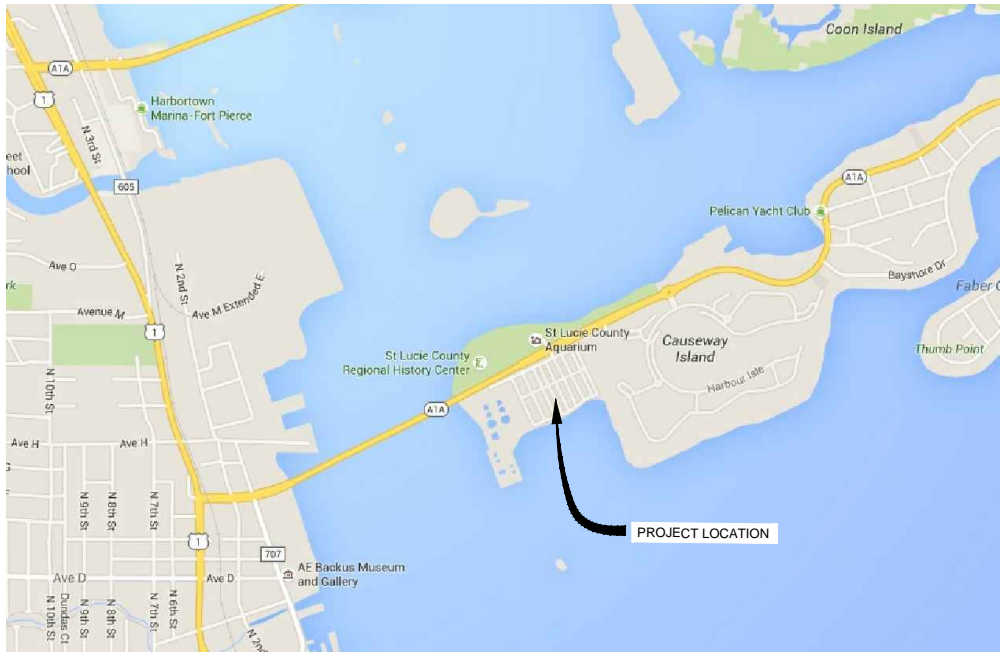


CONSTRUCTION PLANS FOR CAUSEWAY COVE DOCKMASTER'S QUARTERS ST. LUCIE COUNTY, FL.



VICINITY MAP
NTS

**CAUSEWAY COVE
CITY OF FT. PIERCE, FL
601 SEAWAY COVE**

SHEET INDEX

<u>SHEET NO.</u>	<u>SHEET TITLE/DESCRIPTION</u>
G-1	COVER
SP-1	SITE PLAN
SP-2	SITE PLAN
SP-3	SITE PLAN
C-1	CIVIL ENGINEERING PLAN
C-2	CIVIL ENGINEERING PLAN
D-1	DETAILS
L1.01	LANDSCAPE PLAN
L1.02	LANDSCAPE PLAN
L1.03	LANDSCAPE NOTES
L1.04	LANDSCAPE DETAILS

OCTOBER 2015
REVISED DECEMBER 2015

SITE PLAN DATA TABLE

ZONING = C-5 TOURIST COMMERCIAL
 EXISTING LAND USE = VACANT LAND
 TOTAL SITE AREA OWNED = 42.82 AC.
 PHASE I AREA=21.26 AC
 EXISTING IMPERVIOUS AREA= 6.02 AC
 EXIST. PERVIOUS AREA = 15.24 AC.
 BUILDING AREA = 0.009 AC. = 2,127 S.F.
 PROP. IMPERVIOUS AREA = 0.44 AC.
 TOTAL IMPERVIOUS AREA PROPOSED=6.46 AC
 TOTAL PERVIOUS AREA PROPOSED=14.80 AC.
 OPEN SPACE REQUIRED (20%) =4.25 AC
 OPEN SPACE PROVIDED=14.80 AC

CITY OF FORT PIERCE ZONING REQUIREMENTS

	REQUIRED	PROPOSED
SIGN SETBACK	5'	10'
DOCKMASTER'S QUARTERS		
FRONT SETBACK	25'	683'
SIDE SETBACK	25'	321'
REAR SETBACK	0'	1,027'
LAUNDARY FACILITY		
FRONT SETBACK	25'	683'
SIDE SETBACK	25'	242'
REAR SETBACK	0'	1,027'

PARKING TABULATION

1 PER 200 SF @ 2,127 SF= 11 SPACES
 1 SPACE PER 2 BOAT SLIPS @ 47 SLIPS= 24 SPACES
 INTERNAL CAPTURE OF 25 % BETWEEN USES (-) 3 SPACES
 TOTAL SPACES REQUIRED 32 SPACES
 REQUIRED HANDICAP SPACES 2 SPACES
 TOTAL PROVIDED PARKING SPACES 32 SPACES
 PROVIDED PARKING INCLUDES 2 HANDICAP SPACES, 16 TOTAL IMPROVED SPACES AND 16 UNIMPROVED PARKING SPACES

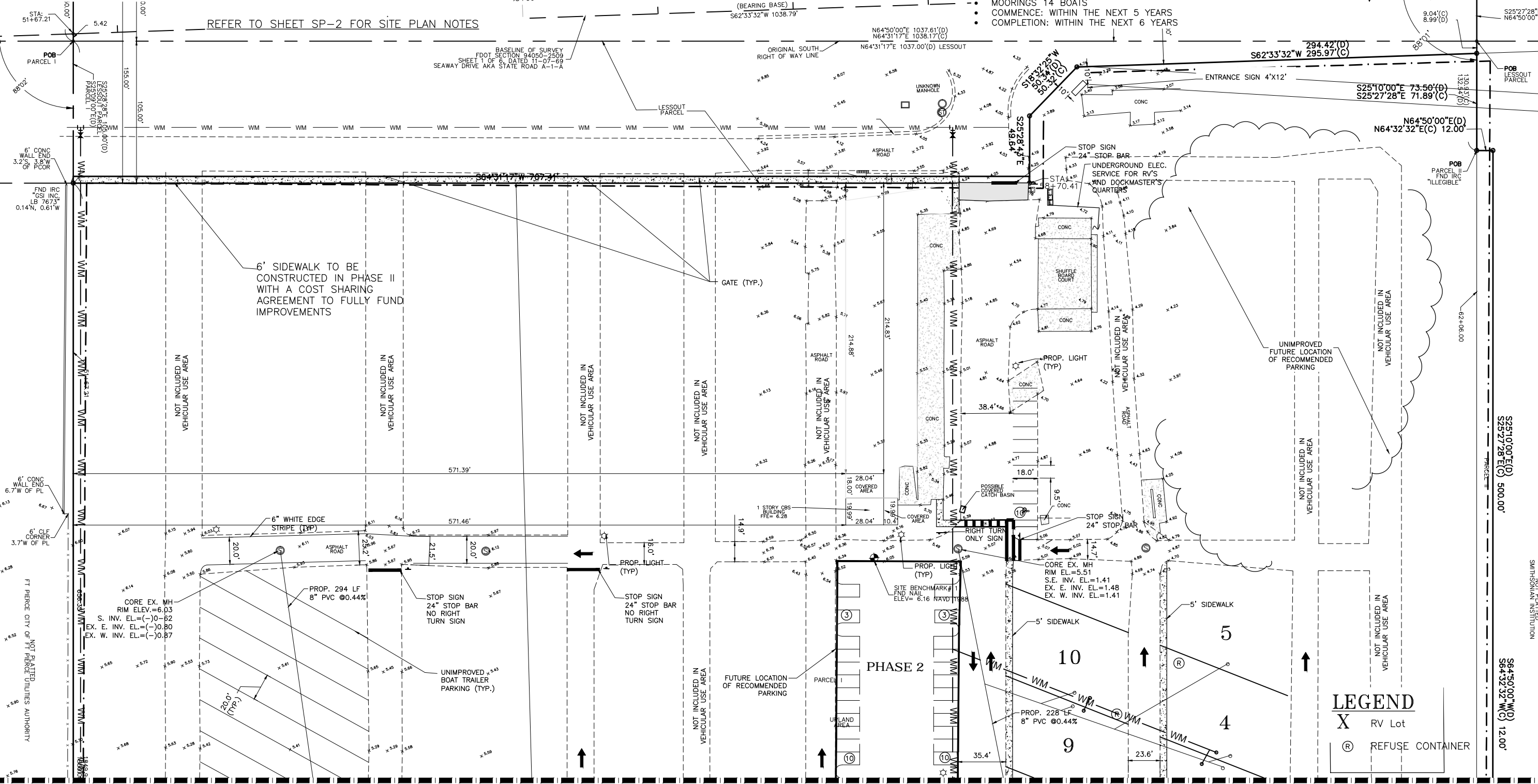
PHASE II
 1 SPACE PER 2 BOAT SLIPS @ 151 SLIPS= 76 SPACES
 PROVIDED PHASE II PARKING 76 SPACES

PHASE 1:

- PHASE I AREA=21.26 AC.
- STORAGE BUILDING 560 SF (REUSE OF EXISTING)
- DOCK MASTER'S QUARTERS AND SHIP STORE 1,296 SF
- BATHROOM AND LAUNDRY FACILITY 831 SF
- BOAT RAMP
- DOCKS INCLUDING 47 BOAT SLIPS
- RV PARKING 10 SPACES
- COMMENCE: FEBRUARY, 2016
- COMPLETION: JULY, 2016

PHASE 2:

- PHASE II AREA=21.56 AC.
- DOCK INCLUDING 151 ADDITIONAL BOAT SLIPS
- MOORINGS 14 BOATS
- COMMENCE: WITHIN THE NEXT 5 YEARS
- COMPLETION: WITHIN THE NEXT 6 YEARS



Drawing Name: C:\Users\GEP_2\Desktop\GEP_2\Design\GEP_2\10\GEP_projects\Causeway Cove\Site Plans\Design\Layout Name: 1 - Plotted by: GEP_2 - Date: 1/22/2016 - 8:14 PM - Holtz Consulting Engineers

DATE	BY	REVISIONS
2016-1-6	LDG	PER CITY COMMENTS
2015-12-14	LDG	CITY COMMENTS RESUBMITTAL

Date: 09-29-2015
 Scale: 1"=30'
 Design By: LG
 Drawn By: RCF
 Check By: LG

CAUSEWAY COVE
 FT. PIERCE, FL
 601 SEAWAY DRIVE

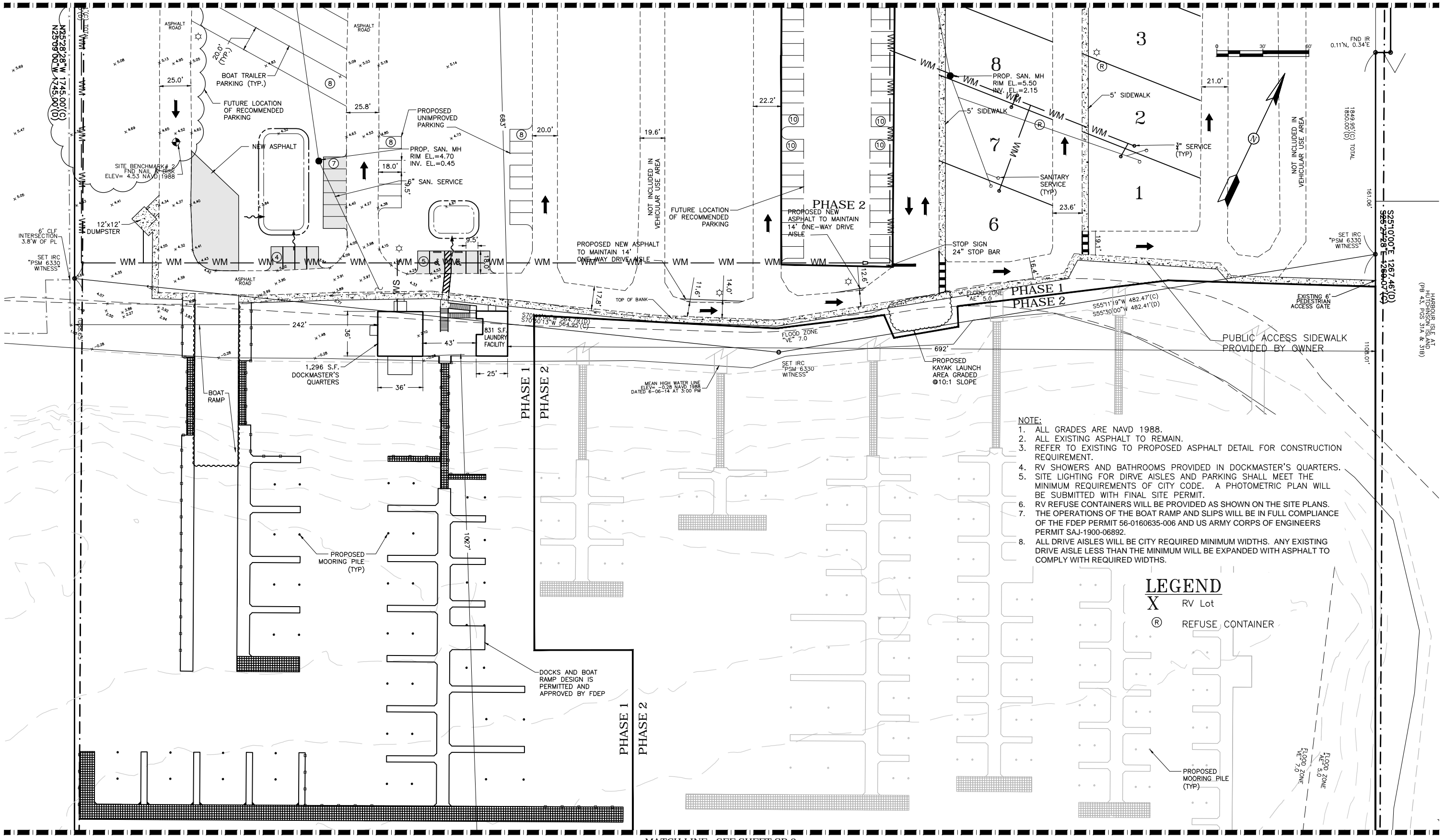
SITE PLAN

GIANGRANDE ENGINEERING AND PLANNING
 73 SW FLAGLER AVENUE
 STUART, FLORIDA 34994
 PH. (703) 999-8972
 Cert. No. 30901

LEO GIANGRANDE, PE
 License No: 66387

SP-1

MATCH LINE - SEE SHEET SP-1



NOTE:

1. ALL GRADES ARE NAVD 1988.
2. ALL EXISTING ASPHALT TO REMAIN.
3. REFER TO EXISTING TO PROPOSED ASPHALT DETAIL FOR CONSTRUCTION REQUIREMENT.
4. RV SHOWERS AND BATHROOMS PROVIDED IN DOCKMASTER'S QUARTERS.
5. SITE LIGHTING FOR DRIVE AISLES AND PARKING SHALL MEET THE MINIMUM REQUIREMENTS OF CITY CODE. A PHOTOMETRIC PLAN WILL BE SUBMITTED WITH FINAL SITE PERMIT.
6. RV REFUSE CONTAINERS WILL BE PROVIDED AS SHOWN ON THE SITE PLANS.
7. THE OPERATIONS OF THE BOAT RAMP AND SLIPS WILL BE IN FULL COMPLIANCE OF THE FDEP PERMIT 56-0160635-006 AND US ARMY CORPS OF ENGINEERS PERMIT SAJ-1900-06892.
8. ALL DRIVE AISLES WILL BE CITY REQUIRED MINIMUM WIDTHS. ANY EXISTING DRIVE AISLE LESS THAN THE MINIMUM WILL BE EXPANDED WITH ASPHALT TO COMPLY WITH REQUIRED WIDTHS.

LEGEND

- X RV Lot
- Ⓡ REFUSE CONTAINER

MATCH LINE - SEE SHEET SP-3


Drawing Name: C:\Users\GEP_2\Desktop\GEP_2015-5-10\GEP_projects\Causeway Cove\Design\2015-12-13\Causeway Cove\Site Planning\Layout Home: 2 - Plotted by: GEP_2 - Date: 1/22/2016 - 8:14 PM - Holt Consulting Engineers

DATE	BY	REVISIONS
2016-1-6	LDG	PER CITY COMMENTS
2015-12-14	LDG	CITY COMMENTS RESUBMITAL

Date: 09-29-2015
 Scale: 1"=30'
 Design By: LG
 Drawn By: RCF
 Check By: LG

CAUSEWAY COVE
 FT. PIERCE, FL
 601 SEAWAY DRIVE

SITE PLAN

GIANGRANDE ENGINEERING AND PLANNING
 73 SW FLAGLER AVENUE
 STUART, FLORIDA 34994
 PH. (703) 999-8972
 Cert. No. 30901

LEO GIANGRANDE, PE
 License No: 66387

SP-2

MATCH LINE - SEE SHEET SP-2

PHASE 2

N25°28'28"W 1745.00'(C)
N25°09'00"W 1745.00'(D)

0 30 60

S25°10'00"E 1267.46'(C)
S25°27'28"E 1269.07'(C)

INDIAN RIVER

SUBMERGED LANDS AREA

MEAN HIGH WATER LINE
ELEV = -0.28 NAVD, 1988
DATED 6-06-14 AT 3:00 PM

SET IRC
"PSM 6330
WITNESS"

14 MOORING FIELDS PROPOSED

FLOOD ZONE
AK-5.0
1/2-7.0

S64°31'17"W 1037.63'(C)
S64°50'00"W 1038.16'(D)


Drawing Name: C:\Users\GEP_2\Desktop\GEP_2015-5-10\GEP_projects\Causeway Cove\Design\2015-12-13\Causeway Cove\Site Planning\Layout Home: 3 - Plotted by: GEP_2 - Date: 1/2/2016 - 6:15 PM - Holtz Consulting Engineers

DATE	BY	REVISIONS

Date: ---
 Scale: ####
 Design By: LG
 Drawn By: RCF
 Check By: LG

CAUSEWAY COVE
 FT. PIERCE, FL
 601 SEAWAY DRIVE

SITE PLAN

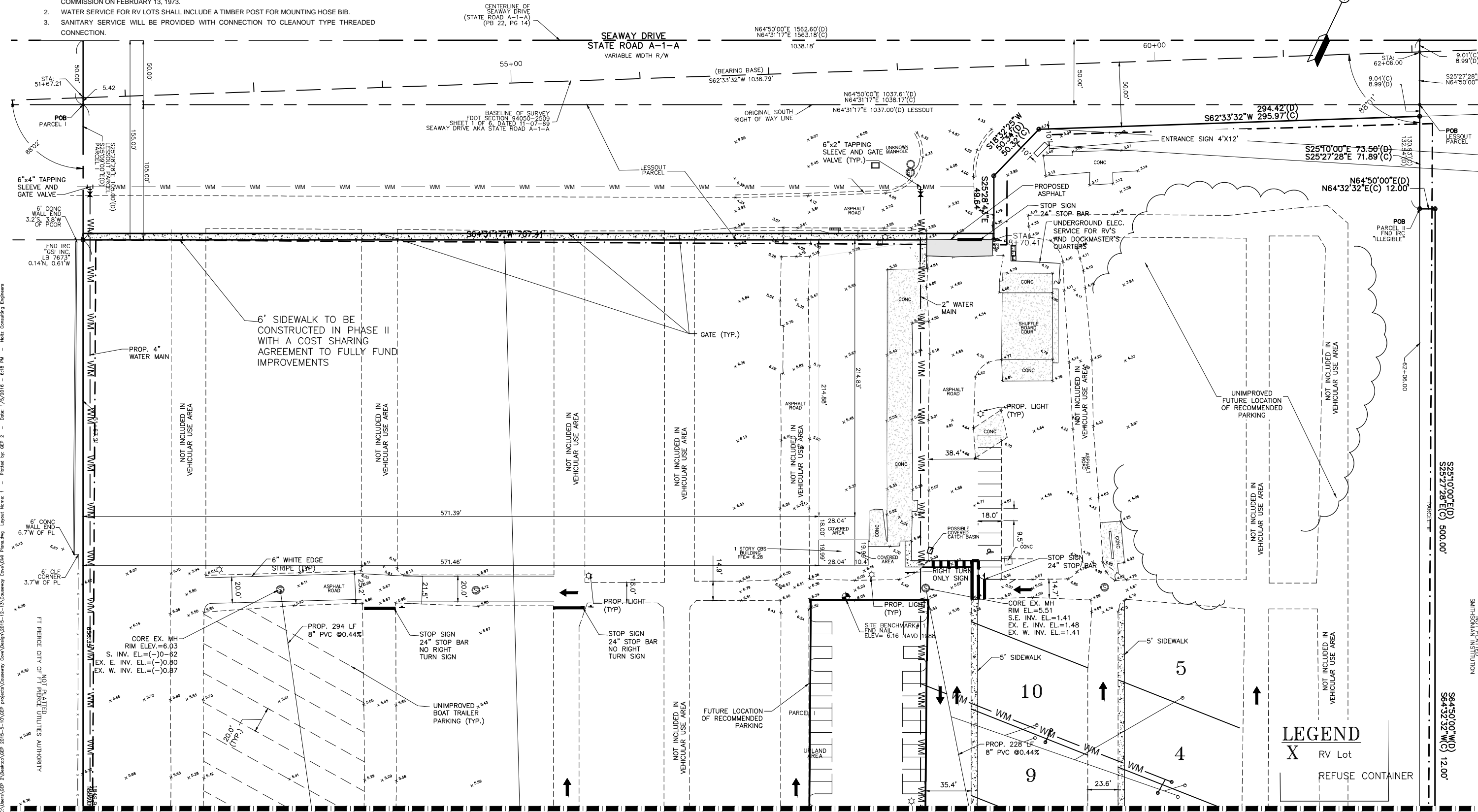
GIANGRANDE ENGINEERING AND PLANNING
 73 SW FLAGLER AVENUE
 STUART, FLORIDA 34994
 PH. (703) 999-8972
 Cert. No. 30901

LEO GIANGRANDE, PE
 License No: 66387

SP-3

NOTE:

- ALL STORM DRAINAGE FACILITIES SHALL CONFORM TO CHAPTERS 17 AND 18 OF THE FT. PIERCE CODE OF ORDINANCES AND THE "STANDARD SPECIFICATIONS" ADOPTED BY THE CITY COMMISSION ON FEBRUARY 13, 1973.
- WATER SERVICE FOR RV LOTS SHALL INCLUDE A TIMBER POST FOR MOUNTING HOSE BIB.
- SANITARY SERVICE WILL BE PROVIDED WITH CONNECTION TO CLEANOUT TYPE THREADED CONNECTION.



Drawing Name: C:\Users\GEP_2\Desktop\GEP_2\Design\GEP_2\10\GEP_projects\Causeway Cove\Design\GEP_2\10\GEP_projects\Causeway Cove\Drawings\Layout Name: 1 - Plotted by: GEP_2 - Date: 7/2/2016 - 6:18 PM - Holt Consulting Engineers

DATE	BY	REVISIONS
2016-1-6	LDG	PER CITY COMMENTS
2015-12-14	LDG	CITY COMMENTS RESUBMITTAL

Date: 09-29-2015
 Scale: 1"=30'
 Design By: LG
 Drawn By: RCF
 Check By: LG

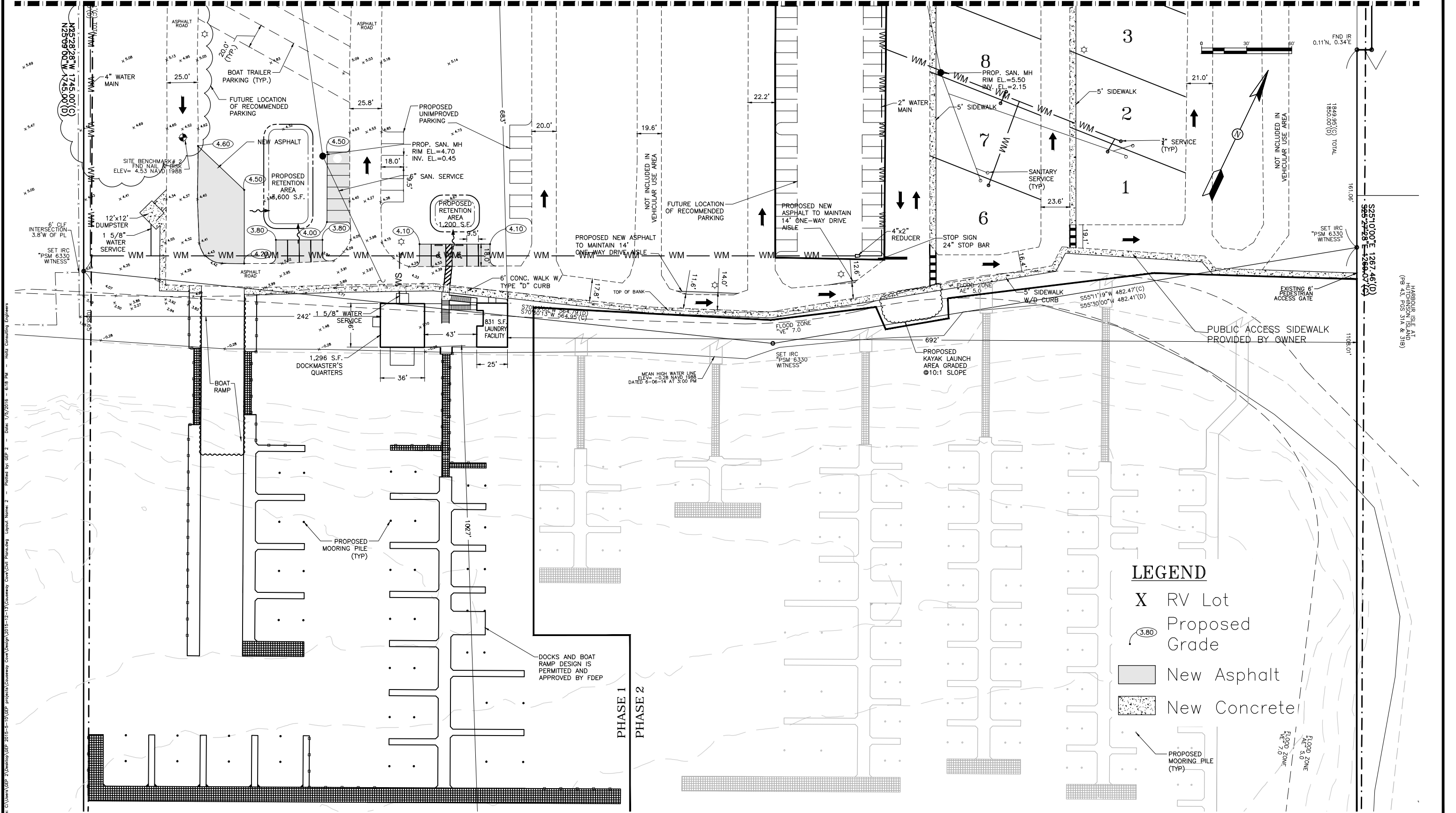
CAUSEWAY COVE
 FT. PIERCE, FL
 601 SEAWAY DRIVE

CIVIL ENGINEERING PLANS

GIANGRANDE ENGINEERING AND PLANNING
 LEONARD GIANGRANDE, PE
 73 SW FLAGLER AVENUE
 STUART, FLORIDA 34994
 PH. (703) 999-8972
 Cert. No. 30901

License No: 66387

MATCH LINE - SEE SHEET C-1



LEGEND

- X RV Lot
- (3.80) Proposed Grade
- [Solid Grey Box] New Asphalt
- [Stippled Box] New Concrete
- PROPOSED MOORING PILE (TYP)

DATE	BY	REVISIONS
2016-1-6	LDG	PER CITY COMMENTS
2015-12-14	LDG	CITY COMMENTS RESUBMITTAL

Date: 09-29-2015
 Scale: 1"=30'
 Design By: LG
 Drawn By: RCF
 Check By: LG

CAUSEWAY COVE
 FT. PIERCE, FL
 601 SEAWAY DRIVE

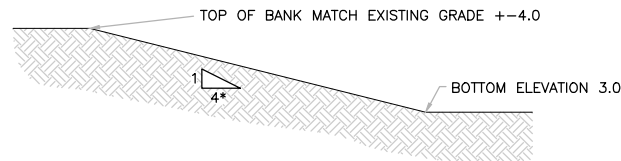
CIVIL ENGINEERING PLANS

GIANGRANDE ENGINEERING AND PLANNING
 73 SW FLAGLER AVENUE
 STUART, FLORIDA 34994
 PH. (703) 999-8972
 Cert. No. 30901

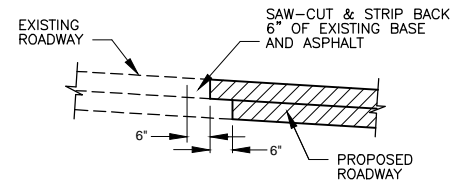
LEO GIANGRANDE, PE
 License No: 66387

C-2

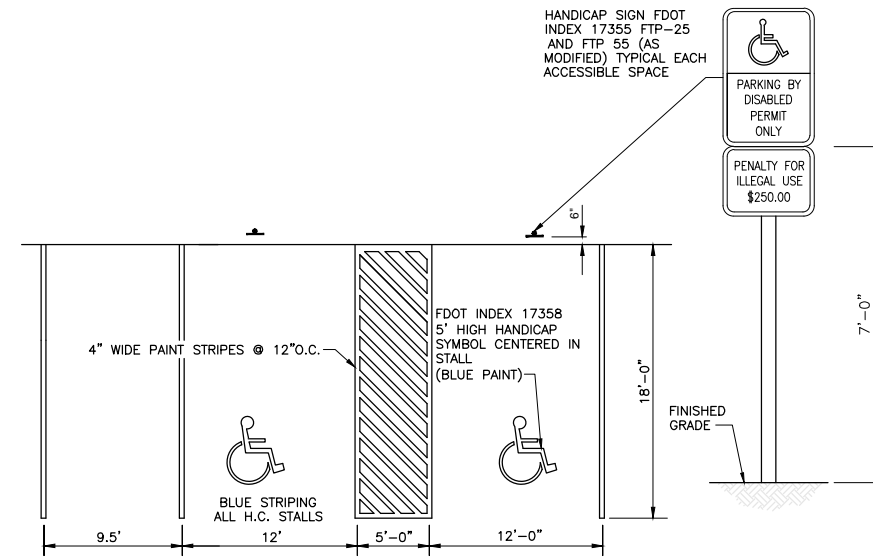
Drawing Name: C:\Users\GEP_2\Desktop\GEP_2\Projects\Causeway Cove\Design\2015-12-13\Causeway Cove\Detailing Layout Name: D-1 - Revised by: GEP_2 - Date: 1/27/2016 - 8:24 PM - Hertz Consulting Engineers



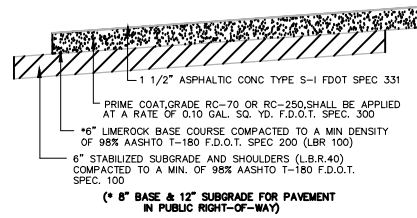
TYPICAL RETENTION AREA SECTION
N.T.S.



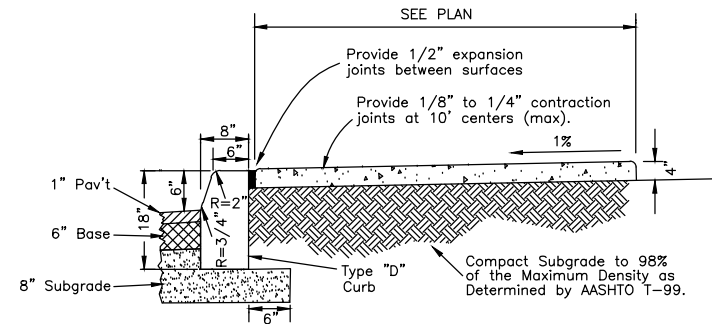
ASPHALT TIE-IN DETAIL
N.T.S.



HANDICAP PARKING DETAIL
N.T.S.



ON-SITE PAVEMENT SECTION
N.T.S.



NOTES:

1. Use 3,000 P.S.I. concrete at 28 days for construction.
2. Subgrade to extend an additional 6" beyond Type "D" Curb.

TYPE "D" CURB & SIDEWALK COMBINATION

DATE	BY	REVISIONS

Date: _____
 Scale: #####
 Design By: LG
 Drawn By: RCF
 Check By: LG

CAUSEWAY COVE
 FT. PIERCE, FL
 601 SEAWAY DRIVE

DETAILS

GIANGRANDE ENGINEERING AND PLANNING
 73 SW FLAGLER AVENUE
 STUART, FLORIDA 34994
 PH. (703) 999-8972
 Cert. No. 30901

LEO GIANGRANDE, PE
 License No: 66387

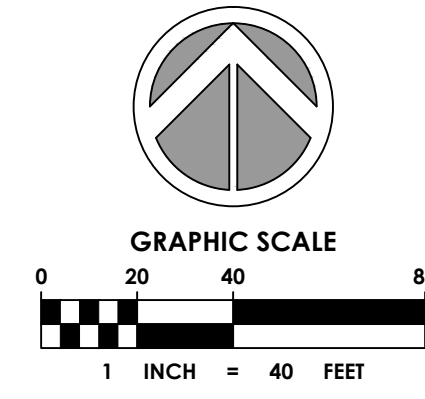
D-1

EXISTING TREE NOTES

LOCATION OF EXISTING TREES AND PALMS MAY VARY FROM ACTUAL SITE CONDITIONS. EXISTING TREES AND PALMS LOCATED FROM 2012 LABINS AERIAL PHOTOGRAPHY AND 2015 GOOGLE EARTH AERIAL IMAGERY.

NOTES

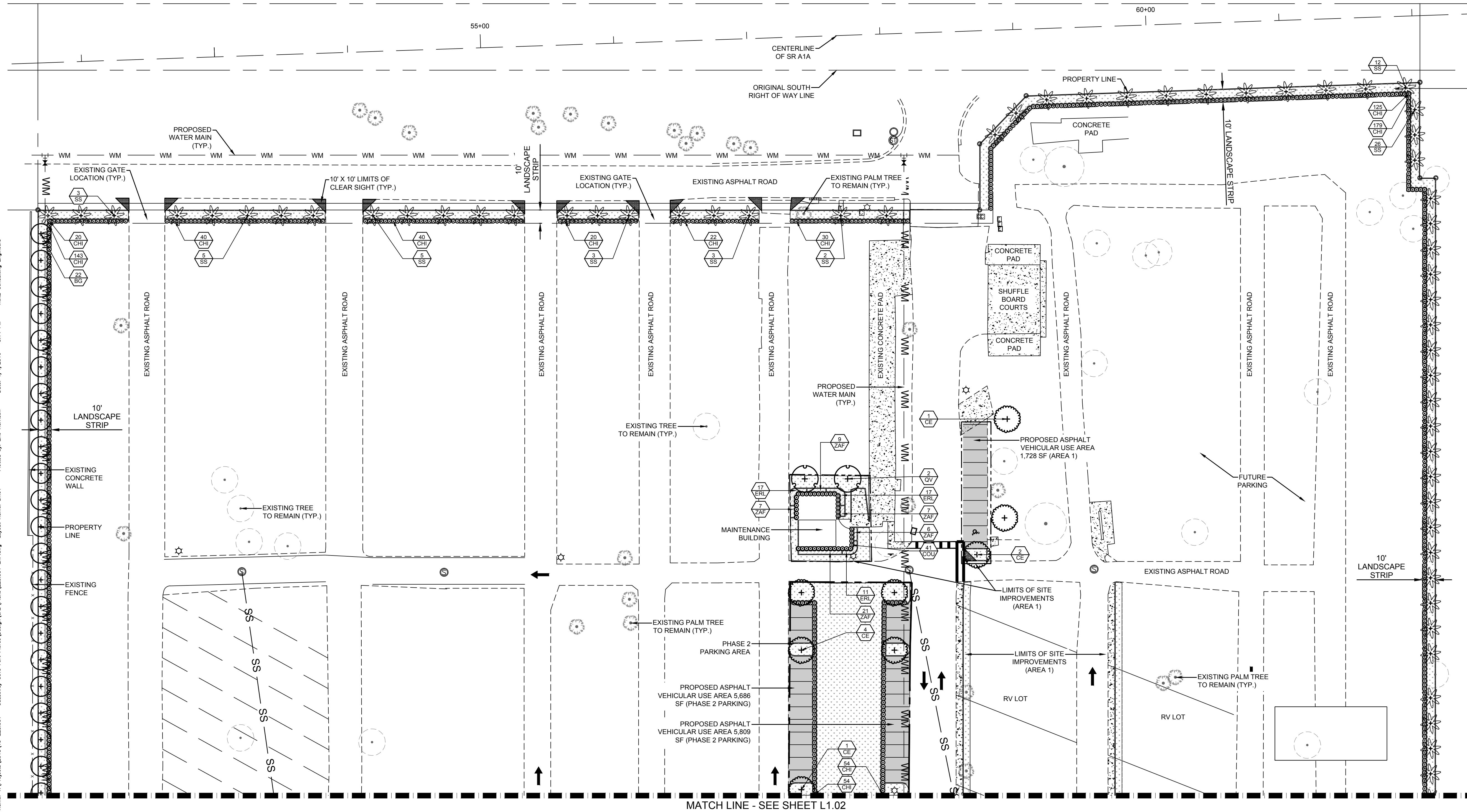
REFER TO SHEET L1.02 FOR LANDSCAPE TABULATIONS.
REFER TO SHEET L1.04 FOR PLANT SCHEDULE.



Always call 811 two full business days before you dig to have underground utilities located and marked.
Sunshine811.com

PLANT SCHEDULE

TREES	CODE	COMMON NAME
	BG	Graceful Bamboo
	CE	Green Buttonwood
	QV	Southern Live Oak
PALM TREES	CODE	COMMON NAME
	SP	Cabbage Palmetto
	SS	Cabbage Palmetto Staggered Heights
RELOCATED TREES	CODE	COMMON NAME
	R-SP	Cabbage Palmetto
SHRUBS	CODE	COMMON NAME
	CHI	Red Tip Cocoplum
	CLR	Dwarf Pitch Apple
	COU	Sea Grape
	CES	Silver Buttonwood
SHRUB AREAS	CODE	COMMON NAME
	ERL	Golden Creeper
	SPP	Soft Meadow Cord Grass
	ZAF	Coontie Palm
GROUND COVERS	CODE	COMMON NAME
	SOD	Bahia Grass



Drawing Name: \\\Projects\2015\15-223\001 - Causeway Cove Fort Pierce\Design\CAD\Plan\223.001 LDP.dwg Layout Name: L1.01 - Plotted by: Eric Harrison - Date: 1/4/2016 - 3:14 PM - Holtz Consulting Engineers

CHEN-MOORE
& ASSOCIATES
 510 SE Dixie Highway
 Stuart, FL 34994
 772.919.7018
 www.chenmoore.com
 CERTIFICATES OF AUTHORIZATION
 EB4593 LC26000425

Date:	10.3.15
Scale:	1" = 40'
Design By:	EDH
Drawn By:	EDH
Check By:	CAB

CAUSEWAY COVE
 LANDSCAPE PLAN
 601 SEAWAY DRIVE, FT. PIERCE, FL

LANDSCAPE PLAN

GIANGRANDE ENGINEERING AND PLANNING

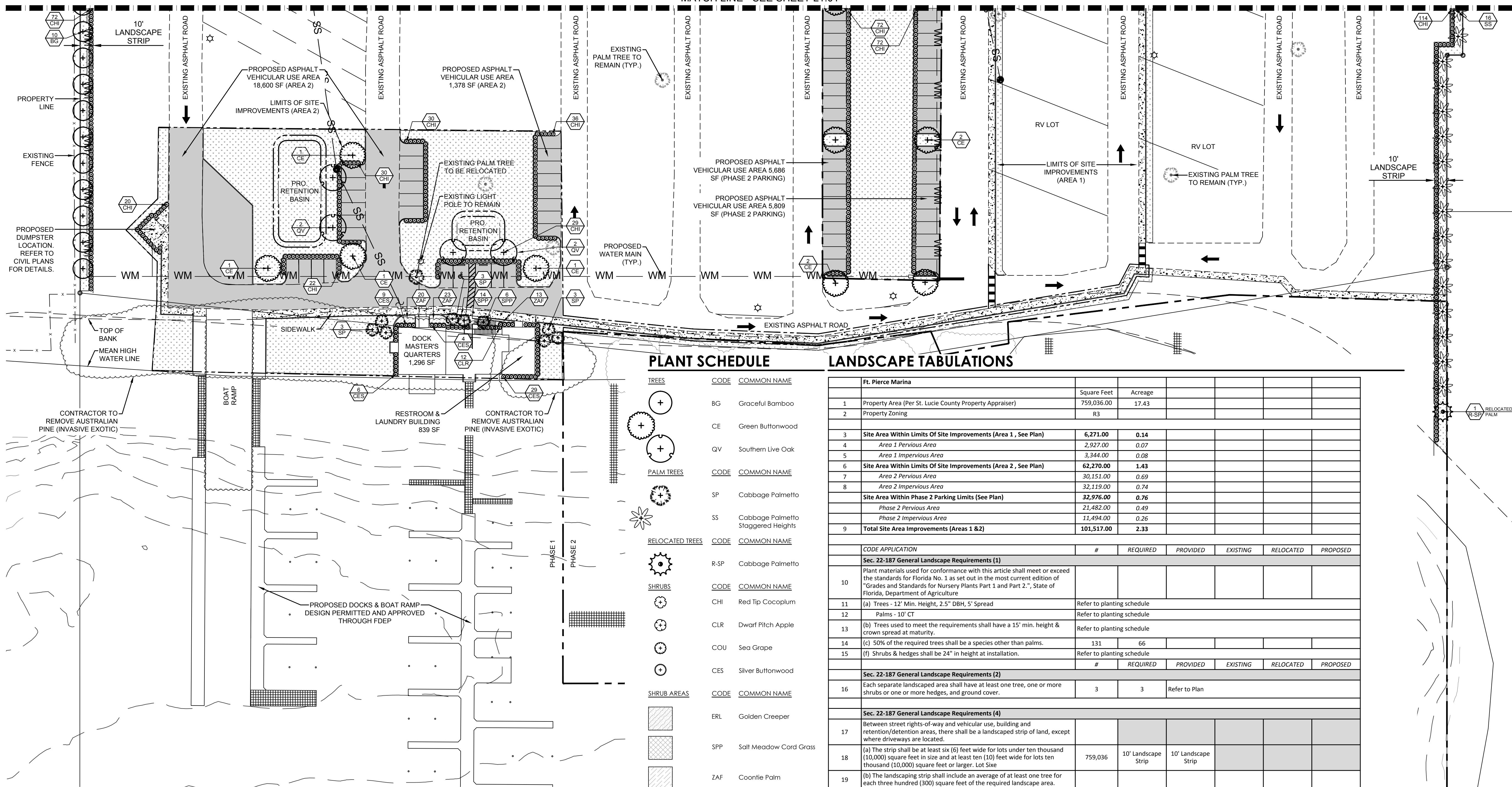
 73 SW FLAGLER AVENUE
 STUART, FLORIDA 34994
 PH. (703) 999-8972
 Cert. No. 30901

ERIC D. HARRISON, RLA
 License No: 6667129

L1.01

DATE	BY	REVISIONS

MATCH LINE - SEE SHEET L1.01



PLANT SCHEDULE

TREES	CODE	COMMON NAME
	BG	Graceful Bamboo
	CE	Green Buttonwood
	QV	Southern Live Oak
PALM TREES	CODE	COMMON NAME
	SP	Cabbage Palmetto
	SS	Cabbage Palmetto Staggered Heights
RELOCATED TREES	CODE	COMMON NAME
	R-SP	Cabbage Palmetto
SHRUBS	CODE	COMMON NAME
	CHI	Red Tip Cocoplum
	CLR	Dwarf Pitch Apple
	COU	Sea Grape
	CES	Silver Buttonwood
SHRUB AREAS	CODE	COMMON NAME
	ERL	Golden Creeper
	SPP	Salt Meadow Cord Grass
	ZAF	Coonlie Palm
GROUND COVERS	CODE	COMMON NAME
	SOD	Bahia Grass

LANDSCAPE TABULATIONS

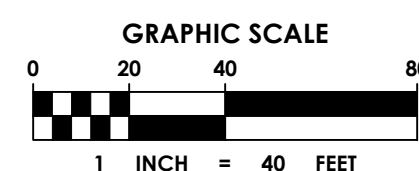
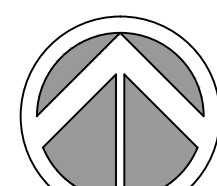
Ft. Pierce Marina		Square Feet	Acage							
1	Property Area (Per St. Lucie County Property Appraiser)	759,036.00	17.43							
2	Property Zoning	R3								
3	Site Area Within Limits Of Site Improvements (Area 1, See Plan)	6,271.00	0.14							
4	Area 1 Pervious Area	2,927.00	0.07							
5	Area 1 Impervious Area	3,344.00	0.08							
6	Site Area Within Limits Of Site Improvements (Area 2, See Plan)	62,270.00	1.43							
7	Area 2 Pervious Area	30,151.00	0.69							
8	Area 2 Impervious Area	32,119.00	0.74							
	Site Area Within Phase 2 Parking Limits (See Plan)	32,976.00	0.76							
	Phase 2 Pervious Area	21,482.00	0.49							
	Phase 2 Impervious Area	11,494.00	0.26							
9	Total Site Area Improvements (Areas 1 & 2)	101,517.00	2.33							
CODE APPLICATION		#	REQUIRED	PROVIDED	EXISTING	RELOCATED	PROPOSED			
Sec. 22-187 General Landscape Requirements (1)										
10	Plant materials used for conformance with this article shall meet or exceed the standards for Florida No. 1 as set out in the most current edition of "Grades and Standards for Nursery Plants Part 1 and Part 2", State of Florida, Department of Agriculture									
11	(a) Trees - 12' Min. Height, 2.5" DBH, 5' Spread	Refer to planting schedule								
12	Palms - 10' CT	Refer to planting schedule								
13	(b) Trees used to meet the requirements shall have a 15' min. height & crown spread at maturity.	Refer to planting schedule								
14	(c) 50% of the required trees shall be a species other than palms.	131	66							
15	(f) Shrubs & hedges shall be 24" in height at installation.	Refer to planting schedule								
Sec. 22-187 General Landscape Requirements (2)		#	REQUIRED	PROVIDED	EXISTING	RELOCATED	PROPOSED			
16	Each separate landscaped area shall have at least one tree, one or more shrubs or one or more hedges, and ground cover.	3	3							
Sec. 22-187 General Landscape Requirements (4)										
17	Between street rights-of-way and vehicular use, building and retention/detention areas, there shall be a landscaped strip of land, except where driveways are located.									
18	(a) The strip shall be at least six (6) feet wide for lots under ten thousand (10,000) square feet in size and at least ten (10) feet wide for lots ten thousand (10,000) square feet or larger. Lot Six	759,036	10' Landscape Strip	10' Landscape Strip						
19	(b) The landscaping strip shall include an average of at least one tree for each three hundred (300) square feet of the required landscape area.									
20	North Right of Way Buffer (10' depth) - Area	10,035	33	33	1	0				34
Sec. 22-187 General Landscape Requirements (6)										
21	Vehicular use, building, retention/detention areas adjacent to other property. Landscape standards for these areas are as follows:	Not applicable								
22	(a) Where a vehicular use area does not abut a street right-of-way but abuts other property, there will be a landscaped strip of land which is at least ten (10) feet wide. When a property line abuts a building, another structure, a joint driveway or joint parking area, such landscaped strip shall not be required.	Not applicable								
23	East Buffer (10' depth) - Area	8846	44	42	1	1				44
24	West Buffer (10' depth) - Area	6479	32	32	0	0				32
Sec. 22-187 General Landscape Requirements (7)										
25	Interior vehicular use areas.									
26	(a) Lots with vehicular use areas that are four thousand (4,000) or more square feet in size shall have at least one square foot of interior landscaping for each fifteen (15) square feet of vehicular use area, except that areas.	31,823	2,121.53	2,122						2,122
27	(b) One tree for each one hundred (100) square feet of required landscaped area.									
28	Area 1 Vehicular Use Area	1,728								
29	Area 2 Vehicular Use Area	18,600	21	21	0	0				21
30	Phase 2 Parking Vehicular Use Area	11,495								

EXISTING TREE NOTES

LOCATION OF EXISTING TREES AND PALMS MAY VARY FROM ACTUAL SITE CONDITIONS. EXISTING TREES AND PALMS LOCATED FROM 2012 LABINS AERIAL PHOTOGRAPHY AND 2015 GOOGLE EARTH AERIAL IMAGERY.

NOTES

REFER TO SHEET L1.02 FOR LANDSCAPE TABULATIONS. REFER TO SHEET L1.04 FOR PLANT SCHEDULE.



Always call 811 two full business days before you dig to have underground utilities located and marked.



Date: 10.3.15
 Scale: 1" = 40'
 Design By: EDH
 Drawn By: EDH
 Check By: CAB

CAUSEWAY COVE
 LANDSCAPE PLAN
 601 SEAWAY DRIVE, FT. PIERCE, FL

LANDSCAPE PLAN

GIANGRANDE ENGINEERING AND PLANNING

 73 SW FLAGLER AVENUE
 STUART, FLORIDA 34994
 PH. (703) 999-8972
 Cert. No. 30901

ERIC D. HARRISON, RLA
 License No: 6667129

CHEN-MOORE
 & ASSOCIATES
 510 SE Dixie Highway
 Stuart, FL 34994
 772.919.7018
 www.chenmoore.com
 CERTIFICATES OF AUTHORIZATION
 EB4593 LC26000425

L1.02

DATE	BY	REVISIONS

Drawing Name: \\\Projects\2015\15-223\001 - Causeway Cove Fort Pierce\Design\CAD\Plan\2231.001.dwg Plot Date: 1/4/2016 3:14 PM Plotted by: Eric Harrison

LANDSCAPE SPECIFICATIONS

1. GENERAL

- 1.1. WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:
 - 1.1.1. THESE GENERAL NOTES, CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.
 - 1.1.2. ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES AND REGULATIONS.
- 1.2. SOURCE OF BASE INFORMATION IS PROVIDED BY OTHERS AND IS ASSUMED TO BE CORRECT. IF SITE DISCREPANCIES ARE PRESENT, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY. IF CONTRACTOR CONTINUES WORK WITHOUT THE PROPER NOTIFICATION, CONTRACTOR DOES SO AT HIS OWN RISK.
- 1.3. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, SUPERVISION, AND EQUIPMENT REQUIRED FOR THE WORK AS SHOWN ON THE CONSTRUCTION DOCUMENTS DESCRIBED HEREIN.
- 1.4. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUB-CONTRACTORS AS REQUIRED TO COMPLETE THE WORK OF THIS PROJECT.
- 1.5. CONTRACTOR SHALL VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER CONTRACTS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT OWNER'S REPRESENTATIVE FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
- 1.6. CONTRACTOR TO NOTIFY "SUNSHINE STATE ONE CALL OF FLORIDA, INC." AT 1-800-432-4770 TWO FULL BUSINESS DAYS PRIOR TO DIGGING FOR UNDERGROUND UTILITY LOCATIONS.
- 1.7. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONFLICT, THE LOCATION OF EXISTING UTILITIES OR SITE FEATURES AS SHOWN ON THE PLANS MAY VARY IN RELATION TO ACTUAL EXISTING CONDITIONS. ANY DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT AND THE OWNER IN WRITING. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO DIFFERING SITE CONDITIONS WILL BE ALLOWED IF THE CONTRACTOR FAILS TO PROVIDE THE REQUIRED WRITTEN NOTIFICATION OF SUCH CONDITIONS FOR REVIEW BY THE LANDSCAPE ARCHITECT AND THE OWNER.
- 1.8. CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS, INCLUDING BUT NOT LIMITED TO, WATER, SANITARY SEWER, POWER, NATURAL GAS, TELEPHONE AND CABLE TV COMPANIES.
- 1.9. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.
- 1.10. PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND BY HAND, IF NECESSARY. THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OF DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AND AT NO EXPENSE TO THE OWNER.
- 1.11. THE SUCCESSFUL BIDDER SHALL FURNISH TO THE OWNER A UNIT PRICE BREAKDOWN FOR ALL MATERIALS. THE OWNER MAY, AT ITS DISCRETION, ADD OR DELETE FROM THE MATERIALS UTILIZING THE UNIT PRICE BREAKDOWN SUBMITTED.
- 1.12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL ABIDE BY ALL PERMIT CONDITIONS.

2. PRE-CONSTRUCTION RESPONSIBILITY

- 2.1. UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, ALL AFFECTED UTILITY OWNERS, THE OWNER, THE LANDSCAPE ARCHITECT, ANY OTHER PERTINENT PARTIES AND HIMSELF.
- 2.2. CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES ONSITE. LOCATION TO BE DETERMINED BY THE OWNER. JANITORIAL SERVICES SHALL BE PROVIDED BY CONTRACTOR THROUGHOUT THE DURATION OF PROJECT.
- 2.3. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.
- 2.4. IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS; THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT.
- 2.5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS FOR THE FIELD LOCATIONS AND FOR ANY TREES PROPOSED FOR RELOCATION. THIS SHALL BE DONE IN A TIMELY MANNER TO MINIMIZE IMPACT ON CONSTRUCTION SCHEDULE. ANY DELAY CAUSED BY THE CONTRACTOR BY THE RELOCATION OF TREES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- 2.6. CONTRACTOR SHALL VERIFY LIMITS OF CONSTRUCTION AS NOTED ON THE PLANS. ANY WORK PERFORMED OUTSIDE OF THE AGREED UPON LIMITS OF CONSTRUCTION SHALL BE DONE AT THE EXPENSE OF THE CONTRACTOR.

3. SITE DEMOLITION

- 3.1. ITEMS SHALL REMAIN UNLESS OTHERWISE NOTED ON THE PLAN(S). REMOVE DESIGNATED ITEMS SHOWN ON THE PLAN TO THE FULL DEPTH OF THEIR CONSTRUCTION UNLESS OTHERWISE NOTED.
- 3.2. ALL HARDSCAPE DESIGNATED FOR REMOVAL SHALL BE SAW CUT, LEAVING UNIFORM EDGES TO THE GREATEST EXTENT POSSIBLE. MATERIAL EDGES TO REMAIN SHALL BE SHORED UP AND PROTECTED DURING CONSTRUCTION TO PRESERVE EDGE INTACT. REPAIRS TO DAMAGED EDGES SHALL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 3.3. NO EXISTING MATERIAL SHALL BE USED IN NEW CONSTRUCTION UNLESS NOTED ON THE PLANS OR APPROVED DURING THE SHOP DRAWING APPROVAL PROCESS.
- 3.4. SALVAGE EXISTING MATERIALS AS INDICATED ON THE PLANS. SALVAGED MATERIALS SHALL BE HANDLED WITH CARE AND STORED ON-SITE OR AS DIRECTED BY OWNER. CLEAN ALL DEBRIS AND CONSTRUCTION MATERIAL FROM SALVAGED ITEMS; REUSE AS DIRECTED BY OWNER'S

- 3.5. REPRESENTATIVE. REMOVE DEMOLISHED MATERIALS FROM SITE AND DISPOSE OF AS REQUIRED BY LOCAL, STATE OR FEDERAL LAWS.
- 3.6. CONTRACTOR SHALL PROTECT ADJACENT WATER BODIES, COASTAL DUNE SYSTEMS AND PROPERTIES FROM DAMAGE BY SEDIMENTATION OR OTHER POTENTIAL CONSTRUCTION RELATED CAUSES.
- 3.7. ALL IRRIGATION IN DEMOLITION AREA TO BE CAPPED AND ADJUSTED AS NECESSARY TO ENSURE OVERALL SYSTEM IS NOT AFFECTED.

4. TREE PRESERVATION

- 4.1. ALL TREES TO BE PRESERVED AS INDICATED ON THE TREE DISPOSITION PLAN SHALL BE PROTECTED BY A TREE PROTECTION BARRICADE, UNLESS OTHERWISE NOTED ON PLAN.
- 4.2. TREE PROTECTION BARRICADES SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AROUND THE DRIP LINE OF EXISTING TREES TO BE PRESERVED IN PLACE, AS SHOWN ON PLAN. PRESERVATION BARRICADES SHALL BE LEFT IN PLACE THROUGHOUT DURING ALL PHASES OF CONSTRUCTION.
- 4.3. PRIOR TO ANY CONSTRUCTION A TREE PROTECTION BARRICADE INSPECTION SHALL BE CONDUCTED BY THE LANDSCAPE ARCHITECT, OWNER OR GOVERNING MUNICIPALITY. REFER TO PLANS FOR TREE PRESERVATION BARRICADE FENCING DETAIL.
- 4.4. IF EXCAVATION IN THE VICINITY OF A PROTECTED TREE IS REQUIRED, CONTRACTOR SHALL ROOT PRUNE TREES, UNDER THE SUPERVISION OF A CERTIFIED ARBORIST IN ACCORDANCE TO THE FOLLOWING CONDITIONS:
 - 4.4.1. ROOT PRUNE TREES A MINIMUM OF EIGHT (8) WEEKS PRIOR TO CONSTRUCTION. PRIOR TO ROOT PRUNING, THOROUGHLY WATER THE ROOT ZONE WITH AT LEAST 2 TO 3 INCHES OF WATER FOR 2 TO 3 DAYS PRIOR TO ROOT PRUNING. SEE BELOW FOR RELOCATION TIMELINE.
 1. PROVIDE TEMPORARY IRRIGATION FOR EACH TREE THROUGHOUT THE DURATION OF CONSTRUCTION.
 2. ROOT PRUNE TREES, SHOWN ON PLAN IN AREAS WHERE ROOTS WILL CONFLICT WITH CONSTRUCTION ACTIVITY. PRUNING OF ROOTS SHOULD BE DONE IN A MANNER TO PRESERVE THE GREATEST AMOUNT OF THE ROOT BASE AS POSSIBLE.
 3. BACKFILL TRENCH WITH PLANTING SOIL.
 4. FERTILIZE WITHIN THE ROOT ZONE (SEE BELOW).
 - 4.4.2. ROOT PRUNING SHALL BE ACCOMPLISHED BY DIGGING A TRENCH AROUND THE TREE IN AREAS WHERE PROPOSED SITE WORK WILL BE PERFORMED. TRENCHING SHALL BE AT A MINIMUM OF 24" DEEP. ROOT PRUNE ONLY WITH A MECHANICAL ROOT-PRUNING SAW OR A TRENCHER WITH A MAXIMUM TRENCH WIDTH OF 8".
 - 4.4.3. ALL EXPOSED ROOTS SHALL BE CUT OFF SMOOTHLY, WITH SHARP INSTRUMENTS. BACKFILL TRENCHES WITH SOIL CONSISTING OF 30% SILICA SAND AND 70% MUCK. WATER THOROUGHLY AFTER ROOT PRUNING, AND ONCE WEEKLY DURING THE ROOT REGENERATION PERIOD, WITH A SOLUBLE FERTILIZER THAT HAS A 20.20.20 ANALYSIS AT MANUFACTURER'S RECOMMENDED RATE.
- 4.5. THE CONTRACTOR SHALL FIELD STAKE THE LIMIT OF ROOT PRUNING. LIMITS OF ROOT PRUNING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY EXCAVATION. DO NOT ROOT PRUNE FOR IRRIGATION OR ELECTRICAL LINES WITHIN DRIP LINES OF EXISTING TREES. COORDINATE ALL TRENCHING REQUIRED FOR UTILITY WORK WITH THE LANDSCAPE PLANS.
- 4.6. ROOT PRUNING SHALL OCCUR IN ACCORDANCE WITH TREE RELOCATION NOTES AS NOTED ON PLANS.

5. PLANTING SOIL

- 5.1. ALL TREES SHALL BE PLANTED WITH A MINIMUM OF 12" TOPSOIL AROUND AND BENEATH THE ROOTBALL.
- 5.2. ALL TREES SHALL BE PLANTED WITH A MINIMUM OF 6" TOPSOIL AROUND AND BENEATH THE ROOTBALL.
- 5.3. MINIMUM TOPSOIL SHALL BE 2" FOR SODDED GRASS AREAS.
- 5.4. PLANTING SOIL MIX SHALL BE A WEED FREE MIX AS FOLLOWS:
 - 5.4.1. DICOT TREES & SHRUBS: 50% SAND, 40% MUCK & 10% PEAT
 - 5.4.2. MONOCOT PALMS: 70% SAND & 30% MUCK
 - 5.4.3. TURF: 80% SAND, 10% PEAT & 10% MUCK

6. LANDSCAPE PLANTING

- 6.1. THIS PLAN HAS BEEN DESIGNED TO MEET OR EXCEED ALL APPLICABLE CODES.
- 6.2. THE PLANTING PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE DEED RESTRICTIONS.
- 6.3. PLANT MATERIAL: ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER AS ESTABLISHED BY "GRADES AND STANDARDS FOR NURSERY PLANTS" OF THE STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE.
- 6.4. ALL PLANT MATERIAL SHALL BE TRUE TO THE BOTANICAL NAME, GENUS, SPECIES AND/OR HYBRID DESIGNATION.
- 6.5. ALL TREES, SHRUBS AND GROUNDCOVERS SHALL BE OF THE SIZES (HEIGHT & SPREAD) AS SPECIFIED IN THE PLANT LIST. CONTAINER SIZE IS FOR REFERENCE PURPOSES ONLY. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE MINIMUM SIZES AT INSTALLATION, AS SPECIFIED IN THE PLANT LIST.
- 6.6. QUANTITIES LISTED ON THE PLANT LIST ARE FOR ESTIMATING PURPOSES. CONTRACTOR SHALL VERIFY ALL QUANTITIES, MULCH, TOPSOIL, FERTILIZER, ETC. SHALL BE INCLUDED IN THE UNIT COST OF THE PLANTS.
- 6.7. WHERE THERE IS A DISCREPANCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PRECEDENCE.
- 6.8. ALL SUBSTITUTIONS AND CHANGES SHALL BE APPROVED IN WRITING PRIOR TO INSTALLATION. ANY DISCREPANCIES BETWEEN PLANS, SITE AND SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT, THE OWNER AND/OR GOVERNING MUNICIPALITY.

- 6.9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FINAL GRADING OF ALL ASSOCIATED PLANTING AREAS.
- 6.10. AFTER FINAL GRADE, LANDSCAPE AREAS ARE TO BE RAKED TO A DEPTH OF 6". ALL ROCK AND FOREIGN INORGANIC MATERIALS SHALL BE REMOVED AND DISPOSED OF PROPERLY OFF-SITE.
- 6.11. ALL PLANTING HOLES TO BE HAND DUG EXCEPT WHERE MACHINE DUG HOLES WILL NOT ADVERSELY AFFECT EXISTING TREES, DAMAGE UTILITIES OR OTHER IMPROVEMENTS.
- 6.12. ALL PLANTING BEDS IN OPEN AREAS AND AROUND BUILDING FOUNDATIONS SHALL BE EXCAVATED TO A DEPTH OF TWENTY-FOUR INCHES (24") AND BACK FILLED WITH SOIL MIX AS SPECIFIED IN SECTION 5.00. PLANTING BED SHALL BE FREE FROM ROCK, CONSTRUCTION DEBRIS OR OTHER EXTRANEIOUS MATERIAL.
- 6.13. ALL PLANTING BEDS IN MEDIANS, HARDSCAPE AREAS OR AREAS ENCOMPASSED BY IMPERVIOUS MATERIAL SHALL BE EXCAVATED TO A DEPTH OF THIRTY-SIX INCHES (36") OR UNTIL NATIVE SOILS ENCOUNTERED TO ENSURE DRAINAGE. BACK FILL WITH SOIL MIX AS SPECIFIED IN SECTION 5.00. PLANTING BED SHALL BE FREE FROM ROCK, CONSTRUCTION DEBRIS OR OTHER EXTRANEIOUS MATERIAL.
- 6.14. EXCAVATE PLANTING PITS TO A DEPTH SO THAT THE TRUNK FLARE AND FIRST ORDER LATERAL ROOT(S) WILL BE PLANTED AT FINISH GRADE OR SLIGHTLY HIGHER. ADVENTITIOUS ROOTS ARE NOT CONSIDERED FIRST ORDER ROOTS.
- 6.15. BURLAP, SYNTHETIC STRING, CORDS AND/OR LIFTING ROPES SHALL BE REMOVED FROM THE ROOTBALLS BEFORE ANY TREES ARE PLANTED. THE TOP 1/3RD OF BURLAP MUST BE REMOVED FROM THE TOP OF THE ROOTBALLS. THE TOP 1/3RD OF WIRE BASKETS SHALL BE COMPLETELY REMOVED AND THE BOTTOM 2/3RDS SHALL BE CUT BEFORE THE TREES ARE INSTALLED.
- 6.16. NO PLUNGING OF ANY TREE OR PALM WILL BE ACCEPTED.
- 6.17. NO PLANT MATERIAL WILL BE ACCEPTED SHOWING EVIDENCE OF CABLE, CHAIN MARKS, EQUIPMENT SCARS, OR OTHERWISE DAMAGED.
- 6.18. PLANT MATERIAL WILL NOT BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN CRACKED, BROKEN OR OTHERWISE DAMAGED.
- 6.19. ALL TREES SPECIFIED AS FIELD GROWN OR B&B TREES SHALL BE ROOT-PRUNED AT THE NURSERY A MINIMUM OF (8) WEEKS PRIOR TO PLANTING.
- 6.20. ALL PLANT MATERIAL PLANTED WITHIN THE SIGHT DISTANCE TRIANGLE AREAS SHALL BE MAINTAINED TO PROVIDE UNOBSTRUCTED CROSS-VISIBILITY AT A HORIZONTAL LEVEL BETWEEN 30 INCHES AND 8 FEET ABOVE ADJACENT STREET GRADE.
- 6.21. NO CANOPY TREES SHALL BE PLANTED WITHIN 12 FEET OF A LIGHT POLE. NO PALM SPECIES SHALL BE PLANTED WITHIN 6 FEET OF A LIGHT POLE.
- 6.22. GROUND COVER PLANTINGS SHALL PROVIDE NOT LESS THAN 50 PERCENT COVERAGE IMMEDIATELY UPON PLANTING AND 100 PERCENT COVERAGE WITHIN 6 MONTHS AFTER PLANTING.
- 6.23. TREES AND PALMS SHALL BE MAINTAINED TO ALLOW FOR CLEAR PASSAGE 8' IN ALL PEDESTRIAN AREAS.
- 6.24. ALL LANDSCAPE MATERIAL SHALL BE SETBACK A MINIMUM OF 10' FROM ANY FIRE HYDRANT.
- 6.25. CONTRACTOR SHALL REMOVE ALL NURSERY STAKES, CONDUIT, FLAGGING AND NURSERY TAPE PRIOR TO STAKING.
- 6.26. CONTRACTOR SHALL STAKE & GUY ALL TREES AND PALMS AT TIME OF PLANTING AS PER THE APPROPRIATE DETAIL. CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND/OR REPAIR OF ALL STAKING AND GUYING DURING WARRANTY PERIOD AND REMOVAL & DISPOSAL OF STAKING AFTER ESTABLISHMENT/WARRANTY PERIOD.
- 6.27. TREES THAT CANNOT STAND WITHOUT THE SUPPORT OF STAKES AND/OR GUYS SHALL BE REJECTED.

7. TURF GRASSES

- 7.1. ALL AREAS NOT USED FOR BUILDINGS, VEHICULAR USE AREAS, WALKS OR PLANTING BEDS SHALL BE GRASSED. GRASSING SHALL EXTEND TO ANY ABUTTING STREET PAVEMENT EDGE AND TO THE MEAN WATERLINE OF ANY ABUTTING CANAL, LAKE OR WATERWAY. REFER TO PLANTING SCHEDULE FOR ESTIMATED QUANTITY AND SPECIES.

8. MULCH & FERTILIZER

- 8.1. ALL PLANTING BEDS AND WATER BASINS FOR TREES SHALL BE COVERED WITH A 3" MINIMUM DEPTH OF SHREDDED FLORI-MULCH, MELALEUCA OR EUCALYPTUS MULCH GRADE 'B' OR BETTER, UNLESS OTHERWISE SPECIFIED.
- 8.2. INDIVIDUAL TREES PLANTED IN LAWN AREAS SHALL BE MULCHED WITH A MINIMUM 3' DIAMETER MULCH RING.
- 8.3. MULCH SHALL NOT BE INSTALLED WITHIN 3" OF TREE TUNKS.
- 8.4. FERTILIZER MIX AS FOLLOWS:
 - 8.4.1. DICOT TREES & SHRUBS: NPK 18-4-2, SLOW RELEASE W/ MICRONUTRIENTS
 - 8.4.2. MONOCOT PALMS: NPK 8-2-12, SLOW RELEASE W/ MICRONUTRIENTS
 - 8.4.3. TURF: NPK 16-4-8, SLOW RELEASE W/ MICRONUTRIENTS

9. WATERING

- 9.1. ALL LANDSCAPED AREAS WILL BE IRRIGATED BY AN UNDERGROUND, AUTOMATIC, RUST-FREE IRRIGATION SYSTEM PROVIDING 100% COVERAGE AND 50% SPRAY OVERLAP. THE SYSTEM SHALL BE MAINTAINED IN GOOD WORKING ORDER AND DESIGNED TO MINIMIZE WATER ON IMPERVIOUS SERVICES AND NOT OVERSPRAY WALKWAYS. A RAIN SENSOR DEVICE SHALL BE INSTALLED TO OVERRIDE THE IRRIGATION CYCLE OF THE SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED.
- 9.2. ALL PLANT MATERIAL SHALL BE WATERED IN AT TIME OF PLANTING IN ACCORDANCE WITH STANDARD NURSERY PRACTICES. IN ADDITION, CONTRACTOR WILL CONTINUE THE WATERING OF PLANT MATERIAL UNTIL SUBSTANTIAL COMPLETION AND THE LANDSCAPE IS TURNED OVER TO THE OWNER.

10. PROJECT CLOSEOUT

- 10.1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER. UPON FINAL CLEAN UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEP BROOM CLEAN.
- 10.2. THE CONTRACTOR SHALL RESTORE, REPLACE OR AS DIRECTED BY THE LANDSCAPE ARCHITECT, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY THE WORK OF THE CONTRACTOR, HIS EQUIPMENT, EMPLOYEES OR THOSE OF HIS SUB-CONTRACTORS. THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT OF THE EXISTING ADJACENT AREAS. THE RESTORATION WORK SHALL BE AT THE CONTRACTOR'S EXPENSE. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.
- 10.3. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING PROGRESS OF THE WORK. THESE AREAS SHALL BE KEPT IN A CLEAN AND NEAT CONDITION.
- 10.4. THE CONTRACTOR SHALL MAINTAIN ACCURATE AND COMPLETE RECORDS OF WORK ITEMS COMPLETED.
- 10.5. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE LANDSCAPE ARCHITECT OF RECORD COMPLETE SETS OF "AS-BUILT" CONSTRUCTION DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONED LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS INCLUDING PRODUCT/EQUIPMENT AS SPECIFIED OR REVISED DURING THE SHOP DRAWING SUBMITTAL PROCESS. AS-BUILT DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR.

11. GUARANTEE

- 11.1. ALL NEW PLANT MATERIAL SHALL BE GUARANTEED FOR 1 YEAR FROM TIME OF FINAL ACCEPTANCE OF PROJECT. ANY PLANT MATERIAL NOT IN A HEALTHY GROWING CONDITION WILL BE REPLACED IN KIND BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER WITHIN 10 DAYS OF NOTIFICATION.
- 11.2. FOR ALL REPLACEMENT PLANT MATERIAL, THE WARRANTY PERIOD SHALL BE EXTENDED AN ADDITIONAL 90 DAYS BEYOND THE ORIGINAL WARRANTY PERIOD. REPLACEMENT MATERIAL SHALL BE REPLACED IN KIND AS IT RELATES TO SPECIES, QUANTITY AND SIZE.
- 11.3. ALL TREES THAT LEAN OR ARE BLOWN OVER, CAUSED BY WINDS LESS THAN 74 MPH AS DETERMINED BY THE NATIONAL HURRICANE CENTER, WILL BE RE-SET AND BRACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.


Drawing Name: \\Projects\2015\15-223\001 - Causeway Cove, Ft. Pierce\Design\CD\Plan\223\001.dwg Layout Name: L1.03 - Plotted by: Eric Harrison - Date: 1/4/2016 - 3:14 PM Plot: 1/4/2016 - 3:14 PM

DATE	BY	REVISIONS

Date: 10.3.15
 Scale: 1" = 40'
 Design By: EDH
 Drawn By: EDH
 Check By: CAB

CAUSEWAY COVE
 LANDSCAPE PLAN
 601 SEAWAY DRIVE, FT. PIERCE, FL

LANDSCAPE SPECIFICATIONS

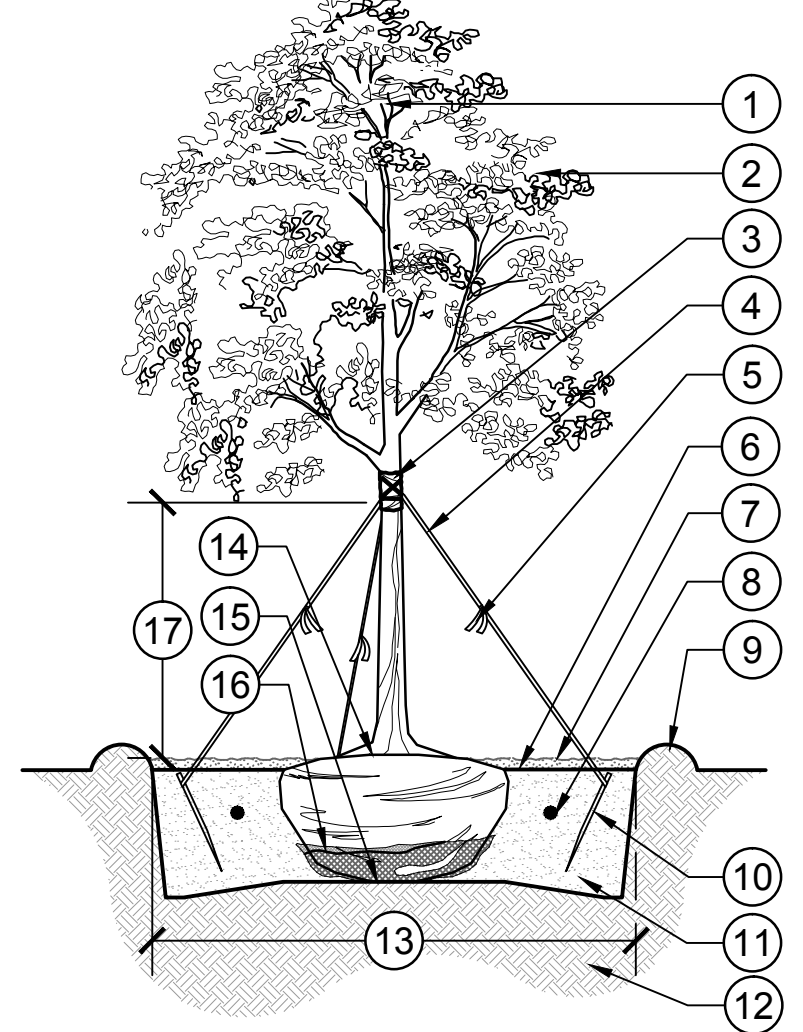
GIANGRANDE ENGINEERING AND PLANNING
 73 SW FLAGLER AVENUE
 STUART, FLORIDA 34994
 PH. (703) 999-8972
 Cert. No. 30901

ERIC D. HARRISON, RLA
 License No: 6667129

CHEN-MOORE
 & ASSOCIATES
 510 SE Dixie Highway
 Stuart, FL 34994
 772.919.7018
 www.chenmoore.com
CERTIFICATES OF AUTHORIZATION
 EB4593 LC26000425

L1.03

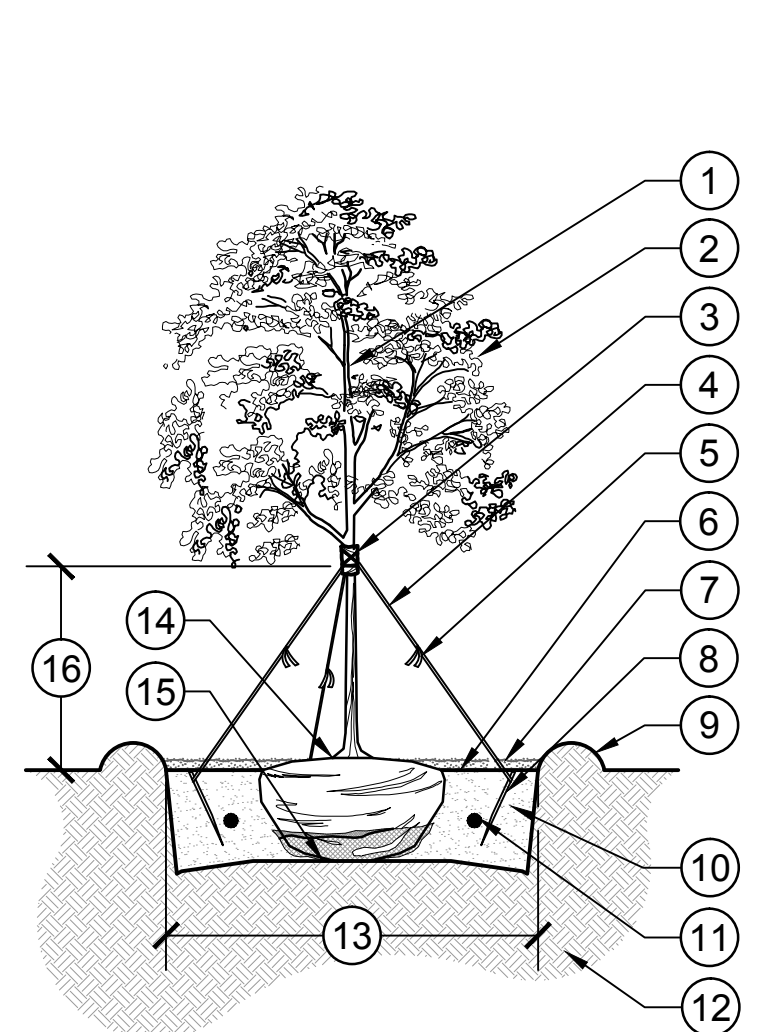
- CALIPER MEASUREMENTS NOTES:**
- CALIPER MEASUREMENT IS 6" FROM TOP OF ROOT BALL FOR TREES WITH 6" CALIPER OR LESS.
 - CALIPER MEASUREMENT IS 12" FROM TOP OF ROOT BALL FOR TREES WITH 6" CALIPER GREATER.
- REFER TO PLANT SCHEDULE FOR INDIVIDUAL SIZES.



1 LARGE TREE PLANTING: 2" CALIPER AND GREATER

1/4" = 1'-0" 329343-17

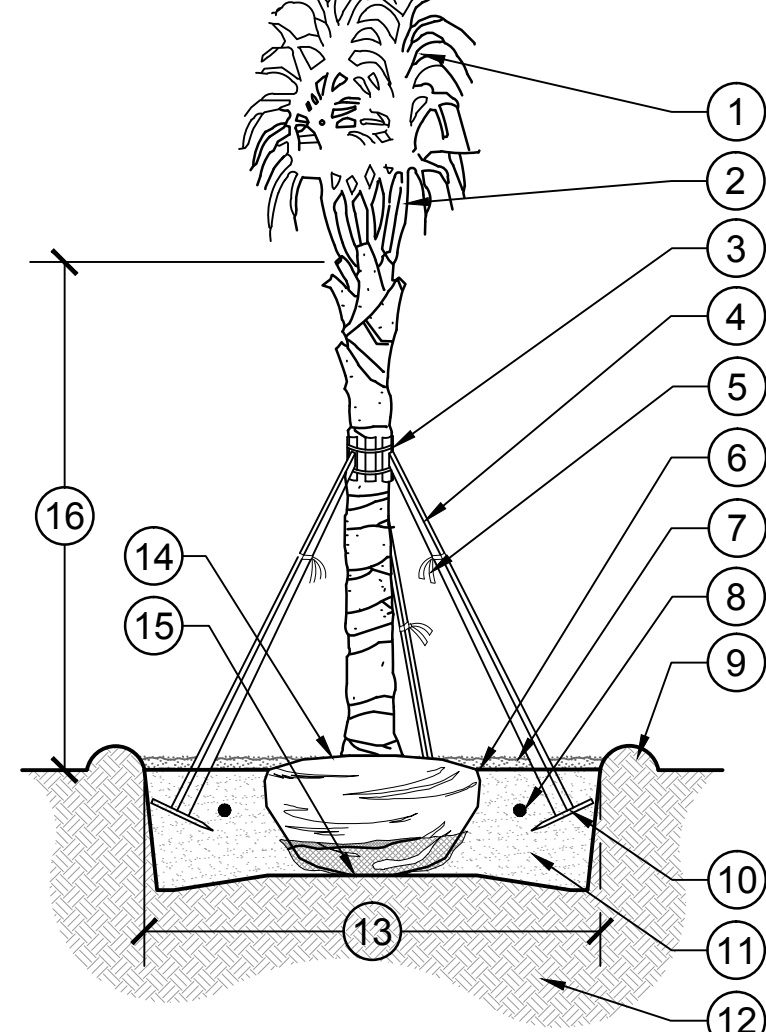
- CALIPER MEASUREMENTS NOTES:**
- CALIPER MEASUREMENT IS 6" FROM TOP OF ROOT BALL FOR TREES WITH 6" CALIPER OR LESS.
 - CALIPER MEASUREMENT IS 12" FROM TOP OF ROOT BALL FOR TREES WITH 6" CALIPER GREATER.
- REFER TO PLANT SCHEDULE FOR INDIVIDUAL SIZES.



2 SMALL TREE PLANTING: LESS THAN 2" CALIPER

1/4" = 1'-0" 329343-18

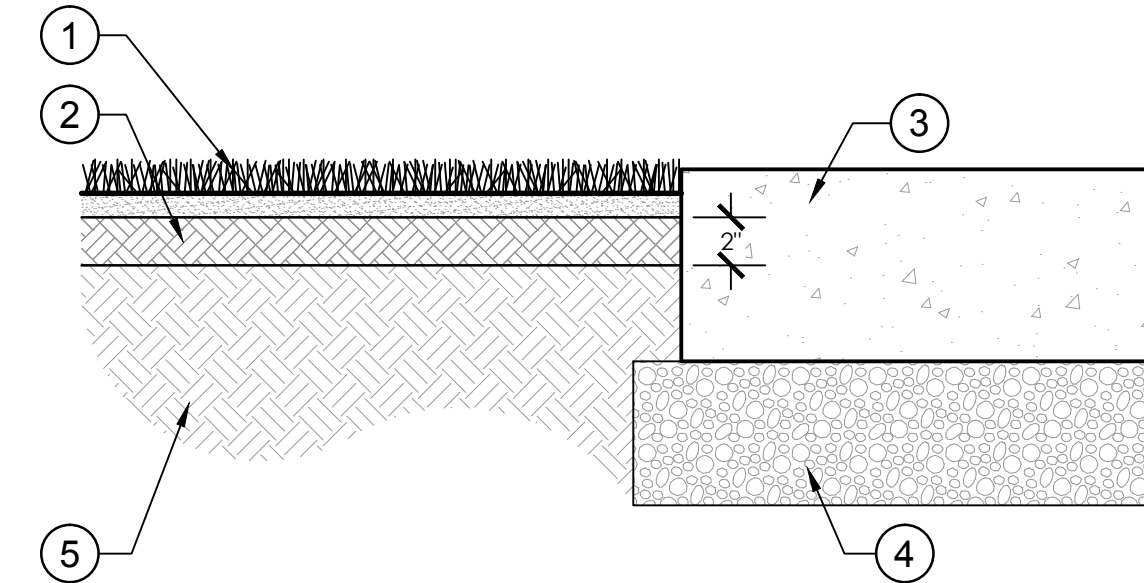
- CALIPER MEASUREMENTS NOTES:**
- DO NOT HURRICANE CUT FRONDS
 - UNITE FRONDS PRIOR TO INSPECTION
 - METAL STRAPS SECURING 2x4 WOOD BATTENS, MIN. 5 LAYERS BURLAP. TOE NAIL BRACES TO 2x4 WOOD BATTENS. DO NOT NAIL STAKES DIRECTLY TO TRUNK
 - 2x4 WOOD BRACE AT EQUAL SPACING (3 PER TREE)
 - 1/2x2 FLUORESCENT MARKER
 - FINISH GRADE
 - 3" LAYER OF SPECIFIED MULCH. DO NOT INSTALL WITHIN 3" OF TREE TRUNK
 - FERTILIZER TABLET IF APPLICABLE
 - CONSTRUCT TEMPORARY 3" WATERING BASIN
 - 2"x4"x8" STAKE: SET 2" BELOW FINISH GRADE
 - BACKFILL WITH SPECIFIED SOIL MIX
 - EXISTING SOIL
 - 2x DIAMETER OF THE ROOTBALL
 - SET CROWN OF ROOT BALL 0'-2" ABOVE SURROUNDING FINISH GRADE. REMOVE TOP 2/3 OF BURLAP FROM ROOTBALL: TRUNK TAPER SHALL BE VISIBLE AT TIME OF INSTALLATION
 - SET ROOTBALL ON UNDISTURBED SOIL
 - CLEAR TRUNK: REFER TO PLANT SCHEDULE



3 SABAL PALM PLANTING

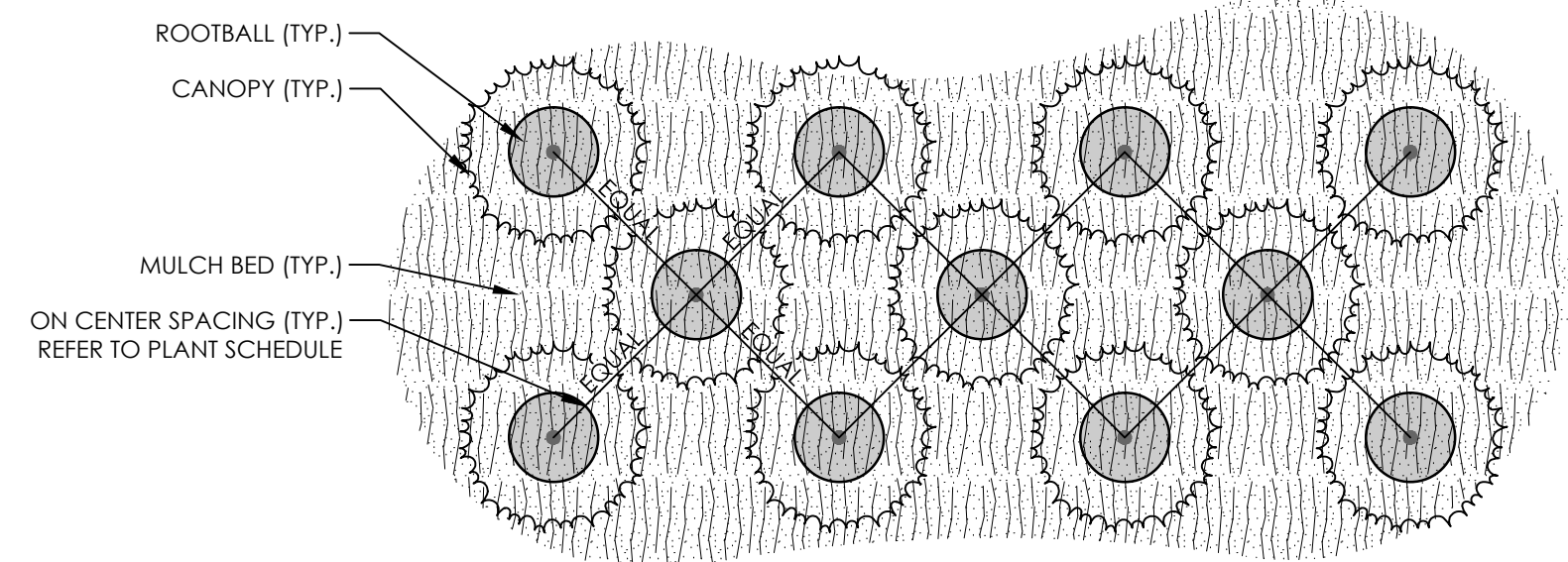
1/4" = 1'-0" 329343-21

- SOD (AS SPECIFIED)
- PLANTING MIX: 60% ORGANIC, 35% SAND, 5% LOAM
- SIDEWALK OR CURB
- SUB-BASE
- NATIVE SOIL



4 SOD PLANTING

1 1/2" = 1'-0" 329333-03



- PLANT MATERIAL SHALL NOT BE PRUNED PRIOR TO INSTALLATION. AFTER PLANTS HAVE BEEN INSTALLED, EACH PLANT SHALL BE PRUNED FOR UNIFORMITY
- SET CROWN OF ROOT SLIGHTLY ABOVE SURROUNDING FINISH GRADE. TRUNK TAPER SHALL BE VISIBLE AT TIME OF INSTALLATION
- 3" LAYER OF SPECIFIED MULCH. DO NOT INSTALL WITHIN 3" OF TREE TRUNK
- CONSTRUCT TEMPORARY 3" WATERING BASIN
- FINISH GRADE
- FERTILIZER TABLET IF APPLICABLE.
- BACKFILL WITH SPECIFIED SOIL MIX
- EXISTING SOIL
- 2x DIAMETER OF THE ROOTBALL

5 SHRUB/GROUND COVER PLANTING & SPACING

1" = 1'-0" 329333-08

PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	REMARKS	
	BG	32	Graceful Bamboo	Bambusa textilis gracilis	B & B	12' - 14' OAH	No		
	CE	16	Green Buttonwood	Conocarpus erectus	B & B	14' HT, 7' SPRD, 4" DBH	Yes		
	QV	6	Southern Live Oak	Quercus virginiana	B & B	12' HT, 5' SPRD, 3" DBH	Yes		
PALM TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	REMARKS	
	SP	9	Cabbage Palmetto	Sabal palmetto	B & B	12' - 16' CT	Yes		
	SS	75	Cabbage Palmetto	Sabal palmetto	B & B	12'-22' C.T.	Yes	Staggered Heights	
RELOCATED TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	REMARKS	
	R-SP	1	Cabbage Palmetto	Sabal palmetto	Relocated		Yes		
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	SPACING	REMARKS
	CHI	1,224	Red Tip Cocoplum	Chrysobalanus icaco 'Red Tip'	See Size	24" HT, 24" SPRD	Yes	36" o.c.	
	CLR	12	Dwarf Pitch Apple	Clusia rosea 'Nana'	See Size	24" HT, 24" SPRD	Yes	36" o.c.	
	COU	41	Sea Grape	Coccoloba uvifera	See Size	24"x24"	Yes	36" o.c.	
	CES	48	Silver Buttonwood	Conocarpus erectus 'Sericeus'	See Size	24" HT, 24" SPRD	Yes	36" o.c.	
SHRUB AREAS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	SPACING	REMARKS
	ERL	45	Golden Creeper	Ernodea littoralis	See Size	14"x14"	Yes	24" o.c.	
	SPP	20	Salt Meadow Cord Grass	Spartina patens	See Size	18" HT, 18" SPRD	Yes	36" o.c.	
	ZAF	106	Coontie Palm	Zamia floridana	See Size	14" HT, 14" SPRD	Yes	24" o.c.	
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SIZE	NATIVE	REMARKS	
	SOD	67,306 sf	Bahia Grass	Paspalum notatum	Sod	FULL	N/A		

Drawing Name: V:\Projects\2015\15-233\001 - Causeway Cove Fort Pierce Design\CAD\Plant\233\001.dwg Date: 1/4/2016 - 3:15 PM Plotted by: Eric Harrison

CAUSEWAY COVE
LANDSCAPE PLAN
601 SEAWAY DRIVE, FT. PIERCE, FL

LANDSCAPE DETAILS

GIANGRANDE ENGINEERING AND PLANNING
73 SW FLAGLER AVENUE
STUART, FLORIDA 34994
PH. (703) 999-8972
Cert. No. 30901

ERIC D. HARRISON, RLA
License No: 6667129

L1.04

CHEN-MOORE
ASSOCIATES
510 SE Dixie Highway
Stuart, FL 34994
772.919.7018
www.chenmoore.com
CERTIFICATES OF AUTHORIZATION
EB4593 LC26000425

Date: 10.3.15
Scale: 1" = 40'
Design By: EDH
Drawn By: EDH
Check By: CAB

DATE BY REVISIONS