

CITY PLANNING BOARD

BOARD AGENDA

Planning Board Regular Meeting - Tuesday, March 14, 2017 - 6:00 p.m.
City Hall - City Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **CONSIDERATION OF ABSENCES**
5. **CERTIFICATION OF ALTERNATE MEMBER VOTING STATUS**
6. **APPROVAL OF MINUTES**
 - a. Minutes from the February 14, 2017 meeting
7. **NEW BUSINESS**
 - a. Site Plan & Design Review - Chick-Fil-A - 5560 Okechobee Road
 - b. Conditional Use - Bradley Dwelling Rental - 408 S. Ocean Drive, Unit B
 - c. Conditional Use - Sacks Dwelling Rental - 655 Hernando Street
 - d. Waiver of Distance - Sweetie's Diner - 2625 S. US Highway 1
 - e. Disposal of Surplus Property - Lot 13 Lincoln Court
8. **ELECTION OF CHAIR, VICE-CHAIR AND SECRETARY**
9. **BOARD COMMENTS**
10. **ADJOURNMENT**

Any person seeking to appeal any decision by the Planning Board with respect to any matter considered at this meeting is advised that a record of proceedings is required in any such appeal and that such person may need to insure that a verbatim record of the proceedings is made including the testimony and evidence upon which the appeal is to be based.

Persons who require special accommodations under the Americans with Disabilities Act (ADA) should contact (772) 467-3729, at least five (5) days prior to the meeting. Persons who are hearing or speech impaired may use the Florida Relay System by dialing 711.

Planning Board

6.a.

Meeting Date: 03/14/2017

Information

REQUESTED ACTION

Minutes from the February 14, 2017 meeting

LOCATION

RESPONSIBLE STAFF

RECOMMENDATION

Attachments

Planning Board Minutes 2.14.17

Form Review

Form Started By: Alicia Rosenthal

Started On: 03/03/2017 09:57 AM

Final Approval Date: 03/07/2017

DRAFT



CITY OF FORT PIERCE PLANNING BOARD

Planning Board Minutes

OF THE REGULAR MEETING OF THE FORT PIERCE CITY PLANNING BOARD HELD ON TUESDAY, FEBRUARY 14, 2017 IN ST. LUCIE, COMMISSION CHAMBERS, 2300 VIRGINIA AVENUE, FORT PIERCE, FLORIDA.

1. CALL TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL

Mr. Weaver and Mr. Dahan arrived at 6:05 PM.

Present: **Marcia Baker; Al Bernetti; Mike Dahan; John George; Tim O'Connell; Robert Poitier; Steve Weaver; Bob Burdge, Chairman**

Absent: **Eloise Cumings; Frank Creyaufmiller; Brian Paul; Charles Hayek**

Staff Present: **Jim Messer, City Attorney**
Rebecca Grohall, Planning Director
Kori Benton, Senior Planner
Vennis Gilmore, Planning Analyst
Brandon Creagan, Planner
Alicia Rosenthal, Administrative Assistant

4. CONSIDERATION OF ABSENCES

Motion was made by Marcia Baker, and seconded by Al Bernetti to approve the absences of Mr. Hayek, Mr. Paul, Mr. Creyaufmiller and Ms. Cumings.

**AYE: John George, Tim O'Connell, Robert Poitier, Marcia Baker, Al Bernetti, Chairman
Bob Burdge**

Passed

5. CERTIFICATION OF ALTERNATE MEMBER VOTING STATUS

Mr. Bernetti and Mr. Weaver were made voting members for the meeting.

6. APPROVAL OF MINUTES

- a. Minutes from the January 10, 2017 meeting

Motion was made by Robert Poitier, and seconded by John George to approve the minutes from the January 10, 2017 meeting.

AYE: Mike Dahan, John George, Tim O'Connell, Robert Poitier, Steve Weaver, Marcia Baker, Al Bernetti, Chairman Bob Burdge

Passed

7. HEARING OF THE LOCAL PLANNING AGENCY

- a. **Comprehensive Plan Future Land Use Map Amendment – Blue Water Properties - 1190 Avenue O**

Mr. Benton gave an overview of the application and answered questions from the Board regarding usage of the property.

Amanda Martinez, Blue Water Properties, Applicant Representative, stated the intent is to design the property as one commercial center that is compatible with the adjacent uses in the neighborhood. Ms Martinez answered questions from the Board.

No one spoke against the application.

Motion was made by Marcia Baker, and seconded by John George to recommend approval of the proposed amendment with guidance that the western three hundred and fifty (350) feet of the subject site is advanced with a Neighborhood Commercial (NC) designation, as presented by staff, in Figure 2, based upon improved consistency with the Comprehensive Plan and assimilation with the surrounding districts.

AYE: Al Bernetti, Mike Dahan, John George, Tim O'Connell, Robert Poitier, Steve Weaver, Marcia Baker, Chairman Bob Burdge

Passed

8. NEW BUSINESS

- a. **Zoning Atlas Amendment - Blue Water Properties – 1190 Avenue O**

Mr. Benton gave a brief overview of the Zoning Atlas Amendment and stated it is a coupled request with item 7a.

No one spoke for or against the project.

Motion was made by Marcia Baker, and seconded by John George to recommend approval of the proposed amendment with guidance that the western three hundred and fifty (350) feet of the subject site is advanced with a Neighborhood Commercial (C-2) designation, as presented by staff, in Figure 2, based upon improved consistency with the Comprehensive Plan and assimilation with the surrounding districts.

AYE: Mike Dahan, John George, Tim O'Connell, Robert Poitier, Steve Weaver, Marcia Baker, Al Bernetti, Chairman Bob Burdge

Passed

b. **Abandonment - Segment of North 10th Street between Avenue M & Avenue O**

Mr. Benton gave an overview of the application and answered questions from the Board. No one spoke for or against the application.

Motion was made by Marcia Baker, and seconded by John George to forward a recommendation to approve the requested abandonment.

AYE: John George, Tim O'Connell, Robert Poitier, Steve Weaver, Marcia Baker, Al Bernetti, Mike Dahan, Chairman Bob Burdge

Passed

c. **Conditional Use - Advanced Scholars Christian Academy - 616 Orange Avenue**

Mr. Creagan gave an overview of the application.

Sherria Baptiste, Representative, spoke on behalf of the school and answered questions from the Board regarding teacher certification and the limited playground area.

Mike Menard, Representative from Architectonic, stated he is working with Ms. Baptiste to make sure the school is compliant with the educational requirements for building code, life safety and ADA.

Richard Shoy spoke in favor of the project.

Motion was made by Robert Poitier, and seconded by John George to forward a recommendation to the City Commission for approval of the Conditional Use with No New Construction to operate a private K-8 school that will accommodate 135 (one hundred thirty five) students with the following conditions:

- 1. Landscape improvements must be made to the property to bring the site into compliance with City Code 22-187 (4). This improvement must be completed prior to receiving a Certificate of Occupancy.**
- 2. A pavement marking plan that implements the traffic flow plan must be submitted with the building permit.**
- 3. A lighting plan or photometric survey must be submitted that verifies lighting in the parking lot in accordance with City Code 22-60 (j). This plan must be submitted with the building permit.**
- 4. Signed and sealed drawings that are to scale must be submitted with the building permit that shows the change to an "E" occupancy.**
- 5. The applicant coordinates and permits appropriate crosswalk and school zone signs along the Avenue A corridor to notify drivers of an active school zone. This must be completed before a Certificate of Occupancy can be issued.**

AYE: Tim O'Connell, Robert Poitier, Steve Weaver, Marcia Baker, Al Bernetti, Mike Dahan, John George, Chairman Bob Burdge

Passed

d. **Zoning Atlas Amendment - Treasure Coast Recovery Centers - 604 Midway Road**

Mr. Benton gave an overview of the application and Mike McCarty, Applicant, provided additional information.

Motion was made by John George, and seconded by Al Bernetti to forward a recommendation of approval for the proposed amendment.

AYE: Robert Poitier, Steve Weaver, Marcia Baker, Al Bernetti, Mike Dahan, John George, Tim O'Connell, Chairman Bob Burdge

Passed

e. **Conceptual Development Plan - Treasure Coast Recovery Centers – 604 Midway Road**

Mr. Benton gave an overview of the application and answered questions from the Board regarding parking, recent drug rehabilitation approvals and certificate of need.

Mike McCarty, Applicant, provided details on the Conceptual Development Plan.

Motion was made by John George, and seconded by Robert Poitier to forward a recommendation of approval for the conceptual parameters of the proposal.

AYE: Steve Weaver, Marcia Baker, Al Bernetti, Mike Dahan, John George, Tim O'Connell, Robert Poitier, Chairman Bob Burdge

Passed

f. **Preliminary Plat - Portofino Landings - 4712 Okeechobee Road**

Ms. Grohall stated a revised staff report was given out at the meeting and the recommendation changed slightly to an approval with a condition.

Mr. Gilmore gave an overview of the application..

George Cipero, Representative, explained the additional tracts on the plat and answered questions from the Board regarding the history of Portofino Landings.

Ms Grohall stated the site plan was amended in 2008 from condominiums to apartments.

Motion was made by John George, and seconded by Robert Poitier to approve the item with the condition that the Engineering Department's comments are satisfied prior to being scheduled for City Commission.

AYE: Marcia Baker, Al Bernetti, Mike Dahan, John George, Tim O'Connell, Robert Poitier, Steve Weaver, Chairman Bob Burdge

Passed

g. **Recommendation for the Sale of City Property - 505 N. 7th Street**

Ms. Grohall gave an overview of the property and the contracts received. Ms. Grohall answered questions from the Board regarding deposits, compatibility with existing zoning, use of the building, pre-approvals and realtor marketing efforts to the Longshoreman Association.

Ms. Baker provided in depth research on the buyers for the property. Board discussion ensued.

Motion was made by Mr. Weaver to counter offer at just below the current asking price to the Kids Academy and 111 Okeechobee offers, seek additional offers and confirm all offers are accompanied by proof of funds and pre-approval of funds to complete the purchase and the required repairs.

Mr. Weaver amended his motion.

Motion was made by Steve Weaver, and seconded by Robert Poitier to counter offer at just below the current asking price for the Kids Academy and 111 Okeechobee offers, seek additional offers and confirm all offers are accompanied by proof of funds and pre-approval of funds to complete the purchase and the required repairs and the realtor shall present his marketing and efforts to date to prove it has been aggressively marketed to the City Commission at the same time it is presented to them.

AYE: Mike Dahan, John George, Robert Poitier, Steve Weaver, Marcia Baker

NAY: Al Bernetti, Tim O'Connell, Chairman Bob Burdge

Passed

9. BOARD COMMENTS

10. ADJOURNMENT

Planning Board

7.a.

Meeting Date: 03/14/2017

Information

REQUESTED ACTION

Site Plan & Design Review - Chick-Fil-A - 5560 Okechobee Road

LOCATION

5560 Okechobee Road

RESPONSIBLE STAFF

Kori Benton, Senior Planner

RECOMMENDATION

Approval

Attachments

Staff Report

Site Aerial

Application, Support Documents & Property Record Cards

Project Narrative & Building Elevations

Site & Landscape Plans

TRC Comments

Form Review

Form Started By: Kori Benton

Started On: 03/06/2017 04:55 PM

Final Approval Date: 03/07/2017



TO: Members of the City of Fort Pierce Planning Board

THROUGH: Rebecca Grohall, AICP, Planning Director

FROM: Kori Benton, Senior Planner

RE: Application for Site Plan & Design Review
 Chick-fil-a
 5560 Okechobee Road

DATE: March 6th, 2017

STAFF REPORT

Owner/Applicant: NNN/1031 #16 Jenkins LLC
 2 Towne Sq Ste 900
 Southfield, MI 48076

Requested Action: Approval of a Site Plan & Design Review request to construct a new restaurant with drive-thru service.

Location: 5560 Okeechobee Road

Parcel ID: 2419-603-0002-000-7 & 2419-603-0005-000-8

Current Zoning: General Commercial (C-3)

Future Land Use: General Commercial (GC).

Surrounding Zoning:

North	East	South	West
C-3	C-3	C-3	C-3

Site Size: 1.81 acres

Utilities: Located within the FPUA Retail Service Area

Staff Analysis:

In accordance with Sections 22-31, 22-58, and 22-59 of the City Code, the applicant is requesting the review and approval of a Site Plan and Design Review application to construct a new restaurant with drive-thru service at 5560 Okeechobee Road.

The proposed Site Plan for a Chick-fil-a restaurant includes a 4,989 sq. ft. restaurant complete with drive-thru service, an indoor playground, and outdoor cafe dining. The development plan provides support access, parking, lighting, landscaping, storm water, and pedestrian improvements consistent with the applicable land development regulations.

Design

The presented structure offers a contemporary architectural design typified by brick construction, flat roof, parapet extensions, and accenting cornices. Architectural features include canopy extensions at the building entrances and transom windows, as well as accenting window lights and wall breaks. The appearance is enhanced further through landscape plantings and light fixtures to punctuate the various elevations).

Vehicular access to the restaurant is provided from Okeechobee and Jenkins Road via established driveways incorporated within the Okeechobee Crossings Subdivision. The Okeechobee Road access is enhanced with the existing turn lane designated for the retail users within the development. A total of seventy-seven (77) parking spaces (three of which are handicapped-accessible), and a bicycle rack will be provided. A designated parking space is provided for buses and charter vehicles to accommodate larger vehicles at the site. Site lighting will be provided for the parking area and the perimeter of the establishment in accordance with City Code requirements.

Stormwater pretreatment is provided to the site via a master retention area to the north, designed to service the various commercial sites within this subdivision.

The presented landscape plan achieves compliance with local requirements with creative design by incorporating various species, heights, and arrangements in a non-linear manner. A total of 77 new trees will be planted on-site to enhance the site and provide shade relieve to the parking areas and incorporated pedestrian pathways. Over 1,300 plants and shrubs are scattered across the design to amplify this new development along the Okeechobee Road corridor.

Traffic

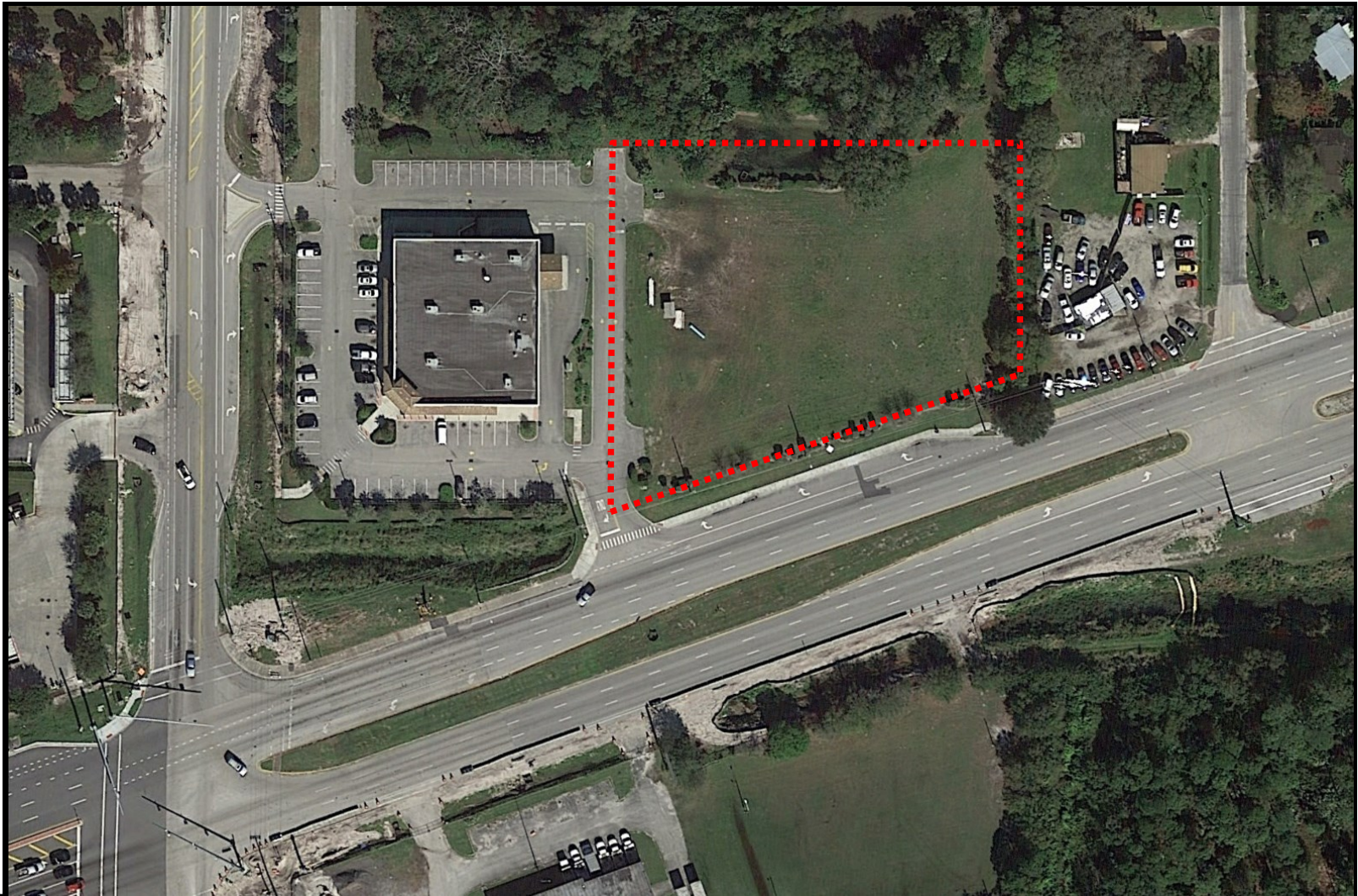
The traffic impact statement provided by the applicant suggests a total of 2475 additional daily trips will be generated by the proposed project. Of these trips, 87 PM peak hour trips will be dispersed onto the surrounding roadway network. All of the surrounding roadway segments are expected to operate at their current level of service (LOS) with the additional trips. The development design does not impact the reconstruction of the adjacent Okeechobee Road and Jenkins Road intersection which is nearing completion.

Technical Review Committee

All affected departments have reviewed and approved the Site Plan based on compliance with the requirements of the City Code.

Staff Recommendation:

The proposed Site Plan and Design Review meet the requirements of the City Code and are found to be consistent with the City's Comprehensive Plan; therefore Staff recommends **approval**.



Proposed Chick-fil-a

5560 Okeechobee Road—Site Aerial





DEVELOPMENT REVIEW

Property address or Location NE Quadrant of Jenkins Road & Okeechobee Road, Fort Pierce, FL 34947
 Parcel ID #(s) 2419-603-0005-000-8 and 2419-603-0002-000-7
 Project description Construction of a new fast food restaurant with a drive-thru, indoor playground, outdoor dining area, and related site improvements.

NNN / 1031 No. 16 SR 70 Jenkins LLC
Property Owner(s)
4801 PGA Boulevard
 Street Address
Palm Beach Gardens, FL 33418
 City State Zip
561-630-6110
 Phone Number
 Email Address

Kristen Ferretti (Owner's Agent) Corporate Property Services, Inc.
Applicant/Representative, Title, Company
1239 E. Newport Center Drive, Suite 113
 Street Address
Deefield Beach, FL 33442
 City State Zip
954-426-5144
 Phone Number
kristen@corporatepropertyservices.net
 Email Address melissa@corporatepropertyservices.net

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

[Signature]
 Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY
 The foregoing instrument was acknowledged before me this 3rd day of February, 2017, by Kristen Ferretti who is personally known to me or has produced [Signature] as identification.

[Signature]
 Signature of Notary

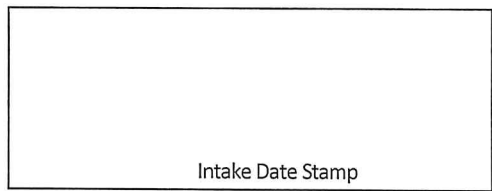


INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation
				Contributing Individual Non-Contributing None

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit # _____
 Intake Planner _____
 Planner Assigned _____
 Approved By _____ Date _____
 Comments _____



DEVELOPMENT REVIEW

General Information

- Incomplete application packets cannot be accepted.
- Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

Choose Application Type:

Application Type			
<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Conditional Use with New Const.	<input type="checkbox"/> Major Amendment	
<input type="checkbox"/> Conceptual Development Plan		<input type="checkbox"/> Minor Amendment	

Site Information:

Non-Residential: Proposed Sq. Ft.: 4,971 Residential: Proposed Units: _____

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West
Vacant Commercial	Vacant Commercial	Automobile Dealership	Walgreen's-Retail Store

Application Outlook



Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- Complete notarized application
- Warranty Deed
- SLC Property Record Card
- Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- General location map (see Section 22-58.d.2)
- Survey (see Section 22-58.d.3)
- Site Plan (see Section 22-58.d.4)
- Landscaping Plan (see Section 22-187)
- Storm Drainage Plan (see Section 22-58.d.6)
- Environmental Impact Report - *via email to Kori Benton*
- Beach/Dune System protection plan, if applicable (see Section 22-58.d.7)
- Lighting Plan (see Section 22-58.d.8)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)

Prepared by, record and return to:
Adrienne V. Schmitz, P.A.
12230 Forest Hill Blvd., Suite 102
Wellington, FL 33414

Tax Folio #: 2419-233-0001-000/5

[Space Above This Line For Recording Data]

Special Warranty Deed

This Special Warranty Deed made this 24th day of May, 2006 between JENKINS 70 PARTNERS, LLC, a Florida limited liability company, whose post office address is 10505 S.W. 128th Terrace, Miami, FL 33176, grantor, and NNN/1031 No. 16 SR 70 Jenkins LLC, a Florida limited liability company whose post office address is 3399 PGA Blvd., Suite 450, Palm Beach Gardens, FL 33410, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in St. Lucie County, Florida to-wit:

See Exhibit "A" attached hereto and made a part hereof as if fully set forth herein.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through, or under grantor, but none other; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2005, and that certain Annexation Agreement recorded in Official Records Book 943, Page 1496, public records of St. Lucie County, FL.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

DoubleTime®

Signed, sealed and delivered in our presence:

[Signature]
Witness Name: MARIA J. KIRSCHNER
[Signature]
Witness Name: Olga L. Perez

GRANTOR:
JENKINS 70 PARTNERS, LLC, a Florida limited liability
company

By: Mark Schwimmer
Mark Schwimmer, as Manager

State of Florida
County of Miami Dade

The foregoing instrument was acknowledged before me this 24th day of May, 2006 by Mark Schwimmer, as Manager of
Jenkins 70 Partners, LLC, on behalf of said Company. He is personally known to me or [] has produced a driver's
license as identification.

[Notary Seal]



Mary W. Kurlansik
Notary Public

Printed Name: Mary W. Kurlansik

My Commission Expires: _____

Exhibit "A"

(Jenkins 70 Partners LLC):

Begin at the Northeast corner of the Southwest 1/4 of the Southwest 1/4 of the Northwest 1/4 of Section 19, Township 35 South, Range 40 East, St. Lucie County, Florida and run South 00° 02' 33" East, a distance of 537.68 feet along the East line of the Southwest 1/4 of the Southwest 1/4 of the Northwest 1/4 of said Section 19, a distance of 537.68 feet to the Northerly Right-of-Way line of State Road 70;

thence run South 72° 44' 04" West along said Right-of-Way line a distance of 405.48 feet;

thence run North 01° 55' 27" East a distance of 195.18 feet;

thence run South 66° 42' 27" West a distance of 53.10 feet;

thence run North 00° 12' 27" East a distance of 265.00 feet;

thence run North 88° 47' 57" East, a distance of 1.00 feet;

thence run North 00° 12' 27" East a distance of 210 feet to the North line of aforesaid Southwest 1/4 of the Southwest 1/4 of the Northwest 1/4 of said Section 19;

thence run North 88° 47' 57" East a distance of 426.40 feet to the POINT OF BEGINNING.

TOGETHER WITH:

The South 95 feet of the North 380 feet of the East 194 feet of the West 234 feet of the Southwest 1/4 of the Southwest 1/4 of the Northwest 1/4 of Section 19, Township 35 South, Range 40 East; LESS Rights-of-Way for road and drainage canals; lying and being in St. Lucie County, Florida.

TOGETHER WITH:

South 75 feet of the North 285 feet of the East 194 feet of the West 234 feet of the Southwest 1/4 of the Southwest 1/4 of the Northwest 1/4 of Section 19, Township 35 South, Range 40 East; LESS and excepting there from all Rights-of-Way for public roads and drainage canals; lying and being in St. Lucie County, Florida.

Property Identification

Site Address: OKEECHOBEE RD
 Sec/Town/Range: 19/35S/40E
 Map ID: 24/19N
 Zoning: C3

Parcel ID: 2419-603-0005-000-8
 Account #: 175289
 Use Type: 1000
 Jurisdiction: Fort Pierce

Ownership

NNN/1031 #16 Jenkins LLC
 2 Towne Sq Ste 900
 Southfield, MI 48076

Legal Description

OKEECHOBEE CROSSINGS-(PB 62-23) TRACT 5 (0.85 AC - 37,026 SF)

Current Values

Just/Market Value: \$148,100
 Assessed Value: \$148,100
 Exemptions: \$0
 Taxable Value: \$148,100
 Taxes for this parcel: SLC Tax Collector's Office
 Download TRIM for this parcel: Download PDF



Total Areas

Finished/Under Air (SF): 0
 Gross Area (SF): 0
 Land Size (acres): 0.85
 Land Size (SF): 37,026

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
May 24, 2006	2582 / 2467	XX02	SP	Jenkins 70 Partners LLC,	\$2,800,000

Building Information (1 of 1)

Finished Area: 0 SF
 Gross Total Area: 0 SF

Exterior Data

View:
 Building Type:
 Grade:
 Story Height:

Roof Cover:
 Year Built: N/A
 Effective Year: 2014
 No. Units: 0

Roof Structure:
 Frame:
 Primary Wall:
 Secondary Wall:

Interior Data

Bedrooms: 0
 Full Baths: 0
 Half Baths: 0
 A/C %: 0%

Electric:
 Heat Type:
 Heat Fuel:
 Heated %: N/A%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors:
 Sprinkled %: 0%



Image
or
Sketch
unavailable
for display

Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
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Special Features and Yard Items


Type	Qty	Units	Year Blt
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Current Year Values

Current Values Breakdown		Current Year Exemption Value Breakdown				
		Tax Year	Grant Year	Code	Description	Amount
Building:	\$0					
Land:	\$148,100					
Just/Market:	\$148,100					
Ag Credit:	\$0					
Save Our Homes or 10% Cap:	\$0					
Assessed:	\$148,100					
Exemption(s):	\$0					
Taxable:	\$148,100					

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
2010	0041	2.3	Fort Pierce Stormwater Charge	\$124.20
2013	0054	0.85	North St. Lucie Water Management District	\$25.00

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office .

Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2016	\$148,100	\$148,100	\$0	\$148,100
2015	\$148,100	\$148,100	\$0	\$148,100
2014	\$148,100	\$148,100	\$0	\$148,100

Permits

Number	Issue Date	Description	Amount	Fee
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Notice: This does not necessarily represent all the permits for this property.
Click the following link to check for additional permit data in Fort Pierce

Property Identification

Site Address: OKEECHOBEE RD
 Sec/Town/Range: 19/35S/40E
 Map ID: 24/19N
 Zoning: C3

Parcel ID: 2419-603-0002-000-7
 Account #: 175286
 Use Type: 1000
 Jurisdiction: Fort Pierce

Ownership

NNN/1031 #16 Jenkins LLC
 2 Towne Sq Ste 900
 Southfield, MI 48076

Legal Description

OKEECHOBEE CROSSINGS-(PB 62-23) TRACT 2 (0.96 AC - 41,818 SF)

Current Values

Just/Market Value: \$167,300
 Assessed Value: \$167,300
 Exemptions: \$0
 Taxable Value: \$167,300

Taxes for this parcel: SLC Tax Collector's Office
 Download TRIM for this parcel: Download PDF



Total Areas

Finished/Under Air (SF): 0
 Gross Area (SF): 0
 Land Size (acres): 0.96
 Land Size (SF): 41,818

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
May 24, 2006	2582 / 2467	XX02	SP	Jenkins 70 Partners LLC,	\$2,800,000

Building Information (1 of 1)

Finished Area: 0 SF
 Gross Total Area: 0 SF

Exterior Data

View:	Roof Cover:	Roof Structure:
Building Type:	Year Built: N/A	Frame:
Grade:	Effective Year: 2014	Primary Wall:
Story Height:	No. Units: 0	Secondary Wall:

Interior Data

Bedrooms: 0	Electric:	Primary Int Wall:
Full Baths: 0	Heat Type:	Avg Hgt/Floor: 0
Half Baths: 0	Heat Fuel:	Primary Floors:
A/C %: 0%	Heated %: N/A%	Sprinkled %: 0%



Image
or
Sketch
unavailable
for display

Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
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Special Features and Yard Items


Type	Qty	Units	Year Blt
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Current Year Values

Current Values Breakdown		Current Year Exemption Value Breakdown				
		Tax Year	Grant Year	Code	Description	Amount
Building:	\$0					
Land:	\$167,300					
Just/Market:	\$167,300					
Ag Credit:	\$0					
Save Our Homes or 10% Cap:	\$0					
Assessed:	\$167,300					
Exemption(s):	\$0					
Taxable:	\$167,300					

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
2010	0041	2.6	Fort Pierce Stormwater Charge	\$140.40
2013	0054	0.96001	North St. Lucie Water Management District	\$25.00

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office .

Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2016	\$167,300	\$167,300	\$0	\$167,300
2015	\$167,300	\$167,300	\$0	\$167,300
2014	\$167,300	\$167,300	\$0	\$167,300

Permits

Number	Issue Date	Description	Amount	Fee
--------	------------	-------------	--------	-----

Notice: This does not necessarily represent all the permits for this property. Click the following link to check for additional permit data in Fort Pierce [external link icon](#)

Trip Generation Analysis

Ft Pierce Chick-fil-A

February 6, 2017

Bowman Consulting Group, Ltd. has conducted a trip generation analysis for a proposed 4,989 s.f. Chick-fil-A with drive-thru window, located at the northeast corner of Jenkins Road and Okeechobee Road in the City of Ft. Pierce. The site is currently vacant with no existing trips being generated. Below is a breakdown of the post development trip generation analysis, per the ITE Trip Generation Manual, 9th Edition.

Trip Generation Land Use Code 934 – Fast Food Restaurant with Drive-Through Window

- Proposed Square Footage = 4,989 s.f.
- Trip Generation Rate = 496.12 per 1,000 s.f.
- Total Trips = 2,475 trips
- Peak Hour Trips = 87 P.M. trips

Should you have any questions or require additional information, please feel free to give me a call at (954) 712-7482.

Thank you,



Bill Pfeffer, PE | VP/Branch Manager

Bowman Consulting

401 E. Las Olas Blvd. Suite 1400, Ft. Lauderdale, FL 33301

Office: 954-712-7482 | mobile: 772.341.6223



CAPACITY ANALYSIS

I. Site Data:

	Existing Use	Future Land Use	Zoning
North	VACANT COMMERCIAL	GENERAL COMMERCIAL	C3
South	VACANT COMMERCIAL	GENERAL COMMERCIAL	C3
East	AUTOMOBILE DEALERSHIP	GENERAL COMMERCIAL	C3
West	RETAIL STORE	GENERAL COMMERCIAL	C3

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current	GC	C3	78,953	1.81	X
**Proposed					N/A

II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot 624 GAL/DAY
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot 624 GAL/DAY
Demand Analysis	Maximum
Current Zoning/FLU	Total gallons per day
**Proposed Zoning/FLU	Total gallons per day
**Change in Demand	Total gallons per day

C. Parks and Recreation (Residential Classifications Only): (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

D. Public Schools (Residential Classifications Only): Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name		
City		
Distance		
Current Zoning/FLU	Enrollment	
**Proposed Zoning/FLU	Enrollment	
**Change in Demand		

E. Solid Waste: Residential (2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units)	
Demand Analysis	Maximum
Current Zoning/FLU	
**Proposed Zoning/FLU	
*Change in Demand	

F. Stormwater:
Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)

Impact	
---------------	--

III. Transportation Analysis: Complete ITE Trip Generation Form (Attached)

G. Transportation Analysis: Complete ITE Trip Generation Data Form		
Most recent ITE Code for use; HCM Roadway Capacity		
	AADT	AM/PM Peak Hour Trips
Demand Analysis	Maximum	Maximum
Current Zoning/FLU		
**Proposed Zoning/FLU		
*Change in Demand	Trips	Trips
Impact to Capacity		

IV. Project Description

PHASING
Is this project (phase) part of a larger project? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If yes, enumerate each phase, the number of units or square footage in each phase and beginning/completion date.
Total Project: Residential Units: Single Family: Multifamily:
Non-residential (square footage): 78,953
Mixed-use (describe use):
(If this is a single phase project, name it Phase I – Total)

RESIDENTIAL DATA					
Type	Phase	Number of Units	Acres	Expected beginning date	Expected completion date
Single-family, detached					
Single-family, attached					
Multi-family					
Other (specify)					

NON-RESIDENTIAL DATA					
Type(s) specify	Phase	Square footage	Acres	Expecting beginning date	Expected completion date
COMMERCIAL	I - TOTAL	78,953	1.81		

A. Indicate whether the proposed project will be eliminating any existing recreational facilities. If yes, detail the number and type being eliminated. Yes No

- B. 1. Does this application involve demolition or re-use of any structure(s)? Yes No
If yes, what is the size of the structure(s) to be demolished or re-used? _____
- 2.. What is the current use of the structure to be demolished or re-used? _____
3. Are you claiming trip credits for the demolition or re-use of a structure(s) at the site? Yes No
If yes, provide estimates of credits for each previous use at the site. (Attach sheet with calculations)

C. Exemptions Requested:

** Complete section if requesting a change in zoning, future land use, or expanding



Design Review

Property address or Location NE Quadrant of Jenkins Road & Okeechobee Road, Fort Pierce, FL 34947

Parcel ID #(s) 2419-603-0005-000-8 and 2419-603-0002-000-7

Project Description Construction of a new fast food restaurant with a drive thru, indoor playground, outdoor dining area, and related site improvements.

NNN / 1031 No. 16 SR 70 Jenkins LLC

Property Owner(s)

4801 PGA Boulevard

Street Address

Palm Beach Gardens, FL 33418

City State Zip

561-630-6110

Phone Number

Email Address

Kristen Ferretti (Owner's Agent) Corporate Property Services, Inc.
Applicant/Representative, Title, Company

1239 E. Newport Center Drive, Suite 113

Street Address

Deefield Beach, FL 33442

City State Zip


954-426-5144

Phone Number

kristen@corporaterpropertyservices.net //

Email Address melissa@corporaterpropertyservices.net

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Application (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.


Property Owner(s) Signature(s)

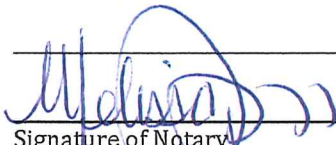
STATE OF FLORIDA -- COUNTY

The foregoing instrument was acknowledged before me this 3rd day of February, 2017, by

Kristen Ferretti

who is personally known to me or has produced

as identification.


Signature of Notary



TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic Districts	Historic Designation

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit _____

Intake Planner _____

Planner Assigned _____

Approved _____ Date _____

Comments _____

Intake Date Stamp

Design Review Application Checklist

(City Code of Ordinances 22-59)

Submittal for Administrative Approval

- a. A survey (1" = 30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of section 22-194, location of bordering streets and, if applicable, wetlands and beaches.
- b. A site analysis study to include a discussion of specimen trees and other natural vegetation, access, significant topography, wetlands, buffers, setbacks, views, orientation, the surrounding built environment and other site features that may influence design elements.
- c. A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis study results.
- d. Context photographs of neighboring uses and architectural styles.
- e. Photographs and/or drawings of architectural buildings or objects that serve as a precedent for the proposed building design. Models should be taken from local exemplary buildings, either existing or demolished. Documentation of such buildings is available in the city's planning department.
- f. Photographs of all existing structures located on the property. If existing structures on the property are more than fifty (50) years of age, documentation of these structures with data from the Florida Master Site File form is also required.
- g. Conceptual site plan (to scale) showing proposed location of all buildings, structures, parking areas, signs and landscaping.
- h. Landscape plan, at the same scale as the site plan. The planning director or designee may request enlarged plans of detailed planting areas. Planting schedule with sizes of proposed plantings must be included.
- i. Accurate color rendering of proposed signs showing dimensions, type of lettering, materials and actual color samples that demonstrates cohesiveness with the project design.
- j. Exterior elevations showing architectural character, external architectural features and streetscape of the proposed development, including materials, colors, shadow lines and landscaping. The street elevation shall encompass the entire proposed project and generally identify the major elements of the adjacent two (2) properties on either side of the site. If the adjacent properties are vacant or underutilized, a diagram shall be provided that identifies the mass and form that is allowable under current zoning. If the street elevation must be drawn at such a scale as to render architectural details of the building unreadable, drawings of individual buildings at a larger scale should be provided as well.
- k. Design review concurrent with conceptual development plan procedure according to subsection 22-58(e) is also available.

Submittal for Board Approval

- a. A written narrative describing how the project conforms to administrative approval and design review guidelines of this section.
- b. A final site plan meeting the requirements of section 22-58
- c. A final site lighting plan that meets the requirements of subsection 22-58(d)(8).
- d. A final landscape plan that meets the requirements of Article XII, Landscaping and Trees.
- e. Final floor plans and elevation drawings (1/8" = 1'-0" minimum scale), as detailed under administrative approval, showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- f. A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

CORPORATE PROPERTY SERVICES, INC.

1239 E. NEWPORT CENTER DRIVE • SUITE 113 • DEERFIELD BEACH, FLORIDA 33442

Project Description

CHICK-FIL-A FSU #3955

NE Quadrant of Jenkins Road & Okeechobee Road

Fort Pierce, FL 34947

The subject site is comprised of two contiguous, undeveloped parcels totaling 1.81 acres, located at NE Quadrant of Jenkins Road and Okeechobee Road in Fort Pierce. Both parcels are zoned General Commercial (C-3) and have a Future Land Use designation of General Commercial (GC). The Applicant, Chick-fil-A, Inc., has submitted applications for design review, development review (site plan), concurrency review, real property lot combination, and general address request to obtain the required approvals in order to construct a 4,989 square foot fast food restaurant with a drive-thru, indoor playground, and outdoor dining area. The proposed hours of operation are as follows: Monday - Saturday from 6:30 AM to 10:00 PM and closed on Sundays.

The overall site will be greatly improved in terms of how it functions and visually appears. The major components of the proposed improvements include:

- Chick-fil-A's elevations will improve aesthetics of site
- Landscaping will enhance the overall site and compliment neighboring businesses and the residential neighborhood
- Pedestrian friendly accessibility and outdoor dining area

Chick-fil-A has carefully considered the City of Fort Pierce's Zoning Ordinances when designing the proposed site plan. As you will note, the proposed plans comply with requirements outlined in Section 22-58, the proposed site lighting plan complies with Subsection 22-58(d)(8), and the proposed landscape plan meets the requirements of Article XII, Landscaping and Trees. The proposed architectural elevations are prototypical for a Chick-fil-A restaurant. Please see the accompanying color display board, which contains actual samples of all the proposed exterior finishes. Together with the dense landscaping, the proposed development will seamlessly blend with the existing uses and greatly improve the aesthetics of these undeveloped parcels along Okeechobee Road.

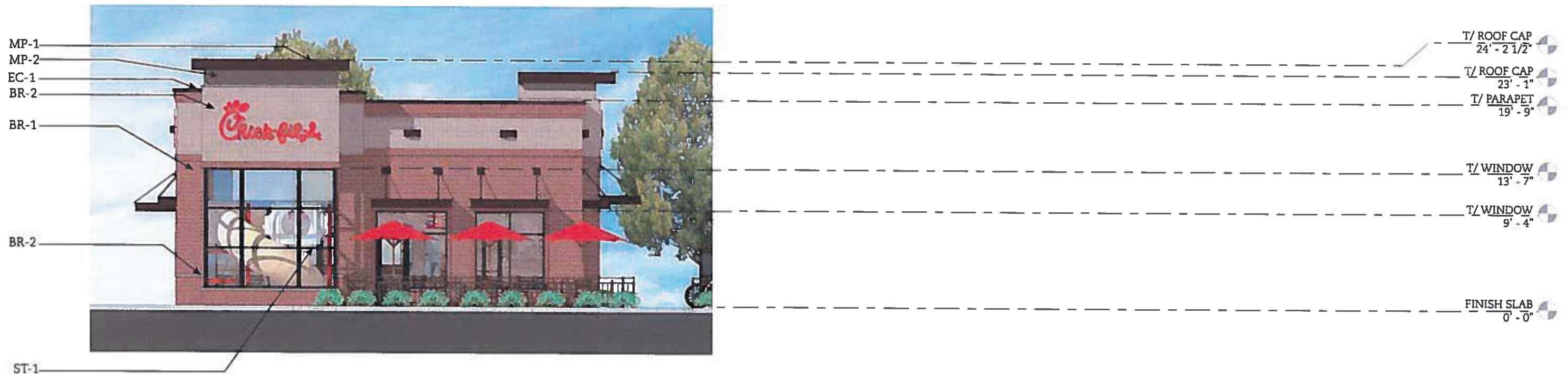
(954) 426-5144 • FAX (954) 570-3391
REGULATORY LAND USE CONSULTANT

CERTIFIED GENERAL CONTRACTOR

CGC 044277



Elevation - Entry



Elevation - Front

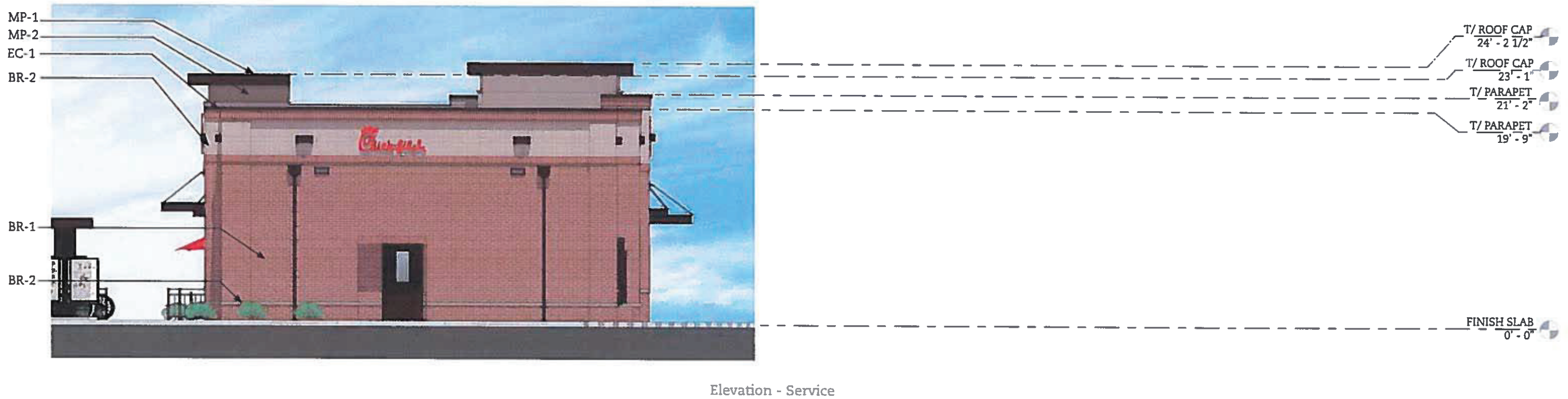
12/5/2016

03955, Fort Pierce FSU, Fort Pierce, FL, S08H-N-SQ-L, v7.015

Exterior Elevations

See Finish Schedule for more information





12/5/2016

03955, Fort Pierce FSU, Fort Pierce, FL, S08H-N-SQ-L, v7.015

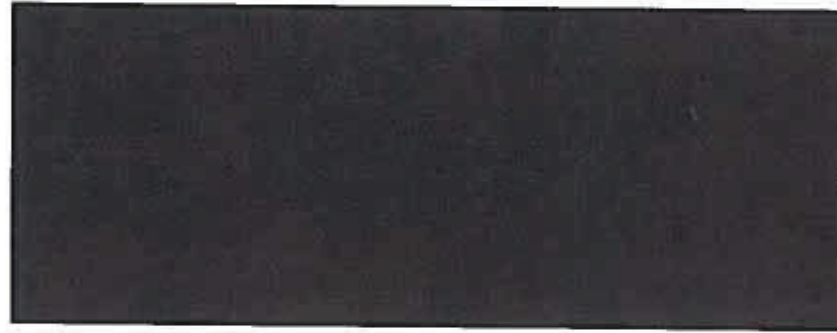
Exterior Elevations

See Finish Schedule for more information

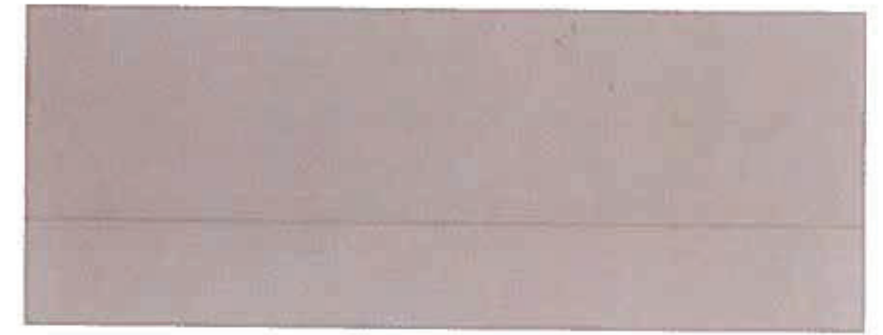




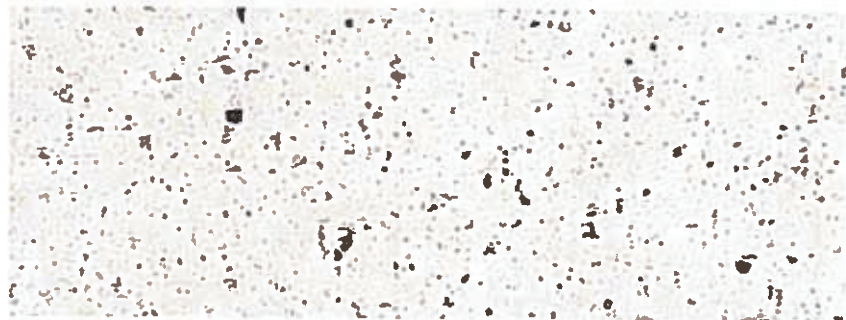
BR-1
Modular Size
General Shale - Red Velour



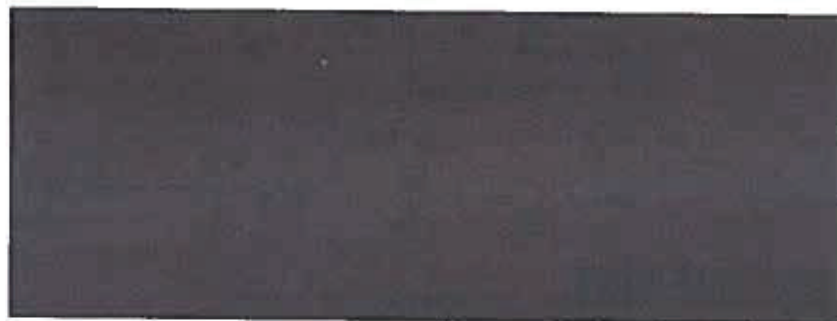
MP-1
Aluminum Fascia & Soffit
Durolast / Exceptional Metals
Color: Dark Bronze



MP-2
Aluminum Fascia
Durolast / Exceptional Metals
Color: Sierra Tan



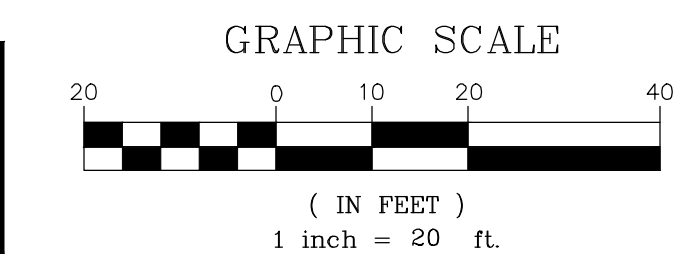
BR-2
Modular Size
General Shale - Silverstone



PT-9
Sherwin Williams - Sher-Cry High Performance
Acrylic #B66-350
Color: Dark Bronze (Semi-Gloss)



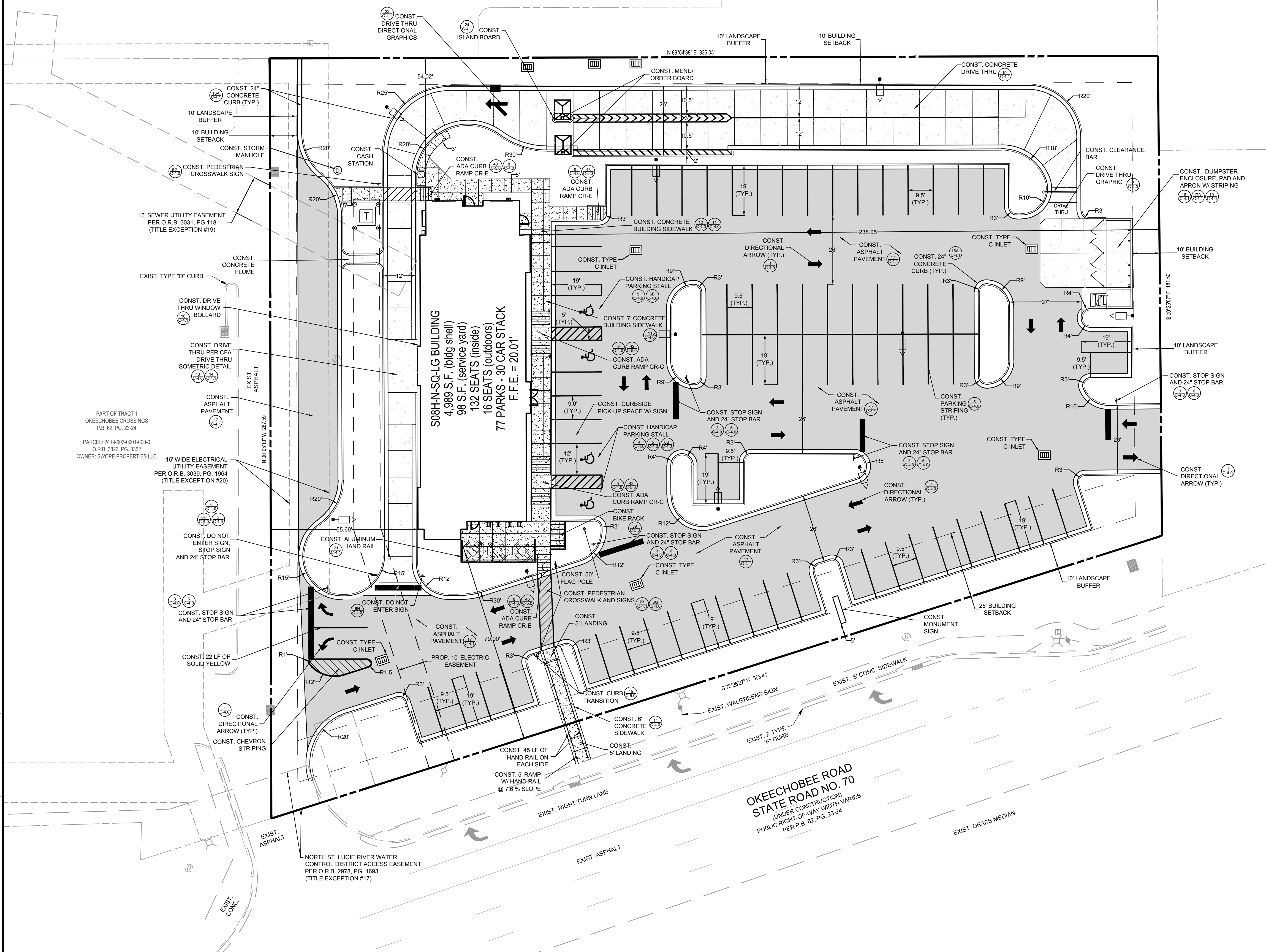
ST-1 Storefront
YKK - Yes 45
Color: Dark Bronze Anodized (Matte)



PART OF TRACT 3
OKEECHOBEE CROSSINGS
P.B. 62, PG. 23-24
PARCEL: 2419-603-0003-000-4
O.R.B. 2582, PG. 2467
OWNER: NNN1031 NO. 16 SR 70 JENKINS LLC

TRACT 4
OKEECHOBEE CROSSINGS
P.B. 62, PG. 23-24

PARCEL: 2419-603-0004-000-1
O.R.B. 2382, PG. 2487
OWNER: NNN1031 NO. 16 SR 70 JENKINS LLC



LEGEND

PROPERTY LINE	EX. TYPE "F" CURB & GUTTER
PROP. ASPHALT DRIVE	EX. EDGE OF PAVEMENT
PROP. CONC. SIDEWALK	EX. EDGE OF SIDEWALK
PROP. CONC. DRIVE	EX. SIGN
PROP. DUMPSTER PAD	EX. DRAINAGE STRUCTURE
SETBACK/BUFFER LINE	EX. STORM MANHOLE
PROP. TYPE "F" CURB	EX. POWER POLE
PROP. LIGHT POLE	EX. ELECTRIC HAND HOLE
	EX. MONITOR WELL
	EX. IRRIGATION CONTROL VALVE
	EX. TRAFFIC SIGNAL HAND HOLE

SITE CALCULATIONS

AREA	SF	ACRES	%
TOTAL SITE AREA	78,953 SF	(1.81 A.C.)	(100%)
OPEN SPACE AREA	19,021 SF	(0.44 A.C.)	(24%)
TOTAL IMPERVIOUS AREA	59,932 SF	(1.37 A.C.)	(76%)

PARKING CALCULATIONS

USE	AREA	RATIO	REQUIRED SPACES
BUILDING AREA	4,989 SF	1/75 SF NET	67
TOTAL PARKING REQUIRED			67
TOTAL PARKING PROVIDED			77

BUILDING SETBACKS

SETBACKS	REQUIRED	PROVIDED
FRONT (SOUTH)	25'	79.00'
LEFT SIDE (WEST)	10'	55.69'
RIGHT SIDE (EAST)	10'	238.05'
REAR (NORTH)	10'	54.02'

SITE SUMMARY

ZONING	C-3 - GENERAL COMMERCIAL
FLU	GC - GENERAL COMMERCIAL
USE	RESTAURANT W/DRIVE THRU
TYPE OF CONSTRUCTION	COMMERCIAL
LOT	
SIZE	1.81 ACRES
BUILDING	
SIZE	4,989 SF
HEIGHT	25'-0" ± 1-story
PARKING	
STALL SIZE	9.5' x 19' (90')
SPACES	77
HANDICAP SPACES	4
BIKE SPACES	4

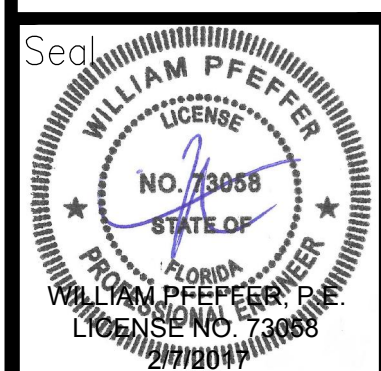


5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:
Mark Date By

Mark Date By

Mark Date By



Bowman CONSULTING
Central Florida Office: 1401 E. East Lake Okechobee Blvd., Suite 1400, Ft. Lauderdale, FL 33301
Phone: (954) 712-7482
www.bowmanconsulting.com
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STORE
FORT PIERCE
FORT PIERCE, FL
FSU #03955

NEQ OF JENKINS ROAD
AND OKEECHOBEE ROAD
FORT PIERCE, FL 34947

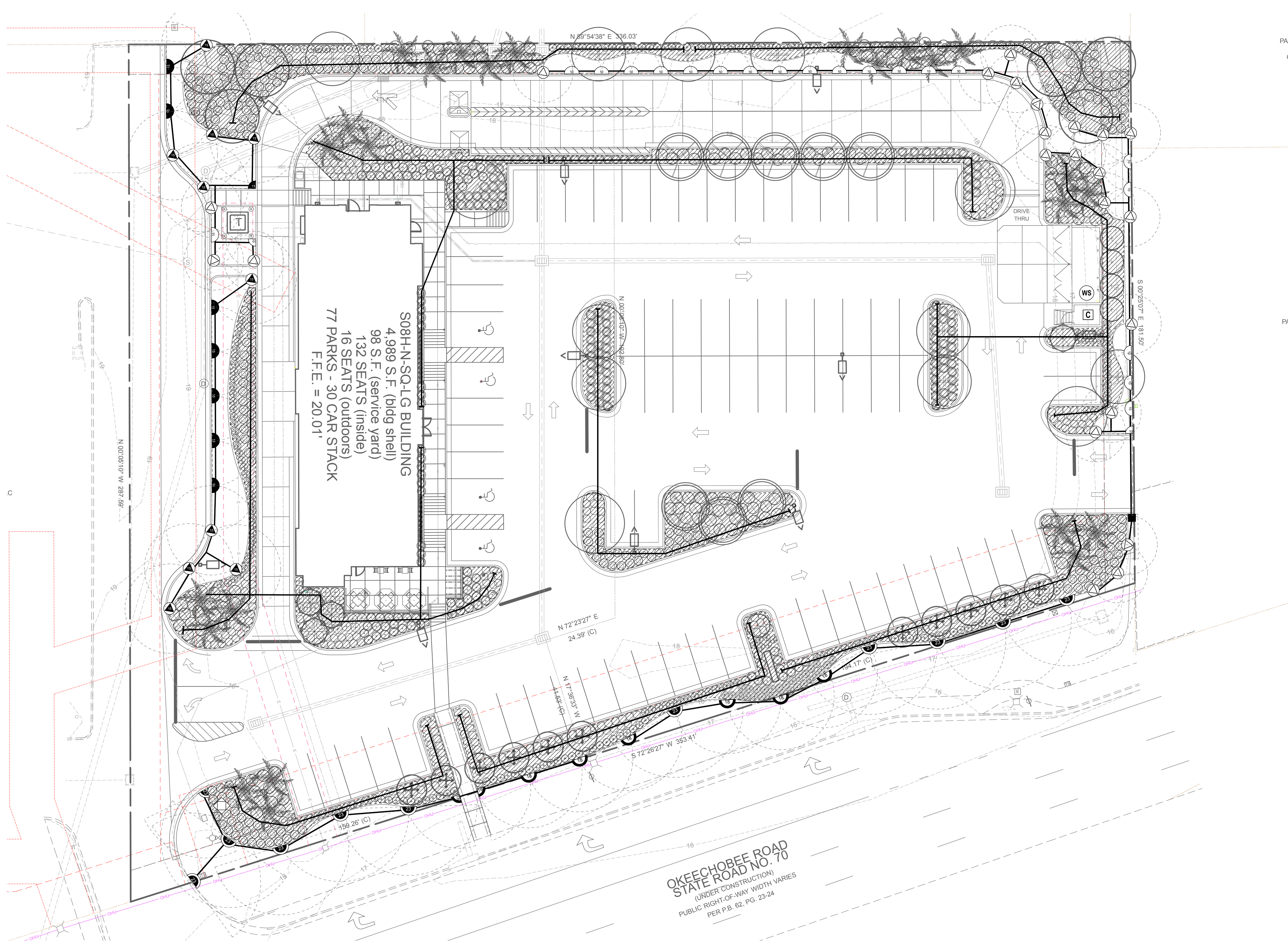
SHEET TITLE
SITE PLAN

VERSION: V7
ISSUE DATE: 06-2016

Job No.: 010014-01-046
Store : 03955
Date : 2/7/2017
Drawn By : J.B.
Checked By : J.T.

Sheet
C-2.0

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY BOWMAN CONSULTING SHALL BE WITHOUT LIABILITY TO BOWMAN CONSULTING.



IRRIGATION ZONES

SMART CONTROLLER					
1.....	12.81 GPM	6.....	18.90 GPM	11.....	4.31 GPM
2.....	11.10 GPM	7.....	17.77 GPM	12.....	DRIP
3.....	18.34 GPM	8.....	17.60 GPM	13.....	9.25 GPM
4.....	17.19 GPM	9.....	17.61 GPM	14.....	13.80 GPM
5.....	17.04 GPM	10.....	17.03 GPM	15.....	20.29 GPM

NOTE:
SEE SHEET L-2.1 FOR IRRIGATION DETAILS

IRRIGATION NOTES

1. Irrigation contractor to locate and protect all underground utilities prior to digging.
2. All valves to be located in valve box with cover at grade; Locate box in grass area when possible.
3. Automatic controller and weather sensor to be located in the storage room and trash enclosure respectively; Weather Sensor to be free from obstructions and exposed to the weather.
4. 45 psi. required per rotor station, 30 psi. required per spray station, and 40 psi. required per drip station. All spray and rotor bodies to have PRS (In-stem pressure regulation) as indicated in the legend.
5. Pressure regulator required by local code if static water pressure at point of connection for site is greater than 80 psi.
6. 4" - 6" SCH 40 PVC sleeves to be located as shown on drawing. Extend sleeve 18" beyond back of curb or pavement. Sleeves to be located and exposed by the general contractor prior to start of irrigation installation.
7. Pop-up height of spray heads to be as follows: 4" in Turf Zones, 12" in Shrub Zones, and 12" in Seasonal/color beds. Rotor height to be 4". MPR Rotor Nozzle size is indicated on drawing for each rotor.
8. All pipes, automatic valves, backflow preventor, manual valve and meter to be located within property lines. Shown outside on drawing for clarity only.
9. Irrigation meter and backflow preventor to be provided by the general contractor.
10. All 1.5" mainlines (class 200 PVC pipe) to have a minimum of 18" cover.
11. All lateral and sub-main pipe to have a minimum of 12" and a maximum of 18" cover.
12. No rocks, boulders, or other extraneous materials to be used in backfilling trenches.
13. All pipe, valves, drip, spray heads, rotors, controllers, and weather sensors to be installed as per manufacturers specifications. For any questions on Rainbird products or installation of rainbird products call Donn Mann 520-904-1146
14. All threaded joints to be coated with Teflon Tape or Liquid Teflon.
15. All lines to be thoroughly flushed before installation of sprinkler heads.
16. Must use products specified on this drawing, unless otherwise approved by the Landscape Architect.
17. Irrigation contractor shall provide an as-built drawing to the landscape architect; this drawing shall be overnighted within 24 hours of completion of installation.
18. Irrigation Contractor to perform a walk-thru inspection with the Store Operator of the functioning system prior to opening but no later than one week after opening.
19. Irrigation is to be installed as shown, unless otherwise approved by the Landscape Architect.

IRRIGATION LEGEND

M	1" IRRIGATION METER	PROVIDED BY THE GENERAL CONTRACTOR
S	1" MANUAL SHUTOFF VALVE	(1 REQUIRED)
BF	RPZ BACKFLOW PREVENTER	AS REQUIRED BY CITY
PR	1" PRESSURE REGULATOR	AS REQUIRED
EV	1" ELECTRICAL MASTER VALVE	(1 REQUIRED)
	LANDSCAPE DRIPLINE	RAINBIRD XFD-06-18
	SIDE STRIP SPRAY HEAD	RAINBIRD 1800-PRS-15SST
	END STRIP SPRAY HEAD	RAINBIRD 1800-PRS-15EST
	360 SPRAY HEAD - 10' RADIUS	RAINBIRD 1800-PRS-U10F
	180 SPRAY HEAD - 10' RADIUS	RAINBIRD 1800-PRS-U10H
	90 SPRAY HEAD - 10' RADIUS	RAINBIRD 1800-PRS-U10Q
	HIGH EFFICIENCY VARIABLE SPRAY HEAD	RAINBIRD 1800-PRS-HE-VAN-10
	HIGH EFFICIENCY VARIABLE SPRAY HEAD	RAINBIRD 1800-PRS-HE-VAN-15
	360 SPRAY HEAD - 15' RADIUS	RAINBIRD 1800-PRS-U15F
	270 SPRAY HEAD - 15' RADIUS	RAINBIRD 1800-PRS-U15TQ
	180 SPRAY HEAD - 15' RADIUS	RAINBIRD 1800-PRS-U15H
	90 SPRAY HEAD - 15' RADIUS	RAINBIRD 1800-PRS-U15Q
	360 ROTARY NOZZLE - 18" (regulated at 45psi)	RAINBIRD 1800-PRS-R13-18F
	180 ROTARY NOZZLE - 18" (regulated at 45psi)	RAINBIRD 1800-PRS-R13-18H
	VARIABLE ROTARY NOZZLE - 18" (regulated at 45psi)	RAINBIRD 1800-PRS-R-VAN-1318
	360 ROTARY NOZZLE - 23" (regulated at 45psi)	RAINBIRD 1800-PRS-R17-24F
	180 ROTARY NOZZLE - 23" (regulated at 45psi)	RAINBIRD 1800-PRS-R17-24H
	VARIABLE ROTARY NOZZLE - 23" (regulated at 45psi)	RAINBIRD 1800-PRS-R-VAN-1724
	360 MPR SERIES STREAM ROTOR	RAINBIRD 5000-MPR-F25/30/35 (as indicated at the head)
	180 MPR SERIES STREAM ROTOR	RAINBIRD 5000-MPR-H25/30/35 (as indicated at the head)
	90 MPR SERIES STREAM ROTOR	RAINBIRD 5000-MPR-Q25/30/35 (as indicated at the head)
	1" ELECTRIC VALVE	RAINBIRD 100-PGA
	1" DRIP CONTROL ZONE VALVE	RAINBIRD XGZ-PRB-100-COM
C	AUTOMATIC SMART CONTROLLER	RAINBIRD ESP-SMT
WS	WEATHER SENSOR	INCLUDED W/IT CONTROLLER
	CLASS 200 PVC IRRIGATION PIPE AND FITTINGS	1" pipe unless otherwise indicated on drawing; 1.5" mainline
	4" - 6" CLASS 200 PVC SLEEVE UNDER PAVEMENT	installation of sleeves by contractor in location as shown on plan; size as indicated

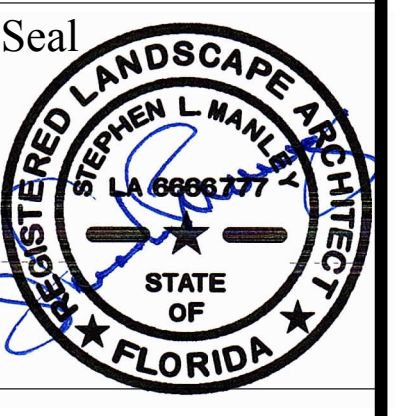
Irrigation contractor shall provide an as built drawing to the landscape architect. This drawing shall be overnighted to Manley Land Design, Inc within 24 hours of completion of installation.
Irrigation Contractor to perform a walk-thru inspection with the Store Operator of the functioning system prior to opening but no later than one week after opening.



5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:

Mark	Date	By
△		
△		
△		



770.442.8171 tel
770.442.1123 fax
Manley Land Design, Inc.
51 Old Canton Street
Alpharetta, Georgia 30009
manleylanddesign.com

STORE
Fort Pierce

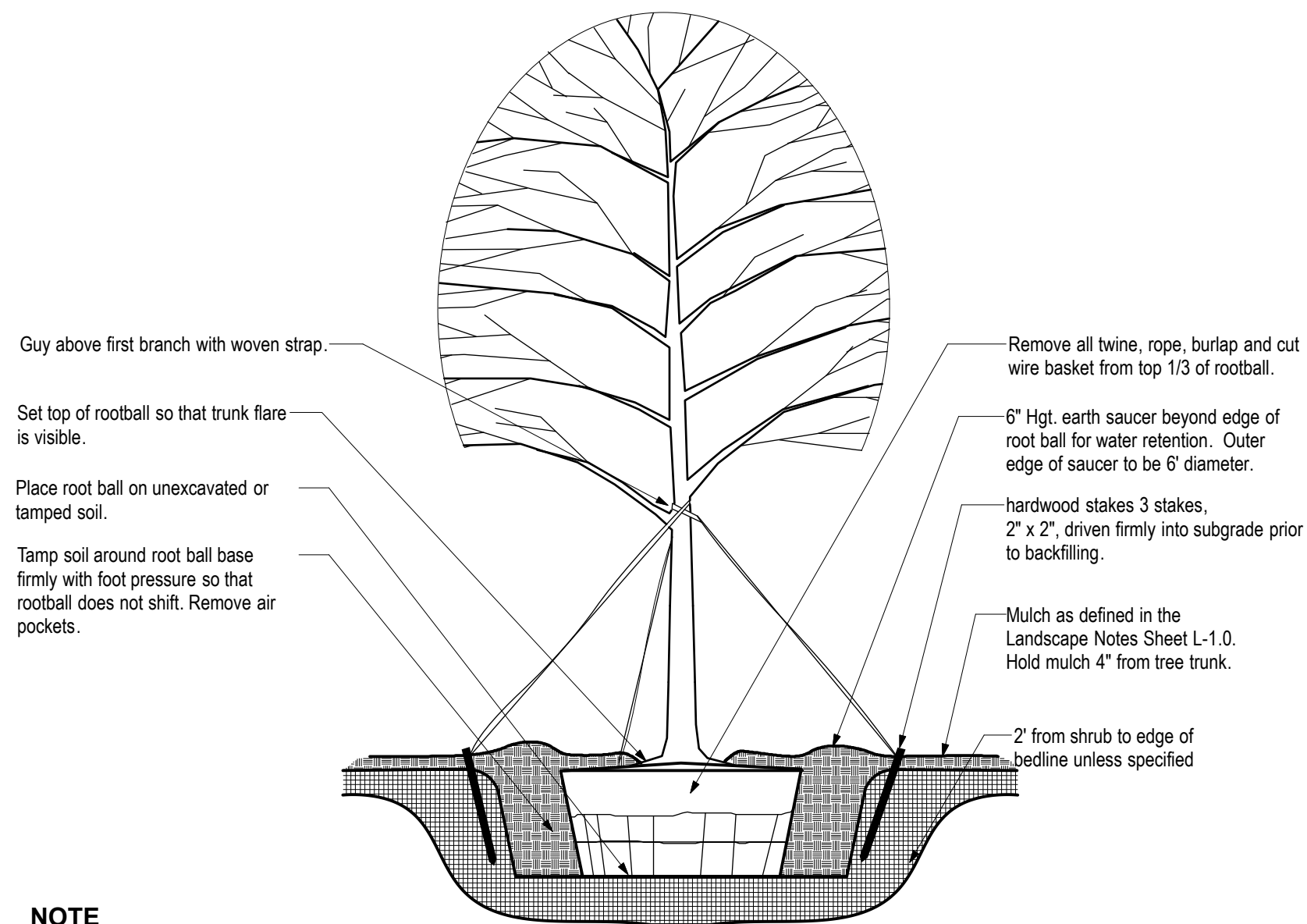
Jenkins Road & Okeechobee Rd
Fort Pierce, FL

SHEET TITLE
Irrigation Plan

VERSION:
ISSUE DATE:

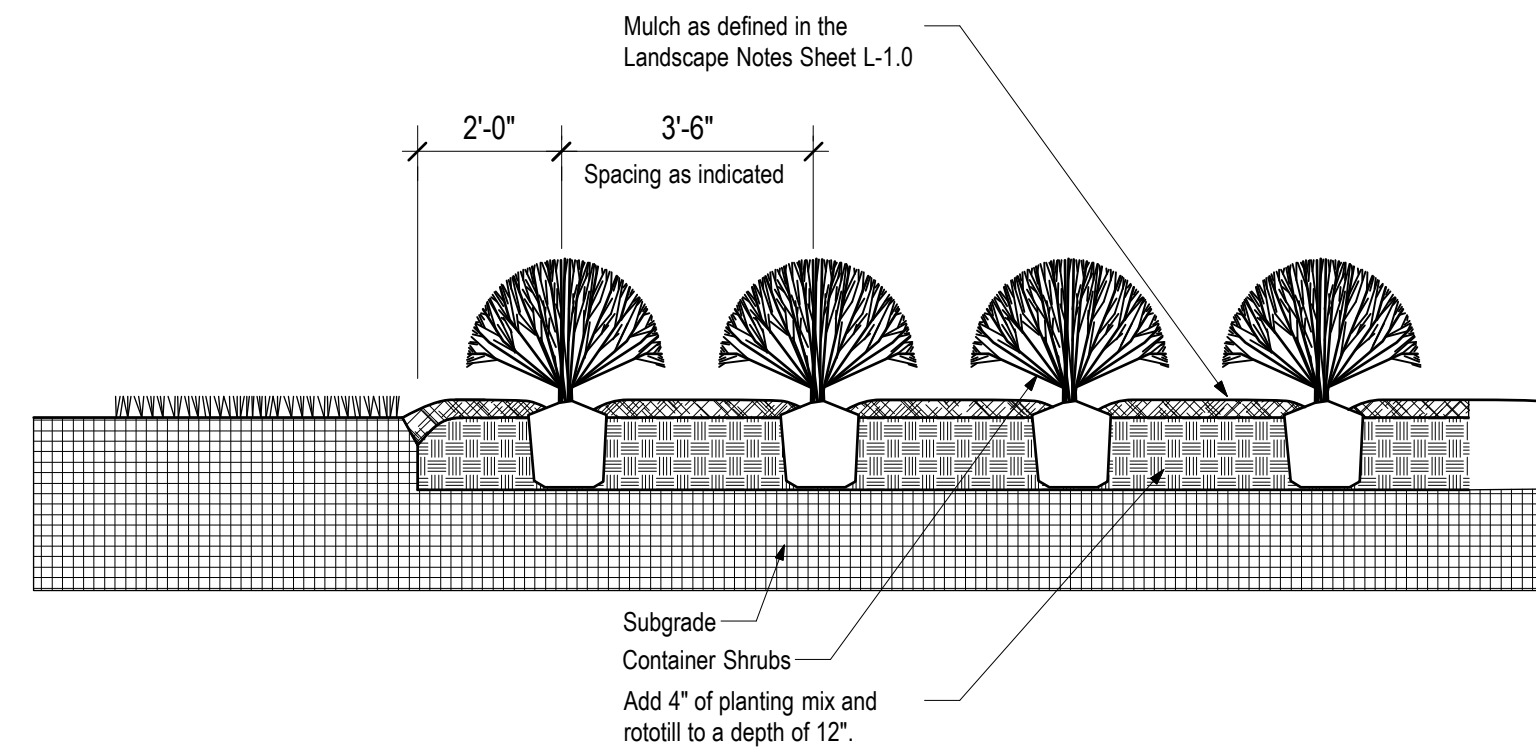
Job No. : 2017001
Store : 3955
Date : 1.23.17
Drawn By : ADN
Checked By: SLM

Sheet
L-2.0

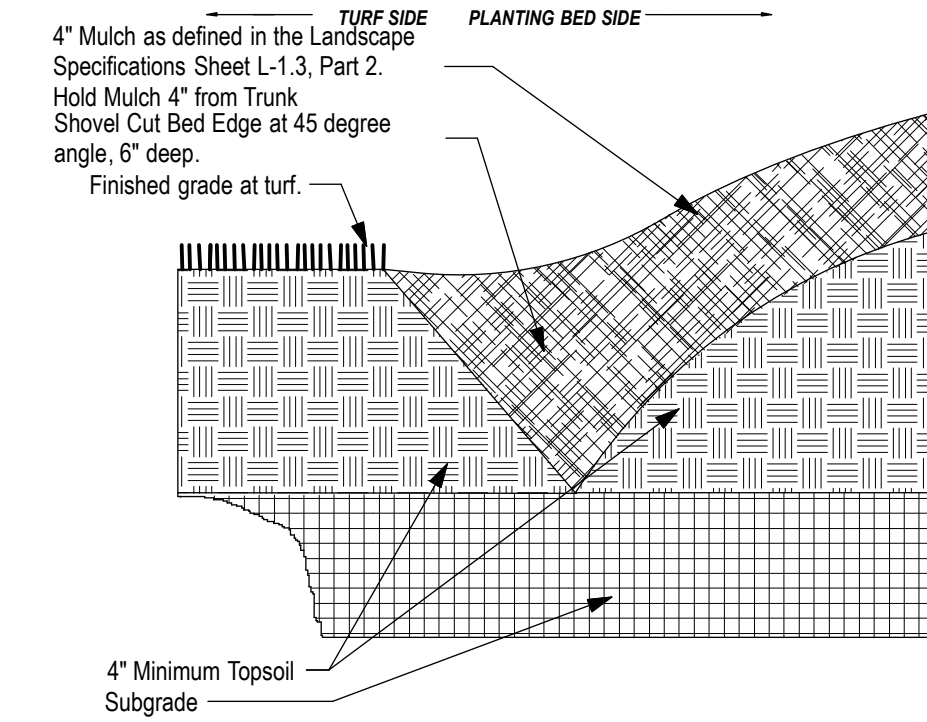


- NOTE**
- Hole to be twice the size of the rootball.
 - Do not heavily prune the tree at planting. Prune only crossover limbs and broken or dead branches; Do not remove the terminal buds of branches that extend to the edge of the crown.
 - Each tree must be planted such that the trunk flare is visible at the top of the root ball. Trees where the trunk flare is not visible shall be rejected. Do not cover the top of the rootball with soil or mulch.

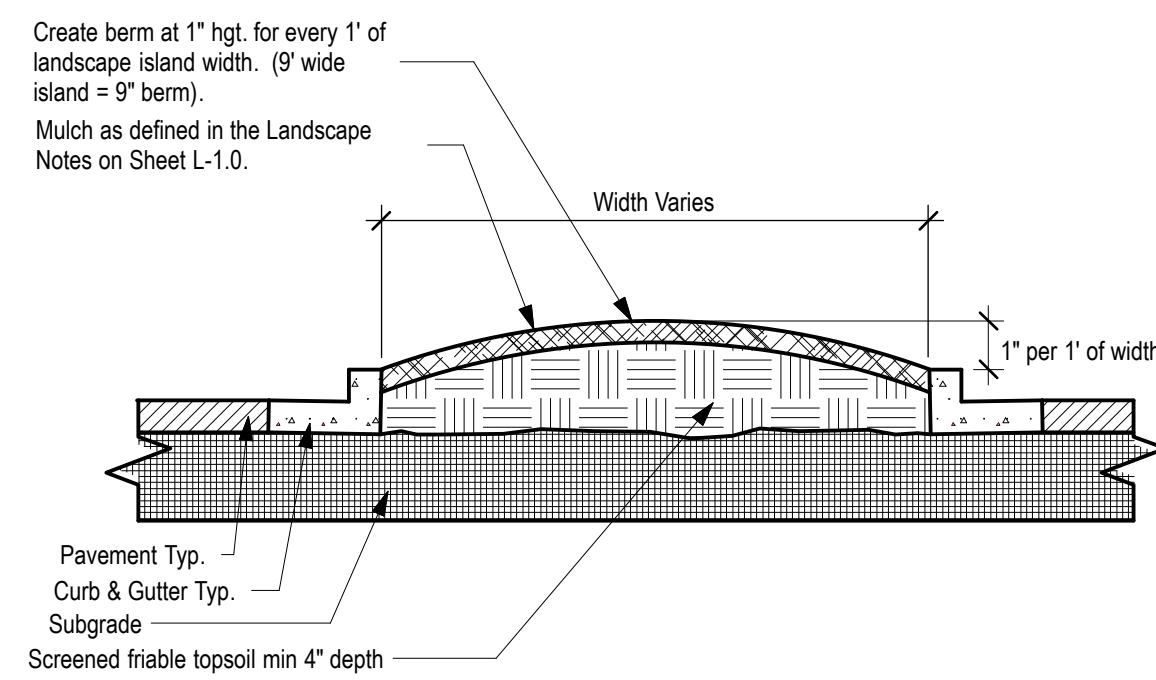
1 TREE PLANTING & STAKING
SCALE: NTS



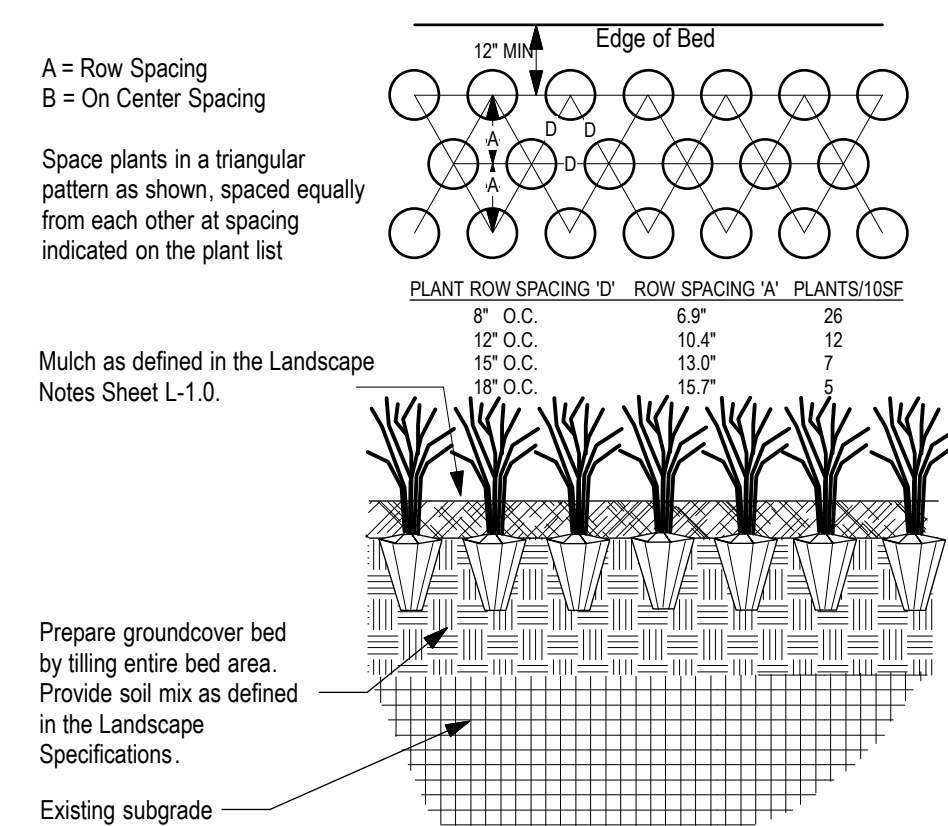
2 SHRUB BED PLANTING DETAIL
SCALE: NTS



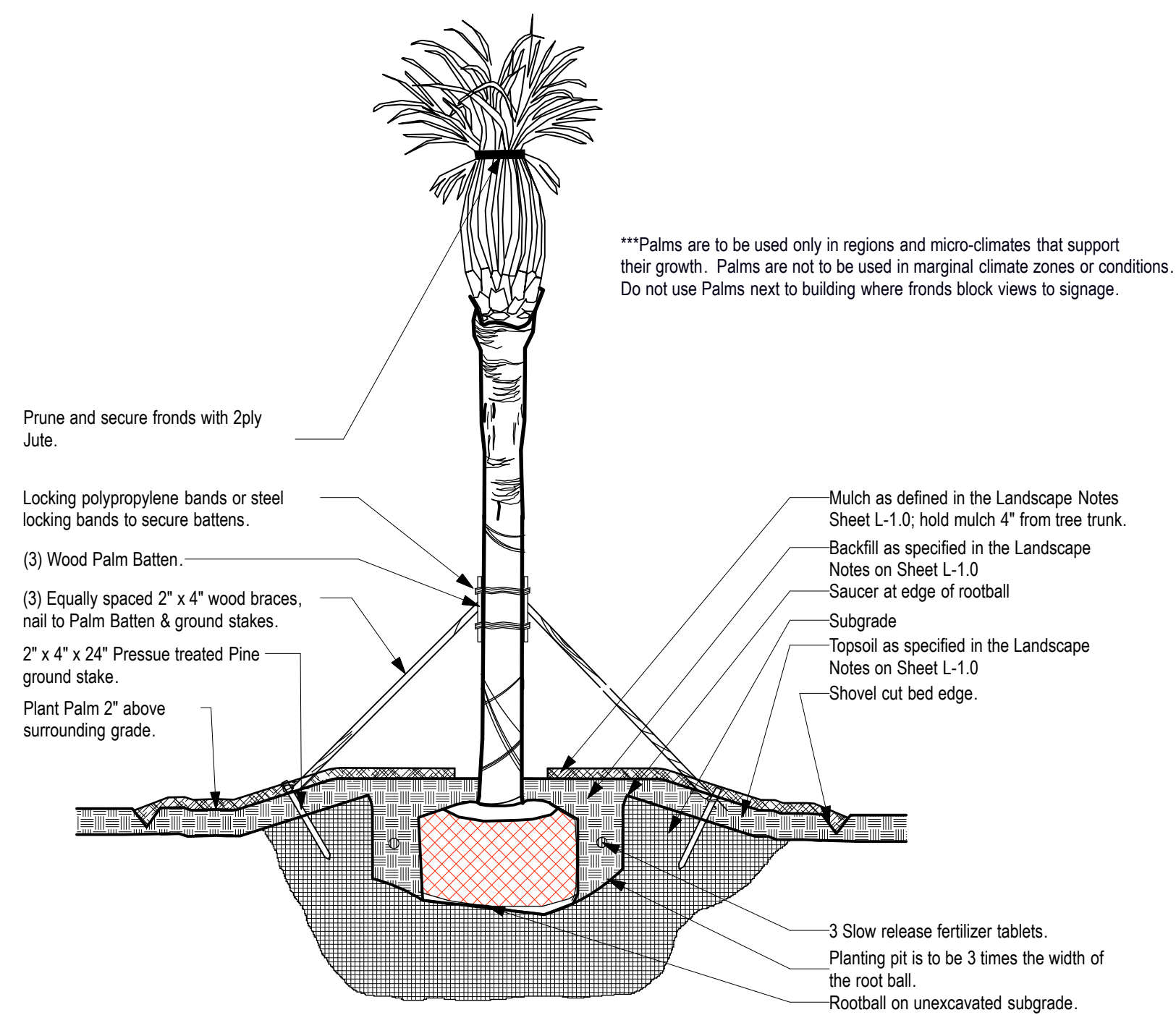
3 "V" TRENCH BED EDGING
SCALE: NTS



4 PARKING ISLAND DETAIL
SCALE: NTS



5 GROUNDCOVER PLANTING DETAIL
SCALE: NTS



6 PALM PLANTING & STAKING DETAIL
SCALE: NTS



Chick-fil-A
5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:

Mark Date By

△

Mark Date By

△

Mark Date By

△



770.442.8171 tel
770.442.1123 fax

Manley Land Design, Inc.
51 Old Canton Street
Alpharetta, Georgia 30009
manleylanddesign.com

STORE
Fort Pierce

Jenkins Road &
Okeechobee Rd
Fort Pierce, FL

SHEET TITLE
Landscape Details

VERSION:
ISSUE DATE:

Job No. : 2017001

Store : 3955

Date : 1.23.17

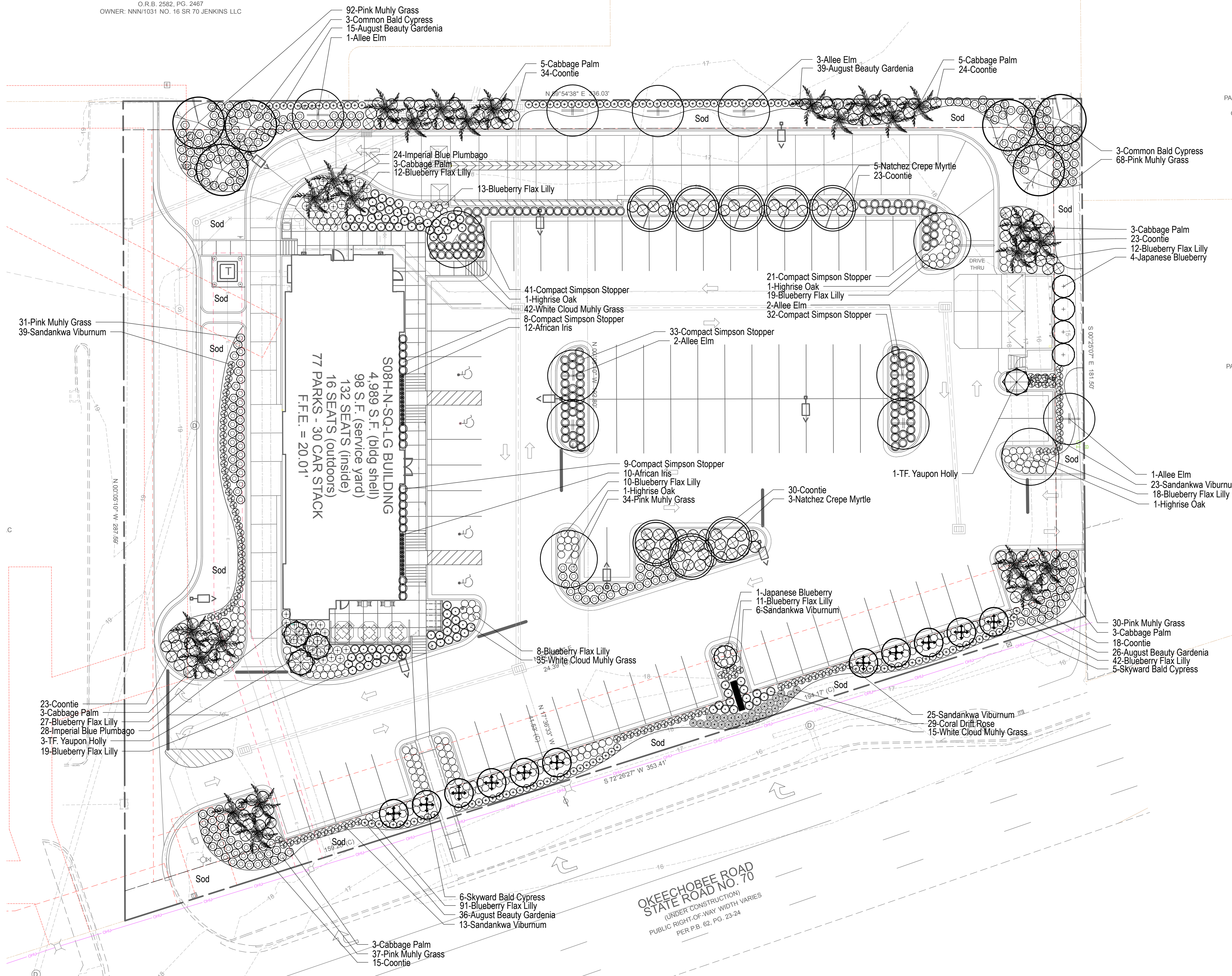
Drawn By : ADN

Checked By: SLM

Sheet

L-1.1

PARCEL: 2419-603-0003-000-4
O.R.B. 2582, PG. 2467
OWNER: NNN1031 NO. 16 SR 70 JENKINS LLC



LANDSCAPE NOTES

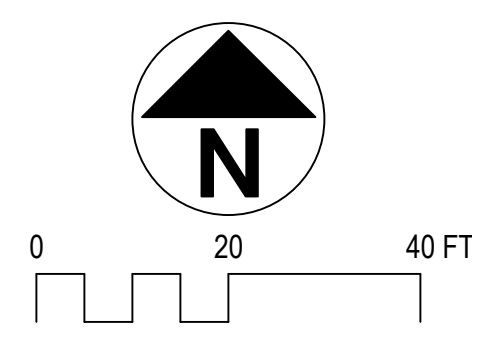
- Contractor responsible for locating and protecting all underground utilities prior to digging.
- Contractor responsible for protecting existing trees from damage during construction.
- All shrubs beds (existing and new) to be mulched with a 3 inch minimum layer of double shredded hardwood mulch.
- All annual and perennial beds to be filled to a minimum depth of 12 inches and amended with 4 inches of organic material. Much planted annual and perennial beds with 2 inch depth of mini nuggets.
- Planting holes to be dug a minimum of twice the width of the size of the root ball of both shrub and tree. Back to be a mix of 4 parts topsoil and 1 part organic soil conditioner (ie. Nature's Helper or Pro Mix). Backfill and tamp bottom of hole prior to planting so top of root ball does not settle below surrounding grade.
- Existing grass in proposed planting areas to be killed and removed and area to be hand raked to remove all rocks and debris larger than 1 inch in diameter prior to planting shrubs.
- Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tire marks and indentions to be repaired.
- Soil to be tested to determine fertilizer and lime requirements and distributed prior to laying sod.
- Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod is to be "V" trenched.
- All changes to design or plant substitutions are to be authorized by the Landscape Architect.
- All landscaping shall be installed in conformance with ANSI Z60.1 the "American Standard for Nursery Stock" and the accepted standards of the American Association of Nurserymen.
- The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism.
- Any plant that is determined dead, in an unhealthy or unsightly condition, lost its shape due to dead branches or other symptoms of poor, non-vigorous growth shall be replaced by the Landscape Contractor.
- General Contractor is responsible for adding a min of 4" of clean friable topsoil in all planting beds and all grassed areas. Graded areas to be held down the appropriate elevation to account for topsoil. See specifications for required topsoil characteristics.
- General Contractor to mound all parking islands 6" - 10" w/lt clean friable topsoil.
- Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by General Contractor and observe the site conditions under which the work is to be done. Notify General Contractor of any unsatisfactory conditions, and work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
- Stake all evergreen and deciduous trees as shown in the details this sheet.
- Remove all stakes and guying from all trees after one year from planting.
- Water thoroughly twice in first 24 hours and apply mulch immediately.
- Site to be 100% irrigated in all planting beds and grass area by an automatic underground irrigation system. See Irrigation Plan 1.2.0 for design.
- All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
- All tree protection areas to be protected from sedimentation.
- All tree protection fencing to be inspected daily, and repaired or replaced as needed.
- No parking, storage or other construction activities are to occur within tree protection areas.

PLANT LIST

Qty	Botanical Name	Common Name	Scheduled Size	Remarks
Trees				
5	Elaeocarpus decipiens	Japanese Blueberry	12' Hgt	B & B; Full To Ground
4	Ilex Vomitoria	Tree Form Yaupon Holly	12' Hgt	B & B; Multi-trunked
8	Lagerstroemia indica 'Natchez'	Natchez Crepe Myrtle	12' Hgt	B & B; Multi-trunked
4	Quercus virginiana 'QV71A'	Highrise Oak	2.5' Dia; 12' Hgt	B & B; 5' CT
25	Sabal palmetto	Cabbage Palm	10'-14' CT	CT as shown
6	Taxodium distichum	Common Bald Cypress	2.5' Dia; 12' Hgt	B & B; 5' CT
11	Taxodium distichum 'Skyward'	Lindsey's Skyward Bald Cypress	2.5' Dia; 12' Hgt	B & B; 5' CT
9	Ulmus parvifolia 'Allee'	Allee Elm	2.5' Dia; 12' Hgt	B & B; 5' CT
Shrubs				
116	Gardenia jasminoides 'August Beauty'	August Beauty Gardenia	Min. 24" Hgt.	Min. 24" OC.
292	Muhlenbergia capillaris	Pink Muhly Grass	3 Gal.	
92	Muhlenbergia capillaris 'White Cloud'	White Cloud Muhly Grass	3 Gal.	
144	Myricanthos fragrans 'Compacta'	Compact Simpson Stopper	3 Gal.	
52	Plumbago auriculata 'Imperial Blue'	Imperial Blue Plumbago	3 Gal.	
106	Viburnum suspensum	Sandankwa Viburnum	Min. 24" Hgt.	Min. 24" OC.
190	Zamia pumila	Coontie	3 Gal.	
Groundcovers				
282	Dianella tasmanica	Blueberry Flax Lilly	1 Gal.	
22	Dietes iridioides	African Iris	1 Gal.	
29	Rosa 'Meijoccos'	Coral Drift Rose	3 Gal.	

LANDSCAPE REQUIREMENTS

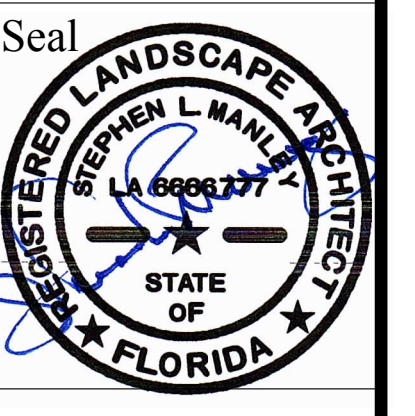
- a. LANDSCAPE STRIPS**
- REQUIRED**
- A min. 10' landscape strip is required when the VUA abuts a ROW.
 - 1 tree per 300 SF of required landscape area; A continuous hedge is also required.
Okeechobee Rd: 331' x 10' = 3310 SF / 300 = 11 Trees
 - A min. 10' landscape is required when the VUA abuts other property.
 - 1 tree per 200 SF of required landscape area
West: joint drive (no strip required) = 17 Trees
North: 336' x 10' = 3360 SF / 200 = 17 Trees
East: 154' x 10' = 1540 SF / 200 = 8 Trees
- PROVIDED**
- 10' landscape strip provided
 - Okeechobee Rd: (powerlines present) 11 Skyward Bald Cypress
 - 10' landscape strip provided
 - North: (17 total trees) 3 Bald Cypress, 4 Elm, 10 Palm
East: (8 total trees) 3 Bald Cypress, 4 Japanese Blueberry, 1 Elm
- b. INTERIOR LANDSCAPE**
- REQUIRED**
- A min. 1 SF of interior landscape area is required per 15 SF of VUA.
50,373 SF (VUA) / 15 SF = 3,358 SF
 - Parking islands min. 100 SF
 - 1 tree per 100 SF of required landscape area
3,358 SF / 100 = 34 Trees
- PROVIDED**
- 11,205 SF provided
 - Parking island meet size requirement
 - 36 total parking lot trees: 4 Elm, 4 Oak, 15 Palm, 5 TF Yaupon Holly, 8 Crepe Myrtle



Chick-fil-A
5200 Buffington Rd.
Atlanta, Georgia
30349-2998

Revisions:

Mark	Date	By
△		
△		
△		
△		



770.442.8171 tel
770.442.1123 fax
Manley Land Design, Inc.
51 Old Canton Street
Alpharetta, Georgia 30009
manleylanddesign.com

STORE
Fort Pierce

Jenkins Road &
Okeechobee Rd
Fort Pierce, FL

SHEET TITLE
Landscape Plan

VERSION:
ISSUE DATE:

Job No. : 2017001
Store : 3955
Date : 1.23.17
Drawn By : ADN
Checked By: SLM

Sheet

L-1.0



CITY OF FORT PIERCE TECHNICAL REVIEW COMMITTEE

Minutes

OF THE SPECIAL MEETING OF THE CITY OF FORT PIERCE TECHNICAL REVIEW COMMITTEE HELD ON THURSDAY, MARCH 2, 2017, IN THE FORT PIERCE COMMISSION CHAMBERS, 100 NORTH US HIGHWAY 1, FORT PIERCE, FLORIDA.

V. New Business:

A. Site Plan - Chick-Fil-A – 5560 Okeechobee Road

Mr. Benton: The subject site plan and design review request is being filed to develop a Chick-Fil-A off Okeechobee Road immediately east of Walgreens; the approximate location is 5560 Okeechobee Road. We are finalizing the address assignment for the location. There are two parcels being combined for the development of a 4,900 square feet restaurant and drive thru establishment.

FP Planning:

1. The provided survey and landscape plan does not identify any trees larger than 12-14” on-site, however our aerial suggests that one, or possibly two, trees are present within the scope of the development. Please advise whether these trees would be impacted, and if so how they would be addressed (preservation, mitigation, etc.)
2. The provided sign plans appear to demonstrate an outparcel sign, to include a directional sign for chick-fil-a, that may be located outside of private property. Please review and update the proposed location of this sign accordingly.

Advisory Notes or Inquiries:

- Could the “bus” parking lane provide dual use potential for food/truck deliveries?
- Is there need or interest in an emergency “outlet” from the drive-thru lane which may be possible via the previously planned cross-access connection?

FP Engineering:

On sheet C-1.0 update the Storm Drainage contact information to include an address of 100 North US 1, phone number of 772-467-3773, and an email address of jandrews@cityftpierce.com.

ADVISORY COMMENTS:

1. The project will be constructed on Tract 2 and Tract 5; prior to issuance of a Site Work

- Permit a recorded Unity of Title will be required.
2. The drainage plan is conceptual at this point and will be reviewed in depth at the time of application for a Site Work permit. It was noticed that the on-site storm sewer is proposed to be comprised of HOPE; please revise the plans to indicate that all on-site storm sewers be fabricated of aluminum or RCP in accordance with the requirements specified in the City of Fort Pierce Code of Ordinances Section 17-28(b).
 3. The applicant shall be made aware that an FOOT Drainage Connection permit and a SFWMD Permit Modification will be required at time of application for Site Work Permit.

SLC Engineering: Please provide a copy of the Traffic Report that shows the projected traffic volume on the driveway along Jenkins Road.

SLC Planning: We concur with Ft. Pierce moving the monument signage along Jenkins Road out of the right-of-way and on to the property. It appears the monument signs will be encased with masonry and block work to provide a nice looking architectural appearance without exposed metal going all the way around.

The signage on Okeechobee should be clearer and just say Chick-Fil-A and reserve the panel for the out parcel if needed. Everyone knows Chick-Fil-A is closed on Sunday and there is no need for a changeable message board. The message boards are typically not aesthetically pleasing and it would be nice to have a cleaner look along the right-of-way.

FPUA Water/Wastewater: Both water and wastewater is available for this property. Final approval is contingent upon full utility plan approval.

Bill Pfeffer- Bowman Consulting, Civil Engineering Design Consultant: The comments are very straight forward and there is nothing in there we can't address.

SLC Transit e-mailed the following comments: SLC operates a fixed-route bus route along the road frontage of the subject property. The County already has a bus stop at the Walmart, 0.25 miles east of the proposed Chick-fil-a site so no additional transit infrastructure or easements will be required.

The following departments had no comments at the meeting: FP Police, FPUA Electric, FP Public Works, SLC Fire District and FP Building. FP Code submitted a review with no comments.

Planning Board

7.b.

Meeting Date: 03/14/2017

Information

REQUESTED ACTION

Conditional Use - Bradley Dwelling Rental - 408 S. Ocean Drive, Unit B

LOCATION

408 S. Ocean Drive, Unit B

RESPONSIBLE STAFF

Vennis Gilmore, Planning Analyst

RECOMMENDATION

Approved with the following conditions:

- 1) The applicant identifies the maximum occupancy of the unit, ensuring compliance with City Code Section 8.5-43. - Required space in dwelling units, based upon the size of each unit;
- 2) Registration of the property manager accessible at all times, to resolve complaints or violations of City Code;
- 3) Issuance of guide booklets for renters regarding local rules and public service resources to minimize conflicts;
- 4) Installation of one (1) handicap space per City Code Section 22-60 Off-Street Parking and Loading;
- 5) Installation of a bicycle rack (two (2) - space minimum) for guests per City Code Section 22-60 Off-Street Parking and Loading; and
- 5) The applicant files for and obtains St. Lucie County & City of Fort Pierce Business Tax Licenses within fourteen (14) days of Conditional Use approval.

Attachments

Staff Report

Application Packet

Aerial & Zoning Maps

TRC Comments

Applicant Responses to TRC Comments

Property Record Card

Form Review

Form Started By: Vennis Gilmore

Started On: 03/03/2017 12:34 PM

Final Approval Date: 03/07/2017



TO: Members of the City of Fort Pierce Planning Board

THROUGH: Rebecca Grohall, AICP, Planning Director

FROM: Vennis Gilmore, Planning Analyst

RE: **Application for Conditional Use
 Bradley Dwelling Rental
 408 S. Ocean Drive, Unit B**

DATE: March 2, 2017

STAFF REPORT

Owner: Bradley Beach Holdings LLC, C/O Daniel and Leslie Bradley
 10557 Bermuda Isle Drive
 Tampa, FL. 33647

Applicant: Joanne Albarelli
 408 S. Ocean Drive, Unit A
 Fort Pierce, FL. 34949

Applicant's Request: Approval of a Conditional Use to operate a Dwelling Rental, offering lodging for less than six months. The identified minimum rental period is identified as one (1) week.

Location: 408 S. Ocean Drive, Unit B

Parcel ID: 2401-502-0004-020-2

Current Zoning: Hutchinson Island Medium Density Residential Zone (R-4A)

Future Land Use: Hutchinson Island Residential (HIR)

Surrounding Zoning:

North	East	South	West
R-4A	Beach/A-2	R-4A	C-5

Site Size: .02 acres

Utilities: FPUA

Staff Analysis:

Request

In accordance with Sections 22-22, and 22-76 of the City Code, the applicant is requesting the review and approval of a Conditional Use to operate a Dwelling Rental at 408 S. Ocean Drive, Unit B, offering transient lodging of a minimum of one (1) week to guests. The subject two-story townhome has a finished floor area of 1,248 square feet, containing two (2) bedrooms, one and a half (1.5) bathrooms and traditional support rooms. Attached open porches and a wood deck supplement this residential structure. The subject unit is one of four attached townhomes. The property is zoned Hutchinson Island Medium Density Residential Zone (R-4A).

The property is located near the southeast corner of S. Ocean Drive and Avalon Avenue. The site is surrounded by vacant property to the north and south, a restaurant to the west and the Atlantic Ocean to the east. This site features a primary driveway entrance from S. Ocean Drive. A ten foot wide sidewalk extends along S. Ocean Drive.

Dwelling Rentals

Pursuant to City Code Section 22-3. - Definitions—Generally, the rental of any dwelling unit for less than six (6) months, is classified as a “Dwelling rental (dwelling unit)”, and defined as follows: One or more rooms connected together in a building, constituting a separate, independent housekeeping establishment, other than a motel/hotel, for purposes of rental on a daily, weekly or longer basis, though less than what is otherwise provided for a dwelling, physically separated from any other rooms or dwelling units which may be in the building, and containing sleeping and sanitary facilities and one kitchen.

The State of Florida provides further classification if a dwelling is rented for periods of less than thirty (30) days, declaring the use a “Vacation rental”, and defined such use as any unit or group of units in a condominium or cooperative or any individually or collectively owned single-family, two-family, three-family, or four-family house or dwelling unit that is also a transient public lodging establishment but that is not a timeshare project, which is rented to guests more than three times in a calendar year for periods of less than 30 days or 1 calendar month, whichever is less, or which is advertised or held out to the public as a place regularly rented to guests.

A dwelling rental, as locally defined, is also a Vacation Rental if the duration of stays are less than thirty (30) days. The rental of a dwelling for periods greater than thirty (30) days, but less than six (6) months is a dwelling rental, but not a Vacation Rental.

Table 1, below, presents general characteristics to clarify Dwelling Rentals, and the transitioning threshold for Vacation Rentals.

Table 1 – Dwelling & Vacation Rental Definitions

	Dwelling Rental	Vacation Rental
<i>Length of Stay</i>	Less than 6 months	30 days or less
<i>Lodging Type(s)</i>	Non-Transient (more than 30 days) & Transient Lodging (Vacation Rental)	Transient Lodging
<i>State License Requirement</i>	If rented 30 days or less	Division of Hotels & Restaurants – Vacation Rental License
<i>Public lodging establishment (ADA & Misc. Regulations)</i>	If rented 30 days or less (Vacation Rental)	Public lodging establishment

Zoning & Land Use

The subject site is located within the Hutchinson Island Medium Density Residential Zone (R-4A) district which is designed primarily to establish height and density regulations for lands located within the city which are situated east of the Indian River. The R-4A zone is compatible with the Medium Density Residential Hutchinson Island designation in the comprehensive plan. Permitted gross residential densities in this district may not generally exceed eight (8) units per acre. This district is established because Hutchinson Island is a sensitive barrier island which presents development considerations which are either unique to the area or are of added concern, such as environmental fragility, beach erosion, and hurricane evacuation. Furthermore, the site has a land use designation of Hutchinson Island Residential (HIR).

The Hutchinson Island Residential (HIR) designation is intended for parcels that are best suited for residential development on Hutchinson Island. This future land use category allows single-family detached and attached units, duplexes and multifamily residences at densities ranging up to 8 dwelling units per acre. Limited public uses and commercial uses that are compatible with the surrounding development shall also be allowed.

The presented use of the property represents a limited commercial use, with undefined parameters of intensity or impact. The finished floor area of 1,248 square feet contains two (2) bedrooms, and one and a half (1.5) bathrooms. The average hotel room size in the United States is approximately 325 square feet, according to the USA Today; therefore the capacity for occupancy of this site surpasses that of a typical lodging room. The use, although limited in comparison to a typical commercial use, or hotel/motel, is not intended to serve the neighborhood, but rather tourists for purposes of public lodging.

Traffic & Parking

The traffic generation from the proposed use is undetermined based upon numerous variables present, and the absence of complete data by the Institute of Transportation Engineers (ITE) Trip Generation Manual. Review of similar uses of this scale, in comparison to impacts of a multifamily housing development, suggest an insignificant effect overall evaluation; however the absence of maximum occupancy, occurrence of short lengths of stay, and frequency of cleaning services are variables that may concentrate trips during seasonal months and weekends, causing elevated traffic impacts during such times.

Pursuant to City Code Section 22-60 (d), b. Motels, hotels and resort hotels shall provide 1.6 spaces for each unit 500 square feet or larger. The subject site features reserved driveway space for approximately one (1) vehicle and two (2) shared guest parking spaces. One parking space is reserved for each unit of the four (4) attached townhomes in the development. A handicap parking space is required pending approval of stays for periods less than thirty (30) days as the operation would be classified as a public lodging establishment.

Conditional Use

The purpose of the conditional use process is to allow, when desirable, uses that would not be appropriate generally or without restriction throughout the particular zoning district, but which, if controlled as to number, area, location or relation to the neighborhood, would not adversely affect the public health, safety, comfort, good order, appearance, convenience and the general welfare. The use as presented features commercial aspects that are not generally appropriate for single-family, low-density environments.

The authorization of a Conditional Use to establish a dwelling rental for periods of less than six (6) months, but greater than thirty (30) days would provide an opportunity for consistency with zoning district and land use designation as the use becomes non-transient, minimizing the commercial nature of the use and potential impacts to the surrounding residential neighborhood. The further limitation of other leading effects of the use may provide greater assimilation of the short-term rental within a single-family district.

The Planning Board is encouraged to consider parameters regarding the maximum number of occupants allowed, posting of signs, parking, and other limitations to comprehensively address the increased intensity of use and accompanying impacts of the use if approved as a vacation rental, for rental periods of less than thirty (30) days. Since the year 2015; three (3) vacation rentals have been approved, one (1) vacation rental denied, one (1) vacation rental withdrew, two (2) dwelling rentals withdrew and one (1) dwelling rental denied.

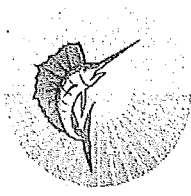
Technical Review Committee

All affected departments have reviewed the proposed Conditional Use with regards requirements of the City Code. Findings from the review by corresponding departments and the associated responses by the applicant are provided for viewing by the Planning Board.

Staff Recommendation:

The proposed use presents the provision of limited transient lodging accommodations to the general public, representing a limited commercial use that is compatible with the surrounding neighborhood of this location, and is generally consistent with the City's Land Development Code and Comprehensive Plan with appropriate restriction therefore; Staff recommends the Planning Board forward a recommendation to **approve** the request with the following conditions:

- 1) The applicant identifies the maximum occupancy of the unit, ensuring compliance with City Code Section 8.5-43. - Required space in dwelling units, based upon the size of each unit;
- 2) Registration of the property manager accessible at all times, to resolve complaints or violations of City Code;
- 3) Issuance of guide booklets for renters regarding local rules and public service resources to minimize conflicts;
- 4) Installation of one (1) handicap space per City Code Section 22-60 Off-Street Parking and Loading;
- 5) Installation of a bicycle rack (two (2) - space minimum) for guests per City Code Section 22-60 Off-Street Parking and Loading; and
- 5) The applicant files for and obtains St. Lucie County & City of Fort Pierce Business Tax Licenses within fourteen (14) days of Conditional Use approval.



JAN 17 2017

\$100
- Advertising
↓ Letter
- sign

Conditional Use – No New Construction

Property address or Location 408 S Ocean Drive, Unit B, Fort Pierce, FL 34949

Parcel ID #(s) 2401-502-0004-020-2

Project description Short-term rentals for less than 6 months

Bradley Beach Holdings LLC, C/O Daniel and Leslie Bradley
Property Owner(s)
10557 Bermuda Isle Drive
Street Address
Tampa FL 33647
City State Zip
864-353-4456
Phone Number
danbradley8@yahoo.com
Email Address

Joanne Albarelli
Applicant/Representative, Title, Company
408 S Ocean, Unit A, Fort Pierce, FL 34949
Street Address
Fort Pierce FL 34949
City State Zip
772-466-9919
Phone Number
throcker1896@aol.com
Email Address

Conditional Use – No New Construction

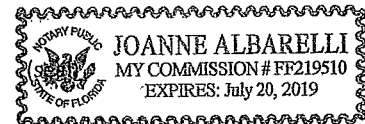
Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgment of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

[Signature]
Property Owner(s) Signature(s)

[Signature]
Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY
The foregoing instrument was acknowledged before me this 15 day of JANUARY, 2017, by DANIEL AND LESLIE BRADLEY who is personally known to me or has produced _____ as identification.

[Signature]
Signature of Notary



INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit # _____
Intake Planner _____
Planner Assigned _____
Approved By _____ Date _____
Comments _____

Intake Date Stamp



CONDITIONAL USE: NO NEW CONSTRUCTION

Submit one original, seven (7) hard copies and one (1) CD of the following for initial submittal, subsequent submittals will be required:

- If no site improvements are required:
 - As-built survey
 - Floor plan of existing building(s)
- If parking and drainage improvements are required:
 - As-built survey;
 - Site plan, to scale, including existing improvements and proposed parking, driveways, landscaping & storm drainage;
 - Lighting plan
- Complete, notarized application

Application Type:

- Conditional Use: No new construction with no site improvements
- Conditional Use: No new construction with parking and drainage improvements

Site Information:

Building Size 4248 Parking Spaces: 6 - Total 2 / 1.5
Bed. Bath

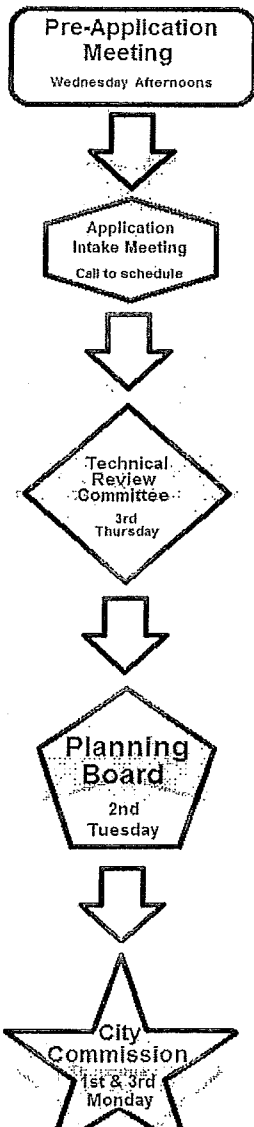
Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West
VACANT LOT	VACANT LOT	OCEAN	RESTAURANT - APT BLD.

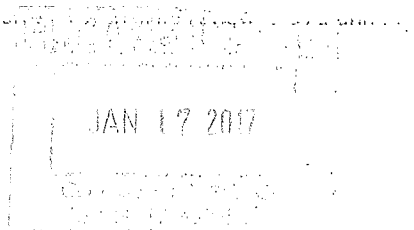
The application for conditional use with the application for site plan review, when not exempt in accordance with the requirements of section 22-75, shall be reviewed as a unit in accordance with the requirements of section 22-58 except that:

- (1) The city commission shall hold a public hearing in accordance with the provisions of section 22-143 prior to acting on the application for conditional use.
- (2) In the event the city planning board disapproved the application for conditional use or in case of a protest against said application signed by twenty (20) per cent of the owners within five hundred (500) feet of the area included in said application, such application shall not be approved except by a four-fifths vote by the city commission.
- (3) In permitting a conditional use or the modification of an existing conditional use, the city commission may impose, in addition to those standards and requirements expressly specified in this chapter, any condition which it finds to be necessary to protect the best interest of the surrounding property of the city.

Application Outlook



exempt in accordance with the requirements of section 22-75, shall be reviewed as a unit in accordance with the requirements of section 22-58 except that:



Min: 1 week

Target: 10 days -> 2 weeks

Occasionally: Monthly

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Property Identification

Site Address: 408 S OCEAN DR B
 Sec/Town/Range: 01/35S/40E
 Map ID: 24/01B
 Zoning: R4A

Parcel ID: 2401-502-0004-020-2
 Account #: 14867
 Use Type: 0100
 Jurisdiction: Fort Pierce

Ownership

Bradley Beach Holdings LLC
 408 S Ocean Dr #B
 Fort Pierce, FL 34949

Legal Description

PALM HAVEN S/D-UNIT 1- BLK 1 THAT PART OF LOTS 4 AND 5
 MPDAF: FROM NW COR LOT 4 RUN N 88 DEG 52 MIN 31 SEC E
 45.82 FT, TH S 01 DEG 07 MIN 29 SEC E 27.63 FT, TH N 88 DEG 52
 MIN 33 SEC E 6.33 FT FOR POB, TH S 01 DEG 07 MIN 29 SEC E 9 FT,
 TH N 88 DEG 52 MIN 31 SEC E 6.33 FT, TH S 01 DEG 07 MIN 29 SEC E
 8.31 FT, TH N 88 DEG 52 MIN 31 SEC E 42.67 FT, TH N 01 DEG 07 MIN
 29 SEC W 17.63 FT, TH S 88 DEG 52 MIN 31 SEC W 49 FT TO POB
 (UNIT B) (OR 3604-1321)



Current Values

Just/Market Value: \$204,200
 Assessed Value: \$204,200
 Exemptions: \$0
 Taxable Value: \$204,200
 Taxes for this parcel: SLC Tax Collector's Office
 Download TRIM for this parcel: Download PDF

Total Areas

Finished/Under Air (SF): 1,248
 Gross Area (SF): 1,414
 Land Size (acres): 0.02
 Land Size (SF): 697

This information is believed to be correct at this time but it is subject to change and is not warranted.
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Building Information

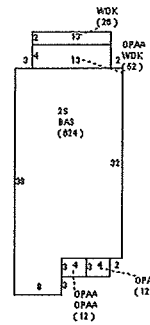
Finished/Under Air Area: 1,248 SF
Gross Total Area: 1,414 SF

Exterior Data

Building Type:	XT36	Grade:	T36B
Year Built:	1984	Effective Year:	1984
No. Units:	1	Story Height:	2 Story
Roof Cover:		Roof Structure:	Gable
Primary Wall:	CB Stucco	Secondary Wall:	
View:		Frame:	

Interior Data

Bedrooms:	2	Full Baths:	1
Primary Int Wall:		Half Baths:	1
Primary Floors:		Avg Hgt/Floor:	0
Heat Type:		Heat Fuel:	
Heated %:	N/A%	A/C %:	0%
Electric:		Interior Sprinkler %:	0%

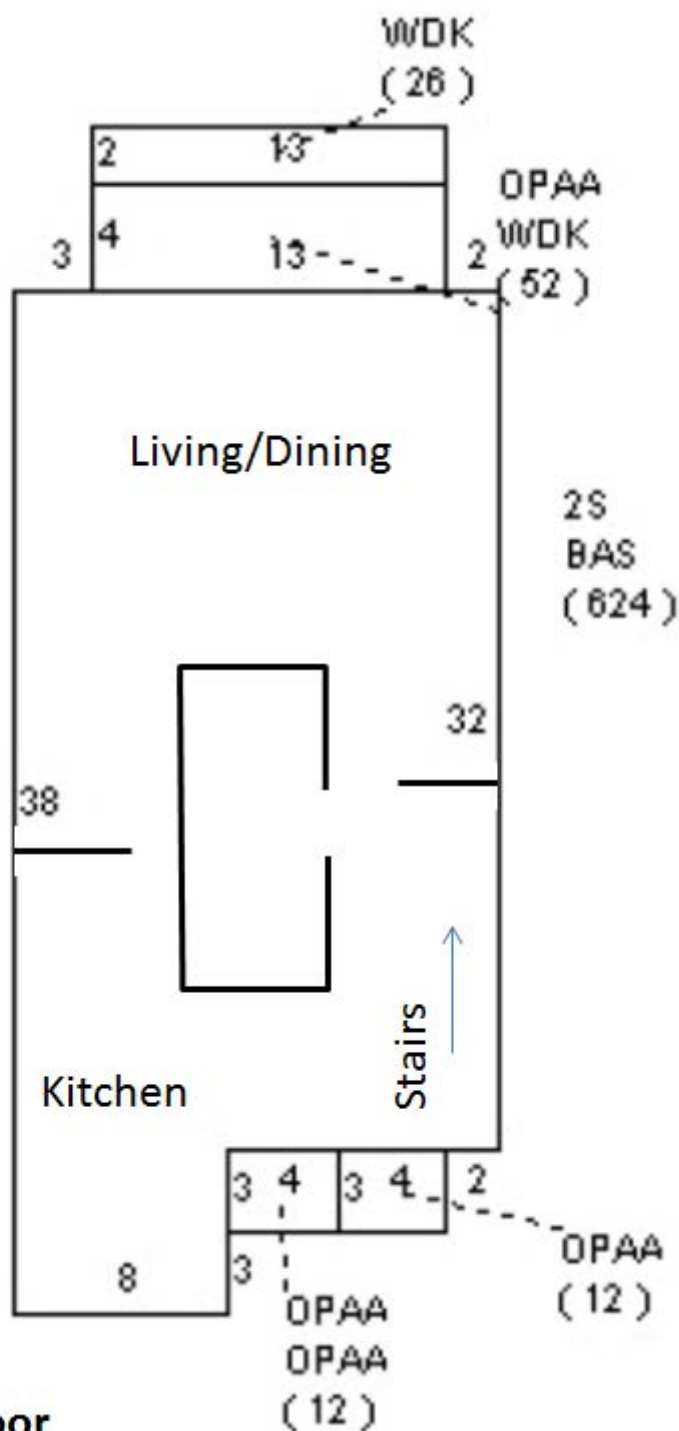


Sketch Area Legend

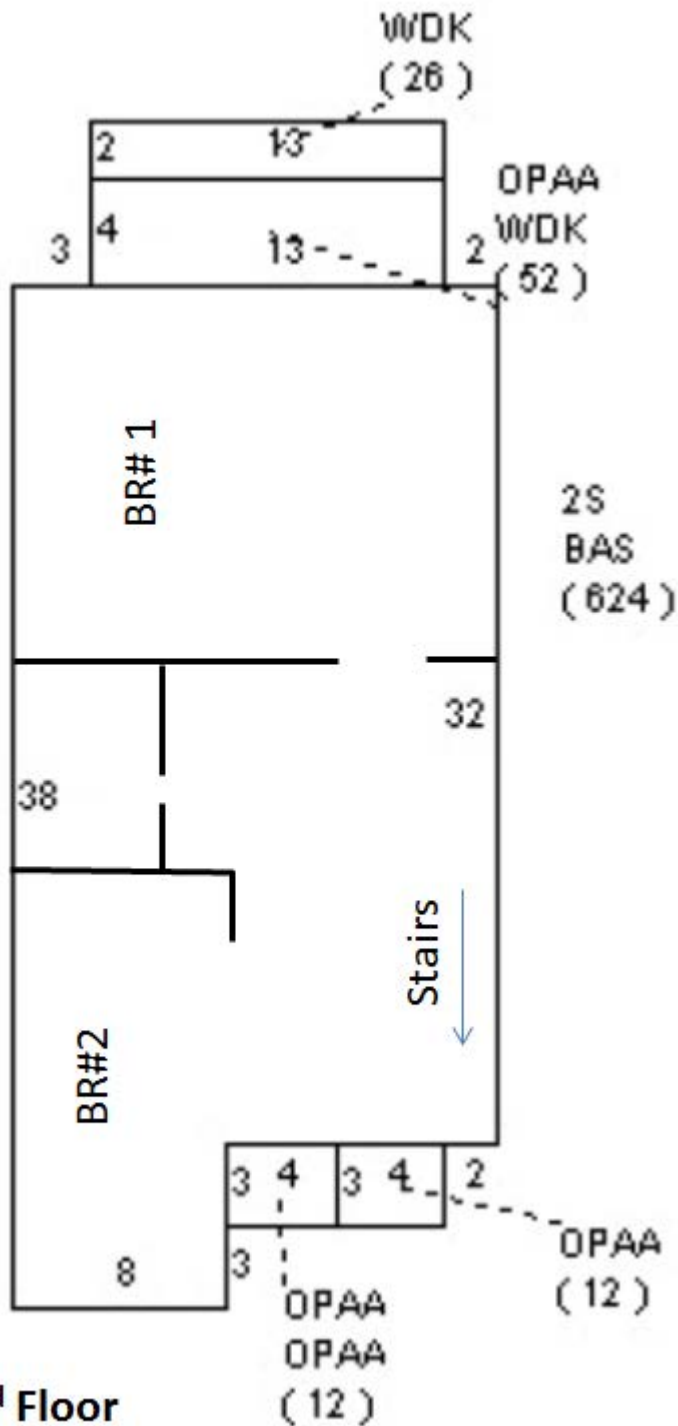
Sub Area	Description	Area	Fin. Area	Perimeter
2S	ONE FULL STORY OVER BASE (TOTAL 2 FLOORS)	624	624	112
BAS	BASE AREA	624	624	112
OPAA	Open Porch Attached Average	88	0	76
WDK	WOOD DECK	78	0	64

This information is believed to be correct at this time but it is subject to change and is not warranted.
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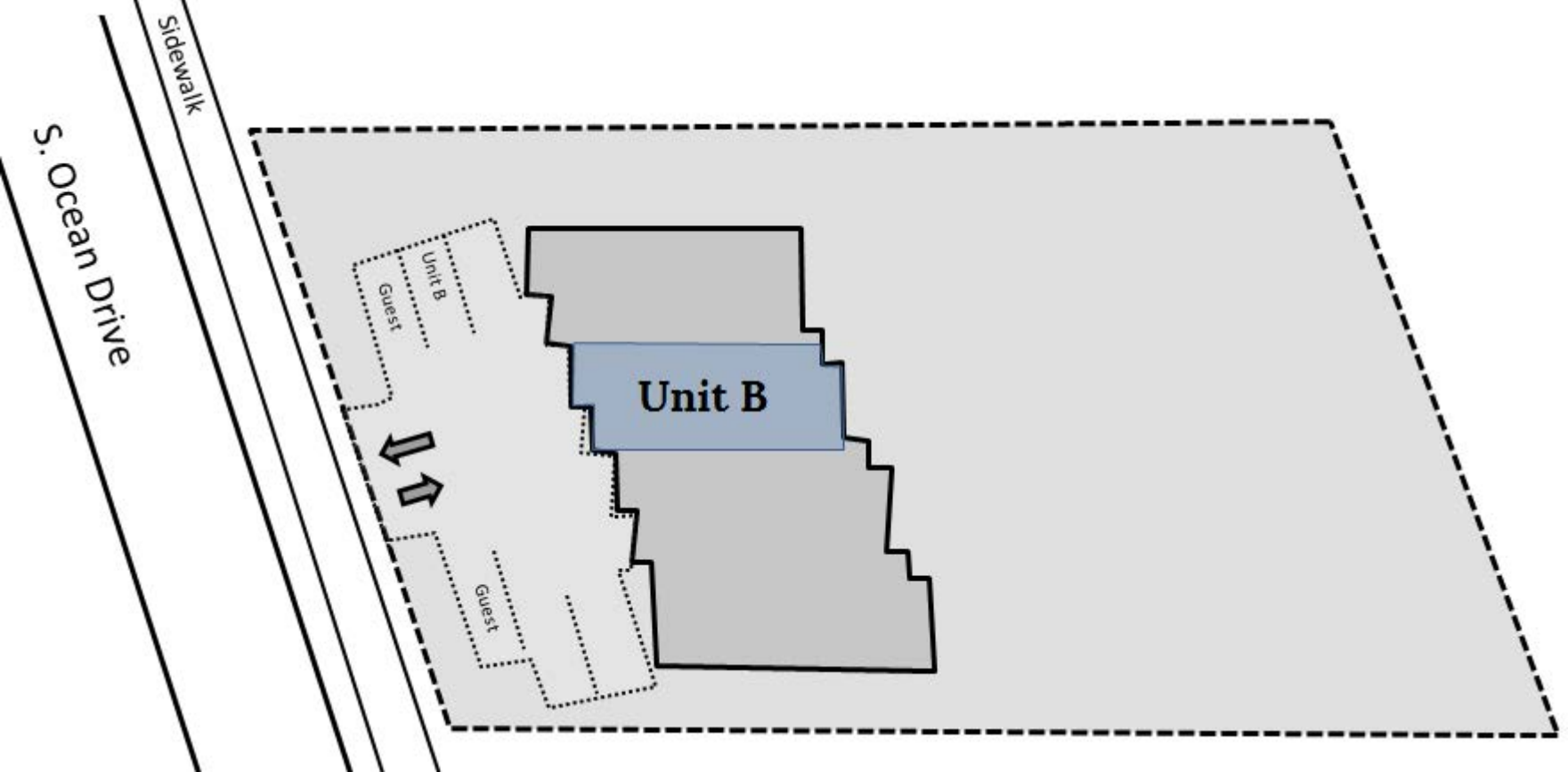
JAN 17 2017

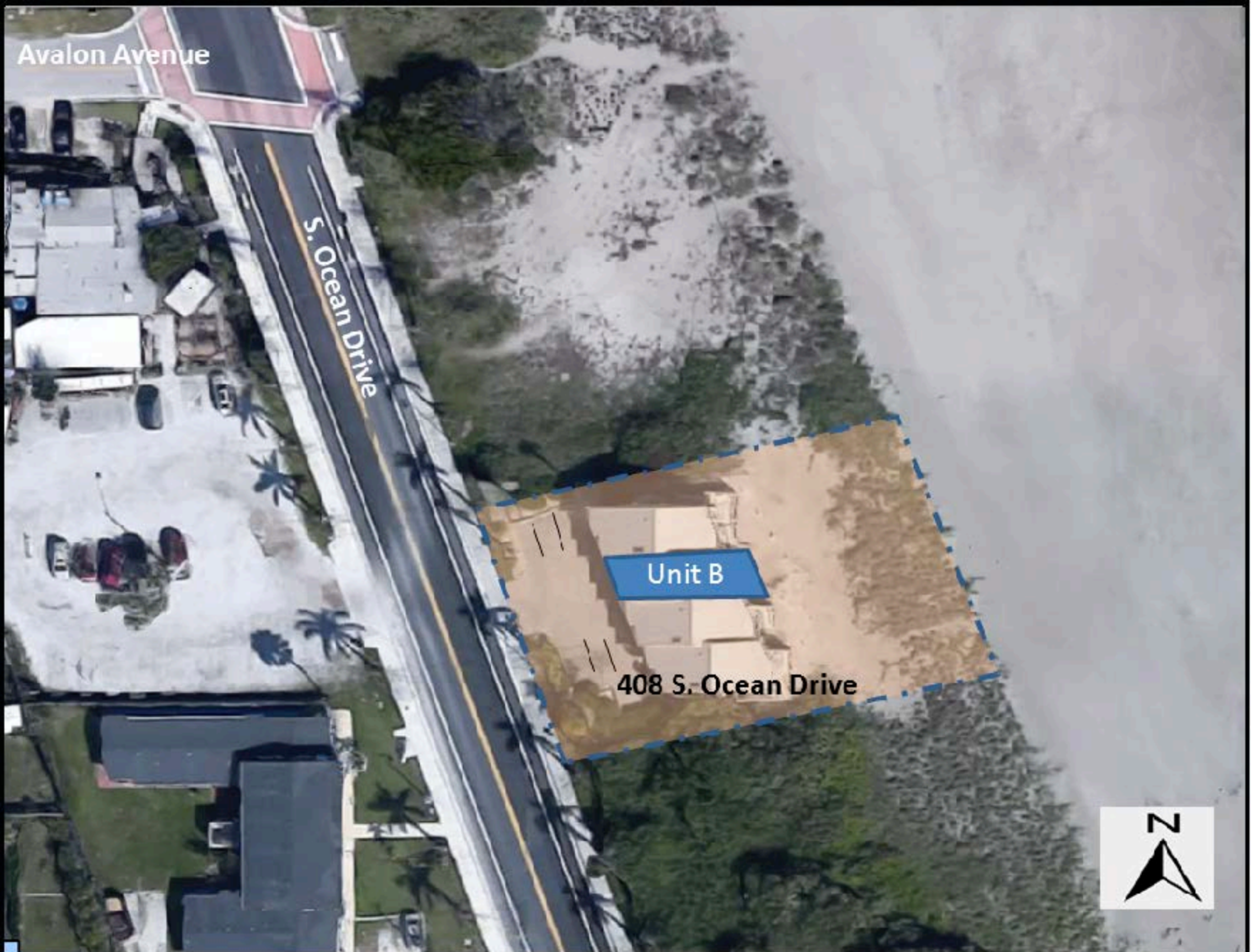


1st Floor



2nd Floor



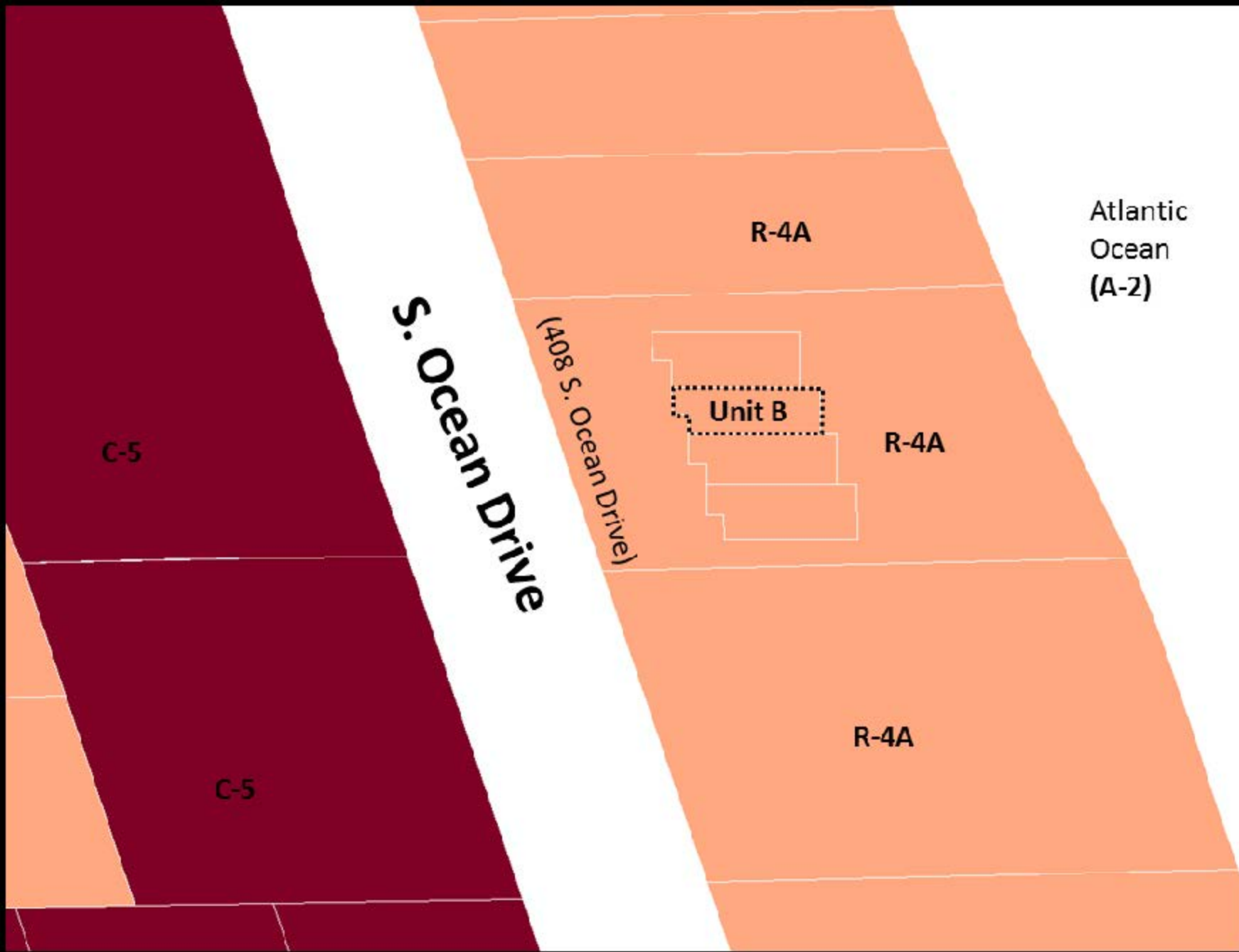


Aerial Map

408 S. Ocean Drive
Unit B



THE SUNRISE CITY
FORT PIERCE
Florida



Legend

- Subject Site
- R-4A, Hutchinson Island Medium Density Residential
- C-5, Tourist Commercial

Zoning Map



THE SUNRISE CITY
FORT PIERCE
Florida



THE SUNRISE CITY

FORT PIERCE
CODE ENFORCEMENT
Florida

TO : Vennis Gilmore, Planning Analyst

FROM : Peggy Arraiz, Code Compliance Manager

SUBJECT : TRC # 17-04000002 – 408 B Ocean Drive Vacation Rental

DATE : February 8, 2017

Code Enforcement has the following comments:

1. There was no narrative included with the submittal addressing any code issues. Please have the requesting party submit a narrative that addresses the following concerns:
 - a. Local management
 - b. Maximum vehicles
 - c. Compliance with city ordinances such as noise and garbage removal
2. The owner is advised that short term rentals of less than 30 days require the following:
 - a. A City Business Tax Receipt
 - b. An account with the Florida Department of Revenue – collection of 6.5% sales tax
 - c. An account with St. Lucie County – 5% Tourism Development Tax
 - d. License from the State of Florida



THE SUNRISE CITY
FORT PIERCE
ENGINEERING
DEPARTMENT

Florida

FEB 08 2017

TO : Vennis Gilmore, Planning Analyst

FROM : John R. Andrews, P.E., City Engineer

JRA

**RE : Bradley Dwelling Conditional Use – 408 S. Ocean Drive
TRC Project No. 17-0400002**

DATE : February 8, 2017

This is to advise you that we have completed the review of the following documents as received by this office on February 3, 2017:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Conditional Use Application | <input type="checkbox"/> Plan Revisions |
| <input type="checkbox"/> Test Reports & Related Documents | <input type="checkbox"/> Certificate of Completion |
| <input type="checkbox"/> Record Drawings | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we

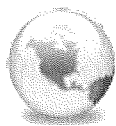
- | | | |
|--|---|------------------------------|
| <input checked="" type="checkbox"/> Recommend | <input type="checkbox"/> Do Not Recommend | |
| <input checked="" type="checkbox"/> Approval of CU | <input type="checkbox"/> Building Permit | <input type="checkbox"/> C/O |

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- See attached for engineering comments

JRA/tst

Q:\ENGINEERING\Site Development Projects\B\Bradley DUCU Approval - 020817.docx



TRC submissions for Feb. 16th
Martha Kerr
to:
Vennis Gilmore
02/13/2017 04:02 PM
Hide Details
From: Martha Kerr <mkerr@fpu.com>
To: Vennis Gilmore <VGilmore@city-ftpierce.com>

Good Afternoon,

Below are FPUA comments regarding the TRC submissions for the Feb. 16th meeting.

- A. **Conditional Use** - Bradley Dwelling Rental – 408 S. Ocean Drive (Vennis Gilmore)
 - W/WW Engineering: No objection
 - Gas and Electric Engineering: No comment
- B. **Conditional Use** – Sacks Dwelling Rental – 655 Hernando Street (Vennis Gilmore)
 - W/WW Engineering: No objection
 - Gas and Electric Engineering: No comment
- C. **Waiver of Distance** – Sweetie’s Diner – 2625 S. US Hwy 1 (Vennis Gilmore)
 - W/WW Engineering: No objection
 - Gas and Electric Engineering: No comment

Thank you

Regards,
Martha Kerr

FPUA
Staff Assistant II
W/WW Engineering Department
1701 S. 37th Street
Fort Pierce, FL 34947
Telephone: (772) 466-1600, Ext. 3473
Fax: (772) 468-2414
mkerr@fpu.com

Please note: Florida has a very broad public records law. Most written communications to or from Fort Pierce Utilities Authority employees regarding government business are public records, available to the public and media upon request. Your e-mail communications may be subject to public disclosure.

(For additional information, go to http://www.fpu.com/important_information/privacy.php)

Project: BRADLEY RENTAL DWELLING

Subject: Review Comments

To: Vennis Gilmore

From: Rod Reed, County Surveyor
PW-Engineering Division

Date February 8, 2017

I have no comments.

Rod Reed, County Surveyor

St. Lucie County, Fl.

2300 Virginia Avenue

Ft. Pierce, Fl. 34982-5652

www.stlucieco.org

Ph. (772) 462-1721

E-mail reedr@stlucieco.org



THE SUNRISE CITY

FORT PIERCE
BUILDING DEPARTMENT
Florida

TECHNICAL REVIEW COMMITTEE (TRC) COMMENTS FORM

FROM : Paul Thomas, CBO, CFM, Interim Building Official 

RE : Bradley – Dwelling Rental – 408 S. Ocean Drive, Unit B

DATE : 2/17/17

The proposed use may trigger the following Code requirements:

1. There will need to be a Change of Use to R-1 (FBC 310.3)
2. Fire sprinklers will need to be installed.
3. ADA Parking, accessible route, pool and bathroom must also be made accessible.
4. There will need to be vertical accessibility (F.A.C.)

PT/km

email

To : Vennis Gilmore, Planning Analyst

From : Joanne Albarelli

Subject : TRC # 17-04000002 – 408 B Ocean Drive Vacation Rental

Date : February 16, 2017

In answer to Code Enforcement concerns following are our responses:

Local Management

I am a licensed Property Manager and a R.E. Broker Associate in the State of Florida. I live in Unit A, next to the subject rental Unit, B. I greet the renters, give them the keys, take them through the Unit and answer any questions they may have. I tell them if there is any problem or have any other questions, that I am just next door and not to hesitate to let me know.

Maximum Vehicles

The renters have a designated parking space and one guest parking space.

Compliance with City Ordinances Such as Noise and Garbage Removal

Our renters are primarily retired couples and occasionally a couple with one or two children. We are located across the street from our “landmark” Archies Seabreeze Restaurant; there is more noise, albeit pleasant, from the outside vis-à-vis our Units. Please do not construe this in any way as a complaint; we are all happy to have the free entertainment and to have such a civic-minded and charitable business owner as our neighbor.

I take care of putting the trash containers out to the curb and taking them back after collection, twice a week.

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Building Information

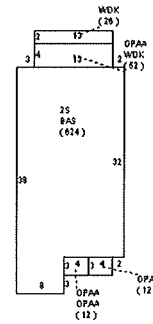
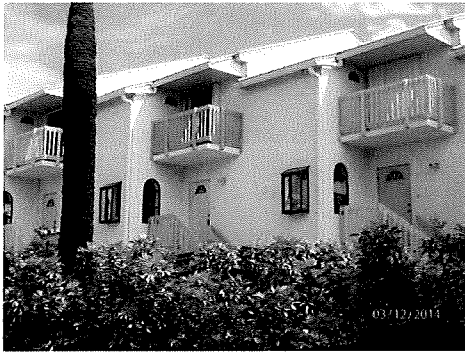
Finished/Under Air Area: 1,248 SF
Gross Total Area: 1,414 SF

Exterior Data

Building Type:	XT36	Grade:	T36B
Year Built:	1984	Effective Year:	1984
No. Units:	1	Story Height:	2 Story
Roof Cover:		Roof Structure:	Gable
Primary Wall:	CB Stucco	Secondary Wall:	
View:		Frame:	

Interior Data

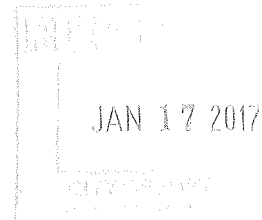
Bedrooms:	2	Full Baths:	1
Primary Int Wall:		Half Baths:	1
Primary Floors:		Avg Hgt/Floor:	0
Heat Type:		Heat Fuel:	
Heated %:	N/A%	A/C %:	0%
Electric:		Interior Sprinkler %:	0%



Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
2S	ONE FULL STORY OVER BASE (TOTAL 2 FLOORS)	624	624	112
BAS	BASE AREA	624	624	112
OPAA	Open Porch Attached Average	88	0	76
WDK	WOOD DECK	78	0	64

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Information

REQUESTED ACTION

Conditional Use - Sacks Dwelling Rental - 655 Hernando Street

LOCATION

655 Hernando Street

RESPONSIBLE STAFF

Vennis Gilmore, Planning Analyst

RECOMMENDATION

Approval with the following conditions:

- 1) The applicant identifies the maximum occupancy of the unit, ensuring compliance with City Code Section 8.5-43. - Required space in dwelling units, based upon the size of each unit;
- 2) Registration of the property manager accessible at all times, to resolve complaints or violations of City Code;
- 3) Issuance of guide booklets for renters regarding local rules and public service resources to minimize conflicts;
- 4) Installation of one (1) handicap space per City Code Section 22-60 Off-Street Parking and Loading;
- 5) Installation of a bicycle rack (two (2) - space minimum) for guests per City Code Section 22-60 Off-Street Parking and Loading;
- 5) The applicant files for and obtains a City of Fort Pierce Business Tax License within fourteen (14) days of Conditional Use approval; and
- 6) Adherence to the use limitations presented with the application proposal.

Attachments

Staff Report

Application Packet

Aerial & Zoning Maps

TRC Comments
Property Record Card

Form Review

Form Started By: Vennis Gilmore
Final Approval Date: 03/07/2017

Started On: 03/03/2017 12:30 PM



TO: Members of the City of Fort Pierce Planning Board

THROUGH: Rebecca Grohall, AICP, Planning Director

FROM: Vennis Gilmore, Planning Analyst

RE: **Application for Conditional Use**
Sacks Dwelling Rental
655 Hernando Street

DATE: March 2, 2017

STAFF REPORT

Owner/Applicant: Robert & Deborah Sacks
 404 Creekside Circle
 Rutherfordton, NC. 28139

Applicant's Request: Approval of a Conditional Use to operate a Dwelling Rental, offering lodging for less than six months. The identified minimum rental period is identified as one (1) week.

Location: 655 Hernando Street

Parcel ID: 2401-503-0026-020-5

Current Zoning: Hutchinson Island Medium Density Residential Zone (R-4A)

Future Land Use: Hutchinson Island Residential (HIR)

Surrounding Zoning:

North	East	South	West
R-4A	R-4A	R-4A	R-4A

Site Size: .03 acres

Utilities: FPUA

Staff Analysis:

Request

In accordance with Sections 22-22, and 22-76 of the City Code, the applicant is requesting the review and approval of a Conditional Use to operate a Dwelling Rental at 655 Hernando Street, offering transient lodging of a minimum of one (1) week to guests. The subject three-story townhome has a finished floor area of 1,298 square feet, containing two (2) bedrooms, two (2) bathrooms and traditional support rooms. An attached single car garage, screened-porch entry and sun deck supplement this residential structure. The subject unit is one of three attached townhomes. The property is zoned Hutchinson Island Medium Density Residential Zone (R-4A).

The property is located near the northwest corner of Hernando Street and Gulfstream Avenue. The site is surrounded by multi-family housing to the north, south, east, and west. This site features a primary driveway entrance from Hernando Street. A 5 foot wide sidewalk extends along Hernando Street to the east, along the 132 feet of street frontage of the three (3) attached townhomes.

The applicant presents operational guidelines in an effort to minimize adverse impacts to the adjacent homes. These restrictions include the strict screening of potential renters, requirement of substantial security deposits by guests, and prohibition of large gatherings or parties at the site. The applicant states that the home will be professionally cleaned after each renter, and the yard will be professionally maintained.

The application does not detail specific limits on the quantity of guests or limitations on boats or similar recreational vehicles. Pets are not an allowable amenity for renters.

Dwelling Rentals

Pursuant to City Code Section 22-3. - Definitions—Generally, the rental of any dwelling unit for less than six (6) months, is classified as a “Dwelling rental (dwelling unit)”, and defined as follows: One or more rooms connected together in a building, constituting a separate, independent housekeeping establishment, other than a motel/hotel, for purposes of rental on a daily, weekly or longer basis, though less than what is otherwise provided for a dwelling, physically separated from any other rooms or dwelling units which may be in the building, and containing sleeping and sanitary facilities and one kitchen.

The State of Florida provides further classification if a dwelling is rented for periods of less than thirty (30) days, declaring the use a “Vacation rental”, and defined such use as any unit or group of units in a condominium or cooperative or any individually or collectively owned single-family, two-family, three-family, or four-family house or dwelling unit that is also a transient public lodging establishment but that is not a timeshare project, which is rented to guests more than three times in a calendar year for periods of less than 30 days or 1 calendar month, whichever is less, or which is advertised or held out to the public as a place regularly rented to guests.

A dwelling rental, as locally defined, is also a Vacation Rental if the duration of stays are less than thirty (30) days. The rental of a dwelling for periods greater than thirty (30) days, but less than six (6) months is a dwelling rental, but not a Vacation Rental.

Table 1, below, presents general characteristics to clarify Dwelling Rentals, and the transitioning threshold for Vacation Rentals.

Table 1 – Dwelling & Vacation Rental Definitions

	Dwelling Rental	Vacation Rental
<i>Length of Stay</i>	Less than 6 months	30 days or less
<i>Lodging Type(s)</i>	Non-Transient (more than 30 days) & Transient Lodging (Vacation Rental)	Transient Lodging
<i>State License Requirement</i>	If rented 30 days or less	Division of Hotels & Restaurants – Vacation Rental License
<i>Public lodging establishment (ADA & Misc. Regulations)</i>	If rented 30 days or less (Vacation Rental)	Public lodging establishment

Zoning & Land Use

The subject site is located within the Hutchinson Island Medium Density Residential Zone (R-4A) district which is designed primarily to establish height and density regulations for lands located within the city which are situated east of the Indian River. The R-4A zone is compatible with the Medium Density Residential Hutchinson Island designation in the comprehensive plan. Permitted gross residential densities in this district may not generally exceed eight (8) units per acre. This district is established because Hutchinson Island is a sensitive barrier island which presents development considerations which are either unique to the area or are of added concern, such as environmental fragility, beach erosion, and hurricane evacuation. Furthermore, the site has a land use designation of Hutchinson Island Residential (HIR).

The Hutchinson Island Residential (HIR) designation is intended for parcels that are best suited for residential development on Hutchinson Island. This future land use category allows single-family detached and attached units, duplexes and multifamily residences at densities ranging up to 8 dwelling units per acre. Limited public uses and commercial uses that are compatible with the surrounding development shall also be allowed.

The presented use of the property represents a limited commercial use, with undefined parameters of intensity or impact. The finished floor area of 1,298 square feet contains two (2) bedrooms, and two (2) bathrooms. The average hotel room size in the United States is approximately 325 square feet, according to the USA Today; therefore the capacity for occupancy of this site surpasses that of a typical lodging room. The use, although limited in comparison to a typical commercial use, or hotel/motel, is not intended to serve the neighborhood, but rather tourists for purposes of public lodging.

Traffic & Parking

The traffic generation from the proposed use is undetermined based upon numerous variables present, and the absence of complete data by the Institute of Transportation Engineers (ITE) Trip Generation Manual. Review of similar uses of this scale, in comparison to impacts of a multifamily housing development, suggest an insignificant effect overall evaluation; however the absence of maximum occupancy, occurrence of short lengths of stay, and frequency of cleaning services are variables that may concentrate trips during seasonal months and weekends, causing elevated traffic impacts during such times.

Pursuant to City Code Section 22-60 (d), b. Motels, hotels and resort hotels shall provide 1.6 spaces for each unit 500 square feet or larger. The subject site features a single (1) car garage, and driveway space for approximately two (2) vehicles. Two parking spaces are reserved for each unit of the three (3) attached townhomes in the development. A handicap parking space is required pending approval of stays for periods less than thirty (30) days as the operation would be classified as a public lodging establishment.

Conditional Use

The purpose of the conditional use process is to allow, when desirable, uses that would not be appropriate generally or without restriction throughout the particular zoning district, but which, if controlled as to number, area, location or relation to the neighborhood, would not adversely affect the public health, safety, comfort, good order, appearance, convenience and the general welfare. The use as presented features commercial aspects that are not generally appropriate for single-family, low-density environments.

The authorization of a Conditional Use to establish a dwelling rental for periods of less than six (6) months, but greater than thirty (30) days would provide an opportunity for consistency with zoning district and land use designation as the use becomes non-transient, minimizing the commercial nature of the use and potential impacts to the surrounding residential neighborhood. The further limitation of other leading effects of the use may provide greater assimilation of the short-term rental within a single-family district.

The Planning Board is encouraged to consider parameters regarding the maximum number of occupants allowed, posting of signs, parking, and other limitations to comprehensively address the increased intensity of use and accompanying impacts of the use if approved as a vacation rental, for rental periods of less than thirty (30) days. Since the year 2015; three (3) vacation rentals have been approved, one (1) vacation rental denied, one (1) vacation rental withdrew, two (2) dwelling rentals withdrew and one (1) dwelling rental denied.

Technical Review Committee

All affected departments have reviewed the proposed Conditional Use with regards requirements of the City Code. Findings from the review by corresponding departments and the associated responses by the applicant are provided for viewing by the Planning Board.

Staff Recommendation:

The proposed use presents the provision of limited transient lodging accommodations to the general public, representing a limited commercial use that is compatible with the surrounding neighborhood of this location, and is generally consistent with the City's Land Development Code and Comprehensive Plan with appropriate restriction therefore; Staff recommends the Planning Board forward a recommendation to **approve** the request with the following conditions:

- 1) The applicant identifies the maximum occupancy of the unit, ensuring compliance with City Code Section 8.5-43. - Required space in dwelling units, based upon the size of each unit;
- 2) Registration of the property manager accessible at all times, to resolve complaints or violations of City Code;
- 3) Issuance of guide booklets for renters regarding local rules and public service resources to minimize conflicts;
- 4) Installation of one (1) handicap space per City Code Section 22-60 Off-Street Parking and Loading;
- 5) Installation of a bicycle rack (two (2) - space minimum) for guests per City Code Section 22-60 Off-Street Parking and Loading;
- 5) The applicant files for and obtains a City of Fort Pierce Business Tax License within fourteen (14) days of Conditional Use approval; and
- 6) Adherence to the use limitations presented with the application proposal.



THE SUNRISE CITY
FORT PIERCE
PLANNING DEPARTMENT

Florida



Conditional Use – No New Construction

Property address or Location 655 Hernando St. Ft. Pierce, FL. 34949
 Parcel ID #(s) 2401-503-0026-020-5
 Project description Conditional Use, Permit

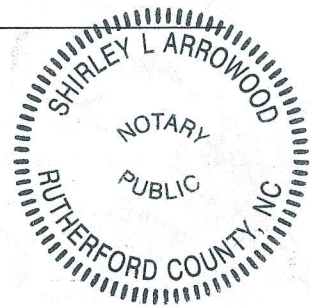
Property Owner(s) <u>Robert & Deborah Sacks</u>	Applicant/Representative, Title, Company
Street Address <u>404 Creekside Circle</u>	Street Address
City State Zip <u>Rutherfordton NC 28139</u>	City State Zip
Phone Number <u>828-286-7433</u>	Phone Number
Email Address <u>BBARDRANGH@AOL.COM</u>	Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

Deborah Sacks
Property Owner(s) Signature(s)

STATE OF FLORIDA DC COUNTY Rutherford
 The foregoing instrument was acknowledged before me this 20th day of Jan, 2017, by Deborah Sacks who is personally known to me or has produced NC DL # 35384916 as identification.

Shirley L Arrowood
Signature of Notary



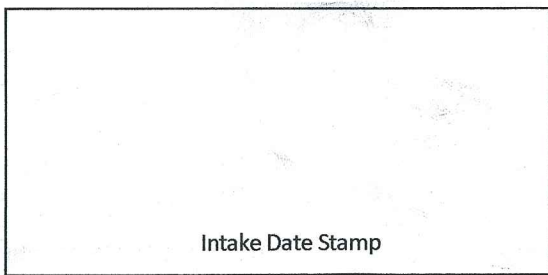
(seal)

INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation
				Contributing Individual Non-Contributing None

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit # _____
 Intake Planner _____
 Planner Assigned _____
 Approved By _____ Date _____
 Comments _____



Intake Date Stamp

CONDITIONAL USE: NO NEW CONSTRUCTION

- Submit one original, seven (7) hard copies and one (1) CD of the following for initial submittal, subsequent submittals will be required:**
- If no site improvements are required:
 - As-built survey
 - Floor plan of existing building(s)
 - If parking and drainage improvements are required:
 - As-built survey;
 - Site plan, to scale, including existing improvements and proposed parking, driveways, landscaping & storm drainage;
 - Lighting plan
 - Complete, notarized application

Application Type:

- Conditional Use: No new construction with no site improvements
- Conditional Use: No new construction with parking and drainage improvements

Site Information:

Building Size 7086 SQ FT Parking Spaces: 6

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

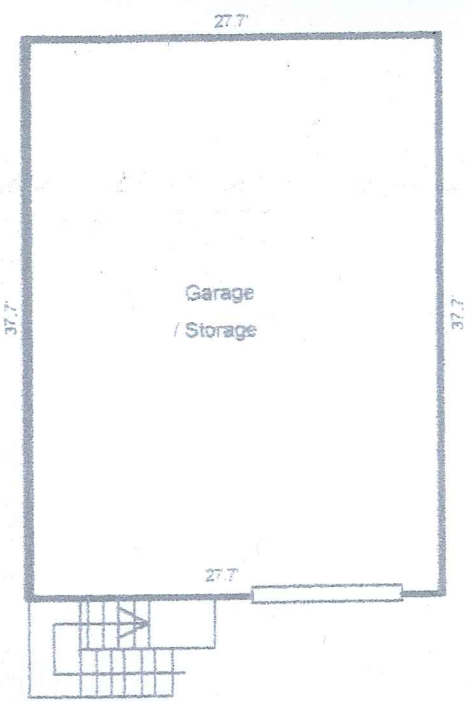
North	South	East	West
DUPLEX	Apartment	empty lot & apartments	Apartment

The application for conditional use with the application for site plan review, when not exempt in accordance with the requirements of section 22-75, shall be reviewed as a unit in accordance with the requirements of section 22-58 except that:

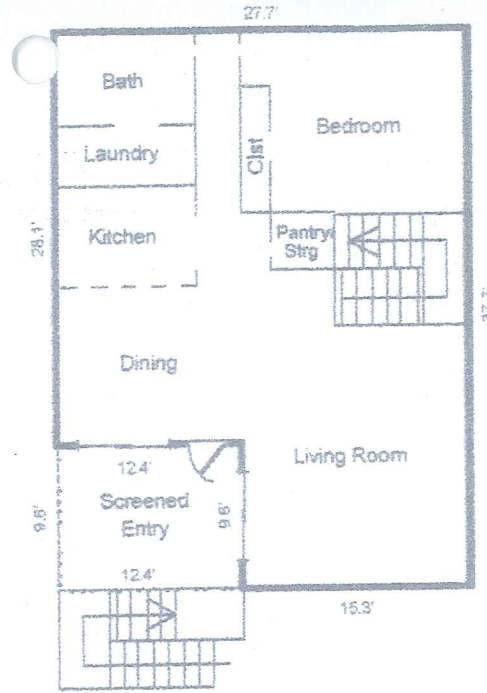
- (1) The city commission shall hold a public hearing in accordance with the provisions of section 22-143 prior to acting on the application for conditional use.
- (2) In the event the city planning board disapproved the application for conditional use or in case of a protest against said application signed by twenty (20) per cent of the owners within five hundred (500) feet of the area included in said application, such application shall not be approved except by a four-fifths vote by the city commission.
- (3) In permitting a conditional use or the modification of an existing conditional use, the city commission may impose, in addition to those standards and requirements expressly specified in this chapter, any condition which it finds to be necessary to protect the best interest of the surrounding property of the city.



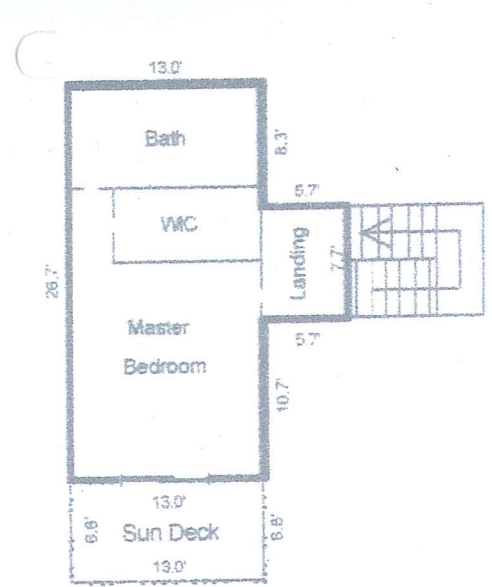
Min. 1 week
 Target yearly
 Occasionally: Monthly



1st Floor



2nd Floor



3rd Floor

Floor Plans

Arch by AutoCAD

Comments: Interior walls are NOT drawn to scale.

AREA CALCULATIONS SUMMARY

Code	Description	Size	Net Totals
GLA2	Second Floor	925.25	925.25
GLA3	Third Floor	390.99	390.99
P/P	Screened Entry	119.04	
	Sun Deck	88.40	207.44
GAR	Garage	1044.29	1044.29
TOTAL LIVABLE (rounded)			1316

LIVING AREA BREAKDOWN

Breakdown			Subtotals
Second Floor			
27.7	x	28.1	778.37
9.6	x	15.3	146.88
Third Floor			
5.7	x	7.7	43.89
13.0	x	26.7	347.10
4 Calculations Total (rounded)			1316

Michelle Franklin, CFA -- Saint Lucie County Property Appraiser -- All rights reserved.

Building Information

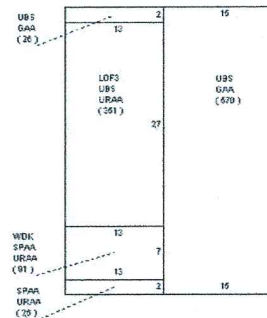
Finished/Under Air Area: 1,298 SF
Gross Total Area: 2,570 SF

Exterior Data

Building Type:	XT48	Grade:	T48A
Year Built:	1989	Effective Year:	1989
No. Units:	1	Story Height:	3 Story
Roof Cover:	Dim Shingle	Roof Structure:	Gable
Primary Wall:	CB Stucco	Secondary Wall:	Hardi Plank
View:		Frame:	

Interior Data

Bedrooms:	2	Full Baths:	2
Primary Int Wall:	Drywall	Half Baths:	0
Primary Floors:	Carpet	Avg Hgt/Floor:	0
Heat Type:	FredHotAir	Heat Fuel:	ELEC
Heated %:	100%	A/C %:	100%
Electric:	MAXIMUM	Interior Sprinkler %:	0%



Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
GAA	Garage Attached Average	596	0	136
LOF3	LOFT AT 30% OF BASE (GOOD QUALITY)	351	351	80
SPAA	Screen Porch Attached Average	117	0	70
UBS	UPPER BASE AREA/+1	947	947	216
URAA	Utility Room Attached Average	468	0	150
WDK	WOOD DECK	91	0	40

This information is believed to be correct at this time but it is subject to change and is not warranted.
 © Copyright 2017 Saint Lucie County Property Appraiser. All rights reserved.

Drive Way & Parking

NORTH

yard

WEST

655

653

651



2 cars per Unit
They are marked
by paint lines

yard

yard

Hernando Street

SOUTH

EAST

South Hutchinson Island



Your Vacation Destiny Awaits You

Debbie Sacks

828-286-7433

Your Vacation destination awaits you on the beautiful beaches of South Hutchinson Island



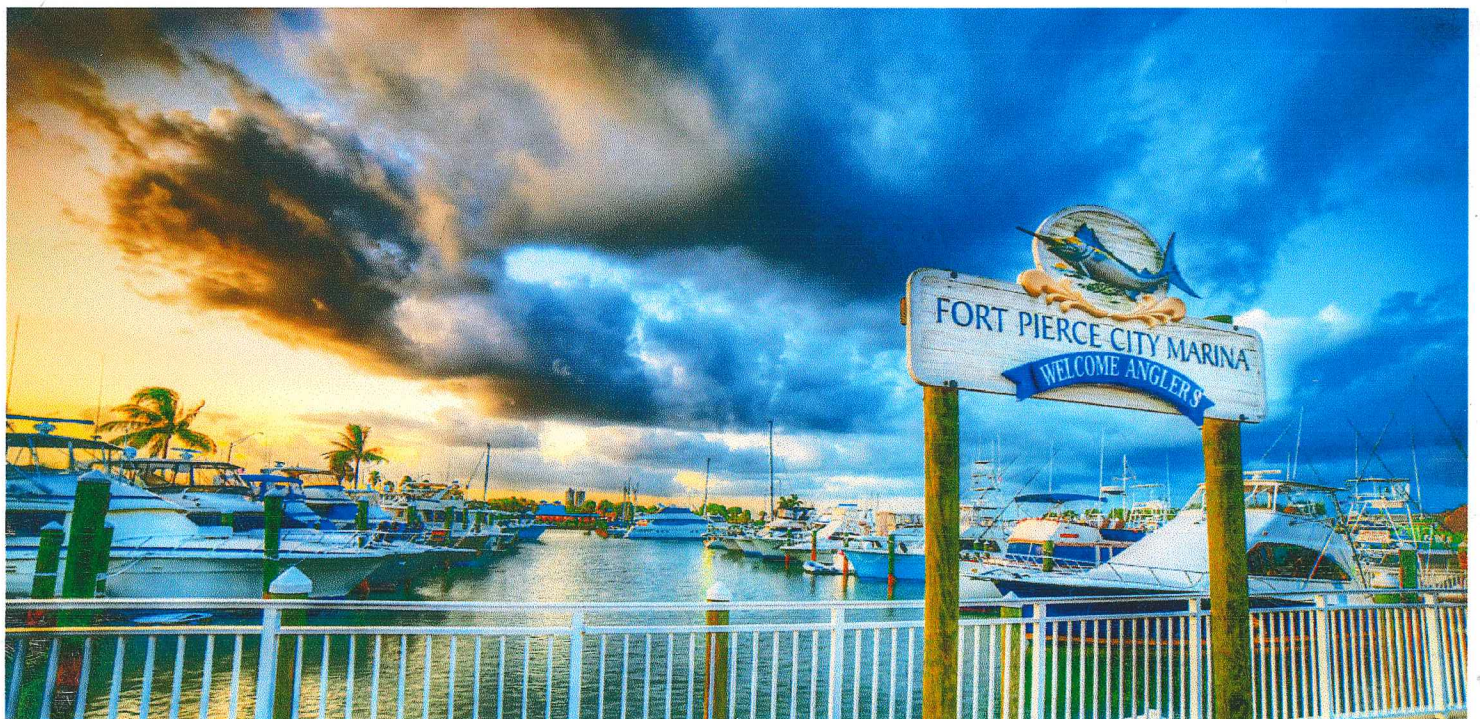
Down Town Ft. Pierce offers a variety of activities. There is a Farmers Market every Saturday that features fresh veggies, fruits, home baked goods, and plants.

They also have numerous artist that sell paintings, jewelry, wood carvings, etc...

Also enjoy charter fishing and sight seeing tours that Ft. Pierce Marina offers.

There are also shops, and restaurants of all cuisine.

Please support our local artist and farmmners.



655 Hernando Street







Debbie Sacks

828-286-7433

BBARDRANCH @AOL.COM

Please call for rates.

Hello my name is Debbie Sacks and Thank You for considering this vacation rental unit.

This Oasis features a Master bedroom on the third floor with a king size bed, private bath and walk in closet.

On the second floor you have the living room, dining room, kitchen, pantry, quest bathroom, and quest bedroom that has a queen size bed and washer and dryer.

The bedrooms have TV's and the living room has a 60" screen TV.

You also have free WiFi, and DirecTV.

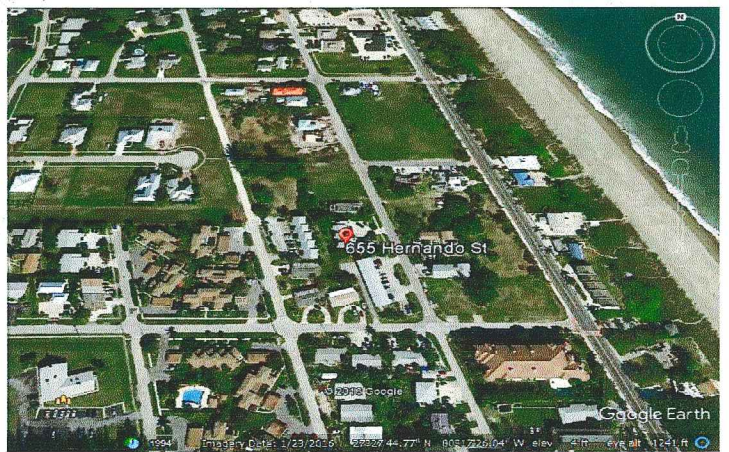
This vacation unit is located one block off of A1A and the Beach.

There are numerous Beach Parks within walking distance.

Located right on the Island and with in walking distance there are restaurants, and the Ft Pierce Inlet where you can fish off the jetty.

South Hutchinson Island is located in Ft. Pierce Florida and is know as The Sunrise City and the Treasure Coast where treasures have been found from old sunkin ships.

I hope you enjoy your vacation on this Goregeous Island and Please support or local businesses, thats what makes this Island so special



Residential Lease

BY THIS AGREEMENT made and entered into on _____, 20_____, between _____, herein referred to as Lessor, and _____, herein referred to as Lessee. Lessor leases to Lessee the premises situated at _____, in the City of _____, County of _____, State of _____, and more particularly described as follows: _____ together with all appurtenances, for a term of _____ year(s), to commence on _____, 20_____, and to end on _____, 20_____, at _____.

- Rent.** Lessee agrees to pay, without demand, to Lessor as rent for the demised premises the sum of _____ Dollars (\$_____) per month in advance on the _____ day of each calendar month beginning _____, 20_____, at _____, City of _____, State of _____, or at such other place as Lessor may designate.
- Form of Payment.** Lessee agrees to pay rent each month in the form of one personal check, OR one cashier's check, OR one money order made out to _____.
- Late Payments.** For any rent payment not paid by the date due, Lessee shall pay a late fee in the amount of _____ Dollars (\$_____).
- Returned Checks.** If, for any reason, a check used by Lessee to pay Lessor is returned without having been paid, Lessee will pay a charge of _____ Dollars (\$_____) as additional rent AND take whatever other consequences there might be in making a late payment. After the second time a Lessee's check is returned, Lessee must thereafter secure a cashier's check or money order for payment of rent.
- Security Deposit.** On execution of this lease, Lessee deposits with Lessor _____ Dollars (\$_____), receipt of which is acknowledged by Lessor, as security for the faithful performance by Lessee of the terms hereof, to be returned to Lessee, without interest, except where required by law, on the full and faithful performance by him of the provisions hereof.
- Quiet Enjoyment.** Lessor covenants that on paying the rent and performing the covenants herein contained, Lessee shall peacefully and quietly have, hold, and enjoy the demised premises for the agreed term.
- Use of Premises.** The demised premises shall be used and occupied by Lessee exclusively as a private single family residence, and neither the premises nor any part thereof shall be used at any time during the term of this lease by Lessee for the purpose of carrying on any business, profession, or trade of any kind, or for any purpose other than as a private single family residence. Lessee shall comply with all the sanitary laws, ordinances, rules, and orders of appropriate governmental authorities affecting the cleanliness, occupancy, and preservation of the demised premises, and the sidewalks connected thereto, during the term of this lease.
- Number of Occupants.** Lessee agrees that the demised premises shall be occupied by no more than _____ persons, consisting of _____ adult(s) and _____ child(ren) under the age of 18 years, without the written consent of Lessor.
- Condition of Premises.** Lessee stipulates that he or she has examined the demised premises, including the grounds and all

buildings and improvements, and that they are, at the time of this lease, in good order, repair, and a safe, clean and tenantable conditions.

10. **Keys.** Lessee will be given _____ key(s) to the premises and _____ mailbox key(s). If all keys are not returned to Lessor following termination of lease, Lessee shall be charged _____ Dollars (\$ _____) per key.
11. **Locks.** Lessee agrees not to change locks on any door or mailbox without first obtaining Lessor's written permission. Having obtained written permission, Lessee agrees to pay for changing the locks and to provide Lessor with one duplicate key per lock.
12. **Lockout.** If Lessee becomes locked out of the premises after management's regular stated business hours, Lessee will be required to secure a private locksmith to regain entry at Lessee's sole expense.
13. **Parking.** Any parking that may be provided is strictly self-park and is at owner's risk. Parking fees are for a license to park only. No bailment or bailee custody is intended. Lessor is not responsible for, nor does Lessor assume any liability for damages caused by fire, theft, casualty or any other cause whatsoever with respect to any vehicle or its contents. Snow removal is the responsibility of the vehicle owner. Any tenant who wishes to rent a parking space or garage must sign a Parking Space or Garage Rental Agreement.
14. **Assignment and Subletting.** Without the prior written consent of Lessor, Lessee shall not assign this lease, or sublet or grant any concession or license to use the premises or any part thereof. A consent by Lessor to one assignment, subletting, concession or license shall not be deemed to be a consent to any subsequent assignment, subletting, concession, or license. An assignment, subletting, concession, or license without the prior written consent of Lessor, or an assignment or subletting by operation of law, shall be void and shall, at Lessor's option, terminate this lease.
15. **Alterations and Improvements.** Lessee shall make no alterations to the buildings on the demised premises or construct any building or make other improvements on the demised premises without the prior written consent of Lessor. All alterations, changes, and improvements built, constructed, or placed on the demised premises by Lessee, with the exception of fixtures removable without damage to the premises and movable personal property, shall, unless otherwise provided by written agreement between Lessor and Lessee, be the property of Lessor and remain on the demised premises at the expiration or sooner termination of this lease.
16. **Damage to Premises.** If the demised premises, or any part thereof, shall be partially damaged by fire or other casualty not due to Lessee's negligence or willful act or that of his employee, family, agent, or visitor, the premises shall be promptly repaired by Lessor and there shall be an abatement of rent corresponding with the time during which, and the extent to which, the leased premises may have been untenable; but, if the leased premises should be damaged other than by Lessee's negligence or willful act or that of his employee, family, agent, or visitor to the extent that Lessor shall decide not to rebuild or repair, the term of this lease shall end and the rent shall be prorated up to the time of the damage.
17. **Dangerous Materials.** Lessee shall not keep or have on the leased premises any article or thing of a dangerous, inflammable, or explosive character that might unreasonably increase the danger of fire on the leased premises or that might be considered hazardous or extra hazardous by any responsible insurance company.
18. **Utilities.** Lessee shall be responsible for arranging for and paying for all utility services required on the premises, except that _____ shall be provided by Lessor.
19. **Right of Inspection.** Lessor and his agents shall have the right at all reasonable times during the term of this lease and any renewal thereof to enter the demised premises for the purpose of inspecting the premises and all building and improvements thereon.
20. **Maintenance and Repair.** Lessee will, at his sole expense, keep and maintain the leased premises and appurtenances in good and sanitary condition and repair during the term of this lease and any renewal thereof. In particular, Lessee shall keep the fixtures in the house or on or about the leased premises in good order and repair; keep the furnace clean; keep the electric

bills in order; keep the walks free from dirt and debris; and, at his sole expense, shall make all required repairs to the plumbing, range, heating, apparatus, and electric and gas fixtures whenever damage thereto shall have resulted from Lessee's misuse, waste, or neglect or that of his employee, family, agent, or visitor. Major maintenance and repair of the leased premises, not due to Lessee's misuse, waste or neglect or that of his employee, family, agent, or visitor, shall be the responsibility of Lessor or his assigns. Lessee agrees that no signs shall be placed or painting done on or about the leased premises by Lessee or at his direction without the prior written consent of Lessor.

21. **Painting.** Lessor reserves the right to determine when the dwelling will be painted unless there is any law to the contrary.
22. **Pets.** Pets shall not be allowed without the prior written consent of the Lessor. At the time of signing this lease, Lessee shall pay to Lessor, in trust, a deposit of _____ Dollars (\$_____), to be held and disbursed for pet damages to the Premises (if any) as provided by law. This deposit is in addition to any other security deposit stated in this lease. Any Lessee who wishes to keep a pet in the rented unit must sign a Pet Agreement Addendum.
23. **Display of Signs.** During the last _____ days of this lease, Lessor or his or her agent shall have the privilege of displaying the usual "For Sale" or "For Rent" or "Vacancy" signs on the demised premises and of showing the property to prospective purchasers or tenants.
24. **Rules and Regulations.** Lessor's existing rules and regulations, if any, shall be signed by Lessee, attached to this agreement and incorporated into it. Lessor may adopt other rules and regulations at a later time provided that he or she have a legitimate purpose, not modify Lessee's rights substantially and not become effective without notice of at least two (2) weeks.
25. **Subordination of Lease.** This lease and Lessee's leasehold interest hereunder are and shall be subject, subordinate, and inferior to any liens or encumbrances now or hereafter placed on the demised premises by Lessor, all advances made under any such liens or encumbrances, the interest payable on any such liens or encumbrances, and any and all renewals or extensions of such liens or encumbrances.
26. **Holdover by Lessee.** Should Lessee remain in possession of the demised premises with the consent of Lessor after the natural expiration of this lease, a new month-to-month tenancy shall be created between Lessor and Lessee, which shall be subject to all the terms and conditions hereof but shall be terminated on _____ days' written notice served by either Lessor or Lessee on the other party.
27. **Notice of Intent to Vacate.** (This paragraph applies only when this Agreement is or has become a month-to-month Agreement.) Lessor shall advise Lessee of any changes in terms of tenancy with advance notice of at least 30 days. Changes may include notices of termination, rent adjustments or other reasonable changes in the terms of this Agreement.
28. **Surrender of Premises.** At the expiration of the lease term, Lessee shall quit and surrender the premises hereby demised in as good state and condition as they were at the commencement of this lease, reasonable use and wear thereof and damages by the elements excepted.
29. **Default.** If any default is made in the payment of rent, or any part thereof, at the times hereinbefore specified, or if any default is made in the performance of or compliance with any other term or condition hereof, the lease, at the option of Lessor, shall terminate and be forfeited, and Lessor may re-enter the premises and remove all persons therefrom. Lessee shall be given written notice of any default or breach, and termination and forfeiture of the lease shall not result if, within _____ days of receipt of such notice, Lessee has corrected the default or breach or has taken action reasonably likely to effect such correction within a reasonable time.
30. **Abandonment.** If at any time during the term of this lease Lessee abandons the demised premises or any part thereof, Lessor may, at his or her option, enter the demised premises by any means without being liable for any prosecution therefore, and without becoming liable to Lessee for damages or for any payment of any kind whatever, and may, at his or her discretion, as agent for Lessee, re-let the demised premises, or any part thereof, for the whole or any part of the then unexpired term, and may receive and collect all rent payable by virtue of such re-letting, and, at Lessor's option, hold Lessee liable for any difference between the rent that would have been payable under this lease during the balance of the unexpired term, if

this lease had continued in force, and the net rent for such period realized by Lessor by means of such re-letting. If Lessor's right of re-entry is exercised following abandonment of the premises by Lessee, then Lessor may consider any personal property belonging to Lessee and left on the premises to also have been abandoned, in which case Lessor may dispose of all such personal property in any manner Lessor shall deem proper and is hereby relieved of all liability for doing so.

- 31. **Binding Effect.** The covenants and conditions herein contained shall apply to and bind the heirs, legal representatives, and assigns of the parties hereto, and all covenants are to be construed as conditions of this lease.
- 32. **Radon Gas Disclosure.** As required by law, Lessor makes the following disclosure: "Radon Gas is a naturally occurring radioactive gas that, when it has accumulated in a building in sufficient quantities, may present health risks to persons who are exposed to it over time. Levels of radon that exceed federal and state guidelines have been found in buildings in every state. Additional information regarding radon and radon testing may be obtained from your county public health unit."
- 33. **Lead Paint Disclosure.** As required by law, Lessor makes the following disclosure: "Housing built before 1978 may contain lead-based paint. Lead from paint, paint chips, and dust can pose health hazards if not managed properly. Lead exposure is especially harmful to young children and pregnant women. Before renting pre-1978 housing, lessors must disclose the presence of known lead-based paint and/or lead-based paint hazards in the dwelling. Lessees must also receive a federally approved pamphlet on lead poisoning prevention."
- 34. **Severability.** If any portion of this lease shall be held to be invalid or unenforceable for any reason, the remaining provisions shall continue to be valid and enforceable. If a court finds that any provision of this lease is invalid or unenforceable, but that by limiting such provision it would become valid and enforceable, then such provision shall be deemed to be written, construed and enforced as so limited.
- 35. **Insurance.** Lessor has obtained insurance to cover fire damage to the building itself and liability insurance to cover certain personal injuries occurring as a result of property defects or Lessor's negligence. Lessor's insurance does not cover Lessee's possessions or Lessee's negligence. Unless the opt-out clause below is initialed by both Lessee and Lessor, Lessee must obtain a renter's insurance policy to cover damage or loss of personal possessions as well as losses resulting from Lessee's negligence.

Opt-Out Clause:

_____ Lessee and Lessor must both initial and date here if the requirement that Lessee obtain renter's insurance is waived. If the requirement is waived, Lessee will not be required to obtain renter's insurance. Lessor's insurance policy does not cover damages or loss of Lessee's personal possessions as well as losses resulting from Lessee's negligence.

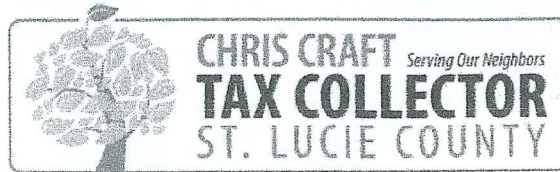
36. **Other Terms:** _____

Lessee _____ Date: _____

Lessor _____ Date: _____

NOTICE: State law establishes rights and obligations for parties to rental agreements. This agreement is required to comply with the Truth in Renting Act or the applicable Landlord Tenant Statute or code of your state. If you have a question about the interpretation or legality of a provision of this agreement, you may want to seek assistance from a lawyer or other qualified person.

NOTICE: Contact your local county real estate board for additional forms that may be required to meet your specific needs.



701
5416

5% TOURIST DEVELOPMENT TAX APPLICATION

TDT# (Office Use Only) 5416 DATE POSTED: (Office Use Only) _____

STARTED RENTING DATE Jan 1, 2017

BUSINESS NAME: _____

Account Management
How will you pay your account?
www.tclsc.com

TouristExpress - online - on time (collection allowance included)

Coupons - from web site

Mailed Coupons - from coupon book

Owner's Name: Deborah Sacks Email Address: BBARDRANCH@AOL

Mailing Address: 404 Creekside Circle FL SALES TAX#: 66- 8017148277-9

City: Rutherfordton State: NC Zip: 28139 Social Security or FEI # 264-37-8094

Rental Property: 655 Herrando St Work Phone#: _____

UNIT #: 655 City: Ft. Pierce Zip: 34949 Home Phone#: 828-286-7433

TYPE OF RENTAL

Condo Motel Hotel Mobil Home Park RV Park Time Share

Single Home Apartment B & B Rooming House Townhouse

Other Approved User YES NO

Do You Have a Rental Agent? YES NO

Do You Have a Bookkeeper? YES NO *myself*

Name: _____

Phone #: _____

Email Address: _____

How Many Units 3

Are You Seasonal: YES NO

If seasonal, mark all months that apply:

Jan Feb Mar Apr May Jun Jul Aug Sep Oct Nov Dec

No Longer Renting? Date: _____

****Businesses ONLY****

Business Tax Receipt # _____

Signature: Deborah Sacks

Today's Date: 2/10/17

Mail To: St. Lucie County Tax Collector
P.O. Box 308
Fort Pierce, FL 34954-0308

Deliver In Person To : 2300 Virginia Ave - Fort Pierce
or
1664 SE Walton Road - Port Saint Lucie

~ Visit Our Website For Mail-In Coupons ~
www.tclsc.com

Phone #: 772-462-1650 Fax#: 772-462-1968
E-Mail: taxcollector@tclsc.com

NOTE: COUPONS ARE DUE MONTHLY. SEASONAL RENTERS MUST FILE THE YELLOW INACTIVE FORM IN YOUR COUPON BOOK AFTER THE LAST RENTED MONTH OF THE SEASON OR A MINIMUM \$50.00 PENALTY MAY APPLY.

The St. Lucie County Tax Collector collects social security numbers for Tourist Development Tax in accordance with Florida Statutes for the purpose of identification and verification.

Rev. 3.0

Tourist Development Tax (TDT) Account**From:** Wendy Browning <Wendy.Browning@tcslc.com>**To:** 'bbardranch@aol.com' <bbardranch@aol.com>**Date:** Fri, Feb 10, 2017 12:46 pm Wendy Browning.vcf (38 KB)  TouristExpress Instr...docx (20 KB)

Good afternoon, Deborah.

We have set up your tourist account in our system. Your Tourist Development Tax (TDT) Acct # is 5416. See the attached instructions for setting up your account through TouristExpress.

We created a zero bill for December 2016 to enable you to set up TouristExpress; this will be the information to use in registering. Once you've registered, we will need to confirm the registration and email you when it has been confirmed. Once confirmed, you will be able to make your payments and file your future returns online.

As a reminder, taxes are due on the first day of the month following the collection period. Tax returns are considered delinquent and subject to penalties and interest if payment is not received before the 20th of the month in which the tax is due. We have your account set up for rental January through December; if there are any of these months that you do not rent, you will need to either submit a \$0 return through TouristExpress for that month or send us an inactive form which can be printed from our website tcslc.com.

If you have any questions, please do not hesitate to contact us.

Best Regards,
Wendy

cid:image004.png@01D2345
3.C0512900

[facebook logo](#)

[twitter logo](#)

Please Note: Florida has very broad public records laws. Most written communications to or from County officials regarding County business are public records available to the public and media upon request. It is the policy of St. Lucie County that all County records shall be open for personal inspection, examination and / or copying. Your e-mail communications will be subject to public disclosure unless an exemption applies to the communication. If you received this email in error, please notify the sender by reply e-mail and delete all materials from all computers.



State of Florida Department of Revenue

[DOR Home](#) [e-Services Home](#) [Print Page](#) [Contacts](#) [Logout](#)
Sales Tax - [Click for Help](#)

Original Return

FOR YOUR RECORDS ONLY - DO NOT MAIL

Cancellations must be done before 5:00 p.m. ET on the submission date. If the submission is completed after 5:00 p.m. ET on the submission date, weekend, or holiday the cancellation must be done before 5:00 p.m. ET the next business day. All cancellations are permanently deleted from our database.

Access Source: 66-8017148277-9

Confirmation Number: 170206126590

DR-15

Certificate Number	Collection Period	Confirm Date and Time
66-8017148277-9	01/2017	02/06/2017 12:06:52 PM ET

Label

Location Address

655 HERNANDO ST
FORT PIERCE, FL 34949-3246

DEBORAH SACKS
404 CREEKSIDE CIR
RUTHERFORDTON, NC 28139-7885

Contact Information	
Name	DEBORAH
Phone	(828) 286 - 7433
Email	BBARDRANCH@AOL.COM

Debit Date:	2/7/2017
Amount for Check:	\$162.50
Bank Routing Number:	063000047
Bank Account Number:	003062427178
Bank Account Type:	Checking
Corporate/Personal:	Personal
Name on Bank Account:	DEBORAH SACKS

Due to federal security requirements, we can not process international ACH transactions. If any portion of the money used in the payment you may be making today came from a financial institution located outside of the US or its territories for the purpose of funding this payment, please do not proceed and contact the Florida Department of Revenue at 1-800-352-3671 to make other payment arrangements. By continuing, you are confirming that this payment is not an international ACH transaction. If you are unsure, please contact your financial institution.

I hereby authorize the Department of Revenue to process this ACH transaction and to debit the checking account identified above. I understand there may be service charges assessed on any transactions not honored by my bank.

Application for Employer Identification Number

OMB No. 1545-0008

(For use by employers, corporations, partnerships, trusts, estates, churches, government agencies, Indian tribal entities, certain individuals, and others.)

EIN

▶ See separate instructions for each line. ▶ Keep a copy for your records.

81-5315859

Type or print clearly.	1 Legal name of entity (or individual) for whom the EIN is being requested Deborah Jean Sacks	
	2 Trade name of business (if different from name on line 1)	3 Executor, administrator, trustee, "care of" name
	4a Mailing address (room, apt., suite no. and street, or P.O. box) 404 CREEKSIDE CR	5a Street address (if different) (Do not enter a P.O. box.)
	4b City, state, and ZIP code (if foreign, see instructions) RUTHERFORDTON, North Carolina, 28139	5b City, state, and ZIP code (if foreign, see instructions)
	6 County and state where principal business is located North Carolina	
	7a Name of responsible party Deborah Sacks	7b SSN, ITIN, or EIN 264-37-8094
8a Is this application for a limited liability company (LLC) (or a foreign equivalent)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		8b If 8a is "Yes," enter the number of LLC members ▶
8c If 8a is "Yes," was the LLC organized in the United States? <input type="checkbox"/> Yes <input type="checkbox"/> No		
9a Type of entity (check only one box). Caution. If 8a is "Yes," see the instructions for the correct box to check.		
<input checked="" type="checkbox"/> Sole proprietor (SSN) 264 37 8094 <input type="checkbox"/> Partnership <input type="checkbox"/> Corporation (enter form number to be filed) ▶ <input type="checkbox"/> Personal service corporation <input type="checkbox"/> Church or church-controlled organization <input type="checkbox"/> Other nonprofit organization (specify) ▶ <input type="checkbox"/> Other (specify) ▶		
<input type="checkbox"/> Estate (SSN of decedent) <input type="checkbox"/> Plan administrator (TIN) <input type="checkbox"/> Trust (TIN of grantor) <input type="checkbox"/> National Guard <input type="checkbox"/> State/local government <input type="checkbox"/> Farmers' cooperative <input type="checkbox"/> Federal government/military <input type="checkbox"/> REMIC <input type="checkbox"/> Indian tribal governments/enterprises Group Exemption Number (GEN) if any ▶		
9b If a corporation, name the state or foreign country (if applicable) where incorporated	State	Foreign country
10 Reason for applying (check only one box)		
<input checked="" type="checkbox"/> Started new business (specify type) ▶ VACATION RENTAL <input type="checkbox"/> Banking purpose (specify purpose) ▶ <input type="checkbox"/> Changed type of organization (specify new type) ▶ <input type="checkbox"/> Purchased going business <input type="checkbox"/> Hired employees (Check the box and see line 13.) <input type="checkbox"/> Created a trust (specify type) ▶ <input type="checkbox"/> Compliance with IRS withholding regulations <input type="checkbox"/> Created a pension plan (specify type) ▶ <input type="checkbox"/> Other (specify) ▶		
11 Date business started or acquired (month, day, year). See instructions. 01/11/2017		12 Closing month of accounting year December
13 Highest number of employees expected in the next 12 months (enter -0- if none). If no employees expected, skip line 14.		14 If you expect your employment tax liability to be \$1,000 or less in a full calendar year and want to file Form 944 annually instead of Forms 941 quarterly, check here. (Your employment tax liability generally will be \$1,000 or less if you expect to pay \$4,000 or less in total wages.) If you do not check this box, you must file Form 941 for every quarter. <input type="checkbox"/>
Agricultural 0	Household 0	
15 First date wages or annuities were paid (month, day, year). Note. If applicant is a withholding agent, enter date income will first be paid to nonresident alien (month, day, year) ▶		
16 Check one box that best describes the principal activity of your business.		
<input type="checkbox"/> Construction <input type="checkbox"/> Rental & leasing <input type="checkbox"/> Transportation & warehousing <input type="checkbox"/> Accommodation & food service <input type="checkbox"/> Wholesale-agent/broker <input type="checkbox"/> Real estate <input type="checkbox"/> Manufacturing <input type="checkbox"/> Finance & insurance <input checked="" type="checkbox"/> Other (specify) VACATION RENTAL		
17 Indicate principal line of merchandise sold, specific construction work done, products produced, or services provided. VACATION RENTAL		
18 Has the applicant entity shown on line 1 ever applied for and received an EIN? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If "Yes," write previous EIN here ▶		

Third Party Designee	Complete this section only if you want to authorize the named individual to receive the entity's EIN and answer questions about the completion of this form.	
	Designee's name Khadejah Payne, GovSimplified LLC	Designee's telephone number (include area code) (888) 629-9001
	Address and ZIP code 2800 Biscayne Blvd Miami, FL 33137	Designee's fax number (include area code) (888) 593-2328
Under penalties of perjury, I declare that I have examined this application, and to the best of my knowledge and belief, it is true, correct, and complete.		Applicant's telephone number (include area code) (828) 286-7433
Name and title (type or print clearly) ▶ Deborah Sacks, OWNER		Applicant's fax number (include area code) ()
Signature ▶		Date ▶

Information and Rules that you need to know while you are here

655 Hernando St. Ft. Pierce, Fl. 34949

For Power outages or trouble call: FT. Pierce Utilities 772-466-7703

Garbage pick up is Mondays and Fridays. Garbage cans maybe placed curbside 5 ft from the mail box after 7 pm the night before collection and must be removed the same day of collection no later than 7 pm. The same goes for recycling.

Ft. Pierce Police or Fire Department emergencies dial 911

Police Department : 772-871-5000

Fire Department: 772-621-3400

Lawnwood Regional Medical Center: 772-461-4000. They are located at 1700 S 23rd Street Ft Pierce 34950

If you have any problems with appliances, Air Conditioning, etc... Please call me Debbie Sacks 828-286-7433 or my Property Manager Mary Shepard 772-579-8482

Only two vehicles are allowed while you stay.

No Pets are allowed.

The outside of this Townhome needs to be kept clutter free. No bikes, fishing poles, beach chairs etc.. are to be left out over night.

DirecTV problems call 1-800- Directv.

Check in time is at 2 pm and check out time is 11:00 am.

Noises are prohibited, excessive, unnatural, prolong and unusual are a detriment to the public health, comfort, convenience, safety, welfare and prosperity of the residents of the city as deemed by reasonable person are prohibited.

All trash must be taken out of the unit upon leaving.

Please see your Residential Lease for more rules and restrictions.

655 Hernando St.

Ft. Pierce, Florida 34949

Property Manager information :

Mary Shepard 772-579-8482

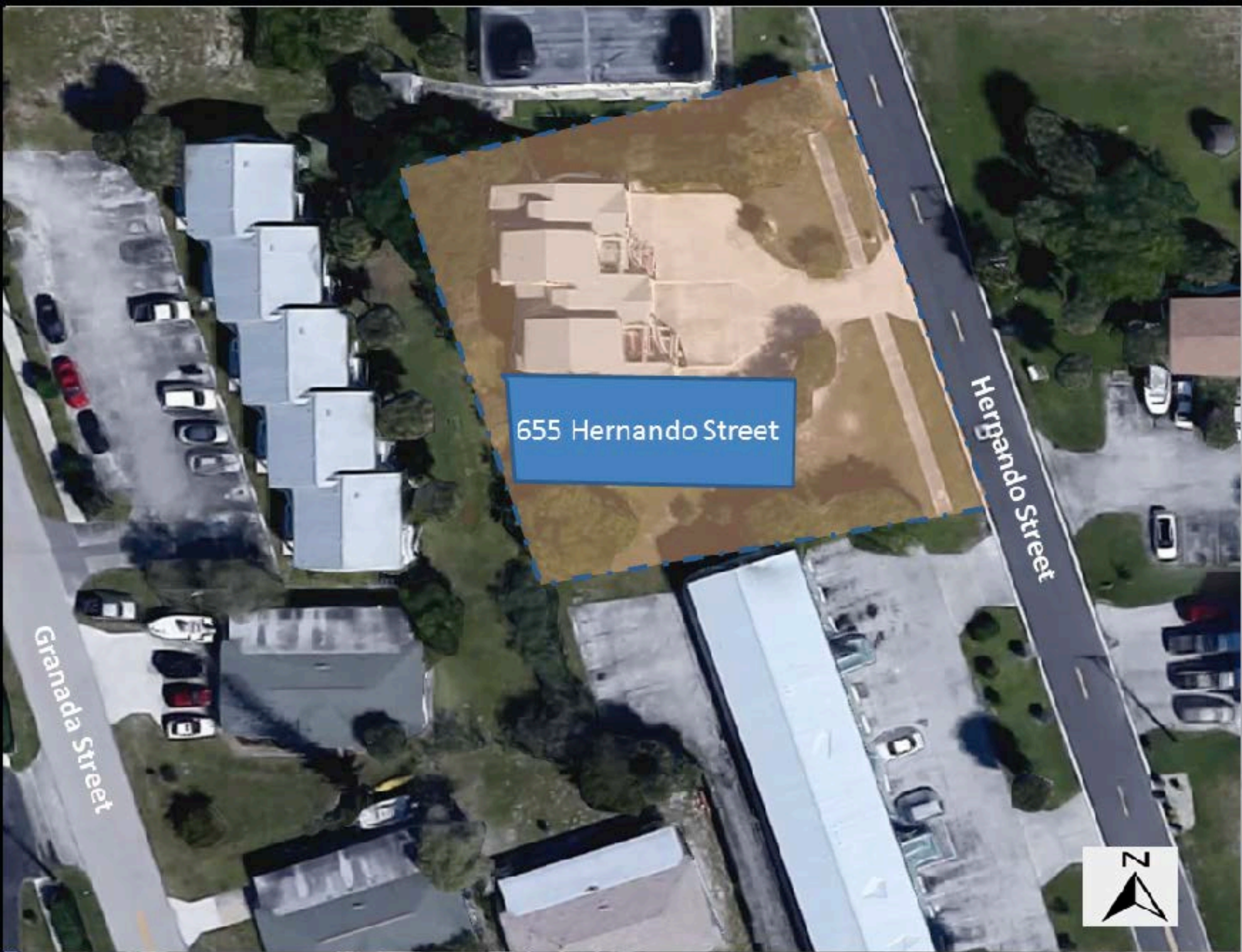
1565 Thumb Point Dr. Ft. Pierce, Florida 34949

Mary Shepard is a retired Real Estate Agent and lives two blocks from this Townhome.

She is responsible for collecting rent, appliance repairs and making sure that anyone who stays follows the rules and regulations of The City of Ft. Pierce and the rules that I have in place also.

She has lived on the Island for over 40 years and loves this Island more than anyone I know.

I am very lucky to have her.

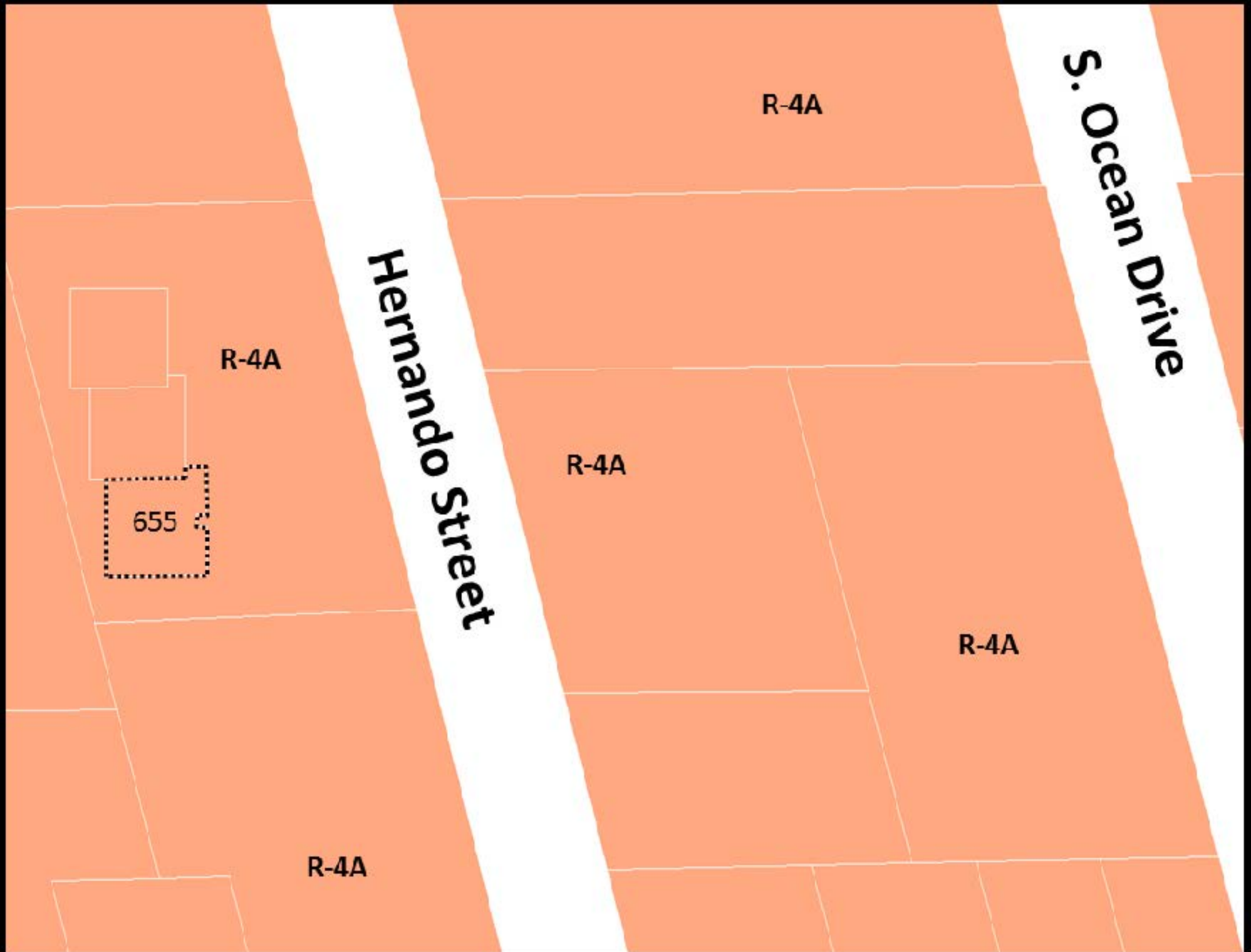


Aerial Map

655 Hernando Street



THE SUNRISE CITY
FORT PIERCE
Florida



Legend

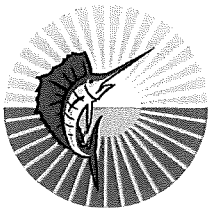
..... Subject Site

■ R-4A, Hutchinson Island Medium Density Residential

Zoning Map



THE SUNRISE CITY
FORT PIERCE
Florida



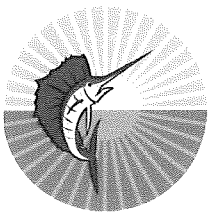
THE SUNRISE CITY

FORT PIERCE
CODE ENFORCEMENT
Florida

TO : Vennis Gilmore, Planning Analyst
FROM : Peggy Arraiz, Code Compliance Manager
SUBJECT : TRC # 17-04000004 – Sacks Vacation Rental
DATE : February 8, 2017

Code Enforcement has the following comments:

1. The property is still being advertised for short term rentals online in violation of the City ordinances. This matter will be heard at the scheduled hearing on 2/15/2017 and possible fines assessed unless the ad is removed. Please bring this matter into compliance ASAP and remain so until a condition use is approved by the City Commission.
2. The owner has not provided any narrative addressing the standard code issues including:
 - a. Local management
 - b. Maximum vehicles
 - c. Compliance with city ordinances such as noise and garbage removal
3. The owner is advised that short term rentals of less than 30 days require the following:
 - a. A City Business Tax Receipt
 - b. An account with the Florida Department of Revenue – collection of 6.5% sales tax
 - c. An account with St. Lucie County – 5% Tourism Development Tax
 - d. A State of Florida license



THE SUNRISE CITY
FORT PIERCE
 ENGINEERING
 DEPARTMENT
Florida

FEB 08 2017

To : Vennis Gilmore, Planning Analyst

FROM : John R. Andrews, P.E., City Engineer

JRA

**RE : Sacks Residence Conditional Use – 655 Hernando Street
 TRC Project No. 17-0400004**

DATE : February 8, 2017

This is to advise you that we have completed the review of the following documents as received by this office on February 3, 2017:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Conditional Use Application | <input type="checkbox"/> Plan Revisions |
| <input type="checkbox"/> Test Reports & Related Documents | <input type="checkbox"/> Certificate of Completion |
| <input type="checkbox"/> Record Drawings | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we

- | | | |
|--|---|------------------------------|
| <input checked="" type="checkbox"/> Recommend | <input type="checkbox"/> Do Not Recommend | |
| <input checked="" type="checkbox"/> Approval of CU | <input type="checkbox"/> Building Permit | <input type="checkbox"/> C/O |

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

See attached for engineering comments

JRA/tst

Q:\ENGINEERING\Site Development Projects\S\Sacks Residence\CU Approval - 020817.docx



TRC submissions for Feb. 16th
Martha Kerr
to:
Vennis Gilmore
02/13/2017 04:02 PM
Hide Details
From: Martha Kerr <mkerr@fpu.com>
To: Vennis Gilmore <VGilmore@city-ftpierce.com>

Good Afternoon,

Below are FPUA comments regarding the TRC submissions for the Feb. 16th meeting.

- A. **Conditional Use** - Bradley Dwelling Rental – 408 S. Ocean Drive (Vennis Gilmore)
 - W/WW Engineering: No objection
 - Gas and Electric Engineering: No comment
- B. **Conditional Use** – Sacks Dwelling Rental – 655 Hernando Street (Vennis Gilmore)
 - W/WW Engineering: No objection
 - Gas and Electric Engineering: No comment
- C. **Waiver of Distance** – Sweetie’s Diner – 2625 S. US Hwy 1 (Vennis Gilmore)
 - W/WW Engineering: No objection
 - Gas and Electric Engineering: No comment

Thank you

Regards,
Martha Kerr

FPUA

Staff Assistant II
W/WW Engineering Department
1701 S. 37th Street
Fort Pierce, FL 34947
Telephone: (772) 466-1600, Ext. 3473
Fax: (772) 468-2414
mkerr@fpu.com

Please note: Florida has a very broad public records law. Most written communications to or from Fort Pierce Utilities Authority employees regarding government business are public records, available to the public and media upon request. Your e-mail communications may be subject to public disclosure.

(For additional information, go to http://www.fpu.com/important_information/privacy.php)

Project: SACKS DWELLING RENTAL

Subject: Review Comments

To: Vennis Gilmore

From: Rod Reed, County Surveyor
PW-Engineering Division

Date: February 8, 2017

I have no comments.

Rod Reed, County Surveyor

St. Lucie County, Fl.

2300 Virginia Avenue

Ft. Pierce, Fl. 34982-5652


www.stlucieco.org

Ph. (772) 462-1721

E-mail reedr@stlucieco.org



TECHNICAL REVIEW COMMITTEE (TRC) COMMENTS FORM

FROM : Paul Thomas, CBO, CFM, Interim Building Official 

RE : Sacks Dwelling Rental - 655 Hernando Street

DATE : 2/17/17

The proposed use may trigger the following Code requirements:

1. There will need to be a Change of Use to R-1 (FBC 310.3)
2. Fire sprinklers will need to be installed.
3. ADA Parking, accessible route, pool and bathroom must also be made accessible.
4. There will need to be vertical accessibility (F.A.C.)

PT/km

Michelle Franklin, CFA -- Saint Lucie County Property Appraiser -- All rights reserved.

Building Information

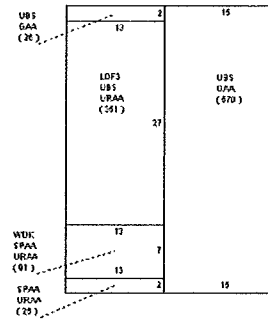
Finished/Under Air Area: 1,298 SF
Gross Total Area: 2,570 SF

Exterior Data

Building Type:	XT48	Grade:	T48A
Year Built:	1989	Effective Year:	1989
No. Units:	1	Story Height:	3 Story
Roof Cover:	Dim Shingle	Roof Structure:	Gable
Primary Wall:	CB Stucco	Secondary Wall:	Hardi Plank
View:		Frame:	

Interior Data

Bedrooms:	2	Full Baths:	2
Primary Int Wall:	Drywall	Half Baths:	0
Primary Floors:	Carpet	Avg Hgt/Floor:	0
Heat Type:	FredHotAir	Heat Fuel:	ELEC
Heated %:	100%	A/C %:	100%
Electric:	MAXIMUM	Interior Sprinkler %:	0%



Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
GAA	Garage Attached Average	596	0	136
LOF3	LOFT AT 30% OF BASE (GOOD QUALITY)	351	351	80
SPAA	Screen Porch Attached Average	117	0	70
UBS	UPPER BASE AREA/+1	947	947	216
URAA	Utility Room Attached Average	468	0	150
WDK	WOOD DECK	91	0	40

This information is believed to be correct at this time but it is subject to change and is not warranted.
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Planning Board

7.d.

Meeting Date: 03/14/2017

Information

REQUESTED ACTION

Waiver of Distance - Sweetie's Diner - 2625 S. US Highway 1

LOCATION

2625 S. US Highway 1

RESPONSIBLE STAFF

Vennis Gilmore, Planning Analyst

RECOMMENDATION

Approval

Attachments

Staff Report

Aerial & Zoning Map

Waiver of Distance Application

Survey

Floor Plan

Property Record Card

Form Review

Form Started By: Vennis Gilmore

Started On: 03/03/2017 09:59 AM

Final Approval Date: 03/07/2017



TO: Members of the City of Fort Pierce Planning Board

THROUGH: Rebecca Grohall, AICP, Planning Director

FROM: Vennis Gilmore, Planning Analyst

RE: **Application for Waiver of Distance – 2COP Alcohol License
Wingstop
2575 S. US Highway 1**

DATE: December 22, 2016

STAFF REPORT

Applicant: Jordan Ridgeway, Regional Manager
Sodawing LLC
5723 New Independence Parkway
Winter Garden, FL 34787

Property Owner: Ehden NV
C/O Fraga Properties
75 Valencia Ave Ste 1150
Coral Gables, FL 33134

Requested Action: Approval of a Waiver of Distance for an alcoholic beverage license

Type of License: 2COP – Beer and Wine; sale for on premises consumption.

Name of Establishment: Wingstop

Site Location: 2575 S. US Highway 1

Parcel ID: 2422-602-0264-000-8

Current Zoning: C-3, General Commercial Zone

Surrounding Zoning:

North	East	South	West
C-3	C-3	C-3	R-2,R-5

Staff Analysis:

Wing Stop is a restaurant which is seeking to sell beer and wine for consumption on-premises. The restaurant is expected to open for operation within the first (1st) quarter of the year 2017, after leasing and renovations to the existing retail unit. The restaurant will be located within the southeast corner of Sabal Palm Plaza.

The request is to secure a 2COP – Beer and Wine License to offer sale of alcohol, at the subject location, for consumption on-premises. Section 3-7 of the City Code restricts the sale or distribution of sealed alcoholic beverages for consumption on the premises where the establishment is located within 1,600 feet of a church, school, or other licensed establishments; unless a Waiver of Distance is granted.

The applicant is requesting the waiver based upon the presence of a church that is located within 1,600 feet of the proposed site. City Code Section 3-11 of the City Code specifies that a waiver of distance shall be granted only if it does not adversely affect community health, safety or general welfare and that the following are considered:

a. The actual location and distance of the proposed establishment with respect to other places of business licensed to sell intoxicating beverages, whether on or off the premises, as well as churches and schools;

The proposed establishment is located approximately 1,487 ft. from First Church of the Nazarene.

b. Whether adequate parking and landscaping for the facility are provided so as to meet the requirements set forth in sections 22-59 through 22-61;

The existing plaza site contains adequate parking and landscaping to meet City Code.

c. Whether the facility is physically separated or well buffered from all adjacent residentially zoned areas;

The site is well buffered from all adjacent residentially zoned areas.

d. Whether traffic generated by patrons or pickup/delivery vehicles will pass through low or moderate density residentially zoned neighborhoods;

This property is accessible from South US Highway 1. It would not be necessary for either customer or commercial vehicles to pass through residentially zoned areas.

e. Whether, if the facility is located within sixteen hundred (1,600) feet of a church or school, it will generate traffic which may adversely affect the safety of persons attending such church or school.

This establishment is located within 1,600 feet of First Church of the Nazarene and is not located within 1,600 feet of a school.

Section 3-9 (6) of the City Code states that an applicant holding a 2-COP license must be engaged in conduction a bona fide restaurant operation. The code further states that such a restaurant must:

- a. Have tables capable of seating not fewer than thirty-five (35) persons simultaneously, for the purpose of serving meals;
- b. Must dispense sales of beer and wine only to persons patronizing the establishment for the main purpose of ordering and consuming food;
- c. Have permanent kitchen facilities located within the premises in which meals are regularly prepared for service to patrons of the establishment.

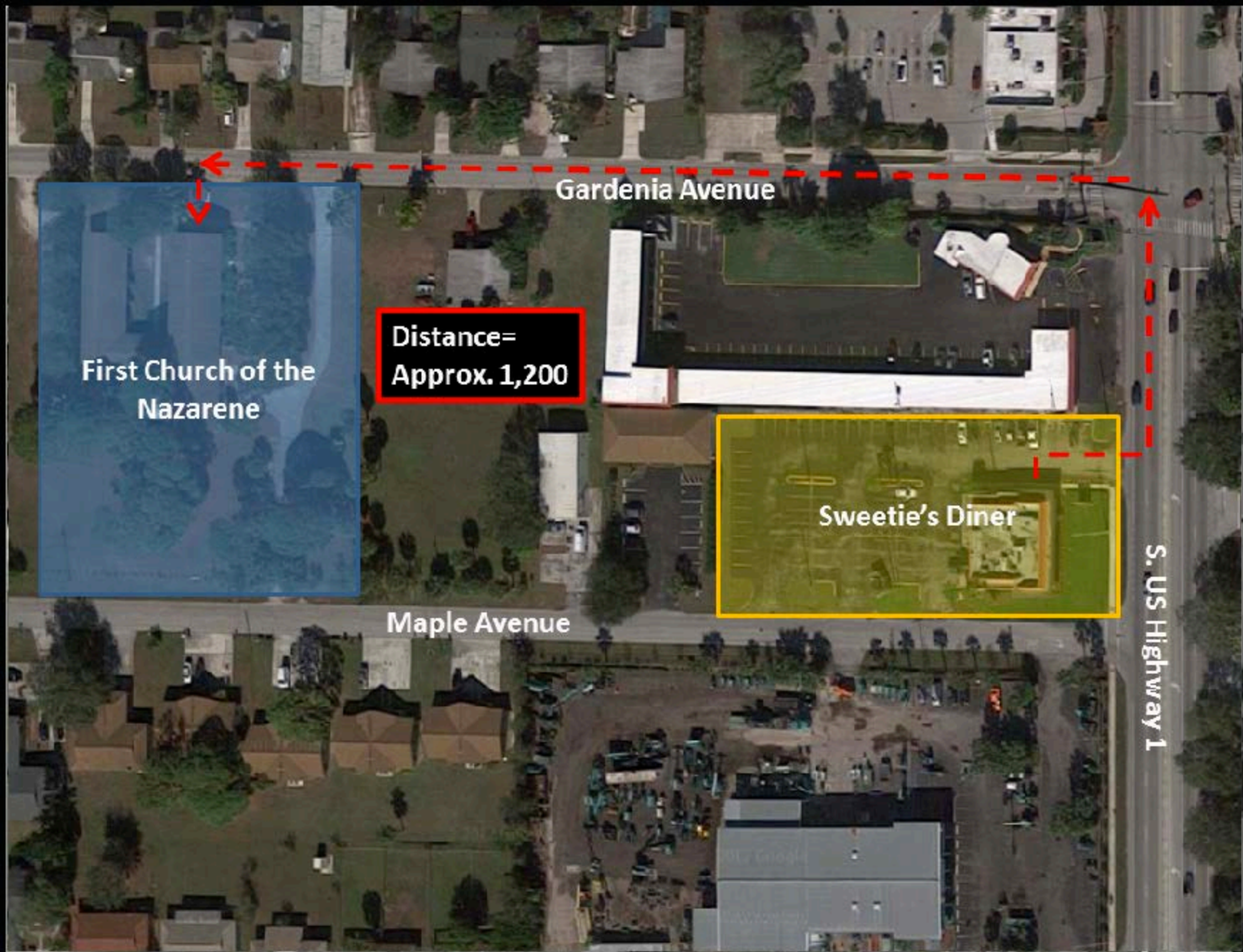
The application as submitted meets the necessary requirements for holding a 2-COP license. The restaurant, with seating for approximately 60 people; will serve lunch and dinner meals. It is understood by the applicant that service of alcohol is to be with meals only.

Technical Review Committee:

All affected City Departments have reviewed the proposed Waiver of Distance and have provided conditional approval based on compliance with requirements of the City Code. The comments generated from the technical review, and responses by the applicant are provided for review.

Staff Recommendation:

The requested Waiver of Distance is consistent with City Code, the Comprehensive Plan, and does not adversely affect the public health, safety, convenience and general welfare; Staff recommends that the Planning Board forward a recommendation to the City Commission for **approval** of the requested Waiver of Distance for a 2COP Alcoholic Beverage License for the proposed establishment.

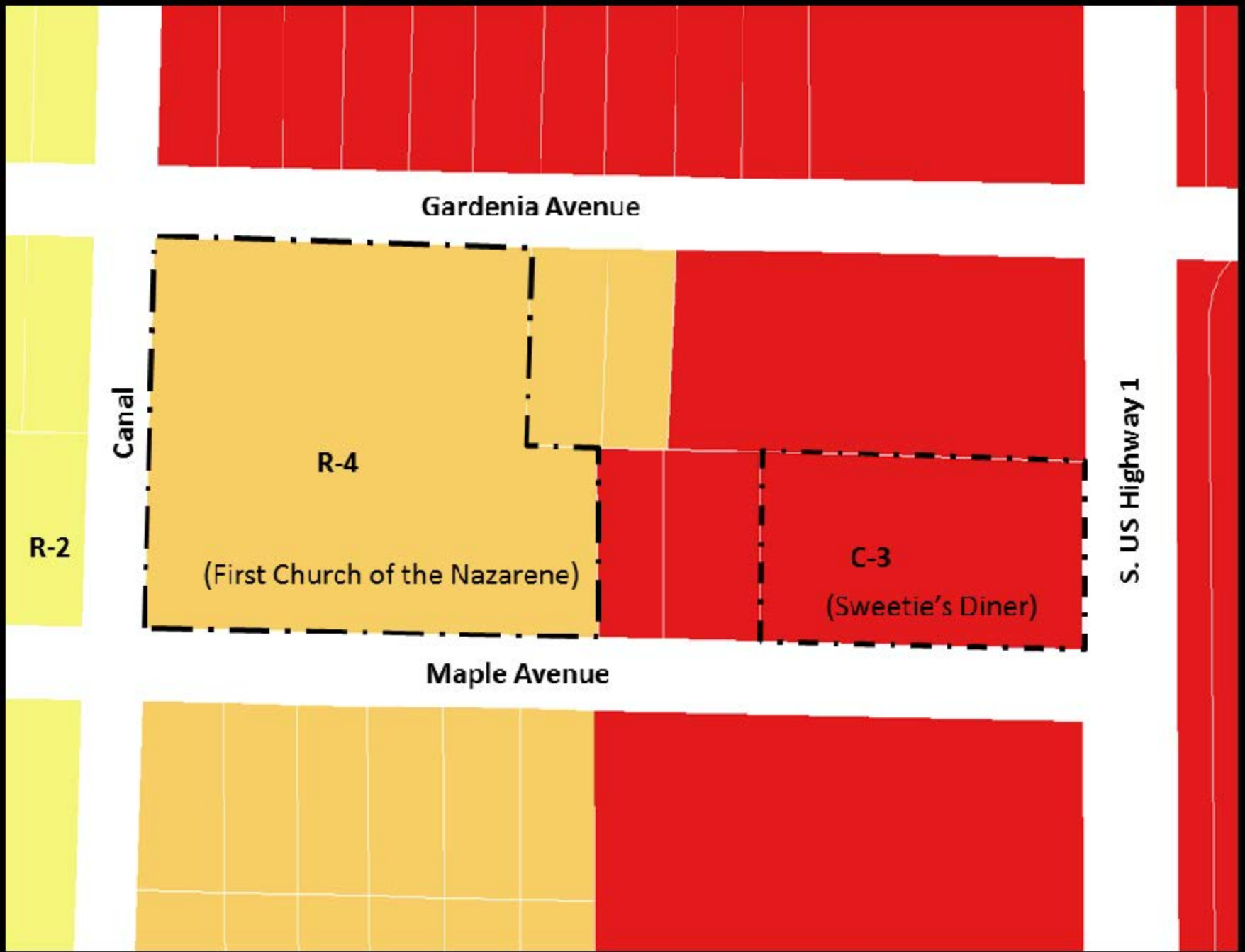


Location & Distance Map

**2625 S US Highway 1 -
Sweetie's Diner**



THE SUNRISE CITY
FORT PIERCE
Florida



Legend

- Subject Sites
-  R- 2, Single Family Intermediate Density
-  C-3, General Commercial
-  R-4, Medium Density Residential

Zoning Map



THE SUNRISE CITY
FORT PIERCE
Florida



WAIVER OF DISTANCE

Property address or Location: 2625 S USF, Fort Pierce, FL 34982
 Parcel ID #(s): 2422-602-0249-001-7
 Project description: Sweeties Diner

Property Owner(s): <u>Fort Pines LLC</u>	Applicant/Representative, Title, Company: <u>Sweeties Diner, LLC</u>
Street Address: <u>7241 High Ridge Rd</u>	Street Address: <u>2625 S USF</u>
City State Zip: <u>Naples Beach, FL 33402</u>	City State Zip: <u>Fort Pierce, FL 34982</u>
Phone Number: _____	Phone Number: <u>772 240 9784</u>
Email Address: _____	Email Address: <u>Sweetiesdiner@aol.com</u>

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

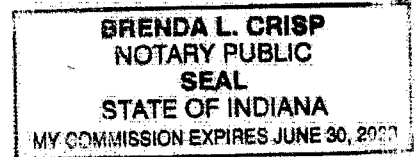
R. C. Patel

Property Owner(s) Signature(s)

STATE OF INDIANA COUNTY Madison
 The foregoing instrument was acknowledged before me this 2 day of February, 2017, by Rohit Kumar Patel who is personally known to me or has produced Florida Drivers License as identification.

Brenda L. Crisp
 Signature of Notary

(seal)



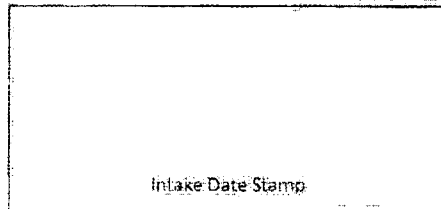
INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3000 x729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date: _____
 Intake Planner: _____
 Planner Assigned: _____
 Approved By: _____ Date: _____
 Comments: _____

Fees: _____ Control #: _____ B. Permit #: _____



Intake Date Stamp

WAIVER OF DISTANCE

Submit one (1) original & seven (7) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- As-built site drawing, to scale, including the building, front door, parking area, traffic ingress and egress, sidewalks, landscaping and exterior lighting
- Sketch of the building's interior layout including square footage of the following: kitchen, bar area, seating arrangement, and restrooms
- Complete, notarized

Application Type:

- 1 APS/2APS: Beer Only / Package Sales or On-Premises Consumption
- 1 COP/2COP: Beer and Wine/Package Sales or On-Premises Consumption
- 3 APS: Beer, Wine & Liquor/Package Sales Only
- 4 COP: Beer, Wine & Liquor/On-Premises Consumption

Business Information:

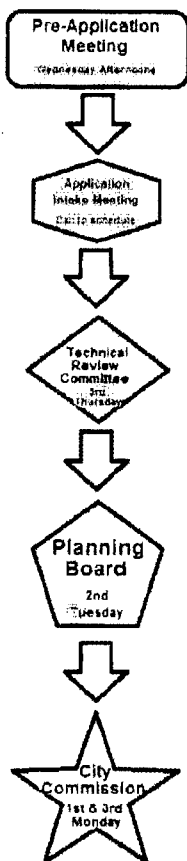
- New Business
- Transfer from: _____ address _____ Open since: _____ year

Building Size _____ Maximum Occupancy _____ Total Seating _____ Parking Spaces _____

Hours of Operation:

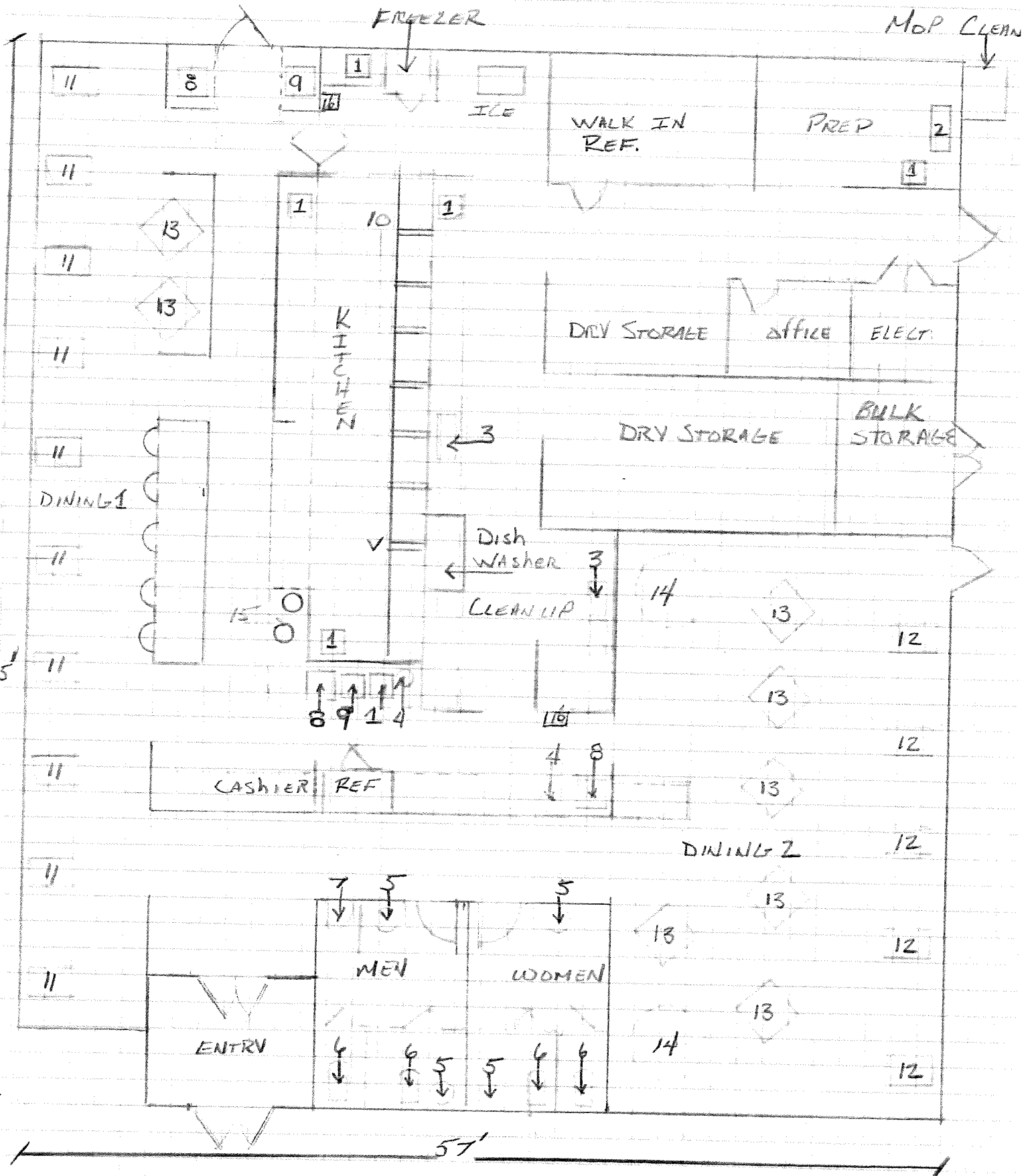
Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
to	to	to	to	to	to	to
6-8	6-8	6-8	6-8	6-8	6-8	6-8

Application Outlook



Minimum requirements for on-premises consumption.

- (1) An applicant holding a "Beer and Wine—Consume on Premises and Package Sales" license must be engaged in conducting a bona fide restaurant establishment, for which such waiver is sought, and to qualify as a bona fide restaurant the restaurant must:
 - (a) Have tables capable of seating not fewer than twenty (20) persons simultaneously, for the purpose of serving meals;
 - (b) Must dispense sales of beer and wine only to persons patronizing the establishment for the main purpose of ordering and consuming food;
 - (c) Have permanent kitchen facilities with a commercial stove, refrigerator and oven located within the premises in which meals are regularly prepared for service to patrons of the establishment.
- (2) An applicant holding a "Beer, Wine and Liquor—Consume on Premises and Package Sales" license must demonstrate that any parking area provided for is illuminated by not less than three (3) footcandles per square foot of parking lot area.



SWEETIES DINER

2625 US HWY 1
FT PIERCE FL

FLOOR PLAN SKETCH (ATTACHED)

LEGEND

<u>ITEM #</u>	<u>ITEM</u>
1	HAND WASH SINK
2	PREP SINK
3	CUSTOMER SINK
4	ICE CREAM SINK WASH
5	BATHROOM LAVS
6	TOILET
7	UNIVAL
8	COFFEE PREP STATION
9	SOUP MACHINE
10	OTHER APPLIANCES
11	4 PERSON BENCH
12	6 PERSON BENCH
13	4 PERSON TABLE
14	6 PERSON TABLE
15	SOUP STATION
16	FIRE EXTINGUISHER

Property Identification

Site Address: 2625 S US HWY 1 Parcel ID: 2422-602-0249-000-7 Account #: 30342 Sec/Town/Range: 22/35S/40E
 Map ID: 24/22N Zoning: C3 Use Type: 2100 Jurisdiction: Fort Pierce

Ownership

Fort Pierce LLC
 7241 High Ridge RD
 Boynton Beach, FL 33426

Legal Description

MARAVILLA GARDENS S/D UNIT 1 E 416 FT OF LOT 56 LESS W 90 FT AND E 7 FT FOR RD R/W (OR 3133-2600; 3142-478)

Current Values

Just/Market: \$359,100 Assessed: \$324,390
 Exemptions: \$0 Taxable: \$324,390

Historical Values 3-year

Year	Just/Market	Assessed	Exemptions	Taxable
2016	\$359,100	\$324,390	\$0	\$324,390
2015	\$294,900	\$294,900	\$0	\$294,900
2014	\$269,300	\$269,300	\$0	\$269,300

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
10-01-2009	3142 / 0478	0111	WD	Fort Pierce LLC,	\$0
10-01-2009	3133 / 2600	0001	WD	Johnson,Bethany I-Lessor-	\$335,000
03-17-2009	3070 / 1135	0111	QC	Johnson,Bethany I-Lessor-	\$0

Primary Building Information

Finished Area of this building: 3,923 SF
 Gross Area of this building: 3,923 SF

View:
 Year Built: 1974
 Primary Wall: CB Stucco

Roof Cover: Tar & Gravel
 Frame:
 Story Height: 1 Story

Exterior Data

Roof Structure: BarJst/Rigid
 Grade: Y_C
 No. Units: 1

Building Type: REST
 Effective Year: 1980
 Secondary Wall:

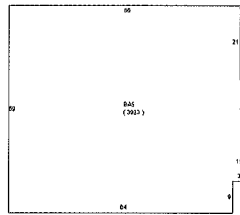
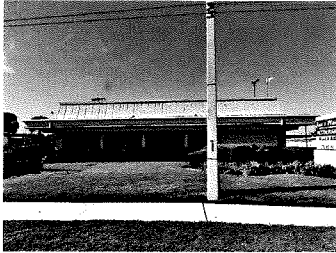
Bedrooms: 0
 Full Baths: 0
 Half Baths: 0

A/C %: 100%
 Heated %: 100%
 Sprinkled %: 100%

Interior Data

Electric: MAXIMUM
 Heat Type: FredHotAir
 Heat Fuel: ELEC

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors: Tile-Ceramic



Total Areas

Finished/Under Air (SF):	3,923
Gross Area (SF):	3,923
Land Size (acres):	1.02
Land Size (SF):	44,606
Total Building Count:	1

Special Features and Yard Items

Type	Qty	Units	Year Blt
CONCRETE LOW	1	500	1950
CEMENT CURB	1	180	1950
ASP2 LOW	1	29400	1950
DOUBLE LIGHT	1	6	1974
SINGLE LIGHT	1	1	1974

This information is believed to be correct at this time but it is subject to change and is not warranted.
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Planning Board

7.e.

Meeting Date: 03/14/2017

Information

REQUESTED ACTION

Disposal of Surplus Property - Lot 13 Lincoln Court

LOCATION

Lot 13 Lincoln Court

RESPONSIBLE STAFF

Linda Cox

RECOMMENDATION

Forward a recommendation for approval of the sale of Lot 13 Lincoln Court to the City Commission.

Attachments

Disposal of Surplus Property

Form Review

Form Started By: Alicia Rosenthal

Started On: 02/15/2017 10:00 AM

Final Approval Date: 02/15/2017



TO : Rebecca Grohall, Planning Director
FROM : Linda Cox, City Clerk
RE : Disposal of Surplus Property – Lot 13 Lincoln Court
DATE : February 15, 2017

STAFF REPORT

Background:

The City of Fort Pierce is the owner of real property described as Lot 13 Lincoln Ct., Parcel ID 2409-501-0233-000-1, with a legal description as follows: Lot 13, Block 8, Lincoln Park No. 2, according to the Plat thereof, recorded in Plat Book 4, at Page 77, of the Public Records of St. Lucie County, Florida and contains approximately .06 acres.

The City Building Department discovered that a camper trailer had at some point been placed on Lot 13 of Lincoln Court. After speaking with the resident of the camper trailer and/or the adjacent property, Mr. C. A. Bernard, we learned that the trailer had been on that site for approximately 40 years. It appears that the property was given to the city via Quit Claim Deed from G.B. Walters Property, Inc. in March of 1986, and staff was unaware that a deed had been recorded.

At its meeting on January 17, 2017, the City Commission declared Lot 13 Lincoln Court as surplus property via Resolution 17-R04.

Pursuant to Section 13 of the City Charter, the City advertised on January 27 and February 3 that this property had been declared surplus and bids would be accepted until Tuesday, February 14, 2017 at 3:00. We received one bid in the amount of \$50.00 from Mr. Cornelius Bernard and Folly Elizabeth Vassell.

Recommendation:

In accordance with the Fort Pierce Code of Ordinances, Section 2-223 (4), staff recommends the Planning Board review the request and forward a recommendation for approval of the sale of Lot 13 Lincoln Court to the City Commission.