



THE SUNRISE CITY
FORT PIERCE
PLANNING DEPARTMENT Florida

Design Review

Property address or Location 0 S. Ocean Drive, Ft. Pierce, FL 34949
Parcel ID #(s) 2401502-00060000
Project Description Small single family

Sid and Elissa Ghezzer
Property Owner(s) _____ Applicant/Representative, Title, Company _____
6701 Mallard's Cove Rd
Street Address _____ Street Address _____
Jupiter, FL 33458
City State Zip _____ City State Zip _____
917-273-4254
Phone Number _____ Phone Number _____
sidghezzer@icloud.com
Email Address _____ Email Address _____

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Application (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

[Signature]
Property Owner(s) Signature(s) _____

STATE OF FLORIDA -- COUNTY _____
The foregoing instrument was acknowledged before me this 26 day of Sept, 2018 by

Sid + Elissa Ghezzer who is personally known to me or has produced
Florida New York Driver License as identification.

[Signature]
Signature of Notary _____



TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic Districts	Historic Designation

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit _____
Intake Planner _____
Planner Assigned _____
Approved _____ Date _____
Comments _____

Intake Date Stamp



DEVELOPMENT REVIEW

Property address or Location O S. Ocean Drive, Ft. Pierce, FL 34949
 Parcel ID #(s) 2401-502-0006-000-0
 Project description Small Single Family

Property Owner(s) <u>SID + ELISSA GHEZZAR</u>	Applicant/Representative, Title, Company
Street Address <u>6701 Mallards Cove Rd #401</u>	Street Address
City State Zip <u>Jupiter, FL 33458</u>	City State Zip
Phone Number <u>sidghezzar@icloud.com</u>	Phone Number
Email Address	Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Planning staff for purposes of consideration of this Application and/or presentation to the Planning Board and City Commission.

[Signature]
Property Owner(s) Signature(s)

STATE OF FLORIDA - COUNTY _____
 The foregoing instrument was acknowledged before me this 26 day of Sept, 2018, by Sid + Elissa Ghezzar who is personally known to me or has produced New York Driver License as identification.

[Signature]
Signature of Notary



INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3729

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation	
				Contributing	Individual
				Non-Contributing	None

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit # _____

Intake Planner _____

Planner Assigned _____

Approved By _____ Date _____

Comments _____

Intake Date Stamp

November 24, 2018

Fort Pierce Planning Department

SUBJECT: Single Family Home

-2401-502-0006-000-0

Technical Review Project #

18-04000020

Conditional Use TRC and FPUA
Comments, Engineering Advisory
Comments, and SLC- Engineering
Division Comments

Good Morning Brandon,

We have received the comments
from the TRC and FPUA, please
see our replies below.

1. We have revised the zoning district on page A1 of the drawings to say R -4A instead of R-1.
2. The structure will not exceed the maximum allowable height of 45 feet as outlined in the R-4A Zoning District

- and South Beach Overlay.
3. All outside lighting will comply with City Code 5-375, Lighting on the Beach. See notes on Construction Documents.
 4. The House will be constructed of pilings, poured concrete columns and beams, Insulate Concrete Form exterior walls with Hardie Board Vertical siding, wood trusses and MOP roofing over plywood decking.
 5. We acknowledge that prior to any construction we shall obtain an FDOT Driveway Connection Permit.
 6. We acknowledge that prior to construction activities we shall obtain approval from FDEP for construction activities seaward of the Coastal Construction Line.
 7. We acknowledge that water available to the property will

be via a 6- inch water main on the East side of South Ocean Drive.

8. We acknowledge that we are responsible for constructing/ extending a sanitary sewer lateral from the existing lateral @ Palm Haven S/D Unit 1 Lot 7 (approximately 46 feet from the southern property line).
9. We acknowledge that approved Point of service for electric is located at the NW corner of the property
10. We acknowledge that construction will meet the requirements of the Florida Building Code 6th Edition
11. We acknowledge that the property exists in a Special Flood Hazard Area. All Federal and State requirements shall be addressed.
12. We acknowledge that a Flood Development Permit

required.

13. We acknowledge that a Building Permit is required.
14. We acknowledge that signed and sealed construction drawings are required.
15. We will provide a boundary and topographic survey of the site with flood zones depicted. In addition all wetland areas (if any) will be identified and shown on the survey. All elevations will be referenced to NAVD 1988. The survey will be performed by a professional surveyor licensed to practice in the State of Florida.

Thank you,
Sid and Elissa Ghezzar

Prepared by and Return to Veronika Swords,
an employee of First International Title, Inc.
107 North 2nd Street
Fort Pierce, FL 34950
File No.: 127362-41

JOSEPH E. SMITH, CLERK OF THE CIRCUIT COURT
SAINT LUCIE COUNTY
FILE # 4481802 09/20/2018 08:36:54 AM
OR BOOK 4181 PAGE 2836 - 2837 Doc Type: DEED
RECORDING: \$18.50
Doc Tax: \$1953.00

WARRANTY DEED

This indenture made on September 14, 2018, by **Drew K. Russ**

whose address is: 4025 Lawnview Avenue, Pittsburgh, PA 15227 hereinafter called the "grantor",

to **Sid M. Ghezzar and Elissa Ghezzar, husband and wife**

whose address is: 2336 SE Ocean Blvd., #268, Stuart, FL 34996, hereinafter called the "grantee":

(Which terms "Grantor" and "Grantee" shall include singular or plural, corporation or individual, and either sex, and shall include heirs, legal representatives, successors and assigns of the same)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in St. Lucie County, **Florida**, to-wit:

Lot 6, Block 1, REVISED PLAT OF PALM HAVEN SUBDIVISION, according to the Plat thereof, recorded in Plat Book 8, Page(s) 44 of the Public Records of St. Lucie County, Florida, less that part lying Easterly of the line described in Quit Claim Deed recorded in Official Records Book 165, Page 1465, of the Public Records of St. Lucie County, Florida.

Parcel Identification Number: 2401-502-0006-000/0

The land is not the homestead of the Grantor under the laws and Constitution of the State of Florida and neither the Grantor nor any person(s) for whose support the Grantor is responsible reside on or adjacent to the land.

Subject to all reservations, covenants, conditions, restrictions and easements of record and to all applicable zoning ordinances and/or restrictions imposed by governmental authorities, if any.

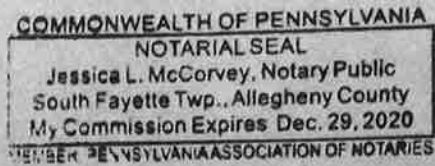
Together with all the tenements, hereditaments and appurtenances thereto belonging or in any way appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31st of 2017.

In Witness Whereof, the grantor has hereunto set their hand(s) and seal(s) the day and year first above written.

[Signature]
Drew K. Russ



Signed, sealed and delivered in our presence:

May Graham
Witness Signature
Print Name: May Graham

Kathleen McNally
Witness Signature
Print Name: Kathleen McNally

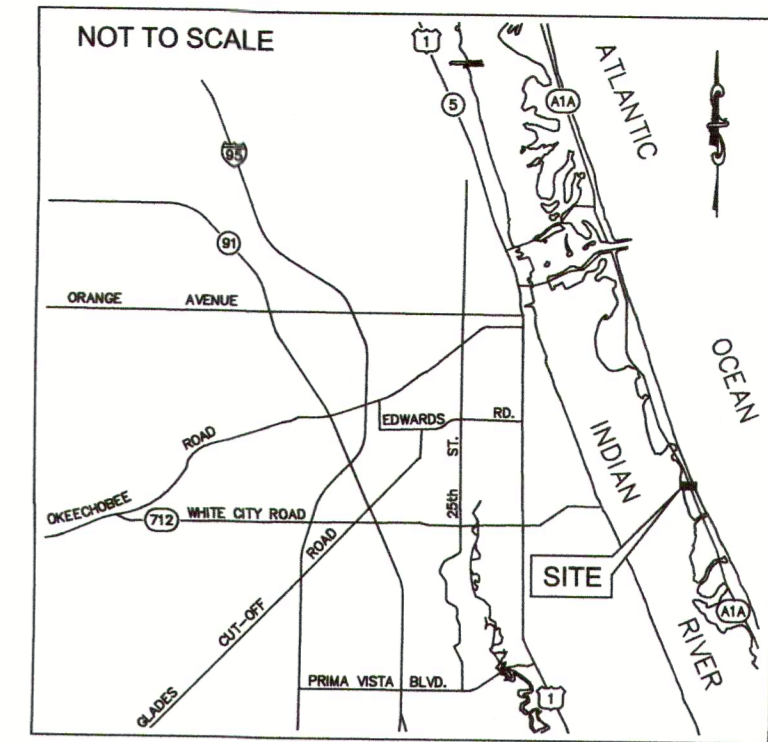
State of Pennsylvania
County of Allegheny

The Foregoing Instrument Was Acknowledged before me on 9/14/2018,
by Drew K. Russ, who is/are personally known to me or who has/have produced a valid
Pennsylvania Driver's License as identification.

[Signature]
Notary Public
Printed Name: Jessica McCorvey
My Commission expires: 12/29/2020

BOUNDARY & TOPOGRAPHIC SURVEY

LOCATED IN SAINT LUCIE COUNTY, FLORIDA



LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION

LOT 6, IN BLOCK 1, OF REVISED PLAT OF PALM HAVEN SUBDIVISION, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 8, PAGE 44, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; LESS THAT PART LYING EASTERLY OF THE LINE DESCRIBED IN QUIT CLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 165, PAGE 1465, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

GENERAL NOTES

- THE BEARINGS SHOWN HEREON ARE REFERENCED TO THE CENTERLINE OF STATE ROAD A-1-A, HAVING A BEARING OF S18°42'25"E, ASSUMED DATUM, SAINT LUCIE COUNTY, FLORIDA.
- ALL ABOVE GROUND FIXED IMPROVEMENTS, IF ANY, HAVE BEEN LOCATED AND SHOWN HEREON.
- UNDERGROUND UTILITIES AND UTILITY SERVICES HAVE NOT BEEN LOCATED ON THIS SURVEY.
- FLOOD NOTE: BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "AE-6", "VE-8", AND "VE-11" ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 12111 C 0194 J, EFFECTIVE DATE FEBRUARY 06, 2012. THE EXACT DESIGNATION CAN ONLY BE DETERMINED BY AN ELEVATION CERTIFICATE.
- REPRODUCTIONS OF THIS MAP ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER.
- LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR RIGHTS-OF-WAY, EASEMENTS OF RECORD, OWNERSHIP, ABANDONMENT'S DEED RESTRICTIONS, OR MURPHY ACT DEEDS.
- THE LAST DATE OF FIELD WORK WAS OCTOBER 17, 2017.
- THIS SURVEY IS CERTIFIED BY THE SIGNING SURVEYOR ONLY ON THE DATE THE SURVEYOR SIGNED AND SEALED SAID SURVEY. ANY ADDITIONS OR DELETIONS TO THIS SURVEY OR MAP, WITHOUT THE PERMISSION OF THE SIGNING SURVEYOR ARE NOT CERTIFIED.
- ELEVATIONS SHOWN HEREON ARE IN U.S. STANDARD FEET AND BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- ALL DEBRIS WILL BE REMOVED FROM THE SITE AND DEPOSITED AT AN APPROVED UPLAND DISPOSAL SITE.
- ALL MEASUREMENTS ARE IN ACCORDANCE WITH UNITED STATES STANDARD, IN FEET AND DECIMALS THEREOF.
- THE EXPECTED USE OF THE SURVEY AND MAP IS RESIDENTIAL.

STREET ADDRESS

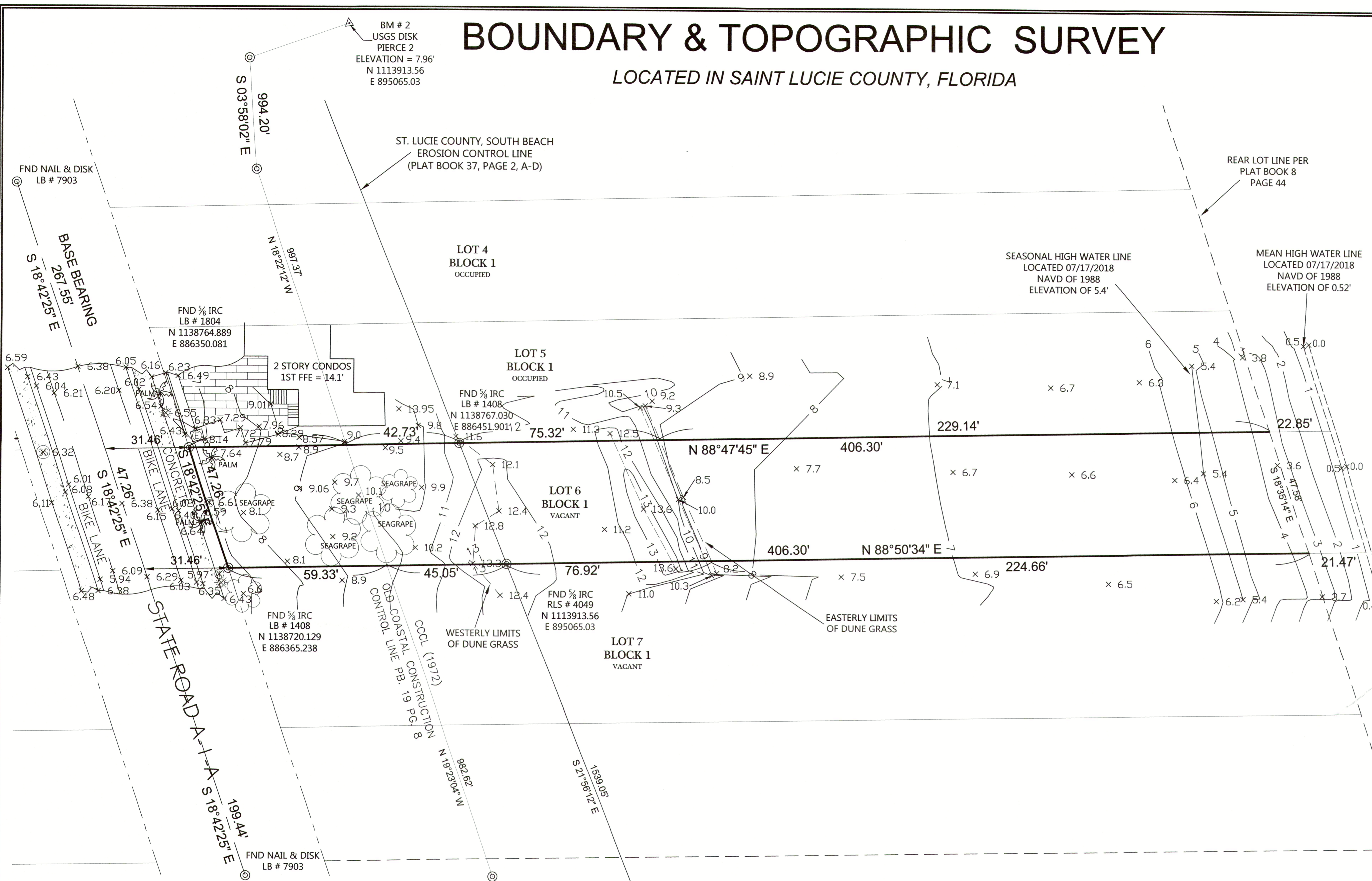
UNASSIGNED SOUTH OCEAN DRIVE, FORT PIERCE, FL 34949

GLOBAL POSITIONING SYSTEM (GPS) NOTES

- G.P.S. SURVEY METHOD: REAL TIME KINEMATIC (RTK)
- G.P.S. RECEIVER TYPE: TWO (2) DUAL FREQUENCY TOPCON HIPER GA-12 CHANNEL (L1 & L2).
- THE ORIGINAL GPS RTK MEASUREMENTS, OCTOBER 17, 2017, TWO TOPCON DUAL FREQUENCY GPS RECEIVERS EQUIPPED WITH RT-SKI (REAL TIME MEASUREMENT CAPABILITIES) WERE USED TO GATHER GPS DATA. TYPICALLY A BASE RECEIVER IS SET UP ON AN ESTABLISHED CONTROL STATION WHILE A ROVING RECEIVER LOCATES EXISTING MONUMENTS, IMPROVEMENTS AND/OR TOPOGRAPHIC DATA AND CONTROL THROUGHOUT THE PROJECT AREA. REAL-TIME COORDINATE COMPUTATIONS AND PRECISION INFORMATION ARE DETERMINED VIA RADIO / MODEM LINK WITH THE BASE STATION AND RECORDED AS THREE DIMENSIONAL (3D) POSITIONS.
- G.P.S. SURVEY MEASUREMENTS WERE PROCESSED AND ADJUSTED USING CARLSON SURVEY STANDALONE SURVEY+.
- THE HORIZONTAL TARGET ACCURACY FOR THIS SURVEY IS AS FOLLOWS:
HORIZONTAL: 10MM + 1PPM (RMS)
VERTICAL: 20MM + 1PPM (RMS).

LEGEND & ABBREVIATIONS

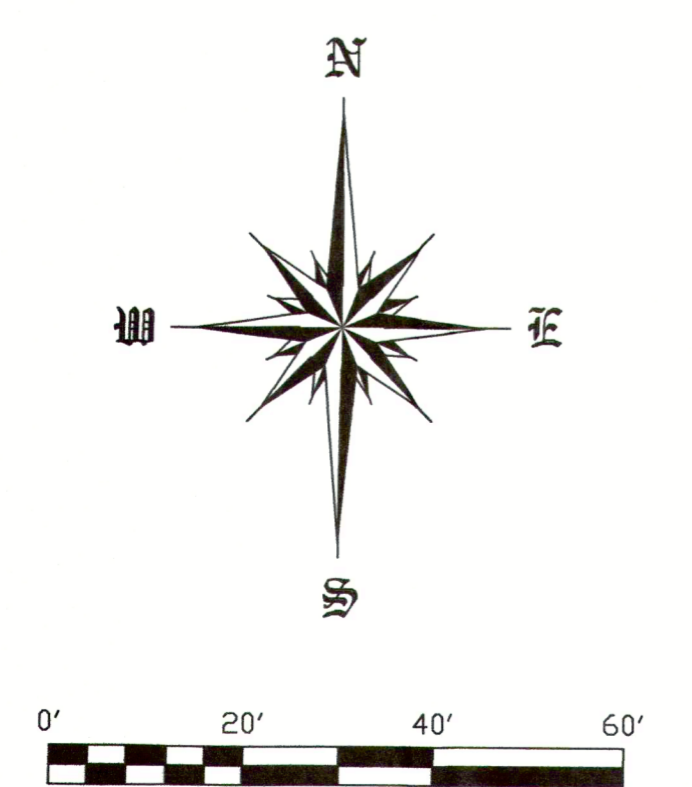
A	ARC LENGTH	OHP	OVERHEAD UTILITIES
A/C	AIR CONDITIONER	ORB	OFFICIAL RECORDS BOOK
CBS	CONCRETE BLOCK STRUCTURE	P	PLAT DATA
CCCL	COASTAL CONSTRUCTION CONTROL LINE	PB	PLAT BOOK
C/L	CENTERLINE	PG(S)	PAGE(S)
CONC	CONCRETE	PLS	PROFESSIONAL LAND SURVEYOR
CM	CONCRETE MONUMENT	POB	POINT OF BEGINNING
DEG OR °	DEGREE	POC	POINT OF COMMENCEMENT
ELEV	ELEVATION	PRM	PERMANENT REFERENCE MONUMENT
FFE	FINISH FLOOR ELEVATION	PSM	PROFESSIONAL SURVEYOR AND MAPPER
FND	FOUND	R	RADIUS
ID	IDENTIFICATION NUMBER	RLS	REGISTERED LAND SURVEYOR
IP	IRON PIPE	R/W	RIGHT-OF-WAY
IR	IRON ROD	WM	WATER METER
IRC	IRON ROD & CAP	&	AND
LB	LICENSED BUSINESS	⊙	AT
LS	LICENSED SURVEYOR	△	DELTA
M	MEASURED DATA	○	UTILITY POLE
MON	MONUMENT	⊙	FIRE HYDRANT
NAVD	NORTH AMERICAN VERTICAL DATUM	⊙	SEWER MANHOLE
NGVD	NATIONAL GEODETIC VERTICAL DATUM	⊙	BACKFLOW PREVENTER
NO OR #	NUMBER	⊙	IRRIGATION VALVE
NTS	NOT TO SCALE	⊙	CLEAN OUT
		⊙	STREET LIGHT
		⊙	POWER TRANSFORMER



Closure Report 7/22/2018 17:17

NORTHING	EASTING	BEARING	DISTANCE
1140724.981	886107.986	S 74°18'26" W	84.290
1140702.183	886026.838	S 03°58'02" E	994.200
1139710.365	886095.624	S 18°22'12" E	997.370
1138763.820	886409.950	S 19°23'04" E	982.620
1137836.903	886736.088	S 33°06'10" E	420.300
1137484.822	886965.632	N 14°49'33" W	3351.745
1140724.981	886107.986		

Closure Error Distance > 0.0703
Total Distance > 6830.525
Closure Area: 607093.23 sq ft, 13.94 acres



94-77-A25-2
USGS DISK (1987)
N 1137484.821
E 886965.632

ARNOLD SURVEYING, INC.
PROFESSIONAL SURVEYORS & MAPPERS
FLORIDA LICENSED BUSINESS NUMBER 7903
4889 N. KINGS HIGHWAY #425, FORT PIERCE, FLORIDA 34951
24 VERDE VISTA, FORT PIERCE, FLORIDA 34947
PHONE (772) 460-8211 SURVEY@ASISURVEY.COM

DATE	BY	REVISION

CERTIFICATIONS
SID AND ELISSA GHEZZAR
ST. LUCIE COUNTY
FLORIDA
© COPYRIGHT ARNOLD SURVEYING, INC. 2018
ALL DRAWINGS OR DOCUMENTS ARE THE PROPERTY OF ARNOLD SURVEYING, INC. THE REPRODUCTION OR UNAUTHORIZED USE OF ANY OTHER DOCUMENTS WITHOUT WRITTEN PERMISSION FROM ARNOLD SURVEYING, INC. IS STRICTLY PROHIBITED. THIS DRAWING OR DOCUMENT IS PROTECTED BY FEDERAL COPYRIGHT LAWS.

DRAWN BY: CA
CHECKED BY: CA
DATE: 07/20/2018
HORIZONTAL SCALE: 1"=20'

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER.
SEAL
CHARLES ARNOLD
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA LICENSE NO. 4971
PRINTED DATE
SHEET 1 OF 1
PROJECT NO. 18-537



Property Identification

Site Address: S OCEAN DR
 Parcel ID: 2401-502-0006-000-0
 Account #: 14870
 Map ID: 24/01B
 Use Type: 0000
 Zoning: R4A
 City/County: Fort Pierce

Ownership

Sid M Ghezzar
 Elissa Ghezzar
 2336 SE Ocean BLVD # 268
 Stuart, FL 34996

Legal Description

PALM HAVEN S/D-UNIT 1- BLK 1 LOT 6 PB 37-2- (OR 3790-1759) (0.20 AC- 8,646.75 SF)

Current Values

Just/Market Value: \$167,200
 Assessed Value: \$167,200
 Exemptions: \$0
 Taxable Value: \$167,200
 Taxes for this parcel: SLC Tax Collector's Office
 Download TRIM for this parcel: [Download PDF](#)



Total Areas

Finished/Under Air (SF): 0
 Gross Area (SF): 0
 Land Size (acres): 0.2
 Land Size (SF): 8,646.75

Property Identification

Site Address: S OCEAN DR
Parcel ID: 2401-502-0006-000-0
Account #: 14870
Map ID: 24/01B
Use Type: 0000
Zoning: R4A
City/County: Fort Pierce

Ownership

Sid M Ghezzer
Elissa Ghezzer
2336 SE Ocean BLVD # 268
Stuart, FL 34996

Legal Description

PALM HAVEN S/D-UNIT 1- BLK 1 LOT 6 PB 32-2- (OR 3790-1759) (0.20 AC- 8,646.75 SF)

Current Values

Just/Market Value: \$167,200
Assessed Value: \$167,200
Exemptions: \$0
Taxable Value: \$167,200
Taxes for this parcel: SLC Tax Collector's Office
Download TRIM for this parcel: [Download PDF](#)



Total Areas

Finished/Under Air (SF): 0
Gross Area (SF): 0
Land Size (acres): 0.2
Land Size (SF): 8,646.75

Sale History

Date: Sep 14, 2018
Book/Page: 4181 / 2836
Sale Code: 0001
Deed: WD
Grantor: Russ Drew K
Price: \$279,000

Date: Jan 9, 2018
Book/Page:



Sale Code:	0111
Deed:	QC
Grantor:	Russ Drew K
Price:	\$100
Date:	Feb 21, 2017
Book/Page:	3972 / 2388
Sale Code:	0111
Deed:	QC
Grantor:	Forward Solutions LLC
Price:	\$100
Date:	Sep 16, 2015
Book/Page:	3790 / 1759
Sale Code:	0118
Deed:	DE
Grantor:	St Lucie County
Price:	\$100
Date:	Jan 1, 1900
Book/Page:	
Sale Code:	
Deed:	
Grantor:	
Price:	\$0

Building Information (1 of 1)

Finished Area: 0 SF

Gross Total Area: 0 SF

Exterior Data

View:	Roof Cover:	Roof Structure:
Building Type:	Year Built: N/A	Frame:
Grade:	Effective Year: 2014	Primary Wall:
Story Height:	No. Units: 0	Secondary Wall:

Interior Data

Bedrooms: 0	Electric:	Primary Int Wall:
Full Baths: 0	Heat Type:	Avg Hgt/Floor: 0
Half Baths: 0	Heat Fuel:	Primary Floors:
A/C %: 0%	Heated %: N/A%	Sprinkled %: 0%



Special Features and Yard Items

Current Year Values

Current Values Breakdown		Current Year Exemption Value Breakdown	
Building:	\$0		
Land:	\$167,200		
Just/Market:	\$167,200		
Ag Credit:	\$0		
Save Our Homes or 10% Cap:	\$0		
Assessed:	\$167,200		
Exemption(s):	\$0		
Taxable:	\$167,200		

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
2016	0041	0.2	Fort Pierce Stormwater Charge	\$10.80

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office [☒](#).

Historical Values

Permits

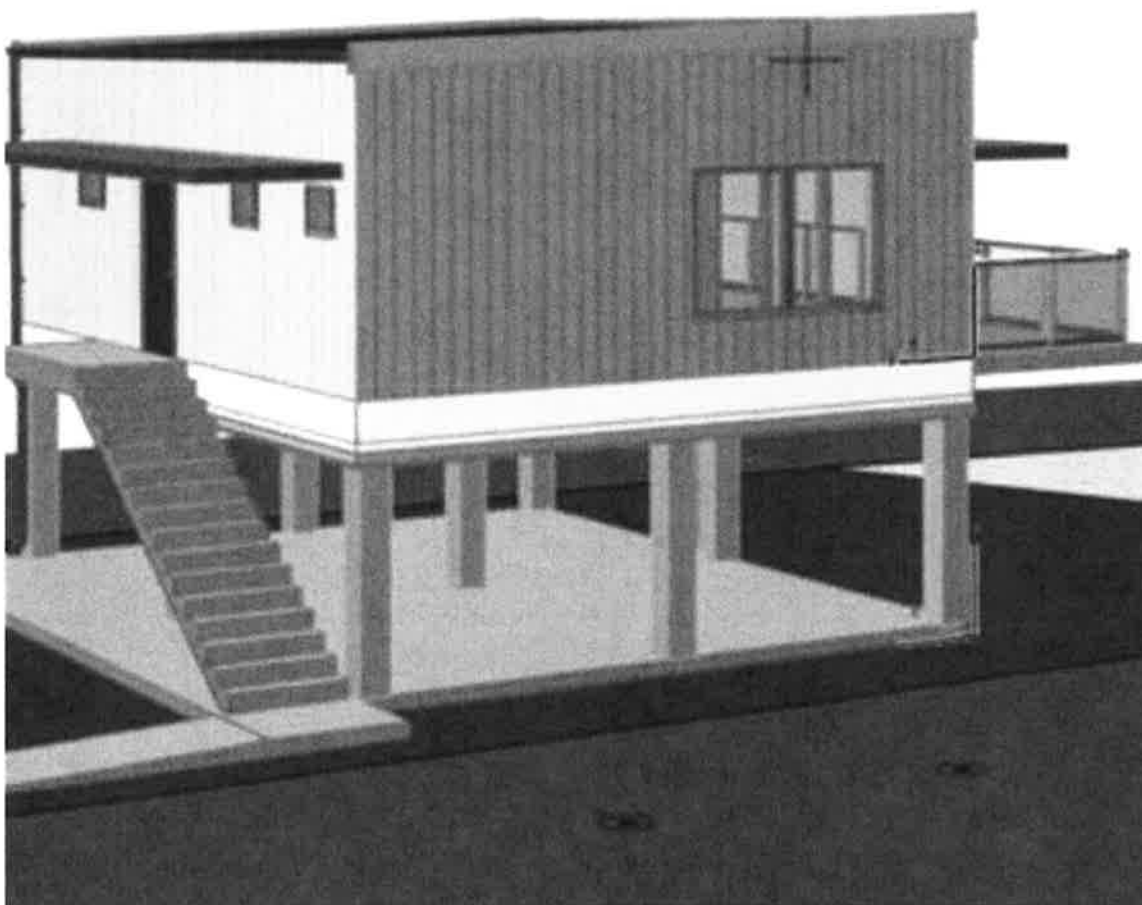
Notice: This does not necessarily represent all the permits for this property. Click the following link to check for additional permit data in Fort Pierce

This information is believed to be correct at this time but it is subject to change and is not warranted.
© Copyright 2018 Saint Lucie County Property Appraiser. All rights reserved.



We , Sid and Elissa Ghezzar have ownership and control of proposed development on the parcel# 2401-502-0006-000-0 at 0 S.Ocean Drive, Ft Pierce, FL 34949. This is intended as a 792 sf single family dwelling. This will be our sole residence and we will be residing here year round. It will be a single story home on pilings and will have a coastal character. The home will be minimalist in design and in its environmental footprint as well as energy efficient and compliant to all Florida codes.

Our elevation is a single story 792 sf coastal home on pilings which scale is complementary of the existing buildings surrounding the parcel. The exterior cladding and other features are in keeping with many of the existing homes in the immediate area.



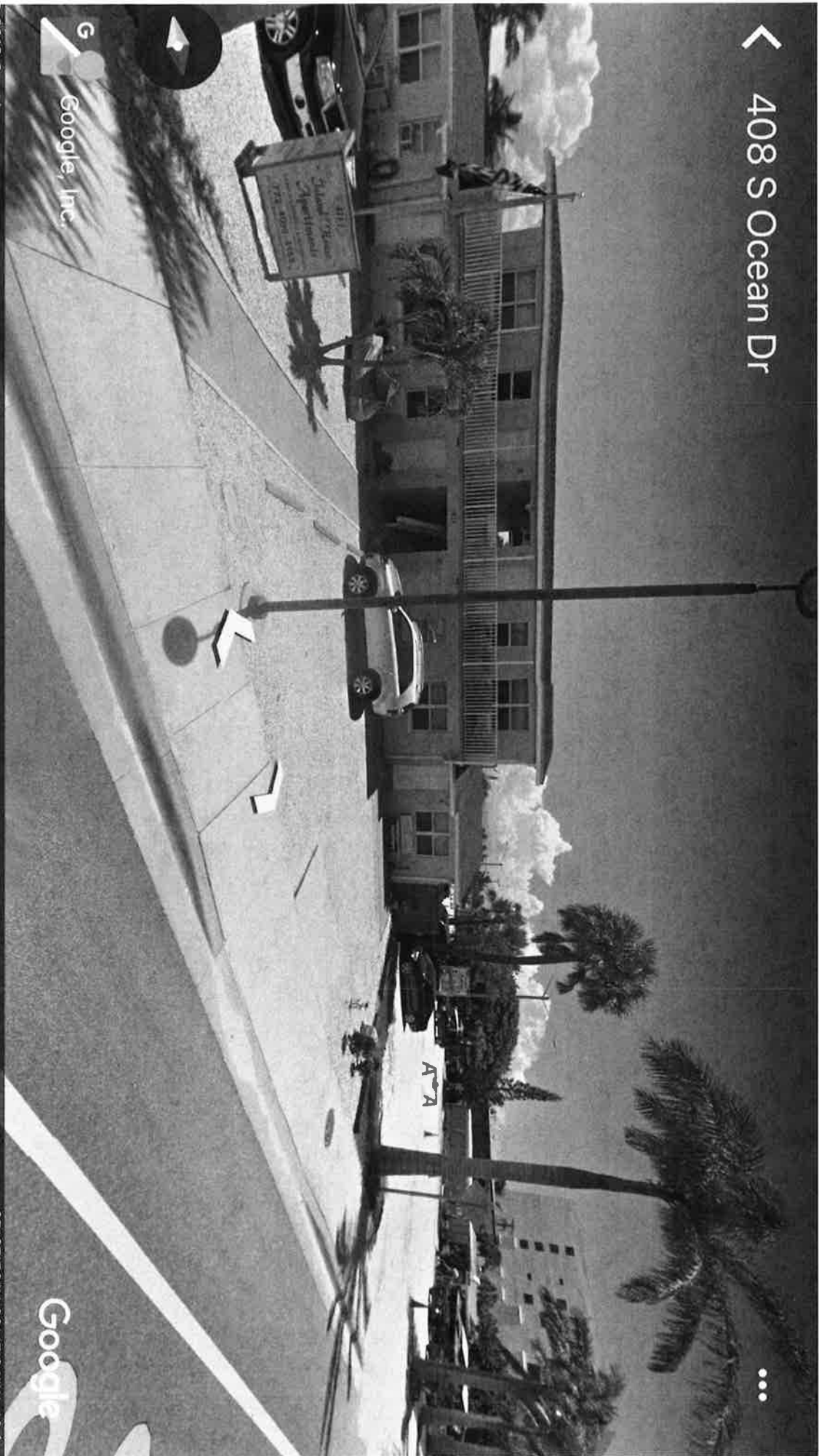
411 S Ocean Dr

Reach Community
Church At Archies



Google

< 408 S Ocean Dr



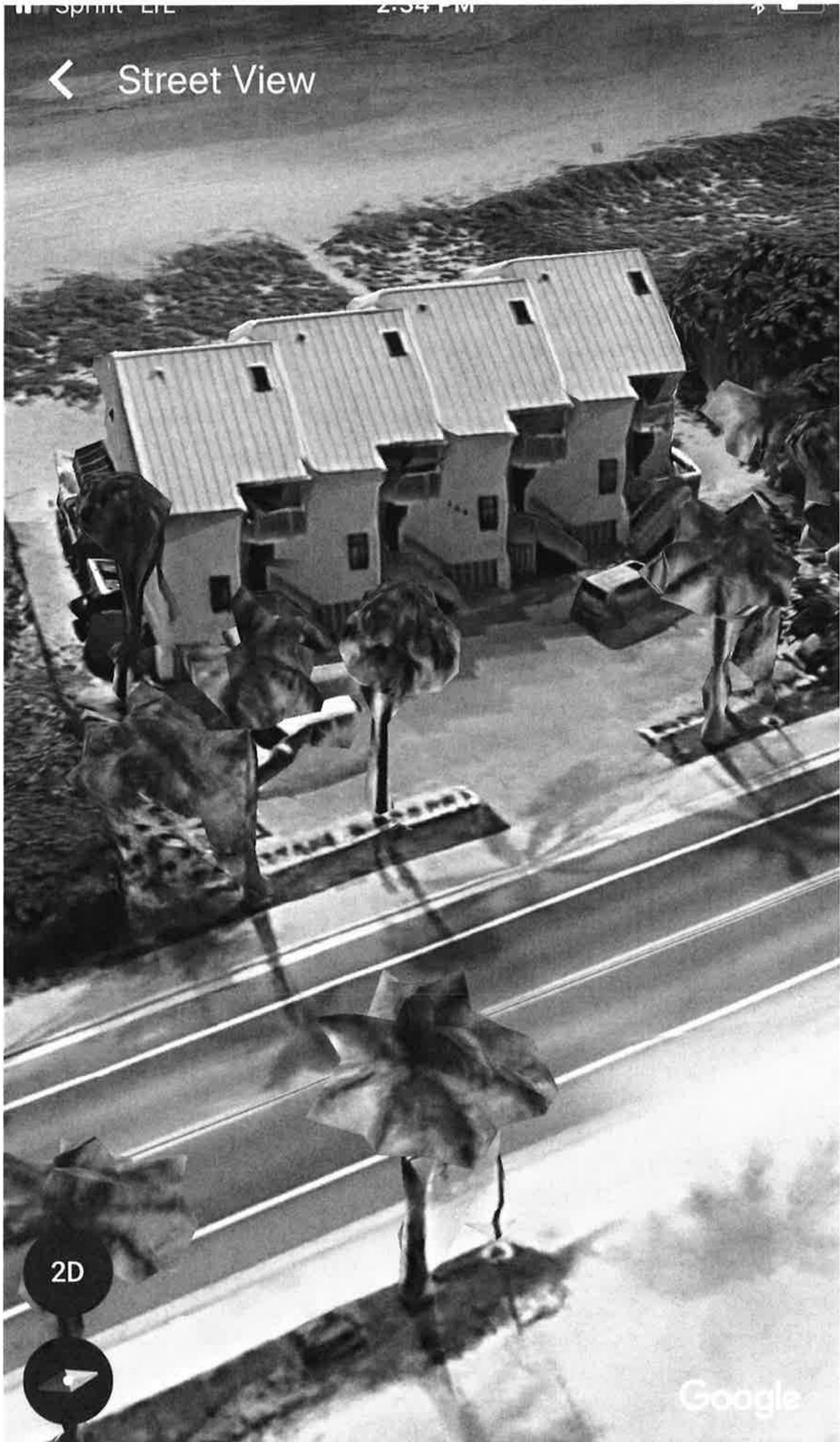
Google, Inc.

© 2018 Google

27°27'52"N 80°17'24"W 13 ft

Google

Street View



2D



Google





913





**Phase 1 Environmental Site Assessment
for
Northeast Corner of A1A and Porpoise Ave., Ft. Pierce, FL 34949
“Palm Haven Beach”**

Prepared for:
**St. Lucie County
2300 Virginia Ave.
Ft. Pierce, FL 34982**

Prepared by:

**2035 Vista Parkway
West Palm Beach, FL 33411
561-687-2220**

WGI Project No. 1805.00

**Report Issuance Date: July 7, 2015
Report Viability Date: December 26, 2015**

EXECUTIVE SUMMARY

WGI has performed a Phase 1 ESA in conformance with the scope and limitations of American Society of Testing and Materials (ASTM) Designation E1527-13 of approximately 0.79 acres of land at the northeast corner of the intersection of S. Ocean Dr. and Porpoise Ave. in Ft. Pierce, Florida 34949, St. Lucie County parcel control numbers 2401-502-0006-000-0; 2401-502-0008-000-4; 2401-502-0009-000-1; informally referred to as Palm Haven Beach; herein referred to as the "Property".

Findings

- The Property contained a small apartment building from the 1950's to 2005. The building was demolished in 2005 and the Property has remained undeveloped since then.
- Current features include a small, remnant CBS retaining wall in the footprint of the former structure. No other features are present on the Property.
- There is no database evidence or visual evidence of USTs.
- The User provided no evidence of any environmental liens or AULs in connection with the Property.
- No *de minimis* conditions (not considered RECs) were observed.

There is no evidence that surrounding areas have contaminated the Property by migration, including solids or liquids migrating at the surface (e.g., contamination in stormwater runoff) or migrating in the subsurface (e.g., groundwater plume flowing under the Property, or soil vapor migrating through the vadose zone).

Data Gaps and Data Failures

No significant data gaps, and no data failures, were noted. Several data gaps, not considered significant, were identified and include the following.

- Interviews: WGI made reasonable attempts to identify and interview individuals knowledgeable of the Property. The inability to identify and interview other individuals who may be knowledgeable of the Property constitutes a data gap. However, WGI does not believe this data gap is significant because other information obtained during this assessment and our professional experiences do not raise reasonable concerns involving the data gap.

WGI believes that any data gaps and/or data failures encountered during this project did not impede our ability to adequately assess the current condition and use of the Property, historical land uses at the Property, past and present uses of adjacent lands, and their possible environmental impact on the Property.

Limiting Conditions and Deviations

There were no significant limiting conditions. Routine limiting conditions, not considered significant, included:

- Some areas were overgrown with vegetation that limited access and visibility.

WGI does not believe the limiting conditions are significant because other information obtained during this assessment and our professional experiences did not raise reasonable concerns involving the limiting conditions.

There were no significant deletions or deviations from ASTM E1527-13.

Recognized Environmental Conditions (RECs)

This assessment has revealed no evidence of RECs in connection with the Property except for the following:

RECs (Recognized Environmental Conditions):

- None. There is no evidence of an existing release, past release, or a material threat of a release of a hazardous substances or petroleum product on the Property.

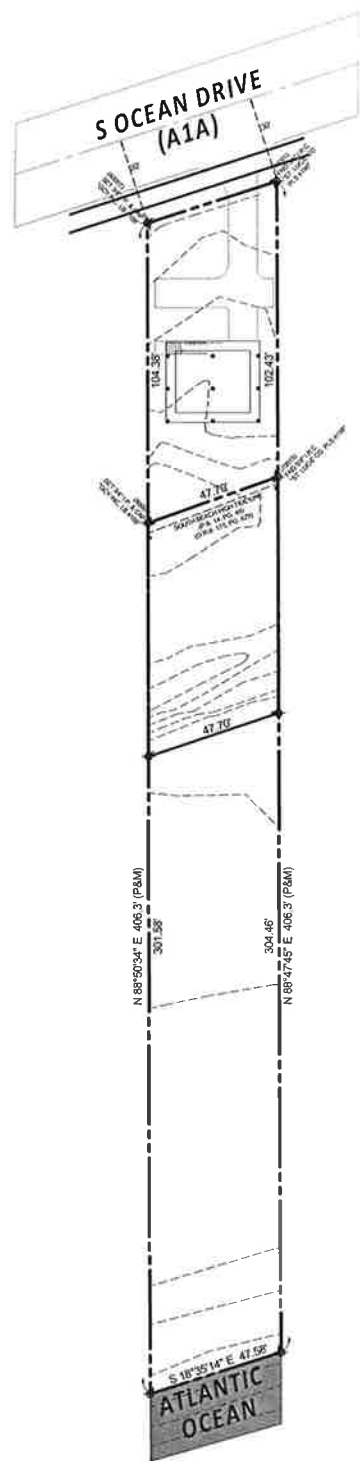
CRECs (Controlled Recognized Environmental Conditions):

- None. There is no evidence of any hazardous substances or petroleum products that have been allowed to remain in place subject to the implementation of required controls (for example, property use restrictions, activity and use limitations [AULs], institutional controls, or engineering controls).

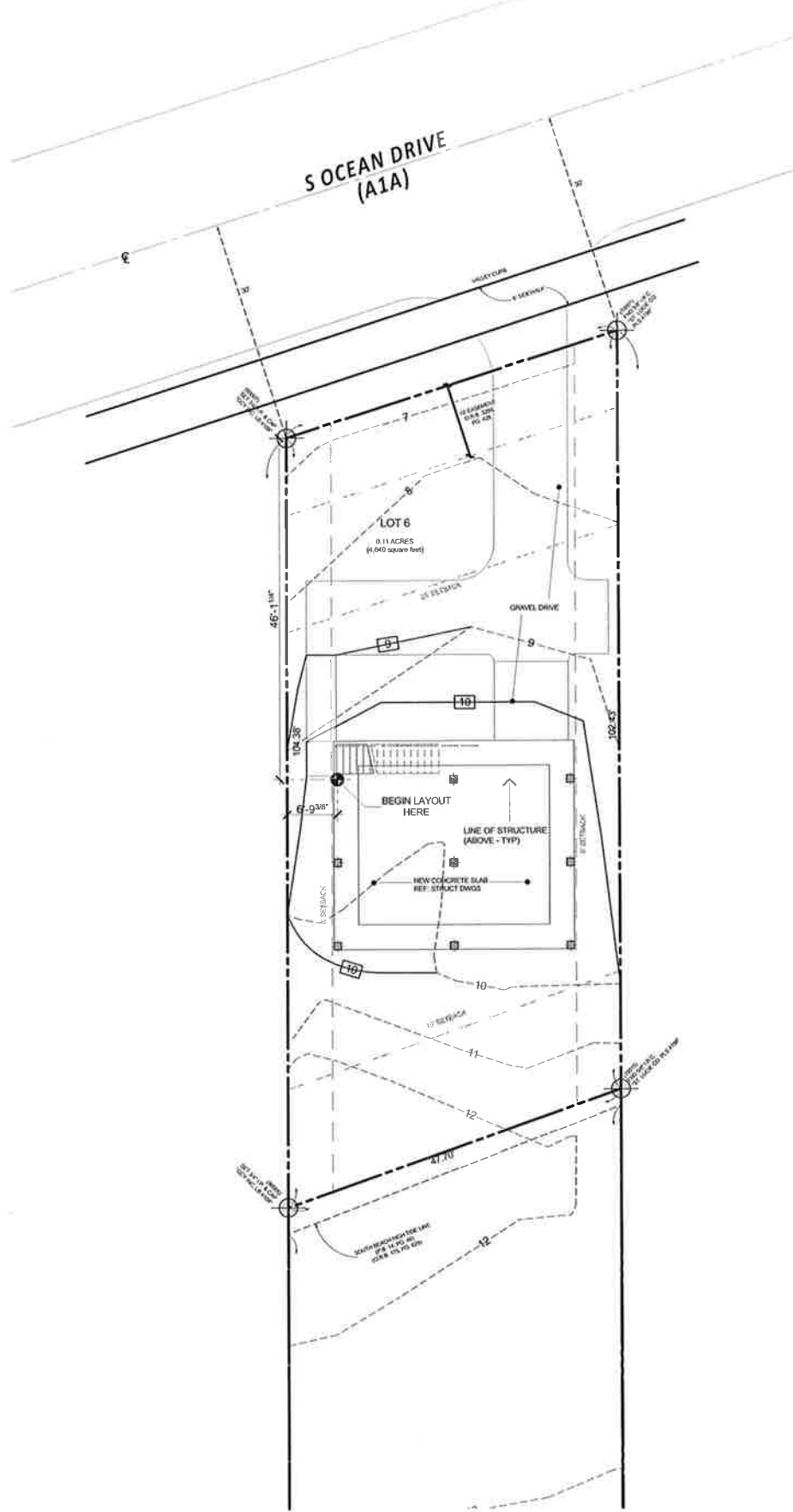
HRECs (Historical Recognized Environmental Conditions):

- None. There is no evidence of a past release of any hazardous substances or petroleum products that has occurred in connection with the Property and has been addressed to the satisfaction of the applicable regulatory authority or meeting unrestricted use criteria established by a regulatory authority, without subjecting the property to any required controls.

There is no readily ascertainable evidence that hazardous substances or petroleum products from offsite sources have migrated to the Property.



02 PLAN: OVERALL SITE
SCALE: 1" = 30'



01 PLAN: DETAIL SITE
SCALE: 1" = 10'

CODE COMPLIANCE DATA:

01. PROJECT SCOPE: THE WORK EXTENDS TO THE NEW CONSTRUCTION OF A SINGLE FAMILY HOME.
02. APPLICABLE CODES:
FLORIDA BUILDING CODE - BUILDING (FBC-B), 2017, 6TH EDITION
FLORIDA BUILDING CODE - RESIDENTIAL (FBC-R), 2017, 6TH EDITION
FLORIDA BUILDING CODE - ENERGY CONSERVATION (FBC-E), 2017, 6TH EDITION
FLORIDA BUILDING CODE - GAS (FBC-G), 2017, 6TH EDITION
FLORIDA FIRE PREVENTION CODE, 2014, 5TH EDITION
NATIONAL ELECTRIC CODE (NEC), 2017 EDITION
03. PALM HAVEN, FLORIDA ZONING REGULATIONS:
DESIGNATED ZONE: R4-A
MAXIMUM HEIGHT: 35' (30-684 (2))
SETBACKS: 30-684 (e) (4))
FRONT: 25'-0"
REAR: 15'-0"
SIDE YARD: 6'-0" SIDE
6'-0" SIDE
04. DESIGN PARAMETERS FOR WIND LOAD COMPLIANCE:
BUILDING CATEGORY: II
CODE REFERENCE: FBC-B CHAP 16 & ASCE-7.10
BUILDING DESIGN: ENCLOSED
WIND SPEED: 170 MPH (Vull, 3 SEC GUST)
132 MPH (Vull, 3 SEC GUST)
MEAN ROOF HEIGHT: 22'-0"
INTERNAL PRESSURE COEFFICIENT: +1-0.18 PSF
EDGE STRIP (a): 3'-0"
END ZONE (2a): 6'-0"
WIND EXPOSURE CLASSIFICATION: D
ADJUSTMENT FACTOR FOR EXPOSURE & HEIGHT: 1.56
05. OCCUPANCY CLASSIFICATION: HOUSE RESIDENTIAL-R-3 (FBC-B 310.5)
06. CONSTRUCTION CLASSIFICATION: VB (FBC-B 602.5)
07. HEIGHT & AREA: ALLOWABLE: 3 STORY, UNLIMITED AREA (FBC-B Table 503)
DESIGN: LOWER LEVEL: 792 GSF
UPPER LEVEL: 792
1584 SF TOTAL
08. OCCUPANT LOAD: HOUSE ALLOWABLE: 200 GSF/IP = 7 PERSONS (FBC-B Table 1004.1.2)
09. BLOWER DOOR TEST VOLUME: HOUSE: 23,867 CU FT
10. WIND LOAD DESIGN CRITERIA:
A. DESIGN WIND LOAD ON INDIVIDUAL TRUSSES BASED UPON TRIBUTARY AREA AS FOLLOWS:
B. SEE ROOF WIND LOAD DIAGRAM
C. MAXIMUM DEAD LOAD UPLIFT SHOWN BELOW IS 8 PSF
FOR 0.5 : 12 ROOF PITCH: (ROOF 0 TO 7 DEGREES - FBC-R TABLE 301.2)

ZONE	AREA	POS PRESSURE	NEG PRESSURE
1	10	+19.7	-8.4
1	20	+18.6	-6.8
1	50	+16.9	-4.2
1	100	+15.6	-3.7
2	10	+19.7	-8.1
2	20	+18.6	-7.8
2	50	+16.9	-8.8
2	100	+15.6	-5.5
3	10	+19.7	-12.7
3	20	+18.6	-10.4
3	50	+16.9	-7.3
3	100	+15.6	-5.5

WALLS:

ZONE	POS PRESSURE	NEG PRESSURE
4	+66.9	-74.7
4	+65.8	-71.6
4	+61.7	-67.5
4	+58.6	-64.4
5	+68.9	-92.2
5	+65.8	-86.0
5	+61.7	-77.6
5	+58.6	-57.6

ROOFING:

- A. ATTACH ROOFING MATERIALS AS PER MANUFACTURER'S SPECIFICATIONS & DESIGN CRITERIA SHOWN ON THESE DRAWINGS.
- B. METAL ROOFING AS PER MANUFACTURER'S SPECIFICATIONS AND PRODUCT APPROVAL.

EXTERIOR COMPONENTS ATTACHED TO THE WALL (SIDING, ETC)

- A. EXTERIOR WALL COMPONENTS SHALL BE ATTACHED PER MANUFACTURER'S REQUIREMENTS TO MEET THE WIND PRESSURES SHOWN.

ZONE	POS PRESSURE	NEG PRESSURE
4	+36.2 PSF	-40.2 PSF
5	+40.4 PSF	-50.0 PSF

11. GRAVITY LOADS:
FLOOR: 40 PSF
ROOF DEAD LOAD: 16 PSF
ROOF LIVE LOAD: 20 PSF
WALL: 18 PSF
PHOTOVOLTAIC DEAD LOAD: XX PSF
12. SOIL BEARING PRESSURE: 2,000 PSF
13. DEFERRED PERMITS (FBC-B 107.3.4.1):
DESIGN BY OTHERS: PRE-ENGINEERED WOOD TRUSSES
ELECTRICAL
HVAC
PLUMBING

Project:

A Private Residence for
Elissa & Sid Ghezzer
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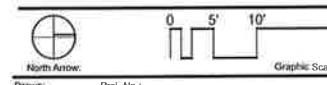
Issues | Revisions:

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B	09.12.18	100% Design Development Pkg.
C	11.27.18	Planning & Zoning Review

Key Plan:

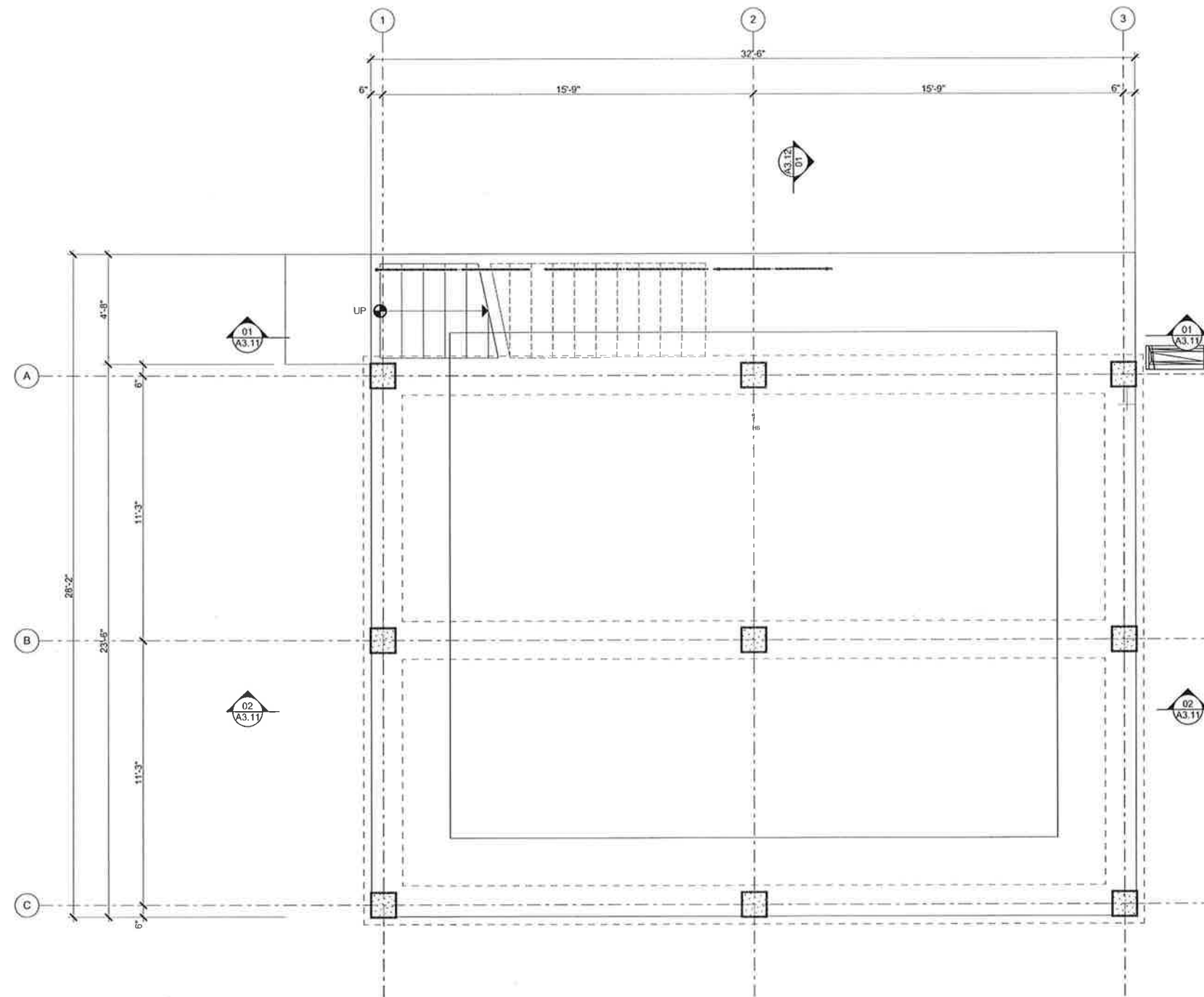


ARCHITECTURAL SITE PLAN



Drawn: BWM
Checked: GJB
Scale:
Date:
Project No.: 1333.00
Gregory John Burke, AIA

Sheet No.: **A1.01**
Certificate No.: AR00015750
Date Signed:



ARCHITECTURE PLAN LEGEND:

- WALL SYSTEM
- EXISTING PARTITION OR WALL
- FURR PARTITION
- WALL SYSTEM
EXTERIOR WALL FINISH
- POURED CONCRETE
- FURR PARTITION
- WALL SYSTEM
EXTERIOR WALL FINISH
MASONRY
- FURR PARTITION
- FRAME PARTITION
GYPSUM WALLBOARD FINISH
- STUD FRAMING
(INSULATION WHERE SHOWN)
- FRAME PARTITION
GYPSUM WALLBOARD FINISH
STUD BEARING FRAMING
(INSULATION WHERE SHOWN)
- STRUCTURE
- EXISTING COLUMN
- CONCRETE COLUMN
- MASONRY COLUMN
- TUBE STEEL COLUMN

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NOT ALL SYMBOLS MAY BE USED ON THIS PROJECT

ARCHITECTURE PLAN GENERAL NOTES:

01. FOR SYMBOLS & ABBREVIATIONS
REF: SHT A0.01
02. FOR DIMENSIONED ARCHITECTURAL PLAN
REF: A2.12
03. ANY REFERENCE OR NOTE CONTAINING "AFF" INDICATES THE TOP OF THE STRUCTURAL SLAB

Issues | Revisions:

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A	08.29.18	75% Design Development Pkg.
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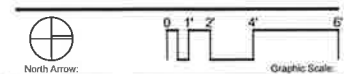
ARCHITECTURE PLAN KEY NOTES:

Key Plan:



North Arrow:

LOWER LEVEL ARCHITECTURE PLAN

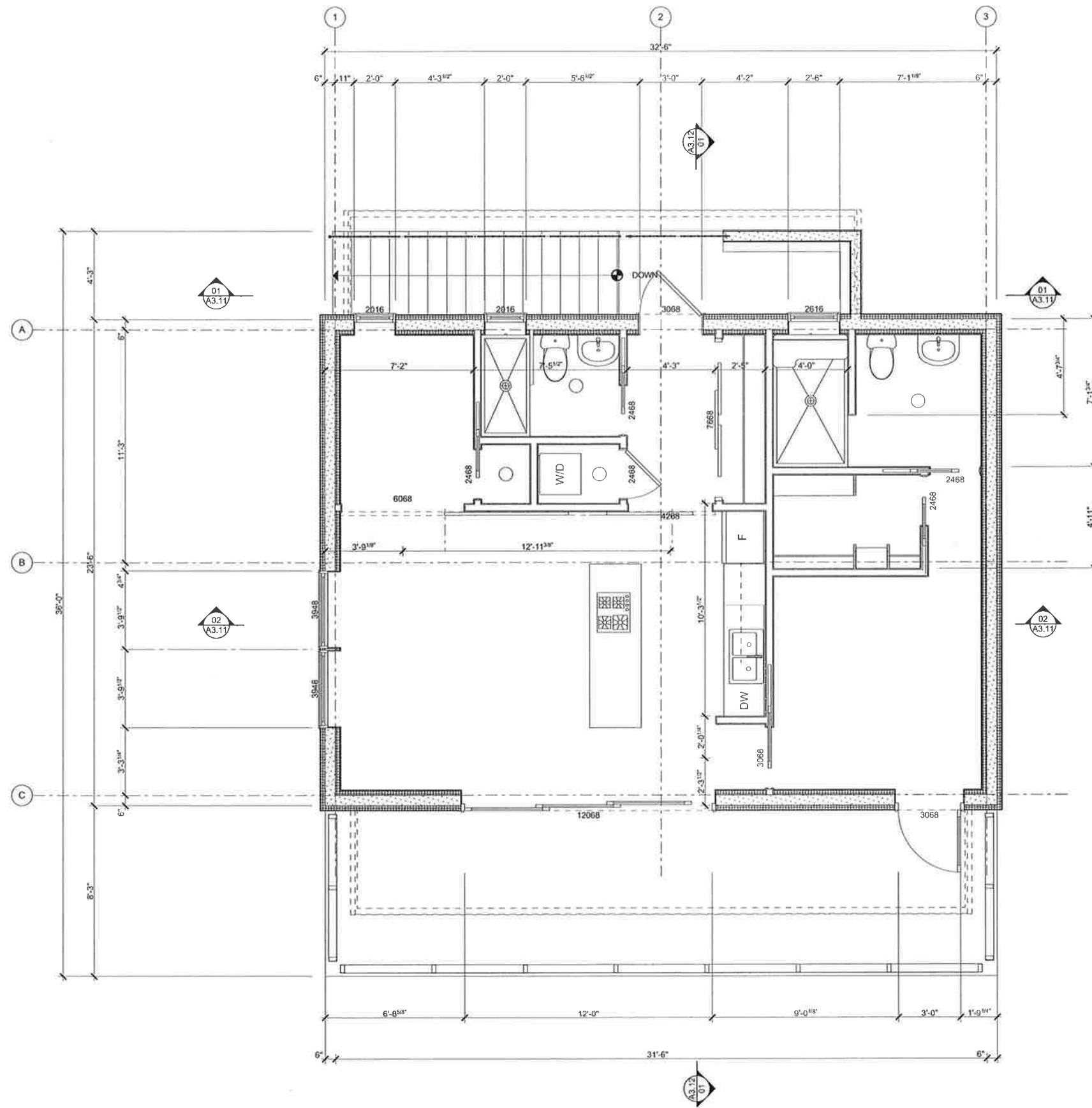


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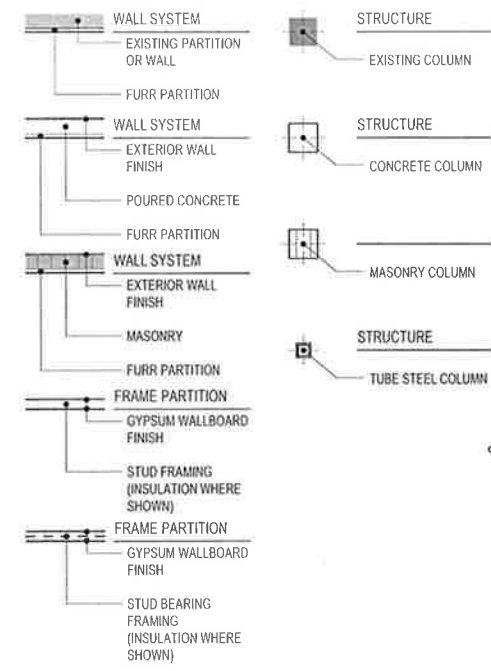
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Scale: 3/8" = 1'
Date: _____

Gregory John Burke, AIA

Sheet No: **A2.01** Certificate No: AR00015750 Date Signed: _____



ARCHITECTURE PLAN LEGEND: **Project:**



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02. FOR DIMENSIONED ARCHITECTURAL
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REF: A2.12
03. ANY REFERENCE OR NOTE
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Issues | Revisions:

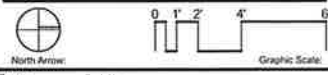
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ARCHITECTURE PLAN KEY NOTES:

Key Plan:



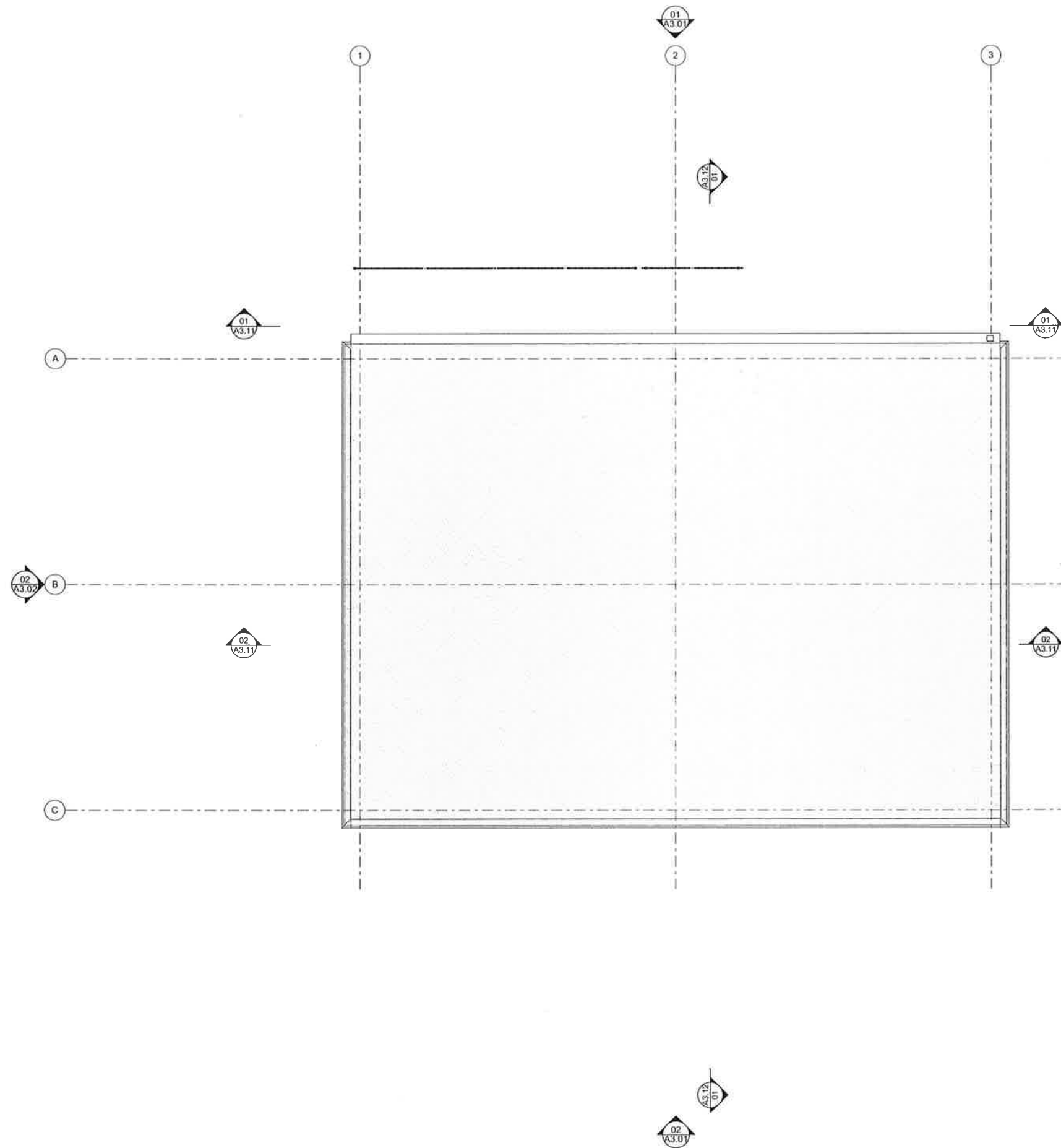
UPPER LEVEL ARCHITECTURE PLAN



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 GJB
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 Date:

Gregory John Burke, AIA

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 Date Signed:



ROOF PLAN GENERAL NOTES:

- 01. FOR SYMBOLS & ABBREVIATIONS
REF: SHT A0.01
- 02. FOR DIMENSIONED ARCHITECTURAL
PLAN
REF: A2.12
- 03. ANY REFERENCE OR NOTE
CONTAINING "AFF" INDICATES THE
TOP OF THE STRUCTURAL SLAB

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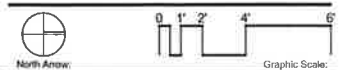
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C	11.27.18	Planning & Zoning Review

Key Plan:



North Arrow

ARCHITECTURAL ROOF PLAN



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 BWM
 Checked: GJB
 Scale: 3/8" = 1"
 Date:

Gregory John Burke, AIA

Sheet No. **A2.03** AR00015750
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 Date Signed _____

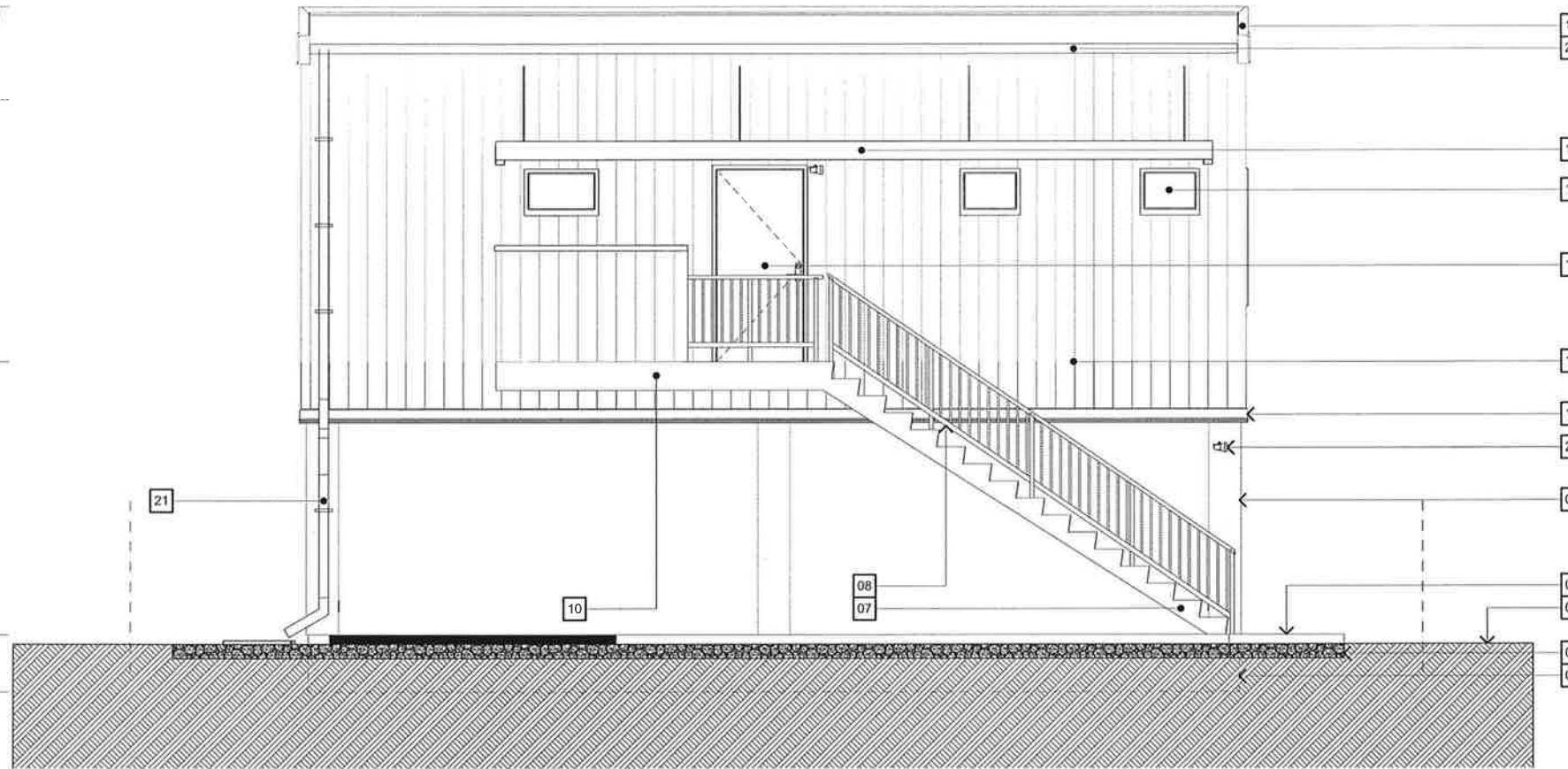
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TRUSS BEARING
(ARCH = + 19'-1 1/2")

TOP | SLAB
(ARCH = + 10'-0")

TOP | SLAB
(ARCH = + 0'-4")

BOTTOM | FOOTING
(ARCH = - 1'-8")



01 WEST ELEVATION
SCALE: 3/8" = 1'-0"

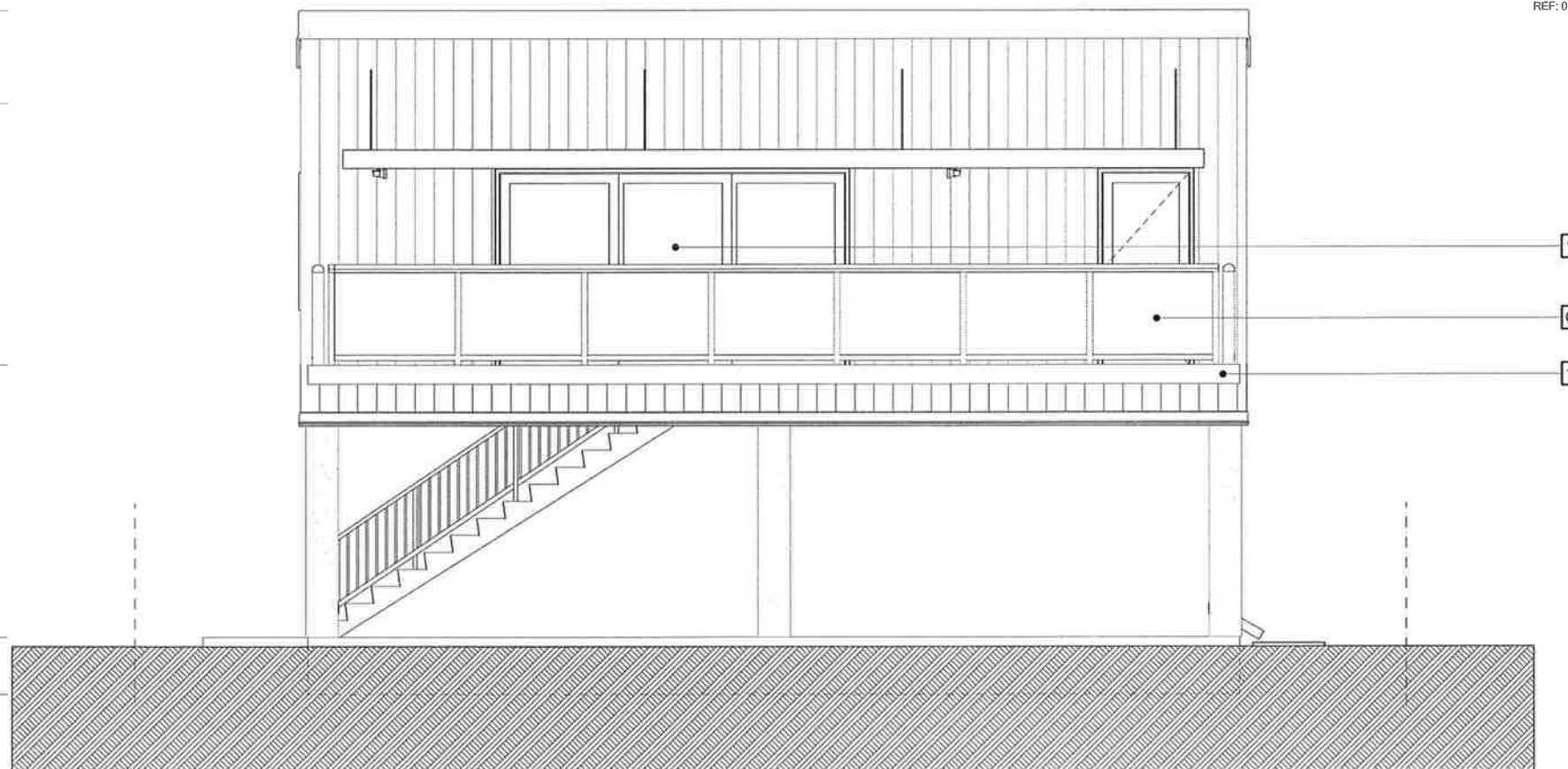
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TRUSS BEARING
(ARCH = + 19'-1 1/2")

TOP | SLAB
(ARCH = + 10'-0")

TOP | SLAB
(ARCH = + 0'-4")

BOTTOM | FOOTING
(ARCH = - 1'-8")



02 EAST ELEVATION
SCALE: 3/8" = 1'-0"

FOR TYPICAL NOTES
REF: 01/A3.01

BUILDING ELEVATION KEY NOTES:

- 01. APPROXIMATE LINE OF FINISHED GRADE (TYP)
- 02. 4" THK CONCRETE SLAB (TYP)
- 03. LINE | 1"x8" CONCRETE FOOTING (TYP)
- 04. GRAVEL DRIVEWAY
- 05. CONCRETE RAMP
- 06. CEMENT PLASTER CLAD CAST-IN PLACE CONCRETE COLUMN (STUCCO FINISH - PAINT WHITE)
- 07. CONCRETE STAIR (TYP - PAINT WHITE) REF: A7.00 SERIES DWGS
- 08. ALUMINUM GUARD & HANDRAIL (TYP - PAINT WHITE)
- 09. ALUMINUM & GLASS GUARD (TYP)
- 10. 1" THK CAST-IN-PLACE CONCRETE ENTRY SLAB (TYP - PAINT WHITE)
- 11. 8" THK CAST-IN-PLACE CONCRETE DECK (TYP - PAINT WHITE)
- 12. ALUMINUM FLASHING (TYP - PAINT WHITE)
- 13. VERTICAL FIBER CEMENT SIDING (TYP - PAINT WHITE)
- 14. ALUMINUM ROOF FASCIA (TYP - PAINT WHITE)
- 15. ALUMINUM METAL CANOPY w/ METAL TIE ROD (TYP - PAINT WHITE)
- 16. SCHED. IMPACT RATED ENTRY DOOR (PAINT WHITE)
- 17. SCHED. IMPACT RATED ALUMINUM SLIDING GLASS DOOR
- 18. SCHED. IMPACT RATED, INSULATED STATIONARY WINDOW (TYP - PAINT WHITE)
- 19. SCHED. IMPACT RATED, INSULATED CASEMENT WINDOW (TYP - PAINT WHITE)
- 20. WALL-MOUNTED SPOT LAMP (TYP)
- 21. 4" DIA (NOM) ALUMINUM DOWNSPOUT (TYP - PAINT WHITE)
- 22. 6" DIA (NOM) ALUMINUM GUTTER (TYP - PAINT WHITE)
- 23. HOSE BIBB (TYP)
- 24. PLUMB CHASE (TYP - PAINT WHITE)

Project:

A Private Residence for
Elissa & Sid Ghezzer

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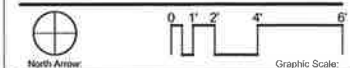
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A	08.29.18	75% Design Development Pkg.
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C	11.27.18	Planning & Zoning Review

Key Plan:



Building Elevations



Drawn: **BWM** Proj. No.: **1333.00**
 Checked: **GJB**
 Scale: **3/8" = 1'**
 Date:

Gregory John Burke, AIA

Sheet No.: **A3.01** Certificate No.: **AP00015750** Date Signed:

FOR TYPICAL NOTES
REF: 01/A3.01

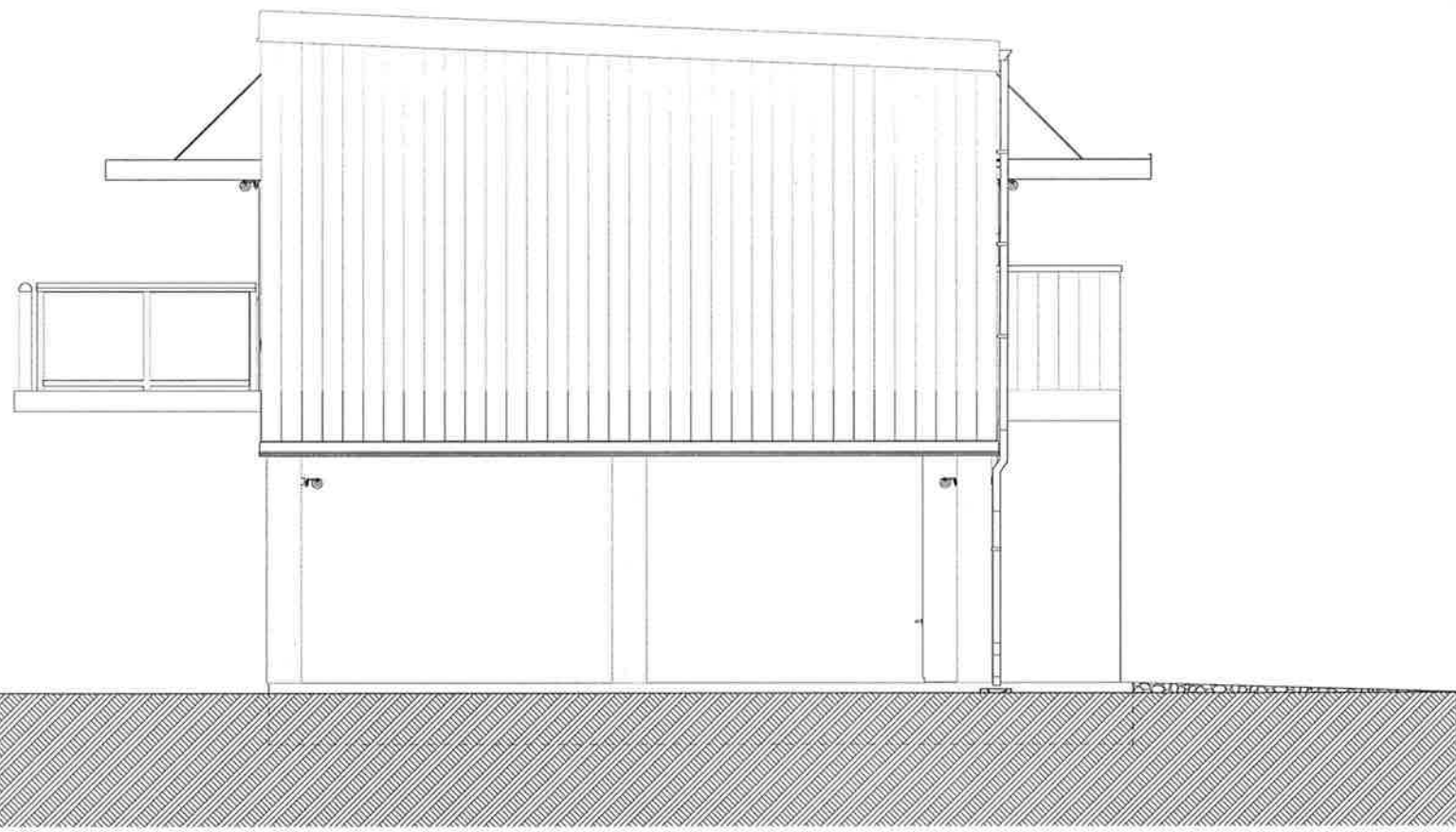
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TRUSS BEARING
(ARCH = + 19'-1 1/2")

TOP | SLAB
(ARCH = + 10'-0")

TOP | SLAB
(ARCH = + 0'-4")

BOTTOM | FOOTING
(ARCH = - 1'-8")



01 NORTH ELEVATION
SCALE: 3/8" = 1'-0"

FOR TYPICAL NOTES
REF: 01/A3.01

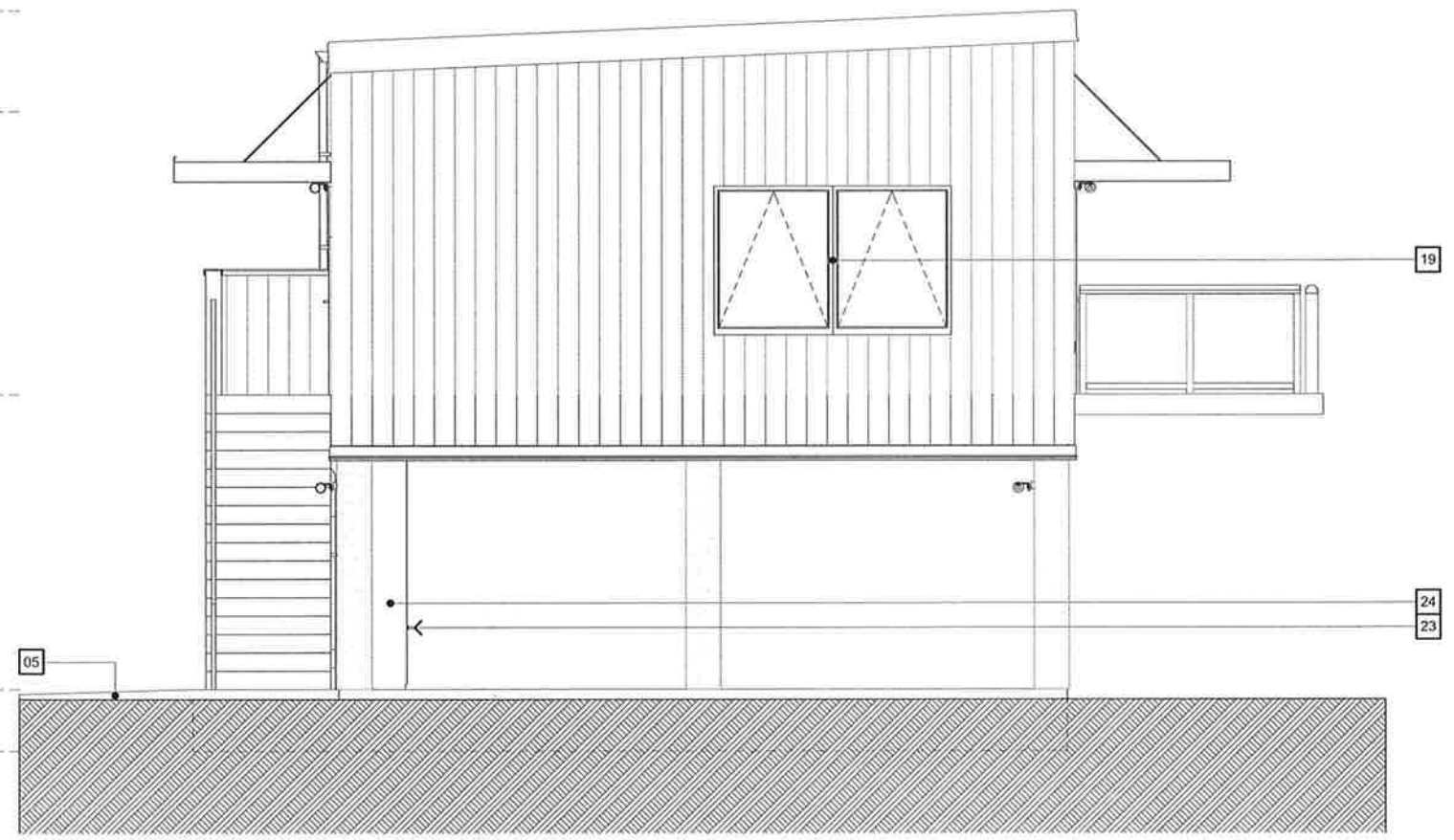
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TRUSS BEARING
(ARCH = + 19'-1 1/2")

TOP | SLAB
(ARCH = + 10'-0")

TOP | SLAB
(ARCH = + 0'-4")

BOTTOM | FOOTING
(ARCH = - 1'-8")



02 SOUTH ELEVATION
SCALE: 3/8" = 1'-0"

Project:

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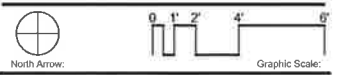
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C	11.27.18	Planning & Zoning Review

Key Plan:



North Arrow

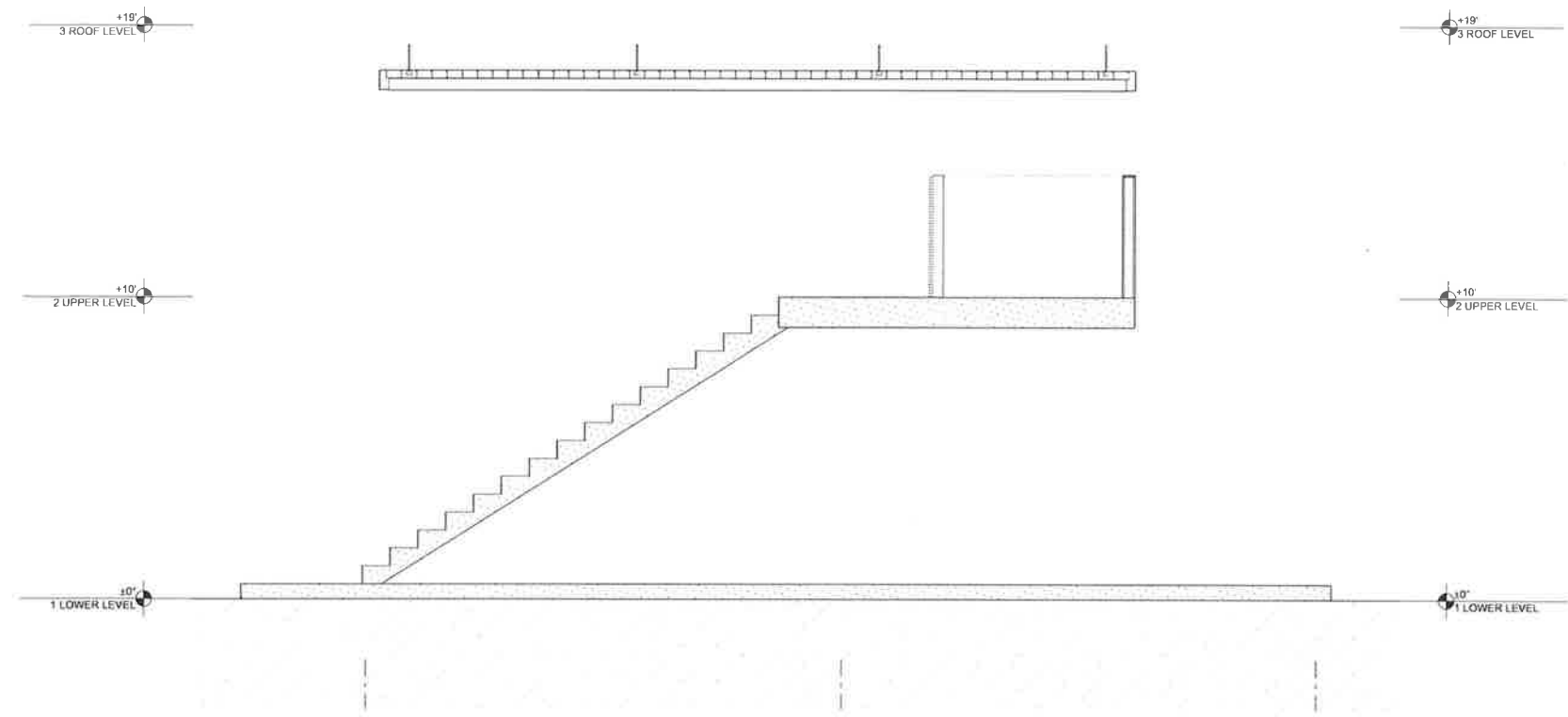
Building Elevations



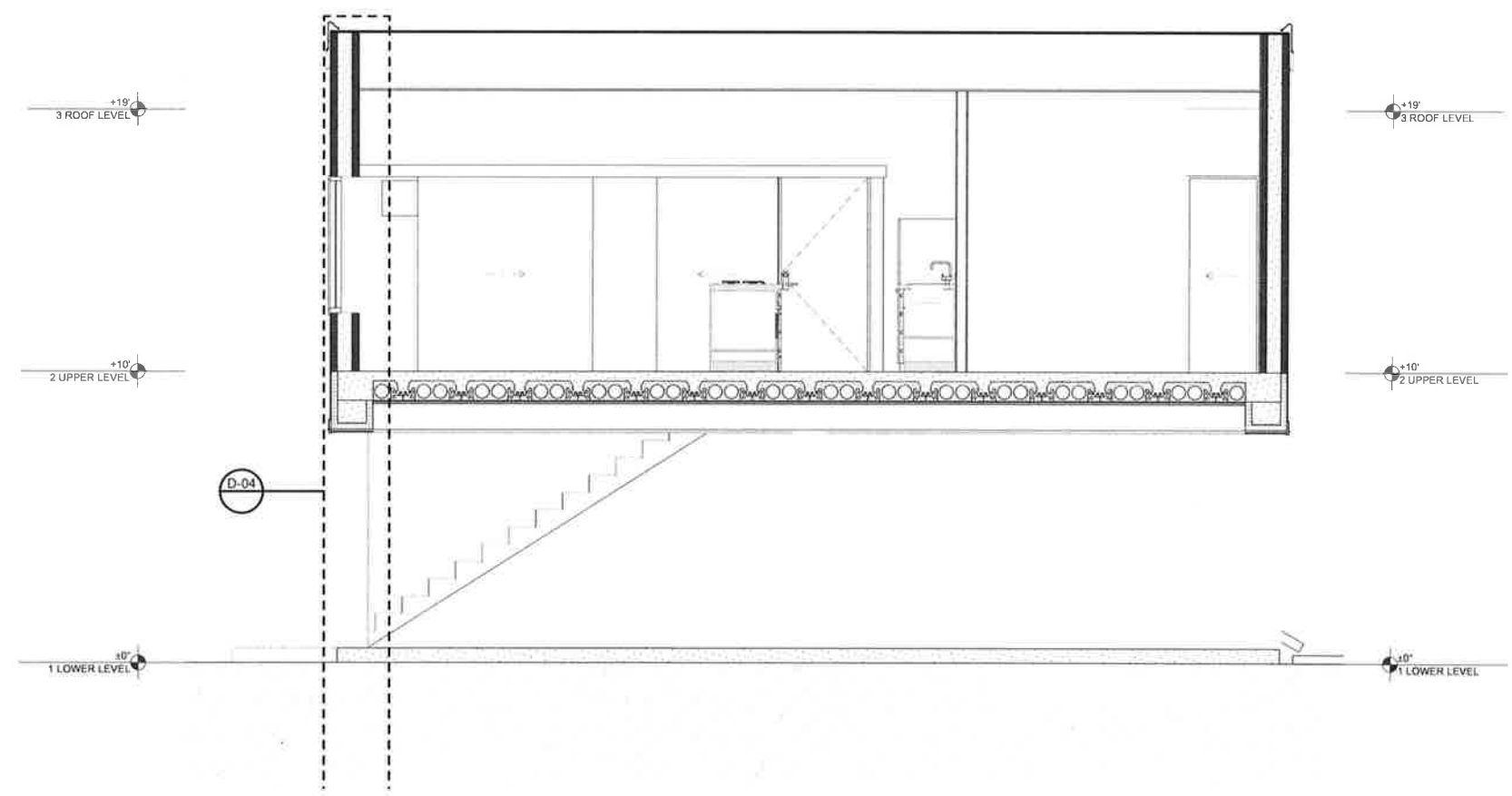
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Scale: 3/8" = 1"
Date:

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Sheet No. **A3.02** AR00015750 Certificate No. _____
Date Signed _____



01 SECTION: thru STAIR
SCALE: 3/8" = 1'-0"



02 SECTION: thru WINDOW
SCALE: 3/8" = 1'-0"

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Issues | Revisions:

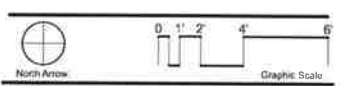
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DESIGN DEVELOPMENT
30 AUG 18

Key Plan:



BUILDING SECTIONS



Drawn: Proj. No.
BWM 1333.00
Checked: CJB
Scale: 3/8" = 1'
Date:

Gregory John Burke, AIA
Sheet No. **A3.11** AR00015750 Certificate No. _____
Date Signed _____

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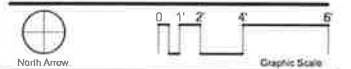
**DESIGN
DEVELOPMENT**
30 AUG 18

Key Plan:



North Arrow

INTERIOR ELEVATIONS



North Arrow

Drawn
BWM

Checked
GJB

Scale
3/8" = 1'

Date

Gregory John Burke, AIA

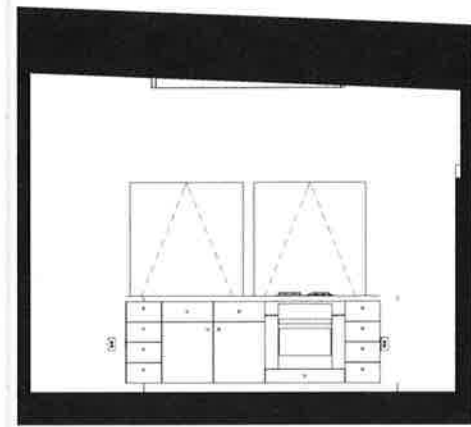
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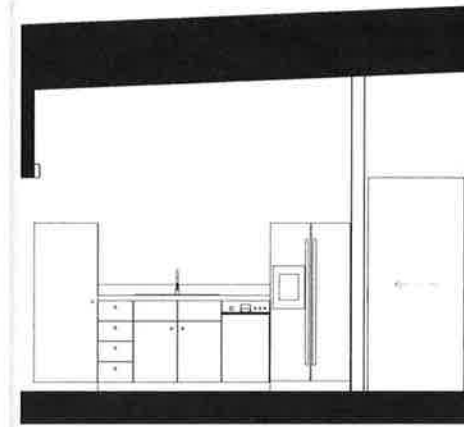
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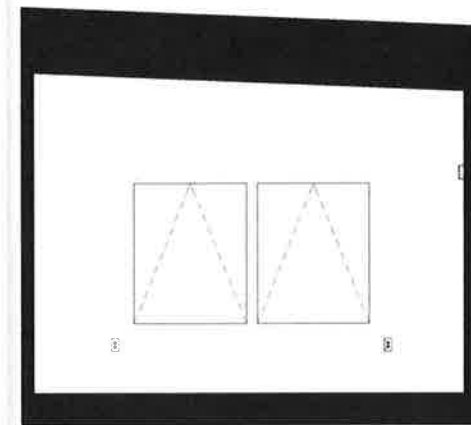
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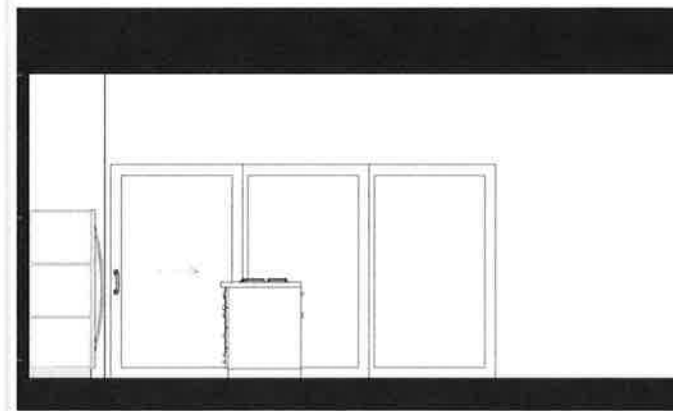
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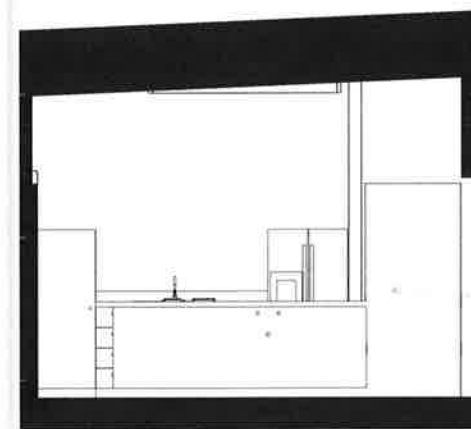
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SCALE: 3/8" = 1'-0"



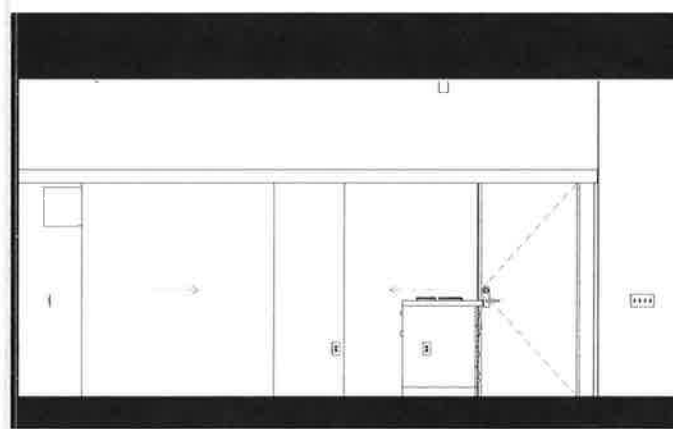
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03 INT EL: GREAT ROOM EAST
SCALE: 3/8" = 1'-0"



02 INT EL: GREAT ROOM NORTH
SCALE: 3/8" = 1'-0"



01 INT EL: GREAT ROOM WEST
SCALE: 3/8" = 1'-0"

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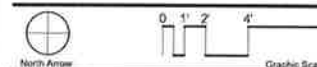
**DESIGN
DEVELOPMENT**
30 AUG 18

Key Plan:



North Arrow

INTERIOR ELEVATIONS



Drawn: BWM Proj. No: 1333.00

Checked: GJB

Scale: 3/8" = 1'

Date:

Gregory John Burke, AIA

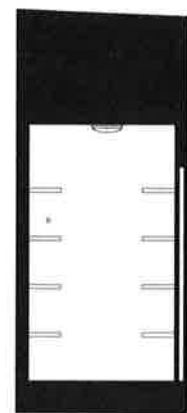
Sheet No:

A5.02

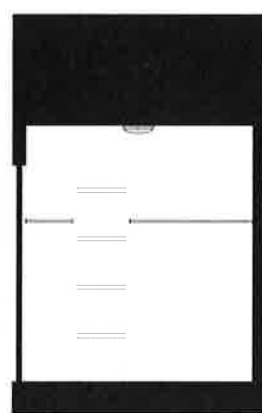
AR00015750

Certificate No.

Date Signed



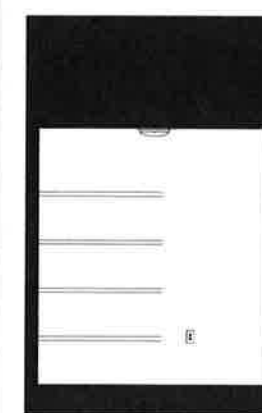
08 INT EL: CLOSET SOUTH
SCALE: 3/8" = 1'-0"



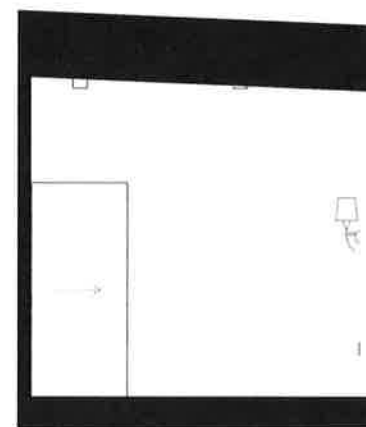
07 INT EL: CLOSET EAST
SCALE: 3/8" = 1'-0"



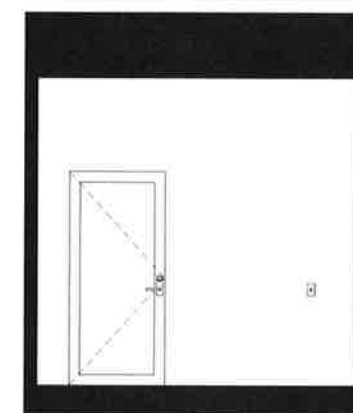
06 INT EL: CLOSET NORTH
SCALE: 3/8" = 1'-0"



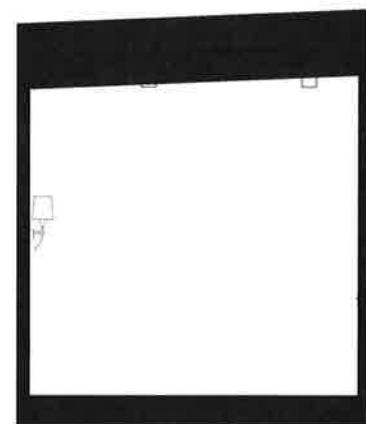
05 INT EL: CLOSET WEST
SCALE: 3/8" = 1'-0"



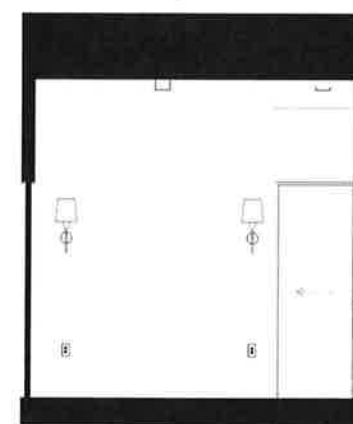
04 INT EL: BEDROOM SOUTH
SCALE: 3/8" = 1'-0"



03 INT EL: BEDROOM EAST
SCALE: 3/8" = 1'-0"



02 INT EL: BEDROOM NORTH
SCALE: 3/8" = 1'-0"



01 INT EL: BEDROOM WEST
SCALE: 3/8" = 1'-0"

Project:

A Private Residence for

Elissa & Sid Ghezzer

Address

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Gregory John Burke | ARCHITECT, PA

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Structural Engineer:

T. E. SCHLITT ENGINEERING
1575 Indian River Boulevard
Wausau, WI 54980

Issues | Revisions:

No.	Date	Description
A	08.29.18	75% Design Development Pkg
B	09.12.18	100% Design Development Pkg

DESIGN DEVELOPMENT

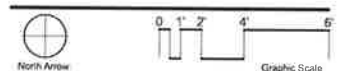
30 AUG 18

Key Plan:



North Arrow

INTERIOR ELEVATIONS



North Arrow

Drawn: BWM Proj. No: 1333.00

Checked: GJB

Scale: 3/8" = 1'

Date:

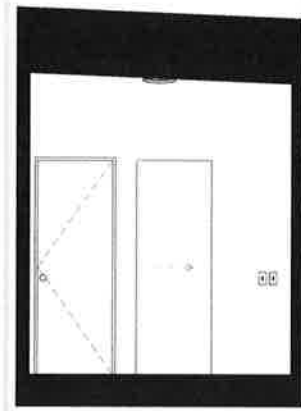
Gregory John Burke, AIA

Sheet No:

A5.03

AR00015750 Certificate No.

Date Signed



12 INT EL: HALL SOUTH
SCALE: 3/8" = 1'-0"



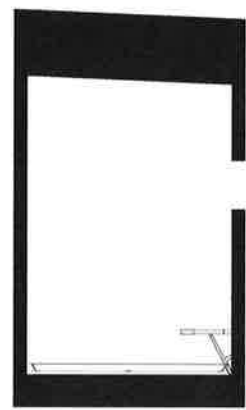
11 INT EL: HALL EAST
SCALE: 3/8" = 1'-0"



10 INT EL: HALL NORTH
SCALE: 3/8" = 1'-0"



09 INT EL: HALL WEST
SCALE: 3/8" = 1'-0"



08 INT EL: M. BATH SHOWER SOUTH
SCALE: 3/8" = 1'-0"



07 INT EL: M. BATH SHOWER EAST
SCALE: 3/8" = 1'-0"



06 INT EL: M. BATH SHOWER NORTH
SCALE: 3/8" = 1'-0"



05 INT EL: M. BATH SHOWER WEST
SCALE: 3/8" = 1'-0"



04 INT EL: MASTER BATH SOUTH
SCALE: 3/8" = 1'-0"



03 INT EL: MASTER BATH EAST
SCALE: 3/8" = 1'-0"



02 INT EL: MASTER BATH NORTH
SCALE: 3/8" = 1'-0"



01 INT EL: MASTER BATH WEST
SCALE: 3/8" = 1'-0"

Project:

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Elissa & Sid Ghezzar

Address

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Vero Beach, FL 32980

Issues | Revisions:

No.	Date	Description
A	08.29.18	75% Design Development Pkg.
B	09.12.18	100% Design Development Pkg.

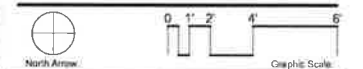
**DESIGN
DEVELOPMENT**
30 AUG 18

Key Plan:



North Arrow

INTERIOR ELEVATIONS



Drawn: Proj. No.
BWM 1333.00
Checked:
GJB
Scale:
3/8" = 1'
Date:

Gregory John Burke, AIA

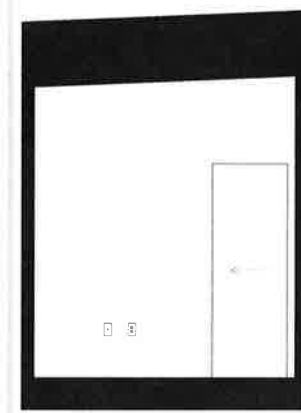
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Date Signed _____



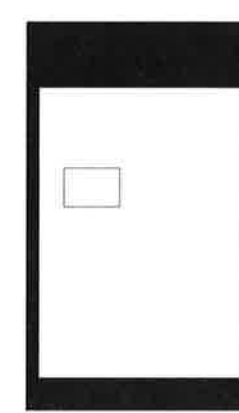
12 INT EL: DEN SOUTH
SCALE: 3/8" = 1'-0"



11 INT EL: DEN EAST
SCALE: 3/8" = 1'-0"



10 INT EL: DEN NORTH
SCALE: 3/8" = 1'-0"



09 INT EL: DEN WEST
SCALE: 3/8" = 1'-0"



08 INT EL: BATH SHOWER SOUTH
SCALE: 3/8" = 1'-0"



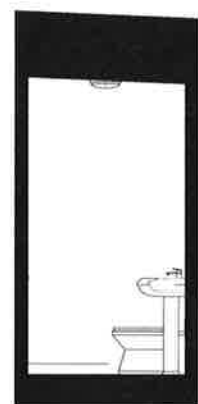
07 INT EL: BATH SHOWER EAST
SCALE: 3/8" = 1'-0"



06 INT EL: BATH SHOWER NORTH
SCALE: 3/8" = 1'-0"



05 INT EL: BATH SHOWER WEST
SCALE: 3/8" = 1'-0"



04 INT EL: BATH SOUTH
SCALE: 3/8" = 1'-0"



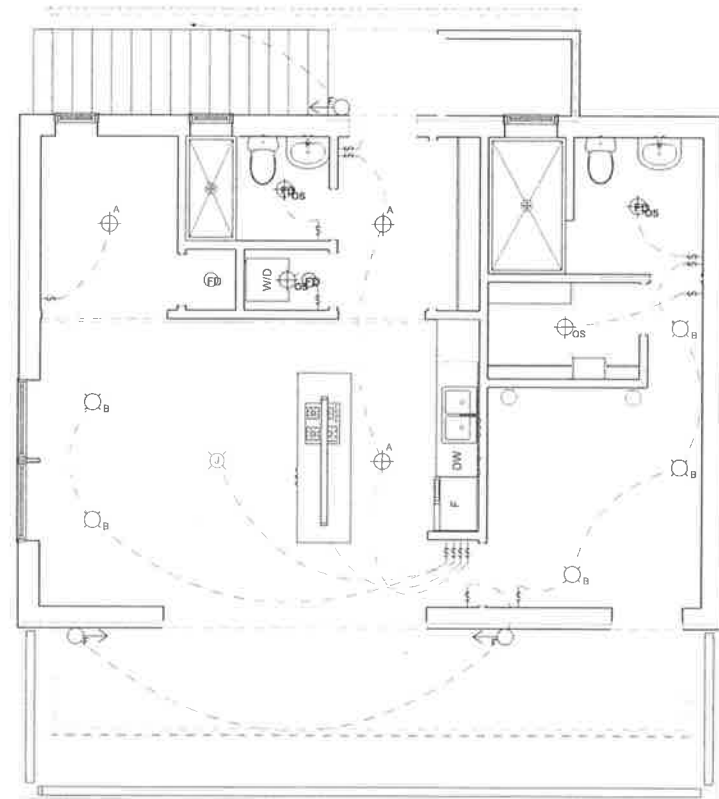
03 INT EL: BATH EAST
SCALE: 3/8" = 1'-0"



02 INT EL: BATH NORTH
SCALE: 3/8" = 1'-0"



01 INT EL: BATH WEST
SCALE: 3/8" = 1'-0"



REFLECTED CEILING PLAN LEGEND:

- ⊗ RECESSED LIGHT FIXTURE
- ⊕ SURFACE MOUNTED LIGHT FIXTURE
- SPECIALTY STRIP LIGHT FIXTURE
- WALL SCONCE LIGHT FIXTURE
- UTILITY LIGHT FIXTURE
- ⊙ SPOT LIGHT ON/MOTION SENSOR
- TRACK LIGHTING
- SUPPLY AIR GRILLE
- ⊠ RETURN AIR GRILLE
- GYPSUM WALLBOARD CEILING @ 9'-10 3/8" AFF
- TONGUE & GROOVE WOOD CEILING @ 9'-10 1/2" AFF
- WOOD-GRAINED FIBER CEMENT PANEL CEILING @ 9'-10 1/2" AFF
- ⊗ CEILING FAN
- SINGLE-POLE LIGHT SWITCH
- THREE-POLE SWITCH
- EXHAUST FAN
- EXHAUST FAN LIGHT FIXTURE COMBINATION

Project:

A Private Residence for
Elissa & Sid Ghezzar
 Address

REFLECTED CEILING PLAN GENERAL NOTES:

- 01 FOR SYMBOLS & ABBREVIATIONS REF. A01
- 02 PROVIDE ARC FAULT CIRCUIT INTERRUPTS FOR ALL ELECTRICAL DEVICES.
- 03 SWITCHES ARE SHOWN IN A GENERIC MANNER - ROCKER TYPE "ON-OFF" SWITCHES ARE TYPICAL FOR SWITCHES CONTROLLING CEILING FANS - INSTALL A THREE-STEP "LO | MED | HI" TYPE.
- 04 MOUNT ALL SWITCHES @ 39" AFF (UON)
- 05 SWITCHES FOR ELECTRICAL RECEPTACLES IN BEDROOMS ARE SHOWN ON THE ELECTRICAL PLAN.
- 06 PROVIDE DIMMER SWITCHES FOR LIGHT CONTROLS EXCEPT FOR EXTERIOR WALL SCONCES.

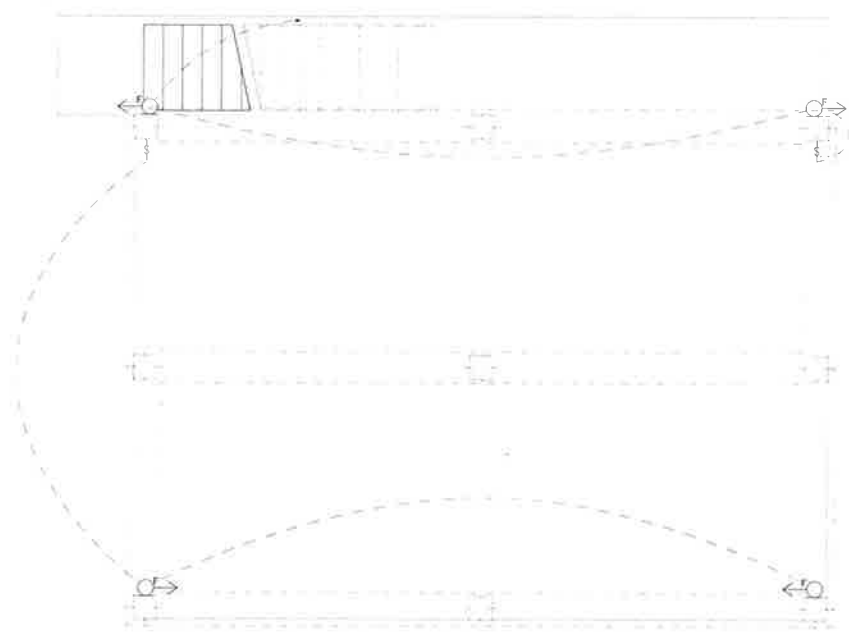
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 1075 Indian River Boulevard
 Vero Beach, Florida 32909

01 UPPER LEVEL
 SCALE: 1/4" = 1'-0"



01 LOWER LEVEL
 SCALE: 1/4" = 1'-0"

Issues | Revisions:

No.	Date	Description
A	08.29.18	75% Design Development Pkg.
B	09.12.18	100% Design Development Pkg.

DESIGN DEVELOPMENT
 30 AUG 18
Key Plan:

North Arrow

REFLECTED CEILING PLAN

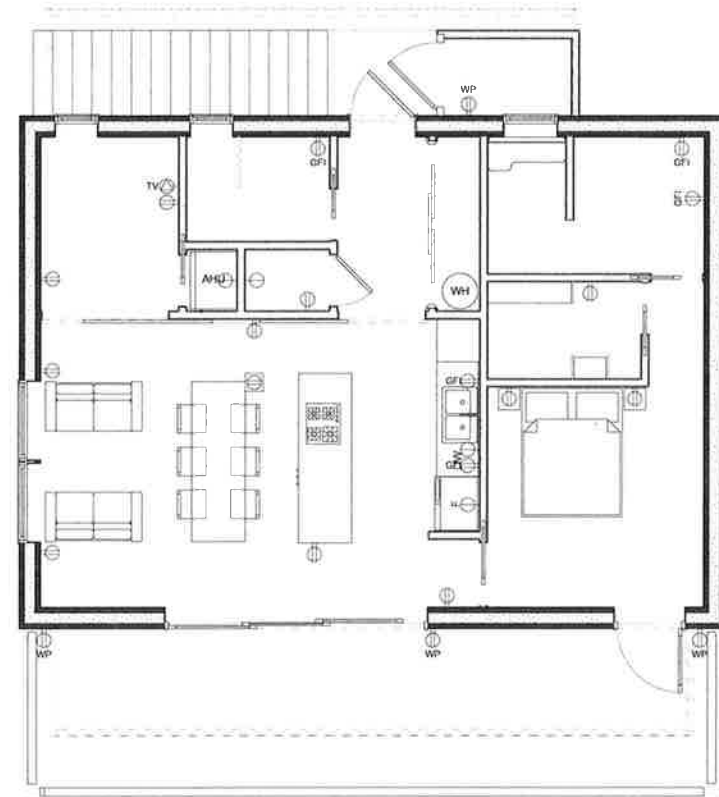
North Arrow










0 1' 2' 4' 8'

Graphic Scale

Drawn: **BWM** Proj. No: **1333.00**
 Checked: **GJB**
 Scale: **1/4" = 1'**
 Date:

Gregory John Burke, AIA
 Sheet No: **A6.01** Certificate No: **AR00015750**
 Date Signed



-  DUPLEX RECEPTACLE
-  DOUBLE DUPLEX RECEPTACLE
-  WEATHER PROOF DUPLEX RECEPTACLE
-  GROUND FAULT INTERRUPT RECEPTACLE
-  SWITCH OPERATED DUPLEX RECEPTACLE
-  FLOOR MOUNTED RECEPTACLE
-  CEILING MOUNTED JUNCTION BOX
-  SECURITY ANNUNCIATOR
-  CABLE OR SATELLITE TV OUTLET


Project:

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Elissa & Sid Ghezzer

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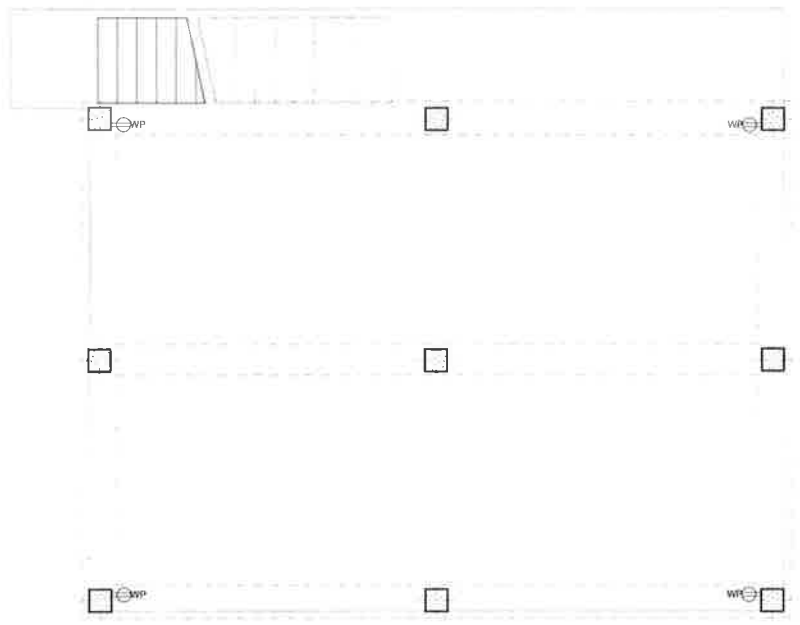
Issues | Revisions:

No.	Date	Description
A	08.29.18	75% Design Development Pkg.
B	09.12.18	100% Design Development Pkg.

DESIGN DEVELOPMENT

30 AUG 18


Key Plan:




01 UPPER LEVEL
SCALE: 1/4" = 1'-0"

01 LOWER LEVEL
SCALE: 1/4" = 1'-0"

ELECTRICAL PLAN



North Arrow



Graphic Scale

Drawn:	Proj. No:
BWM	1333.00
Checked:	
GJB	
Scale:	
1/4" = 1'	
Date:	

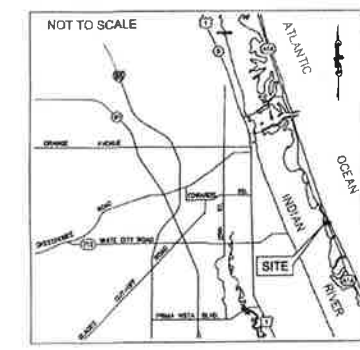
Gregory John Burke, AIA

Sheet No: **A6.02** AR00015750 Certificate No.: _____ Date Signed: _____

BOUNDARY & TOPOGRAPHIC SURVEY

LOCATED IN SAINT LUCIE COUNTY, FLORIDA

BM # 2
USGS DISK
PIERCE 2
ELEVATION = 7.96'
N 1113913.56
E 895065.03



LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION

LOT 6, IN BLOCK 1, OF REVISED PLAT OF PALM HAVEN SUBDIVISION, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 8, PAGE 44, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA; LESS THAT PART LYING EASTERLY OF THE LINE DESCRIBED IN QUIT CLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 165, PAGE 1465, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

GENERAL NOTES

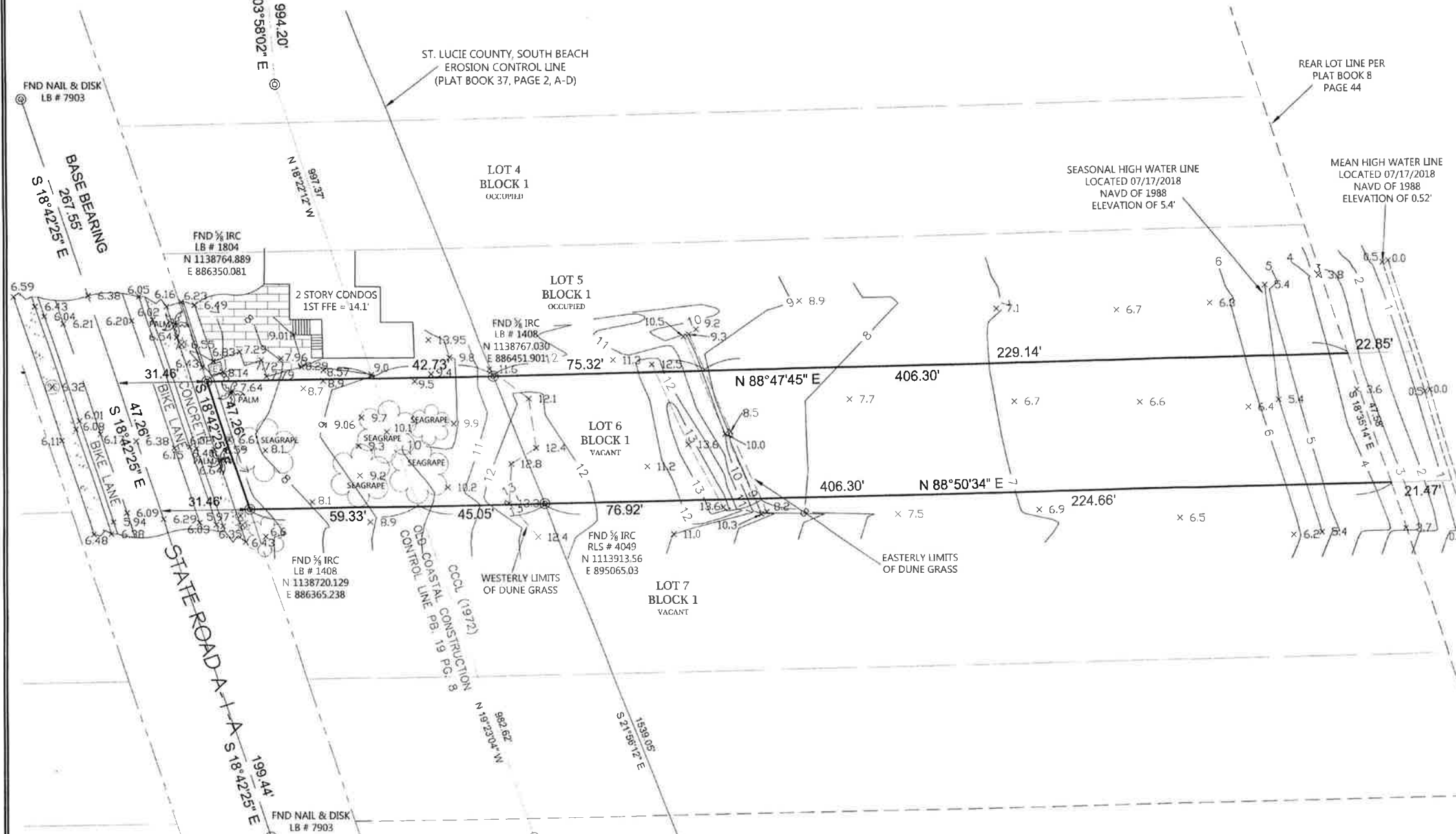
1. THE BEARINGS SHOWN HEREON ARE REFERENCED TO THE CENTERLINE OF STATE ROAD A-1-A, HAVING A BEARING OF S18°42'25"E, ASSUMED DATUM, SAINT LUCIE COUNTY, FLORIDA.
2. ALL ABOVE GROUND FIXED IMPROVEMENTS, IF ANY, HAVE BEEN LOCATED AND SHOWN HEREON.
3. UNDERGROUND UTILITIES AND UTILITY SERVICES HAVE NOT BEEN LOCATED ON THIS SURVEY.
4. FLOOD NOTE: BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "AE-6", "VE-B", AND "VE-11" ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 12111 C 0194 J, EFFECTIVE DATE FEBRUARY 06, 2012. THE EXACT DESIGNATION CAN ONLY BE DETERMINED BY AN ELEVATION CERTIFICATE.
5. REPRODUCTIONS OF THIS MAP ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER.
6. LANDS SHOWN HEREON WERE NOT ABSTRACTED BY THIS OFFICE FOR RIGHTS-OF-WAY, EASEMENTS OF RECORD, OWNERSHIP, ABANDONMENT'S DEED RESTRICTIONS, OR MURPHY ACT DEEDS.
7. THE LAST DATE OF FIELD WORK WAS OCTOBER 17, 2017.
8. THIS SURVEY IS CERTIFIED BY THE SIGNING SURVEYOR ONLY ON THE DATE THE SURVEYOR SIGNED AND SEALED SAID SURVEY. ANY ADDITIONS OR DELETIONS TO THIS SURVEY OR MAP, WITHOUT THE PERMISSION OF THE SIGNING SURVEYOR ARE NOT CERTIFIED.
9. ELEVATIONS SHOWN HEREON ARE IN U.S. STANDARD FEET AND BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
10. ALL DEBRIS WILL BE REMOVED FROM THE SITE AND DEPOSITED AT AN APPROVED UPLAND DISPOSAL SITE.
11. ALL MEASUREMENTS ARE IN ACCORDANCE WITH UNITED STATES STANDARD, IN FEET AND DECIMALS THEREOF.
12. THE EXPECTED USE OF THE SURVEY AND MAP IS RESIDENTIAL.

STREET ADDRESS

UNASSIGNED SOUTH OCEAN DRIVE, FORT PIERCE, FL 34949

GLOBAL POSITIONING SYSTEM (GPS) NOTES

1. G.P.S. SURVEY METHOD: REAL TIME KINEMATIC (RTK)
2. G.P.S. RECEIVER TYPE: TWO (2) DUAL FREQUENCY TOPCON HIPER GA-12 CHANNEL (L1 & L2)
3. THE ORIGINAL GPS RTK MEASUREMENTS, OCTOBER 17, 2017, TWO TOPCON DUAL FREQUENCY GPS RECEIVERS EQUIPPED WITH RT-SKI (REAL TIME MEASUREMENT CAPABILITIES) WERE USED TO GATHER GPS DATA. TYPICALLY A BASE RECEIVER IS SET UP ON AN ESTABLISHED CONTROL STATION WHILE A ROVING RECEIVER LOCATES EXISTING MONUMENTS, IMPROVEMENTS AND/OR TOPOGRAPHIC DATA AND CONTROL THROUGHOUT THE PROJECT AREA. REAL-TIME COORDINATE COMPUTATIONS AND PRECISION INFORMATION ARE DETERMINED VIA RADIO / MODEM LINK WITH THE BASE STATION AND RECORDED AS THREE DIMENSIONAL (3D) POSITIONS.
4. G.P.S. SURVEY MEASUREMENTS WERE PROCESSED AND ADJUSTED USING CARLSON SURVEY STANDALONE SURVEY.
5. THE HORIZONTAL TARGET ACCURACY FOR THIS SURVEY IS AS FOLLOWS:
HORIZONTAL: 10MM + 1PPM (RMS)
VERTICAL: 20MM + 1PPM (RMS)



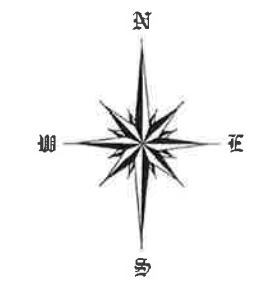
LEGEND & ABBREVIATIONS

A	ARC LENGTH	OHP	OVERHEAD UTILITIES
A/C	AIR CONDITIONER	ORB	OFFICIAL RECORDS BOOK
CBS	CONCRETE BLOCK STRUCTURE	P	PLAT DATA
CCCL	COASTAL CONSTRUCTION CONTROL LINE	PB	PLAT BOOK
C/L	CENTERLINE	PG(S)	PAGE(S)
CONC	CONCRETE	PLS	PROFESSIONAL LAND SURVEYOR
CM	CONCRETE MONUMENT	POB	POINT OF BEGINNING
DEG OR °	DEGREE	POC	POINT OF COMMENCEMENT
ELEV	ELEVATION	PRM	PERMANENT REFERENCE MONUMENT
FFE	FINISH FLOOR ELEVATION	PSM	PROFESSIONAL SURVEYOR AND MAPPER
FND	FOUND	R	RADIUS
ID	IDENTIFICATION NUMBER	RLS	REGISTERED LAND SURVEYOR
IP	IRON PIPE	R/W	RIGHT-OF-WAY
IR	IRON ROD	WM	WATER METER
IRC	IRON ROD & CAP	&	AND
LB	LICENSED BUSINESS	@	AT
LS	LICENSED SURVEYOR	Δ	DELTA
M	MEASURED DATA	U	UTILITY POLE
MON	MONUMENT	⊙	FIRE HYDRANT
NAVD	NORTH AMERICAN VERTICAL DATUM	⊙	SEWER MANHOLE
NGVD	NATIONAL GEODETTIC VERTICAL DATUM	⊙	BACKFLOW PREVENTER
NO OR #	NUMBER	⊙	IRRIGATION VALVE
NTS	NOT TO SCALE	⊙	CLEAN OUT
		⊙	STREET LIGHT
		⊙	POWER TRANSFORMER

Closure Report 7/22/2018 17:17

NORTHING	EASTING	BEARING	DISTANCE
1140724.981	886107.986	S 74°18'26" W	84.290
1140702.183	886026.838	S 03°58'02" E	994.200
1139710.365	886095.624	S 18°22'12" E	997.370
1138763.820	886409.950	S 19°23'04" E	982.620
1137836.903	886736.088	S 33°06'10" E	420.300
1137484.822	886965.632	N 14°49'33" W	3351.745
1140724.981	886107.986		

Closure Error Distance > 0.0703
Total Distance > 6830.525
Closure Area: 607093.23 sq ft, 13.94 acres



94-77-A25-2
USGS DISK (1987)
N 1137484.821
E 886965.632

ARNOLD SURVEYING, INC.
PROFESSIONAL SURVEYORS & MAPPERS
FLORIDA LICENSED BUSINESS NUMBER 7903
4888 N. KINGS HIGHWAY #425, FORT PIERCE, FLORIDA 34981
24 VERDE VISTA, FORT PIERCE, FLORIDA 34981
PHONE (772) 460-8211 SURVEY@ASI-SURVEY.COM

NO.	DATE	BY	REVISION

CERTIFICATIONS
SID AND ELISSA GHEZZAR
ST. LUCIE COUNTY
FLORIDA
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DRAWN BY: CA
CHECKED BY: CA
DATE: 07/20/2018
HORIZONTAL SCALE: 1"=20'

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER.
SEAL
CHARLES ARNOLD
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA LICENSE NO. 4971
07/18/18
PRINTED DATE
SHEET 1 OF 1
PROJECT NO. 18-537