

LEGAL DESCRIPTION

LOTS 39 AND 40, BLOCK 2, AMY ANN PARK, THE SAME BEING A SUBDIVISION IN THE CITY OF FORT PIERCE, FLORIDA, AS RECORDED IN PLAT BOOK 4, PAGE 72, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; EXCLUSIVE OF THAT PORTION OF SAID LAND WHICH HAS BEEN PREVIOUSLY DEDICATED FOR STREET PURPOSES.

ABBREVIATIONS

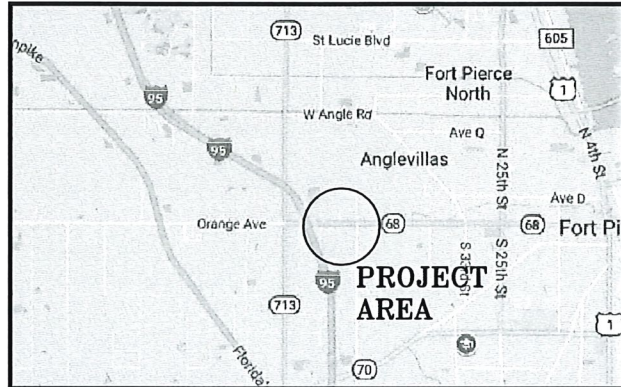
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|------------------------------|------------------------------------|
| (C) CALCULATED | NAVD NORTH AMERICAN VERTICAL DATUM |
| (M) MEASURED | NR NON RADIAL |
| (P) PLAT DATA | ORB OFFICIAL RECORDS BOOK |
| CONC. CONCRETE | P.O.B. POINT OF BEGINNING |
| Δ DELTA ANGLE | P.O.C. POINT OF COMMENCEMENT |
| FFE FINISHED FLOOR ELEVATION | PG PAGE |
| IRC IRON ROD & CAP | PI POINT OF INTERSECTION |
| L ARC LENGTH | P&D PUBLIC UTILITY & DRAINAGE |
| LB LICENSED BUSINESS | R RADIUS |
| N/D NAIL AND DISK | R/W RIGHT OF WAY |
| | WV WATER VALVE |



SYMBOLOLOGY

- CENTERLINE
- TELEPHONE UTILITY
- ELECTRIC BOX
- VALVE
- WATER METER
- CONCRETE
- WOOD POWER POLE
- ASPHALT
- 6' WOOD FENCE
- 4' CHAINLINK FENCE
- AREA LIGHTING
- WELL
- GUY ANCHOR
- SIGN

VICINITY MAP



NOTES

1. THIS DOCUMENT IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. ANY REVISIONS MADE TO THIS DOCUMENT OR ASSOCIATED REPORTS WITHOUT THE WRITTEN CONSENT OF THE UNDERSIGNED WILL VOID THE SEAL WHICH HAS BEEN PLACED HEREON.
3. NO ABSTRACT WAS MADE BY THE SURVEYOR TO VERIFY ACTUAL LEGAL OWNERSHIP, RIGHTS-OF-WAY, EASEMENTS OR OTHER BURDENS ON THE SUBJECT PROPERTY OTHER THAN THOSE FURNISHED BY CLIENT OR THEIR REPRESENTATIVE. DESCRIPTION SHOWN HEREON IS BASED ON INFORMATION RECORDED IN OFFICIAL RECORDS BOOK 2744, PAGE 2396, ST. LUCIE COUNTY, FLORIDA.
4. SUBJECT PROPERTY CONTAINS 0.27 ACRES, MORE OR LESS (11,759.66 SQUARE FEET).
5. THE LAST DATE OF FIELD WORK WAS JANUARY 8, 2018.
6. REVISIONS SHOWN HEREON DO NOT REPRESENT A "FIELD SURVEY UPDATE" UNLESS OTHERWISE NOTED.
7. THE WEST LINE OF THE SUBJECT TRACT IS ASSUMED TO BEAR N01°03'34"W; ALL OTHER BEARINGS SHOWN ARE RELATIVE THERETO.
8. UNDERGROUND UTILITIES, UTILITY SERVICES, FOUNDATIONS & IMPROVEMENTS WERE NOT LOCATED AS PART OF THIS SURVEY.
9. IN SOME INSTANCES, GRAPHIC REPRESENTATIONS AND SYMBOLS SHOWN HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE THE RELATIONSHIP BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. THE DIMENSIONS SHOWN SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER THE SCALED POSITIONS.
10. SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A FLOOD ZONE DESIGNATION "X", BASED ON FLOOD INSURANCE RATE MAP No. 12111C0179 J, DATED FEBRUARY 16, 2012.
11. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

THIS BOUNDARY SURVEY AND MAP REPRESENTS AN ACTUAL ON THE GROUND SURVEY PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION. THIS MAP AND SURVEY IS ACCURATE TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS MAP AND SURVEY COMPLIES WITH THE STANDARDS OF PRACTICE AS CODIFIED IN CHAPTER 472, FLORIDA STATUTES, AND IN CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE.

CERTIFIED TO:

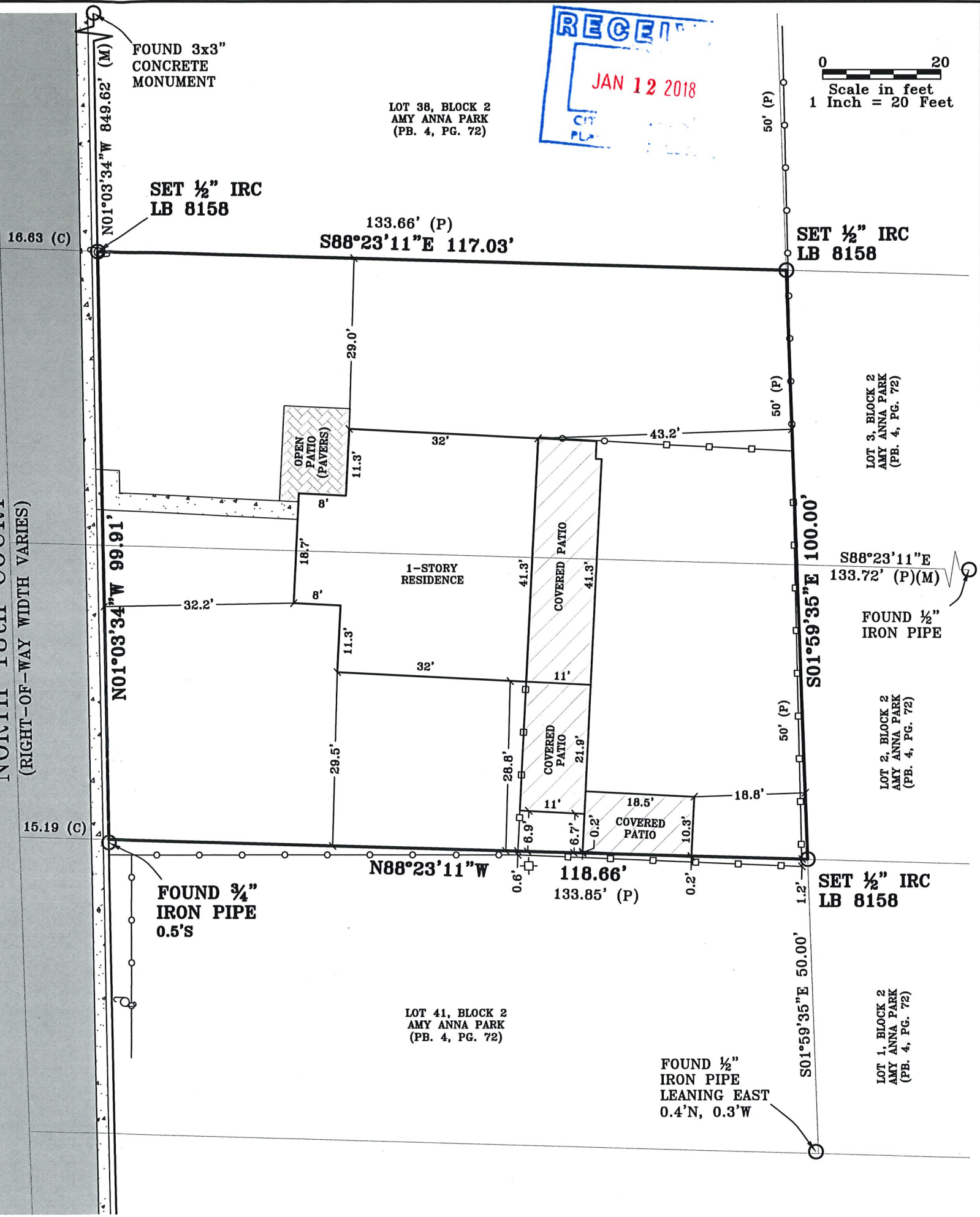
RUSSELL GARZA

P. CHAD MAXWELL, FLORIDA REGISTRATION #7070
PROFESSIONAL SURVEYOR AND MAPPER

1/9/2018
SIGNATURE DATE

FLORIANA PARK SUBDIVISION
(PB. 2, PG. 7C)

NORTH 18th COURT
(RIGHT-OF-WAY WIDTH VARIES)



Scale in feet
1 Inch = 20 Feet

SHEET	1 OF 1
CREATED BY	PCM
CHECKED BY	PCM
DATE	1/9/2018
SCALE	1" = 20'
FILENAME	18003 108 N 18TH COURT.DWG
REVISIONS	...

SECTION 9, TOWNSHIP 35S, RANGE 40E
FORT PIERCE, FLORIDA,
ST. LUCIE COUNTY

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