

CITY PLANNING BOARD

BOARD AGENDA

Planning Board Regular Meeting - Tuesday, November 14, 2017 - 6:00 p.m.
City Hall - City Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **CONSIDERATION OF ABSENCES**
5. **CERTIFICATION OF ALTERNATE MEMBER VOTING STATUS/EXCUSE NON VOTING ALTERNATE**
6. **APPROVAL OF MINUTES**
 - a. Minutes from the September 28, 2017 Special Planning Board meeting
 - b. Minutes from the October 10, 2017 meeting
7. **NEW BUSINESS**
 - a. Hearing of the Local Planning Agency
Comprehensive Plan Amendment to Future Land Use Map - Jenkins Road KOA
- North West Corner of Jenkins Road & Edwards Road
 - b. Waiver of Distance - Pelican Seafood Restaurant - 733 North US Highway 1
8. **ETHICS TRAINING FOR PUBLIC OFFICERS**
9. **BOARD COMMENTS**
10. **ADJOURNMENT**

Any person seeking to appeal any decision by the Planning Board with respect to any matter considered at this meeting is advised that a record of proceedings is required in any such appeal and that such person may need to insure that a verbatim record of the proceedings is made including the testimony and evidence upon which the appeal is to be based.

Persons who require special accommodations under the Americans with Disabilities Act (ADA) should contact (772) 467-3729, at least five (5) days prior to the meeting. Persons who are hearing or speech impaired may use the Florida Relay System by dialing 711.

Planning Board

6.a.

Meeting Date: 11/14/2017

Information

REQUESTED ACTION

Minutes from the September 28, 2017 Special Planning Board meeting

LOCATION

RESPONSIBLE STAFF

RECOMMENDATION

Attachments

PB Minutes Special Meeting 9.28.17

Form Review

Form Started By: Alicia Rosenthal

Started On: 10/17/2017 11:54 AM

Final Approval Date: 10/17/2017

DRAFT



CITY OF FORT PIERCE PLANNING BOARD

Planning Board Minutes

OF THE SPECIAL MEETING OF THE FORT PIERCE CITY PLANNING BOARD HELD ON THURSDAY, **SEPTEMBER 28, 2017**, IN FORT PIERCE CITY HALL, COMMISSION CHAMBERS, 100 NORTH US HIGHWAY 1, FORT PIERCE, FLORIDA.

1. **CALL TO ORDER**

2. **PLEDGE OF ALLEGIANCE**

3. **ROLL CALL**

Present: **Marcia Baker; Brian Paul; John George; Frank Creyaufmiller; Bob Burdge; Michael Broderick**

Absent: **Caroline Sessions; Tim O'Connell**

Staff Present: Rebecca Grohall, Planning Director
Kori Benton, Senior Planner
Vennis Gilmore, Planning Analyst
Brandon Creagan, Planner
Alicia Rosenthal, Executive Assistant

4. **CONSIDERATION OF ABSENCES**

Ms. Sessions and Mr. O'Connell called in with reasonable excuses for not attending.

Motion was made by John George, and seconded by Michael Broderick to approve the absences of Ms. Sessions and Mr. O'Connell.

AYE: Brian Paul, John George, Frank Creyaufmiller, Bob Burdge, Michael Broderick, Marcia Baker

Passed

5. **CERTIFICATION OF ALTERNATE MEMBER VOTING STATUS/EXCUSE NON VOTING ALTERNATE**

Mr. Paul was made a regular voting member.

6. APPROVAL OF MINUTES

- a. Minutes from the August 8, 2017 meeting

Motion was made by John George, and seconded by Marcia Baker to approve the minutes from the August 8, 2017 meeting.

AYE: John George, Frank Creyaufmiller, Bob Burdge, Michael Broderick, Marcia Baker, Brian Paul

Passed

7. NEW BUSINESS

- a. **Voluntary Annexation - Celebration Pointe - 5501 Peterson Road**

Mr. Creagan gave an overview of the project and answered questions from the Board regarding flooding and the annexation process. Mr. George stated he knows the owner of Celebration Pointe and they have talked but he has no financial interest in the project. No one spoke for or against the project.

Motion was made by John George, and seconded by Marcia Baker to forward a recommendation of approval to the City Commission.

AYE: Frank Creyaufmiller, Bob Burdge, Michael Broderick, Marcia Baker, Brian Paul, John George

Passed

- b. **HEARING OF THE LOCAL PLANNING AGENCY
Zoning Atlas Amendment, Future Land Use Amendment - Dogs & Cats Forever - 4600 Selvitz Road**

NEW BUSINESS

Planned Development - Dogs & Cats Forever - 4600 Selvitz Road

Mr. Burdge asked Ms. Grohall to explain the duties and responsibilities for the Local Planning Agency.

Mr. Gilmore gave an overview of the application and answered questions from the Board.

Ms. Grohall answered questions from the Board regarding the scriveners error, zoning, maximum wall height, noise ordinances, code compliance issues, adjacent zoning and Institutional Future Land Use.

The Board discussed coordinating a meeting with the Devine Road residences and the applicant to work out noise issues prior to the City Commission meeting.

Richard Laventure, Applicant Representative from Atlantic Civil Engineering, provided additional information and answered questions from the Board on landscape buffers and sound deadening. Michael Jacquin, General Contractor, provided additional information on the facility, vegetation and funding.

Harold Johns, Don Schooley, Michelle Calandro and Linda Johns, neighbors of Dogs and Cats Forever, spoke against the additional noise that will be caused from the barking dogs.

Motion was made by Marcia Baker, and seconded by John George to approve the Future Land Use and Zoning Atlas Amendment.

AYE: Bob Burdge, Michael Broderick, Marcia Baker, Brian Paul, John George, Frank Creyaufmiller

Passed

Motion was made by Marcia Baker, and seconded by John George to approve the Planned Development with the understanding the applicant is going to work out the noise issues with the residences before the City Commission meeting.

AYE: Michael Broderick, Marcia Baker, Brian Paul, John George, Frank Creyaufmiller, Bob Burdge

Passed

c. Conditional Use - Mike's Arcade - 2732 S. US Highway 1

Mr. Benton gave an overview of the application. Mike Mirando, Owner, provided additional information and stated he was not aware of any new regulations. Hoyt Murphy spoke in favor of the application.

Motion was made by John George, and seconded by Marcia Baker to forward a recommendation of approval with the condition that the landscaping and lighting are completed prior to final inspection for Zoning approval.

AYE: Michael Broderick, Marcia Baker, Brian Paul, John George, Frank Creyaufmiller, Bob Burdge

Passed

d. Site Plan & Design Review - Tropic Supply - 903 S. Market Avenue

Mr. Benton gave an overview of the application and answered questions from the Board regarding the construction of the addition.

Mr. Broderick commented that the addition is a welcomed addition.

Charles Delvecchio, Owner of Tropic Supply, provided additional information and spoke highly of the city and the Planning Department.

Motion was made by John George, and seconded by Marcia Baker to forward a recommendation of approval of the requests as presented.

AYE: Brian Paul, John George, Frank Creyaufmiller, Bob Burdge, Michael Broderick, Marcia Baker

Passed

e. Waiver of Distance - The Twisted Tiki formerly The Backyard Pub - 658 N. 2nd Street

Mr. Creagan gave an overview of the application and answered questions from the Board regarding parking and joint use of the property. Mr. Creagan stated the name of business has been changed to The Twisted Tiki.

Kevin and Connie Degolier, Owners, provided additional information and answered questions

from the Board.

Motion was made by John George, and seconded by Michael Broderick to forward a recommendation to the City Commission for approval of the requested Waiver of Distance for a 4COP Alcoholic Beverage License for the proposed establishment with the following conditions:

- 1. A Crime Prevention Through Environment Design (CPTED) survey must be conducted by the City of Fort Pierce Police Department before the grand opening of the establishment.**
- 2. Before the grand opening, the site must be in compliance with City Code 22-187, General Landscaping Requirements. This would include a 10 foot landscape strip between streets right-of-way and the vehicular use area.**
- 3. A copy of the Shared Parking Agreement between Captain's Galley & The Backyard Pub should be provided to the City Planning & Engineering Departments. This must be provided when the applicant applies for a business tax license.**
- 4. The two concrete driveway aprons constructed as part of the North 2nd Street Roadway project shall extend 10' into the property to aid in the reduction of sediment tracking into the right-of-way of Indian River Drive and North 2nd Street. This must be constructed by the owner/applicant prior to the grand opening.**
- 5. Provide stop signs and stop bars at the North Indian River Drive and North 2nd Street driveways prior to the grand opening.**

AYE: Marcia Baker, Brian Paul, John George, Frank Creyaufmiller, Bob Burdge, Michael Broderick

Passed

9. ELECTION OF CHAIR AND VICE-CHAIR

Mr. Burdge stated the secretary position was not listed. Ms. Grohall explained the secretary's role is fulfilled by a paid staff member. Ms. Grohall went on to say that the rules and regulations were stricken by the City Commission so new standards of operation for the Board will be drafted. Mr. Burdge said the code states the Board has to elect a secretary but the secretary does not have to be a Board Member. Ms. Grohall stated the Board can abstain from voting for a secretary until the city attorney can weigh in on the matter.

Motion was made by Marcia Baker, and seconded by John George to nominate Bob Burdge as Chair.

AYE: Brian Paul, John George, Frank Creyaufmiller, Bob Burdge, Michael Broderick, Marcia Baker

Passed

Motion was made by Frank Creyaufmiller, and seconded by John George to nominate Frank Creyaufmiller as Vice-Chair.

AYE: John George, Frank Creyaufmiller, Bob Burdge, Michael Broderick, Marcia Baker, Brian Paul

Passed

Mr. Burdge handed out new procedures for the Board to discuss since the City Commission did away with the Planning Board rules. Mr. Burdge stated if the procedures are adopted, Ms. Rosenthal could become secretary of the Board and she would be a non-voting member and custodian of the Board records.

Mr. Broderick expressed he would like the city attorney's input on the new Board procedures and a staff member being appointed secretary to the Board as a non-voting member.

Mr. Creyaufmiller asked for clarification on what the City Commission said regarding the reconfiguration of the Planning Board and allowing Planning Department staff to be actively involved in helping to assemble rules and administrate the Board when needed.

Ms. Grohall stated one of the goals of the City Attorney was to return the Planning Director back into being the key contact for the Planning Board. She stated the secretarial position can be a simple code proposal that would remove the secretary from the Planning Board discussion. Ms. Grohall stated she is uncomfortable without the city attorney reviewing the Board procedures.

Board discussion ensued.

Motion was made by Marcia Baker, and seconded by John George to approve the new Planning Board procedures and appoint Ms. Rosenthal as secretary.

AYE: **John George, Bob Burdge, Marcia Baker, Brian Paul**

NAY: **Frank Creyaufmiller, Michael Broderick**

Passed

10. BOARD COMMENTS

11. ADJOURNMENT

Planning Board

6.b.

Meeting Date: 11/14/2017

Information

REQUESTED ACTION

Minutes from the October 10, 2017 meeting

LOCATION

RESPONSIBLE STAFF

RECOMMENDATION

Attachments

Planning Board Meeting Minutes 10/10/17

Form Review

Form Started By: Alicia Rosenthal

Started On: 10/27/2017 08:41 AM

Final Approval Date: 10/30/2017

DRAFT



CITY OF FORT PIERCE PLANNING BOARD

Planning Board Minutes

OF THE REGULAR MEETING OF THE FORT PIERCE CITY PLANNING BOARD HELD ON TUESDAY, **OCTOBER 10, 2017** IN FORT PIERCE CITY HALL, COMMISSION CHAMBERS, 100 NORTH US HIGHWAY 1, FORT PIERCE, FLORIDA.

1. **CALL TO ORDER**

2. **PLEDGE OF ALLEGIANCE**

3. **ROLL CALL**

Present: **Frank Creyaufmiller; John George; Marcia Baker; Brian Paul; Bob Burdge, Chairman**

Absent: **Tim O'Connell; Michael Broderick**

Staff Present: Rebecca Grohall, Planning Director
Kori Benton, Senior Planner
Vennis Gilmore, Planning Analyst
Brandon Creagan, Planner
Alicia Rosenthal, Executive Assistant

4. **CONSIDERATION OF ABSENCES**

Motion was made by John George, and seconded by Marcia Baker to approve the absences of Mr. O'Connell and Mr. Broderick.

AYE: John George, Marcia Baker, Brian Paul, Frank Creyaufmiller, Chairman Bob Burdge

Passed

5. **CERTIFICATION OF ALTERNATE MEMBER VOTING STATUS/EXCUSE NON VOTING ALTERNATE**

Mr. Paul was made a regular voting member for the meeting.

6. **APPROVAL OF MINUTES**

- a. Minutes from the September 28, 2017 meeting

Approval of minutes deferred to next Planning Board meeting.

7. NEW BUSINESS

- a. **Zoning Text Amendment - Designation of Overlay Districts South Beach Overlay - 601 Seaway Drive**

Mr. Benton gave an overview of the application and answered questions from the Board on the Waste Water Treatment Plant's relationship to the South Beach Overlay District, development plans and reuse of the property, continuity of the property, property meeting amendment standards, Comprehensive Plan review date, height consideration, size of the property versus Waste Water Treatment Plant, density of Harbour Isle, Conditional Use and mixed use buildings.

Ms. Baker disclosed she had met with the applicant. Chairman Burdge disclosed he had met with the applicant and also spoke to the applicant on a different date. Both Mr. George and Mr. Paul disclosed they had spoken with the applicant.

James H. McCarty Jr., Applicant Representative, disagreed with the conditions of the staff report and stated the Charrette findings were adopted but not put into place. Mr. McCarty also stated Ordinance 15-05, rezoning 601 Seaway Drive to C-5 Tourist Commercial, is ambiguous and according to the ordinance the South Beach Overlay was removed. Mr. McCarty stated the applicant wants the full C-5 zoning classification.

Harold Smythe, Owner Representative, stated the staff report was negative and the Charrette report documentation showed the property was never supposed to be in the South Beach Overlay district.

Ashton De Peyster, Owner, stated a company called Aqualia wants to buy the property along with the Waste Water Treatment Plant. Mr. De Peyster stated they can meet the three basic amendment standards. He stated his company is laying the ground work and making it attractive for a development partner. Mr. De Peyster answered questions from the Board on selling the property and developmental time due to environmental issues. Mr. De Peyster stated If you pass the text amendment, it will be one more thing a future developer will not have to do.

Carole Mushier, President of the South Beach Association, spoke against the text amendment. She stated she was at every single South Beach overlay meeting and the property was never considered not to be part of the overlay. Ms. Mushier went on to say that the Waste Water Treatment Plant property was never considered to be part of the overlay because the city did not own the property and it was a strange use to be putting in a overlay. Ms. Mushier expressed it was never mentioned at the meetings that the rezoning to C-5 from R-3 removed the property from the South Beach overlay. Ms. Mushier also stated at no time did the Charrette report suggest that greater height and density be considered for the subject property but does mention it in relation to potential resort hotels on the Wastewater Treatment Plant property. Ms. Mushier explained the Charrette report says that 2-3 story and an occasional 4 story multi-family residential and townhouses line the remainder of the streets on the subject property and that hotels in the Charrette report are not on the subject site only on the Wastewater Treatment Plant property.

Bob Benton, Former Mayor, spoke against the text amendment. He stated he initiated most of the Charrettes in the city from 1996 and the city needed the support of the South Beach Association to finalize a referendum that was passed in the 80's for 4 stories-45 feet high. Mr. Benton said it took many years and the South Beach Overlay to legislate it. Mr. Benton said

the reality of moving the Waste Water Treatment Plant is on the back of the tax payers and rate payers until development in the Western part of the county grows, and the city has a better relationship with the county to have a joint venture. When the overlay was created Mr. Benton said it was basically the will of the people. Mr. Benton said that Mr. DePeytser came to see him after the hurricanes in 2004 with plans to build a 17 story building and he wanted to get density rights from his riparian rights. Mr. Benton stated he told him you can put boats there but you cannot add people to raise your density and this is not allowed in the state of Florida.

Steve Jaroski, Resident and Board President of Harbour Isle West, spoke against the text amendment and answered questions from the Board. He said he came to Ft. Pierce to escape the growth that is occurring to the south and the atmosphere in Fort Pierce is very important to him. Mr. Jaroski stated there are over 800 units in Harbour Isle that pay taxes, which makes a big contribution to the city. Mr. Jaroski asked the Board to not change the character of the island by putting up large buildings.

Walter Anderson, Resident of Harbour Isle West, spoke against the text amendment. He stated the owner of Causeway Cove never said they were going to build a hotel on the subject site.

Ms. Baker stated she cherishes the relative quiet way of life and she does not like a congested and crowded atmosphere. Ms. Baker also said that it is dangerous to have the development of the type Mr. De Peyster is referring to, because hurricane evacuations would be a nightmare and consideration has to be given that there will be increased evacuations as years go on, between global warming, sea rises and increased hurricanes.

Motion was made by Marcia Baker, and seconded by Frank Creyaufmiller to deny the text amendment as presented

AYE: Frank Creyaufmiller, Marcia Baker

NAY: Brian Paul, John George, Bob Burdge

The motion failed to pass.

Chairman Burdge stated the text amendment would go to City Commission as a denial of the motion on the table. Ms. Grohall, stated she is not a attorney, but the motion to deny, failed to pass and an alternate motion is in order. Chairman Burdge said he will move the motion forward and let the City Commission decide.

Ms. Baker stated you need to have an alternate motion. Chairman Burdge said the motion was made and denied and it stands as it sits. Ms. Baker withdrew her motion. Mr. George stated as a point of order the Chair should ask for another motion to be made and if no one responds then the motion on the floor stands.

Ms. Grohall indicated that since the motion failed to pass, the Board can make an alternate motion.

Chairman Burdge passed the gavel.

Motion was made by Chairman Bob Burdge, and seconded by Brian Paul to approve the text amendment.

AYE: Brian Paul, John George, Marcia Baker, Chairman Bob Burdge

NAY: Frank Creyaufmiller

Passed

Chairman Burdge stated the first original motion was the motion that should have stood.

b. **Zoning Atlas Map Amendment - TLCD Properties LLC – 3530 S. US Highway 1**

Mr. Creagan gave an overview of the application.

Ian Osking, Applicant Representative, said the rezoning will make the property more marketable.

Motion was made by John George, and seconded by Marcia Baker to approve with staff recommendations.

AYE: Frank Creyaufmiller, John George, Marcia Baker, Brian Paul, Chairman Bob Burdge

Passed

c. **Conditional Use with No New Construction - Crownman FL LLC Residence - 515 S. Indian River Drive**

Mr. Gilmore gave an overview of the application and answered questions from the Board on where the manager will reside and if anyone is living in building two.

Kris Einstein, Applicant, provided additional information and answered questions from the Board regarding breakfast options.

Motion was made by John George, and seconded by Marcia Baker to approve with recommendations.

AYE: John George, Marcia Baker, Brian Paul, Frank Creyaufmiller, Chairman Bob Burdge

Passed

d. **Conditional Use with New Construction - Dockside View Marina - 1136-1172 Seaway Drive**

Mr. Benton gave an overview of the application and answered questions from the Board regarding the current status of the vacant lot being used for auxiliary parking.

Mr. Creyaufmiller disclosed he went on a site visit and had a discussion with the applicant.

Rob Schwerer, Applicant Representative stated he has no problems with staff's conditions. Mr. Schwerer explained this is phase one of a multi-phase project and the parking across the street is not essential to this project and is being looked at totally separate. Mr. Schwerer stated they have phase two plans, which is going to be a reconstruction of a hotel/motel facility in the center with underground parking and the parcels across will be adjoined.

Motion was made by Frank Creyaufmiller, and seconded by Marcia Baker to approve with staff recommendations.

AYE: Marcia Baker, Brian Paul, Frank Creyaufmiller, John George, Chairman Bob Burdge

Passed

e. **Conditional Use with No New Construction - Slimane Adult Congregate Living Facility (ACLF) - 614 N. 7th Street**

Mr. Benton gave an overview of the application and answered questions from the Board regarding the rationale and look of the crosswalk. Mr. Benton explained that staff is looking at providing safe access and tie into the existing sidewalk facilities provided within the city.

Mike Menard, Architectonic, provided additional information and answered questions from the Board. Mr. Menard stated he has no problems with the cross walk and they are creating more pedestrian space in the back with a landscape garden area for the residents.

Motion was made by John George, and seconded by Marcia Baker to approve with the following six recommendations.

- 1) The floor plan is adjusted or the two (2) eastern most bedrooms are eliminated to ensure the ACLK use does not occupy a portion of the building located within twenty (20) feet of the right-of-way as restricted by City Code Section 22-87;**
- 2) The site improvements include a safe and efficient sidewalk linkage shall be provided between building entrances and parking areas, and adjacent portions of the development, and adjacent rights-of-way, pursuant to City Code Section 22-62 (b) & (d)(2). This shall include at least one accessible route in accordance with the Florida Accessibility Code shall connect buildings to parking areas and adjacent rights-of-way;**
- 3) The applicant integrate designated outdoor space for occupants on-site;**
- 4) The applicant permits and completes a crosswalk at the 6th Street side of the establishment to provide safe pedestrian connectivity from the site to the adjacent McDonald's café and restaurant to the east;**
- 5) A signed and sealed survey is provided with any site work permits to complete the improvements proposed; and**
- 6) The applicant establishes a emergency management plan, consistent with Agency for Health Care Administration (AHCA) and Florida Department of Elder Affairs Rule 59AER17-1, to include protocols for the facility and patients which includes the acquisition and installation of a sufficient generator equipped to ensure ambient temperatures will be maintained at 80 degrees or less for a period of a minimum of ninety-six (96) hours in the event of the loss of electrical power, storage and safe maintenance of sufficient fuel to operate said generator(s) is provided, and a contract for services necessary to maintain and test the equipment and its functions to ensure the safe and sufficient operation of the generator system.**

AYE: Brian Paul, Frank Creyaufmiller, John George, Marcia Baker, Chairman Bob Burdge

Passed

f. **Site Plan & Design Review - Dollar Tree - 4008 Okeechobee Road**

Mr. Benton gave an overview of the application and answered questions from the Board regarding the positioning of the building and the landscape buffer.

Jason Gunther, Applicant Representative from Thomas Engineering, provided additional information on the site layout. Mr. Gunther said If the landscape buffer is going to be resolved by subdividing the property then his objections go away.

After the vote Chairman Burdge asked Mr. Gunther to ask the developer to maintain the landscaping due to landscape maintenance issues with other Dollar stores.

Motion was made by Frank Creyaufmiller, and seconded by Marcia Baker to approve the project with the conditions listed below:

- 1) The trees proposed within the eastern landscape buffer are installed within twelve (12) months of a Certificate of Occupancy (CO) issued for Dollar Tree or a final plat subdividing the property eliminating the tree requirement.**
- 2) The applicant incorporates an additional 2-4 trees, or appropriate landscaping in scale with the façade, to frame the western elevation in compliance with Chapter 22-59 – Design Review.**
- 3) The final ground sign design is in compliance with City Code Section 22-59 (g) signs.**
- 4) Future Development of the eastern parcel accommodates cross access to 3900 Okeechobee Road (Moonswiners BBQ).**

AYE: Frank Creyaufmiller, John George, Marcia Baker, Brian Paul, Chairman Bob Burdge

Passed

8. BOARD COMMENTS

Mr. George stated he believes in development and he does not want to stop development within Fort Pierce. He said he would like to see something on the 601 Seaway Drive property and keep the process moving.

Chairman Burdge agreed with getting something built on the property, moving it forward, working with staff on height concerns and making sure the applicant come backs to the Planning Board and City Commission so they can not automatically get super structures without anyone telling them they can't do it or under certain conditions.

Mr. George asked the status of the noise issue with Dogs and Cats Forever. Ms. Grohall provided an update explaining a successful meeting was held with the applicants and residences addressing the residences concerns.

Mr. George asked why the Board does not have an attorney. Ms. Grohall stated the attorney informed the City Commission that he would not be representing the Planning Board any longer.

Chairman Burdge asked the Board if they desire to have legal representation. The Board stated it would be helpful. Chairman Burdge said the Board could go for outside council but the city would have to determine where the funds would come from.

The Board discussed the voting motion process on the Zoning Text Amendment for 601 Seaway Drive.

Mr. George asked if the legal department said anything about the new Planning Board procedures. Ms. Grohall stated that the legal department has no reviewed the procedures. Mr. George stated he wants to keep a point of order.

9. ADJOURNMENT

Planning Board

7.a.

Meeting Date: 11/14/2017

Information

REQUESTED ACTION

Hearing of the Local Planning Agency
Comprehensive Plan Amendment to Future Land Use Map - Jenkins Road KOA - North
West Corner of Jenkins Road & Edwards Road

LOCATION

Medium Density Residential (RM) to Boundary Commercial (BC)

RESPONSIBLE STAFF

Kori Benton, Senior Planner

RECOMMENDATION

Approval

Attachments

Staff Report
Application - FLUMA
Aerial, Land Use, & Zoning Maps
Zoning & FLU Maps
Property Card, Survey & Legal Description
Environmental Assessment
Arterial Roads Map

Form Review

Form Started By: Kori Benton
Final Approval Date: 11/07/2017

Started On: 11/06/2017 06:02 PM



TO: Members of the City of Fort Pierce Planning Board

THROUGH: Rebecca Grohall, AICP, Planning Director

FROM: Kori Benton, Senior Planner

RE: **Jenkins Road KOA
 Comprehensive Plan Future Land Use Map Amendment
 NE Corner of Jenkins Road & Edwards Road**

DATE: November 7, 2017

STAFF REPORT

Owners: Ariel Homes of Treasure Coast
 4525 Prairie Ave
 Miami Beach, FL 33140

Applicant: S. R. Bacher Enterprises, LLC.
 1821 N US Highway 1
 Fort Pierce, FL 34946

Representative: Brian Nolan, AICP, ASLA
 Senior Project Manager, Lucido & Associates
 701 S.E. Ocean Blvd.
 Stuart, Florida 34994

Requested Action: Approval of a Future Land Use Map Amendment from Medium Density Residential (RM) to Boundary Commercial (BC)

Location: Generally located at the northeast corner of Jenkins Road & Edwards Road, or approximately 3180 South Jenkins Road.

Parcel IDs: 2430-212-0001-000-5

Current Future Land Use: Medium Density Residential (RM)

Proposed Future Land Use: Boundary Commercial (BC)

Surrounding FLU & Zoning:

North	East	South	West
RM/R-4 & RL/R-1	RL/R-1 & RU/RS-4	RM/R-4 & RL/R-1	GC/C-3 & RL/R-3

Parcel(s) Size: 56.035 acres

Utilities: Located within the FPUA Retail Service Area

Staff Analysis:

The applicant is requesting the approval of a Future Land Use Map Amendment, for 56.035 acres of property, from Medium Density Residential (RM) to Boundary Commercial (BC).

The subject site is located along the east side of Jenkins Road, immediately north of Edwards Road, and a half mile south of the Okeechobee Road commercial corridor. The site is currently undeveloped with a variety of native and invasive species throughout the property. The site is bordered to the immediate north by North St. Lucie River Water Control District Canal No. 39, to the east lie existing low density single-family residential homes; to the immediate west lies S. Jenkins Road followed by moderate density residential homes and vacant commercial land; and to the immediate south lies Edwards Road trailed by medium density residential uses and vacant land.

The request to amend the future land use designation is coupled with an application for a Planned Development, to amend the zoning designation of the subject property to PD, Planned Development along with a development plan for a KOA campground to accommodate recreational vehicles with improved vehicle stalls providing power, water and sewer hook-ups; semi-improved camp sites that will allow for tow-behind campers, tents and KOA-provided cabins, each with electrical hook-ups; outdoor storage area for boats, trailers and tow-behind campers along with a manager’s quarters. The Planned Development application is engaged with the Technical Review Committee, and will be forthcoming to the Planning Board.

The subject is currently zoned R4 – Medium Density Residential, with a Future Land Use of RM – Residential Medium. The proposed use is not consistent with the existing Zoning and Future Land Use, thus the Future Land Use Map Amendment is sought to amend the Future Land Use.

District Comparison

Table 1 demonstrates basic use standards for development capacity within the existing and proposed designations for the subject site.

Table 1: Existing and Proposed Site Data – Zoning & Land Use

	Existing	Proposed
Zoning	R-4	PD
Future Land Use (FLU)	RM	BC
Non-Residential Maximum Floor Area Ratio (FAR) Permitted	-	1.0
Maximum (Building) Lot Coverage Permitted	50%	Dependent upon PD Plan – <i>Not to exceed 80%</i>
Maximum Height	45 ft.	Dependent upon PD Plan

As demonstrated in Table 1, the maximum permitted non-residential floor area ratio (FAR) for the subject properties increases to allow an FAR of 1.0 under the proposed amendments. Additionally, the maximum permitted lot coverage (area covered by buildings) may increase, or decrease, dependent upon the development plan considered with the Planned Development request. The applicant’s initial development plan presented a building lot coverage of roughly 1%, with an overall impervious coverage of roughly 38%, below the maximum provided by the current, and proposed districts. The expanded development capacity pursued by the applicant is primarily the options for grocery stores, neighborhood commercial sales establishments, office uses, and potential for eateries.

Table 2 demonstrates use type and density information for the existing and proposed Future Land Use designations for the subject site.

Table 2: Existing and Proposed Site Data

	<u>Existing</u>	<u>Proposed</u>
Future Land Use (FLU)	Medium Density Residential (RM)	Boundary Commercial (BC)
Land Use Objective	The Medium Density Residential designation is intended for parcels that are best suited for multifamily residential uses ranging in density from 6.5 to 12 dwelling units per acre. This category allows small-lot single family units and multifamily dwellings including duplexes, condominiums and townhomes. Limited commercial uses intended to serve the residential uses shall be allowed. Compatible public, quasi-public, and special uses including parks, churches, non-profit clubs, schools and daycare facilities shall also be allowed.	The Boundary Commercial designation allows medium intensity commercial developments that are primarily intended to serve surrounding neighborhoods and residential areas. Uses allowed within this designation include general commercial, retail, offices, <i>tourist/entertainment facilities</i> , hotels/motels, <i>parks and recreation</i> , along with <i>compatible</i> public, quasi-public, and <i>special uses</i> . This land use designation allows a maximum FAR of 1.0.
Residential Density (maximum dwelling units per gross acre)	6.5 to 12 dwelling units/acre	N/A
Land Use Breakdown	Residential uses may comprise up to 100% of the total floor area.	N/A

Comprehensive Plan

The proposed amendment has been reviewed with regards to the established Goals, Objectives and Policies of the City’s Comprehensive Plan, with emphasis on potential impacts to the surrounding neighborhoods to the west, south, and east, as well as long range development of commercial centers to the west, north west, and north of the site, potential transportation impacts, and demand on infrastructure. The proposed future land use map amendment is generally consistent with the goals, objectives and policies of the Comprehensive Plan as it promotes the vision of a balance between commercial and residential land uses, providing capacity for Boundary Commercial uses that may service to surrounding neighborhoods or general commercial, retail, offices, tourist/entertainment facilities, hotels/motels, parks and recreation, along with compatible public, quasi-public, and special uses. The proposed land use is generally consistent with surrounding properties and uses in the vicinity, specifically to the north and north west.

Based

Demand Analysis of Public Facilities

The proposed amendment was reviewed for potential impacts to public facilities including, but not limited to, water and wastewater, parks and open space, schools, solid waste, and traffic. The findings presented are displayed in Table 3 below:

Potable Water:	<p>Demand Analysis</p> <p>Current Land Use 174,700 Total gallons per day Proposed Land Use 25,925 Total gallons per day Change in Demand - 148,775 Total gallons per day</p>															
Wastewater:	<p>Demand Analysis</p> <p>Current Land Use 174,700 Total gallons per day Proposed Land Use 32,147 Total gallons per day Change in Demand - 142,553 Total gallons per day</p>															
Parks and Recreation:	<p>Demand Analysis</p> <p>The proposed amendment presents a general reduction in the demand upon park inventory as the Boundary Commercial district does not provide residential density capacity, however it's anticipated that development of tourist facilities will provide impact to parks and recreation facilities, however development of on-site amenities and provision of tourist tax revenue may assist in offsetting said demand.</p>															
Public Schools:	<p>Demand Analysis</p> <table border="0" style="width: 100%;"> <tr> <td></td> <td style="text-align: right;"><i>K-8</i></td> <td style="text-align: right;"><i>High School</i></td> </tr> <tr> <td>Current Land Use – Maximum Enrollment Demand</td> <td style="text-align: right;">97</td> <td style="text-align: right;">42</td> </tr> <tr> <td>Proposed Land Use – Maximum Enrollment Demand</td> <td style="text-align: right;">0</td> <td style="text-align: right;">0</td> </tr> <tr> <td>Change in Demand</td> <td style="text-align: right;">- 97</td> <td style="text-align: right;">- 42</td> </tr> </table> <p>The Boundary Commercial district does not provide residential density capacity</p>		<i>K-8</i>	<i>High School</i>	Current Land Use – Maximum Enrollment Demand	97	42	Proposed Land Use – Maximum Enrollment Demand	0	0	Change in Demand	- 97	- 42			
	<i>K-8</i>	<i>High School</i>														
Current Land Use – Maximum Enrollment Demand	97	42														
Proposed Land Use – Maximum Enrollment Demand	0	0														
Change in Demand	- 97	- 42														
Solid Waste:	<p>Demand Analysis</p> <p>Current Land Use 90 yards Proposed Land Use 53 Change in Demand - 37 yards</p>															
Transportation Analysis:	<p>Impact Analysis</p> <table border="0" style="width: 100%;"> <tr> <td></td> <td style="text-align: center;">AADT</td> <td style="text-align: center;">AM/PM Peak Hour Trips</td> </tr> <tr> <td></td> <td style="text-align: center;">Maximum (ITE 221)</td> <td style="text-align: center;">Maximum</td> </tr> <tr> <td>Current Zoning/Land Use</td> <td style="text-align: center;">RM (3,379 aadt)</td> <td style="text-align: center;">RM (296 AM Peak)/(287 PM Peak)</td> </tr> <tr> <td>Proposed Zoning/ Land Use</td> <td style="text-align: center;">PD/BC (1,261 aadt)</td> <td style="text-align: center;">PD/BC (49 AM Peak)/(108 PM Peak)</td> </tr> <tr> <td>Change in Demand at Proposed Build-out</td> <td style="text-align: center;">- 2,118 37 Trips</td> <td style="text-align: center;">(-247 AM Peak)/(-179 PM Peak)</td> </tr> </table>		AADT	AM/PM Peak Hour Trips		Maximum (ITE 221)	Maximum	Current Zoning/Land Use	RM (3,379 aadt)	RM (296 AM Peak)/(287 PM Peak)	Proposed Zoning/ Land Use	PD/BC (1,261 aadt)	PD/BC (49 AM Peak)/(108 PM Peak)	Change in Demand at Proposed Build-out	- 2,118 37 Trips	(-247 AM Peak)/(-179 PM Peak)
	AADT	AM/PM Peak Hour Trips														
	Maximum (ITE 221)	Maximum														
Current Zoning/Land Use	RM (3,379 aadt)	RM (296 AM Peak)/(287 PM Peak)														
Proposed Zoning/ Land Use	PD/BC (1,261 aadt)	PD/BC (49 AM Peak)/(108 PM Peak)														
Change in Demand at Proposed Build-out	- 2,118 37 Trips	(-247 AM Peak)/(-179 PM Peak)														

The proposed amendment, coupled with the development scope of the filed development plan, will decrease potential impacts to all public facilities analyzed.

South Jenkins Roads and west Edwards Road are presently two lane, undivided roadways which operate at a Level of Service of C, with further expansion capacity. The intersection of Jenkins Road and Okeechobee Road recently underwent significant expansion as part of a Florida Department of Transportation (FDOT) and St. Lucie County

initiative to enhance this Strategic Intermodal System (SIS) corridor. Previously considered and approved residential developments along Edwards and Jenkins Road have expired, however may provide demand to revisit further expansion of capacity along these minor arterial roadways. The analysis of development and roadway conditions of the surrounding area, in relation to a future development plan will be evaluated pursuant to the City's concurrency requirements in coordination with St. Lucie County, as many of the adjoining roadways remain under their jurisdiction.

Future Land Use Element Goals, Objectives, & Policies

Goal 1:

The City of Fort Pierce shall regulate land uses to maintain and protect its traditional Florida small-town character by embracing its rich heritage, diverse cultural and community assets, and natural resources.

1.1 Objective:

The City shall adopt and implement the Future Land Use Map to designate future land uses that regulate uses, densities and intensities that enhance its neighborhoods and districts, *stimulate tourism* and the local economy, and are compatible with its small-town character.

1.3 Objective:

As development and redevelopment occur within the City, the City shall encourage the elimination or reduction of existing land uses inconsistent with the City's character and future land use.

1.3.1 Policy:

The City shall evaluate land use amendment applications and development proposals for compatibility with the Comprehensive Plan, the City's character, future land use designation, and the adjacent properties.

Analysis: The appropriate expansion of limited commercial, tourist related, and recreational uses along a minor arterial roadways, adjacent to a main arterial, furthers the development and redevelopment of commercial districts and surrounding neighborhoods by providing compatible opportunities to stimulate the local economy. The review of subsequent development applications pursuant to our established land development regulations and design review guidelines seek to ensure compatibility with our small-town character, and adjacent developments.

Transportation Element Goals, Objectives, & Policies

Goal 2:

The City shall provide a safe, convenient, effective, and energy efficient multimodal transportation system which is coordinated with the Future Land Use and provides mobility of people and goods.

2.2 Objective:

Maintain the adopted LOS standards for all City roadways. The City shall coordinate with St. Lucie County and the Florida Department of Transportation (FDOT) to maintain the adopted LOS standards on County and State roadways within the City.

2.2.7 Policy:

Proposed land use changes shall evaluate the net difference in traffic impacts between the current land use and the proposed land use. Any change in land use which exceeds the LOS standard for a roadway shall also be accompanied by a strategy to address the impact. The strategy may consist of a capacity or operational improvement or implementation of a mobility strategy. The LOS evaluation shall be completed using professionally accepted transportation engineering methodology including generalized roadway and detailed roadway analysis as needed.

2.3 Objective:

The City shall integrate the Future Land Use Map with the City's existing, programmed, and planned transportation system to maintain the adopted roadway LOS standards and support multimodal transportation to service the existing and projected population.

2.3.2 Policy:

Proposed Future Land Use Map amendments shall be supported by the Transportation Element. An evaluation of the net change in impacts to the roadways shall be determined. The proposed amendment shall maintain the adopted LOS standard. If the LOS standards are not maintained, the amendment shall be accompanied by strategies including capacity and operational improvements, and mobility strategies to achieve the adopted LOS standard.

2.3.3 Policy:

The City shall integrate transportation and land use to support multimodal transportation through site design and development standards that address building placement and orientation, pedestrian access, bicycle parking, and transit-oriented development principles.

Analysis: The proposed land use change has been evaluated for potential traffic impacts. The change in land use, with the associated development plan, does not present impacts to the LOS standard for Edwards Road, and seeks to integrate offsetting mitigation improvements to Jenkins Road via a planned deceleration lane for south bound traffic. The applicant shall maintain said strategy within the development plan to maintain the adopted LOS standard. The City's established design and development standards will further guide pedestrian access, bicycle parking, and transit-oriented development principles with the planned development within the subject site.

Standards for Review

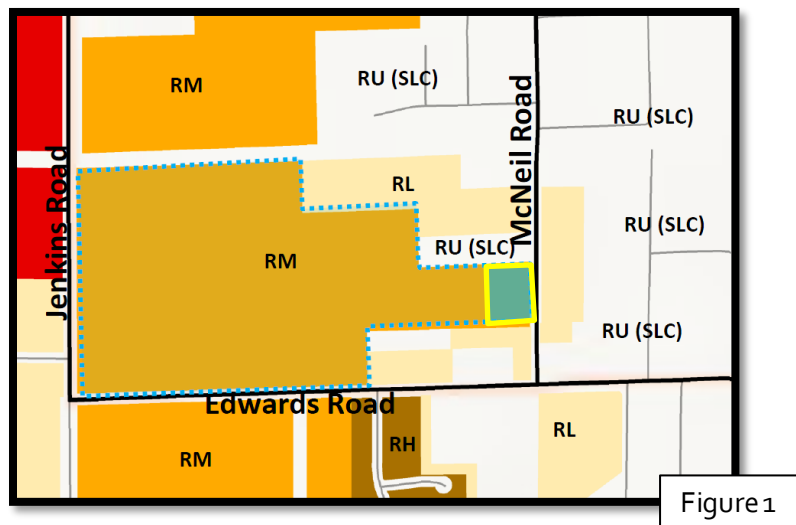
The following standards must be satisfied per Section 22-131 of the City Code prior to the approval of the requested amendment:

- (1) The amendment is consistent with the comprehensive plan;
- (2) The amendment will not have an adverse effect on the ability of the city to:
 - a. Satisfy land and water use needs; and
 - b. Meet transportation demands and provide community facilities and services; and
- (3) The amendment will promote and protect the public health, safety and general welfare.

The proposed amendment is generally consistent with the Goals, Objectives, and Policies of the City's Comprehensive Plan and is consistent with forthcoming request to amend the zoning designation of the site. Furthermore, the amendment should not have adverse an effect on the ability of the city to satisfy land and water use needs, meet transportation demands, and provide community facilities and services. The presented amendment promotes and protects the public health, safety and general welfare through the increased variety of tourist facility and the local economy, while limiting impacts to neighboring residential districts.

The proposed amendment does not incorporate provide a land use transition from the proposed commercial designation, desired along an arterial roadway such as Jenkins, to reduced development intensity towards established residential development, to the east. Based upon the forthcoming Planned Development, the applicant holds the capacity to allocate a 250 ft. section at the east of the property for retention of the Residential Medium to provide such a transition without conflicting with the development plan. Staff encourages the applicant and Planning Board to consider retention of a segment, at the far east end of the property, to provide an appropriate transition to better assimilate with established uses adjacent as

demonstrated in the filed development plan. Delineation of this consideration is provided via Figure 1, which identifies a potential transition point, based upon surrounding uses.



The land use amendment, whether adopted as presented or the recommended transition, should not have adverse an effect on the ability of the city to satisfy land and water use needs, meet transportation demands, and provide community facilities and services. This potential adjustment to the request, considers additional safe guards to mandate a transition to the adjacent uses and districts.

Technical Review Committee:

All affected departments have reviewed and approved the applications. No significant impacts to public facilities are immediately expected by the proposed amendment. Traffic impacts have been further assessed with the applicant's pending development application to determine any demand for transportation improvements to abutting roadways and intersections.

Staff Recommendation:

The proposed amendment meets the criteria specified in Section 22 -131 of the City Code and promotes and protects the public health, safety and general welfare; therefore Staff recommends that the Planning Board, acting as the Local Planning Agency, **approve** the proposed amendment.



Application for Future Land Use Map Amendment

Future Land Use Map Amendment – Large Scale (>10 acres)

Future Land Use Map Amendment – Small Scale (<10 acres)

In accordance with Chapter 163.3187, Florida Statutes, The City of Fort Pierce will consider applications for land use changes on parcels in excess of 10 acres (“Large Scale Amendments”) only twice each calendar year. The City Commission will consider applications for land use changes on parcels less than or equal to 10 acres with a maximum density of 10 units per acres or less at any time during the calendar year. You are encouraged to schedule a pre-application meeting with the planning staff and to submit your application up to three months in advance of the application deadline.

Application submission shall include the following:

● **TRC (*Initial Submission):** One (1) original and (8) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.

● **Planning Board:** One (1) original and (13) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.

● **City Commission:** One (1) original and (11) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.

In addition to a complete application, packets shall include:

- Warranty Deed & Legal Description
- St. Lucie County Property Record Card
- Statement of why there is a need for the proposed future land use map amendment and how the amendment will result in an orderly and logical development pattern; statements how amendment(s) are consistent with Comprehensive Plan; how future land use designation is compatible with future land use designations and existing land uses surrounding the amended lands; identify future land use designations and existing land uses within a ½ mile of the subject property that have the same or greater type of proposed future land use designation; data and analysis to support conclusions.
- Current Survey
- Environmental Study
- Traffic Impact Report
- *** Capacity Analysis-Separate Form
- Drainage Analysis
- Historical Report
- 1 CD of all documents submitted in PDF
- Other _____

1. Property Address/Location: _____
2. Property Tax ID(s): _____
3. Total Acreage: _____
4. Existing Future Land Use Designation: _____
5. Existing Zoning Classification: _____
6. Proposed Zoning Classification: _____
7. Other applications being submitted concurrent with this application, if any: _____

8. Describe the existing uses, improvements and structures on the amendment lands: _____

9. Are there any identified or possible historical structures on the amendment lands? _____
10. The reason for making this request: _____

11. Capacity Analysis:

I. Site Data:

	Existing Use	Future Land Use	Zoning
North			
South			
East			
West			

	Future Land Use	Zoning Classification	Maximum Intensity Residential: Dwelling Units per Acre Other: Square Footage	Total Acreage	Flood Zone
Current					
Proposed					N/A

II. Public Facilities Information:

A. Potable Water:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.125 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning	Total gallons per day
Proposed Zoning	Total gallons per day
Change in Demand	Total gallons per day

B. Wastewater:	
Average Use	Residential: 100 gallons per day per person (du x 2.6= persons x 100 gpd = demand) Other: 0.1 gallons per day per square foot
Demand Analysis	Maximum
Current Zoning	Total gallons per day
Proposed Zoning	Total gallons per day
Change in Demand	Total gallons per day

C. Parks and Recreation (Residential Classifications Only): (Du x 2.6 = persons + 44,227 = population /LOS)				
Park Type	LOS	Existing Population Park Demand	Proposed Population Park Demand	Change in Demand
Regional	20 acres per 1,000 people			
Urban District	5 acres per 1,000 people			
Community	2.5 acres per 1,000 people			
Neighborhood	1.36 acres per 1,000 people			

D. Public Schools (Residential Classifications Only): Single Family: (du x 0.405 = students/70% K-8/30% High) Multi-family: (du x 0.207 = students/70% K-8/30% High)		
	K-8	High
School Name		
City		
Distance		
Current Zoning Enrollment Demand		
Proposed Zoning Enrollment Demand		
Change in Demand		

E. Solid Waste: 2 yard serves 15 units, 4 yard serves 30 units, 6 yard serves 45 units, 8 yard serves 60 units	
Demand Analysis	Maximum
Current Zoning	
Proposed Zoning	
Change in Demand	

F. Stormwater: Potential increase in volume discharged due to increased impervious coverage, reduced groundwater seepage or loss of surface water storage impacting Adopted LOS of 25-year 3-day storm Pre vs. Post Runoff (Storm sewers to convey 5 year- 1 day storm event; Canals to convey 3 year – 1 day storm event)	
Impact	See attached documentation

G. Transportation Analysis: Most recent ITE Code for use; HCM Roadway Capacity		
	AADT	AM/PM Peak Hour Trips
Demand Analysis	Maximum	Maximum
Current Zoning	3,379	296 AM / 287 PM
Proposed Zoning	1,261	49 AM / 108 PM
Change in Demand	Trips - 2,118	Trips - 247 AM / -179
Impact to Capacity	See attached Transportation Impact Report and trip generation tables.	

12. Name of Owner(s): Ariel Homes of the Treasure Coast, LLC
 Mailing Address: 4525 Prairie Ave.
 City Miami Beach State FL Zip 33140
 Phone # _____
 E-mail: _____

13. Name of Applicant: S. R. Bacher Enterprises, LLC
 Mailing Address: 1821 N. US Hwy 1
 City Fort Pierce State FL Zip 34946
 Phone # _____ Fax # _____
 E-mail: bbacher83@gmail.com

14. Name of Representative: Brian Nolan, AICP, ASLA
 Mailing Address: 701 SE Ocean Blvd.
 City Stuart State FL Zip 34994
 Phone # 772.220.2100 Fax # 772.223.0220
 E-mail: bnolan@lucidodesign.com

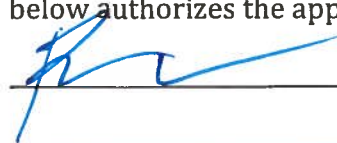
15. Applicant Acknowledgements (Owner’s signature must be notarized)

I certify that: (Check One)

I (we) do hereby certify that I (we) own in fee simple the above referenced described property for which a change in Zoning Classification is requested.

I (we) are not the owner of the above described property; however, the owners signature below authorizes the applicants the authority to act as agent for the owner(s) of record.

See attached Owner Authorization



Applicant's Signature

Date

1821 N. US Hwy. 1

Address

State FL

33140 Zip

bbacher83@gmail.com

Phone

Fax

E-mail Address

16. Property Owners Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application for a change in zoning classification. The property owner's signature(s) below shall also authorize the Applicant (if other than the property owner) and/or Agent to act in his/her behalf for the purposes of seeking this change to the City' Land Development Regulations for the property described herein.

Brian Bacher

Property Owner's Name (Please Print)

Phone

1821 N. US Hwy 1, Fort Pierce

FL

Address

State

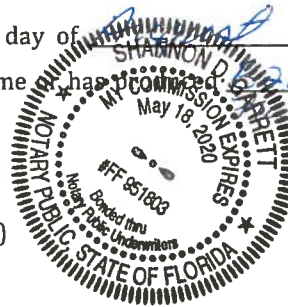
8/3/17 Zip

Property Owner's Signature

Date

STATE OF FLORIDA)
ST LUCIE COUNTY)

The foregoing instrument was acknowledged before me this 3 day of August, 2017, by Brian Bacher who is personally known to me as identification.



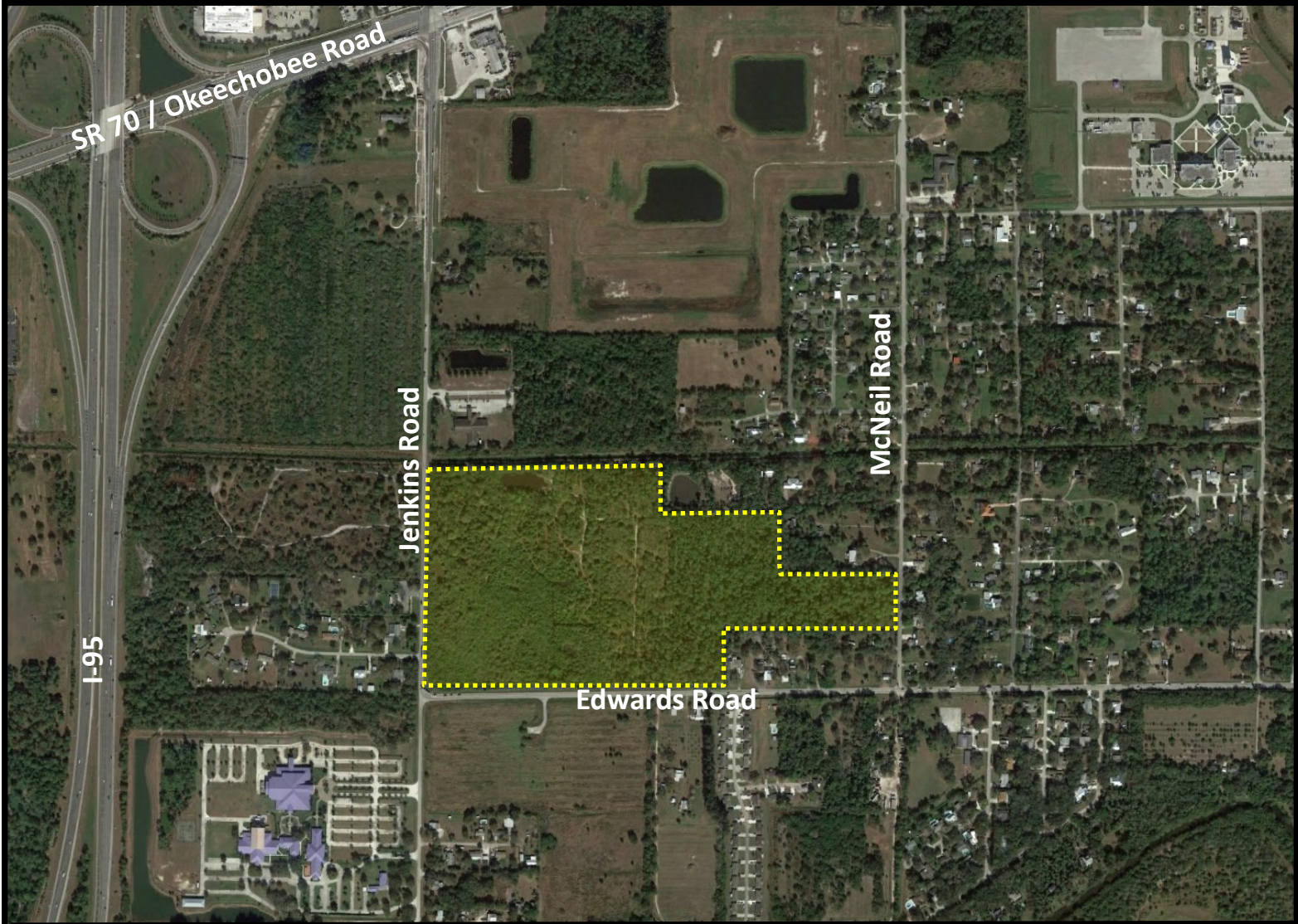
Shannon D. Ganett

Signature of Notary

(seal)

OFFICE USE:

DATE RECEIVED: _____ Signed: _____
File Number: _____ Check No: _____ Receipt No: _____
TRC Review: _____ Planning Board Review: _____ City Commission: _____
Ordinance No: _____ Date Approved: _____



SR 70 | Okeechobee Road

I-95

Jenkins Road

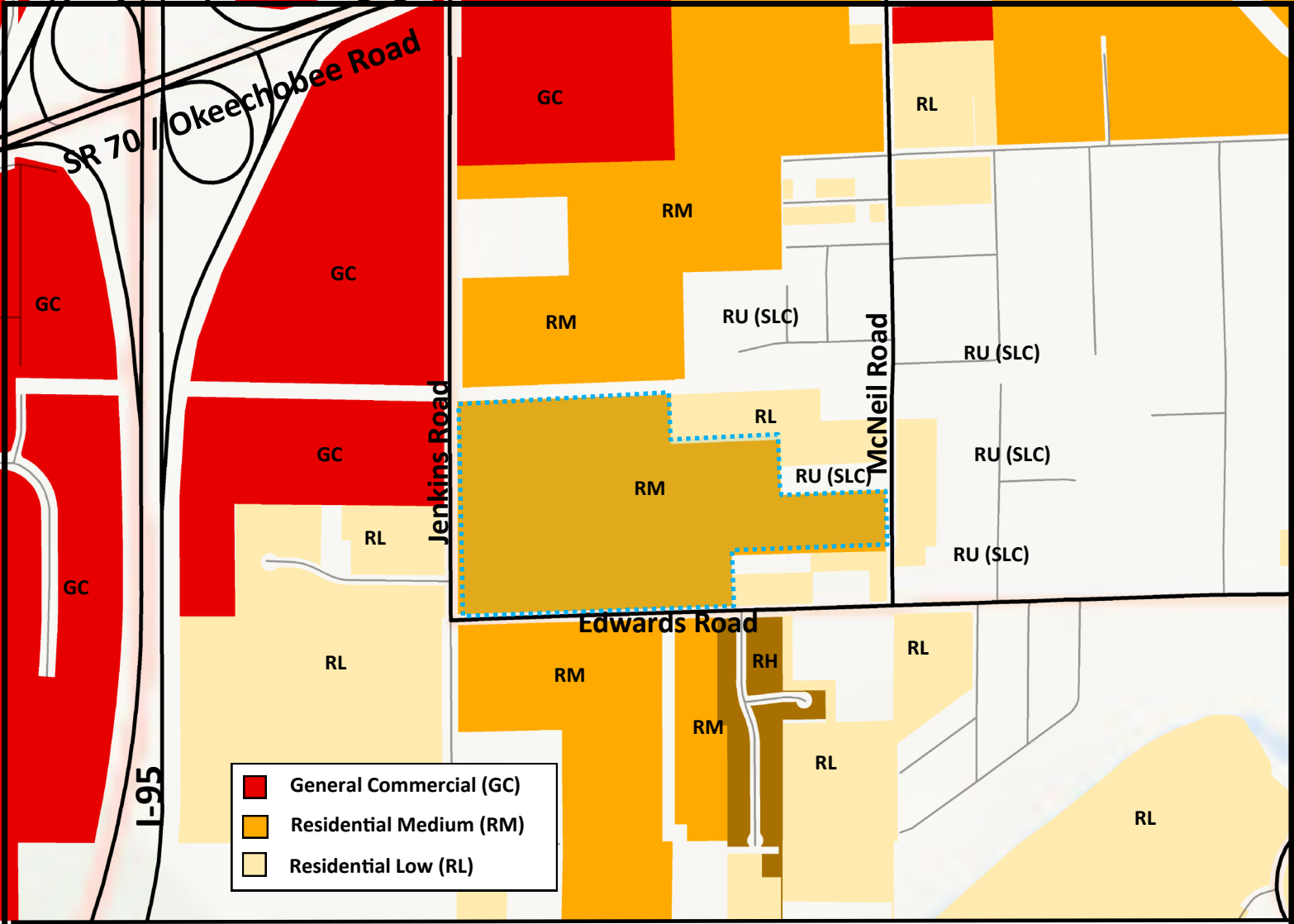
McNeil Road

Edwards Road

3180 South Jenkins Road

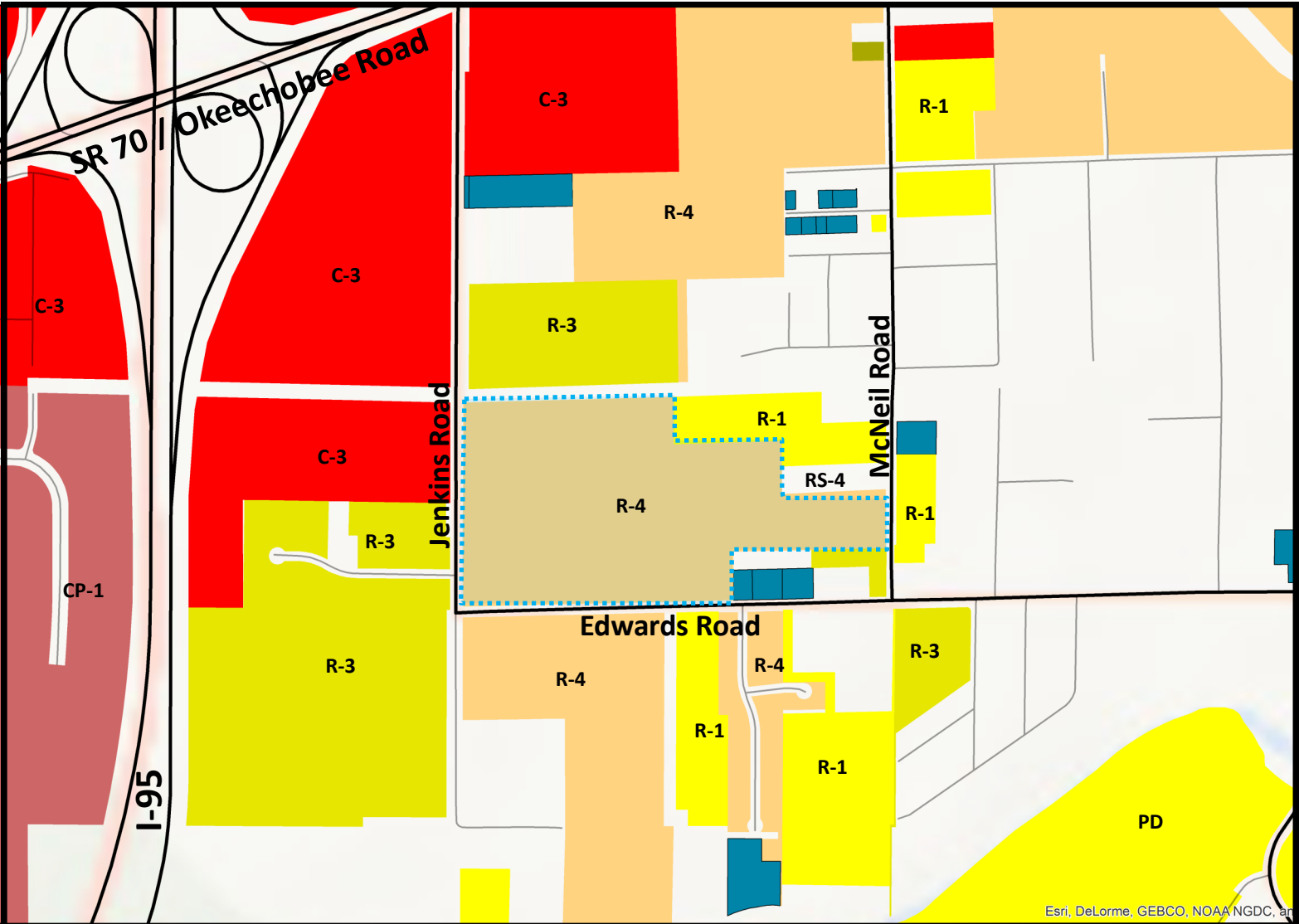
Aerial





3180 South Jenkins Road
 Future Land Use Map





Esri, DeLorme, GEBCO, NOAA NGDC, and



3180 South Jenkins Road

Zoning Map



Legend

 Petition Parcel

City Limits

 Fort Pierce

PUD

R4

R4

RS-3

R2

RM-9

RS-3

R4

White Way Dairy Road

ROW

R4

R4

C3

C3

RM-5

R4

R4

R4

C3

CN

C3

C3

Hartman Road

R4

C3

C3

C2


CN




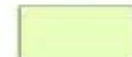


UD

ZONING DISTRICTS

SLC Zone

FTP Zone

-  CG
-  CN
-  CO
-  PUD
-  RM-5
-  RM-9
-  RS-3

-  C3
-  C2
-  PUD
-  R1
-  R2
-  R4

C3

CG

C3

CN

CG

CN

C2

C3CN

C3 C3

C3

CG

C3

CG

CO

CG

CO

C3

CO

C3

C3

ROW

C3

C3

C3

C3

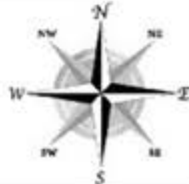
ROW

C3

Okeechobee Rd.

Hartman Road Properties

Zoning Map

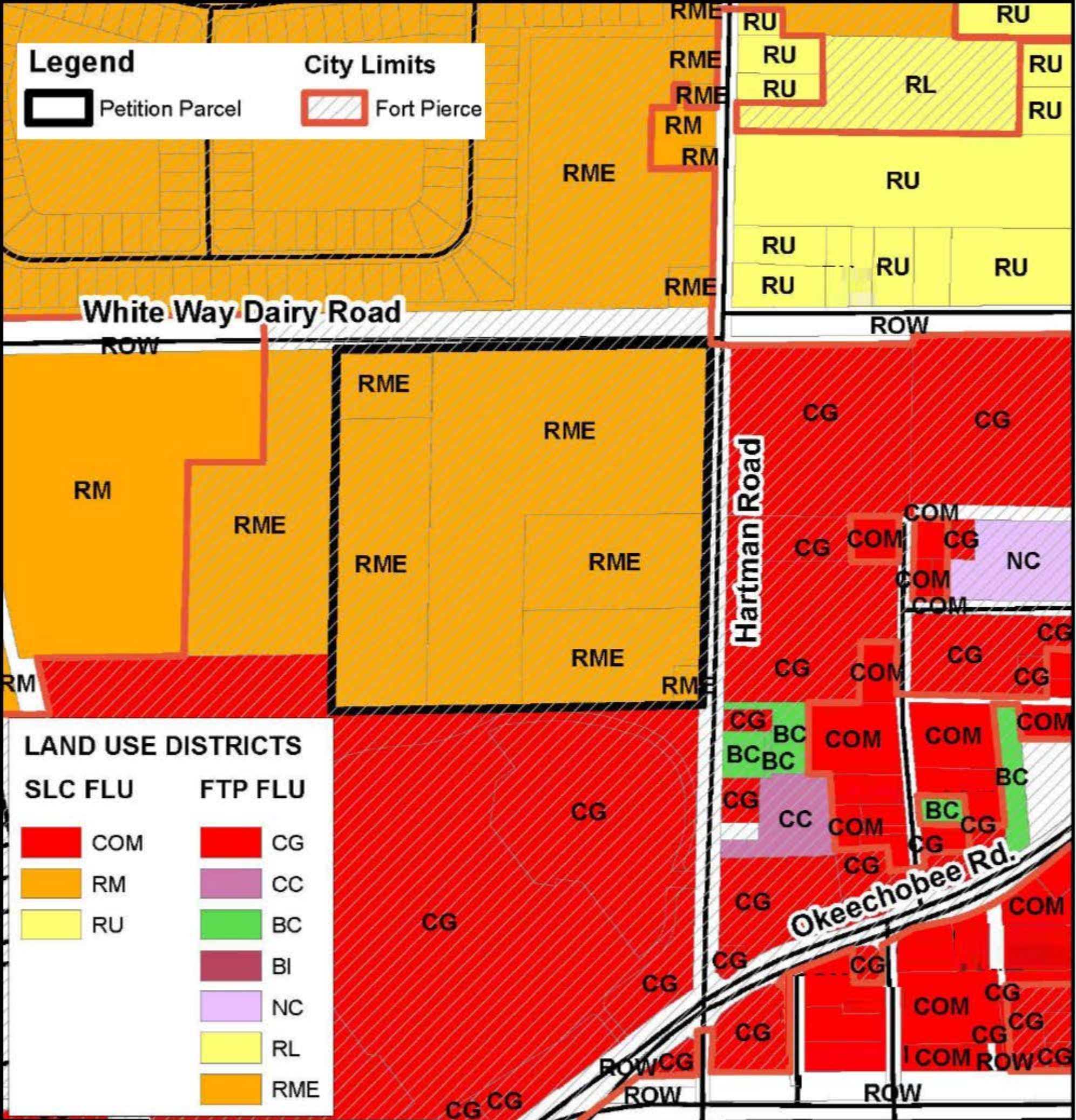


Legend

 Petition Parcel

City Limits

 Fort Pierce



LAND USE DISTRICTS

SLC FLU

-  COM
-  RM
-  RU

FTP FLU

-  CG
-  CC
-  BC
-  BI
-  NC
-  RL
-  RME

Hartman Road Properties

Future Land Use Map



Property Identification

Site Address: TBD
Map ID: 24/30N

Parcel ID: 2430-212-0001-000-5
Zoning: R4

Account #: 32783
Use Type: 6700

Sec/Town/Range: 30/35S/40E
Jurisdiction: Fort Pierce

Ownership

Ariel Homes of Treasure Coast
4525 Prairie Ave
Miami Beach, FL 33140

Legal Description

30 35 40 S 1/2 OF NW 1/4 OF NE 1/4 OF NW 1/4 AND N 1/2 OF S 1/2 OF NE 1/4 OF NW 1/4-LESS E 33 FT- AND SW 1/4 OF SW 1/4 OF NE 1/4 OF NW 1/4-LESS S 33 FT- AND NW 1/4 OF NW 1/4-LESS W 40 FT AND LESS S 33 FT- (34) (52.80 AC) (OR 1907-1999)

Current Values

Just/Market:	\$739,200	Assessed:	\$505,200
Exemptions:	\$0	Taxable:	\$505,200

Historical Values 3-year

Year	Just/Market	Assessed	Exemptions	Taxable
2016	\$739,200	\$505,200	\$0	\$505,200
2015	\$739,200	\$505,200	\$0	\$505,200
2014	\$1,108,800	\$1,108,800	\$0	\$1,108,800

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
02-20-2004	1907 / 1999	XX00	SP	Pechter,Jack	\$3,200,000
01-08-2004	1880 / 2602	XX00	WD	Twenty Six Associates LLC,	\$2,350,000
11-21-2003	1851 / 1059	XX00	WD	Hauck,Edmond J	\$1,125,000

Primary Building Information

Finished Area of this building: 0 SF
Gross Area of this building: 0 SF

View:
Year Built: N/A
Primary Wall:

Roof Cover:
Frame:
Story Height:

Exterior Data
Roof Structure:
Grade:
No. Units: 0

Building Type:
Effective Year: 2014
Secondary Wall:

Bedrooms: 0
Full Baths: 0
Half Baths: 0

A/C %: 0%
Heated %: N/A%
Sprinkled %: 0%

Interior Data
Electric:
Heat Type:
Heat Fuel:

Primary Int Wall:
Avg Hgt/Floor: 0
Primary Floors:



*Image
or
Sketch
unavailable
for display*

Total Areas

Finished/Under Air (SF):	0
Gross Area (SF):	0
Land Size (acres):	52.8
Land Size (SF):	2,299,968
Total Building Count:	1

Special Features and Yard Items

Type	Qty	Units	Year Blt
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This information is believed to be correct at this time but it is subject to change and is not warranted.
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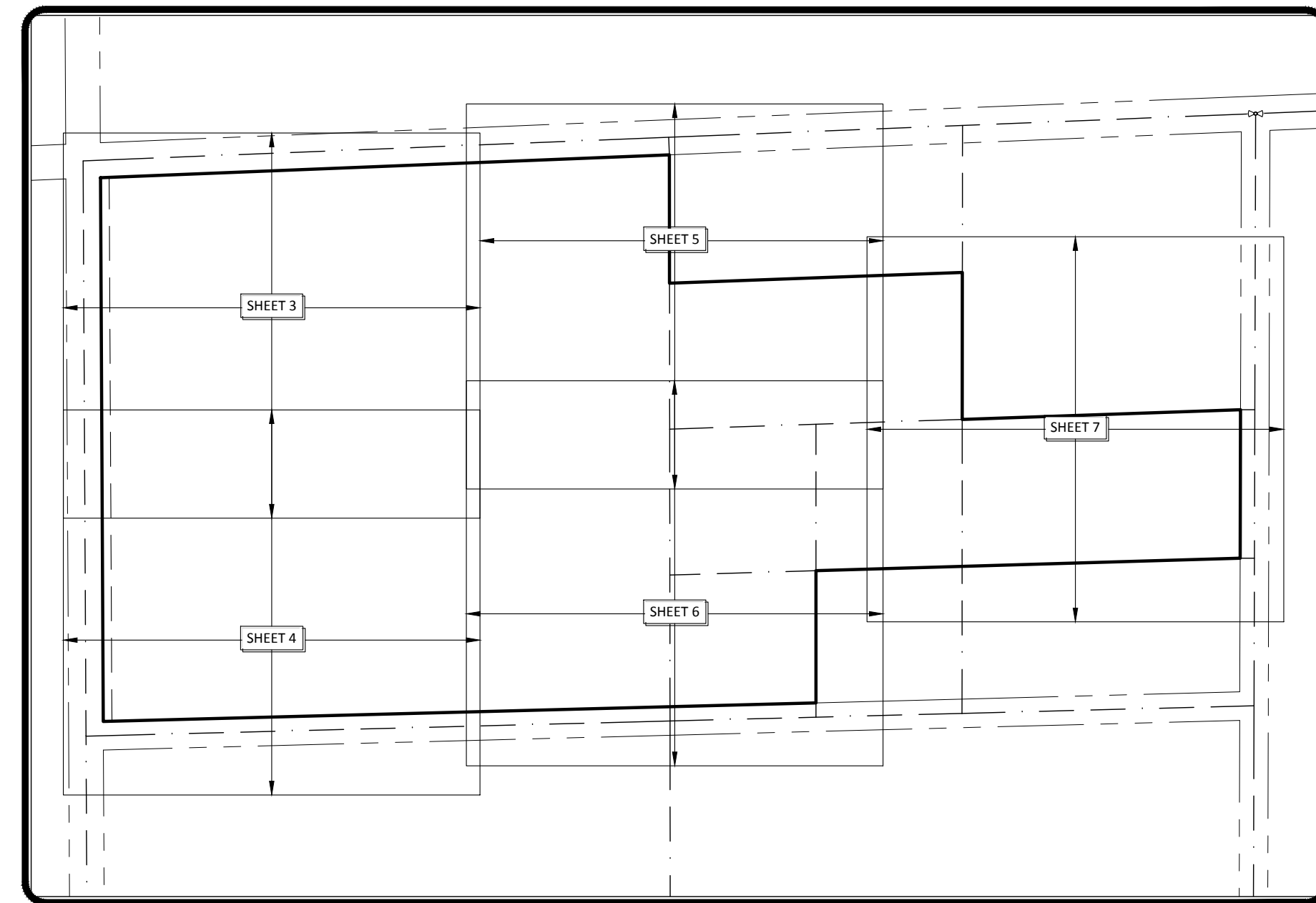
BOUNDARY, TOPOGRAPHIC & TREE SURVEY



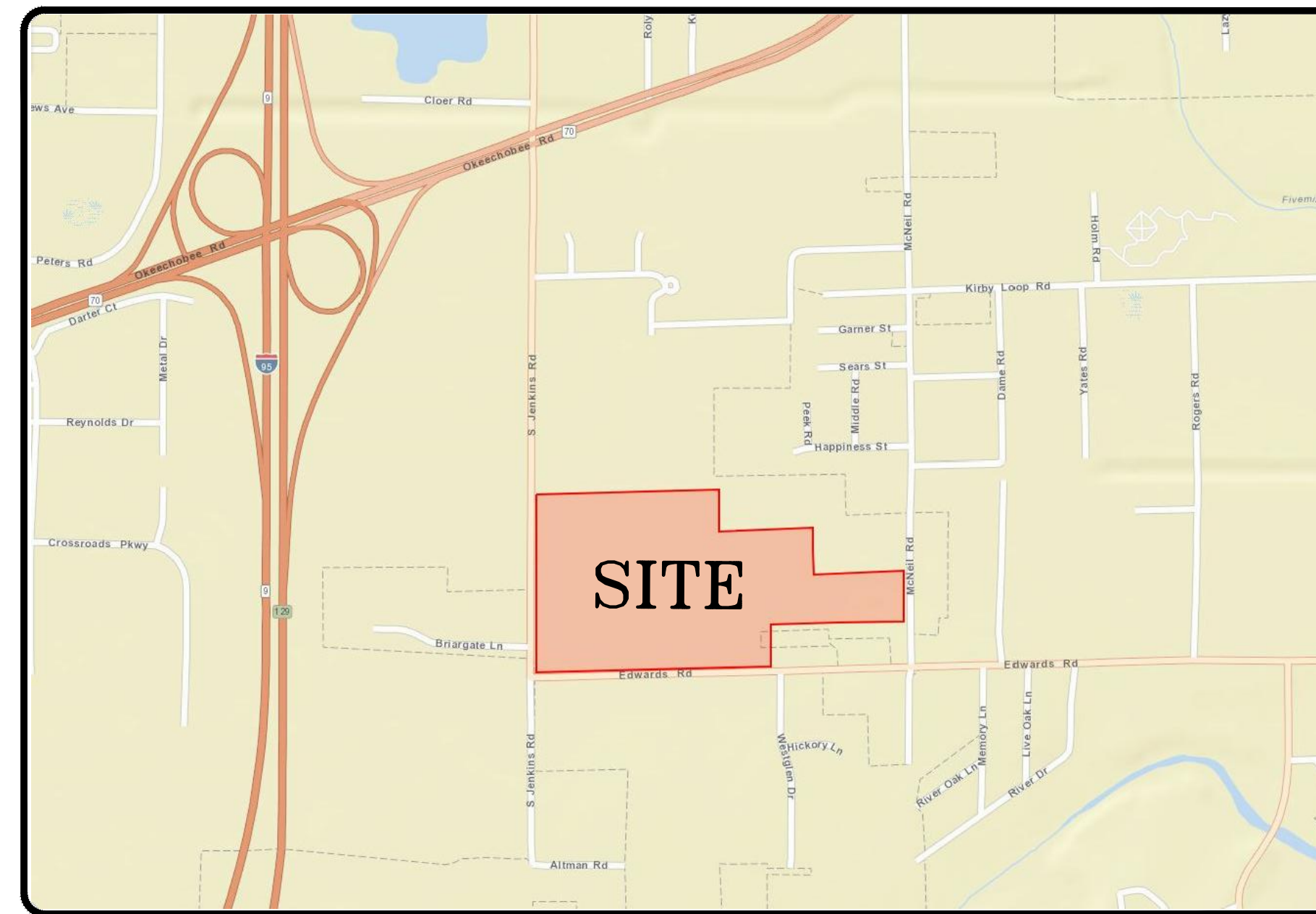
FOR
K.O.A. CAMPGROUNDS



In Section 30,
Township 35 South, Range 40 East
Saint Lucie County, Florida



KEY MAP
NO SCALE



ST. LUCIE COUNTY, FLORIDA
VICINITY MAP
NO SCALE

LEGEND

(P)	PLAT DATA	INFO.	INFORMATION
(C)	CALCULATED FROM FIELD MEASUREMENTS	TOB	TOP OF BANK
(D)	DEED OR DESCRIPTION	OHV	OVERHEAD UTILITY WIRES
(M)	MEASURED DIMENSION	SV	SANITARY VALVE
(R)	RECORD DATA	GV	GAS VALVE
P.O.C.	POINT OF COMMENCEMENT	WV	WATER VALVE
P.O.B.	POINT OF BEGINNING	DDCV	DOUBLE DETECTOR CHECK VALVE
LB	LICENSED BUSINESS	CMP	CORRUGATED METAL PIPE
PRM	PERMANENT REFERENCE MONUMENT	RCP	REINFORCED CONC PIPE
IRV	8" IRON ROD & CAP	IRR	IRRIGATION
CM	CONCRETE MONUMENT	YD	YARD DRAIN
CCR	CERTIFIED CORNER RECORD	WV	WATER VALVE
FO/ND	FOUND	SV	SANITARY VALVE
IR	IRON ROD	GV	GAS VALVE
MAG/D	MAG NAIL & DISC	WV	WATER VALVE
ID	IDENTIFICATION	WV	WATER VALVE
ORB	OFFICIAL RECORDS BOOK	WV	WATER VALVE
PL	PLAT BOOK	WV	WATER VALVE
PG	PAGE	WV	WATER VALVE
CA	CENTRAL ANGLE	WV	WATER VALVE
R	RADIUS	WV	WATER VALVE
L	ARC LENGTH	WV	WATER VALVE
CB	CATCH BASIN	WV	WATER VALVE
CD	CHORD DIMENSION	WV	WATER VALVE
CUP	CONC UTILITY POLE	WV	WATER VALVE
WUP	WOOD UTILITY POLE	WV	WATER VALVE
WLP	WOOD LIGHT POLE	WV	WATER VALVE
MLP	METAL LIGHT POLE	WV	WATER VALVE
TSB	TRAFFIC SIGNAL BOX	WV	WATER VALVE
PSP	PEDESTRIAN SIGNAL POLE	WV	WATER VALVE
LGE	UNDERGROUND ELECTRIC	WV	WATER VALVE
UG	UNDERGROUND	WV	WATER VALVE
R/W	RIGHT OF WAY	WV	WATER VALVE
A/C	AIR CONDITIONING	WV	WATER VALVE
CBS	CONCRETE BLOCK STRUCTURE	WV	WATER VALVE
WM	WATER METER	WV	WATER VALVE
WV	WATER VALVE	WV	WATER VALVE
SV	SEWER VALVE	WV	WATER VALVE
FM	FORCE MAIN	WV	WATER VALVE
U.E.	UTILITY EASEMENT	WV	WATER VALVE
P.U.E.	PRIVATE UTILITY EASEMENT	WV	WATER VALVE
P.G.E.	DRAINAGE EASEMENT	WV	WATER VALVE
D.E.	DRAINAGE EASEMENT	WV	WATER VALVE
P.D.E.	PRIVATE DRAINAGE EASEMENT	WV	WATER VALVE
L.S.E.	LANDSCAPE EASEMENT	WV	WATER VALVE
M.B.E.	MAINTENANCE BUFFER EASEMENT	WV	WATER VALVE
CL	CENTERLINE	WV	WATER VALVE
R	PROPERTY LINE	WV	WATER VALVE
B	BASILINE	WV	WATER VALVE
No.	NUMBER	WV	WATER VALVE
TYP	TYPICAL	WV	WATER VALVE
STA	STATION	WV	WATER VALVE
Q/S	OFF SET	WV	WATER VALVE
NAVD	NORTH AMERICAN VERTICAL DATUM	WV	WATER VALVE
NGVD	NATIONAL GEODETIC VERTICAL DATUM	WV	WATER VALVE
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION	WV	WATER VALVE
FPL	FLORIDA POWER & LIGHT	WV	WATER VALVE
CCR	CERTIFIED CORNER REPORT	WV	WATER VALVE
MM	MAINTENANCE MAP	WV	WATER VALVE
T.B.M.	TEMPORARY BENCH MARK	WV	WATER VALVE
PHI	PARCEL IDENTIFICATION NUMBER	WV	WATER VALVE
N.S.L.R.W.C.D.	NORTH ST. LUCIE RIVER WATER CONTROL DISTRICT	WV	WATER VALVE
INV	INVERT	WV	WATER VALVE
MES	MITERED END SECTION	WV	WATER VALVE
HDWALL	HEAD WALL	WV	WATER VALVE
EL	ELEVATION	WV	WATER VALVE
CLF	CHAIN LINK FENCE	WV	WATER VALVE
CONC	CONCRETE	WV	WATER VALVE
UA	UTILITY ANCHOR	WV	WATER VALVE
CLP	CHAIN LINK FENCE	WV	WATER VALVE
S.F.	SQUARE	WV	WATER VALVE
FT	FEET	WV	WATER VALVE
SC	SECTION CORNER	WV	WATER VALVE
SC3	SECTION 1/4 CORNER	WV	WATER VALVE
PCP	PERMANENT CONTROL POINT	WV	WATER VALVE
OC	PROPERTY CORNER (AS DESCRIBED)	WV	WATER VALVE
P/K	PARKER KALON	WV	WATER VALVE

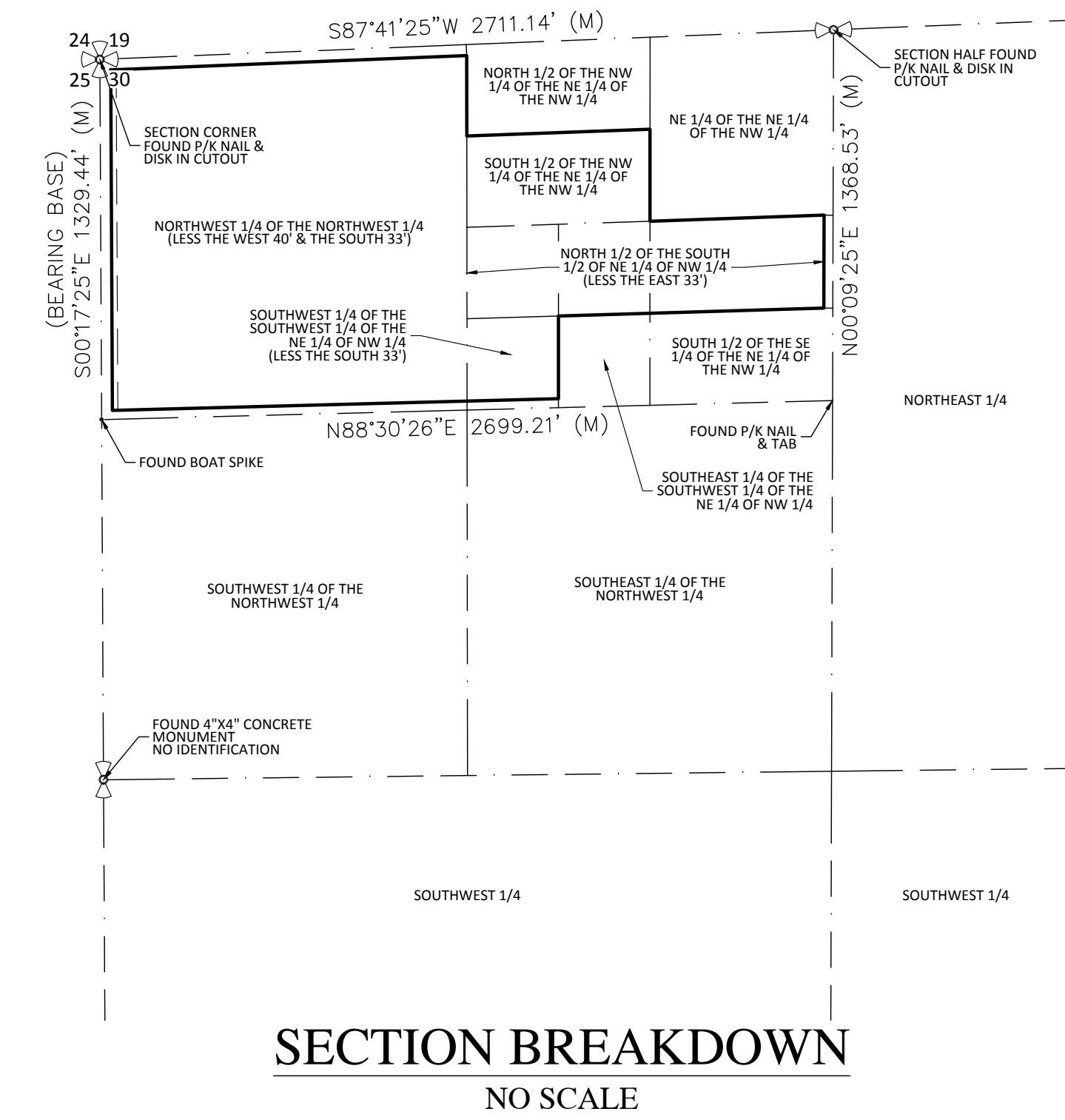


SHEET INDEX

- 1 Vicinity Map, Legal Descriptions, Notes, Key Map & Certification
- 2 Boundary Map
- 3-7 Tree & Topographic Map Sheets

DESCRIPTION (PER ORB 1907, PG. 1999)

THE SOUTH 1/2 OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 AND THE NORTH 1/2 OF THE SOUTH 1/2 OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4, LESS THE EAST 33 FEET THEREOF; AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, LESS THE EAST 33 FEET THEREOF; AND THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, LESS THE SOUTH 33 FEET THEREOF; AND THE NORTHWEST 1/4 OF THE NORTHWEST 1/4, LESS THE WEST 40 FEET THEREOF AND LESS THE SOUTH 33 FEET THEREOF; ALL IN SECTION 30, TOWNSHIP 35 SOUTH, RANGE 40 EAST, ST. LUCIE COUNTY, FLORIDA. CONTAINING 56.035 ACRES, MORE OR LESS.



SECTION BREAKDOWN
NO SCALE

SURVEYOR'S NOTES

1. THE LAST DATE OF FIELD WORK WAS AUGUST 18, 2017.
2. OVERALL TOTAL PARCELS CONTAIN 56.035 ACRES MORE OR LESS.
3. DESCRIPTION SHOWN HEREON PROVIDED BY THE CLIENT AND/OR THEIR AGENT.
4. THE HEREON DESCRIBED PROPERTY IS LOCATED WITHIN FLOOD HAZARD ZONE DESIGNATION "X" ACCORDING TO FLOOD INSURANCE RATE MAP NO. 12111C0167J, SAINT LUCIE COUNTY, FLORIDA, BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.), EFFECTIVE DATE FEBRUARY 16, 2012.
5. BOUNDARY DIMENSIONS SHOWN HEREON ARE BASED ON THE WEST SECTION LINE OF SECTION 30, HAVING A BEARING OF N001°7'25"W, BEARINGS THEREOF ARE NORTH AMERICAN DATUM OF 1983, FLORIDA STATE PLANE PROJECTION.
6. SUBSURFACE UTILITIES, FOUNDATIONS AND OTHER IMPROVEMENTS WERE NOT LOCATED AS PART OF THIS SURVEY.
7. IN SOME INSTANCES, GRAPHIC REPRESENTATIONS AND SYMBOLS SHOWN HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE RELATIONSHIP BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. THE DIMENSIONS SHOWN SHALL CONTROL THE LOCATION, OF THE IMPROVEMENTS, OVER THE SCALED POSITIONS.
8. THE OWNERSHIP OF PERIMETER FENCES, WALLS, HEDGES AND LANDSCAPING SHOWN HEREON ARE NOT KNOWN AND ARE NOT LISTED AS ENCROACHMENTS. THEIR RELATIVE LOCATION IS SHOWN IN RELATION TO THE BOUNDARY LINES SHOWN. SECTION LINES AND MONUMENTATION SHOWN HEREON AND USED TO DETERMINE PROPERTY BOUNDARIES ARE BASED ON PREVIOUS SURVEYS AND HISTORICAL SECTIONAL INFORMATION. SOME MONUMENTATION MAY HAVE BEEN DESTROYED, SINCE THE ORIGINAL DELINEATION OR RESOLUTION, OF THE SECTIONAL SURVEY.
9. AERIAL IMAGES, IF SHOWN WERE TAKEN FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION WEB SITE, CURRENT FLIGHT YEAR 2016 AT THE TIME OF SURVEY.
10. THE SURVEY MAP SHOWN HEREON DOES NOT NECESSARILY CONTAIN ALL OF THE INFORMATION OBTAINED OR DEVELOPED BY THE UNDERSIGNED SURVEYOR IN HIS FIELD WORK, OFFICE WORK OR RESEARCH.
11. REVISIONS SHOWN HEREON DO NOT REPRESENT A "FIELD SURVEY UPDATE" UNLESS OTHERWISE NOTED.
12. REPRODUCTIONS OF THIS MAP ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. THIS SURVEY CANNOT BE TRANSFERRED OR ASSIGNED WITHOUT THE SPECIFIC WRITTEN PERMISSION OF ENGINEERING, DESIGN AND CONSTRUCTION, INC. IT IS A VIOLATION OF CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, TO ALTER THIS SURVEY WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR. ADDITIONS AND/OR DELETIONS MADE TO THE FACE OF THIS SURVEY WILL MAKE THIS SURVEY INVALID.
13. THE TREES SHOWN HEREON ARE NATIVE HARDWOOD SPECIES WITH A 14" DIAMETER OR LARGER AS WELL AS PALM SPECIES WITH A 10' OR GREATER TRUNK CLEARANCE.
14. ALL TREES WERE LOCATED UTILIZING GPS OBSERVATIONS UNDER HEAVY VEGETATIVE CANOPY. DUE TO SITE CONDITIONS, A MINIMAL MARGIN OF ERROR SHOULD BE EXPECTED.
15. THE DESCRIBED PROPERTY IS SUBJECT TO THE MATTERS OF RECORD AS SHOWN IN THE TITLE COMMITMENT SCHEDULE, PROVIDED TO THE SURVEYOR BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER 103579-40, HAVING AN EFFECTIVE DATE OF APRIL 24, 2017. THIS SURVEY OFFICE HAS NOT MADE A SEARCH OF THE PUBLIC RECORDS.

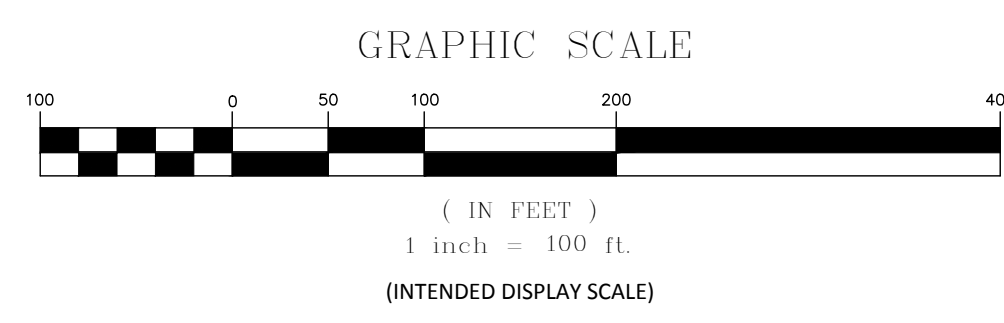
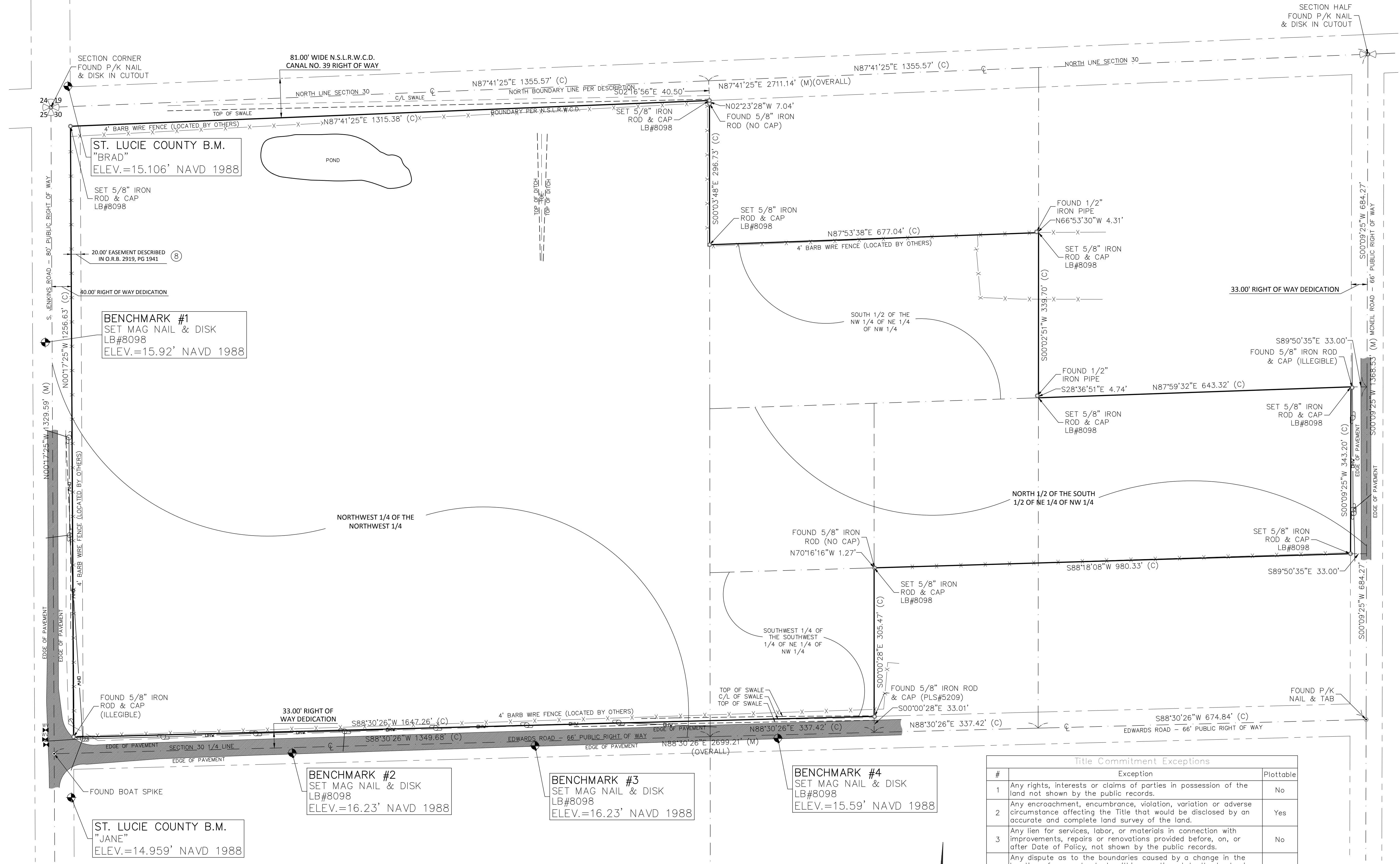
**BOUNDARY, TOPOGRAPHIC,
& TREE SURVEY**
FOR
KAMPGROUNDS OF AMERICA
ST. LUCIE COUNTY
FLORIDA

10250 VILLAGE PARKWAY
UNIT 201
PORT ST. LUCIE, FL 34987
772-462-2455

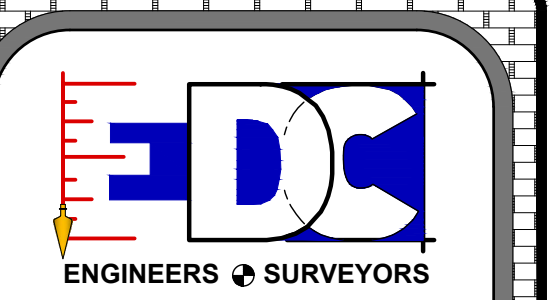
17-219

1 OF 7

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY EDC, INC. SHALL BE WITHOUT LIABILITY TO EDC, INC.



Title Commitment Exceptions		
#	Exception	Plottable
1	Any rights, interests or claims of parties in possession of the land not shown by the public records.	No
2	Any encroachment, encumbrance, violation, variation or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the land.	Yes
3	Any lien for services, labor, or materials in connection with improvements, repairs or renovations provided before, on, or after Date of Policy, not shown by the public records.	No
4	Any dispute as to the boundaries caused by a change in the location of any water body within or adjacent to the land prior to Date of Policy, and any adverse claim to all or part of the land that is, at Date of Policy, or was previously under water.	No
5	Taxes or special assessments not shown as lien in the public records or in the records of the local tax collecting authority, at Date of Policy.	No
6	Any minerals or mineral rights leased, granted or retained by current or prior owners.	No
7	Taxes and assessments for the year 2017 and subsequent years, which are not yet due and payable.	No
8	Easement granted to the City of Fort Pierce, for the use and benefit of the Fort Pierce Utilities Authority, recorded in Book 2919, page 1941.	Yes
9	Terms, conditions and provisions, including, but limited to, notice of transfer to South Florida Water Management District, contained in Environmental Resource Permit Notice recorded in Book 2838, page 1305 and Notice of Environmental Resource or Surface Water Management Permit recorded in Book 2860, page 555.	No
10	Any lien as provided for by Chapter 159, Florida Statutes, in favor of any city, town, village or port authority for unpaid service charges for service by any water, sewer or gas systems supplying the lands described herein.	No



10250 SW VILLAGE PARKWAY, SUITE 201
PORT SAINT LUCIE, FL 34987
772-462-2455

www.edc-inc.com

F.P.E. CERTIFICATE OF AUTHORIZATION 9935
L.B. CERTIFICATE OF AUTHORIZATION 8098

CHECKED BY M. OWEN	PLANNED S. TROTTER	DATE 09/10/2017
DRAWN BY S. TROTTER	LAYOUT S. TROTTER	SCALE AS SHOWN
DATE 09/10/2017	REVISION COMMENTS	

8/24/17	ADDED TITLE COMMITMENT EXCEPTIONS AND EASEMENT
8/24/17	REVISED ACRESAGE, ADDED MISSING RAW INFORMATION, AND MISSING FENCES
8/24/17	UPDATED TREE SCHEDULE AND TREE POINT DESCRIPTIONS
	REVISION COMMENTS

**BOUNDARY, TOPOGRAPHIC,
& TREE SURVEY**
FOR
KAMPGROUNDS OF AMERICA
FLORIDA
ST. LUCIE COUNTY

EDC ENGINEERS & SURVEYORS
10250 VILLAGE PARKWAY
UNIT 201
PORT ST. LUCIE, FL 34987
772-462-2455

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2 OF 7

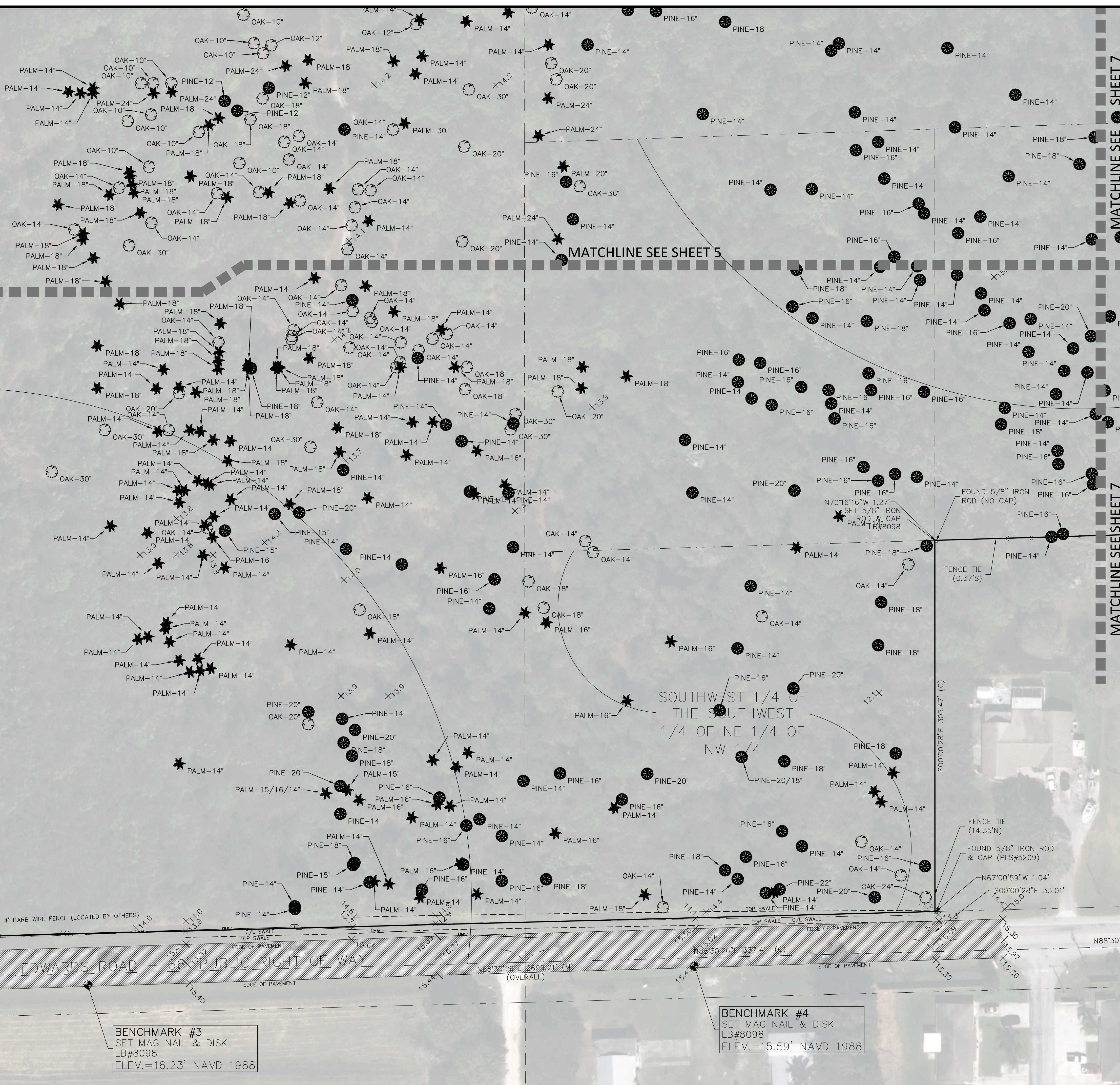
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MATCHLINE SEE SHEET 3

MATCHLINE SEE SHEET 4

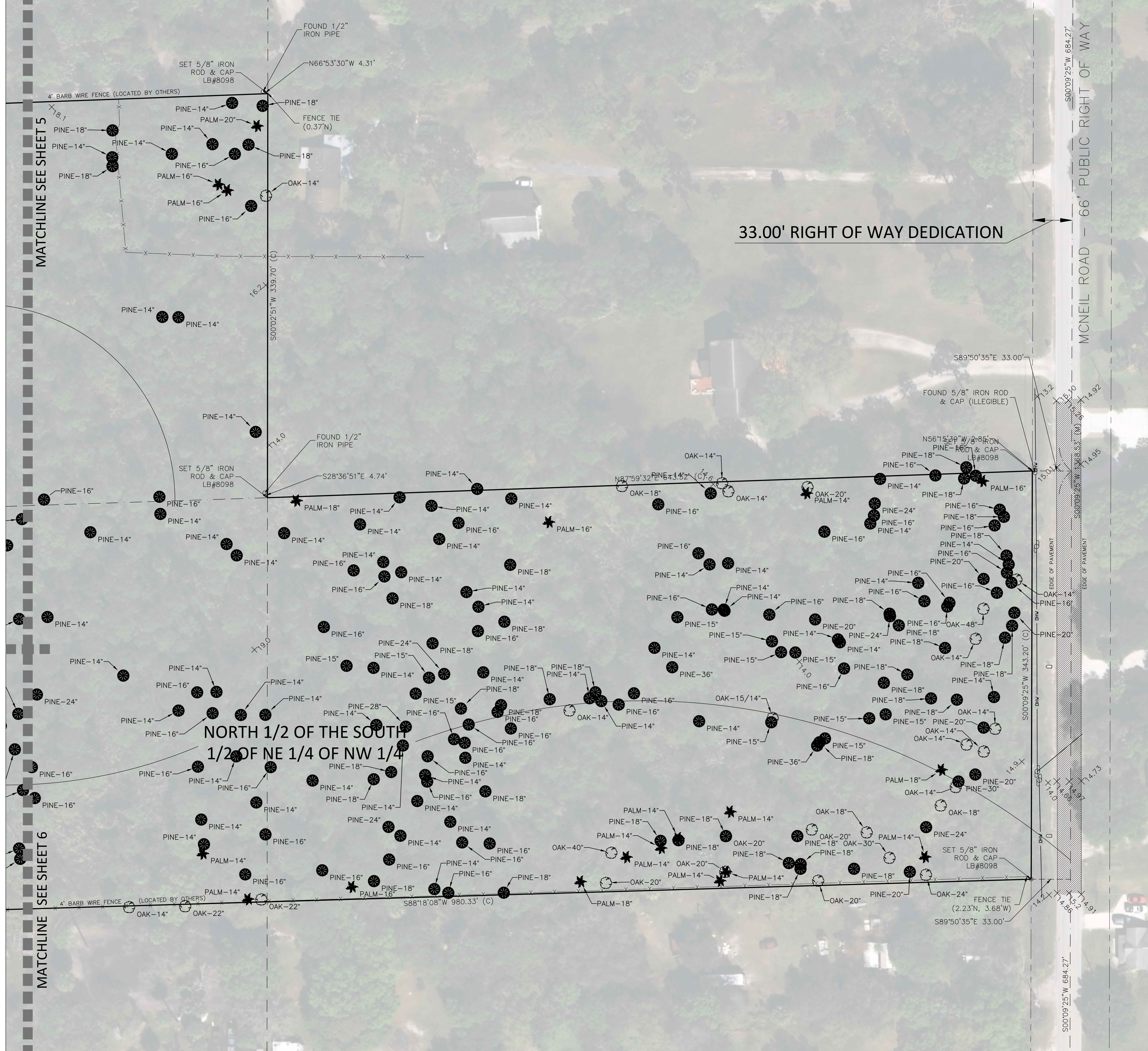
MATCHLINE SEE SHEET 7

MATCHLINE SEE SHEET 7



TREE SCHEDULE	Tree #	Tree Dia	Tree Schedule	Tree #	Tree Dia	Tree Schedule	Tree #	Tree Dia	Tree Schedule
15151 PALM 14	15151	14"	15152 PALM 14	15152	14"	15153 PALM 14	15153	14"	15154 PALM 14
15155 PALM 14	15155	14"	15156 PALM 14	15156	14"	15157 PALM 14	15157	14"	15158 PALM 14
15159 PALM 14	15159	14"	15160 PALM 14	15160	14"	15161 PALM 14	15161	14"	15162 PALM 14
15163 PALM 14	15163	14"	15164 PALM 14	15164	14"	15165 PALM 14	15165	14"	15166 PALM 14
15170 PALM 14	15170	14"	15171 PALM 14	15171	14"	15172 PALM 14	15172	14"	15173 PALM 14
15177 PALM 14	15177	14"	15178 PALM 14	15178	14"	15179 PALM 14	15179	14"	15180 PALM 14
15184 PALM 14	15184	14"	15185 PALM 14	15185	14"	15186 PALM 14	15186	14"	15187 PALM 14
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15202 PALM 14	15202	14"	15203 PALM 14	15203	14"	15204 PALM 14	15204	14"	15205 PALM 14
15212 PALM 14	15212	14"	15213 PALM 14	15213	14"	15214 PALM 14	15214	14"	15215 PALM 14
15224 PALM 14	15224	14"	15225 PALM 14	15225	14"	15226 PALM 14	15226	14"	15227 PALM 14
15237 PALM 14	15237	14"	15238 PALM 14	15238	14"	15239 PALM 14	15239	14"	15240 PALM 14
15252 PALM 14	15252	14"	15253 PALM 14	15253	14"	15254 PALM 14	15254	14"	15255 PALM 14
15269 PALM 14	15269	14"	15270 PALM 14	15270	14"	15271 PALM 14	15271	14"	15272 PALM 14
15281 PALM 14	15281	14"	15282 PALM 14	15282	14"	15283 PALM 14	15283	14"	15284 PALM 14
15297 PALM 14	15297	14"	15298 PALM 14	15298	14"	15299 PALM 14	15299	14"	15300 PALM 14
15301 PALM 14	15301	14"	15302 PALM 14	15302	14"	15303 PALM 14	15303	14"	15304 PALM 14
15309 PALM 14	15309	14"	15310 PALM 14	15310	14"	15311 PALM 14	15311	14"	15312 PALM 14
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16468 PALM 14	16468	14"	16469 PALM 14	16469	14"	16470 PALM 14	16470	14"	16471 PALM 14
16482 PALM 14	16482	14"	16483						

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADOPTION BY EDC, INC. SHALL BE WITHOUT LIABILITY TO EDC, INC.



TREE SCHEDULE	#	Tree Dia
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ENGINEERS & SURVEYORS

10250 SW VILLAGE PARKWAY, SUITE 201
PORT SAINT LUCIE, FL 34987
772-462-2455

www.edc-inc.com

F.P.E. CERTIFICATE OF AUTHORIZATION 9935
L.B. CERTIFICATE OF AUTHORIZATION 8098

CHECKED BY	M. OWEN
DRAWN BY	S. TROTTER
PLANNED	17-238
LAYOUT	SEE SHEET #
SCALE	AS SHOWN
DATE	09/10/2017

NO.	DATE	REVISION COMMENTS
1	09/10/2017	ADDED TITLE COMMENT EXCEPTIONS AND EASEMENT
2	02/21/17	REVISED ACREAGE, ADDED MISSING RWI INFORMATION, AND MISSING FENCES
3	02/21/17	UPDATED TREE SCHEDULE AND TREE POINT DESCRIPTIONS

BOUNDARY, TOPOGRAPHIC, & TREE SURVEY

FOR

KAMPGROUNDS OF AMERICA

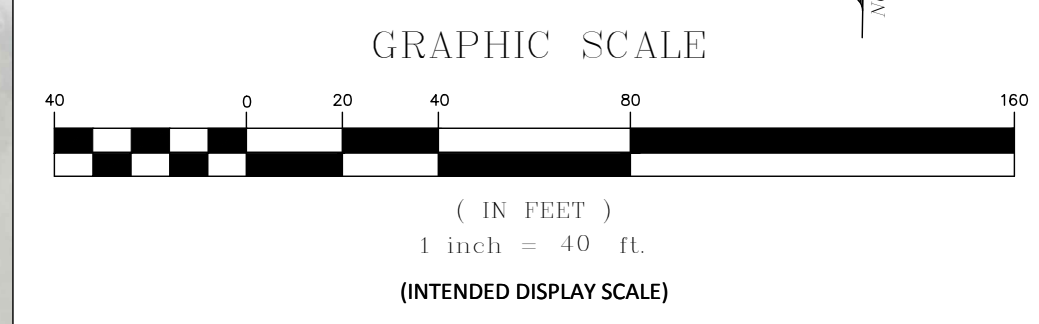
FLORIDA

ST. LUCIE COUNTY

10250 VILLAGE PARKWAY
UNIT 201
PORT ST. LUCIE, FL 34987
772-462-2455

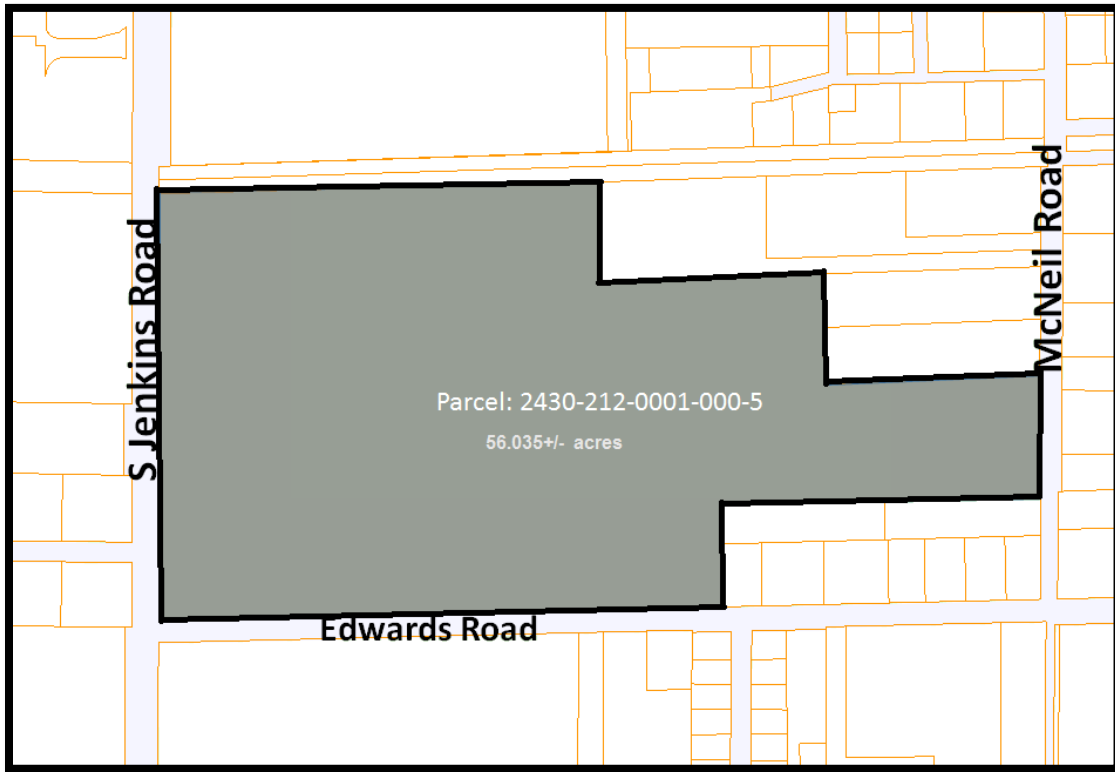
17-219

7 OF 7



Parcel 2430-212-0001-000-5:

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EW Consultants, Inc.

Natural Resource Management, Wetland, and Environmental Permitting Services



KOA - FORT PIERCE

Environmental Assessment

**Prepared For:
Lucido & Associates, Inc.**

**Prepared By:
EW Consultants, Inc.**

July 2017
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I. INTRODUCTION -

This Environmental Assessment documents and summarizes the various natural resources and man-made alterations present on a property referred to as the KOA Fort Pierce site. The project site, as shown on Figure 1 in Appendix A, is ±56.1 acres, and is located at the northeast corner of South Jenkins Road and Edwards Road, east of I-95, and south of Okeechobee Road (S.R. 70). It lies within Section 30, Township 35 South, Range 40 East in the City of Fort Pierce, St. Lucie County, Florida (see Figure 2, USGS Quadrangle Map in Appendix A).

II. GENERAL PROPERTY DESCRIPTION –

The property is bounded to the north by the North Saint Lucie River Water Control District's (NSLWCD) Canal Number 39 and residential development, to the east by residential development and McNeil Road, to the south by residential development and Edwards Road, and to the west by Jenkins Road (please refer to Figure 3, 2016 Aerial Photograph, in Appendix A for surrounding conditions). The property is undeveloped and forested, and is comprised of a combination of native and exotic vegetation habitat types with man-made surface water areas. Detailed discussions of land cover types are described in subsequent sections of this report.

III. SOIL TYPES –

A Soils Report generated by the United States Department of Agriculture/Natural Resources Conservation Service is provided in Appendix B of this report. The soils report identifies mainly sand-based and loamy soils throughout the project site, all of which are considered poorly drained.

IV. EXISTING LAND COVER TYPES –

The following is a summary of the land cover types and vegetative communities found on the subject site. Land cover and vegetative community classifications are mapped based on the Florida Land Use, Cover and Forms Classification System (FLUCCS) developed by the Florida Department of Transportation. Field reconnaissance and aerial photograph interpretation were employed in the mapping of the vegetative communities on the subject property. The vegetative community descriptions include discussions of potential wildlife habitat provided by the various resources present in those communities.

There are several different FLUCCS upland classifications currently present on the site based on fieldwork conducted by EW Consultants, Inc. in July, 2017. They include: Pine Flatwoods (411); Brazilian Pepper (422); Upland Scrub, Pine and Hardwoods (436); Lakes Less than 10 Acres (524), and; Disturbed Lands (740). A land cover map of the observed vegetative community types

is included as Figure 4 in the Appendix A of this report. The land cover types observed on the property are described as follows:

Upland Inventory

411 Pine Flatwoods

This is a sub-category of the FLUCCS Upland Forests classification and includes areas where the tree canopy is dominated by slash pines. The pine flatwood upland habitat is generally found in the eastern half of the property. This area is in good ecological condition with minimal impacts from man-made alterations or exotic vegetation. Some portions of the edges of this upland habitat, especially along McNeil and Edwards roads, contain limited exotic vegetation. Native slash pine, saw palmetto, and gallberry are the dominant plants species within this land cover category. Listed species such as gopher tortoises typically use pine flatwoods for burrowing and foraging. Their presence has been confirmed within this habitat based on the July, 2017 site investigation.

436 Upland Scrub, Pine and Hardwoods

This native upland forest classification includes areas where the tree canopy is generally an even mix of laurel and live oaks, as well as slash pines. It typically occurs in areas that have been previously cleared and have regenerated naturally. Other native plant species observed within the 436 area include cabbage palm, myrsine, wild coffee, saw palmetto, grapevine, and smilax vine. Exotic species include Brazilian pepper, climbing fern, guava, and earleaf acacia. This upland habitat type is located in the central portion of the property, adjacent to and west of the pine flatwoods habitat community, and east of the Brazilian pepper area. The 436 area can be described as a naturally regenerating area with intermediate stages of succession. Although signs of stress from human activities and cover of invasive exotics are currently low, it is apparent that the ecological development within this area is influenced by adjacent exotic vegetation to the west, historic land uses, and current anthropogenic influences including a network of active off-road vehicle trails. Listed species such as gopher tortoises typically use pine flatwoods for burrowing and foraging. Their presence has been confirmed within this habitat based on the July 2017 site investigation. This land cover category also includes portions of a remnant ditch system which appears to be frequently used by off-road vehicles.

422 Brazilian Pepper

Thickets of the exotic Brazilian pepper tree exist within the southwestern and northern portions of the property. These trees typically dominate a landscape and prevent desirable native plant species from establishing. This land cover type provides minimal wildlife habitat, although the state listed gopher tortoise may use the trees' root system for burrowing. No such burrows were identified within the Brazilian pepper area during the July 2017 site investigation. This land cover category also includes portions of a remnant ditch system which appears to be used by off-road vehicles.

740 Disturbed Lands

The northwest portion of the property includes scattered native trees such as slash pines, laurel oaks, and cabbage palms along with exotic Brazilian pepper, lygodium, lead tree, guava, and earleaf acacia. This area has been categorized as disturbed due to the significant percent cover of exotics and the absence of intact native upland habitat.

Other Surface Waters

524 Lakes Less than 10 Acres

Two man-made ponds occur on the property; one located in the northern portion and the other within the southern portion of the project site. Both ponds are in poor ecological condition and offer minimal foraging opportunities for wildlife.

The northern pond is adjacent to a berm that is associated with the NSLWCD canal that extends along the northern property boundary. Vegetation within and around this pond includes exotic Brazilian pepper along most of its outer perimeter with exotic primrose willow growing within the more central portions of the pond.

The southern pond also has a berm along a portion of its perimeter which is likely composed of excavated soil from the pond. Vegetation within and around this pond is dominated by exotic Brazilian pepper and exotic primrose willow.

V. WILDLIFE AND LISTED SPECIES EVALUATION -

Preliminary field observations made during the July, 2017 site visit indicate that the property hosts a variety of wildlife species. The table below lists the species that were directly observed, or evidence of their presence was noted through indirect means, such as scat, tracks, or burrows. In general, the western third to half of the property is dominated by non-native invasive trees with poor suitability for wildlife except for feral hogs (also exotic). The pine flatwoods and upland forest host a number of hunting stations. The upland scrub, pine and hardwood area includes a network of well-established paths indicating that off-road trucks and ATV’s traverse the site through such trails and shallow ditches on a regular basis. Given the anthropogenic disturbances and its setting within a suburban landscape, the site does not provide the habitat suitable to host a large variety of listed species. Below is a table of observed listed and non-listed wildlife on-site:

Common Name	Scientific Name	On-Site Locations	Status	Occurrence
Raccoon	<i>Procyon lotor</i>	Throughout site	Not listed	Directly observed
Hog	<i>Sus scrofa</i>	Throughout site	Not listed	Directly observed
Black Racer	<i>Coluber constrictor</i>	Throughout site	Not listed	Directly observed
Cattle Egret	<i>Bubulcus ibis</i>	In/around ditches and in open areas	Not listed	Directly observed
Mourning Dove	<i>Zenaidura macroura</i>	Throughout site	Not listed	Directly observed
Northern Mockingbird	<i>Mimus polyglottus</i>	Throughout site	Not listed	Directly observed
Northern Cardinal	<i>Cardinalis cardinalis</i>	Pine flatwoods and mixed forest	Not listed	Directly observed
Blue Jay	<i>Cyanocitta cristata</i>	Throughout site	Not listed	Directly observed
Red-Shouldered Hawk	<i>Buteo jamaicensis</i>	Throughout site	Not listed	Directly observed
Black Vulture	<i>Coragyps atratus</i>	Throughout site	Not listed	Directly observed
Turkey Vulture	<i>Cathartes aura</i>	Throughout site	Not listed	Directly observed
Gopher Tortoise	<i>Gopherus polyphemus</i>	Pine flatwoods and mixed forest	Threatened – State	Indirectly observed (burrows)

*Florida’s Endangered and Threatened Species
 May, 2017, Florida Fish & Wildlife Conservation Commission

While their presence was not detected either directly or indirectly, a number of other species may occur due to the site’s habitats. In particular, the pine flatwoods, upland hardwood forest, ponds, and ditches may provide habitat and foraging opportunities for a number of listed species, which are outlined in the below table.

Common Name	Latin Name	Likely Location	Legal Status	Occurrence
Roseate Spoonbill	<i>Ajaia ajaja</i>	In/around ditches and ponds	Threatened – State	Not directly observed, but suitable habitat is present
Reddish Egret	<i>Egretta rufescens</i>	In/around ditches and ponds	Threatened – State	Not directly observed, but suitable habitat is present
Little Blue Heron	<i>Egretta caerulea</i>	In/around ditches and ponds	Threatened – State	Not directly observed, but suitable habitat is present
Tricolored Heron	<i>Egretta tricolor</i>	In/around ditches and ponds	Threatened – State	Not directly observed, but suitable habitat is present
Wood Stork	<i>Mycteria americana</i>	In/around ditches and ponds	Threatened – State and Federal	Not directly observed, but suitable habitat is present
Florida Sandhill Crane	<i>Grus canadensis pratensis</i>	In/around northern pond and open areas	Threatened - State	Not directly observed, but suitable habitat is present
Sherman's Fox Squirrel	<i>Sciurus niger shermani</i>	In upland forests with mature pines	Species of Special Concern - State	Not directly observed, but suitable habitat is present
Eastern Indigo Snake	<i>Drymarchon corais couperi</i>	In pine flatwoods; gopher tortoise commensal	Threatened – State and Federal	Not directly observed, but suitable habitat is present
American Alligator	<i>Alligator mississippiensis</i>	In ditches and ponds	State and Federal – Threatened (similarity of appearance to American crocodile)	Not directly observed, but suitable habitat is present

*Florida's Endangered and Threatened Species
 May, 2017, Florida Fish & Wildlife Conservation Commission

The confirmed presence of potentially occupied gopher tortoise burrows represents the only listed species identified on-site during the July 2017 site visit. Gopher tortoises are listed as a state-designated threatened species and are protected by state law, Chapter 68A-27, Florida Administrative Code. Within 90 days prior to any clearing activities, a complete gopher tortoise survey covering 100% of those area slated for clearing on-site must be conducted. If impacts to gopher tortoise burrows as a result of land alterations cannot be avoided, a permit must be obtained from Florida Fish and Wildlife Conservation Commission (FFWCC) to relocate gopher tortoises to a permitted recipient site.

The FFWCC's database was searched in order to identify wading bird colonies near the project site. The foraging range for the state and federally-listed listed wood stork is 18.6 miles. Since several wading bird colonies exist within that distance of the project site (mainly along the Indian River Lagoon), it would be considered within the wood stork's foraging range (see Figure 5 in Appendix A).

Although the bald eagle has been de-listed, the birds and their nests are still protected under the federal Bald and Golden Eagle Protection Act. Although no such nests or individuals were observed during the site visit, this area of St. Lucie County contains sufficient mature pine trees and waterways to support bald eagle populations. This is evident by Figure 6 in Appendix A, which shows the recorded eagle nest locations within 10 miles of the project site. The closest recorded nest is SL006 just east of I-95 by the Wal-Mart Distribution center, approximately a mile from the project site.

Three listed plant species, the common wild-pine (*Tillandsia fasciculata*), the reflexed wild-pine (*Tillandsia balbisiana*), and the giant wild-pine (*Tillandsia urticulata*) were observed throughout the property. Common wild-pine and giant wild-pine are listed as endangered and reflexed wild-pine is listed as threatened by the Florida Department of Agriculture and Consumer Services (FDACS); none are federally listed. FDACS' listed plant species are considered the property of the landowner, and as such, the landowner has the ability to remove or relocate the listed plant species without authorization from the State. State law prohibits the sale of regulated plants. No federally listed plants were observed on-site.

APPENDIX A

Figure 1: Location Map

Figure 2: USGS Quadrangle Map

Figure 3: 2016 Aerial Photograph


Figure 4: FLUCCS MAP

Figure 5: Wading Bird Colonies

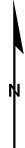
Figure 6: Bald Eagle Nests



LEGEND

 - SITE (56.1+/- AC)

0 2,000 Feet



**KOA FORT PIERCE
LOCATION MAP**

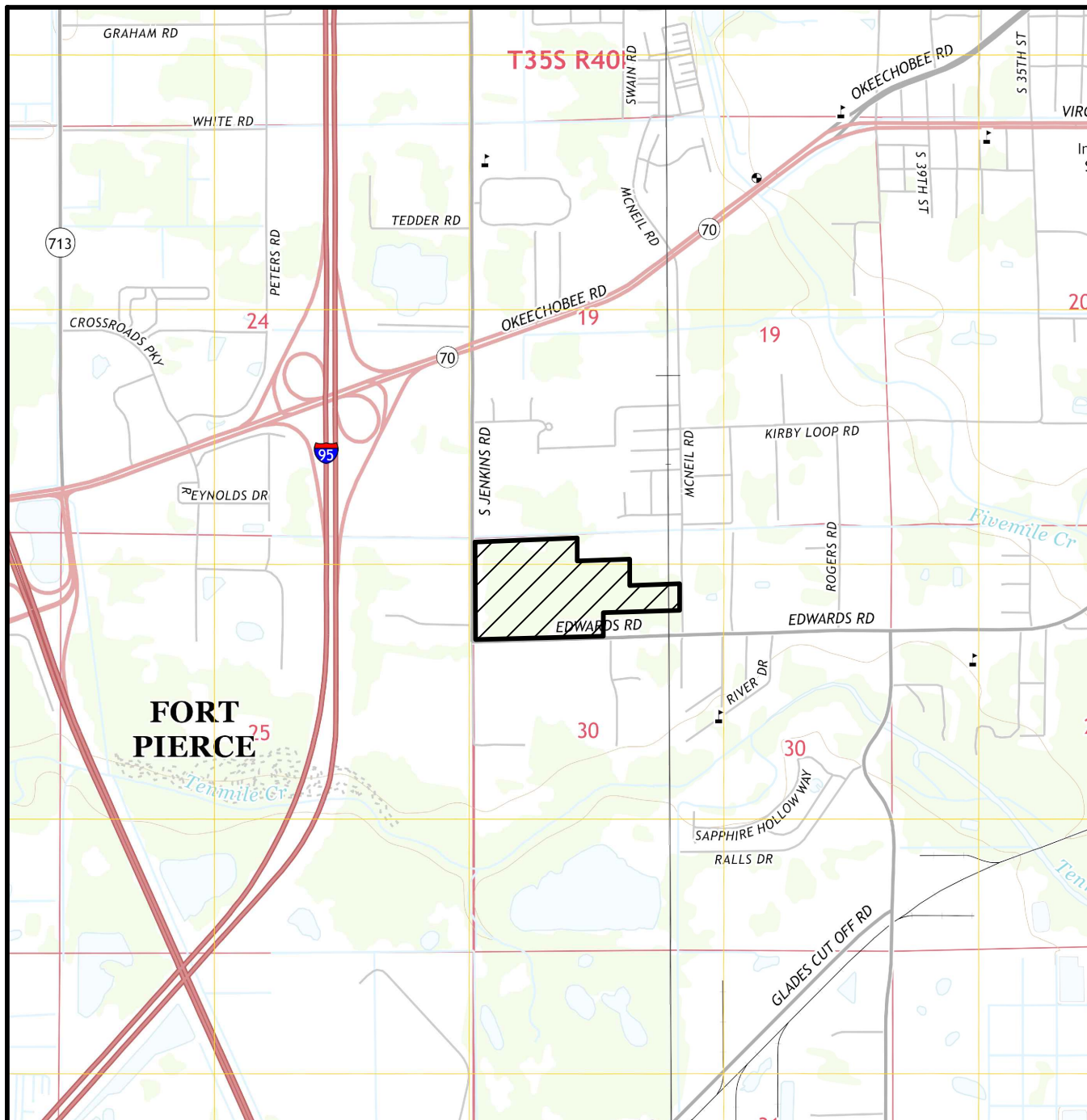


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1000 SE MONTEREY COMMONS BLVD., SUITE 208
STUART, FL 34996
772-287-8771 FAX 772-287-2988
WWW.EWCONSULTANTS.COM

JULY 2017

FIGURE

1



USGS QUAD MAP "FORT PIERCE NW", SECTION 30, TOWNSHIP 35 SOUTH, RANGE 40 EAST, CITY OF FORT PIERCE, ST LUCIE COUNTY, FLORIDA LATITUDE 27°24'32" LONGITUDE -80°22'47"

LEGEND

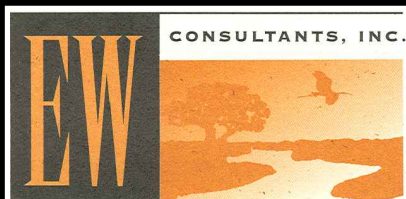
 - SITE (56.1± AC)



KOA FORT PIERCE

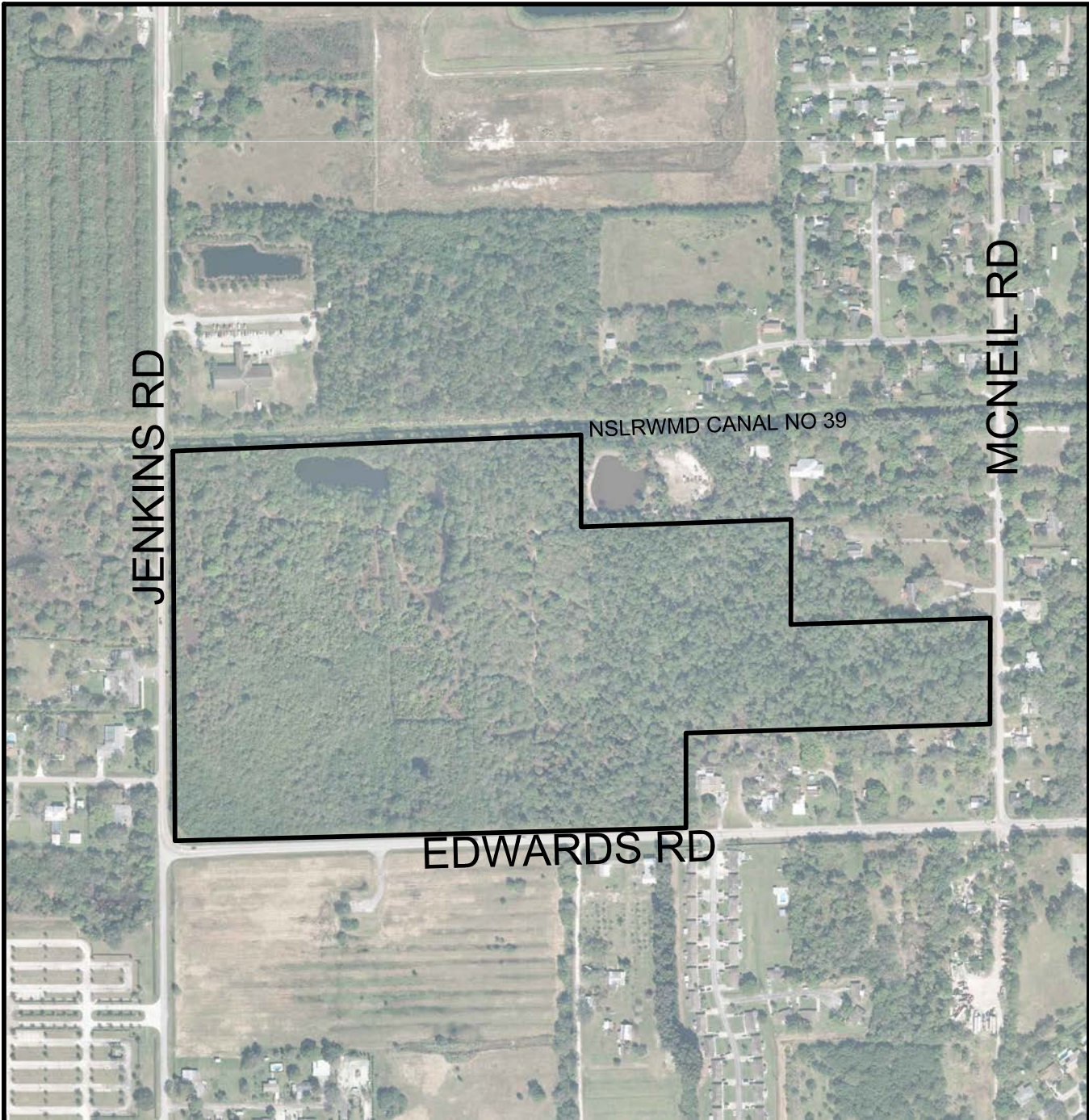
QUAD MAP

Fort Pierce KOA.dwg QUAD



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JULY 2017
FIGURE
2



JENKINS RD

MCNEIL RD

NSLRWMD CANAL NO 39

EDWARDS RD

FDOT AERIALS DATED 2016

0 500
SCALE IN FEET



KOA FORT PIERCE AERIAL

Fort Pierce KOA.dwg AERIAL

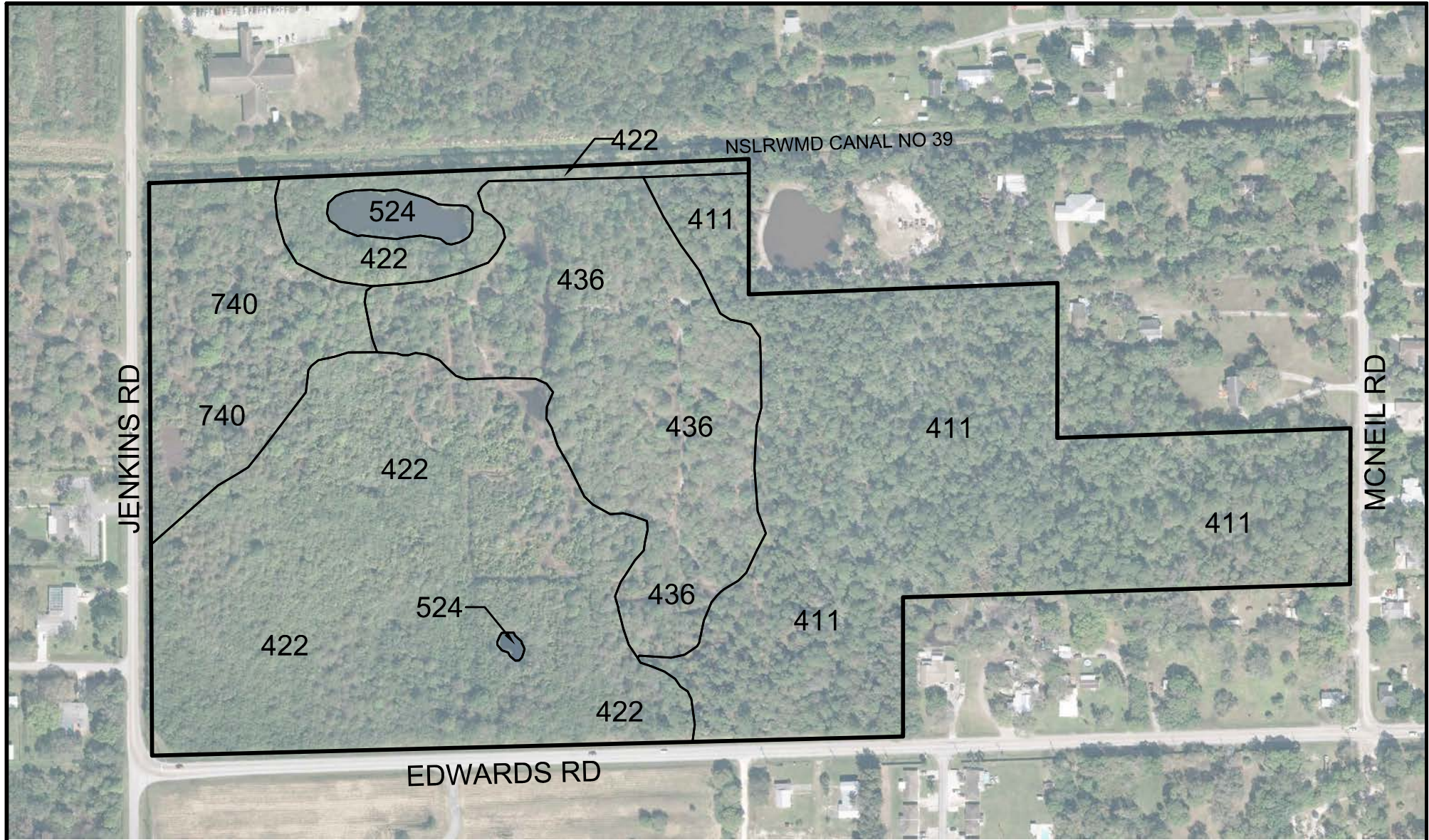


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FIGURE

3



FDOT AERIALS DATED 2016

LEGEND

- 411 - PINE FLATWOODS (19.7± AC)
- 422 - BRAZILIAN PEPPER (19.9± AC)
- 436 - UPLAND SCRUB, PINE & HARDWOODS (10.4± AC)
- 524 - LAKES LESS THAN 10 ACRES (0.7± AC)
- 740 - DISTURBED LANDS (5.4± AC)
- TOTAL SITE (56.1± AC)**

**KOA FORT PIERCE
FLUCCS MAP**

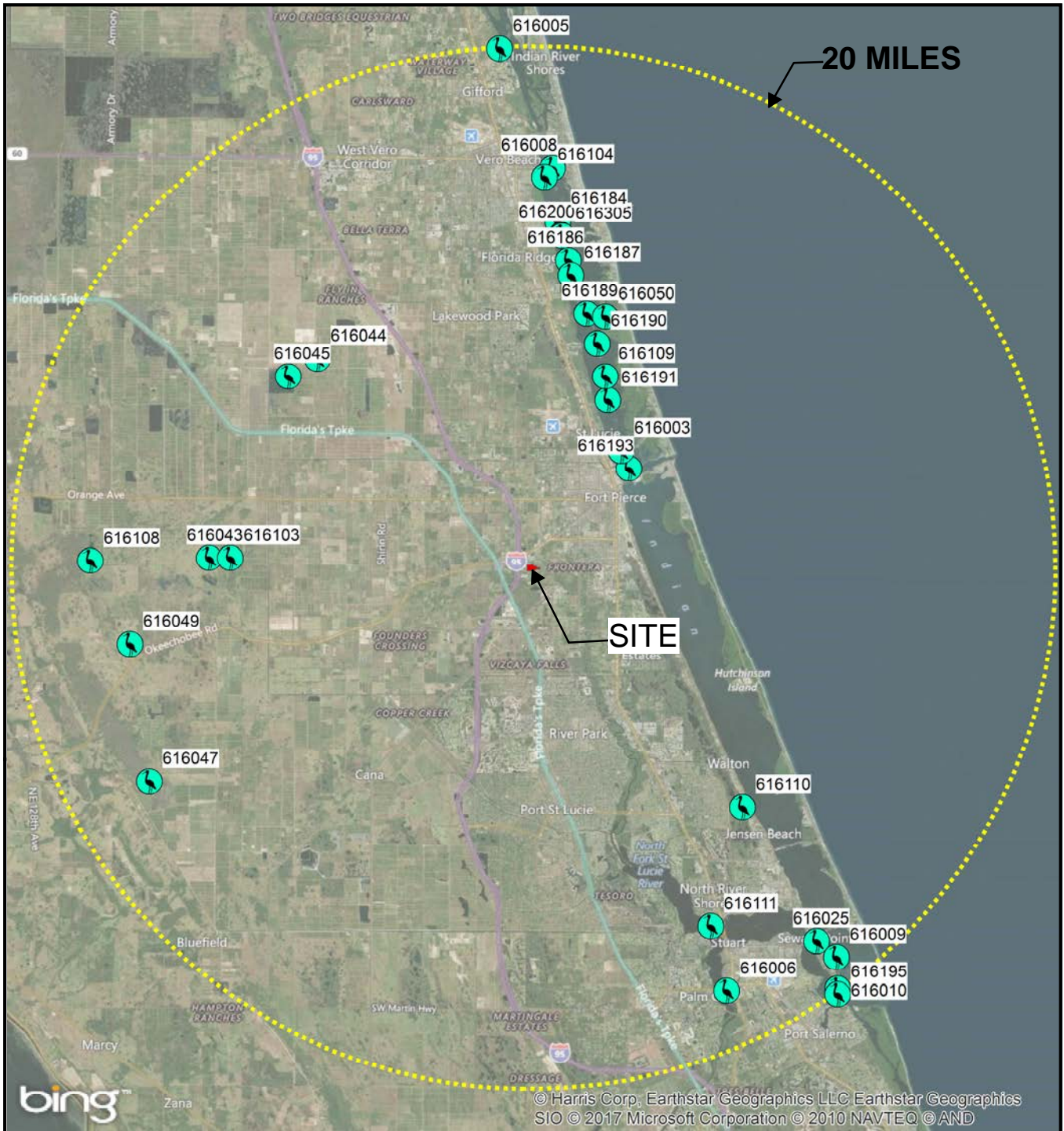


EW CONSULTANTS, INC.
 1000 SE MONTEREY COMMONS BLVD., SUITE 208
 STUART, FL 34996
 772-287-8771 FAX 772-287-2988
 WWW.EWCONSULTANTS.COM

JULY 2017

FIGURE

4



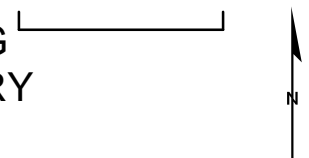
LEGEND



FFWCC 1999 WOODSTORK NESTING COLONIES & WADING BIRD ROOKERY

KOA FORT PIERCE

0 7 Miles



FFWCC WADING BIRD COLONIES DATABASE

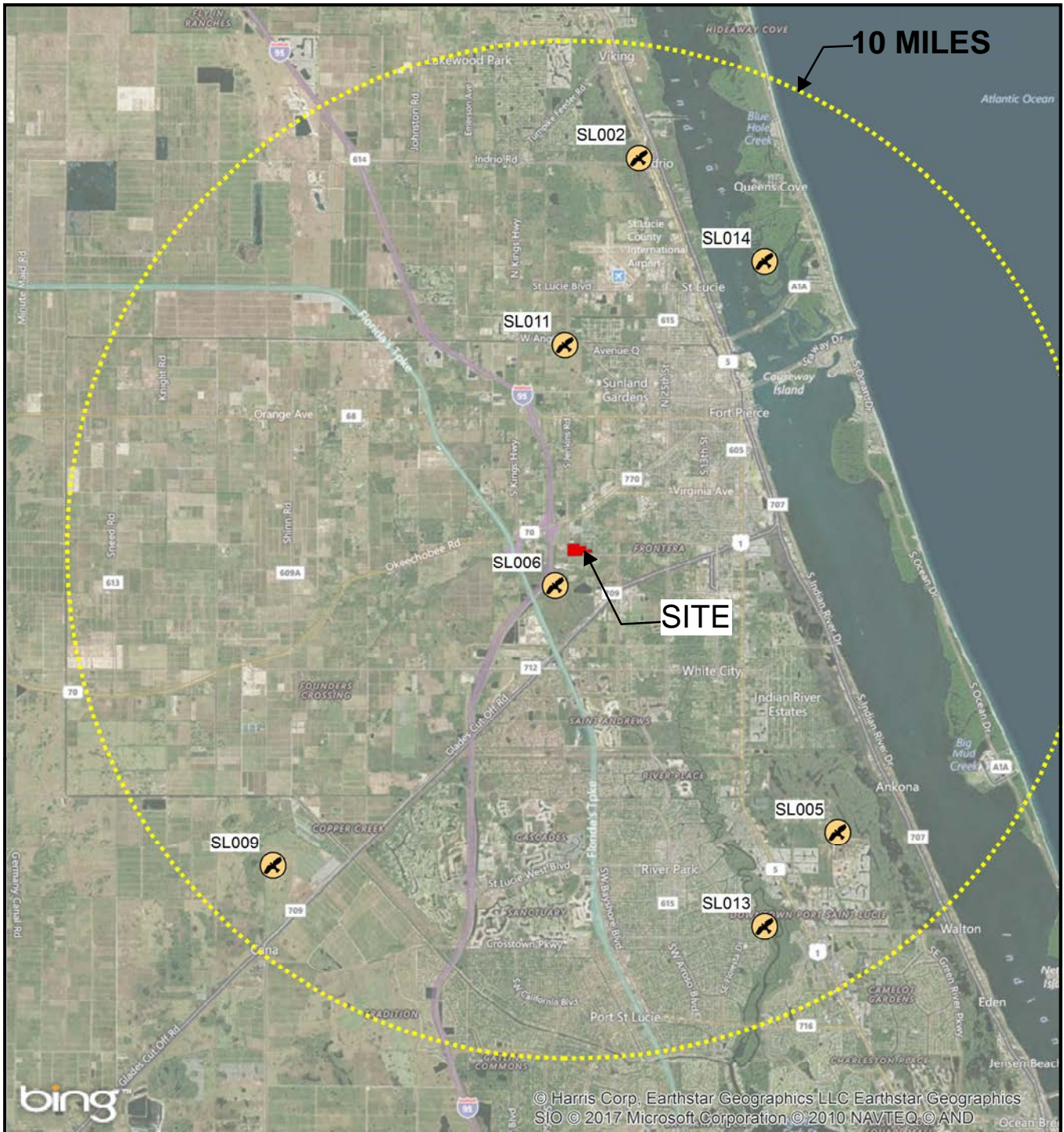


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FIGURE

5



LEGEND



FFWCC EAGLE NESTING 2015

**KOA FORT PIERCE
EAGLE NESTING**



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JULY 2017

FIGURE

6

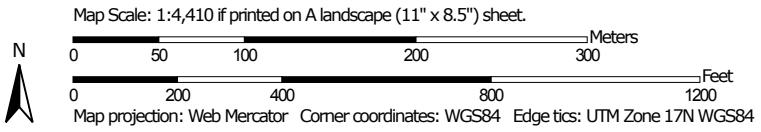
EW Consultants, Inc.

Natural Resource Management, Wetland, and Environmental Permitting Services

APPENDIX B


USDA Soils Report

Soil Map—St. Lucie County, Florida
(KOA Fort Pierce)





MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: St. Lucie County, Florida

Survey Area Data: Version 9, Sep 16, 2016

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

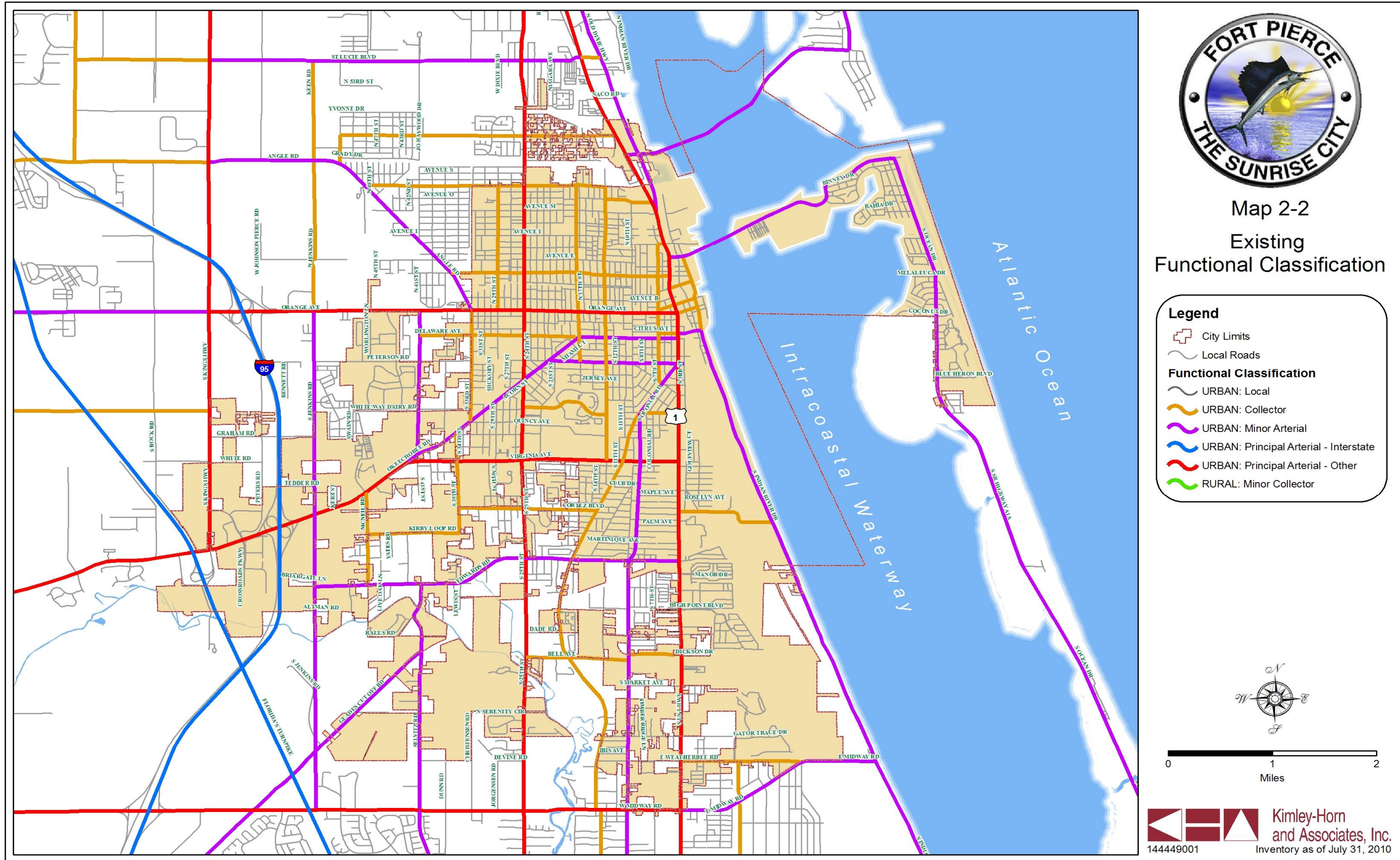
Date(s) aerial images were photographed: Dec 15, 2010—Mar 13, 2011

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

St. Lucie County, Florida (FL111)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
2	Ankona and Farnton sands	40.9	73.0%
25	Nettles and Oldsmar sands	14.0	24.9%
38	Riviera fine sand, 0 to 2 percent slopes	0.5	0.9%
54	Winder sand, depressional	0.7	1.2%
Totals for Area of Interest		56.1	100.0%

Map 2-2 - Existing Functional Classification



Planning Board

7.b.

Meeting Date: 11/14/2017

Information

REQUESTED ACTION

Waiver of Distance - Pelican Seafood Restaurant - 733 North US Highway 1

LOCATION

733 North US Highway 1

RESPONSIBLE STAFF

Kori Benton, Senior Planner

RECOMMENDATION

Approval with Conditions

Attachments

Staff Report

Site Aerial

Application

Floor Plan

Site & Parking Improvement Plan

Form Review

Form Started By: Kori Benton

Started On: 11/07/2017 12:48 PM

Final Approval Date: 11/08/2017



TO: Members of the City of Fort Pierce Planning Board

THROUGH: Rebecca Grohall, AICP, Planning Director

FROM: Kori Benton, Senior Planner

RE: Application for Waiver of Distance – 2COP Alcoholic Beverage License
 Pelican Seafood Restaurant
 733 North US Highway 1

DATE: October 2, 2017

STAFF REPORT

Applicant/Business Owner: Brian Paul
 735 North US Highway 1
 Fort Pierce, Florida 34950

Property Owner: Fifer Partners 1 LLC
 165 Anchor DR
 Vero Beach, FL 32963

Requested Action: Approval of Waiver of Distance for Alcoholic Beverage License

Type of License: 2COP: Beer and Wine for Consumption on Premises

Name of Establishment: Pelican Seafood Restaurant

Type of Establishment: Restaurant

Location: 733 North US Highway 1

Parcel(s): 2403-717-0002-000-8, 2403-705-0024-000-1, & 2403-717-0007-000-3

Current Zoning: C-3, General Commercial

Surrounding Zoning:

North	East	South	West
C-3	I-1/C-6	C-3	C-3 / R-4

Site Size: 2.94* acres

Utilities: Located within the FPUA Service Area

Staff Analysis:

Request

In accordance with Section 3-7 & 3-9 of the City Code, the applicant is requesting the review and approval of a waiver of distance restrictions provided by subsection 3-7(b) to establish a forty (40) seat restaurant capable of beer and wine service for consumption on premises at 733 N US Highway 1. The subject property is approximately 2.94 acres in size and is located within the General Commercial (C-3) zoning district.

The City Code requires a waiver of established distance requirements, for the sale of alcoholic beverages by retail for consumption on the premises, where the establishment is located within 1,600 feet of other licensed establishments, churches, or schools. The applicant is requesting a 2 COP license to serve beer and wine for consumption on premises in a restaurant which will provide full service meals via a commercial kitchen and traditional seating. The establishment will contain approximately 2,200 square feet of gross floor area to include a kitchen, outdoor dining, an office, and restroom facilities for integration with the applicant's existing retail seafood store.

Four (4) licensed establishments are located within 1,600 feet of the proposed establishment, therefore a waiver of the minimum required distance of 1,600 feet between the applicant's establishment, and said licensed establishments is sought.

As specified by Section 3-15 of the City Code, a waiver of distance shall be granted only if it does not adversely affect community health, safety or general welfare and that the following are considered:

a. The actual location and distance of the proposed establishment with respect to other places of business licensed to sell intoxicating beverages, whether on or off the premises, as well as churches and schools;

Four (4) licensed establishments, Crocodillo's, the Tiwsted Tiki, Tillman's, and Captain's Galley, located within Egdartown to the east are located within 1,600 feet from the establishment. If serves remain active, one existing church, Apostolic Crossroads Church of Jesus located at 812 North 7th Street is approximately 1,200 feet from the establishment.

b. The type and size of the establishment, including any bar floor space and seating capacity, and whether, in view of such type or size, the proposed establishment is likely to create a public nuisance or traffic impediment by drawing crowds or persons milling about outside the building;

The establishment is currently a retail seafood store with approximately 875 square feet of gross floor area, with the proposal to expand to roughly 2,200 square feet to accommodate the restaurant, with the capacity to sell beer and wine with meals. The attached floor plan shows the plan layout and seating for forty (40) patrons. The type and size of this proposed establishment is not likely to create a public nuisance or traffic impediment by drawing crowds or persons milling about outside the building.

c. Whether adequate parking and landscaping for the facility are provided so as to meet the requirements set forth in sections 22-59 through 22-61;

The applicant and property owner have provided preliminary plans to expand and reconfigure the parking area to provide adequate parking to support the plaza and the restaurant addition. Landscaping and lighting consistent with provisions of the land development code are required for permitting and completion of these necessary improvements. Upon completion of the parking lot expansion, sufficient parking would exist to accommodate the variety of uses within the plan and this restaurant request.

d. Whether the facility is physically separated or well buffered from all adjacent residentially zoned areas;

The establishment is not immediately adjacent to any residentially zoned property, and fronts on US Highway 1. Additional landscaping will be required to screen the parking and refuse collection areas.

e. Whether traffic generated by patrons or pickup/delivery vehicles will pass through low or moderate density residentially zoned neighborhoods;

The proposed establishment is accessible from US Highway 1 and traffic generated will not be required to pass through any residentially zoned neighborhoods.

f. Whether, if the facility is located within sixteen hundred (1,600) feet of a church or school, it will generate traffic which may adversely affect the safety of persons attending such church or school.

The facility is located approximately 1,200 feet from an existing church, Apostolic Crossroads Church of Jesus, located at 812 North 7th Street. The facility should not generate traffic which may adversely affect the safety of persons attending the church. No schools are located within 1600 feet of the facility.

In addition, Section 3-14 (1) of the City Code indicates the "Minimum requirements for an on premises consumption" license must be engaged in conducting a "bona fide restaurant establishment" defined as such by meeting the following criteria:

- a. Have tables capable of seating not fewer than twenty (20) persons simultaneously for the purpose of serving meals.**
- b. Must dispense sales of beer and wine only to persons patronizing the establishment for the main purpose of ordering and consuming food.**
- c. Have permanent kitchen facilities located within the premises in which meals are regularly prepared for service to patrons of the establishment.**

The proposed establishment will have seating for at least 20 persons and permanent kitchen facilities (floor plan is attached). Sales of beer and wine will be to persons patronizing the establishment for the purpose of ordering and consuming food.

Technical Review Committee

All affected Departments have reviewed and identified required adjustments to the proposed site improvements to expand parking at the commercial center. Said requirements are integrated as recommended conditions of approval for integration into site work permits for completion of parking, landscaping, and lighting upgrades to accommodate this business development in the plaza.

Staff Recommendation:

The proposed Waiver of Distance generally meets the requirements of the City Code and is found to be consistent with the City's Comprehensive Plan; therefore Staff recommends that the Planning Board forward a recommendation to the City Commission for **approval** with the following conditions:

- 1) The proposed parking lot expansion, to support the restaurant and plaza, complies with minimum dimensions, curbing, and drainage provisions of City ordinance;

- 2) Site landscaping is in compliance with City Code Sections 22-187 General landscaping requirements (4), (6), and (7). , prior to zoning release of the alcohol license.
- 3) Site lighting is affirmed to be in compliance with City Code Sections Sec. 22-60 (j) & Sec. 22-59 (g)(6) Lighting, providing a minimum average of two (2) footcandle lighting, prior to zoning release of the alcohol license; and
- 4) The presented dumpster enclosure is screened with landscaping, pursuant to City Code Section 22-187 (11) Screening of refuse collection areas, prior to zoning release of the alcohol license.



Site Aerial

733 N US Highway 1



WAIVER OF DISTANCE

Property address or Location 733 North US #1
Parcel ID #(s) 2403-717-0002-000-8
Project description Pelican Seafood Expansion

Property Owner(s) Fifer Partners I LLC
Street Address 165 Anchor Dr
City Vero Beach State FL Zip 32967
Phone Number 772 925 5154
Email Address Terrycalhoun@icloud.com

Brian Paul
Applicant/Representative, Title, Company 735 N. US #1
Street Address Fort Pierce FL 34950
City 772 519 0464 State FL Zip 34950
Phone Number Brian@Hatchisland.com
Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgment of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

Property Owner(s) Signature(s) _____
STATE OF FLORIDA - COUNTY _____
The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by _____ who is personally known to me or has produced _____ as identification.
Signature of Notary _____ (seal)

See Page 3

INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3000 x729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date _____
Intake Planner _____
Planner Assigned _____
Approved By _____ Date _____
Comments _____

Fees _____ Control # _____ B. Permit # _____

Intake Date Stamp

12. Will the proposed establishment create a public nuisance or traffic impediment by drawing crowds or persons milling about outside the building? No

13. Hours of operation:

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
9am to 10pm	9am to 10pm	9am to 10pm	9am to 10pm	9am to 10pm	9am to 10pm	9am to 10pm

14. Is this a new establishment in the City of Fort Pierce? Yes No
 a. If no, give location of the existing business: Addition to existing Pelican Seafood Market.

b. Is the business tax receipt active/current? Yes No

15. Name of property Owner(s): Fifer Partners 1 LLC
 Signature of Owner(s): *Michael D. Fifer, Manager*
 Mailing Address: 165 Anchor DR
 City Vero Beach State FL Zip 32963
 Phone # (772) 925-5154

16. Name of Applicant: Eric Paul
 Signature of Applicant: _____
 Mailing Address: 735 North US Highway 1
 City Fort Pierce State FL Zip 34950
 Phone # (772) 461-2797 Fax # N/A
 E-mail: ericpaul@pelicanseafoodcompany.com

17. Name of Representative: Ryan Chase
 Signature of Representative: *[Signature]*
 Mailing Address: 2530 Main Street
 City Brewster State MA Zip 02631
 Phone # (863) 521-6775 Fax # N/A
 E-mail: ryanchase351@msn.com

WAIVER OF DISTANCE

Submit one (1) original & seven (7) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- As-built site drawing, to scale, including the building, front door, parking area, traffic ingress and egress, sidewalks, landscaping and exterior lighting
- Sketch of the building's interior layout including square footage of the following: kitchen, bar area, seating arrangement, and restrooms
- Complete, notarized

Application Type:

- 1 APS/2APS: Beer Only / Package Sales or On-Premises Consumption
- 1 COP/2COP: Beer and Wine/Package Sales or On-Premises Consumption
- 3 APS: Beer, Wine & Liquor/Package Sales Only
- 4 COP: Beer, Wine & Liquor/On-Premises Consumption

Business Information:

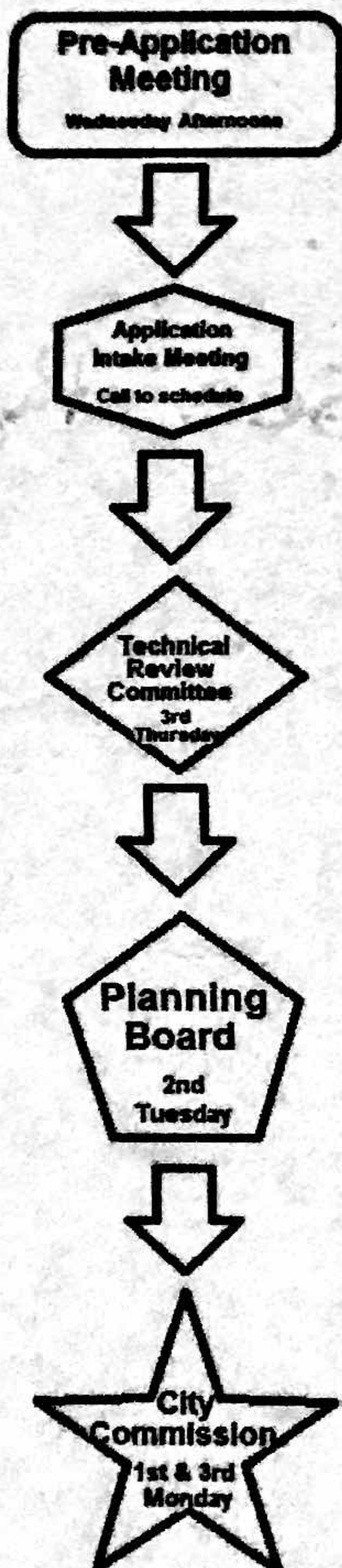
- New Business
- Transfer from: _____ address _____ Open since: _____ year

Building Size 2,200 SF Maximum Occupancy 50 Total Seating 40 Parking Spaces _____

Hours of Operation:

Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
to	to	to	to	to	to	to
11am-11pm	11am-11pm	11am-11pm	11am-11pm	11am-11pm	11am-11pm	11am-11pm

Application Outlook



Minimum requirements for on-premises consumption.

- (1) An applicant holding a "Beer and Wine—Consume on Premises and Package Sales" license must be engaged in conducting a bona fide restaurant establishment, for which such waiver is sought, and to qualify as a bona fide restaurant the restaurant must:
 - (a) Have tables capable of seating not fewer than twenty (20) persons simultaneously, for the purpose of serving meals;
 - (b) Must dispense sales of beer and wine only to persons patronizing the establishment for the main purpose of ordering and consuming food;
 - (c) Have permanent kitchen facilities with a commercial stove, refrigerator and oven located within the premises in which meals are regularly prepared for service to patrons of the establishment.
- (2) An applicant holding a "Beer, Wine and Liquor—Consume on Premises and Package Sales" license must demonstrate that any parking area provided for is illuminated by not less than three (3) footcandles per square foot of parking lot area.

18. **Property Owners Acknowledgements:** - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the waiver of distance as described herein.

Fifer Partners 1 LLC (772) 925-5154

Property Owner's Name (Please Print) Phone
 165 Anchor DR, Vero Beach FL 32963
 Address State Zip

Property Owner's Signature *Michael D. Fifer, Manager* Date *06-29-2017*

STATE OF FLORIDA)
ST LUCIE COUNTY)

The foregoing instrument was acknowledged before me this 29 day of June, 2017, by MICHAEL D. FIFER who is personally known to me or has produced _____ as identification.

Terry Calhoun
Signature of Notary



To be completed by the City

Date Received _____ By _____
 Fee: _____ Receipt# _____

APPLICATION REQUIREMENTS:

- a. **Application fee**
 - b. **Application submission shall include the following:**
 - TRC (Initial Submission): One (1) original and (6) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below.
 - Planning Board: One (1) original and (16) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below
 - Board of Adjustment: One (1) original and (11) paper copies of the application and support documents and provide one (1) electronic copy of the application packet as described below
1. Photometric Plan;
 2. Sketch showing parking and landscaping, and
 3. Sketch showing building layout with square footage - including kitchen, bar area, seating, and restrooms.



GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR CHECKING ACTUAL SITE CONDITIONS BEFORE STARTING CONSTRUCTION.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE COMMENCING WORK.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS BEFORE COMMENCING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL CONTACT ALL CONCERNED UTILITIES AT LEAST 72 HOURS IN ADVANCE OF CONSTRUCTION OPERATIONS.
- NO FIELD CHANGES OR DEVIATIONS FROM DESIGN TO BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER.
- ENGINEER SHALL BE NOTIFIED AT LEAST 72 HOURS IN ADVANCE FOR ANY INSPECTION.
- MINIMUM COVER OF ALL UTILITIES SHALL BE 36" UNLESS STATED OTHERWISE.
- ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION UNLESS NOTED OTHERWISE.
- ROAD ALL DISTURBED AREAS UPON COMPLETION.
- CONTRACTOR SHALL BE THOROUGHLY FAMILIAR WITH THE PROJECT, THESE PLANS AND SPECIFICATIONS, AND ALL LOCAL, STATE AND FEDERAL AGENCY REQUIREMENTS FOR CONSTRUCTION OF THE PROPOSED IMPROVEMENTS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS FOR CONSTRUCTION.
- ALL EXCESS CONSTRUCTION MATERIAL AND WASTE TO BE HAULED OFF-SITE AND DISPOSED OF PROPERLY AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL TAKE EXTREME CAUTION WHEN EXCAVATING NEARBY EXISTING UTILITIES.
- CONTRACTOR SHALL INFORM ENGINEER OF ANY CONFLICT BEFORE ANY FURTHER WORK IS COMPLETED.
- ALL MATERIALS AND LABOR UNDER THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH REQUIREMENTS OF THE CITY, COUNTY, WATER MANAGEMENT DISTRICT, FDEP AND THESE PLANS AND SPECIFICATIONS.
- MAINTENANCE OF TRAFFIC SHALL BE ACCORDING TO FDOT INDEXES.
- ALL APPROVED PERMIT CONDITIONS, INCLUDING BUT NOT LIMITED TO DOT, FDEP, CITY AND COUNTY, SHALL BE MET BY CONTRACTOR PRIOR TO CERTIFICATION OF COMPLETION BY ENGINEER.
- IN ADDITION TO SECTION 700 OF FDOT'S STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, ALL SIGN SHEET MATERIAL SHALL BE DIAMOND GRADE DGS MANUFACTURED BY 3M COMPANY OR APPROVED EQUAL. SIGN POSTS/SUPPORTS SHALL BE AS PER CITY OF FORT PIERCE STANDARDS.
- ALL PARKING SPACES WITH EXCEPTION OF THE HANDICAPPED PARKING SPACES SHALL BE STRIPED IN WHITE. TRAFFIC PAINT AND BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, SECTION 710, LATEST EDITION.
- ALL HANDICAPPED PARKING SPACES SHALL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH FDOT STANDARD INDEX 17346, LATEST EDITION.
- COMMERCIAL/MULTI-FAMILY BUILDINGS SHALL POST A MINIMUM 6 INCH NUMERICAL ADDRESS.
- ALL STRIPING WITHIN CITY RIGHT OF WAY SHALL BE RETRO REFLECTIVE TRAFFIC PAINT (THERMOPLASTIC).

SITE INFORMATION

SITE ADDRESS
717 - 735 N. U.S. HIGHWAY #1
FT. PIERCE, FLORIDA 34950

OWNER/APPLICANT
FIFER PARTNERS, LLC
165 ANCHOR DR
VERO BEACH, FLORIDA 32963
CONTACT PHONE (772) 569-1786

ENGINEER
MBV ENGINEERING, INC.
1835 20TH STREET
VERO BEACH, FLORIDA 32960
PHONE (772) 569-0035

SURVEYOR
HAYHURST LAND SURVEYING INC.
445 9TH ST. S.W. Unit 7
VERO BEACH, FLORIDA 32962
PHONE (772) 569-6680

TAX PARCEL I.D. NUMBER(S)
2403-717-0002-000-8 & 2403-705-0024-000-1

ZONING LAND USE
C3 GC

FLOOD ZONE
THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE 'X' PER FLOOD INSURANCE RATE MAP #12111C0179J, DATED FEB. 16, 2012.

LEGAL DESCRIPTION

PARCEL 1:
THE SOUTH 40 FEET OF LOT 1, ALL OF LOT 2 AND THE NORTH 20 FEET OF LOT 3, BLOCK 4, DUTTON TERRACE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 8, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

PARCEL 2:
LOT 1, BLOCK 1, GLIDDEN'S RESUBDIVISION OF BLOCKS 1, 2 AND 3 OF LOT 11 OF ASSESSOR'S MAP OF THE NORTH PART OF FT. PIERCE, FLORIDA, AS RECORDED IN PLAT BOOK 7, PAGE 6, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, EXCEPT A PARCEL OF SAID LOT 1 DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1, FOR A POINT OF BEGINNING, RUN THENCE SOUTHERLY 26.4 FEET ALONG THE WEST LINE OF SAID LOT 1, TO A POINT THENCE AT AN ANGLE OF 90° WITH THE WEST LINE RUN EASTERLY 46 FEET TO A POINT, THENCE WITH A FORWARD ANGLE OF 9°02' RIGHT RUN EASTERLY 16.0 FEET TO A POINT, THENCE WITH A FORWARD ANGLE OF 5°32' RIGHT RUN EASTERLY TO THE NORTHEAST CORNER OF SAID LOT 1, THENCE RUN WEST ALONG THE NORTH LINE OF SAID LOT 1 TO THE POINT OF BEGINNING.

PARCEL 3:
LOT 4, SUBDIVISION OF THE S. W. JENNINGS ESTATE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 22, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

PARCEL 4:
LOT 1, SUBDIVISION OF THE S. W. JENNINGS ESTATE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 22, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

PARCEL 5:
LOT 2, LESS THE EAST 22 FEET, LOT 3, LESS THE EAST 7 FEET, AND ALL OF LOTS 4 AND 5, SUBDIVISION OF THE S. W. JENNINGS ESTATE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 22, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

PARCEL 6:
LOT 6, SUBDIVISION OF THE S. W. JENNINGS ESTATE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 22, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

PARCEL 7:
LOT 9, FULTZ'S RESUBDIVISION OF RESUBDIVISION OF BLOCK 2 OF DITTMARS ADDITION TO EDGARTOWN, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 36, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, LESS THAT PORTION THEREOF CONVEYED TO THE STATE OF FLORIDA IN OFFICIAL RECORDS BOOK 222, PAGE 90.

PARCEL 8:
LOT 4, LESS THE EAST 86.5 FEET, MRS. ANNA M. FULTZ'S RESUBDIVISION OF LOTS 1, 2, 3 AND 4 OF FULTZ'S RESUBDIVISION OF BLOCK 2 OF DITTMAR'S ADDITION TO EDGARTOWN, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 30, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

PARCEL 9:
LOT 6, LESS THE EAST 86.5 FEET, FULTZ'S RESUBDIVISION OF RESUBDIVISION OF BLOCK 2 OF DITTMARS ADDITION TO EDGARTOWN, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 36, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

PARCEL 10:
LOT 10 AND 11, FULTZ'S RESUBDIVISION OF RESUBDIVISION OF BLOCK 2 OF DITTMARS ADDITION TO EDGARTOWN, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 36, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

PARCEL 11:
LOT 18, BLOCK 'A', ASSESSOR'S MAP OF NORTH PART OF FORT PIERCE, AS PER PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 164, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

PARCEL 12:
LOTS 1, 2, 3, 5, 6 AND THE EAST 86.5 FEET OF LOT 4, MRS. ANNA M. FULTZ'S RESUBDIVISION OF EDGARTOWN, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 30, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

PARCEL 13:
LOTS 5, 7, 8 AND THE EAST 86.5 FEET OF LOT 6, BLOCK 2, FULTZ'S RESUBDIVISION OF RESUBDIVISION OF BLOCK 2 OF DITTMARS ADDITION TO EDGARTOWN, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 36, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

PARCEL 14:
THE SOUTH 30 FEET OF LOT 3 AND ALL OF LOTS 4 AND 5, BLOCK 4, DUTTON TERRACE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 8, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

ALL CONTAINING 4.72 ACRES MORE OR LESS

EXISTING SITE DATA

SITE AREA	= 101,036 SF	= 2.32 Ac	= 100.00 %
EXISTING BUILDING AREA	= 19,474 SF	= 0.45 Ac	= 19.27 %
EXISTING CONCRETE AREA	= 56,983 SF	= 1.31 Ac	= 56.40 %
TOTAL IMPERVIOUS AREA	= 76,457 SF	= 1.76 Ac	= 75.67 %
TOTAL OPEN AREA	= 24,579 SF	= 0.56 Ac	= 24.33 %

PROPOSED SITE DATA

EXISTING SITE AREA	= 101,036 SF	= 2.32 Ac	= 88.06 %
PROPOSED SITE AREA	= 13,699 SF	= 0.31 Ac	= 11.94 %
TOTAL SITE AREA	= 114,732 SF	= 2.63 Ac	= 100.00 %

SITE AREA	= 114,732 SF	= 2.63 Ac	= 100.00 %
EXISTING BUILDING AREA	= 19,474 SF	= 0.45 Ac	= 16.97 %
EXISTING CONCRETE AREA	= 56,983 SF	= 1.31 Ac	= 49.67 %
EXISTING CONCRETE (TO BE REMOVED)	= (1,924) SF	= 0.04 Ac	= 1.68 %
PROPOSED CONCRETE AREA	= 10,974 SF	= 0.25 Ac	= 9.56 %
TOTAL CONCRETE AREA	= 66,033 SF	= 1.52 Ac	= 57.55 %
TOTAL IMPERVIOUS AREA	= 85,507 SF	= 1.96 Ac	= 49.67 %
TOTAL OPEN AREA	= 29,225 SF	= 0.67 Ac	= 25.47 %

PELICAN PLAZA EXISTING USES

RETAIL	= 7,480 SF	= 38 SPACES
PROFESSIONAL OFFICE	= 2,290 SF	= 10 SPACES
MEDICAL OFFICE	= 7,100 SF	= 36 SPACES
VETERINARIAN OFFICE	= 2,400 SF	= 8 SPACES
TOTAL	= 19,270 SF	= 92 SPACES

REQUIRED PARKING FOR EXISTING USES

RETAIL = 1 SPACE/200SF = (7,480 SF/200 SF)	= 38 SPACES
PROFESSIONAL OFFICE = 1 SPACE/300 SF = (2,290 SF/300 SF)	= 10 SPACES
MEDICAL OFFICE = 1 SPACE/200 SF = (7,100 SF/200 SF)	= 36 SPACES
VETERINARIAN OFFICE = 1 SPACE/300 SF = (2,400 SF/300 SF)	= 8 SPACES
TOTAL	= 92 SPACES

EXISTING PARKING PROVIDED = 76 SPACES (72 STANDARD, 4 HANDICAP)

PELICAN PLAZA PROPOSED AND EXISTING USES

EXISTING RETAIL	= 5,480 SF	= 27 SPACES
EXISTING PROFESSIONAL OFFICE	= 2,290 SF	= 10 SPACES
EXISTING MEDICAL OFFICE	= 7,100 SF	= 36 SPACES
EXISTING VETERINARIAN OFFICE	= 2,400 SF	= 8 SPACES
PROPOSED RESTAURANT	= 2,000 SF	= 20 SPACES
TOTAL	= 19,270 SF	= 101 SPACES

REQUIRED PARKING FOR PROPOSED AND EXISTING USES

EXISTING RETAIL = 1 SPACE/200SF = (5,480 SF/200 SF)	= 27 SPACES
EXISTING PROFESSIONAL OFFICE = 1 SPACE/300 SF = (2,290 SF/300 SF)	= 10 SPACES
EXISTING MEDICAL OFFICE = 1 SPACE/200 SF = (7,100 SF/200 SF)	= 36 SPACES
EXISTING VETERINARIAN OFFICE = 1 SPACE/300 SF = (2,400 SF/300 SF)	= 8 SPACES
PROPOSED RESTAURANT = 1 SPACE/100 SF = (2,000 SF/100 SF)	= 20 SPACES
TOTAL	= 101 SPACES

PROPOSED PARKING PROVIDED = 95 SPACES (90 STANDARD, 5 HANDICAP) WILL REQUIRE ANNEXATION OF NORTH PARCEL & PAYMENT INTO PARKING IN LIEU FUND FOR (6) ADDITIONAL SPACES

PERMITS REQUIRED

WASTEWATER SOURCE

FORT PIERCE UTILITIES AUTHORITY

POTABLE WATER SOURCE

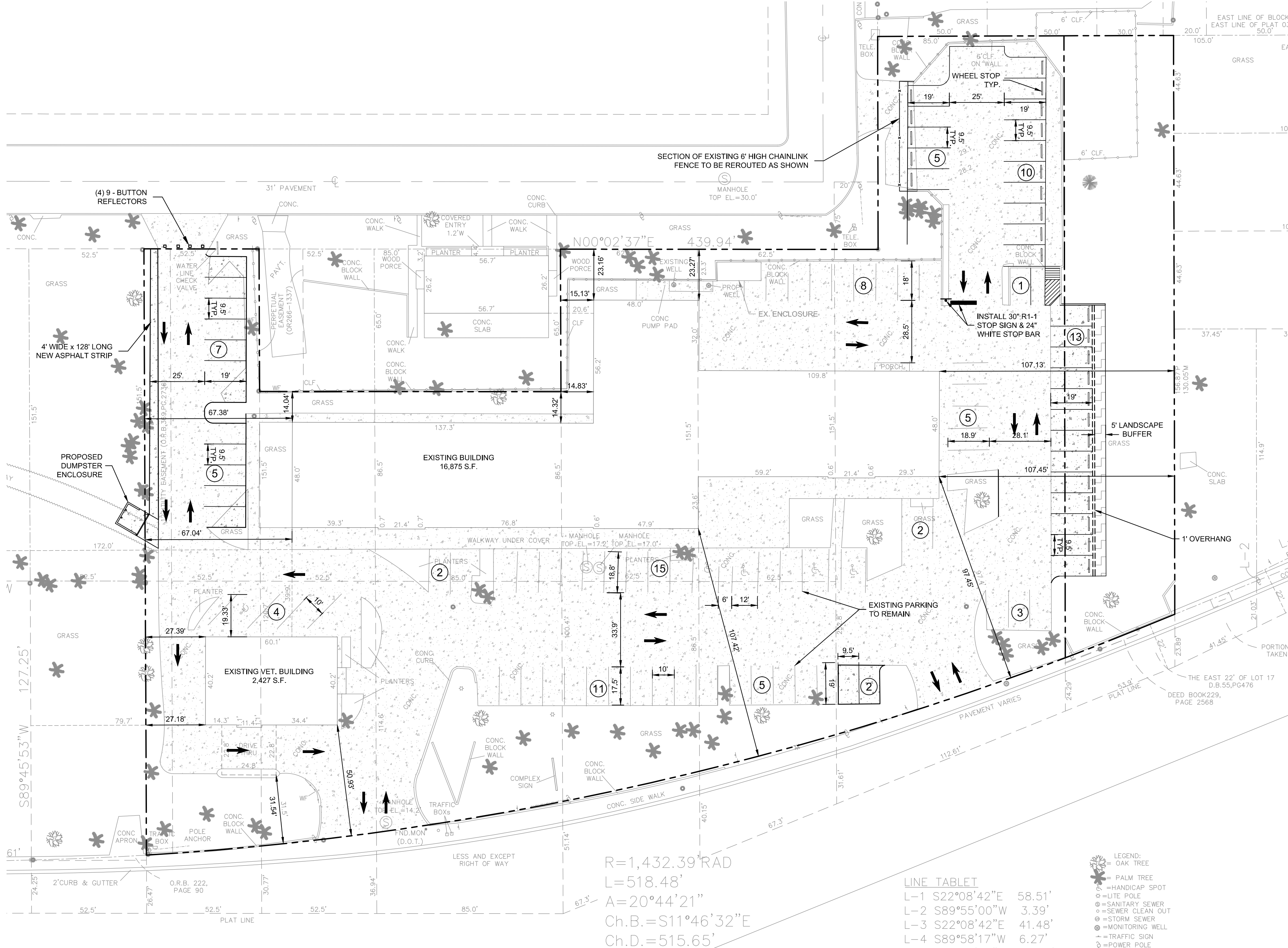
FORT PIERCE UTILITIES AUTHORITY

TRAFFIC STATEMENT

(834) DRIVE THROUGH RESTAURANT (1,817 SF) 495.12' (100 SF = 901 TRIPS)

CONSTRUCTION SCHEDULE

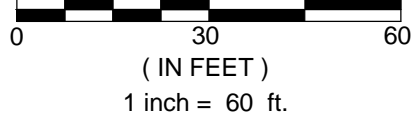
BEGIN CONSTRUCTION	MONTH	YEAR
END CONSTRUCTION	MONTH	YEAR



SITE PLAN

SCALE: 1" = 30'

GRAPHIC SCALE



LEGEND

- EXISTING CONCRETE
- PROPOSED CONCRETE

72 HOURS BEFORE DIGGING
CALL TOLL FREE
811
KNOW WHAT'S BELOW
SUNSHINEFL.COM

<p>REVISIONS</p> <table border="1"> <tr><th>NO.</th><th>DATE</th><th>DESCRIPTION</th></tr> <tr><td>1</td><td></td><td></td></tr> <tr><td>2</td><td></td><td></td></tr> <tr><td>3</td><td></td><td></td></tr> <tr><td>4</td><td></td><td></td></tr> <tr><td>5</td><td></td><td></td></tr> <tr><td>6</td><td></td><td></td></tr> <tr><td>7</td><td></td><td></td></tr> </table>	NO.	DATE	DESCRIPTION	1			2			3			4			5			6			7			<p>JOB NO. 15-462</p> <p>DESIGNED TJH</p> <p>DRAWN GWR</p> <p>DATE MARCH 2016</p> <p>CHECKED GWR</p> <p>DATE ISSUED MARCH 2016</p> <p>SCALE AS NOTED</p>	<p>1835 - 20TH STREET VERO BEACH, FL 32960 PH. (772) 569-0035 FX. (772) 778-3617</p> <p>MELBOURNE, FL - PH (321) 253-1510 FT. PIERCE, FL - PH (772) 468-9055</p>	<p>MBV ENGINEERING, INC. ASSOCIATES MOYA, BOWLES, VILLALBAZAR & ASSOCIATES CONSULTING ENGINEERING CA #3728</p>
	NO.	DATE	DESCRIPTION																								
	1																										
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6																											
7																											
<p>PELICAN CENTER PARKING IMPROVEMENTS</p>																											
<p>SITE PLAN</p>																											
<p>FLORIDA</p>																											
<p>AARON J. BOWLES FL P.E. #55313</p>																											
<p>DATE:</p>																											
<p>SHEET C3 OF 15-462</p>																											

TECHNICAL SPECIFICATIONS

- MATERIALS**
- A.) DRAINAGE PIPING:**
- 1) MINIMUM SIZED PIPING SHALL BE 15" OR EQUIVALENT ELLIPTICAL SIZE AND 18" MINIMUM ON COLLECTOR ROADS, UNLESS OTHERWISE NOTED.
 - 2) ALL STORM PIPING SHALL MEET MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO COORDINATE WITH MANUFACTURER TO ENSURE PROPOSED PIPING DOES NOT REQUIRE ADDITIONAL INSTALLATION MATERIALS, INCLUDING BUT NOT LIMITED TO, STRAPPING, ANCHORING, BUOYANCY, ETC.
 - 3) ALL JOINTS SHALL BE WRAPPED WITH FILTER FABRIC.
 - 4) SAFETY BARS SHALL BE PLACED ON PIPE AND MITERED END SECTIONS WHERE DETERMINED NECESSARY.
 - 5) OUTFALL END RUN TO DITCHES SHALL HAVE A MITERED END SECTION WITH SAFETY BARS TO MATCH EXISTING DITCH BANK SLOPE WITH APPROPRIATE EROSION CONTROL MEASURES UNLESS OTHERWISE NOTED.
- B.) DRAINAGE STRUCTURES:**
- 1) ALL DRAINAGE STRUCTURES SHALL MEET SPECIFIC PLANNED USE AS DETERMINED BY THE DESIGN ENGINEER AND THE LOCAL GOVERNING AGENCY.
 - 2) ALL CATCH BASINS, INLETS OR MANHOLE STRUCTURES SHALL BE OF PRECAST REINFORCED TYPE PURSUANT TO FDOT DESIGN STANDARDS, LATEST EDITION, UNLESS OTHERWISE APPROVED.
 - 3) ALL STRUCTURES SHALL BE FREE OF DEFECTS SUCH AS CRACKING, HONEY COMBS AND EXPOSED STEEL REINFORCING INCLUDING BLEED THROUGH.
 - 4) SHOP DRAWINGS SHALL BE SUBMITTED BEFORE ORDERING MATERIAL FOR PLANNED PROJECT. CORRESPONDING SHALL BE BETWEEN THE DESIGN ENGINEER AND THE LOCAL GOVERNING AGENCY AND IS THE RESPONSIBILITY OF THE CONTRACTOR.
- C.) OUTFALL SPECIFICATIONS:**
- 1) OUTFALL STRUCTURES SHALL INCLUDE ALUMINUM SKIMMERS, WEIR DEVICES, WEEP HOLES AND DRAW DOWN SYSTEMS AS DETERMINED BY DESIGN ENGINEER AND THE LOCAL GOVERNING AGENCY AS REQUIRED.
 - 2) HARDWARE TO ATTACH DEVICES TO OUTFALL STRUCTURES SHALL BE STAINLESS STEEL MATERIAL.
 - 3) CONTRACTOR TO COORDINATE WITH RESPECTIVE JURISDICTIONAL AGENCY FOR OUTFALL PIPE INTO JURISDICTIONAL CANAL, OR ANY OTHER WATER BODY, TO ENSURE PROPER CONSTRUCTION MEANS AND METHODS PROPOSED ARE ACCEPTABLE. IT IS RECOMMENDED THIS COORDINATION IS DONE PRIOR TO CONTRACTOR'S PRICING.

- D.) MANHOLE COVERS & GRATES:**
- 1) MANHOLE FRAMES, COVERS AND GRATES SHALL MEET SPECIFIC PLANNED USE AS DETERMINED BY DESIGN ENGINEER AND THE LOCAL GOVERNING AGENCY.
 - 2) MANHOLE FRAMES AND COVERS SHALL BE OF CAST IRON MATERIALS, UNLESS OTHERWISE NOTED, AND BE FREE FROM CRACKS, HOLES OR COLD SHUTS. FRAMES AND COVERS SHALL CONFORM TO A MINIMUM STANDARD OF USF 1260 SERIES OR EQUIVALENT WITH COVERS STATING 'STORM SEWER.'
 - 3) FRAMES AND GRATES SHALL BE OF CAST IRON MATERIALS, UNLESS OTHERWISE NOTED, AND BE FREE FROM CRACKS, HOLES AND COLD SHUTS. FRAMES AND GRATES SHALL CONFORM TO A MINIMUM STANDARD OF USF 4160-6210 OR EQUIVALENT.

CLEAN-UP
THE CONTRACTOR MUST PROVIDE CLEAN-UP OF EXCESS CONSTRUCTION MATERIAL UPON COMPLETION OF THE PROJECT. THE SITE MUST BE LEFT IN A NEAT, CLEAN, GRADED CONDITION.

DRAINAGE SPECIFICATIONS
STORM INLETS AND MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD DESIGN CRITERIA OF THE FLORIDA DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
PRECAST CONCRETE MANHOLES AND STORM INLETS MAY BE USED UPON THE ENGINEER'S APPROVAL OF THE MANUFACTURER'S SHOP DRAWINGS.

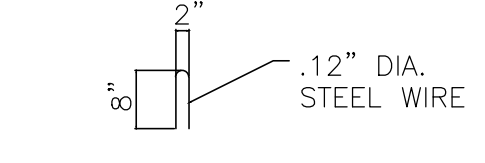
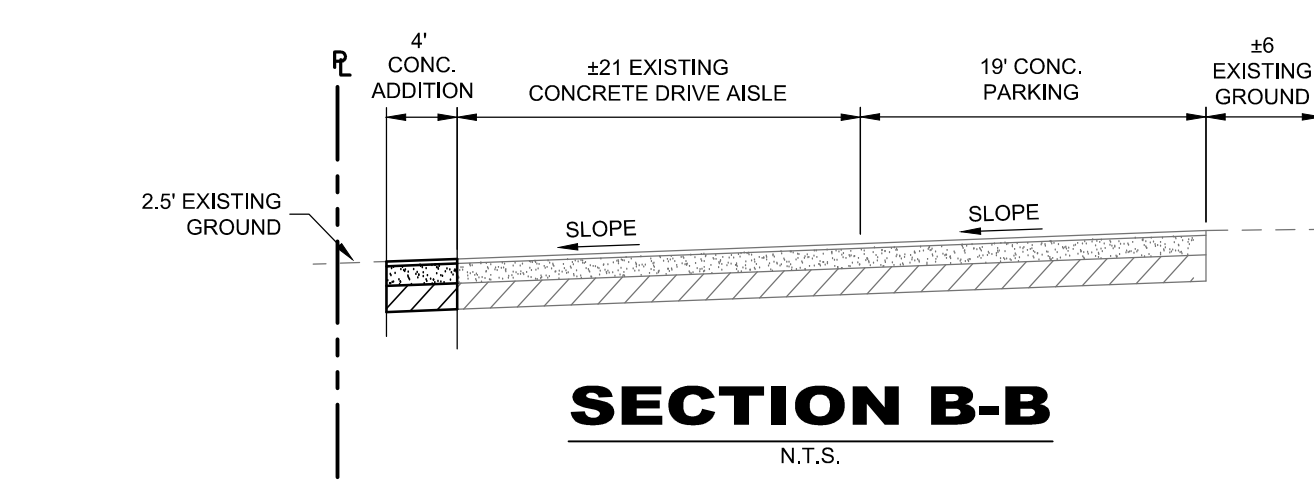
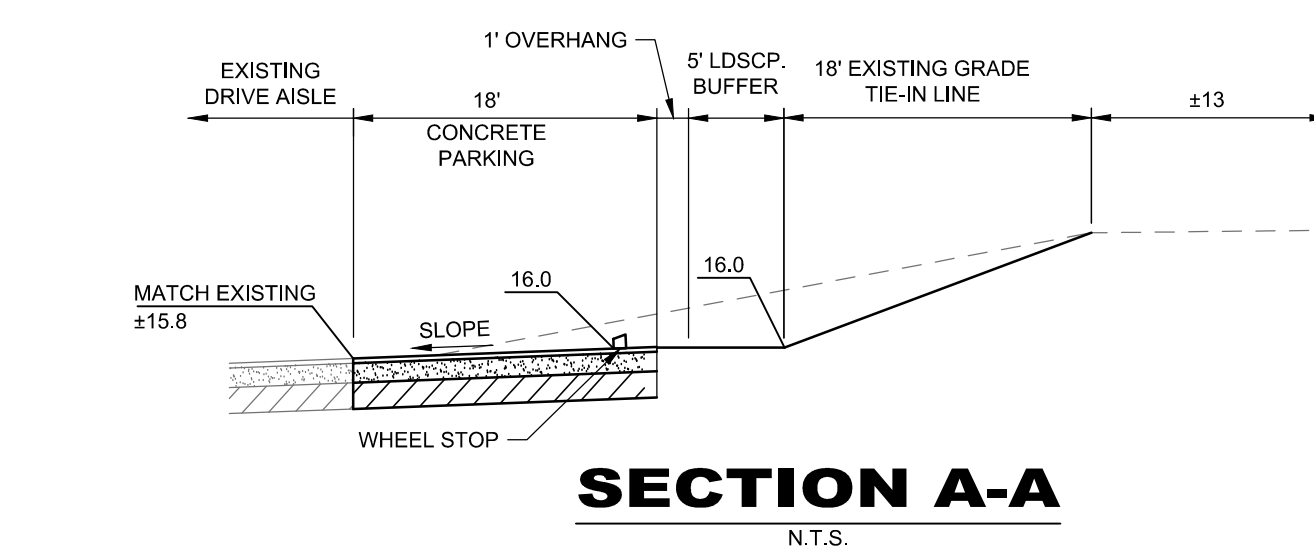
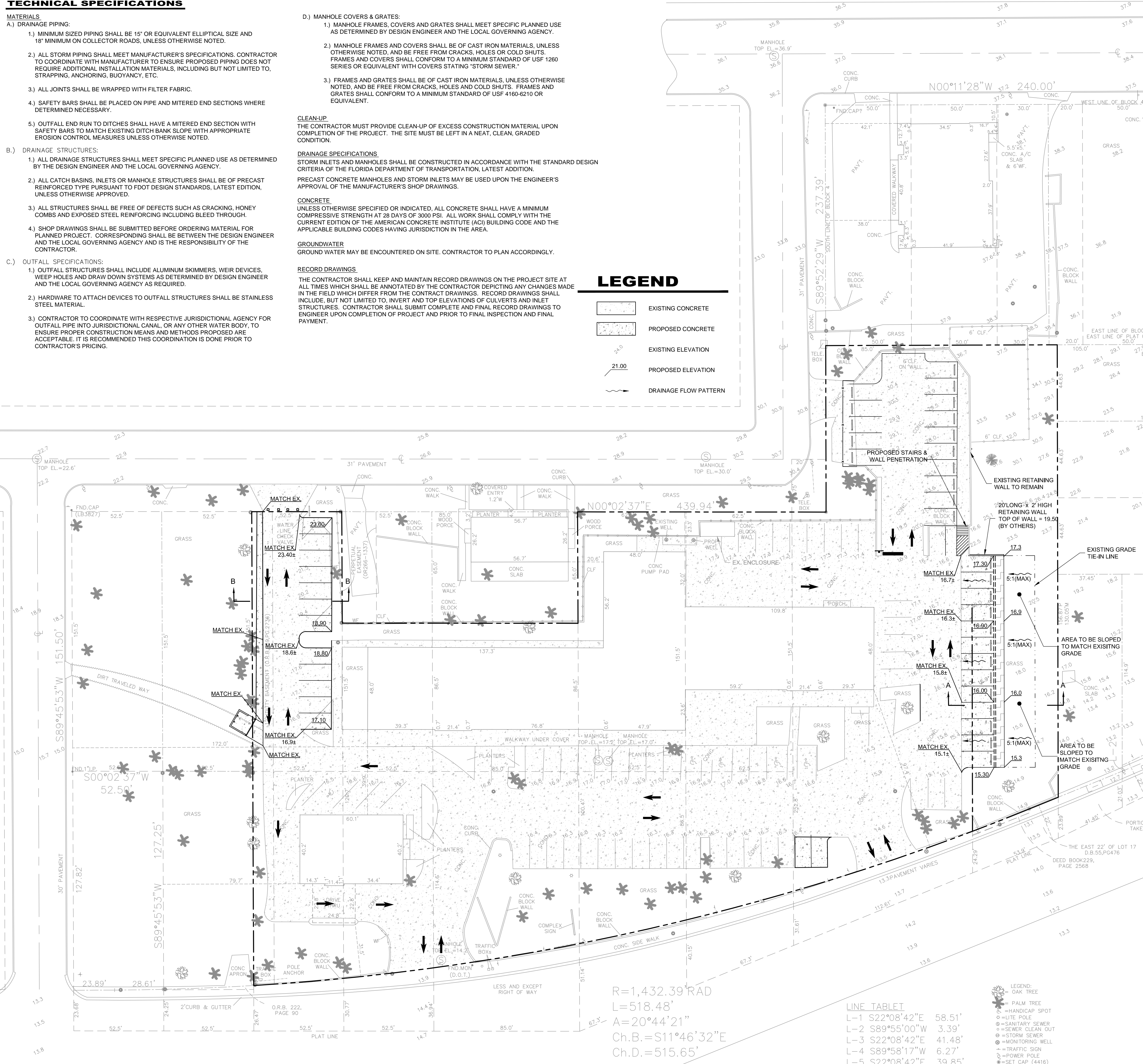
CONCRETE
UNLESS OTHERWISE SPECIFIED OR INDICATED, ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 3000 PSI. ALL WORK SHALL COMPLY WITH THE CURRENT EDITION OF THE AMERICAN CONCRETE INSTITUTE (ACI) BUILDING CODE AND THE APPLICABLE BUILDING CODES HAVING JURISDICTION IN THE AREA.

GROUNDWATER
GROUND WATER MAY BE ENCOUNTERED ON SITE. CONTRACTOR TO PLAN ACCORDINGLY.

RECORD DRAWINGS
THE CONTRACTOR SHALL KEEP AND MAINTAIN RECORD DRAWINGS ON THE PROJECT SITE AT ALL TIMES WHICH SHALL BE ANNOTATED BY THE CONTRACTOR DEPICTING ANY CHANGES MADE IN THE FIELD WHICH DIFFER FROM THE CONTRACT DRAWINGS. RECORD DRAWINGS SHALL INCLUDE, BUT NOT LIMITED TO, INVERT AND TOP ELEVATIONS OF CULVERTS AND INLET STRUCTURES. CONTRACTOR SHALL SUBMIT COMPLETE AND FINAL RECORD DRAWINGS TO ENGINEER UPON COMPLETION OF PROJECT AND PRIOR TO FINAL INSPECTION AND FINAL PAYMENT.

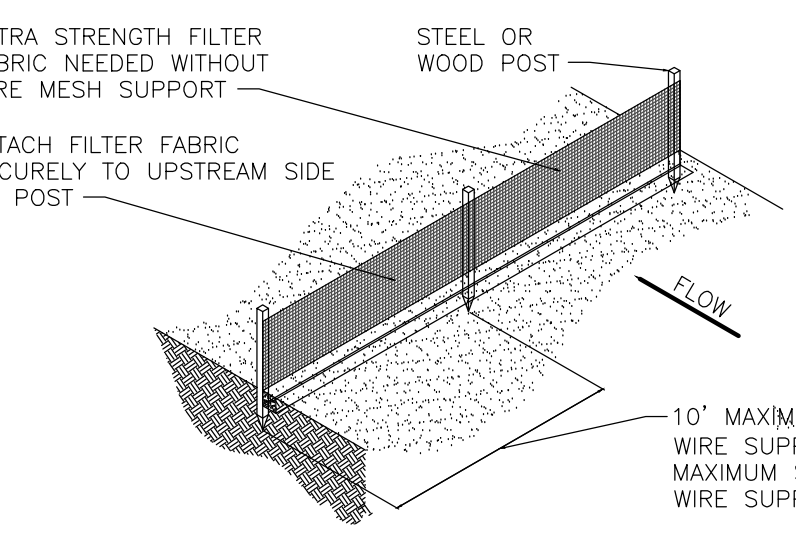
LEGEND

- EXISTING CONCRETE
- PROPOSED CONCRETE
- EXISTING ELEVATION
- PROPOSED ELEVATION
- DRAINAGE FLOW PATTERN



STAPLE DETAIL

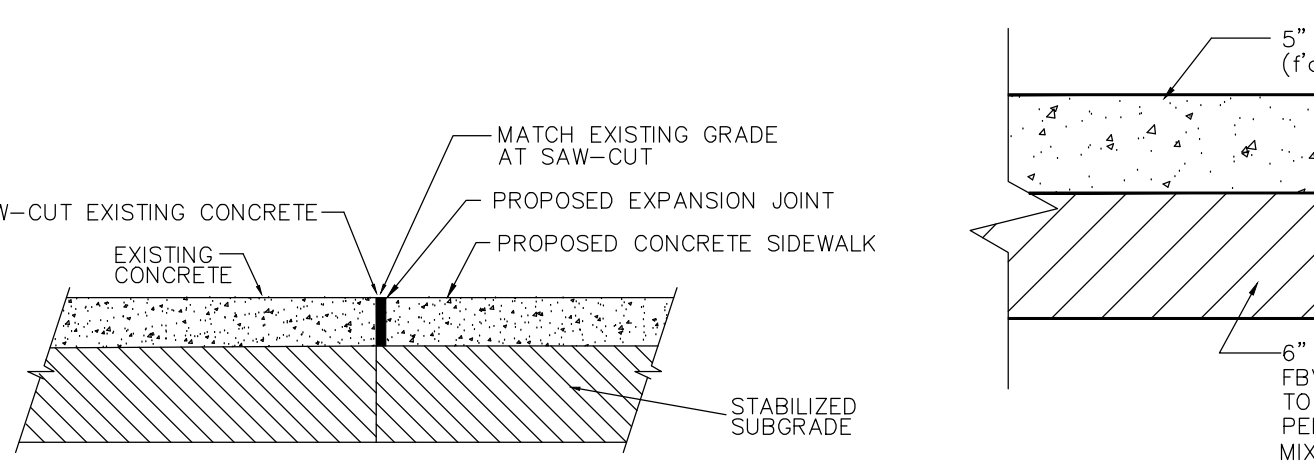
- NOTES:**
1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" MAXIMUM RECOMMENDED STORAGE HEIGHT.
 3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.



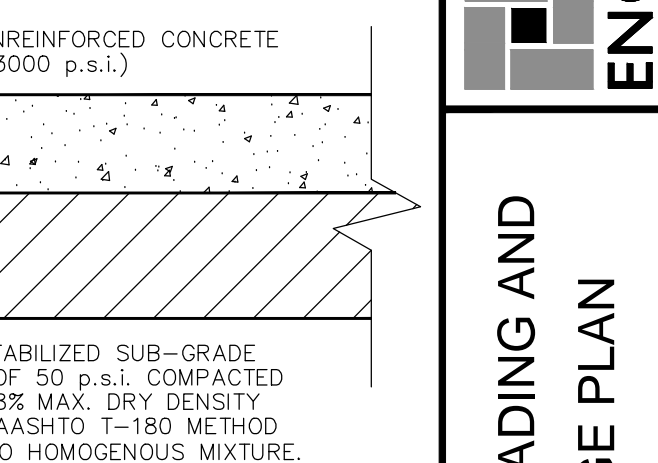
TRENCH DETAIL



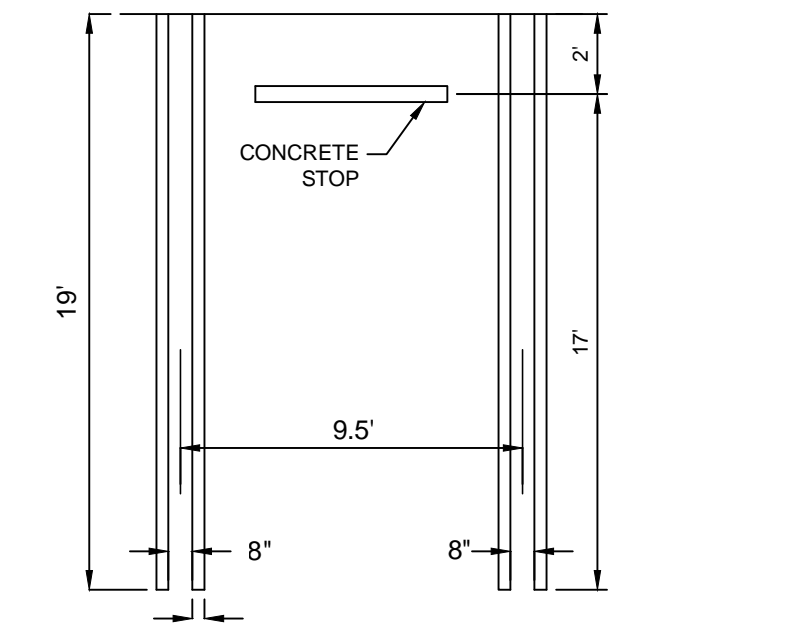
INSTALLATION WITHOUT TRENCHING



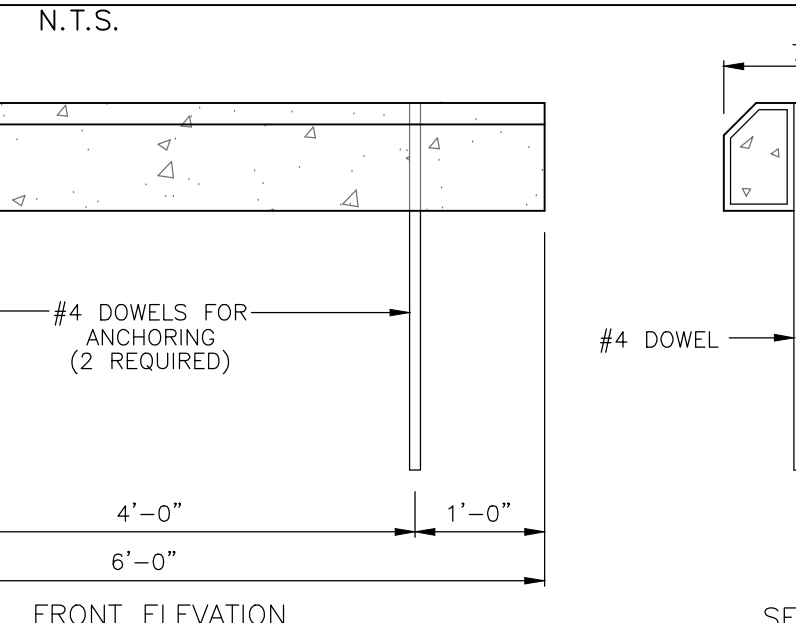
CONCRETE SAW-CUT AND BUTT JOINT



CONCRETE PAVEMENT SECTION



TYP. PARKING SPACE STRIPING DETAIL

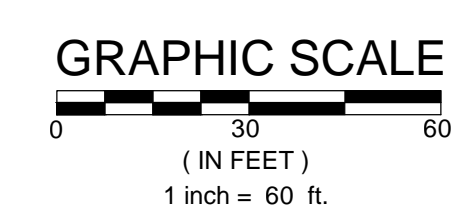
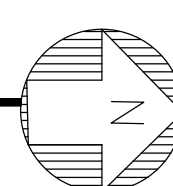


PRE-CAST CONCRETE WHEEL STOP DETAIL

72 HOURS BEFORE DIGGING
CALL TOLL FREE
811
KNOW WHAT'S BELOW
SUNSHINE11.COM

PAVING, GRADING AND DRAINAGE PLAN

SCALE: 1" = 30'



LINE TABLE

L-1	S22°08'42"E	58.51'
L-2	S89°55'00"W	3.39'
L-3	S22°08'42"E	41.48'
L-4	S89°58'17"W	6.27'
L-5	S22°08'42"E	39.85'

R=1,432.39 RAD
L=518.48'
A=20°44'21"
Ch.B.=S11°46'32"E
Ch.D.=515.65'

- LEGEND:**
- OAK TREE
 - PALM TREE
 - HANDICAP SPOT
 - LITE POLE
 - SANITARY SEWER
 - SEWER CLEAN OUT
 - STORM SEWER
 - MONITORING WELL
 - TRAFFIC SIGN
 - POWER POLE
 - SET CAP (4416)
 - FND. POINT (L83670)

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		

JOB NO. 15-462

DESIGNED	TJH
DRAWN	GWR
DATE	MARCH 2016
CHECKED	GWR
DATE ISSUED	MARCH 2016
SCALE	AS NOTED

1835 - 20TH STREET
VERO BEACH, FL 32960
PH. (772) 569-0035
FX. (772) 778-3617
MELBOURNE, FL - PH (321) 253-1510
FT. PIERCE, FL - PH (772) 468-9055

MBV ENGINEERING, INC.
MOA, BOULEVARD AMARZAR & ASSOCIATES
CONSULTING ENGINEERING & CA #3728

PAVING, GRADING AND DRAINAGE PLAN

PELICAN CENTER PARKING IMPROVEMENTS
FLORIDA
CITY OF FORT PIERCE

AARON J. BOWLES
FL P.E. #55313

DATE: SHEET **C4** OF 15-462