of detailed utility drawings and plan review application.

FPUA Electric: Please provide electrical plans for review and a copy of the CAD drawing. Utility easement will be needed. We have no objection. Approved as noted.

The following departments had no comments at the meeting: FP Police, FP Code, FP Public Works and SLC TPO.

Chairwoman Grohall: I know we have received a number of letters concerned with storm water runoff on the site. Have they presented a storm water plan? Is there permit active with South Florida Water Management District?

Mr. Benton: In response to the activity with regards to the South Florida Water Management District (SFWMD) permit; we did receive notification from SFWMD which indicated that a portion of their permit has expired and they would have to re-certify and re-file for an amendment of this proposed plan. This has not been done to my knowledge but they are in coordination with SFWMD.

Chairwoman Grohall: Did they submit storm water calculations?

FP Engineering: We review the calculations at the time of site plan. We just look at a conceptual drainage, so yes they have submitted everything and everything is fine to date right now. When they submit for their site work permit we will review the drainage calculations and make sure the SFWMD permits are up to date.

Mr. Benton: With the original development plan in 2005 there is a joint agreement and joint use of a common area water retention lake which was part of the overall master development many years ago. Revisiting that approach is what has been presented with some minor on site retention. Review of capacity and the infrastructure for those connections of what exists and what is proposed will need to be reviewed with SFWMD.

FP Building: Has the situation back in 2005 with the agreements been resolved?

Mr. Benton: There are two components to the agreement: 1) the conditions applied to the previous plan development would not be active or valid with the resubmittal of a new plan development. 2) The agreements associated with drainage and those types of connections would need to be revisited if they plan on having off site retention.

SLC Engineering: Were those agreements recorded in public records?

Mr. Benton: I would have to review. I know there was a development agreement between the two neighborhoods, whether that is still active and if both sides adhere to the conditions is a matter that needs to be addressed as they move forward with the project. It is certainly a concern to make sure they are in place and active and that both sides are able to agree on capacity, use and maintenance.

B. **Variance** – Westside Church – 3361 S. Jenkins Road

Mr. Benton: Westside Church has their salvage location off of S. Jenkins Road. The property is about 23 acres in size wedged between I-95 and Jenkins Road. The applicants are seeking to increase exposure of their facility via signage along the western boundary, which would face I-95. There

proposed Variance would eliminate their ground sign along Jenkins Road in lieu of a larger sign. They are proposing a Variance of both height and sign area to place a sign that is 28 feet in height and 200 square feet in sign area. It is noted that the proposed sign will be a LED backlit sign. Staff has reiterated that the sign must remain static throughout the day in order to comply with city code.

The following departments had no comments at the meeting: FP Planning, FPUA Water/Wastewater, FPUA Electric, SLC Engineering, FP Building, FP Public Works, FP Code, SLC TPO, FP Police, SLC Fire District and FP Engineering.

VI. Public Comments

David Earle, Attorney with Ross Earle Bonan & Ensor and Lawnwood Representative: Copies have been provided to the Planning Board and staff with regard to Lawnwoods concerns about this project. Some of the concerns that are being raised have to do with the density bonus that is being requested by this applicant and more importantly is the effect on the storm water and drainage that affects these communities that are inter-related.

Kevin Henderson, Lawnwood Associations Engineer from Evergreen Engineering – I have been involved with the engineering for Lawnwood after the 2005 agreement was made. Some Lawnwood residents were very concerned that their houses almost flooded during various rainfall events. The west border right now has homes that drain west into the vacant property. Right off the back, any disturbance of the property to the west of them, cuts off the drainage around specific houses. In the intervening years, I worked with them to modify their internal drainage to relieve the worst of the flood threats to individual houses but at this point they are out of ammo. There is nothing left they can do inside their community.

This is an old Planned Development project and it is not fair to make the last guy in fix the problems that now exist, that should have been planned for 40 years ago. If the drainage issues are not addressed now then houses in Lawnwood will flood and the City of Ft. Pierce will have to address it. SFWMD now has a model for the Virginia Avenue canal system which they did not have 40 years ago. The requirements for flood design have become more stringent and in the meanwhile Lawnwood is now the lowest finish floors that exist in this basin and if this project goes forward without considering how to address that, Lawnwood homes will flood.

VII. Staff Comments

Ron Harris: Introduced his replacement, as he is retiring June 30. Mr. Ron Reed will be the new county surveyor for St. Lucie County.

Ron Reed: I was a resident of Indian River County for 30 years and I had a consulting firm in Vero Beach called Masteller, Moler and Reed.

VIII. Adjournment

The meeting was adjourned.

Technical Review Comments

1st Submittal

November 2015

- COFP Planning
- COFP Engineering
- SLC Fire District
- SLC Schools
- SLC Engineering
- FPUA
- SLC Transit



CITY OF FORT PIERCE

PLANNING DEPARTMENT

COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

November 17, 2015

Richard Wohlfarth, PE
IBI Group (Florida) Inc.
2300 Maitland Center Parkway – Suite 101

**Re: Technical Review – Mayfair at Lawnwood
Planned Development – New Development Plan
1801 Nebraska Avenue**

Dear Mr. Wohlfarth, PE,

The following are technical review comments from the Planning Department’s review of the application for **Planned Development** for a multifamily residential development.

➤ **Planned Development Submittal**

Pursuant to City Code Section 22-40:

(a) Planned Developments shall:

- (2) Encourage structures which result in an organized, compatible development within and with surrounding land uses in density and intensity of use.
- (4) Encourage the preservation of environmental assets and natural amenities as scenic and functional open-space areas.
- (5) Encourage usable open space by permitting a more concentrated building area than is allowed under conventional zoning and subdivision regulations.

-Please detail the consistency of the proposed development plan with the objectives noted.

(b) “no ... development plan may be approved unless the following conditions are met”:

(1) Comprehensive plan consistency. Any residential, commercial, industrial, or public land uses and structures are permitted in this district, provided the proposed development is shown to be consistent with the goals, objectives and policies of the comprehensive plan, and consistent with the future land use element, and the standards and criteria contained in the following sections, unless a corresponding amendment to the comprehensive plan is also adopted.

- a. **Density.** In no event shall the density granted exceed the maximum gross density permitted under the underlying land use in the comprehensive plan.

-Please provide a statement presenting consistency of the project with the RM, Medium Density Future Land Use designation, and adjacent neighborhoods. Density bonus components of the City Code & Comprehensive Plan may be considered further, though justification associated with preservation of resources, integration of public facilities, intermodal connectivity, and other amenities shall be integrated.

(3) Open space. In all planned developments at least twenty (20) per cent of the site shall be devoted to open space, regardless of project size or intended use; open space shall be land devoid of any above-ground structures or buildings, except pergolas, gazebos, pavilions or other open-air structures; or landscape structures such as terraces, planters, walls or retaining walls. Open space may include natural areas, buffer areas, upland habitats, including those areas of on-site preservation required by the other provisions of this Code; recreation areas, but *not including* swimming pools, tennis courts or other impervious activity areas; but may include parks, golf courses, sports fields; bicycle, pedestrian or equestrian paths and facilities; common open space, common landscaping or planting areas; stormwater detention and retention facilities providing that no more than thirty (30) per cent of the overall open space requirement shall be satisfied in this manner; water features, conservation areas or other areas intended for public purposes other than street or road rights-of-way, but shall exclude aquatic areas for conservation and development (A-1 and A-2 zoning).

-Please provide/update the Open Space area data presented within the development plan.

(8) Additional requirements. The city commission may also establish additional requirements which it considers necessary to assure that a planned development conforms to the intent of this section.

(c) Application requirements. (1) Written documents:

f. Agreements, provisions and covenants which govern the use, maintenance and continued protection of the planned development and any of its common open space or other shared areas. This material shall include material which binds successors in title to any commitments concerning completion of the project and its maintenance and operation.

-Please provide an applicable documents proposed for the development.

(2) Site plan. A site plan with the following information must be submitted:
i. Information on land areas adjacent to the proposed planned development, including land uses, zoning classifications, densities, circulation systems, public facilities and unique natural features of the landscape.

-Please update the site plan to present the noted data.

➤ **Design Review**

-Please update the included “design narrative” to reflect the architectural design scheme and how the presented development assimilates with local designs and building typologies.

Pursuant to City Code Section 22-59 (c)(1) j. Exterior elevations showing architectural character, external architectural features and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be

drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.

Pursuant to City Code Section 22-59 (g)(2) Entrances.

- a. Buildings shall have architectural features such as porches or roof overhangs that delineate or emphasize entrances. Covered entrances shall be proportioned to human scale and follow logic of design relative to the building. This entrance shall face the public right-of-way, be well-defined architecturally and readily visible to pedestrian and vehicular traffic.

Pursuant to City Code Section 22-59 (g)(3) Windows.

- a. Windows shall have well-defined frames, transoms or sills, and should be accentuated with shutters or Bahamas awnings where appropriate. Material of frames, shutters and awnings shall be painted or stained wood, aluminum or vinyl-clad wood, steel or aluminum.
- d. Windows must be placed on elevations that face the public right-of-way and must be in scale and compatible with the architectural style of the building.
- e. Large expanses of wall without windows or detail that face the public right-of-way are prohibited.

Pursuant to City Code Section 22-59 (g)(5) Streetscape improvement guidelines. Streetscape improvements include those architectural or functional facilities or structures which occur on site but are not part of the building and which contribute to the overall appearance of the development and encourage and facilitate human interaction with the environment. Examples include, but are not limited to decorative light fixtures, fountains, sculpture and other civic art, benches and tables, planters, retaining walls, pedestrian and bicycle paths, bicycle parking structures, trash receptacles and enclosures, vendor areas, bollards and fences. These improvements shall be designed to be consistent with all guidelines of this section, and shall be reviewed for aesthetic functionality and compatibility with the city's design expectations.

- **Please provide more detailed elevations, further representing the orientation and streetscapes visible from abutting roadways. Please advise whether any variation in roof lines/design, paint color, or façade embellishments will be incorporated within the project.**

Pursuant to City Code Section 22-58 (d)(4)i. Location and size of all signs; & 22-59 (c)(1)i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.

-The development plan notes that no site identification or ground signs are proposed. Please review and affirm.

➤ Sidewalks

Pursuant to City Code Section **22-62. - Sidewalks.**

Applicability: In order to provide continual access for pedestrians, sidewalks and sidewalk linkages shall be required to be provided by the property owner or permit applicant when one of the following events occur:

(b)(4) Plans submitted for site plan, conditional use, PUD/PUR, and subdivision review. Plans shall reflect all proposed sidewalk improvements.

&

(d) **Where required:** Sidewalks and sidewalk linkages shall be installed in the following areas:

(1) In the public or private right-of-way the full length of any and all streets abutting a parcel of property and parallel to the street.

(2) Safe and efficient sidewalk linkages shall be provided between building entrances and parking areas, and adjacent portions of the development, and adjacent rights-of-way. At least one accessible route in accordance with the Florida Accessibility Code shall connect buildings to parking areas and adjacent rights-of-way.

(3) In addition to the requirements of subsection (2), internal sidewalk interconnection between adjacent properties shall be provided for properties that front on arterial roads.

(4) New developments adjacent to school properties shall be required to provide a right-of-way and a direct safe access path for pedestrian travel to existing and planned school sites and public parks, and shall connect to the neighborhood's existing pedestrian network.

- **Please update the site plan accordingly to reflect these connections to adjacent properties, parks, and other public facilities (i.e. hospital).**

➤ **Traffic Impact Report**

The applicant shall provide a complete traffic study and impact report, consistent with the St. Lucie County TPO methodology & City of Fort Pierce Concurrency Management requirements.

➤ **Landscape Plan**

Please update the Landscape Plan to detail compliance with City Code Section 22-187, more specifically the noted requirements below:

(4) Landscape strips. Between street rights-of-way and vehicular use, building and retention/detention areas, there shall be a landscaped strip of land, except where driveways are located, meeting these requirements:

a. The strip shall be at least six (6) feet wide for lots under ten thousand (10,000) square feet in size and at least ten (10) feet wide for lots ten thousand (10,000) square feet or larger;

b. The landscape strip **shall include an average of at least one tree for each three hundred (300) square feet of required landscaped area.** The remainder of the required landscaped area shall be completely covered with grass, ground cover or other landscaped treatment and shall additionally **contain a screen of landscaping which shall be installed and maintained so as to form a thirty-six-inch or higher continuous, unbroken, solid, visual screen** within a maximum of one year after the landscaping takes place, except in clear vision areas required in section 22-53.

- **The presented landscape plan does note the incorporation of any shrubs/heading, as required.**

(6) Vehicular use, building, retention/detention areas adjacent to other property. Landscape standards for these areas are as follows:

a. Where a vehicular use area does not abut a street right-of-way but abuts other property, there will be a landscaped strip of land which is at least ten (10) feet wide. When a property line abuts a building, another structure, a joint driveway or joint parking area, such landscaped strip shall not be required.

b. The landscaping strip required by the immediately foregoing subsection **shall include an average of at least one tree for each two hundred (200) square feet of the required landscape area.** The remainder of the required landscape area shall be landscaped with grass, ground cover or other landscape treatment.

- The presented landscaping requirements only note the landscape/tree ratio requirements between the project and the right-of-ways.

(7) Interior vehicular use areas.

-Please provide clarification of the areas included in the landscape calculations for Interior vehicular use area landscaping in order to ensure accuracy in the areas included.

➤ **Lighting Plan**

Pursuant to City Code Sections 22-58(d)(8) and 22-60 (j) Lighting, Please revise the site lighting plan to clearly indicate:

Illumination of all interior and immediately adjoining streets as follows:

a. At least one (1) average footcandle for streets classified as collector, arterial or higher;

b. At least five-tenths average footcandle for streets other than as described in the immediately foregoing subsection;

c. At least one (1) average footcandle for specially designated pedestrian walkways.

The uniformity ratio for lighting required by this section shall be an average/minimum ratio of ten (10) to one (1). There shall be included with the lighting plan a statement of a registered engineer or architect showing calculations demonstrating compliance with this section to the city engineer and such statement shall be subject to the city engineers approval. Subsequently a certificate of occupancy may not be issued until there is filed with the director a certificate from a registered engineer or architect of design that the lighting installation meets the requirements of this section.

(1) Off-street parking shall be provided with lighting as follows:

b. For multistructure residential complexes, educational facilities, churches or other uses other than as set forth in the other immediately preceding subsection, a minimum average of one footcandle;

(2) The uniformity ration for all lighting classifications is to have an average/minimum ratio of four (4) to one (1).

(3) The lighting provided for by this section shall have a footcandle intensity as set forth above from dusk until thirty (30) minutes after the termination of use of, or business at, the premises, but thereafter such lighting intensity may be reduced to fifty (60) per cent of the required minimum.

(4) Outdoor lighting required by this section shall be designed so that any over spill of lighting onto adjacent properties shall not exceed five-tenths (.5) footcandle illumination, vertically and horizontally.

(5) Outdoor lighting installations required by this section for any use involving site plan approval in accordance with Section 22-58 shall not be placed in permanent use until there is furnished a letter of compliance from a registered engineer or architect, or duly authorized representative of such engineer or architect, stating that the installation has been field checked and meets the requirements as set forth above. This letter shall be subject to approval by the city engineer. Upon installation of the lighting, a certificate shall then be filed with the city engineer by a registered engineer or architect of design showing that such installation meets with requirements imposed by this section. Such letter and certification are not required for lighting involved with uses where site plan approval under Section 22-58 is unnecessary through such lighting is otherwise subject to the requirements of this section.

➤ **City Comprehensive Plan & Density Notes**

Medium Density Residential (RM): The Medium Density Residential (RM) designation is intended for parcels that are best suited for multifamily residential uses **ranging in density from 6.5 to 12 dwelling units per acre.** This category allows small-lot single family units and multifamily dwellings including duplexes, condominiums and townhomes. Limited commercial uses intended to serve the residential uses shall be allowed. Compatible public, quasi-public, and special uses including parks, churches, non-profit clubs, schools and daycare facilities shall also be allowed. This category combines the previously allowed Medium Density Residential (Rme) and Moderate Density Residential (Rmo) categories.

-The Density Bonus provisions sought shall be reviewed further for eligibility, within the RM district and the accompanying PD Plan. Further assessment is requested, based upon the density of the adjacent neighborhoods. Staff may be available to assist in the collaborative effort to determine the established density of the abutting Planned Development. Furthermore, the transit location does not identify the proximity to the project with regards to a safe and accessible pedestrian route. The pedestrian route calculated by staff to the nearest transit stop is approximately .55 - .6 miles.

7.4.11 Policy:

The City of Fort Pierce shall require that all future residential developments in excess of 100 dwelling units provide a community clubhouse, recreation center or similar communal building that is "hurricane hardened," and equipped with a generator and accessory fuel storage system to supply power in the event of prolonged power outages.

- Please advise whether the presented clubhouses will provide the noted protections and emergency facilities.




CITY OF FORT PIERCE

DEPARTMENT OF ENGINEERING

Roadway Design, Engineering Reviews, Stormwater Utility Management,
Project Management, Traffic Control and Maintenance

INTEROFFICE MEMORANDUM

TO: Kori Benton, Senior Planner

FROM: John R. Andrews, P.E., City Engineer 

SUBJECT: **Mayfair at Lawnwood Planned Development**
1801 Lawnwood Circle
TRC Project No. 15-42000003

DATE: November 18, 2015

cc:

Attachment(s):

This is to advise you that we have completed the review of the following documents as received November 6, 2015

- | | |
|---|--|
| <input checked="" type="checkbox"/> Planned Development | <input type="checkbox"/> P/D Drawings & Approved Site Plan |
| <input type="checkbox"/> Test Reports & Related Documents | <input type="checkbox"/> Certificate of Completion |
| <input type="checkbox"/> Record Drawings | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we Recommend; Do Not Recommend

- Approval Building Permit C/O

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- See attached for comments

ENGINEERING COMMENTS:

1. Please submit a Boundary and Topographic survey signed and sealed by a Florida Registered Land Surveyor in accordance with the City of Fort Pierce Code of Ordinances Section 17-27(a)(7).
2. The plans shall indicate a 5' wide concrete sidewalk to be constructed within the limits of Nebraska Avenue, Lawnwood Circle, Quincy Avenue right-of-ways. This sidewalk is required to be installed the entire limits of the property.

JRA/tst



BUREAU OF FIRE PREVENTION

SITE PLAN REVIEW

TO: Site Plan Applicant

**SITE PLAN: Planned Development (PD) - Mayfair at Lawnwood – 1801 Lawnwood Circle
TRC Project #15-42000003**

REVIEW DATE: 11/18/2015

PLANNER: KORI BENTON

REVIEWED BY: Lieutenant Richard Williams

Site Plan Approved: _____

Site Plan Approved with conditions: X

Site Plan Approval withheld pending written acknowledgement of conditions: _____

Site Plan Rejected: _____

The Following Revisions Are Necessary:

- 1. Please submit a completed application for Development/Site Plan Review (St. Lucie County Fire District Development & Site Plan Review Application). This form is available on-line at <http://www.slcfcd.com/documents/app2.pdf>.**
- 2. Fire District review fees are due at the time of submittal. An abbreviated fee schedule is included on the application form.**
- 3. Please provide an electronic copy of the Site Plan (.dwg or .pdf format)**

Mayfair at Lawnwood
Planned Development
November 18, 2015

St. Lucie County Public Works/Engineering Comments

1. Road right of ways abutting the subject parcel are under the jurisdiction of the City of Ft. Pierce.
2. Sheet PGD 1.0; Paving, grading and drainage plan; It is noted that the indicated dimension of 76 LF of 18" RCP scale to be 86'.
3. Sheet PGD 1.0; Paving, grading and drainage plan; it is noted that the proposed structures have not been identified with a number designation.
4. Will the City require the developer to install concrete sidewalks along the roadways abutting the development?
5. Is the water and wastewater capacity reserved by the developer?
6. It is noted that the project narrative indicated that the existing pavement was in reasonable shape. Have the storm water lines been inspected? It has been our past experience that when developments are abandoned the potential for the degradation of the existing infrastructure is highly probable.
7. Boundary Survey; Page 1 of 2; within the legend the word curve length is illegible.
8. Boundary Survey; Page 1 of 2; no statement of horizontal control accuracy was indicated within the Survey Notes.
9. Boundary Survey; Page 2 of 2; an incorrect definition has been utilized for the curve data indicated along the south right of way line of North Lawnwood Circle (Delta Angle $19^{\circ} 58'00''$ (P) and length of arc 414.43' (P) have been indicated as being plat distances. They should be indicated as (D) deed calls.

10.

Ron Harris
County Surveyor
772 462-1721

**FPUA Comments: PD – Mayfair at Lawnwood – 1801 Lawnwood Circle
– (Kori Benton)**

- W/WW Engineering: No Objection
- Electric and Gas Engineering: Please provide electrical plans for review. Utility easement will be needed. We have no objection.

Approved as noted

SLC Transit Comments

- If your Land Development Code and/or Comp. Plan prescribes, I would request enhanced connectivity to the sidewalk network and midblock crossings on Nebraska Avenue and Lawnwood Circle. Also, pedestrian lighting within the project proximity would provide additional safety measures.
- The Treasure Coast Connector has two bus stops within close proximity to the project. Riders need safe accessibility to the stops. Page 6 within this link depicts the specific information pertaining to this neighborhood.
http://treasurecoastconnector.com/TCC_riders_guide.pdf

Applicant's Response to Technical Review Comments

1st Submittal

November 2015 / January 2016 Response



IBI GROUP (FLORIDA) INC.
2300 Maitland Center Parkway– Suite 101
Maitland FL 32751 USA
tel 407 660 2120 fax 407 875 8308
ibigroup.com

January 14, 2016

Mr. Kori Benton
Planner
City of Ft. Pierce
P.O. Box 1480
Ft. Pierce, Florida 34954-1480

Dear Kori:

The following is based on comments from the Planning Department's review of the application for ***Planned Development*** for a multifamily residential development, dated November 17th, 2015.

Pursuant to City Code Section 22-40:

(a) Planned Developments shall:

(2) Encourage structures which result in an organized, compatible development within and with surrounding land uses in density and intensity of use.

Response: Acknowledged

(3) Encourage the preservation of environmental assets and natural amenities as scenic and functional open-space areas.

Response: Acknowledged

(4) Encourage usable open space by permitting a more concentrated building area than is allowed under conventional zoning and subdivision regulations.

Response: Acknowledged

-Please detail the consistency of the proposed development plan with the objectives noted.

(b) "No development plan may be approved unless the following conditions are met":

(1) Comprehensive plan consistency. Any residential, commercial, industrial, or public land uses and structures are permitted in this district, provided the proposed development is shown to be consistent with the goals, objectives

Mr. Kori Benton – January 14, 2016

and policies of the comprehensive plan, and consistent with the future land use element, and the standards and criteria contained in the following sections, unless a corresponding amendment to the comprehensive plan is also adopted.

(2) Response: Acknowledged

a. **Density.** In no event shall the density granted exceed the maximum gross density permitted under the underlying land use in the comprehensive plan.

-Please provide a statement presenting consistency of the project with the RM, Medium Density Future Land Use designation, and adjacent neighborhoods. Density bonus components of the City Code & Comprehensive Plan may be considered further, though justification associated with preservation of resources, integration of public facilities, intermodal connectivity, and other amenities shall be integrated.

Response: The property already has a zoning designation of PD. This project was approved in 2006 for a total of 220 residential units. This equates to 13.92 DU/Acres. The project was partially constructed and with a large portion of the infrastructure installed and one of the buildings constructed. This project has been in this condition since it went fallow in 2010. The principal justification for PD is that the zoning exist on the property and the purpose of this amendment is to modify the master plan, change the conditions of approval and to add units to the project.

The concept of PD zoning is to provide a classification that will allow flexibility to more traditional zoning. These provisions were followed when the property was approved. Based on those approval a substantial amount of money was invested to construct the infrastructure and to build one of the buildings. The proposed design utilizes the existing footprints of the buildings, parking and honors the setbacks, open space and landscape buffers originally approved in 2006.

In order to how the compatibility we prepared a Neighboring Density Map, Exhibit "A" attached to his response. The plan shows the densities of the adjacent property to the north. Overall the area north has an average density of 7.2 DU/Acre (Gross). The area to the south, primarily the hospital, is Instructional and Office (Commercial in Nature). Based on the attached the increase from the 13.92 DU/Acres to the proposed 16.83 is justified as this becomes a good transition from medium density residential to institutional/office/commercial uses.

In addition, while there is an increase in the overall units the impacts of the proposed project will be less than the formally approved plan. This is based on the facts that we have significantly reduced the unit's sizes and will only

Mr. Kori Benton – January 14, 2016

have 1 and 2 bedroom units. The smaller sizes, eliminating the 3 bedroom, orienting the units to professionals that will be able to utilize the public transportation, the proximity to the 1,600 employees at the hospital, transit access to the downtown, state university, City and County administration will reduce the impact of the proposed project.

The increase in units have been offset by the reduction in the overall footprint of the buildings. This is due to the smaller unit sizes. This reduction will increase the percentage of open space.

There has been some concerns about the propose plan. This plan:

- **Reduces building coverage and overall increases the % of open space.**
- **Maintains all setbacks, landscape buffers.**
- **Increases the amenities by adding an additional pool and cabana. The buildings will be constructed “Hurricane Hardened” with generators and accessory fuel systems.**
- **Dramatically increase the tax base of the property.**
- **Provide needed apartments for the surrounding area.**
- **Provide significant, temporary employment during the projects construction**

The photographs attached are of the existing building. This building is located on the northern property.

(3) Open space. In all planned developments at least twenty (20) per cent of the site shall be devoted to open space, regardless of project size or intended use; open space shall be land devoid of any above-ground structures or buildings, except pergolas, gazebos, pavilions or other open-air structures; or landscape structures such as terraces, planters, walls or retaining walls. Open space may include natural areas, buffer areas, upland habitats, including those areas of on-site preservation required by the other provisions of this Code; recreation areas, but *not including* swimming pools, tennis courts or other impervious activity areas; but may include parks, golf courses, sports fields; bicycle, pedestrian or equestrian paths and facilities; common open space, common landscaping or planting areas; stormwater detention and retention facilities providing that no more than thirty (30) per cent of the overall open space requirement shall be satisfied in this manner; water features, conservation areas or other areas intended for public purposes other than street or road rights-of-way, but shall exclude aquatic areas for conservation and development (A-1 and A-2 zoning).

-Please provide/update the Open Space area data presented within the development plan.

Mr. Kori Benton – January 14, 2016

Response: The Site Data on the site plan has been updated to reflect the impervious/pervious values. The data has been broken down to:

Gross Area	15.8 Acres 688,248 S.F.
Building	168,142 SF
Sidewalk	41,382 SF
Paving	206,474 SF
Pool/Deck/Cabana Baths	Included in above SF
Total Impervious	415,998 SF
Total Open Space	6.25 SF 39.56 %

(8) Additional requirements. The city commission may also establish additional requirements which it considers necessary to assure that a planned development conforms to the intent of this section.

(c) Application requirements. (1) Written documents:

f. Agreements, provisions and covenants which govern the use, maintenance and continued protection of the planned development and any of its common open space or other shared areas. This material shall include material which binds successors in title to any commitments concerning completion of the project and its maintenance and operation.

-Please provide an applicable documents proposed for the development.

Response: The proposed project will be a rental property and under common ownership. The owners of the property will be fully responsible for the maintenance and protection of the common open space.

(2) Site plan. A site plan with the following information must be submitted:

i. Information on land areas adjacent to the proposed planned development, including land uses, zoning classifications, densities, circulation systems, public facilities and unique natural features of the landscape.

-Please update the site plan to present the noted data.

Response: A Plan showing the adjacent areas indicating the Land Use designation and densities is attached. The following tables shows the densities and the average for the area.

Mr. Kori Benton – January 14, 2016

<i>Parcel</i>	<i>A</i>	<i>B</i>	<i>C</i>	<i>D</i>	<i>E</i>	<i>AVERAGE</i>
<i># of Units</i>	102	75	122	96	32	427
<i>Total Acreage</i>	18.07	12.2	16.77	8.31	4.13	59.48
<i>Density</i>	5.64 <i>du/ac</i>	6.15 <i>du/ac</i>	7.27 <i>du/ac</i>	11.55 <i>du/ac</i>	7.75 <i>du/ac</i>	7.18

➤ **Design Review**

-Please update the included “design narrative” to reflect the architectural design scheme and how the presented development assimilates with local designs and building typologies.

Pursuant to City Code Section 22-59 (c)(1) j. Exterior elevations showing architectural character, external architectural features and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.

Response: Since this is a continuation of an existing project and most of the infrastructure, especially the northern parcel, is complete the goal was to keep the same architecture that was started in 2006. The proposed building keeps the front façade. The rear and side has been softened by adding

Mr. Kori Benton – January 14, 2016

some movement in the building. The addition of outside patios has reduced the sterile appearance of the existing architecture. This was shown on the elevations.

Pursuant to City Code Section 22-59 (g) (2) Entrances.

- a. Buildings shall have architectural features such as porches or roof overhangs that delineate or emphasize entrances. Covered entrances shall be proportioned to human scale and follow logic of design relative to the building. This entrance shall face the public right-of-way, be well-defined architecturally and readily visible to pedestrian and vehicular traffic.

Response: The front of the buildings using open breezeways reduce the need to air condition corridors and provide an interesting entrance to the units. As mentioned above the addition of patios reduces the “wall” impact of many apartments. In addition the project is limited to 2 stories, which brings down the scale of the bulding.

Pursuant to City Code Section 22-59 (g) (3) Windows.

- a. Windows shall have well-defined frames, transoms or sills, and should be accentuated with shutters or Bahamas awnings where appropriate. Material of frames, shutters and awnings shall be painted or stained wood, aluminum or vinyl-clad wood, steel or aluminum.

Response: Understood

- d. Windows must be placed on elevations that face the public right-of-way and must be in scale and compatible with the architectural style of the building.

Response: Understood and accomplished.

- e. Large expanses of wall without windows or detail that face the public right-of-way are prohibited.

Response: Understood and accomplished.

Pursuant to City Code Section 22-59 (g) (5) Streetscape improvement guidelines. Streetscape improvements include those architectural or functional facilities or structures which occur on site but are not part of the building and which contribute to the overall appearance of the development and encourage and

Mr. Kori Benton – January 14, 2016

facilitate human interaction with the environment. Examples include, but are not limited to decorative light fixtures, fountains, sculpture and other civic art, benches and tables, planters, retaining walls, pedestrian and bicycle paths, bicycle parking structures, trash receptacles and enclosures, vendor areas, bollards and fences. These improvements shall be designed to be consistent with all guidelines of this section, and shall be reviewed for aesthetic functionality and compatibility with the city's design expectations.

- Please provide more detailed elevations, further representing the orientation and streetscapes visible from abutting roadways. Please advise whether any variation in roof lines/design, paint color, or façade embellishments will be incorporated within the project.

Response: The proposed project will be providing landscape buffers with the intention of having an opaque buffer. With the maturing of the trees and the shrubs the majority of the buildings will not be visible.

Pursuant to City Code Section 22-58 (d)(4)i. Location and size of all signs; & 22-59 (c)(1)i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.

-The development plan notes that no site identification or ground signs are proposed. Please review and affirm.

Response: We have added signage to the plan along the southern property. The signage is minimal and identifies "Mayfair at Lawnwood".

➤ Sidewalks

Pursuant to City Code Section **22-62. - Sidewalks.**

Applicability: In order to provide continual access for pedestrians, sidewalks and sidewalk linkages shall be required to be provided by the property owner or permit applicant when one of the following events occur:

(b)(4) Plans submitted for site plan, conditional use, PUD/PUR, and subdivision review. Plans shall reflect all proposed sidewalk improvements.

Response: A plan showing the location of the existing, proposed and on-site sidewalks is included in the submission.

Mr. Kori Benton – January 14, 2016

(d) **Where required:** Sidewalks and sidewalk linkages shall be installed in the following areas:

(1) In the public or private right-of-way the full length of any and all streets abutting a parcel of property and parallel to the street.

Response: See the propose plan. We are requesting that some of the sidewalks be eliminating and an equal amount of sidewalks be used to complete the pedestrian system.

(2) Safe and efficient sidewalk linkages shall be provided between building entrances and parking areas, and adjacent portions of the development, and adjacent rights-of-way. At least one accessible route in accordance with the Florida Accessibility Code shall connect buildings to parking areas and adjacent rights-of-way.

Response: See comment above.

(3) In addition to the requirements of subsection (2), internal sidewalk interconnection between adjacent properties shall be provided for properties that front on arterial roads.

Response: See exhibit and comments above.

(4) New developments adjacent to school properties shall be required to provide a right-of-way and a direct safe access path for pedestrian travel to existing and planned school sites and public parks, and shall connect to the neighborhood's existing pedestrian network.

Response: See exhibit and comments above.

- Please update the site plan accordingly to reflect these connections to adjacent properties, parks, and other public facilities (i.e. hospital).

Response: A Sidewalk Plan showing the existing and proposed sidewalks is attached as an exhibit. The intent is to show the on-site and off-site sidewalk that will be built in conjunction with the project.

➤ **Traffic Impact Report**

The applicant shall provide a complete traffic study and impact report, consistent with the St. Lucie County TPO methodology & City of Fort Pierce Concurrency Management requirements.

Response: A Traffic Impact Report has been submitted and acknowledged by the City.

➤ **Landscape Plan**

Mr. Kori Benton – January 14, 2016

Please update the Landscape Plan to detail compliance with City Code Section 22-187, more specifically the noted requirements below:

(4) Landscape strips. Between street rights-of-way and vehicular use, building and retention/detention areas, there shall be a landscaped strip of land, except where driveways are located, meeting these requirements:

- a. The strip shall be at least six (6) feet wide for lots under ten thousand (10,000) square feet in size and at least ten (10) feet wide for lots ten thousand (10,000) square feet or larger;

Response: Understood

b. The landscape strip shall include an average of at least one tree for each three hundred (300) square feet of required landscaped area. The remainder of the required landscaped area shall be completely covered with grass, ground cover or other landscaped treatment and shall additionally contain a screen of landscaping which shall be installed and maintained so as to form a thirty-six-inch or higher continuous, unbroken, solid, visual screen within a maximum of one year after the landscaping takes place, except in clear vision areas required in section 22-53.

- The presented landscape plan does note the incorporation of any shrubs/heading, as required.

Response: An updated landscape plan has been submitted and acknowledged by the City.

(6) Vehicular use, building, retention/detention areas adjacent to other property. Landscape standards for these areas are as follows:

- a. Where a vehicular use area does not abut a street right-of-way but abuts other property, there will be a landscaped strip of land which is at least ten (10) feet wide. When a property line abuts a building, another structure, a joint driveway or joint parking area, such landscaped strip shall not be required.

Response: Understood

- b. The landscaping strip required by the immediately foregoing subsection shall include an average of at least one tree for each two hundred (200) square feet of the required landscape area. The remainder of the required landscape area shall be landscaped with grass, ground cover or other landscape treatment.

Mr. Kori Benton – January 14, 2016

Response: Understood

- The presented landscaping requirements only note the landscape/tree ratio requirements between the project and the right-of-ways.

Response: Understood

(7)Interior vehicular use areas.

-Please provide clarification of the areas included in the landscape calculations for *Interior vehicular use area landscaping* in order to ensure accuracy in the areas included.

Response: Understood

➤ **Lighting Plan**

Pursuant to City Code Sections 22-58(d) (8) and 22-60 (j) Lighting, Please revise the site lighting plan to clearly indicate:

Illumination of all interior and immediately adjoining streets as follows:

- a. At least one (1) average footcandle for streets classified as collector classified as collector, arterial or higher;

Response: Understood

- b. At least five-tenths average footcandle for streets other than as described in the immediately foregoing subsection;

Response: Understood

- c. At least one (1) average footcandle for specially designated pedestrian walkways.

Response: Understood

The uniformity ratio for lighting required by this section shall be an average/minimum ratio of ten (10) to one (1). There shall be included with the lighting plan a statement of a registered engineer or architect showing calculations demonstrating compliance with this section to the city engineer and such statement shall be subject to the city engineers approval. Subsequently a certificate of occupancy may not be issued until there is filed with the director a certificate from a registered engineer or architect of design that the lighting installation meets the requirements of this section.

Response: Acknowledged

Mr. Kori Benton – January 14, 2016

(1) Off-street parking shall be proved with lighting as follows:

(1) For multi-structure residential complexes, educational facilities, churches or other uses other than as set forth in the other immediately preceding subsection, a minimum average of one footcandle;

Response: Understood

(2) The uniformity ration for all lighting classifications is to have an average/minimum ratio of four (4) to one (1).

Response: Understood

(3) The lighting provided for by this section shall have a footcandle intensity as set forth above from dusk until thirty (30) minutes after the termination of use of, or business at, the premises, but thereafter such lighting intensity may be reduced to fifty (60) per cent of the required minimum.

Response: Understood

(4) Outdoor lighting required by this section shall be designed so that any over spill of lighting onto adjacent properties shall not exceed five-tenths (.5) footcandle illumination, vertically and horizontally.

Response: Understood

(5) Outdoor lighting installations required by this section for any use involving site plan approval in accordance with Section 22-58 shall not be placed in permanent use until there is furnished a letter of compliance from a registered engineer or architect, or duly authorized representative of such engineer or architect, stating that the installation has been field checked and meets the requirements as set forth above. This letter shall be subject to approval by the city engineer. Upon installation of the lighting, a certificate shall then be filed with the city engineer by a registered engineer or architect of design showing that such installation meets with requirements imposed by this section. Such letter and certification are not required for lighting involved with uses where site plan approval under Section 22-58 is unnecessary through such lighting is otherwise subject to the requirements of this section.

Response: A Lighting plan and photometric plan has been submitted. In review of the plan the above criteria has been meet. It is acknowledged that minor adjustments to poles may be required.

➤ **City Comprehensive Plan & Density Notes**

Mr. Kori Benton – January 14, 2016

Medium Density Residential (RM): The Medium Density Residential (RM) designation is intended for parcels that are best suited for multifamily residential uses **ranging in density from 6.5 to 12 dwelling units per acre**. This category allows small-lot single family units and multifamily dwellings including duplexes, condominiums and townhomes. Limited commercial uses intended to serve the residential uses shall be allowed. Compatible public, quasi-public, and special uses including parks, churches, non-profit clubs, schools and daycare facilities shall also be allowed. This category combines the previously allowed Medium Density Residential (Rme) and Moderate Density Residential (Rmo) categories.

-The Density Bonus provisions sought shall be reviewed further for eligibility, within the RM district and the accompanying PD Plan. Further assessment is requested, based upon the density of the adjacent neighborhoods. Staff may be available to assist in the collaborative effort to determine the established density of the abutting Planned Development. Furthermore, the transit location does not identify the proximity to the project with regards to a safe and accessible pedestrian route. The pedestrian route calculated by staff to the nearest transit stop is approximately .55 - .6 miles.

Response: A copy of an exhibit is attached that shows the nearest transit stop. The stop is located on Birch St and Nebraska Avenue. As it can be seen the stop is 1,320 ft. (1/4 mile from the property corner on Nebraska Avenue.

7.4.11 Policy:

The City of Fort Pierce shall require that all future residential developments in excess of 100 dwelling units provide a community clubhouse, recreation center or similar communal building that is "hurricane hardened," and equipped with a generator and accessory fuel storage system to supply power in the event of prolonged power outages.

- Please advise whether the presented clubhouses will provide the noted protections and emergency facilities.

Response: The buildings shown 600 S.F. each and a note has been added that the buildings are "Hurricane hardened" and equipped with a generator and accessory fuel system.

Should you have any questions, please feel free to call me at 407-660-2120.

Mr. Kori Benton – January 14, 2016

Very truly yours,
IBI Group (Florida) Inc.



Richard C. Wohlfarth, P.E.



Legend

- Proposed Sidewalk
- Onsite Sidewalk
- Existing Sidewalk
- Site Boundary

Mayfair at Longwood Sidewalk Map



IBI Group (Florida) Inc.
 2200 Park Central Boulevard N. Suite 100
 Pompano Beach, FL 33064
 tel 954 974 2200
 fax 954 973 2686

City of Fort Pierce

St. Lucie County

Florida

Scale: 1" = 300'

By: cmp

Job# 38890

Date: 01/13/2016



IBI Group (Florida) Inc.
 2200 Park Central Boulevard N. Suite 100
 Pompano Beach, FL 33064
 tel 954 974 2200
 fax 954 973 2686

Mayfair at Longwood Nearest Transit Stop Map

City of Fort Pierce

St. Lucie County

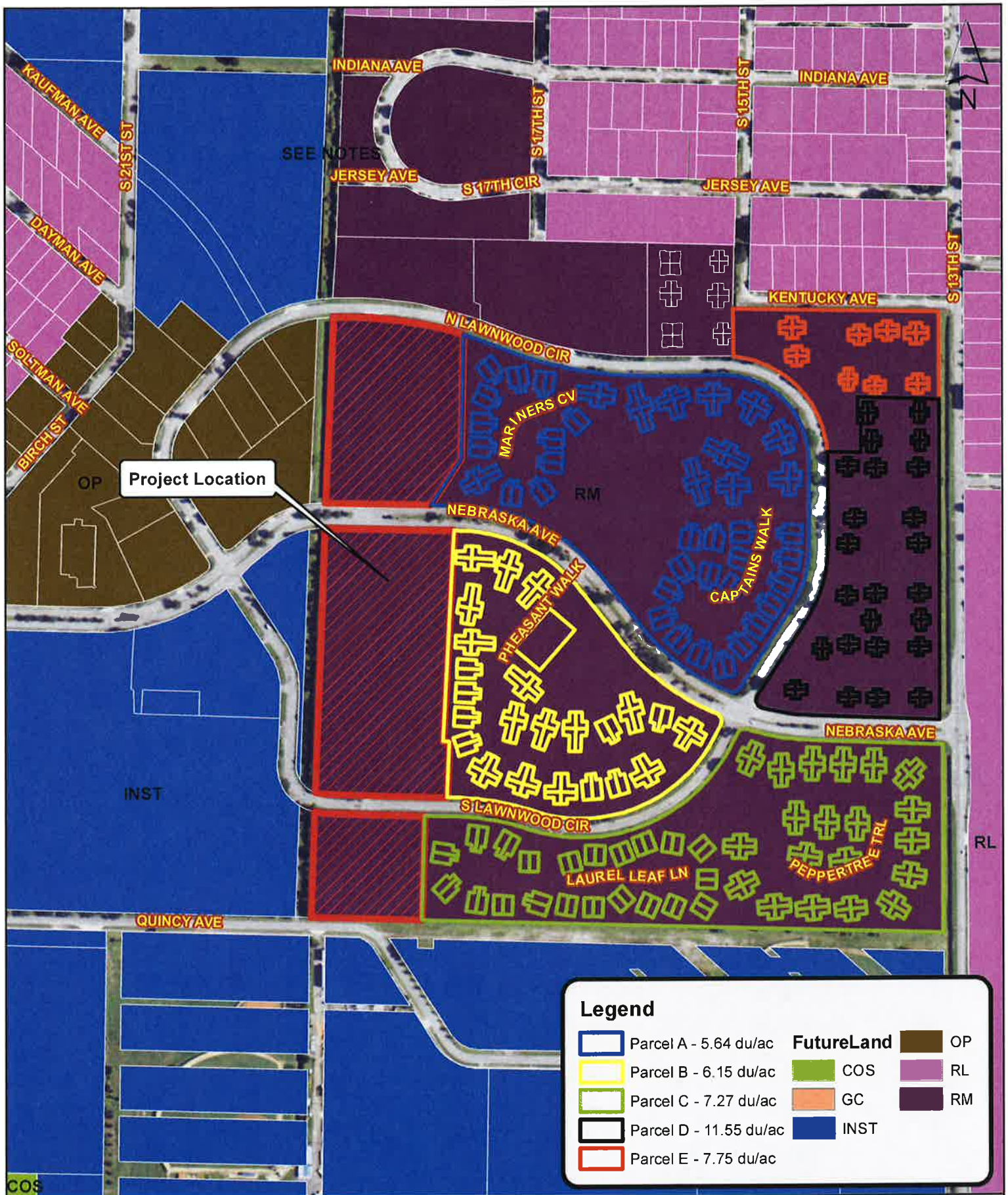
Florida

Scale: 1" = 300'

By: cmp

Job# 38890

Date: 01/13/2016



Legend

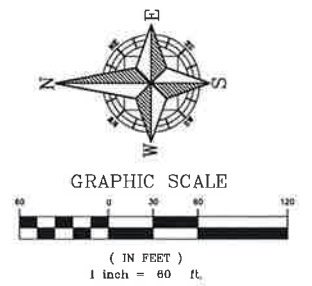
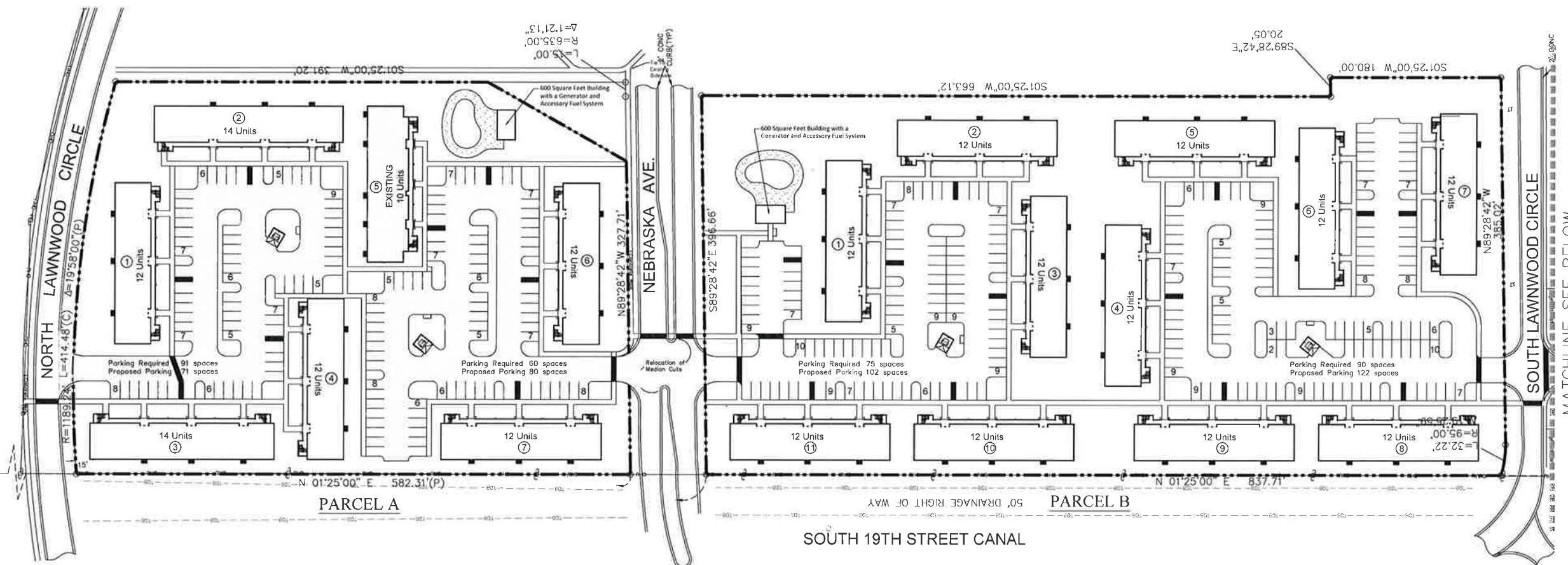
Parcel A - 5.64 du/ac	FutureLand	OP
Parcel B - 6.15 du/ac	COS	RL
Parcel C - 7.27 du/ac	GC	RM
Parcel D - 11.55 du/ac	INST	
Parcel E - 7.75 du/ac		

**Mayfair at Longwood
Neighboring Densities Map**

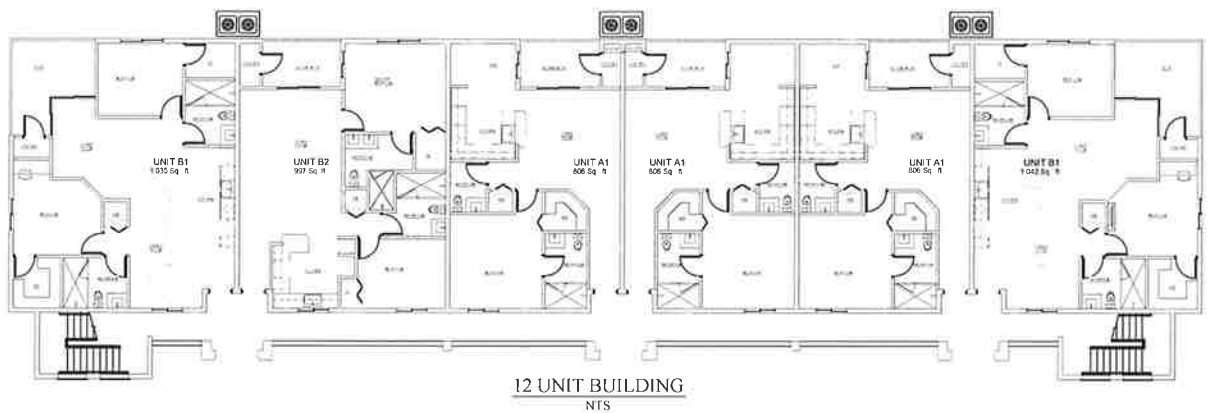
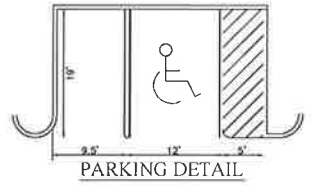
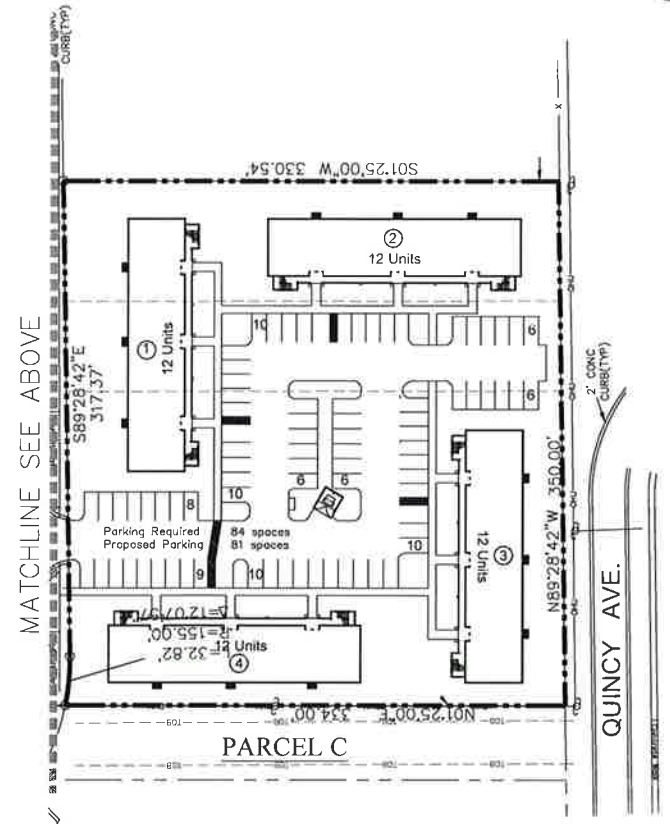


IBI Group (Florida) Inc.
2200 Park Central Boulevard N. Suite 100
Pompano Beach, FL 33064
tel 954 974 2200
fax 954 973 2686

D:\Users\pence\Downloads\38890\5.8 Drawings\59civil\Novoyis\CONCEPTS\MAYFAIR BASE.dwg Modified: 1/14/2016 By: pence Plotted By: christopher_pence



PROJECT TEAM
OWNER
 MAYFAIR at LAWNWOOD REPH LLC
 ATTN: ELIZABETH A. McHUGH
 780 N.W. 42nd AVENUE
 MIAMI, FLORIDA 33126
 PHONE: 305-569-3146
 EMAIL: EMCHUGH@OCEANBANK.COM
CIVIL ENGINEER
 IBI GROUP (FLORIDA) INC.
 ENGINEER: RICHARD C. WOHLFARTH, P.E.
 2300 MATTLAND CENTER PARKWAY
 SUITE 101
 MATTLAND, FL 32751
 PHONE: (407) 660-2120
 FAX: (407) 875-8308
 EMAIL: rwohlth@ibi.com
SURVEYOR
 IBI GROUP (FLORIDA) INC.
 SURVEYOR: WILSON E. WAY, PLS
 2300 MATTLAND CENTER PARKWAY
 SUITE 101
 MATTLAND, FL 32751
 PHONE: (407) 660-2120
 FAX: (407) 875-8308
 EMAIL: wilson.way@ibi.com
ARCHITECT
 IBI GROUP (FLORIDA) INC.
 ARCHITECT: JOE GEROUX
 2300 MATTLAND CENTER PARKWAY
 SUITE 101
 MATTLAND, FL 32751
 PHONE: (407) 660-2120
 FAX: (407) 875-8308
 EMAIL: joegeroux@ibi.com



SITE DATA

PARCEL ID NUMBER:
 PARCEL A 2416-504-0199-000-1 5.35 AC
 PARCEL B 2416-504-0199-050-6 7.75 AC
 PARCEL C 2416-504-0199-200-3 2.69 AC

PARCEL AREA: 15.8 +/- AC (100%)
BUILDING AREA: 3.86 AC (24.33%)
CONCRETE AREA: 0.95 AC (6.01%)
ASPHALT AREA: 4.74 AC (30.0%)
OPEN SPACE AREA: 6.25 AC (39.56%)

EXISTING LAND USE: MULTI-FAMILY
PROPOSED LAND USE: MULTI-FAMILY

EXISTING PARCEL ZONING: PUD
PROPOSED PARCEL ZONING: PUD
ADJACENT EXISTING ZONING: NORTH: R-4
 SOUTH: OS-1
 EAST: PUD
 WEST: C-1

FEMA F.I.R.M. FLOOD ZONE: #1211(C)0187J
 X

BUILDING SETBACKS: **REQUIRED** 15' **PROVIDED** 15'
FRONT:
REAR:
SIDE:

MAXIMUM BUILDING HEIGHT: 35'

PARKING CALCULATIONS:
 REQUIRED: MULTI-FAMILY 1.5 SPACE / 1 D.U. @ 266 D.U. = 399
 PROPOSED: 456 SPACES @ 1.71 SPACES PER UNIT
 ACCESSIBLE PARKING REQUIRED: 9

PROJECT LOCATION MAP



	Parcel A	Parcel B	Parcel C	Total
Gross Area	0	0	0	0
# of Buildings	7	11	4	22
1 BR	40	66	24	130
2 BR	42	66	24	132
3 BR	4			4
	86	132	48	266
#DIV/01	#DIV/01	#DIV/01	#DIV/01	#DIV/01
Required Parking				
1.5 Spaces Per Unit	129	198	72	399
Provided	151	224	81	456
Parking Ratio	1.76	1.70	1.69	1.71

The property has a zoning of PUD and an overall density of 13.86. The underlying Land Use is Medium with a 6.5 to 12 DU/Acre. There is a bonus program for 5 additional units for a total of 17. The site should qualify for the total bonus.

IBI GROUP (FLORIDA) INC.
 ENGINEERS ARCHITECTS
 LANDSCAPE ARCHITECTS
 SURVEYORS
 PLANNERS
 ENVIRONMENTAL CONSULTANTS

MAYFAIR
 City of Fort Pierce, Florida

IBI GROUP
 FLORIDA ENGINEERING
 BUSINESS NO. 2966

SCALE: 1" = 60'
 PROJECT: 38890
 SHEET: CS 1
 DATE: 1/14/16

NOT FOR CONSTRUCTION

PLANNING BOARD MINUTES OF MEETING HELD JANUARY 11, 2005.

Agenda Item #4 – Site Plan/PUD – Mayfair at Lawnwood – Approval of a Preliminary Planned Unit Development (PUD) generally located on Lawnwood Circle. Owner/applicant is Max Ambach & Sons & Co.

Staff Report – Ms. Clark stated – This project takes place on the vacant remaining parcels of what is known as Villages of Longwood. It is a multi-family project...230 units, which equals out to 14 ½ dwelling units per acre. There are 23 buildings, two-story. And staff is recommending approval.

Mrs. Gates stated – Okay, thank you. Are there any questions for staff from the Board members please?

Mr. Johnson stated – I have one question. The item that was here from the Villages of Longwood, was that something provided recently or...? There was a document laying here on the desk. I didn't see it in the packet before.

Mr. Trias stated – That was provided tonight.

Mr. Johnson – Okay.

Mrs. Gates asked – Are there any other questions? If not, is there anyone here to speak on behalf of this request?

Mr. Clayton Yates stood and introduced himself and stated – Yes, ma'am, I'm here on behalf of Mayfair at Lawnwood LLC, which is the partnership that is contemplating buying the property from Mr. Ambach to put this condominium complex together. In trying to get this together, my clients have done everything they can to try to meet with the neighbors. We understand that there was a problem in the past with a proposed development there. We tried to do our homework and see if there are any objections if we could do anything to make those objections go away. We met with Mr. Harold Turner, who is the president of the Villages of Longwood Property Home Owners' Association. He is here tonight. And what I would ask is if the site planner, (Jon Schmidt?) can give you a brief presentation on what is set out to be put there, and I'd ask Mr. Turner if he could confirm that they don't have any objection to this project.

Mrs. Gates stated – Okay, thank you very much.

Mr. Harold Turner stood and introduced himself and stated – I'm the president of the Board of the Villages of Longwood. That's a 292-unit owner-occupied development. As you know, we've appeared before this Board in the past with many concerns. However, tonight we're here in a little different aspect. We've had several meetings with Ariel Homes, and we've also brought it up in one of our Board meetings and it was unanimously approved with the exceptions, which you have up there that are to go through, that we would like to welcome them as a neighbor. Thank you.

PLANNING BOARD MINUTES OF MEETING HELD JANUARY 11, 2005.

Mrs. Gates – Thank you, sir.

Mr. Jon Schmidt stood and introduced himself and stated – I'm the site planner for the project. Just briefly here I'd like to show you an aerial of the property...just a little over 15 acres, really separated by two or three roads...Lawnwood, Nebraska, and, I believe, Quincy. This is the copy of the proposed site plan. As staff mentioned, it's 15 acres, 230 units, two story, 10 units per building. The main access points are off of these roads but the vehicular access does not go all the way through, they're just confined to these pods within the property so you don't get cross access between the roadways; one central community center. And some the things that we've done is provide additional setbacks along our eastern property line to add some separation between the existing neighbors and what we're proposing on the site. Although vehicular access doesn't go completely through the project, pedestrian access does go through the project. So, pedestrian pathways not only link into existing sidewalks, but alsoyou can go from one end of the property to the other, and use the amenities that are available to you. We did do some minor shifting around the buildings to the north and south to save about a little over two dozen existing trees...pines and oaks on the property. So, I think we've done a nice job in preserving as many of those as we can. If anyone has any questions, I'd be happy to answer them.

Mrs. Gates stated – Thank you. Are there any questions for the applicant?

Mr. Knott stated – Just one question I believe this gentleman can answer for me. The previous project that was very controversial...one of the items was the joint use of the master storm water system out there. Have you all been able to nail that down or get something on a piece of paper that says, yes, this piece of property has the right to use the existing pond that's permitted out there?...because I see no retention on site regarding storm water systems.

Mr. Yates stated – What's contemplated and what we've discussed and set forth in writing with the Villages of Longwood HOA, as was originally contemplated by the master PUD is this would drain into Village of Longwood's retention ponds and we've done a letter of intent with them saying that we're going to assume our rightful share of those maintenance costs.

Mr. Knott stated – Okay, because that was one of the points of intention of last time, that there was a lot of hard feelings because there was no piece of paper that said, even though it was designed as a master system, the parcel had no clear title or easement to drain into that. So, I'll assume you now are satisfied you've got that in hand, is that right?

Mr. Yates – Yes.

Mr. Knott – Thank you.

Mrs. Gates asked – Are there any further questions for any of the applicants from the Board?

Mr. Johnson stated – Yes. One question I have for you guys is, on number (2) of Mr. Turner's document to the Planning Board here talks about a vegetation buffer between the two properties. I

PLANNING BOARD MINUTES OF MEETING HELD JANUARY 11, 2005.

noticed on the landscaping plan that it's more of a buffer of trees than it is of vegetation right now. What are you planning for that?

Mr. Schmidt stated – Yes sir. Just to address that at this point in the time that we're going to the Planning, it is just a code minimum landscape. A continuous hedge will be put along that whole property line as well as additional foundation plantings. So, the code minimum plan you're seeing right now is just exactly the way it is, it's just the code minimum. We do see putting a complete hedge along that whole property line.

Mr. Johnson asked – Okay, that's just the eastern mostfront?

Mr. Schmidt – Yes, that's correct.

Mr. Johnson continued – Okay, was there any consideration into a decorative barrier such as a fence of some sort, a wall, or? I'm leaning towards a decorative aluminum fence of some sort...maybe five feet high ...kind of a picket type decorative fence that would be in between the two also.

Mr. Schmidt stated – I can't speak for the neighbors ...I did meet with them a couple of times on a previous project. And we really want to be a part of the community here. I think they went a long way in bringing their community back around in terms of ownership and leasing of properties. And we really didn't want to separate ourselves from them. We're doing everything we can to really integrate the property. So, at this time we hadn't contemplated any type of berming or fencing between the properties.

Mr. Johnson – Thank you.

Mrs. Gates asked – Are there any other questions for the applicant?

Mrs. Brenner stated – I just wanted you to speak of the Quincy Avenue end of the property. It's going to be a dead end as it remains now?

Mr. Schmidt stated – We're not proposing any access out onto Quincy.

Mrs. Brenner – Okay, thank you.

Mr. Schmidt added – Our closest access would be out of south Lawnwood.

Mrs. Brenner – Thank you.

Mrs. Gates asked – Are there any further questions? Thank you very much.

Mr. Schmidt – Thank you.

PLANNING BOARD MINUTES OF MEETING HELD JANUARY 11, 2005.

Mrs. Gates continued – Okay, is there anyone here to speak against this request? Okay, what are the Board's wishes?

MOTION WAS MADE BY MR. KNOTT TO APPROVE THE SITE PLAN/PUD. Seconded by Mrs. Brenner.

Mrs. Gates asked – Is there any further discussion on this issue?

Mr. Johnson asked – Do we need to include in that motion—I'm not sure we can include it at all—but that the developer will meet some of the conditions that the association has put forth ...I don't know if we need to mention any of that or not...

Mr. Enns added – I don't know if they've got a copy of that or not...do you have a copy of that Clay?

Mr. Yates – Yes, we do.

Mr. Knott asked the applicants – And you all agree with all the conditions that are there?

Mr. Poitier added – They agreed with everything they had.

Mrs. Gates asked – I believe, Mr. Walker, am I correct in stating that this Board can recommend the conditions if they want to add them to this...?

Attorney Walker asked – May I see those please?

Applicant gives Attorney Walker a copy of the conditions from the Homeowner's Association of the Villages of Longwood.

Attorney Walker stated after looking over the documents – Yes, ma'am.

Mrs. Gates stated – Okay. Do we need to restate the motion?

Attorney Walker stated – For purposed of clarity it would be my recommendation that the motion set out the Board's recommendation of approval subject to the conditions that are reflected as agreed upon in the correspondence that council has handed us.

Mrs. Gates – Okay.

Motion restated

MOTION WAS MADE TO APPROVE THE SITE PLAN/PUD WITH THE CONDITIONS REFLECTED IN THE CORRESPONDENCE. Seconded by Mrs. Brenner.

PLANNING BOARD MINUTES OF MEETING HELD JANUARY 11, 2005.

Ms. Rose (secretary) asked – Since Mr. Harris has just arrived does he get to participate in the voting of this motion?

Mrs. Gates asked – Mr. Harris just came in?

The secretary reiterates her question.

Attorney Walker stated – Yes, madam chair.

Mrs. Gates stated – Yes, if he feels he understand the issue at hand.

The secretary stated – Okay, and proceeded with the roll call.

Unanimously approved by roll call vote.

Mrs. Gates stated to the applicant – Okay, your request has been approved, and you will receive a notice of the regular City Commission meeting when it will be coming before the commission, and I think you have a good project, and a much-improved project. And I'm glad to see the Villages of Longwood going along with this. So, hopefully you're going to be good neighbors.

Applicants – Thank you very much.

Mrs. Gates – Thank you.

MEMORANDUM

TO: Fort Pierce City Planning Board
THRU: Director of Development RT
FROM: Planning Coordinator JC
SUBJECT: Preliminary Planned Unit Development
DATE: January 3, 2005

Owner: Max Ambach and Sons and Company
21218 St. Andrews Blvd., Suite 414
Boca Raton, FL 33433

Representative: Yates & Mancini, LLC
311 South 2nd Street, Suite 102
Fort Pierce, FL 34950

Requested Action: Approval of a Preliminary
Planned Unit Development (PUD)
known as Mayfair at Lawnwood.

Location: The remaining western parcels of
the Villages of Longwood that have
not been developed.

Existing Zoning: PUD, Planned Unit Development.

Existing Land Use: Undeveloped property.

Comprehensive Plan: The Future Land Use Element of the
Comprehensive Plan designates the
parcel as Rm, Medium Density
Residential and Cg, General
Commercial. The proposed
development is consistent with the
Comprehensive Plan designation.

Public Utilities: Water and sewer services are
available.

Public Services: Sanitation, police and fire
protection services are available.

Analysis:

The request is for the approval of a Preliminary PUD approval known as Mayfair at Lawnwood. Total acreage of the project is 15.8 acres and it is the remaining parcels that were previously part of the Villages of Longwood PUD.

The project is a multi-family development which consists of twenty-three two-story buildings with ten units in each building. One, two and three bedroom units will be offered.

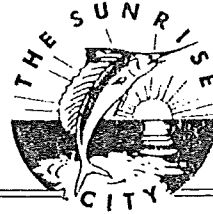
The total number of units is 230 which averages out to 14.5 dwelling units per acre. A cabana and swimming pool will be centrally located within the community to will serve residents.

The Site Plan has been reviewed and conceptually approved by all City Departments.

Recommendation:

Staff recommends approval of the Preliminary Planned Unit Development known as Mayfair at Lawnwood.

CITY OF FORT PIERCE *Florida*



OFFICE OF CITY CLERK
CITY HALL, 100 NORTH U.S. 1
P. O. BOX 1480
FORT PIERCE, FLORIDA 34954-1480
TEL. (772) 460-2200
www.cityoffortpierce.com

February 8, 2005

Max Ambach & Sons & Company
21218 St. Andrews Boulevard, Suite 414
Boca Raton, FL 33433

Dear Property Owner:

At their meeting on February 7, 2005, the City Commission of the City of Fort Pierce, Florida, held a Public Hearing on your Application for Site Plan Review for a Preliminary & Final Planned Unit Development Plan submitted for Mayfair at Lawnwood, consisting of 230 units generally located between North Lawnwood Circle and Quincy Avenue.

After discussion, the City Commission passed a motion to approve the Site Plan for the Preliminary & Final Planned Unit Development, subject to the conditions agreed upon in the letter from The Villages of Longwood Homeowners Association dated February 7, 2005.

A certified copy of the Site Plan is enclosed for your file.

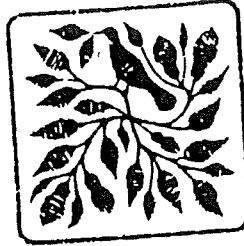
Very truly yours,

Cassandra Steele, CMC
City Clerk

/cs

cc: City Manager
Director of Development
City Engineer
Utilities Authority - Planning & Engineering
Fire Marshal
Yates & Mancini (Representative)

CONDITIONS:



November 22, 2004

The Villages of
Longwood

City Of Fort Pierce
Planning and Zoning Board

Re: Oriole Homes Corporation - Rob Levey

I have had several meetings with the attorney Clay Yates and Rob Levey regarding Oriole Homes.

At these meetings the following was agreed upon by both parties:

1. Oriole Homes agrees to set back Twenty-five (25) feet from the West side of The Villages Of Longwood property line,
2. The Developer Oriole Homes will plant a vegetation buffer between The Village of Longwood and Oriole Homes,
3. The Developer agrees to have Ambach transfer the retention pond permits from Ambach to The Villages of Longwood,
4. The Developer, Oriole Homes, agrees to pay to The Villages of Longwood, a fee annually for the maintenance and use of the retention ponds owned by the Villages of Longwood,
5. The Developer, Oriole Homes, agrees to create a covenant or by-laws governing Oriole Homes to read as follows:
 - A. Owner occupied;
 - B. Owner cannot rent unit until owner has occupied unit for one (1) year.

At the monthly association meeting of The Village Of Longwood the membership
agreed to welcome Oriole Homes as new neighbors.

Respectfully submitted by
The Village Of Longwood Homeowner Association:



Harold Turner

President

MEMORANDUM

TO: Fort Pierce City Planning Board
THRU: Director of Development *RT*
FROM: Planning Coordinator *WC*
SUBJECT: Preliminary Planned Unit Development
DATE: March 9, 2004

Owner: Max Ambach and Sons and Company
21218 St. Andrews Blvd., Suite 414
Boca Raton, FL 33433

Applicant: Mr. Todd Fabbri
580 village Boulevard, Suite 120
West Palm Beach, FL 33409

Representative: Jon Schmidt and Associates, Inc.
333 Southern Boulevard, Suite 200
West Palm Beach, FL 33405

Requested Action: Approval of a Preliminary
Planned Unit Development (PUD)
known as Longwood Gardens.

Location: The remaining west parcels of the
Villages of Longwood that have not
been developed.

Existing Zoning: PUD, Planned Unit Development.

Existing Land Use: Undeveloped property.

Comprehensive Plan: The Future Land Use Element of the
Comprehensive Plan designates the
parcel as Rm, Medium Density
Residential and Cg, General
Commercial. The proposed
development is consistent with the
Comprehensive Plan.

Code Compliance: All site plan approvals are subject
to permit reviews consistent with
the Florida Building Code and
Chapter 17 of the Fort Pierce Code
of Ordinances.

Public Utilities: Water and sewer services are available.

Public Services: Sanitation, police and fire protection services are available.

Analysis:

The request is for the approval of a Preliminary PUD approval known as Longwood Gardens. Total acreage of the project is 15.8 acres and it is the remaining parcels that were previously part of the Villages of Longwood PUD.

The project is a multi-family development which consists of three-story buildings with twenty four (24) units in each building. One, two and three bedroom units will be offered.

The total number of units is 264 and averages 16.7 dwelling units per acre. A clubhouse and pool will be centrally located within the community to serve residents.

The development of the property will be partially financed by the Florida Housing Finance Corporation and will be dedicated to the Affordable Housing Market. The assigned affordability designation will run for the life of the property.

Prospective tenants are required to pass employment verification, financial and credit confirmations and criminal background checks in order to be approved as a prospective occupant.

Recommendation:

Staff recommends approval of the Preliminary Planned Unit Development known as Longwood Gardens.

S.P.
Longwood Commons
08-4-03

City Clerk
08-4-03
~~WITHDRAWN~~

SITE PLAN REPORT

DATE (PLANNING BOARD) July 8, 2003
(COMMISSION MEETING) August 4, 2003

REQUEST Approval of a Preliminary Planned Unit Development (PUD) known as Longwood Commons Apartments.

LOCATION Remaining west parcels of the Villages of Longwood that have not been developed.

LEGAL Tax ID # 2416-504-0199-050-6; 2416-504-0199-000/1 & 2416-504-0199-200/3 (See attached copies of Property Appraiser's Property Record Card.)

PROPERTY SIZE 15.8 acres

OWNER Max Ambach and Sons and Company

APPLICANT Triad Housing Partners, LLC

REPRESENTATIVE David Schultz

-
- ATTACHMENTS:**
1. Memo from Planning Coordinator
 2. Application w/Legal
 3. Location/zoning maps
 4. Site Plan

MEMORANDUM

TO: Fort Pierce City Planning Board
THRU: Director of Development
FROM: Planning Coordinator *WC*
SUBJECT: Preliminary Planned Unit Development
DATE: June 3, 2003

Owner: Max Ambach and Sons and Company
21218 St. Andrews Blvd., Suite 414
Boca Raton, FL 33433

Applicant: Triad Housing Partners, LLC
Mr. David Shultz
One Oakwood Blvd., Suite 195
Hollywood, FL 33020

Requested Action: Approval of a Preliminary
Planned Unit Development (PUD)
known as Longwood Commons
Apartments.

Location: The remaining west parcels of the
Villages of Longwood that have not
been developed.

Existing Zoning: PUD, Planned Unit Development.

Existing Land Use: Undeveloped property.

Comprehensive Plan: The Future Land Use Element of the
Comprehensive Plan designates the
parcel as Rm, Medium Density
Residential and Cg, General
Commercial. The proposed
development is consistent with the
Comprehensive Plan designation.

Special Information:

Public Utilities: Water and sewer services are
available.

Public Services: Sanitation, police and fire
protection services are available.

Analysis:

The request is for the approval of a Preliminary PUD approval known as Longwood Commons Apartments. Total acreage of the project is 15.8 acres and it is the remaining parcels that were previously part of the Villages of Longwood PUD.

The project is a multi-family development which consists of three-story buildings with twenty four (24) units in each building. One, two and three bedroom units will be offered.

The total number of units is 264 which averages out to 16.7 dwelling units per acre. A clubhouse facility will be centrally located within the community to will serve residents.

The Site Plan has been reviewed and conceptually approved by all City Departments.

Recommendation:

Staff recommends approval of the Preliminary Planned Unit Development known as Longwood Commons Apartments.

MINUTES OF THE REGULAR MEETING OF THE FORT PIERCE CITY PLANNING BOARD HELD ON TUESDAY, JULY 8, 2003, IN THE CITY HALL FIRST FLOOR CONFERENCE ROOM, 100 N. U.S. #1, FORT PIERCE, FLORIDA

Agenda Item # 6 - Site Plan - approval of a Preliminary Planned Unit Development (PUD) known as Longwood Commons Apartments. Owner is Max Ambach and Sons and Company.

Staff Report - This is a 15.8 acre parcel that was originally part of the Longwood PUD. The number of units, which is 264 were originally approved with the Longwood PUD. The site plan before you tonight is three story buildings with 24 units in each building and staff is recommending approval.

Mr. Nunn asked when they were approved, were they approved as owner-occupied as condos like most of Longwood Village is or were they approved as rental use?

Ms. Clark said I don't recall.

Ms. Brenner asked Ms. Clark do you remember the date it was approved?

Ms. Clark said we have three huge files on Longwood. I think the beginning started around 1984 and continued through, I believe, 1988.

Ms. Brenner said on the minutes from the last meeting, Mr. Becht raised the question about the right-of-way through the property. Has that been discussed about the 18th Street?

Ms. Clark said that has not been discussed since the last meeting. That South 18th Street is on the tax records as being a public right-of-way. However, this department has not seen any request for vacation or abandonment of that right-of-way.

Ms. Brenner said if I'm not mistaken, if I add up the parcels on the three pieces presented, actually the total is 13.59 which means they are asking for 15.8 and that leaves a shortage of 2.21 in the total acreage. Would that have anything to do with the right-of-way?

Ms. Clark asked are you reading that from the survey because there was language on the survey that excepted out the actual 18th Street right-of-way. So that may have been where the difference falls. Ms. Brenner said I was checking it off the property legals. That adds up to 13.59. Then they are asking for 15.8, so I wondered where the other 2.21 acres were.

Ms. Clark said I can't answer that. We went by the acreage from the application and under no circumstances we would use the Property Appraiser's listing for this.

Ms. Brenner said you are saying the 15.8 is on their proof survey?

Ms. Clark said yes from the applicant survey.

Ms. Brenner said I also had a question. According to the minutes, they are requesting funding from an affordable housing program of this State. Is that correct?

Ms. Clark said the applicant has not formally filed any paperwork with City staff as of yet. They have stated just in conversation that yes they would be applying for special finance.

Mr. Bergman said that survey does indicate that the right-of-way for 18th Street is included in that acreage. It's in the 15.8.

Ms. Brenner said but to our knowledge it is not abandoned? Ms. Clark said correct.

Mr. David Schultz said I am representing the applicant and developer of the plans developing on these Longwood Commons. To address the first issue, which is the question of the right-of-way. The right-of-way was abandoned. I believe the date was in 1987 or 1988 as part of the settlement agreement with the City. It's part of the volumes of paper that you have. I could direct staff to where exactly that was. I understand it's a question because of the tax rolls. But I wouldn't be here standing with the 15.8 acre survey if I didn't have the document signed by the City and title work proven that it's been vacated. That sort of addresses the acreage issue. One note is that our development is, although a few units less, it is not being built into the maximum density. The zoning and part of the PUD has not restricted this particular property to owner-occupied units. It is rental units and that was another question that was brought up. Development plans is three story building fashion. Our company builds entirely out of concrete block construction. We don't use any wood frame construction in our development. The design of the development puts the buildings on the interior and provides very generous courtyards for the families to interact. We put several tot lots around the development and nice landscaping. We also have pathways that take the pedestrians off the main streets and keep them inside the complex. We know we are going to be providing quality housing product on a parcel which has its zoning. We are happy to do it. We have been looking in Fort Pierce for quite awhile and we are very pleased to find this parcel by the hospital. This suited our development criteria. The project is a \$25 million project that you will be adding to the tax base of the City. I realize there are some questions that have been raised by the Board with regard to the vacation of the right-of-way. I understand the concern, but I'm not as concerned because I saw that too and I addressed it, so I understand it. And I'm happy, as I said, to direct staff exactly where in their piles of paperwork on this project that those vacation documents are.

Mr. Nunn asked are you going to be a low income housing development?

Mr. David Reich said one of the options we are pursuing with financing is called Tax Exempt Bond Finance. That carries a below market rate interest. Also we will be raising \$13 million worth of private equity investment. Between those two sources we'll be funding \$25 to \$26 million. We are building tax exempt bond finance housing. It is a program with which Florida Housing Finance Corporation administers tax exempt bond. It is not a Section 8 project, it is not a Section 8 development. It is what they call Florida Housing Finance Corporation Tax Exempt Bonds. The Federal tax bonds that are issued by the State of Florida.

Mr. Nunn said so you said you are building a \$25 million development. The taxation on that will be

on the true development value, not based on, because I know that's low income housing. If you get money for low income housing, that's not how the property tax is based. It's based on the income of the resident.

Mr. Reich said we pay full market values, appraised market value of our land taxes.

Mr. Bergman asked what's your target income for your attendants?

Mr. Reich said we would expect that the income generated by the residents in the rental community here will probably be in the mid to high 30's.

Mr. Bergman said so that's the expected income of your tenants?

Mr. Reich said that's the expected income of the population that will be renters.

Mr. Knott said I have a couple of quick questions. I see you have one, two and three bedroom units. What's the full area?

Mr. Schultz said roughly about 775 square feet on the one bedroom, 1065 on the two bedroom and 1280 on the three bedroom unit. They are two bedroom, two bath units; three bedroom, two bath units and one bedroom, one bath unit. They will have washers and dryers in the units.

Mr. Knott asked what would you be renting them for?

Mr. Schultz said we would estimate 65 cents to 75 cents a foot. A three bedroom would come out to roughly \$850. That's a little on the high end. That's a price which has cable television included.

Mr. Knott asked what is your construction schedule?

Mr. Schultz said we do not build in phases. We build the entire project at once. Generally a project like this takes us about 15 months for completion, at the long end. We own our own construction company. We do our own project management. We do our own management of our development once it's completed. We do not hire third parties to manage our construction. We don't hire third parties to manage our units. We own every unit we've ever built and continue. We have over 2000 units that we own. We have projects in Stuart, projects in Sebastian, projects in Tampa, projects in Broward County, projects in Dade County and we are continuing our development. We are a young group of people that intend to manage every product that we build and do it with pride. We stay involved in our project.

Mr. Reich said with the home ownership one of the things that we offer all of our residents, anywhere we develop, is a 5% of the rent we get back to them to go and buy a home, when they leave us, assuming they are in good standing. Obviously if they were not paying their rent, we wouldn't do that. But if they are in good standing after they have been with us for two years, we accept advice to move out. We credit them 5% of the rent to buy a home.

Mr. Schultz said it is not a mandatory program by anyone. This is a try-it housing project. It's a force savings plan, 5% of the rent gets cut to go to the house they buy. That is something we do as the company.

Mr. Reich said one of the other things specifically about the financing, by nature of the tax exempt bond finance, we are long term owners. We are not here to be a merchant builder, to build them, as my partner, David, has explained by nature of us also doing the management, we have on site management and we are not managing from a distance. We'll have full time employees and development of this size will probably command six full time employees, between maintenance, landscape and actual on site management.

Mr. Knott asked how come you could not make it last month.

Mr. Schultz said I take full responsibility for not having been here. I missed the notification.

Mr. Nunn asked what are your projected rents for one, two and three?

Mr. Schultz said our projected rents are between 65 cents and 75 cents a foot. I will calculate each unit and tell you after it's calculated.

Mr. Nunn asked do you do any under occupied type building also?

Mr. Reich said yes, we've done some townhouse owner-occupied for sale.

Mr. Nunn asked the project in Stuart, is it the same basically as this or is it an occupied?

Mr. Reich said we have two projects there. One is owner occupied townhomes. One is one and two bedroom apartment houses. They happen to be adjacent to one another.

Mr. Nunn asked why did you decide to do rental here or not do a combination since, I believe most of Longwood Village what's developed there now is owner-occupied townhouses and condos?

Mr. Schultz said we found that developments with the quality of our building construction and the type of roofing systems and the types of finishes that we do, we are unsuccessful to make the development under the number of 160 to 180 units financially feasible. That's in Dade and Broward County where our smallest developments are. In order to make this deal financially feasible, you need to add units. The numbers don't pencil at a combination of sale. Number one you have two different sets of documents, you have twice a week fees, you have twice a month costs.

Mr. Nunn said so the reason not to do the whole thing as an inner occupied is the same reason the numbers don't work for you here. You just get more units out of it this way, is that the bottom line?

Mr. Reich said certainly you get more density out of building an apartment building than you would a townhouse development. What we did was we identified this from the beginning as a multi-family site. That's the way we've always pursued it. I believe it was originally zoned for more units and

we came back and said we think we've pushing at 264.

Mr. Schultz said the rental on the one bedroom is \$600; the two bedroom roughly \$763 and \$880 on the three bedroom.

Ms. Brenner asked could you please tell us the name of your place in Sebastian?

Mr. Schultz said Pelican Isles. A project that we are going to start construction in three months. We purchased 32 acres there across from City Hall. We came into the City with a proposal and we offered to..they originally had a street...there's a street that the City has a grant. They received a \$800,000 Federal Grant to improve Louisiana Avenue. Our project bordered that street and we were planning 150 apartment homes and 25 townhomes there. The City had a concern that we were going to be pruning this new street that they were fixing with Federal Funds. What we agreed to do was build roughly about a half mile of new roadway of right-of-way that the City owned. It's a new road that we're building for the City Hall power line road. They own the right-of-way for it and wanted it built and we agreed to build it. Not as a requirement of anything, but because we wanted it to service our community. We thought it was a better access and we've gone through five different Commission meetings asking questions.

Ms. Brenner what are the ones in Stuart?

Mr. Schultz said Stuart Oaks and Catalina Club. Stuart Oaks is the rental one.

Ms. Brenner asked if you multiply out all these units that you've got in here, how many people are we talking about living in here if its fully rented out?

Mr. Schultz and Mr. Reich said it would be roughly 528.

Ms. Brenner asked is there going to be covered parking or is it all going to be exposed parking?

Mr. Schultz said right now we haven't designed covered parking. We haven't designed that. If that was a necessity amended by the Planning Board or City Commission, we would certainly look into that. We've the long term owners. Anything that enhances our property and keeps everyone happy, we are willing to do.

Ms. Brenner said reduce the density?

Mr. Schultz said we have reduced the density a little bit to design what we believe to be a very, very well design, very urban feeling development here. We've taken your eyes on the streets design, we've taken private corridors for the residents, we've taken neighborly and friendly and pedestrian friendly designs here. We taken just about every new urbanism concept that you could design on the site. This site happens to work very well for that. If you start cutting down some units, you are going to take away from defensible spaces, you are going to take away from pedestrian straight walk ways. You are taking away from the feeling of the design. I understand your question. That's one issue. The second issue is financing. You start to run into an issue of, you have fewer units to stretch

your cost. If I could charge \$1,200 for a 1200 square foot unit, I'd be more than happy to cut density down. This is a way that we can put \$25 million tax base on. The records with putting a project that raises \$13 million of private equity coming into site plan made sense.

Ms. Jean Cornelisse said I am not against growth in Fort Pierce. I work at Lawnwood and the only thing that concerns me is that it's difficult right now to get out of 25th Street when you are coming through that development area and you are trying to go onto 25th. I think we could probably look at having to put a light here sometime. The other thing is, even if figured that two people have a car, you are looking at that many more cars in that general area. I can understand this sounds like a fabulous program and I am not opposing it, but I just am bringing that as an issue that needs to be thought of.

Mr. Nunn asked, Wendy is that a point at which you require a traffic impact study because this certainly looks like a development that should have a traffic impact study?

Ms. Clark said that is at the discretion of the Director of Development and it has always been my understanding that at the time the Hospital, as well as the Villages of Longwood and the Pines, were being developed that those roadways were designed and proved in order to support the proposed traffic for all of those developments.

Mr. Bergman said that was when they were probably designed as quad perplexes, not three story multi-family.

Ms. Clark said keep in mind that the number of units has not changed. Originally this 15 acres was part of the Villages of Longwood PUD. For whatever reason, that 15 acres was never developed, so this developer is coming in with the same number that was previously proposed in the 80's - the 264. Originally back in the 80's it was planned for, it was never built. So now these developers are coming in with the same number of units.

Mr. Knott said Wendy this is a preliminary and will be coming back? But the elevations they have submitted, is staff content?

Ms. Clark said yes.

Mr. Knott said I couldn't see an elevator. Is it required for a three story?

Mr. Enns said I don't think you have too as long as your handicapped is downstairs.

Mr. Knott said the final thing is traffic. I agree with what Wendy is saying that the original project was approved at a certain density. But that was a lifetime ago and driving styles and patterns have changed, I think in the last 15 to 20 years since that was approved. I would be willing to make a motion to approve it subject to a traffic study being done.

MOTION WAS MADE BY MR. KNOTT TO APPROVE THE PRELIMINARY PLANNED UNIT DEVELOPMENT (PUD) WITH THE CONDITION THAT THE STAFF REQUIRE

A TRAFFIC STUDY FOR THE INTERSECTIONS. Seconded by Ms. Benton. Unanimously approved by roll call vote.

