

PRELIMINARY SOUTH ELEVATION (CONCEPTUAL RENDERING)

SCALE : 3/16" = 1'-0"



June 25, 2017

RE: 604 Midway Rd
City of Fort Pierce
St Lucie County, FL

ARCHITECTURAL NARRATIVE

Our office approached the design of the proposed **structure** with an emphasis on the British West Indies style. The Front Elevation takes advantage of this style using wood outriggers underneath generous roof overhangs, plantation style shutters, ornamental iron railing on spacious balconies, cornice and crown moldings at windows and frieze bandings, detailed wood columns, carriage lanterns and stucco water table features. The metal roofing being proposed will bring a nice island resort type feel to the property. Architectural interest is created by articulating the front facade with protruding and recessed elements, architectural shutters, varied finishes including smooth stucco, and lap siding as well as a (2) color paint scheme. For precedence we have decided to look at the Surfrider Hotel in Hawaii and a number of other British West Indies style homes and projects for inspiration.

Some of the proposed materials selections for the project are:

- The smooth stucco finish to be painted Sherwin Williams – Natural Choice SW-7011.
(All stucco eaves are to be finished in a similar texture and color)
- The simulated (smooth stucco) lap siding to be painted Sherwin Williams – Westhighland White SW-7566.
- All Architectural shutters to be painted Sherwin Williams – Bracing Blue SW-6242
- Fascia, columns, and all stucco banding to be Sherwin Williams – Westhighland White SW-7566.
- The Smooth stucco watertable (base) shall be painted Sherwin Williams - Westhighland White SW-7566.
- The Metal roof on the front building, and the club house building shall be
MBCI – Craftsman Small Batten – Slate Gray
- All doors and windows shall be an aluminum white finish.

We feel that our approach to this project along with the materials and colors selected for the client, will act together to fit in well with the existing context of the neighborhood. Should you have any other questions or concerns, please do not hesitate to contact this office. We hope that you find this information helpful in your consideration of the project.

Respectfully submitted,

Kelly D. Yates, R.A.
Yates + Associates Architecture Inc.
State of Florida Registered Architect #AR-13706



ADJACENT PROPERTIES



703 Midway Road (South West)



577 Midway Road (South – Across Midway)



Neighboring Shopping Center (Directly East)



ARCHITECTURAL INSPIRATION



Surfrider Hotel – Waikiki Beach, HI



Custom Residence - Florida



McCarty & Associates
Land Planning and Design LLC
www.McCartyLandPlanning.com
73 SW Flagler Ave
Stuart FL 34994
772/341-9322

April 3, 2017

City of Fort Pierce Planning Department
Attn: Kori Benton
100 North U.S. Hwy. 1
PO Box 1480
Fort Pierce, FL 34954-1480

RE: 604 Midway-Design Review Application Checklist

Dear Mr. Benton:

On behalf of the owner of the aboved referenced property, McCarty & Associates Land Planning and Design LLC is submitting the attached site plan, design review, and conditional use applications for the property located at 604 Midway Road in Fort Pierce. The request is conditional use approval to allow residential detox and residential treatment for clients suffering from substance abuse. It is our understanding the City of Fort Pierce Land Development Code classifies this use as "Medical Facility" which is permitted as a conditional use within the C-1 zoning district.

The proposed residential detox and residential treatment establishment will not have a adverse affect on the surrounding uses or neighboring properties. The proposed use is consistant with the development pattern and permitted uses along the Midway Road corridor and the surrounding area. The site contains an existing structure and improvements previously used as a cancer treatment facility. The proposed use will utilize the existing facility in a similar fashion. In addition, the applicant is proposing to construct a new facility to provide a maximum of 180 beds.

The applicant has prepared a response below for each of the items listed in the Design Review Application Checklist:

- a. A survey is included in the submittal for your review.
- b. The site is 3.53 acres in size and was previously developed. The proposed site plan minimizes impacts to native vegetation, and reuses the existing facilities on site. There are no significant natural vegetations or habitat communities. There are no significant topographic, wetlands, or other characteristics to be taken into consideration.
- c. The site was designed to utilize the existing improvements and facilities to redevelop the proposed site. The positioning of the proposed building was selected to avoid massing along Midway Road and minimize impacts of the 3 story building.
- d. Many of the adjacent properties are vacant or currently have old structures of no real significance in regard to architecture or form. The proposed development will be a drastic improvement to the area.

- e. The applicant has provided architectural illustrative drawings to demonstrate proposed building design elements.
- f. We have provided a site aerial exhibit within our submittal documents that shows the existing structure on the property.
- g. Site plan has been enclosed, prepared by McCarty and Associates.
- h. Planting plans have been included in this submittal package. See sheets 2, 3 & 4 of the Site Plan full size package prepared by McCarty and Associates.
- i. Signage will be determined in the future.
- j. We have included an illustrative design to show the street elevation as well as architectural plans provided by Yates Associates, Architecture, Inc.

If you have any questions or require any additional materials please do not hesitate to call. We thank you for your review on this project and look forward to working with you.

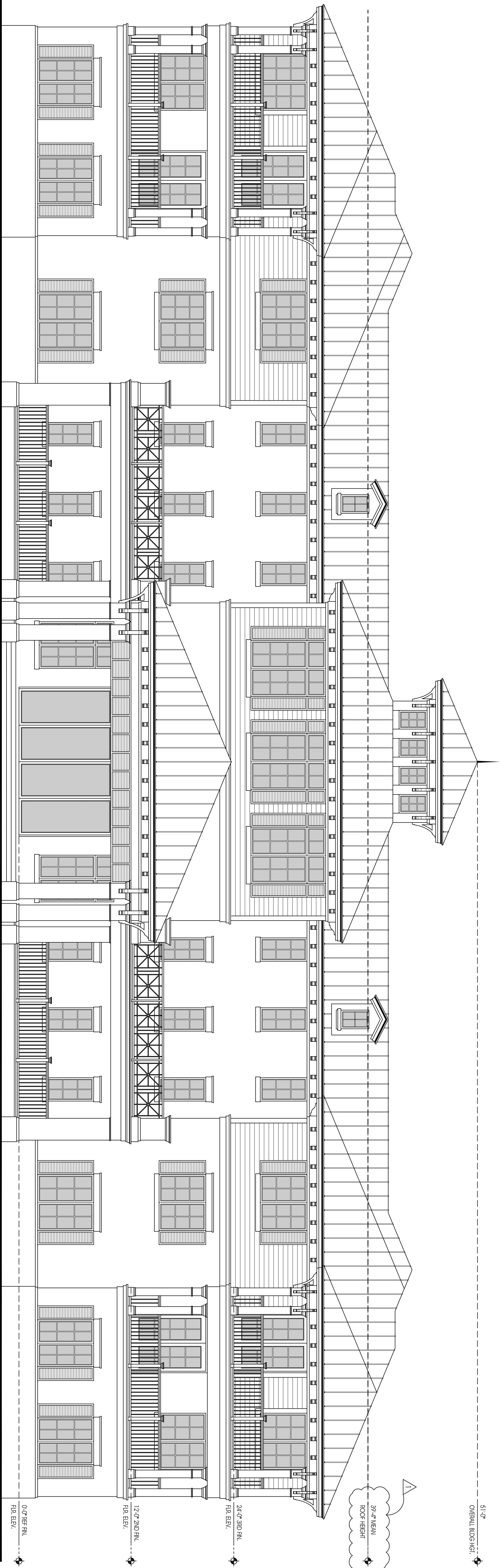
Very truly yours,

McCarty & Associates

Michael T. McCarty

Principal

Mike@McCartyLandPlanning.com



51'-0"
ORIGINAL BLDG HGT

39'-4" MEAN
ROOF HEIGHT

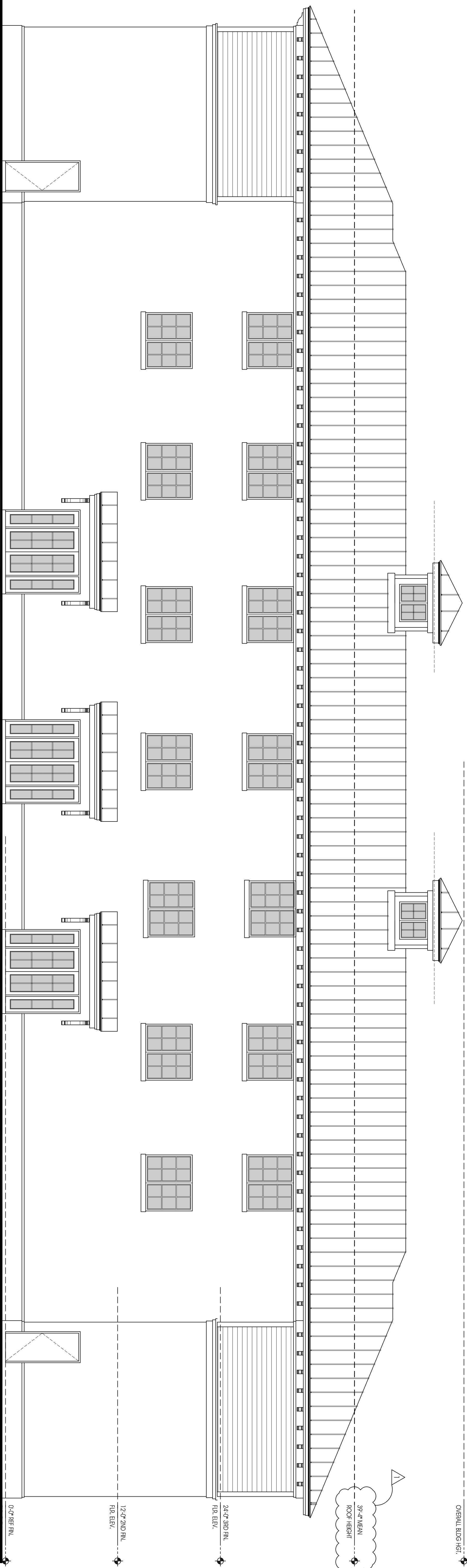
24'-0" 3RD FL.
FIN. ELEV.

12'-0" 2ND FL.
FIN. ELEV.

0'-0" REF. RL.
FIN. ELEV.

PRELIMINARY SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



51'-0"
ORIGINAL BLDG HGT

39'-4" MEAN
ROOF HEIGHT

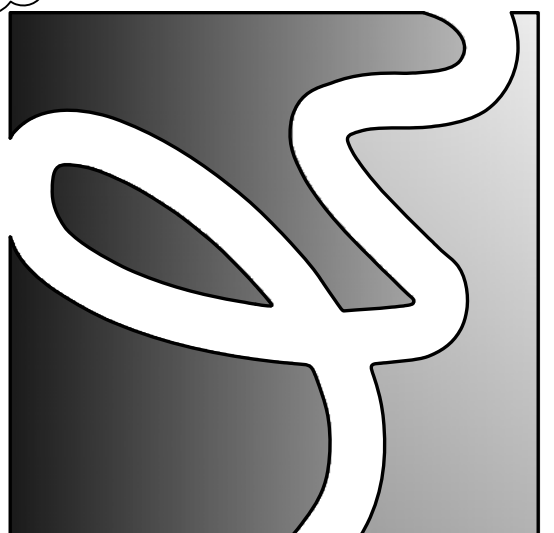
24'-0" 3RD FL.
FIN. ELEV.

12'-0" 2ND FL.
FIN. ELEV.

0'-0" REF. RL.

PRELIMINARY NORTH ELEVATION

SCALE: 3/16" = 1'-0"



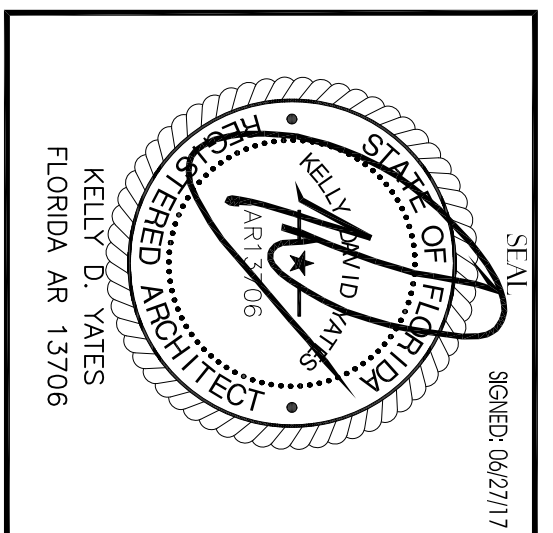
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DRAWN BY: D.C.M.
APPROVED: K.D.Y.
REVISIONS:
REVISIONS PER
ZONING REVIEW

A NEW REHAB CENTER FOR:
MURPHY GARLINGE & ASSOC.
604 MIDWAY ROAD
FT PIERCE
FLORIDA

SITE PLAN
APPROVAL
SUBMISSION
04-01-17



SHEET NO.
A-301

OF SHEETS
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