



THE SUNRISE CITY

**FORT PIERCE**  
BUILDING DEPARTMENT  
*Florida*



April 23, 2018

Sent via: CERTIFIED LETTER & 1st CLASS MAIL

Mr. John George  
George & Associates Contractors, Inc.  
PO Box 13081  
Ft. Pierce, FL 34979

**Re: Notice of Hearing  
Contractor Complaint – 346 Hernando St.**

Dear Mr. George:

This pertains to the complaint submitted to the City of Fort Pierce against you, as a contractor, in the above-referenced case and provides you with notice of the hearing that has been scheduled on such complaint. The item has been forwarded to the Board for hearing **9:00 a.m. May 8, 2018, in the City Commission Chambers on the first floor of City Hall.**

The Respondent may be represented by counsel at the hearing, may present relevant evidence, and will be given an opportunity to cross examine witnesses. A copy of the Rules of Procedure for Disciplinary Matters for the Fort Pierce Board of Examiners of Contractors may be obtained upon request from the Building Department.

If you have any further questions, please call my assistant at (772) 467-3188.

Sincerely,

Shaun Coss, CFM  
Building Department Coordinator

SC/km  
Enclosures

C (via email): Paul Thomas, CBO, CFM, Building Official  
Linda Cox, City Clerk/Asst. City Manager  
Board Attorney – Iola Mosley  
Contractor's License File  
Complainant



RECEIVED

APR 20 2018

Building Department

**P. O Box 13081  
Fort Pierce FL 34947**

State Certified License No: **CGC1513360, CCC1328132,**  
**Email: Docs@constructionbygeorge.com**  
772-332-3675

Mr. Shaun Coss, CFM  
Building Department Coordinator  
100 North US 1  
Fort Pierce, FL 34950

RE: 346 Hernando Street

Dear Sir,

I am in receipt of your letter dated April 6<sup>th</sup>, 2018 regarding a compliant affidavit filed with the Building Department as it pertains to the above noted address.

My thoughts at first upon receipt of your letter, were that this must be a big misunderstanding. To that end, I would like to share an overview of how we got to this point.

I met with Mr. Price due to a Leak he was having from the top floor to the bottom floor of his building and how we could possibly stop said leak.

After taking my engineer and the foreman I assigned for the job, we identified where the water was entering the building. We concluded that if we would apply a product known in our industry as Bull and flashing around the front windows and front doors to stop the water from traveling to where the leaks were determined to be, and by using the same material that he had in use on his roof, (Peel & Stick) and applying it to the areas where water could penetrate would be the best approach, for which he agreed.

Julio Flores was the foreman and person to perform the actual work on the property as assigned by me and the Owner. GAC pulled a permit for the decking as a roof job, after completing the decking, we requested a payment of the balance of 50% for project and the owner denied it stating that he would like to see the work done first when he got back in town. because he stated that he wanted all wood replaced.

Upon his arrival my operations Manager and I met with the Owner at the job site. He then requested that he wanted all wood replaced. We introduced the contract to him and shared that his request was not apart of the contract, however, if he would like All the wood replaced, my operations manager would work with the him/owner on pricing the additional work which we were not contracted to do.

**P.O. BOX 13081 . Fort Pierce, Florida 34947 . (877) 738-7570 . FAX (800) 430-5936**  
**Web-Site: [www.constructionbygeorge.com](http://www.constructionbygeorge.com)**



**P. O Box 13081**

**Fort Pierce FL 34947**

State Certified License No: **CGC1513360, CCC1328132,**

**Email: [Docs@constructionbygeorge.com](mailto:Docs@constructionbygeorge.com)**

**772-332-3675**

Con't pg2

Our agreement was never about the decking; it was about how to stop water from going to the bottom apartment, however, the railing around the deck was loose, so in spirit of good faith, we told him that we would to tighten up railing. At this point, my operations manager was told that if we were not going to change ALL the wood, that we were not to do anything else. We have been waiting on this Mr. Price to get back to us since.

Thank you for the opportunity to respond.

Respectfully submitted

John L George  
President/CEO GAC



THE SUNRISE CITY  
**FORT PIERCE**  
BUILDING DEPARTMENT *Florida*

file

April 6, 2018

**Sent via: CERTIFIED LETTER & 1<sup>st</sup> CLASS MAIL**

Mr. John George  
George & Associates Contractors, Inc.  
PO Box 13081  
Fort Pierce, FL 34979

**Re: 346 Hernando Street**

Dear Mr. George:

This letter is to inform you that a complaint has been filed with the City of Fort Pierce against you, as the holder of a Contractor's Certificate of Competency, and/or as a contractor certified by the State of Florida. Attached is a copy of the complaint affidavit that has been filed with the Building Department.

You may submit to the Director of Building and Code Enforcement a written response to this complaint within 15 days of the date of this letter. The complaint and your response will be reviewed by the Building Official and Building Department Coordinator, and the complaint shall be referred to the Board for a hearing. You will be notified of the date, time, and place of the hearing.

If you have any further questions, please call my assistant at (772) 467-3188.

Sincerely,

Shaun Coss, CFM  
Building Department Coordinator

SC/km  
Attachment

cc: Iola Mosley, Board Attorney  
Linda Cox, City Clerk/Asst. City Manager  
Contractor's License File  
Complainant



RECEIVED

MAR 12 2018

Building Department

**CONTRACTOR COMPLAINT AFFIDAVIT**

**\*\*Please return completed and notarized form to Building Department\*\***

Person or company complaint is against: George + Associates Contractors Inc  
 Address of alleged offense: 346 Hernando St Fort Pierce, FL 34949

Made by: (Mr /Mrs. /Ms.) Marlon D Price  
 Address: 12799 Sabinal Riv  
 City: San Antonio TX 78253  
 Home Phone: \_\_\_\_\_ Work/Cell Phone: 210 404 8991  
 Email Address: marlandprice@yahoo.com

BEFORE ME, the above signed authority, personally appeared to file a complaint against:  
 Name of Person and/or Company: \_\_\_\_\_  
 Phone Number: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Email: \_\_\_\_\_

In detail, clearly state your complaint below: (Please include any contracts, bills, cancelled checks, correspondences, etc.)

Mr George did not follow the written agreement. Mr George did not complete the work. Mr George proceeded under his own judgement to apply torch down on my wooden deck. Mr George was only to stop the leak above my kitchen at the roof portion. he was not suppose to re-roof my deck. Mr George did not complete the work inside of my unit, Mr George did not monitor none of the work done at my property. Mr George said the work was complete numerous times. He deliberately made false statements of work. Mr George is negligent in every way. nothing has been completed according to our written agreement. I would like to give George + Associates Contractors Inc the opportunity to fix to home before pursuing legal matters in court.

I have paid \$ 5000.00 to: George + Associates Contracting Inc

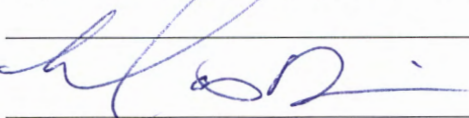
By check X Money Order \_\_\_\_\_ other \_\_\_\_\_

**Continue to next page to fill out alleged charges.**

The Checked boxes specify the charges being brought against the above named contractor under the Fort Pierce Code of Ordinance, Section 5-52:

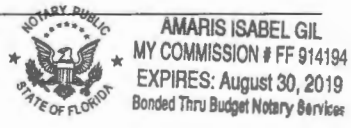
- (1) Obtaining a certificate by fraud or misrepresentation.
- (2) Committing fraud or deceit in the practice of contracting.
- (3) Committing incompetency or misconduct in the practice of contracting.
- (4) Committing gross negligence, repeated negligence, or negligence resulting in a significant danger to life or property.
- (5) Abandoning a construction project in which the contractor is engaged or under contract as a contractor. (A project may be presumed abandoned after ninety days if the contractor terminates the project without just cause or without proper notification to the owner, including the days.)
- (6) Committing mismanagement or misconduct in the practice of contracting that causes financial harm to a customer. Financial mismanagement or misconduct occurs when:
  - (a) Valid liens have been recorded against the property of a contractor's customer for supplies or services ordered by the contractor for the customer's job; the contractor has received funds from the customer to pay for the supplies or services; and the contractor has not had the liens removed from the property, by payment or by bond, within seventy- five (75) days after the date of such liens;
  - (b) The contractor has abandoned a customer's job and the percentage of completion is less than the percentage of the total contract price paid to the contractor as of the time of abandonment, unless the contractor is entitled to retain such funds under the terms of the contract or refunds the excess funds within thirty (30) days after the date the job is abandoned.
  - (c) The contractor's job has been completed, and it is shown that the customer has had to pay more for the contracted job than the original contract price, as adjusted for subsequent change orders, unless such increase in cost was the result of circumstances caused by the customer, or was otherwise permitted by the terms of the contract between the contractor and the customer.
- (7) Substantial departure from, or disregard, of plans or specifications without consent the owner or his duly authorized representative;
- (8) Knowingly or deliberately disregarding or violating any applicable building codes or laws of the state, county or city;
- (9) Willfully and deliberately engaging in a type or class of contracting for which the contractor is not licensed or registered;
- (10) Being disciplined by any other municipality or county;
- (11) Failing to actively supervise construction projects for which the contractor has applied for and obtained a building permit; or for projects for which the contractor is, by contract; responsible;
- (12) Contracting with persons or firms not having a certificate or competency issued by the city for work or services to be performed within the city when said persons or firms are required by this chapter to possess such a certificate of competency in order to perform the contracted work or services;
- (13) Proceeding on any job without obtaining the applicable building department permits and inspections.
- (14) Being convicted or found guilty, regardless of adjudication, of a crime in any jurisdiction which directly relates to the practice of contracting or the ability to practice contracting.
- (15) Knowingly combining or conspiring with an uncertified or unregistered person by allowing his certificate or registration to be used by the uncertified or unregistered person with intent to evade the provision of this code. When a certificate holder or registrant allows his certificate or registration to be used by one (1) or more business organizations without having any active participation in the operations, management, or control of such business organizations, such act constitutes prima facie evidence of an intent to evade the provisions of this Code.

Type of action being requested of the Board (Note: If seeking a refund, this would be a civil matter.)

  
Signature

SWORN TO AND SUBSCRIBED BEFORE ME this 9<sup>th</sup> day of March, 2018

Notary Signature: 





CITY OF FORT PIERCE, FLORIDA  
 BUILDING DEPARTMENT  
 APPLICATION FOR BUILDING PERMIT  
 (772) 467-3529 or 467-3724 FAX (772) 467-3849

Permit # 17-3784  
 FBC 2014 (5th edition)  
 PIN # 243160

\*Property Address 346 Hernandost \*Date \_\_\_\_\_ \*# of plans submitted \_\_\_\_\_ \*# of CD's submitted \_\_\_\_\_

Parcel ID# 2401-501-0120-0002 Phone # (210) 404-8991 Fax # ( )  
 (Located on your tax bill) Email Address \_\_\_\_\_ Cell # ( )

\*Owner Name Marlon Price \*Owner Address 4926 S. Christian Kemp S. Dr.

Type of permit Deck Repair \*Valuation \$ 2,000.00  
 \*Description of Work Cover flood deck floor with cover, so water don't intrude on bottom floor  
 Architect: \_\_\_\_\_ Phone( ) \_\_\_\_\_ Fax ( ) \_\_\_\_\_  
 Email Address \_\_\_\_\_  
 Engineer: \_\_\_\_\_ Phone( ) \_\_\_\_\_ Fax ( ) \_\_\_\_\_  
 Email Address \_\_\_\_\_

\*CONTRACTOR/APPLICANT INFORMATION: City License # \_\_\_\_\_ State License # CCC/328132  
 Company Name George & Associates, Contractor, Inc. Qualifier John L. George  
 Address 286 Bent Creek Dr. City/State Ft. Pierce Zip 34947  
 Phone # (877) 738-7570 Fax # (888) 430-5930 Cell # (772) 834-7001  
 Email Address docs@constructionbygeorge.com

SUBCONTRACTORS: See Subcontractor Verification Sheet. It may be Required to accompany this application  
 Occupancy W/ACAM Construction Type block # of Units 1 # of Stories 2  
 Sq. Ft. Conditioned Space 900 Total Sq. Ft. 8

Is the property located in a Special Flood Hazard Area (floodplain) per the current Flood Insurance Rate Map (FIRM) \_\_\_\_\_

CFA Yes  No AES' under 5000

If Yes, the applicant must include certified elevation information on a FEMA NFIP Elevation Certificate.

I understand that no building may be occupied until a Certificate of Occupancy/Certificate of Completion has been issued after final inspection by the Building Department and full compliance with the building code, city and state ordinances and other applicable rules and regulations. I am also verifying that all sets of plans submitted are identical.

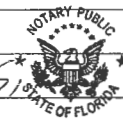
Signature of Applicant [Signature]  
 State of Florida, County of [Signature]

Signature of Property Owner \_\_\_\_\_  
 State of Florida, County of \_\_\_\_\_

Affirmed to and subscribed before me this 18th of December 2017, by John George personally known to me or who has produced as identification.

Affirmed to and subscribed before me this \_\_\_\_\_ of \_\_\_\_\_ 20\_\_\_\_, by \_\_\_\_\_ personally known to me or who has produced as identification.

Notary Signature: [Signature]  
 Notary (print name) AMARIS GIL



AMARIS ISABEL GIL  
 MY COMMISSION # FF 914194  
 EXPIRES: August 20, 2019  
 Bonded Thru Budget Notary Services

Construction documents must accompany this application. The Florida energy code submitted becomes an integral part of this plan and must pass final inspection. "Notice: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public record of this county, and there may be additional permits required from other governmental entities such as waste management district, state agencies, or federal agencies." SIGNATURE OF THE APPLICANT MUST BE NOTARIZED. If owner builder, applicant must sign in person. BUILDING PERMIT includes: Building, Electrical, Plumbing, Mechanical, and Sewer only. All other trades require separate permits.

\*Required Information

Asbestos compliance: It is the owner's or operator's responsibility to comply with section 469.003, Florida Statutes, and to notify the Department of Environmental Protection of his or her intentions to remove asbestos, when applicable, in accordance with state and federal law.

OFFICE USE ONLY

FEES: \* See the break Down Fee Sheet

Total Fees Due \$ 279.63

Remarks CH# 99

Reviewed by [Signature] Date 12-27-17 Final Check \_\_\_\_\_ Date \_\_\_\_\_

PR 100.00 OCA 2.00  
 DE 100.00 DBPR 2.63  
 PL 75.00

DF PER SHAUN WORK STARTED

RECEIVED  
 DEC 20 2017  
 Building Department



Department of Building & Community Response

P.O. Box 1480 • 100 North U.S. 1 • Fort Pierce, FL 34954

Phone: (772) 467-3529 or (772) 467-3724 • Fax: (772) 467-3849

“DEBRIS FORM”
OWNER / BUILDER OR CONTRACTOR AFFIDAVIT

As per City Ordinances 16-22, 16-46, 16-48 and As a condition of obtaining any permit for construction/repair or renovation:

Owner: Marlon Price

Property Address: 346 Hernando St.

Permit # Contractor: George & Associates Contractors, Inc.

I understand and accept full responsibility for the prompt removal of all debris and construction materials from the property for which I am seeking to obtain a building permit in accordance with the Code of Ordinances of the City.

Initials [Signature]

I agree that no debris or construction materials will be placed on any public property or on any public right-of-way except as may be specifically authorized by the Code of Ordinances.

Initials [Signature]

I further understand that prior to a final inspection for the project completion or issuance of a Certificate of Occupancy (or Certificate of Completion), all debris and construction materials shall be removed from the property or the Inspector will not approve the final inspection. Additional reinspection fees shall apply.

Initials [Signature]

I understand and accept full responsibility for debris removal at my own expense in accordance with the City Code of Ordinances.

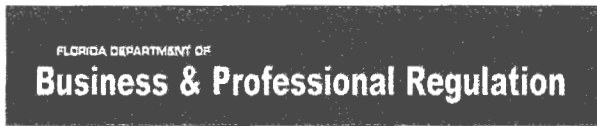
Initials [Signature]

I hereby acknowledge that I have read and understand the above statements and I further understand that any violation of the terms of this affidavit shall be reported to the City of Fort Pierce Department of Building and Community Response for action and possible “stop-work” order under the issued permit.

12/18/2017 Date [Signature] Contractor or Owner/Builder’s Signature

It is the owner and contractor’s responsibility to verify approval for any work through the Home Owner’s Association and/or Condominium Association, if applicable. The City will not be held responsible for disputes between Home Owner’s Association, Condominium Association, owner and/or contractor.

Date Contractor or Owner/Builder’s Signature



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**Product Approval**  
USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > [Application Detail](#)



| FL #   | FL16027-R1  |                 |             |            |      |            |      |            |      |         |      |         |      |
|--|---|-----------------|-------------|------------|------|------------|------|------------|------|---------|------|---------|------|
| Application Type   | Revision  |                 |             |            |      |            |      |            |      |         |      |         |      |
| Code Version   | 2014  |                 |             |            |      |            |      |            |      |         |      |         |      |
| Application Status   | Approved  |                 |             |            |      |            |      |            |      |         |      |         |      |
| Comments   |   |                 |             |            |      |            |      |            |      |         |      |         |      |
| Archived   | <input type="checkbox"/>  |                 |             |            |      |            |      |            |      |         |      |         |      |
| Product Manufacturer   | Tri-Built Materials Group, LLC  |                 |             |            |      |            |      |            |      |         |      |         |      |
| Address/Phone/Email  | PO Box 70<br>Rutherford, NJ 07070<br>(800) 516-1485<br>david.ruiz@tribuiltmg.com  |                 |             |            |      |            |      |            |      |         |      |         |      |
| Authorized Signature   | David Ruiz<br>david.ruiz@tribuiltmg.com   |                 |             |            |      |            |      |            |      |         |      |         |      |
| Technical Representative   | C Richard Schurman  |                 |             |            |      |            |      |            |      |         |      |         |      |
| Address/Phone/Email  | 9050 Louisiana Street<br>Merrillville, IN 46410<br>rich.schurman@alliedbuilding.com   |                 |             |            |      |            |      |            |      |         |      |         |      |
| Quality Assurance Representative                                       | C Richard Schurman  |                 |             |            |      |            |      |            |      |         |      |         |      |
| Address/Phone/Email  | 9050 Louisiana Street<br>Merrillville, IN 46410<br>rich.schurman@alliedbuilding.com   |                 |             |            |      |            |      |            |      |         |      |         |      |
| Category   | Roofing   |                 |             |            |      |            |      |            |      |         |      |         |      |
| Subcategory  | Modified Bitumen Roof System  |                 |             |            |      |            |      |            |      |         |      |         |      |
| Compliance Method  | Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer<br><input checked="" type="checkbox"/> Evaluation Report - Hardcopy Received  |                 |             |            |      |            |      |            |      |         |      |         |      |
| Florida Engineer or Architect Name who developed the Evaluation Report | Robert Nieminen   |                 |             |            |      |            |      |            |      |         |      |         |      |
| Florida License  | PE-59166  |                 |             |            |      |            |      |            |      |         |      |         |      |
| Quality Assurance Entity   | UL LLC  |                 |             |            |      |            |      |            |      |         |      |         |      |
| Quality Assurance Contract Expiration Date                             | 03/31/2019 ✓  |                 |             |            |      |            |      |            |      |         |      |         |      |
| Validated By   | John W. Knezevich, PE<br><input checked="" type="checkbox"/> Validation Checklist - Hardcopy Received   |                 |             |            |      |            |      |            |      |         |      |         |      |
| Certificate of Independence  | <a href="#">FL16027 R1 COI 2015_01 COI Nieminen.pdf</a>   |                 |             |            |      |            |      |            |      |         |      |         |      |
| Referenced Standard and Year (of Standard)                             | <table border="0"> <thead> <tr> <th><b>Standard</b></th> <th><b>Year</b></th> </tr> </thead> <tbody> <tr> <td>ASTM D6163</td> <td>2000</td> </tr> <tr> <td>ASTM D6164</td> <td>2005</td> </tr> <tr> <td>ASTM D6222</td> <td>2008</td> </tr> <tr> <td>FM 4470</td> <td>1992</td> </tr> <tr> <td>FM 4474</td> <td>2004</td> </tr> </tbody> </table> | <b>Standard</b> | <b>Year</b> | ASTM D6163 | 2000 | ASTM D6164 | 2005 | ASTM D6222 | 2008 | FM 4470 | 1992 | FM 4474 | 2004 |
| <b>Standard</b>  | <b>Year</b>   |                 |             |            |      |            |      |            |      |         |      |         |      |
| ASTM D6163   | 2000  |                 |             |            |      |            |      |            |      |         |      |         |      |
| ASTM D6164   | 2005  |                 |             |            |      |            |      |            |      |         |      |         |      |
| ASTM D6222   | 2008  |                 |             |            |      |            |      |            |      |         |      |         |      |
| FM 4470  | 1992  |                 |             |            |      |            |      |            |      |         |      |         |      |
| FM 4474  | 2004  |                 |             |            |      |            |      |            |      |         |      |         |      |
| Equivalence of Product Standards Certified By                          |   |                 |             |            |      |            |      |            |      |         |      |         |      |



Flat Deck



**APPENDIX 1: ATTACHMENT REQUIREMENTS FOR WIND UPLIFT RESISTANCE**

| Table | Deck           | Application                       | Type | Description   | Page  |
|-------|----------------|-----------------------------------|------|---|-------|
| 1A-1  | Wood           | New or Reroof (Tear-Off)          | A-2  | Mech. Attached Anchor Sheet, Bonded Insulation, Bonded Roof Cover         | 4     |
| 1A-2  | Wood           | New, Reroof (Tear-Off) or Recover | A-2  | Mech. Attached Anchor Sheet, Bonded Insulation, Bonded Roof Cover         | 5     |
| 1B    | Wood           | New, Reroof (Tear-Off) or Recover | B    | Mech. Attached Base Insulation, Bonded Top Insulation, Bonded Roof Cover  | 5     |
| 1C    | Wood           | New, Reroof (Tear-Off) or Recover | C    | Mech. Attached Insulation, Bonded Roof Cover                              | 6     |
| 1D    | Wood           | New, Reroof (Tear-Off) or Recover | D    | Prelim. Attached Insulation, Mech. Attached Base Sheet, Bonded Roof Cover | 6     |
| 1E-1  | Wood           | New or Reroof (Tear-Off)          | E    | Non-Insulated, Mech. Attached Base Sheet, Bonded Roof Cover               | 7     |
| 1E-2  | Wood           | New, Reroof (Tear-Off) or Recover | E    | Non-Insulated, Mech. Attached Base Sheet, Bonded Roof Cover               | 8     |
| 1F    | Wood           | New or Reroof (Tear-Off)          | F    | Non-Insulated, Bonded Roof Cover  | 8     |
| 2A    | Steel or Conc. | New, Reroof (Tear-Off) or Recover | B    | Mech. Attached Base Insulation, Bonded Top Insulation, Bonded Roof Cover  | 9     |
| 2B    | Steel or Conc. | New, Reroof (Tear-Off) or Recover | C    | Mech. Attached Insulation, Bonded Roof Cover                              | 10    |
| 2C    | Steel or Conc. | New, Reroof (Tear-Off) or Recover | D    | Prelim. Attached Insulation, Mech. Attached Base Sheet, Bonded Roof Cover | 11    |
| 3A-1  | Concrete       | New or Reroof (Tear-Off)          | A-1  | Bonded Insulation, Bonded Roof Cover                                      | 12-14 |
| 3A-2  | Concrete       | New or Reroof (Tear-Off)          | A-1  | Bonded Temporary Roof, Bonded Insulation, Bonded Roof Cover               | 15    |
| 3B    | Concrete       | New or Reroof (Tear-Off)          | F    | Non-Insulated, Bonded Roof Cover  | 15    |
| 4A    | LWIC           | New or Reroof (Tear-Off)          | A-1  | Bonded Insulation, Bonded Roof Cover                                      | 16-17 |
| 4B    | LWIC           | New or Reroof (Tear-Off)          | A-2  | Mech. Attached Anchor Sheet, Bonded Insulation, Bonded Roof Cover         | 17    |
| 4C    | LWIC           | New or Reroof (Tear-Off)          | E    | Non-Insulated, Mech. Attached Base Sheet, Bonded Roof Cover               | 18-20 |
| 5A    | CWF            | New or Reroof (Tear-Off)          | A-1  | Bonded Insulation, Bonded Roof Cover                                      | 21    |
| 5B    | CWF            | New, Reroof (Tear-Off) or Recover | A-2  | Mech. Attached Anchor Sheet, Bonded Insulation, Bonded Roof Cover         | 22    |
| 5C    | CWF            | New, Reroof (Tear-Off) or Recover | B    | Mech. Attached Base Insulation, Bonded Top Insulation, Bonded Roof Cover  | 22    |
| 5D    | CWF            | New, Reroof (Tear-Off) or Recover | C    | Mech. Attached Insulation, Bonded Roof Cover                              | 23    |
| 5E    | CWF            | New, Reroof (Tear-Off) or Recover | E    | Non-Insulated, Mech. Attached Base Sheet, Bonded Roof Cover               | 23    |
| 6A    | Gypsum         | New or Reroof (Tear-Off)          | A-1  | Bonded Insulation, Bonded Roof Cover                                      | 24    |
| 6B    | Gypsum         | New, Reroof (Tear-Off) or Recover | A-2  | Mech. Attached Anchor Sheet, Bonded Insulation, Bonded Roof Cover         | 25    |
| 6C    | Gypsum         | New, Reroof (Tear-Off) or Recover | C    | Mech. Attached Insulation, Bonded Roof Cover                              | 25    |
| 6D    | Gypsum         | New, Reroof (Tear-Off) or Recover | E    | Non-Insulated, Mech. Attached Base Sheet, Bonded Roof Cover               | 25    |
| 7A    | Various        | Recover                           | A-1  | Bonded Insulation, Bonded Roof Cover                                      | 26-27 |
| 7B    | Various        | Recover                           | F    | Non-Insulated, Bonded Base Sheet, Bonded Roof Cover                       | 27    |

**The following notes apply to the systems outlined herein:**

- The roof system evaluation herein pertains to above-deck roof components. Roof decks and structural members shall be in accordance with FBC requirements to the satisfaction of the AHJ. Load resistance of the roof deck shall be documented through proper codified and/or FBC Approval documentation.
- Insulation / base sheet fasteners shall be of sufficient length for the following deck engagement:
  - > Wood: Minimum 0.75-inch penetration.
  - > Steel: Minimum 0.75-inch penetration and engage the top flute of the steel deck.
  - > Concrete: Minimum 1-inch embedment into pilot hole in accordance with fastener manufacturer's published installation instructions.
- Unless otherwise noted, insulation may be any one layer or combination of polyisocyanurate, polystyrene, wood fiberboard, perlite, Dens Deck, Dens Deck Prime, SECUROCK Gypsum-Fiber Roof Board or SECUROCK Glass-Mat Roof Board that meets the QA requirements of F.A.C. Rule 61G20-3 and is documented as meeting FBC 1505.1 and, for foam plastic, FBC 2603.4.1 or 2603.6, when installed with the roof cover.

14. Unless otherwise noted, refer to the following references for bonded base, ply or cap sheet applications.

| TABLE 1: TRI-BUILT ROOF COVERS                  |             |  |                        |
|---|-------------|--|------------------------|
| Reference                                       | Layer       | Material                                   | Application            |
| BP-AA<br>(Base and Ply sheets, Asphalt-Applied) | Base        | FBC Approved ASTM D4601, Type II           | HA at 20-40 lbs/square |
|   | Ply         | FBC Approved ASTM D2178, Type IV or VI     |                        |
| SBS-AA<br>(SBS, Asphalt-Applied)                | Cap         | TriBuilt SBS Granular                      | HA at 20-40 lbs/square |
| SBS-TA<br>(SBS, Torch-Applied)                  | Cap         | TriBuilt SBS Granular                      | Torch-Applied          |
| SBS-SA<br>(SBS, Self-Adhering)                  | Base        | TriBuilt SA SBS Base                       | Self-Adhering          |
|   | Cap         | TriBuilt SA SBS Cap                        |                        |
| APP-TA<br>(APP, Torch-Applied)                  | Base or Ply | TriBuilt APP Smooth                        | Torch-Applied          |
|   | Cap         | TriBuilt APP Smooth, TriBuilt APP Granular |                        |
| APP-SA<br>(APP, Self-Adhering)                  | Cap         | TriBuilt SA APP Cap                        | Self-Adhering          |

15. The following represent priming requirements for gypsum-based coverboards:

- Dens Deck and Dens Deck Prime shall be field-primed with ASTM D41 primer prior to self-adhering or torch-applied membrane application. No priming is required for hot-asphalt membrane applications.
- SECUROCK Gypsum-Fiber Roof Board does not require field priming for any membrane application.

16. "MDP" = Maximum Design Pressure is the result of testing for wind load resistance based on allowable wind loads. Refer to FBC 1609 for determination of design wind loads.

4. Minimum 200 psi, minimum 2-inch thick lightweight insulating concrete may be substituted for rigid insulation board for System Type D (mechanically attached base sheet, bonded roof cover), whereby the base sheet fasteners are installed through the LWIC to engage the structural steel or concrete deck. The structural deck shall be of equal or greater configuration to the steel and concrete deck listings. Roof decks and structural members shall be in accordance with FBC requirements to the satisfaction of the AHJ. Load resistance of the roof deck shall be documented through proper codified and/or FBC Approval documentation.
5. Unless otherwise noted, insulation adhesive application rates are as follows. Ribbon or bead width is at the time of application; the ribbons/beads shall expand as noted in the manufacturer's published instructions.
  - HA (HA): Full coverage at 25-30 lbs/square.
  - Dow Insta-Stik Roofing Adhesive (D-IS): Continuous 0.75 to 1-inch wide ribbons, 12-inch o.c.
  - Millennium One Step Foamable Adhesive (M-OSFA): Continuous 0.25 to 0.5-inch wide ribbons, 12-inch o.c.
  - OMG OlyBond 500 (OB500): Continuous 0.75 to 1-inch wide ribbons, 12-inch o.c. (PaceCart or SpotShot). *Note: OlyBond Green may be used where OlyBond 500 is referenced.*
  - OlyBond Classic (OB Classic): Full coverage at 1 gal/square.
  - 3M CR-20: Continuous 2.5-3.5-inch wide ribbons, 12-inch o.c.
  - *Note: When multiple layers(s) of insulation and/or coverboard are installed in ribbon-applied adhesive, adhesive ribbons shall be staggered from layer-to-layer a distance of one-half the ribbon spacing.*
  - *Note: The maximum edge distance from the adhesive ribbon to the edge of the insulation board shall be not less than one-half the specified ribbons spacing.*
6. Unless otherwise noted, all insulations are flat stock or taper board of the minimum thickness noted. Tapered polyisocyanurate at the following thickness limitations may be substituted with the following Maximum Design Pressure (MDP) limitations. In no case shall these values be used to 'increase' the MDP listings in the tables; rather if MDP listing below meets or exceeds that listed for a particular system in the tables, then the thinner board listed below may be used as a drop-in for the equivalent thicker material listed in the table:
  - Millennium One Step Foamable Adhesive (M-OSFA): MDP -157.5 psf (Min. 0.5-inch thick)
  - OMG OlyBond 500 (OB500): MDP -45.0 psf (Min. 0.5-inch thick Multi-Max FA-3)
  - OMG OlyBond 500 (OB500): MDP -187.5 psf (Min. 0.5-inch thick ISO 95+ GL)
  - OMG OlyBond 500 (OB500): MDP -315.0 psf (Min. 0.5-inch thick ENRGY 3)
  - OMG OlyBond 500 (OB500): MDP -487.5 psf (Min. 0.5-inch thick ACFoam II)
  - 3M CR-20: MDP -117.5 psf (Min. 1.0-inch thick)
7. Bonded polyisocyanurate insulation boards shall be maximum 4 x 4 ft.
8. For mechanically attached components or partially bonded insulation, the maximum design pressure for the selected assembly shall meet or exceed the Zone 1 design pressure determined in accordance with FBC Chapter 16, and Zones 2 and 3 shall employ an attachment density designed by a qualified design professional to resist the elevated pressure criteria. Commonly used methods are RAS 117 and FM LPDS 1-29. Assemblies marked with an asterisk\* carry the limitations set forth in Section 2.2.1.5.1(a) of FM LPDS 1-29 for Zone 2/3 enhancements.
9. For fully bonded assemblies, the maximum design pressure for the selected assembly shall meet or exceed critical design pressure determined in accordance with FBC Chapter 16, and no rational analysis is permitted.
10. For mechanically attached components over existing decks, fasteners shall be tested in the existing deck for withdrawal resistance. A qualified design professional shall review the data for comparison to the minimum requirements for the system. Testing and analysis shall be in accordance with TAS 105 or ANSI/SPRI FX-1.
11. For existing substrates in a bonded recover installation, the existing roof system shall be examined for compatibility and bond performance with the selected adhesive, and the existing roof system shall be capable of resisting project design pressures on its own merit to the satisfaction of the AHJ, as documented through field uplift testing in accordance with ASTM E907, FM LPDS 1-52, ANSI/SPRI IA-1 or TAS 124.
12. For Recover Applications using System Type D, the insulation is optional; however, the existing roof system shall be suitable for a recover application.
13. LWIC shall be cast in accordance with FBC Section 1917 to the satisfaction of the Authority Having Jurisdiction. For systems where specific LWIC is referenced, refer to current LWIC Product Approval for specific deck construction and limitations. For systems where specific LWIC is not referenced, the minimum design mix shall be 300 psi. In all cases, the minimum top-coat thickness is 2-inches. For LWIC over structural concrete, reference is made to FBC Section 1917.4.1, Point 1.

14. Unless otherwise noted, refer to the following references for bonded base, ply or cap sheet applications.

| TABLE 1: TRI-BUILT ROOF COVERS                  |             |  |                        |
|---|-------------|--|------------------------|
| Reference                                       | Layer       | Material                                   | Application            |
| BP-AA<br>(Base and Ply sheets, Asphalt-Applied) | Base        | FBC Approved ASTM D4601, Type II           | HA at 20-40 lbs/square |
|   | Ply         | FBC Approved ASTM D2178, Type IV or VI     |                        |
| SBS-AA<br>(SBS, Asphalt-Applied)                | Cap         | TriBuilt SBS Granular                      | HA at 20-40 lbs/square |
| SBS-TA<br>(SBS, Torch-Applied)                  | Cap         | TriBuilt SBS Granular                      | Torch-Applied          |
| SBS-SA<br>(SBS, Self-Adhering)                  | Base        | TriBuilt SA SBS Base                       | Self-Adhering          |
|   | Cap         | TriBuilt SA SBS Cap                        |                        |
| APP-TA<br>(APP, Torch-Applied)                  | Base or Ply | TriBuilt APP Smooth                        | Torch-Applied          |
|   | Cap         | TriBuilt APP Smooth, TriBuilt APP Granular |                        |
| APP-SA<br>(APP, Self-Adhering)                  | Cap         | TriBuilt SA APP Cap                        | Self-Adhering          |

15. The following represent priming requirements for gypsum-based coverboards:

- Dens Deck and Dens Deck Prime shall be field-primed with ASTM D41 primer prior to self-adhering or torch-applied membrane application. No priming is required for hot-asphalt membrane applications.
- SECUROCK Gypsum-Fiber Roof Board does not require field priming for any membrane application.

16. "MDP" = Maximum Design Pressure is the result of testing for wind load resistance based on allowable wind loads. Refer to FBC 1609 for determination of design wind loads.

**TABLE 1E-1: WOOD DECKS – NEW CONSTRUCTION OR REROOF (TEAR-OFF)  
SYSTEM TYPE E: NON-INSULATED, MECHANICALLY ATTACHED BASE SHEET, BONDED ROOF COVER**

| System No. | Deck (See Note 1)                             | Base Sheet  |   |   | Roof Cover                              |                                  | MDP (psf) |
|------------|---|---|---|---|---|----------------------------------|-----------|
|            |   | Base  | Fasteners   | Attach  | Ply                                     | Cap                              |           |
| W-14       | Min. 15/32-inch plywood at max. 24-inch spans | Polyglass Elastobase  | Simplex MAXX Cap  | 9-inch o.c. at 2-inch lap and 18-inch o.c. in two, equally spaced, staggered center rows  | (Optional) BP-AA or APP-TA              | SBS-AA, SBS-TA or APP-TA         | -45.0*    |
| W-15       | Min. 15/32-inch plywood at max. 24-inch spans | Polyglass Elastobase  | Simplex MAXX Cap  | 9-inch o.c. at 2-inch lap and 12-inch o.c. in two, equally spaced, staggered center rows  | (Optional) BP-AA or APP-TA              | SBS-AA, SBS-TA or APP-TA         | -52.5     |
| W-16       | Min. 19/32-inch plywood at max. 24-inch spans | Polyglass Elastobase, Polyglass Elastobase Poly, Polyglass G2 Base, CertainTeed Glasbase, Firestone MB Base, JM Perma-Ply 28, Tamko Glass Base or GAFGLAS #75 | 32 ga., 1-5/8-inch diameter tin caps with 11 ga. annular ring shank nails   | 8-inch o.c. in 4-inch lap and 8-inch o.c. in three, equally spaced, staggered center rows | (Optional) One or more BP-AA or APP-TA  | SBS-AA, SBS-TA, APP-TA           | -60.0     |
| W-17       | Min. 19/32-inch plywood at max. 24-inch spans | Polyglass Elastobase or Polyglass Elastobase Poly with poly top surface   | 32 ga., 1-5/8-inch diameter tin caps with 11 ga. annular ring shank nails   | 8-inch o.c. in 4-inch lap and 8-inch o.c. in three, equally spaced, staggered center rows | (Optional) One or more SBS-SA or APP-TA | SBS-SA, APP-SA, SBS-TA or APP-TA | -60.0     |
| W-18       | Min. 15/32-inch plywood at max. 24-inch spans | Polyglass Elastobase  | Simplex MAXX Cap  | 6-inch o.c. at 2-inch lap and 6-inch o.c. in two, equally spaced, staggered center rows   | (Optional) BP-AA or APP-TA              | SBS-AA, SBS-TA or APP-TA         | -90.0     |
| W-19       | Min. 19/32-inch plywood at max. 24-inch spans | Polyglass Elastobase or Polyglass Elastobase Poly with poly top surface   | 32 ga., 1-5/8-inch diameter tin caps with 11 ga. annular ring shank nails.  | 4-inch o.c. in 4-inch lap and 4-inch o.c. in four, equally spaced, staggered center rows  | (Optional) One or more SBS-SA or APP-TA | SBS-SA, APP-SA, SBS-TA or APP-TA | -97.5     |
| W-20       | Min. 15/32-inch plywood at max. 24-inch spans | Polyglass Elastobase  | Simplex MAXX Cap  | 6-inch o.c. at 2-inch lap and 6-inch o.c. in three, equally spaced, staggered center rows | (Optional) BP-AA or APP-TA              | SBS-AA, SBS-TA or APP-TA         | -105.0    |
| W-21       | Min. 19/32-inch plywood at max. 24-inch spans | Polyglass Elastobase or Polyglass Elastobase Poly   | 32 ga., 1-5/8-inch diameter tin caps with 11 ga. annular ring shank nails   | 6-inch o.c. in 4-inch lap and 6-inch o.c. in four, equally spaced, staggered center rows  | (Optional) One or more BP-AA or APP-TA  | SBS-AA, SBS-TA, APP-TA           | -112.5    |
| W-22       | Min. 19/32-inch plywood at max. 24-inch spans | Polyglass Elastobase or Polyglass Elastobase Poly with poly top surface   | 32 ga., 1-5/8-inch diameter tin caps with 11 ga. annular ring shank nails.<br>Note: Tin caps are to be primed with ASTM D41 primer. | 6-inch o.c. in 4-inch lap and 6-inch o.c. in four, equally spaced, staggered center rows  | (Optional) One or more APP-TA           | SBS-SA, APP-SA, SBS-TA or APP-TA | -112.5    |

George & Associates Contractors Inc.

jgeorge@constructionbygeorge.com  
www.constructionbygeorge.com

# INVOICE

**BILL TO**

Marlon Price  
346 Hernando St.  
Fort Pierce, Florida

**INVOICE #** 1024  
**DATE** 12/06/2017  
**DUE DATE** 01/05/2018  
**TERMS** Net 30

---

| ACTIVITY  | QTY  | RATE      | AMOUNT   |
|---|------|-----------|----------|
| <b>Decking</b><br>Remove and Replace door, decking, boards and repair railings. Flashing, Underlayment, and Bull.                       | 8    | 850.00    | 6,800.00 |
| <b>Ceiling drywall</b><br>R&R drywall, finish with paint. Spray microbiology  | 1    | 1,200.00  | 1,200.00 |
| <b>Wall &amp; Ceiling:R&amp;R Drywall</b><br>Remove and Replace kitchen cabinets fix wall and ceiling and walls. Spray microbial agent. | 1    | 3,400.00  | 3,400.00 |
| <b>Baseboard</b>  | 1    | 250.00    | 250.00   |
| <b>Overhead/Profit</b><br>20% for G.C. to manage work and pull permitting.  | 0.20 | 11,650.00 | 2,330.00 |

---

Balance Owed: \$8,980.00

PAYMENT 5,000.00  
BALANCE DUE **\$8,980.00**

George & Associates Contractors Inc.

jgeorge@constructionbygeorge.com  
www.constructionbygeorge.com

# ESTIMATE

**ADDRESS**

Marlon Price

**ESTIMATE #** 1020

**DATE** 10/30/2017

---

| ACTIVITY  | QTY  | RATE      | AMOUNT   |
|---|------|-----------|----------|
| <b>Decking</b><br>Remove and Replace door, decking, boards and repair railings. Flashing, Underlayment, and Bull.                       | 8    | 850.00    | 6,800.00 |
| <b>Ceiling drywall</b><br>R&R drywall, finish with paint. Spray microbilogy   | 1    | 1,200.00  | 1,200.00 |
| <b>Wall &amp; Ceiling:R&amp;R Drywall</b><br>Remove and Replace kitchen cabinets fix wall and ceiling and walls. Spray microbial agent. | 1    | 3,400.00  | 3,400.00 |
| <b>Baseboard</b><br>Remove and Replace  | 1    | 250.00    | 250.00   |
| <b>Overhead/Profit</b><br>20% for G.C. to manage work and pull permitting.  | 0.20 | 11,650.00 | 2,330.00 |

No cabinets, "Cleaned"; No New doors; No floor tiles and No electrical work.

If any other things found once opening up stairs decking, or door area; a change order would be needed.

**TOTAL**

**\$13,980.00**

Accepted By

Accepted Date





John George

I understand that but the gap at the back and the railings was key issues that we went over.

What gap? Railings was reinforced with screws and wood replaced that was bad. I will be going out there and we can facetime while I'm there.

*Mr George's reply*  
*Acknowledged that railings were part of the job description*

The gap was about 2 to 3 inches wide at the back of the deck. We could see through to the ground. Likely can look from the bottom and see it.



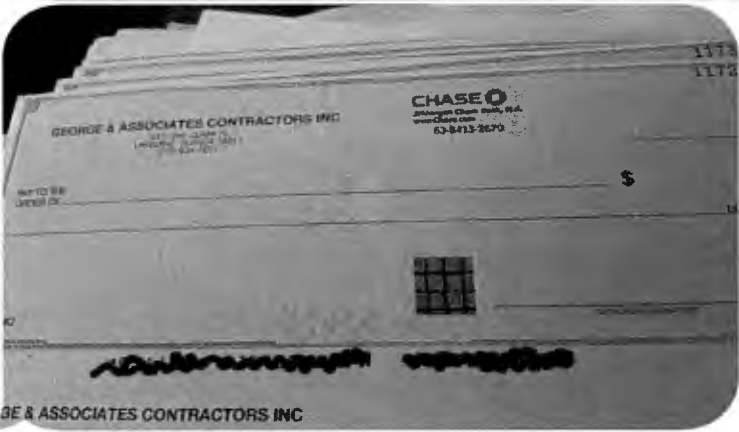
Text Message



< JG John ⓘ

Final invoice has been sent to your email. Final payment can be deposit into this bank account. Thanks...Let me know what else we can help you with.

← Mr George's reply  
Confirmed job was finished



Thu, Feb 8, 7:54 AM

Mr George

We are done. I sent you my final invoice via email and banking information on this text.

← Confirmed Job finished  
← He lied.

RECEIVED

APR 20 2018

Building Department

George & Associates Contractors Inc.

jgeorge@constructionbygeorge.com  
www.constructionbygeorge.com

# INVOICE

**BILL TO**

Marlon Price  
346 Hernando St.  
Fort Pierce, Florida

**INVOICE # 1024**

**DATE 12/06/2017**

**DUE DATE 01/05/2018**

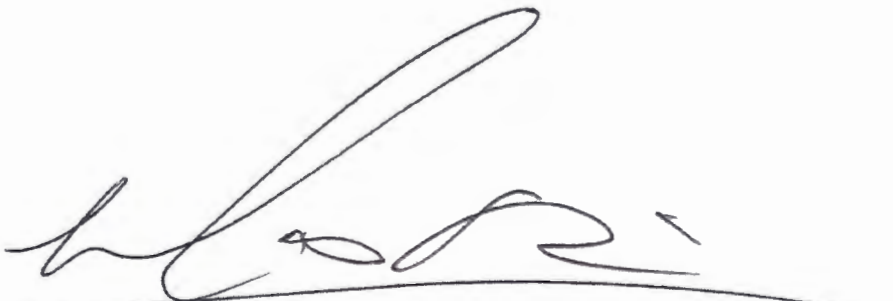
**TERMS Net 30**

| ACTIVITY  | QTY  | RATE      | AMOUNT   |
|---|------|-----------|----------|
| <b>Decking</b><br>Remove and Replace door, decking, boards and repair railings. Flashing, Underlayment, and Bull.                       | 8    | 850.00    | 6,800.00 |
| <b>Ceiling drywall</b><br>R&R drywall, finish with paint. Spray microbiology  | 1    | 1,200.00  | 1,200.00 |
| <b>Wall &amp; Ceiling:R&amp;R Drywall</b><br>Remove and Replace kitchen cabinets fix wall and ceiling and walls. Spray microbial agent. | 1    | 3,400.00  | 3,400.00 |
| <b>Baseboard</b><br>Remove and Replace  | 1    | 250.00    | 250.00   |
| <b>Overhead/Profit</b><br>20% for G.C. to manage work and pull permitting.  | 0.20 | 11,650.00 | 2,330.00 |

This project is to stop water from going down to bottom.  
No new door, cabinet or wood. This is only for the tightening of railings and decking. The covering is Peel and Stick Cap for decking

**BALANCE DUE**

**\$13,980.00**



Owner

4400 ALLIED BUILDING PRODUCTS  
 701 S MARKET AVE  
 FORT PIERCE, FL 34982  
 (772) 466-3461

|            |
|------------|
|            |
| 4505       |
| 12/15/2017 |
|            |
|            |



ALLIED BUILDING PRODUCTS  
 701 S MARKET AVE  
 FORT PIERCE, FL 34982  
 Phone: (772)466-3461 | Fax: (772)466-4542

TICKET # 18262657-00 RM

|           |                          |         |        |
|-----------|--------------------------|---------|--------|
| SHIP WHSE | FPIE                     | PAGE#   | 1 of 2 |
| DOCUMENT  | PICK TICKET/PACKING LIST |         |        |
| SHIP VIA  | Customer P/U             |         |        |
| PRINTED   | 12/15/2017 09:45:06 JAME |         |        |
| CUST WHSE | FPIE                     | STAGING |        |

Order ID: 1340  
 Merchant ID: 000111017021  
 User ID: 080

**Refund**

XXXXXXXXXX1015  
 ANEX

Entry Method: Online

Total: \$ 1,375.96

12/15/17 10:18:31  
 Inv #: 000009 Appr Code: 956118  
 Apprvd: Online Batch#: 349601  
 Retrieval Ref #: 000000

AMERICAN EXPRESS  
 AID: 000000025010001  
 ISI: 0000  
 IAN: 0000000000

Customer Copy

\*\*\* RETURN MERCH. \*\*\*

|          |         |  |
|----------|---------|--|
| G - FPIE | SHIP TO | GENERIC CASH RFG - FPIE<br>701 S MARKET AVE<br>FORT PIERCE, FL 34982 |
| 34982    |         |  |

|              |                       |
|--------------|-----------------------|
| PICKED BY    | CONDITION OF MATERIAL |
| CHECKED BY   | TRUCK ID:             |
| DELIVERED BY |                       |

| Weight   | Bin Location           | Qty Ordered | Qty B.O. | Qty Shipped | Qty UOM | Qty Picked | Price Per | Amount Net |
|--|------------------------|-------------|----------|-------------|---------|------------|-----------|------------|
| <b>ITEM IS A RETURN - DO NOT PICK ****</b>   |                        |             |          |             |         |            |           |            |
| 1540.00  | WH/02/R18/             | 22.00-      |          | 22.00-      | RL      |            | 44.85000  | 986.70     |
| -X   |                        |             |          |             |         |            |           |            |
| <b>ITEM IS A RETURN - DO NOT PICK ****</b>   |                        |             |          |             |         |            |           |            |
| 140.00   | WH/02/R15/             | 2.00-       |          | 2.00-       | RL      |            | 86.40000  | 172.80     |
| A-V  |                        |             |          |             |         |            |           |            |
| <b>LINE ITEM IS A RETURN - DO NOT PICK ****</b>  |                        |             |          |             |         |            |           |            |
| 24.00  | YD/04/13 /<br>WH/07/ / | 20.00-      |          | 20.00-      | PC      |            | 5.00000   | 100.00     |
| ALV 2X2 10FT   | 10 LFT = PC            |             |          |             |         |            |           |            |
| <b>**** THE FOLLOWING LINE ITEM IS A RETURN - DO NOT PICK ****</b>   |                        |             |          |             |         |            |           |            |
| 4 18648010   | WH/04/R02/S01          | 1.00-       |          | 1.00-       | PL      |            | 38.10000  | 38.10      |
| TRI-BUILT G-FL A/F MOD<br>BIT ADH TROWEL 5GL<br>* Shipping by GROUND or WATER DOMESTIC VOYAGE is "not restricted" in containers (Less Than) < 450L (119 gallons)<br>* DO NOT SHIP BY AIR |                        |             |          |             |         |            |           |            |

Continued....

\*\*\*\*\*Do Not Write Below This Line\*\*\*\*\*

THIS SALE IS SUBJECT TO THE TERMS AND CONDITIONS AND RETURN POLICY FOUND AT WWW.ALLIEDBUILDING.COM. BUYER ACKNOWLEDGES READING SUCH TERMS AND CONDITIONS AND RETURN POLICY.



18262657-00 1 OF 2



FPIE RM

Customer Copy



Notice to Purchaser - In the event that this check is lost, misplaced or stolen, a sworn statement and 90-day waiting period will be required prior to replacement. This check should be negotiated within 90 days.

# Cashier's Check - Customer Copy

No. 1028507952

Void After 90 Days

30-1/1140

Date 12/06/17 02:05:32 PM

SABAL PALM

0007 0109483 0141

NTX

Pay

 **BANK OF AMERICA** **5000.00**  
FIVE ZERO ZERO ZERO CT SCTS

\*\*Five Thousand and 00/100 Dollars\*\*

**\*\*\$5,000.00\*\***

To The Order Of **GEORGE & ASSOCIATES CONTRACTOR, INC.**

**Not-Negotiable  
Customer Copy  
Retain for your Records**

Remitter (Purchased By): **MARLON D PRICE**

001641001973

Bank of America, N.A.  
SAN ANTONIO, TX

00-33-3364B 11-2010