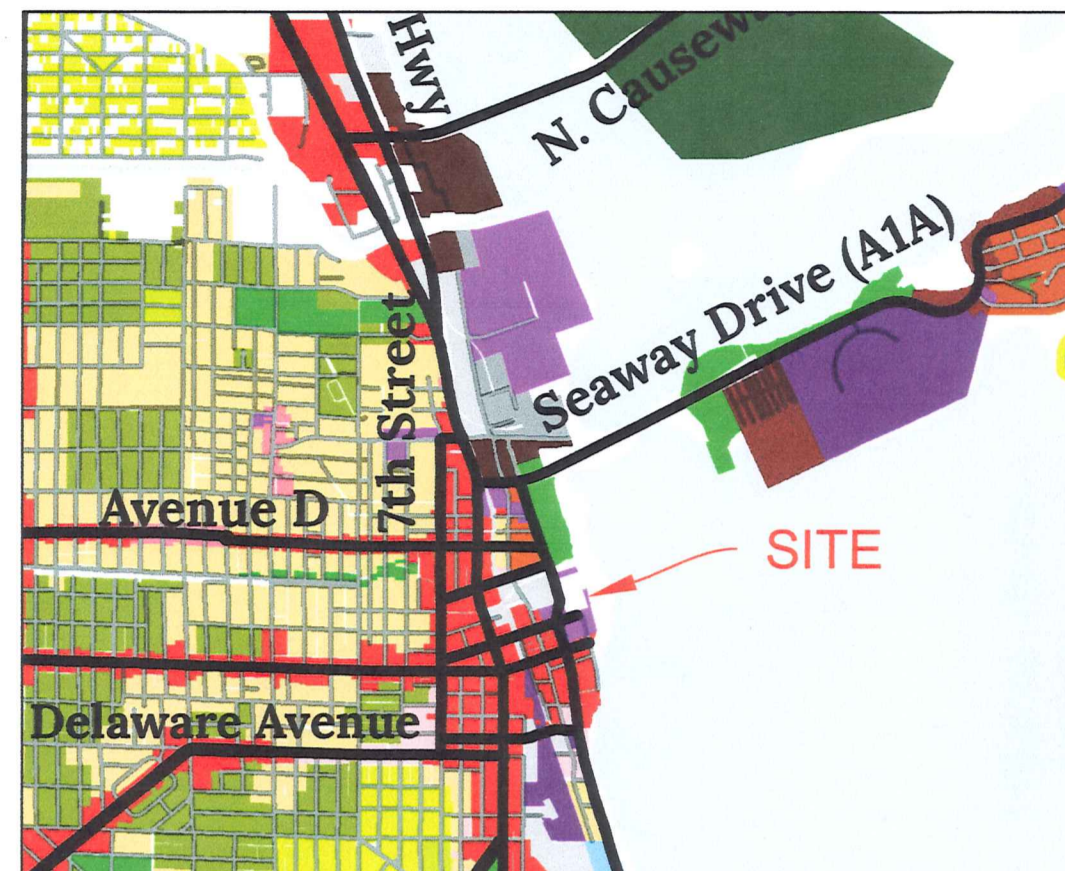


MAJOR SITE PLAN

NAVD 1988

ALL ELEVATIONS DEPICTED HEREON REFERENCE NAVD 1988. THE CONVERSION FACTOR TO NGVD 1929 IS +1.50'

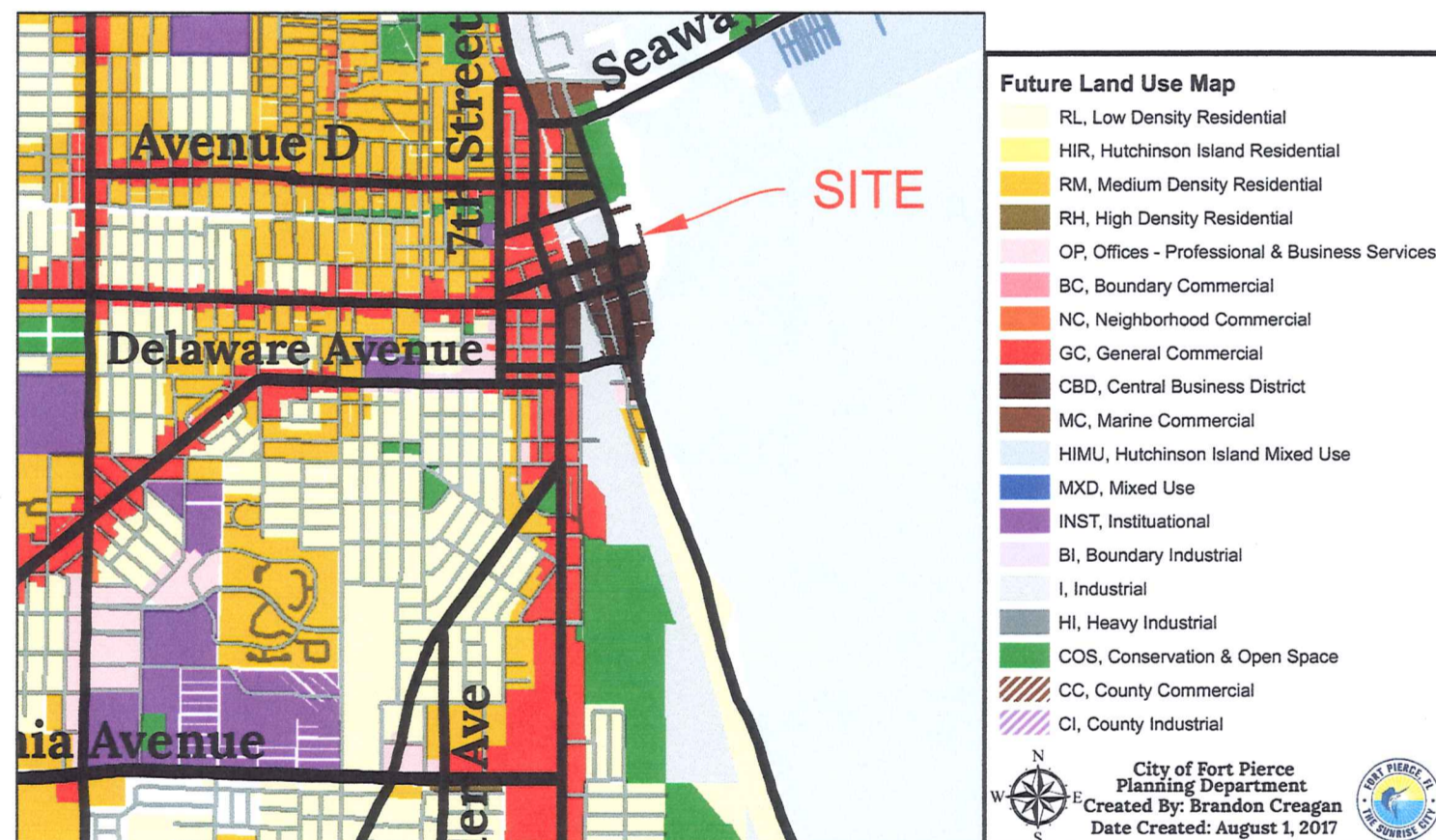


Zoning Districts

Residential Zoning	Commercial Zoning
E1, Single Family Estate Density	C1, Office Commercial
E2, Residential Single Family, 2 Units/Acre	C2, Neighborhood Commercial
E3, Residential Single Family, 3 Units/Acre	C3, General Commercial
R1, Single Family Low Density	C4, Central Commercial
R2, Single Family Intermediate Density	C5, Tourist Commercial
R3, Single Family Moderate Density	C6, Marine Commercial
R4, Medium Density Residential	CP1, Commercial Parkway
R4A, Hutchinson Island Medium Density Residential	Industrial Zoning
R5, High Density Residential	I1, Light Industrial
Open Space Zoning	I2, Marine Industrial
OS1, General and Recreational Open Space	I3, Heavy Industrial
OS2, Conservation Open Space	Agriculture Zoning (County)
Planned Development Zoning	AR1, Agriculture, Residential - 1
PD, Planned Development	AG1, Agriculture - 1
PUR, Planned Urban Redevelopment	AG2.5, Agriculture - 2.5

City of Fort Pierce Planning Department
Created By: Brandon Creagan
Date Created: July 25, 2017

ZONING MAP
NOT TO SCALE

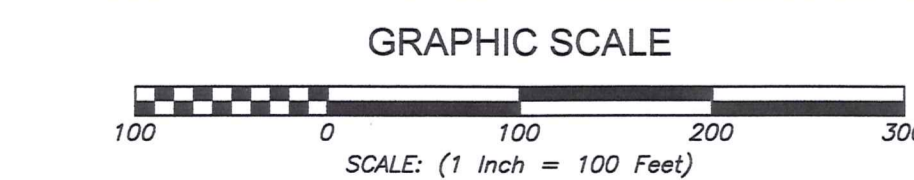


Future Land Use Map

RL, Low Density Residential
HR, Hutchinson Island Residential
RM, Medium Density Residential
RH, High Density Residential
OP, Offices - Professional & Business Services
BC, Boundary Commercial
NC, Neighborhood Commercial
GC, General Commercial
CB, Central Business District
MC, Marine Commercial
HMU, Hutchinson Island Mixed Use
MXD, Mixed Use
INST, Institutional
BI, Boundary Industrial
I, Industrial
HI, Heavy Industrial
COS, Conservation & Open Space
CC, County Commercial
CI, County Industrial

City of Fort Pierce Planning Department
Created By: Brandon Creagan
Date Created: August 1, 2017

LAND USE MAP
NOT TO SCALE



VICINITY MAP

SHEET INDEX

- S-1 BOUNDARY AND TOPOGRAPHIC SURVEY
- C-1 SITE PLAN
- C-2 GRADING, DRAINAGE AND UTILITIES PLAN
- C-3 GENERAL DETAILS AND NOTES

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CAI Serving Florida Since 1911
CARTER ASSOCIATES, INC.
 CONSULTING ENGINEERS AND LAND SURVEYORS
 1708 21st STREET, VERO BEACH, FL 32960
 TEL: (772) 562-4191 FAX: (772) 562-7180

BEACHSIDE HOSPITALITY GROUP
 11201 CORPORATE CIRCLE N., SUITE 100
 ST. PETERSBURG, FLORIDA 33716

TEL: (727) 210-0987

FAX:

JOHN H. BLUM, P.E.
 LICENSE No. 45819
 SIGNATURE DATE
 8/24/18
 JOHN H. BLUM, P.E.
 FLORIDA LICENSE No. 45819
 CARTER ASSOCIATES, INC. PROFESSIONAL ENGINEER

Dwg. #:

PROJECT # 18-56E

SURVEYOR'S GENERAL NOTES AND REPORT:

- UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER, THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.
- THE LAST DAY OF FIELD WORK PERFORMED FOR THE INITIAL SURVEY EFFORT WAS JULY 2, 2018. SUBSEQUENT ADDITIONS, DELETIONS AND/OR UPDATES, IF ANY, ARE REFLECTED IN THE DRAWING REVISIONS.
- BEARINGS SHOWN HEREON ARE BASED UPON THE NORTH AMERICAN DATUM OF 1983, ADJUSTMENT OF 2011, AND ARE PROJECTED IN THE FLORIDA STATE PLANE COORDINATE SYSTEM, FLORIDA EAST ZONE (901) AND ARE REFERENCED TO THE ESTABLISHED AND MONUMENTED LINE SHOWN HEREON LABELED AS THE BEARING BASIS.
- UNLESS A DIFFERENCE IS SHOWN, OBSERVED AND RECORD DIMENSIONS ARE THE SAME. ALL DIMENSIONS SHOWN HEREON ARE DISPLAYED IN U.S. SURVEY FEET AND DECIMAL PARTS THEREOF.
- THE BOUNDARY DETERMINATION AND DELINEATION SHOWN ON THIS MAP OF SURVEY WAS BASED UPON THE PROFESSIONAL OPINION OF THE REGISTERED SURVEYOR PURSUANT TO NORMAL PRINCIPALS AND PRACTICES OF LAND SURVEYING AND IS NOT INTENDED TO IMPLY OR DETERMINE OWNERSHIP. THIS SURVEY DOES NOT INTEND TO DELINEATE LOCAL AREAS OF CONCERN OR ANY OTHER JURISDICTIONAL DETERMINATION.
- THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT AND USE OF THE PERSONS AND/OR ENTITIES NAMED HEREON FOR THE PURPOSES IDENTIFIED HEREON ONLY. UNLESS OTHERWISE STATED, CERTIFICATION OF THIS SURVEY MAP APPLIES ONLY TO THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5117 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. THE CERTIFICATION IN NO WAY CONSTITUTES NEITHER GUARANTEE NOR WARRANTY TO ANY OTHER INFORMATION NOT SHOWN HEREON. ADDITIONS, DELETIONS OR REVISIONS TO THIS DRAWING BY OTHERS ARE NOT PERMITTED AND THIS SURVEY MAY NOT BE TRANSFERRED WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE SIGNING SURVEYOR. THIS SURVEY IS NOT VALID FOR ANY OTHER PURPOSE OTHER THAN INTENDED BY THE SIGNING SURVEYOR.
- THE LEGAL DESCRIPTION AND MATTERS OF PUBLIC RECORD WERE FURNISHED BY THE CLIENT. THIS PROPERTY(S) WAS NOT ABSTRACTED OR RESEARCHED BY THIS OFFICE FOR ENCUMBRANCES OF RECORD. THE HEREON DESCRIBED PROPERTY IS SUBJECT TO RESTRICTIONS, RESERVATIONS, EASEMENTS AND RIGHTS-OF-WAY OF RECORD, IF ANY. MATTERS OF RECORD NOT BROUGHT TO THE SURVEYOR'S ATTENTION BY THE CLIENT, THEIR AGENT OR AS DISCLOSED BY A FURNISHED TITLE INSURANCE POLICY WERE NOT INCLUDED. NO INVESTIGATION WAS MADE BY THIS OFFICE INTO THE VALIDITY OF ANY EASEMENTS CITED IN THE LEGAL DESCRIPTION OR FOR ANY ENCUMBRANCES NOT OF RECORD IN THE INFORMATION FURNISHED BY THE CLIENT. NO TITLE COMMITMENT OR ABSTRACT WAS FURNISHED FOR THE PREPARATION OF THIS SURVEY.
- THE EXPECTED USE OF THE LAND, AS CLASSIFIED IN THE STANDARDS OF PRACTICE (S417 F.A.C.) IS COMMERCIAL/HIGH RISK. THE MINIMUM RELATIVE DISTANCE ACCURACY OF BOUNDARIES FOR THIS TYPE OF SURVEY IS 1 FOOT IN 10,000 FEET. THIS SURVEY MEETS OR EXCEEDS THE STATED ACCURACY REQUIREMENT.
- WITH EXCEPTION TO WHAT HAS BEEN FIELD LOCATED AND SHOWN ON THIS SURVEY, THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. SUBSURFACE AND/OR AERIAL ENCROACHMENTS, IF ANY, WERE NOT LOCATED AND/OR DEPICTED ON THIS SURVEY UNLESS NOTED OR IDENTIFIED.
- THE HEREON DESCRIBED PROPERTY APPEARS TO LIE WITHIN FLOOD ZONE AE, BASE FLOOD ELEVATIONS DETERMINED, ELEVATION 4.0' NAVD 1988, AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) NUMBER 12111C0179J, COMMUNITY NUMBER 120286, PANEL 0179, SUFFIX "A" MAP REVISED DATE FEBRUARY 16, 2012, MAP INDEX DATE FEBRUARY 16, 2012.

DESCRIPTION OF LEASE AREA:

COMMENCING AT THE PUBLISHED NATIONAL GEODETIC SURVEY (NGS) MONUMENT WITH DISK STAMPED "H 231", HAVING COORDINATE VALUES OF NORTH 1133551.59, EAST 875503.22 BASED ON THE NORTH AMERICAN DATUM OF 1983, ADJUSTMENT OF 2011, AND PROJECTED IN THE FLORIDA STATE PLANE COORDINATE SYSTEM, FLORIDA EAST ZONE (901), RUN THE FOLLOWING COURSE ALONG A SURVEY REFERENCE LINE: SOUTH 08°34'32" EAST, A DISTANCE OF 810.83 FEET TO A FOUND "MAG" NAIL AND DISK STAMPED "C&T LB 4268", THENCE RUN NORTH 45°39'07" EAST, A DISTANCE OF 702.41 FEET TO A FOUND "MAG" NAIL AND DISK STAMPED "NORTHSTAR TRAV TBM", HAVING COORDINATE VALUES OF NORTH 1133537.29, EAST 876098.35 BASED ON SAID NORTH AMERICAN DATUM OF 1983, ADJUSTMENT OF 2011, THENCE RUN SOUTH 14°20'28" EAST ALONG A SURVEY CONTROL LINE, A DISTANCE OF 105.77 FEET, THENCE LEAVING SAID SURVEY CONTROL LINE RUN SOUTH 75°32'22" WEST, A DISTANCE OF 4.36 FEET TO THE POINT OF BEGINNING OF THE HEREIN DESCRIBED LEASE AREA.

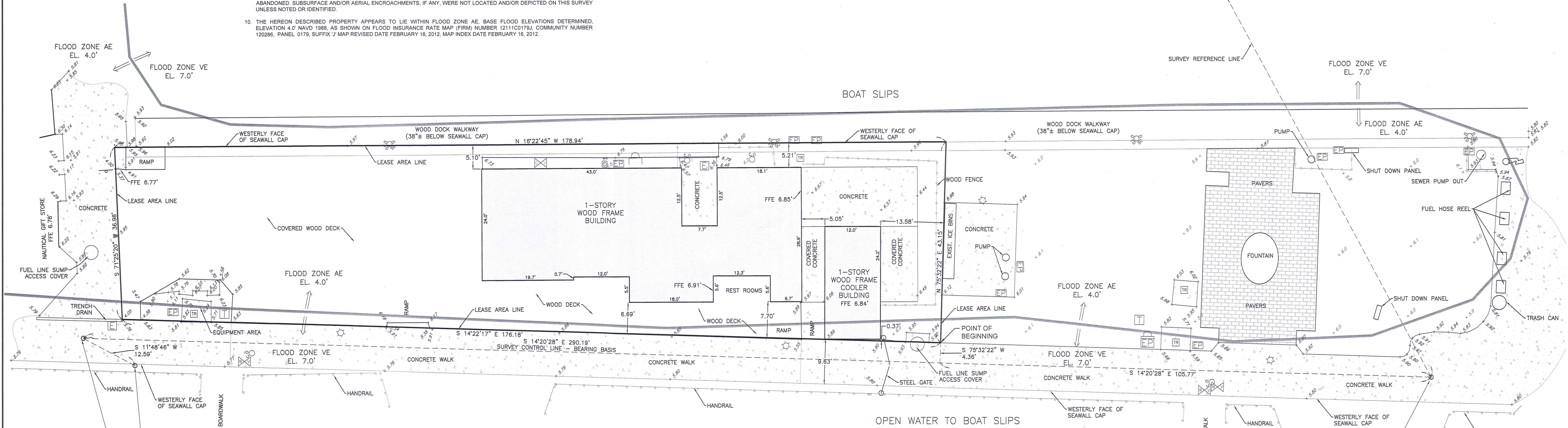
FROM SAID POINT OF BEGINNING RUN SOUTH 14°22'17" EAST ALONG THE APPROXIMATE WESTERLY EDGE OF AN EXISTING CONCRETE WALKWAY, A DISTANCE OF 176.18 FEET, THENCE RUN SOUTH 71°25'20" WEST ALONG THE APPROXIMATE NORTHERLY EDGE OF AN EXISTING CONCRETE WALKWAY, A DISTANCE OF 36.98 FEET, THENCE RUN NORTH 16°22'45" WEST ALONG THE WESTERLY FACE OF THE CONCRETE SEAWALL CAP, A DISTANCE OF 178.94 FEET, THENCE RUN NORTH 75°32'22" EAST, A DISTANCE OF 43.15 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED LAND BEING A PORTION OF PARCEL III, SAID PARCEL III AS DESCRIBED IN OFFICIAL RECORDS BOOK 755, PAGE 270 OF THE PUBLIC RECORDS OF SAINT LUCIE COUNTY, FLORIDA.

THE ABOVE DESCRIBED LEASE AREA CONTAINING 7,107.85 SQUARE FEET OF 0.163 ACRES MORE OR LESS.

PART OF PARCEL ID: 2410-503-0041-030-7

MUNICIPAL ADDRESS: 5 AVENUE 'A', FORT PIERCE, FLORIDA



TBM #3
FOUND "MAG" NAIL/DISK
STAMPED "NORTHSTAR TRAV. TBM"
EL. 5.76'
N 1133268.46
E 876172.81

TBM #2
FOUND "MAG" NAIL/DISK
STAMPED "NORTHSTAR TRAV. TBM"
EL. 5.78'
N 1133256.14
E 876170.23

LEGEND

WATER METER	EXISTING WELL	I.R.C., FL.	INDIAN RIVER COUNTY, FLORIDA
ANCHOR & GUY WIRE	TELEPHONE/CATV RISER	SRC	SET 1/2" DIAMETER X 18" LONG REBAR/CAP STAMPED "CARTER ASSOC."
SIGN	SANITARY CLEAN-OUT	SRWC	SET 1/2" DIAMETER X 18" LONG REBAR/CAP STAMPED "WIT.COR. LB.205"
DRAINAGE CATCH BASIN	YARD LIGHT	P.O.B.	POINT OF BEGINNING
SANITARY SEWER MANHOLE	ELECTRICAL RISER	P.O.C.	POINT OF COMMENCEMENT
DRAINAGE MANHOLE	MAIL RECEPTACLE	ORB	OFFICIAL RECORD BOOK
OVERHEAD ELECTRIC	ELECTRICAL METER	PG	PAGE
WATER VALVE	DIA.	I.R.F.W.C.D.	INDIAN RIVER FARMS WATER CONTROL DISTRICT
SEWER VALVE	EOP	I.R.F.C.S.D.	INDIAN RIVER FARMS COMPANY SUBDIVISION
GAS VALVE/METER	R.O.W.	S.L.CO., FL.	ST. LUCIE COUNTY, FLORIDA
FIRE HYDRANT	CONC.	C.B.S.	CONCRETE BLOCK STRUCTURE
UTILITY POLE	L.P.	FFE	FINISH FLOOR ELEVATION
OBSERVED DATA	LIQUID PROPANE	TR	TRANSFORMER
PLAT DATA	SWL	FLAG	FLAG
CALCULATED DATA	ELECTRIC PANEL		
DEED DATA	FIRE DEPARTMENT CONNECTION		

SURVEYOR'S GLOBAL POSITIONING SYSTEM (G.P.S.) NOTES:

- G.P.S. SURVEY METHOD: REAL TIME KINEMATIC (RTK)
- G.P.S. RECEIVER TYPE: DUAL FREQUENCY LEICA GS 14 / CS 15 GPS/GLONASS GNSS (GLOBAL NAVIGATION SATELLITE SYSTEM), SBAS, CODE AND PHASE (L1 AND L2)
- THE ORIGINAL GPS RTK MEASUREMENTS BEGAN JUNE 29, 2018 AND WERE COMPLETED ON JULY 2, 2018. TWO LEICA DUAL FREQUENCY GPS RECEIVERS EQUIPPED WITH RT-SKI (REAL TIME MEASUREMENT CAPABILITIES) WERE USED TO GATHER GPS DATA. TYPICALLY A BASE RECEIVER IS SET UP ON AN ESTABLISHED CONTROL STATION WHILE A ROVING RECEIVER LOCATES EXISTING MONUMENTS, IMPROVEMENTS AND/OR TOPOGRAPHIC DATA AND CONTROL THROUGHOUT THE PROJECT AREA. REAL-TIME COORDINATE COMPUTATIONS AND PRECISION INFORMATION ARE DETERMINED VIA RADIO / MODEM LINK WITH THE BASE STATION AND RECORDED AS THREE DIMENSIONAL (3D) POSITIONS.
- G.P.S. SURVEY MEASUREMENTS WERE PROCESSED AND ADJUSTED USING LEICA INFINITY, VERSION 2.1.0
- THE HORIZONTAL TARGET ACCURACY FOR THIS SURVEY IS AS FOLLOWS:
HORIZONTAL: 8MM + 1PPM (RMS)
VERTICAL: 15MM + 1PPM (RMS)
- HORIZONTAL POSITIONS OF SITE CONTROL WERE ESTABLISHED UTILIZING THE FDOT FFRN "MAX" NETWORK CORRECTION. LOCAL SITE CONTROL VALUES ARE NETWORK CORRECTED (ADJUSTED) POSITIONS.

VERTICAL DATUM AND CONTROL NOTES:

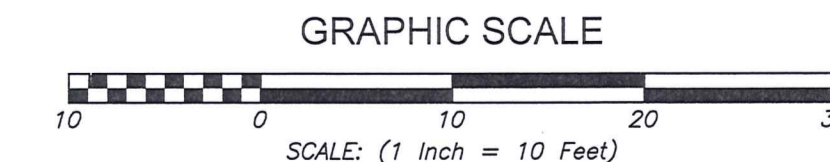
THE ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988) AND ARE DISPLAYED IN U.S. SURVEY FEET AND DECIMAL PARTS THEREOF.

ORIGINATING BENCH MARK(S):
IDENTIFICATION: H 231
PID: AF3246
STATE/COUNTY: FLUST LUCIE
USGS QUAD: FORT PIERCE (1983)
NAD 83 (2011) POSITION: 27 27 04.95327 (N), 080 19 25.28512 (W)
NAD 83 (2011) ELLIP HEIGHT: -25.456 (METERS)
NAVD 88 ORTHO HEIGHT: 2.088 (METERS) 6.84 (FEET)
GEOID HEIGHT: -27.547 (METERS)

DESCRIPTION: BENCH MARK DISK SET IN THE ABUTMENT OF PIER BRIDGE ABUTMENT STAMPED "H 231 1985 CGS" LOCATION: IN FT. PIERCE, AT THE INTERSECTION OF AVENUE C AND NORTH INDIAN RIVER DRIVE. IN TOP OF AND 1.6 FEET EAST OF THE WEST END OF THE NORTH CONCRETE ABUTMENT OF THE INDIAN RIVER DRIVE BRIDGE SPANNING MOORE CREEK, 84.3 FEET SOUTH OF THE AVENUE CENTERLINE, AND 21.0 FEET WEST OF AND LEVEL WITH THE DRIVE CENTERLINE.

TEMPORARY BENCH MARK(S): SEE TOPOGRAPHIC SURVEY PLAN FOR IDENTIFICATION, LOCATION AND ELEVATIONS.

CERTIFIED TO:
BEACHSIDE HOSPITALITY GROUP



NO.	REVISION	BY	DATE

Beachside Hospitality Group
11201 Corporate Circle North
Suite 100
St. Petersburg, Florida 33716
TEL: (727) 210-0918 FAX:

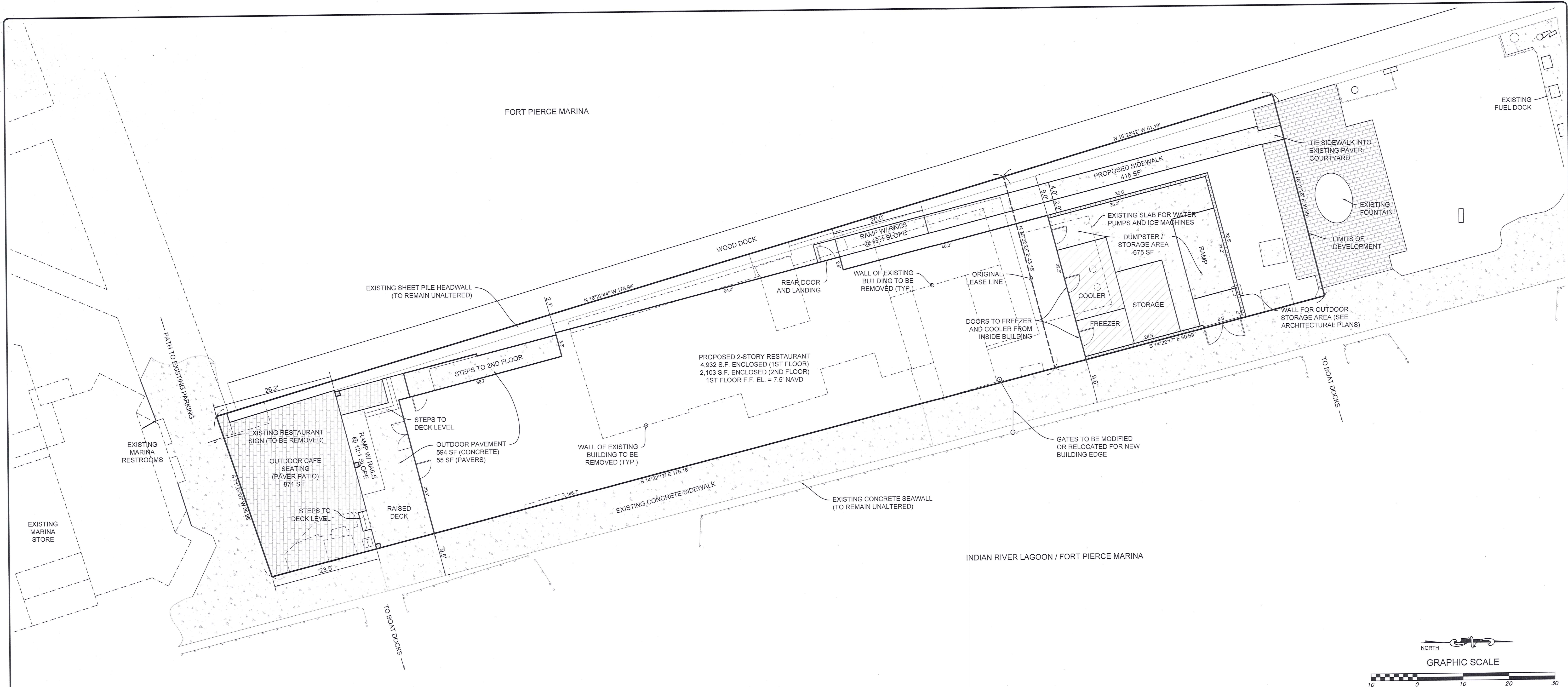
CARTER ASSOCIATES, INC.
CONSULTING ENGINEERS AND LAND SURVEYORS
1708 21st STREET, VERO BEACH, FL 32960
TEL: (772) 562-4191 FAX: (772) 562-7180

FRANK S. GUCCURESE, P.S.M.
FLORIDA LICENSE NO. 4765
CARTER ASSOCIATES, INC. COA 205 / LB 205

DATE: 8/1/2018
PROJ. #: 18-56E
DRAWN BY: DJM
APPD BY: FSC
PLOT BY: Kirk Noonan
FILE NAME: 18-56E-SURVEY.dwg
REF. #: 18-56E
F.B. & PG.: 869/374

Crabby's DOCKSIDE
Topographic Survey
Dwg. #: 21020-C

SHEET S-1
Dwg. #: 21020-C



SITE DATA

PROJECT NAME: Crabby's Dockside	START / FINISH DATE: Fall 2018 / Spring 2019	SEATING CAPACITY: Existing 197 Seats Proposed 199 Seats Net Change 2 Seats	PARKING: Required Parking Spaces: No offstreet parking required per Downtown Business and Entertainment Overlay District
INTENDED USE: Restaurant (Replacement of Exist. Buildings)	FLOOD ZONE: AE (EL 4.0' NAVD 1988), Map No. 12111C0179J (Dated 2/16/12)	OPERATING HOURS: 12 Hours/Day Average	PROPOSED ELECTRIC: Connect to existing FPUA Electric
APPROVAL REQUESTED: Major Site Plan	ZONING: PUR (Planned Urban Redevelopment)	BUILDING AREAS: Inside (Air Conditioned): First Floor - 4,932 SF Second Floor - 2,103 SF Sub-Total - 7,035 SF	PROPOSED WATER: Connect to existing FPUA water
SITE ADDRESS: 5 Avenue A	LAND USE: CBD (Central Business District)	Outside Under Roof: First Floor - 589 SF Second Floor - 847 SF Sub-Total - 1,436 SF	PROPOSED SEWER: Connect to existing FPUA sewer
OWNER/APPLICANT: Beachside Hospitality Group 11201 Corporate Circle N., Suite 100 St. Petersburg, FL 33716 (727) 210-0987	LEASE AREA: 0.163 (Original), 0.225 Ac.(Limits of Development)	Outdoor Uncovered: Uncovered Seating: 871 SF Cooler Units: 495 SF Enclosed Courtyard: 675 SF Sub-Total - 2,041 SF	STORMWATER: Utilization of creative BMPs to reduce pollutant loading versus existing site. Engineer shall coordinate with City of Fort Pierce and South Florida Water Management District to determine an acceptable solution.
ENGINEER/SURVEYOR: Carter Associates, Inc. 1708 21st Street Vero Beach, FL 32960 (772) 562-4191	IMPERVIOUS AREA CALCULATIONS (IMPACTED AREAS ONLY):	Total Restaurant Related Areas - 10,572 SF	REQUIRED PERMITS: City of Fort Pierce: • Development Review • Driveway, Sidewalk & Drainage Permit Fort Pierce Utilities Authority: • Water / Sewer Permit • Grease Trap Permit S.F.W.M.D. • 10-2 "No Notice" ERP F.D.E.P. • NPDES - Notice Of Intent
ARCHITECT: Architectonic, Inc. 806 Delaware Ave Fort Pierce, FL 334950 (772) 460-7751	Existing Impervious Area to Be Removed: Buildings (Incl. Deck): 5,809 SF Walks / Equip. Pads: 1,071 SF Total: 6,880 SF	SETBACKS: Front: 0 Feet Side: 0 Feet Rear: 0 Feet	NOTE: 1. CONTRACTOR TO SCHEDULE A PRE-CONSTRUCTION MEETING PRIOR TO INITIATING ANY WORK 2. ALL CONSTRUCTION SHALL COMPLY WITH SECTIONS 17 AND 22 OF THE CITY OF FORT PIERCE CODE OF ORDINANCES
LEGAL DESCRIPTION: See Survey	Proposed Impervious Areas: Enclosed Buildings: 4,932 SF Pavement (Under Roof): Pavers 55 SF Concrete 596 SF Pavement (Outside): Pavers 871 SF Concrete 1,585 SF Total: 8,039 SF		
SEC-TOWNSHIP-RANGE: Section 10, Township 35S, Range 40E	Net Change in Impervious Area: 8,039 SF - 6,880 SF = 1,359 SF		
TAX PARCEL NO(S): 2410-503-0041-030-7 (Part of Parcel)			

NAVD 1988

ALL ELEVATIONS DEPICTED HEREON REFERENCE NAVD 1988. THE CONVERSION FACTOR TO NGVD 1929 IS +1.50'

N:\BPM\18-56E-Crabby's Dockside\18-56E.dwg, C:\BPM\18-56E.dwg

NO.	REVISION	BY	DATE

Beachside Hospitality Group
11201 Corporate Circle North
Suite 100
St. Petersburg, Florida 33716
TEL: (727) 210-0978 FAX:

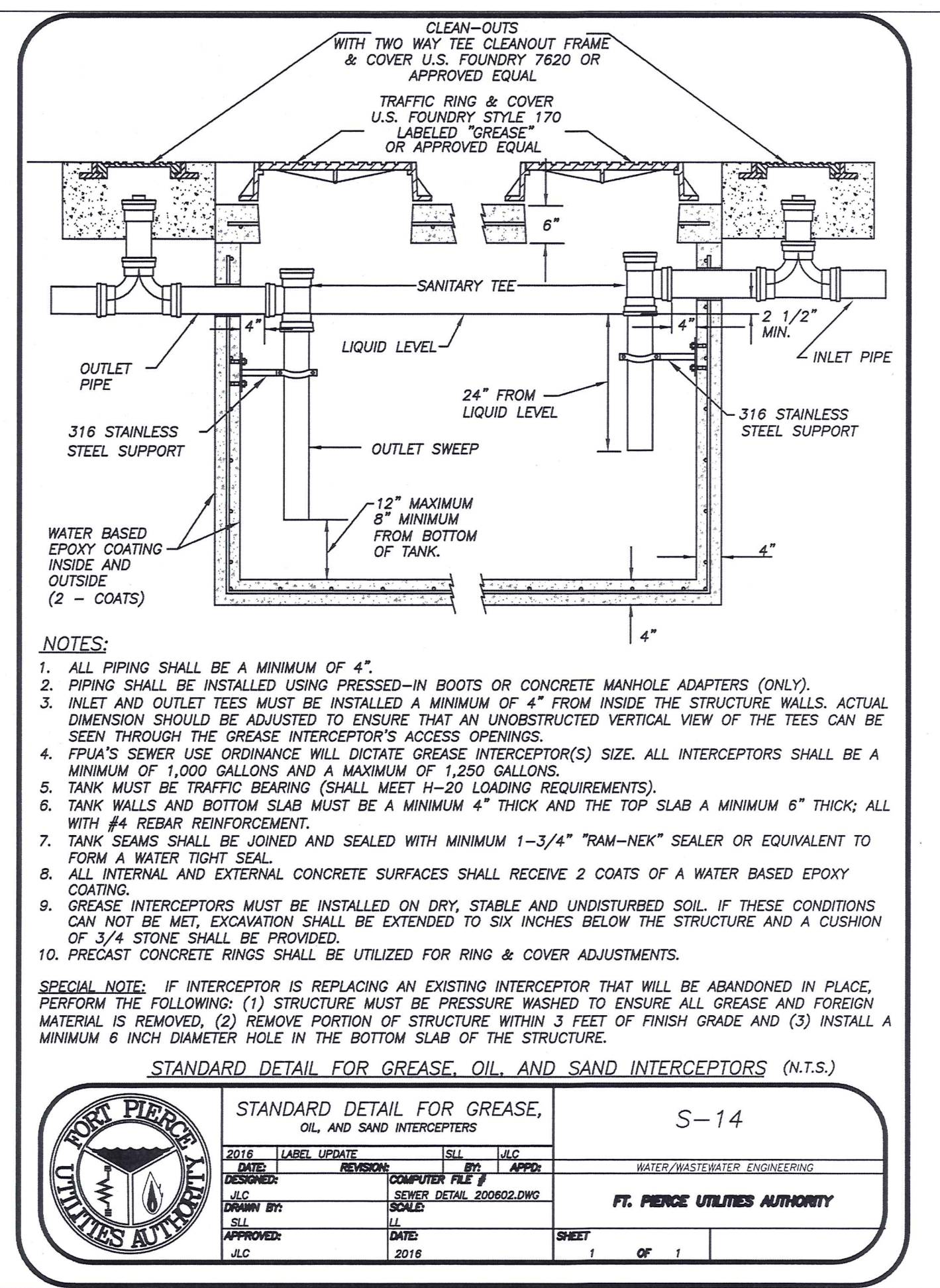
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TEL: (772) 562-4191 FAX: (772) 562-7180

John H. Blum
JOHN H. BLUM, P.E.
FLORIDA LICENSE NO. 45813
CARTER ASSOCIATES, INC.
8/1/18
8/1/18
8/1/18

DATE: 8/1/18
PROJ. #: 18-56E
DRAWN BY: CJR
APPD BY: JHB
PLOT BY: Kirk Noonan
FILE NAME:
REF. #: 18-56E
F.B. & PG.: 869/37+

Crabby's DOCKSIDE
St. Petersburg, Florida
Site Plan

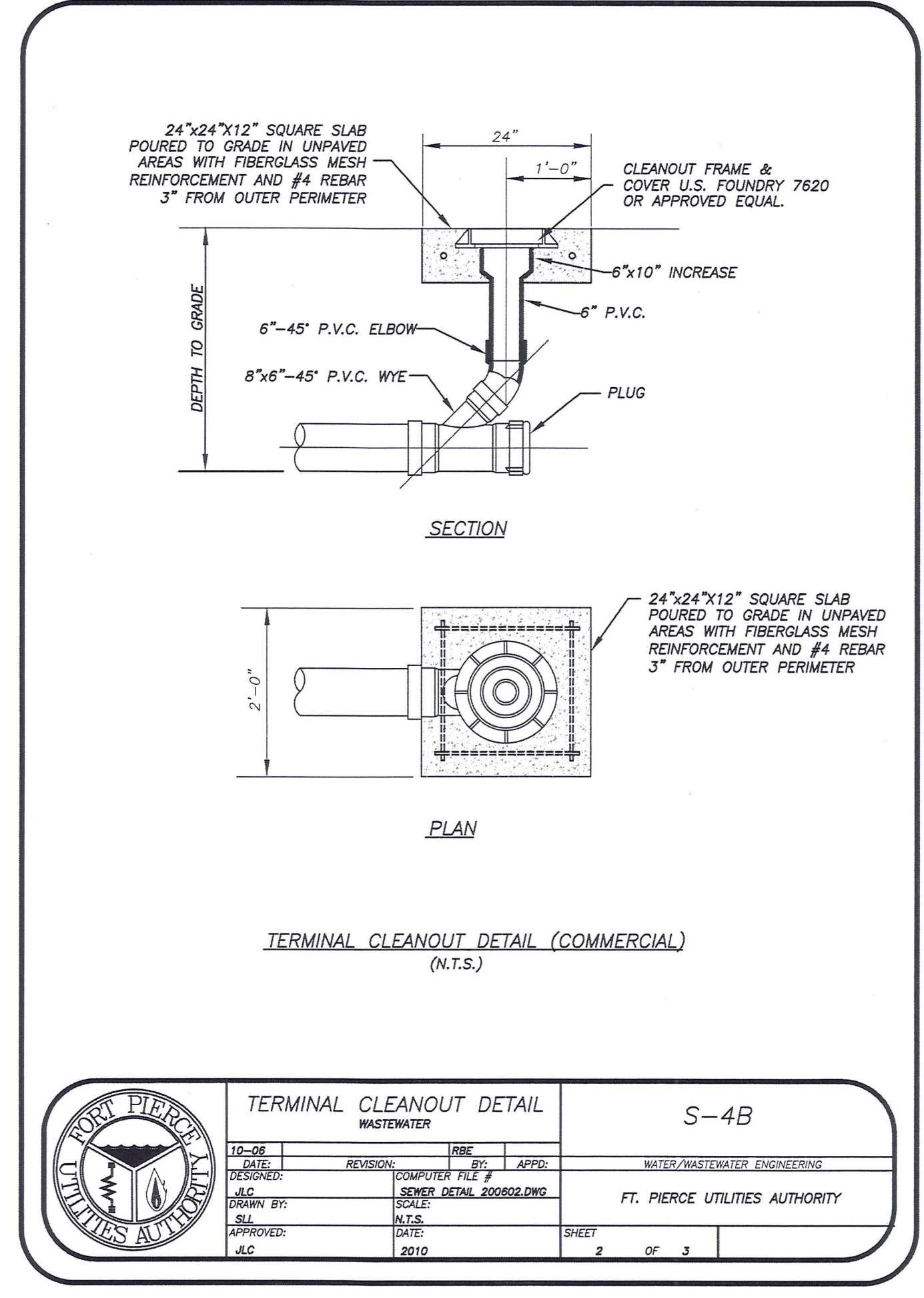
SHEET
C-1



- NOTES:**
1. ALL PIPING SHALL BE A MINIMUM OF 4".
 2. PIPING SHALL BE INSTALLED USING PRESSED-IN BOOTS OR CONCRETE MANHOLE ADAPTERS (ONLY).
 3. INLET AND OUTLET TEES MUST BE INSTALLED A MINIMUM OF 4" FROM INSIDE THE STRUCTURE WALLS. ACTUAL DIMENSION SHOULD BE ADJUSTED TO ENSURE THAT AN UNOBSTRUCTED VERTICAL VIEW OF THE TEES CAN BE SEEN THROUGH THE GREASE INTERCEPTOR'S ACCESS OPENINGS.
 4. FPUA'S SEWER USE ORDINANCE WILL DICTATE GREASE INTERCEPTOR(S) SIZE. ALL INTERCEPTORS SHALL BE A MINIMUM OF 1,000 GALLONS AND A MAXIMUM OF 1,200 GALLONS.
 5. TANK MUST BE TRAFFIC BEARING (SHALL MEET H-20 LOADING REQUIREMENTS).
 6. TANK WALLS AND BOTTOM SLAB MUST BE A MINIMUM 4" THICK AND THE TOP SLAB A MINIMUM 6" THICK; ALL WITH #4 REBAR REINFORCEMENT.
 7. TANK SEAMS SHALL BE JOINED AND SEALED WITH MINIMUM 1-3/4" "RAM-NEX" SEALER OR EQUIVALENT TO FORM A WATER TIGHT SEAL.
 8. ALL INTERNAL AND EXTERNAL CONCRETE SURFACES SHALL RECEIVE 2 COATS OF A WATER BASED EPOXY COATING.
 9. GREASE INTERCEPTORS MUST BE INSTALLED ON DRY, STABLE AND UNDISTURBED SOIL. IF THESE CONDITIONS CAN NOT BE MET, EXCAVATION SHALL BE EXTENDED TO SIX INCHES BELOW THE STRUCTURE AND A CUSHION OF 3/4" STONE SHALL BE PROVIDED.
 10. PRECAST CONCRETE RINGS SHALL BE UTILIZED FOR RING & COVER ADJUSTMENTS.
- SPECIAL NOTE:** IF INTERCEPTOR IS REPLACING AN EXISTING INTERCEPTOR THAT WILL BE ABANDONED IN PLACE, PERFORM THE FOLLOWING: (1) STRUCTURE MUST BE PRESSURE WASHED TO ENSURE ALL GREASE AND FOREIGN MATERIAL IS REMOVED, (2) REMOVE PORTION OF STRUCTURE WITHIN 3 FEET OF FINISH GRADE AND (3) INSTALL A MINIMUM 6 INCH DIAMETER HOLE IN THE BOTTOM SLAB OF THE STRUCTURE.

STANDARD DETAIL FOR GREASE, OIL, AND SAND INTERCEPTORS (N.T.S.)

STANDARD DETAIL FOR GREASE, OIL, AND SAND INTERCEPTORS		S-14	
DATE: 2016	DESIGNER: JLC	SCALE: 1" = 30'	PROJECT: FT. PIERCE UTILITIES AUTHORITY
APPROVED: JLC	DATE: 2016	SHEET: 1 OF 1	



TERMINAL CLEANOUT DETAIL (COMMERCIAL) (N.T.S.)

TERMINAL CLEANOUT DETAIL WASTEWATER		S-4B	
DATE: 2010	DESIGNER: JLC	SCALE: 1" = 30'	PROJECT: FT. PIERCE UTILITIES AUTHORITY
APPROVED: JLC	DATE: 2010	SHEET: 2 OF 3	

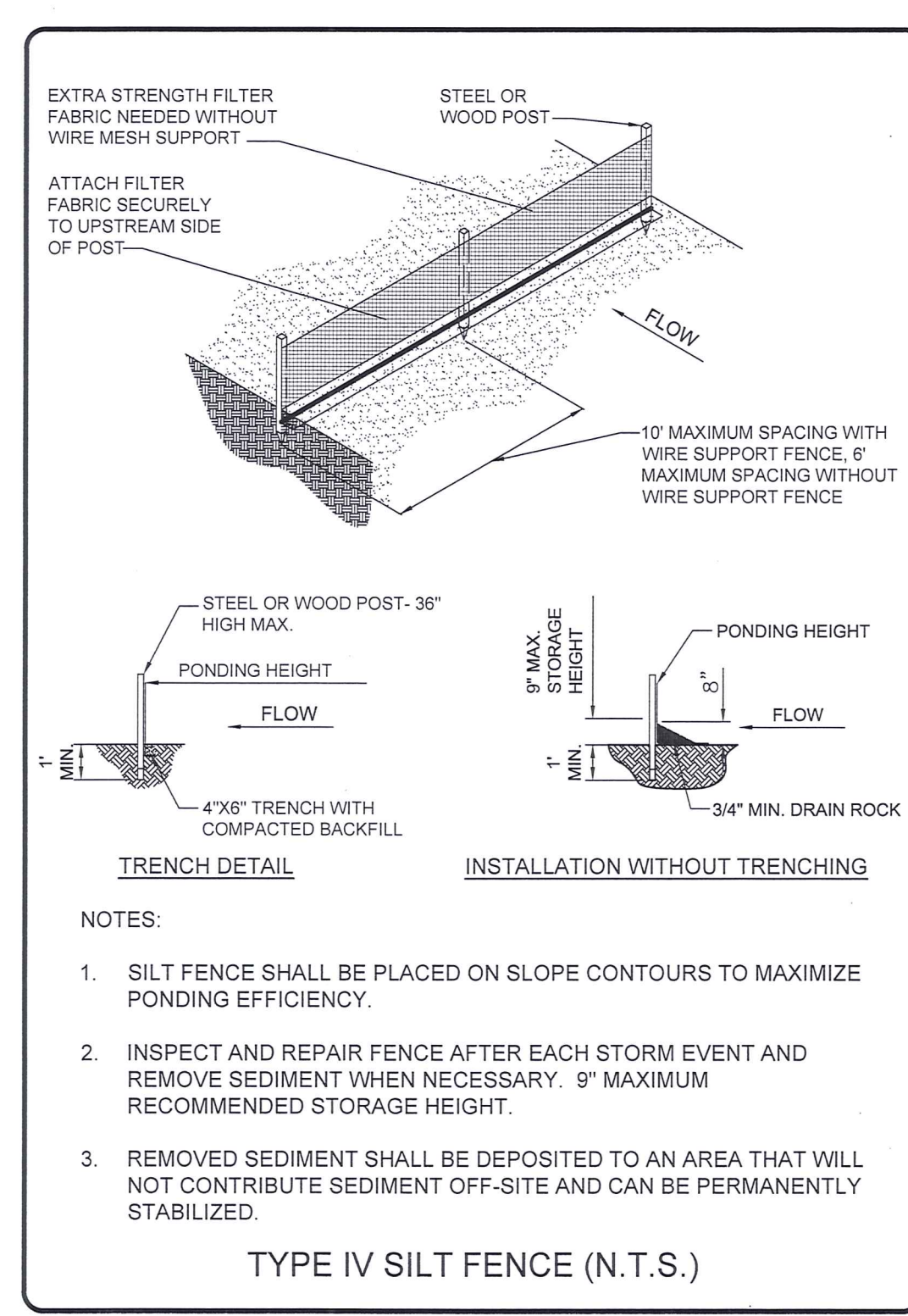
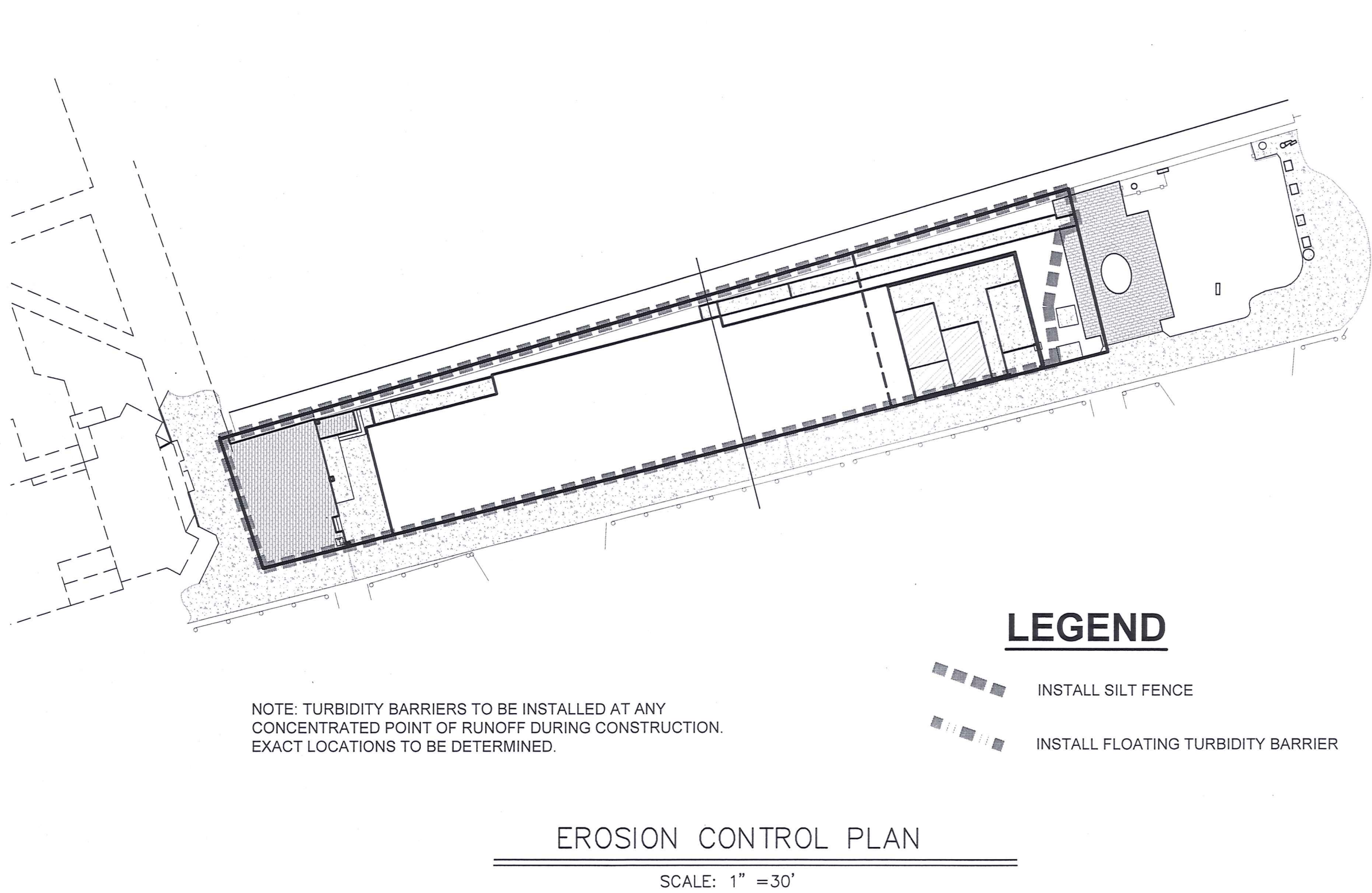
EROSION CONTROL NOTES

1. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UP-SLOPE LAND DISTURBANCE TAKES PLACE.
2. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
3. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCK PILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
4. A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED. AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED FOR INTEGRITY. ANY DAMAGED DEVICES SHALL BE CORRECTED IMMEDIATELY.
5. CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME, SLOPE DRAIN STRUCTURE OR APPROVED CONTROL.
6. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORM WATER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
7. WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION.
8. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
9. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.
10. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
11. PROPERTIES AND WATERWAYS DOWNSTREAM FROM CONSTRUCTION SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
12. EROSION CONTROL DESIGN AND CONSTRUCTION SHALL FOLLOW THE REQUIREMENTS IN INDEX NUMBERS 101, 102 AND 103 OF F.D.O.T. ROADWAY AND TRAFFIC DESIGN STANDARDS AND COUNTY PERMITS.
13. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
14. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
15. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE.
16. NOI TO BE POSTED ON SITE.
17. DEWATERING ACTIVITIES:
 - A - NO OFF-SITE DISCHARGE WITHOUT PRIOR PERMITTING BY CONTRACTOR.
 - B - CONTRACTOR MUST SUBMIT A DEWATERING PLAN FOR APPROVAL FROM S.F.W.M.D., AND MUST HAVE A TRANSFERABLE S.F.W.M.D. CONSUMPTIVE USE PERMIT KNOWN AS A "NOTICED GENERAL PERMIT FOR SHORT TERM CONSTRUCTION DE-WATERING", FOR ANY ALTERNATIVE METHODS OF EXCAVATION.
 - C - NO HYDRAULIC PUMPS MAY BE USED FOR DEWATERING UNLESS APPROVED BY THE WATER MANAGEMENT DISTRICT.

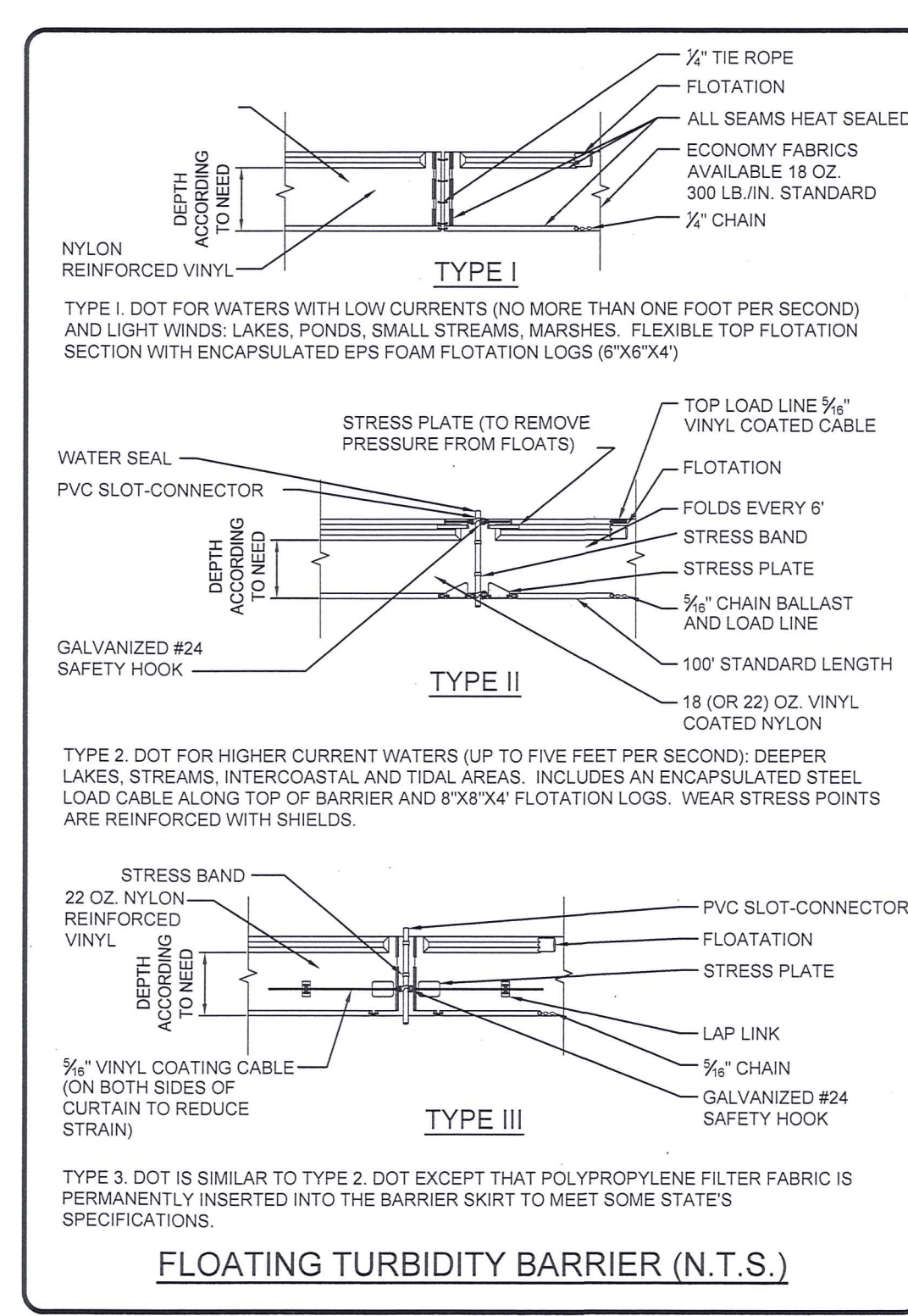
NOTE: ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION AND REMAIN IN PLACE UNTIL ALL STABILIZATION METHODS HAVE BEEN COMPLETED. ALL PVIOUS AREAS DISTURBED BY CONSTRUCTION SHALL BE RE-PAVED, SODDED OR HYDROSEDED. ANY SEDIMENTATION ENTERING THE PIPED SYSTEMS SHALL BE CLEANED PRIOR TO PROJECT CLOSE-OUT

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES. THE CONTRACTOR SHOULD CALL SUNSHINE STATE ONE CALL AT 1-800-432-4770 AND THE UTILITY OWNERS AT LEAST 48 HOURS PRIOR TO DIGGING NEAR UNDERGROUND UTILITIES.
2. THE LOCATION OF EXISTING UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR AND UTILITY OWNER DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE RELOCATION OF UTILITIES WITH THE UTILITY COMPANIES.
3. ALL WORK SHALL BE IN CONFORMANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION'S ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND APPLICABLE FORT PIERCE UTILITIES AUTHORITY (FPUA) AND CITY OF FORT PIERCE STANDARDS.
4. A PRE-CONSTRUCTION MEETING IS REQUIRED BETWEEN FORT PIERCE UTILITIES AUTHORITY, CITY OF FORT PIERCE ENGINEERING, THE ENGINEER AND CONTRACTOR BEFORE COMMENCEMENT OF CONSTRUCTION.
5. THE ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE FOR ANY INSPECTION.
6. DENSITY TESTS ON ALL PIPE BACKFILL, SUBGRADE AND BASE WORK SHALL BE PERFORMED AND CERTIFIED BY AN INDEPENDENT GEOTECHNICAL TESTING LAB AND SHALL BE PAID FOR BY THE CONTRACTOR. DENSITY TESTS SHALL BE PERFORMED PER AASHTO T-180 METHOD. DENSITY TEST SHALL BE PERFORMED ON PIPE INSTALLATIONS PER CITY OF FORT PIERCE STANDARDS.
7. ALL PIPE JOINTS SHALL BE WRAPPED WITH FILTER CLOTH.
8. ALL PIPE AND DRAINAGE STRUCTURES SHALL BE INSTALLED IN THE DRY.
9. BACKFILL AROUND DRAINAGE PIPES AND COMPACT TO 98% MAX DRY DENSITY PER AASHTO T-180.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RESTORATION OF EXISTING PAVEMENT, PIPES, CONDUITS, CABLES, ETC., AND LANDSCAPED AREAS INCLUDING IRRIGATION PIPES AND SPRINKLERS DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND/OR THOSE OF HIS SUBCONTRACTORS, AND SHALL RESTORE THEM PROMPTLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES THAT ARE TO REMAIN IN PLACE.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND MAINTAINING COVERAGE UNDER THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES.
12. EXISTING PAVEMENT SHALL BE SAWCUT WHERE PAVEMENT IS TO BE REMOVED AND WHERE NEW PAVEMENT IS TO JOIN IT.
13. EXISTING SIGNAGE LOCATED IN CONFLICT WITH PROPOSED CONSTRUCTION SHALL BE RELOCATED PER THE DIRECTION OF THE ENGINEER.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF TRAFFIC DURING CONSTRUCTION ACTIVITIES. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION.
15. ALL DISTURBED AREAS WITHIN CITY, COUNTY, AND STATE RIGHTS-OF-WAY SHALL BE SODDED WITHIN 72 HOURS OF FINAL GRADING. PRIVATE R-O-W'S AND EASEMENTS SHALL BE FULLY SODDED OR SEED & MULCHED AT PROJECT COMPLETION.
16. ALL CONSTRUCTION SHALL COMPLY WITH SECTIONS 17 AND 22 OF THE CITY OF FORT PIERCE CODE OF ORDINANCES.
17. ALL COMMERCIAL/MULTI-FAMILY BUILDINGS SHALL POST A MINIMUM 6 INCH NUMERICAL ADDRESS.
18. COMMERCIAL COMPLEXES WITH MULTIPLE SUITES/UNITS SHALL POST A MINIMUM 4 INCH NUMERICAL ADDRESS ON OR ADJACENT TO THE FRONT AND REAR ENTRY DOOR.



- NOTES:**
1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" MAXIMUM RECOMMENDED STORAGE HEIGHT.
 3. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
- TYPE IV SILT FENCE (N.T.S.)

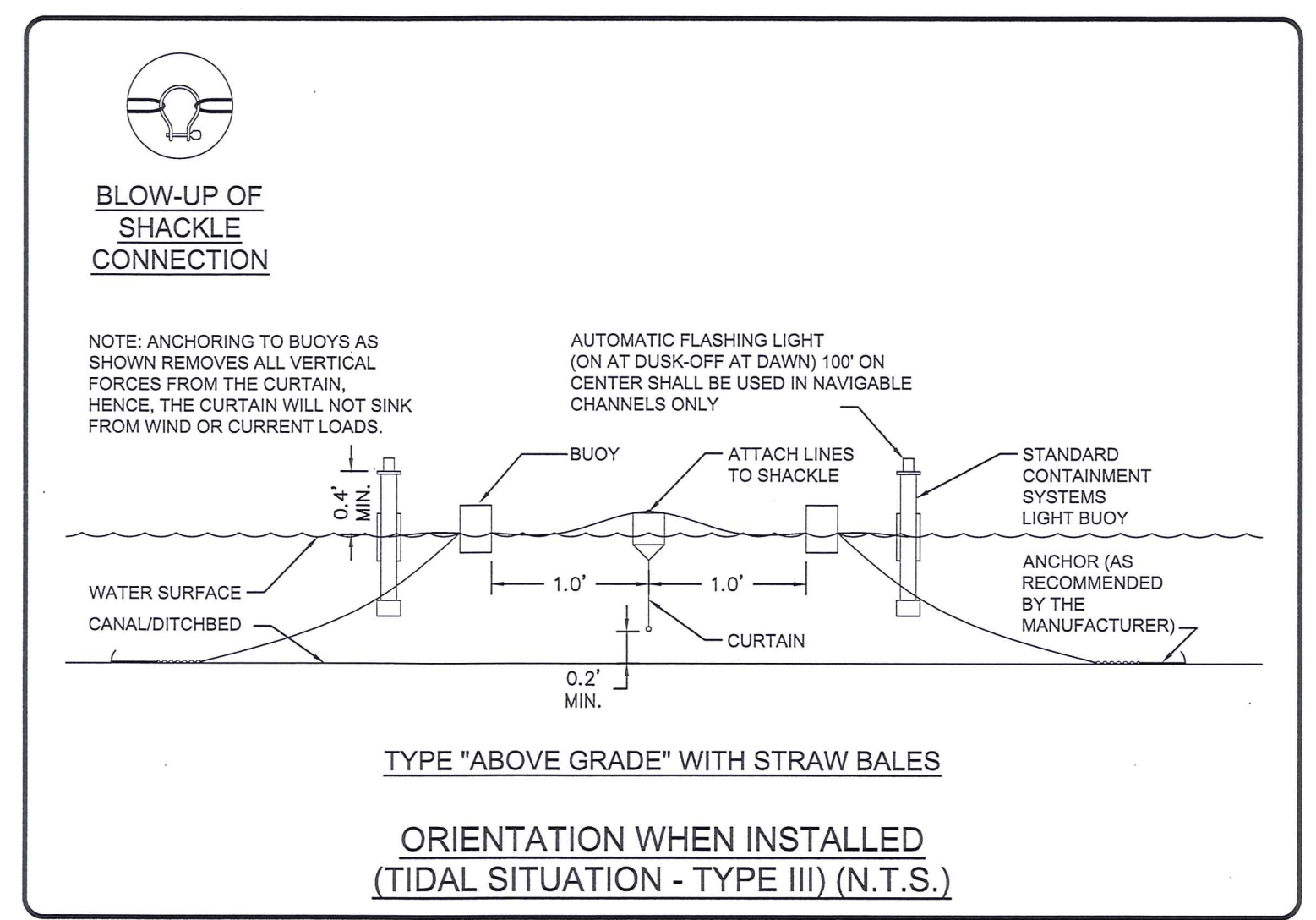


- TYPE I. DOT FOR WATERS WITH LOW CURRENTS (NO MORE THAN ONE FOOT PER SECOND) AND LIGHT WINDS. LAKES, PONDS, SMALL STREAMS, MARSHES. FLEXIBLE TOP FLotation SECTION WITH ENCAPSULATED EPS FOAM FLotation LOGS (6\"/>

TYPE II. DOT FOR HIGHER CURRENT WATERS (UP TO FIVE FEET PER SECOND); DEEPER LAKES, STREAMS, INTERCOASTAL AND TIDAL AREAS. INCLUDES AN ENCAPSULATED STEEL LOAD CABLE ALONG TOP OF BARRIER AND 6\"/>

TYPE III. DOT IS SIMILAR TO TYPE II. DOT EXCEPT THAT POLYPROPYLENE FILTER FABRIC IS PERMANENTLY INSERTED INTO THE BARRIER SKIRT TO MEET SOME STATE'S SPECIFICATIONS.

FLOATING TURBIDITY BARRIER (N.T.S.)



NO.	REVISION	BY	DATE

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DATE: 8/1/18
PROJ. #: 18-56E
DRAWN BY: CJR
APPD. BY: JHB
PLOT BY: Clint Rahjes
FILE NAME:
REF. #: 18-56E
F.B. & PG.: 869/37+

Crabby's DOCKSIDE
General Notes and Details

SHEET
C-3