



Bldg. Permit # _____

COA# 18-43

Certificate of Appropriateness Application

Building & Site Information

Address of the Site: 515 South Indian River Drive
Parcel ID #: 2410-810-0001-000-9
Type of Designation: Contributing Non-contributing Site within the Rivers Edge Historic District
 Individually Designated Site, City Commission Resolution No. _____

Property Owner/ Applicant Information

Property Owner(s)
 Name(s): Crownman FL LLC
 Mailing Address: 10380 SW Village Center Drive, # 310, Port St Lucie, FL 34987
 Phone Number(s): On File Email: on File

Applicant
 Name(s): Kris Einstein
 Mailing Address: 207 Orange Ave, Ste A, FPR, FL ~~34987~~ 34950
 Phone Number(s): On file Email: On File

Representative
 Name(s): N/A
 Mailing Address: _____
 Phone Number(s): _____ Email: _____

Property Owner(s) Acknowledgements:- This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this Application and/or presentation to the Historic Preservation Board.

I / We, Walter + Cheryl Brett as Owner(s) of the subject property do hereby authorize the filing of this application on my/our behalf.

[Signature]
 Signature of Owner

5.12.18
 Date

Description of Requested Work

Please indicate the type of work requested:

- Fence
- Shed
- Door(s)
- Roof
- Window(s)
- Signage
- Shutter(s)
- Porch

- Rehabilitation
- New Construction
- Demolition
- Relocation

Site Improvements (describe) Build an Event Venue, 2 story building w/apt upstairs & workshop and bridal dressing downstairs and Gazebo

Other (describe) Fence along Indain River Drive

Please provide a detailed description of the proposed work to be performed: _____

Have other alterations been made to the site within the last 12 months? No Yes, _____

Will the proposed work require a Zoning Variance? No Yes, Code Section(s): _____

Changing from C-1 to PD in order to include the Event Venue

Application Requirements

- \$10.00 Application fee
- Site Plan with dimensions.
- Architectural Drawings:
 - Drawings should show all current and proposed floor plans and elevations, fences, walls, and any other landscape features.
 - Drawings should indicate materials to be used.
- Photos - One (1) color photograph of the main façade of the site and photographs of any areas affected by the proposed project.
- Material(s) specifications and/or sample(s)
- Color samples.
- Demolition – Plans for what will be taking the demolished structure’s place should be submitted.

SW 7551
Greek Villa

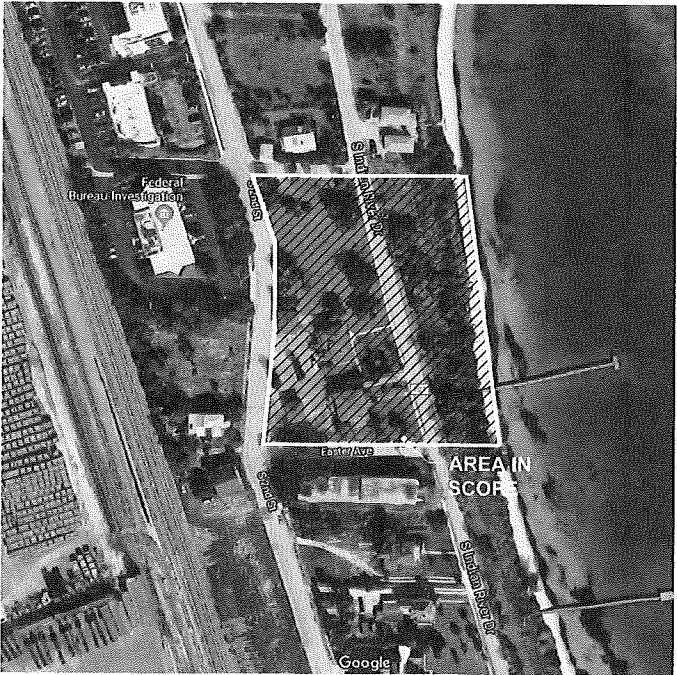
254-C1

SW 7671
On the Rocks

255-C7

PLAN DEVELOPMENT REVIEW FOR:

FORT PIERCE EVENT CENTER



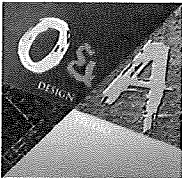
INDEX

SHEET #	DESCRIPTION
0-0	COVER SHEET
SP-1	NORTH SITE PLAN
SP-2	SOUTH SITE PLAN
A-1	PAVILION FLOOR PLAN
A-2	WORKSHOP FLOOR PLANS
A-3	PAVILION ELEVATIONS
A-4	WORKSHOP ELEVATIONS
A-5	GAZEBO FLOOR PLAN & ELEVATION

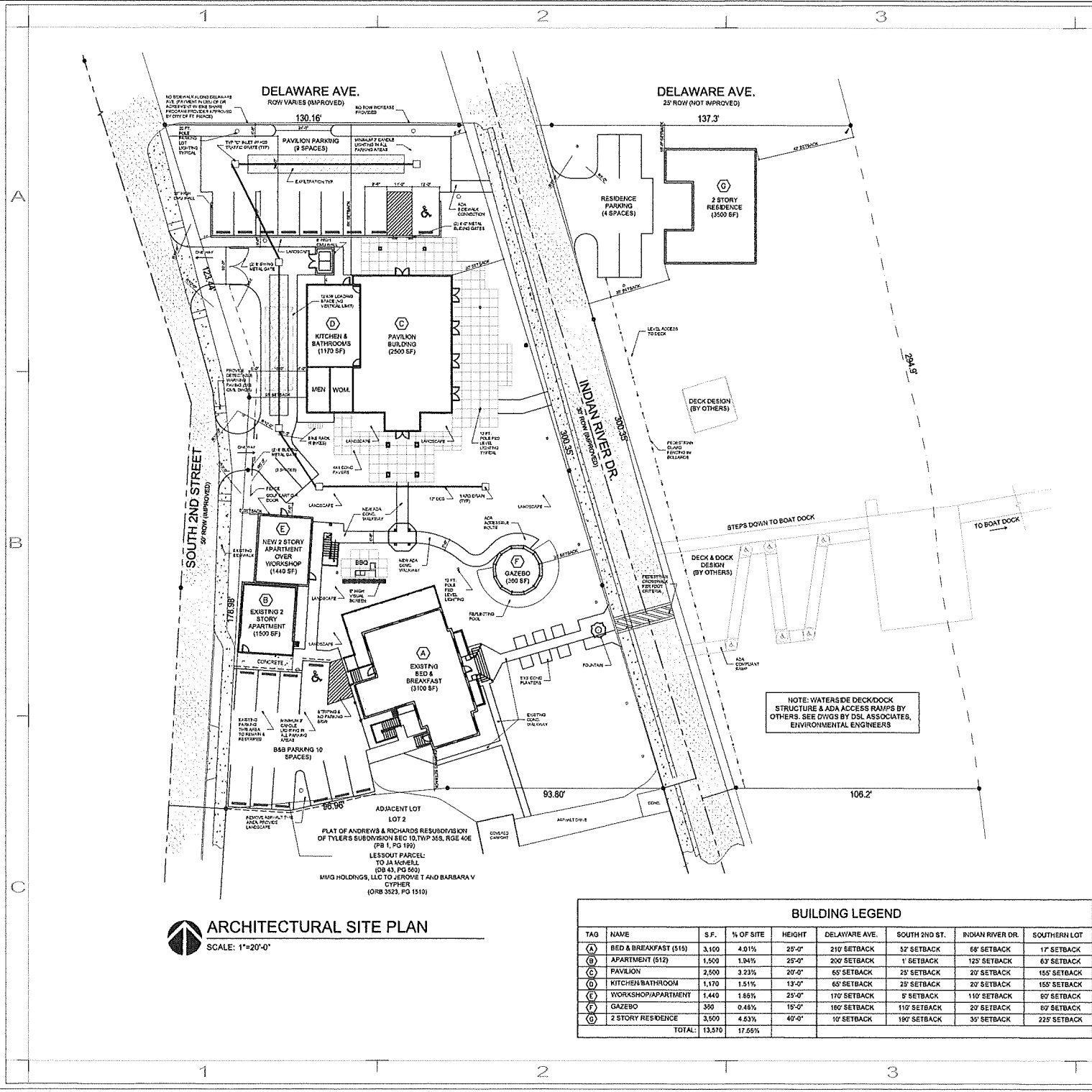
515 S INDIAN RIVER DR, FORT PIERCE,
FLORIDA

5/13/18

C-18122



RAUL OCAMPO & ASSOCIATES, LLC
ARCHITECTURE | URBAN DESIGN
PLANNING | INTERIORS
404 SOUTH GULF AVENUE, SUITE 6, 3492
FORT PIERCE, FLORIDA 34942
WWW.OCA300.NET



DELAWARE AVE.
ROW VARIES (IMPROVED)
130.16'

DELAWARE AVE.
25' ROW (NOT IMPROVED)
137.3'

SOUTH 2ND STREET
50' ROW (IMPROVED)
178.88'

INDIAN RIVER DR.
300.50' ROW (IMPROVED)
300.50'

ARCHITECTURAL SITE PLAN
SCALE: 1"=20'-0"

BUILDING LEGEND						
TAG	NAME	S.F.	% OF SITE	HEIGHT	DELAWARE AVE.	SOUTH 2ND ST.
(A)	BED & BREAKFAST (515)	3,100	4.81%	25'-0"	21' SETBACK	37' SETBACK
(B)	APARTMENT (512)	1,500	1.94%	25'-0"	20' SETBACK	1' SETBACK
(C)	PAVILION	2,500	3.23%	20'-0"	63' SETBACK	23' SETBACK
(D)	KITCHEN/BATHROOM	1,170	1.51%	13'-0"	63' SETBACK	23' SETBACK
(E)	WORKSHOP/APARTMENT	1,440	1.86%	25'-0"	11' SETBACK	9' SETBACK
(F)	GAZEBO	350	0.45%	15'-0"	18' SETBACK	11' SETBACK
(G)	2 STORY RESIDENCE	3,500	4.53%	40'-0"	10' SETBACK	19' SETBACK
TOTAL:		13,570	17.69%			

SITE DATA	
LOCATION:	PARCELS 1 THROUGH 5 AB LOWRY'S SUBDIVISION TOWNSHIP 35 50 'LOT 4' SECTION 10 RANGE 40
ADDRESS:	515 SOUTH INDIAN RIVER DRIVE FT. PIERCE, FLORIDA 34850
IMPERVIOUS AREA:	
BUILDING COVERAGE:	13,570 S.F. 17.6%
SIDEWALK/PEDESTRIAN AREAS:	11,468.5 S.F. 14.9%
DRIVES & PARKING AREA:	11,832 S.F. 15.3%
TOTAL:	36,870.5 S.F. 47.8%
PERVIOUS AREA:	
LANDSCAPE AREA:	40,350 S.F. 52.2%
OPEN SPACE: (LANDSCAPE + SIDEWALK/PED. AREA)	51,588 S.F.
TOTAL SITE AREA:	(1.77 ACRES) 77,240.5 S.F.
ZONING:	EXISTING: C-1 - OFFICE COMMERCIAL PROPOSED: PD - PLANNED DEVELOPMENT
FUTURE LAND USE:	EXISTING: CBD CENTRAL BUSINESS DISTRICT PROPOSED: CBD CENTRAL BUSINESS DISTRICT
NOI:	PAVILION 2,500 KITCHEN WORKSHOP 1,170 GAZEBO 350 TOTAL 5,020 = D07 F.A.R.
MAX LOT COVERAGE:	EXISTING: 60% PROPOSED: 47.8%
MAXIMUM HEIGHT:	EXISTING: 65 FEET PROPOSED: 40 FEET
RESIDENTIAL DENSITY ALLOWANCE:	EXISTING: 30 DWELLING UNITS/ACRE RESIDENTIAL USES SHALL COMPREHEND A MIN. 25% OF TOTAL FLOOR AREA OF CBD FUTURE LAND USE DESIGNATION PROPOSED: 6 DUS TOTAL = 320 DUS/ACRE

PARKING CALCULATIONS			
REQUIRED			
CODE DOES NOT HAVE A DESIGNATION FOR EVENT CENTER. PROPOSED REQUIREMENT 1200 S.F. ASSEMBLY.			
USE	S.F.	PARKING RATE	SPACES REQUIRED
BED & BREAKFAST (515)	3,100	1/BR	7
APARTMENT (512)	1,500	2/UNIT	2
PAVILION (1)	1,300	1/40 S.F.	33
KITCHEN/BATHROOM	1,170	1/EMPL.	0
WORKSHOP/APARTMENT	1,440	2/UNIT	2
2 STORY RESIDENCE	3,500	2/UNIT	3
			TOTAL: 47
HANDICAP SPACES REQUIRED: 2 HANDICAP SPACES PROVIDED: 2			
PROVIDED			
ON SITE PARKING	25 SPACES		
ON STREET PARKING	0 SPACES		
(2) OFF SITE PARKING	22 SPACES		
			TOTAL: 47 SPACES
			REQUIRED: 47 SPACES
FOOTNOTES:			
(1) 2500 SF MINUS 1200 ONE TIME PARKING CREDIT = 1300 SF			
(2) PARKING AGREEMENT W/ ADJACENT VACANT LOT W/ VALET PARKING ON 2ND ST.			

CONCEPTUAL STORM WATER STATEMENT

- RUNOFF FROM THE EXISTING SITE PRESENTLY SHEET FLOWS OFFSITE WITH NO RETENTION.
- THE BED AND BREAKFAST DEVELOPMENT AREA WILL DRAIN AS THE EXISTING CONDITION (APPROXIMATELY THE SOUTH 1/3 OF THE PROJECT AREA).
- THE PROPOSED EVENTS CENTER DRAINAGE AREA (APPROXIMATELY THE NORTH 2/3 OF THE PROJECT AREA) SHALL INCLUDE A STORM WATER MANAGEMENT SYSTEM WHICH WILL CONSIST OF SITE GRADING AND A SERIES OF INLETS AND CULVERTS WHICH DIRECTS STORM WATER RUNOFF TO A PROPOSED DRY RETENTION "INFILTRATION" SYSTEM. THE PROPOSED DRY RETENTION SYSTEM SHALL BE SIZED TO PROVIDE FULL WATER QUALITY TREATMENT PER CITY OF FT. PIERCE CRITERIA AND RETENTION OF A 25 YEAR "DESIGN" STORM EVENT PER CITY OF FT. PIERCE CRITERIA. THE PROPOSED INFILTRATION TRENCH SYSTEM SHALL INCORPORATE A MAINTENANCE PLAN PER CITY OF FT. PIERCE CRITERIA.
- PROPOSED HABITABLE BUILDING STRUCTURES SHALL BE SET AT OR ABOVE THE 100 YEAR STORM OR FEMA, WHICHEVER IS HIGHER.
- ALL CONSTRUCTION WILL COMPLY W/ SECTIONS 17 & 22 OF CITY OF FT. PIERCE CODE OF ORDINANCES - STEPHEN COOPER P.E. LIC #48557



RAIL OCCAMPO & ASSOCIATES, L.L.C.
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401 SOUTH WASHINGTON AVE.
SUITE 100
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REGISTERED ARCHITECT IN THE STATES OF
FLORIDA, ILLINOIS, MISSISSIPPI, MISSOURI,
NEBRASKA, NORTH CAROLINA, SOUTH CAROLINA,
TEXAS, VIRGINIA, AND WISCONSIN

ARCHITECTURE
PLANNING & INTERIORS
ARCHITECTURE
DESIGN
PLANNING & INTERIORS
ARCHITECTURE

STATE OF FLORIDA
RAIL OCCAMPO, JR.
6577
REGISTERED ARCHITECT

REVISIONS:

Date	Description

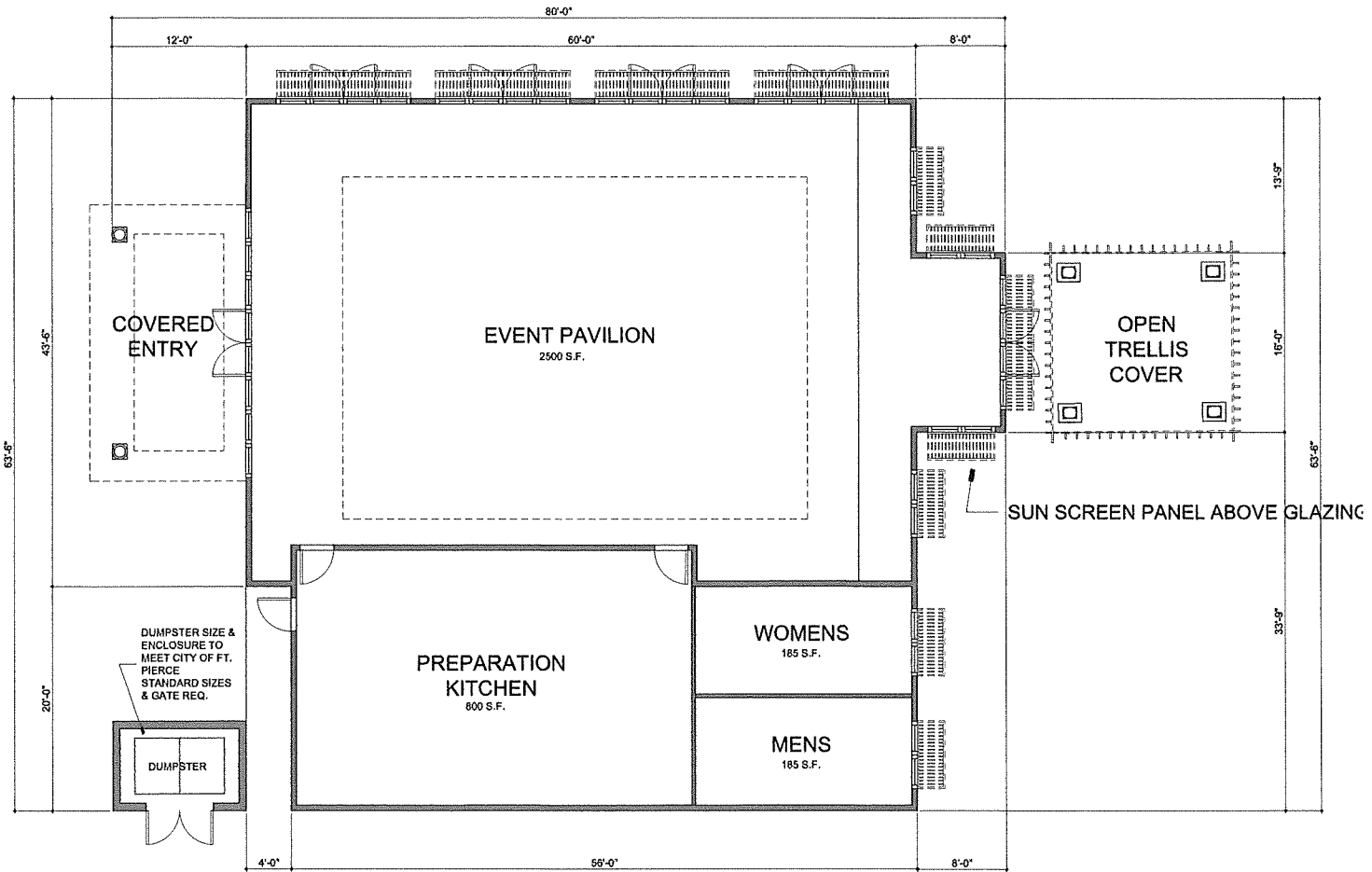
CONTRACT DOCUMENTS FOR:
FT. PIERCE EVENT CENTER
ADDRESS:
515 S 2ND AVENUE FT PIERCE FL

SITE PLAN

Drawn by	xx	Date	Checked by

C-18122

SP-1



ARCHITECTURAL FLOOR PLAN
 SCALE: 3/16"=1'-0" PRELIMINARY

BUILDING CALCULATIONS	
EVENT PAVILION	2500 S.F.
KITCHEN	800 S.F.
BATHROOMS	370 S.F.
TOTAL	3670 S.F.



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 WWW.OCCAMPO.COM

REGISTERED PROFESSIONAL ARCHITECTS
 STATE OF FLORIDA
 LICENSE NO. 12587
 RAUL OCCAMPO, P.C.
 STATE OF FLORIDA
 LICENSE NO. 12588
 JENNIFER M. OCCAMPO, P.C.

ARCHITECTURE
 URBAN DESIGN
 PLANNING INTERIORS
 ARCHITECTURE
 URBAN DESIGN
 PLANNING INTERIORS
 ARCHITECTURE

NO.	DATE	DESCRIPTION
1	11/11/11	ISSUE FOR PERMITS
2	11/11/11	ISSUE FOR PERMITS
3	11/11/11	ISSUE FOR PERMITS
4	11/11/11	ISSUE FOR PERMITS
5	11/11/11	ISSUE FOR PERMITS
6	11/11/11	ISSUE FOR PERMITS
7	11/11/11	ISSUE FOR PERMITS
8	11/11/11	ISSUE FOR PERMITS
9	11/11/11	ISSUE FOR PERMITS
10	11/11/11	ISSUE FOR PERMITS



REVISIONS:	
Date	Description

CONTRACT DOCUMENTS FOR:
FT. PIERCE EVENT CENTER
 ADDRESS:
 515 S 2ND AVENUE, FT. PIERCE, FL.

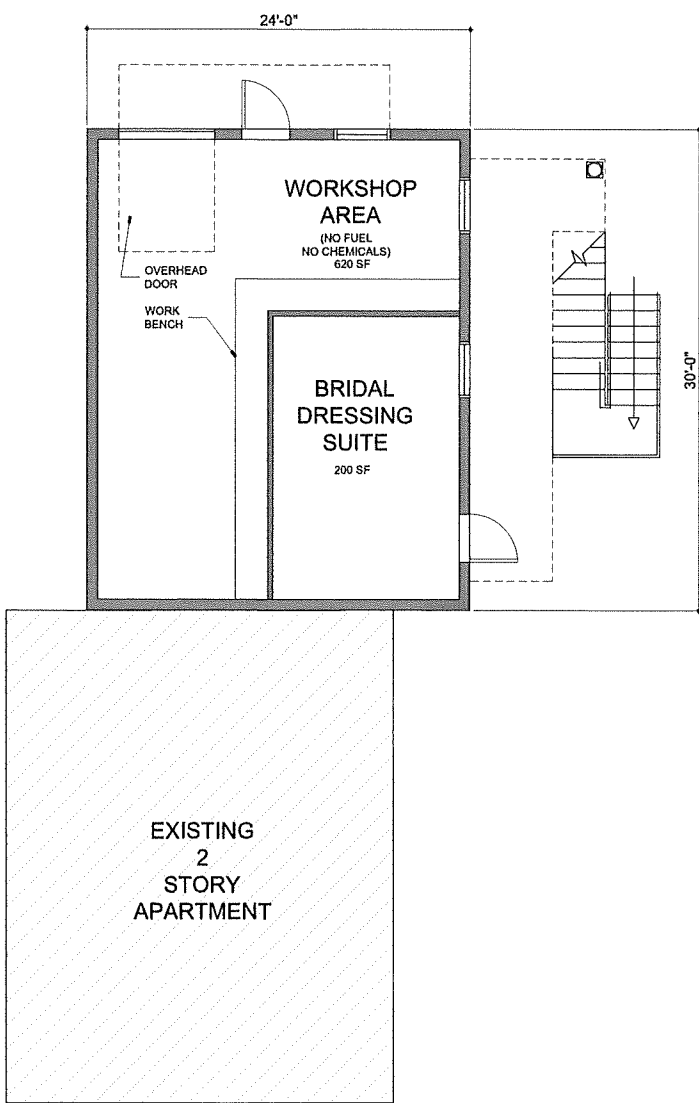
PAVILION FLOOR PLAN

NO.	DATE	DESCRIPTION
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4	11/11/11	ISSUE FOR PERMITS
5	11/11/11	ISSUE FOR PERMITS
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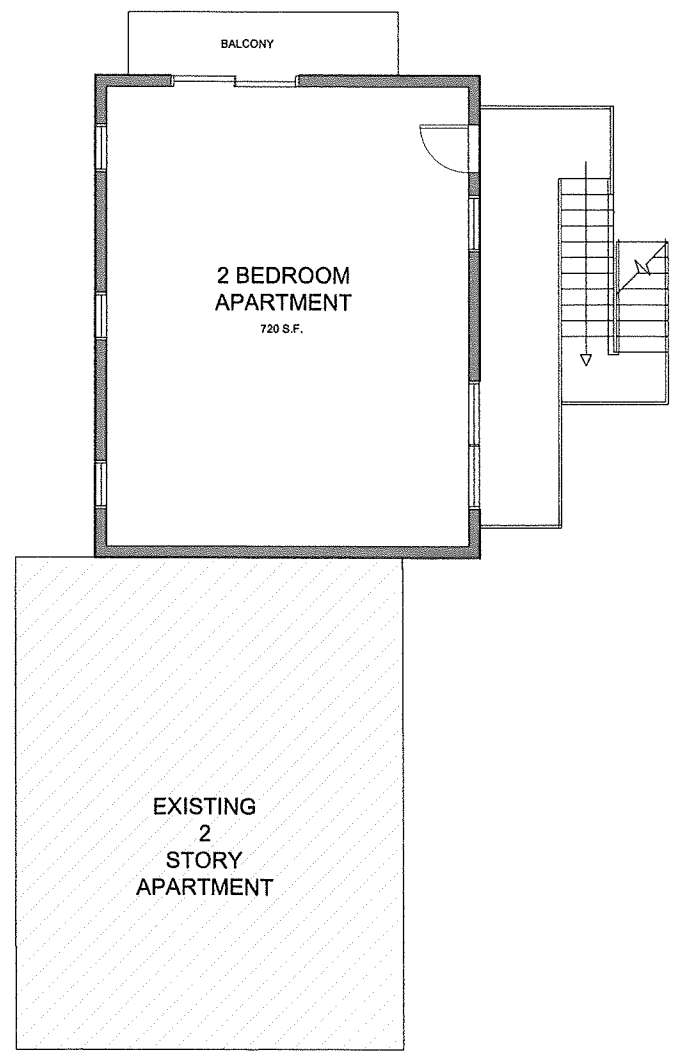
JOB # 11-11-11-11

C-18122

A-1



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0" PRELIMINARY



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0" PRELIMINARY

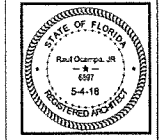


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DESIGN
DESIGN

DATE	DESCRIPTION



REVISIONS:

Date	Description

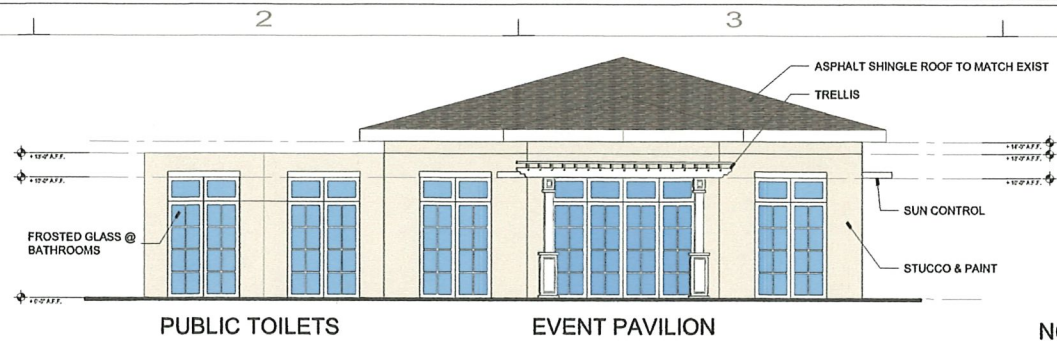
CONTRACT DOCUMENTS FOR:
FT. PIERCE EVENT CENTER
ADDRESS:
515 S. 2ND AVENUE, FT. PIERCE, FL

WORKSHOP FLOOR PLANS

DATE	BY	CHKD	DATE

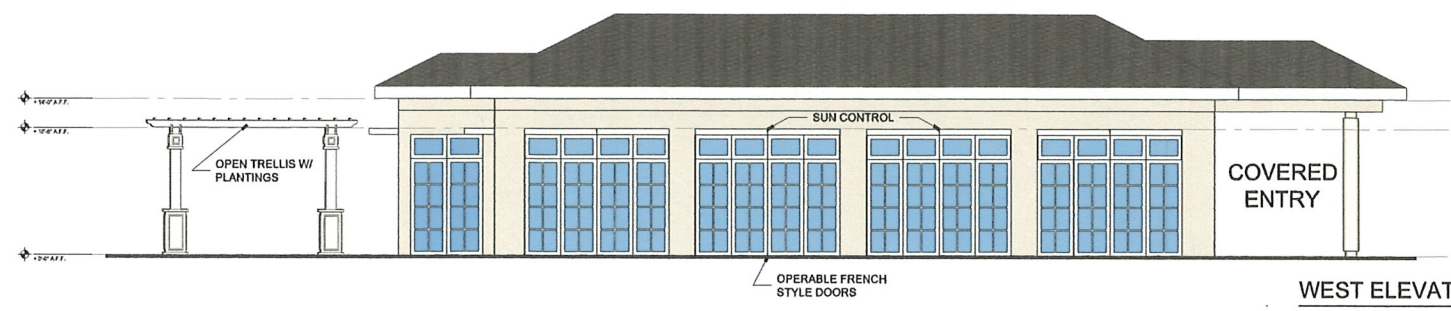
C-18122

A-2



NORTH ELEVATION
SCALE: 3/16"=1'-0" PRELIMINARY

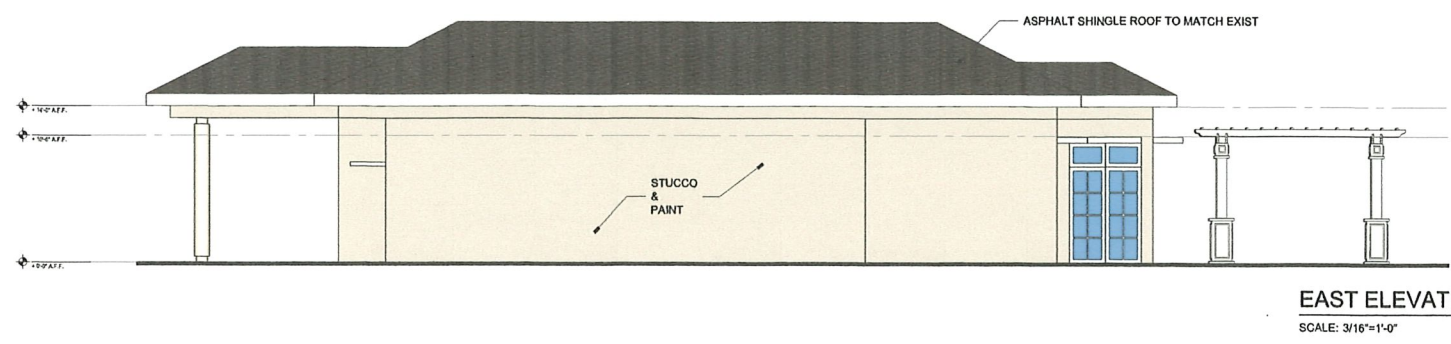
ROOF COLOR TO MATCH EXISTING
WALL COLOR: ROY-CROFT MIST GRAY (SHERWIN WILLIAMS)
TRIM COLOR: CALSSICAL WHITE (SHERWIN WILLIAMS)



WEST ELEVATION
SCALE: 3/16"=1'-0" PRELIMINARY



SOUTH ELEVATION
SCALE: 3/16"=1'-0" PRELIMINARY



EAST ELEVATION
SCALE: 3/16"=1'-0" PRELIMINARY



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REGISTERED ARCHITECTS IN THE FOLLOWING STATES:
ARIZONA, CALIFORNIA, COLORADO, FLORIDA, GEORGIA,
ILLINOIS, INDIANA, IOWA, KANSAS, MISSISSIPPI,
MISSOURI, NEBRASKA, NORTH CAROLINA, TEXAS, VIRGINIA

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ARCHITECTURE
URBAN DESIGN
PLANNING INTERIORS
ARCHITECTURE

PAUL OCAMPO, ARCHITECT
R. J. OCAMPO, ARCHITECT
C. J. OCAMPO, ARCHITECT
M. J. OCAMPO, ARCHITECT
D. J. OCAMPO, ARCHITECT
S. J. OCAMPO, ARCHITECT
K. J. OCAMPO, ARCHITECT
L. J. OCAMPO, ARCHITECT
J. J. OCAMPO, ARCHITECT
I. J. OCAMPO, ARCHITECT
H. J. OCAMPO, ARCHITECT
G. J. OCAMPO, ARCHITECT
F. J. OCAMPO, ARCHITECT
E. J. OCAMPO, ARCHITECT
D. J. OCAMPO, ARCHITECT
C. J. OCAMPO, ARCHITECT
B. J. OCAMPO, ARCHITECT
A. J. OCAMPO, ARCHITECT



REVISIONS:

Date	Description

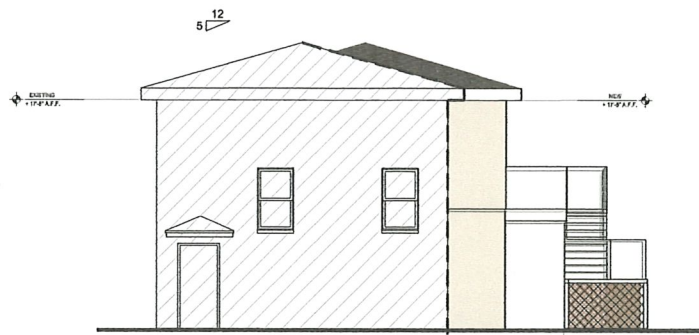
CONTRACT DOCUMENTS FOR:
FT. PIERCE EVENT CENTER
ADDRESS:
515 S. 2ND AVENUE, FT. PIERCE, FL.

PAVILION ELEVATIONS

Drawn by	xx	Date	xx
DESIGN	xx/xx/xx	xx/xx/xx	xx
CD	xx/xx/xx	xx/xx/xx	xx
BD	xx/xx/xx	xx/xx/xx	xx

JOB # 14-12 (ARCHITECT)
C-18122

A-3



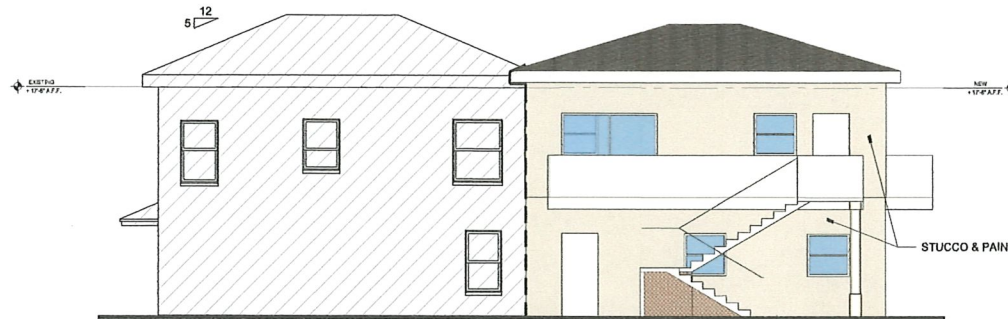
EXISTING ◀▶ NEW

NORTH ELEVATION

SCALE: 3/16"=1'-0"

PRELIMINARY

ROOF COLOR TO MATCH EXISTING
 WALL COLOR: ROYCROFT MIST GRAY (SHERWIN WILLIAMS)
 TRIM COLOR: CLASSICAL WHITE (SHERWIN WILLIAMS)



EXISTING ◀▶ NEW

WEST ELEVATION

SCALE: 3/16"=1'-0"

PRELIMINARY

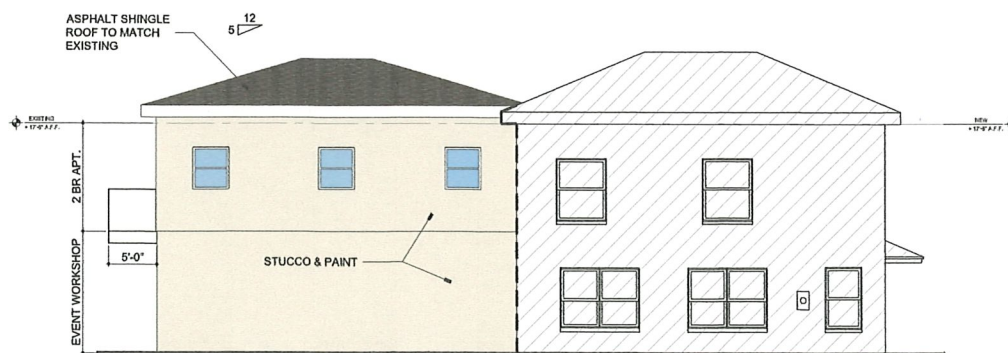


NEW ◀▶ EXISTING

SOUTH ELEVATION

SCALE: 3/16"=1'-0"

PRELIMINARY



NEW ◀▶ EXISTING

EAST ELEVATION

SCALE: 3/16"=1'-0"

PRELIMINARY



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 MISSISSIPPI, TEXAS

ARCHITECTURE
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 ARCHITECTURE
 URBAN DESIGN
 PLANNING INTERIORS
 ARCHITECTURE

Professional Seal of the State of Florida, Registered Professional Architect, No. 6997, 5-4-18.



REVISIONS:

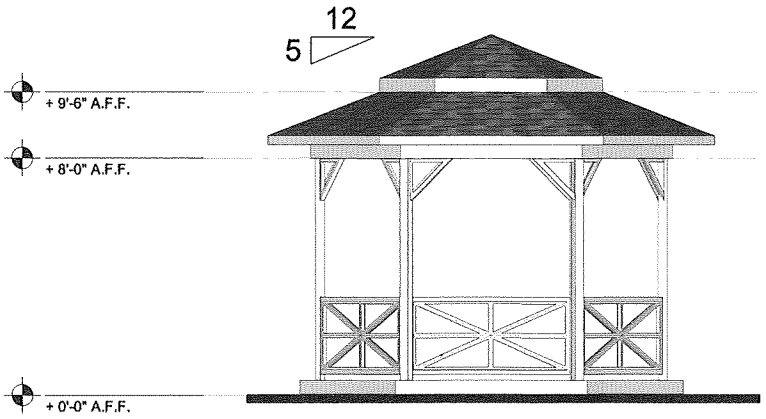
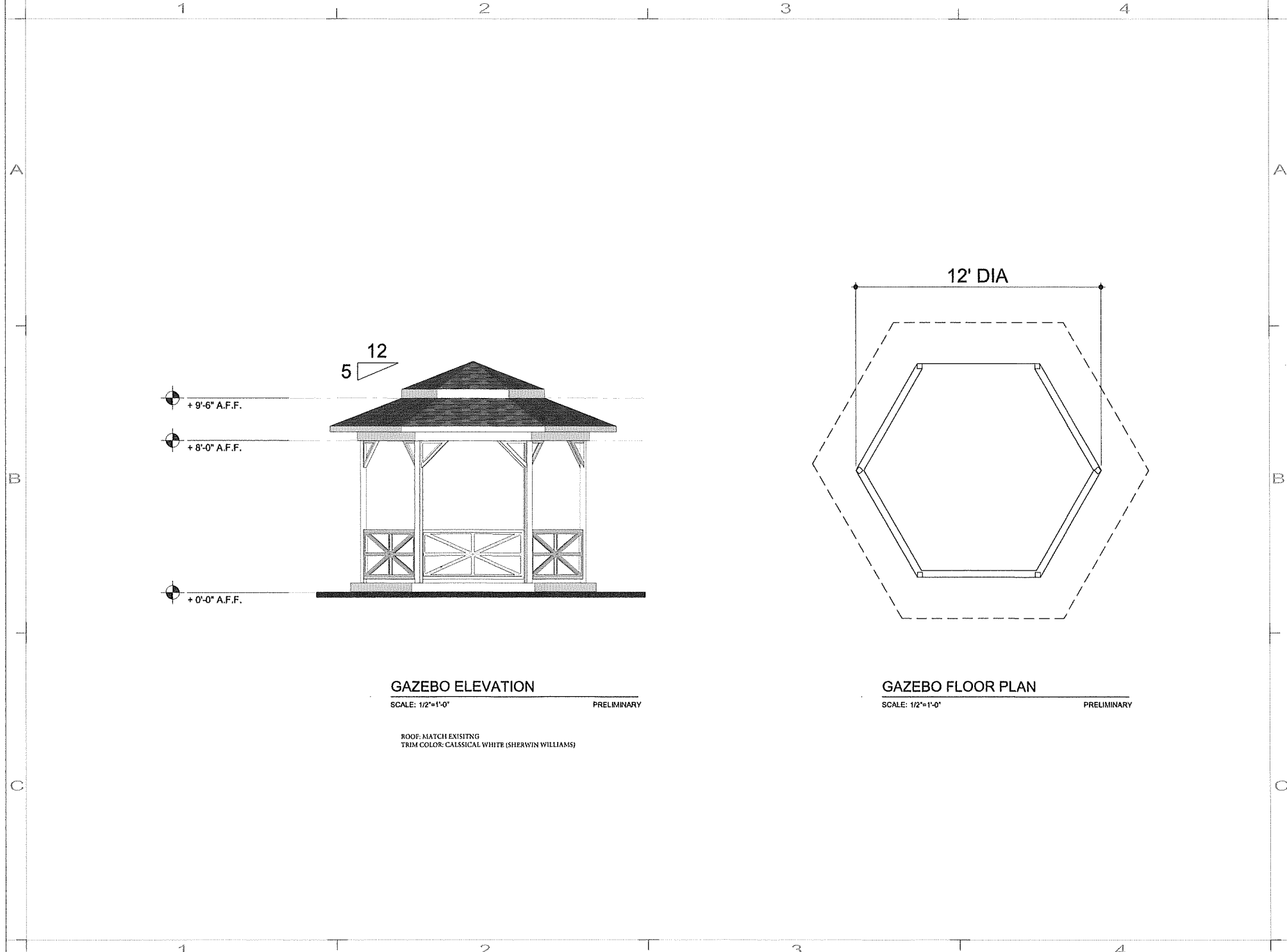
Date	Description

CONTRACT DOCUMENTS FOR:
FT. PIERCE EVENT CENTER
 ADDRESS:
 515 E. 2ND AVENUE, FT. PIERCE, FL

WORKSHOP ELEVATIONS

Drawn by	XX	Date	Created by

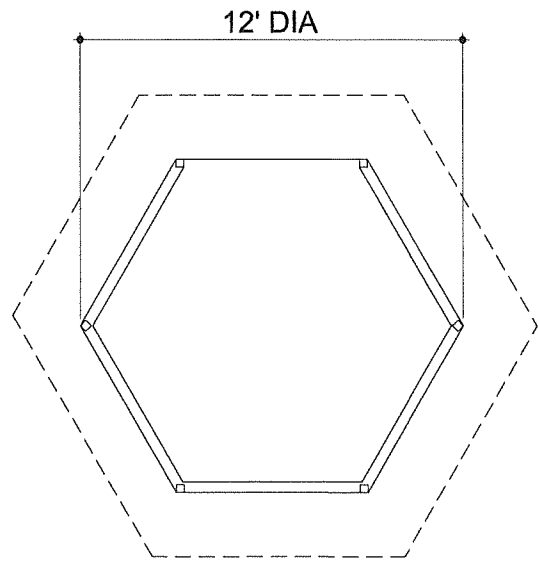
JOB # 18-1122
C-18122
 A-4



GAZEBO ELEVATION

SCALE: 1/2"=1'-0" PRELIMINARY

ROOF: MATCH EXISTING
TRIM COLOR: CALSSICAL WHITE (SHERWIN WILLIAMS)



GAZEBO FLOOR PLAN

SCALE: 1/2"=1'-0" PRELIMINARY

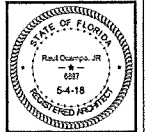


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MILWAUKEE, WI 53212
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REGISTERED IN THE FOLLOWING STATES:
COLORADO, FLORIDA, GEORGIA,
N. CAROLINA, TEXAS, MISSISSIPPI

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MILWAUKEE, WI 53212
WWW.O&A.COM



REVISIONS:

Date	Description

CONTRACT DOCUMENTS FOR:
FT. PIERCE EVENT CENTER
ADDRESS:
515 S. 2ND AVENUE, FT. PIERCE, FL

GAZEBO FLOOR PLAN AND ELEVATION

Quantity	Unit	Date	Created By
1	EA	2-1-20	RA
1	CD	2-1-20	RA
1	SD		

Job # 18-1122
C-18122

A-5

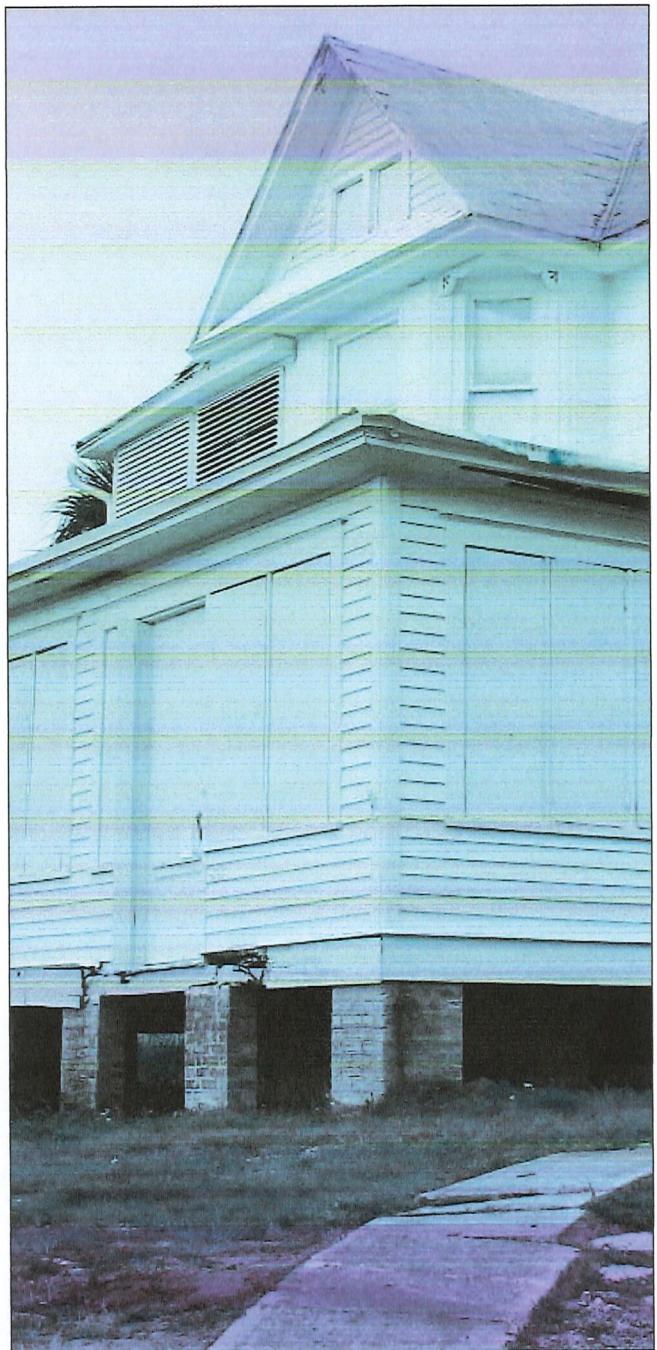
PRESERVING HISTORY AND RESPECTING PROPERTY RIGHTS

Charrette participants made it clear: They wish to safeguard both.

Edgartown and River's Edge are two of the City's historic districts.

These districts generated ample debate during the charrette. After long discussions regarding character and value, the cost of bringing back structures to habitable condition, maintenance, ownership, and discrepancies between what is built and what current zoning dictates, there was clear consensus: the community wishes to preserve these districts and their structures, and preserve landowners' property rights.

The team of professionals conducted a thorough analysis of both districts and all existing structures, and compared them to existing zoning regulations. Despite some discrepancies regarding the amount some believe current zoning allows, there are inconsistencies between current zoning and the actual built environment (the historic structures). In general, current zoning allows for more development than these structures represent. But this same zoning presents many more restrictions (e.g. setbacks, parking) than were present at the time these structures were built.





This chapter will not analyze why such discrepancies exist. Rather, it will propose a series of strategies to preserve the districts, their character and scale, while addressing existing development rights. It will also suggest strategies to accomplish the community's vision without incurring into Bert Harris Act takings issues.

Opposite Page: Left: The Citizens' Master Plan and a strategy to preserve existing historic structures, fulfill property rights and enhance the public realm in both historic districts.

Right: A series of images depicting single and multi family residential buildings typical of both historic districts.

This Page: Images of buildings and their use, scale, and character built under current zoning regulations for the historic district. While the districts have historic designation, current regulations are not consistent with existing structures, and have yielded buildings of a very different scale, massing, and character. The resulting pattern of development is more consistent with suburban areas than with the City's traditional downtown.



THE ZONING “GAP”

A series of diagrams representative of what current zoning yields will help to explain the “gap” between the historic built environment, and what zoning currently allows.

These diagrams will also make evident how other variables – e.g. parking and setback requirements – affect overall development, reducing perceived development rights and negatively impacting the character of the districts.

It is important to note that the following analysis is preliminary in nature. If the City decides to pursue the report’s recommendations, an in-depth zoning analysis must be conducted prior to any modifications to existing regulations.

AN ANALYSIS OF THE CITY’S ZONING CODE:

The following diagrams depict an imaginary parcel along Indian River Drive, in one of the historic districts. The parcel, straddling both sides of Indian River Drive (much like many parcels currently do in the River’s Edge district), is shown as a vacant parcel to illustrate different development scenarios under the current zoning.

Current regulations in this particular case require side setbacks of 15’ on each side, 25’ front setback, 15’ rear setback. A simple formula allows 60% of the total par-

cel (without encroaching on setbacks) to be developed to a height of up to 65’.

This relatively simple language has led many to believe that the entire area can be built up to six stories of commercial or residential uses.

But all uses, and especially commercial uses, need parking, which is also required by code.

The diagrams that follow “test” how parking affects the ability to develop all parcels within these districts.

The first series, (Image I), shows a one story building occupying 60% of the land, leaving all required setbacks.

It quickly becomes evident that the entire lot on the waterfront side needs to be paved and dedicated to fulfilling parking requirements for this single story commercial building. With no additional space to accommodate parking, it is not possible to build additional height, despite the code’s allowance. *Note: The location of parking here is arbitrary, it could be placed on the western parcel.*

Density is an element that also restricts building size. In Edgartown, a maximum of 15 units to the acre (du/ac) - a relatively low density for multi-family developments - restricts the ability to go up in height. This density is too low to develop a six story building, unless the units being built are excessively large, risking market absorption.

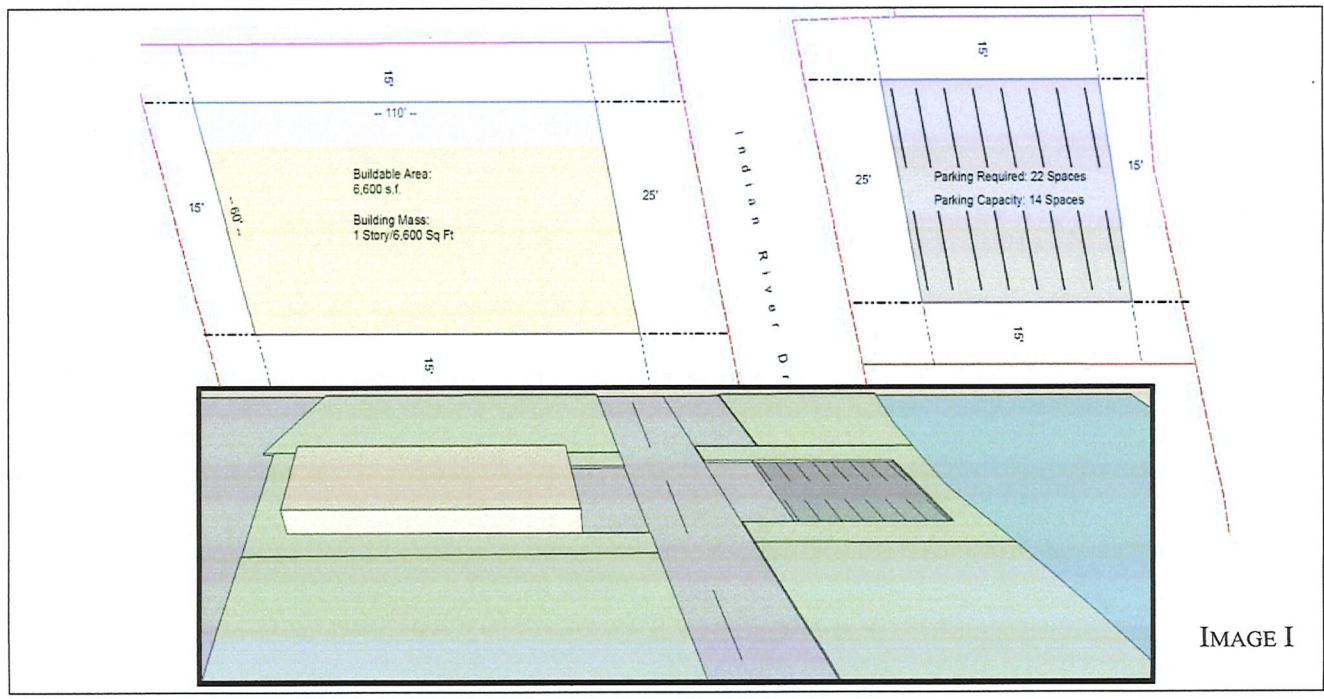


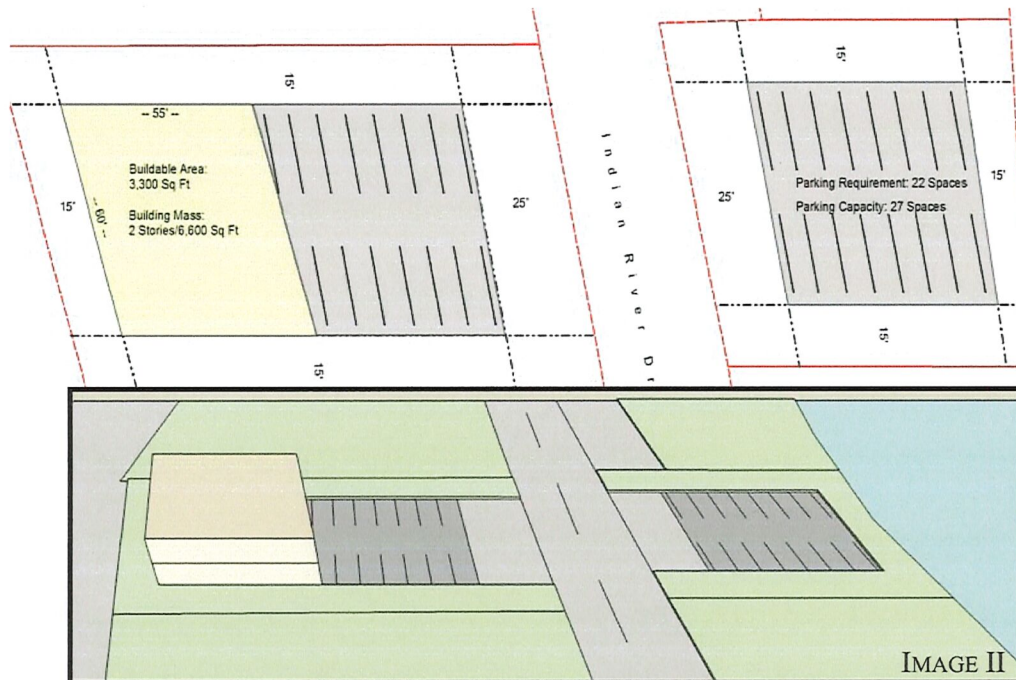
IMAGE I

The second series (Image II) shows a two story footprint. Only a 3,300sf floor plate results buildable when parking for 6,600sf of commercial space is accommodated.

As the habitable area increases, parking requirements increase, and the buildable footprint decreases. It is evident in this diagram that the waterfront parcel and half of the western parcel are necessary to accommodate parking.

This pattern of development, commonly referred to as a "sea of asphalt" scenario, is typical of sprawling, suburban developments, and totally inconsistent with the traditional and historic pattern within these districts.

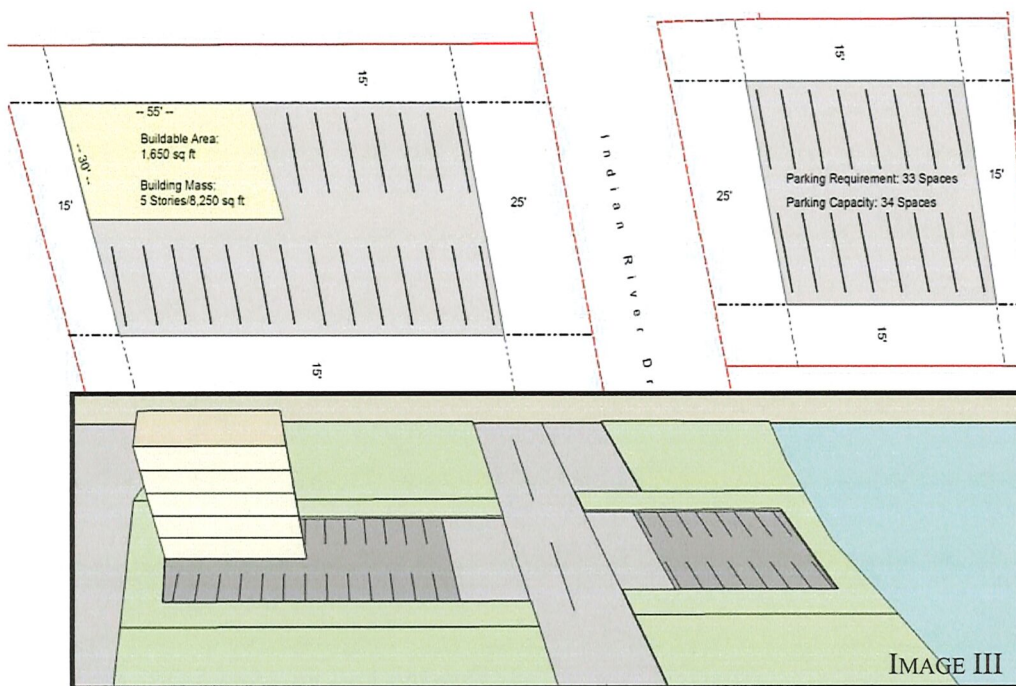
A perfect example of the impact of current zoning is visible in the commercial buildings currently existing south of Citrus Ave.



The third and last series (Image III) shows a 65' tall building, the maximum allowed under the current code. This scenario, just like the others, still needs to be parked. Once parking is factored in, the buildable floor plate is of only 1,650 sf.

These diagrams show that it is possible to achieve the height permitted under the current code, but the pattern of development is totally inconsistent with the character the community wishes to preserve.

They also show that more height does not necessarily equate to more square footage.



The consequence of implementing this type of zoning is an environment that is not walkable environment, where parking erodes the existing fabric that community and local leaders worked so hard to achieve.

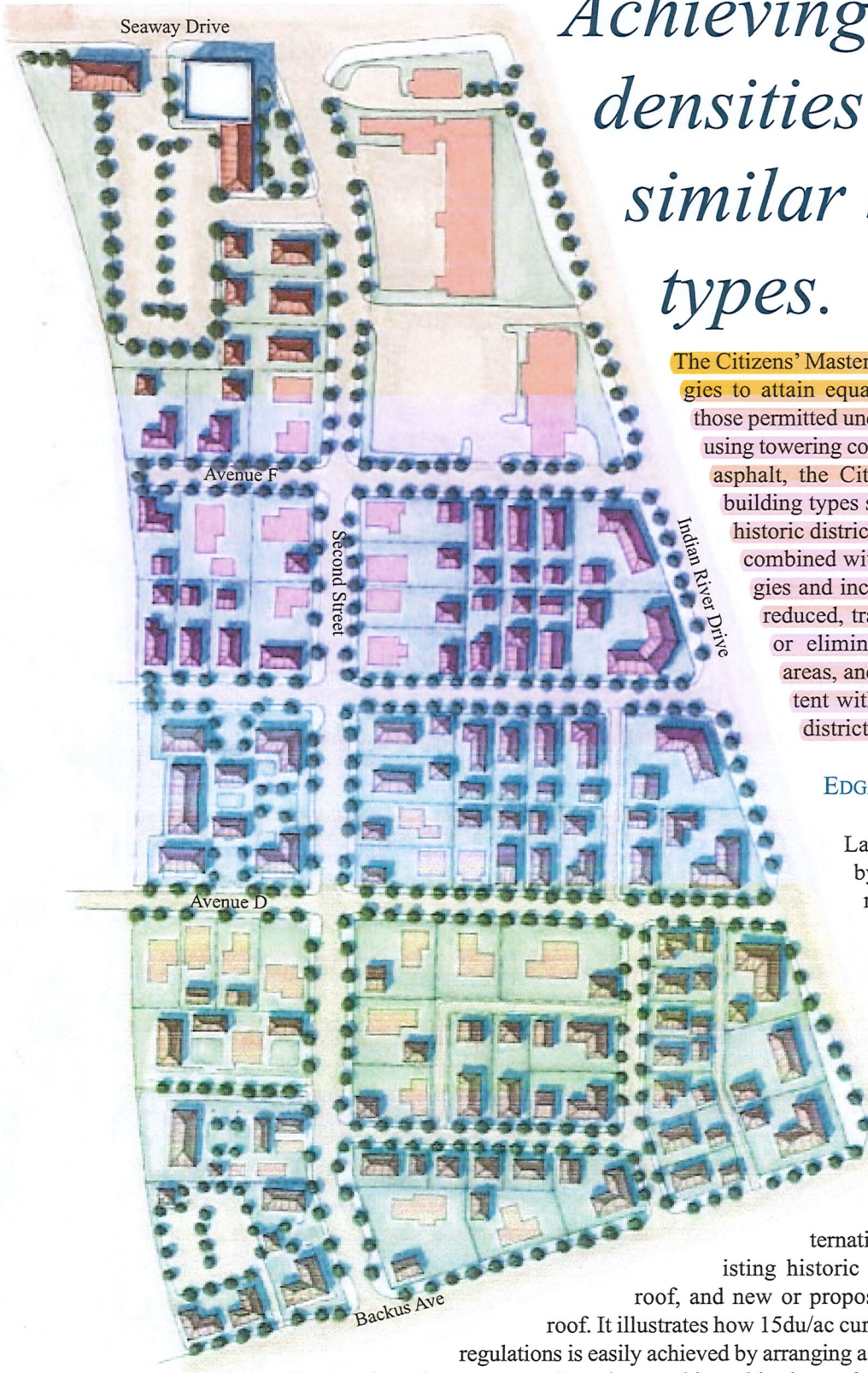
Achieving higher densities using similar building types.

The Citizens' Master Plan suggests different strategies to attain equal densities and intensities to those permitted under current zoning. Rather than using towering commercial boxes surrounded by asphalt, the Citizens' Master Plan proposes building types similar to those existing in the historic districts today. These building types, combined with district-wide parking strategies and incentives (parking requirements reduced, transferred to off-site locations, or eliminated), yield equal buildable areas, and a scale and character consistent with the historic character of the districts.

EDGARTOWN:

Large parcels can be developed by platting smaller lots, building more than one structure per parcel consistent in scale and character with others in the district, and eliminating on-site parking requirements (only as an incentive to those fulfilling the spirit and intent of the Citizens' Master Plan). New, incentive-based zoning regulations need to be drafted to allow for this alternative.

The master plan shows existing historic structures without a hatched roof, and new or proposed structures with a hatched roof. It illustrates how 15du/ac currently indicated under existing regulations is easily achieved by arranging a series of multifamily buildings in a cluster pattern. In order to achieve this cluster development, on-site parking requirements are removed, and parking is dealt with in a district-wide basis. Additionally, setback requirements are sig-



nificantly reduced. These incentive-based strategies to densify and intensify historic parcels are simple, based on design, and can yield much higher returns on investment given the uniqueness and character of the resulting environment. The City of Delray Beach is a great example of a local government that has adopted this approach towards preservation.

Intensifying, by adding structures within existing, developed parcels.

The Citizens' Master Plan additionally proposes infill strategies to make "better neighbors" out of the existing multi-story commercial buildings embedded within the low-scale historic districts (shown in page II-5).

RIVER'S EDGE

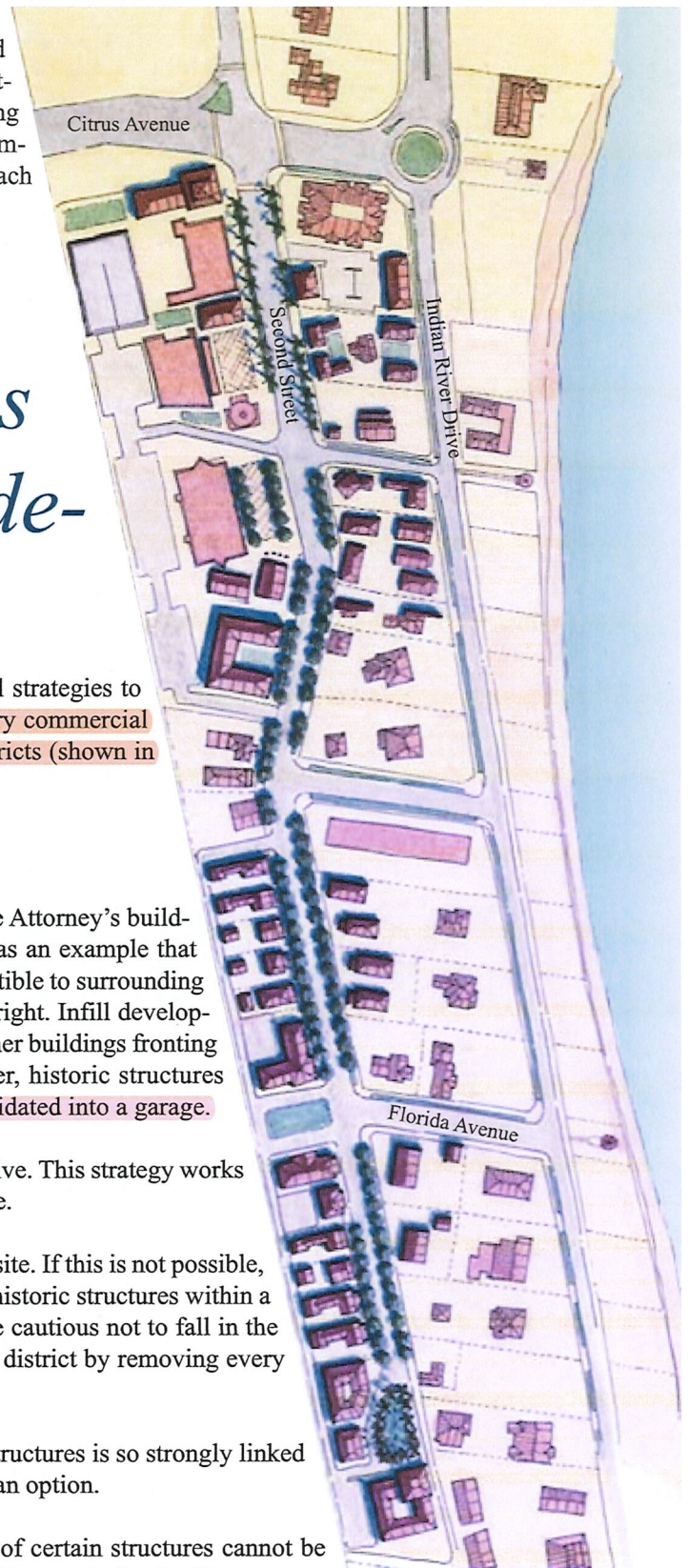
A strategy to make the scale and character of the State Attorney's building on 2nd Street and Citrus Avenue (used here just as an example that can be applied to other similar structures) more compatible to surrounding historic structures is shown in the Master Plan to the right. Infill development, in the form of hardscaped plazas, greens, and liner buildings fronting 2nd Street are used to better respond to other smaller, historic structures across the street. In this case, parking becomes consolidated into a garage.

Relocating historic structures is also a feasible alternative. This strategy works for a few buildings, when no other alternative is viable.

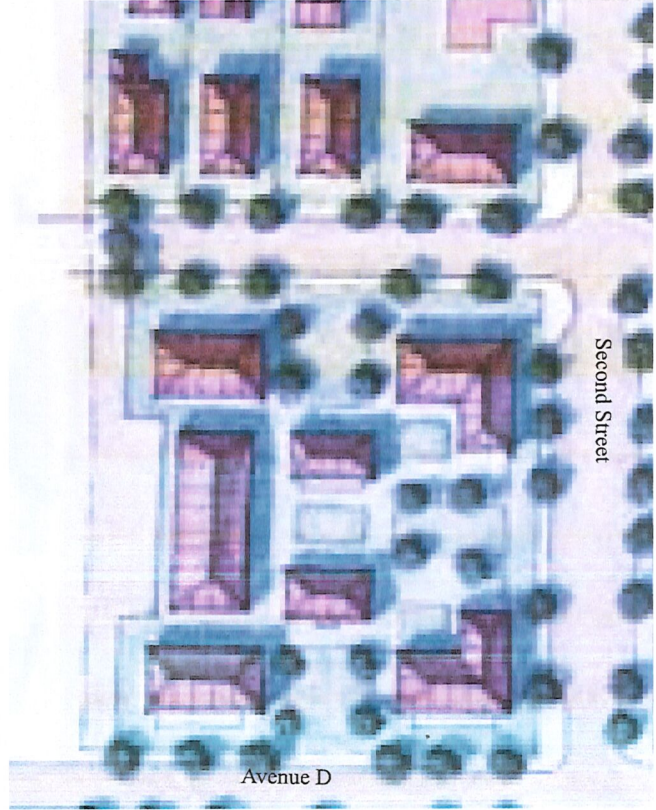
Ideally structures should be relocated within the same site. If this is not possible, they should remain within the same district. Keeping historic structures within a certain district is very important. The City needs to be cautious not to fall in the "trap" of implementing a strategy to "save" a historic district by removing every historic structure in it.

It is also important to note that the history of certain structures is so strongly linked to the sites in which they sit, that moving them is not an option.

If a determination/agreement of historic significance of certain structures cannot be reached locally, advice from expert consultants should be sought by the City.



Densifying by Clustering Similar Building Types.



Top Left: Aerial photograph of existing condition. This image shows a large parcel in the Edgartown historic district. If developed following current regulations, a single building surrounded by parking would probably result.

Top Right: The Citizens' Master Plan proposal showing seven buildings that are between two and three stories in height (shown with hatched roofs). It represents just one of many ways in which density can be achieved with buildings that are consistent with the character and nature of the historic district.

The combined buildings achieve the maximum density of 15 du/ac allowed for the area, while maintaining a scale and character compatible with that of surrounding buildings.

Opposite Page Top: Aerial view of a small "village" clustering concept to achieve densities and intensities allowed under current zoning.

Opposite Page Bottom: Perspective view of village clustering concept from central green.

This analysis shows that by dealing with parking on a district-wide basis and modifying certain setback requirements, it is possible to create a low-scale development with ample green and open space that achieves existing entitlements. It is important to note that parking and setback variances should only be provided to those projects seeking to conform to the strategies proposed in the Citizens' Master Plan.



*Treasure Coast Regional Planning Council
Indian River - St Lucie - Martin - Palm Beach*

A Transfer of Development Rights Program

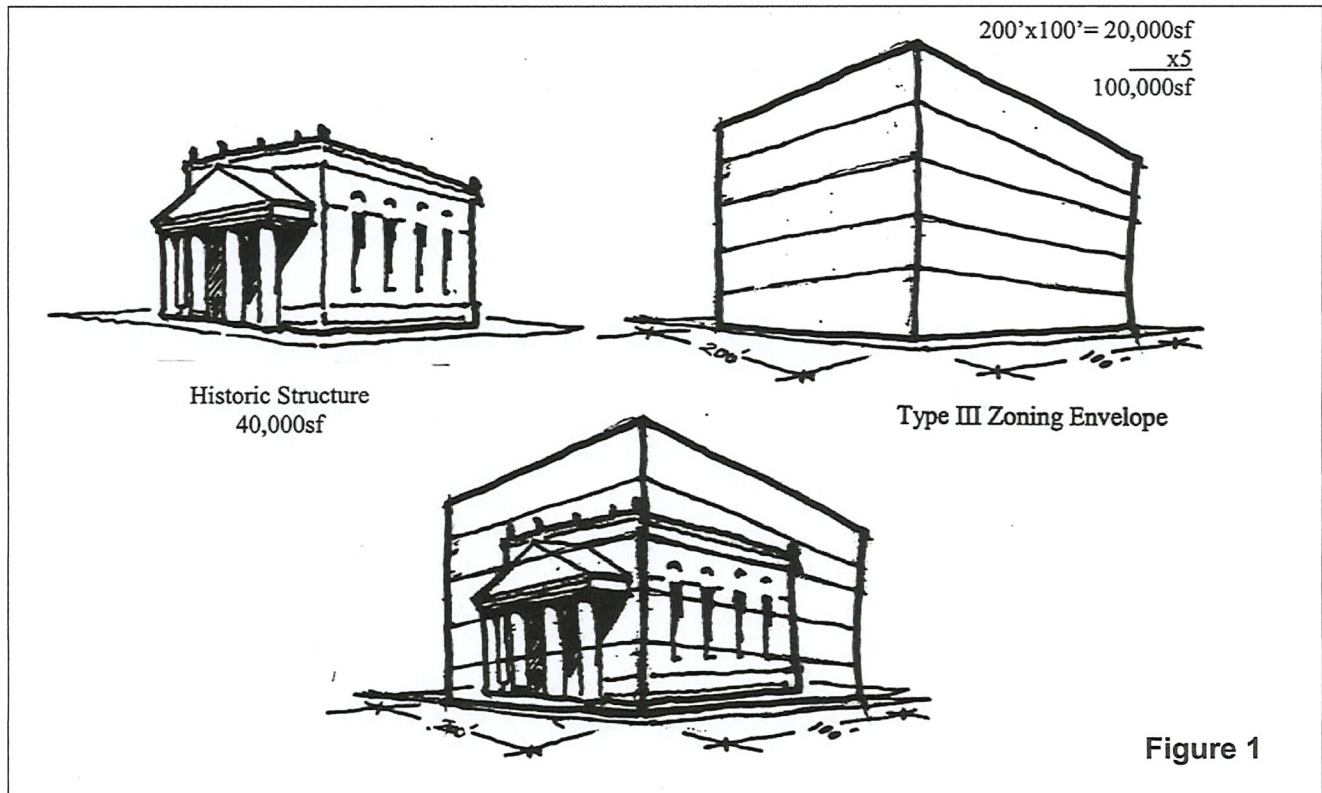


Figure 1

For those parcels where densification, intensification, or relocation is not an option, the Citizens' Master Plan proposes the implementation of a Transfer of Development Rights (TDR) Program.

TDR programs have been created to achieve two main goals:

- 1) To preserve open space, agriculture, historic buildings or housing; and,
- 2) To make such preservation efforts fair and acceptable by compensating landowners who lose or see restricted the right to develop their property.

TDR programs are relatively easy to implement, but need to be closely monitored and administered.

Local governments implement TDR programs to bring into play the "market" to realize and pay for density, intensity, and general development location decisions.

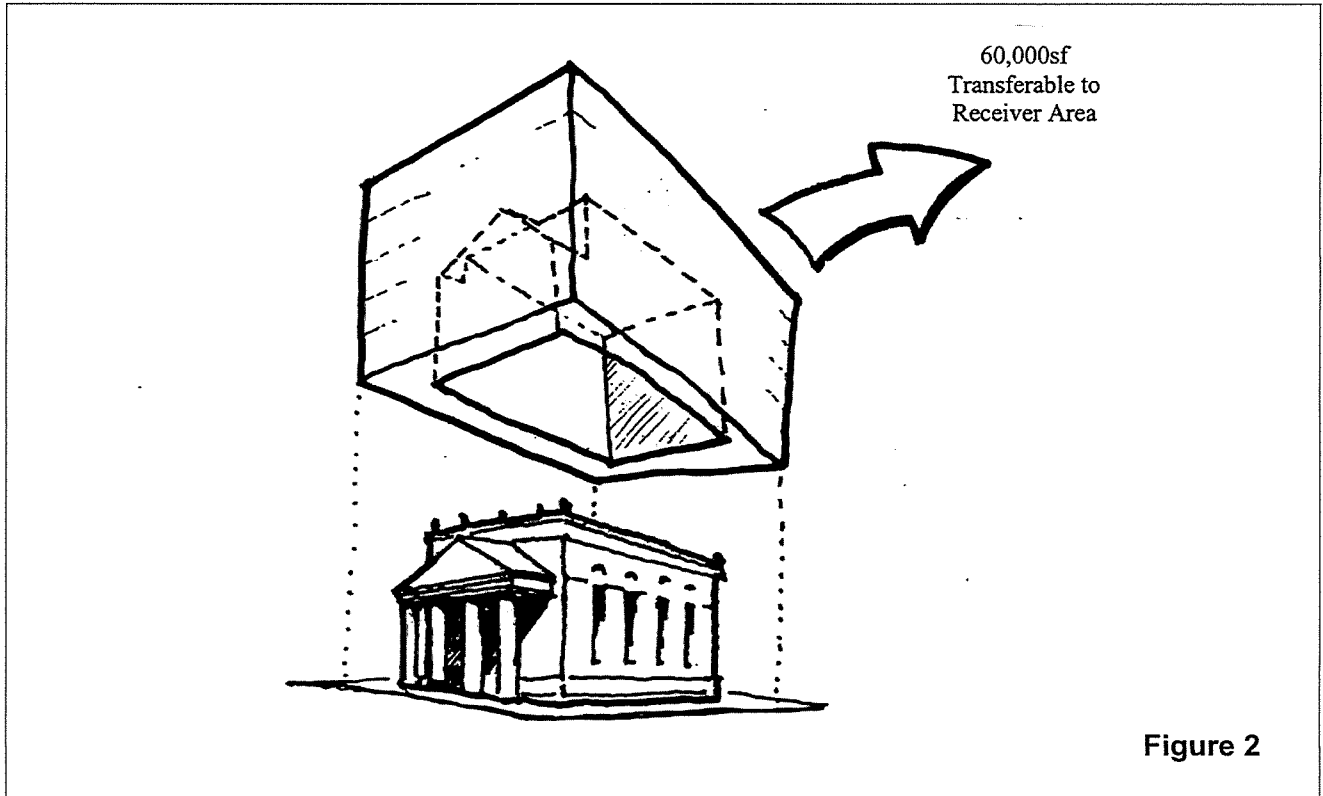
TDR programs essentially allow landowners to "sep-

arate" development rights from certain properties (sending areas) and sell them to purchasers who want to increase the density or intensity in areas that local governments have selected as receiving areas. Local governments may also buy development rights in order to restrict growth.

The images on these two pages (top) graphically depict a TDR program designed to preserve a historic structure and transfer development intensity. In the example above (*Figure 1*) a 40,000sf structure is located in a zoning district that allows that same parcel to develop a building of up to 100,00sf.

To preserve the historic structure, a TDR program allows the ability to transfer the difference (60,000sf) to a designated receiving site.

TDR programs occasionally offer incentives to increase the amount transferred (apply a multiplier or percentage increase to the purchaser), as an incentive



to “kick-start” the program.

This is a delicate program, but it could successfully address many of the historic preservation issues in the City.

A careful analysis of sending and receiving sites, as well as total amounts available to transfer needs to be done before implementing a program of this nature.

The image to the left shows the governor’s house. A potential TDR sending site within the City of Fort pierce.

