

CITY PLANNING BOARD

BOARD AGENDA

Planning Board Regular Meeting - Tuesday, May 9, 2017 - 6:00 p.m.
City Hall - City Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **CONSIDERATION OF ABSENCES**
5. **CERTIFICATION OF ALTERNATE MEMBER VOTING STATUS**
6. **APPROVAL OF MINUTES**
 - a. Minutes from the April 11, 2017 meeting
7. **NEW BUSINESS**
 - a. Annexation - A1A, Parcel ID: 2412-802-0007-000-2, South Hutchinson Island
 - b. Conditional Use with New Construction - ASTA Commercial Parking Lot - 111 S. Ocean Drive
 - c. Conditional Use with New Construction - Pandya Residence - 1717 Bayshore Drive
8. **BOARD COMMENTS**
9. **ADJOURNMENT**

Any person seeking to appeal any decision by the Planning Board with respect to any matter considered at this meeting is advised that a record of proceedings is required in any such appeal and that such person may need to insure that a verbatim record of the proceedings is made including the testimony and evidence upon which the appeal is to be based.

Persons who require special accommodations under the Americans with Disabilities Act (ADA) should contact (772) 467-3729, at least five (5) days prior to the meeting. Persons who are

hearing or speech impaired may use the Florida Relay System by dialing 711.

Planning Board

6.a.

Meeting Date: 05/09/2017

Information

REQUESTED ACTION

Minutes from the April 11, 2017 meeting

LOCATION

RESPONSIBLE STAFF

RECOMMENDATION

Attachments

Planning Board Minutes 4/11/17

Form Review

Form Started By: Alicia Rosenthal

Started On: 05/02/2017 10:51 AM

Final Approval Date: 05/02/2017

DRAFT



CITY OF FORT PIERCE PLANNING BOARD

Planning Board Minutes

OF THE REGULAR MEETING OF THE FORT PIERCE CITY PLANNING BOARD HELD ON TUESDAY, **APRIL 11, 2017**, IN FORT PIERCE CITY HALL, COMMISSION CHAMBERS, 100 NORTH US HIGHWAY 1, FORT PIERCE, FLORIDA.

1. **CALL TO ORDER**

2. **PLEDGE OF ALLEGIANCE**

3. **ROLL CALL**

Present: **Charles Hayek; Marcia Baker; John George; Mike Dahan; Eloise Cumings; Tim O'Connell; Frank Creyaufmiller; Brian Paul; Robert Poitier; Steve Weaver; Al Bernetti; Bob Burdge, Chairman**

Staff Present: **Jim Messer, City Attorney**
Rebecca Grohall, Planning Director
Kori Benton, Senior Planner
Alicia Rosenthal, Administrative Assistant

4. **CONSIDERATION OF ABSENCES**

All Planning Board members were present.

5. **CERTIFICATION OF ALTERNATE MEMBER VOTING STATUS**

No alternates were needed.

6. **APPROVAL OF MINUTES**

Chairman Burdge stated the City Commission is sending the Sacks Dwelling Rental Conditional Use application back to the Planning Board to discuss the reasons for denial of the application. Chairman Burdge asked the Board to help with the recollection of denial reasons. Chairman Burdge also asked that the reasons for denial be included in the minutes when an application is denied by the Board.

Ms. Baker explained one of the main reasons for denial was the applicant violated the stopping of their advertisement. Ms. Baker also stated there was not a resident manager and the

adjoining townhouse property owners knew nothing about the short term rental. Ms. Baker continued on to say there were several people in the audience who spoke against the application, demonstrating the applicant had not only violated the ordinances and were continuing to violate the ordinances by advertising short term rentals, but they had not complied the other requirements that they had been made aware of.

Mr. Weaver stated his vote against the project was based solely on his opinion that it was not a good fit in the very largely single family residential neighborhood surrounding it.

- a. Minutes from the March 14, 2017 meeting

Motion was made by Robert Poitier, and seconded by Frank Creyaufmiller to approve the minutes from the March 14, 2017 meeting.

AYE: John George, Mike Dahan, Eloise Cumings, Tim O'Connell, Frank Creyaufmiller, Brian Paul, Robert Poitier, Charles Hayek, Marcia Baker, Chairman Bob Burdge
Passed

7. NEW BUSINESS

- a. **Conditional Use - Pelican Dwelling Rentals - 1171 Seaway Drive**

Mr. Benton gave an overview of the application and answered questions from the Board.

The Board had concerns with automobiles backing into the street, parking, vehicles extending into the sidewalk and how monthly rentals are being policed.

John Mooney, Applicant, answered questions from the Board.

Motion was made by Marcia Baker, and seconded by Charles Hayek to approve with the five conditions.

AYE: Marcia Baker, John George, Mike Dahan, Eloise Cumings, Tim O'Connell, Frank Creyaufmiller, Brian Paul, Robert Poitier, Charles Hayek, Chairman Bob Burdge
Passed

8. BOARD COMMENTS

Ms. Baker requested the attorney add a disclaimer to the Board agenda, for any liability on the part of the Board for any actions that are taken.

Mr. Weaver stated if Board members offer up reasons on the record that are not specifically applicable to Chapter 22 or tied to their own perception of health, safety and welfare, they are setting themselves up for the exact type of liability that Ms. Baker is trying to get in the agenda to avoid.

Chairman Burdge asked the Planning Board members if they are interested in a short term rental workshop that the City Commission is putting together. Chairman Burdge reminded the Board that the City Commission 2nd reading is being held on April 17, 2017 for the elimination of compensation for Board members and alternate Board members not being able to speak on items that will be voted on.

9. ADJOURNMENT

Planning Board

7.a.

Meeting Date: 05/09/2017

Information

REQUESTED ACTION

Annexation - A1A, Parcel ID: 2412-802-0007-000-2, South Hutchinson Island

LOCATION

West Side of S Ocean Drive, South of Coconut Drive, and North of Clipper Boulevard on South Hutchinson Island in Fort Pierce, Florida.

RESPONSIBLE STAFF

Brandon Creagan, LEED Green Associate, Planner

RECOMMENDATION

Approval

Attachments

Staff Report to the Planning Board

Site Aerial

Zoning Map

Future Land Use Map

Application for Annexation

Form Review

Form Started By: Brandon Creagan

Started On: 05/01/2017 05:37 PM

Final Approval Date: 05/03/2017



TO: Members of the City of Fort Pierce Planning Board

THROUGH: Rebecca Grohall, AICP, Planning Director

FROM: Brandon Creagan, LEED Green Associate, Planner

RE: **Application for Annexation**
Parcel ID: 2412-802-0007-000-2, South Hutchinson Island

DATE: May 2, 2017

STAFF REPORT

Property Owner/Applicant: Michael Travis Clevenger
3906 SW Kabane Street
Port St. Lucie, FL 34953

Representative: Timothy E. Maslin C.E.S, C.E.C
MBV Engineering Inc.
1835 20th Street
Vero Beach, FL 32960

Requested Action: Approval of a voluntary Application for Annexation; designating the property as R-1, Single Family Low Density; and RL, Low Density Residential Future Land Use

Site Location: West Side of S Ocean Drive, South of Coconut Drive, and North of Clipper Boulevard on South Hutchinson Island in Fort Pierce, Florida.

Parcel ID: 2412-802-0007-000-2

Parcel Size: .18 acres

Current Zoning: HIRD, Hutchinson Island Residential District (St. Lucie County)

Current Future Land Use: RS, Residential Suburban, 2 du/ac (St. Lucie County)

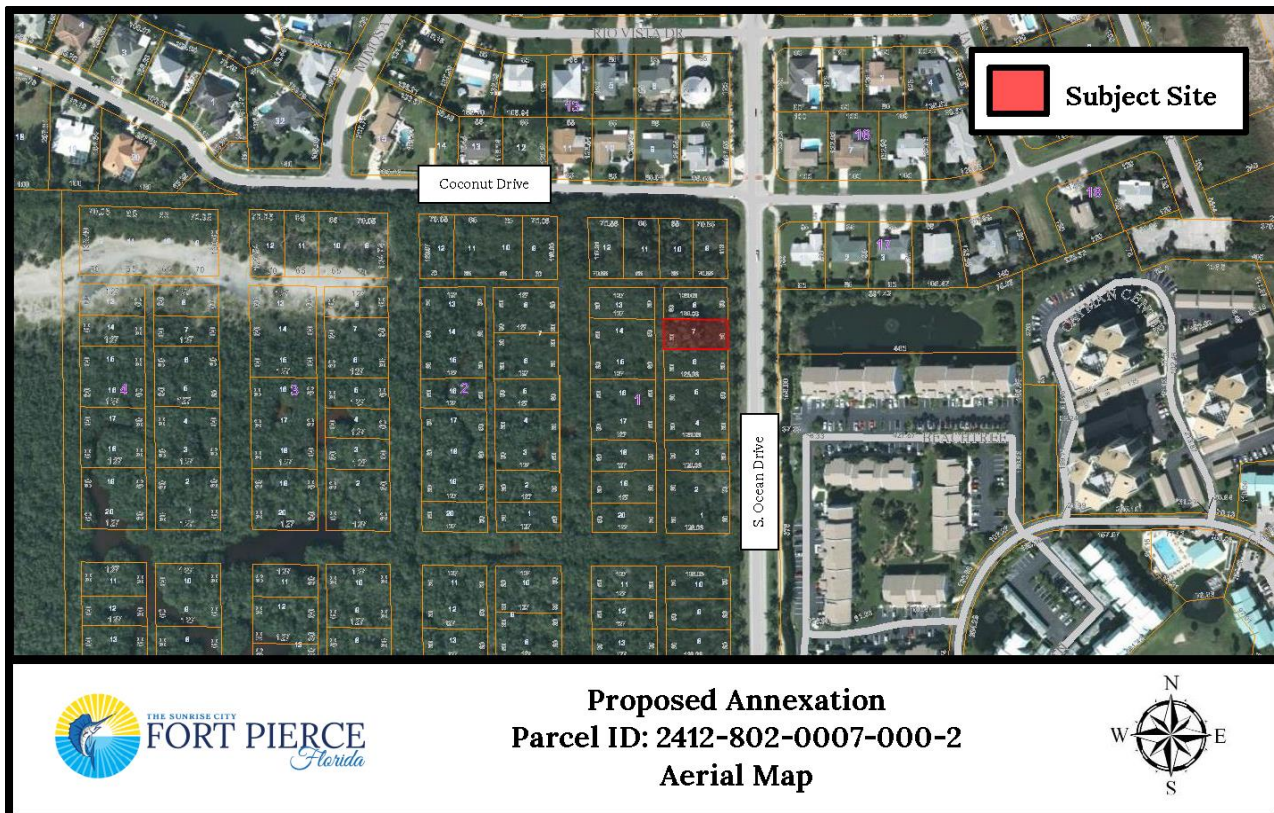
Proposed Zoning: R-1, Single Family Low Density

Proposed Future Land Use: RL, Low Density Residential

Surrounding Zoning:	North	East	South	West
	HIRD (SCL)	R4A/R2 (FP)	HIRD (SCL)	HIRD (SCL)
Surrounding FLU:	RS (SLC)	RL/HIR (FP)	RL (FP)	RS (SLC)

Staff Analysis:

The applicant is requesting a voluntary annexation of property (Parcel ID 2412-802-0007-000-2) located on the west side of S Ocean Drive, south of Coconut Drive, and north of Clipper Boulevard on South Hutchinson Island in Fort Pierce, Florida.



The current St. Lucie County Zoning for the property is HIRD, Hutchinson Island Residential District, with a St. Lucie County Future Land Use of RS, Residential Suburban 2 du/ac. To ensure consistency with Policy 1.11.5 of the City's Comprehensive Plan, the proposed Zoning designation will be R-1, Single Family Low Density, and the proposed Future Land Use designation will be RL, Low Density Residential. Both the proposed Zoning and Future Land Use are the most compatible with the St. Lucie County designations that the parcel currently carries.

Staff has confirmed that the property is located within unincorporated St. Lucie County and is contiguous to the Fort Pierce City municipal boundary. The property is also within the FPUA service area. The applicant plans to build a single family home on lot in the future. The property to the immediate south of the parcel was annexed into the City of Fort Pierce in October of 2008.

This proposed voluntary annexation is also consistent with F.S 171.044, whereas the property is contiguous to a municipality and reasonably compact; and the annexation will not result in the creation of an enclave.

The current taxable value of the parcel is \$16,900. If the Application for Annexation is approved it would create a new source of ad-valorem tax revenue annually to the City of Fort Pierce, depending on the millage rate per year, which currently is 6.9000. Future residential development of this parcel would bring higher value and associated revenue.

Comprehensive Plan:

Staff has reviewed the Comprehensive Plan and finds the proposed annexation is consistent with the following Objectives and Policies:

Objective 1.11 of the Comprehensive Plan: “Annex properties within the Fort Pierce Utilities Authority Boundary in an orderly manner that promotes efficiency of public service provision and economic vitality of the City.”

The property is within the FPUA service boundary. Policy, 1.11.1 of the City Comprehensive Plan: “The City shall evaluate proposed annexations within the urban service boundary based upon the following criteria:

1. The ability of the City to provide public services at a level equal to or better than that available from the current service providers;
2. The ability of the City to provide public services at the City’s adopted levels of service;
3. Whether the annexation would eliminate an unincorporated island or could be expanded to eliminate an unincorporated island; and
4. Whether the annexation would eliminate an irregularity or irregularities in the City’s boundaries, thereby improving service delivery”

The City of Fort Pierce has annexed some parcels along A1A in the Surfside Plaza area and the annexation of this property would help to continue eliminating irregularities along the City’s boundary in this area. The adoption of this property into the City also helps to provide efficient public services.

Policy 1.11.5 of the City’s Comprehensive Plan: “Properties annexed shall receive a land use designation compatible with the SLC future land use designation assigned, unless otherwise approved by the City Commission.”

The applicant is requesting that the Zoning and Future Land Use designations remain consistent with the current County designations, and is therefore consistent with this Policy.

Pursuant to the Future Land Use Element of the Comprehensive Plan, annexations are reviewed for fiscal impacts, the effect upon adopted level of service standards for public facilities, and the elimination of the municipal boundary irregularities to improve service delivery.

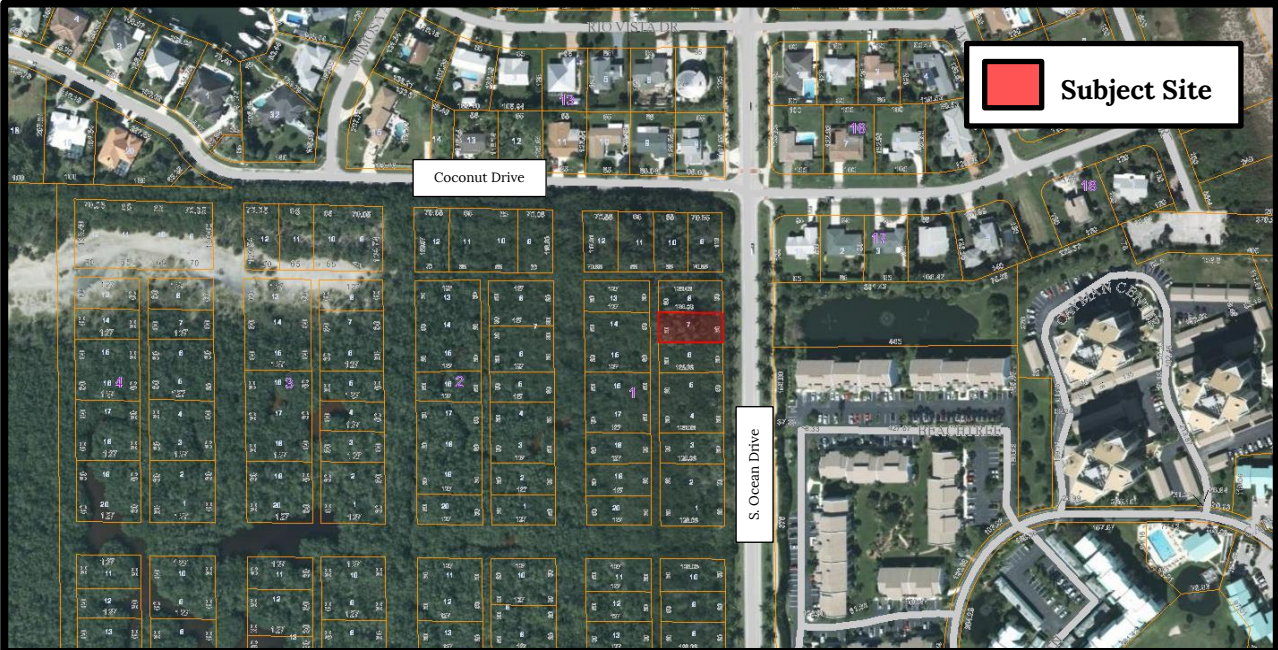
Technical Review Committee

All affected Departments have reviewed the submittals and provided comments regarding the proposed voluntary annexation application based on compliance with the requirements of the City Code and Comprehensive Plan. FPUA Water/Wastewater did not have a problem with the proposed annexation, but noted that a private lift station is not allowed to be constructed. Any lift station that is constructed will have to be for a communal purpose. City of Fort Pierce Building Department wanted the applicant to be aware of construction and flood zone requirements. City of Fort Pierce Code Enforcement Department wanted the applicant to be aware of land clearing requirements. Lastly, City of Fort Pierce Engineering

Department wanted the applicant to be aware that prior to any land clearing they must confirm with the FDEP whether the area is designated as a wetland. All other departments had no comment.

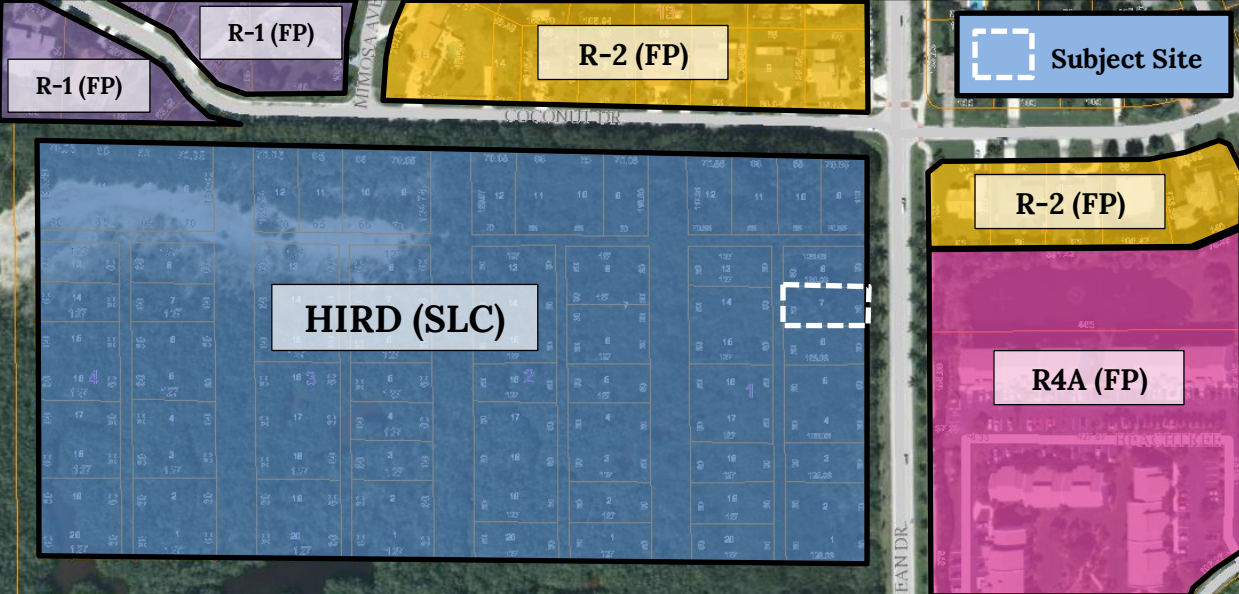
Staff Recommendation:

As proposed, the annexation meets the above standards of the City's Comprehensive Plan, specifically Policy Section 1.11 regarding annexations. Planning Staff recommends that the Planning Board forward a recommendation of approval for the proposed annexation along with a recommendation of the zoning and land use designation to the City Commission.



Proposed Annexation
Parcel ID: 2412-802-0007-000-2
Aerial Map

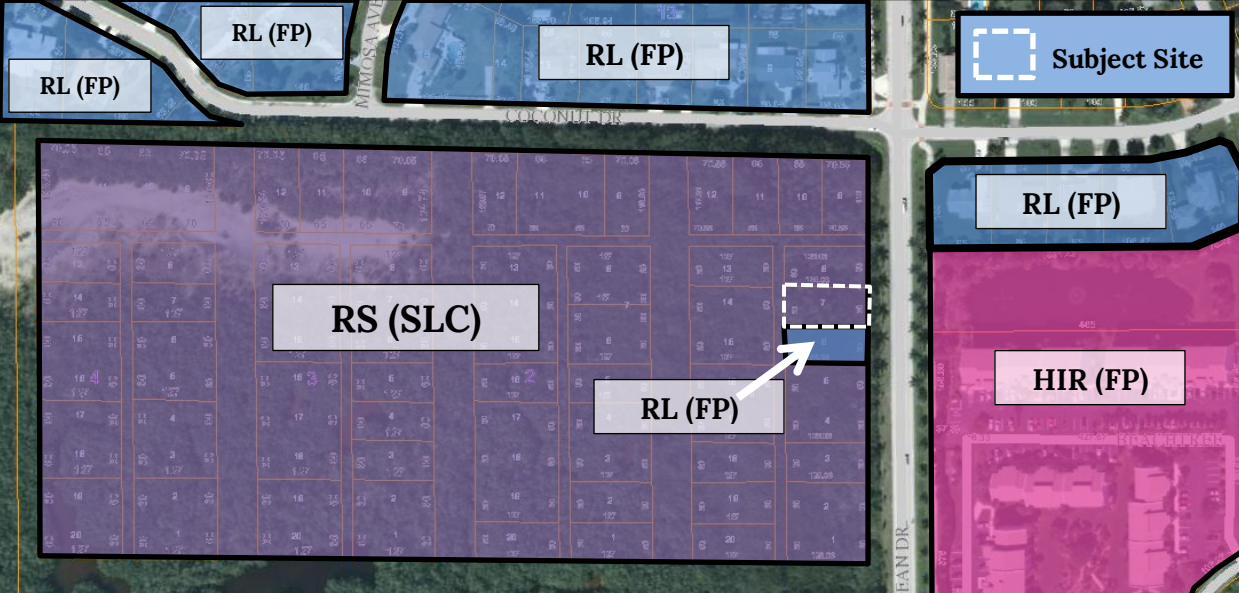




THE SUNRISE CITY
FORT PIERCE
Florida

Proposed Annexation
Parcel ID: 2412-802-0007-000-2
Zoning Map





Proposed Annexation
Parcel ID: 2412-802-0007-000-2
Future Land Use Map





APPLICATION FOR ANNEXATION

Annexation applications will require the adoption of an ordinance which will require a public meeting before the Planning Board and two public hearings before the City Commission.

Application submission shall include the following:

- **TRC (*Initial Submission):** One (1) original and (8) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **Planning Board:** One (1) original and (16) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
- **City Commission:** One (1) original and (11) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.

In addition to a complete application, packets shall include:

- Warranty Deed
- Current Survey (completed within the last 12 months)

1. Address: (TBD) North A1A, Fort Pierce, FL 34949

2. Legal description of real property for which annexation is being requested:
Re-Plat of Surfside Plaza - Unit 1 - Block 1 - Lot 7 (OR 3768-1406)

Property Tax ID: 2412-802-0007-000-2

3. Size of described property: 0.18 acres

4. Project description: Annexation of Single Family Residential Lot

5. Current St. Lucie County Future Land Use Designation: RS

6. Current St. Lucie County Zoning: HIRD

7. Is this a Historic property? No

8. Appraised value: \$16,900


9. Name of Owner(s): Michael Travis Clevenger

Signature of Owner(s): *Michael Travis Clevenger*

Mailing Address: 3906 SW Kabane Street

City Port St. Lucie State FL Zip 34953

Phone 772-240-2434 Fax e-mail: adjuster.icra@gmail.com

10. Name of Representative: Timothy E. Maslin, C.E.S., C.E.C.
Signature of representative: 
Mailing Address: 1835 20th Street
City) Vero Beach State FL Zip 32960
Phone 772-299-4791 Fax 772-778-3617
E-mail: TimM@FL-Env.com

OFFICE USE:

DATE RECEIVED: _____	Signed: _____	
File Number: _____	Check No: _____	Receipt No: _____
TRC Review: _____	Planning Board Review: _____	City Commission: _____
Ordinance No: _____	Date Approved: _____	

This Instrument Prepared by and Return to:
Denise M. Jenkins
Merit Title, Inc.
628 Colorado Ave.
Stuart, FL 34994
as a necessary incident to the fulfillment of conditions
contained in a title insurance commitment issued by it.

JOSEPH E. SMITH, CLERK OF THE CIRCUIT COURT
SAINT LUCIE COUNTY
FILE # 4091979 07/16/2015 at 11:42 AM
OR BOOK 3768 PAGE 1406 - 1406 Doc Type: DEED
RECORDING: \$10.00
D DOC STAMP COLLECTION: \$157.50

File No.: 2015517

WARRANTY DEED

This Warranty Deed, Made the 9 day of July, 2015, by SHARON KAY HOLLY, a single person, whose post office address is: 41 S River Rd, Stuart, FL 34996, hereinafter called the "Grantor",

to MICHAEL TRAVIS CLEVENGER, a single person, whose post office address is: 3906 SW Kabane St, Port St Lucie, FL 34953, hereinafter called the "Grantee".

WITNESSETH: That said Grantor, for and in consideration of the sum of **Twenty Two Thousand Five Hundred Dollars and No Cents (\$22,500.00)** and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee, all that certain land situate in **St Lucie County, Florida**, to wit:

**Lot 16, Block 9, Re-Plat of Surfside Plaza, Unit #1, according to the plat thereof recorded in Plat Book 8, Page 7, of the Public Records of St. Lucie County, Florida.
PIN # 2412-802-0176-000/7**

**Lot 7, Block 1, Re-Plat of Surfside Plaza, Unit #1, according to the plat thereof recorded in Plat Book 8, Page 7, of the Public Records of St. Lucie County, Florida.
PIN # 2412-802-0007-000/2**

**Lot 13, Block 7, Re-Plat of Surfside Plaza, Unit #1, according to the plat thereof recorded in Plat Book 8, Page 7, of the Public Records of St. Lucie County, Florida.
PIN # 2412-802-0133-000/4**

All Lots are Vacant

The property is not the homestead of the Grantor(s) under the laws and constitution of the state of Florida in that neither Grantor(s) or any member of the household of Grantor(s) reside thereon. The homestead property is 41 S River Road Stuart FL 34996

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to 2014, reservations, restrictions and easements of record, if any.

(The terms "Grantor" and "Grantee" herein shall be construed to include all genders and singular or plural as the context indicates.)

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

SIGNED IN THE PRESENCE OF THE FOLLOWING WITNESSES

Witness Signature: [Signature]
Printed Name: Denise M. Jenkins

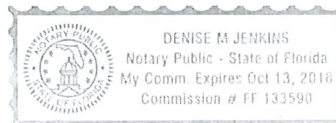
Witness Signature: [Signature]
Printed Name: SHARON KAY HOLLY

Witness Signature: [Signature]
Printed Name: Brandy Jenkins

State of Florida
County of Martin

The foregoing instrument was acknowledged before me this 9 day of July, 2015 by SHARON KAY HOLLY, a single person, who is/are personally known to me or has/have produced driver license(s) as identification.

[Signature]
Notary Public - State of Florida



Property Identification

Site Address:	N A 1 A
Parcel ID:	2412-802-0007-000-2
Account #:	172252
Map ID:	24/12S
Use Type:	0000
Zoning:	HIRD
City/County:	Saint Lucie County

Ownership

Michael Travis Clevenger
 3906 SW Kabane ST
 Port St Lucie, FL 34953

Legal Description

RE-PLAT OF SURFSIDE PLAZA-UNIT 1- BLK 1 LOT 7 (OR 3768-1406)

Current Values

Just/Market Value:	\$16,900
Assessed Value:	\$16,900
Exemptions:	\$0
Taxable Value:	\$16,900

Taxes for this parcel: [SLC Tax Collector's Office](#) 
 Download TRIM for this parcel: [Download PDF](#) 



Total Areas

Finished/Under Air (SF):	0
Gross Area (SF):	0
Land Size (acres):	0.18
Land Size (SF):	7,684

Sale History

Date:	Jul 9, 2015
Book/Page:	3768 / 1406
Sale Code:	0205
Deed:	WD
Grantor:	Holly Sharon K
Price:	\$22,500
Date:	Dec 19, 2006
Book/Page:	2735 / 2379
Sale Code:	XX02
Deed:	WD
Grantor:	Broome, Marion P
Price:	\$100,000
Date:	Dec 6, 2006
Book/Page:	2718 / 1625
Sale Code:	XX02
Deed:	WD
Grantor:	Clark, Connie B
Price:	\$200,000

Building Information (1 of 1)

Finished Area: 0 SF
 Gross Total Area: 0 SF
 Exterior Data

View:
 Building Type:
 Grade:
 Story Height:

Roof Cover:
 Year Built: N/A
 Effective Year: 2014
 No. Units: 0

Roof Structure:
 Frame:
 Primary Wall:
 Secondary Wall:

Interior Data

Bedrooms: 0
 Full Baths: 0
 Half Baths: 0
 A/C %: 0%

Electric:
 Heat Type:
 Heat Fuel:
 Heated %: N/A%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors:
 Sprinkled %: 0%





Image
or
Sketch
unavailable
for display

Special Features and Yard Items

Current Year Values

Current Values Breakdown

Building:	\$0
Land:	\$16,900
Just/Market:	\$16,900
Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$0
Assessed:	\$16,900
Exemption(s):	\$0
Taxable:	\$16,900

Current Year Exemption Value Breakdown

Current Year Special Assessment Breakdown

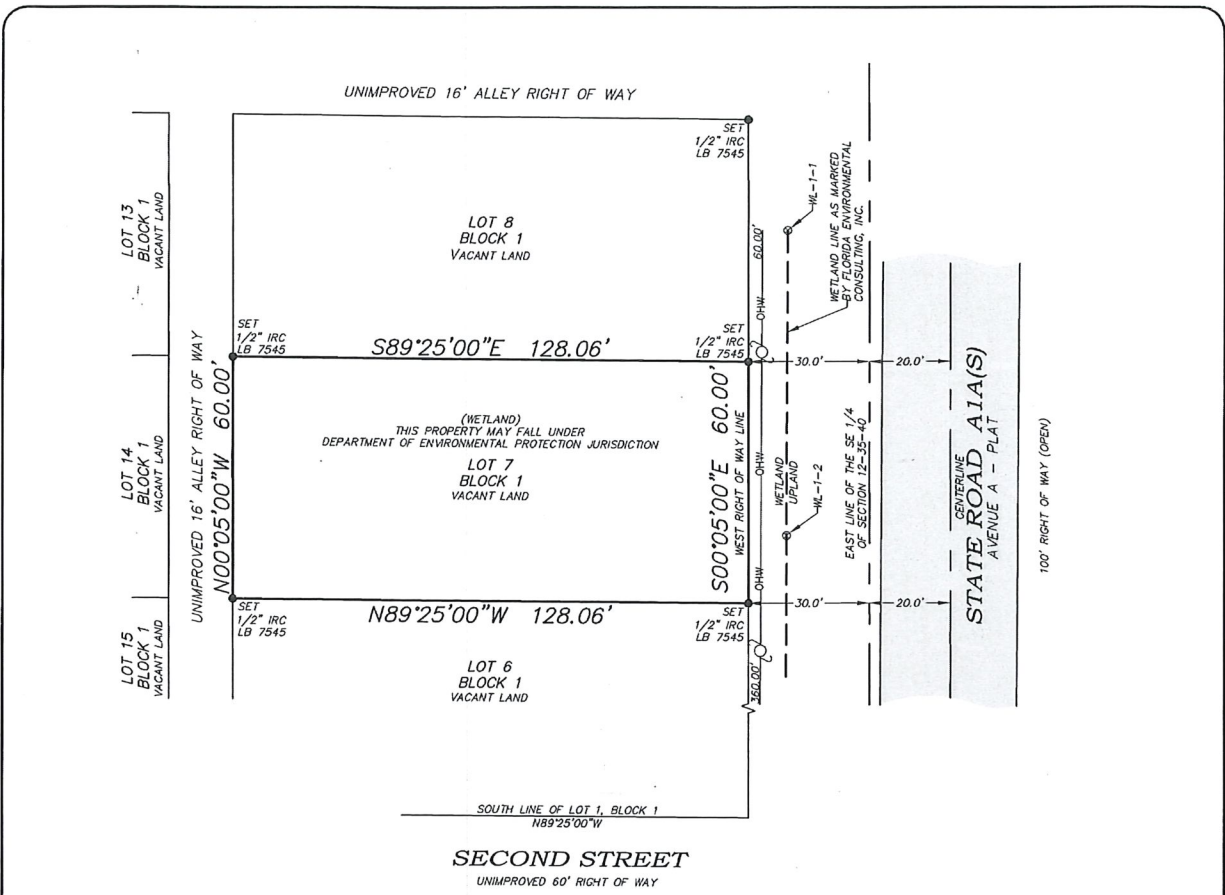
This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office [2](#).

Historical Values

Permits

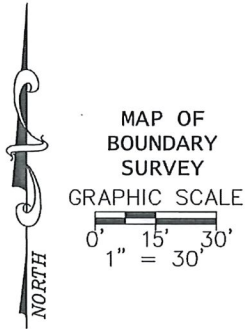
Notice: This does not necessarily represent all the permits for this property.
Click the following link to check for additional permit data in Saint Lucie County

This information is believed to be correct at this time but it is subject to change and is not warranted.
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- LEGEND**
- (C) = CALCULATED
 - CM = CONCRETE MONUMENT
 - FND. = FOUND
 - ID = IDENTIFICATION
 - IP = IRON PIPE
 - IR = IRON ROD
 - IRC = IRON ROD WITH CAP
 - O.R.B. = OFFICIAL RECORD BOOK
 - (P) = PLAT
 - P.B. = PLAT BOOK
 - PG. = PAGE
 - (S) = SURVEYED
 - ⊙ = UTILITY POLE

CERTIFIED TO:
MICHAEL CLEVENGER



LEGAL DESCRIPTION:

LOT 7, BLOCK 1, RE-PLAT OF SURF SIDE PLAZA, UNIT ONE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 7 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

SURVEYOR'S NOTES

- 1.) THIS SURVEY DOES NOT DETERMINE OR INDICATE LAND OWNERSHIP.
- 2.) THE SURVEYOR DID NOT RESEARCH OR ABSTRACT THE LAND RECORDS FOR RIGHTS-OF-WAY, EASEMENTS, RESERVATIONS, DEED RESTRICTIONS, ZONING REGULATIONS, SETBACKS, LAND USE PLAN DESIGNATIONS, ADJOINING DEEDS, LIENS, MURPHY ACT RIGHTS-OF-WAY, AREAS OF LOCAL CONCERN, OR OTHER SIMILAR JURISDICTIONAL DETERMINATIONS. TO THE EXTENT THAT THIS TYPE OF INFORMATION IS SHOWN, IT IS SHOWN SOLELY ON THE BASIS OF INFORMATION PROVIDED BY THE CLIENT OR INFORMATION OTHERWISE KNOWN TO THE SURVEYOR AND MAY NOT BE COMPLETE.
- 3.) UNDERGROUND UTILITIES, BUILDING FOUNDATIONS, AND OTHER UNDERGROUND FIXED IMPROVEMENTS WERE NOT LOCATED, UNLESS OTHERWISE INDICATED. TO THE EXTENT THAT THIS TYPE OF INFORMATION IS SHOWN, IT IS SHOWN SOLELY ON THE BASIS OF SURFACE INDICATIONS OBSERVED BY THE SURVEYOR AND MAY NOT BE COMPLETE.
- 4.) JURISDICTIONAL WETLANDS AND ENDANGERED OR THREATENED SPECIES HABITAT, IF ANY, THAT MAY EXIST ON OR AROUND THE SURVEY SITE WERE NOT DETERMINED OR LOCATED.
- 5.) THE SURVEY DATE IS THE FIELD DATE SHOWN IN THE TITLE BLOCK, NOT THE SIGNATURE DATE.
- 6.) BEARINGS BASED ON THE ASSUMPTION THAT THE WEST RIGHT OF WAY LINE OF AVENUE "A" (STATE ROAD A1A) BEARS S00°05'00"E PER RE-PLAT OF SURF SIDE PLAZA UNIT ONE.
- 7.) LOT DIMENSIONS ARE AS PLATTED UNLESS OTHERWISE NOTED.
- 8.) THIS PROPERTY LIES WITHIN A FEMA (COASTAL BARRIER RESOURCE SYSTEM AREA ESTABLISHED 11/16/1990) ACCORDING TO THE FLOOD INSURANCE RATE MAP, PANEL NOTED BELOW.

INDIAN RIVER SURVEY, INC.
PROFESSIONAL SURVEYING AND MAPPING
 CERTIFICATE OF AUTHORIZATION No. LB 7545
 1835 20TH STREET, VERO BEACH, FLORIDA 32960
 PHONE (772) 569-7880 FAX (772) 778-3617

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

[Signature]
 STEVE CARTECHINE, LS4895
 FLORIDA REGISTERED LAND SURVEYOR

2/16/17
 DATE

FIELD BOOK: 58	PAGE(S): 32	DRAWN: SPC	FIELD DATE 1/30/17
FLOOD ZONE "AE-EL 6", FLOOD INSURANCE RATE MAP NUMBER 12111C0183J, DATED FEBRUARY 16, 2012		SCALE: 1" = 30'	JOB NO: 16-417

D:\DRAWINGS\SURVEYS\PROJECTS\1600-16-16\16-417 A1A P1_Pierce\DWG\16-16-417.dwg, Feb. 16, 2017 - 1:22pm View Plot

Planning Board

7.b.

Meeting Date: 05/09/2017

Information

REQUESTED ACTION

Conditional Use with New Construction - ASTA Commercial Parking Lot - 111 S. Ocean Drive

LOCATION

111 S. Ocean Drive

RESPONSIBLE STAFF

Kori Benton, Senior Planner

RECOMMENDATION

Approval with the following conditions: 1. The operator restricts use, and overnight parking, by any campers, Recreational Vehicles (RVs), or similar transit vans; and
2. Two (2) trash receptacles, and process for collection, are integrated into the development plan.

Attachments

Staff Report

Site Aerial

ASTA Parking - Conditional Use Application & Support Documents

ASTA Development & Landscape Plans

ASTA Conceptual Perspective of Proposed Parking Area

BOA Approval Letter

TRC Comment Packet

Form Review

Form Started By: Kori Benton
Final Approval Date: 05/02/2017

Started On: 05/02/2017 03:42 PM



TO: Members of the City of Fort Pierce Planning Board

THROUGH: Rebecca Grohall, AICP, Planning Director

FROM: Kori Benton, Senior Planner

RE: **Application for Conditional Use with New Construction**
ASTA Commercial Parking Lot
111 S. Ocean Drive

DATE: May 2, 2017

STAFF REPORT

Owner: Boch A Galup Inc
 37 Fort Salonga Rd
 Centerport, NY 11721

Applicant: Kash Patel, Mike O’Leary, Partners, ASTA Parking Inc.,
 725 NE 26th Avenue
 Fort Lauderdale FL 33304

Representative: Steven M. Weaver
 Realtime Property Development Services
 S Ocean Dr, Fort Pierce, FL 34949

Requested Action: Approval of a Conditional Use with New Construction to development and operate a commercial parking lot.

Location: 111 S. Ocean Drive

Parcel ID: 2401-501-0055-000-5

Current Zoning: Tourist Commercial (C-5)

Future Land Use: General Commercial (GC)

Surrounding Zoning:

North	East	South	West
C-5/OS-1	C-5	C-5	C-5

Site Size: .5 acres

Staff Analysis:

Existing Conditions

The subject .5 acre site located at the south west corner of Seaway Drive and South Ocean Drive is located with the Tourist Commercial (C-5) district and is presently vacant. The property abutting the site to the west and south is home to a recently completed Oculina Bank branch facility.

The site is located at southwest corner of the intersection of Seaway Drive and South Ocean Drive which was enhanced with a round-a-bout as a component of the joint A1A reconstruction project. As the property abuts a state roadway, Florida Department of Transportation (FDOT) approval is required for access points and right-of-way accommodations for any development.

The demand for parking in the areas adjacent to the subject site has escalated in recent years, attributed to the completion of Inlet Linear Park, Jetty Park, and addition of commercial establishments nearby. The City of Fort Pierce offers free public parking within Jetty Park, and has organized a short term lease for interim public parking along the inlet.

Proposal

The applicant is seeking to establish a 54 space commercial parking lot, containing fifty (50) typical spaces, three (3) handicap accessible spaces, and one (1) space to accommodate two (2) motorcycles. The proposed fee-to-park facility is intended for access on South Ocean Drive, with a two-way driveway for ingress and egress, with a circular one-way traffic configuration on-site. The parking spaces are oriented primarily on a 60 degree angle for accessibility and maximization of parking spaces. The proposal includes the provision of site landscaping (reductions granted by the Board of Adjustment), solar lighting, and underground exfiltration for storm water maintenance, cash and credit payment kiosks, and required sidewalk connectivity.

The Board of Adjustment, at their April 27th, 2017 meeting, granted variances requested by the applicant to reduce required landscape strip widths, interior landscaping and parking stall width as the applicant seeks to maximize the quantity of parking spaces on-site, The initial filing by the applicant featured sixty-five (65) total spaces; however several spaces have been eliminated to lessen many of the previous dimensional deficiencies and improve functionality.

The applicant is seeking to offer parking spaces on-site, which are not intended to supply required parking spaces for businesses or other development pursuant to City Code Section 22-60, but rather introduce a new supply of *surplus* spaces accessible via a required user fee. The Board of Adjustment authorized a parking space design which features a six (6) inch reduction in the required width, resulting in parking space dimensions of 19ft. by 9 ft. Patrons of the proposed commercial parking area would be consenting to the policies for payment and use which provides the capacity to mitigate concerns of the proposed reduction in the width of the land development code guided "regular" parking space.

Transactions & Enforcement

The applicant has identified the digital pay station system to be integrated into the parking area, situating a kiosk at the north east corner of the project adjacent to a sidewalk connection to the adjacent pedestrian routes and crosswalks. The system offers a pay-by-plate format for users via a kiosk, or a mobile phone, with payment methods ranging from coins, bills, credit cards, or pass cards (if adjacent businesses were to consider partnering).

The parking lot would be monitored by ASTA personnel to notify any drivers of non-payment, expiration, or other violations. Presently, there is not a provision for towing a vehicle for noncompliance. Although the enforcement protocols have not been detailed beyond simple notification via warnings of non-payment, booting would be more appropriate than towing to avoid unnecessary tow truck traffic or functional interference within the parking area.

Landscaping, Stormwater, & Lighting

The presented landscape plan includes the placement of 39 new trees, vegetative hedges along the north and east property lines, and infill of lower lying shrubs throughout the remainder of the landscaped areas. The landscape plan will be updated to reflect a revision to the hedge plant species utilized along the right-of-way and western property lines to increase the height capacity of the vegetative screen to meet the minimum requirements of City Code Section 22-187.

Stormwater pretreatment is conceptualized via underground exfiltration and use of pervious paving solutions where feasible.

The application affirms preparation and implementation of a lighting plan in compliance with local and state requirements for both minimum lighting levels and interference of turtle nesting.

Zoning & Land Use

The subject site is located within the Tourist Commercial Zone (C-5) which is designed to provide suitable locations for tourist facilities and certain tourist related establishments. Furthermore, the site has a land use designation of General Commercial (GC).

The General Commercial designation provides for higher intensity commercial developments or horizontal and vertical mixed-use developments. Uses allowed within this designation include multifamily residential, intensive and general commercial, retail, service, offices, tourist/entertainment facilities, hotels/motels, parks and recreation, along with compatible public, quasi-public, and special uses. Development shall include either commercial or mixed uses fronting major roadway corridors with higher intensity near major intersections.

The site is also located within the South Beach Overlay District. This unique district is designed to promote good planning and site design that produces quality development that is functional, an asset to the community, and in keeping with the general character of South Hutchinson Island. By way of this overlay district, the city seeks to preserve, protect and enhance the unique barrier island environment through regulation of development and redevelopment of lots within the district.

The presented use of the property represents a commercial use which provides increased access to parking for tourists and residents visiting Jetty Park and adjacent establishments via automobiles. The use of the parking lot should correlate to adjacent uses and their peak hours of operation. The prospective uses by guests of adjacent hotels, restaurants, or bars with late hours of operation encourage avoidance of parameters for hours of operation for the parking lot. The preclusion of use or overnight parking by any campers, Recreational Vehicles (RVs), or similar transit vans is advised to avoid functional conflicts of the parking lot, and use of the property beyond the scope of the proposal and corresponding support facilities.

Board of Adjustment Approval

The Board of Adjustment authorized a reduction of the vehicle stall and landscape strip widths, contingent upon the following:

- 1) Incorporation of a sign towards the entrance of the parking circle, and stamped notation on each parking space, that acknowledges reduced stall width, or compact nature of the spaces.
- 2) The landscape plan integrates the planting, and appropriate irrigation, of a vegetative hedge along the north and east property lines, which has the capacity to grow to form a 3ft. tall continuous hedge within one year, as required by City Code Section 22-187 (4).
- 3) The landscape plan provides the planting, and appropriate irrigation, of a vegetative hedge along the west property lines, which has the capacity to grow to form a 6ft. tall buffer to mitigate the reduction in landscape strip width adjacent to these property lines.

The noted conditions of approval should be reflected on the development plans prior to scheduling for review by the City Commission.

Technical Review Committee

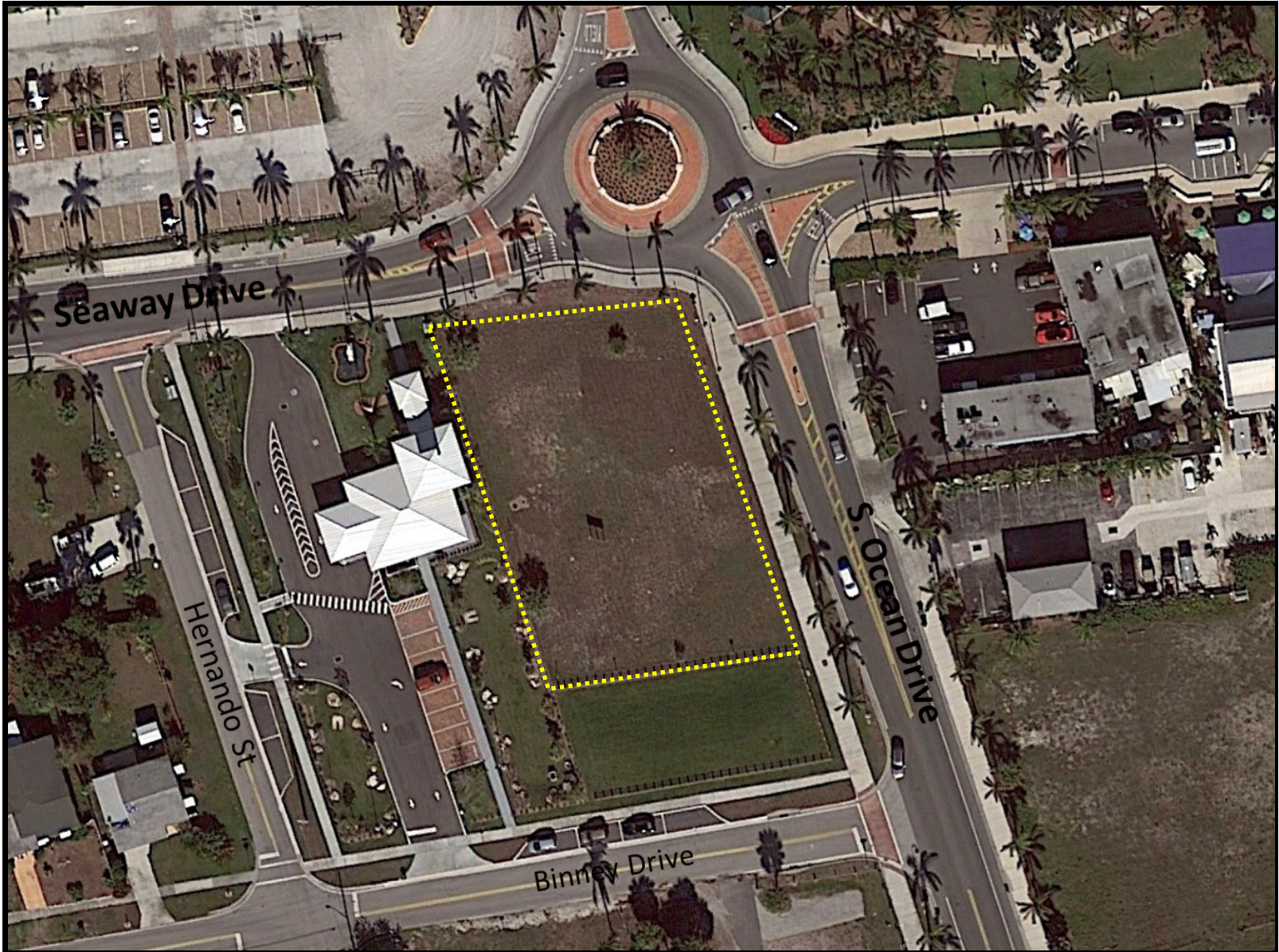
All affected departments have reviewed the proposed Conditional Use with regards requirements of the City Code, and conditionally approved the request. The Engineering Department identified concerns regarding the reduced depth of a parking space at the northwest corner of the facility, which has since been converted to motorcycle parking.

Findings from the review by corresponding departments are provided for viewing by the Planning Board.

Staff Recommendation:

The proposed use is compatible with the encompassing district, surrounding uses, and generally consistent with the City's Land Development Code and Comprehensive Plan therefore; Staff recommends the Planning Board forward a recommendation to **approve** the request with the following conditions:

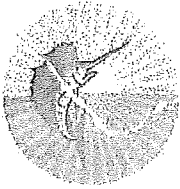
1. The operator restricts use, and overnight parking, by any campers, Recreational Vehicles (RVs), or similar transit vans; and
2. Two (2) trash receptacles, and process for collection, are integrated into the development plan.



ASTA Parking-111 S. Ocean Drive

Site Aerial





THE SUNRISE CITY
FORT PIERCE
 PLANNING DEPARTMENT
Florida

DEVELOPMENT REVIEW

Property address or Location 111 South Ocean Drive Fort Pierce FL 34949
 Parcel ID #(s) 2401-501-0055-000-5
 Project description Construct new Paid Parking Lot

Boch A Galup Inc.

Property Owner(s)
 37 Fort Salonga Rd

 Street Address
 Centerport NY 11721

 City State Zip
 516 901 3263

 Phone Number

 Email Address

Kash Patel, Mike O'Leary, Partners, ASTA Parking Inc.

Applicant/Representative, Title, Company
 725 NE 26th Avenue

 Street Address
 Fort Lauderdale Fl 33304

 City State Zip
 954 214 3830; 954 410 4942

 Phone Number
 kash@astaparking.com, olearym57@aol.com

 Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

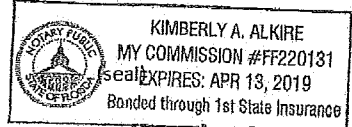
Matthew S. Kaplan, pres.

 Property Owner(s) Signature(s)

STATE OF FLORIDA — COUNTY St. Lucie
 The foregoing instrument was acknowledged before me this 26 day of January, 2017, by
Matthew S. Kaplan who is personally known to me or has produced
NYPL as identification.

Kimberly A. Alkire

 Signature of Notary



INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit # _____
 Intake Planner _____
 Planner Assigned _____
 Approved By _____ Date _____
 Comments _____

Intake Date Stamp



DEVELOPMENT REVIEW

General Information

- Incomplete application packets cannot be accepted.
- Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

Choose Application Type:

Application Type			
<input type="checkbox"/> Site Plan	<input checked="" type="checkbox"/> Conditional Use with New Const.	<input type="checkbox"/> Major Amendment	
<input type="checkbox"/> Conceptual Development Plan		<input type="checkbox"/> Minor Amendment	

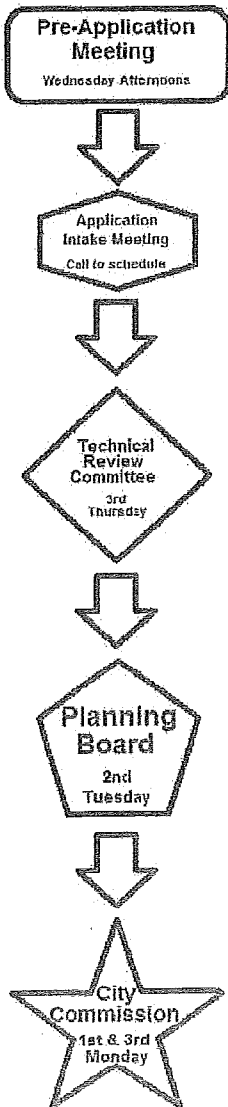
Site Information:

Non-Residential: Proposed Sq. Ft.: _____ Residential: Proposed Units: _____

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West
Rest/Vac C5	Bank/Vac C5	Hotel/Rest/bar C5	Bank C5

Application Outlook



Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- Complete notarized application
- Warranty Deed
- SLC Property Record Card
- Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- General location map (see Section 22-58.d.2)
- Survey (see Section 22-58.d.3)
- Site Plan (see Section 22-58.d.4)
- Landscaping Plan (see Section 22-187)
- Storm Drainage Plan (see Section 22-58.d.6)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 22-58.d.7)
- Lighting Plan (see Section 22-58.d.8)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)

01 FEBRUARY 2017

16A99

**JAMES E.
GILGENBACH**
ARCHITECT



ARCHITECTURE
&
PLANNING
FL AR-7457

Kori Benton, Senior Planner
City Of Fort Pierce, Planning Department
100 North US#1
Fort Pierce, FL 34954

RE: Project Narrative for ASTA Paid Parking Facility
Located at 111 South Ocean Drive, Fort Pierce, FL

Dear Mr. Benton:

Proposed project hereafter referred to as the **ASTA Paid Parking Facility** is a 54 Space Paid Parking Lot.

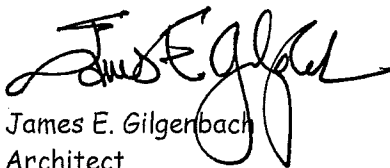
The Facility will feature:

- Turtle Friendly Solar Lighting,
- Eco-Friendly Semi Pervious Aqua-Brick Pavers and Pervious Turf Blok pavers in the Parking Spaces,
- Space saving onsite Underground Exfiltration storm water collection and storage,
- Salt Tolerant Landscaping consistent with the surrounding Streetscape;
- Attractive, State of the Art, Cash and Credit Payment Kiosks;
- Sidewalk interconnectivity to the Inlet Roundabout crosswalks to the Retail and Recreation areas to the North and East.
- Proposed reduction in Landscape buffers and Setbacks are mitigated by existing landscaped areas to the North and West, and undeveloped green space to the South.
- Proposed reduction in Landscape buffers and setbacks offset by helping solve acknowledged parking shortfall
- Maximization of number of spaces will help alleviate spillover parking and associated issues in the surrounding residential areas.
- Clear Vision Areas are protected,
- View lines and prevailing winds in general left unobstructed.
- Central location will add to the cohesiveness of the Entertainment and Retail District.
- 24/7 Operation
- 24/7 Remote Video Monitoring and daily on-site checks by ASTA Team.

SUITE 107

NEWPORT CENTER

1239 E. NEWPORT CENTER DRIVE
DEERFIELD BEACH, FLORIDA 33442
(954) 426-1652


James E. Gilgenbach
Architect

01 FEBRUARY 2017

16A99

**JAMES E.
GILGENBACH**
ARCHITECT



ARCHITECTURE
&
PLANNING
FL AR-7457

Kori Benton, Senior Planner
City Of Fort Pierce, Planning Department
100 North US#1
Fort Pierce, FL 34954

**RE: Traffic Statement for ASTA Paid Parking Facility
Located at 111 South Ocean Drive, Fort Pierce, FL**

Dear Mr. Benton:

Proposed project is a 545 Space Paid Parking Lot. The Facility will feature Turtle Friendly Solar Lighting, Eco-Friendly Semi Pervious Aqua-Brick Pavers and Pervious Turf Blok pavers in the Parking Spaces, Space saving on-site Underground Exfiltration storm water collection and storage, Salt Tolerant Landscaping consistent with the surrounding Streetscape; Attractive, State of the Art Cash and Credit Payment Kiosks; and Sidewalk interconnectivity to the Inlet Roundabout crosswalks to the Retail and Recreation areas to the North and East.

Existing Traffic Conditions:

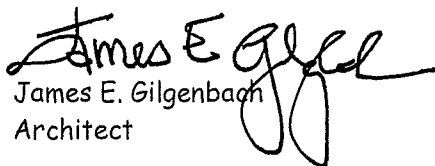
Existing Property is vacant, and fenced. No access is available. No trips are associated with a vacant property. Surrounding area roads and parking lots do not appear to be at capacity. Surrounding area suffers from an acknowledged shortage of parking, very often resulting in spillover of patron parking into the surrounding Residential areas. This spillover is not without consequence and cost to the residents' quiet enjoyment, and to the perception of the area in whole. Further, inadequate parking options result in drive offs of arriving patrons to other Retail and Entertainment areas elsewhere with more adequate parking.

Traffic Distribution from Proposed Development:

Based on Concurrency Management Chapter 22-217, Average Peak traffic conditions are conducted during weekday hours from 6 a.m. -9 a.m. for AM counts and 4pm -7pm for PM counts. The majority of trips associated with the proposed parking lot during AM hours are for recreational visitors to the Jetty area. The majority of trips associated with the proposed parking lot during the late afternoon PM counts are for Restaurant patrons. Per FDEP recommendation and accepted Best Practices, the single Curb Cut entry will be located about 20 feet north of the South East property corner, along FDOT managed State Road A1A, aka South Ocean Drive.

Traffic Statement Summary:

This facility will generate a change in current trip volume of less than 1%. Number of inbound and outbound trips will remain essentially unchanged. This is supported by the fact that the ITE Trip Generation Manual is silent to stand alone Paid Parking Facilities. Measureable reduction in spillover traffic and parking and related problems in the surrounding Residential areas will result. The project has **de minimis impacts** on roadway links within 1 mile radius and is in compliance with the Concurrency Plan of the City of Fort Pierce.


James E. Gilgenbach
Architect

SUITE 107

NEWPORT CENTER

1239 E. NEWPORT CENTER DRIVE
DEERFIELD BEACH, FLORIDA 33442
(954) 426-1652

**JAMES E.
GILGENBACH**
ARCHITECT



ARCHITECTURE
&
PLANNING
FL AR-7457

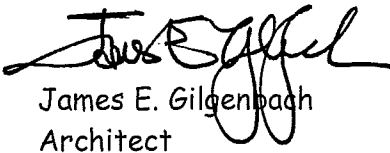
01 FEBRUARY 2017

16A99

Kori Benton, Senior Planner
City Of Fort Pierce, Planning Department
100 North US#1
Fort Pierce, FL 34954

RE: 111 South Ocean Site Lighting Compliance with City and State Codes

Although the Site Lighting Photometric Plan has not yet been completed, I hereby affirm that the Lighting Plan will comply with all relevant Site Lighting statutes within Chapter 22(d)(8), and Beach Lighting requirements within Chapter 5 ARTICLE XIV. - PROTECTION OF SEA TURTLES Sec. 5-375. - *Lighting on beach*, and a Photometric Plan consistent thereto will be provided prior to Building Permit submittal.


James E. Gilgenbach
Architect

SUITE 107

NEWPORT CENTER

1239 E. NEWPORT CENTER DRIVE
DEERFIELD BEACH, FLORIDA 33442
(954) 426-1652

Multi-Space Pay Station

For On- and Off-Street Parking Environments

Public and private parking operators are realizing the benefits of multi-space pay stations: increased revenue, reduced operational costs, and superior customer service, to name just a few. Consumers also enjoy the added convenience, diverse payment options, and ease of use provided by pay stations. The LUKE II pay station is highly secure, flexible, and suitable for both on- and off-street deployments. LUKE II fulfills customer service expectations and delivers superior performance and significant contributions to operators' top and bottom line.

LUKE II Features for Consumers

- Range of convenient payment options, such as coins, bills, credit cards, smart cards, passcards (value cards, campus cards), coupons, and Pay-by-Phone services
- Contactless payments for rapid parking transactions
- Extend-by-Phone service provides expiry reminders and the ability to add time via mobile phone
- Large color screen that is easy to read
- Prompts in multiple languages
- Ability to pay for parking or add time using any pay station in the system
- Coin escrow refunds consumers' money upon a cancelled transaction
- 38-key full alphanumeric keypad for easy license plate entry
- Easily recognizable design identifies machine as a parking pay station

LUKE II Features for Parking Operators

- Separate maintenance and collections compartments for enhanced security
- Theft-resistant design to protect coins, bills, and internal components
- Enhanced locking mechanism and electronic lock support for added security
- PCI compliant and PA-DSS validated system ensures credit card data security
- Pay-and-Display, Pay-by-Space, and Pay-by-License Plate on the same pay station
- Remote configuration of rates and policies saves time and money
- Integration with leading parking technology partners for a complete solution
- Flexible rate structures and diverse payment options can increase revenue
- Reduced maintenance and collections costs
- Real-time credit card processing to reduce processing fees and eliminate bad debt
- Real-time reporting and alarming
- Complete audit trail and rich analytics



Standard



Charcoal
Gray

Premium



Jet
Black



Pebble
Gray



Racing
Green



Marine
Blue



Citrus
Yellow

LUKE II Specifications

Cabinet:	12-gauge cold rolled steel protected with an anti-corrosion coating
Payment Options:	Coins, bills, credit cards, contactless payments, smart cards, value cards, campus cards, coupons, Pay-by-Phone services. Coin escrow optional
Card Reader:	Cards are not ingested – no moving parts. Reads Tracks 1, 2, and 3 of all magnetic stripe cards conforming to ISO 7810 and 7811. Reads and writes to chip-based smart cards conforming to ISO 7810 and 7816
Bill Stacker:	1,000-bill capacity (U.S. only)
Printer:	2" receipt width
Display:	Color backlit LCD with 640 x 480 resolution
Keypad:	38-key alphanumeric with tactile buttons
Locks:	Can be re-keyed twice without removal of lock cylinder. Electronic locks optional
Access:	Separate compartments for maintenance and collections
Communications Options:	GSM/GPRS, CDMA, Ethernet
Environmental Requirements:	-40°F to +140°F (-40°C to +60°C)* Relative humidity: up to 95%
Power:	120 V AC. Slimline solar panel optional
Operational Modes:	Pay-and-Display, Pay-by-Space, Pay-by-License Plate
Multilingual Support:	Up to four languages using roman or non-roman characters
Audible Alarm:	Senses shock and vibration
Color:	Charcoal gray. Additional colors optional
Standards:	UL/CSA approved, ADA compliant, PCI compliant, PA-DSS validated

*using separately purchased heater/insulator option. Low end of range is -4°F (-20°C) ambient without heater/insulator option

Think Technology. Think Solutions. Think T2.



Since 1994, T2 Systems has been providing the parking industry with solutions that meet the ever-changing needs of parking managers and parkers alike. T2's unified parking management platform combines quality products and services with a commitment to thought leadership and strong customer relationships. T2's intelligent platform of Solutions-as-a-Service (SaaS)—including enforcement, permits, payments, PARCS, event parking and real-time parking availability—is trusted by over 1,000 organizations in the United States and Canada, including universities, cities, towns, private operators, and airports.

For additional information about T2 Systems, Inc. products and services, visit www.T2systems.com.

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PAY HERE

INSTRUCTIONS

1. Pay Via App or Meter in Advance
2. Enter License Plate at Meter
3. No Change Given
4. Place Receipt Face Up On Dash
5. No Oversized Vehicles
6. Park in Between the Lines
7. If Receipt Does Not Print, Meter Still Able to Verify Payment
8. Enforced 24 hrs 7 days a week



OR



Download
ParkByApp

App Store Google Play

or go to

ParkByApp.com

ZONE

Parking Management by

Asta Parking Inc. 888-764-2782

PLEASE NOTE

Failure to comply with the above regulations or pay posted fees in advance or exceed the time limit for parking will result in Booting or Towing of your vehicle.

111 South Ocean Proposed Sign Design



65"

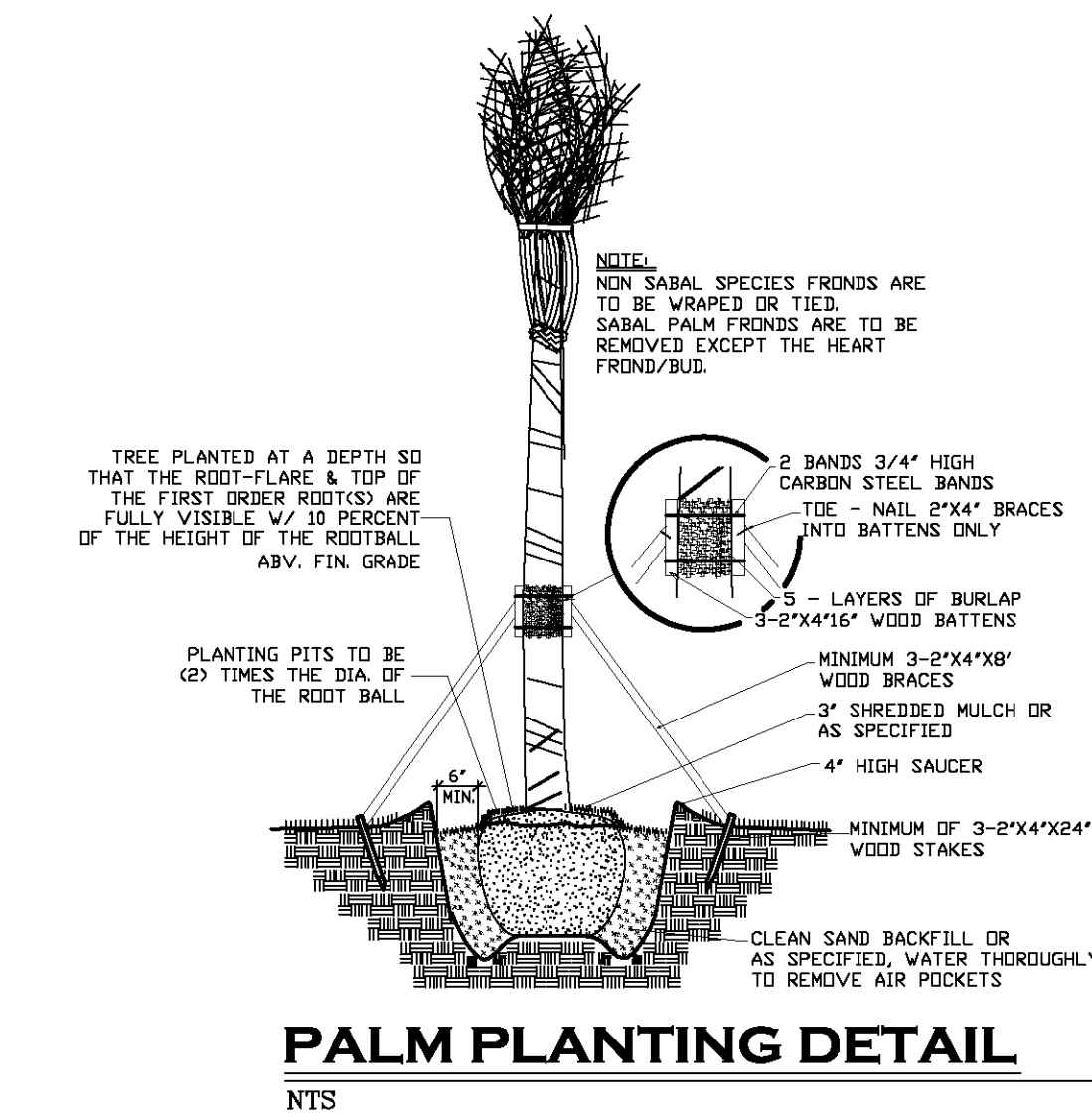
65"

PLANT LIST:

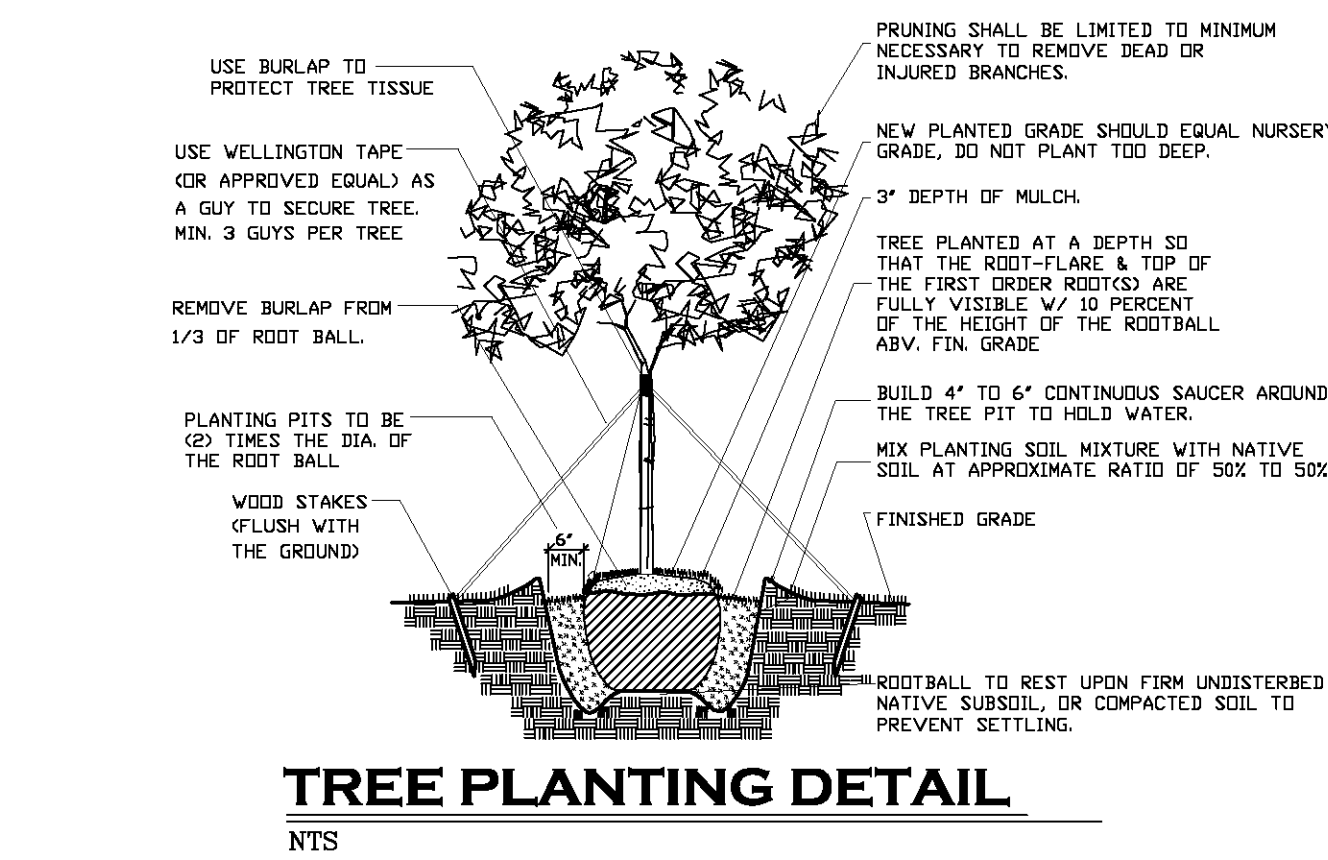
Symbol	Item	Common Name	Specifications	Drought Tolerance	Native	Quantity
AR	Acer rubrum	Red Maple	MIN 2" CAL., 12' HT. X 3" SPR., MIN. 4" C.T., MIN. 2 1/2" D.B.H.	HIGH	YES	14
CE	Conocarpus erectus 'sericeus'	Silver Buttonwood	MIN 2" CAL., 10' HT. X 3" SPR., STD, MIN 2 1/2" D.B.H.	HIGH	YES	17
CN	Cocos nucifera 'Maypan'	Coconut Palm	18' - 20' D.A. HT., MIN 6" C.T.	MEDIUM	YES	8
BR	Brassia arborescens 'Variegata'	Variegated Dwarf Schefflera	3 GAL., 24" HT. X 18" SPR., 24" D.C. (MAINTAIN AT MAX 24" HT)	MEDIUM	YES	As Needed
LAC	Lantana camara	Yellow Lantana	1 GAL., 12" HT. X 18" SPR., 18" D.C. (MAINTAIN AT MAX 12" HT)	HIGH	YES	As Needed
SDD	Stenotaphrum secundatum	St. Augustine 'Floratan'	Sod Only, Stagger Joints			As Needed

PLANTING NOTES:

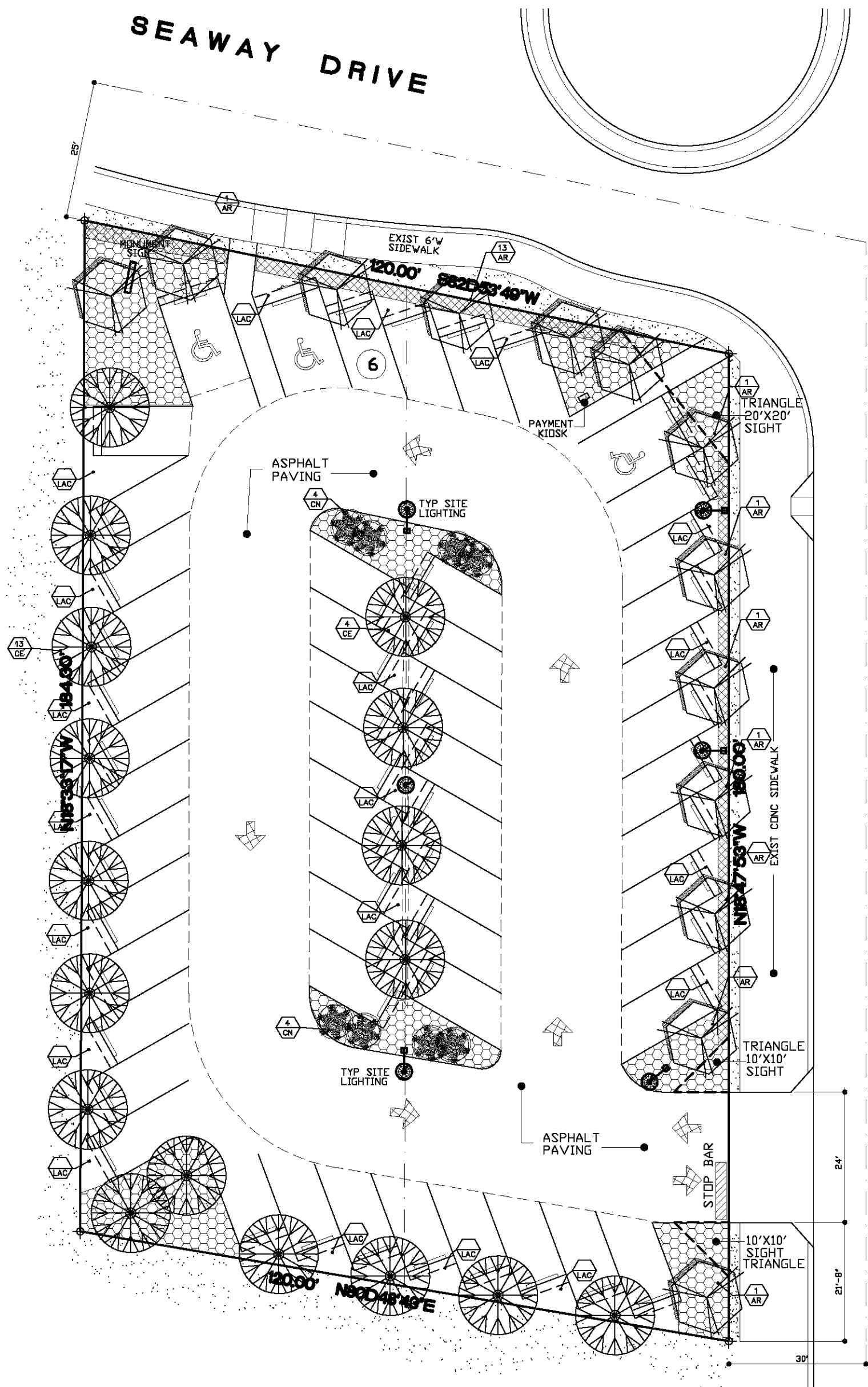
- All plant material furnished by the contractor shall be Florida #1 or better as set forth by the Florida Department of Agriculture, grades and standards for nursery plants, part I & II (current editions) at the time of final inspection.
- All plant material must meet or exceed the minimum size requirements as specified on the plant list at the time of final inspection.
- Quantities indicated on the plant list are for convenience. The contractor shall be responsible for doing his own takeoff. When discrepancies occur, the planting plan takes precedence over the plant list.
- All substitutions must be approved by the Landscape Architect and the City of Deerfield Beach prior to installation.
- Trees and palms shall be planted so that heads will be clear of all structures at mature spread.
- Planting soil shall be at least 20% muck or compost and 80% sand, delivered to the site in a clean, loose and friable condition, and having good drainage characteristics.
- All plant material shall be watered in thoroughly at the time of planting.
- Fertilizer for trees and shrubs shall be a general purpose 30% organic fertilizer 6-6-6 containing trace elements. Fertilizer for palms shall be a special palm type which includes manganese and magnesium sulfate.
- All trees and palms to be staked and guyed as shown in planting details.
- All planting beds and tree saucers shall be mulched with a standard size shredded type mulch, (oldcypress mulch is not to be used), to a minimum depth of 3" and watered down to prevent wind displacement. The use of other types of mulch is required over cypress mulch.
- Sod shall be St. Augustine 'Floratan', unless otherwise specified, and shall be free of weeds and in a healthy growing condition. Sod shall be laid on a smooth, finished grade with closely fitted, staggered joints.
- Any excess soil, stones or debris resulting from landscape operations shall be removed promptly, keeping the site clean as work progresses.
- Contractor shall be responsible for locating all underground utilities and shall be responsible for repairing any damage.
- All landscaped areas shall receive 100% coverage and 50% overlap from an automatic, underground irrigation system. Where an irrigation system already exists, the contractor shall be responsible for coordinating all necessary adjustments with the irrigation, contractor or property maintenance personnel. A moisture sensing controller other than a rain switch is required.
- The contractor shall provide a written guarantee to the owner for all plant materials and workmanship for a period of not less than one (360) days from the time of final acceptance by the owner. At the end of the guarantee period, replace any plants, which have died, with healthy plants of the same species and size without additional cost to the owner providing plants have been properly maintained by the owner after final acceptance. Any plant materials damaged by storms, vandalism, freeze damage or other acts of God are not included in this replacement agreement.



SHRUB PLANTING DETAIL
NTS

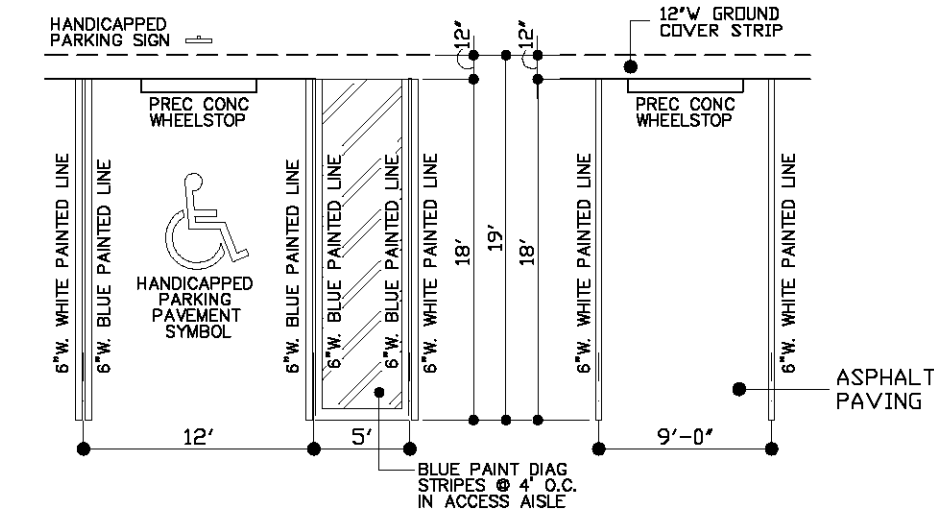


TREE PLANTING DETAIL
NTS



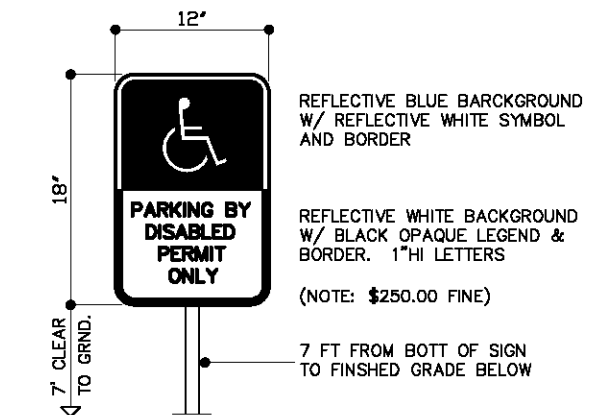
LANDSCAPE PLAN

SCALE: 1" = 20'-0"



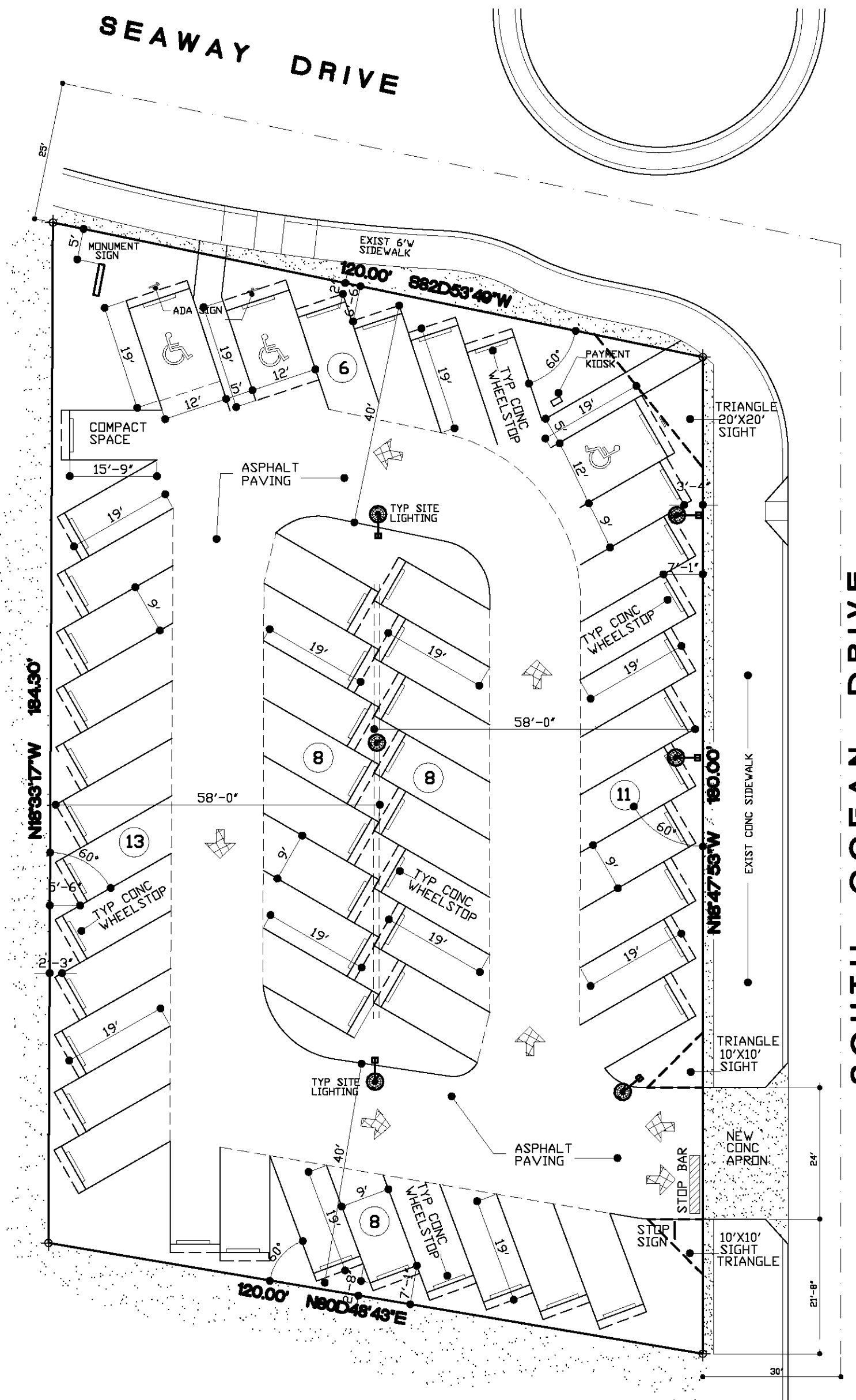
HNDCP PARKING TYP PARKING PARKING STALL PLANS

SCALE: 1/4" = 1'-0"



HANDICAP PARKING SIGN

SCALE: 2" = 1'-0"



SITE PLAN

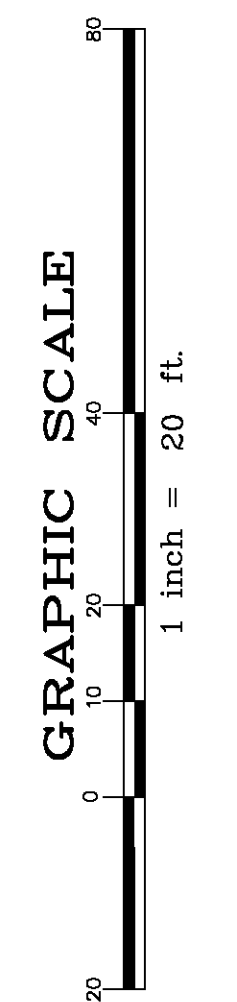
SCALE: 1" = 20'-0"

AREA CALCS:

TOTAL SITE AREA: 21,488 SQ FT (100%)
 PERIMETER GREEN AREA: 3,930 SQ FT (18%)
 VEHICULAR USE AREA: 16,582 SQ FT (77%)
 VIA GREEN AREA: 976 SQ FT (05%)
 TOTAL PERVIOUS AREA: 4,906 SQ FT (23%)
 LANDSCAPE AREA IN VUA: 16,582/15 SF = 1105 SF
 ACTUAL LANDSCAPE AREA IN VUA: 976 SF

PARKING COUNT:

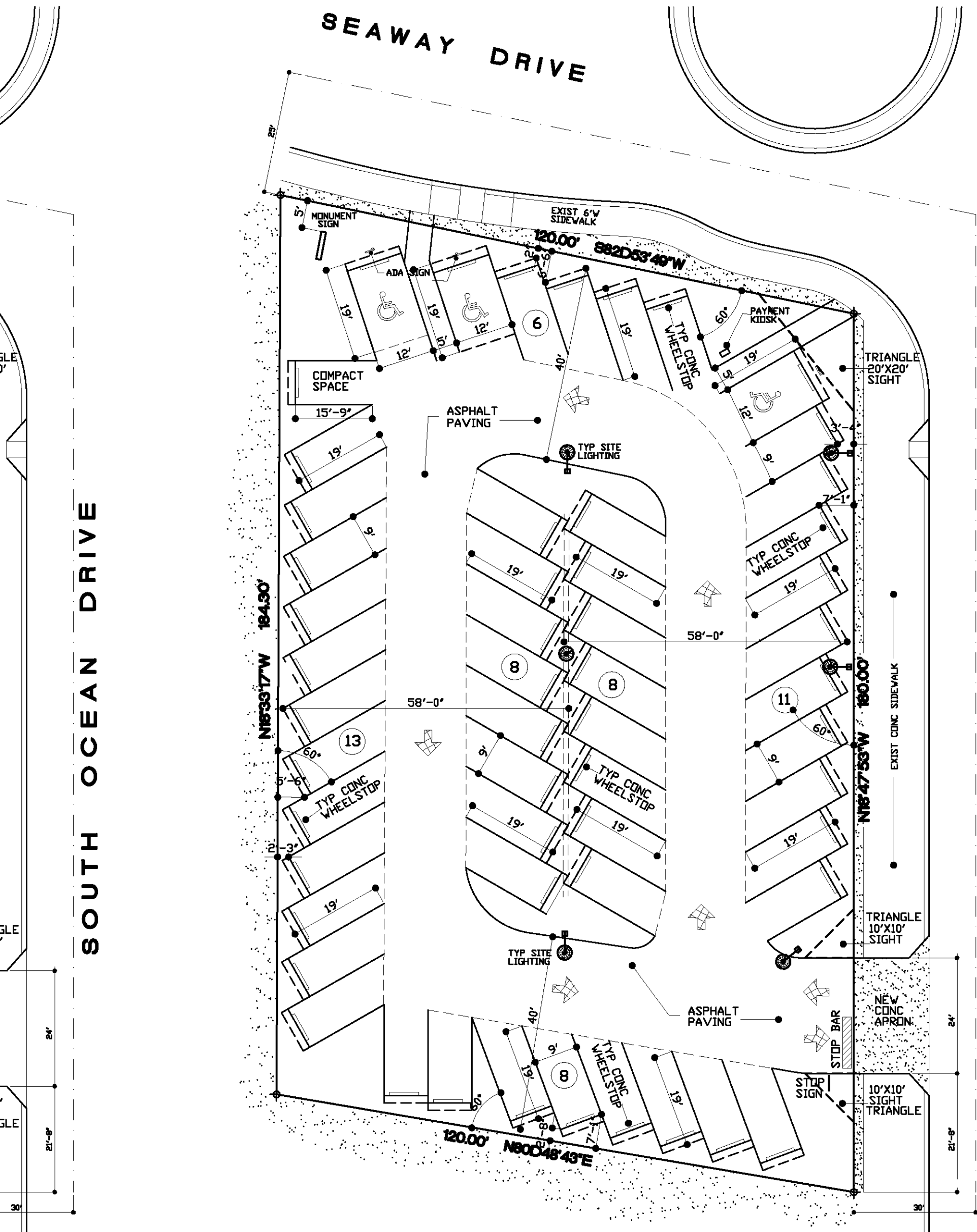
TOTAL 54 SPACES = 60' PARKING
 3 - 12' X 18' ADA PARKING SPACES (PLUS 1 FT DVRHGD)
 51 - 9' X 18' PARKING SPACES (PLUS 1 FT DVRHGD)



JAMES E. GILGENBACH ARCHITECTURE & PLANNING
 SUITE 107 NEWPORT CENTER DR DEERFIELD BEACH FLORIDA 33442
 (954) 426 - 1652
 ARCHITECT AR-7457
 REVISIONS:
 1. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER ALL SCALED DIMENSIONS.
 2. CONTRACTOR TO VERIFY ALL DIMENSIONS & ADVISE ARCHITECT IF ANY DISCREPANCIES.
 3. CONSTRUCTION SHALL NOT PROCEED UNTIL SAID DISCREPANCIES HAVE BEEN RESOLVED BY ARCHITECT.
 4. NO MATERIALS OR SYSTEMS ARE TO BE FABRICATED UNTIL ALL DIMENSIONS HAVE BEEN VERIFIED BY THE CONTRACTOR.
 5. SHOP DRAWINGS HAVE BEEN REVIEWED & ACCEPTED BY THE ARCHITECT.

ASTA PARKING INC.
 111 SOUTH OCEAN DRIVE, FORT PIERCE, ST LUCIE COUNTY, FLORIDA

DATE: 28 MAR '17
 PROJECT NO: 16 - 899
 SHEET: of 1 **A1**



AREA CALCS:

TOTAL SITE AREA:	21,488 SQ FT	(100%)
PERIMETER GREEN AREA:	3,930 SQ FT	(18%)
VEHICULAR USE AREA:	16,582 SQ FT	(77%)
VUA GREEN AREA:	976 SQ FT	(05%)

TOTAL PERVIOUS AREA:	4,906 SQ FT	(23%)
LANDSCAPE AREA IN VUA:	16,582/15 SF = 1105 SF	
ACTUAL LANDSCAPE AREA IN VUA:	976 SF	

PARKING COUNT:

TOTAL 54 SPACES - 60° PARKING
3 - 12' X 18' ADA PARKING SPACES (PLUS 1 FT □VRHG)
51 - 9' X 18' PARKING SPACES (PLUS 1 FT □VRHG)

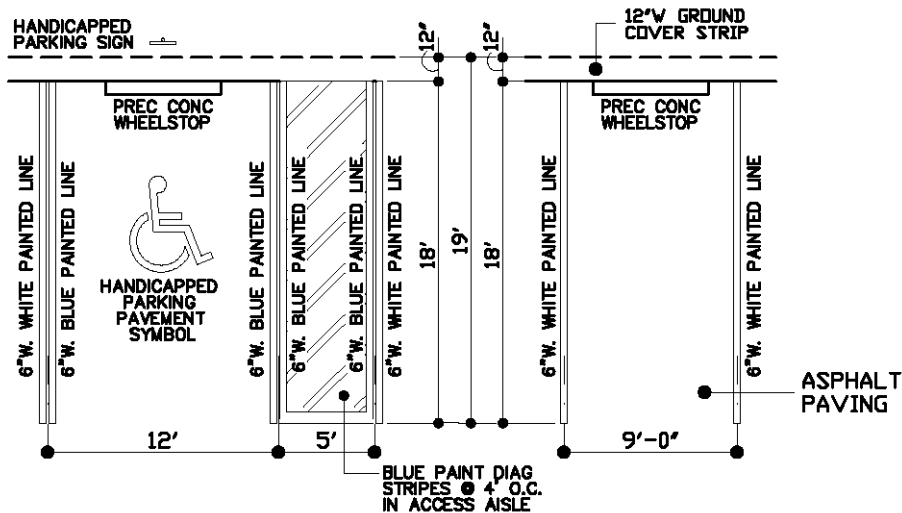
SITE PLAN

SCALE: 1" = 20'-0"



GRAPHIC SCALE





HNDCP PARKING TYP PARKING

PARKING STALL PLANS

SCALE:

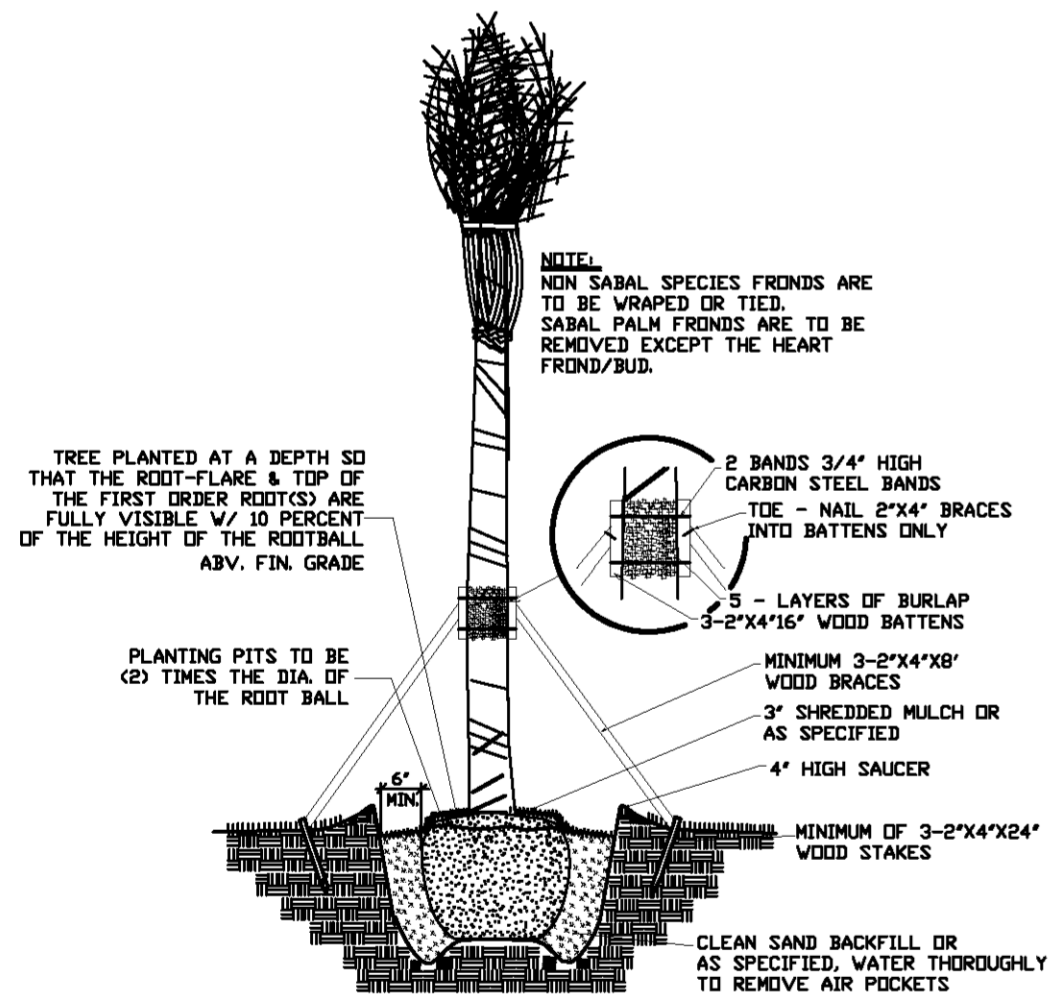
1/4" = 1'-0"

PLANT LIST:

Symbol	Item	Common Name	Specifications	Drought Tolerance	Native	Quantity
AR	Acer rubrum	Red Maple	MIN. 2" CAL., 12' HT. X 5' SPR., MIN. 4" C.T., MIN. 2 1/2" D.B.H.		YES	14
CE	Conocarpus erectus 'sericeus'	Silver Buttonwood	MIN. 2" CAL., 10' HT. X 5' SPR., STD. MIN. 2 1/2" D.B.H.	HIGH	YES	17
CN	Cocos nucifera 'Maypan'	Coconut Palm	18' - 20' O.A. HT., MIN 6' C.T.	MEDIUM	YES	8
BR	Brassia arboricola 'Variegata'	Variegated Dwarf Schefflera	3 GAL., 24" HT. X 18" SPR., 24" D.C. (MAINTAIN AT MAX 24" HD)	MEDIUM	YES	As Needed
LAC	Lantana camara	Yellow Lantana	1 GAL., 12" HT. X 15" SPR., 18" D.C. (MAINTAIN AT MAX 12" HD)	HIGH	YES	As Needed
SOD	Stenotaphrum secundatum	St. Augustine 'Floratan'	Sod Only, Stagger Joints			As Needed

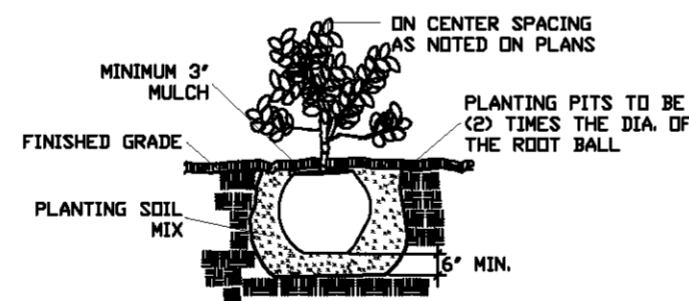
PLANTING NOTES:

- All plant material furnished by the contractor shall be Florida #1 or better as set forth by the Florida Department of Agriculture, grades and standards for nursery plants, part I & II (current editions) at the time of final inspection.
- All plant material must meet or exceed the minimum size requirements as specified on the plant list at the time of final inspection.
- Quantities indicated on the plant list are for convenience. The contractor shall be responsible for doing his own takeoff. When discrepancies occur, the planting plan takes precedence over the plant list.
- All substitutions must be approved by the Landscape Architect and the City of Deerfield Beach prior to installation.
- Trees and palms shall be planted so that heads will be clear of all structures at mature spread.
- Planting soil shall be at least 20% muck or compost and 80% sand, delivered to the site in a clean, loose and friable condition, and having good drainage characteristics.
- All plant material shall be watered in thoroughly at the time of planting.
- Fertilizer for trees and shrubs shall be a general purpose 50% organic fertilizer 6-6-6 containing trace elements. Fertilizer for palms shall be a special palm type which includes manganese and magnesium sulfate.
- All trees and palms to be staked and guyed as shown in planting details.
- All planting beds and tree saucers shall be mulched with a standard size shredded type mulch, (baldcypress mulch is not to be used), to a minimum depth of 3" and watered down to prevent wind displacement. The use of other types of mulch is required over cypress mulch.
- Sod shall be St. Augustine 'Floratan', unless otherwise specified, and shall be free of weeds and in a healthy growing condition. Sod shall be laid on a smooth, finished grade with closely fitted, staggered joints.
- Any excess soil, stones or debris resulting from landscape operations shall be removed promptly, keeping the site clean as work progresses.
- Contractor shall be responsible for locating all underground utilities and shall be responsible for repairing any damage.
- All landscaped areas shall receive 100% coverage and 50% overlap from an automatic, underground irrigation system. Where an irrigation system already exists, the contractor shall be responsible for coordinating all necessary adjustments with the irrigation contractor or property maintenance personnel. A moisture sensing controller other than a rain switch is required.
- The contractor shall provide a written guarantee to the owner for all plant materials and workmanship for a period of not less than 1 year (360) days from the time of final acceptance by the owner. At the end of the guarantee period, replace any plants, which have died, with healthy plants of the same species and size without additional cost to the owner providing plants have been properly maintained by the owner after final acceptance. Any plant materials damaged by storms, vandalism, freeze damage or other acts of God are not included in this replacement agreement.



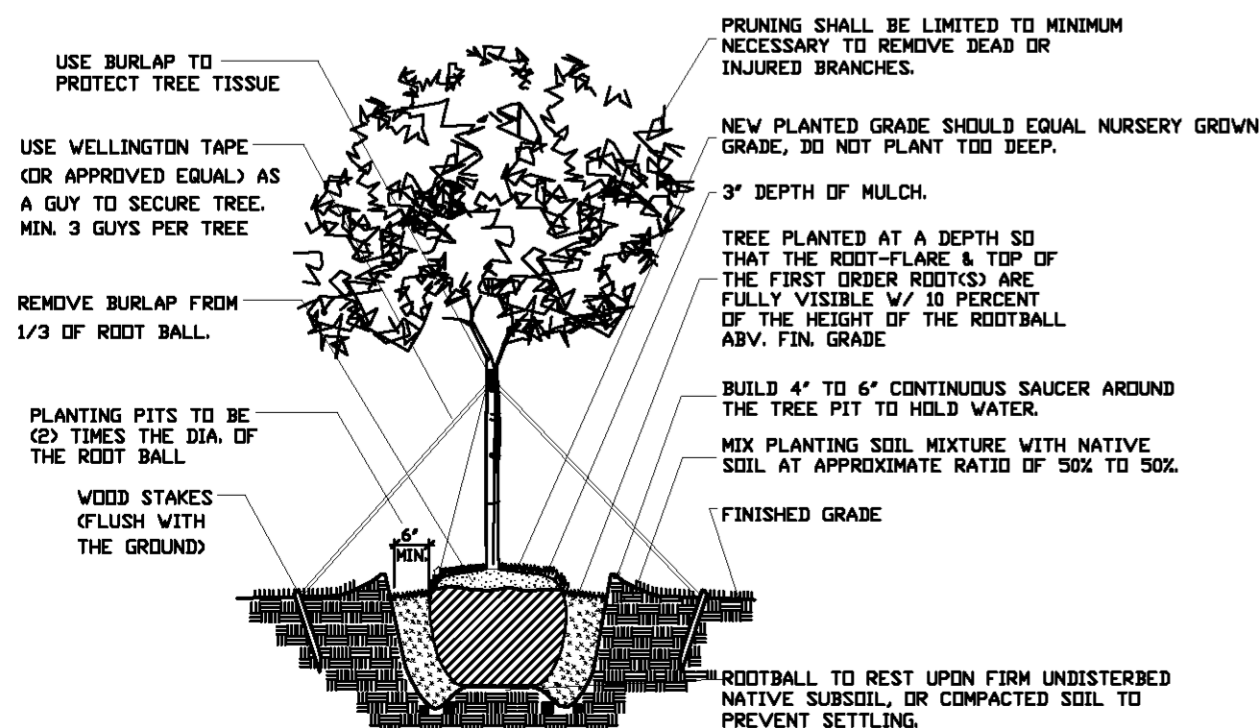
PALM PLANTING DETAIL

NTS



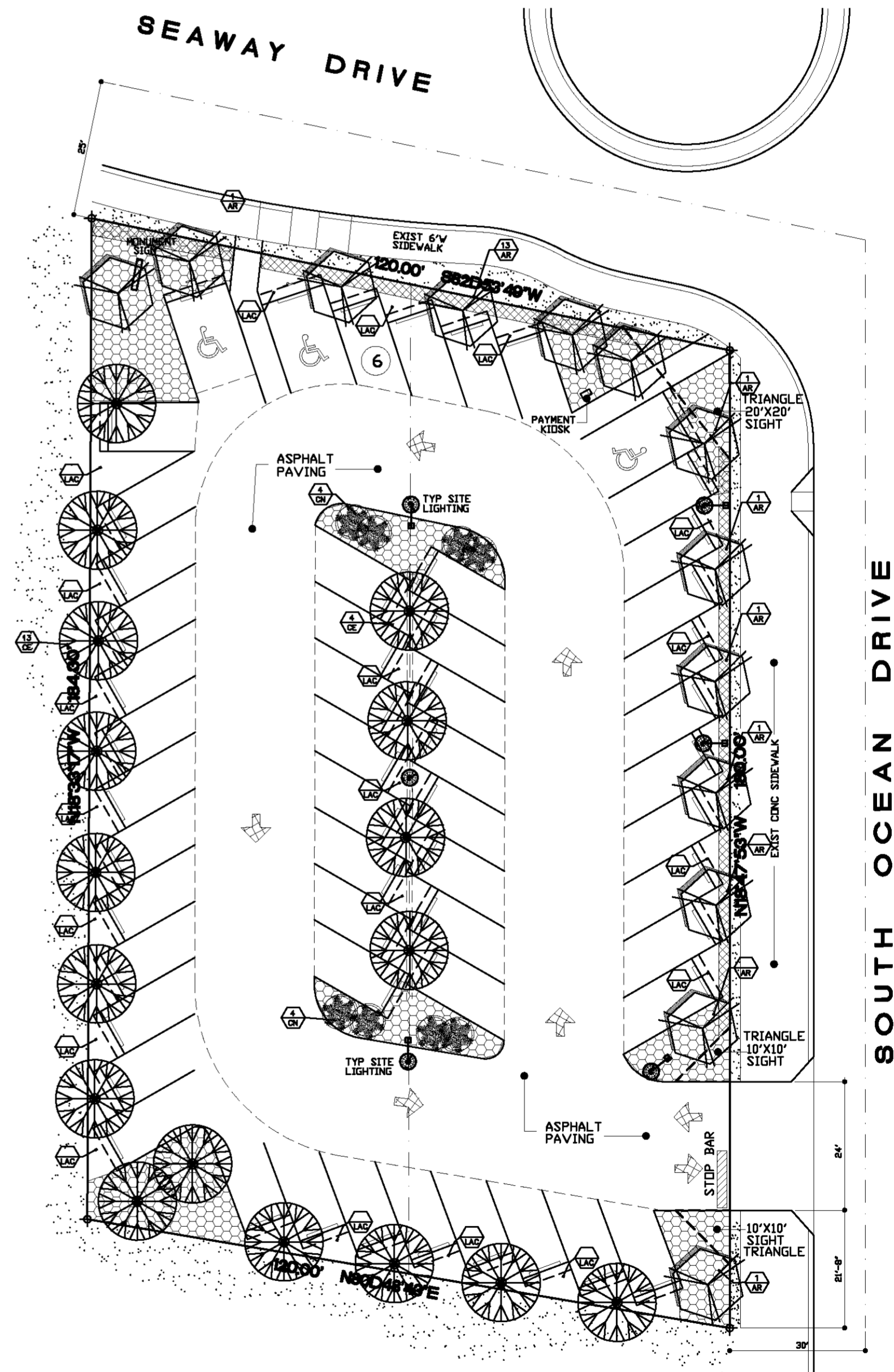
SHRUB PLANTING DETAIL

NTS



TREE PLANTING DETAIL

NTS



LANDSCAPE PLAN

SCALE: 1" = 20'-0"



AREA CALCS:

TOTAL SITE AREA:
PERIMETER GREEN AREA:
VEHICULAR USE AREA:
VUA GREEN AREA:

TOTAL PERVIOUS AREA:
LANDSCAPE AREA IN VUA:
ACTUAL LANDSCAPE AREA:

PARKING COUNT:

TOTAL 54 SPACES





April 28th, 2017

Kash Patel, Mike O'Leary, Partners, ASTA Parking Inc.,
725 NE 26th Avenue
Fort Lauderdale FL 33304

Re: ASTA Parking Proposed at 111 S. Ocean Drive - Variances

Dear Kash Patel, Mike O'Leary, Partners, ASTA Parking Inc.,

The City of Fort Pierce Board of Adjustment, at their April 27th, 2017 meeting, considered your request for approval of variance from several sections of the Fort Pierce Land Development Code as follows:

1. Deviation from City Code Section 22-60. - Off-street parking and loading. (c) Design standards. (1) to establish fifty-one (51) non-ADA parking stalls at a width of nine (9) ft. whereas the ordinance requires nine and one-half (9.5) ft.. Said variance reflecting a half (.5) ft. reduction from the required stall width. The plan further includes three (3) ADA spaces that meet the required dimensions.
2. Deviation from City Code Section 22-187. - General landscaping requirements. (4) to reduce the required landscape strips between street rights-of-way and vehicular use areas from ten (10) ft. to a variation of three feet, four inches, (3' - 4") to seven feet, one inch (7' - 1"), a reduction of six feet, nine inches (6'-9") and two feet, eleven inches (2'-11") ft. and a reduction from ten (10) ft. to a variation of two (2) ft. to six and one-half (6.5) feet., a reduction of eight (8) ft. and three and one-half (3.5) ft., further deviating from subsection b. replacing a required three (3) ft. tall hedge screen with twelve (12) inch flowering plants. Referenced areas on the north and east property line of the subject site, respectively.
3. Deviation from City Code Section 22-187. - General landscaping requirements. (6) to reduce the required landscape strips between vehicular use areas and other property from ten (10) ft. to a variation of two feet, three inches (2' - 3") to seven feet, one inch (7' - 1"), a reduction of seven feet, nine inches (7' - 9") and two feet, eleven inches (2' - 11") accordingly. Referenced areas on the west and south property line of the subject site.
4. Deviation from City Code Section 22-187. - General landscaping requirements. (7) Interior vehicular use areas to reduce the required interior vehicular use area landscaping from 1105.47 square feet to approximately 976 square feet.

After discussion, the Board of Adjustment voted unanimously to approve your requests based on the submitted development plans with the following conditions:

- 1) Incorporation of a sign towards the entrance of the parking circle, and stamped notation on each parking space, that acknowledges reduced stall width, or compact nature of the spaces.
- 2) The landscape plan integrates the planting, and appropriate irrigation, of a vegetative hedge along the north and east property lines, which has the capacity to grow to form a 3ft. tall continuous hedge within one year, as required by City Code Section 22-187 (4).

3) The landscape plan provides the planting, and appropriate irrigation, of a vegetative hedge along the west property lines, which has the capacity to grow to form a 6ft. tall buffer to mitigate the reduction in landscape strip width adjacent to these property lines.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Kori Benton', is positioned above the typed name.

Kori Benton
Senior Planner



TECHNICAL REVIEW COMMITTEE (TRC) COMMENTS FORM

FROM : Paul Thomas, CBO, CFM, Interim Building Official

RE : ASTA Parking – 111 S. Ocean Dr. – Cond. Use with New Construction

DATE : 3.2.17

The proposed may trigger the following Code requirements:

1. ADA Handicapped Parking Spaces
2. Accessible Route to Sidewalk
3. Turtle Lighting Ordinance – Site lighting, signage and ticketing kiosk to comply with the Turtle Ordinance FAC
4. All electrical equipment shall comply with the approved standards and flood requirements for construction located in special flood hazard area and perhaps seaward of the Coastal Construction Central Line.

PT/km

Conditional Use – ASTA Parking – 111 S. Ocean Drive (Kori Benton)

- W/WW Engineering: No objection
- Gas and Electric Engineering: No objection. FPUA has existing underground electric distribution and fiber optic lines along the south right of way of Seaway Drive and the west right of way of S. Ocean Drive.

Variance – ASTA Parking – 111 S. Ocean Drive (Kori Benton)

- **W/WW Engineering: No objection**
- Gas and Electric Engineering: No objection. FPUA has existing underground electric distribution and fiber optic lines along the south right of way of Seaway Drive and the west right of way of S. Ocean Drive.



TO : Kori Benton, Senior Planner
FROM : John R. Andrews, P.E., City Engineer
**RE : ASTA Parking – 111 South Ocean Drive
Conditional Use Application
TRC No. 17-0400005**
DATE : April 17, 2017



This is to advise you that we have completed the review of the following documents as received by this office on April 14, 2017:

- | | |
|--|---|
| <input checked="" type="checkbox"/> Conditional Use Application | <input type="checkbox"/> P/D Drawings |
| <input type="checkbox"/> Test Reports & Related Documents | <input type="checkbox"/> Certificate of Completion |
| <input type="checkbox"/> Record Drawings | <input type="checkbox"/> Permits from applicable Local,
State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local,
State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we

- | | | |
|--|--|------------------------------|
| <input type="checkbox"/> Recommend | <input checked="" type="checkbox"/> Do Not Recommend | |
| <input checked="" type="checkbox"/> Approval of CU | <input type="checkbox"/> Building Permit | <input type="checkbox"/> C/O |

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- See attached for engineering comments

ENGINEERING COMMENTS:

1. In accordance with the City of Fort Pierce Code of Ordinances Section 17-27(a)(7), please provide a Boundary and Topographic Survey signed and sealed by a Florida Registered Land Surveyor. The survey submitted was not certified, nor did it include any topography, and was also missing some existing improvements located within the adjacent road right-of-ways, i.e. roadway lighting. **Resolved**
2. This department recommends the elimination of the compact space as there is too great of a risk for vehicles to overhang into the drive aisle and cause issues with the adjacent handicapped parking stall. **Resolved**
3. The handicapped parking stall's 5' access aisle is proposed to encroach directly behind the adjacent parking stall which is considered an unsafe situation; please revise the plans to eliminate this hazard.
4. Advisory Comment: The concrete car stops shall be situated to ensure the maximum vehicle overhang will be 1' into the grassed/landscaped area.
5. Advisory Comment: The previously submitted drainage plan is conceptual at this point and will be reviewed in depth at the time of application for a Site Work permit.
6. Advisory Comment: The applicant shall be made aware that FDOT Drainage and Driveway Connection permits will be required at time of application for Site Work Permit.
7. Advisory Comment: The proposed driveway location is in direct conflict with existing FDOT street lighting, the applicant shall be made aware that permitting through FDOT for the relocation of the lighting will be required; any expense associated with this work will be the responsibility of the developer.

JRA/tst

Project: ASTA Parking

Subject: Review Comments

To: Kori Benton

From: Rod Reed, County Surveyor
PW-Engineering Division

Date February 8, 2017

I have no comments.

Rod Reed, County Surveyor

St. Lucie County, Fl.

2300 Virginia Avenue

Ft. Pierce, Fl. 34982-5652

www.stlucieco.org

Ph. (772) 462-1721

E-mail reedr@stlucieco.org



February 15, 2017

Steven M. Weaver
Realtime Property Development Services
Fort Pierce, FL

**SUBJECT: Variance & Conditional Use with New Construction
ASTA Parking
111 South Ocean Drive**

Dear Mr. Weaver,

The following are advisory comments from the Planning Department's review of the applications for Variance & Conditional Use with New Construction for a Commercial Parking lot at 111 S Ocean Drive:

1) Pursuant to City Code Section 22-60. - Off-street parking and loading. (c) Design standards. (1) Off-street parking space size. Each off-street parking space shall be at least nine and one-half (9½) feet wide (except required spaces for the handicapped, which shall be twelve (12) feet wide and nineteen (19) feet deep and have a minimum vertical clearance of seven (7) feet). All parallel parking spaces shall also have a four-foot or larger maneuvering space. These areas are exclusive of the area required for aisles or driveways. Where a parking space abuts a landscaped area, a maximum of one foot of the landscaped area may be part of the required depth of the parking space if the bumper rail is properly placed and if the landscaping will not be damaged.

Resolved - Redesign
& Variance Granted
for Space Width

- **Proposing:** 9 ft. width & 16 ft. depth (.5 ft. & 3 ft. reduction)
- The 3ft. reduction in the parking stall depth creates concerns related to function and safety, primarily related to internal vehicular movements though the hindrance of function may impact access or turn movements into the site from A1A. The **Resolved - Redesign** reduction in depth cannot be supported in the absence of restrictions upon size of vehicles utilizing the parking on site, which may not be practical. Additionally, Federal ADA guidelines .

General Notes: In 2007, the average mid-size sedan was 190 inches long and 71.4 inches wide. A large 2007 sports utility vehicle averaged **208.0 inches (17.33ft.) long** and 78.2 inches wide. A 2007 compact car averaged 177.2 inches long and 68.8 inches wide. (USA Today). These figures do not account for large passenger trucks frequently observed.

2) Pursuant to City Code Section 22-60. - Off-street parking and loading. (5) Combined aisle and stall width. All off-street parking areas shall be designed to allow minimum dimensions based upon the angle of the parking stall: 64 feet for one-way traffic, 90° spaces.

Resolved - Redesign

- **Proposing:** 55 ft. (9 ft. reduction)
- The cumulative reduction of combined stall and driveway width, in the absence of one way movement or angling of parking spaces presents concerns related to function and safety, primarily related to internal vehicular movements though the hindrance of function may impact access or turn movements into the site from A1A, as previously guided.

3) Pursuant to City Code Section 22-60. - Off-street parking and loading. (7) Bumper rails. All off-street parking and loading spaces, except those for single-family dwellings and duplexes, must be equipped with bumper rails located in such a manner as **to prevent vehicles from striking landscaping, fences, buildings or walls or from overhanging their spaces in a manner which might obstruct driveways, aisles or bike paths.** However, the bumper rails may be located such that the **front of a vehicle may encroach a maximum of one foot upon the landscaped area if the landscaping will not be damaged.** Where the parking area abuts a sidewalk the sidewalk may be used in lieu of the bumper rails provided that the sidewalk is at least six (6) inches high.

- **Proposing:** bumper rail configuration may allow for a greater extension beyond one (1) foot.
- Bumper rail placement should provide functionality of parking spaces, in addition to providing necessary protection of landscape materials.

4) Pursuant to City Code Section 22-61. - Access control.

(2) Location of access points. Minimum Corner Clearance Distance (Feet) for a property abutting an Arterial street of 230 feet. & c. Distance to property lines (property clearance): Distance to property lines from driveways will be one-half (½) the distances of two-way driveway spacing by roadway class included under b. above, noted as 75 feet.

Proposing: Approximately 136 ft. Distance for Corner Clearance of access point on North side, and 21.5ft. distance to the property line to the south (approximately 30 ft. to the intersection to the south).

(3) Driveway widths. The minimum driveway widths will be utilized on all roadway classes, for a Two-way access is 24 feet.

- **Proposing:** 22 ft. (subject to **Resolved - Redesign**)
- The applicant has noted intention to revise and adjust this dimension to meet the minimum guided by code.

5) Pursuant to City Code Section 22-187. - General landscaping requirements.

(4) Landscape strips. Between street rights-of-way and vehicular use, building and retention/detention areas, there shall be a landscaped strip of land, except where driveways are located, meeting these requirements:

b. The landscape strip shall include an average of at least one tree for each three hundred (300) square feet of required landscaped area. The remainder of the required landscaped area shall be completely covered with **Resolved - Board of Adjustment Variance & Condition** or other landscaped treatment **and shall additionally contain a screen which shall be installed and maintained so as to form a thirty-s continuous, unbroken, solid, visual screen** within a maximum of one year after the landscaping takes place, except in clear vision areas required in section 22-53.

294 ft. between VUA & ROW – 10 Trees required & Hedge

- **Proposing:** 3 trees & 12” flowering plants

6) Pursuant to City Code Section 22-187. - General landscaping requirements (6) Vehicular use, building, retention/detention areas adjacent to other property. Landscape standards for these areas are as follows:

a. Where a vehicular use area does not abut a street right-of-way but abuts other property, there will be a landscaped strip of land which is at least ten (10) feet wide. When a property line abuts a building, another structure, a joint driveway or joint parking area, such landscaped strip shall not be required.

b. The landscaping strip required by the foregoing subsection shall include an average of at least one tree for every one hundred (200) square feet of the required landscape area. The remainder of the required landscape area shall be landscaped with grass, ground cover or other landscape treatment.

298.3' between VUA & Other Property – 15 Trees & Ground Cover

• **Proposing:** 4 trees & 12" flowering plants

- The electronic rendering of the landscape plan filed is not consistent with the hard copies submitted. The notes are regarding the hard copy, acknowledging that the electronic versions seek to integrate additional landscaping, which is encouraged where appropriate. It's noted that the Landscape Plan appears to present placement of Red Maple trees in the State right-of-way, potentially conflicting with established Royal Palms on the north property line.

7) Pursuant to City Code Section 22-187 (7) Interior vehicular use areas. The following are standards relating to landscaping of interior vehicular use areas:

a. Lots with vehicular use areas that are four thousand (4,000) or more square feet in size shall have at least one square foot of interior landscaping for each fifteen (15) square feet of vehicular use area. Each separate landscaped area shall be **curbed** and contain a minimum of one hundred (100) square feet of area and shall be at least ten (10) feet wide and ten (10) feet deep exclusive of curbing. In massive urban parking area designs may be used to provide adequate tree plantings and allow for proper tree root development so shade trees can develop large canopies to reduce parking lot heat islands.

b. Interior landscaping shall include an average of at least one tree for each one hundred (100) square feet of required landscaped area. The remainder of the required landscaped area shall be landscaped with grass, ground cover or other landscaped treatment. Such landscaped areas shall be located in such a manner as to divide and break up the expanse of paving and at strategic points to guide traffic flow and direction.

Based upon VUA area of 18,488 (1/15) = 1232.5 SF / 13 Trees Required

- **Proposing:** Appx. 730 SF / 4 Trees Provided
- The site or landscape plan should clearly denote the required square footage of required interior vehicular use area, and identify the area provided. These areas shall be curbed to protect the landscaping provided and prevent washout into the parking areas.

8) Pursuant to City Code Section 22-187 (12)

d. All landscaping required by the city must be protected from vehicular and pedestrian traffic by the installation of curbing, wheel stops or other protective devices along the perimeter of any landscaping which adjoins vehicular use areas or sidewalks. These protected devices shall have a minimum height of six (6) inches above grade.

&

e. No parking, display of vehicles or outside storage or display of merchandise is permitted in or over any required landscape area, nor are **Noted to applicant** overhang any required landscaped area. (except the one (1) foot overhang provided in 22-60).

- The presented stall depth, bumper rail placement, and limited landscape strip present notable conflicts with these landscape installation and maintenance standards.

9) Pursuant to City Code Section 22-53. - Clear vision areas.

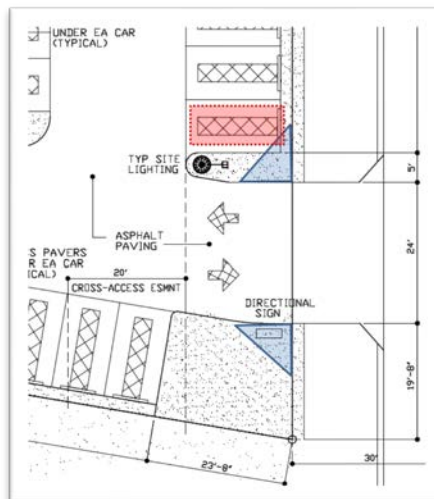
(a) A clear vision area shall be maintained on the corner of all property adjacent to the intersection of two (2) streets or of a street and a railroad, or **a street and a driveway**, except in a C-4 zone. A clear vision area shall contain **no planting, fence or temporary or permanent obstruction** exceeding twenty-four (24) inches in height measured from the top of the curb or, where no curb exists, from the established centerline grade, except that the following may be permitted:

- (1) Trees whose branches and foliage are removed to a height of eight (8) feet above grade; and
- (2) Necessary retaining walls.

(b) A clear vision area shall consist of a triangular area, two (2) sides of which are right-of-way lines or, in the case of an intersection of a street with a driveway, **the street right-of-way and the edge of the driveway**. The third side is a line across the corner of the property which connects the ends of the other two (2) sides. The size of the clear vision area is determined by the distance from the point of intersection of the two (2) right-of-way lines to the third side or, in the case of an intersection of a street with a driveway, the **Resolved - Redesign** of intersection of the right-of-way line with the driveway edge to the third side, measured along the right-of-way line(s) or driveway edge. This distance shall be twenty (20) feet where a street intersects with another street or a railroad. **The distance shall be ten (10) feet where a street intersects with a driveway.**

& 22-187 (12) g. To minimize traffic hazards at street or driveway intersections, all landscaping installations must provide unobstructed views as required in section 22-53.

The southern space, on the east row of parking spaces, appears to infringe upon the required Clear Vision Area, which will require elimination, adjustment/clarification to the design, or pursuit of a variance. Furthermore, please ensure placement of trees and their associated canopy does not infringe upon required clear vision areas.



General Advisory Notes:

-The driveway access point appears to support a right-in, right-out function based upon the established roadway configuration and striping of S. Ocean Drive. Further considerations will be pertinent to FDOT permitting of the driveway.

-Trash cans are recommended for incorporation into the parking lot.

-The site plan should clearly detail tabulation of impervious surface coverage, green/open space, and interior vehicular use area landscaping.

-Cross access to the adjacent development is encouraged. The Site Plan notes future intentions, however coordination with the adjacent property owner to secure such arrangement for the current proposal, or future proposal, is encouraged.

-The site plan shall include any intended stops signs and striping.

- Please identify any provision for irrigation on site, if not provided within the landscape plan.

The presented review is specific to the proposed plans filed for the February TRC review. Please contact me should you have any questions regarding the project at (772) 467-3729 or by e-mail: kbenton@city-ftpierce.com.

Sincerely,



Kori Benton
Senior Planner

Planning Board

7.c.

Meeting Date: 05/09/2017

Information

REQUESTED ACTION

Conditional Use with New Construction - Pandya Residence - 1717 Bayshore Drive

LOCATION

1717 Bayshore Drive

RESPONSIBLE STAFF

Vennis Gilmore, Planning Analyst

RECOMMENDATION

The presented Conditional Use with New Construction adhere to the requirements of the City Land Development Code and guidelines of the City's Comprehensive Plan pertaining to residential development, therefore Staff recommends the Planning Board forward a recommendation to approve the request as presented.

Attachments

Staff Report

Aerial & Zoning Map

Application & Property Record Card

Warranty Deed

Applicant Narrative

As-Built Survey

Proposed Site Plan & Elevation

TRC Comments

TRC Comments

Form Review

Form Started By: Vennis Gilmore

Started On: 05/02/2017 03:46 PM

Final Approval Date: 05/03/2017



TO: Members of the City of Fort Pierce Planning Board

THROUGH: Rebecca Grohall, AICP, Planning Director

FROM: Vennis Gilmore, Planning Analyst

RE: **Application for Conditional Use with New Construction
 Pandya Residence
 1717 Bayshore Drive**

DATE: May 1, 2017

STAFF REPORT

Owner(s): Kamlesh & Jagruti Pandya
 1717 Bayshore Dr.
 Fort Pierce, FL. 34949

Applicant: Terry Brisson
 1705 Porpoise Ave.
 Fort Pierce, FL. 34949

Applicant's Request: Approval of a Conditional Use with New Construction to demolish an existing single family home and re-build a new single family home at 1717 Bayshore Dr. The applicant is seeking a height extension to build up to 34 feet.

Location: 1717 Bayshore Dr.

Parcel ID: 2412-501-0022-000-9

Current Zoning: Single Family Low Density Residential Zone (R-1)

Future Land Use: Low Density Residential (RL)

Surrounding Zoning:

North	East	South	West
R-1	R-2	R-1	River/A-2

Site Size: .38 acres

Utilities: FPUA

Staff Analysis:

Request

In accordance with Sections 22-22, and 22-76 of the City Code, the applicant is requesting the review and approval of a Conditional Use with New Construction to demolish an existing single family home and re-build a new single family home at 1717 Bayshore Dr. The applicant is seeking a height extension to build at 34 feet. The existing single family residence consists of 4,002 finished/under air sq. ft. with a total of 9,721 gross area sq. ft. The proposed single family home is planned and designed to replace the outdated features of the existing home; such as the low ceiling, inefficient glazing, leaking roofs, divided room areas, outdated plumbing, lack of storage and inefficient kitchen plan. The proposed new residence will consist of slightly less gross area at 7,442 sq. ft. The new residence will include two (2) primary levels for sleeping and entertaining, a third level "observation loft" with primarily glass walls on three (3) of the four (4) sides. The observation loft has approximately 550 sq. ft. of air conditioned space. To accommodate the "observation loft" the applicant is seeking a height extension to build up to 34 feet. The subject property is zoned Single Family Low Density Residential Zone (R-1) with a future land use of Low Density Residential (RL).

The property is located west of the intersection of Bayshore Drive and Plover Avenue. The subject property is surrounded by single family residences to the north, south, east and the Indian River to the west. The property features a driveway entrance from Bayshore Drive just north of the intersection at Plover Avenue.

Zoning & Land Use

The subject site is located within the Single Family Low Density Residential Zone (R-1) district which is primarily intended to provide for areas of single-family dwellings with an average net density of less than four (4) units per acre for conventional developments. Regulations for the district are designed to promote sound neighborhoods and accommodate compatible nonresidential uses. Water and sewer service should be available. The site has a land use designation of Low Density Residential (RL).

The Low Density Residential (RL) designation is intended for parcels that are best suited for lower density residential uses. The predominant development typology will consist of single family detached housing but can also contain duplexes and multifamily residences. Limited commercial uses intended to serve the neighborhood shall be allowed. Compatible public, quasi-public, and special uses including parks, churches, non-profit clubs, schools and daycare facilities shall also be allowed. This land use category ranges in density from 1 to 6.5 dwelling units per acre. This category combines the previously allowed Residential Suburban (RS), Residential Urban (RU) and Low Density Residential (RI) categories.

Conditional Use

The purpose of the conditional use process is to allow, when desirable, uses that would not be appropriate generally or without restriction throughout the particular zoning district, but which, if controlled as to number, area, location or relation to the neighborhood, would not adversely affect the public health, safety, comfort, good order, appearance, convenience and the general welfare. The use as presented features residential aspects that are generally appropriate for single-family, low-density environments.

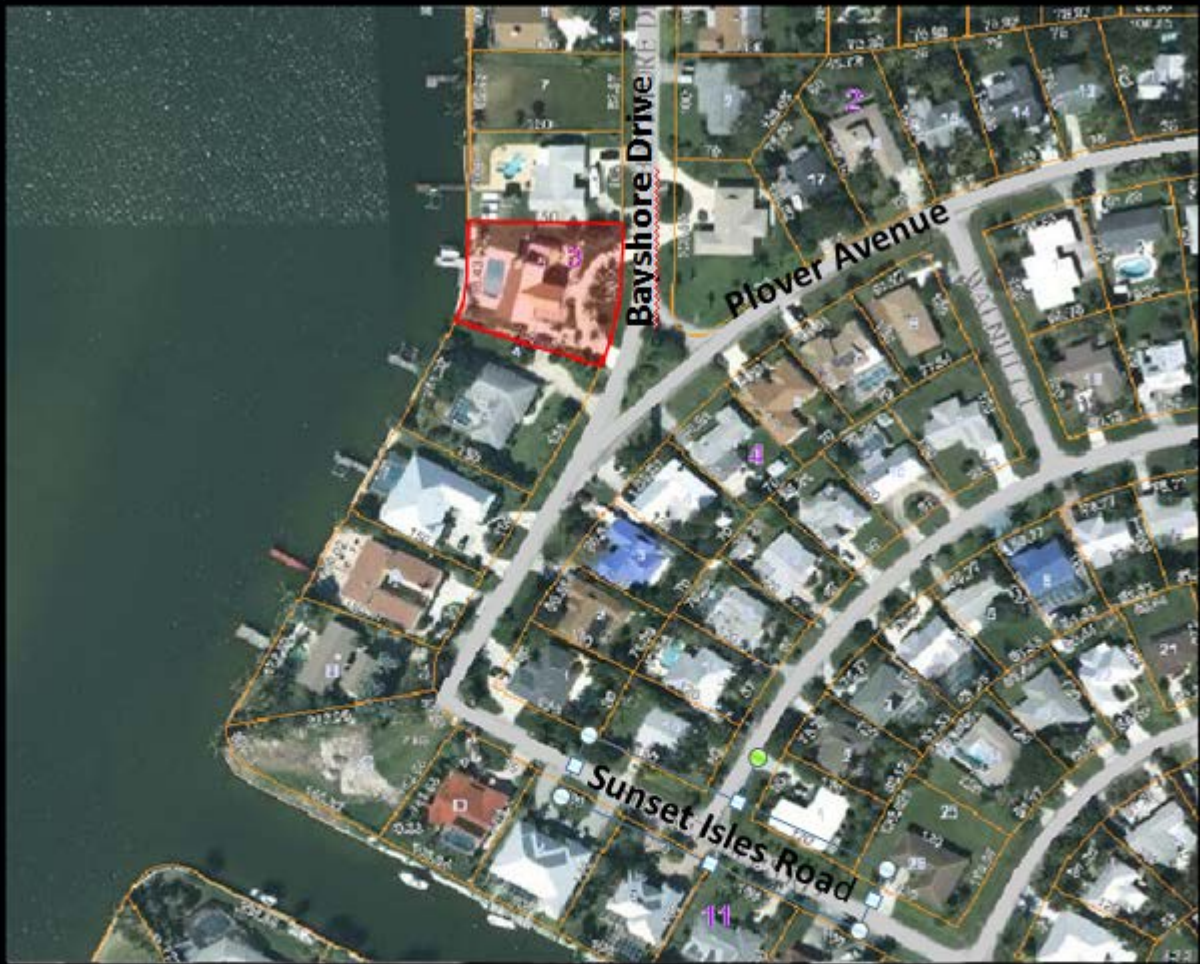
The authorization of a Conditional Use with New Construction to demolish an existing single family home and re-build a new single family home at 1717 Bayshore Dr. with a height extension to build up to 34 feet will provide an opportunity for consistency with zoning district and land use designation as the use nor the height adversely affect the public health, safety, comfort, good order, appearance, convenience and the general welfare of the surrounding residential neighborhood. The Planning Board is encouraged to consider City Code Section 22-24. - Single-Family Low Density zone (R-1). City Code Section 22-24 *Building Heights*(b)(4) states that no building shall exceed a height of twenty-eight (28) feet above grade, except that conditional uses with buildings that have a maximum height of thirty-five (35) feet above grade may be approved.

Technical Review Committee

All affected departments have reviewed the proposed Conditional Use with New Construction with regards requirements of the City Code. Findings from the review by corresponding departments and any associated responses by the applicant are provided for viewing by the Planning Board.

Staff Recommendation

The requested Conditional Use with New Construction is consistent with City Code, the Comprehensive Plan, and does not adversely affect the public health, safety, convenience and general welfare; Staff recommends that the Planning Board forward a recommendation to the City Commission for ***approval*** of the requested Conditional Use with New Construction for the proposed single family residence with a height of up to 34 feet.



Pandya Residence
Conditional Use w/ New Construction

1717 Bayshore Drive



THE SUNRISE CITY
FORT PIERCE
Florida



Pandya Residence
Conditional Use w/ New Construction

1717 Bayshore Drive



- R-1 =  R-2 =  R-4A = 



THE SUNRISE CITY
FORT PIERCE
Florida



DEVELOPMENT REVIEW

Property address or Location 1717 BOYSHORE DRIVE
 Parcel ID #(s) 2412-501-0022-000.9
 Project description DEMOLISH EXISTING RESIDENCE - REBUILD NEW

KAMLESH PANDYA

Property Owner(s) 1717 BOYSHORE DR

Street Address FL. PIERCE FL 34949

City 772-595-2643 State Zip

Phone Number pandya.j12@gmail.com

Email Address

Applicant/Representative, Title, Company

Street Address

City State Zip

Phone Number

Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

K. P. Pandya

Property Owner(s) Signature(s)

STATE OF FLORIDA -- COUNTY
 The foregoing instrument was acknowledged before me this 31 day of MARCH, 2017, by

Kamlesh Pandya who is personally known to me or has produced

DRIVER LICENSE as identification.

Caleta Scott

Signature of Notary



INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation
				Contributing Individual Non-Contributing None

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit # _____

Intake Planner _____

Planner Assigned _____

Approved By _____ Date _____

Comments _____

Intake Date Stamp

DEVELOPMENT REVIEW

\$250
+ Advertising
(Newspaper
Letter
Sign)

General Information

Incomplete application packets cannot be accepted.

Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

Choose Application Type:

Application Type	
<input type="checkbox"/> Site Plan	<input checked="" type="checkbox"/> Conditional Use with New Const.
<input type="checkbox"/> Conceptual Development Plan	<input type="checkbox"/> Major Amendment
	<input type="checkbox"/> Minor Amendment

Site Information:

Non-Residential: Proposed Sq. Ft.: _____ Residential: Proposed Units: _____

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West

Application Outlook



Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- Complete notarized application
- Warranty Deed
- SLC Property Record Card
- Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- General location map (see Section 22-58.d.2)
- Survey (see Section 22-58.d.3)
- Site Plan (see Section 22-58.d.4)
- Landscaping Plan (see Section 22-187)
- Storm Drainage Plan (see Section 22-58.d.6)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 22-58.d.7)
- Lighting Plan (see Section 22-58.d.8)
- Design Review submittals (see Design Review application) (Elevations)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)

Property Identification

Site Address:
Parcel ID:
Account #:
Map ID:
Use Type:
Zoning:
City/County:

1717 BAYSHORE DR
2412-501-0022-000-9
23943
24/12N
0100
R1
Fort Pierce

Ownership

Kamlesh P Pandya
Jagruti K Pandya
1717 Bayshore Dr
Fort Pierce, FL 34949

Legal Description

SURFSIDE-UNIT ONE- BLK 3 NLY 1/2LOT 4 AND ALL LOT 5 (OR 784-2271)

Current Values

Just/Market Value:	\$697,800
Assessed Value:	\$384,365
Exemptions:	\$50,000
Taxable Value:	\$334,365

Taxes for this parcel: [SLC Tax Collector's Office](#)
Download TRIM for this parcel: [Download PDF](#)



Total Areas

Finished/Under Air (SF):	4,002
Gross Area (SF):	9,721
Land Size (acres):	0.38
Land Size (SF):	16,770

Parcel ID Number: 2412-501-0022-000/9
Grantor #1 TIN: 155-72-4888
Grantor #2 TIN: 145-78-9770

[Space Above This Line For Recording Data]

Warranty Deed

This Indenture, Made this 7th day of April, 1992 A.D., Between JOHN G. HARRISON, a married man, joined by his wife LISA S. HARRISON,

of the County of St. Lucie, State of Florida, grantor, and KAMLESH P. PANDYA and JAGRUTI K. PANDYA, his wife,

whose address is: 1717 BAYSHORE DRIVE, Fort Pierce, Florida 34949

of the County of St. Lucie, State of Florida, grantees.

Witnesseth that the GRANTOR, for and in consideration of the sum of ----- DOLLARS, ----- TEN & NO/100(\$10.00) -----

and other good and valuable consideration to GRANTOR in hand paid by GRANTEEES, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said GRANTEEES and GRANTEEES' heirs and assigns forever, the following described land, situate, lying and being in the county of St. Lucie State of Florida to wit:

THE NORTH ONE-HALF OF LOT 4 AND ALL OF LOT 5, BLOCK 3, SURFSIDE UNIT ONE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, PAGE 17, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

Subject to restrictions, reservations and easements of record, if any, which are not reimposed hereby, and taxes subsequent to December 31st, 1991.

and the grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever. In Witness Whereof, the grantor has hereunto set their hand and seal the day and year first above written. Signed, sealed and delivered in our presence:

David N. Sowerby
Printed Name: David N. Sowerby
Witness as to Both

Teresa A. Grooms
Printed Name: Teresa A. Grooms
Witness as to Both

John G. Harrison (Seal)
JOHN G. HARRISON
P.O. Address 5600 MYRTLE DRIVE, Fort Pierce, FL 34982

Lisa S. Harrison (Seal)
LISA S. HARRISON
P.O. Address 5600 MYRTLE DRIVE, Fort Pierce, FL 34982

_____ (Seal)

_____ (Seal)

STATE OF Florida COUNTY OF St. Lucie

The foregoing instrument was acknowledged before me this 7th day of April, 1992 by JOHN G. HARRISON, a married man, joined by his wife LISA S. HARRISON (By Driver's License Numbers H625-467-44-388 and H625-57-563-0) who are personally known to me or who have produced their Florida driver's licenses as identification and who did take an oath.

This Document Prepared By:
David N. Sowerby, Esquire
Melville & Fowler, P.A.
300 S. 6th Street P.O. Box 850
Fort Pierce, FL 34950-0850

Teresa A. Grooms
Printed Name: Teresa A. Grooms
NOTARY PUBLIC
My Commission Expires: _____
NOTARY PUBLIC STATE OF FLORIDA
BY COMMISSION EXPIRES APR 23, 1994
SIGNED THIS 17th DAY OF APRIL, 1992

Parcel ID Number: 2412-501-0022-000/9
Grantee #1 TIN: 155-72-4888
Grantee #2 TIN: 145-78-9770

[Space Above This Line For Recording Data]

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Witnesseth that the GRANTOR, for and in consideration of the sum of ----- TEN & NO/100(\$10.00) ----- DOLLARS,

and other good and valuable consideration to GRANTOR in hand paid by GRANTEEES, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said GRANTEEES and GRANTEEES' heirs and assigns forever, the following described land, situate, lying and being in the county of St. Lucie State of Florida to wit:

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Subject to restrictions, reservations and easements of record, if any, which are not reimposed hereby, and taxes subsequent to December 31st, 1991.

and the grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever. In Witness Whereof, the grantor has hereunto set their hand and seal the day and year first above written. Signed, sealed and delivered in our presence:

David N. Sowerby
Printed Name: David N. Sowerby
Witness as to Both

Teresa A. Grooms
Printed Name: Teresa A. Grooms
Witness as to Both

John G. Harrison (Seal)
JOHN G. HARRISON
P.O. Address 5600 MYRTLE DRIVE, Fort Pierce, FL 34982

Lisa S. Harrison (Seal)
LISA S. HARRISON
P.O. Address 5600 MYRTLE DRIVE, Fort Pierce, FL 34982

_____ (Seal)

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David N. Sowerby, Esquire
Melville & Fowler, P.A.
300 S. 6th Street P.O. Box 850
Fort Pierce, FL 34950-0850

Teresa A. Grooms
Printed Name: Teresa A. Grooms

NOTARY PUBLIC
My Commission Expires:

NOTARY PUBLIC STATE OF FLORIDA
MY COMMISSION EXPIRES 01/01/1994
SIGNED AND SEEALED OFFICE

Parcel ID Number: 2412-501-0022-000/9
Grantor #1 TTN: 155-72-4888
Grantor #2 TTN: 145-78-9770

[Space Above This Line For Recording Data]

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Melville & Fowler, P.A.
300 S. 6th Street P.O. Box 850
Fort Pierce, FL 34950-0850

Teresa A. Grooms
Printed Name: Teresa A. Grooms

NOTARY PUBLIC
My Commission Expires: _____
NOTARY PUBLIC STATE OF FLORIDA
BY COMMISSION EXPIRES APR. 30, 1994
GROOMED THROUGH GENERAL REG. NO. _____

FL TREND HOMES, LLC

1705 PORPOISE AVENUE
FORT PIERCE, FL 34949

(772) 828-0364 ■ fltrendhomes@gmail.com ■ CGC017586 since 1981

March 30, 2016

City of Fort Pierce, Planning Department

Re: Variance Request

We hereby submit formal application requesting a variance for height and lot coverage area for the below listed property.

PROPERTY ADDRESS: 1717 Bayshore Dr, Fort Pierce

OWNERS: Kamlesh & Jacrutti Pandya

SCOPE OF WORK: The existing (2) story, Single Family residence, with 9,721 sf, under roof area, is proposed to be demolished, except pool and pool patio.

A new home is planned, designed to replace the outdated features of the existing home, such as low ceiling, inefficient glazing, leaking roofs, divided room areas, outdated plumbing, lack of storage and inefficient kitchen plan.

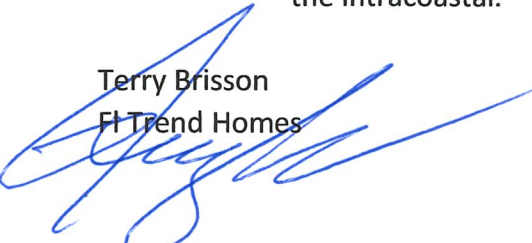
The Proposed New Residence will have similar square footage, slightly less than 10,000 sf under roof, consist of 2 primary levels for Sleeping & Entertaining, and a 3rd level "Observation Loft" with primarily glass walls on 3 of the (4) sides. The Observation Loft has approximately 550 sf of Air Conditioned space.

ATTACHMENTS:

- 10 Copies of Colored Presentation Plans
- 10 Surveys
- 10 Site Plans & General location map
- 10 Ink Renderings of Front and Rear Elevations showing proposed Building Heights
- Notarized Application and Property Identification Cards
- Check for \$250.00
- Copy of Warranty Deed

OWNER STATEMENT: As property Owners, it is our intention to Demolish the existing residence and Construct A Modern Home with many of the currently popular design features. The floors and roof systems will be constructed of Hollow Core Concrete Panels, because we want the added safety benefits of Concrete, due to our proximity to the Ocean and open water of the intracoastal.

Terry Brisson
FL Trend Homes



Kamlesh Pandya
Owner



Jacrutti Pandya
Owner

INDIAN RIVER

PLAT NORTH

SCALE 1" = 30'

LOCATION MAP



LEGAL DESCRIPTION

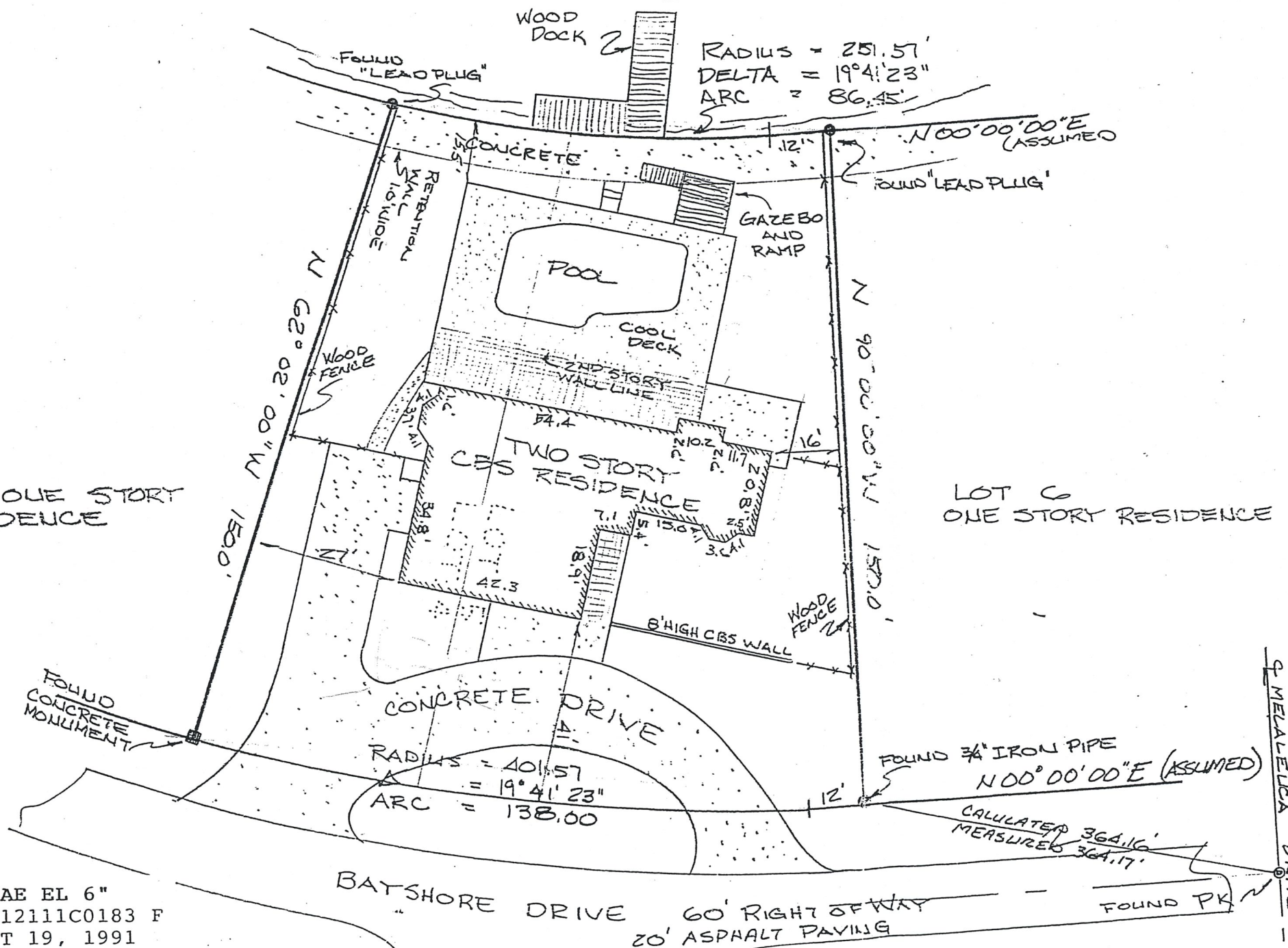
ALL OF THE NORTH 1/2 OF LOT 4 AND ALL OF LOT 5 BLOCK 3 SURFSIDE UNIT 1 ACCORDING TO THE PLAT THERE OF AS RECORDED IN PLAT BOOK 16 PAGE 17 PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA. SAID LANDS LYING IN ST. LUCIE COUNTY, FLORIDA STREET ADDRESS: 1717 BAYSHORE DRIVE

SURVEY NOTES

1. NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
2. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS OR OWNERSHIP
3. LAND DESCRIPTION HEREON WAS PROVIDED BY THE CLIENT.
4. BEARINGS SHOWN HEREON ARE BASED ON THE ASSUMED DATUM
5. THIS SURVEY NOT TO BE USED FOR FENCE INSTALLATION SPRINKLER SYSTEMS, SHRUBS OR ANY OTHER UTILITIES WITHOUT RE-VERIFICATION OF PROPERTY CORNERS.

CERTIFIED TO:

FIRST NATIONAL BANK AND TRUST COMPANY OF THE TREASURE COAST, IT'S SUCCESSORS AND/OR ASSIGNS
KAMIESH P. PANDYA M.D. & JAGRUTI K. PANDYA
DAVID SOWERBY ATTORNEY
MELVILLE & FOWLER P.A.
AMERICAN PIONEER TITLE INSURANCE COMPANY
CRARY, BUCHANAN, M BOWDISH & BOVIE P.A.



1/2 LOT 4 ONE STORY RESIDENCE

LOT 6 ONE STORY RESIDENCE

FLOOD ZONE: "AE EL 6"
FIRM PANEL: 12111C0183 F
DATED: AUGUST 19, 1991

I HEREBY CERTIFY THAT THIS SURVEY MAP IS PER RECORD DESCRIPTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED IN THE FIELD. I FURTHER CERTIFY THAT THIS SURVEY COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS SET FORTH IN CHAPTER 21HH-6 F.A.C. BY THE FLORIDA BOARD OF LAND SURVEYORS PURSUANT TO SECTION 472.027 FLORIDA STATUTES, AND THAT THERE ARE NO ABOVE GROUND ENCROACHMENTS OTHER THAN SHOWN.

DATE 3/30/92
PROFESSIONAL LAND SURVEYOR FLORIDA REGISTRATION #4572
REPASS P.L.S.



- LEGEND:
- FOUND IRON ROD
 - SET IRON ROD AND CAP NUMBER 4572
 - ⊕ CENTER LINE
 - FINISH FLOOR ELEVATION
 - TYPICAL ELEVATION
 - PROFESSIONAL LAND SURVEYOR
 - RIGHT OF WAY
 - PC POINT OF CURVE
 - Δ DELTA ANGLE

FIELDWORK COMPLETED 3/18/92

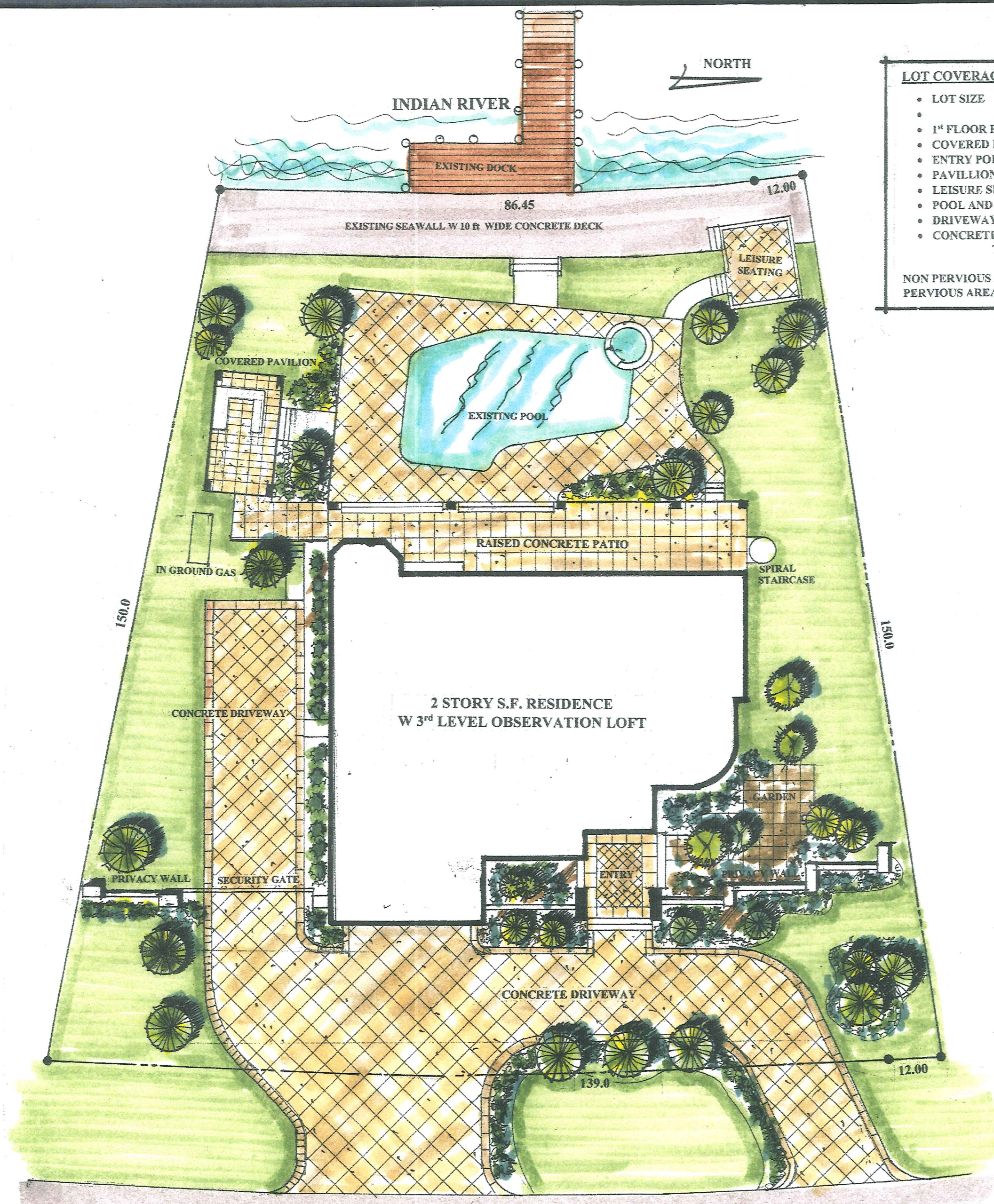
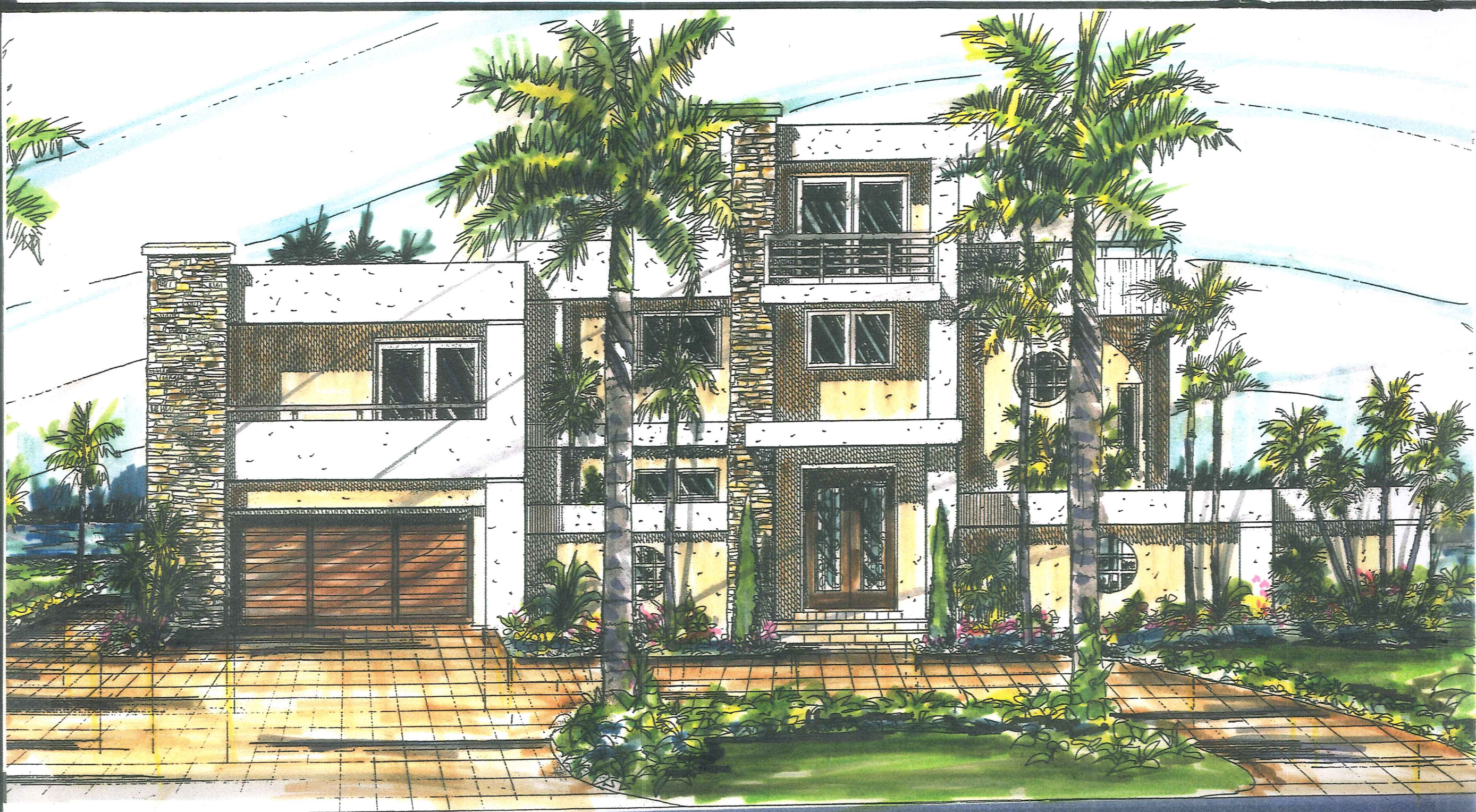


708 BUCK HENDRY WAY
P.O. BOX 3424
STUART, FL 34995
(407) 692-3827
FAX (407) 692-9529

SKETCH OF SURVEY

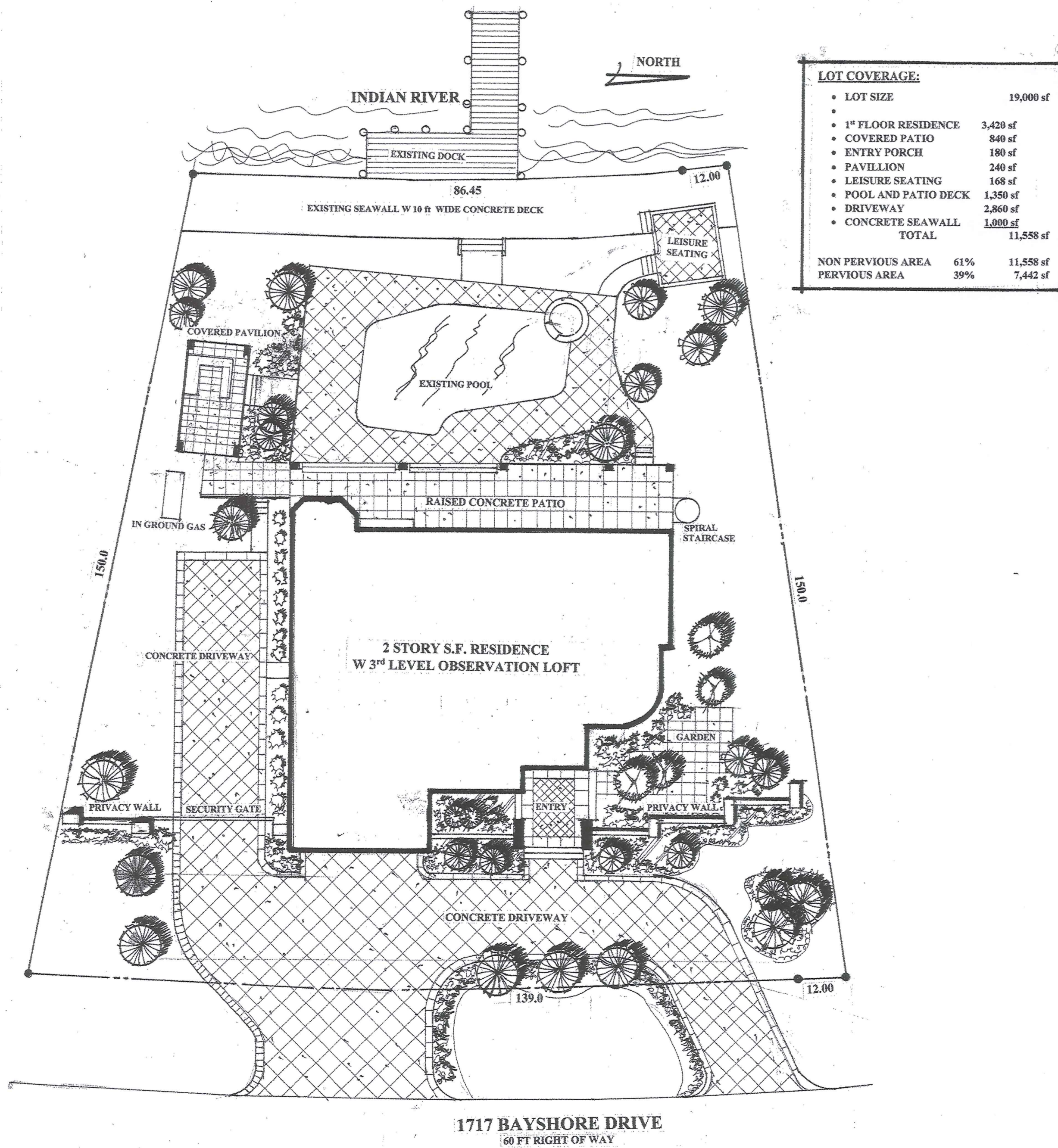
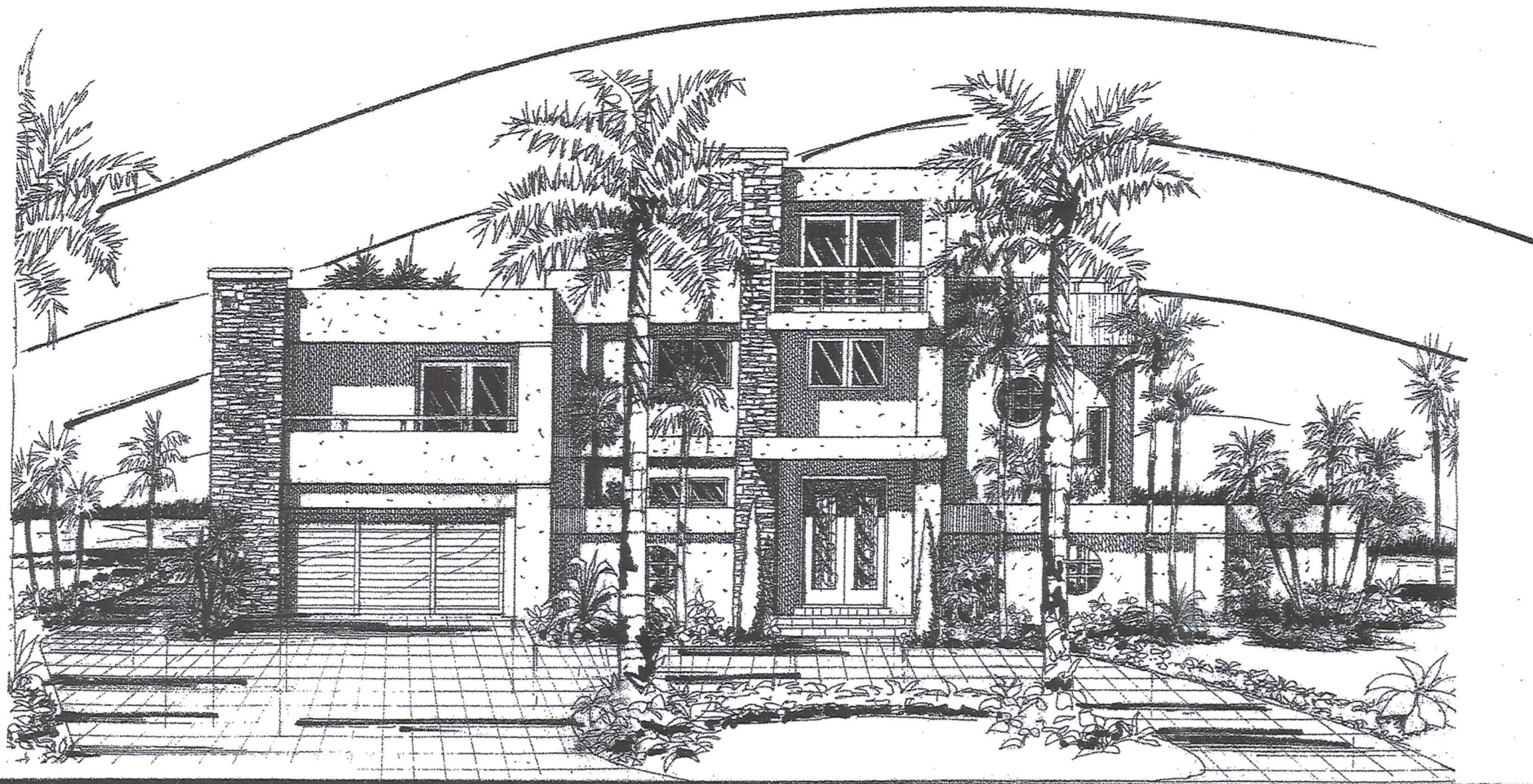
PREPARED ON THE ORDER OF:
FIRST NATIONAL BANK

SCALE: 1" = 30'	DWG BY MR	FILE NO. 92-106
--------------------	--------------	--------------------



LOT COVERAGE:

• LOT SIZE	19,000 sf
• 1 ST FLOOR RESIDENCE	3,420 sf
• COVERED PATIO	840 sf
• ENTRY PORCH	180 sf
• PAVILLION	240 sf
• LEISURE SEATING	168 sf
• POOL AND PATIO DECK	1,350 sf
• DRIVEWAY	2,860 sf
• CONCRETE SEAWALL	1,000 sf
TOTAL	11,558 sf
NON PERVIOUS AREA	61% 11,558 sf
PERVIOUS AREA	39% 7,442 sf







THE SUNRISE CITY
FORT PIERCE
ENGINEERING
DEPARTMENT

Florida

TO : Vennis Gilmore, Planning Analyst

FROM : John R. Andrews, P.E., City Engineer

APR 17 2017

**RE : Pandya Residence CU – 1717 Bayshore Drive
TRC No. 17-0400006**

DATE : April 17, 2017

This is to advise you that we have completed the review of the following documents as received by this office on April 7, 2017:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Conditional Use Application | <input type="checkbox"/> P/D Drawings |
| <input type="checkbox"/> Test Reports & Related Documents | <input type="checkbox"/> Certificate of Completion |
| <input type="checkbox"/> Record Drawings | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we

- Recommend Do Not Recommend
- Approval of Conditional Use Building Permit C/O

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- See attached for engineering comments

ENGINEERING COMMENTS:

1. The plans appear to reflect new driveway construction, please revise the plans to include provide a drawing scale along with the applicable driveway widths, driveway spacing, and setbacks from property lines.
2. The survey and plot plan shall identify the four existing drainage basins located within the Bayshore Drive R/W, directly adjacent to the subject property, so as to ensure no conflicts between the drainage system and the driveway construction will not occur.
3. Provide a recent signed and sealed survey as the one submitted was 15 years old.

JRA/tst

Project: PANDYA RESIDENCE

Subject: Review Comments

To: Venis Gilmore

From: Rod Reed, County Surveyor
PW-Engineering Division

Date April 20, 2017

1) **SURVEY:** Please provide a **current** boundary and topographic survey of the site with flood zones depicted. In addition all wetland areas (if any) will need to be identified and shown on the survey. All elevations will be referenced to NAVD 1988. The survey needs to be performed by a professional surveyor licensed to practice in the State of Florida.

Please provide a written response to all comments

APR 20 2017

Rod Reed, County Surveyor
St. Lucie County, Fl.
2300 Virginia Avenue
Ft. Pierce, Fl. 34982-5652
www.stlucieco.org
Ph. (772) 462-1721
E-mail reedr@stlucieco.org



TECHNICAL REVIEW COMMITTEE (TRC) COMMENTS FORM

FROM : Paul Thomas, CBO, CFM, Interim Building Official

RE : Pandya Residence – 1717 Bayshore Dr.

DATE : 4.19.17

The proposed may trigger the following requirements:

1. May be subject to flood requirements.

APR 19 2017

PT/km



THE SUNRISE CITY
FORT PIERCE
ENGINEERING
DEPARTMENT

Florida

TO : Vennis Gilmore, Planning Analyst

FROM : John R. Andrews, P.E., City Engineer

APR 17 2017

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TRC No. 17-0400006**

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|---|--|
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| <input type="checkbox"/> Test Reports & Related Documents | <input type="checkbox"/> Certificate of Completion |
| <input type="checkbox"/> Record Drawings | <input type="checkbox"/> Permits from applicable Local, State & Federal Agencies |
| <input type="checkbox"/> Clearances from all applicable Local, State and Federal Agencies | |

Based on our reviews and appropriate site final inspection, we

- | | | |
|---|--|------------------------------|
| <input type="checkbox"/> Recommend | <input checked="" type="checkbox"/> Do Not Recommend | |
| <input checked="" type="checkbox"/> Approval of Conditional Use | <input type="checkbox"/> Building Permit | <input type="checkbox"/> C/O |

Developer, Owner, Engineer, Contractor and other members of the Development Team must be aware, the above recommendation is based only on the construction requirements of the engineering plans and other engineering documentation approved by this department. The Development Team shall be responsible for the compliance with other City department requirements and all approved documents, as well as Local, State and Federal regulations. The development requirements for this project may necessitate additional construction requirements that are not subject to this department's review for approval.

- See attached for engineering comments

ENGINEERING COMMENTS:

1. The plans appear to reflect new driveway construction, please revise the plans to include provide a drawing scale along with the applicable driveway widths, driveway spacing, and setbacks from property lines.
2. The survey and plot plan shall identify the four existing drainage basins located within the Bayshore Drive R/W, directly adjacent to the subject property, so as to ensure no conflicts between the drainage system and the driveway construction will not occur.
3. Provide a recent signed and sealed survey as the one submitted was 15 years old.

JRA/tst

Project: PANDYA RESIDENCE

Subject: Review Comments

To: Venis Gilmore

From: Rod Reed, County Surveyor
PW-Engineering Division

Date April 20, 2017

1) **SURVEY:** Please provide a **current** boundary and topographic survey of the site with flood zones depicted. In addition all wetland areas (if any) will need to be identified and shown on the survey. All elevations will be referenced to NAVD 1988. The survey needs to be performed by a professional surveyor licensed to practice in the State of Florida.

Please provide a written response to all comments

APR 20 2017

Rod Reed, County Surveyor
St. Lucie County, Fl.
2300 Virginia Avenue
Ft. Pierce, Fl. 34982-5652
www.stlucieco.org
Ph. (772) 462-1721
E-mail reedr@stlucieco.org



TECHNICAL REVIEW COMMITTEE (TRC) COMMENTS FORM

FROM : Paul Thomas, CBO, CFM, Interim Building Official

RE : Pandya Residence – 1717 Bayshore Dr.

DATE : 4.19.17

The proposed may trigger the following requirements:

1. May be subject to flood requirements.

APR 19 2017

PT/km