

OVERALL SITE PLAN

ADJACENT ZONING CLASSIFICATIONS	ZONING/LAND USE CLASSIFICATION
ZONING TO EAST	C-3/GENERAL COMMERCIAL
ZONING TO SOUTH	C-3/GENERAL COMMERCIAL
ZONING TO WEST	C-3/GENERAL COMMERCIAL
ZONING TO NORTH	R3/SINGLE FAMILY MODERATE DENSITY

STRUCTURE	SETBACKS TO PROPERTY LINE			
	NORTH PROPERTY LINE (FT)	SOUTH PROPERTY LINE (FT)	EAST PROPERTY LINE (FT)	WEST PROPERTY LINE (FT)
TOWER (EDGE)	50.97	60.97	128.21	27.5

PROJECT DESCRIPTION

THIS PROJECT IS FOR THE CONSTRUCTION OF AN UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF THE INSTALLATION OF A (150' SLIMPOLE) COMMUNICATIONS TOWER AND FUTURE WIRELESS BASE STATION EQUIPMENT IN ORDER TO PROVIDE RADIO TRANSMISSION SERVICES FOR PERSONAL COMMUNICATIONS AS WELL AS EMERGENCY 911 SERVICE. PROJECT SIZE IS 1,999.47 SF COMPOUND.

COORDINATES: (CENTER OF 150' SLIMPOLE) Δ
 LAT: 27°26'51.584" N (NAD 83/2011)
 LONG: 80°20'45.150" W (NAD 83/2011)
 ELEVATION: 19.8± NAVD 88 (PER SURVEY)
 FOLIO NUMBER: 2409-605-0008-000-4

PROJECT APPLICANT

RG TOWERS, LLC
 2141 ALTERNATE A1A SOUTH, SUITE 440
 JUPITER, FL 33477
 561-748-0302 ATTN: SCOTT RICHARDS

PROPERTY OWNER

LESLEY PHILLIPS
 ABDEL JEBBAR ELBAKKARI
 2006 ORANGE AVE
 FORT PIERCE, FL 34950

UTILITIES

THIS PROJECT WILL REQUIRE POWER AND TELEPHONE SERVICE ONLY, NO WET UTILITIES OR GARBAGE COLLECTION WILL BE NEEDED TO SUPPORT THIS PROJECT

HANDICAP ACCESS

THIS FACILITIES IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAP ACCESS IS NOT REQUIRED

IMPERVIOUS COVERAGE

PROPOSED IMPERVIOUS SURFACE COVERAGE IS EQUAL TO FUTURE BUILDING (EQUIPMENT SLABS) AND TOWER FOOTPRINTS (650 SF MAX)

PROJECT DENSITY

THERE ARE NO RESIDENTIAL UNITS FOR THIS PROJECT. PROJECT DENSITY IS N/A.

DRAINAGE REQUIREMENTS

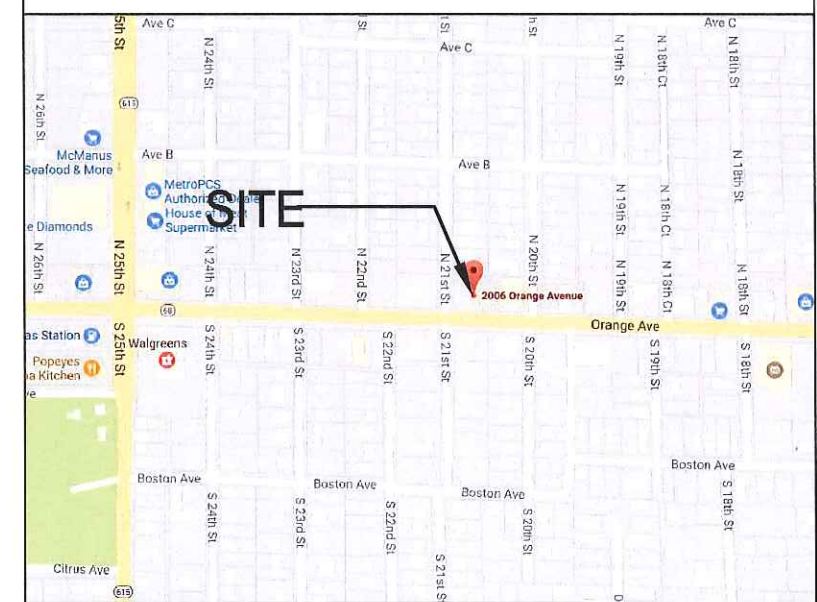
THE FIRST 1" OF STORMWATER RUNOFF IS TO BE RETAINED ON SITE PRIOR TO DISCHARGE TO THE OVERALL MASTER DRAINAGE SYSTEM FOR THE PARENT TRACT.

LANDSCAPING REQUIREMENTS

PERIMETER LANDSCAPING AROUND COMPOUND TO BE IN COMPLIANCE WITH CITY OF FORT PIERCE CODE

NOTES:

- FCC REQUIRES SIGNS TO BE PROVIDED AND INSTALLED AS NECESSARY.
- "HIGH VOLTAGE-DANGER" SIGN INSTALLED ON GATE AND SIGN SHALL NOT EXCEED 1 SF IN AREA.
- 6' HIGH WOOD FENCE AND LOCKED ENTRY GATE.



LOCATION MAP

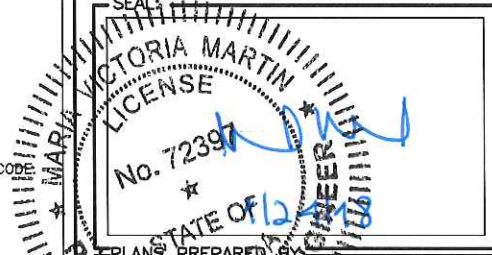
RG Towers, LLC
 2141 Alternate A1A South, Suite 440
 Jupiter, FL 33477

PROJECT INFORMATION:
 FT PIERCE-ORANGE AVE
 2006 ORANGE AVE
 FORT PIERCE, FL 34950
 ST LUCIE COUNTY

CURRENT ISSUE DATE:
 NOVEMBER 2017

ISSUED FOR:
 SITE PLAN REVIEW

REV. DATE	DESCRIPTION
01-22-18	PER CITY COMMENTS



PLANS PREPARED BY:
Kimley-Horn
 HORN AND ASSOCIATES, INC.
 1920 WEKIVA WAY, SUITE 200
 WEST PALM BEACH, FLORIDA 33411
 (561) 845-0665
 FBPE CA00006956

PROVIDER:
 DRAWN BY: CHK. APV.
 MM LF MM

LICENSURE:
 MARIA VICTORIA MARTIN PE 72397

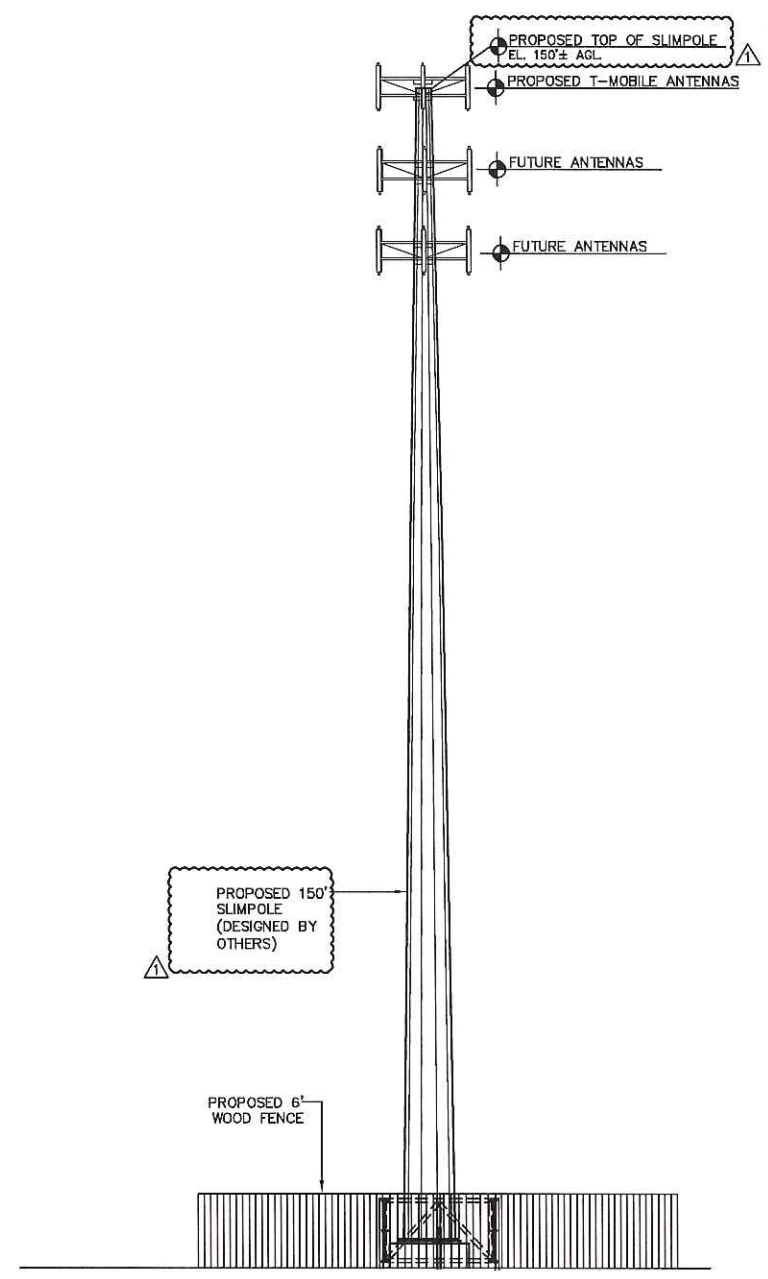
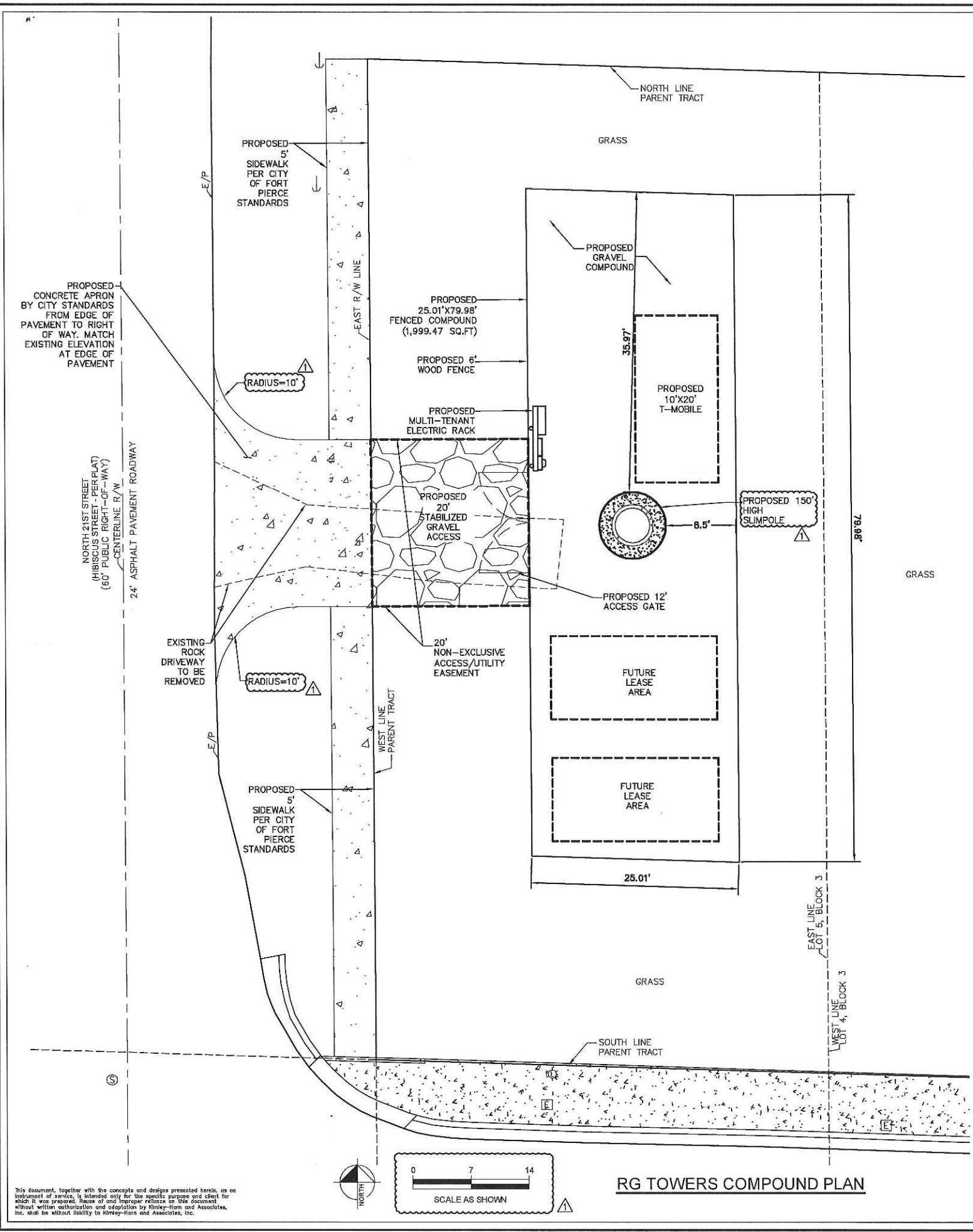
SHEET TITLE:
 SITE PLAN

SHEET NUMBER: 1/5
 REVISION:

KHA Job #:
 144042047

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. No other use or reliance on this document, without written authorization and adoption by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

FLOOD ZONE INFORMATION					
COMMUNITY NUMBER	PANEL NUMBER	SUFFIX	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEVATION
120286	0178	J	02/16/2012	X	N/A



- NOTE:**
- ALL PROPOSED ATTACHMENTS TO TOWER BASED ON STRUCTURAL ANALYSIS BY OTHERS.
 - TOWER IS DESIGNED FOR A TOTAL OF THREE WIRELESS SERVICE PROVIDERS. LOCATION OF FUTURE PROVIDERS IS APPROXIMATE.
 - CONTRACTOR TO COORDINATE ANTENNA MOUNTS W/ OWNER.
 - CONTRACTOR TO REFER TO STRUCTURAL ANALYSIS (BY OTHERS).

RG Towers, LLC
2141 Alternate A1A South, Suite 440
Jupiter, FL 33477

PROJECT INFORMATION:
FT PIERCE-ORANGE AVE
2006 ORANGE AVE
FORT PIERCE, FL 34950
ST LUCIE COUNTY

CURRENT ISSUE DATE:
NOVEMBER 2017

ISSUED FOR:
SITE PLAN REVIEW

REV.:	DATE:	DESCRIPTION:
1	01-22-18	PER CITY COMMENTS



Kimley Horn
© 2017 KIMLEY-HORN AND ASSOCIATES, INC.
1920 WEKIVA WAY, SUITE 200
WEST PALM BEACH, FLORIDA 33411
(561) 845-0665
FBPE CA00000996

PROVIDER:

DRAWN BY: MM **CHK.:** LF **APV.:** MM

LICENSURE:
MARIA VICTORIA MARTIN PE 72397

SHEET TITLE:
RG TOWERS COMPOUND
PLAN & TOWER ELEVATION

SHEET NUMBER: 2/5 **REVISION:**

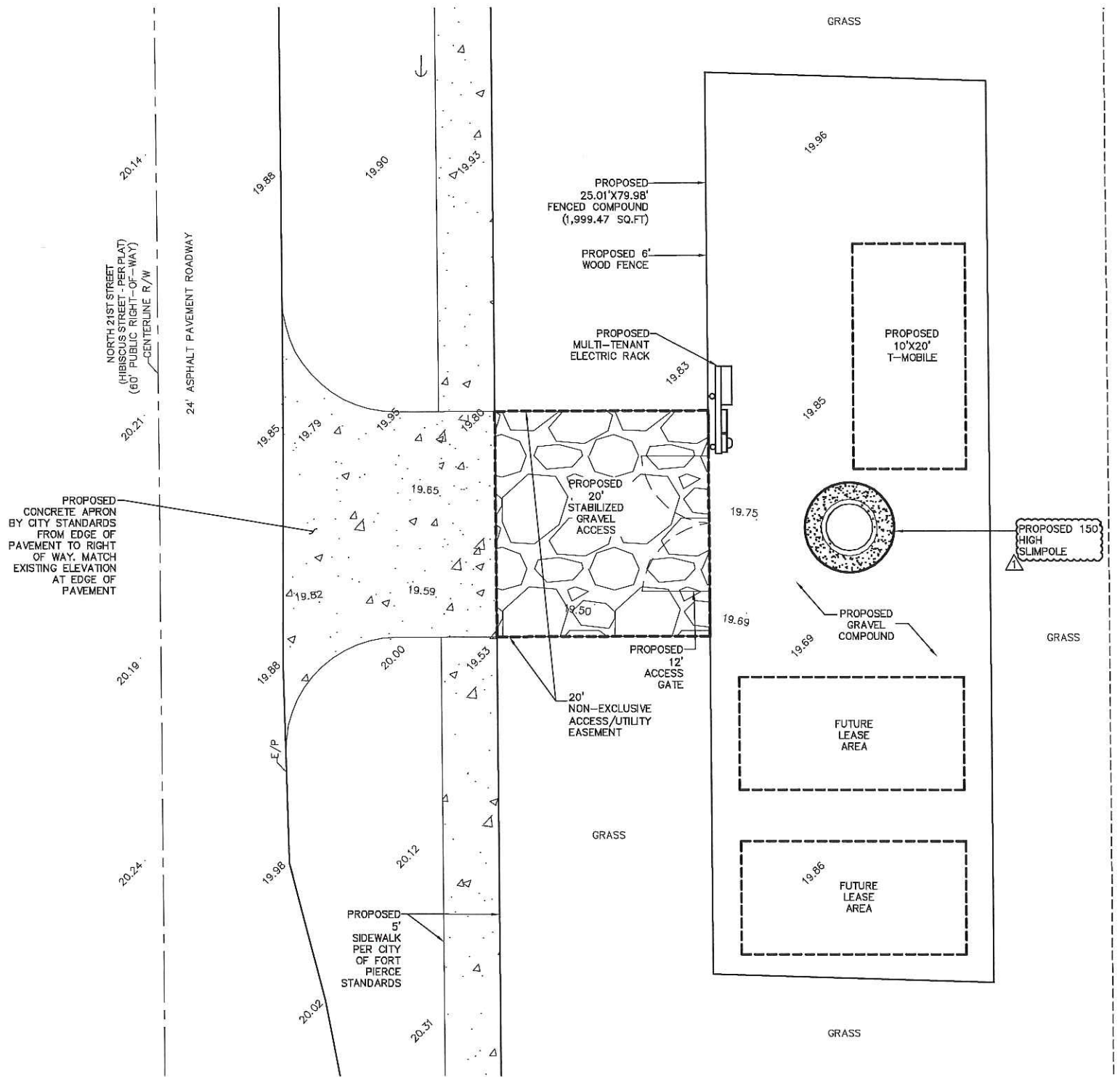
KHA Job #: 144042047

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Review of and reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

FLOOD ZONE INFORMATION

COMMUNITY NUMBER	PANEL NUMBER	SUFFIX	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEVATION
120286	0176	J	02/16/2012	X	N/A

19.83 EXISTING GRADES NAVD 88

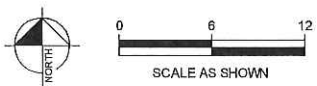


PROPOSED CONCRETE APRON BY CITY STANDARDS FROM EDGE OF PAVEMENT TO RIGHT OF WAY. MATCH EXISTING ELEVATION AT EDGE OF PAVEMENT

PROPOSED 150' HIGH SLIMPOLE

DRAINAGE CALCULATIONS:

- I. GENERAL SITE PLAN INFORMATION:
 - GRAVEL COMPOUND AREA: 1,999.47 SF
 - IMPERVIOUS AREA:
 - PROPOSED TOWER FOUNDATION = 50 SF
 - PROPOSED FUTURE EQUIPMENT SLABS: 450 SF
 - EQUIPMENT SLABS, 3 CARRIER @ 150 SF EACH
 - TOTAL IMPERVIOUS AREA: 500 SF
 - TOTAL PERVIOUS AREA: 1,499.47 SF
- II. CALCULATE REQUIRED STORAGE RUNOFF:
 1. 1" OF RUNOFF OVER TOTAL SITE
 - $Q = 1,999.47 \text{ SF} \times 1" \times 1'/12"$
 - $Q = 166.6 \times 50\% \text{ (ALLOWABLE REDUCTION)}$
 - $Q = 83.3 \text{ CF}$
- III. STORAGE VOLUME PROVIDED:
 - No. 57 STONE COMPOUND, 4" LAYER, 1,999.47 SF COMPOUND. ASSUME 40% VOIDS RATIO.
 - RETENTION VOLUME PROVIDED = $(1,999.47 \text{ SF} - 500 \text{ SF}) \times 0.4 \times 4"/12" = 199.9 \text{ CF}$
 - RETENTION VOLUME PROVIDED = 199.9 CF
 - RETENTION VOLUME PROVIDED IS GREATER THAN REQUIRED VOLUME



STORM DRAINAGE PLAN

NOTE: ALL STORM DRAINAGE FACILITIES SHALL CONFORM TO CHAPTERS 17 AND 18 OF THE FORT PIERCE CODE OF ORDINANCES AND THE "STANDARD SPECIFICATIONS" ADOPTED BY THE CITY COMMISSION ON FEBRUARY 13, 1973.

RG Towers, LLC
2141 Alternate A1A South, Suite 440
Jupiter, FL 33477

PROJECT INFORMATION:
FT PIERCE-ORANGE AVE

2006 ORANGE AVE
FORT PIERCE, FL 34950
ST LUCIE COUNTY

CURRENT ISSUE DATE:
NOVEMBER 2017

ISSUED FOR:
SITE PLAN REVIEW

REV. DATE	DESCRIPTION
01-22-18	PER CITY COMMENTS



PLANS PREPARED BY
Kimley-Horn
© 2017 KIMLEY-HORN AND ASSOCIATES, INC.
1920 WEKIVA WAY, SUITE 200
WEST PALM BEACH, FLORIDA 33411
(561) 845-0665
FBPE CAD0000696

PROVIDER:

DRAWN BY: MM CHK.: LF APV.: MM

LICENSURE:
MARIA VICTORIA MARTIN PE 72397

SHEET TITLE:
STORM DRAINAGE PLAN

SHEET NUMBER: **3/5** REVISION:

KHA Job #: **144042047**

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Review of and reliance on this document without written authorization and adoption by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

LANDSCAPE WATERING SPECIFICATIONS AND NOTES

A. WATER-SOLUBLE GEL SOIL AMENDMENT

1. ALL PLANTINGS SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, WITH POLYMER GEL SLURRY (AS DESCRIBED IN THESE SPECIFICATIONS), UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
2. A WATER-ABSORBING POLYMER GEL PRODUCT (AGRODIAMONDS (TM)) THAT HAS BEEN HYDRATED ACCORDING TO MANUFACTURER'S DIRECTION SHALL BE PLACED INTO EACH HOLE PRIOR TO PLANTING. SEE APPLICATION RATE CHART, THIS SHEET. AGRODIAMONDS (TM) BY AGROTECH AMERICA (561) 743-8025.

B. WATER

1. 90 DAYS OF WATER MONITORING SHALL BE SCHEDULED FOR ALL PLANTINGS UNDER THIS CONTRACT.
2. IF SITE EXPERIENCES DROUGHT OR IF RAINFALL DOES NOT ACCUMULATE 2" PER WEEK DURING THE MONITORING PERIOD, HAND WATERING WILL BE NECESSARY.
3. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER (MEETING THE ABOVE STANDARD) FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER. SUITABLE WATER MAY BE AVAILABLE IN THE ADJACENT CANAL - COORDINATE WITH OWNER FOR PERMISSIONS.
4. WATERING PROJECT PLANTINGS MAY BE ACHIEVED BY WATER TRUCK OR BY TEMPORARY IRRIGATION SYSTEM, WHICH MUST BE REMOVED AT THE END OF THE MAINTENANCE PERIOD.
5. CONTRACTOR SHALL SUPPLEMENT RAINFALL BY HAND-WATERING AND DOCUMENT WATERING EFFORTS THROUGH RAINFALL DATA AND MONITORING RECORDS.
6. FOR BIDDING PURPOSES, FOLLOW THE SCHEDULE BELOW:
 DAY 1: WATER IN PLANTINGS PER SPECS.
 DAY 2-30: 1/2" OF WATER EACH DAY FOR MON, WED, SATURDAY
 DAY 31-90: 1/2" OF WATER EACH DAY FOR MON, SATURDAY

C. FERTILIZER

CONTRACTOR SHALL INCLUDE FERTILIZER IN HYDRATED GEL SLURRY MIX. FERTILIZER SHALL BE A WATER SOLUBLE 14-14-14, CONTROLLED-RELEASE TYPE. MIX WITH GEL AT A RATE OF ONE OUNCE PER PLANT. ESTIMATE PLANT QUANTITIES FOR GEL PRODUCT AND MIX FERTILIZER APPROPRIATELY.

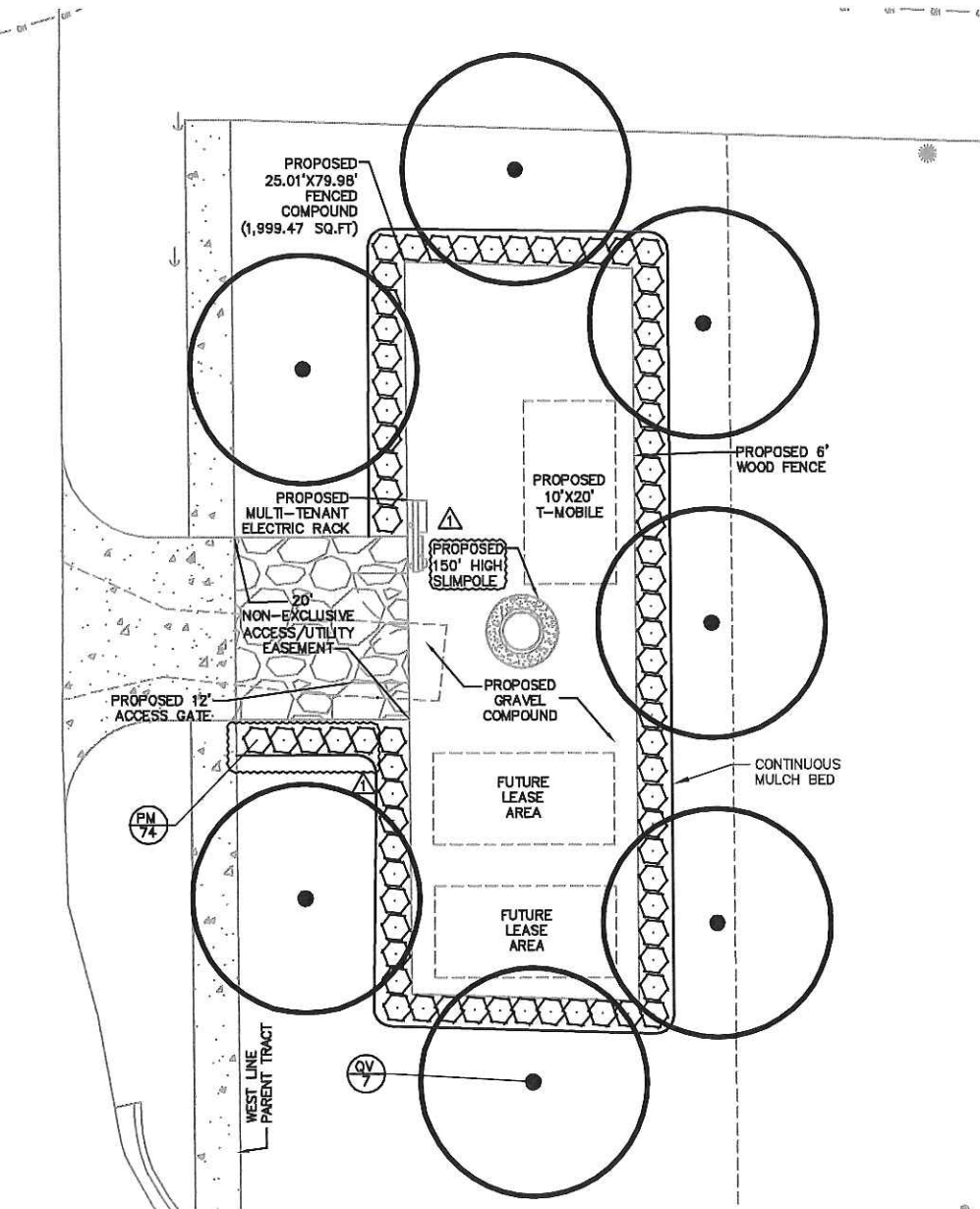
SIX WEEKS AFTER PLANTING, BROADCAST 10-10-10 CONTROLLED-RELEASE FERTILIZER AT A RATE OF 400 LBS PER ACRE OVER THE ENTIRE PLANTED AREA.

AGRODIAMONDS (TM) APPLICATION RATE CHART	
CONTAINER SIZE	AGRODIAMONDS (TM) (RAW PRODUCT)
30 GAL	8 CUPS (46 OZ)
7 GAL	2 CUPS (11.5 OZ)

*MIX INTO BACKFILL MATERIAL FOR PLANT PITS. WORK MIX INTO SOIL WITH SHOVEL/SPADE.
 *AGRODIAMONDS (TM) MUST BE HYDRATED (WATER-IN) FROM TOP. DO NOT WATER BY INJECTION (SUBSURFACE).
 *MIX FERTILIZER IN HOLE PRIOR TO WATERING.

PLANTING NOTES:

1. CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND ALL CONTRACT DOCUMENTS FOR FURTHER AND COMPLETE INSTRUCTIONS.
2. PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BIDDING.
3. PLANT SIZES LISTED ARE THE MINIMUM SIZE THAT WILL BE ACCEPTED FOR THAT PLANT.
4. ANY SUBSTITUTION IN SIZE AND/OR PLANT MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT IN WRITING. ALL PLANTS WILL BE SUBJECT TO APPROVAL BY LANDSCAPE ARCHITECT AND/OR OWNERS REPRESENTATIVE BEFORE PLANTING CAN BEGIN.
5. CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES AND/OR INTERFERE WITH EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
6. THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK AND INCLUDED IN THE SPECIFICATIONS.
7. CONTRACTOR SHALL FAMILIARIZE HIM/HERSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN CALENDAR DAYS OF NOTICE TO PROCEED.

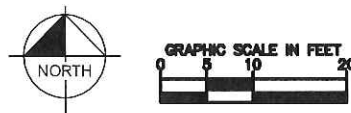


PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	CONT.	GAL.	SIZE	QTY
QV	Quercus virginiana	Southern Live Oak	30 gal	3" Cal.	10'HT X 5'SPR	7
SHRUBS	BOTANICAL NAME	COMMON NAME	CONT.	Q.C.	SIZE	QTY
PM	Podocarpus macrophyllus	Podocarpus	7 gal	36" O.C.	6'H Min	74

CODE COMPLIANCE SUMMARY:

PERIMETER BUFFER REQUIRED:	PROVIDED:
SHADE TREES 1/30 LF 193 LF / 30 LF	7 SHADE TREES
CONTINUOUS HEDGE 6' H	CONTINUOUS HEDGE 6' H



This document, together with the concepts and design presented herein, are an integral part of the contract. It is intended only for the specific purpose and client for which it was prepared. Issues of and beyond those shown on this document without written authorization and signature by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

RG Towers, LLC
 2141 Alternate A1A South, Suite 440
 Jupiter, FL 33477

PROJECT INFORMATION:

FT PIERCE-ORANGE AVE
 2006 ORANGE AVE
 FORT PIERCE, FL 34950
 ST LUCIE COUNTY

CURRENT ISSUE DATE:

NOVEMBER 2017

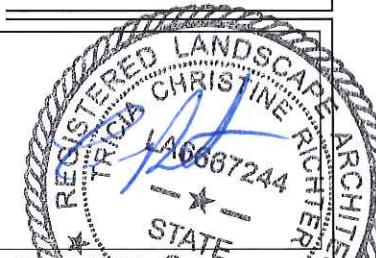
ISSUED FOR:

SITE PLAN REVIEW

REV.: DATE: DESCRIPTION:

01-22-18 PER CITY COMMENTS

SEAL:



PLANS PREPARED BY: CH

Kimley-Horn
 © 2017 KIMLEY-HORN AND ASSOCIATES, INC.
 1920 WEKIVA WAY, SUITE 200
 WEST PALM BEACH, FLORIDA 33411
 (561) 845-0665
 FBPE CAD0000696

PROVIDER:

DRAWN BY: CHK.: APV.:

MM LF MM

LICENSURE:

TRICIA C. RICHTER, PLA LA#6667244

SHEET TITLE:

LANDSCAPE PLANS

SHEET NUMBER: REVISION:

4/5

KHA Job #:

144042047

RG Towers, LLC
2141 Alternate A1A South, Suite 440
Jupiter, FL 33477

PROJECT INFORMATION:

FT PIERCE-ORANGE AVE

2006 ORANGE AVE
FORT PIERCE, FL 34950
ST LUCIE COUNTY

CURRENT ISSUE DATE:

NOVEMBER 2017

ISSUED FOR:

SITE PLAN REVIEW

REV.: DATE: DESCRIPTION:

REV.	DATE	DESCRIPTION



PLANS PREPARED BY
Kimley»Horn
© 2017 KIMLEY-HORN AND ASSOCIATES, INC.
1920 WEKIVA WAY, SUITE 200
WEST PALM BEACH, FLORIDA 33411
(561) 845-0665
FBPE CA00000686

PROVIDER:

DRAWN BY: CHK.: APV.:
MM LF MM

LICENSURE:
TRICIA C. RICHTER, FLA LA#6687244

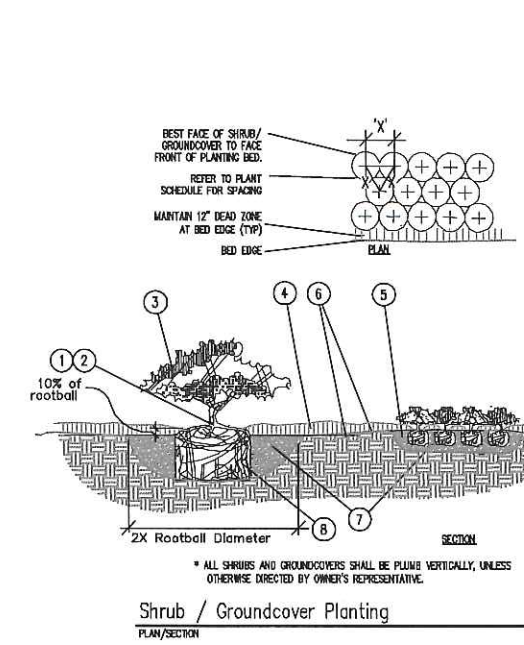
SHEET TITLE:
LANDSCAPE DETAILS

SHEET NUMBER: REVISION:
5/5

KHA Job #: 144042047

NOTES:

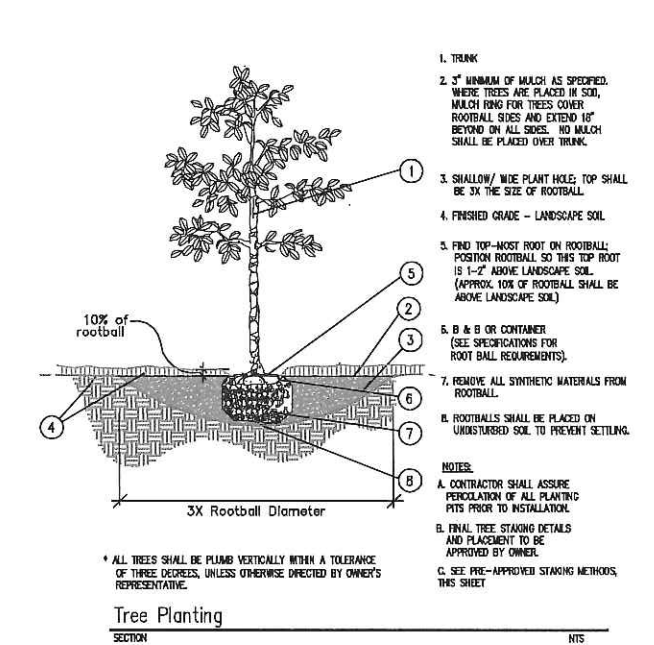
1. FIND POINT WHERE TOPMOST ROOT EMERGES FROM TRUNK WITHIN 2' OF SURFACE. CLEAR EXCESS SOIL IF NECESSARY.
2. TOP 10% OF SHRUB AND GROUNDCOVER ROOTBALLS TO BE PLANTED ABOVE THE LANDSCAPE GRADE. DO NOT COVER EXPOSED 10% ON SIDES WITH SOIL.
3. PRUNE ALL LIKE SHRUBS WITHIN A PLANTED MASS TO ACHIEVE A UNIFORM MASS/HEIGHT.
4. 3" MINIMUM MULCH AS SPECIFIED - DO NOT COVER ENTIRE SHRUB ROOTBALL OR CREATE "WATER BASKETS" ONLY COVER SIDES OF ROOTBALL WITH MULCH.
5. EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER BED.
6. FINISHED GRADE (SEE GRADING PLAN).
7. PREPARED PLANTING SOIL AS SPECIFIED. NOTE: WHEN GRASS COVERS ARE USED IN MASSES, ENTIRE BED TO BE AMENDED WITH PLANTING SOIL MIX AS SPECIFIED.
8. SCARIFY ROOTBALL SIDES AND BOTTOM.



1. FINISH GRADE
2. HORIZONTAL 2X2 SOREME TO 2X2 STAKE. ALL WOOD SHALL BE #2 UNWEATED.
3. 3-1/2" DRYWALL SOREME. THREAD SIZE 1/2" SHARP POINT, FULL THREAD, BLACK PHOSPHATE FINISH.
4. VERTICAL STAKES SHALL ABUT SIDE OF ROOTBALL.
5. STAKES TO EXTEND INTO NATIVE SOIL BY 1-1/2 X THE ROOTBALL DEPTH MIN.

NOTE: IF SPATIAL REQUIREMENTS PRECLUDE STAKING WITH THIS METHOD, SUBMIT ALTERNATE FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLING PLANT.

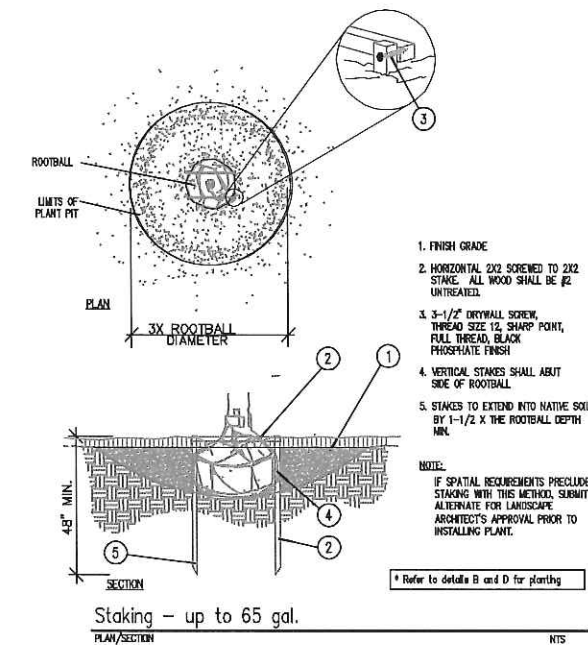
* Refer to details B and D for planting



- NOTES:
- CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
 - SEE PRE-APPROVED STAKING METHODS, THIS SHEET.

* ALL TREES SHALL BE PLUMB VERTICALLY WITH A TOLERANCE OF THREE DEGREES, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.

Tree Planting SECTION NTS
3X Rootball Diameter



1. FINISH GRADE
2. HORIZONTAL 2X2 SOREME TO 2X2 STAKE. ALL WOOD SHALL BE #2 UNWEATED.
3. 3-1/2" DRYWALL SOREME. THREAD SIZE 1/2" SHARP POINT, FULL THREAD, BLACK PHOSPHATE FINISH.
4. VERTICAL STAKES SHALL ABUT SIDE OF ROOTBALL.
5. STAKES TO EXTEND INTO NATIVE SOIL BY 1-1/2 X THE ROOTBALL DEPTH MIN.

NOTE: IF SPATIAL REQUIREMENTS PRECLUDE STAKING WITH THIS METHOD, SUBMIT ALTERNATE FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLING PLANT.

* Refer to details B and D for planting

Staking - up to 65 gal. PLAN/SECTION NTS

Shrub / Groundcover Planting PLAN/SECTION NTS

A. SCOPE OF WORK

1. THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.
2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DROP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DROP-LINE. NO MATERIALS SHALL BE BURNED WHERE HEAT WILL DAMAGE ANY PLANT. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPE AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FOLLOWS AND ADDED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

D. MATERIALS

1. PLANT MATERIALS
 - A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, 1982 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRASSES AND STANDARDS FOR NURSERY PLANTS, LATEST EDITION, PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, SOUND, WELL-BRANCHED, AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY WITH APPROVAL FROM OWNER OR OWNER'S REPRESENTATIVE. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE OWNER'S REPRESENTATIVE.
 - B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.
 - C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, EXISTING DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

E. SOIL MIXTURE (PLANTING MEDIUM, PLANTING MIX, TOPSOIL MIX)

1. SOIL MIXTURE (PLANTING MEDIUM FOR PLANT PITS) SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW.
2. TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT PITS SHALL BE FERTILE, FRAGILE, AND OF A LOAMY CHARACTER, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS AND OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND A PH BETWEEN 5.5 AND 7.0 - SUBMIT SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
3. SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND. CONTRACTOR SHALL SUBMIT RESULTS OF SOIL TESTS FOR TOPSOIL AND SAND PROPOSED FOR USE UNDER THIS CONTRACT FOR APPROVAL BY THE OWNER.
4. TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.
5. CONTRACTOR TO SUBMIT SAMPLES OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.

F. WATER

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARDS SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC.. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

*WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

G. FERTILIZER

CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.

*FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

H. MULCH

MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A MINIMUM DEPTH OF 3 INCHES, CLEAR MULCH FROM EACH PLANT'S CROWN (BASE), TYPE OF MATERIAL: PINE STRAW

I. PLANTING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE WASTE. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MARK AND PROTECT EXISTING UTILITIES. CALL NATIONAL ONE CALL - 811 - TO LOCATE UTILITIES.
3. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED UNDERGROUNDED SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36". CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF UNDERGROUNDED OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE.

J. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
3. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. NET PREPARED AREA THOROUGHLY.
4. SODDING
 - A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
 - B. THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETY TYPE, AND FREE FROM WEEDS, FUNGI, INSECTS AND DISEASE OF ANY KIND.
 - C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO HAVE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED - REFER TO DETAILS. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
5. DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

K. LAWN MAINTENANCE:

1. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"x12") UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADEING IF NECESSARY).
2. CONTRACTOR RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

L. HERBICIDE WEED CONTROL:

1. ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER. (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

This document, together with the concepts and design presented herein, are an integral part of the contract. It is intended only for the specific purpose and client for which it was prepared. Issues of and changes to this document shall be made only by written agreement and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.