

A New Rehab Center For:  
**Midway Detox and Rehab Campus**

In  
 Section 03, Township 36S, Range 40E  
 St Lucie County, Florida

Prepared for  
**604 Midway, LLC**  
 604 Midway Road  
**Ft. Pierce, Florida 34979**



McCARTY & ASSOCIATES

LAND PLANNING  
 AND DESIGN

STUART • FT. PIERCE

772.341.9322  
 www.McCartyLandPlanning.com  
 Mike@McCartyLandPlanning.com

Location Map

NTS



Vicinity Map

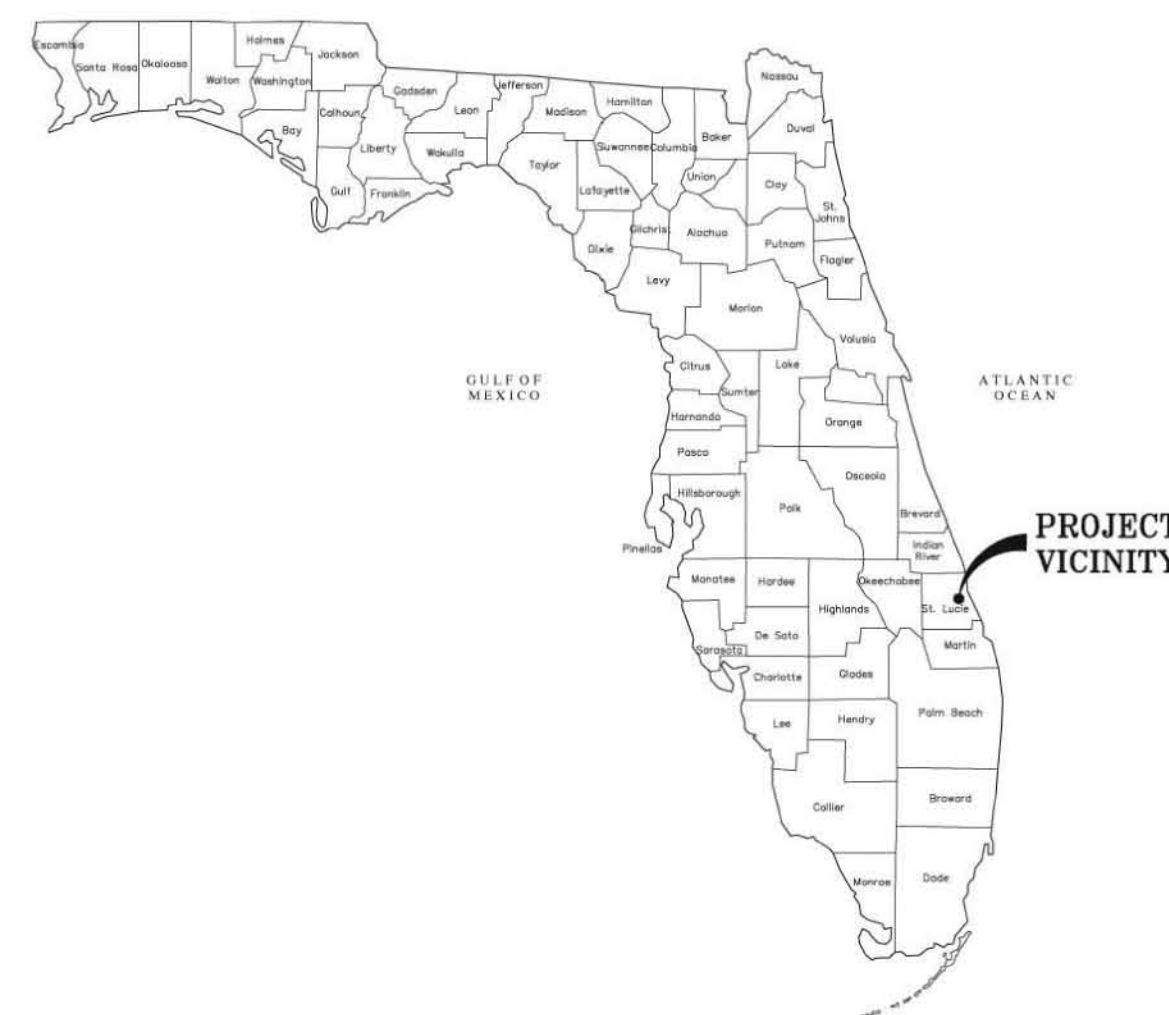


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**Midway Detox and  
 Rehab Campus**  
 604 Midway Road  
 Fort Pierce, Florida  
**Cover Sheet**

# Mills, Short & Associates

Development Team

<b>Developer</b> 604 Midway LLC 604 Midway Road FT. Pierce, Florida	<b>Site Planner</b> Michael T. McCarty McCarty & Associates Land Planning and Design Phone: 772-341-9322	<b>Civil Engineer</b> Mills, Short & Associates 800 8th Street Vero Beach, Florida Phone: 772-226-7282	<b>Architect</b> Yates Associates Architecture 319 Clematis Street, Ste 914 West Palm Beach, Florida Phone: 561-653-6280	<b>Landscape Architect</b> Sean Leddy, RLA McCarty & Associates Land Planning and Design Phone: 772-341-9322	<b>Traffic Engineer</b> MacKenzie Engineering and Planning Inc. 1172 SW 30th Street, Ste 500 Palm City, Florida 34990	<b>Photometrics</b> Main Street Engineering, Inc. 2721 Vista Parkway, Ste C-11 West Palm Beach, Florida
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Drawn By \_\_\_\_\_ SL  
 Checked By \_\_\_\_\_ MM  
 Scale \_\_\_\_\_ AS NOTED  
 Drawing Date \_\_\_\_\_ 6/28/17

**CS - 1**

**Location Map**



**Legal Description**

3 36 40 BEG 1360 FT E OF CENTER OF OLEANDER AV AND MIDWAY, TH RUN N 670 FT, TH E 245 FT, TH S 670 FT, TH W 245 FT TO POB-LESS MIDWAY RD R/W AND LESS TO SLC AS IN OR 761-1911 AND LESS FOR ADDL RD R/W MPDAF: FROM W 1/4 COR OF SEC, TH N 00 11 02 W 48.16 FT, TH S 89 42 45 E 1308.27 FT, TH N 00 17 15 E 40 FT TO POB; TH CONT N 00 17 15 E 15.05 FT, TH N 89 00 38 E 25.24 FT, TH S 89 40 58 E 219.89 FT, TH S 00 17 15 W 15.50 FT, TH N 89 42 45 W 245.13 FT TO POB- (3.53 AC - 153,767 SF) (OR 3799-1231)

**Site Data**

PCN	3403-243-0001-000-0
SEC/TOWN/RANGE	03/36S/40E
PARCEL AREA	154,342 SF / 3.54 AC.
ZONING	C-1
FUTURE LAND USE	RH
EXISTING USE	VACANT
PROPOSED USE	RESIDENTIAL DETOX AND TREATMENT
BUILDING SETBACKS	FRONT 61', SIDE 15', REAR 115'
FLOOD ZONE	X
BUILDING COVERAGE	17.6%
UTILITIES PROVIDED	FPUA
FINISHED FLOOR ELEVATION	14.97
PHASES OF CONSTRUCTION	2

**Development Standards (C-1)**

MINIMUM LOT SIZE	10,000 SF
MINIMUM LOT WIDTH / DEPTH	70 FEET / 90 FEET
MINIMUM YARD DEPTH	FRONT 25'
MAXIMUM BUILDING HEIGHT	65'
MAXIMUM LOT COVERAGE BY BUILDINGS	60%

**Lot Coverage Data**

TOTAL SITE AREA	154,342 SF / 3.54 AC.	100%
IMPERVIOUS AREA	83,781 SF / 1.93 AC.	54.3%
EXISTING BUILDING	5,990 SF / 0.14 AC.	3.9%
PROPOSED BUILDING	21,218 SF / 0.49 AC.	13.7%
PARKING/VUA	49,953 SF / 1.15 AC.	32.4%
SIDEWALKS, ETC.	6,620 SF / 0.15 AC.	4.3%
PERVIOUS AREA	70,561 SF / 1.61 AC.	45.7%
LANDSCAPE BUFFERS / OPEN SPACES	52,418 SF / 1.20 AC.	33.9%
DRY RETENTION	18,143 SF / 0.42 AC.	11.8%

**Building Data**

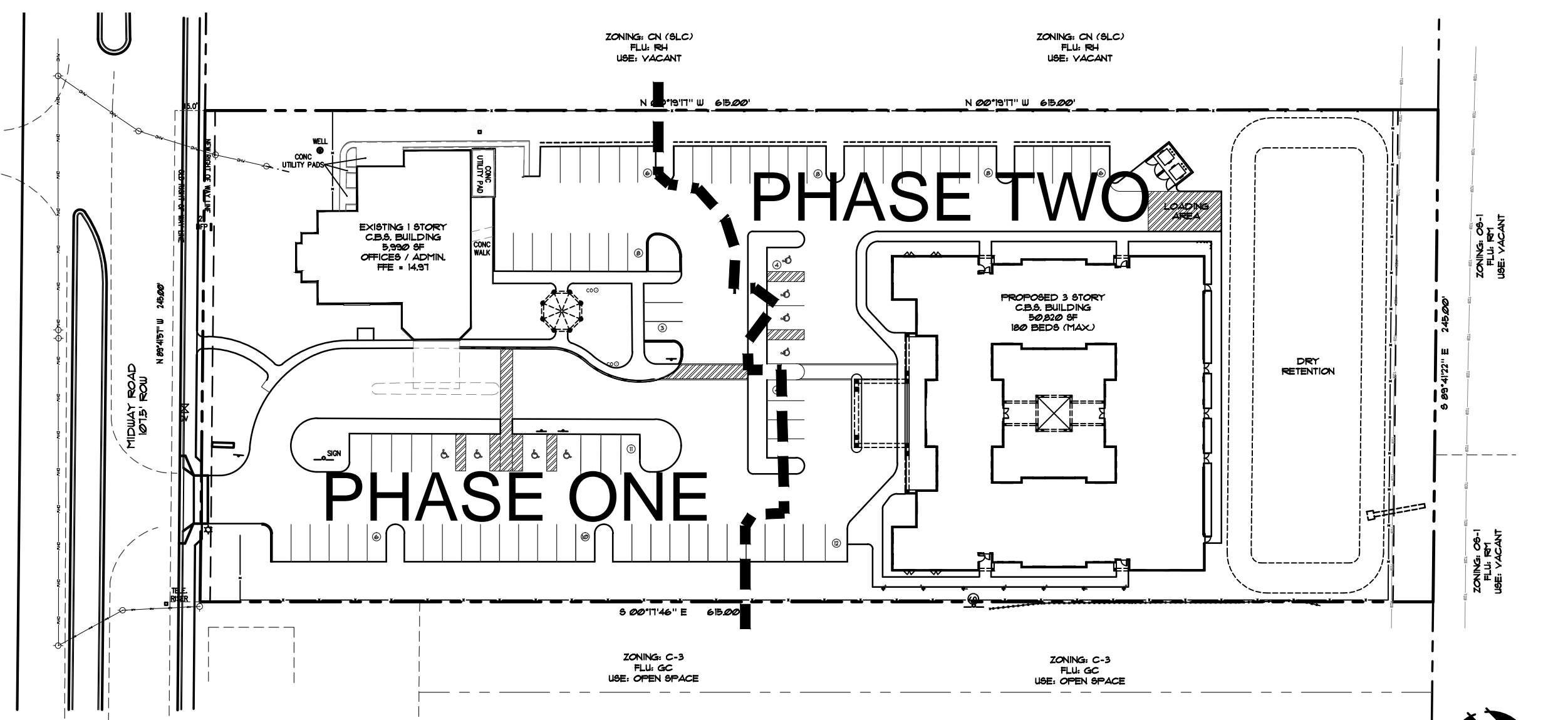
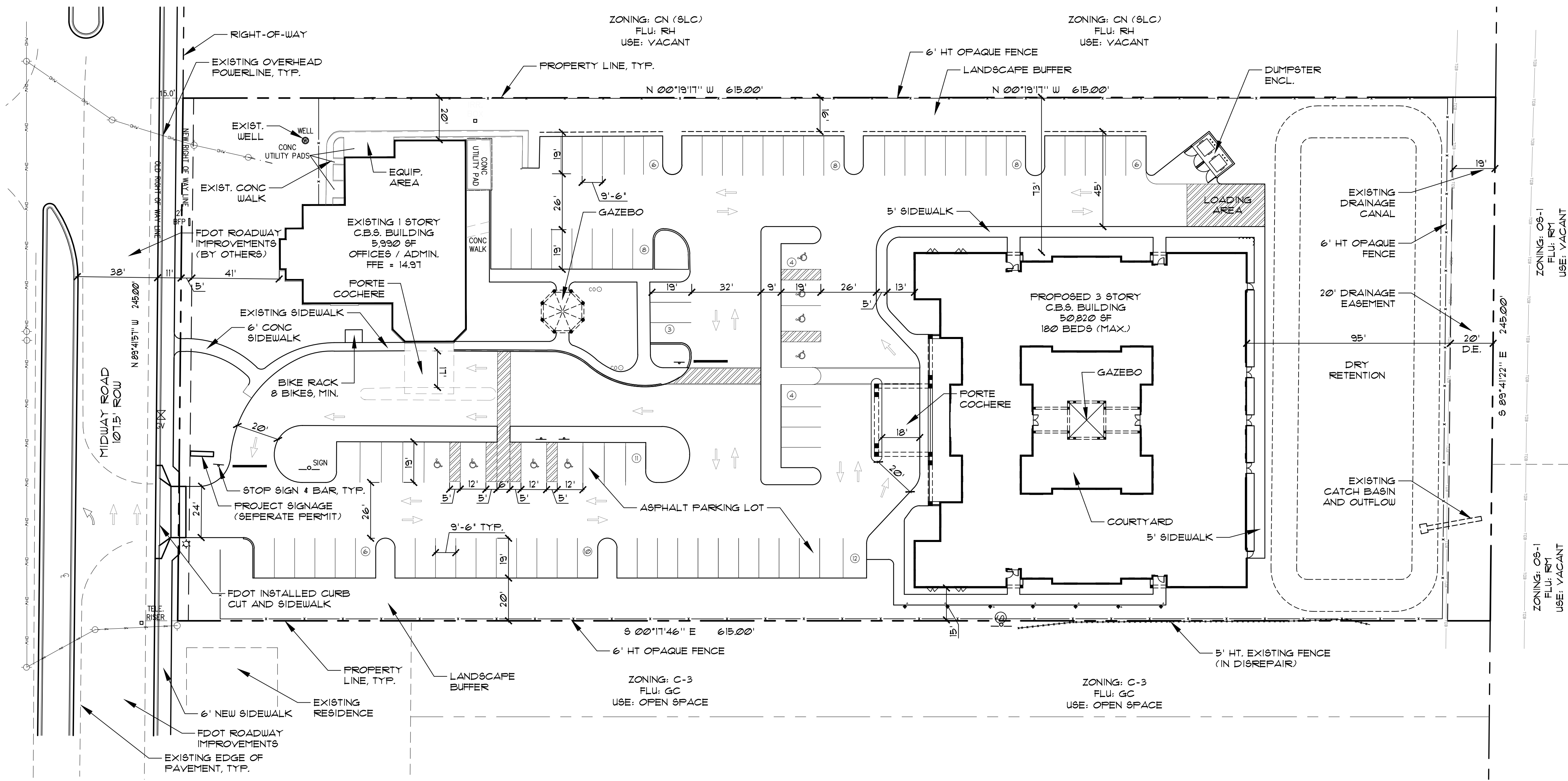
EXISTING BUILDING	5,990 SF
OFFICES & ADMINISTRATION	
PROPOSED BUILDING	50,820 SF
OVERALL BED COUNT (MAX.)	180

**Parking Requirements**

PARKING SPACES REQUIRED (1 / 3 beds + 1 / 300 sf office)	80
PARKING SPACES PROVIDED	85
STANDARD SPACES	77
ADA ACCESSIBLE SPACES	8

**Development Team**

<b>Developer</b> Murphy Garlinge Associates, LLC 604 Midway LLC 604 Midway Road FT. Pierce, Florida	<b>Site Planner</b> Michael T. McCarty McCarty & Associates Land Planning and Design Phone: 772-341-9322	<b>Civil Engineer</b> Mills, Short & Associates 800 8th Street Vero Beach, Florida Phone: 772-226-7282	<b>Architect</b> Yates Associates Architecture 319 Clematis Street, Ste 914 West Palm Beach, Florida Phone: 561-653-8280	<b>Landscape Architect</b> Sean Leddy, RLA McCarty & Associates Land Planning and Design Phone: 772-341-9322	<b>Traffic Engineer</b> MacKenzie Engineering and Planning Inc. 1172 SW 30th Street, Ste 500 Palm City, Florida 34990	<b>Photometrics</b> Main Street Engineering, Inc. 2721 Vista Parkway, Ste C-11 West Palm Beach, Florida
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**Phasing Plan Detail**

PHASE ONE: INTERIOR AND EXTERIOR IMPROVEMENTS TO EXISTING BUILDING, PARKING, AND ASSOCIATED SITE IMPROVEMENTS ON SOUTHERN HALF OF PROPERTY.

PHASE TWO: CONSTRUCT NEW BUILDING, PARKING, AND ASSOCIATED SITE IMPROVEMENTS ON NORTHERN HALF OF PROPERTY

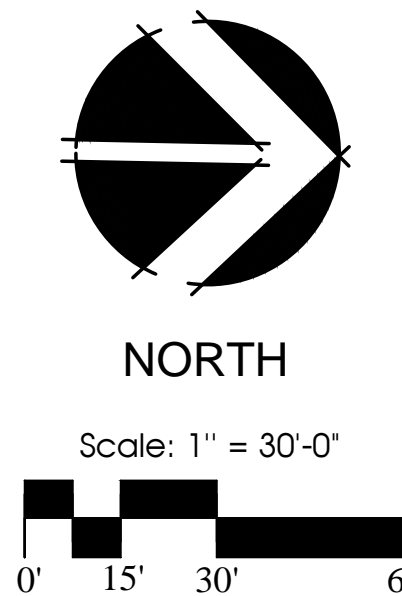
Scale: 1" = 60'-0"

**Notes**

1. ALL EXOTIC VEGETATION SHALL BE REMOVED FROM THE SITE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
2. PROPOSED TIMETABLE FOR CONSTRUCTION: "ALL BUILDING PERMITS SHALL BE OBTAINED AND ALL CONSTRUCTION COMPLETED WITHIN TIME FRAME CONSISTENT WITH CITY OF FORT PIERCE ORDINANCES."
3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LAYOUT DIMENSIONS IN THE FIELD. REPORT ALL DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DECISION BEFORE CONSTRUCTION.
4. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
5. CONTRACTOR SHALL VERIFY ALL EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DECISION.
6. NEW EARTHWORK SHALL BLEND SMOOTHLY INTO EXISTING GRADE.
7. ALL PAVED AREAS MUST PITCH TO DRAIN AT MIN. OF 1/8" PER FOOT. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT PRIOR TO CONTINUING WORK.
8. CONTRACTOR SHALL PROVIDE IRRIGATION TO, AND DRAINAGE FROM ALL PLANTERS.
9. REMOVE ALL ROAD BASE, SHELLROCK, MARL, CORAL ROCK, AND RUBBLE 30" MIN. BELOW FINISH GRADE FROM ALL NEW PLANTING AREAS AND TREE PITS. BACKFILL WITH SUITABLE SOIL AS APPROVED BY LANDSCAPE ARCHITECT. MAINTAIN EXISTING GRADE AT EXISTING TREES.

**Drainage Notes**

1. MATCH ALL EXISTING GRADES ALONG PROPERTY LINES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING POSITIVE SITE DRAINAGE AWAY FROM ALL STRUCTURES INCLUDING BUT NOT LIMITED TO PLANTERS, COURTYARD PLANTING AREAS, HARDSCAPE SURFACES AND ARCHITECTURAL ELEMENTS.
3. CONTRACTOR SHALL PROVIDE DRAINAGE FROM ALL PLANTERS.



McCarty & Associates

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www.McCartyLandPlanning.com  
Mike@McCartyLandPlanning.com

**Midway Detox and Rehab Campus**  
604 Midway Road  
Fort Pierce, Florida  
**Site Plan**

Drawn By SL  
Checked By MM  
Scale 1" = 30'-0"  
Drawing Date 3/31/17  
6/27/17

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TIME: 1:48:00 AM

DATE: 6/12/2017

FILE: C:\Users\mills\Desktop\15-3500.1 604 Midway (CADD)\CIVIL\15-3500 General Notes - Civil.dwg

GENERAL NOTES:

- 1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST STANDARDS OF THE CITY OF FORT PIERCE, ST. LUCIE COUNTY AND FDOT.
2. PAVEMENT STRIPING TO BE IN ACCORDANCE WITH THE CITY OF FORT PIERCE, ST. LUCIE COUNTY SPECIFICATIONS AND WITH THE FLORIDA D.O.T. ROADWAY & TRAFFIC STANDARDS, INDEX 17346.
3. ALL TRAFFIC CONTROL SIGNS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
4. WHERE MUCK OR OTHER ORGANIC MATERIAL IS FOUND, IT SHALL BE REMOVED AND REPLACED WITH QUALITY BACKFILL MATERIAL OBTAINED FROM THE GRADING OPERATIONS OR OTHER SOURCE APPROVED BY THE ENGINEER. THE ORGANIC MATERIAL SHALL BE THEN USED AS TOP DRESSING WHEN MIXED WITH CLEAN SANDY SOIL.
5. THE CONTRACTOR SHALL NOTIFY THE CITY OF FORT PIERCE PUBLIC WORKS DIVISION AND MILLS, SHORT & ASSOCIATES AT LEAST ONE WEEK BEFORE COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR SHALL OBTAIN AN FDOT RAW PERMIT PRIOR TO COMMENCING WORK WITHIN INDIAN RIVER COUNTY RIGHT-OF-WAYS.
6. CONTRACTOR IS RESPONSIBLE FOR CHECKING ACTUAL SITE CONDITIONS BEFORE STARTING CONSTRUCTION.
7. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE COMMENCING WORK.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL CONTACT ALL CONCERNED UTILITIES AT LEAST 48 HOURS IN ADVANCE FOR CONSTRUCTION OPERATIONS.
9. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER.
10. CONTRACTOR SHALL SUPPLY DENSITY TEST TO ENGINEER ON ALL SUB-GRADE AND BASE. TEST SHALL BE PREPARED PER AASHTO T-180 METHOD.
11. SLOPE GRADES FROM ELEVATIONS SHOWN TO THE EXISTING GRADE AT PROPERTY LINE.
12. CONTRACTOR SHALL NOTIFY ENGINEER AT LEAST 48 HOURS IN ADVANCE FOR ANY INSPECTIONS.
13. ANY EXISTING FLOW WELLS SHALL BE PLUGGED AS PART OF SITE DEVELOPMENT.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL CLEAR AND GRUB ALL AREAS UNLESS OTHERWISE INDICATED, REMOVING TREES, STUMPS, ROOTS, MUCK, EXISTING PAVEMENT AND ALL OTHER DELETERIOUS MATERIAL.
15. EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE TOPOGRAPHIC SURVEY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ENTIRELY ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATION IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
16. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS AND BONDS IF REQUIRED PRIOR TO CONSTRUCTION.

PAVING AND DRAINAGE NOTES:

- 1. PIPE LENGTHS SHOWN REPRESENT SCALED DISTANCE BETWEEN CENTERLINES OF DRAINAGE STRUCTURES.
2. DITCH BOTTOM AND CONTROL STRUCTURE INLET GRATES SHALL BE SECURED WITH CHAIN AND EYEBOLT.
3. FIVE (5) FEET OF SOD IS REQUIRED AROUND ALL DITCH BOTTOM INLETS, MANHOLES, HEADWALLS AND MITERED END SECTIONS.
4. TOP ELEVATIONS OF MANHOLES IN GRASSED AREAS SHALL BE LOCATED AT FINISHED GRADE ELEVATION.
5. AS AN ALTERNATIVE, CONTRACTOR MAY USE ALTERNATIVE PIPE MATERIALS IN LIEU OF THOSE SPECIFIED IN THE CONSTRUCTION DOCUMENTS. HOWEVER, CONTRACTOR MUST RECEIVE APPROVAL OF ALTERNATIVE PIPE MATERIALS IN WRITING BY THE CITY OF FORT PIERCE AND MILLS, SHORT & ASSOCIATES PRIOR TO CONSTRUCTION.
6. STRIP TOPSOIL AND ORGANIC MATTER FROM ALL AREAS OF THE SITE AS REQUIRED. TOP SOIL WHICH HAS BEEN STRIPPED AND STOCK PILED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED ON ALL REGRADED SURFACES SO AS TO PROVIDE AT LEAST FOUR INCHES OF EVEN COVER TO ALL DISTURBED AREAS OF THE DEVELOPMENT AND SHALL BE STABILIZED BY SEEDING OR PLANTING.
7. ALL DISTURBED AREAS WITH SLOPES UP TO 6:1 SHALL BE SEED AND MULCHED. SLOPES STEEPER THAN 6:1 SHALL BE SODDED AND SLOPES 3:1 OR STEEPER SHALL HAVE THE SOD PEGGED.
8. SEE TABLE 2.0 ON SHEET G-3 FOR REQUIRED STORM PIPE COVER BENEATH AN UNPAVED SECTION, RIGID PAVEMENT, AND FLEXIBLE PAVEMENT.
9. THE TABULATED VALUES ARE RECOMMENDED MINIMUM DIMENSIONS TO WITHSTAND ANTICIPATED HIGHWAY TRAFFIC LOADS. ADDITIONAL COVER MAY BE REQUIRED TO SUPPORT CONSTRUCTION EQUIPMENT LOADS OR HIGHWAY TRAFFIC LOADS BEFORE PAVEMENT IS COMPLETED. SOME SIZE THICKNESS COMBINATIONS MAY REQUIRE MINIMUM COVER GREATER THAN THOSE LISTED ABOVE. SEE FOOT INDEX 205, SHEETS 1-6.
10. ALL RCP STORM WATER PIPE SHALL MEET THE COVER & CLASS CRITERIA AS OUTLINED IN FDOT INDEX 205.
11. ALL STORM PIPE JOINTS SHALL BE WRAPPED AS SPECIFIED IN FDOT INDEX 280.
12. THE LAST FOOT OF STORM WATER POND SHALL NOT BE EXCAVATED UNTIL ALL DISTURBED AREAS ARE STABILIZED.
13. ANY FILL MATERIAL MUST BE APPROVED BY ENGINEER IN WRITING PRIOR TO PLACEMENT.
14. SIGNIFICANT CARE MUST BE TAKEN WHEN GRADING RETENTION PONDS TO ENSURE THAT POND BOTTOMS DO NOT BECOME COMPACTED DURING CONSTRUCTION OR SEALED BY CONSTRUCTION SEDIMENT. IF SEDIMENTATION OR COMPACTION OF A POND BOTTOM OCCURS, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE THE DESIGN HYDRAULIC CONDUCTIVITY.
15. THE SAINT JOHNS RIVER WATER MANAGEMENT DISTRICT (SJRWMD), REQUIRES ALL PROPERTY OWNERS TO PERFORM A STORMWATER SYSTEM INSPECTION TO ASSURE THE PONDS, INLETS, AND PIPES ON SITE ARE BEING WELL-MAINTAINED (E.G., PROPERLY MOWED AND CLEAR OF DEBRIS). THE INTENT IS TO GUARANTEE THAT CONTAMINATED RAIN RUN-OFF FROM THE PROPERTY WILL NOT ADVERSELY AFFECT THE SURROUNDING AREA.
16. ALL PAVING, CONSTRUCTION, MATERIALS, AND WORKMANSHIP WITHIN COUNTY'S RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL OR COUNTY SPECIFICATIONS AND STANDARDS (LATEST EDITION) OR FDOT SPECIFICATIONS AND STANDARDS (LATEST EDITION) IF NOT COVERED BY LOCAL OR COUNTY REGULATIONS.
17. ALL UNPAVED AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY CONSTRUCTION SHALL BE REGRADED AND SODDED.
18. TRAFFIC CONTROL ON ALL FDOT, LOCAL AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
19. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL REGRADE WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
20. ALL OPEN AREAS WITHIN THE PROJECT SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE ON THE LANDSCAPE PLAN.
21. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.
22. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED, THE CONTRACTOR SHALL SAW CUT FULL DEPTH FOR A SMOOTH AND STRAIGHT JOINT.
23. THE CONTRACTOR SHALL INSTALL FILTER FABRIC OVER ALL DRAINAGE STRUCTURES FOR THE DURATION OF CONSTRUCTION UNTIL ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL DRAINAGE STRUCTURES SHALL BE CLEANED OF DEBRIS AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.
24. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER AND THE DESIGN ENGINEER PRIOR TO ANY EXCAVATION.
25. FIELD DENSITY TESTS SHALL BE TAKEN AT INTERVALS IN ACCORDANCE WITH THE LOCAL JURISDICTIONAL AGENCY OR TO FDOT STANDARDS. IN THE EVENT THAT THE CONTRACTOR DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS AS NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
26. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED AS PER PLANS. THE AREAS SHALL THEN BE SODDED OR SEED AS SPECIFIED IN THE PLANS, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE SODDED OR SEED AND MULCHED AS SHOWN ON THE LANDSCAPING PLAN.
27. ALL CUT OR FILL SLOPES SHALL BE 4 (HORIZONTAL):1 (VERTICAL) OR FLATTER UNLESS OTHERWISE SHOWN.
28. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
29. THE CONTRACTOR SHALL INSTALL ALL UNDERGROUND STORMWATER PIPING PER MANUFACTURER'S RECOMMENDATIONS.

AS-BUILT NOTES:

- 1. THE CONTRACTOR SHALL SUBMIT A CERTIFIED SET OF RECORD DRAWINGS TO THE ENGINEER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING INFORMATION ON THE APPROVED PLANS CONCURRENTLY WITH CONSTRUCTION PROGRESS. RECORD DRAWINGS SUBMITTED TO THE ENGINEER AS PART OF THE PROJECT ACCEPTANCE SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS.
A. DRAWINGS SHALL BE LEGIBLY MARKED TO RECORD ACTUAL CONSTRUCTION.
B. DRAWINGS SHALL SHOW ACTUAL LOCATION OF ALL UNDERGROUND AND ABOVE GROUND STORM DRAINAGE, WATER, REUSE AND WASTEWATER PIPING AND RELATED APPURTENANCES. ALL PIPING LOCATIONS INCLUDING HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES AND APPURTENANCES SHALL BE CLEARLY SHOWN AND REFERENCED TO PERMANENT SURFACE IMPROVEMENTS. DRAWINGS SHALL ALSO SHOW ACTUAL INSTALLED PIPE MATERIAL, CLASS, ETC. DRAWINGS SHALL CLEARLY SHOW ALL FIELD CHANGES OF DIMENSION AND DETAIL INCLUDING CHANGES MADE BY FIELD ORDER OR BY CHANGE ORDER.
C. DRAWINGS SHALL CLEARLY SHOW ALL DETAILS NOT ON ORIGINAL CONTRACT DRAWINGS, BUT CONSTRUCTED IN THE FIELD. ALL EQUIPMENT AND PIPING RELOCATION SHALL BE CLEARLY SHOWN.
D. LOCATION OF ALL INLETS AND MANHOLES, HYDRANTS, VALVES AND VALVE BOXES SHALL BE SHOWN. ALL VALVES SHALL BE REFERENCED FROM AT LEAST TWO PREFERABLY THREE PERMANENT POINTS.
E. DIMENSIONS BETWEEN ALL INLETS AND MANHOLES SHALL BE VERIFIED AND SHOWN. THE INVERTS AND GRADE ELEVATIONS OF ALL INLETS, CONTROL STRUCTURES AND MANHOLES SHALL BE SHOWN.
F. CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY FOR POND GRADING. SPOT ELEVATIONS SHALL BE TAKEN AT TOP OF BANK, POND BOTTOM, AND ALL GRADE BREAKS AT 50' INTERVALS.
G. DRAWINGS SHALL CLEARLY INDICATE VERTICAL AND HORIZONTAL SEPARATION BETWEEN WATER MAIN AND STORM DRAINAGE/SANITARY SEWER/RECLAIM WATER MAINS AT POINTS OF CROSSING IN ACCORDANCE WITH FDEP CRITERIA.
I. WHERE THE WATER MAIN CROSSES OTHER UTILITIES (STORM, GRAVITY SEWER, FORCE MAIN AND RECLAIMED WATER), THE CERTIFIED AS-BUILT DRAWINGS SHALL CLEARLY INDICATE THE CONSTRUCTED ELEVATIONS IN SUCH A WAY THAT THE VERTICAL SEPARATION BETWEEN THE WATER MAIN AND OTHER UTILITIES MAY BE VERIFIED BY THE ENGINEER. FAILURE TO PROVIDE THIS INFORMATION WILL RESULT IN THE CONTRACTOR EXCAVATING AND SURVEYING THE UTILITIES AT NO ADDITIONAL COST TO THE OWNER.
J. WHERE THE WATER MAIN CROSSES OTHER UTILITIES (STORM, GRAVITY SEWER, FORCE MAIN AND RECLAIMED WATER), THE CERTIFIED AS-BUILT DRAWINGS SHALL CLEARLY INDICATE THE LOCATIONS OF PIPE JOINTS IN SUCH A MANNER AS TO DEMONSTRATE THE PIPE IS CENTERED AT ALL THE CROSSING, FAILURE TO PROVIDE THIS INFORMATION WILL RESULT IN THE CONTRACTOR EXCAVATING AND SURVEYING THE UTILITIES AT NO ADDITIONAL COST TO THE OWNER.

- 2. EACH SHEET OF THE PLANS SHALL BE SIGNED, SEALED AND DATED BY REGISTERED SURVEYOR WITH A NOTE READING "THESE AS-BUILT DRAWINGS ACCURATELY DEPICT THE ACTUAL IMPROVEMENTS AS CONSTRUCTED".

CLEARANCES:

- 1. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING 90 DAYS PRIOR TO THE ANTICIPATED COMPLETION OF CONSTRUCTION AND/OR CERTIFICATION OF COMPLETION APPROVAL DATE.
2. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH SIGNED AND SEALED AS-BUILTS OF ALL UTILITY IMPROVEMENTS, PRESSURE TESTS, BACTERIOLOGICAL TESTS, AND ANY OTHER INFORMATION NECESSARY FOR THE CLEARANCE APPROVALS WITH F.D.E.P. AND THE LOCAL UTILITY PROVIDER. THIS INFORMATION SHALL BE PROVIDED TO THE ENGINEER 60 DAYS PRIOR TO THE ANTICIPATED COMPLETION OF CONSTRUCTION AND/OR CERTIFICATION OF COMPLETION APPROVAL DATE.
3. THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH SIGNED AND SEALED AS-BUILTS OF ALL STORM WATER SYSTEM IMPROVEMENTS AND ANY OTHER INFORMATION NECESSARY FOR THE CLEARANCE APPROVALS AND THE LOCAL UTILITY PROVIDER. THIS INFORMATION SHALL BE PROVIDED TO THE ENGINEER 60 DAYS PRIOR TO THE ANTICIPATED COMPLETION OF CONSTRUCTION AND/OR CERTIFICATION OF COMPLETION APPROVAL DATE.

DEMOLITION NOTES:

- 1. ALL MATERIAL REMOVED FROM THIS SITE BY THE CONTRACTOR SHALL BE DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
2. REFER TO THE TOPOGRAPHIC SURVEY FOR ADDITIONAL DETAILS OF EXISTING STRUCTURES, ETC., LOCATED WITHIN THE PROJECT SITE. UNLESS OTHERWISE NOTED, ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILES, SIGNS, AND ALL APPURTENANCES ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AND PROPERLY DISPOSED OF IN A LEGAL MANNER AS PART OF THIS CONTRACT. SOME ITEMS TO BE REMOVED MAY NOT BE DEPICTED ON THE TOPOGRAPHIC SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE SITE AND DETERMINE THE FULL EXTENT OF ITEMS TO BE REMOVED. IF ANY ITEMS ARE IN QUESTION, THE CONTRACTOR SHALL CONTACT THE OWNER PRIOR TO REMOVAL OF SAID ITEMS.

FORT PIERCE UTILITIES AUTHORITY WATER DISTRIBUTION NOTES

- 1. ALL CONSTRUCTION MATERIAL, INSTALLATION AND TESTING SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE FORT PIERCE UTILITIES AUTHORITY.
2. WATER MAINS WHERE SPECIFIED AS POLYVINYL CHLORIDE (PVC) SHALL CONFORM TO AWWA C-900 OR C-905, PRESSURE CLASS 150, DR (18). WATER MAINS WHERE SPECIFIED AS POLYETHYLENE (PE) SHALL CONFORM TO AWWA C-901 OR C-906, STANDARD CODE DESIGNATION PE3408, PIPE CLASS 200, DIMENSION RATIO (DR) 17 FOR DIRECT BURY, (DR) 11 FOR DIRECTIONAL BORING, AND (DR) 9 FOR 2 INCH AND SMALLER PIPELINES.
3. WATER MAIN, WHERE SPECIFIED AS DUCTILE IRON PIPE, SHALL CONFORM TO ANS/AWWA C151/A21.51 AND SHALL BE PRESSURE CLASS 250 (MINIMUM).
4. POLYVINYL CHLORIDE WATER MAIN SHALL BE BLUE IN COLOR OR WHITE IN COLOR WITH BLUE STRIPES. THE USE OF IDENTIFICATION TAPE ATTACHED TO THE TOP OF THE PIPE MAY BE USED IN LIEU OF MARKING ON THE PIPE. ALSO DIP PIPE SHALL REQUIRE THE USE OF IDENTIFICATION TAPE AND THIN WIRE.
5. FITTINGS SHALL BE DUCTILE IRON CONFORMING TO ANS/AWWA C-110/A21.10, CLASS 250 MIN., CEMENT LINER AND FACTORY COATED.
6. GATE VALVES SHALL BE MUELLER RESILIENT SEAT, KENNEDY KEN-SEAL, AMERICAN OR APPROVED EQUAL VALVES SHALL CONFORM TO AWWA C-509.
7. WATER LINES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH FPLA DESIGN AND CONSTRUCTION STANDARDS. THE CONTRACTOR SHALL SUBMIT CERTIFIED DENSITY TESTS AS REQUIRED BY FPLA ENGINEERING AND THE CITY, COUNTY, FDOT, IN CASES WHERE PAVED AREAS FALL WITHIN THE JURISDICTION OF LOCAL OR STATE AGENCIES, THE COMPACTION REQUIREMENTS SHALL NOT BE LESS THAN THE MINIMUM REQUIRED BY THE APPROPRIATE RESPONSIBLE AGENCY.
8. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE FPLA ENGINEER AND CITY/COUNTY/FDOT ENGINEER.
9. THE CONTRACTOR SHALL NOTIFY FPLA ENGINEERING AND CITY/COUNTY/FDOT ENGINEERING 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
10. A PRE-CONSTRUCTION CONFERENCE BETWEEN THE ENGINEER, THE CONTRACTOR, FPLA, AND CITY/COUNTY/FDOT ENGINEER SHALL BE MANDATORY PRIOR TO COMMENCEMENT OF CONSTRUCTION.
11. TRAFFIC CONTROL, BARRICADES, ETC. SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS AND APPROVED BY THE CITY ENGINEER.
12. MINIMUM COVER SHALL BE 36 INCHES EXCEPT AS APPROVED BY THE UTILITIES ENGINEER AND CITY/COUNTY/FDOT ENGINEER. PIPES WITH COVER LESS THAN 30 INCHES SHALL BE CONSTRUCTED OF DUCTILE IRON OR IN PVC CASING.
13. DISTURBED AREAS SHALL BE RESTORED IN CONFORMANCE WITH THE APPLICABLE GOVERNING AGENCY REQUIREMENTS.
14. EXISTING UTILITIES AND DRAINAGE SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION AND PROTECTED BY THE CONTRACTOR.
15. WATER MAINS SHALL BE TESTED AND DISINFECTED IN ACCORDANCE WITH THE APPLICABLE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND AWWA C-651 FOR DISINFECTION.

Water Distribution G-1 NOTES. Includes project details, revision table, and signature lines for Engineer and Surveyor.

FORT PIERCE UTILITIES AUTHORITY WASTEWATER CONSTRUCTION NOTES

- 1. ALL CONSTRUCTION MATERIAL, INSTALLATION AND TESTING SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE FORT PIERCE UTILITIES AUTHORITY.
2. GRAVITY SEWER MAIN SHALL BE POLYVINYL CHLORIDE SDR-26, GREEN OR WHITE IN COLOR, GRAVITY SEWER MAIN SHALL HAVE LOCATOR TAPE WITH "SEWER" MARKED ON TAPE AND SHALL CONFORM TO ASTM D-3034.
3. THE MANHOLE BASE SHALL BE SET ON A FIRM, DRY AND STABLE OR COMPACTED BASE FOUNDATION. IF NECESSARY THE CONTRACTOR SHALL UTILIZE ROCK TO PROVIDE A FIRM AND SUITABLE MANHOLE BASE FOUNDATION.
4. WASTEWATER LINES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH FPLA DESIGN AND CONSTRUCTION STANDARDS. THE CONTRACTOR SHALL SUBMIT CERTIFIED DENSITY TESTS AS REQUIRED BY FPLA ENGINEERING AND THE CITY ENGINEERING DEPARTMENT. IN CASES WHERE PAVED AREAS FALL WITHIN THE JURISDICTION OF LOCAL OR STATE AGENCIES, THE COMPACTION REQUIREMENTS SHALL NOT BE LESS THAN THE MINIMUM REQUIRED BY THE APPROPRIATE RESPONSIBLE AGENCY.
5. A 1% MINIMUM SLOPE SHALL BE MAINTAINED ON ALL SANITARY SERVICE LATERALS.
6. THE CONTRACTOR SHALL FURNISH RECORD DRAWING INFORMATION TO THE ENGINEER CONSISTING OF PIPE SIZES, LOCATION OF SERVICE TEES, INVERTS, DIAMETER OF SERVICES, LOCATION OF ANY FITTINGS, FINAL RIM AND INVERT ELEVATION OF ALL MANHOLES AND ANY OTHER PERTINENT INFORMATION NECESSARY TO LOCATE ITEMS CONSTRUCTED UNDER THIS PROJECT.
7. MAINTAIN SIX FEET AND PREFERABLY 10 FEET HORIZONTAL SEPARATION BETWEEN WATER MAINS AND SEWER MAINS AS A MINIMUM.
8. WASTEWATER FORCE MAINS, WASTEWATER COLLECTION LINES, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. A MINIMUM VERTICAL DISTANCE OF 12 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE SHALL BE PROVIDED WHENEVER POSSIBLE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE WASTEWATER PIPE JOINTS AND THE WATER PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING, AND THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6 INCHES MUST BE MAINTAINED AT ALL CROSSINGS.
9. A PRE-CONSTRUCTION CONFERENCE BETWEEN THE ENGINEER, THE CONTRACTOR, AND FPLA/CITY/COUNTY/FDOT SHALL BE MANDATORY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
10. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN SHALL BE MADE WITHOUT PRIOR APPROVAL FPLA/CITY/COUNTY/FDOT ENGINEER.
11. TRAFFIC CONTROL, BARRICADES, ETC. SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.
12. CONTRACTOR SHALL NOTIFY FORT PIERCE UTILITIES AUTHORITY 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
13. WASTEWATER FORCE MAIN SHALL BE POLYVINYL CHLORIDE CONFORMING TO AWWA C-900, AND SHALL BE CLASS 150, DR-18.
14. WASTEWATER FORCE MAIN SHALL BE GREEN IN COLOR.
15. FITTINGS SHALL BE DUCTILE IRON, CONFORMING TO ANS/AWWA C-110/A21.10 CLASS 250 MIN. AND INTERIOR EPOXY COATED.
16. WASTEWATER FORCE MAIN SHALL BE MARKED BY THE USE OF CONTINUOUS 10 GAUGE THIN WIRE (GREEN IN COLOR) PERMANENTLY ATTACHED TO THE TOP OF THE FORCE MAIN WITH LOCATOR TAPE MARKED "SEWER" ON TAPE IN ACCORDANCE WITH FPLA SPECIFICATIONS.
17. MINIMUM COVER SHALL BE 36 INCHES. PIPES WITH COVER LESS THAN 30 INCHES SHALL REQUIRE PRIOR APPROVAL OF THE UTILITIES ENGINEER AND SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE.
18. EACH SERVICE LATERAL WILL BE MARKED WITH A LOCATOR BALL AS MANUFACTURED BY 3M CORPORATION, OR APPROVED EQUAL AS REQUIRED BY FPLA ENGINEER.
19. ALL MANHOLES SHALL HAVE SEWER RAIN GUARDS INSTALLED AS REQUIRED BY FPLA ENGINEER.
20. THE CONTRACTOR SHALL COMPLY WITH THE FLORIDA TRENCH SAFETY ACT REQUIREMENTS.

Wastewater Construction Notes FPLA Requirements G-2 CONSTRUCTION NOTES. Includes project details, revision table, and signature lines.

FORT PIERCE UTILITIES AUTHORITY WATER DISTRIBUTION NOTES CONTINUED

- 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EXISTING UTILITIES AND DRAINAGE.
17. THE CONTRACTOR SHALL FURNISH RECORD DRAWING INFORMATION TO THE ENGINEER INCLUDING LOCATIONS OF VALVES, FITTINGS, SERVICE CONNECTIONS, BLOWOFFS, AIR RELEASE VALVES, AND ANY OTHER PERTINENT INFORMATION NECESSARY TO LOCATE ITEMS CONSTRUCTED UNDER THIS PROJECT, AS REQUIRED BY THE UTILITIES ENGINEER.
18. THE CONTRACTOR SHALL TAP EXISTING LINES UNDER THE SUPERVISION OF THE FORT PIERCE UTILITIES AUTHORITY ONLY AFTER TESTING AND DISINFECTION HAS BEEN COMPLETED AND APPROVED ON THE TAPPING VALVE AND SLEEVE.
19. WATER MAIN SHALL BE MARKED BY THE USE OF CONTINUOUS 10 GAUGE THIN MULTI STRANDED WIRE (BLUE IN COLOR) AND IDENTIFICATION TAPE WITH "WATER" MARKED ON TAPE, PERMANENTLY ATTACHED TO THE TOP OF THE WATER MAIN IN ACCORDANCE WITH THE FORT PIERCE UTILITIES AUTHORITY SPECIFICATIONS.
20. SERVICE TAPS SHALL BE PLACED APPROXIMATELY TEN FEET AWAY FROM GATE VALVES, AS SHOWN, FOR TESTING. FOLLOWING TESTING AND STERILIZATION OF WATER LINE, CONTRACTOR SHALL PLACE A BRASS PLUG IN CORPORATION STOPS AND CURB STOPS SHALL BE REMOVED FROM TESTING LOCATIONS.
21. MECHANICAL RESTRAINTS TO BE USED ON ALL FITTINGS AND PLACED IN ACCORDANCE WITH MANUFACTURER'S OR ENGINEER'S RECOMMENDATIONS (WHICHEVER IS MORE STRINGENT) AND FPLA REQUIREMENTS.
22. ALL MAINS SHALL BE TESTED AT A MINIMUM OF 150 PSI. TESTING METHODS SHALL CONFORM TO AWWA C-600, - 2 HR. MINIMUM TEST
L= S(D^2) / 2
L= 148,000
L= LEAKAGE IN GPH
D= LENGTH OF PIPE IN FEET
D= PIPE DIAMETER IN INCHES
P= TESTING PRESSURE IN PSI
23. PRIOR TO ANY TESTING, ALL MAINS 6" IN DIA. AND LARGER SHALL HAVE A SWAB PASSED THRU THE ENTIRE LENGTH OF THE LINE. NOTE: SWAB SHOULD BE PLACED IN THE JOINT OF NEW LINE END OF MAIN SHOULD BE TURNED UP AT 45% AND EXTENDED SO THAT SWABBING AND A FULL BORE FLUSH CAN BE ACCOMPLISHED. BLOW-OFF ASSY CAN THEN BE PLACED, WHERE LINES BRANCH, SWABS WILL BE PLACED IN BRANCH LINES AND SEQUENTIALLY SWABBED AND FLUSHED.
24. A MINIMUM SIX FEET AND PREFERABLY TEN FEET HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN THE WATER MAIN AND ANY WASTEWATER LINES. 6 INCHES MINIMUM VERTICAL SEPARATION IF WATER MAIN IS OVER WASTEWATER AND 12 INCHES IF WATER MAIN IS UNDER SHALL BE MAINTAINED BETWEEN THE WATER MAIN AND ANY WASTEWATER LINES. THE DISTANCE SHALL BE MEASURED FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE OR STRUCTURE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE ARRANGED SO THAT THE WASTEWATER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING. SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6 INCHES MUST BE MAINTAINED AT ALL CROSSINGS.
25. WHERE A WATER MAIN IS TO BE INSTALLED BELOW A STORM DRAIN PIPE, A MINIMUM OF 6 INCHES OF VERTICAL CLEARANCE BETWEEN PIPES SHALL BE CONSTRUCTED OF DIP AT THE CROSSING, AND SHALL BE MECHANICALLY RESTRAINED WITHIN 20 FEET OF THE CROSSING.
26. CONTRACTOR SHALL COMPLY WITH FLORIDA TRENCH SAFETY ACT REQUIREMENTS.

Water Distribution G-1 NOTES. Includes project details, revision table, and signature lines.

STANDARD SEPARATION STATEMENT FOR WATER / SEWER CONFLICTS

- 1. SANITARY SEWER, FORCE MAINS, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. SANITARY SEWERS, FORCE MAINS AND STORM SEWERS CROSSING UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 6 INCHES, PREFERABLY 12 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE WHEN ABOVE, AND AT LEAST 12 INCHES OF SEPARATION WHEN THE WATER MAIN IS BELOW.
WHERE SANITARY SEWER, FORCE MAINS, STORM SEWERS MUST CROSS A WATER MAIN WITH LESS THAN 6 INCHES VERTICAL SEPARATION, BOTH THE SEWER AND WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) CENTERED ON THE CROSSING. (DIP IS NOT REQUIRED FOR STORM SEWERS) SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED.
ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING). AT SUCH CROSSINGS PIPES SHALL BE ARRANGED SO THAT WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY OR PRESSURE PIPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE WITH LESS THAN 6 INCHES VERTICAL CLEARANCE, THE NEW PIPE SHALL BE CONSTRUCTED OF DIP (EXCEPT STORM SEWERS) AND NEW PIPES SHALL BE ARRANGED TO MEET THE CROSSING REQUIREMENTS ABOVE.
2. A MINIMUM 3-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF STORM SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
A MINIMUM 3-FOOT, AND PREFERABLY 10-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN VACUUM TYPE SANITARY SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
A MINIMUM 10-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN "ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
A MINIMUM 6-FOOT, AND PREFERABLY 10-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN GRAVITY OR PRESSURE TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE THE MINIMUM HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS SHALL BE REDUCED TO 3 FOOT WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER.
IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10-FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON A UNDISTURBED EARTH SHELf LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 6 INCHES ABOVE THE TOP OF THE SEWER.
WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 6 INCHES IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SEWER OR THE FORCE MAIN SHALL BE CONSTRUCTED OF DIP (EXCEPT STORM SEWER) WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
3. ALL DIP SHALL BE PRESSURE CLASS 250 MIN. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY THE DESIGN ENGINEER.

Standard Separation Statement for Water/Sewer Conflict G-3 WATER/SEWER CONFLICT. Includes project details, revision table, and signature lines.

Mills, Short & Associates
800 Eighth Street
Vero Beach, Florida 32962
PHONE: 772.226.7282
WEBSITE: www.MillsShortAssociates.com
CA # 30698

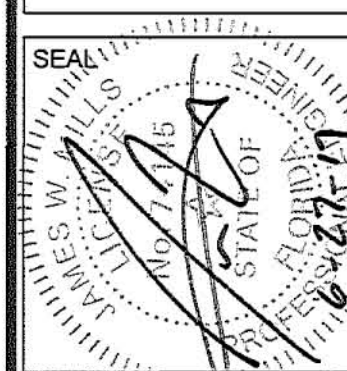
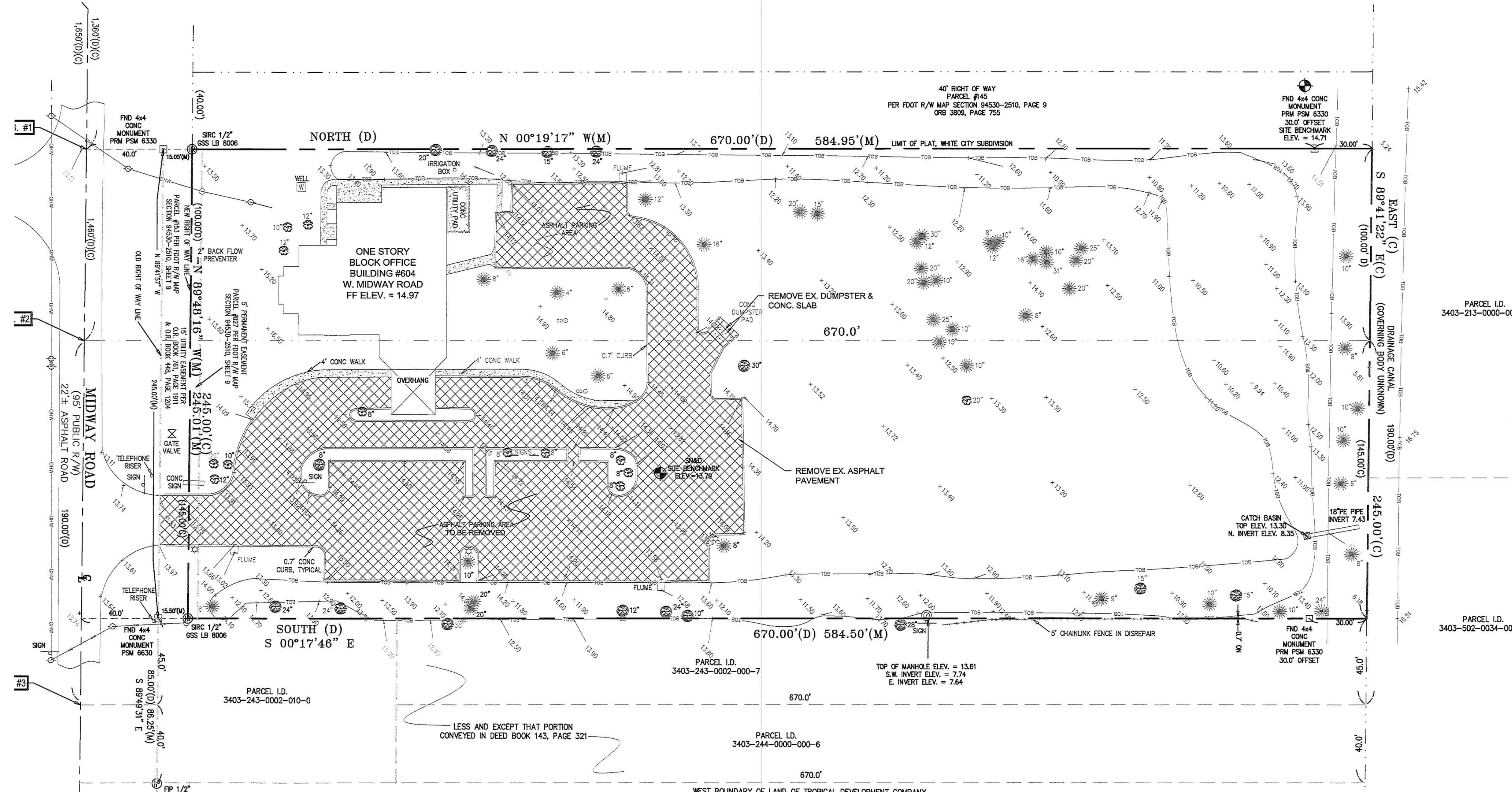
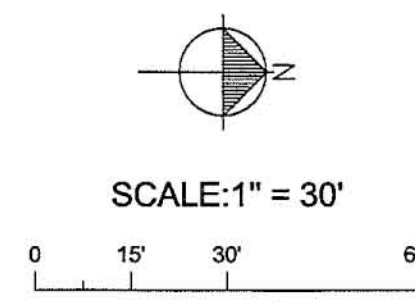


Table with columns: ISSUE, DATE, COMMENTS. Contains one entry dated 6/12/17.

SCALE: N/A
APPROVED BY: JWM
CHECKED BY: JWM
DRAWN BY:

604 MIDWAY PARCEL
604 Midway Road, Fort Pierce, Florida
GENERAL NOTES



**LEGAL DESCRIPTION:**

BEGINNING(#1) AT A STAKE 1,360 FEET EAST OF THE CENTER OF OLEANDER AVENUE AND MIDWAY, ACCORDING TO THE MAP OF WHITE CITY; THENCE NORTH 670 FEET; THENCE EAST 100 FEET; THENCE SOUTH 670 FEET; THENCE WEST 100 FEET TO THE POINT OF BEGINNING; SAID LAND LYING IN AND COMPRISING A PART OF THE W 1/2 OF SW 1/4 OF SE 1/4 OF NW 1/4 OF SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST.

AND

BEGINNING(#2) 1,460 FEET EAST OF THE CENTER OF OLEANDER AVENUE AND MIDWAY IN THE TOWN OF WHITE CITY; RUN THENCE NORTH 670 FEET; THENCE EAST 190 FEET; THENCE SOUTH 670 FEET; THENCE WEST 190 FEET; TO THE POINT OF BEGINNING; SAID LAND LYING IN AND COMPRISING A PART OF THE W 1/2 OF SW 1/4 OF SE 1/4 OF NW 1/4 OF SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST.

AND

BEGINNING(#3) AT A POINT 1,650 FEET EAST OF THE CENTER OF OLEANDER AVENUE AND MIDWAY, ACCORDING TO THE MAP OF WHITE CITY; THENCE NORTH 670 FEET; THENCE EAST 40 FEET, MORE OR LESS TO THE WEST BOUNDARY OF LAND OF TROPICAL DEVELOPMENT COMPANY; THENCE SOUTH 670 FEET; THENCE WEST 40 FEET, MORE OR LESS TO PLACE OF BEGINNING; ALL IN SECTION 3, TOWNSHIP 36 SOUTH, RANGE 40 EAST.

LESS AND EXCEPT FROM THE ABOVE DESCRIBED PARCEL THAT PORTION THEREOF CONVEYED IN DEED BOOK 143, PAGE 321, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

AND LESS AND EXCEPT THAT PORTION TAKEN FROM MIDWAY ROAD IN OFFICIAL RECORDS BOOK 761, PAGE 1911, PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

ALL OF THE ABOVE DESCRIBED LAND LYING AND BEING IN ST. LUCIE COUNTY, FLORIDA.

(CONTAINS 3.5± ACRES)

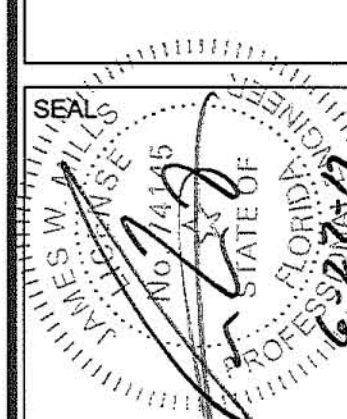
**CONTROLLING BENCHMARK**  
 NATIONAL GEODETIC SURVEY BENCHMARK  
 DESIGNATION BX 403  
 PD 847512  
 PUBLISHED ELEVATION 12.69 NAVD 1988

**SURVEYORS NOTES:**

- LEGAL DESCRIPTION PROVIDED BY CLIENT. ADJOINERS SHOWN HAVE NOT BEEN SURVEYED.
- THE EXPECTED USE OF THIS PARCEL IS COMMERCIAL. THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS BOUNDARY SURVEY IS 1 FOOT IN 10,000 FEET. IN THE MINIMUM TECHNICAL STANDARDS (S17 F.A.C.).
- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHT-OF-WAY AND/OR EASEMENTS OF RECORD.
- SEPTIC TANKS AND WELLS IF SHOWN ARE APPROXIMATE LOCATIONS AND SHOULD BE FIELD VERIFIED BY A LICENSED CONTRACTOR FOR CORRECT POSITION AND SEPARATION. UNDERGROUND UTILITIES OR FOOTERS HAVE NOT BEEN LOCATED OR EXCAVATED AND VERIFIED BY THIS FIRM.
- BEARINGS SHOWN ARE BASED UPON THE NORTH RIGHT OF WAY LINE OF WEST MIDWAY ROAD.
- ALL RIGHTS-OF-WAY SHOWN HEREON ARE OPEN TO TRAVEL UNLESS OTHERWISE NOTED.
- ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP NUMBER 1211C0271J & 1211C0283J, HAVING AN EFFECTIVE DATE OF FEBRUARY 2, 2012. THIS PROPERTY APPEARS TO LIE WITHIN ZONE X, OUTSIDE SPECIAL FLOOD HAZARD AREA.
- ALL DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES AND ARE REFERENCED TO U.S. SURVEY FEET.
- THE BOUNDARY DETERMINATION AND DELINEATION SHOWN ON THIS MAP OF SURVEY WAS BASED UPON THE PROFESSIONAL OPINION OF THE REGISTERED SURVEYOR PURSUANT TO NORMAL PRINCIPALS AND PRACTICES OF LAND SURVEYING AND IS NOT INTENDED TO IMPLY OR DETERMINE OWNERSHIP. THIS SURVEY DOES NOT INTEND TO DELINEATE LOCAL AREAS OF CONCERN OR ANY OTHER JURISDICTIONAL DETERMINATION.
- THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT AND USE OF THE PERSONS AND/OR ENTITIES NAMED HEREON FOR THE PURPOSES IDENTIFIED HEREON ONLY. UNLESS OTHERWISE STATED, CERTIFICATION OF THIS SURVEY MAP APPLIES ONLY TO THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER S17 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THE CERTIFICATION IN NO WAY CONSTITUTES NEITHER GUARANTEE NOR WARRANTY TO ANY OTHER INFORMATION NOT SHOWN HEREON. ADDITIONS, DELETIONS OR REVISIONS TO THIS DRAWING BY OTHERS ARE NOT PERMITTED AND THIS SURVEY MAY NOT BE TRANSFERRED WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE SIGNING SURVEYOR. THIS SURVEY IS NOT VALID FOR ANY OTHER PURPOSE OTHER THAN INTENDED BY THE SIGNING SURVEYOR.

- FFR = FOUND IRON PIPE "NO IDENTIFICATION"
- SIRC = SET 1/2" IRON ROD WITH "CAP" & "BOTT"
- CONC = CONCRETE
- FINED = FINISHED WALL AND DISK
- FINED = FINISHED FLOOR ELEVATION
- FF = FURNISHED FOOT
- PI = PLAT (D) = DEED (M) = MEASURE
- CL = CENTERLINE - BORN EDGE OF PAVEMENT
- CMP = CORRUGATED METAL PIPE
- TE = TOP OF FOREWARD
- EL = ELEVATION
- BM = BENCH MARK
- C.B.S. = CONCRETE BLOCK STRUCTURE
- CB = CONCRETE BEARING
- PCP = PERMANENT CONTROL POINT
- PC = POINT OF CURVATURE
- PT = POINT OF TANGENCY
- R/W = RIGHT OF WAY
- FIR = FOUND IRON ROD "NO IDENTIFICATION"
- FRIC = FOUND IRON ROD WITH CAP
- CHAIN LINK FENCE
- WOOD BOARD FENCE
- TOP OF BANK
- TOE OF SLOPE
- OVERHEAD WIRES
- BUILDING SETBACK LINE
- DECORATIVE
- OAK
- PALM
- PINE
- STREET LIGHT
- LIGHT POLE
- DISTING ELEVATION
- PROPOSED ELEVATION
- IRON ROD
- CATCH BASIN
- CABLE PEDESTAL
- WOOD UTILITY POLE
- GUY ANCHOR
- ELECTRIC TRANSFORMER
- TELEPHONE JUNCTION BOX
- WATER METER
- FIRE HYDRANT
- WATER VALVE
- EXISTING WELL
- SANITARY MANHOLE
- STORM MANHOLE

**Mills, Short & Associates**  
 800 Eighth Street  
 Vero Beach, Florida 32962



ISSUE	DATE	COMMENTS
1	6/27/17	PER TRC COMMENTS

604 MIDWAY PARCEL  
 604 Midway Road, Fort Pierce, Florida

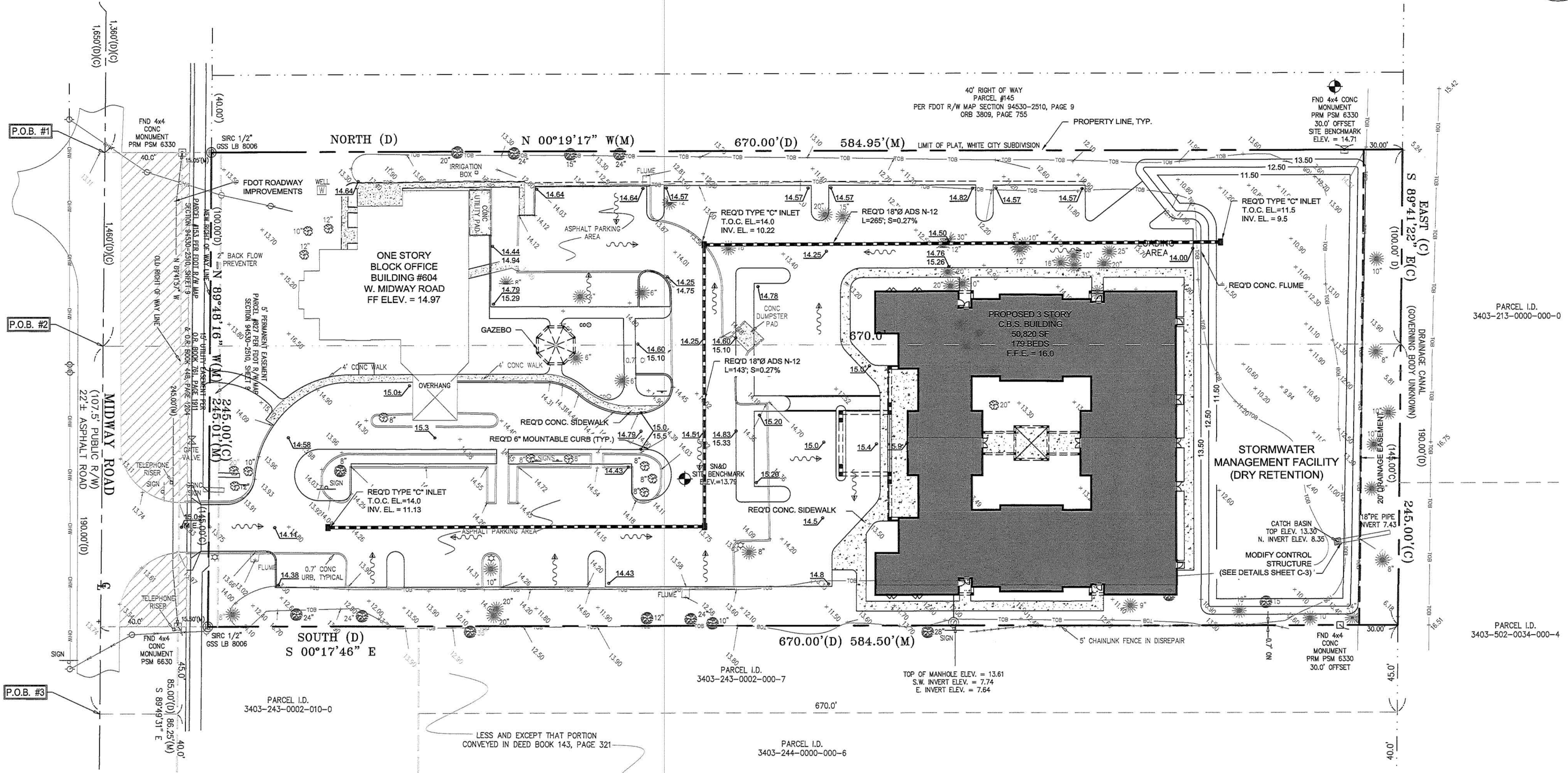
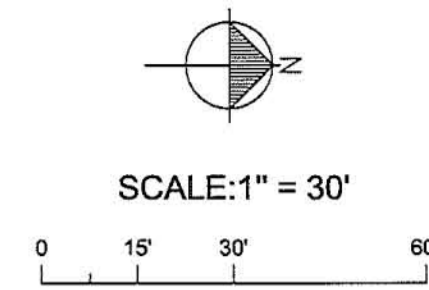
THIS SHEET: EXISTING CONDITIONS/DEMOLITION PLAN

APPROVED BY: JWM  
 CHECKED BY: JWM  
 DRAWN BY: SGS

SCALE: 1" = 30'

PROJ. NO.	15-3500.1
DATE	05.31.17
SHEET NO.	C-1
	3 OF 7

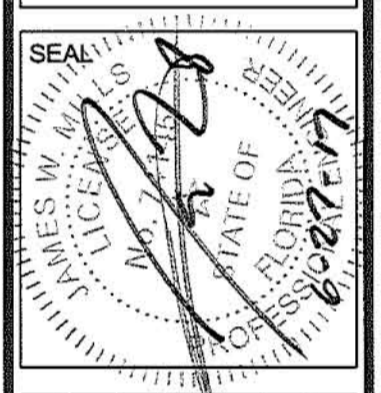




**GRADING LEGEND**

- EXISTING GRADE
- PROPOSED STORM INLET
- PROPOSED SPOT ELEVATION
- PROPOSED EDGE OF PAVEMENT ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED DRAINAGE PATTERN
- PROPOSED STORM DRAIN PIPE

**Mills, Short & Associates**  
 800 Eighth Street  
 Vero Beach, Florida 32962  
 PHONE: 772.226.7262  
 WEBSITE: www.MillsShortAssociates.com  
 CA #: 30698



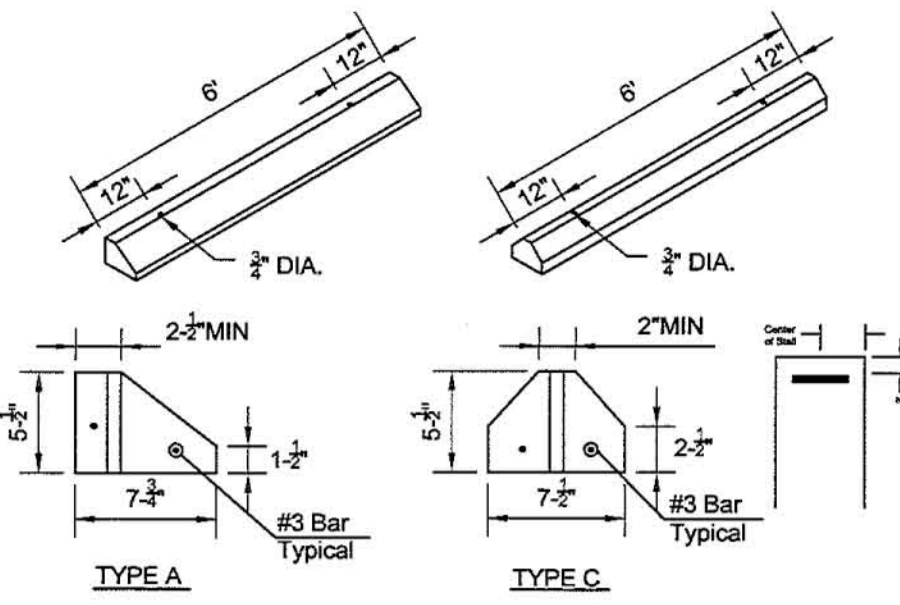
ISSUE	DATE	COMMENTS
1	6/27/17	PER TRC COMMENTS

**604 MIDWAY PARCEL**  
 604 Midway Road, Fort Pierce, Florida

THIS SHEET PAVING, GRADING AND DRAINAGE PLAN  
 DRAWN BY SCS  
 CHECKED BY JWM  
 APPROVED BY JWM

SCALE: 1" = 30'

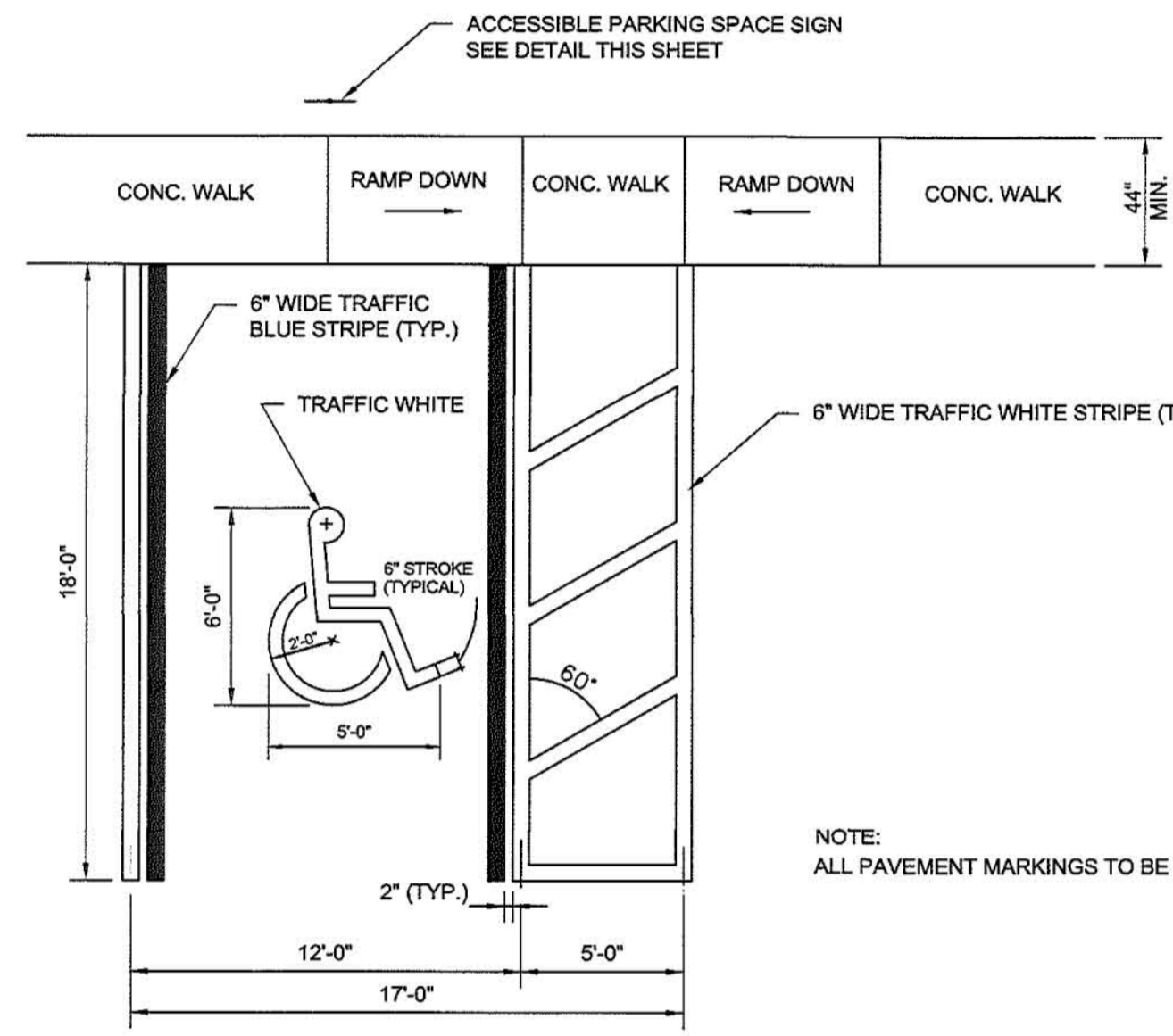
PROJ. NO. 15-3500.1  
 DATE 05.31.17  
 SHEET NO. C-2  
 SHEET 4 OF 7



NOTES:  
 1. WHEEL STOPS TO BE PLACED 2' BACK, AS SHOWN ABOVE, CENTERED IN THE PARKING STALL.  
 2. WHEEL STOPS CAN BE PAINTED IN A CONTRASTING COLOR SUCH AS GRAY, YELLOW OR BLACK. BLUE SHALL BE USED FOR HANDICAP PARKING STALLS.  
 3. CONCRETE TO BE 3,000 PSI, WITH FIBER MESH REINFORCING.

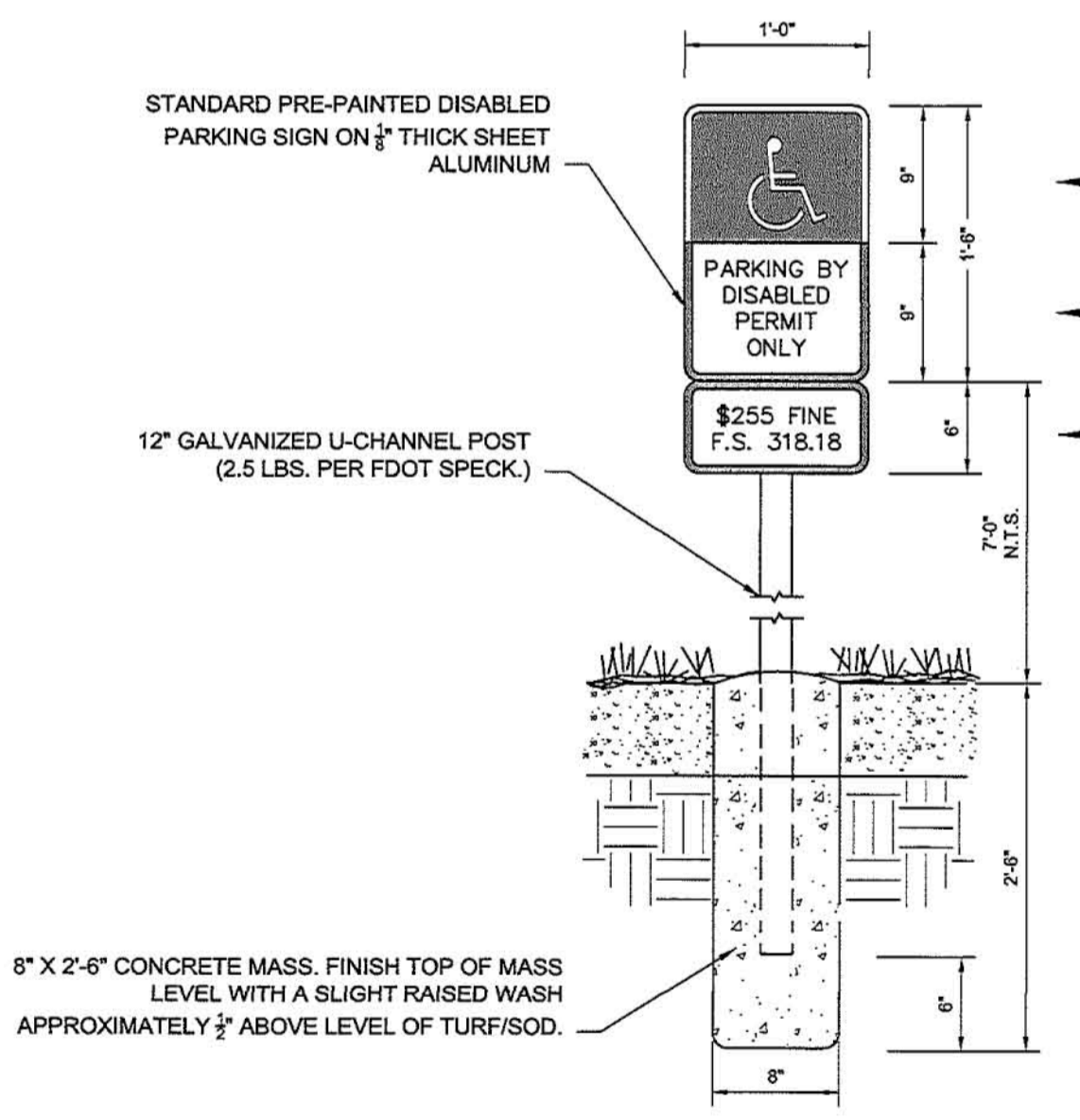
**WHEEL STOPS REINFORCED CONCRETE**

SCALE: N.T.S.



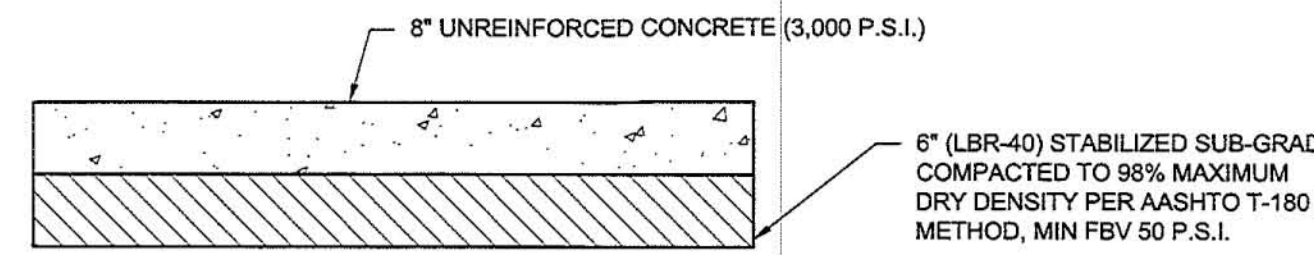
**TYPICAL SINGLE ACCESSIBLE PARKING STALL**

SCALE: N.T.S.



**TYPICAL ACCESSIBLE SIGN DETAIL**

SCALE: N.T.S.

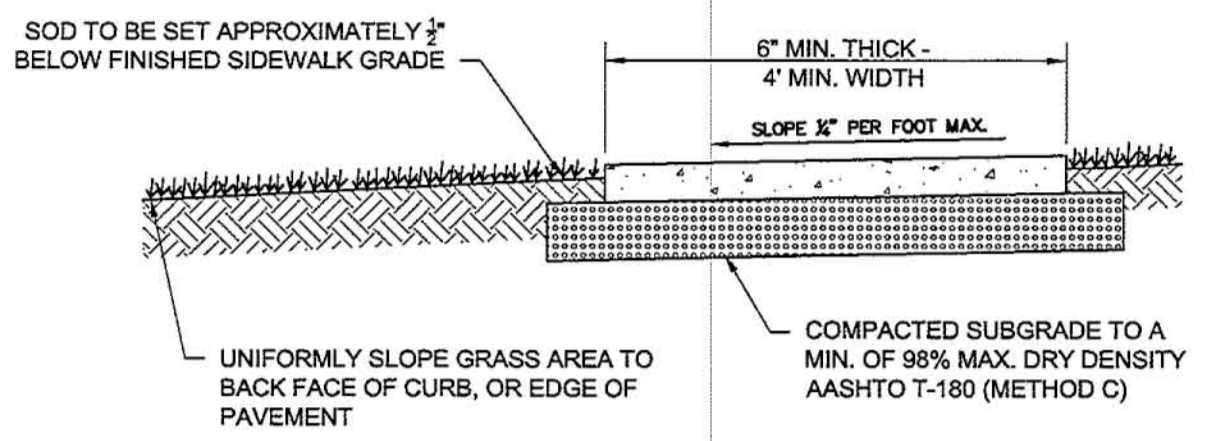


**CONCRETE PAVEMENT SECTION**

SCALE: N.T.S.

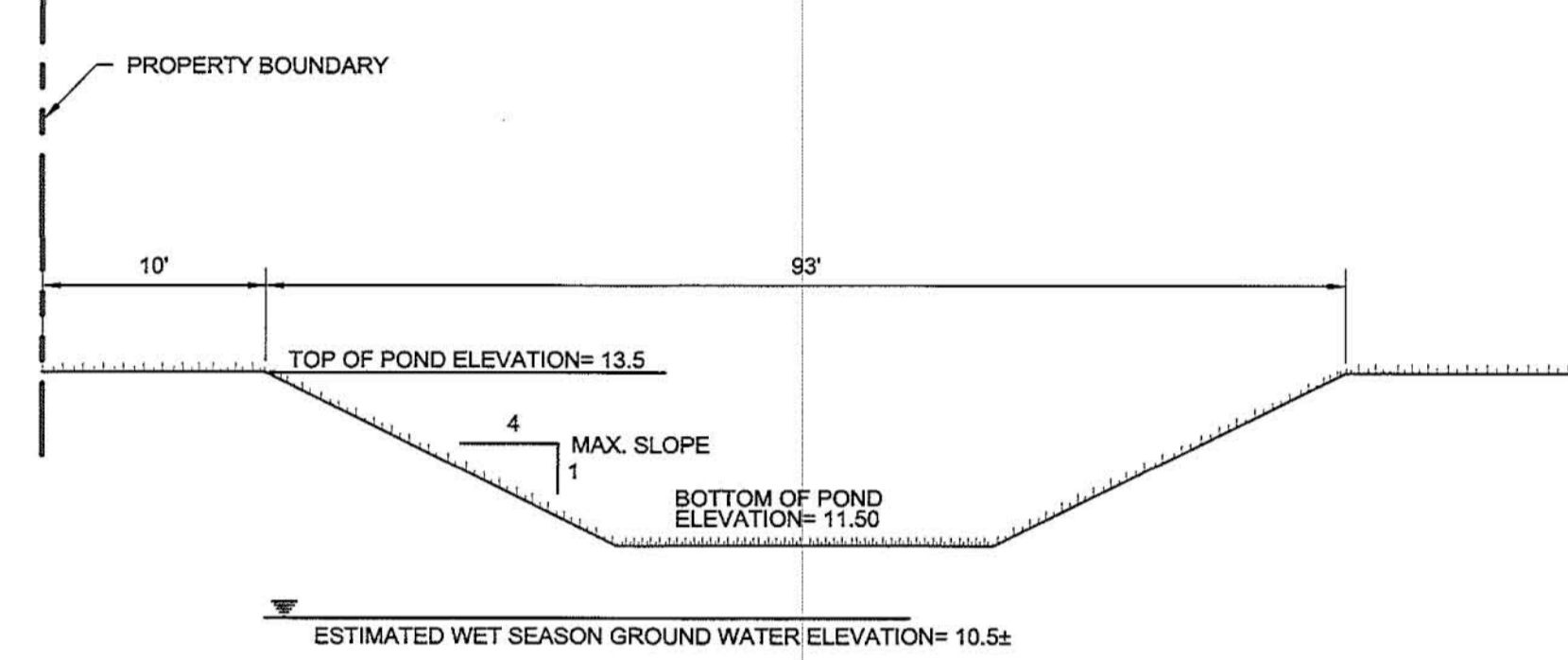
**TYPE 'D' CONCRETE CURB DETAIL**

SCALE: N.T.S.



**CONCRETE SIDEWALK DETAIL**

SCALE: N.T.S.

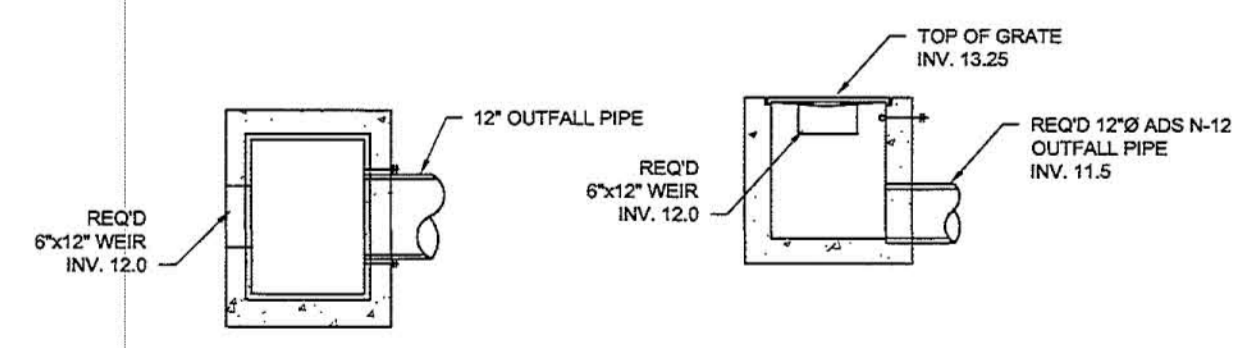
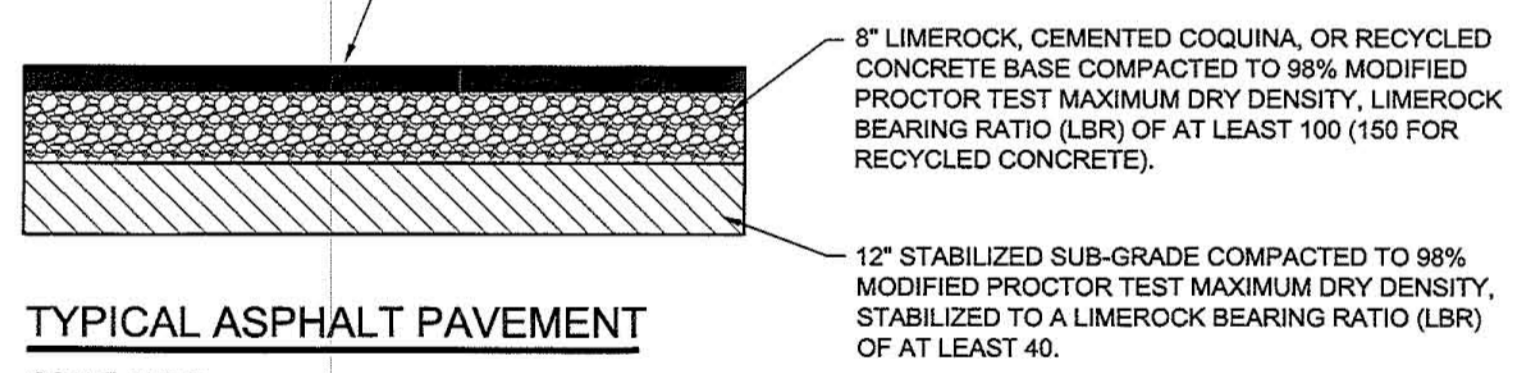


**SECTION A**

SCALE: N.T.S.

**TYPICAL ASPHALT PAVEMENT**

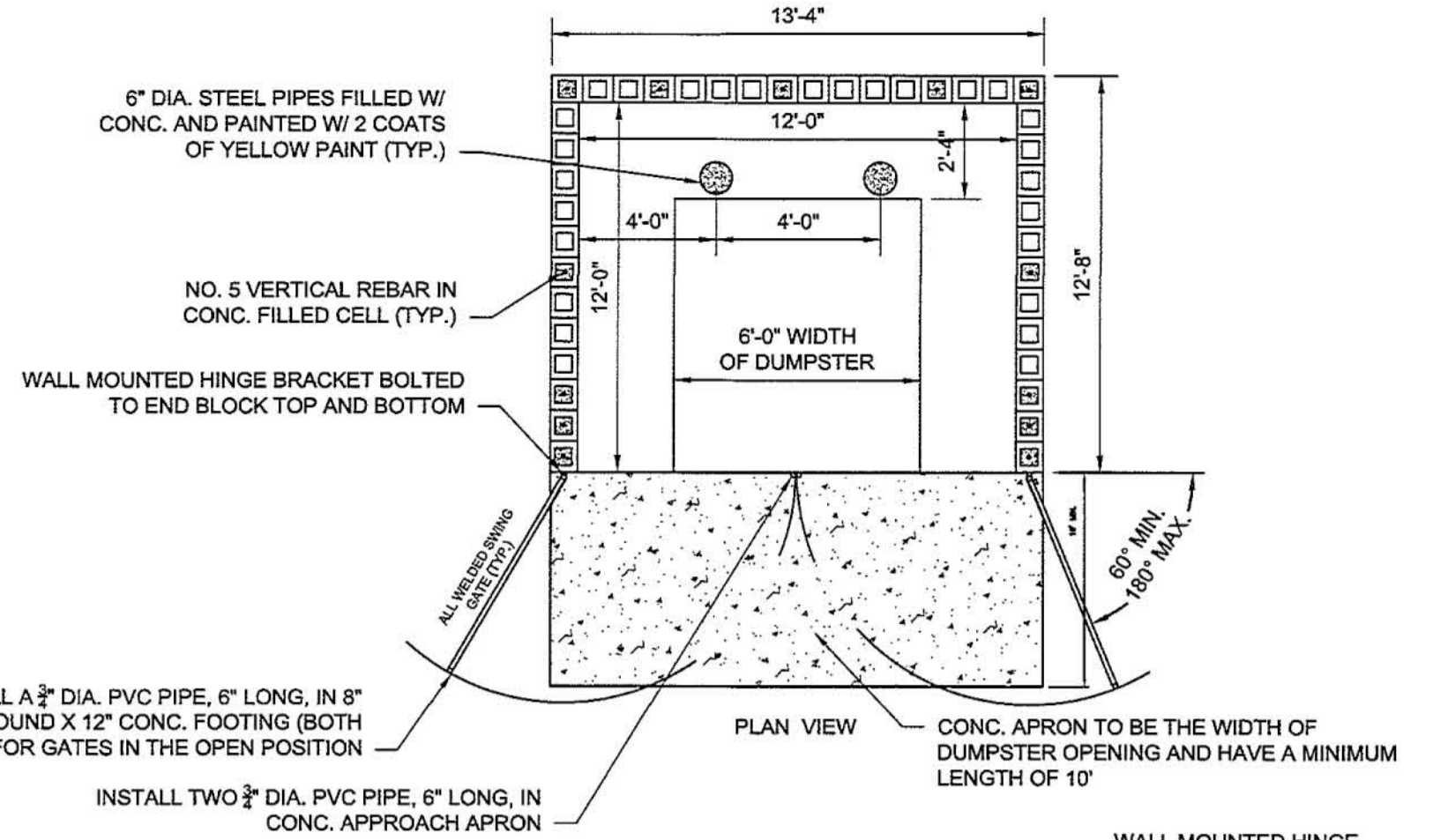
SCALE: N.T.S.



**TYPE 'C' CONTROL STRUCTURE DETAIL**

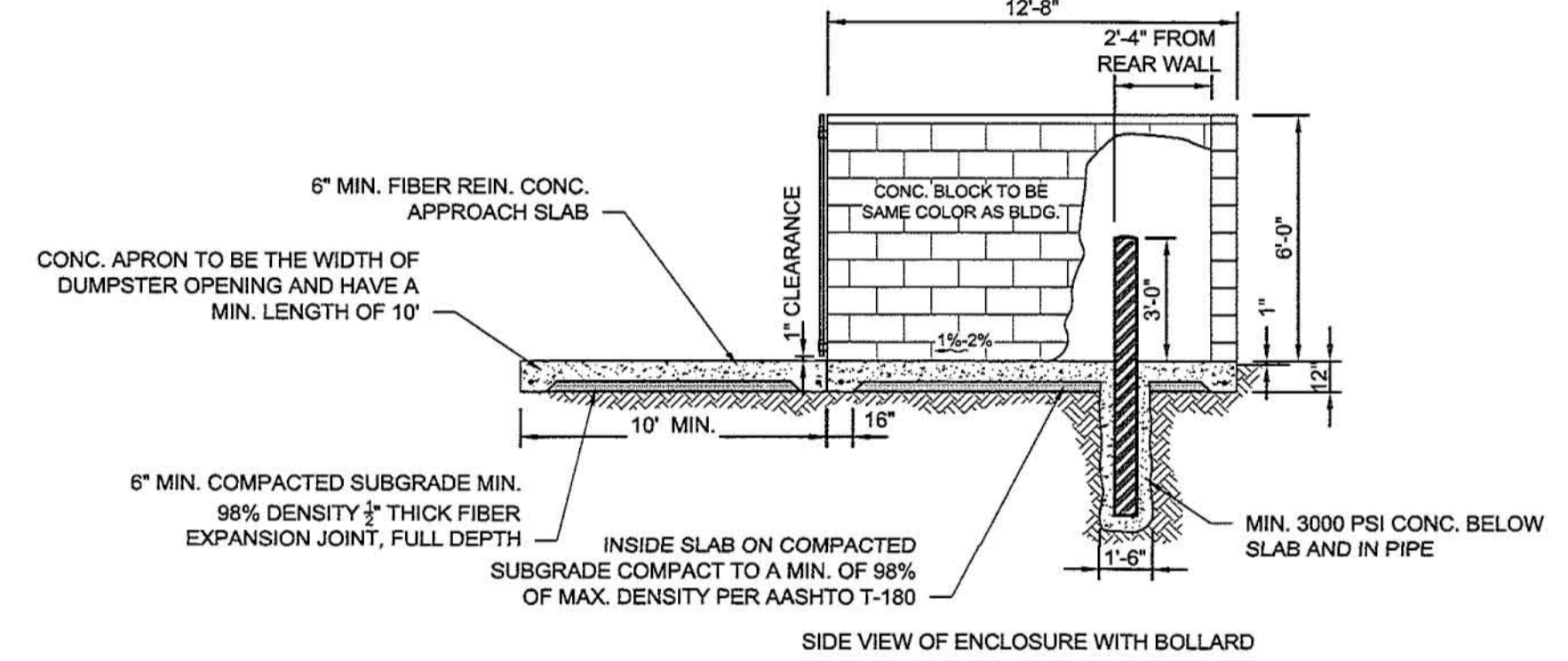
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NOTES:  
 ALL DRAINAGE STRUCTURES AND GRATES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FOOT INDEX No. 232. ALL DRAINAGE STRUCTURES SHALL BE TRAFFIC RATED.



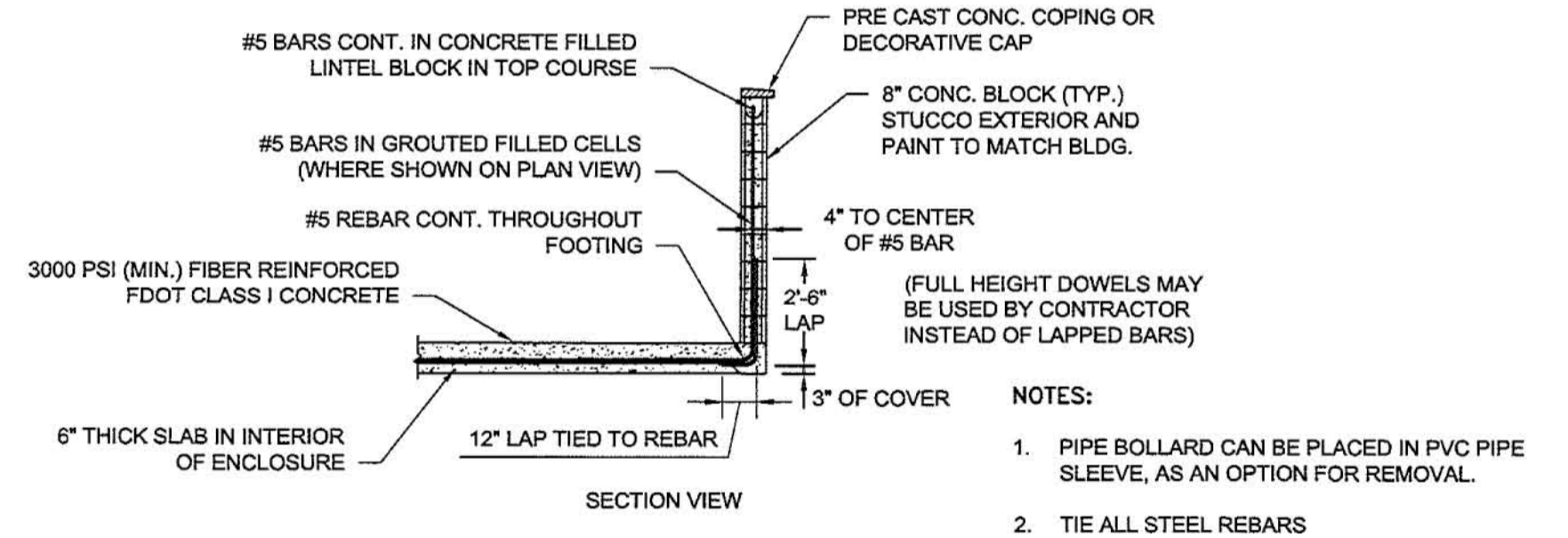
**DUMPSTER ENCLOSURE DETAIL**

SCALE: N.T.S.



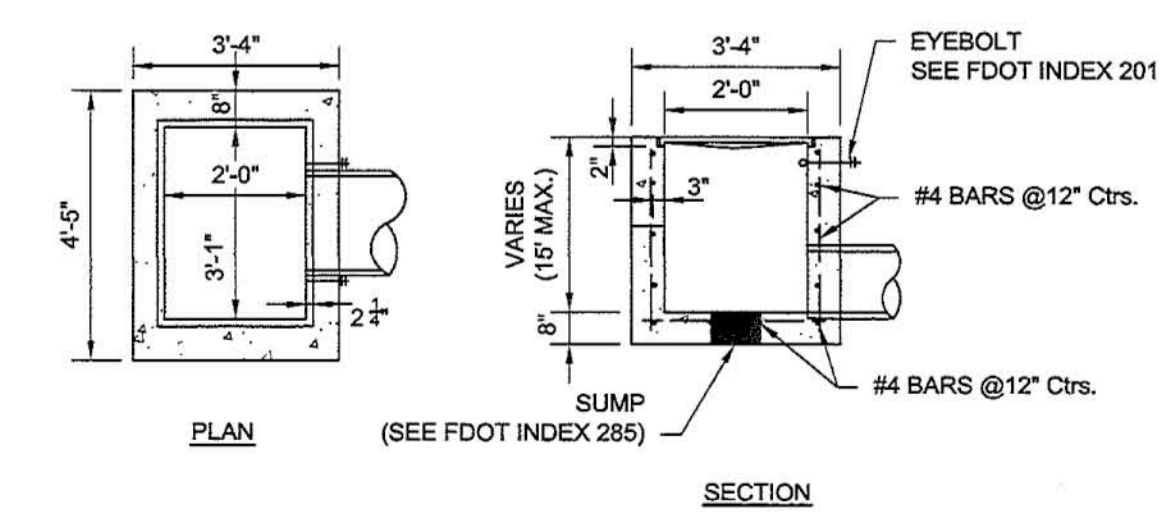
**DUMPSTER ENCLOSURE SECTION**

SCALE: N.T.S.



**DUMPSTER ENCLOSURE SECTION**

SCALE: N.T.S.

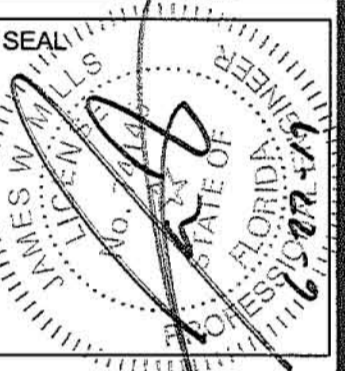


**TYPE 'C' INLET DETAIL**

SCALE: N.T.S.

**Mills, Short & Associates**  
 800 Eighth Street  
 Vero Beach, Florida 32962

PHONE: 772.226.7282  
 WEBSITE: www.MillsShortAssociates.com  
 CA #: 30688



ISSUE	DATE	COMMENTS

SCALE: SEE PLAN

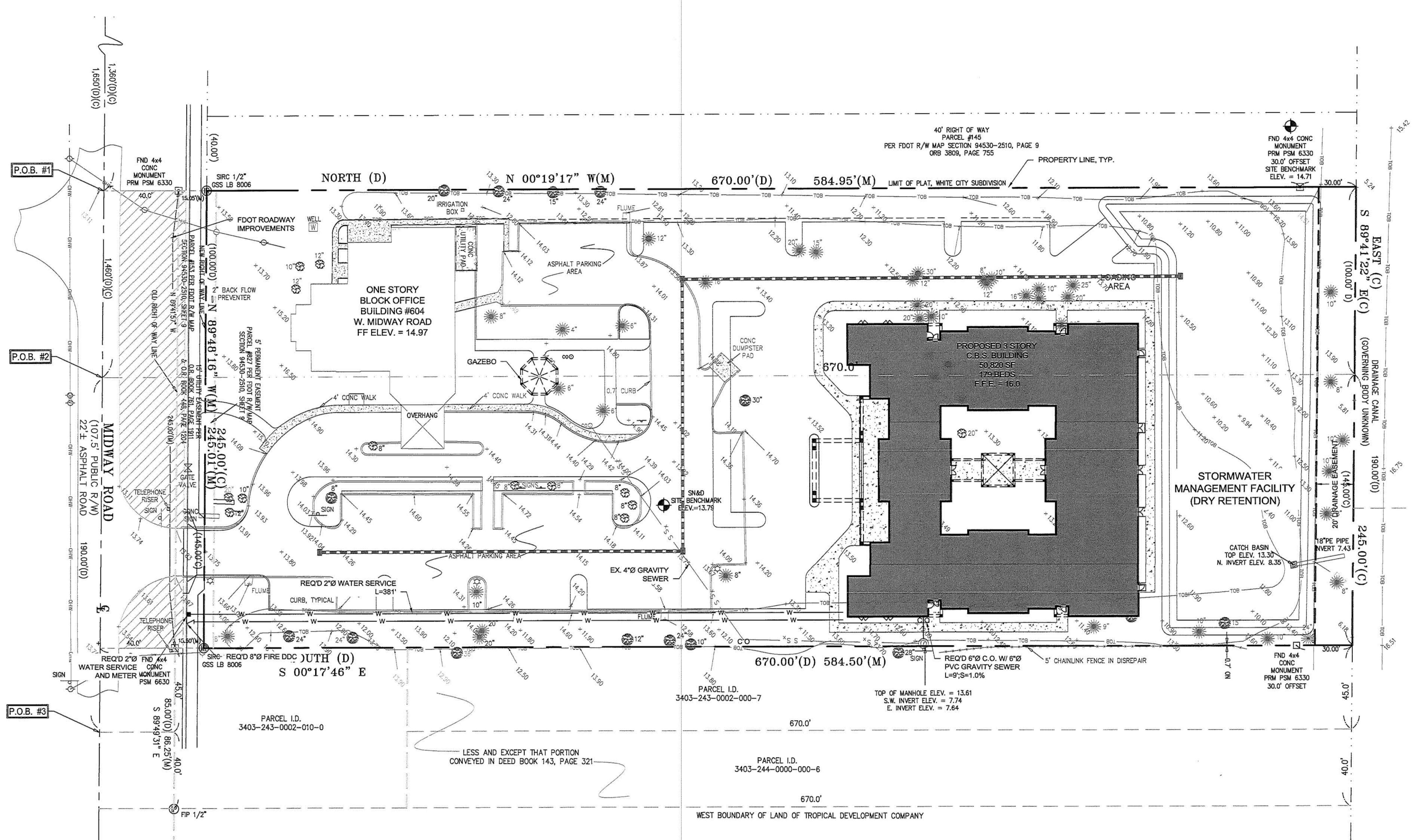
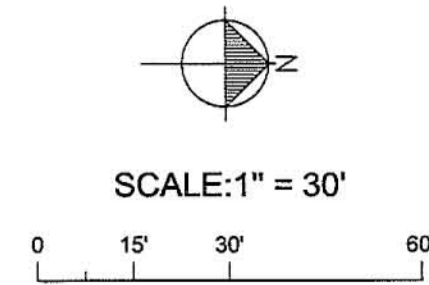
APPROVED BY: JWM

CHECKED BY: JWM

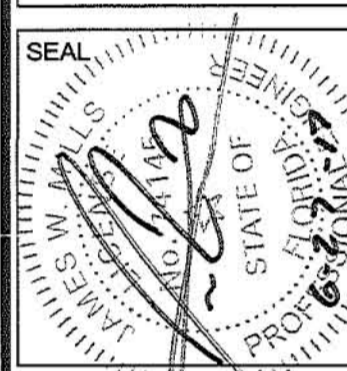
DRAWN BY: SGS

PROJ. NO. 15-3500.1  
 DATE 05.31.17  
 SHEET NO.





Mills, Short & Associates  
800 Eighth Street  
Vero Beach, Florida 32962



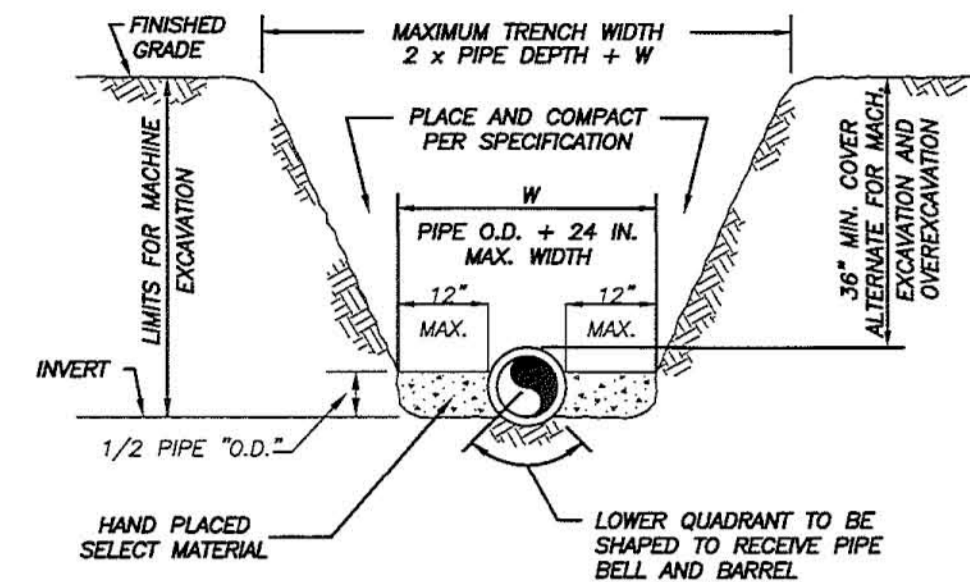
ISSUE	DATE	COMMENTS
1	6/27/17	PER TRC COMMENTS

604 MIDWAY PARCEL  
804 Midway Road, Fort Pierce, Florida

THIS SHEET: UTILITY PLAN  
DRAWN BY: SGS  
CHECKED BY: JWM  
APPROVED BY: JWM

PROJ. NO. 15-3500.1  
DATE 05.31.17  
SHEET NO. C-4  
SHEET 6 OF 7



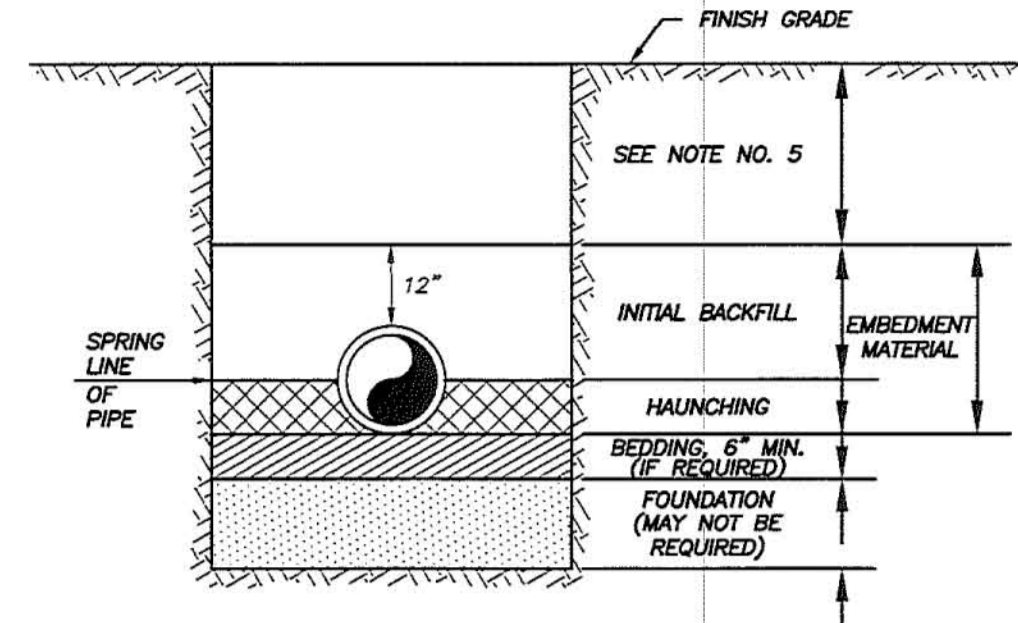


**NOTES:**

- 1) THE CONTRACTOR SHALL COMPLY WITH REQUIREMENTS OF THE FLORIDA TRENCH SAFETY ACT.
- 2) INITIAL BACKFILL SHALL BE HAND PLACED TO 12" ABOVE THE PIPE. BACKFILL SHALL BE MECHANICALLY TAMPED TO A MINIMUM OF 100% OF MAX. DENSITY AS DETERMINED BY MASHTO METHOD T-99.

TYPICAL TRENCH DETAIL  
N.T.S.

	TYPICAL TRENCH DETAILS		M-1
	DATE: _____ DESIGNED: _____ DRAWN BY: _____ SCALE: _____ N.T.S. APPROVED: _____ DATE: 2010	REVISION: _____ COMPUTER FILE # _____ MISC. DETAILS 200602.DWG	BY: _____ APPD: _____ WATER/WASTEWATER ENGINEERING FT. PIERCE UTILITIES AUTHORITY

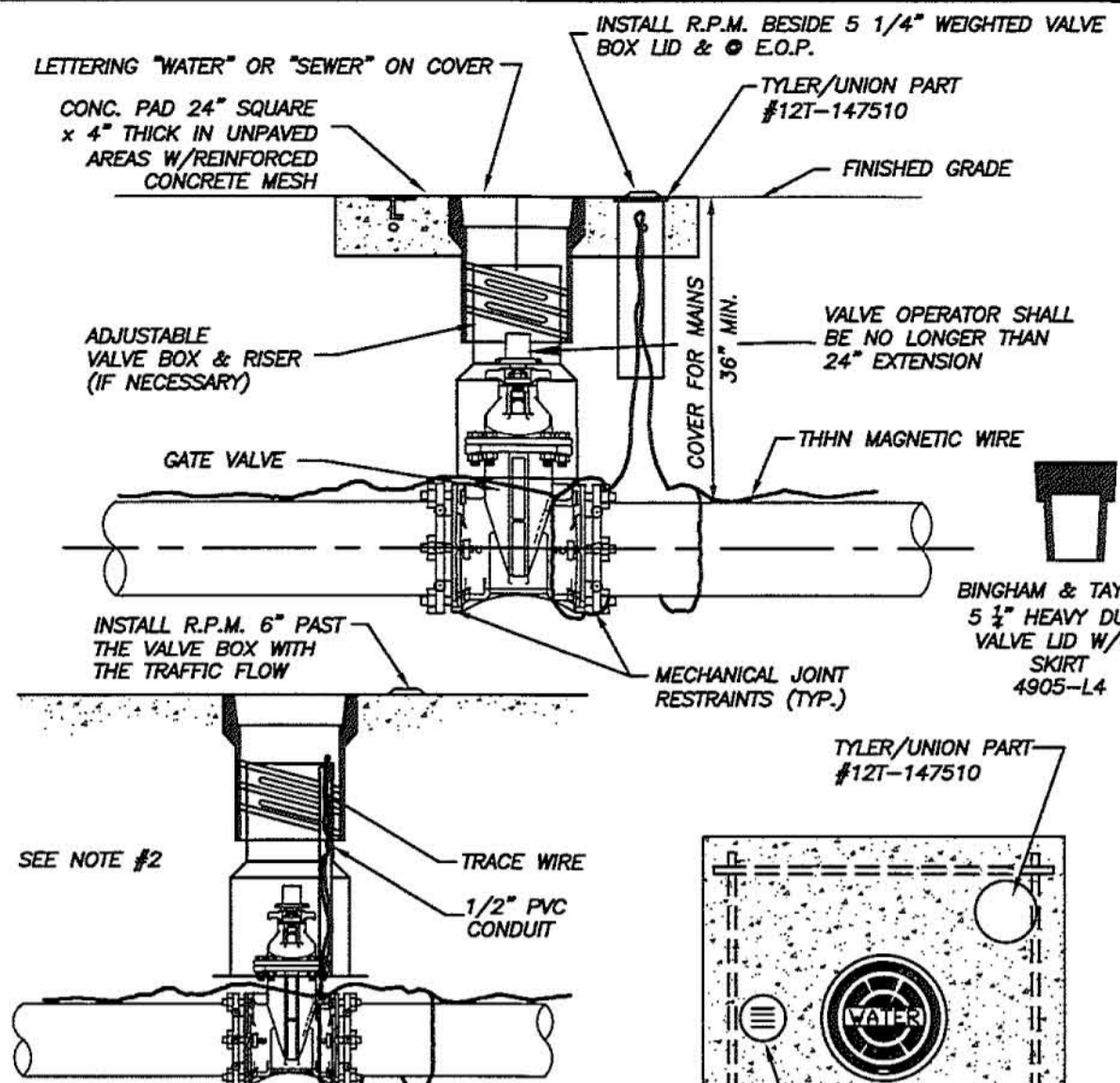


**NOTES:**

- 1) IN CERTAIN SOIL CONDITIONS A FOUNDATION MAY BE REQUIRED.
- 2) BEDDING IS REQUIRED PRIMARILY TO BRING THE TRENCH BOTTOM UP TO GRADE. BEDDING MATERIALS SHALL PROVIDE A UNIFORM AND ADEQUATE LONGITUDINAL SUPPORT UNDER THE PIPE.
- 3) HAUNCHING MATERIAL SHALL BE HAND PLACED TO THE SPRINGLINE OF THE PIPE. MATERIAL SHALL BE CONSOLIDATED UNDER THE PIPE AND HAND TAMPED TO PROVIDE ADEQUATE SIDE SUPPORT.
- 4) INITIAL BACKFILL MATERIAL SHALL BE HAND PLACED TO 12" ABOVE THE TOP OF PIPE. THE SOIL SHALL BE COMPACTED TO 100% MAX. DENSITY (ASHTO T-99).
- 5) BACKFILL SHALL BE COMPACTED TO 100% OF MAX. DENSITY AS PER ASHTO T-99, TO A POINT 30" BELOW PROPOSED PROFILE GRADE OR EXISTING GRADE. THE FINAL 30" OF BACKFILL SHALL BE COMPACTED TO 98% OF MAX. DENSITY AS PER ASHTO T-160.
- 6) DENSITY TEST SHALL BE PERFORMED AT AREAS DETERMINED BY THE UTILITIES ENGINEER OR PERMIT AGENCY HAVING JURISDICTION, AT THE CONTRACTOR'S EXPENSE.
- 7) CONTRACTOR TO COMPLY WITH ALL FEDERAL, STATE AND LOCAL TRENCH SAFETY REGULATIONS.

BACKFILLING REQUIREMENTS  
N.T.S.

	BACKFILLING REQUIREMENTS		M-2
	DATE: _____ DESIGNED: _____ DRAWN BY: _____ SCALE: _____ N.T.S. APPROVED: _____ DATE: 2010	REVISION: _____ COMPUTER FILE # _____ MISC. DETAILS 200602.DWG	BY: _____ APPD: _____ WATER/WASTEWATER ENGINEERING FT. PIERCE UTILITIES AUTHORITY



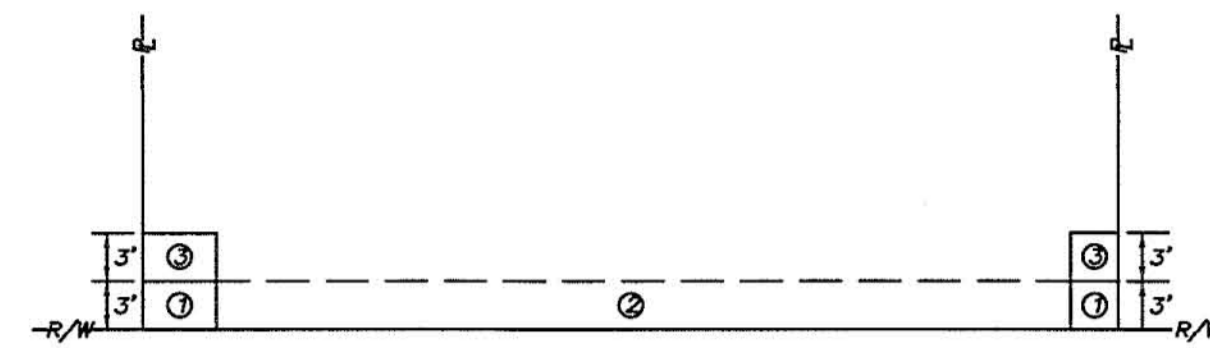
**NOTES:**

1. BLUE REFLECTIVE PAVEMENT MARKER (RPM) FOR WATER VALVES AND GREEN RPM FOR WASTEWATER VALVES PAVEMENT EDGE.
2. FOR WATER AND WASTEWATER VALVES INSTALLED IN PAVED AREAS, ELIMINATE CONCRETE PAD AND ENCASE THE MAGNETIC WIRE IN 1/2" PVC INSIDE THE VALVE BOX SEVEN INCHES BELOW GRADE.
3. DIP MAY BE USED AS RISERS ONLY IF A VALVE BOX IS NOT MANUFACTURED FOR THAT DEPTH. NO PVC RISERS SHALL BE USED IN ANY CIRCUMSTANCES.

TYPICAL GATE VALVE & VALVE BOX DETAIL  
N.T.S.

	TYPICAL GATE VALVE & VALVE BOX DETAIL		M-6
	DATE: _____ DESIGNED: _____ DRAWN BY: _____ SCALE: _____ N.T.S. APPROVED: _____ DATE: 2010	REVISION: _____ COMPUTER FILE # _____ MISC. DETAILS 200602.DWG	BY: _____ APPD: _____ WATER/WASTEWATER ENGINEERING FT. PIERCE UTILITIES AUTHORITY

**GENERAL POLICY**  
WHERE COST JUSTIFIED AND OPERATIONALLY FEASIBLE, IT IS THE GENERAL POLICY OF THE F.P.U.A. TO PROVIDE WATER, ELECTRIC, SEWER AND GAS SERVICE FROM THE STREET SIDE OF A PIECE OF PROPERTY, DEPENDING ON FACTORS SUCH AS LOCATION OF EXISTING SUPPLY SOURCE FACILITIES, REAR OR SIDE LOT LINE SUPPLY MAY BE AUTHORIZED, BUT ONLY WITH PRIOR APPROVAL FROM THE F.P.U.A.

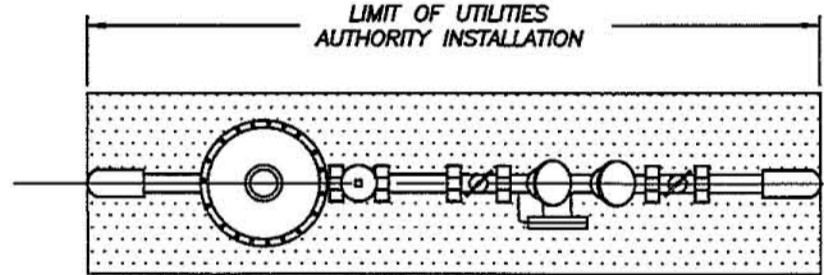


**NOTES:**

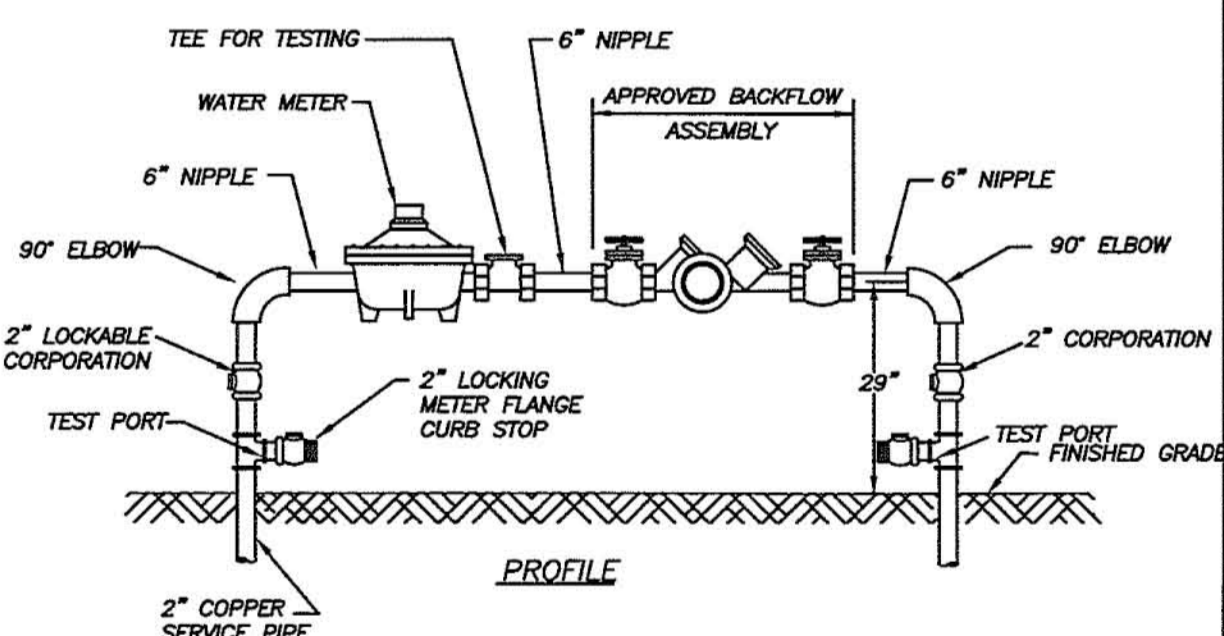
1. THE PREFERRED POINT OF CONNECTION TO THE F.P.U.A. WATER METER, AREA ① SHALL BE LOCATED IN THE CORNER OF THE PROPERTY SELECTED BY THE F.P.U.A. AS THE BEST LOCATION FOR THE WATER METER. EVERY EFFORT WILL BE MADE TO SELECT THE CORNER WHERE TWO WATER SERVICES AND METERS CAN BE CONNECTED.
2. IF PHYSICAL BARRIERS OR OTHER OBSTACLES PREVENT THE CONNECTION OF THE BUILDING SERVICE LINE TO THE F.P.U.A. WATER SERVICE WITHIN AREA ①, THE F.P.U.A. ENGINEERING DEPARTMENT MAY AUTHORIZE THE CONNECTION ALONG THE PORTION OF THE R/W LINE MARKED AREA ②, OR ALONG THE PROPERTY LINES MARKED AREA ③.
3. HORIZONTAL SEPARATION OF WATER AND WASTEWATER SERVICES SHOULD BE A MINIMUM OF 6 FEET AND PREFERABLY 10 FEET.
4. ALL METERS SHALL BE INSTALLED IN AN UNRESTRICTED AREA FOLLOWING EASE OF ACCESS AND PROVIDING ADEQUATE PROTECTION.
5. THE F.P.U.A. SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF THE WATER LATERAL WITHIN THE EASEMENT OR RIGHT-OF-WAY, UP TO THE POINT OF CONNECTION.

WATER METER PLACEMENT  
N.T.S.

	WATER METER PLACEMENT POLICY		W-1
	DATE: _____ DESIGNED: _____ DRAWN BY: _____ SCALE: _____ N.T.S. APPROVED: _____ DATE: 2010	REVISION: _____ COMPUTER FILE # _____ MISC. DETAILS 200602.DWG	BY: _____ APPD: _____ WATER/WASTEWATER ENGINEERING FT. PIERCE UTILITIES AUTHORITY



**PLAN**



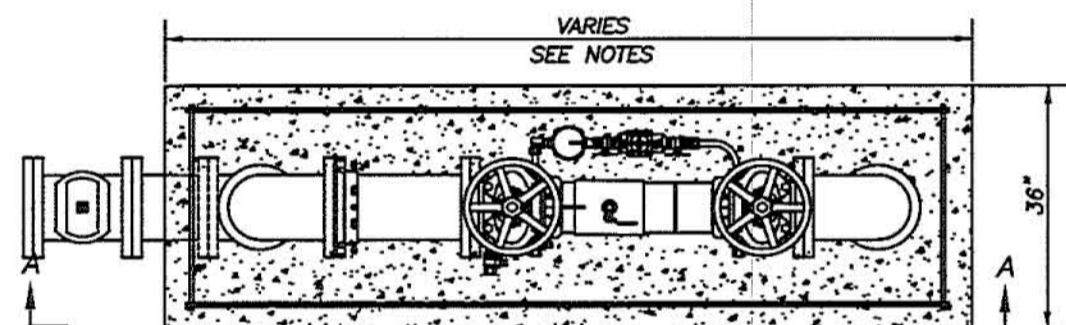
**PROFILE**

**NOTES:**

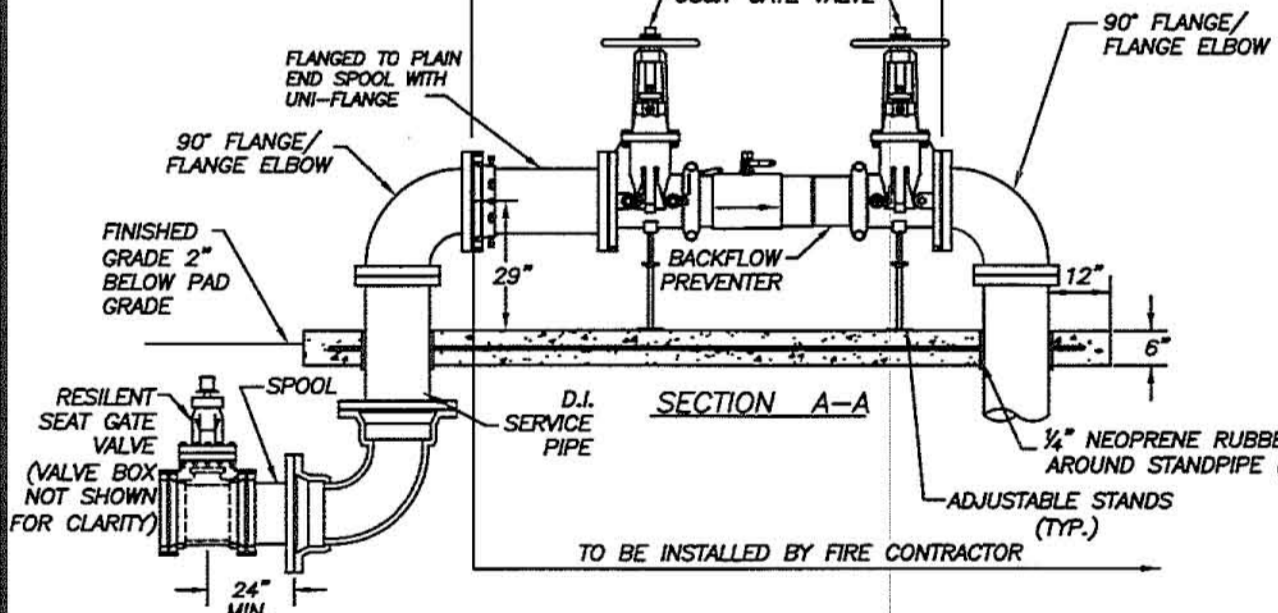
1. LANDSCAPING REQUIRED PER CITY OF FORT PIERCE OR ST. LUCIE COUNTY ORDINANCE. NO PLANTS OR TREES WITHIN 18" AROUND METER OR BACKFLOW. NO SOLDER JOINTS.
2. ASSEMBLY TO BE 29" FROM FINISH GRADE TO CENTERLINE OF THE FLANGED 90° BEND.

WATER METER/BACKFLOW PREVENTER ASSEMBLY  
DOMESTIC SERVICE (COMMERCIAL)  
N.T.S.

	WATER METER/BACKFLOW PREVENTER ASSEMBLY-DOMESTIC SERVICES (MIN. SIZE 3/4" ON LEAD)		W-8
	DATE: _____ DESIGNED: _____ DRAWN BY: _____ SCALE: _____ N.T.S. APPROVED: _____ DATE: 2010	REVISION: _____ COMPUTER FILE # _____ MISC. DETAILS 200602.DWG	BY: _____ APPD: _____ WATER/WASTEWATER ENGINEERING FT. PIERCE UTILITIES AUTHORITY



**PLAN**



**SECTION A-A**

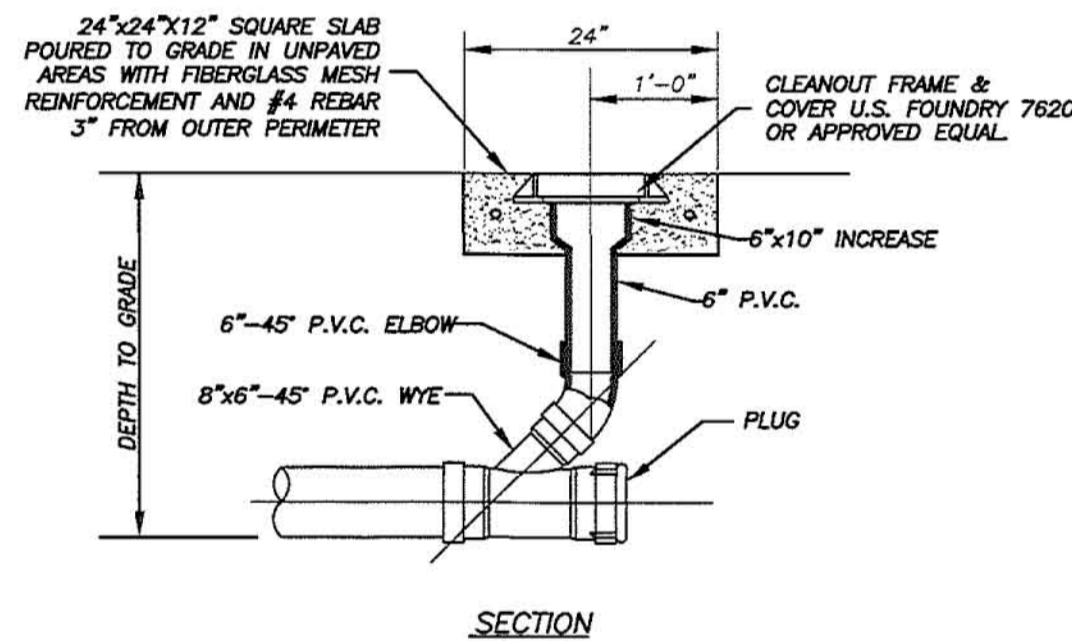
**NOTES:**

1. LANDSCAPING IS REQUIRED PER CITY OF FORT PIERCE OR ST. LUCIE COUNTY ORDINANCE.
2. ASSEMBLY TO BE 29" FROM FINISH GRADE TO CENTERLINE OF THE FLANGED 90° BEND.
3. PRIOR TO POURING THE CONCRETE PAD, VERIFY THAT THE STANDPIPES ARE PLUMB, TRUE AND INSTALLED AT THE SAME ELEVATION IN THE PRESENCE OF AN F.P.U.A. INSPECTOR.
4. ALL CONCRETE SHALL HAVE FIBERGLASS MESH REINFORCEMENT WITH #4 REBAR 3" FROM THE OUTER PERIMETER.

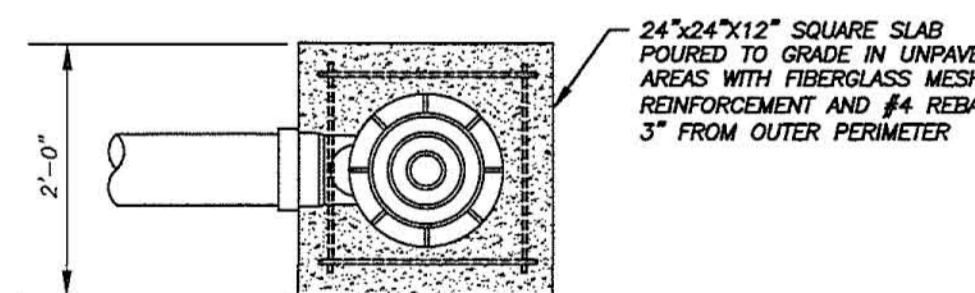
SIZE	SERVICE	LENGTH
4	DOUBLE DETECTOR	53 INCHES
6	DOUBLE DETECTOR	62 INCHES
8	DOUBLE DETECTOR	69 INCHES
10	DOUBLE DETECTOR	76 INCHES

BACKFLOW PREVENTER ASSEMBLY-4"-10" FIRE SERVICE  
N.T.S.

	BACKFLOW PREVENTER ASSEMBLY 4"-10" FIRE SERVICE		W-10
	DATE: _____ DESIGNED: _____ DRAWN BY: _____ SCALE: _____ N.T.S. APPROVED: _____ DATE: 2010	REVISION: _____ COMPUTER FILE # _____ MISC. DETAILS 200602.DWG	BY: _____ APPD: _____ WATER/WASTEWATER ENGINEERING FT. PIERCE UTILITIES AUTHORITY



**SECTION**



**PLAN**

TERMINAL CLEANOUT DETAIL (COMMERCIAL)  
N.T.S.

	TERMINAL CLEANOUT DETAIL WASTEWATER		S-4B
	DATE: _____ DESIGNED: _____ DRAWN BY: _____ SCALE: _____ N.T.S. APPROVED: _____ DATE: 2010	REVISION: _____ COMPUTER FILE # _____ MISC. DETAILS 200602.DWG	BY: _____ APPD: _____ WATER/WASTEWATER ENGINEERING FT. PIERCE UTILITIES AUTHORITY

**Mills, Short & Associates**  
800 Eighth Street  
Vero Beach, Florida 32962  
PHONE: 772.226.7292  
WEBSITE: www.MillsShortAssociates.com  
CA #: 30898

	UTILITY DETAILS		SCALE: 1" = 30"
	DATE: _____ DESIGNED: _____ DRAWN BY: _____ SCALE: _____ N.T.S. APPROVED: _____ DATE: 2010	REVISION: _____ COMPUTER FILE # _____ MISC. DETAILS 200602.DWG	BY: _____ APPD: _____ WATER/WASTEWATER ENGINEERING FT. PIERCE UTILITIES AUTHORITY

ISSUE	DATE	COMMENTS

604 MIDWAY PARCEL  
604 Midway Road, Fort Pierce, Florida  
DRAWN BY: SCS  
CHECKED BY: JWM  
APPROVED BY: JWM  
SCALE: 1" = 30"

PROJ. NO. 15-3500.1  
DATE 05.31.17  
SHEET NO. C-5  
SHEET 7 OF 7



## Landscape Data

PARCEL AREA	154,342 SF / 3.54 AC.
ZONING	C-1
FUTURE LAND USE	LOW DENSITY RESIDENTIAL
VEHICULAR USE AREA	49,413 SF
VUA INTERIOR LANDSCAPE AREA REQUIRED	3,294 SF
VUA INTERIOR LANDSCAPE AREA PROVIDED	4,010 SF

BUFFER	BUFFER REQUIREMENT	TREES REQUIRED	TREES PROVIDED
NORTH BUFFER (2,450 LF)	1 TREE / 300 SF AND HEDGE	9	9
WEST BUFFER (6,300 SF)	1 TREE / 320 SF AND HEDGE	32	32
SOUTH BUFFER (2,210 SF)	1 TREE / 300 SF AND HEDGE	8	8
EAST BUFFER (6,300 SF)	1 TREE / 200 SF AND HEDGE	32	32

## Site Data

PCN	3403-243-0001-000-0
SEC/TOWN/RANGE	03/36S/40E
PARCEL AREA	154,342 SF / 3.54 AC.
ZONING	C-1
PROPOSED USE	RESIDENTIAL DETOX AND TREATMENT
FLOOD ZONE	X

## Plant Specifications

SPECIES AND SIZE shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, current edition. All nursery stock shall be in accordance with Grades and Standards for Nursery Plants Parts I & II, latest edition published by the Florida Department of Agriculture and Consumer Services. All plants not otherwise specified as being Florida Fancy or Specimen shall be Florida Grade Number 1 or better as determined by the Florida Division of Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly knit plant, so trained or favored in its development that first appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry.

### GENERAL REQUIREMENTS

All plants shall be freshly dug, sound, healthy, vigorous, well branched, and free of disease and insect eggs and larvae, and shall have adequate root systems. Trees for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the plant list, the plants furnished shall be normal for the variety. Plants shall be pruned prior to delivery only upon the approval of the Landscape Architect.

### CONTAINER GROWN STOCK

All container grown material shall be healthy, vigorous, well rooted plants, and established in the container in which they are sold. The plants shall have tops which are good quality and in a healthy growing condition. An established container grown plant shall be grown in that container sufficiently long enough for the new fibrous roots to have developed so that the root mass will retain its shape and hold together when removed from the container. Plant root bound in containers are unacceptable.

### MEASUREMENTS

**Trees:** Height shall be measured from ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Measurements are not to include any terminal growth. Single trunk trees shall be free of "Y" crotches that could be points of weak limb structure or disease infestation.

**Shrubs:** Heights shall be measured from the ground to the average points where mature plant growth stops. Spread shall be measured to the end of branching equally around the shrub mass. Measurements are not to include any terminal growth.

**Palms:** Clear Trunk (C.T.), shall be measured from the ground at the time of installation to the point where the mature dried trunk joins the immature or green portion of the trunk or the head.

Overall height (O.H.) shall be measured from the ground at the time of installation to a point three quarters the length of the unopened bud. Palms with matted or burned trunks will not be accepted.

### SOIL

Planting soil for use in preparing backfill for plant pits shall be added at a rate of seventy-five (75%) percent to twenty-five (25%) percent existing soil. This soil mix shall be used in all plant pits except Sabal palms which shall be backfilled with clean sand. Planting soil shall be a fertile, friable natural topsoil or loamy character. It shall contain forty (40) to fifty (50) percent decomposed organic matter and shall be free from heavy clay, stones, lime, plants, roots or other foreign materials or noxious grasses (such as Bermuda or nut grass) and noxious weeds. It shall not contain toxic substances which may be harmful to plant growth.

### COMMERCIAL FERTILIZER

Two fertilizer shall be used in all types of plantings, except palms. Granular fertilizer shall be uniform in composition, dry and free flowing. This fertilizer shall be delivered to the site in the original unopened bags, each bearing the Manufacturer's statement of analysis, and shall meet the following requirements: sixteen (16%) percent nitrogen, seven (7%) percent phosphorus, twelve (12%) percent potassium, plus iron. Tablet fertilizer ("Agriform" or equal) in 2" gran size shall meet the following requirements: twenty (20%) percent nitrogen, ten (10%) percent phosphorus, five (5%) percent potassium.

The two fertilizers will be applied at the following rates:

PLANT SIZE	16-1-12	"AGRIFORM" TABLET (21 Grams)
1 gal.	1/4 lb.	1
3 gal.	1/3 lb.	2
1-15 gal.	1/2 lb.	4
1'-6" caliper	2 lbs/1" caliper	2 1/1" caliper
6" and larger	3 lbs/1" caliper	2 1/1" caliper

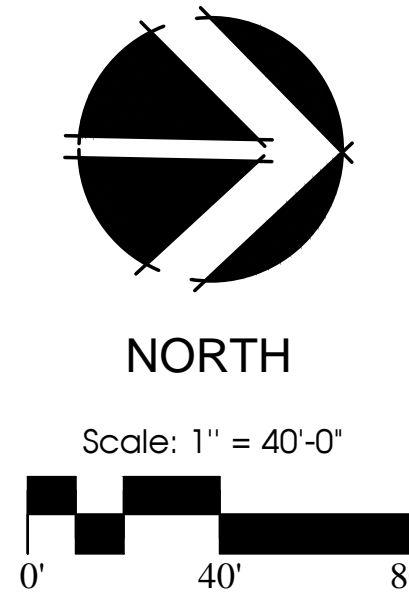
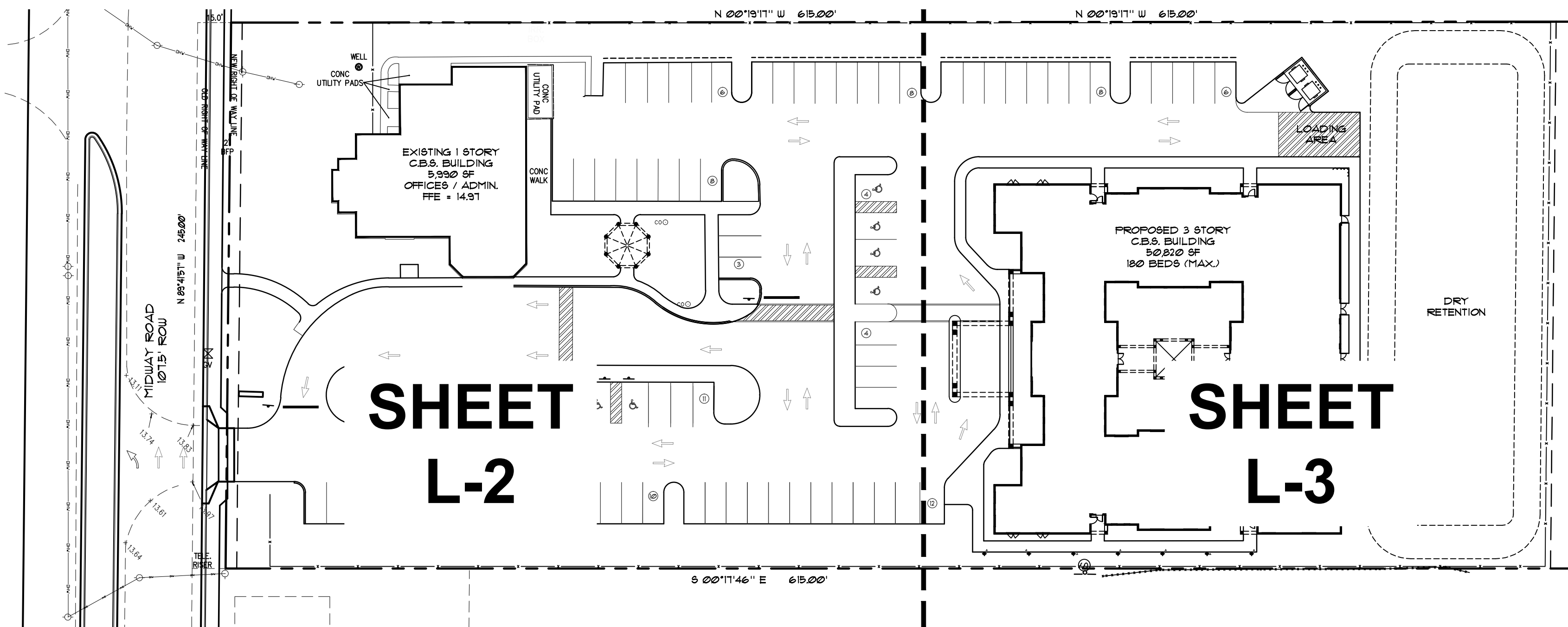
"Florida East Coast Palm Special" will be applied to all palms at installation at a rate of 1/2 lb. per inch of trunk caliper unless otherwise specified.

### MULCH

Mulch material shall be three (3) inches of shredded melaleuca mulch (sterilized and free of seeds) or approved equal, moistened at the time of application to prevent wind displacement.

### SUBSTITUTIONS

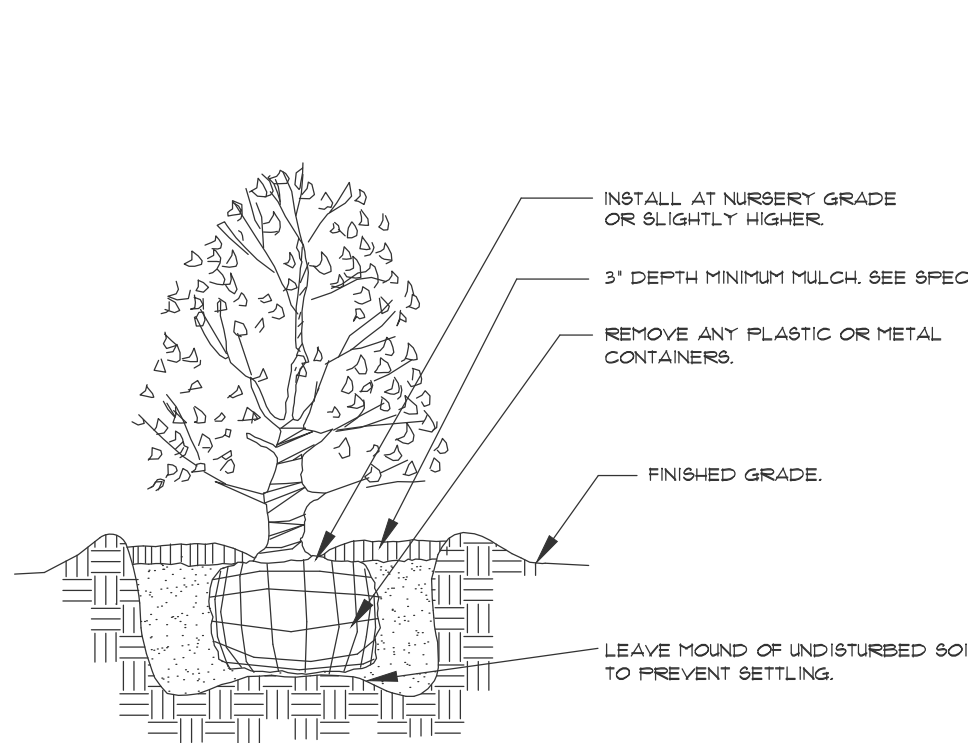
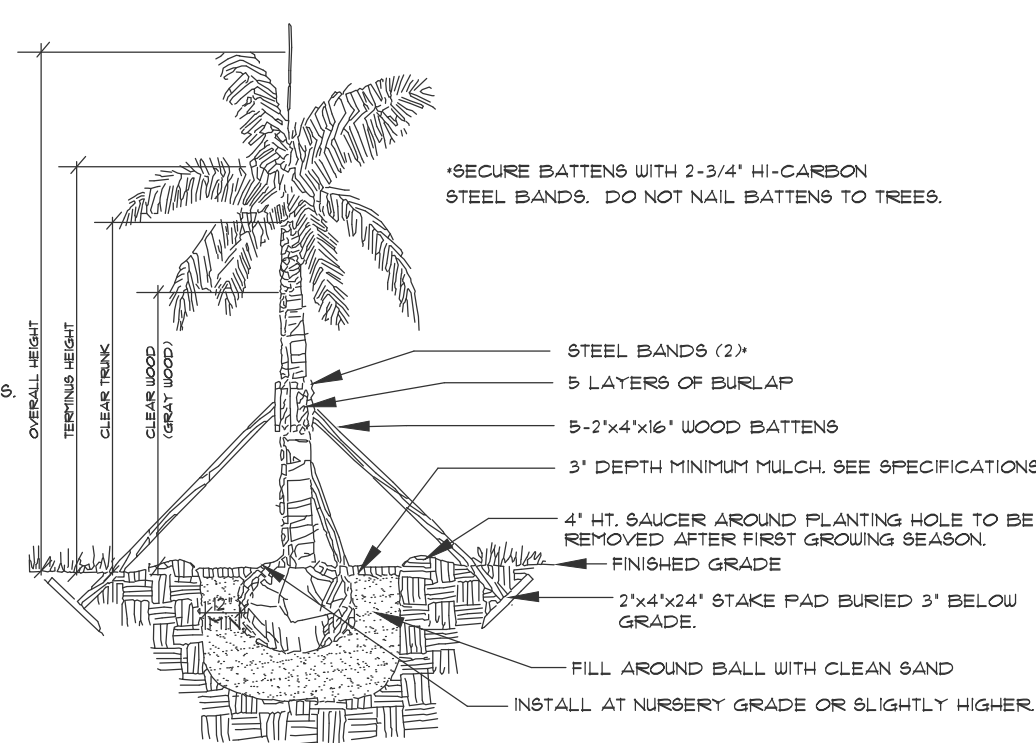
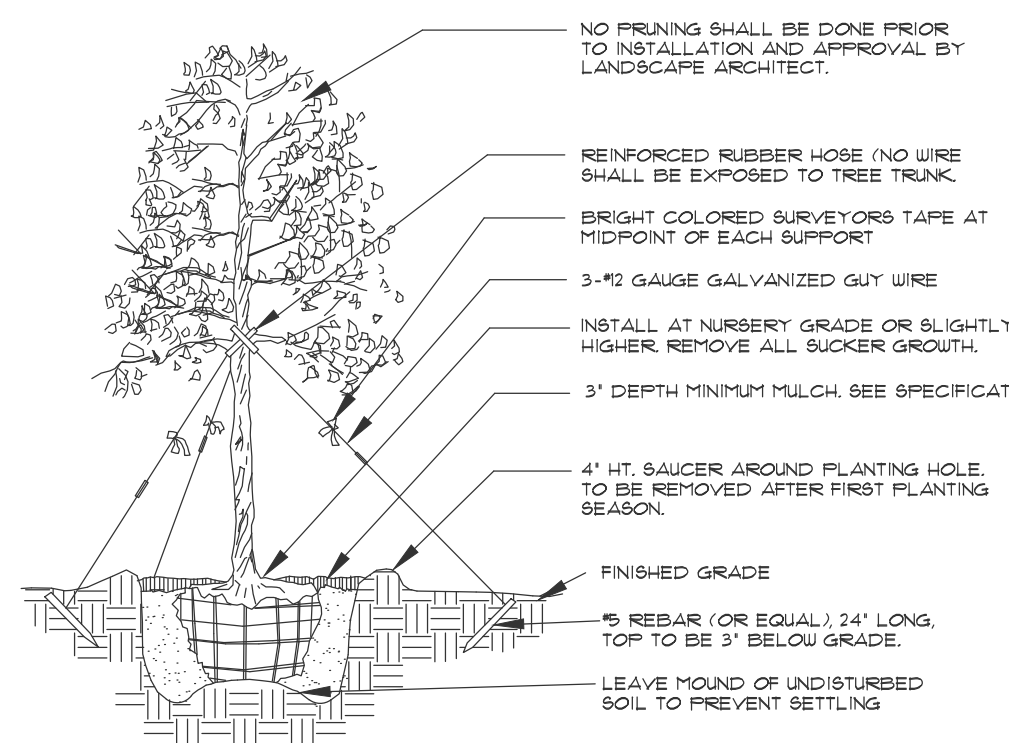
No substitutions of plant material types or size will be allowed without written consent of the Landscape Architect. B4B material will not be accepted as substitute for container grown material unless previously approved. Alternate substitutions shall be indicated in bid.



## Plant List

SYM	QTY	NAME	SPECIFICATIONS
<b>TREES</b>			
IA	24	Ilex x attenuata 'East Palatka' / East Palatka Holly	12' x 6', 2.5" dbh, full canopy
LJ	2	Ligustrum japonicum / Glossy Privet Standard	8' x 7', multi-stem, limbed up, full canopy
* MG	2	Magnolia grandiflora 'D.D. Blanchard'	12' x 6', 2.5" dbh, full canopy
* MGL	4	Magnolia grandiflora 'Little Gem'	8' x 7', limbed up, full canopy
* QV	25	Quercus virginiana / Live Oak	12' x 6', 2.5" dbh, full canopy
* QVC	13	Quercus virginiana 'Cathedral' / Cathedral Oak	12' x 5', 2.5" dbh, full canopy
* SM	15	Suaeda mahagoni / Mahogany	12' x 6', 2.5" dbh, full canopy
* TD	11	Taxodium distichum / Bald Cypress	12' x 6', 2.5" dbh, full canopy
<b>PALMS</b>			
AM	12	Adonidia merrillii / Christmas Palm	10' ht., single stem, full frond
AM3	2	Adonidia merrillii / Christmas Palm	10' ht., triple stem, full frond
FE3	1	Phycosperma elegans / Alexander Palm	10' ht., triple stem, full frond
FC	2	Phoenix canariensis / Canary Island Date Palm	10' ct., 18" o.a., heavy caliper, full frond, matching Florida Fancy
FR	4	Phoenix roebelenii / Pygmy Date Palm	6' o.a., triple stem, full frond
RE	6	Rhapsis excelsa / Lady Palm	6' o.a., full frond
* SP	18	Sabal palmetto / Cabbage Palm	14' - 24" ht., slick trunks, stagger heights
<b>ACCENTS / SHRUBS / GROUNDCOVERS</b>			
ANN	80	Annals / Seasonal Color - T.B.D.	1 gal, install w/ planting soil
BB	2	Bougainvillea stump	5' x 5', full canopy, multi-stem, purple flowers
GJ	6	Gardenia jasminoides 'Miami Supreme' / Gardenia standard	5' x 4', 2' ct., heavy cal., full canopy
ICB	298	Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly	3 gal, 16" x 18", full
* IV	212	Ilex vomitoria 'Stokes Dwarf'	3 gal, 16" x 18", full
FA	96	Plumbago auriculata 'Imperial Blue' / Plumbago	3 gal, 18" x 22", full
FM	318	Podocarpus macrophyllus 'Maki' / Yew	3 gal, 24" x 22", full
FM1	23	Podocarpus macrophyllus 'Maki' / Yew	48" x 24", full
RI	60	Raphiolepis indica / Indian Hawthorn	3 gal, 14" x 16", full
SA	324	Schefflera arboricola / Dwarf Schefflera	3 gal, 24" x 22", full
SAT	194	Schefflera arboricola 'Trinette' / Variegated Dwarf Schefflera	3 gal, 22" x 20", full
* SB	400	Spartina bakeri / Sand Cord Grass	3 gal, 24" x 16", full
SR	12	Streptocarpus reginae / Bird Of Paradise	34" x 32", full
* VO	670	Viburnum odoratissimum / Sweet Viburnum	3 gal, 24" x 22", full
* VW	32	Viburnum obovatum / Walter's Viburnum	3 gal, 22" x 20", full
SOD		Stenotaphrum secundatum / St. Augustine Floratam	Solid sod, laid tight
* DENOTES FLORIDA NATIVE SPECIES			

## Planting Details



### Tree Planting

\* SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION. BRACING - SPECIAL SITE CONDITIONS MAY REQUIRE MODIFICATION TO BRACING TECHNIQUE. LANDSCAPE CONTRACTOR WILL ADEQUATELY BRACE (OR WIRE) ALL TREES TO PREVENT EXCESSIVE MOVEMENT & MAINTAIN A VERTICAL POSITION.

### Palm Planting

\* APPLIES TO: ROYAL PALMS, QUEEN PALMS, ALEXANDER PALMS, MANILA PALMS.

\* SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION. BRACING - SPECIAL SITE CONDITIONS MAY REQUIRE MODIFICATION TO BRACING TECHNIQUE. LANDSCAPE CONTRACTOR WILL ADEQUATELY BRACE ALL PALMS TO PREVENT EXCESSIVE MOVEMENT AND MAINTAIN A VERTICAL POSITION.

### Shrub Planting

\* SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.

## Landscape Lighting Specifications

A	1	CAST BRASS PATH LIGHT; KICHLER 15470 CBR 12V 2W LED
---	---	---

### NOTES:

- MOUNT ALL ABOVE GROUND FIXTURES ON I5216BKT POWER POST.
- INSTALL ALL WIRING IN CONDUIT MINIMUM 12" BELOW GRADE.

### Copyright

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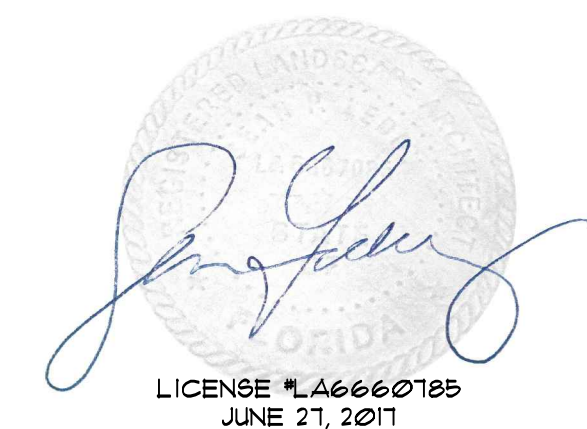
McCARTY & ASSOCIATES

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772.341.9322  
www.McCartyLandPlanning.com  
Mike@McCartyLandPlanning.com

**Midway Detox and  
Rehab Campus  
604 Midway Road  
Fort Pierce, Florida  
Landscape Plan**






Drawn By SL  
Checked By MM  
Scale AS NOTED  
Drawing Date 03/31/17  
6/27/17

## Development Team

Developer Murphy Garlinge Associates, LLC 604 Midway LLC 604 Midway Road FT. Pierce, Florida	Site Planner Michael T. McCarty McCarty & Associates Land Planning and Design Phone: 772-341-9322	Civil Engineer Mills, Short & Associates 800 8th Street Vero Beach, Florida Phone: 772-226-7282	Architect Yates Associates Architecture 319 Clematis Street, Ste 914 West Palm Beach, Florida Phone: 561-653-8280	Landscape Architect Sean Leddy, RLA McCarty & Associates Land Planning and Design Phone: 772-341-9322	Traffic Engineer MacKenzie Engineering and Planning Inc. 1172 SW 30th Street, Ste 500 Palm City, Florida 34990	Photometrics Main Street Engineering, Inc. 2721 Vista Parkway, Ste C-11 West Palm Beach, Florida
--	---	---	---	---	--	---

**L - 1**

### Existing Plant Symbol Key

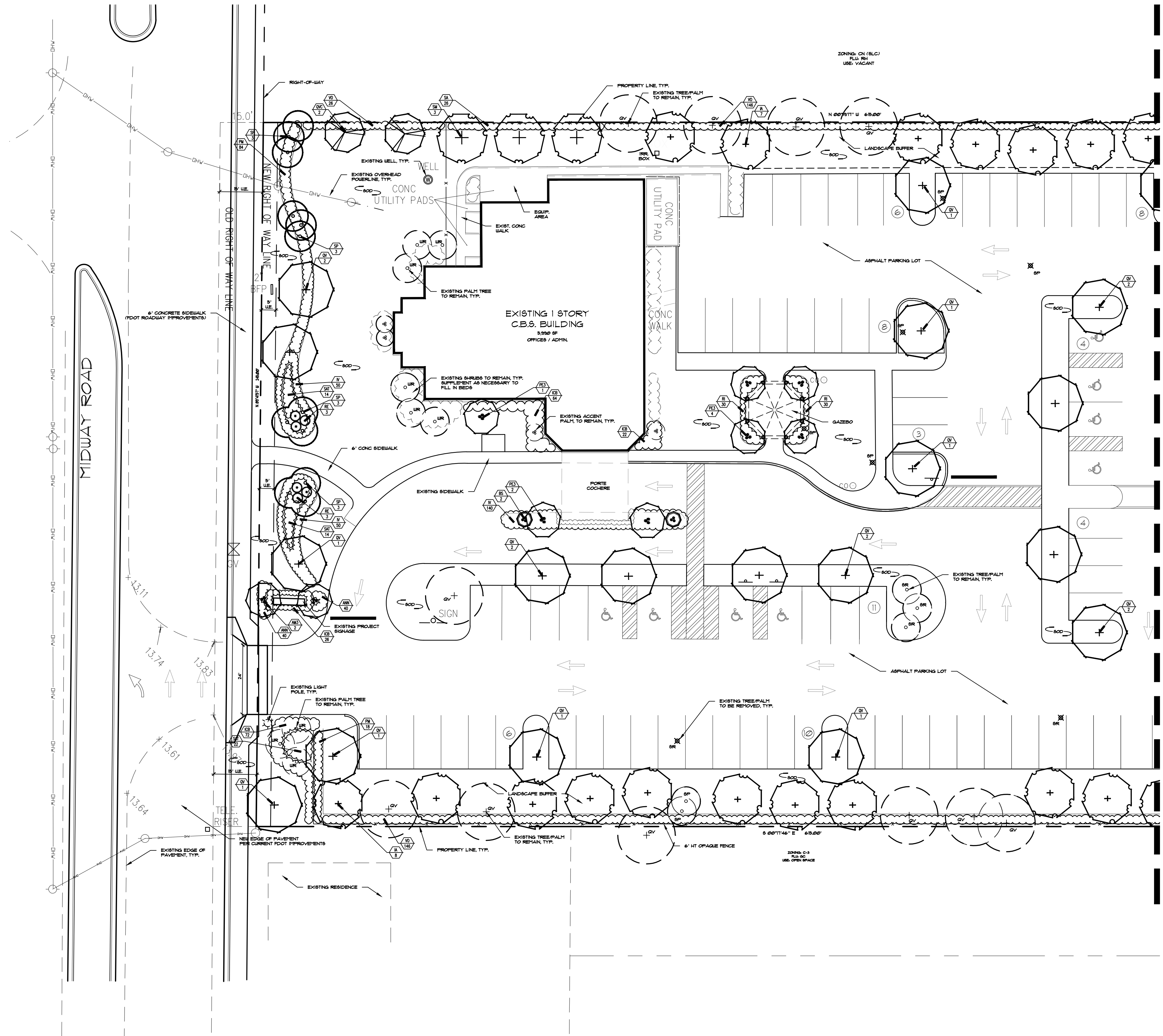
-  Existing tree/palm to remain
-  Existing tree/palm to be removed
-  Existing vegetation to remain

### Existing Plant Key

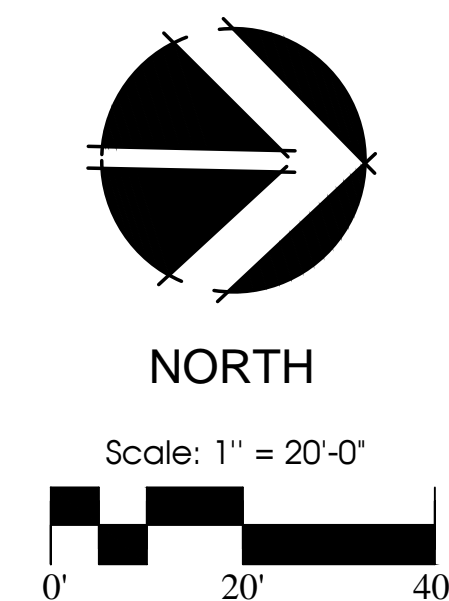
- PR = Phoenix roebelenii / Fyngmy Date Palm
- QV = Quercus virginiana / Live Oak
- SP = Sabal palmetto / Cabbage Palm
- SR = Syagrus romanzoffiana / Queen Palm
- UNK = Unknown Plant
- WB = Wodyetia bifurcata / Foxtail Palm

### Notes

- Prior to the installation of any plant material all existing and imported soils shall be tested and amended to meet the soil specifications and specific plant needs as shown on this plan.
- All plant material, unless specified as being Florida Fancy or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Division of Plant Industry.
- All plant materials and sod shall have an automatic irrigation system providing 100% coverage.
- Maintain positive drainage away from residence.
- All plant material shall be planted, fertilized and mulched as per the Plant Details and Plant Specifications noted on this plan.
- Landscape Contractor shall research plans and contact appropriate agencies to determine location of utilities and obstructions prior to commencing work. Any utilities or unanticipated obstructions shall be reported immediately to the Landscape Architect.
- Landscape Contractor will be responsible for obtaining all necessary permits, licenses, inspections, and insurance as required by the State and local agencies.
- Invasive species including Brazilian Pepper, Australian Pine, Melaleuca, Snake Plant, Scaevola and Earleaf Acacia shall be eradicated in the development area and removed from the site.



FOR PLANT LIST, DETAILS, & SPECIFICATIONS SEE SHEET L - 1



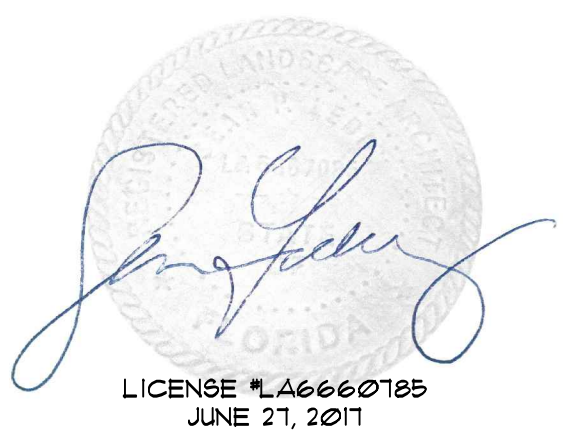
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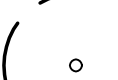


# Midway Detox and Rehab Campus 604 Midway Road Fort Pierce, Florida Landscape Plan



Drawn By \_\_\_\_\_ SL  
Checked By \_\_\_\_\_ MM  
Scale \_\_\_\_\_ 1" = 20'-0"  
Drawing Date \_\_\_\_\_ 3/31/17  
\_\_\_\_\_ 6/27/17

# L - 2

## Existing Plant Symbol Key

-  Existing tree/palm to remain
-  Existing tree/palm to be removed
-  Existing vegetation to remain

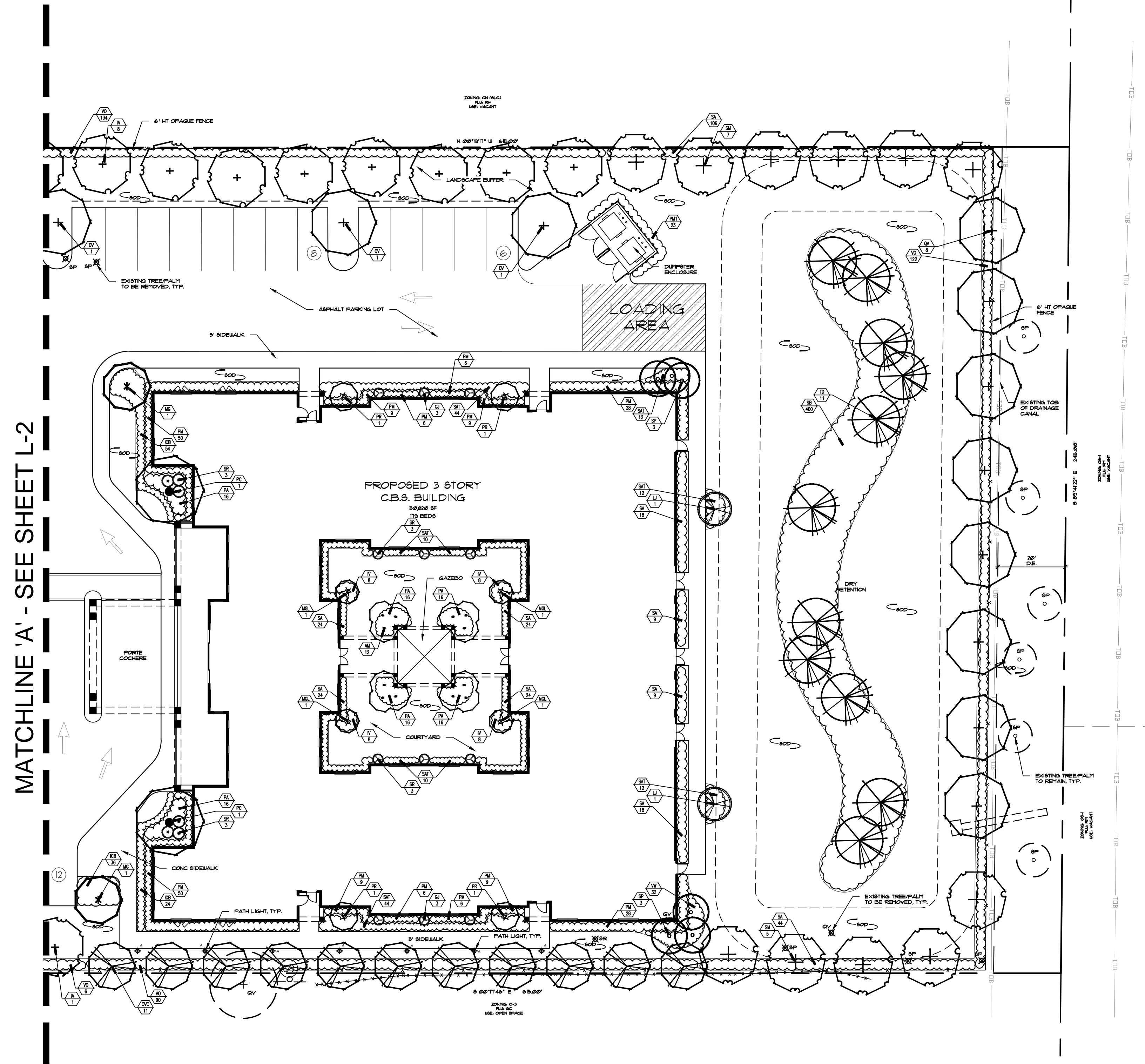
## Existing Plant Key

- PR = Phoenix roebelenii / Fyngmy Date Palm
- QV = Quercus virginiana / Live Oak
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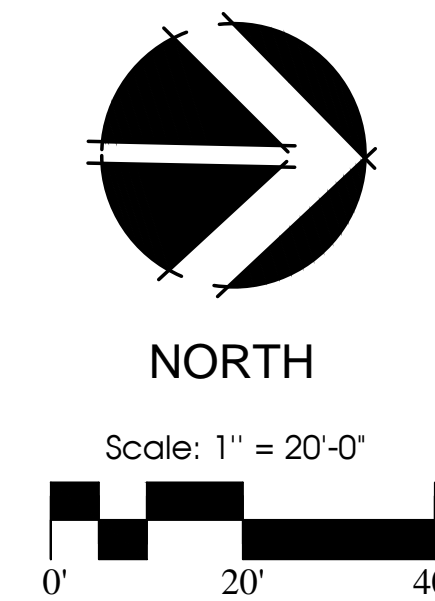
## Notes

- Prior to the installation of any plant material all existing and imported soils shall be tested and amended to meet the soil specifications and specific plant needs as shown on this plan.
- All plant material, unless specified as being Florida Fancy or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Division of Plant Industry.
- All plant materials and sod shall have an automatic irrigation system providing 100% coverage.
- Maintain positive drainage away from residence.
- All plant material shall be planted, fertilized and mulched as per the Plant Details and Plant Specifications noted on this plan.
- Landscape Contractor shall research plans and contact appropriate agencies to determine location of utilities and obstructions prior to commencing work. Any utilities or unanticipated obstructions shall be reported immediately to the Landscape Architect.
- Landscape Contractor will be responsible for obtaining all necessary permits, licenses, inspections, and insurance as required by the State and local agencies.
- Invasive species including Brazilian Pepper, Australian Pine, Melaleuca, Snake Plant, Scaevola and Barleaf Acacia shall be eradicated in the development area and removed from the site.

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FOR PLANT LIST, DETAILS, & SPECIFICATIONS SEE SHEET L - 1




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www.McCartyLandPlanning.com  
Mike@McCartyLandPlanning.com

**Midway Detox and  
Rehab Campus**  
604 Midway Road  
Fort Pierce, Florida  
**Landscape Plan**

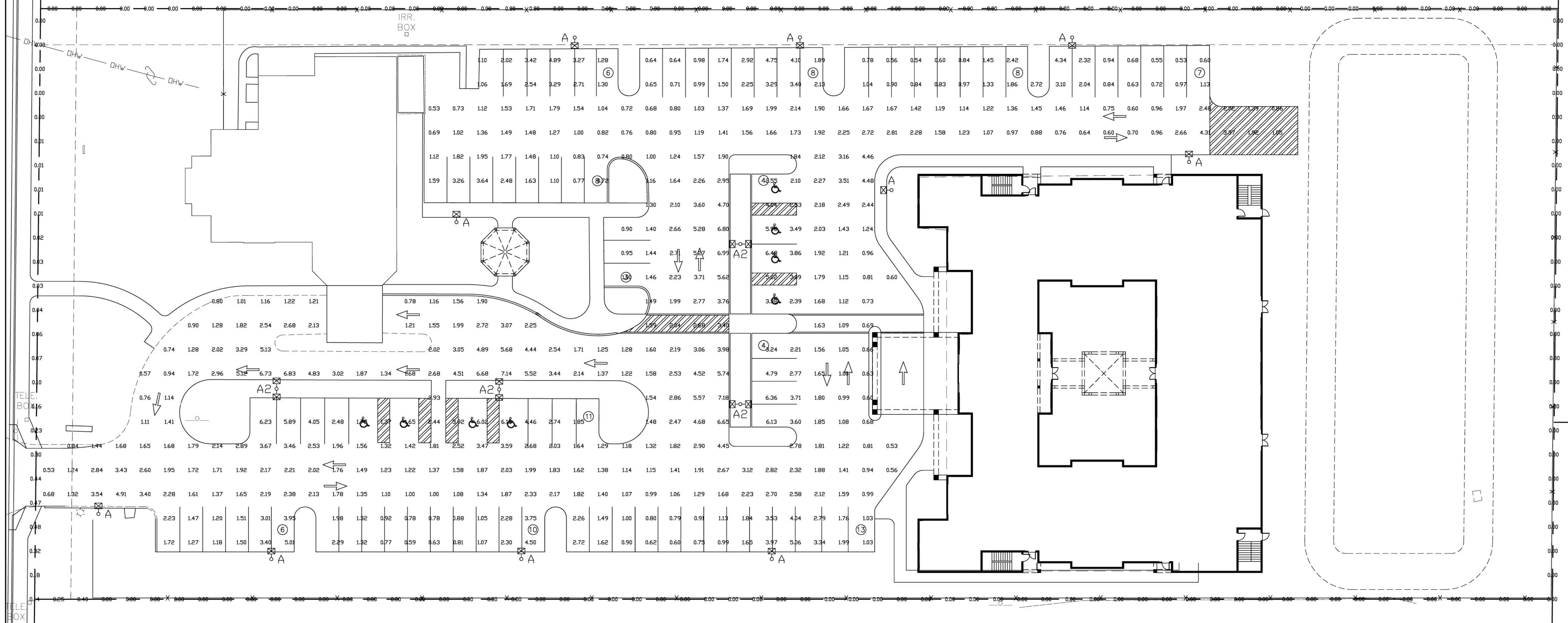
  
LICENSE #LA6660185  
JUNE 27, 2011

Drawn By \_\_\_\_\_ SL  
Checked By \_\_\_\_\_ MM  
Scale \_\_\_\_\_ 1" = 20'-0"  
Drawing Date \_\_\_\_\_ 3/31/17  
\_\_\_\_\_ 6/27/17

**L - 3**

# MIDWAY DETOX AND REHAB CAMPUS FT. PIERCE, FL

PREPARED BY MAINSTREET ENGINEERING



## TABLE OF CONTENTS

PH-1

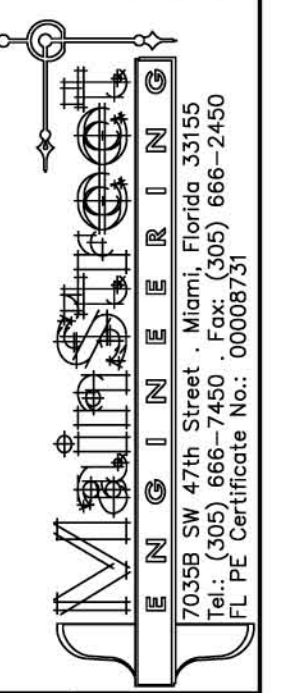
SITE PLAN

PH-2

PHOTOMETRIC TABLE & POLE DETAIL

THE SIGNATURE AND SEAL HEREBY AFFIXED BY THIS ENGINEER IS A LEGAL ATTESTATION OF THE ACCURACY AND RELIABILITY OF THE DATA AND INFORMATION ON WHICH THIS COMPUTER PRINTOUT IS BASED.

No.	REVISIONS	DATE	BY



ELECTRICAL ENGINEER:  
WILLIAM E. PINO  
FLORIDA P.E. # 20226

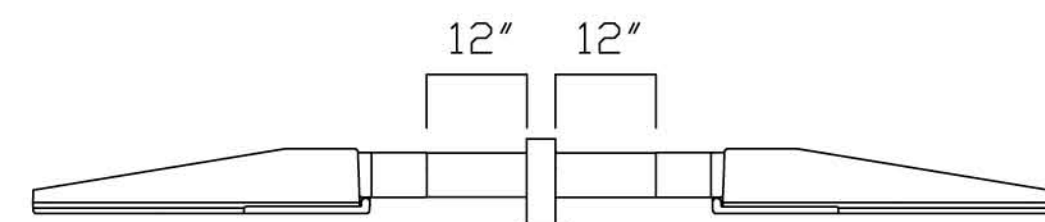
SCALE: \_\_\_\_\_  
DESIGNED BY SB  
DRAWN BY SB  
CHECKED BY WP

**DESCRIPTION:**  
PHOTOMETRIC SITE PLAN

**PROJECT:**  
MIDWAY DETOX AND REHAB CAMPUS  
FT. PIERCE, FL

DATE: 3/30/17  
PROJECT NO. \_\_\_\_\_

SHEET NUMBER  
**PH-1**



AGL LIGHTING FIXTURE:  
 CAT#RADIANT-100W-BL-120/277-SF-50K-T4; 100W LED FIXTURE, 120-277VOLT, 5000K, TYPE 4 DISTRIBUTION, BLACK IN COLOR

TWIN P&K ARM/BRACKET:  
 CAT#FCL-T2A-12-BL

SQUARE TAPERED, CONCRETE POLE, 25'-0" ABOVE GRADE, EMBEDDED STYLE, WITH TENON.

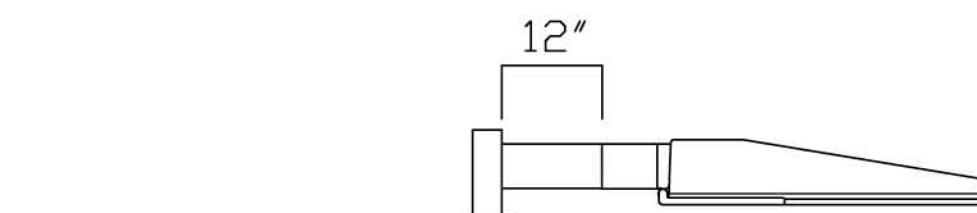
25'-0"

GROUND LINE

EMBEDMENT DEPTH

SEE NOTE

**POLE DETAIL  
TYPE "A"**



AGL LIGHTING FIXTURE:  
 CAT#RADIANT-100W-BL-120/277-SF-50K-T4; 100W LED FIXTURE, 120-277VOLT, 5000K, TYPE 4 DISTRIBUTION, BLACK IN COLOR

SINGLE P&K ARM/BRACKET:  
 CAT#FCL-T1A-12-BL

SQUARE TAPERED, CONCRETE POLE, 25'-0" ABOVE GRADE, EMBEDDED STYLE, WITH TENON.

25'-0"

GROUND LINE

EMBEDMENT DEPTH

SEE NOTE

**POLE DETAIL  
TYPE "A2"**

NOTE:  
 EMBEDMENT DEPTH TO BE DETERMINED BY SIGNED & SEALED WIND LOAD CALCULATIONS BY A STRUCTURAL ENGINEER CONFORMING TO THE CURRENT FLORIDA BUILDING CODE.

PARKING  
 487 points at z=0, sp 10ft by 10ft  
 HORIZONTAL FOOTCANDLES  
 Average 2.10  
 Maximum 7.18  
 Minimum 0.53  
 Avg:Min 3.97  
 Max:Min 13.55  
 Coef Var 0.66  
 UnifGrad 2.77

SPILLAGE  
 175 points  
 HORIZONTAL FOOTCANDLES  
 Average 0.02  
 Maximum 0.48  
 Minimum 0.00  
 Avg:Min N/A  
 Max:Min N/A  
 Coef Var 3.75

A  
 AGL: RADIANT-100W-50K-T4  
 lamp(s): XXX  
 candela file 'RADIANT-100W-50K-T4.IES'  
 1 lamp(s) per luminaire, 11550 initial lumens per lamp  
 Light Loss Factor = 0.900, watts per luminaire = 102  
 Outreach (from mounting axis to photometric center)= 20 in  
 mounting height= 25 ft  
 number locations= 10, number luminaires= 10  
 kw all locations= 1.0

A2  
 AGL: RADIANT-100W-50K-T4  
 lamp(s): XXX  
 2 luminaires per location, candela file 'RADIANT-100W-50K-T4.IES'  
 1 lamp(s) per luminaire, 11550 initial lumens per lamp  
 Light Loss Factor = 0.900, watts per luminaire = 102  
 Outreach (from mounting axis to photometric center)= 20 in  
 mounting height= 25 ft  
 number locations= 4, number luminaires= 8  
 kw all locations= 0.8

CG17014  
 2017-0328

**PHOTOMETRIC TABLE**

FOR LIGHT FIXTURE AND POLE  
 INFORMATION PLEASE CONTACT:  
 CRAIG GRILLO - LIGHTWORKS  
 PHONE: 561-641-5301

THE SIGNATURE AND SEAL HEREBY AFFIXED BY THIS METHOD AND MANNER DATA USED IN GENERATION OF THIS COMPUTER PRINTOUT.

**PROJECT:** MIDWAY DETOX AND REHAB CAMPUS FT. PIERCE, FL

**DESCRIPTION:** PHOTOMETRIC TABLE & POLE DETAIL

DATE: 3/30/17  
 PROJECT NO.:

SHEET NUMBER: **PH-2**

REVISIONS: [Table with columns for No., REVISIONS, DATE, BY]

ELECTRICAL ENGINEER: WILLIAM E. PINO, FLORIDA P.E. # 39208

SCALE: DESIGNED BY SB, DRAWN BY SB, CHECKED BY WP

SEAL: [Professional Engineer Seal]

70358 SW 47th Street, Miami, Florida 33155  
 Tel: (305) 666-7450 Fax: (305) 666-7450  
 FL PE Certificate No.: 00008531

