



DEVELOPMENT REVIEW

Property address or Location Carriage Pointe Planned Development - Intersection of Ralls Drive and Selvitz Road
 Parcel ID #(s) See attached
 Project description Major Modification to Carriage Pointe Planned Development. See attached narrative.

Carriage Pointe Land Investors, LLC
Property Owner(s)
 201 Jackson Street
 Street Address
 Denver CO 80206
 City State Zip
 Phone Number
 lmhaffeman@msn.com
 Email Address

Brian Nolan, AICP, ASLA of Lucido & Assoc. (Representative)
Applicant/Representative, Title, Company
 701 SE Ocean Blvd.
 Street Address
 Stuart FL 34994
 City State Zip
 772.220.2100
 Phone Number
 bnolan@lucidodesign.com
 Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

[Handwritten signature]

Property Owner(s) Signature(s)

STATE OF Colorado COUNTY Denver

The foregoing instrument was acknowledged before me this 10th day of January, 2018, by

Brandon Jundt who is personally known to me or has produced

[Signature] as identification.

Signature of Notary Kristin C. Lang

KRISTIN C. LANG
 NOTARY PUBLIC
 STATE OF COLORADO
 NOTARY ID 20114034391
 MY COMMISSION EXPIRES JULY 5, 2019

INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation
				Contributing Individual Non-Contributing None

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit # _____
 Intake Planner _____
 Planner Assigned _____
 Approved By _____ Date _____
 Comments _____

Intake Date Stamp

DEVELOPMENT REVIEW

General Information

- Incomplete application packets cannot be accepted.
- Site Plan approval is valid for one (1) year following City Commission approval. In order to maintain site plan approval, vertical improvements, permitted by the Building Department must commence prior to the 12-month expiration date, and building permits must be maintained until site plan is completed, per plans, or approval shall lapse.

Choose Application Type:

Application Type	
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Conditional Use with New Const. <input checked="" type="checkbox"/> Major Amendment
<input type="checkbox"/> Conceptual Development Plan	<input type="checkbox"/> Minor Amendment

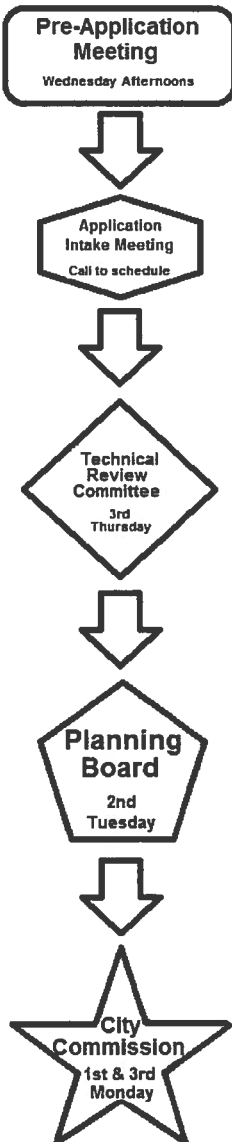
Site Information:

Non-Residential: Proposed Sq. Ft.: N/A Residential: Proposed Units: N/A

Surrounding Uses: (i.e. single family home, retail, industrial, etc.)

North	South	East	West
SF homes	Vacant	Vacant / SF homes	SF homes / Park

Application Outlook



Site Plan submittal requirements:

Submit one (1) original & thirteen (13) hard copies and one (1) CD of the following. Additional copies will be required of subsequent submittals.

- Complete notarized application
- Warranty Deed
- SLC Property Record Card
- Statements of ownership & control of proposed development. Statement describing in detail: character & intended use.
- General location map (see Section 22-58.d.2)
- Survey (see Section 22-58.d.3)
- Site Plan (see Section 22-58.d.4)
- Landscaping Plan (see Section 22-187)
- Storm Drainage Plan (see Section 22-58.d.6)
- Environmental Impact Report
- Beach/Dune System protection plan, if applicable (see Section 22-58.d.7)
- Lighting Plan (see Section 22-58.d.8)
- Design Review submittals (see Design Review application)
- Traffic Impact Report
- Concurrency Review submittals (see Concurrency Review application)