

HISTORIC PRESERVATION BOARD

BOARD AGENDA

Historic Preservation Board Regular Meeting - Tuesday, May 29, 2018 - 6:00 p.m.
City Hall - City Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **CERTIFICATION OF ALTERNATE MEMBER VOTING STATUS/EXCUSE NON VOTING ALTERNATE**
5. **APPROVAL OF MINUTES**
 - a. Minutes from the April 23, 2018 meeting
6. **PUBLIC HEARINGS**
 - a. Certificate of Appropriateness 18-32 - Windows - 300 S. US Highway 1
 - b. Certificate of Appropriateness 18-33 - Replaced Existing Awning - 205 Orange Avenue
 - c. Certificate of Appropriateness 18-34 - Demolition - 513 N. 13th Street
 - d. Certificate of Appropriateness 18-35 - Demolition (front unit) - 426 N. 10th Street
 - e. Certificate of Appropriateness 18-36 - Demolition (rear unit) - 426 N. 10th Street
 - f. Certificate of Appropriateness 18-37 - Fence - 714 Beach Court
 - g. Certificate of Appropriateness 18-39 - Roof, Windows, Doors, Siding - 711 S. Indian River Drive
 - h. Certificate of Appropriateness 18-43 - Event Venue - 515 S. Indian River Drive

7. **NEW BUSINESS**

- a. Administratively Approved Certificates of Appropriateness - April 2018

8. **CONSIDERATION OF ABSENCES**

9. **ADJOURNMENT**

Any person seeking to appeal any decision by the Historic Preservation Board with respect to any matter considered at this meeting is advised that a record of proceedings is required in any such appeal and that such person may need to insure that a verbatim record of the proceedings is made including the testimony and evidence upon which the appeal is to be based.

In accordance with the Americans with Disabilities Act and Section 286.26, Florida Statutes, persons with disabilities needing special accommodation to participate in this meeting should contact the City Clerk's Office at (772) 467-3052 at least 48 hours prior to the meeting.

Historic Preservation Board

5.a.

Meeting Date: 05/29/2018

Information

REQUESTED ACTION

Minutes from the April 23, 2018 meeting

LOCATION

RESPONSIBLE STAFF

RECOMMENDATION

Attachments

Historic Preservation Board Minutes 4.23.18

Form Review

Form Started By: Alicia Rosenthal

Started On: 04/26/2018 10:10 AM

Final Approval Date: 04/30/2018

DRAFT



CITY OF FORT PIERCE
**HISTORIC PRESERVATION
BOARD**

Minutes

OF THE REGULAR MEETING OF THE FORT PIERCE HISTORIC PRESERVATION BOARD HELD ON MONDAY, APRIL 23, 2018, IN FORT PIERCE CITY HALL, COMMISSION CHAMBERS, 100 NORTH US HIGHWAY 1, FORT PIERCE, FLORIDA.

1. **CALL TO ORDER**

2. **PLEDGE OF ALLEGIANCE**

3. **ROLL CALL**

Present: **Charlie Hayek; Holly Theuns; Suzanne Boardman; Jared Osteen; Paul Sampson, Chairman**

Absent: **Michael Broderick; Patrick Small; Peggy Harris-Smith**

Staff Present: **Iola Mosley, Senior Assistant City Attorney
Maria Lewicka, Historic Preservation Planner
Alicia Rosenthal, Executive Assistant**

4. **CERTIFICATION OF ALTERNATE MEMBER VOTING STATUS/EXCUSE NON VOTING ALTERNATE**

There alternate was not in attendance.

5. **APPROVAL OF MINUTES**

- a. Minutes from the March 26, 2018 meeting

Motion was made by Charlie Hayek, and seconded by Holly Theuns to approve the minutes from the March 26, 2018 meeting.

AYE: Holly Theuns, Suzanne Boardman, Jared Osteen, Charlie Hayek, Chairman Paul Sampson

Passed

6. **PUBLIC HEARINGS**

a. **Certificate of Appropriateness 18-24 - Fence - 436 N. 7th Street**

Ms. Lewicka gave an overview of the application and answered questions from the Board.

Cindi O'Connell, Owner, explained to the Board that the daycare will not be utilizing the whole backyard and she is awaiting DCF requirements for the playground fence. Ms. O'Connell stated she is replacing the perimeter chain link fence with a shadow box fence for privacy and security.

Ms. Lewicka stated that DCF's standard for fencing is designed to keep children safe.

No one spoke against the application. Board discussion ensued.

Motion was made by Holly Theuns, and seconded by Jared Osteen to approve Certificate of Appropriateness 18-24 for a 6 foot shadow box fence around the perimeter of the property and a 4 foot fence, or as required by DCF, around the playground on the interior property at 436 N. 7th Street.

AYE: Suzanne Boardman, Jared Osteen, Charlie Hayek, Holly Theuns, Chairman Paul Sampson

Passed

b. **Certificate of Appropriateness 18-25 - Vacation Rental Building and Variance for Parking, Building Height and Massing - 532 N. 2nd Street**

Ms. Boardman disclosed that the owner of the property is her neighbor.

Ms. Lewicka gave an overview of the application and answered questions from the Board on the Edgartown parking requirements and the zoning overlay.

Mike Menard, Applicant Representative from Architectonic, provided additional information on the parking location and the parking surface material.

Cindy O'Connell, Resident, spoke in favor of the application.

Ms. Mosley clarified with Ms. Lewicka that because the applicant is providing on site parking, a Variance is needed to allow entryway to the parking from the side rather than a back alleyway.

Motion was made by Suzanne Boardman, and seconded by Charlie Hayek to approve Certificate of Appropriateness 18-25 for 532 N. 2nd Street, for the Vacation Rental Building, and Variances necessary for parking, building, height and massing and for the parking lot surface to be as appropriate with the neighborhood as possible.

AYE: Jared Osteen, Charlie Hayek, Holly Theuns, Suzanne Boardman, Chairman Paul Sampson

Passed

c. **Certificate of Appropriateness 18-30 - Exit Ramp, Steps, Building Interior and Signs - 108 N. 2nd Street**

Ms. Lewicka gave an overview of the application and answered a question from the Board on the expiration date of a previous COA approval, for this location, to paint over the mural on the back of the building.

John Foster, Project Architect, explained that they tried to provide minimum revision to the

existing structure on the exterior and what they are requesting is a minimum to allow the vacant store front to actually be reused.

Motion was made by Holly Theuns, and seconded by Charlie Hayek to approve Certificate of Appropriateness 18-30 for the Thirsty Turtle Seagrille, located at 108 N. 2nd Street, for the reconstruction of the exit ramp, steps and interior of the building for a new restaurant and the installation of new signs.

AYE: Holly Theuns, Suzanne Boardman, Jared Osteen, Charlie Hayek, Chairman Paul Sampson

Passed

d. Certificate of Appropriateness 18-31 - Windows and Door - 517 Beach Court

Ms. Lewicka gave an overview of the application and answered questions from the Board on the door opening and the exact window replacement.

Mr. Hayek recommended the mull bar be removed between the windows so the windows are compatible with the way they currently look.

Ethel Reconco, Applicant, provided additional information on the condition of the windows and answered questions from the Board.

Mr. Hayek asked for advice on making a motion for all the future windows being replaced.

Ms. Mosley stated if the window dimensions are the same and the windows can be approved administratively, a motion can be made for blanket approval.

Motion was made by Charlie Hayek, and seconded by Holly Theuns to approve Certificate of Appropriateness 18-31, for the replacement of one window unit and a single side door with sidelights to a double door. The installation of the windows should match the existing windows with a 6" to 8" separation between the window units.

AYE: Suzanne Boardman, Jared Osteen, Charlie Hayek, Holly Theuns, Chairman Paul Sampson

Passed

Motion was made by Charlie Hayek, and seconded by Suzanne Boardman to authorize that other compatible windows at 517 Beach Court be subject to administrative approval under the City of Fort Pierce policies by the Historic Preservation Officer.

AYE: Charlie Hayek, Holly Theuns, Suzanne Boardman, Jared Osteen, Chairman Paul Sampson

Passed

7. NEW BUSINESS

- a. Administratively Approved Certificates of Appropriateness - March 2018

8. CONSIDERATION OF ABSENCES

Motion was made by Holly Theuns, and seconded by Charlie Hayek to approve the absences of Mr. Broderick, Mr. Small and Ms. Harris - Smith.

AYE: Jared Osteen, Charlie Hayek, Holly Theuns, Suzanne Boardman, Chairman Paul Sampson

Passed

9. ADJOURNMENT

Historic Preservation Board

6.a.

Meeting Date: 05/29/2018

Information

REQUESTED ACTION

Certificate of Appropriateness 18-32 - Windows - 300 S. US Highway 1

LOCATION

300 S US Highway 1 (Parcel ID: 2410-701-0092-000-8)

RESPONSIBLE STAFF

Maria Lewicka, AICP
Historic Preservation Planner

RECOMMENDATION

Approval

Attachments

Staff Report
Application
Property Card

Form Review

Form Started By: Maria Lewicka
Final Approval Date: 05/22/2018

Started On: 05/22/2018 09:40 AM



CITY OF FORT PIERCE

PLANNING DEPARTMENT

REBECCA GROHALL, AICP, PLANNING AND FPRA DIRECTOR
COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ ZONING

MAY 29, 2018

COA 18-32

Owner

Kraaz & Kraaz Finance, LLC

Applicant

Kraaz & Kraaz Finance LLC

Representative

Remnant Construction, LLC

Location

300 S US Highway 1

Parcel

2410-701-0092-000-8

Historic Status

Non-contributing

Requested Action

Consideration of approval for replacement of existing windows and cutting out additional window in the front façade of the building.

Recommendation

Approval

Staff

Maria Lewicka, AICP
Historic Preservation Planner

HISTORIC PRESERVATION BOARD : PUBLIC HEARING



Location Map



Contributing



Non-Contributing



Subject Site

Existing Conditions:

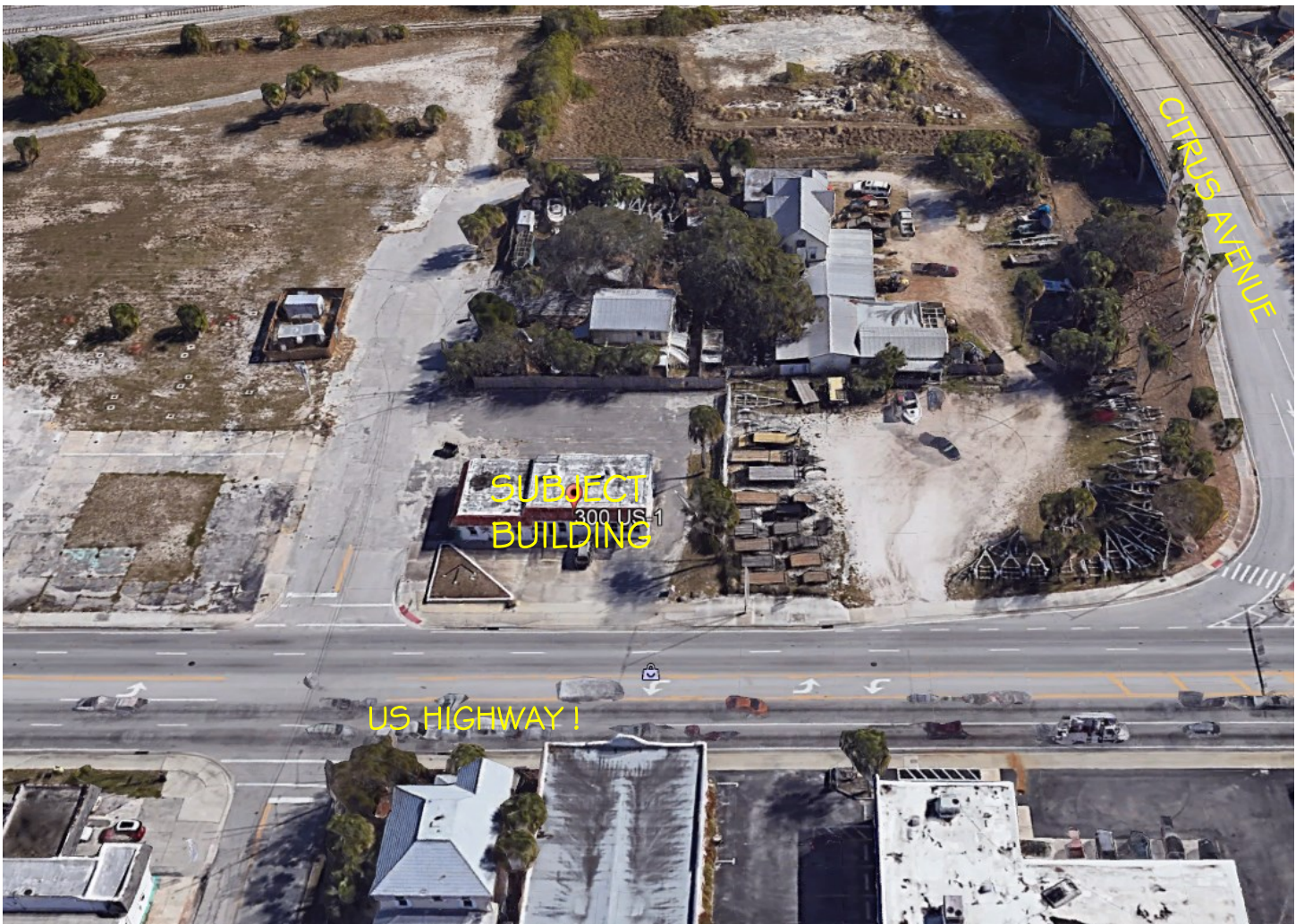
The one-story concrete block commercial building is considered a non-contributing structure in the Downtown Historic District as it lacks historical, architectural significance.

The St. Lucie County Property Appraiser's Property Record Card indicates the year of construction as 1952.

Staff Analysis

Request:

The applicant is requesting consideration of approval for replacement of existing windows with impact store front windows 5' x 11'-6" and cutting out opening for an additional impact window (store front 5' x 11'-6") in the front façade of the building.



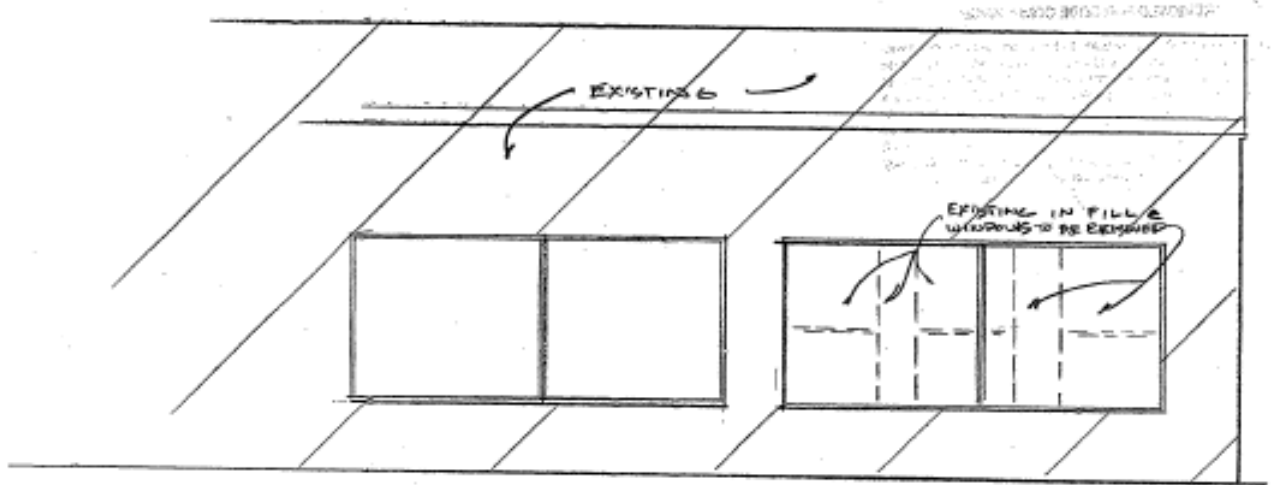
Building Location—Aerial Photo



Existing US Highway 1 Façade



Existing Boston Avenue Façade



PARTIAL FRONT ELEVATION

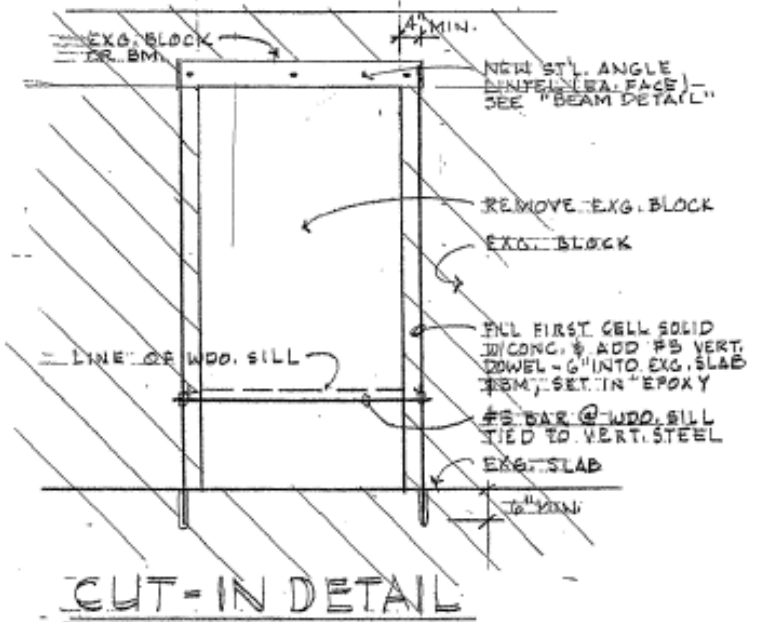
1/4"



EXISTING CBS WALL TO BE REMOVED AS REQ'D TO ADD FILLED CELLS, STEEL ANGLE PER BIM DETAIL, AND IMPACT STORE FRONT WINDOWS 5'4" x 11'6" H-

EXISTING WINDOWS & IN-FILLS TO BE REMOVED AS REQ'D TO INSTALL IMPACT STORE FRONT WINDOWS 5'4" x 11'6" H-

Proposed Windows



CUT-IN DETAIL

Secretary of Interior's Standards for Consideration:

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Staff Recommendation

The proposed plans reflect minor alterations to the façade of a non-contributing structure. The new window additions and alterations do not destroy historic materials that characterize the property, are compatible with the massing, size, scale, and architectural features of the structure, and match the existing storefront in style, design, materials and colors.

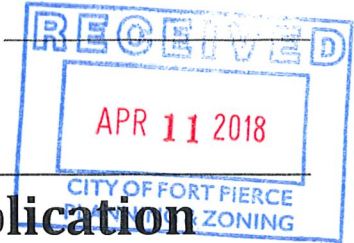
Staff recommends approval of the proposed modifications, as they meet Standards two and nine of the Secretary of the Interior's Standards for Rehabilitation.



CITY OF FORT PIERCE

PLANNING DEPARTMENT

COMPREHENSIVE PLANNING ◊ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ◊ URBAN DESIGN ◊ URBAN FORESTRY ◊ ZONING



Certificate of Appropriateness Application

Building & Site Information

Address of the Site: 300 S US1 Ft. Pierce, FL 34958
 Parcel ID #: 2410-701-0092-000/8
 Type of Designation: Contributing Non-contributing Site within the _____ Historic District
 Individually Designated Site, City Commission Resolution No. _____

Property Owner/ Applicant Information

Property Owner(s) Name(s): Knaaz & Knaaz Finance LLC
 Mailing Address: 201 S 2nd St. ^{ste} 206 Ft Pierce FL 34950
 Phone Number(s): (772) 370-4777 Email: bstone@afl.net

Applicant Name(s): ~~Sam~~ Same as above
 Mailing Address: _____
 Phone Number(s): _____ Email: _____

Representative Name(s): Remnant Construction, LLC
 Mailing Address: 201 S 2nd St. Ste 207, Fort Pierce, FL 34950
 Phone Number(s): 772-577-5850 Email: bnobile@remnantconstruction.com

Property Owner(s) Acknowledgments: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this Application and/or presentation to the Historic Preservation Board.

I / We, Hans Knaaz Knaaz & Knaaz Finance Owner(s) of the subject property, do hereby authorize the filing of this application on my/our behalf.

[Signature]

 Signature of Owner

4/10/18

 Date

Description of Requested Work

Please indicate the type of work requested:

- Fence Shed Door(s) Roof
- Window(s) Signage Shutter(s) Porch

- Rehabilitation New Construction Demolition Relocation

- Site Improvements (describe) _____
- Other (describe) _____

Please provide a detailed description of the proposed work to be performed: _____

Replace existing windows and cut in another window.

Have other alterations been made to the site within the last 12 months? No Yes, _____

Will the proposed work require a Zoning Variance? No Yes, Code Section(s): _____

Application Requirements

- \$10.00 Application fee
- Site Plan with dimensions.
- Architectural Drawings:
 - Drawings should show all current and proposed floor plans and elevations, fences, walls, and any other landscape features.
 - Drawings should indicate materials to be used.
- Photos - One (1) color photograph of the main façade of the site and photographs of any areas affected by the proposed project.
- Material(s) specifications and/or sample(s)
- Color samples.

- Demolition – Plans for what will be taking the demolished structure’s place should be submitted.



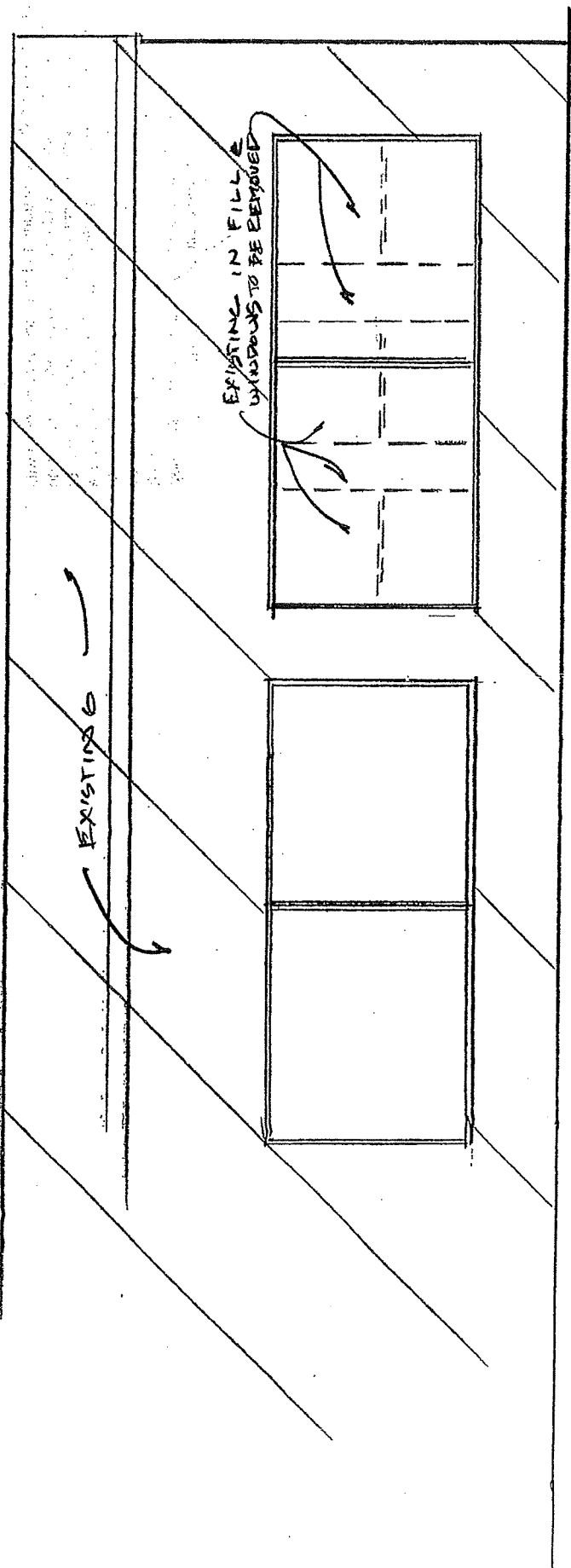
Add d pane
Store front

Replace
with d
pane store front

boostmobile
Coming Soon

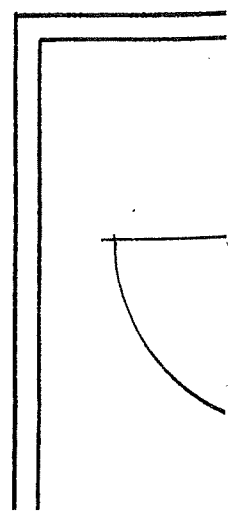
3000

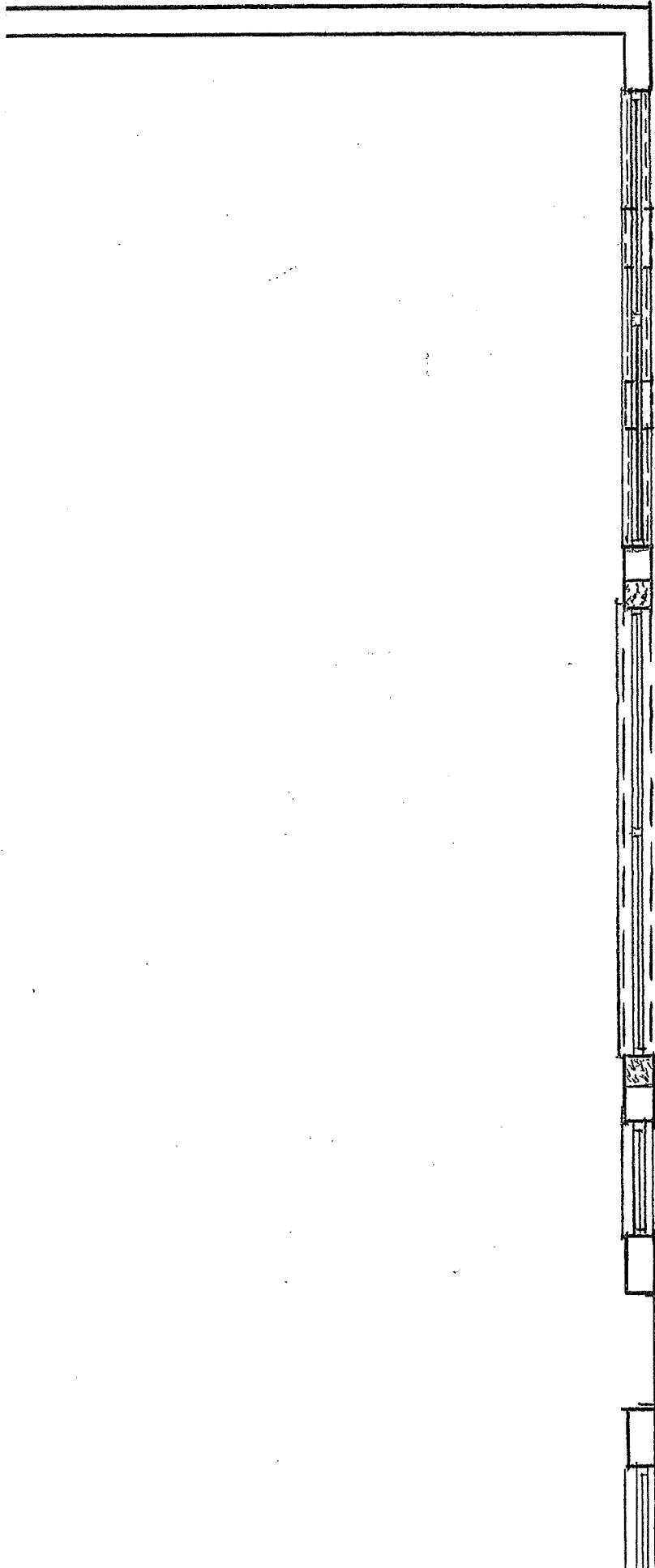
CONSTRUCTION OF HOUSE CORNER WINDOW



PARTIAL FRONT ELEVATION

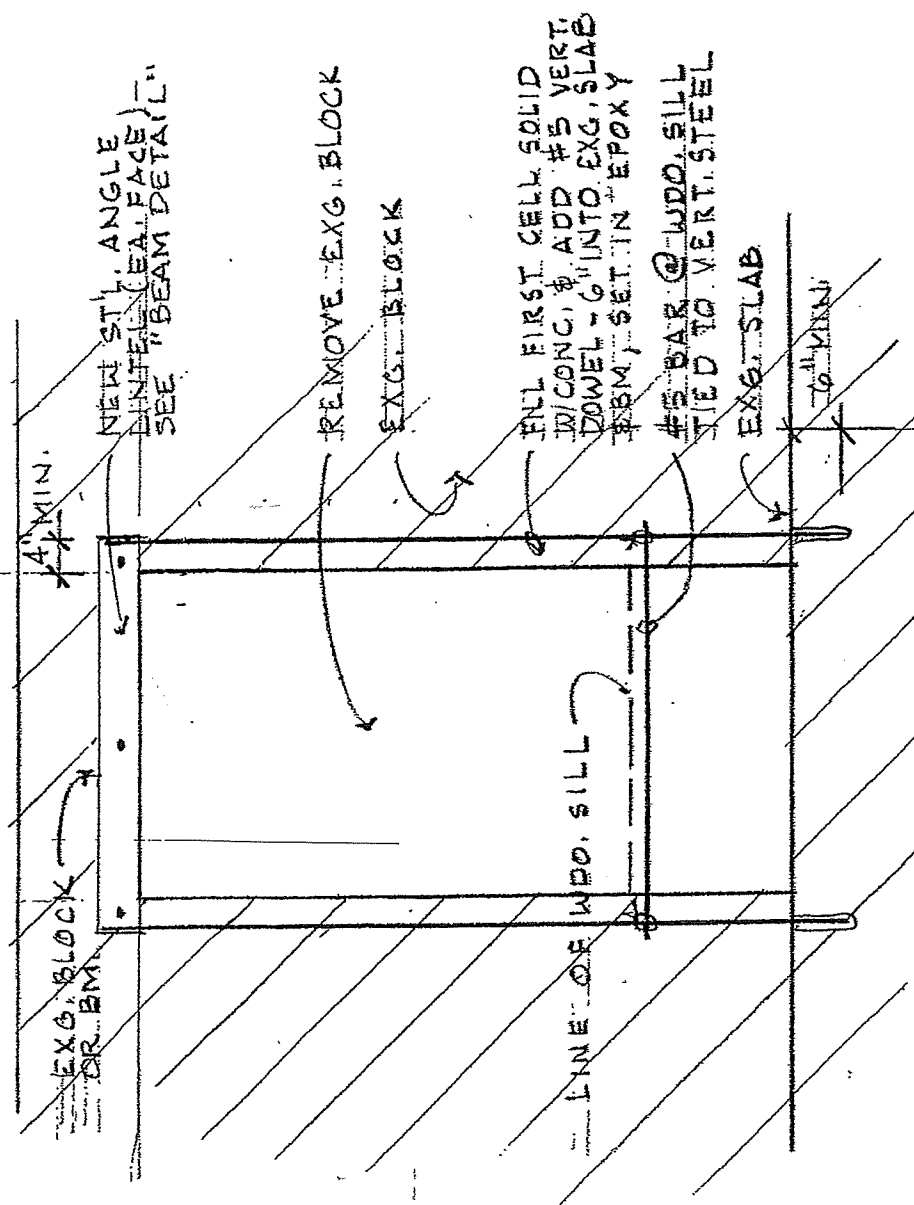
1/4"





EXISTING WINDOWS & INFILLS
TO BE REMOVED AS RECD TO
INSTALL IMPACT STORE FRONT
WINDOWS 5'H X 11'-6" H

EXISTING CBS WALL TO BE
REMOVED AS RECD TO ADD FILLED
CELLS, STEEL ANGLE FEE BTM DETAIL,
AND IMPACT GORE FRONT WINDOWS
5'H X 11'-6" H



CUT - IN DETAIL

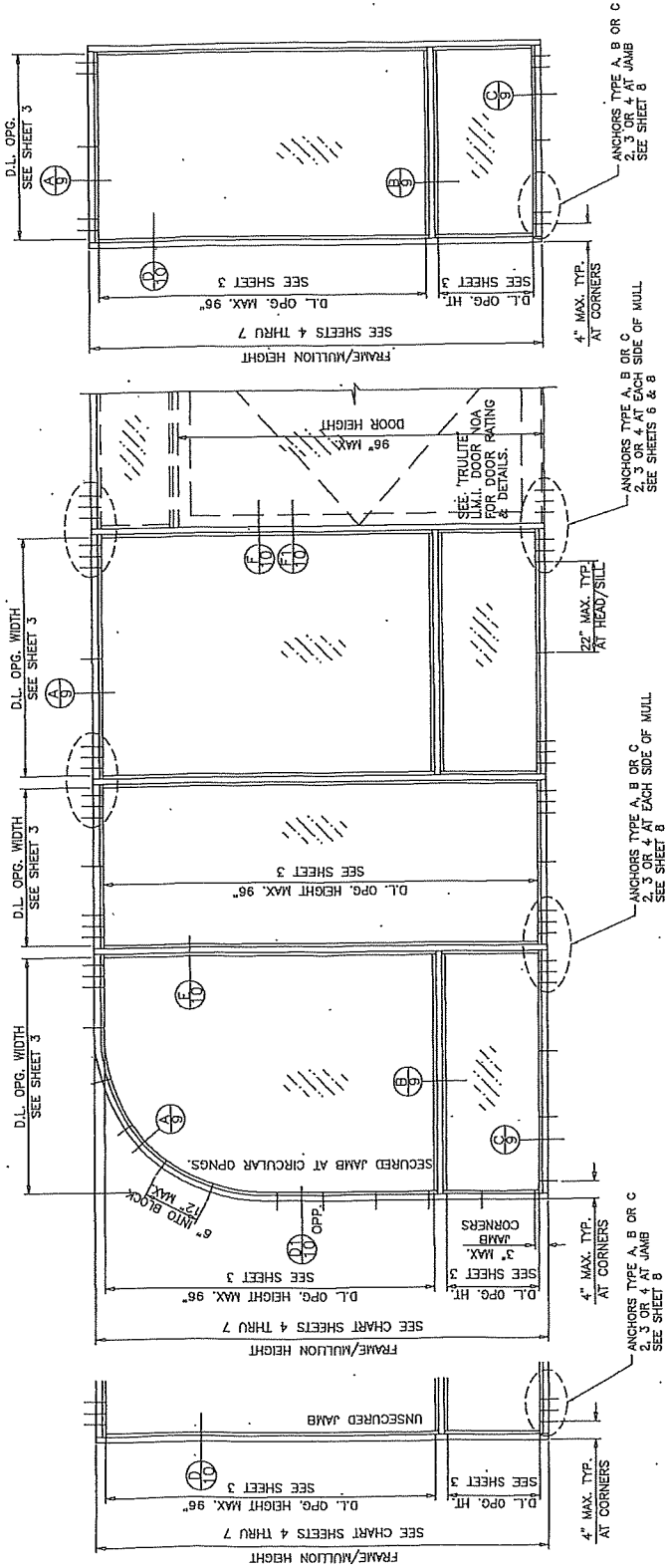
PRODUCT:
Resistor
3000 ALUMINUM
STOREFRONT WALL-LMI

Resistor
PRODUCT SERIES

DATE/REMARKS
Rev.1 3.14.14/UPDATE TO 2010 FBC
Rev.2 2.06.15/UPDATE TO 2014 FBC
Rev.3 9.20.17/UPDATE TO 2017 FBC
ENGINEER:
MCY ENGINEERING, INC.
GLAZING CONSULTANT
8501 SW 124TH AVE. STE. 205A
MIAMI, FL 33183
P: (305) 274-0117
Email: MCEngineering@aol.com
www.MCEngineering.com



PRODUCT CONTROL APPROVAL:



TYPICAL ELEVATIONS

IMPACT WALL 3000/L-3000 ALUMINUM WINDOW WALL SYSTEM
INSIDE OR OUTSIDE GLAZED

WINDOW WALL SYSTEM IS RATED FOR LARGE & SMALL MISSILE IMPACT.
SHUTTERS ARE NOT REQUIRED.
THIS SYSTEM MAY BE USED IN CONJUNCTION WITH MIAMI DADE COUNTY APPROVED ENTRANCE DOORS.
CODE REQUIREMENTS FOR SAFEGUARDS MUST BE OBSERVED.

THIS PRODUCT HAS BEEN DESIGNED AND TESTED TO COMPLY WITH THE REQUIREMENTS OF THE 6TH EDITION: FLORIDA BUILDING CODE 2017 INCLUDING HIGH VELOCITY HURRICANE ZONE (HVHZ).

ULTIMATE DESIGN LOAD OBTAINED FROM ASCE 7-10, MULTIPLY BY 0.6; SHALL BE LESS THAN OR EQUAL TO MAX. DESIGN LOAD IN THE DOCUMENT.
WOOD BUCKS BY OTHERS, MUST BE ANCHORED PROPERLY TO TRANSFER LOADS TO THE STRUCTURE.

ANCHORS SHALL BE AS LISTED, SPACED AS SHOWN ON DETAILS, ANCHORS EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO. ANCHORING OR LOADING CONDITIONS NOT SHOWN IN THESE DETAILS ARE NOT PART OF THIS APPROVAL.

A LOAD DURATION INCREASE IS USED IN DESIGN OF ANCHORS INTO WOOD ONLY. MATERIALS INCLUDING BUT NOT LIMITED TO STEEL/METAL SCREWS, THAT COME INTO CONTACT WITH OTHER DISSIMILAR MATERIALS SHALL MEET THE REQUIREMENTS OF 2017 FLORIDA BUILDING CODE SECTION AS APPLICABLE.

INSTRUCTIONS:

USE CHARTS AS FOLLOWS.

- STEP 1** DETERMINE DESIGN WIND LOAD REQUIREMENT BASED ON WIND VELOCITY, BLDG. HEIGHT, WIND ZONE USING APPLICABLE ASCE 7 STANDARD.
- STEP 2** SEE CHARTS ON SHEET 3 FOR DESIGN LOAD CAPACITY OF DESIRED GLASS SIZE.
- STEP 3** CHECK MULLION CAPACITY FOR A GIVEN SPACING AND CHECK MULLION CHANGES ON SHEETS 4 THRU 7. THE CAPACITY SHOULD EXCEED THE DESIGN LOAD.
- STEP 4** USING CHART ON SHEET 8 SELECT ANCHOR OPTION WITH DESIGN RATING MORE THAN DESIGN LOAD SPECIFIED IN STEP 1 ABOVE.
- STEP 5** THE LOWEST VALUE RESULTING FROM STEPS 2, 3 AND 4 SHALL APPLY TO ENTIRE SYSTEM.

PRODUCT COMPLIES WITH REQUIREMENTS OF ANSI Z97.1.

Michelle Franklin, CFA -- Saint Lucie County Property Appraiser -- All rights reserved.

Property Identification

Site Address: 300 S US HIGHWAY 1
 Sec/Town/Range: 10/35S/40E
 Map ID: 24/10S
 Zoning: C3

Parcel ID: 2410-701-0092-000-8
 Account #: 23502
 Use Type: 1100
 Jurisdiction: Fort Pierce

Ownership

Kraaz & Kraaz Finance Inc
 201 S 2nd ST Ste 206
 Fort Pierce, FL 34950

Legal Description

CARLTON'S ADDN BLK 9 LOTS 2 AND 3 (MAP 24/10E) (OR 2752-1769)

Current Values

Just/Market Value: \$125,000
 Assessed Value: \$125,000
 Exemptions: \$0
 Taxable Value: \$125,000

Taxes for this parcel: SLC Tax Collector's Office
 Download TRIM for this parcel: Download PDF



Total Areas

Finished/Under Air (SF): 2,060
 Gross Area (SF): 2,306
 Land Size (acres): 0.32
 Land Size (SF): 14,000

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Jan 22, 2007	2752 / 1769	XX01	WD	Johnson, Joe K	\$360,000
Sep 8, 1995	0974 / 1207	XX00	WD	JOHNSON, RYAN OF FLORIDA INC	\$91,200
Sep 6, 1990	0706 / 1672	XX01	CT	FL EQUITIES OF FT PIERCE INC	\$100
Apr 9, 1990	0686 / 0676	XX01	QC	DYNAMIC MARINE INC	\$100
Jul 31, 1989	0647 / 2946	XX00	WD	FLORIDA EQUITIES FP INC	\$90,000
Mar 1, 1988	0578 / 2688	XX00	CV		\$100,000

Building Information (1 of 1)

Finished Area: 2,060 SF
 Gross Total Area: 2,306 SF

Exterior Data

View:
 Building Type: STRH
 Grade: Y_B
 Story Height: 1 Story

Roof Cover: Tar & Gravel
 Year Built: 1952
 Effective Year: 1975
 No. Units: 2

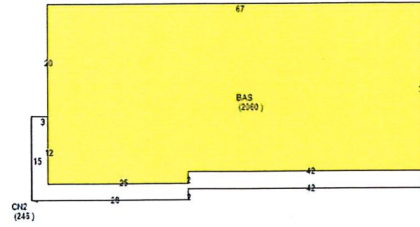
Roof Structure: Mansard
 Frame:
 Primary Wall: CB Stucco
 Secondary Wall:

Interior Data

Bedrooms: 0
 Full Baths: 0
 Half Baths: 0
 A/C %: 100%

Electric: MAXIMUM
 Heat Type: FrcdHotAir
 Heat Fuel: ELEC
 Heated %: 100%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors: Tile-Ceramic
 Sprinkled %: 100%



Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
BAS	BASE AREA	2060	2060	198
CN2	CANOPY	246	0	174

Special Features and Yard Items

Type	Qty	Units	Year Blt
ASP2 LOW	1	7500	1940
CHAINLINK 7'	1	400	1940
CONCRETE LOW	1	3500	1940
CHAINLINK 6'	1	55	2010

Current Year Values

Current Values Breakdown

Building:	\$62,000
Land:	\$63,000
Just/Market:	\$125,000
Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$0
Assessed:	\$125,000
Exemption(s):	\$0
Taxable:	\$125,000

Current Year Exemption Value Breakdown

Tax Year	Grant Year	Code	Description	Amount
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Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
2008	0041	4.8	Fort Pierce Stormwater Charge	\$259.20

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office.

Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2017	\$125,000	\$125,000	\$0	\$125,000
2016	\$124,400	\$124,400	\$0	\$124,400
2015	\$126,700	\$126,700	\$0	\$126,700

Number	Issue Date	Description	Amount	Fee
DI20073	Mar 14, 2007	Demolition	\$2,000	\$130
FE200713	Mar 6, 2007	Fence	\$1,000	\$50
MPCR200736	Jan 1, 2007		\$0	\$0
0700001144	Sep 14, 2007	Alterations/Remodeling	\$7,000	\$145

Notice: This does not necessarily represent all the permits for this property.

Click the following link to check for additional permit data in Fort Pierce

This information is believed to be correct at this time but it is subject to change and is not warranted.
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Historic Preservation Board

6.b.

Meeting Date: 05/29/2018

Information

REQUESTED ACTION

Certificate of Appropriateness 18-33 - Replaced Existing Awning - 205 Orange Avenue

LOCATION

205 Orange Avenue (Parcel ID: 2410-507-0001-000-8)

RESPONSIBLE STAFF

Maria Lewicka, AICP
Historic Preservation Planner

RECOMMENDATION

Denial/Approval with Recommendation

Attachments

Staff Report
Application
Property Card

Form Review

Form Started By: Maria Lewicka
Final Approval Date: 05/22/2018

Started On: 05/22/2018 10:08 AM



CITY OF FORT PIERCE

PLANNING DEPARTMENT

REBECCA GROHALL, AICP, PLANNING AND FPRA DIRECTOR
COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ ZONING

MAY 29, 2018

COA 18-33

Owner

K & K II

Applicant

The Cake Lady

Representative

Staci Dunn

Location

205 Orange Avenue

Parcel

2410-507-0001-000-8

Historic Status

Non-contributing

Requested Action

Consideration of approval for replacement of existing awning.

Recommendation

Denial or approval with recommendations.

Staff

Maria Lewicka, AICP
Historic Preservation Planner

HISTORIC PRESERVATION BOARD : PUBLIC HEARING



Location Map



Contributing



Non-Contributing



Subject Site

Existing Conditions:

This two-story, two-part, masonry Commercial Style building is considered a non-contributing structure in the Downtown Historic District. The storefronts are composed of fixed plate glass show windows and center entrances. The exterior wall fabric is stucco.

The St. Lucie County Property Appraiser’s Property Record Card indicates the year of construction as 1905. The Historical Structure Form from Florida Master Site File show 1915 as a day of construction.

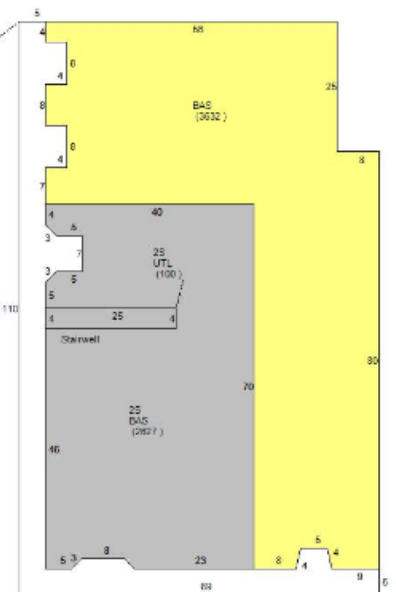
Staff Analysis:

Though the building has undergone many alterations over the years it still embodies many of the architectural characteristics of commercial buildings constructed in Fort Pierce during the early twentieth century. The building awnings have undergone many alternations as well from awnings consistent in shape and color with the corner (two story) part of the building, to completely different design inconsistent with the rest of the building and other awnings of the downtown area.

Secretary of Interior’s Standards for Consideration:

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.



Floor Plan

Building Location—Aerial Photo



Previous Awnings



Ex-



Proposed Awning



Awnings in Downtown Area
Design examples

Sec . 22-59 Design Review (also to be considered):

Awnings.

- a. Awnings shall only be used where architecturally compatible with the building. The shape of the awning and related hardware should be consistent with the architecture of the building as well as proportionate with the scale of the facade and its surroundings regarding *design*, color, scale and fabric.
- b. Where a single building has several storefronts and tenants, or within a single center, they should all have a consistent *design*, scale, color scheme, and fabric throughout.
- c. Awning fabric shall be made of non-glossy material, such as treated cotton for durability, and ribbing (seams) should run vertically.
- d. Awnings shall not be used as an attention-getting device, and should contain only minimal signage on the awning fabric. Awnings should not be backlit; simple down-lighting to illuminate the window, door or sidewalk

Staff Recommendation

The proposed pink and white stripes awning does not compose well with the existing color pallet, design, style or materials of the corner part of the building, buildings across the street, or other buildings and awnings in the downtown area.

Staff recommends denial of the proposed awning, as it does not meet Standards two and nine of the Secretary of the Interior's Standards for Rehabilitation and Design Review Guidelines; Approval would be considered if an alternative design meeting the Standards will be proposed by the applicant (alternative design example shown below).





CITY OF FORT PIERCE

PLANNING DEPARTMENT

COMPREHENSIVE PLANNING ♦ DEVELOPMENT REVIEW
HISTORIC PRESERVATION ♦ URBAN DESIGN ♦ URBAN FORESTRY ♦ ZONING

Certificate of Appropriateness Application



Building & Site Information

Address of the Site: 205 Orange Ave

Parcel ID #: _____

Type of Designation: Contributing Non-contributing Site within the _____ Historic District

Individually Designated Site, City Commission Resolution No. _____

Property Owner/ Applicant Information

CONTACT EMAIL: JOE
SIGNATURESNL@AOL.COM

Property Owner(s) Name(s): K & K II

Mailing Address: 3636 N. MILTON ROAD

Phone Number(s): 772-464-5632 Email: blb637@aol.com

Applicant Name(s): The Cake Lady

Mailing Address: 205 Orange Ave, Ft. Pierce

Phone Number(s): 772-242-8128 Email: TheCakeLadyBakes@att.net

Representative Name(s): Staci Dunn

Mailing Address: 205 Orange Ave Ft. Pierce, FL

Phone Number(s): 772-242-8128 Email: TheCakeLadyBakes@att.net

Property Owner(s) Acknowledgements:- This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this Application and/or presentation to the Historic Preservation Board.

I / We, K & K II as Owner(s) of the subject property do hereby authorize the filing of this application on my/our behalf.

[Signature]
Signature of Owner

3-28-18
Date

Description of Requested Work

Please indicate the type of work requested:

- Fence
- Shed
- Door(s)
- Roof
- Window(s)
- Signage
- Shutter(s)
- Porch
- Rehabilitation
- New Construction
- Demolition
- Relocation

Site Improvements (describe) UPDATED CANOPY GRAPHIC

Other (describe) ASKING FOR APPROVAL

Please provide a detailed description of the proposed work to be performed: _____

REPLACED EXISTING CANOPY

30" TALL X 24' FRONTAGE W/ EDGE

BUILDING WIDTH 24' X 16' TALL BUILDING FRONTAGE

Have other alterations been made to the site within the last 12 months? No Yes, _____

Will the proposed work require a Zoning Variance? No Yes, Code Section(s): _____

Application Requirements

- \$10.00 Application fee
- Site Plan with dimensions.
- Architectural Drawings:
 - Drawings should show all current and proposed floor plans and elevations, fences, walls, and any other landscape features.
 - Drawings should indicate materials to be used.
- Photos - One (1) color photograph of the main façade of the site and photographs of any areas affected by the proposed project.
- Material(s) specifications and/or sample(s)
- Color samples.
- Demolition – Plans for what will be taking the demolished structure’s place should be submitted.

CITY OF FORT PIERCE

Reviewed:

to be a license to proceed with work and not as authority to violate, cancel, alter or set aside the provisions of the local codes, nor shall issuance of a permit be construed as an endorsement or approval of the construction or violators of this code. The City of Fort Pierce shall review as outlined in Chapter 105.4 of the Florida Building Code. All proposed work required by field inspectors shall comply with all applicable codes.

REVIEWED FOR CODE COMPLIANCE



These plans and all proposed work required by field inspectors that comply with all applicable codes



THE CAKE LADY

CUSTOM CAKES • CUPCAKES • CONFECTION
CAPPUCCINO • LATTE • ESPRESSO • PASTICCERIA



10

Michelle Franklin, CFA -- Saint Lucie County Property Appraiser -- All rights reserved.

Property Identification

Site Address: 105 S 2nd ST
 Sec/Town/Range: 10/35S/40E
 Map ID: 24/10N
 Zoning: C4

Parcel ID: 2410-507-0001-000-8
 Account #: 23118
 Use Type: 1200
 Jurisdiction: Fort Pierce

Ownership

K and K II Inc
 3636 N Milton Rd
 Fort Pierce, FL 34946

Legal Description

TYLER'S S/D BLK J LOT 1 AND E 20 FT BY 110 FT OF LOT 2 AND THAT PART OF SUNRISE FRUIT CO'S RE-S/D MPDAF :BEG NW COR LOT 1 RUN N 89 49 19 E 150 FT TO NE COR OF LOT 1 & W R/W LI OF S 2ND ST,TH SWLY ALG E LI 40 FT M/L,TH N 89 09 42 W 70 FT,TH N 00 17 20 W 8.30 FT TO S FACE OF BLDG,TH N 70 59 52 W ALG S FACE 15.5 FT,TH N 89 36 31 W 66.76 FT TO W LI OF LOT 1,TH N 01 58 00 E ALG W LI 26.18 FT TO POB (MAP 24/10B) (0.30 AC) (OR 721-2482:2483)



Current Values

Just/Market Value: \$527,300
 Assessed Value: \$527,300
 Exemptions: \$0
 Taxable Value: \$527,300
 Taxes for this parcel: SLC Tax Collector's Office
 Download TRIM for this parcel: Download PDF

Total Areas

Finished/Under Air (SF): 11,780
 Gross Area (SF): 13,043
 Land Size (acres): 0.29
 Land Size (SF): 12,714

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Dec 26, 1990	0721 / 2483	XX01	WD	Ruhl W Koblegard	\$100
Dec 1, 1986	0525 / 1549	XX01	CV		\$0

Building Information (1 of 2)

Finished Area: 8,986 SF

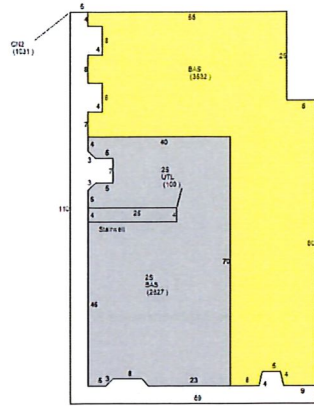
Gross Total Area: 10,117 SF

Exterior Data

View:	Roof Cover: Tar & Gravel	Roof Structure: Flat/Shed
Building Type: STRH	Year Built: 1905	Frame:
Grade: Y_C+	Effective Year: 1960	Primary Wall: CB Stucco
Story Height: 1 Story	No. Units: 4	Secondary Wall:

Interior Data

Bedrooms: 0	Electric: MAXIMUM	Primary Int Wall:
Full Baths: 0	Heat Type: FredHotAir	Avg Hgt/Floor: 0
Half Baths: 0	Heat Fuel: ELEC	Primary Floors: Carpet
A/C %: 100%	Heated %: 100%	Sprinkled %: 100%



Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
2S	ONE FULL STORY OVER BASE (TOTAL 2 FLOORS)	2727	2727	341
BAS	BASE AREA	6259	6259	643
CN2	CANOPY	1031	0	393
UTL	UTILITY ROOM	100	0	58

Building Information (2 of 2)

Finished Area: 2,794 SF

Gross Total Area: 2,926 SF

Exterior Data

View:
 Building Type: STRH
 Grade: Y_C
 Story Height: 1 Story

Roof Cover: Tar & Gravel
 Year Built: 1946
 Effective Year: 1960
 No. Units: 1

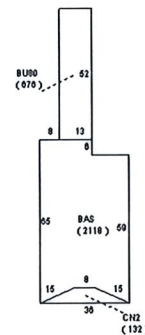
Roof Structure: Flat/Shed
 Frame:
 Primary Wall: CB Stucco
 Secondary Wall:

Interior Data

Bedrooms: 0
 Full Baths: 1
 Half Baths: 0
 A/C %: 100%

Electric: MAXIMUM
 Heat Type: FrcdHotAir
 Heat Fuel: ELEC
 Heated %: 100%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors: Carpet
 Sprinkled %: 0%



Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
BAS	BASE AREA	2118	2118	204

	BUILDOUT			
CN2	CANOPY	132	0	74

Special Features and Yard Items

Type	Qty	Units	Year Blt
CONCRETE LOW	1	1808	1980
ASP2 LOW	1	7500	1987
CHAINLINK 4'	1	175	1987

Current Year Values

Current Values Breakdown		Current Year Exemption Value Breakdown				
		Tax Year	Grant Year	Code	Description	Amount
Building:	\$342,900					
Land:	\$184,400					
Just/Market:	\$527,300					
Ag Credit:	\$0					
Save Our Homes or 10% Cap:	\$0					
Assessed:	\$527,300					
Exemption(s):	\$0					
Taxable:	\$527,300					

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
2010	0041	4.9	Fort Pierce Stormwater Charge	\$264.60

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office.

Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2017	\$527,300	\$527,300	\$0	\$527,300
2016	\$479,800	\$479,800	\$0	\$479,800
2015	\$467,900	\$467,900	\$0	\$467,900

Permits

Number	Issue Date	Description	Amount	Fee
CR2004123	Jan 26, 2005	Alterations/Remodeling	\$132,000	\$1,687
MC2005410	Oct 4, 2005	Air Conditioning Only	\$6,200	\$150
MC200652	Mar 22, 2006	Air Conditioning Only	\$8,400	\$75
BP09-0251	May 21, 2009	Alterations/Remodeling	\$15,000	\$225
BP09-1117	Jul 22, 2009	Alterations/Remodeling	\$250	\$20
BP15-1861	Jul 16, 2015	Air Conditioning Only	\$6,158	\$170
BP17-0493	Feb 21, 2017	Plumbing	\$1,500	\$0
BP17-599	Jan 1, 2017	Commercial New Construction	\$0	\$0
BP17-0599	Mar 8, 2017	Electric	\$1,500	\$0

Notice: This does not necessarily represent all the permits for this property.

Click the following link to check for additional permit data in Fort Pierce

This information is believed to be correct at this time but it is subject to change and is not warranted.

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Historic Preservation Board

6.c.

Meeting Date: 05/29/2018

Information

REQUESTED ACTION

Certificate of Appropriateness 18-34 - Demolition - 513 N. 13th Street

LOCATION

513 N 13th Street (Parcel ID: 2409-502-0006-000-4)

RESPONSIBLE STAFF

Maria Lewicka, AICP
Historic Preservation Planner

RECOMMENDATION

Approval

Attachments

Staff Report
Application
Inspection Report
Property Card

Form Review

Form Started By: Maria Lewicka
Final Approval Date: 05/22/2018

Started On: 05/22/2018 10:29 AM



MAY 29, 2018

COA 18-34

Owner

TTLREO 2 LLC

Applicant

City of Fort Pierce/

Location

513 N 13th Street

Parcel ID

2409-502-0006-000-4

Historic Status

This building is a non-contributing structure located in the Lincoln Park Historic District.

Requested Action

The applicant is requesting demolition of the residential structure.

Recommendation


Approval

Staff

Maria Lewicka, AICP
 Historic Preservation Planner

HISTORIC PRESERVATION BOARD : PUBLIC HEARING



 Subject Property

BACKGROUND

This one-story residential building is designed in the Moderne style. It is a masonry building built circa 1956 and is classified as a non-contributing structure. The owner has no plans to use the building in the future, nor current plans to develop the property.

STAFF ANALYSIS

The subject structure was damaged by two fires and is in extremely poor condition. Due to multiple code violations at this location, fines have been running since 2015.

In June 2017, a Building Department inspector completed a Property Maintenance Inspection and recommended demolition of the structure due to unsafe conditions. (further details are provided in the attached *Property Maintenance Inspection Report*).

Further, the Fort Pierce Police Department requested this property to be removed due to a high level of criminal activity within the open and vacant structure.

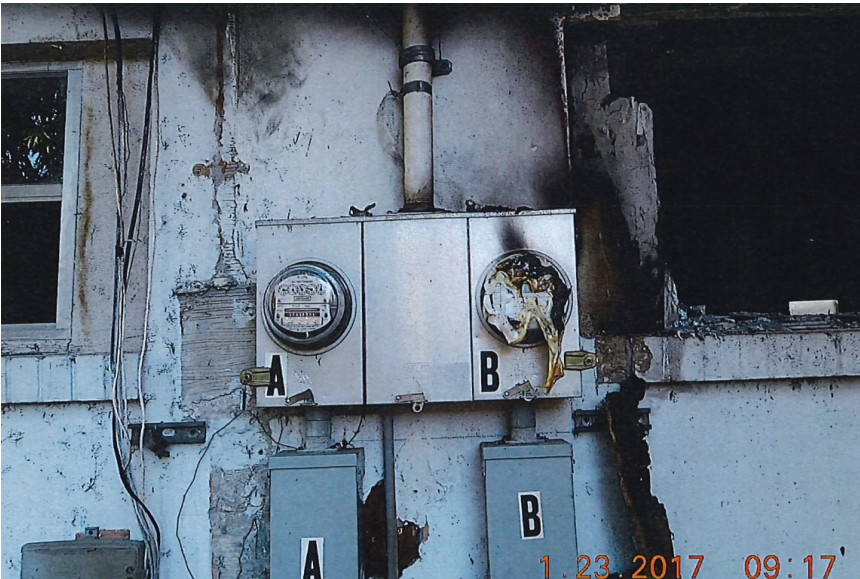
The request for condemnation and demolition was presented to the City Commission on April 16, 2018. The Commission approved the request and ordered the structure to be demolished (*Resolution No. 18-R20*).

Criteria for Demolition (23-49): 528 N 12th St.	Staff Analysis	Criteria for demolition met?
A. Is the structure of such interest or quality that it would reasonably meet national, state, or local criteria for designation as a significant historic or architectural site or structure?	The structure is listed as noncontributing in the Lincoln Park Historic District. In addition the overwhelming deterioration has significantly diminished its historic and architectural values. It does not meet national state or local criteria for designation as a significant historic or architectural site or structure.	Yes
B. Is the structure of such design, craftsmanship or material that it could be reproduced only with great difficulty or expense?	There is no significant design or craftsmanship present.	Yes
C. Is the structure one of the last remaining examples of its kind in the city, county or region?	The structure has no historical or architectural significance.	Yes
D. Does the structure contribute significantly to the historic character of a designated historic district?	The structure is visibly deteriorated for several years, it has become an undesirable component of the district.	Yes
E. Would retention of the structure promote the general welfare of the city by providing an opportunity for study of local history, architecture and design or by developing an understanding of the importance and value of a particular culture and heritage?	The structure does not have architectural, historical or cultural value.	Yes
F. Are there definite plans for re-use of the property if the proposed demolition is carried out, and what will be the effect of those plans on the character of the surrounding area?	After the demolition, the property will be sodded.	Yes



Outside of the structure





Exterior damage —
pictures provided by
the building inspector



Interior damage — pictures provided by the building inspector

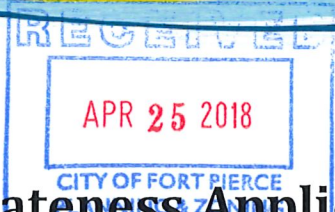


**STAFF
RECOMMENDATION**

Given the application meets all criteria for demolition of a structure within a designated historic district and building's current state of disrepair, the staff recommendation is to approve the demolition request.



THE SUNRISE CITY
FORT PIERCE
 PLANNING DEPARTMENT
Florida



COA# 18-34

Bldg. Permit # _____

Certificate of Appropriateness Application

Building & Site Information

Address of the Site: 513 N 13th Street
 Parcel ID #: 2409-502-0009-000/4
 Type of Designation: Contributing Non-contributing Site within the Lincoln Park Historic District
 Individually Designated Site, City Commission Resolution No. _____

Property Owner/ Applicant Information

Property Owner(s) Name(s): TTLREO 2 LLC
 Mailing Address: 4747 Executive Drive, Suite 510, San Diego, CA 92121
 Phone Number(s): _____ Email: _____

Applicant Name(s): City of Fort Pierce
 Mailing Address: 100 N US Hwy 1, Fort Pierce, FL 34950
 Phone Number(s): 772-467-3148 Email: parraiz@city-ftpierce.com

Representative Name(s): _____
 Mailing Address: _____
 Phone Number(s): _____ Email: _____

Property Owner(s) Acknowledgements:- This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this Application and/or presentation to the Historic Preservation Board.

I / We, City of Fort Pierce as APPLICANT Owner(s) of the subject property do hereby authorize the filing of this application on my/our behalf.

Maryann Tranaiz
 Signature of Owner APPLICANT

4/25/18
 Date

Description of Requested Work

Please indicate the type of work requested:

- | | | | |
|---|---|--|-------------------------------------|
| <input type="checkbox"/> Fence | <input type="checkbox"/> Shed | <input type="checkbox"/> Door(s) | <input type="checkbox"/> Roof |
| <input type="checkbox"/> Window(s) | <input type="checkbox"/> Signage | <input type="checkbox"/> Shutter(s) | <input type="checkbox"/> Porch |
| <input type="checkbox"/> Rehabilitation | <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Demolition | <input type="checkbox"/> Relocation |

Site Improvements (describe) _____

Other (describe) _____

Please provide a detailed description of the proposed work to be performed: _____

Request for condemnation and demolition presented to the City Commission on April 16, 2018. The Commission approved the request and ordered the structure to be demolished.

Have other alterations been made to the site within the last 12 months? No Yes, _____

Will the proposed work require a Zoning Variance? No Yes, Code Section(s): _____

Application Requirements

- \$10.00 Application fee
- Site Plan with dimensions.
- Architectural Drawings:
 - Drawings should show all current and proposed floor plans and elevations, fences, walls, and any other landscape features.
 - Drawings should indicate materials to be used.
- Photos - One (1) color photograph of the main façade of the site and photographs of any areas affected by the proposed project.
- Material(s) specifications and/or sample(s)
- Color samples.
- Demolition – Plans for what will be taking the demolished structure’s place should be submitted.

City of Fort Pierce

Department of Building & Code Enforcement

Marc Meyers, CBO, Building Official
Peggy Arraiz, Code Compliance Manager



PROPERTY MAINTENANCE INSPECTION REPORT

Property Address: 513 N 13th St. Unit #: _____

Landmarks / House color: White- Major fire damage

Number of Living Units / Rooms: _____ Building Occupied? No

Type of Structure Duplex Describe _____

Number of Entrances / Exits: 4

Electrical Meter #(s): Pulled

Action to be Taken: Unsafe Building Letter - Demo Days to comply 30 days

Inspector: Shaun Coss Date Inspected: 6-12-17

For Office Use Only

Case # _____ Parcel ID #: 2409-502-0006-000-4

Any active code cases? 13-2096 Historic? _____

Active building permits? _____ Permit #: _____

2nd Inspection due to second fire over this past weekend. Recommended action is demolition.

108.1.1 Unsafe Structure

- Dangerous to life, health, property or safety of the public
- Missing minimum safeguards in case of fire
- Structure contains unsafe equipment
- Structure is damaged / decayed / dilapidated
- Structure has faulty construction / unstable foundation

108.1.2 Unsafe Equipment

- Unsafe boiler or heating equipment
- Unsafe elevator or moving stairway
- Unsafe electrical wiring or device
- Flammable liquid containers or other within structure

108.1.3 Structure unfit for human occupancy

- Structure is unsafe / unlawful / degree of disrepair
- Structure is unsanitary / vermin or rat infested / contains filth
- Structure lacks ventilation / illumination
- Structure lacks sanitary or heating facilities

108.1.3 Unlawful structure

- Structure is occupied by more persons than permitted
- Structure was illegally converted to house more persons than allowed

Details

Submit by Email

Print Form

EXTERIOR INSPECTION

- 302.3 Sidewalks and driveway are in need of repair
Details
- 302.6 Exhaust vents are hazardous to another property
Details
- 302.7 Accessory structures require maintenance
Details
- 302.9 Graffiti needs to be removed
Details
- 303.1 Swimming pool needs to be maintained
Details
- 303.2 Swimming pool barrier not up to code
Details
- 304.4 Structural members damaged / unsafe
Details
- 304.5 Foundation walls damaged / unsafe
Details
- 304.6 Exterior walls damaged / unsafe
Details

304.7 ✓ Roofs & roof drainage damaged / unsafe
Details

304.9 ✓ Overhang extensions damaged / unsafe
Details

304.10 ✓ Stairways, decks, porches and balconies damaged / unsafe
Details

304.11 Chimneys and towers damaged / unsafe
Details

304.12 Handrails and guards damaged / unsafe
Details

304.13 ✓ Window, skylight, doors and door frames damaged / unsafe
Details

304.14 Window insect screens missing / damaged
Details

304.17 Basement window guards missing / damaged
Details

304.18.1 Doors - deadbolt missing / damaged
Details

304.18.2 Windows - locks missing / damaged
Details

INTERIOR INSPECTION

305.2 ✓ Structural members damaged / unsafe

Details Framing fire damaged

305.4 Stairs and walking surfaces damaged / unsafe

Details

305.5 Stair handrails damaged / unsafe

Details

305.6 ✓ Interior doors damaged / unsafe

Details Fire damaged, missing

306.1 Handrails not installed / not to code

Details

402.1 Habitable space does not have an approved window

Details

402.2 Common halls / stairway missing required light source

Details

403.2 Bathrooms do not have sufficient ventilation

Details

403.5 Clothes dryer exhaust not installed to code

Details

404.2 - ✓
404.7 Minimum housing requirement violations exist

Details

502.1 Dwelling units not to code (missing bathroom or kitchen facilities)
Details

503.1 Bathroom does not have door / no privacy
Details

504.1 ✓ Plumbing not to code
Details

505.1 - ✓
505.3 Water system unsafe / contaminated
Details

506.1 Plumbing system not property connected to sewage system
Details

506.2 ✓ Plumbing stack, vent, waste & sewer line damaged / unsafe
Details

602.2 - ✓
602.4 No heating facilities provided / heating facilities not working
Details

603.1 Appliances not installed properly / unsafe
Details

603.4 Safety controls for fuel-burning equipment missing / damaged
Details

605.1 ✓ Electrical equipment, wiring and appliances damaged / unsafe
Details

605.2 Receptacles or GFI missing / damaged
Details

605.3 Lighting fixtures missing / damaged
Details

607.1 Duct system damaged / missing / unsafe
Details

702.1 - Means of egress blocked / illegally blocked doors
702.4
Details

704.1 ✓ Fire protection systems missing / damaged
Details

Miscellaneous Information

Additional Violations:
IPMC 305.3- Interior Surfaces, all interior surfaces are fire damaged and must be replaced.

Michelle Franklin, CFA -- Saint Lucie County Property Appraiser -- All rights reserved.

Property Identification

Site Address: 513 N 13th ST
 Sec/Town/Range: 09/35S/40E
 Map ID: 24/09N
 Zoning: R4

Parcel ID: 2409-502-0006-000-4
 Account #: 21284
 Use Type: 0100
 Jurisdiction: Fort Pierce

Ownership

TTLREO 2 LLC
 4747 Executive DR Ste 510
 San Diego, CA 92121-3100

Legal Description

CLYDE KILLER'S A/D BLK 1 LOT 5 (OR 4073-2618)

Current Values

Just/Market Value: \$35,000
 Assessed Value: \$35,000
 Exemptions: \$0
 Taxable Value: \$35,000

Taxes for this parcel: SLC Tax Collector's Office

Download TRIM for this parcel: [Download PDF](#)



Total Areas

Finished/Under Air (SF): 1,246
 Gross Area (SF): 1,618
 Land Size (acres): 0.17
 Land Size (SF): 7,500

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Dec 7, 2017	4073 / 2618	0111	TD	Smith (EST) Annie L	\$0
Mar 14, 2006	2515 / 2679	XX00	WD	Eames ,Timothy	\$124,000
May 13, 2005	2247 / 2909	XX01	QC	Clark, Alan	\$75,000
Mar 21, 2005	2205 / 1435	XX02	QC	Trident Real Estate Mgmt Corp,	\$100
May 26, 2004	1979 / 2139	XX00	WD	Moore ,Frances M	\$35,000
Mar 3, 1998	1130 / 0372	XX04	QC	James L Moore	\$100
Jan 8, 1998	1173 / 1174	XX01	WI	Moore (EST), James L	\$0
Apr 3, 1992	0784 / 2876	XX01	QC	Georgia Moore	\$100
Aug 16, 1989	0652 / 1510	XX01	QC		\$100

Building Information (1 of 1)

Finished Area: 1,246 SF

Gross Total Area: 1,618 SF

Exterior Data

View:
 Building Type: HC-
 Grade: C-
 Story Height: 1 Story

Roof Cover: Tar & Gravel
 Year Built: 1956
 Effective Year: 1956
 No. Units: 1

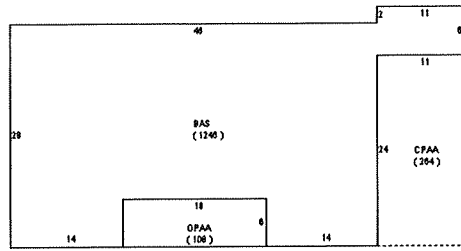
Roof Structure: Flat/Shed
 Frame:
 Primary Wall: Conc Block
 Secondary Wall:

Interior Data

Bedrooms: 2
 Full Baths: 2

Electric: MAXIMUM
 Heat Type: FredHotAir

Primary Int Wall:
 Avg Hgt/Floor: 0



Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
BAS	BASE AREA	1246	1246	186
CPAA	Carport Attached Average	264	0	70
OPAA	Open Porch Attached Average	108	0	48

Special Features and Yard Items

Type	Qty	Units	Year Blt
------	-----	-------	----------

Current Year Values

Current Values Breakdown

Building:	\$31,700
Land:	\$3,300
Just/Market:	\$35,000
Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$0
Assessed:	\$35,000
Exemption(s):	\$0
Taxable:	\$35,000

Current Year Exemption Value Breakdown

Tax Year	Grant Year	Code	Description	Amount
----------	------------	------	-------------	--------

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
1999	0041	3.1	Fort Pierce Stormwater Charge	\$167.40

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office.

Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2017	\$35,000	\$35,000	\$0	\$35,000
2016	\$32,800	\$32,800	\$0	\$32,800
2015	\$38,900	\$38,900	\$0	\$38,900

Permits

Number	Issue Date	Description	Amount	Fee
--------	------------	-------------	--------	-----

Notice: This does not necessarily represent all the permits for this property.

Click the following link to check for additional permit data in Fort Pierce

This information is believed to be correct at this time but it is subject to change and is not warranted.

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Historic Preservation Board

6.d.

Meeting Date: 05/29/2018

Information

REQUESTED ACTION

Certificate of Appropriateness 18-35 - Demolition (front unit) - 426 N. 10th Street

LOCATION

426 N 10th Street (2410-601-0007-000-9)

RESPONSIBLE STAFF

Maria Lewicka, AICP
Historic Preservation Planner

RECOMMENDATION

Approval

Attachments

Staff Report
Application
Inspection Report
Property Card

Form Review

Form Started By: Maria Lewicka
Final Approval Date: 05/22/2018

Started On: 05/22/2018 11:19 AM



MAY 29, 2018

COA 18-35

Owner

Leroy Chavis (EST)

Applicant

City of Fort Pierce

Location

426 N 10th Street

Parcel ID

2410-601-0007-000-9

Historic Status

This building is a contributing structure located in the Lincoln Park Historic District.

Requested Action

The applicant is requesting demolition of the front residential structure.

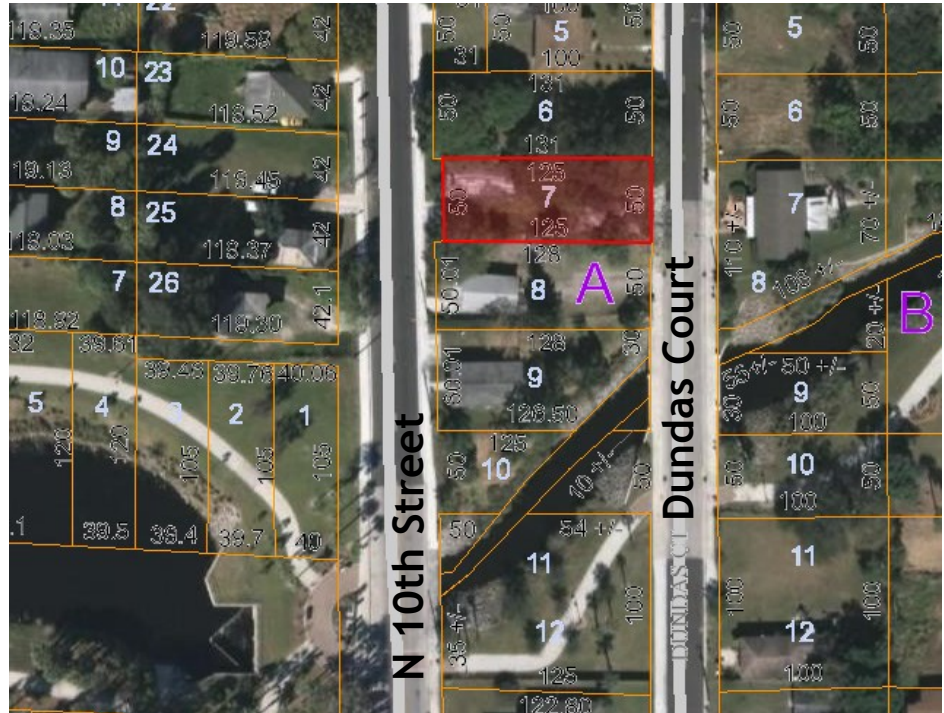
Recommendation

Approval

Staff

Maria Lewicka, AICP
Historic Preservation Planner

HISTORIC PRESERVATION BOARD : PUBLIC HEARING



Subject Property

BACKGROUND

This is a one-story wood frame residential building. Its Bungalow style is expressed by a hip roof, end porch integrated under the primary roof, drop siding exterior wall fabric and 1/1 -light double -hang sash windows. The owner has no plans to use the building in the future, nor current plans to develop the property.

STAFF ANALYSIS

The subject structure, 720 square feet residence, is in extremely poor condition.

In April 4, 2014 Property was declared unsafe by Building Official Marc Meyers.

In September 2107, Building Department inspector completed a Property Maintenance Inspection Report and recommended demolition of the structure due to extensive deterioration and unsafe building conditions. (further details are provided in the attached *Property Maintenance Inspection Report*).

The request for condemnation and demolition was presented to the City Commission on March 19, 2018. The City Commission approved the request and ordered the structure to be demolished (*Resolution No. 18-R12*).

Criteria for Demolition (23-49): 528 N 12th St.	Staff Analysis	Criteria for demolition met?
A. Is the structure of such interest or quality that it would reasonably meet national, state, or local criteria for designation as a significant historic or architectural site or structure?	The structure is listed as contributing in the Lincoln Park Historic District. However its overwhelming deterioration has significantly diminished its historic and architectural values.	Yes
B. Is the structure of such design, craftsmanship or material that it could be reproduced only with great difficulty or expense?	The difficulty and expense of reconstruction is extremely high due to widespread and far-reaching damage. There is no design or craftsmanship present significant enough to justify the cost of reconstruction.	Yes
C. Is the structure one of the last remaining examples of its kind in the city, county or region?	The Bungalow Style is represented by several structures located in the city.	Yes
D. Does the structure contribute significantly to the historic character of a designated historic district?	The structure is visibly deteriorated for several years, it has become an undesirable component of the district.	Yes
E. Would retention of the structure promote the general welfare of the city by providing an opportunity for study of local history, architecture and design or by developing an understanding of the importance and value of a particular culture and heritage?	The structure in its current condition does not have architectural, historical or cultural value.	Yes
F. Are there definite plans for re-use of the property if the proposed demolition is carried out, and what will be the effect of those plans on the character of the surrounding area?	After the demolition, the property will be sodded.	Yes





Exterior damage – pictures provided by the building inspector





Exterior damage — pictures provided by the building inspector



**S T A F F
R E C O M M E N D A T I O N**

Given that the application meets all criteria for demolition of a structure within a designated historic district and building's current state of disrepair, the staff recommendation is to approve the demolition request.



Bldg. Permit # _____

COA# 18-35

Certificate of Appropriateness Application

Building & Site Information

Address of the Site: 426 N 10th Street - Front Unit
Parcel ID #: 2410-601-0007-000/9
Type of Designation: Contributing Non-contributing Site within the Lincoln Park Historic District
 Individually Designated Site, City Commission Resolution No. _____

Property Owner/ Applicant Information

Property Owner(s)
Name(s): Leroy Chavis (EST)
Mailing Address: 1240 Avenue I
Phone Number(s): _____ Email: _____

Applicant
Name(s): City of Fort Pierce
Mailing Address: 100 N US Hwy 1 - Code Enforcement Department
Phone Number(s): 772-467-3148 Email: parraiz@city-ftpierce.com

Representative
Name(s): _____
Mailing Address: _____
Phone Number(s): _____ Email: _____

Property Owner(s) Acknowledgements:- This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this Application and/or presentation to the Historic Preservation Board.

I / We, The City of Fort Pierce ^{APPLICANT} as Owner(s) of the subject property do hereby authorize the filing of this application on my/our behalf.

Maryann M. Parraiz
Signature of Owner ^{APPLICANT}

4/25/18
Date

Description of Requested Work

Please indicate the type of work requested:

- | | | | |
|---|---|--|-------------------------------------|
| <input type="checkbox"/> Fence | <input type="checkbox"/> Shed | <input type="checkbox"/> Door(s) | <input type="checkbox"/> Roof |
| <input type="checkbox"/> Window(s) | <input type="checkbox"/> Signage | <input type="checkbox"/> Shutter(s) | <input type="checkbox"/> Porch |
| <input type="checkbox"/> Rehabilitation | <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Demolition | <input type="checkbox"/> Relocation |

Site Improvements (describe) _____

Other (describe) _____

Please provide a detailed description of the proposed work to be performed: _____

Request for condemnation and demolition presented to the City Commission on
 March 19, 2018. The City Commission approved the request and ordered the
 structure demolished.

Have other alterations been made to the site within the last 12 months? No Yes, _____

Will the proposed work require a Zoning Variance? No Yes, Code Section(s): _____

Application Requirements

- \$10.00 Application fee
- Site Plan with dimensions.
- Architectural Drawings:
 - Drawings should show all current and proposed floor plans and elevations, fences, walls, and any other landscape features.
 - Drawings should indicate materials to be used.
- Photos - One (1) color photograph of the main façade of the site and photographs of any areas affected by the proposed project.
- Material(s) specifications and/or sample(s)
- Color samples.
- Demolition – Plans for what will be taking the demolished structure’s place should be submitted.



Property Maintenance Inspection Report

Property Address Parcel ID #

House Color # of Units Historic?

Type of Structure Building Occupied Time to Comply

Action to be take - Select all that apply
 Unsafe Building - Rehab Unsafe Building - Demo Nuisance Abatement - Board up

Inspector Date Property Posted?

Comments

- Active Code Cases *2 Code cases* NONE Active Building Permit *Old cmd. which will be closed* NONE
- Lis Pendens check Rehab letter sent
- Demo letter sent Nuisance letter sent
- Title search done Affidavit recorded

Contact Information

Contact Info

Comments



Unsafe structures

108.1.1 - Unsafe structure

- Lacks adequate protection from fire Contains unsafe equipment All or part of building is likely to collapse.

108.1.2 - Unsafe equipment

- Unsafe boiler / heating equipment Unsafe electrical wiring / device Unsafe elevator / moving stairway
 Flammable liquid containers within structure Other unsafe equipment

108.1.3 - Structure unfit for human occupancy

- Unsafe or unlawful Unsanitary / contains filth / contamination vermin or rat infested
 lacks illumination Location of structure constitutes a hazard lacks ventilation
 lacks heat lacks maintenance lacks sanitary facilities

108.1.4 - Unlawful structure

- Occupied by more persons than permitted Erected, altered or occupied contrary to law

108.1.5 - Dangerous structure or premises

- (1) Any door, aisle, passageway, stairway, or exit that does not comply to requirements for exiting the building
 (2) The walking surface of means of egress is so warped, worn, loose, torn or otherwise unsafe to provide means of egress.
 (3) Any portion of a structure damaged by fire, wind, flood, earthquake, deterioration, neglect, abandonment, vandalism or any other cause that it is likely to partially or completely collapse, or to become detached or dislodged.
 (4) Any portion of a building, appurtenance or ornamentations that is not of sufficient strength or stability, or is not so anchored or attached to be capable of resisting natural or artificial loads of one and one-half the original designed value.
 (5) The structure or part of structure because of dilapidation, deterioration, decay, faulty construction, the removal or movement of ground necessary for support or any other reason is likely to collapse or under pinning is likely to fail or give way.
 (6) The building or structure, or any portion thereof, is clearly unsafe for its use and occupancy.
 (7) The structure is neglected, damaged, dilapidated, unsecured or abandoned so as to become an attractive nuisance.
 (8) Any structure that exists or has been maintained in violation of any specific requirement or prohibition to such an extent as to present either a substantial risk of fire, building collapse or any other threat to life and safety.
 (9) Any structure intended to be used for dwelling purposes, due to inadequate maintenance, dilapidation, decay, damage, faulty construction, inadequate light, ventilation, mechanical or plumbing system is determined to be unsanitary, unfit for human habitation or in such a condition that it is likely to cause sickness or disease.
 (10) Any structure, due to lack of sufficient fire resistance rated construction, fire protection systems, electrical system, fuel connections, mechanical system, plumbing system or other cause is determined to be a threat to life or health.
 (11) Any portion of a building remains on a site after the demolition of the structure or whenever any building or structure is abandoned so as to constitute such building or portion thereof as an attractive nuisance or hazard to the public.

Comments

Section 302 - Exterior property areas

Section 303 - Swimming Pools, Spas and Hot Tubs

Section 304 - Exterior Structure

304.1 - General - The exterior of a structure shall be maintained in good repair, structurally sound and sanitary so as not to pose a threat to the public health, safety and welfare.

304.1.1 - Unsafe conditions - The following conditions shall be determined as unsafe and shall be repaired or replaced to comply with the IBC or the IEBC as required for existing buildings.

1. The nominal strength of any structural member is exceeded by nominal loads, the load effects or the required strength.



- | | |
|-------------------------------------|--|
| <input type="checkbox"/> | 2. The anchorage of the floor or roof to walls or columns, and of walls and columns to foundations is not capable of resisting all nominal loads or load effects. |
| <input type="checkbox"/> | 3. Structures or components thereof that have reached their limit state. |
| <input type="checkbox"/> | 4. Siding and masonry joints are not maintained, weather resistant or water tight. |
| <input checked="" type="checkbox"/> | 5. Structural members that have evidence of deterioration or cannot safely support all nominal loads and load effects. |
| <input checked="" type="checkbox"/> | 6. Foundation systems that are not firmly supported by footings, are not plumb without cracks and breaks and are not properly anchored or cannot support all nominal loads and resisting all load effects. |
| <input checked="" type="checkbox"/> | 7. Exterior walls that are not anchored to supporting elements or are not plumb or free from holes, cracks, breaks or loose or rotting materials, are not properly anchored and not able of supporting all nominal loads and resisting load effects. |
| <input checked="" type="checkbox"/> | 8. Roofing that have defects that admit rain, roof surfaces with inadequate drainage, or any portion that is not in good repair with signs of deterioration, fatigue or without property anchorage and incapable of supporting all nominal loads. |
| <input checked="" type="checkbox"/> | 9. Flooring with defects that affect serviceability or that show signs of deterioration or fatigue, are not properly anchored or are incapable of supporting all nominal loads and resisting all load effects. |
| <input type="checkbox"/> | 10. Veneer, cornices, belt courses, corbels, trim, wall facings not properly anchored or that are anchored with connections not capable of supporting all nominal loads and resisting load effects. |
| <input type="checkbox"/> | 11. Overhang extensions or projections including trash chutes, canopies, marquees, signs, awnings, fire escapes, standpipes and exhaust ducts not properly anchored or anchored with connections unable to support all nominal loads. |
| <input checked="" type="checkbox"/> | 12. Exterior stairs, decks, porches, balconies and all attachments such as guards and handrails are not structurally sound, not properly anchored or anchored with connections unable to support all nominal loads and resisting all load effects. |
| <input type="checkbox"/> | 13. Chimneys, cooling towers, smokestacks not properly anchored or that are anchored with connections unable to support all nominal loads and resisting all load effects. |

- | | |
|-------------------------------------|--|
| <input type="checkbox"/> | 304.2 - Protective Treatment - Exterior surfaces, including doors, door and window frames, cornices, porches, trim, balconies, decks and fences shall be maintained in good condition. Exterior surfaces shall be protected from elements and decay by painting or other protective treatment. Peeling, flaking and chipped paint shall be eliminated and surfaces repainted. Siding and masonry joints shall be maintained weather resistant and water tight. Metal surfaces subject to rust or corrosion shall be coated to inhibit such rust and corrosion. |
| <input checked="" type="checkbox"/> | 304.3 - Address identification - Buildings shall be provided with approved address identification that are legible and placed to be visible from the street fronting the property. They must contrast with their background, be numerical and a minimum of 4" tall. |
| <input checked="" type="checkbox"/> | 304.4 - Structural members - Structural members shall be maintained free from deterioration, and shall be capable of safely supporting the imposed dead and live loads. |
| <input type="checkbox"/> | 304.5 - Foundation walls - Foundation walls shall be maintained plumb and free from cracks and breaks and shall be kept in such condition so as to prevent the entry of rodents and other pests. |
| <input checked="" type="checkbox"/> | 304.6 - Exterior walls - Exterior walls shall be free from holes, breaks and loose or rotting materials; and maintained weatherproof and properly surface coated where required to prevent deterioration. |
| <input checked="" type="checkbox"/> | 304.7 - Roofs and drainage - The roof and flashing shall be sound, tight and not have defects that admit rain. Drainage must prevent dampness or deterioration in the walls or interior portion of the structure. Drains, gutters and downspouts must be in good repair and free from obstruction. Roof water shall not be discharged in a manner that creates a public nuisance. |
| <input type="checkbox"/> | 304.8 - Decorative features - Cornices, belt courses, corbels, terra cotta trim, wall facing and similar decorative features shall be in good repair with proper anchorage and in safe condition. |
| <input type="checkbox"/> | 304.9 - Overhang extensions - Overhang extensions including canopies, marquees, signs, metal awnings, fire escapes, standpipes and exhaust ducts shall be in good repair and properly anchored and kept in sound condition. All exposed surfaces of metal or wood shall be protected from the elements with weather coating material such as paint or similar surface treatment. |
| <input type="checkbox"/> | 304.10 - Stairways, decks, porches and balconies - Every exterior stairway, deck, porch and balcony shall be structurally sound, in good repair, with proper anchorage and capable of supporting the imposed loads. |
| <input type="checkbox"/> | 304.11 - Chimneys and towers - Chimneys, cooling towers, smoke stacks, shall be structurally safe and sound and in good repair. Exposed surfaces shall be protected by paint or similar surface treatment. |
| <input type="checkbox"/> | 304.12 - Handrails and guards - Every handrail and guard shall be firmly fastened and capable of supporting normally imposed loads and shall be maintained in good condition. |



- 304.13 - Window, skylight and door frames - Every window, skylight, door and frame shall be kept in sound condition, good repair and weather tight.
- 304.13.1 - Glazing - Glazing materials shall be maintained free from cracks or holes.
- 304.13.2 - Openable windows - Every window, other than a fixed window, shall be easily openable and capable of being held in position by window hardware.
- 304.14 - Insect screens - Every door, window and other outside opening required for ventilation or food preparation areas shall have tightly fitting screens of minimum 16 mesh per inch and every screen door must have self closing device is good working condition.
- 304.15 - Doors - Exterior doors and hardware shall be maintained in good condition. Locks at all entrances to dwelling units and sleeping units shall tightly secure the door.
- 304.18 - Building security - Doors, windows or hatchways for dwelling units, room units or housekeeping units shall be provided with devices designed to provide security for the occupants and property within.
 - 304.18.1 - Doors - Doors providing access to a dwelling unit, rooming unit or housekeeping unit that is rented, leased or let shall have a dead bolt designed to open from the inside without a key.
 - 304.18.2 - Windows - Operable windows located within 6 ft. above the ground that provides access to a dwelling unit, rooming unit or housekeeping unit that is rented, leased or let shall be equipped with a window sash locking device.
- 304.19 - Gates - Exterior gates, gate assemblies, operator systems and hardware shall be maintained in good condition.

Comments

Section 305 - Interior Structure

- 305.1 - General - The interior of a structure and equipment shall be maintained in good repair, structurally sound and in a sanitary condition.
 - 305.1.1 - Unsafe conditions - The following conditions shall be determined as unsafe and shall be repaired or replaced to comply with the IBC or the IEBD as required for existing buildings.
 - 1. The nominal strength of any structural member is exceeded by nominal loads, the load effects or the required strength.
 - 2. The anchorage of the floor or roof to walls or columns, and walls and columns to foundations is not capable of resisting all nominal loads or load effects.
 - 3. Structures or components thereof that have reached their limit state.
 - 4. Structural members are incapable of supporting nominal loads and load effects.
 - 5. Stairs, landings, balconies, including guards and handrails, are not structurally sound, not properly anchored or are anchored with connections not capable of supporting all nominal loads and resisting all load effects.
 - 6. Foundation systems that are not firmly supported by footings are not plumb and free from open cracks and breaks, are not properly anchored or are not capable of supporting all nominal loads and resisting all load effects.
- 305.2 - Structural members - Structural members shall be maintained structurally sound, and capable of supporting the imposed loads.
- 305.3 - Interior surfaces - Interior surfaces, including windows and doors, shall be maintained in good, clean and sanitary condition. Peeling, chipping, flaking or abraded paint shall be repaired, removed or covered. Cracked plaster, decaying wood and other defective surface conditions shall be corrected.
- 305.4 - Stairs and walking surfaces - Every stair, ramp, landing, balcony, porch, deck or other waling surface shall be maintained in sound condition and good repair.
- 305.5 - Handrails and guards - Every handrail and guard shall be firmly fastened and capable of supporting normally imposed loads and shall be maintained in good condition.
- 305.6 - Interior doors - Every interior door shall fit reasonably well within its frame and shall be capable of being opened and closed by being properly and securely attached to jambs, headers or tracks as intended by the manufacturer.

Comments

Section 306 - Component Serviceability



THE SUNRISE CITY
FORT PIERCE
CODE ENFORCEMENT
Florida

<input type="checkbox"/>	Section 307 - Handrails and guardrails
<input type="checkbox"/>	Section 308 - Rubbish and garbage
<input type="checkbox"/>	Section 309 - Pest Elimination
<input type="checkbox"/>	Section 404 - Occupancy Limits
<input type="checkbox"/>	Section 502 - Required facilities
<input type="checkbox"/>	Section 503 - Toilet Rooms
<input type="checkbox"/>	Section 504 - Plumbing systems and fixtures
<input type="checkbox"/>	Section 505 - Water system
<input type="checkbox"/>	Section 506 - Sanitary drainage system
<input type="checkbox"/>	Section 507 - Storm drainage
<input type="checkbox"/>	Section 601 - Mechanical - General
<input type="checkbox"/>	Section 602 - Heating facilities
<input type="checkbox"/>	Section 603 - Mechanical equipment
<input type="checkbox"/>	Section 604 - Electrical Facilities
<input type="checkbox"/>	Section 605 - Electrical equipment
<input type="checkbox"/>	Section 606 - Elevators, escalators and dumbwaiters
<input type="checkbox"/>	Section 607 - Duct systems
<input type="checkbox"/>	Section 701 - General fire safety requirements
<input type="checkbox"/>	Section 702 - Means of egress
<input type="checkbox"/>	Section 703 - Fire resistance ratings
<input type="checkbox"/>	Section 704 - Fire protection systems

Additional Comments

No electric

Michelle Franklin, CFA -- Saint Lucie County Property Appraiser -- All rights reserved.

Property Identification

Site Address: 426 N 10th ST
 Sec/Town/Range: 10/35S/40E
 Map ID: 24/10N
 Zoning: R4

Parcel ID: 2410-601-0007-000-9
 Account #: 23150
 Use Type: 0800
 Jurisdiction: Fort Pierce

Ownership

Leroy Chavis (EST)
 1230 Avenue I
 Fort Pierce, FL 34950

Legal Description

FEE AND MAY'S RE-S/D BLK A LOT 7-LESS W 40 FT FOR ST R/W-
 (MAP 24/10C) (OR 695-1012)

Current Values

Just/Market Value: \$18,900
 Assessed Value: \$13,714
 Exemptions: \$0
 Taxable Value: \$13,714

Taxes for this parcel: SLC Tax Collector's Office
 Download TRIM for this parcel: Download PDF



Total Areas

Finished/Under Air (SF): 2,006
 Gross Area (SF): 2,368
 Land Size (acres): 0.14
 Land Size (SF): 6,250

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Jun 4, 1990	0695 / 1012	XX01	QC	Arthur Chavis	\$100
Nov 1, 1978	0298 / 0333	XX01	CV		\$0
Dec 1, 1976	0260 / 2912	XX01	CV		\$0

Building Information (1 of 3)

Finished Area: 720 SF
 Gross Total Area: 864 SF

Exterior Data

View:
 Building Type: HD+
 Grade: D+
 Story Height: 1 Story

Roof Cover: Sheet Metal
 Year Built: 1926
 Effective Year: 1926
 No. Units: 3

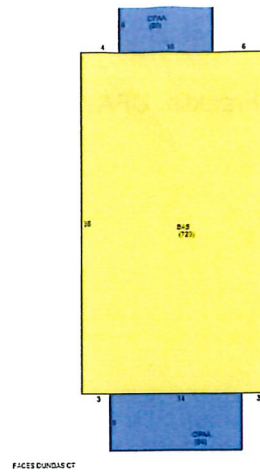
Roof Structure: Hip
 Frame:
 Primary Wall: Frm Stucco
 Secondary Wall:

Interior Data

Bedrooms: 0
 Full Baths: 1
 Half Baths: 0
 A/C %: 0%

Electric: AVERAGE
 Heat Type:
 Heat Fuel:
 Heated %: 0%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors: Double Pine
 Sprinkled %: N/A%



Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
BAS	BASE AREA	720	720	112
OPAA	Open Porch Attached Average	144	0	72

Building Information (2 of 3)

Finished Area: 910 SF

Gross Total Area: 1,096 SF

Exterior Data

View:
 Building Type: HD+
 Grade: D+
 Story Height: 1 Story

Roof Cover: Roll Comp
 Year Built: 1926
 Effective Year: 1926
 No. Units: 1

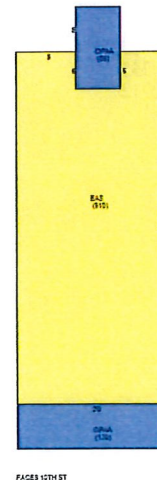
Roof Structure: Gable
 Frame:
 Primary Wall: Wood no Sh
 Secondary Wall:

Interior Data

Bedrooms: 0
 Full Baths: 1
 Half Baths: 0
 A/C %: 0%

Electric: AVERAGE
 Heat Type:
 Heat Fuel:
 Heated %: 0%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors: Double Pine
 Sprinkled %: 0%



Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
BAS	BASE AREA	910	910	144
OPAA	Open Porch Attached Average	186	0	86

Building Information (3 of 3)

Finished Area: 376 SF
 Gross Total Area: 408 SF

Exterior Data

View:
 Building Type: MFH
 Grade: MFFQ
 Story Height: 1 Story

Roof Cover: Sheet Metal
 Year Built: 1926
 Effective Year: 1955
 No. Units: 1

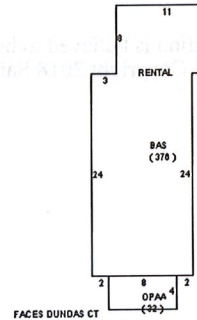
Roof Structure: Gable
 Frame:
 Primary Wall: Wood no Sh
 Secondary Wall:

Interior Data

Bedrooms: 0
 Full Baths: 1
 Half Baths: 0
 A/C %: 0%

Electric: AVERAGE
 Heat Type:
 Heat Fuel:
 Heated %: 0%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors: Double Pine
 Sprinkled %: 0%



Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
BAS	BASE AREA	376	376	92
OPAA	Open Porch Attached Average	32	0	24

Special Features and Yard Items

Type	Qty	Units	Year Blt
------	-----	-------	----------

Current Year Values

Current Values Breakdown

Building:	\$15,900
Land:	\$3,000
Just/Market:	\$18,900
Ag Credit:	\$0
Save Our Homes or 10% Cap:	\$5,186
Assessed:	\$13,714
Exemption(s):	\$0
Taxable:	\$13,714

Current Year Exemption Value Breakdown

Tax Year	Grant Year	Code	Description	Amount
----------	------------	------	-------------	--------

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
1999	0041	0.6	Fort Pierce Stormwater Charge	\$32.40

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office.

Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2017	\$18,900	\$13,714	\$0	\$13,714
2016	\$14,000	\$12,468	\$0	\$12,468
2015	\$10,100	\$10,100	\$5,247	\$4,853

Permits

Number	Issue Date	Description	Amount	Fee
BP11-1965	Sep 16, 2011	Alterations/Remodeling	\$2,500	\$89
BP11-1965	May 7, 2012	Alterations/Remodeling	\$2,500	\$129

Notice: This does not necessarily represent all the permits for this property.

[Click the following link to check for additional permit data in Fort Pierce](#)

This information is believed to be correct at this time but it is subject to change and is not warranted.

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Historic Preservation Board

6.e.

Meeting Date: 05/29/2018

Information

REQUESTED ACTION

Certificate of Appropriateness 18-36 - Demolition (rear unit) - 426 N. 10th Street

LOCATION

426 N 10th Street (Parcel ID: 2410-601-0007-000-9)

RESPONSIBLE STAFF

Maria Lewicka, AICP
Historic Preservation Planner

RECOMMENDATION

Approval

Attachments

Staff Report
Application
Inspection Report
Property Card

Form Review

Form Started By: Maria Lewicka
Final Approval Date: 05/22/2018

Started On: 05/22/2018 12:07 PM



MAY 29, 2018

COA 18-36

Owner

Leroy Chavis (EST)

Applicant

City of Fort Pierce

Location

426 N10th Street

Parcel ID

2410-601-0007-000-9

Historic Status

This building is a contributing structure located in the Lincoln Park Historic District.

Requested Action

The applicant is requesting demolition of the residential structure (Dundas Ct. Unit)

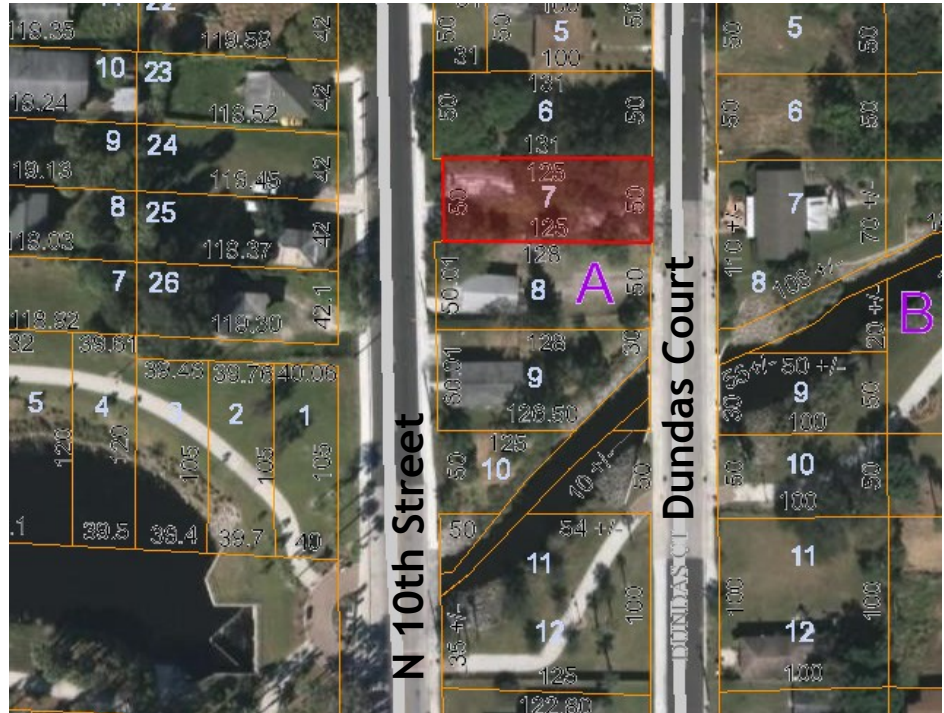
Recommendation

Approval

Staff

Maria Lewicka, AICP
 Historic Preservation Planner

HISTORIC PRESERVATION BOARD : PUBLIC HEARING



Subject Property

BACKGROUND

This one-story frame vernacular structure was built circa 1926 . This structure lacks any historical, or architectural significance.

The owner has no plans to use the building in the future, nor current plans to develop the property.

STAFF ANALYSIS

The subject structure, 910 square feet residence, is in extremely poor condition.

In April 4, 2014 Property was declared unsafe by Building Official Marc Meyers.

In September 217, Building Department inspector completed a Property Maintenance Inspection Report and recommended demolition of the structure due to extensive deterioration of the building and unsafe building conditions (further details are provided in the attached *Property Maintenance Inspection Report*).

The request for condemnation and demolition was presented to the City Commission on March 19, 2018. The City Commission approved the request and ordered the structure to be demolished (*Resolution No. 18-R13*).

Criteria for Demolition (23-49): 528 N 12th St.	Staff Analysis	Criteria for demolition met?
A. Is the structure of such interest or quality that it would reasonably meet national, state, or local criteria for designation as a significant historic or architectural site or structure?	The structure is located on the property listed as contributing in the Lincoln Park Historic District. However this is a second/rear structure located on the property and does not have historic or architectural values. In addition this structure is its overwhelmingly deteriorated.	Yes
B. Is the structure of such design, craftsmanship or material that it could be reproduced only with great difficulty or expense?	There is no significant design or craftsmanship present.	Yes
C. Is the structure one of the last remaining examples of its kind in the city, county or region?	The structure has no historical or architectural significance.	Yes
D. Does the structure contribute significantly to the historic character of a designated historic district?	The structure is visibly deteriorated for several years, it has become an undesirable component of the district.	Yes
E. Would retention of the structure promote the general welfare of the city by providing an opportunity for study of local history, architecture and design or by developing an understanding of the importance and value of a particular culture and heritage?	The structure does not have architectural, historical or cultural value.	Yes
F. Are there definite plans for re-use of the property if the proposed demolition is carried out, and what will be the effect of those plans on the character of the surrounding area?	After the demolition, the property will be sodded.	Yes



Outside of the structure





Exterior damage –
pictures provided by
the building inspector





Interior damage –
pictures provided by
the building inspector



**S T A F F
R E C O M M E N D A T I O N**

Given the application meets all criteria for demolition of a structure within a designated historic district and the building's current state of disrepair, the staff recommendation is to approve the demolition request.



RECEIVED

APR 25 2018

CITY OF FORT PIERCE

Bldg. Permit # _____

COA# 18-36

Certificate of Appropriateness Application

Building & Site Information

Address of the Site: 426 N 10th Street - Rear Unit AKA 427 Dundas Ct
Parcel ID #: 2410-601-0007-000/9
Type of Designation: Contributing Non-contributing Site within the Lincoln Park Historic District
 Individually Designated Site, City Commission Resolution No. _____

Property Owner/ Applicant Information

Property Owner(s) Name(s): Leroy Chavis (EST)
Mailing Address: 1240 Avenue I
Phone Number(s): _____ Email: _____

Applicant Name(s): City of Fort Pierce
Mailing Address: 100 N US Hwy 1 - Code Enforcement Department
Phone Number(s): 772-467-3148 Email: parraiz@city-ftpiece.com

Representative Name(s): _____
Mailing Address: _____
Phone Number(s): _____ Email: _____

Property Owner(s) Acknowledgements:- This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this Application and/or presentation to the Historic Preservation Board.

I / We, City of Fort Pierce ^{APPLICANT} as Owner(s) of the subject property do hereby authorize the filing of this application on my/our behalf.

Margarita Parraiz
Signature of Owner ^{APPLICANT}

4/25/18
Date

Description of Requested Work

Please indicate the type of work requested:

- | | | | |
|---|---|--|-------------------------------------|
| <input type="checkbox"/> Fence | <input type="checkbox"/> Shed | <input type="checkbox"/> Door(s) | <input type="checkbox"/> Roof |
| <input type="checkbox"/> Window(s) | <input type="checkbox"/> Signage | <input type="checkbox"/> Shutter(s) | <input type="checkbox"/> Porch |
| <input type="checkbox"/> Rehabilitation | <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Demolition | <input type="checkbox"/> Relocation |

Site Improvements (describe) _____

Other (describe) _____

Please provide a detailed description of the proposed work to be performed: _____

Request for condemnation and demolition presented to the City Commission on March 19, 2018. The City Commission approved the request and ordered the structure demolished.

Have other alterations been made to the site within the last 12 months? No Yes, _____

Will the proposed work require a Zoning Variance? No Yes, Code Section(s): _____

Application Requirements

- \$10.00 Application fee
- Site Plan with dimensions.
- Architectural Drawings:
 - Drawings should show all current and proposed floor plans and elevations, fences, walls, and any other landscape features.
 - Drawings should indicate materials to be used.
- Photos - One (1) color photograph of the main façade of the site and photographs of any areas affected by the proposed project.
- Material(s) specifications and/or sample(s)
- Color samples.
- Demolition – Plans for what will be taking the demolished structure’s place should be submitted.



Unsafe structures

108.1.1 - Unsafe structure
 Lacks adequate protection from fire Contains unsafe equipment All or part of building is likely to collapse

108.1.2 - Unsafe equipment
 Unsafe boiler / heating equipment Unsafe electrical wiring / device Unsafe elevator / moving stairway
 Flammable liquid containers within structure Other unsafe equipment

108.1.3 - Structure unfit for human occupancy
 Unsafe or unlawful Unsanitary / contains filth / contamination vermin or rat infested
 lacks illumination Location of structure constitutes a hazard lacks ventilation
 lacks heat lacks maintenance lacks sanitary facilities

108.1.4 - Unlawful structure
 Occupied by more persons than permitted Erected, altered or occupied contrary to law

108.1.5 - Dangerous structure or premises
 (1) Any door, aisle, passageway, stairway, or exit that does not comply to requirements for exiting the building
 (2) The walking surface of means of egress is so warped, worn, loose, torn or otherwise unsafe to provide means of egress.
 (3) Any portion of a structure damaged by fire, wind, flood, earthquake, deterioration, neglect, abandonment, vandalism or any other cause that it is likely to partially or completely collapse, or to become detached or dislodged.
 (4) Any portion of a building, appurtenance or ornamentations that is not of sufficient strength or stability, or is not so anchored or attached to be capable of resisting natural or artificial loads of one and one-half the original designed value.
 (5) The structure or part of structure because of dilapidation, deterioration, decay, faulty construction, the removal or movement of ground necessary for support or any other reason is likely to collapse or under pinning is likely to fail or give way.
 (6) The building or structure, or any portion thereof, is clearly unsafe for its use and occupancy.
 (7) The structure is neglected, damaged, dilapidated, unsecured or abandoned so as to become an attractive nuisance.
 (8) Any structure that exists or has been maintained in violation of any specific requirement or prohibition to such an extent as to present either a substantial risk of fire, building collapse or any other threat to life and safety.
 (9) Any structure intended to be used for dwelling purposes, due to inadequate maintenance, dilapidation, decay, damage, faulty construction, inadequate light, ventilation, mechanical or plumbing system is determined to be unsanitary, unfit for human habitation or in such a condition that it is likely to cause sickness or disease.
 (10) Any structure, due to lack of sufficient fire resistance rated construction, fire protection systems, electrical system, fuel connections, mechanical system, plumbing system or other cause is determined to be a threat to life or health.
 (11) Any portion of a building remains on a site after the demolition of the structure or whenever any building or structure is abandoned so as to constitute such building or portion thereof as an attractive nuisance or hazard to the public.

Comments

Section 302 - Exterior property areas

Section 303 - Swimming Pools, Spas and Hot Tubs

Section 304 - Exterior Structure

304.1 - General - The exterior of a structure shall be maintained in good repair, structurally sound and sanitary so as not to pose a threat to the public health, safety and welfare.

304.1.1 - Unsafe conditions - The following conditions shall be determined as unsafe and shall be repaired or replaced to comply with the IBC or the IEBC as required for existing buildings.

1. The nominal strength of any structural member is exceeded by nominal loads, the load effects or the required strength.



- | | |
|-------------------------------------|--|
| <input type="checkbox"/> | 2. The anchorage of the floor or roof to walls or columns, and of walls and columns to foundations is not capable of resisting all nominal loads or load effects. |
| <input type="checkbox"/> | 3. Structures or components thereof that have reached their limit state. |
| <input type="checkbox"/> | 4. Siding and masonry joints are not maintained, weather resistant or water tight. |
| <input checked="" type="checkbox"/> | 5. Structural members that have evidence of deterioration or cannot safety support all nominal loads and load effects. |
| <input checked="" type="checkbox"/> | 6. Foundation systems that are not firmly supported by footings, are not plumb without cracks and breaks and are not properly anchored or cannot support all nominal loads and resisting all load effects. |
| <input checked="" type="checkbox"/> | 7. Exterior walls that are not anchored to supporting elements or are not plumb or free from holes, cracks, breaks or loose or rotting materials, are not properly anchored and not able of supporting all nominal loads and resisting load effects. |
| <input checked="" type="checkbox"/> | 8. Roofing that have defects that admit rain, roof surfaces with inadequate drainage, or any portion that is not in good repair with signs of deterioration, fatigue or without property anchorage and incapable of supporting all nominal loads. |
| <input checked="" type="checkbox"/> | 9. Flooring with defects that affect serviceability or that show signs of deterioration or fatigue, are not properly anchored or are incapable of supporting all nominal loads and resisting all load effects. |
| <input type="checkbox"/> | 10. Veneer, cornices, belt courses, corbels, trim , wall facings not properly anchored or that are anchored with connections not capable of supporting all nominal loads and resisting load effects. |
| <input type="checkbox"/> | 11. Overhang extensions or projections including trash chutes, canopies, marquees, signs, awnings, fire escapes, standpipes and exhaust ducts not properly anchored or anchored with connections unable to support all nominal loads. |
| <input checked="" type="checkbox"/> | 12. Exterior stairs, decks, porches, balconies and all attachments such as guards and handrails are not structurally sound, not properly anchored or anchored with connections unable to support all nominal loads and resisting all load effects. |
| <input type="checkbox"/> | 13. Chimneys, cooling towers, smokestacks not properly anchored or that are anchored with connections unable to support all nominal loads and resisting all load effects. |

- | | |
|-------------------------------------|--|
| <input type="checkbox"/> | 304.2 - Protective Treatment - Exterior surfaces, including doors, door and window frames, cornices, porches, trim, balconies, decks and fences shall be maintained in good condition. Exterior surfaces shall be protected from elements and decay by painting or other protective treatment. Peeling, flaking and chipped paint shall be eliminated and surfaces repainted. Siding and masonry joints shall be maintained weather resistant and water tight. Metal surfaces subject to rust or corrosion shall be coated to inhibit such rust and corrosion. |
| <input checked="" type="checkbox"/> | 304.3 - Address identification - Buildings shall be provided with approved address identification that are legible and placed to be visible from the street fronting the property. They must contrast with their background, be numerical and a minimum of 4" tall. |
| <input checked="" type="checkbox"/> | 304.4 - Structural members - Structural members shall be maintained free from deterioration, and shall be capable of safely supporting the imposed dead and live loads. |
| <input type="checkbox"/> | 304.5 - Foundation walls - Foundation walls shall be maintained plumb and free from cracks and breaks and shall be kept in such condition so as to prevent the entry of rodents and other pests. |
| <input checked="" type="checkbox"/> | 304.6 - Exterior walls - Exterior walls shall be free from holes, breaks and loose or rotting materials; and maintained weatherproof and properly surface coated where required to prevent deterioration. |
| <input checked="" type="checkbox"/> | 304.7 - Roofs and drainage - The roof and flashing shall be sound, tight and not have defects that admit rain. Drainage must prevent dampness or deterioration in the walls or interior portion of the structure. Drains, gutters and downspouts must be in good repair and free from obstruction. Roof water shall not be discharged in a manner that creates a public nuisance. |
| <input type="checkbox"/> | 304.8 - Decorative features - Cornices, belt courses, corbels, terra cotta trim, wall facing and similar decorative features shall be in good repair with proper anchorage and in safe condition. |
| <input type="checkbox"/> | 304.9 - Overhang extensions - Overhang extensions including canopies, marquees, signs, metal awnings, fire escapes, standpipes and exhaust ducts shall be in good repair and properly anchored and kept in sound condition. All exposed surfaces of metal or wood shall be protected from the elements with weather coating material such as paint or similar surface treatment. |
| <input type="checkbox"/> | 304.10 - Stairways, decks, porches and balconies - Every exterior stairway, deck, porch and balcony shall be structurally sound, in good repair, with proper anchorage and capable of supporting the imposed loads. |
| <input type="checkbox"/> | 304.11 - Chimneys and towers - Chimneys, cooling towers, smoke stacks, shall be structurally safe and sound and in good repair. Exposed surfaces shall be protected by paint or similar surface treatment. |
| <input type="checkbox"/> | 304.12 - Handrails and guards - Every handrail and guard shall be firmly fastened and capable of supporting normally imposed loads and shall be maintained in good condition. |



THE SUNRISE CITY

FORT PIERCE

CODE ENFORCEMENT
Florida



- 304.13 - Window, skylight and door frames - Every window, skylight, door and frame shall be kept in sound condition, good repair and weather tight.
 - 304.13.1 - Glazing - Glazing materials shall be maintained free from cracks or holes.
 - 304.13.2 - Openable windows - Every window, other than a fixed window, shall be easily openable and capable of being held in position by window hardware.
- 304.14 - Insect screens - Every door, window and other outside opening required for ventilation or food preparation areas shall have tightly fitting screens of minimum 16 mesh per inch and every screen door must have self closing device is good working condition.
- 304.15 - Doors - Exterior doors and hardware shall be maintained in good condition. Locks at all entrances to dwelling units and sleeping units shall tightly secure the door.
- 304.18 - Building security - Doors, windows or hatchways for dwelling units, room units or housekeeping units shall be provided with devices designed to provide security for the occupants and property within.
 - 304.18.1 - Doors - Doors providing access to a dwelling unit, rooming unit or housekeeping unit that is rented, leased or let shall have a dead bolt designed to open from the inside without a key.
 - 304.18.2 - Windows - Operable windows located within 6 ft. above the ground that provides access to a dwelling unit, rooming unit or housekeeping unit that is rented, leased or let shall be equipped with a window sash locking device.
- 304.19 - Gates - Exterior gates, gate assemblies, operator systems and hardware shall be maintained in good condition.

Comments

Section 305 - Interior Structure

- 305.1 - General - The interior of a structure and equipment shall be maintained in good repair, structurally sound and in a sanitary condition.
 - 305.1.1 - Unsafe conditions - The following conditions shall be determined as unsafe and shall be repaired or replaced to comply with the IBC or the IEBD as required for existing buildings.
 1. The nominal strength of any structural member is exceeded by nominal loads, the load effects or the required strength.
 2. The anchorage of the floor or roof to walls or columns, and walls and columns to foundations is not capable of resisting all nominal loads or load effects.
 3. Structures or components thereof that have reached their limit state.
 4. Structural members are incapable of supporting nominal loads and load effects.
 5. Stairs, landings, balconies, including guards and handrails, are not structurally sound, not properly anchored or are anchored with connections not capable of supporting all nominal loads and resisting all load effects.
 6. Foundation systems that are not firmly supported by footings are not plumb and free from open cracks and breaks, are not properly anchored or are not capable of supporting all nominal loads and resisting all load effects.
- 305.2 - Structural members - Structural members shall be maintained structurally sound, and capable of supporting the imposed loads.
- 305.3 - Interior surfaces - Interior surfaces, including windows and doors, shall be maintained in good, clean and sanitary condition. Peeling, chipping, flaking or abraded paint shall be repaired, removed or covered. Cracked plaster, decaying wood and other defective surface conditions shall be corrected.
- 305.4 - Stairs and walking surfaces - Every stair, ramp, landing, balcony, porch, deck or other waling surface shall be maintained in sound condition and good repair.
- 305.5 - Handrails and guards - Every handrail and guard shall be firmly fastened and capable of supporting normally imposed loads and shall be maintained in good condition.
- 305.6 - Interior doors - Every interior door shall fit reasonably well within its frame and shall be capable of being opened and closed by being properly and securely attached to jambs, headers or tracks as intended by the manufacturer.

Comments

Section 306 - Component Serviceability



<input type="checkbox"/>	Section 307 - Handrails and guardrails
<input type="checkbox"/>	Section 308 - Rubbish and garbage
<input type="checkbox"/>	Section 309 - Pest Elimination
<input type="checkbox"/>	Section 404 - Occupancy Limits
<input type="checkbox"/>	Section 502 - Required facilities
<input type="checkbox"/>	Section 503 - Toilet Rooms
<input type="checkbox"/>	Section 504 - Plumbing systems and fixtures
<input type="checkbox"/>	Section 505 - Water system
<input checked="" type="checkbox"/>	Section 506 - Sanitary drainage system
<input checked="" type="checkbox"/>	506.1 General - Plumbing fixtures shall be properly connected to either a public sewer system or to an approved private sewage disposal system.
<input type="checkbox"/>	506.2 Maintenance - Every plumbing stack, vent, waste and sewer line shall function properly and be kept free from obstructions, leaks and defects.
<input type="checkbox"/>	506.3 Grease interceptors - Grease interceptors and automatic grease removal devices shall be maintained in accordance with this code and the manufacturer's installation instructions. Grease interceptors and automatic grease removal devices shall be regularly serviced and cleaned to prevent the discharge of oil, grease, and other substances harmful or hazardous to the building drainage system, the public sewer, the private sewage disposal system or the sewage treatment plant or processes. Records of maintenance, cleaning and repairs shall be available for inspection by the code official.

Comments

<input type="checkbox"/>	Section 507 - Storm drainage
<input type="checkbox"/>	Section 601 - Mechanical - General
<input type="checkbox"/>	Section 602 - Heating facilities
<input type="checkbox"/>	Section 603 - Mechanical equipment
<input type="checkbox"/>	Section 604 - Electrical Facilities
<input type="checkbox"/>	Section 605 - Electrical equipment
<input type="checkbox"/>	Section 606 - Elevators, escalators and dumbwaiters
<input type="checkbox"/>	Section 607 - Duct systems
<input type="checkbox"/>	Section 701 - General fire safety requirements
<input type="checkbox"/>	Section 702 - Means of egress
<input type="checkbox"/>	Section 703 - Fire resistance ratings
<input type="checkbox"/>	Section 704 - Fire protection systems

Additional Comments

Michelle Franklin, CFA -- Saint Lucie County Property Appraiser -- All rights reserved.

Property Identification

Site Address: 426 N 10th ST
 Sec/Town/Range: 10/35S/40E
 Map ID: 24/10N
 Zoning: R4

Parcel ID: 2410-601-0007-000-9
 Account #: 23150
 Use Type: 0800
 Jurisdiction: Fort Pierce

Ownership

Leroy Chavis (EST)
 1230 Avenue I
 Fort Pierce, FL 34950

Legal Description

FEE AND MAY'S RE-S/D BLK A LOT 7-LESS W 40 FT FOR ST R/W-
 (MAP 24/10C) (OR 695-1012)

Current Values

Just/Market Value: \$18,900
 Assessed Value: \$13,714
 Exemptions: \$0
 Taxable Value: \$13,714

Taxes for this parcel: SLC Tax Collector's Office
 Download TRIM for this parcel: Download PDF



Total Areas

Finished/Under Air (SF): 2,006
 Gross Area (SF): 2,368
 Land Size (acres): 0.14
 Land Size (SF): 6,250

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Jun 4, 1990	0695 / 1012	XX01	QC	Arthur Chavis	\$100
Nov 1, 1978	0298 / 0333	XX01	CV		\$0
Dec 1, 1976	0260 / 2912	XX01	CV		\$0

Building Information (1 of 3)

Finished Area: 720 SF
 Gross Total Area: 864 SF

Exterior Data

View:
 Building Type: HD+
 Grade: D+
 Story Height: 1 Story

Roof Cover: Sheet Metal
 Year Built: 1926
 Effective Year: 1926
 No. Units: 3

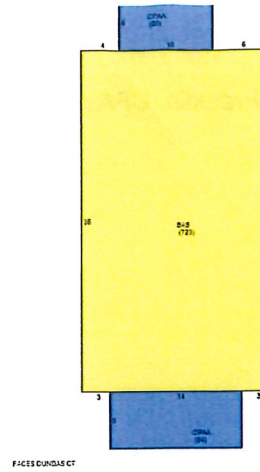
Roof Structure: Hip
 Frame:
 Primary Wall: Frm Stucco
 Secondary Wall:

Interior Data

Bedrooms: 0
 Full Baths: 1
 Half Baths: 0
 A/C %: 0%

Electric: AVERAGE
 Heat Type:
 Heat Fuel:
 Heated %: 0%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors: Double Pine
 Sprinkled %: N/A%



Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
BAS	BASE AREA	720	720	112
OPAA	Open Porch Attached Average	144	0	72

Building Information (2 of 3)

Finished Area: 910 SF

Gross Total Area: 1,096 SF

Exterior Data

View:
 Building Type: HD+
 Grade: D+
 Story Height: 1 Story

Roof Cover: Roll Comp
 Year Built: 1926
 Effective Year: 1926
 No. Units: 1

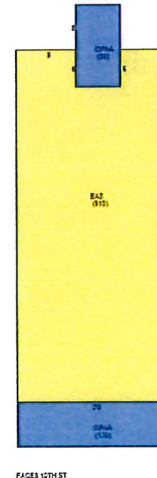
Roof Structure: Gable
 Frame:
 Primary Wall: Wood no Sh
 Secondary Wall:

Interior Data

Bedrooms: 0
 Full Baths: 1
 Half Baths: 0
 A/C %: 0%

Electric: AVERAGE
 Heat Type:
 Heat Fuel:
 Heated %: 0%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors: Double Pine
 Sprinkled %: 0%



Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
BAS	BASE AREA	910	910	144
OPAA	Open Porch Attached Average	186	0	86

Building Information (3 of 3)

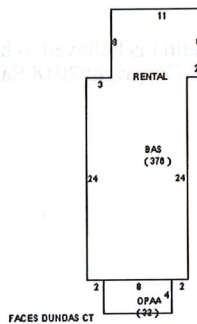
Finished Area: 376 SF
 Gross Total Area: 408 SF

Exterior Data

View:	Roof Cover: Sheet Metal	Roof Structure: Gable
Building Type: MFH	Year Built: 1926	Frame:
Grade: MFFQ	Effective Year: 1955	Primary Wall: Wood no Sh
Story Height: 1 Story	No. Units: 1	Secondary Wall:

Interior Data

Bedrooms: 0	Electric: AVERAGE	Primary Int Wall:
Full Baths: 1	Heat Type:	Avg Hgt/Floor: 0
Half Baths: 0	Heat Fuel:	Primary Floors: Double Pine
A/C %: 0%	Heated %: 0%	Sprinkled %: 0%



Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
BAS	BASE AREA	376	376	92
OPAA	Open Porch Attached Average	32	0	24

Special Features and Yard Items

Type	Qty	Units	Year Blt
------	-----	-------	----------

Current Year Values

Current Values Breakdown		Current Year Exemption Value Breakdown				
		Tax Year	Grant Year	Code	Description	Amount
Building:	\$15,900					
Land:	\$3,000					
Just/Market:	\$18,900					
Ag Credit:	\$0					
Save Our Homes or 10% Cap:	\$5,186					
Assessed:	\$13,714					
Exemption(s):	\$0					
Taxable:	\$13,714					

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
1999	0041	0.6	Fort Pierce Stormwater Charge	\$32.40

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office.

Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2017	\$18,900	\$13,714	\$0	\$13,714
2016	\$14,000	\$12,468	\$0	\$12,468
2015	\$10,100	\$10,100	\$5,247	\$4,853

Permits

Number	Issue Date	Description	Amount	Fee
BP11-1965	Sep 16, 2011	Alterations/Remodeling	\$2,500	\$89
BP11-1965	May 7, 2012	Alterations/Remodeling	\$2,500	\$129

Notice: This does not necessarily represent all the permits for this property.

[Click the following link to check for additional permit data in Fort Pierce](#)

This information is believed to be correct at this time but it is subject to change and is not warranted.

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Historic Preservation Board

6.f.

Meeting Date: 05/29/2018

Information

REQUESTED ACTION

Certificate of Appropriateness 18-37 - Fence - 714 Beach Court

LOCATION

714 Beach Court (Parcel ID: 2410-710-0005-000-0)

RESPONSIBLE STAFF

Maria Lewicka, AICP
Historic Preservation Planner

RECOMMENDATION

Approval with Conditions/Denial

Attachments

Staff Report
Application
Property Card

Form Review

Form Started By: Maria Lewicka
Final Approval Date: 05/22/2018

Started On: 05/22/2018 12:25 PM



MAY 29, 2018

COA 18-37

Owner/Applicant

Lisa Champagne

Location

714 Beach Court

Parcel

2410-710-0005-000-0

Historic Status

Contributing structure located in the Oakland Park Historic District

Requested Action

Installation of a 6' high wood privacy fence.

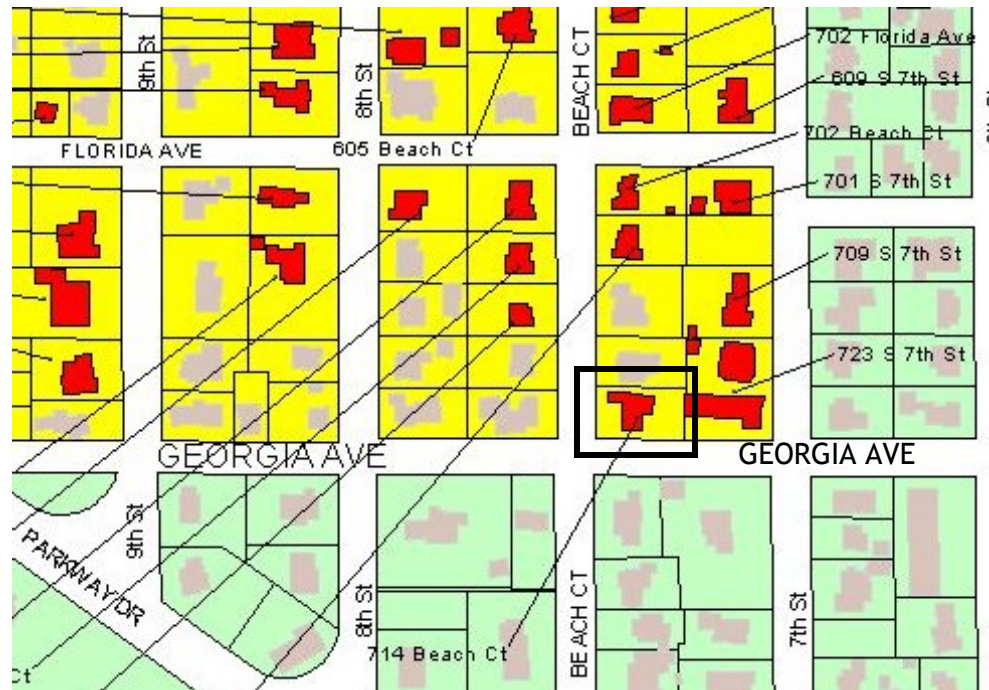
Recommendation


Approval with Conditions/
 Denial

Staff

Maria Lewicka, AICP
 Historic Preservation Planner

HISTORIC PRESERVATION BOARD : PUBLIC HEARING



 Subject Property

LOCATION MAP

HISTORY

- 1944 Construction year.

This building is associated with the Depression and World War II Period in Fort Pierce History.

Architectural Significance

This is a one-story concrete block residential structure which embodies characteristics of a Masonry Vernacular architectural style expressed by a composition shingles gable roof, metal casement windows and ornamental brick trim.

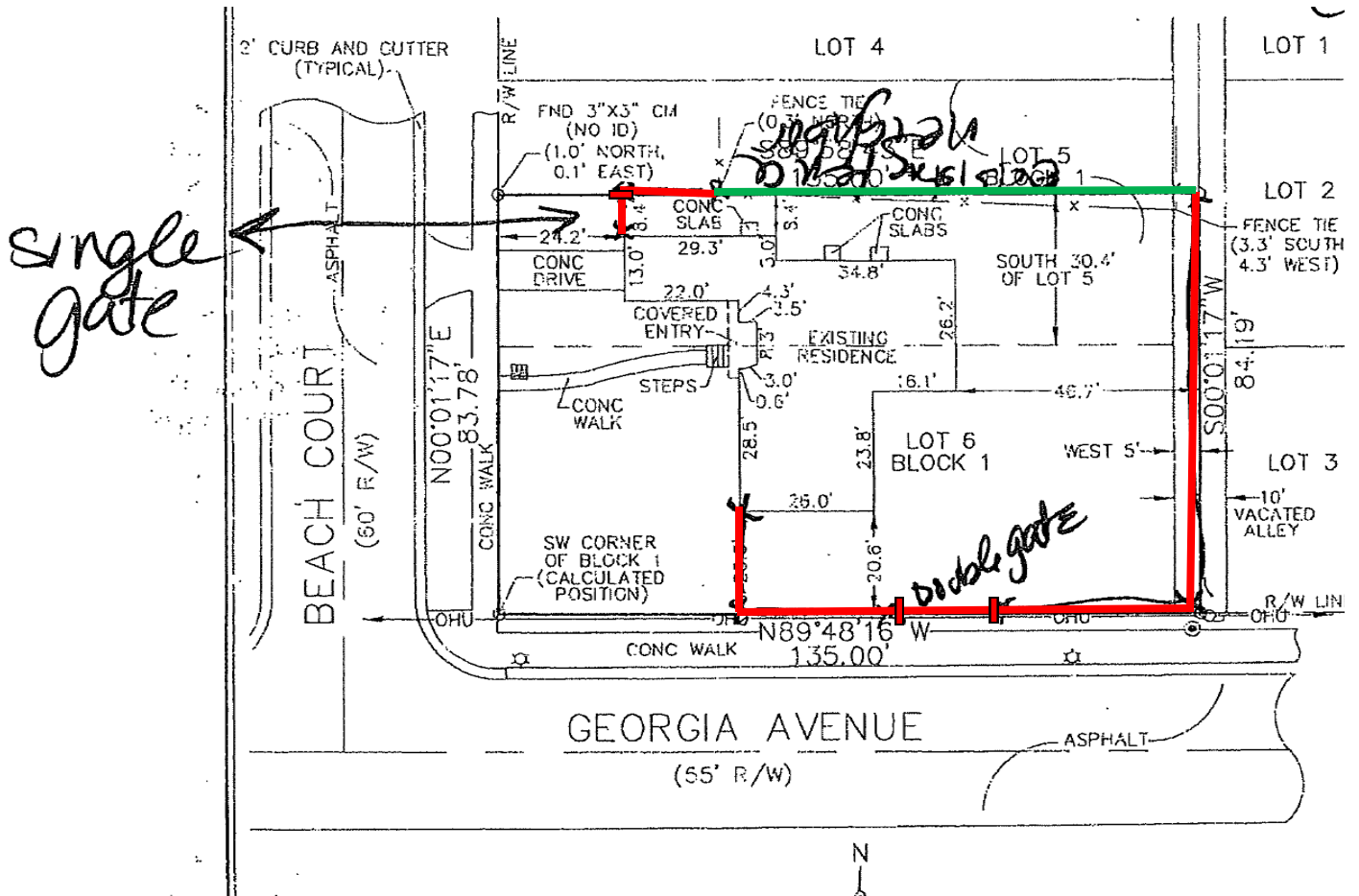


Aerial of the subject property



Front/Beach Court Façade

Location of the propose fence



- Existing/neighbor fence
- Proposed fence

Request

The applicant is requesting approval of a COA for the installation of a 6 ft. tall hand crafted unpainted pine wood fence, with 2 gates and total length of 223 feet. The proposed fence will be placed along back, south and north side property line with small (8.4') front connection to the garage wall as shown on the plan.





Fence across Beach Court



Location of the proposed fence/Beach Court



Existing 6' high fences -
Beach Court front yards



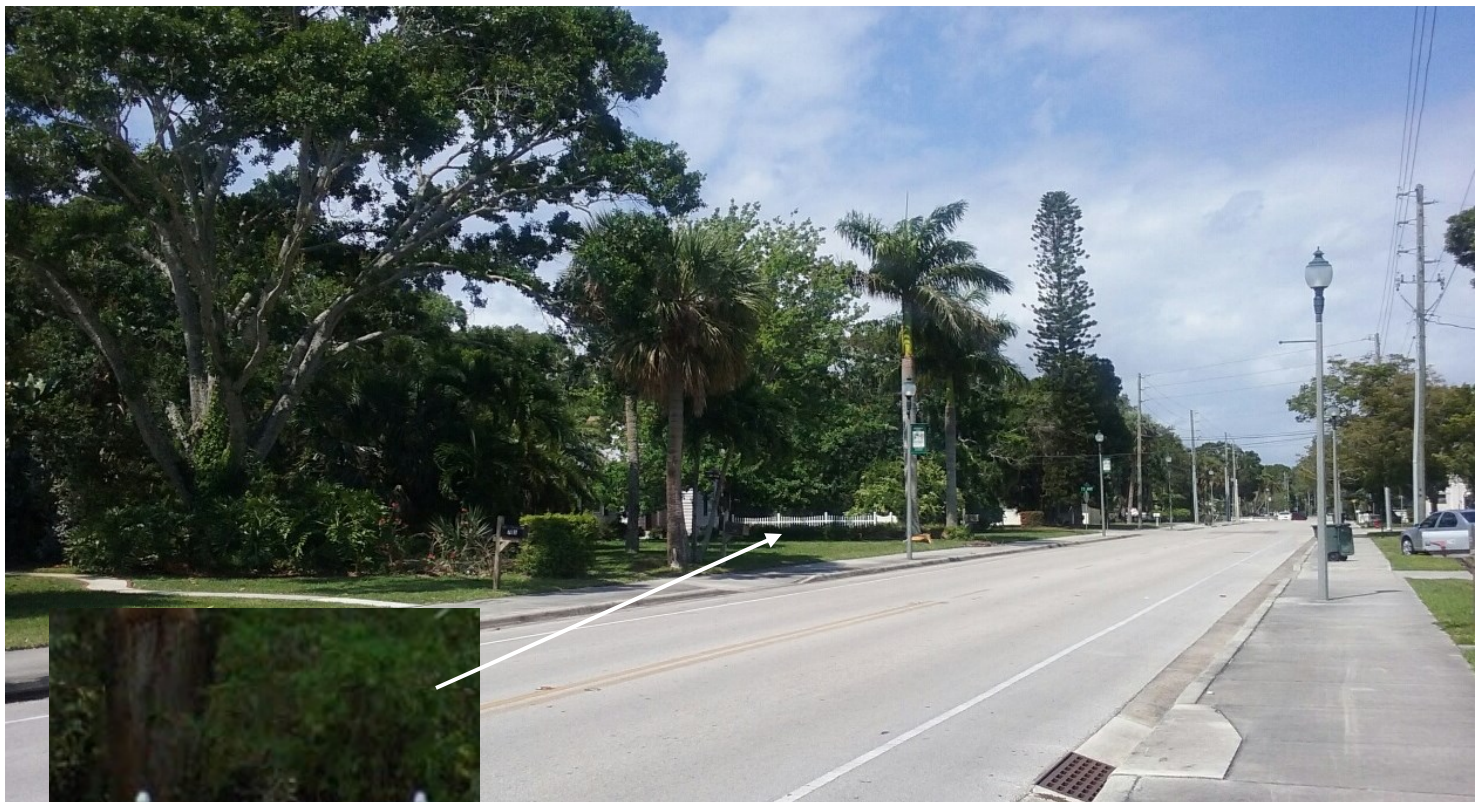


Approximate location of the proposed fence





Georgia Avenue Looking East



Georgia Avenue Looking West

S T A F F A N A L Y S I S

Secretary of Interior Standards for Consideration

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Staff Recommendation

The current proposal seeks to install a 6 foot high, wood fence. Although there are existing 6' high fences along Beach Court and proposed fence will be compatible with similar wood fences along this street, the 6' high wood fences are not to be found on any yards along Georgia Avenue (as seen on the pictures). In addition the proposed 6' fence is placed on the property line. The yard on Georgia avenue is the subject property side yard and 6' high fences are allowed. Nevertheless it is also a street frontage. The proposed fence and its placement is incompatible with character of the Georgia Avenue street scape.

Staff recommends that the Board deny the request as submitted based upon Secretary of Interior Standard 9 or approve the request with condition that the proposed fence on Georgia Avenue side will be moved back and aligned with the wall of the house (approximately 20') and screened by landscape (hedges, bushes, trees or vines).



COA# 18-37

Bldg. Permit # _____

Certificate of Appropriateness Application

Building & Site Information

Address of the Site: 714 Beach Court
Parcel ID #: 2410-710-0005-000-0
Type of Designation: Contributing Non-contributing Site within the Historic District
 Individually Designated Site, City Commission Resolution No. _____

Property Owner/ Applicant Information

Property Owner(s) Name(s): Lisa Champagne
Mailing Address: 714 Beach Court
Phone Number(s): 772 6436773 Email: tkdft pierce@gmail.com

Applicant Name(s): Same
Mailing Address: _____
Phone Number(s): _____ Email: _____

Representative Name(s): n/a
Mailing Address: _____
Phone Number(s): _____ Email: _____

Property Owner(s) Acknowledgements:- This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this Application and/or presentation to the Historic Preservation Board.

I / We, Lisa Champagne as Owner(s) of the subject property do hereby authorize the filing of this application on my/our behalf.

[Signature]
Signature of Owner

04/30/18
Date

To: Maria Lewicka

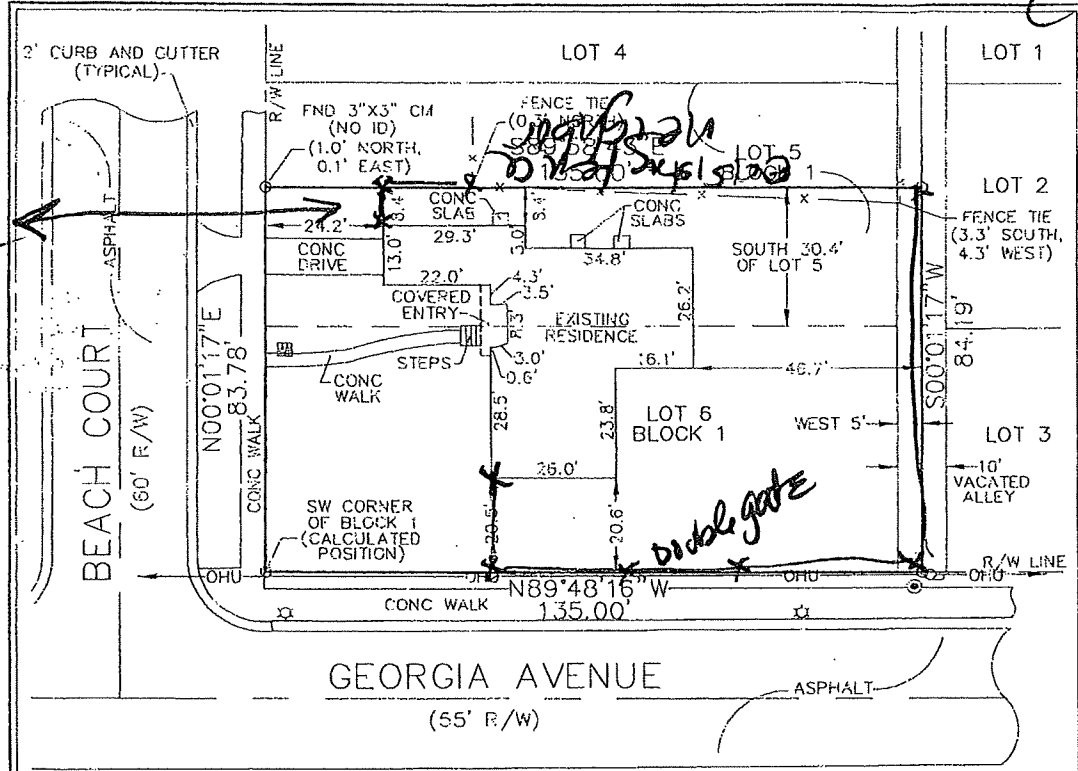
From: Lisa Champagne

5/1/18

single gate

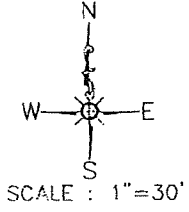
double gate

Fence x



CERTIFIED TO:

LISA CHAMPAGNE,
 MORTGAGE MANAGEMENT LLC, ISAOA/ATMA
 WESTCOAST LAND TITLE INSURANCE COMPANY
 JOHN EDGAR SHERRARD, P.A.



LEGEND

- Δ = CENTRAL ANGLE
- R = CURVE RADIUS
- L = CURVE LENGTH
- (C) = CALCULATED
- (P) = PLAT
- FND = FOUND
- IR = 5/8" IRON ROD
- IP = 1/2" IRON PIPE
- OU = OVERHEAD UTILITIES
- CU = CONCRETE CURB
- FFE = FINISH FLOOR ELEVATION
- M = MARK AND DISK
- P.L.S. = PROFESSIONAL LAND SURVEYOR
- LB = LICENSED BUSHNESS
- P.B. = PLAT BOOK
- R/W = RIGHT-OF-WAY
- ⊙ = CABLE TELEVISION BOX
- ⊙ = AT&T PEDESTAL
- ⊙ = WATER METER
- ⊙ = WOOD POWER POLE
- ⊙ = CONCRETE POWER POLE
- ⊙ = GUY ANCHOR
- = FND IR (NO ID)
- CONC = CONCRETE
- IRG = #5 IRON ROD & CAP
- D.U.E. = DRAINAGE AND UTILITY EASEMENT
- U.E. = UTILITY EASEMENT
- ALUM = ALUMINUM
- X- = 6" WOOD FENCE
- O- = 3" CHAIN LINK FENCE
- = 6" VINYL FENCE

DESCRIPTION

THE SOUTH 30.4 FEET OF LOT 5 AND ALL OF LOT 6, BLOCK 1, NEBRASKA COURT SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 5, PAGE 48, OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA, TOGETHER WITH THE WEST 5 FEET OF THE VACATED ALLEY ADJACENT ON THE EAST.

SAID LAND CONTAINS 0.26 ACRES, MORE OR LESS.

SURVEY NOTES

1. This survey is not valid without a signature and original embossed seal of a Florida Professional Land Surveyor.
2. Description provided by client and/or their agent.
3. The last date of field work was March 29, 2018.
4. Underground improvements and foundations were not located as part of this survey.
5. Bearings shown herein are based on the East R/W line of Beach Court, bearing N00°01'17"E, as monumented. All bearings are relative thereto.
6. All boundary information shown is calculated per plat, unless otherwise shown.
7. Property lies in flood zone "X", per map 12111C0179 J, dated 2-16-12.
8. Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.
9. Ownership of fences is unknown.

LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHT OF WAYS, RESERVATIONS, AGREEMENTS, AND/OR EASEMENTS OF RECORD. SUCH INFORMATION, IF DESIRED, SHOULD BE OBTAINED AND CONFIRMED BY OTHERS THROUGH APPROPRIATE TITLE VERIFICATION.

BY: *Richard C. Laventure* 3/30/18
 RICHARD C. LAVENTURE, FLORIDA P.L.S. #5209 DATE

REVISION	DESCRIPTION	DATE

BOUNDARY SURVEY

PREPARED FOR
LISA CHAMPAGNE

LAVENTURE & ASSOCIATES, INC.
 PROFESSIONAL SURVEYING AND MAPPING
 2552 PETERS ROAD, SUITE D
 FORT PIERCE, FLORIDA 34945
 LB 7056 (772) 398-6430 PHONE (772) 398-6426 FAX

REF.	JOB NO.	DRAWN BY	DATE	DRAWING NO.

REF.	JOB NO.	DRAWN BY	DATE	DRAWING NO.

714 BEACH COURT



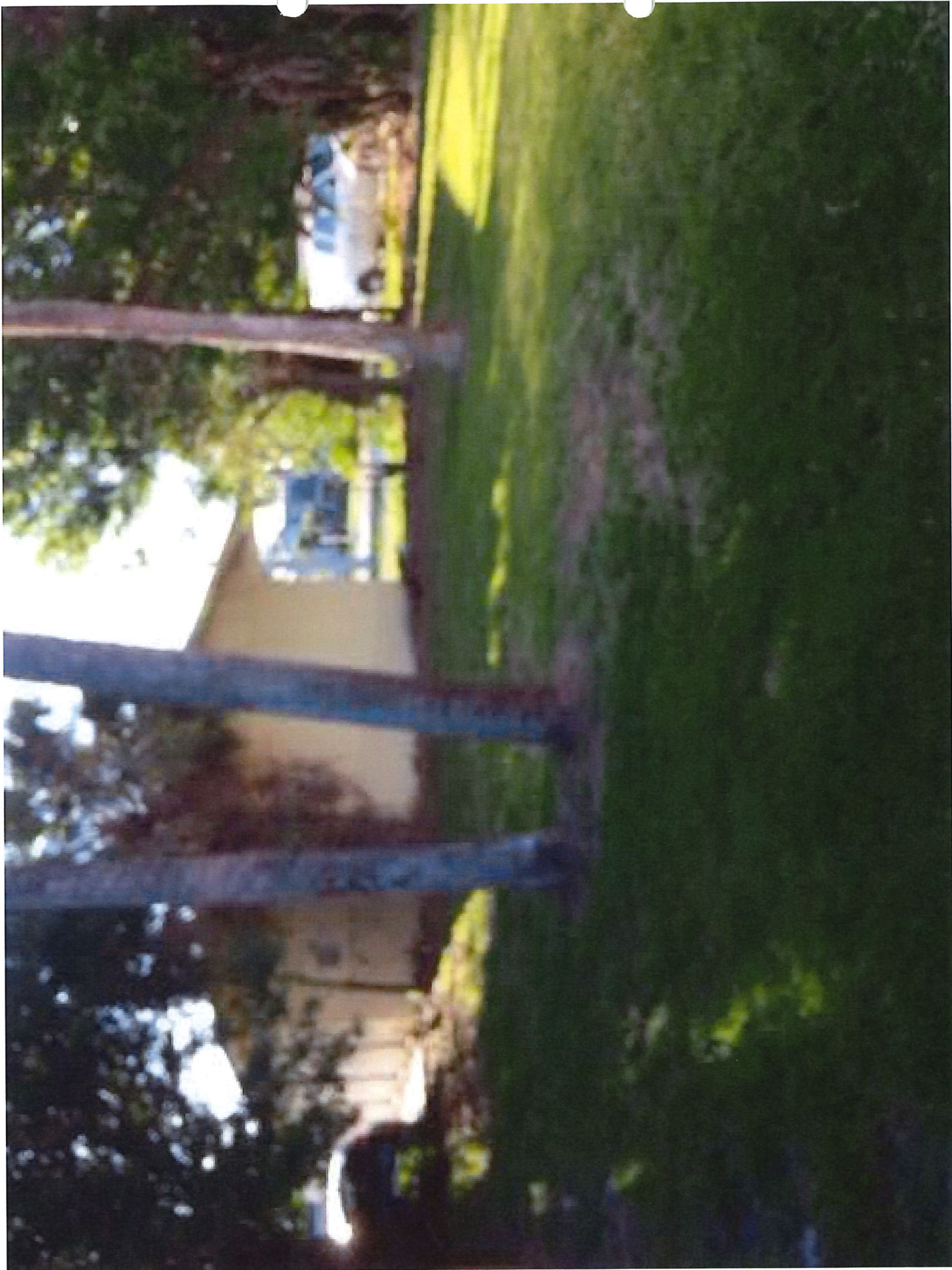
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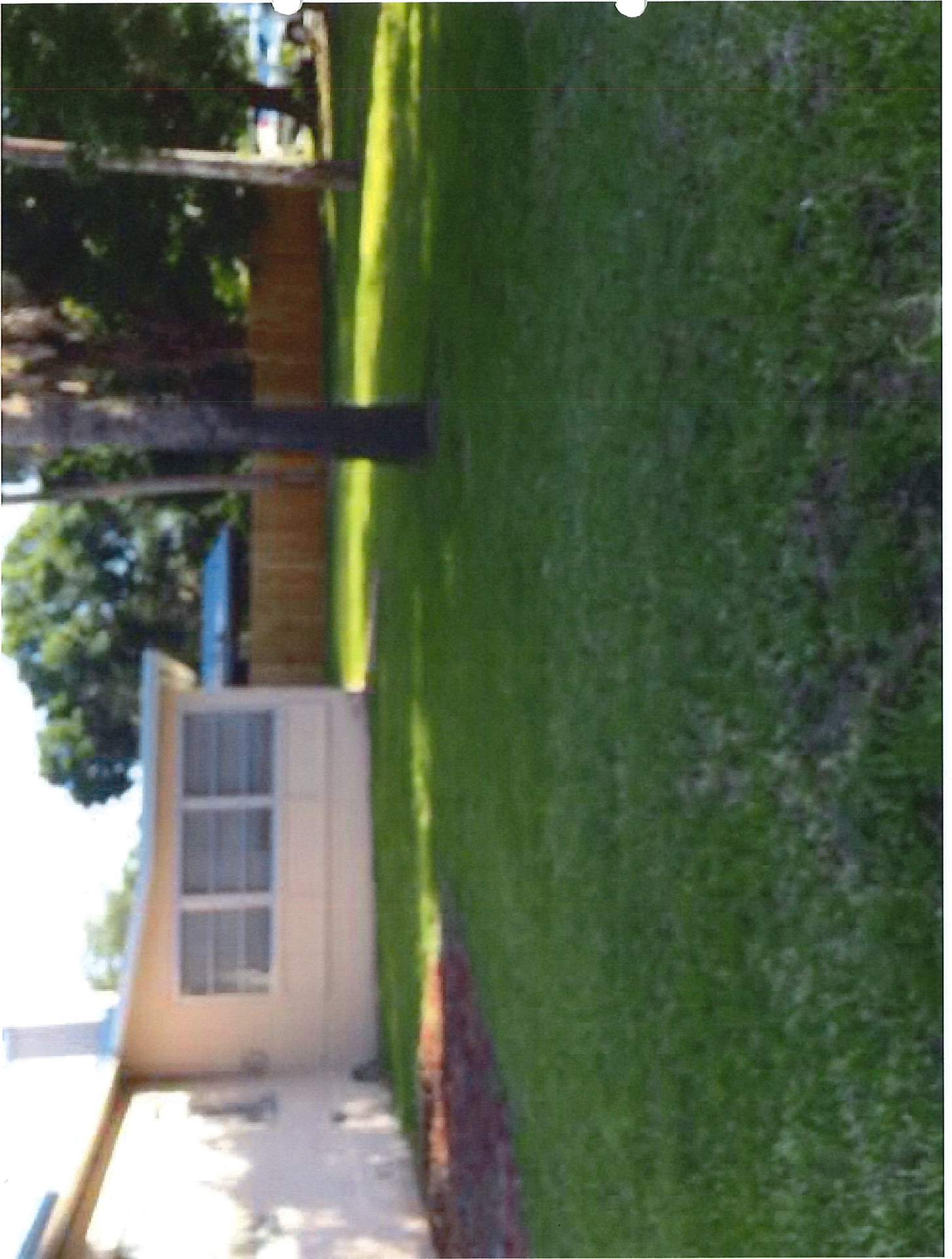












Michelle Franklin, CFA -- Saint Lucie County Property Appraiser -- All rights reserved.

Property Identification

Site Address: 714 BEACH CT
 Sec/Town/Range: 10/35S/40E
 Map ID: 24/10S
 Zoning: R1

Parcel ID: 2410-710-0005-000-0
 Account #: 23732
 Use Type: 0100
 Jurisdiction: Fort Pierce

Ownership

Lisa Champagne
 714 Beach CT
 Fort Pierce, FL 34950

Legal Description

NEBRASKA COURT S/D BLK 1 S 30.4 FT OF LOT 5 AND ALL LOT 6 AND W 5 FTOF VAC ALLEY ADJ ON E (MAP 24/10F) (OR 4121-508)

Current Values

Just/Market Value: \$78,800
 Assessed Value: \$55,550
 Exemptions: \$0
 Taxable Value: \$55,550
 Taxes for this parcel: SLC Tax Collector's Office
 Download TRIM for this parcel: Download PDF



Total Areas

Finished/Under Air (SF): 1,715
 Gross Area (SF): 2,067
 Land Size (acres): 0.26
 Land Size (SF): 11,310

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Apr 6, 2018	4121 / 0508	0001	WD	Linares Peggy L	\$154,000
Nov 22, 2011	3350 / 1424	0111	WD	Linares, Peggy L	\$0
Nov 22, 2011	3346 / 2371	0116	WD	Linares, Peggy L	\$15,000
Jun 1, 2009	3095 / 0011	0111	TR	Williams (TR), Pamela J	\$100
Dec 18, 2002	1630 / 2913	XX02	WD	Brown, Venetia T	\$100
Jan 1, 1900					\$0

Building Information (1 of 1)

Finished Area: 1,715 SF
 Gross Total Area: 2,067 SF

Exterior Data

View:	Roof Cover: Dim Shingle	Roof Structure: Gable
Building Type: HC-	Year Built: 1944	Frame:
Grade: C-	Effective Year: 1960	Primary Wall: Conc Block
Story Height: 1 Story	No. Units: 1	Secondary Wall:

Interior Data

Bedrooms: 3	Electric: MAXIMUM	Primary Int Wall:
Full Baths: 2	Heat Type: FrcdHotAir	Avg Hgt/Floor: 0
Half Baths: 0	Heat Fuel: ELEC	Primary Floors: Hardwood
A/C %: 100%	Heated %: 100%	Sprinkled %: 0%

Image
or
Sketch
unavailable
for display

Image
or
Sketch
unavailable
for display

Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
BAS	BASE AREA	1715	1715	202
GAA	Garage Attached Average	286	0	70
OPAA	Open Porch Attached Average	66	0	42

Special Features and Yard Items


Type	Qty	Units	Year Blt
Driv-Concret	1	500	1944

Current Year Values

Current Values Breakdown		Current Year Exemption Value Breakdown				
		Tax Year	Grant Year	Code	Description	Amount
Building:	\$64,700					
Land:	\$14,100					
Just/Market:	\$78,800					
Ag Credit:	\$0					
Save Our Homes or 10% Cap:	\$23,250					
Assessed:	\$55,550					
Exemption(s):	\$0					
Taxable:	\$55,550					

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
1999	0041	1	Fort Pierce Stormwater Charge	\$54.00

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office .

Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2017	\$78,800	\$55,550	\$0	\$55,550
2016	\$50,500	\$50,500	\$0	\$50,500
2015	\$52,300	\$52,300	\$0	\$52,300

Permits

Number	Issue Date	Description	Amount	Fee
F900001231	Sep 24, 1990	Roof	\$1,260	\$1,260
F93-000868	Jun 29, 1993	Roof	\$5,240	\$5,240

BP11-0276	Feb 16, 2011	Electric	\$500	\$109
BP16-2259	Aug 12, 2016	Plumbing	\$1,875	\$0
BP16-2259	Aug 12, 2016	Plumbing	\$1,875	\$0
BP17-3387	Dec 12, 2017	Roof	\$12,960	\$0

Notice: This does not necessarily represent all the permits for this property.

Click the following link to check for additional permit data in Fort Pierce

This information is believed to be correct at this time but it is subject to change and is not warranted.

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Historic Preservation Board

6.g.

Meeting Date: 05/29/2018

Information

REQUESTED ACTION

Certificate of Appropriateness 18-39 - Roof, Windows, Doors, Siding - 711 S. Indian River Drive

LOCATION

711 S Indian River Drive (Parcel ID: 2410-810-0021-000-5)

RESPONSIBLE STAFF

Maria Lewicka, AICP
Historic Preservation Planner

RECOMMENDATION

Approval with Condition

Attachments

Staff Report
Application
Property Card

Form Review

Form Started By: Maria Lewicka
Final Approval Date: 05/22/2018

Started On: 05/22/2018 01:32 PM



MAY 29, 2018

COA 18-39

Owner

Dylan & Kristin Murry

Applicant

Dylan & Kristin Murry

Location

711 S Indian River Drive

Parcel

2410-810-0021-000-5

Historic Status

Contributing Structure located in the River's Edge Historic District.

Requested Action

Consideration of an approval for replacement of lower level wooden windows, front door, roof and siding.

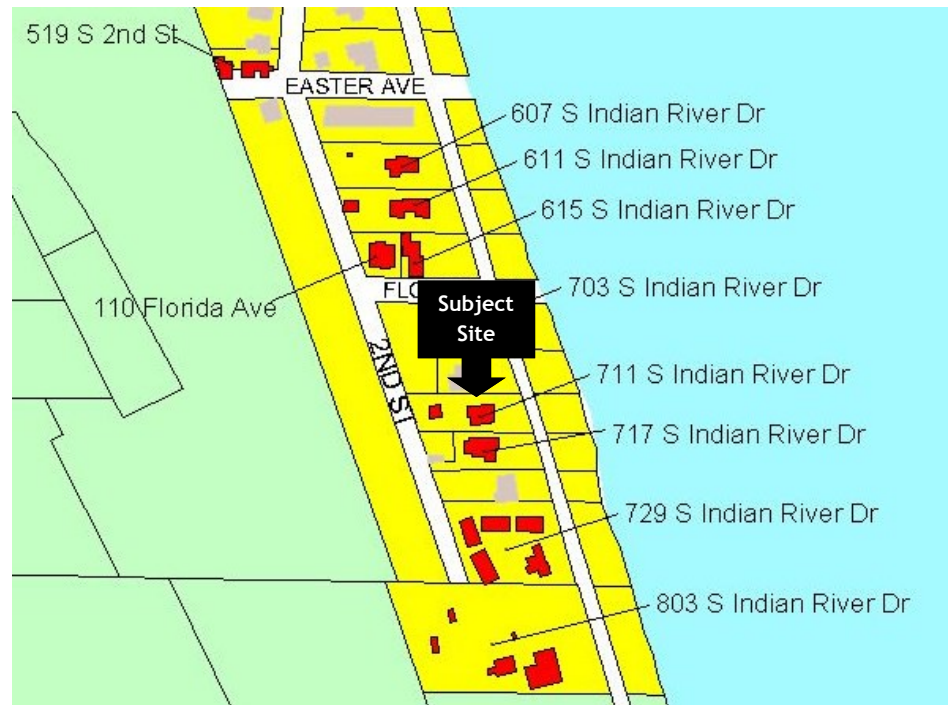
Recommendation

Approval with Condition

Staff

Maria Lewicka, AICP
Historic Preservation Planner

HISTORIC PRESERVATION BOARD : PUBLIC HEARING



Contributing Non-Contributing Subject Site

HISTORY

The St. Lucie County Property Appraiser's Record Card and the Florida Master Site File indicate the structure was built as a private residence in 1910 and is associated with the Settlement and Early Development Period (1837-1918) of Fort Pierce history.

This building is a contributing resource in the River's Edge Historic District.

ARCHITECTURAL SIGNIFICANCE

This two-story wood frame residential Colonial Revival styling is expressed by a hip roof, boxed Cornice, a symmetrical façade, center entrance, and a veranda. The veranda has a hip roof and is enclosed with double-hung sash windows and solid wall material. Fenestration consist of 1/1 double-hung sash windows. The exterior wall fabric is aluminum siding. Alternations consist of the material used to enclose the porch and the aluminum siding which has been installed over the original wooden exterior wall fabric.



Aerial View of the site



S Indian River Drive facade

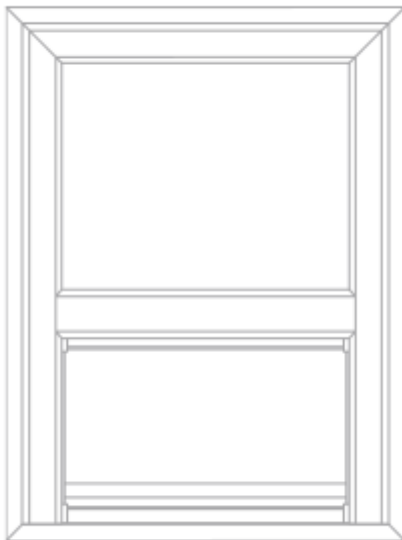
Request

Consideration of an approval for:

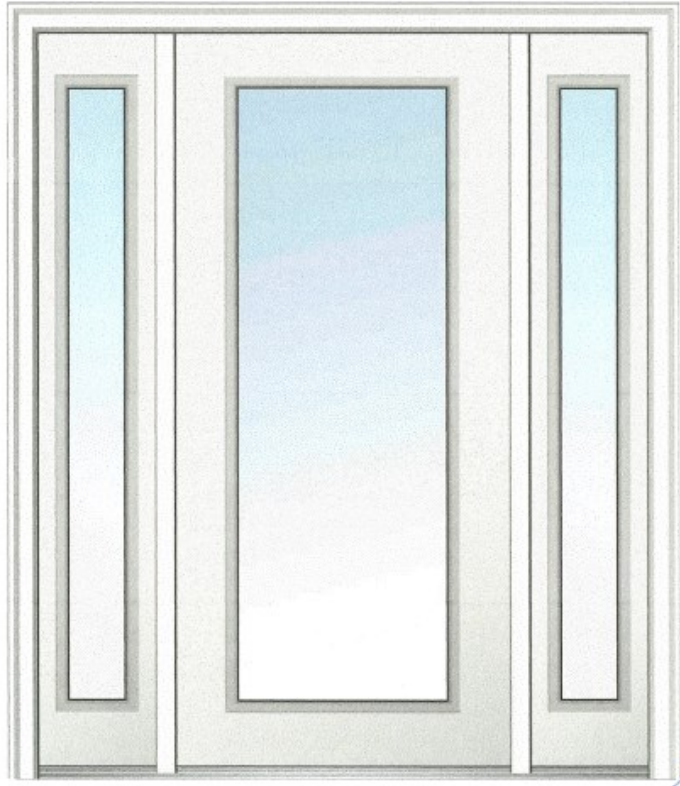
- Replacement of all first story wooden windows with similar design horizontal rollers, single hung, white vinyl, clear glass high impact rated windows.
- Replacement of the front door with clear glass, full right-hand, ancona (walnut) stain, fiberglass front door with sidelites.
- Replacement of the existing, non-original aluminum lap siding with Fiber Cement Primed Cedarmill Lap Siding.
- Repair and replacement of the existing non-original dimensional shingle roof with standing seam metal roof, install new fascia and soffit.



Existing window



Proposed windows/white



MMI Door

Proposed front door/ancona
(walnut) stain

64 in. x 80 in. Clear Glass Full Lite Right-Hand Classic Primed
Fiberglass Prehung Front Door with Sidelites



James Hardie

HardiePlank HZ5 5/16 in. x 8.25 in. x 144 in. Fiber Cement Primed Cedarmill Lap
Siding

Proposed Siding



Existing roofs in the surrounding area



Proposed Standing Seam metal roof

Staff Analysis

Secretary of Interior Standards for Consideration

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

In October 2017 Historic Preservation Board approved a request for the replacement of the second story windows of the residence.

The current proposal seeks to remove wooden windows on the first floor and the front door and install vinyl windows and fiber glass door instead. The applicant does not propose materials that are appropriate to protect the historic integrity of the residence.

The proposal seeks also to remove and replace non-original siding and roof.

The Secretary of the Interiors Standards for the Treatment of Historic Properties, in addition to the ***Standards for Rehabilitation***, recommends ***“Undertaking work to prevent or minimize the loss, damage or destruction of the historic property while retaining and preserving significant features and the overall historic character of the building”*** and ***“Ensuring that, when planning work to adapt for natural hazards, all feasible alternatives are considered, and that options requiring the least alteration are considered first”***.



Side façade



Rear façade

Staff Recommendation

Based upon Secretary of Interior Standards 2, 5 and 6, and recommendations, staff proposes that the Board approve the request for installation of the new roof and siding as requested; and windows and door with condition that the applicant will attempt to repair original windows and door or install new windows and door that will have the same design style, and if possible, be made with the same material as the old one.



Photos of the residence



RECEIVED

MAY 09 2018

COA#

18-39^x

Bldg. Permit # _____

Certificate of Appropriateness Application

Building & Site Information

Address of the Site:

711 S. INDIAN RIVER DR.

Parcel ID #: _____

Type of Designation:

Contributing Non-contributing Site within the _____ Historic District

Individually Designated Site, City Commission Resolution No. _____

Property Owner/ Applicant Information

Property Owner(s)

Name(s):

DYLAN & KRISTIN MURRAY

Mailing Address:

711 S. INDIAN RIVER DR. FT. PIERCE, FL. 34950

Phone Number(s):

772.332.9302
772.332.2048

Email: SICDYLAN@bellsouth.net

Applicant

Name(s):

DYLAN & KRISTIN MURRAY

Mailing Address:

711 S. INDIAN RIVER DR. FT. PIERCE, FL. 34950

Phone Number(s):

772.332.9302
772.332.2048

Email: SICDYLAN@bellsouth.net

Representative

Name(s): _____

Mailing Address: _____

Phone Number(s): _____

Email: _____

Property Owner(s) Acknowledgements:- This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this Application and/or presentation to the Historic Preservation Board.

I / We, Dylan Murray as Owner(s) of the subject property do hereby authorize the filing of this application on my/our behalf.

Dylan Murray
Signature of Owner

05/08/18
Date

Description of Requested Work

Please indicate the type of work requested:

- Fence
- Window(s)
- Shed
- Signage
- Door(s)
- Shutter(s)
- Roof
- Porch

- Rehabilitation
- New Construction
- Demolition
- Relocation

- Site Improvements (describe) NEW FRONT DOOR
NEW METAL ROOF, FACIA, SOFFIT, IMPACT DOORS & WINDOWS DOWNSTAIRS
- Other (describe) _____

Please provide a detailed description of the proposed work to be performed: DEMOLITION OF ALUMINIUM SIDING (LAPSIDING) REPAIR WOOD IF NEEDED, AND REPLACE WITH HARDIE BOARD LAP SIDING WOOD GRAIN. REPAIR AND REPLACE SHINGLE ROOF w/ METAL ROOF WITH NEW FACIA AND SOFFIT

Have other alterations been made to the site within the last 12 months? No Yes, IMPACT WINDOWS 2ND FLOOR

Will the proposed work require a Zoning Variance? No Yes, Code Section(s): _____

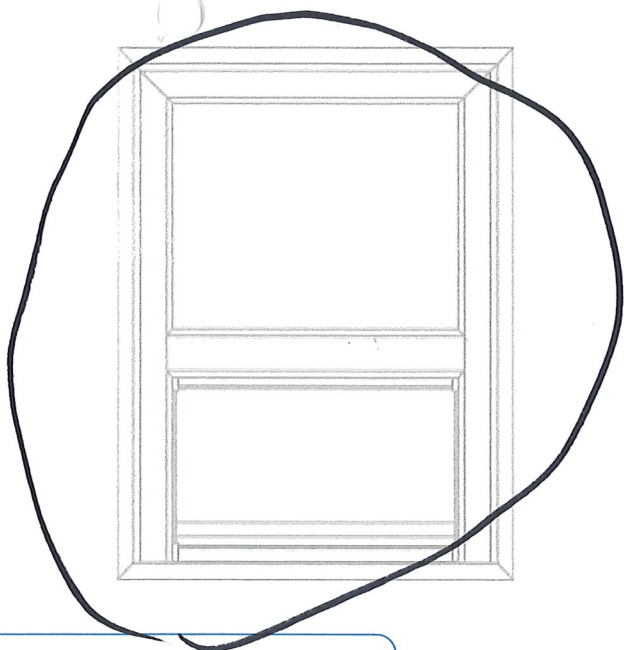
Application Requirements

- \$10.00 Application fee
- Site Plan with dimensions.
- Architectural Drawings:
 - Drawings should show all current and proposed floor plans and elevations, fences, walls, and any other landscape features.
 - Drawings should indicate materials to be used.
- Photos - One (1) color photograph of the main façade of the site and photographs of any areas affected by the proposed project.
- Material(s) specifications and/or sample(s)
- Color samples.
- Demolition - Plans for what will be taking the demolished structure's place should be submitted.



Front Downstairs
Windows
Horizontal Rollers
Clear glass

White in color
Vinyle



FIND A DEALER

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SH5500

Single Hung
Clear glass

White
Vinyl

Movable bottom sash slides to open vertically

Constant force balance system for smooth, easy operation

Spiral balance system

- Standard feature on larger window sizes ensures ease of sash operation

Optional upgrade on any window size

SecureConnect integrated corner keys for added sash strength

Tilt sash design for easy exterior cleaning

Embedded tilt latch

- For added strength in holding sash into frame
- Presents cleaner sight lines

Stylish ComfortLift handles

- Allows ease of operation and option to add style by selecting hardware finish
- Optional lift rail for alternative opening method

Beveled meeting rail enhances visual appeal of profile

Configuration Options

- Radius and Arch Tops
- Proview/Oriel, Cottage, and custom sashes

Standard glass options

- Laminated Insulating Glass (impact-resistant)

Window comes with a standard screen

[OVERVIEW](#) [OPTIONS & ACCESSORIES](#) [DOCUMENTS](#) [NEWS & ALERTS](#)

HR5510

Horizontal Rollers

Sashes positioned side-by-side to allow the window to be closed horizontally

Available in 2- and 3-lite configurations

SecureConnect integrated corner keys with wheel housing

- For added sash stability, strength, and smooth operation

Ball bearing wheel

- Provides smooth, durable operation and allows for larger sash sizes

SecureConnect integrated corner keys at lock rail

- Includes weather strip to prevent air infiltration

Removable sash design for easy exterior cleaning

Concealed egress option

- Meets egress requirement of one operation to unlock window
- Sleek proprietary design and innovative operation

Configuration Options

- Unequal Lite (1/4, 1/2, 1/4)
- Equal Lite (1/3, 1/3, 1/3)

Standard glass options

- Laminated Insulating Glass (impact-resistant)

Window comes with a standard screen

Home / Doors & Windows / Exterior Doors / Front Doors / Fiberglass Doors / Doors With Glass

Similar Options to Consider

See All



MMI Door 64 in. x 80 in. Classic (0)

\$1591⁸¹/each



MMI Door 64 in. x 80 in. Clear Glass (0)

\$1588⁸²/each



MMI Door 60 in. x 80 in. Clear Glass (0)

\$1412¹⁷/each



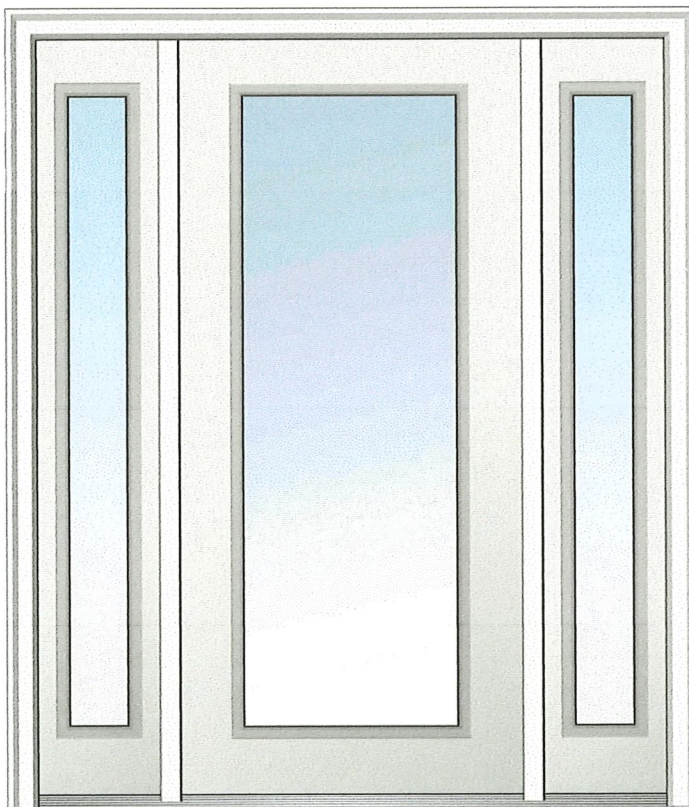
MMI Door 64 in. x 80 in. GBG Right-Hand (0)

\$1687⁶²/each

Handwritten text: "Front Door" with an arrow pointing to the selected door.

Model # Z029472R

Internet #302163377



Handwritten scribble.

Share

Save to Favorites

Print

Handwritten text: "(white)"

MMI Door

64 in. x 80 in. Clear Glass Full Lite Right-Hand Classic Primed Fiberglass Prehung Front Door with Sidelites

Hardie Lap Siding

Home / Building Materials / Siding / Fiber Cement Siding

Model # 615572 Internet #202035444 Store SKU #230196



Share Save to List Print

James Hardie

HardiePlank HZ5 5/16 in. x 8.25 in. x 144 in. Fiber Cement Primed Cedarmill Lap Siding

★★★★★ (9) Write a Review Questions & Answers (38)

- Versatile design creates a variety of looks and textures
- Resists damage from moisture
- Resists cracking, splitting, rotting and swelling

Quantity



photo of a house with hardie plank siding

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james hardie fiber cement cement siding grey gray exterior stucco brick colors trim craftsman paint iron stone wood



1280 x 960 - Images may be subject to copyright

Hardy board siding, fiber cement siding...
Ideasonthemove.com

Fiber Cement Siding Problems Fiber Cement Siding Hardie Planks

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Related images:



Get help - Send feedback





picture of standing seam metal roof



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copper cabin charcoal

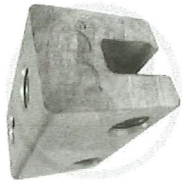
Sponsored



\$604.43 Seion



\$249.82 Industrial Safety Products



\$3.25 Dynamic Fastener



\$529.00 Harness Land.com



\$3.00 Dynamic Fastener



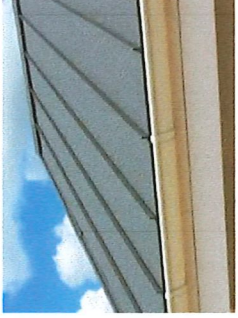
\$4,899.00 RotoMetals



\$271.15 Enviro Safety Products



View all



standing seam metal Roof

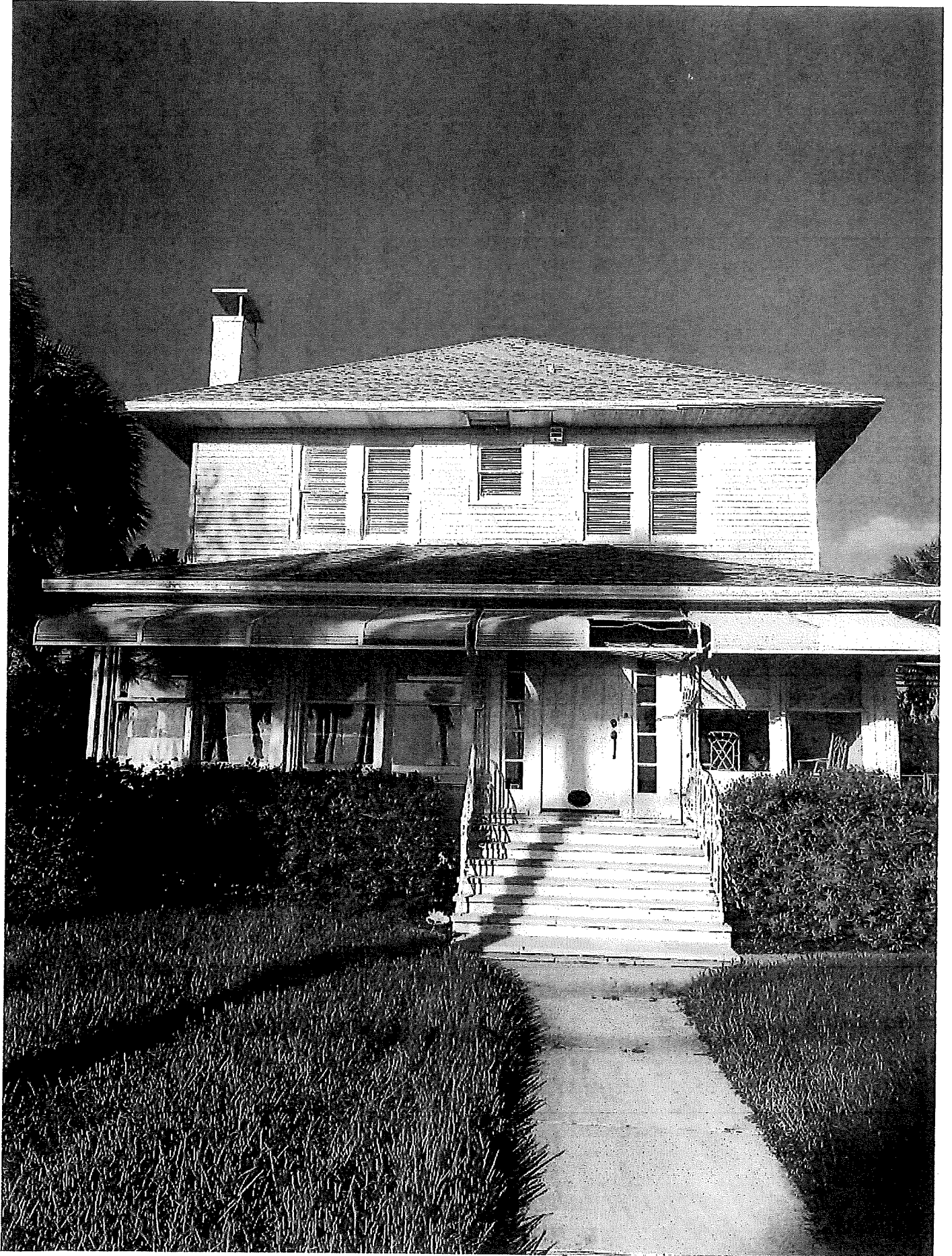
STANDING SEAM METAL ROOFING ...
Distinctive Metal Roofing
STANDING SEAM METAL ROOFING AND WHAT TO LOOK FOR -
Distinctive Metal Roofing

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720 x 256 - Images may be subject to copyright



(R:ctused Now)



805 S Indian River Drive/Dylan & Kristin Murray

Treasure Coast General Contractors

to:

Maria Lewicka

05/10/2018 04:00 PM

Hide Details

From: Treasure Coast General Contractors <treasurecoastgc@gmail.com>

To: Maria Lewicka <MLewicka@city-ftpierce.com>

Maria-

For the front door they would like to do ancona(walnut) stain for color so it will not be white. And we want to just submit the hardie lap siding and not the shaker as we are confident the lap siding will be approved. Let me know if you need anything else.

Thanks,

--

Devin Wheaton

TCGC

772-201-5426

treasurecoastgc@gmail.com

Michelle Franklin, CFA -- Saint Lucie County Property Appraiser -- All rights reserved.

Property Identification

Site Address: 711 S INDIAN RIVER DR
 Sec/Town/Range: 10/35S/40E
 Map ID: 24/10H
 Zoning: R4

Parcel ID: 2410-810-0021-000-5
 Account #: 23913
 Use Type: 0100
 Jurisdiction: Fort Pierce

Ownership

Philip C Gates Jr
 313 Orange Ave
 Fort Pierce, FL 34950

Legal Description

ANDREWS AND RICHARDS S/D LOT 9 EOF S 2 ST (12) (MAP 24/10H)
 (OR 219-1407; 3235-2901)

Current Values

Just/Market Value: \$178,600
 Assessed Value: \$107,151
 Exemptions: \$50,000
 Taxable Value: \$57,151

Taxes for this parcel: SLC Tax Collector's Office
 Download TRIM for this parcel: Download PDF



Total Areas

Finished/Under Air (SF): 2,324
 Gross Area (SF): 3,308
 Land Size (acres): 0.54
 Land Size (SF): 23,543

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Jan 4, 2010	3235 / 2901	0130	QC	Gates, Sonja M	\$100
Sep 1, 1973	0219 / 1407	XX00	CV		\$26,800

Building Information (1 of 2)

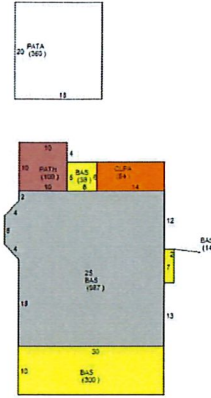
Finished Area: 2,324 SF
 Gross Total Area: 2,868 SF

Exterior Data

View:	Roof Cover: Dim Shingle	Roof Structure: Hip
Building Type: HB	Year Built: 1910	Frame:
Grade: B	Effective Year: 1970	Primary Wall: Alum Siding
Story Height: 2 Story	No. Units: 1	Secondary Wall:

Interior Data

Bedrooms: 4	Electric: MAXIMUM	Primary Int Wall:
Full Baths: 2	Heat Type: FrcdHotAir	Avg Hgt/Floor: 0
Half Baths: 1	Heat Fuel: ELEC	Primary Floors: Hardwood
A/C %: 100%	Heated %: 100%	Sprinkled %: N/A%



Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
2S	ONE FULL STORY OVER BASE (TOTAL 2 FLOORS)	987	987	126
BAS	BASE AREA	1337	1337	248
CLPA	Closed Porch Average	84	0	40
PATA	Patio Average (Plain Slab)	360	0	76
PATH	Patio High (Flooring over Slab-Tile,Pavers,etc)	100	0	40

Building Information (2 of 2)

Finished Area: 0 SF

Gross Total Area: 440 SF

Exterior Data

View:
 Building Type: DGAR
 Grade: DG
 Story Height: 1 Story

Roof Cover: Dim Shingle
 Year Built: 1910
 Effective Year: 1965
 No. Units: 0

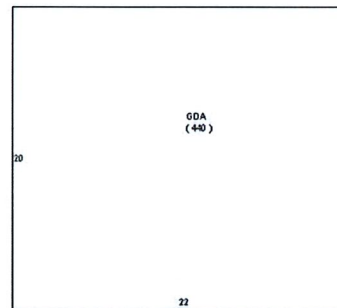
Roof Structure: Hip
 Frame:
 Primary Wall: Wd Shingle
 Secondary Wall:

Interior Data

Bedrooms: 0
 Full Baths: 0
 Half Baths: 0
 A/C %: 0%

Electric: MINIMUM
 Heat Type:
 Heat Fuel:
 Heated %: N/A%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors: CONC GRD
 Sprinkled %: 0%



Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
GDA	Garage Detached Average	440	0	84

Special Features and Yard Items


Type	Qty	Units	Year Blt
CHAINLINK 4'	1	225	1999

Current Year Values

Current Values Breakdown		Current Year Exemption Value Breakdown				
		Tax Year	Grant Year	Code	Description	Amount
Building:	\$77,900					
Land:	\$100,700	2017	1999	0500	Homestead Exemption	\$25,000
Just/Market:	\$178,600	2017	2008	0550	Homestead Exemption over \$50,000	\$25,000
Ag Credit:	\$0					
Save Our Homes or 10% Cap:	\$71,449					
Assessed:	\$107,151					
Exemption(s):	\$50,000					
Taxable:	\$57,151					

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
1999	0041	1	Fort Pierce Stormwater Charge	\$54.00

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office .

Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2017	\$178,600	\$107,151	\$50,000	\$57,151
2016	\$161,700	\$104,948	\$50,000	\$54,948
2015	\$175,500	\$104,219	\$50,000	\$54,219

Permits

Number	Issue Date	Description	Amount	Fee
F00-000401	Mar 29, 2000	Roof	\$5,685	\$0
BP10-2405	Jan 19, 2011	Alterations/Remodeling	\$4,000	\$80

Notice: This does not necessarily represent all the permits for this property.

Click the following link to check for additional permit data in Fort Pierce

This information is believed to be correct at this time but it is subject to change and is not warranted.

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Historic Preservation Board

6.h.

Meeting Date: 05/29/2018

Information

REQUESTED ACTION

Certificate of Appropriateness 18-43 - Event Venue - 515 S. Indian River Drive

LOCATION

515 Indian River Drive (Parcel ID: 2410-810-0001-000-9)

RESPONSIBLE STAFF

Maria Lewicka, AICP
Historic Preservation Planner

RECOMMENDATION

Approval

Attachments

Staff Report
Application
Property Card

Form Review

Form Started By: Maria Lewicka
Final Approval Date: 05/22/2018

Started On: 05/22/2018 03:01 PM



MAY 29, 2018

COA 18-43

Owner

Crownman FL LLC

Applicant

Kris Einstein

Location

515 S Indian River Drive

Parcel

2410-810-0001-000-9

Historic Status

Contributing Structure located in the River's Edge Historic District.

Requested Action

Consideration of an approval to build an event venue, 2 story building and gazebo.

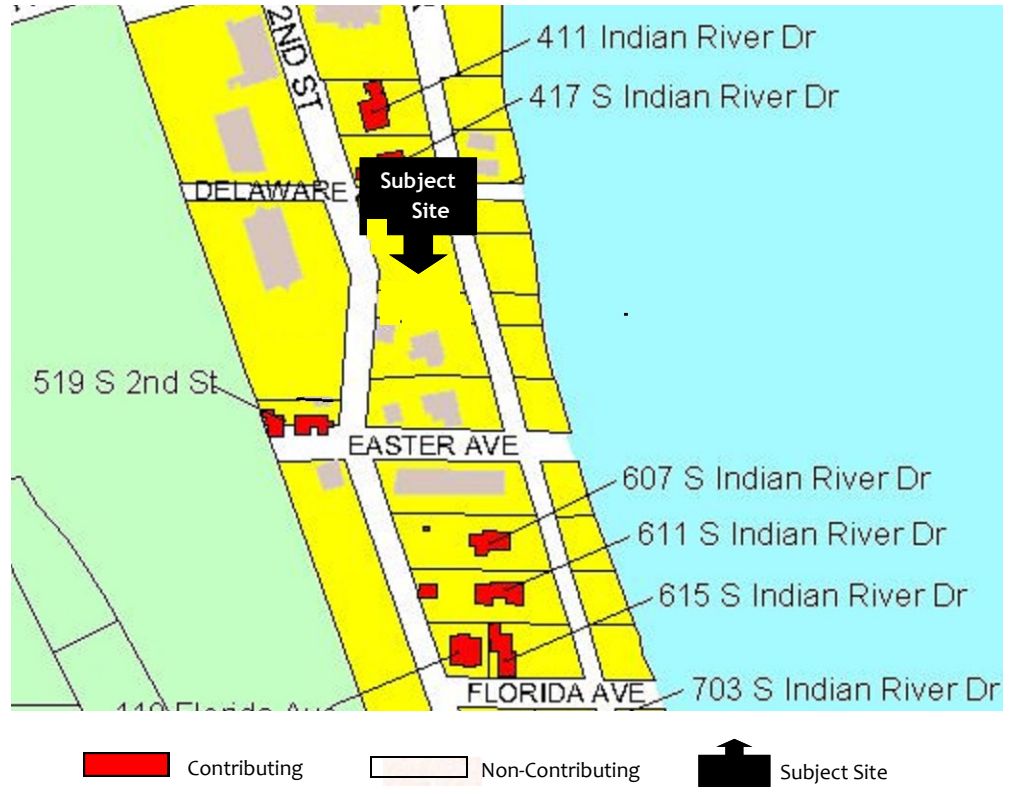
Recommendation

Approval

Staff

Maria Lewicka, AICP
Historic Preservation Planner

HISTORIC PRESERVATION BOARD : PUBLIC HEARING

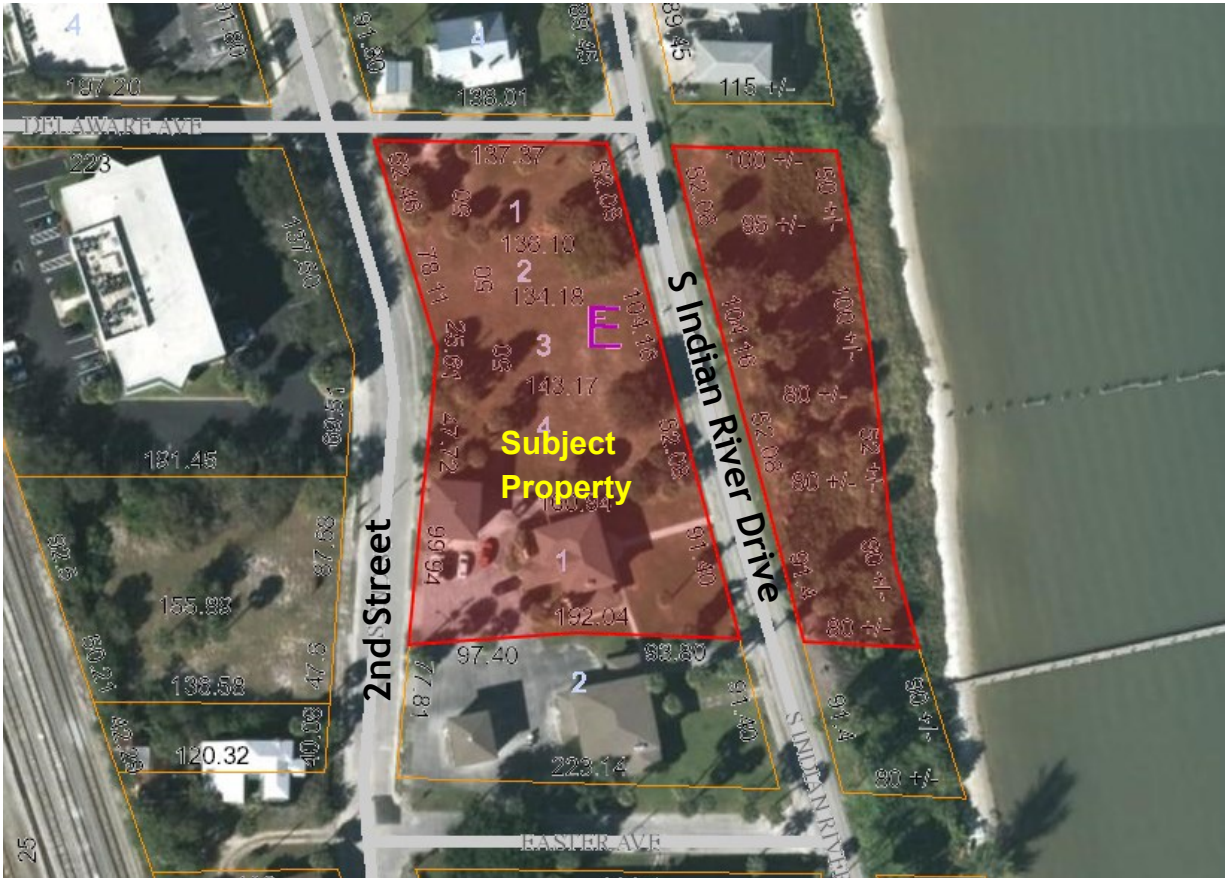


HISTORY

The property located at 515 S Indian River Drive was built in 1924 according to Florida Master Site File, and in 1900 according to Certified Florida Appraiser Office. Sanborn maps show the "footprint" of the building on the map dated 1918 for the first time. The building is associated with the Boom and Bust Period (1919-1929) in Fort Pierce history.

ARCHITECTURAL SIGNIFICANCE

The existing building is two-story Prairie architectural style which is expressed by a hip roof, wide eaves, symmetrical façade, symmetrical hip extensions, center entrance and entrance porch. The porch has a hip roof supported by massive brick posts. The exterior wall fabric is stucco. Fenestration consists of 6/6 and 8/8 double-hung sash windows. With few alterations, this building has retained much of its architectural integrity.



Aerial Views of the Site

Applicant's Request

Consideration of an approval to build:

- event venue including pavilion with kitchen and restrooms
- 2 story building with 2 bedroom apartment upstairs and workshop area and bridal dressing suite downstairs
- Gazebo
- Associated parking and landscaping.

Proposed colors are ***On the Rocks*** and ***Greek Vanilla***.

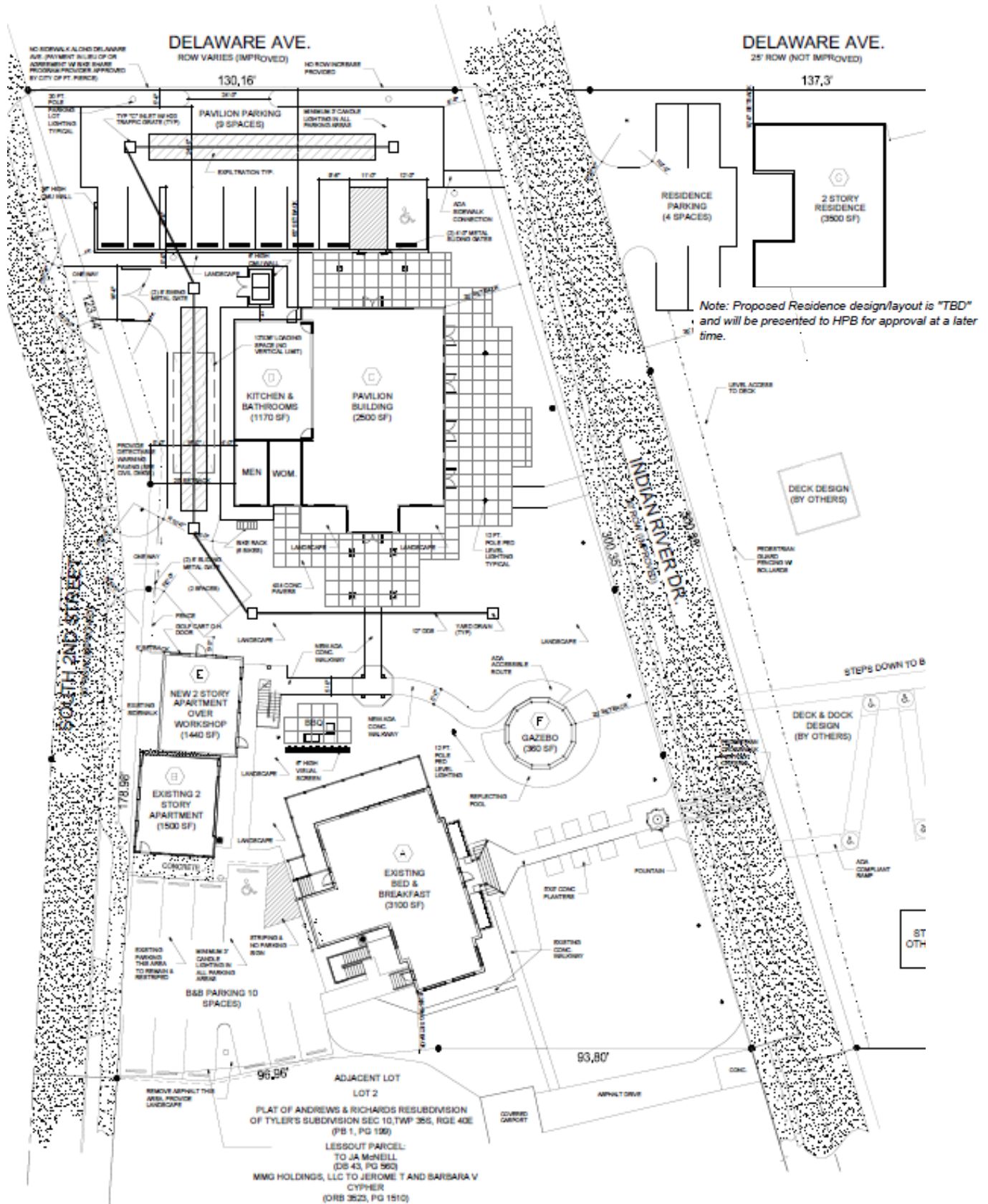
The proposed residence design/layout is "TBD" and will be presented to the Historic Preservation Board for approval at a later time.



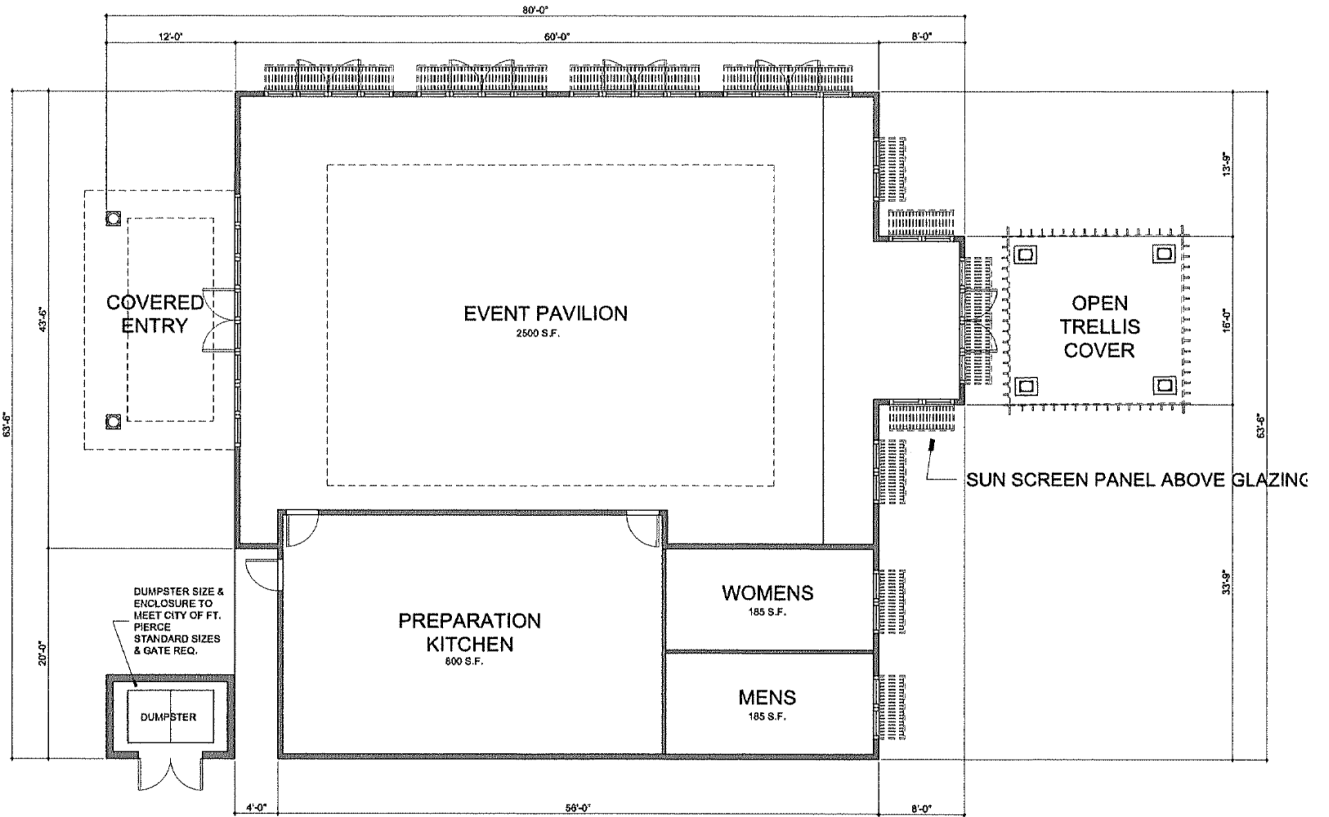
Property view from the Indian River



Property view from the 2nd Street



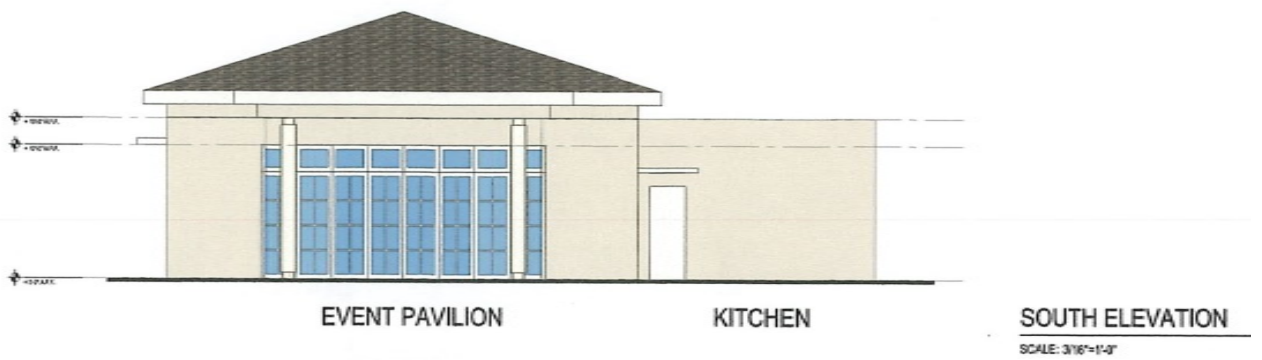
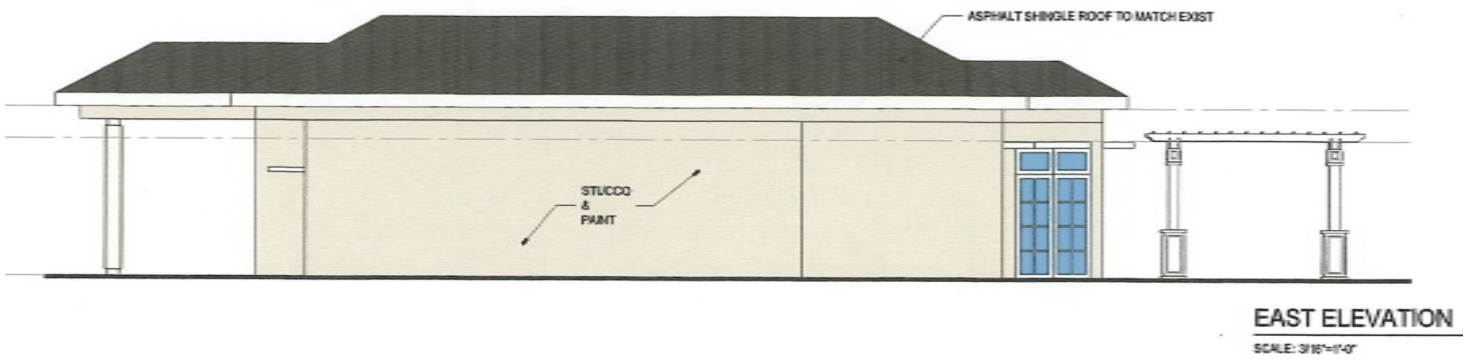
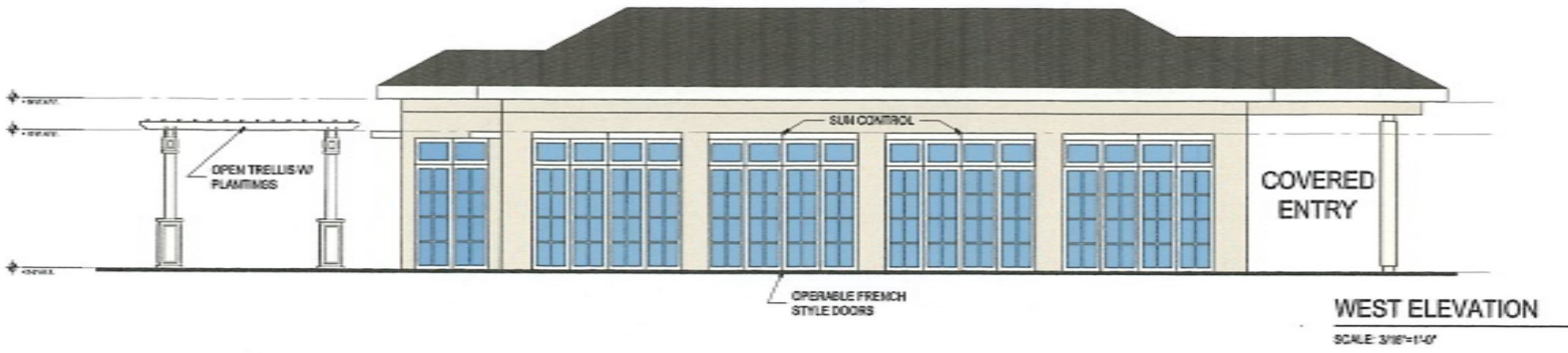
Note: Proposed Residence design/layout is "TBD" and will be presented to HPB for approval at a later time.



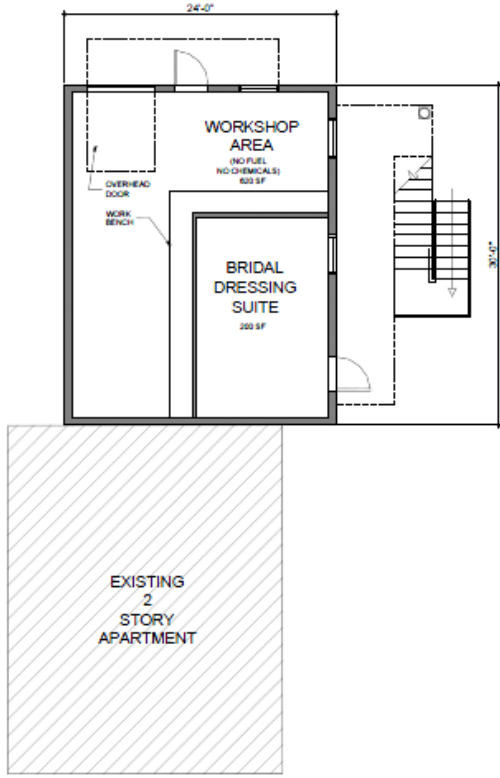
ARCHITECTURAL FLOOR PLAN
 SCALE: 3/16"=1'-0"
 PRELIMINARY

BUILDING CALCULATIONS	
EVENT PAVILION	2500 S.F.
KITCHEN	800 S.F.
BATHROOMS	370 S.F.
TOTAL	3670 S.F.

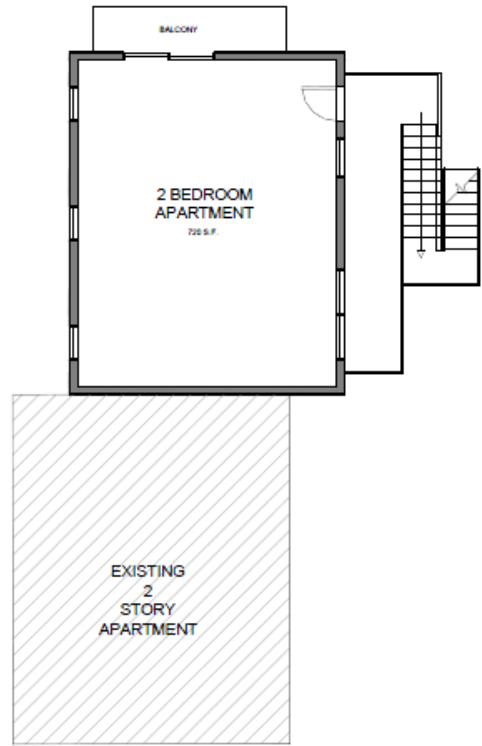
Proposed Pavilion Floor plan



Pavilion Elevations



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"
PRELIMINARY



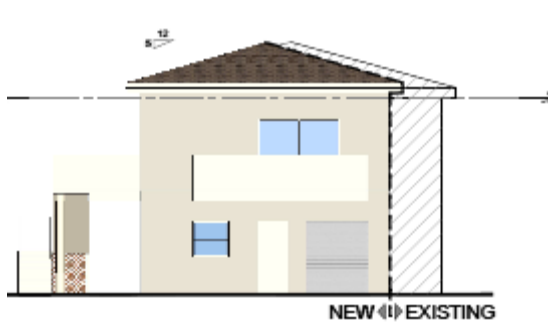
SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"
PRELIMINARY



NORTH ELEVATION
SCALE: 3/16"=1'-0"
PRELIMINARY



WEST ELEVATION
SCALE: 3/16"=1'-0"
PRELIMINARY

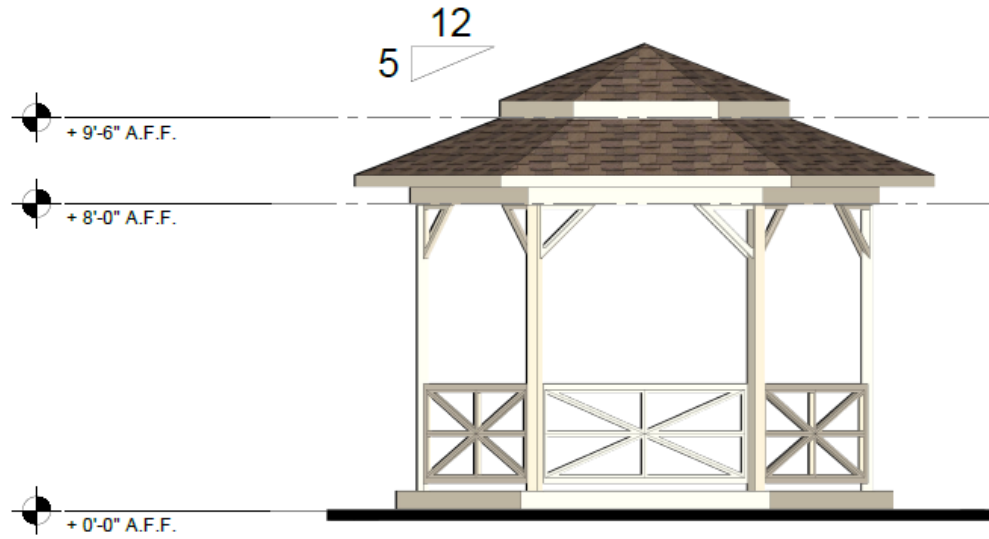


SOUTH ELEVATION
SCALE: 3/16"=1'-0"
PRELIMINARY



EAST ELEVATION
SCALE: 3/16"=1'-0"
PRELIMINARY

Proposed 2 Building, Floor Plans and Elevations

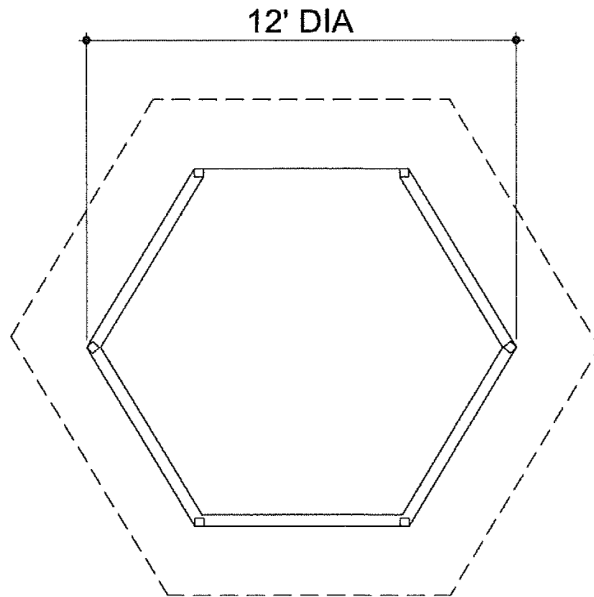


GAZEBO ELEVATION

SCALE: 1/2"=1'-0"

PRELIMINARY

Proposed
Gazebo
Floor Plan
& Elevation



GAZEBO FLOOR PLAN

SCALE: 1/2"=1'-0"

PRELIMINARY



Conceptual Sketches



Conceptual Sketches

Staff Analysis

Secretary of Interior Standard for Consideration

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new constructions will be undertaken in a such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Recommendations:

One of the goals of historic preservation is to create new buildings designed in harmony with both adjacent structures as well as the close surroundings and the overall historic district development patterns.

The site is design beautifully. The new design, proportions and scheme compose well with existing adjacent structures and surrounding properties. The density and lot coverage is low. The proposed buildings, hardscape and landscape are in harmony with the spatial relationships established within the River's Edge Historic District.

In addition the proposed development is located in close proximity to downtown area and will contribute to downtown diversity and economic success.

Staff recommends approval of the proposed Event Venue Development as it meets Secretary's Standard 9 and 10.





Bldg. Permit # _____

COA# 18-43

Certificate of Appropriateness Application

Building & Site Information

Address of the Site: 515 South Indian River Drive
 Parcel ID #: 2410-810-0001-000-9
 Type of Designation: Contributing Non-contributing Site within the Rivers Edge Historic District
 Individually Designated Site, City Commission Resolution No. _____

Property Owner/ Applicant Information

Property Owner(s) Name(s): Crownman FL LLC
 Mailing Address: 10380 SW Village Center Drive, # 310, Port St Lucie, FL 34987
 Phone Number(s): On File Email: on File

Applicant Name(s): Kris Einstein
 Mailing Address: 207 Orange Ave, Ste A, FPR, FL ~~34987~~ 34950
 Phone Number(s): On file Email: On File

Representative Name(s): N/A
 Mailing Address: _____
 Phone Number(s): _____ Email: _____

Property Owner(s) Acknowledgements:- This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this Application and/or presentation to the Historic Preservation Board.

I / We, Walter + Cheryl Brett as Owner(s) of the subject property do hereby authorize the filing of this application on my/our behalf.

[Signature]
Signature of Owner

5.12.18
Date

Description of Requested Work

Please indicate the type of work requested:

- | | | | |
|---|--|-------------------------------------|-------------------------------------|
| <input type="checkbox"/> Fence | <input type="checkbox"/> Shed | <input type="checkbox"/> Door(s) | <input type="checkbox"/> Roof |
| <input type="checkbox"/> Window(s) | <input type="checkbox"/> Signage | <input type="checkbox"/> Shutter(s) | <input type="checkbox"/> Porch |
| <input type="checkbox"/> Rehabilitation | <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Demolition | <input type="checkbox"/> Relocation |

Site Improvements (describe) Build an Event Venue, 2 story building w/apt upstairs & workshop and bridal dressing downstairs and Gazebo

Other (describe) Fence along Indain River Drive

Please provide a detailed description of the proposed work to be performed: _____

Have other alterations been made to the site within the last 12 months? No Yes, _____

Will the proposed work require a Zoning Variance? No Yes, Code Section(s): _____

Changing from C-1 to PD in order to include the Event Venue

Application Requirements

- \$10.00 Application fee
- Site Plan with dimensions.
- Architectural Drawings:
 - Drawings should show all current and proposed floor plans and elevations, fences, walls, and any other landscape features.
 - Drawings should indicate materials to be used.
- Photos - One (1) color photograph of the main façade of the site and photographs of any areas affected by the proposed project.
- Material(s) specifications and/or sample(s)
- Color samples.
- Demolition – Plans for what will be taking the demolished structure’s place should be submitted.

SW 7551
Greek Villa

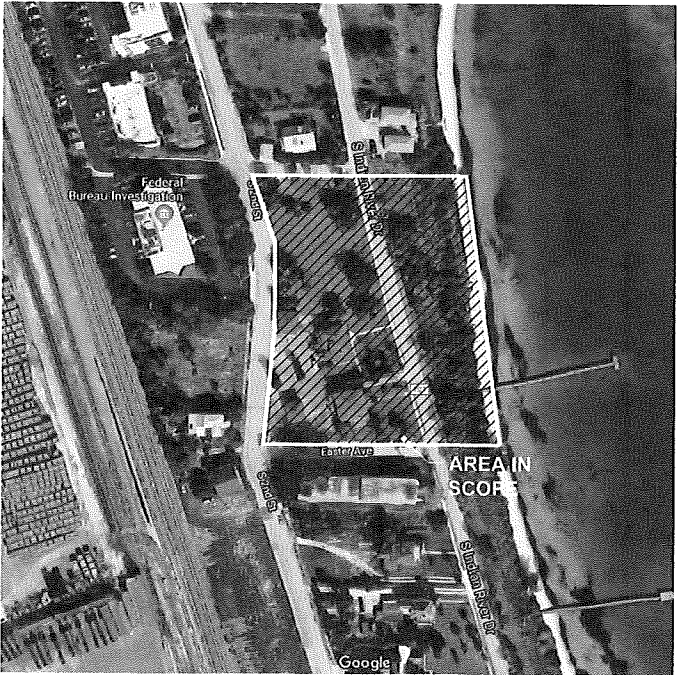
254-C1

SW 7671
On the Rocks

255-C7

PLAN DEVELOPMENT REVIEW FOR:

FORT PIERCE EVENT CENTER



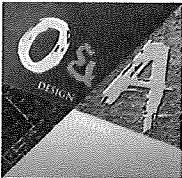
INDEX

SHEET #	DESCRIPTION
0-0	COVER SHEET
SP-1	NORTH SITE PLAN
SP-2	SOUTH SITE PLAN
A-1	PAVILION FLOOR PLAN
A-2	WORKSHOP FLOOR PLANS
A-3	PAVILION ELEVATIONS
A-4	WORKSHOP ELEVATIONS
A-5	GAZEBO FLOOR PLAN & ELEVATION

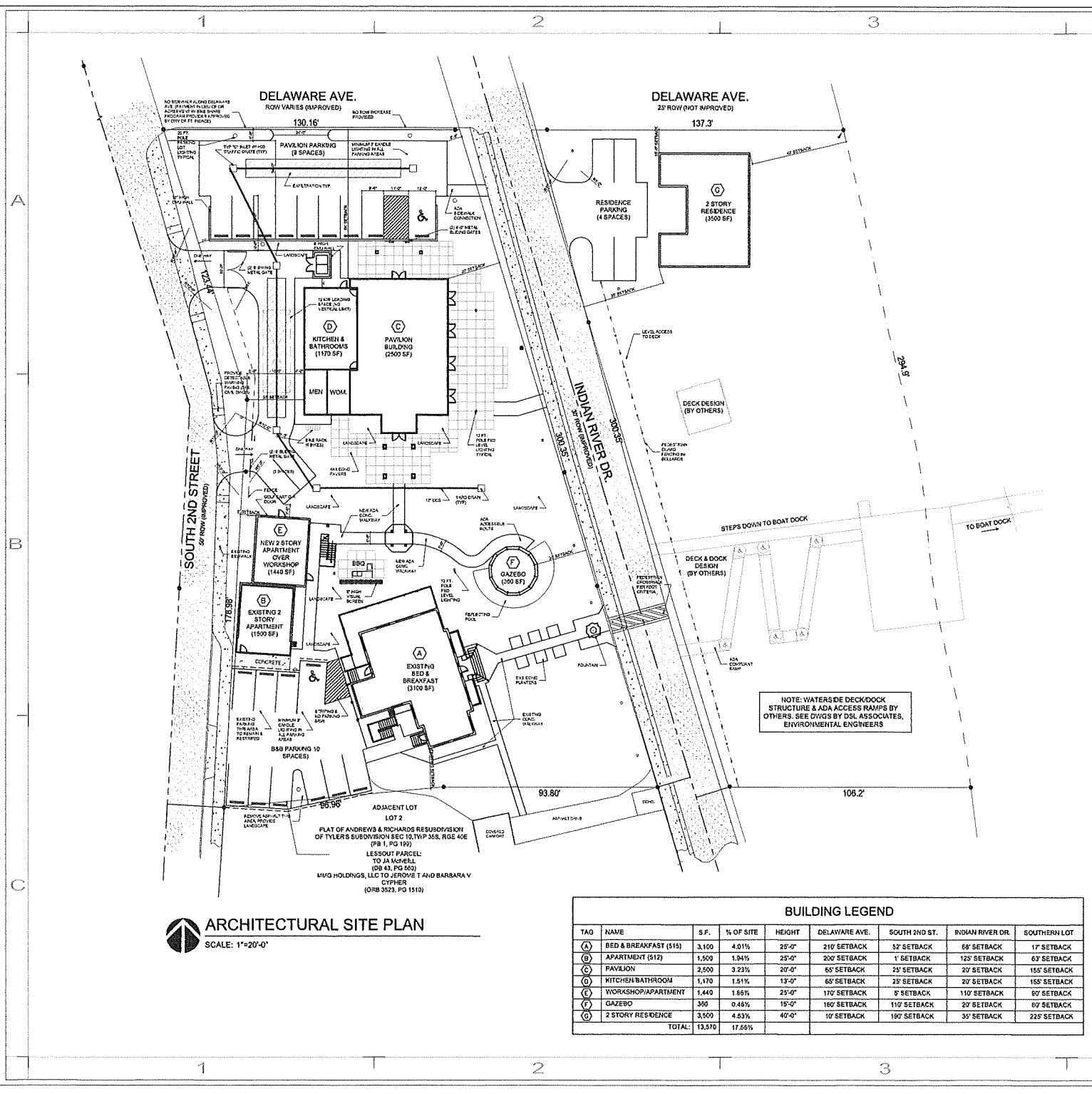
515 S INDIAN RIVER DR, FORT PIERCE,
FLORIDA

5/13/18

C-18122



RAUL OCAMPO & ASSOCIATES, LLC
ARCHITECTURE | URBAN DESIGN
PLANNING | INTERIORS
404 SOUTH GULF AVENUE, SUITE 6, 3492
FORT PIERCE, FLORIDA 34942
WWW.OCA300.NET



ARCHITECTURAL SITE PLAN
SCALE: 1"=20'-0"

BUILDING LEGEND							
TAG	NAME	S.F.	% OF SITE	HEIGHT	DELAWARE AVE.	SOUTH 2ND ST.	INDIAN RIVER DR.
(A)	BED & BREAKFAST (515)	3,100	4.81%	25'-0"	21' SETBACK	37' SETBACK	68' SETBACK
(B)	APARTMENT (512)	1,500	1.94%	25'-0"	20' SETBACK	1' SETBACK	125' SETBACK
(C)	PAVILION	2,500	3.23%	20'-0"	63' SETBACK	23' SETBACK	23' SETBACK
(D)	KITCHEN/BATHROOM	1,170	1.51%	13'-0"	63' SETBACK	23' SETBACK	155' SETBACK
(E)	WORKSHOP/APARTMENT	1,440	1.86%	25'-0"	11' SETBACK	9' SETBACK	110' SETBACK
(F)	GAZEBO	350	0.45%	15'-0"	18' SETBACK	11' SETBACK	67' SETBACK
(G)	2 STORY RESIDENCE	3,500	4.53%	40'-0"	10' SETBACK	18' SETBACK	35' SETBACK
TOTAL:		13,570	17.66%				

SITE DATA		
LOCATION:	PARCELS 1 THROUGH 5 AB LOWRY'S SUBDIVISION TOWNSHIP 35 50 'LOT 4' SECTION 10 RANGE 40	
ADDRESS:	515 SOUTH INDIAN RIVER DRIVE FT. PIERCE, FLORIDA 34850	
IMPERVIOUS AREA:		% OF SITE
BUILDING COVERAGE:	13,570 S.F.	17.6%
SIDEWALK/PEDESTRIAN AREAS:	11,468.5 S.F.	14.9%
DRIVES & PARKING AREA:	11,832 S.F.	15.3%
TOTAL:	36,870.5 S.F.	47.8%
PERVIOUS AREA:		
LANDSCAPE AREA:	40,350 S.F.	52.2%
OPEN SPACE: (LANDSCAPE + SIDEWALK/PED. AREA)	51,588 S.F.	
TOTAL SITE AREA:	(1.77 ACRES) 77,240.5 S.F.	
ZONING:	EXISTING	PROPOSED
	C-1 - OFFICE COMMERCIAL	PD - PLANNED DEVELOPMENT
FUTURE LAND USE:	CBD CENTRAL BUSINESS DISTRICT	CBD CENTRAL BUSINESS DISTRICT
NOI:		
RESIDENTIAL MAX FLOOR AREA RATIO PERMITTED:	3.0	PAVILION 2,500 KITCHEN WORKSHOP 1,170 GAZEBO 350 TOTAL 5,020 = D07 F.A.R.
MAX LOT COVERAGE:	60%	47.8%
MAXIMUM HEIGHT:	65 FEET	40 FEET
RESIDENTIAL DENSITY ALLOWANCE:	30 DWELLING UNITS/ACRE RESIDENTIAL USES SHALL COMPREHEND A MIN. 25% OF TOTAL FLOOR AREA OF CBD FUTURE LAND USE DESIGNATION	6 DUS TOTAL = 230 DUS/ACRE

PARKING CALCULATIONS			
REQUIRED			
CODE DOES NOT HAVE A DESIGNATION FOR EVENT CENTER. PROPOSED REQUIREMENT 1200 S.F. ASSEMBLY.			
USE	S.F.	PARKING RATE	SPACES REQUIRED
BED & BREAKFAST (515)	3,100	1/BR	7
APARTMENT (512)	1,500	2/UNIT	2
PAVILION (1)	1,300	1/40 S.F.	33
KITCHEN/BATHROOM	1,170	1/EMPL.	0
WORKSHOP/APARTMENT	1,440	2/UNIT	2
2 STORY RESIDENCE	3,500	2/UNIT	3
			TOTAL: 47
HANDICAP SPACES REQUIRED	2		
HANDICAP SPACES PROVIDED	2		
PROVIDED			
ON SITE PARKING	25 SPACES		
ON STREET PARKING	0 SPACES		
(2) OFF SITE PARKING	22 SPACES		
	TOTAL: 47 SPACES		
	REQUIRED: 47 SPACES		
FOOTNOTES:			
(1) 2500 SF MINUS 1200 ONE TIME PARKING CREDIT = 1300 SF			
(2) PARKING AGREEMENT W/ ADJACENT VACANT LOT W/ VALET PARKING ON 2ND ST.			

CONCEPTUAL STORM WATER STATEMENT

- RUNOFF FROM THE EXISTING SITE PRESENTLY SHEET FLOWS OFFSITE WITH NO RETENTION.
- THE BED AND BREAKFAST DEVELOPMENT AREA WILL DRAIN AS THE EXISTING CONDITION (APPROXIMATELY THE SOUTH 1/3 OF THE PROJECT AREA).
- THE PROPOSED EVENTS CENTER DRAINAGE AREA (APPROXIMATELY THE NORTH 2/3 OF THE PROJECT AREA) SHALL INCLUDE A STORM WATER MANAGEMENT SYSTEM WHICH WILL CONSIST OF SITE GRADING AND A SERIES OF INLETS AND CULVERTS WHICH DIRECTS STORM WATER RUNOFF TO A PROPOSED DRY RETENTION "INFILTRATION" SYSTEM. THE PROPOSED DRY RETENTION SYSTEM SHALL BE SIZED TO PROVIDE FULL WATER QUALITY TREATMENT PER CITY OF FT. PIERCE CRITERIA AND RETENTION OF A 25 YEAR "DESIGN" STORM EVENT PER CITY OF FT. PIERCE CRITERIA. THE PROPOSED INFILTRATION TRENCH SYSTEM SHALL INCORPORATE A MAINTENANCE PLAN PER CITY OF FT. PIERCE CRITERIA.
- PROPOSED HABITABLE BUILDING STRUCTURES SHALL BE SET AT OR ABOVE THE 100 YEAR STORM OR FEMA, WHICHEVER IS HIGHER.
- ALL CONSTRUCTION WILL COMPLY W/ SECTIONS 17 & 22 OF CITY OF FT. PIERCE CODE OF ORDINANCES - STEPHEN COOPER P.E. LIC #48557

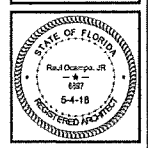


RAIL OCCAMPO & ASSOCIATES, LLC
ARCHITECTURE & URBAN DESIGN
PLANNING & INTERIORS
401 SOUTH WASHINGTON AVE.
SUITE 100
FT. PIERCE, FLORIDA 34901
WWW.OCCAMPO.COM

REGISTERED PROFESSIONAL ARCHITECT
STATE OF FLORIDA
NO. 12345
EXPIRES 12/31/2025

REGISTERED PROFESSIONAL ARCHITECT
STATE OF FLORIDA
NO. 12345
EXPIRES 12/31/2025

REGISTERED PROFESSIONAL ARCHITECT
STATE OF FLORIDA
NO. 12345
EXPIRES 12/31/2025



REVISIONS:

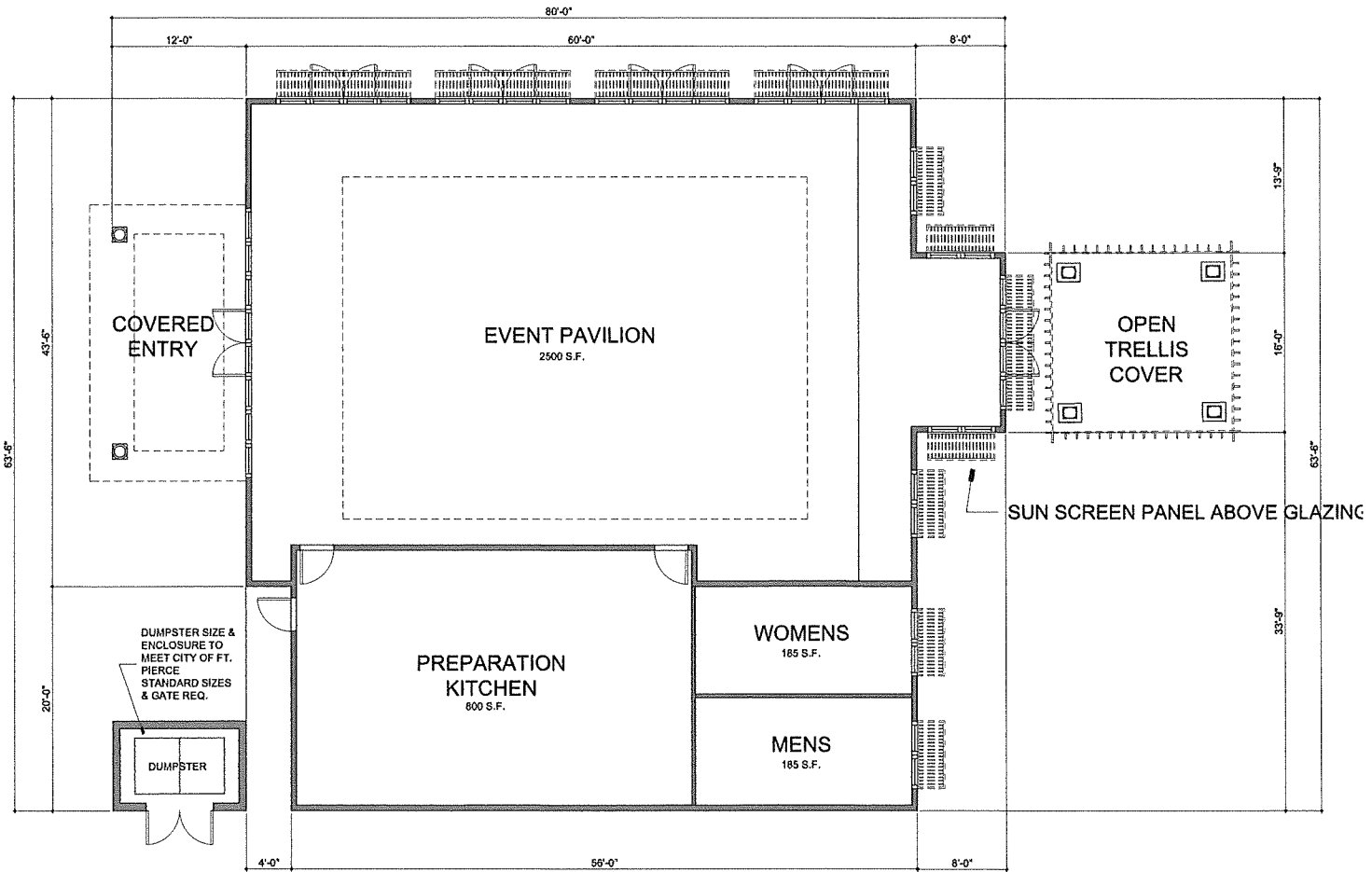
Date	Description

CONTRACT DOCUMENTS FOR:
FT. PIERCE EVENT CENTER
ADDRESS:
515 S 2ND AVENUE FT PIERCE FL

SITE PLAN			
Drawn by	xx	Date	Checked by

CONTRACT NO. C-18122

SP-1



ARCHITECTURAL FLOOR PLAN
 SCALE: 3/16"=1'-0" PRELIMINARY

BUILDING CALCULATIONS	
EVENT PAVILION	2500 S.F.
KITCHEN	800 S.F.
BATHROOMS	370 S.F.
TOTAL	3670 S.F.



O&A
 RAUL OCCAMPO & ASSOCIATES, LLC
 ARCHITECTURE | URBAN DESIGN
 PLANNING | INTERIORS
 501 SOUTH WILSON AVENUE, SUITE 100
 FT. PIERCE, FLORIDA 34946
 WWW.O&AFLA.COM

REGISTERED PROFESSIONAL ARCHITECTS
 STATE OF FLORIDA
 NO. 12458
 RAUL OCCAMPO, ARCHITECT
 NO. 12459
 JENNIFER HARRIS, ARCHITECT
 NO. 12460
 JENNIFER HARRIS, ARCHITECT
 NO. 12461
 JENNIFER HARRIS, ARCHITECT
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 NO. 12499
 JENNIFER HARRIS, ARCHITECT
 NO. 12500
 JENNIFER HARRIS, ARCHITECT

STATE OF FLORIDA
 RAUL OCCAMPO, ARCHITECT
 NO. 12458
 JENNIFER HARRIS, ARCHITECT
 NO. 12459



REVISIONS:	
Date	Description

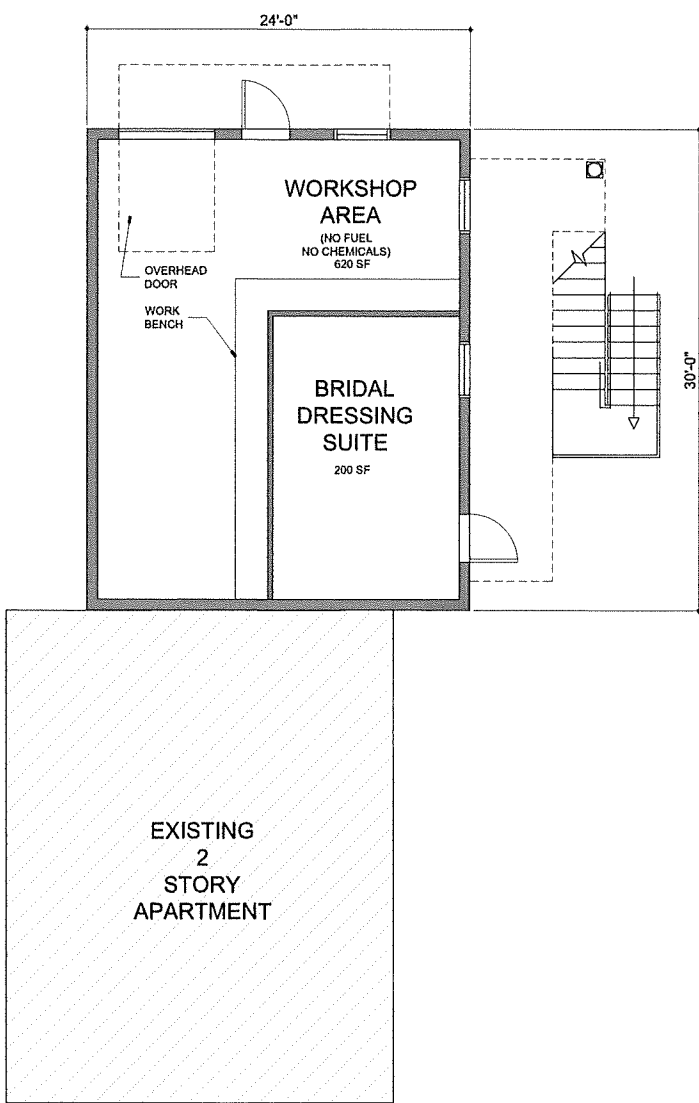
CONTRACT DOCUMENTS FOR:
FT. PIERCE EVENT CENTER
 ADDRESS:
 515 S 2ND AVENUE, FT. PIERCE, FL.

PAVILION FLOOR PLAN

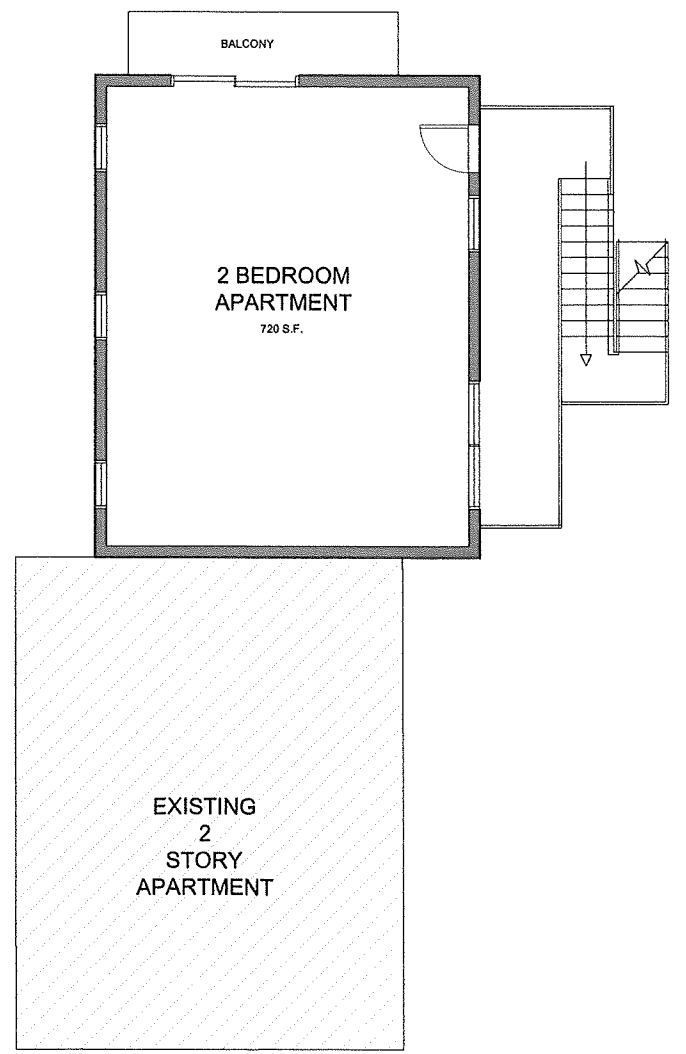
Drawn by	Checked by	Date	Scale
DESIGN			
CD			
BD			

JOB # 18-1122
C-18122

A-1



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0" PRELIMINARY



SECOND FLOOR PLAN
SCALE: 1/4"=1'-0" PRELIMINARY

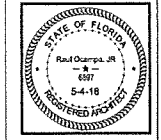


PAUL OCAMPO & ASSOCIATES, LLC
ARCHITECTURE | INTERIORS
PLANNING | DESIGN
515 S. 2ND AVENUE, FT. PIERCE, FL 34941
TEL: 888.233.7624
WWW.OCAMPOA.COM

REGISTERED ARCHITECT
FLORIDA
NO. 12488
REGISTERED ARCHITECT
FLORIDA
NO. 12488

REGISTERED ARCHITECT
FLORIDA
NO. 12488
REGISTERED ARCHITECT
FLORIDA
NO. 12488

NO.	DATE	DESCRIPTION
1	05/18/18	ISSUED FOR PERMITS
2	05/18/18	ISSUED FOR PERMITS
3	05/18/18	ISSUED FOR PERMITS
4	05/18/18	ISSUED FOR PERMITS
5	05/18/18	ISSUED FOR PERMITS
6	05/18/18	ISSUED FOR PERMITS
7	05/18/18	ISSUED FOR PERMITS
8	05/18/18	ISSUED FOR PERMITS
9	05/18/18	ISSUED FOR PERMITS
10	05/18/18	ISSUED FOR PERMITS



REVISIONS:

Date	Description

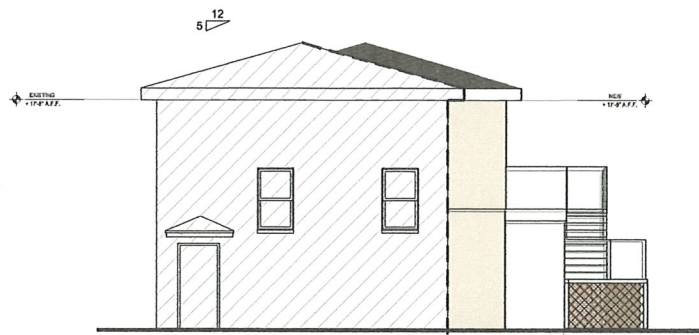
CONTRACT DOCUMENTS FOR:
FT. PIERCE EVENT CENTER
ADDRESS:
515 S. 2ND AVENUE, FT. PIERCE, FL

WORKSHOP FLOOR PLANS

Drawn by	TS	Scale	Checked by

C-18122

A-2



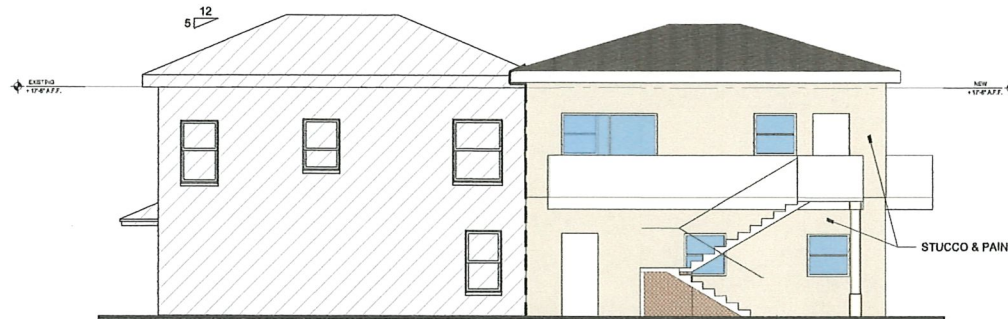
EXISTING ◀▶ NEW

NORTH ELEVATION

SCALE: 3/16"=1'-0"

PRELIMINARY

ROOF COLOR TO MATCH EXISTING
 WALL COLOR: ROYCROFT MIST GRAY (SHERWIN WILLIAMS)
 TRIM COLOR: CLASSICAL WHITE (SHERWIN WILLIAMS)



EXISTING ◀▶ NEW

WEST ELEVATION

SCALE: 3/16"=1'-0"

PRELIMINARY

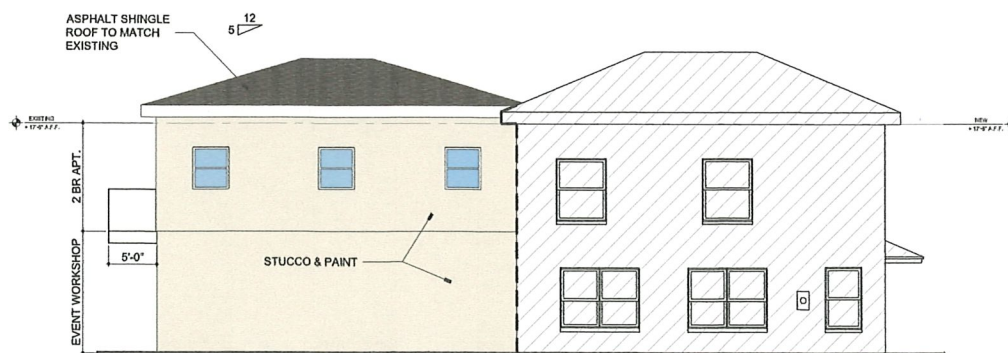


NEW ◀▶ EXISTING

SOUTH ELEVATION

SCALE: 3/16"=1'-0"

PRELIMINARY



NEW ◀▶ EXISTING

EAST ELEVATION

SCALE: 3/16"=1'-0"

PRELIMINARY



RAU OCAMPO & ASSOCIATES, LLC
 ARCHITECTURE | URBAN DESIGN
 PLANNING | INTERIORS
 3014 SOUTH WILCOX AVE., SUITE 100
 FT. PIERCE, FL 34947
 WWW.OCAMPO.COM

REGISTERED PROFESSIONAL ARCHITECTS
 IN THE FOLLOWING STATES:
 COLORADO, FLORIDA, GEORGIA,
 MISSISSIPPI, TEXAS

ARCHITECTURE
 URBAN DESIGN
 PLANNING INTERIORS
 ARCHITECTURE
 URBAN DESIGN
 PLANNING INTERIORS
 ARCHITECTURE

Professional Seal of the State of Florida, Registered Professional Architect, No. 6997, 5-4-18.



REVISIONS:

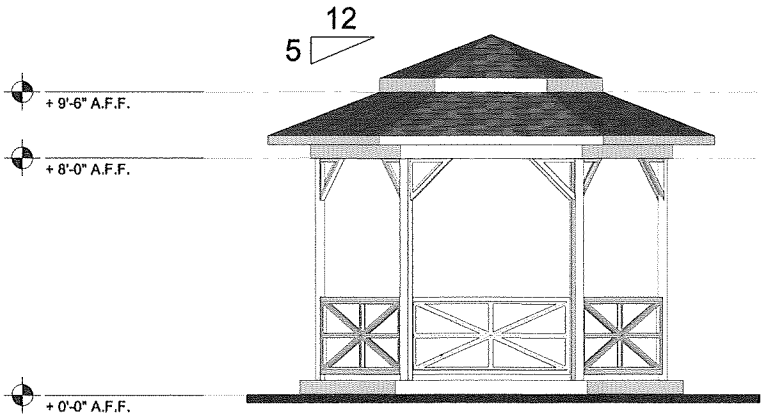
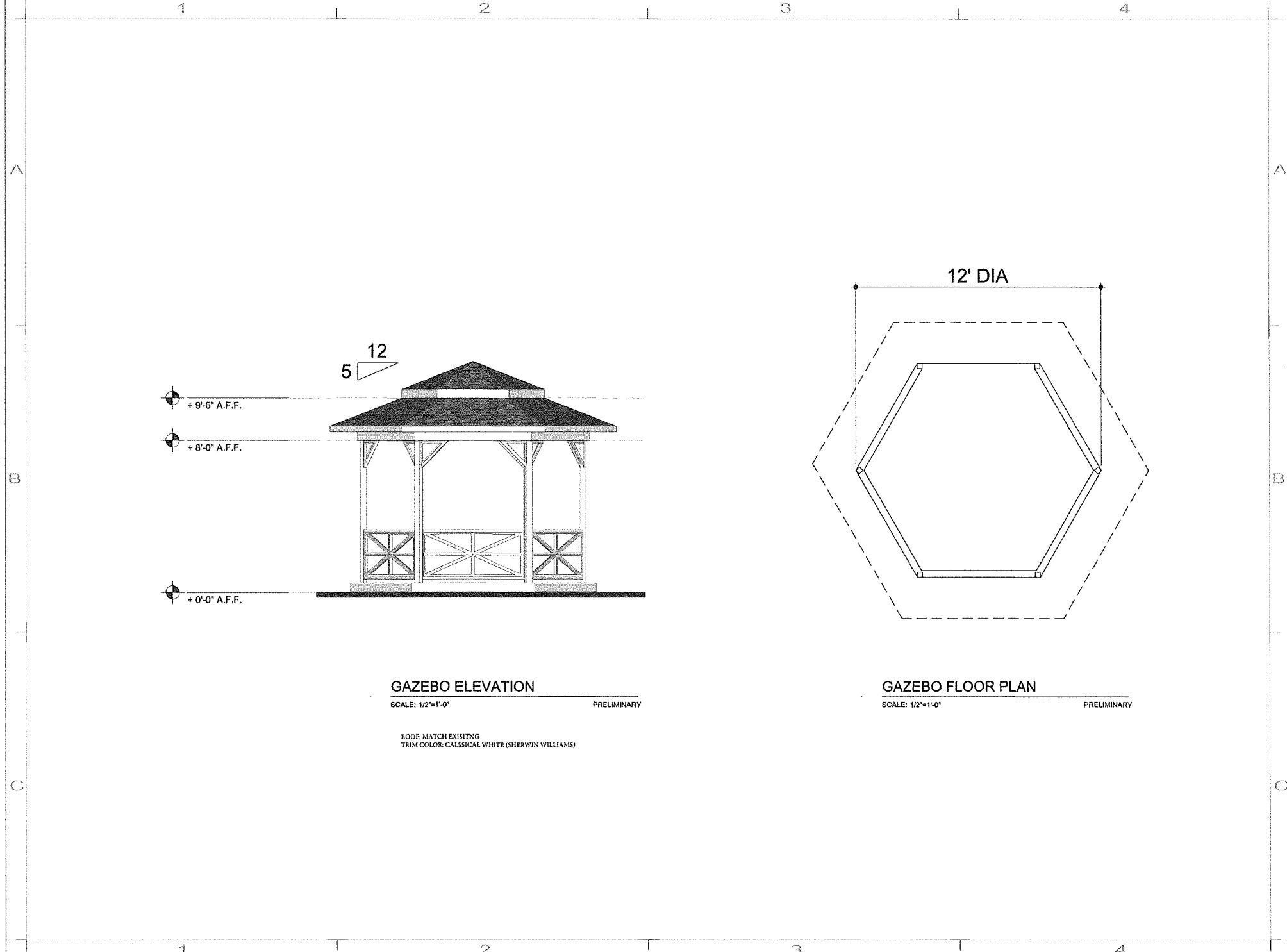
Date	Description

CONTRACT DOCUMENTS FOR:
FT. PIERCE EVENT CENTER
 ADDRESS:
 515 E. 2ND AVENUE, FT. PIERCE, FL.

WORKSHOP ELEVATIONS

Drawn by	XX	Date	Created by

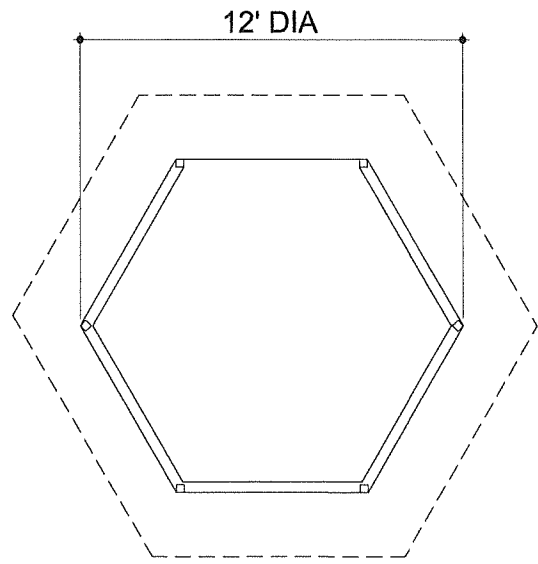
JOB # 18-1122
C-18122
 A-4



GAZEBO ELEVATION

SCALE: 1/2"=1'-0" PRELIMINARY

ROOF: MATCH EXISTING
TRIM COLOR: CALSSICAL WHITE (SHERWIN WILLIAMS)



GAZEBO FLOOR PLAN

SCALE: 1/2"=1'-0" PRELIMINARY

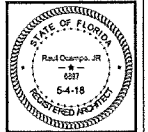


RAIS OCCAMPO & ASSOCIATES, LLC
ARCHITECTURE | LUMINA DESIGN
PLANNING | INTERIORS
364 SOUTH WOODBRIDGE
AVENUE, SUITE 200
FORT WORTH, TEXAS 76104
WWW.O&A.COM

REGISTERED ARCHITECTS IN THE FOLLOWING STATES:
COLORADO, FLORIDA, GEORGIA,
N. CAROLINA, TEXAS, MISSISSIPPI

RAIS OCCAMPO & ASSOCIATES, LLC
ARCHITECTURE | LUMINA DESIGN
PLANNING | INTERIORS
364 SOUTH WOODBRIDGE
AVENUE, SUITE 200
FORT WORTH, TEXAS 76104
WWW.O&A.COM

RAIS OCCAMPO & ASSOCIATES, LLC
ARCHITECTURE | LUMINA DESIGN
PLANNING | INTERIORS
364 SOUTH WOODBRIDGE
AVENUE, SUITE 200
FORT WORTH, TEXAS 76104
WWW.O&A.COM



REVISIONS:

Date	Description

CONTRACT DOCUMENTS FOR:
FT. PIERCE EVENT CENTER
ADDRESS:
515 S. 2ND AVENUE, FT. PIERCE, FL

GAZEBO FLOOR PLAN AND ELEVATION

Quantity	Unit	Date	Created By
1	EA	11-11-11	MEJON
1	EA	11-11-11	CD
1	EA	11-11-11	SD

Job # 11-11-11
C-18122

A-5

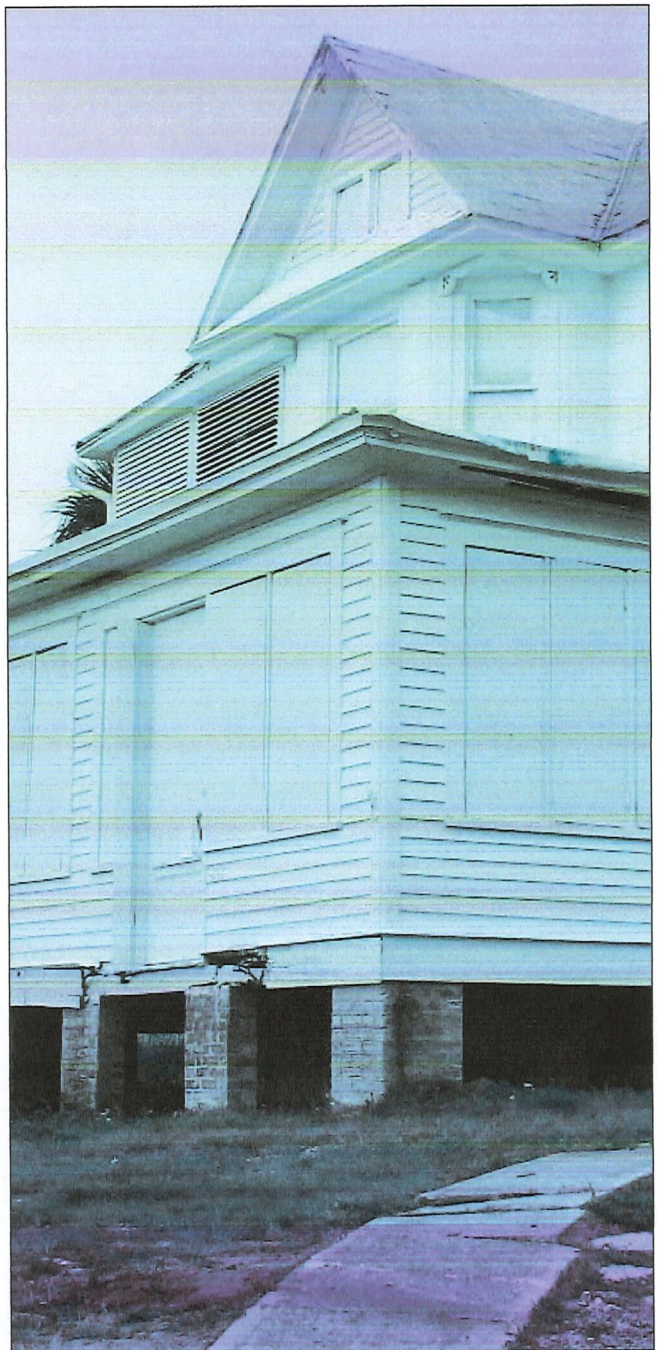
PRESERVING HISTORY AND RESPECTING PROPERTY RIGHTS

Charrette participants made it clear: They wish to safeguard both.

Edgartown and River's Edge are two of the City's historic districts.

These districts generated ample debate during the charrette. After long discussions regarding character and value, the cost of bringing back structures to habitable condition, maintenance, ownership, and discrepancies between what is built and what current zoning dictates, there was clear consensus: the community wishes to preserve these districts and their structures, and preserve landowners' property rights.

The team of professionals conducted a thorough analysis of both districts and all existing structures, and compared them to existing zoning regulations. Despite some discrepancies regarding the amount some believe current zoning allows, there are inconsistencies between current zoning and the actual built environment (the historic structures). In general, current zoning allows for more development than these structures represent. But this same zoning presents many more restrictions (e.g. setbacks, parking) than were present at the time these structures were built.





This chapter will not analyze why such discrepancies exist. Rather, it will propose a series of strategies to preserve the districts, their character and scale, while addressing existing development rights. It will also suggest strategies to accomplish the community's vision without incurring into Bert Harris Act takings issues.

Opposite Page: Left: The Citizens' Master Plan and a strategy to preserve existing historic structures, fulfill property rights and enhance the public realm in both historic districts.

Right: A series of images depicting single and multi family residential buildings typical of both historic districts.

This Page: Images of buildings and their use, scale, and character built under current zoning regulations for the historic district. While the districts have historic designation, current regulations are not consistent with existing structures, and have yielded buildings of a very different scale, massing, and character. The resulting pattern of development is more consistent with suburban areas than with the City's traditional downtown.



THE ZONING “GAP”

A series of diagrams representative of what current zoning yields will help to explain the “gap” between the historic built environment, and what zoning currently allows.

These diagrams will also make evident how other variables – e.g. parking and setback requirements – affect overall development, reducing perceived development rights and negatively impacting the character of the districts.

It is important to note that the following analysis is preliminary in nature. If the City decides to pursue the report’s recommendations, an in-depth zoning analysis must be conducted prior to any modifications to existing regulations.

AN ANALYSIS OF THE CITY’S ZONING CODE:

The following diagrams depict an imaginary parcel along Indian River Drive, in one of the historic districts. The parcel, straddling both sides of Indian River Drive (much like many parcels currently do in the River’s Edge district), is shown as a vacant parcel to illustrate different development scenarios under the current zoning.

Current regulations in this particular case require side setbacks of 15’ on each side, 25’ front setback, 15’ rear setback. A simple formula allows 60% of the total par-

cel (without encroaching on setbacks) to be developed to a height of up to 65’.

This relatively simple language has led many to believe that the entire area can be built up to six stories of commercial or residential uses.

But all uses, and especially commercial uses, need parking, which is also required by code.

The diagrams that follow “test” how parking affects the ability to develop all parcels within these districts.

The first series, (Image I), shows a one story building occupying 60% of the land, leaving all required setbacks.

It quickly becomes evident that the entire lot on the waterfront side needs to be paved and dedicated to fulfilling parking requirements for this single story commercial building. With no additional space to accommodate parking, it is not possible to build additional height, despite the code’s allowance. *Note: The location of parking here is arbitrary, it could be placed on the western parcel.*

Density is an element that also restricts building size. In Edgartown, a maximum of 15 units to the acre (du/ac) - a relatively low density for multi-family developments - restricts the ability to go up in height. This density is too low to develop a six story building, unless the units being built are excessively large, risking market absorption.

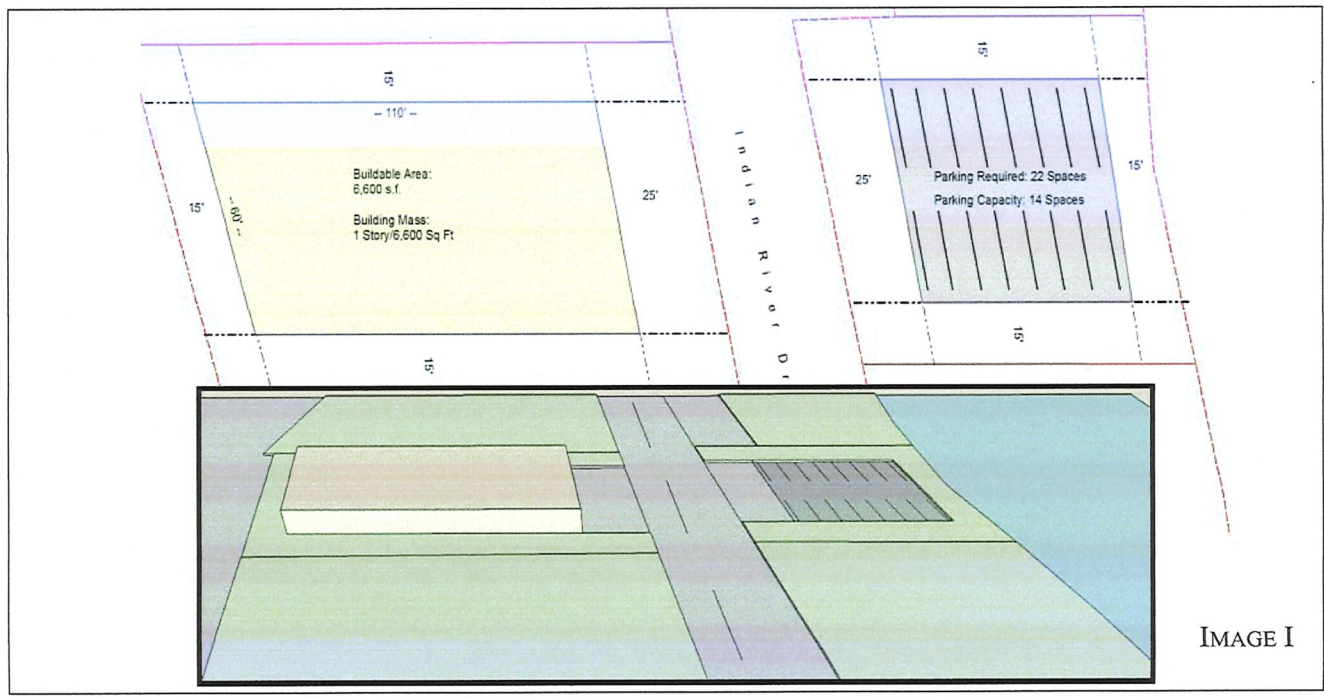


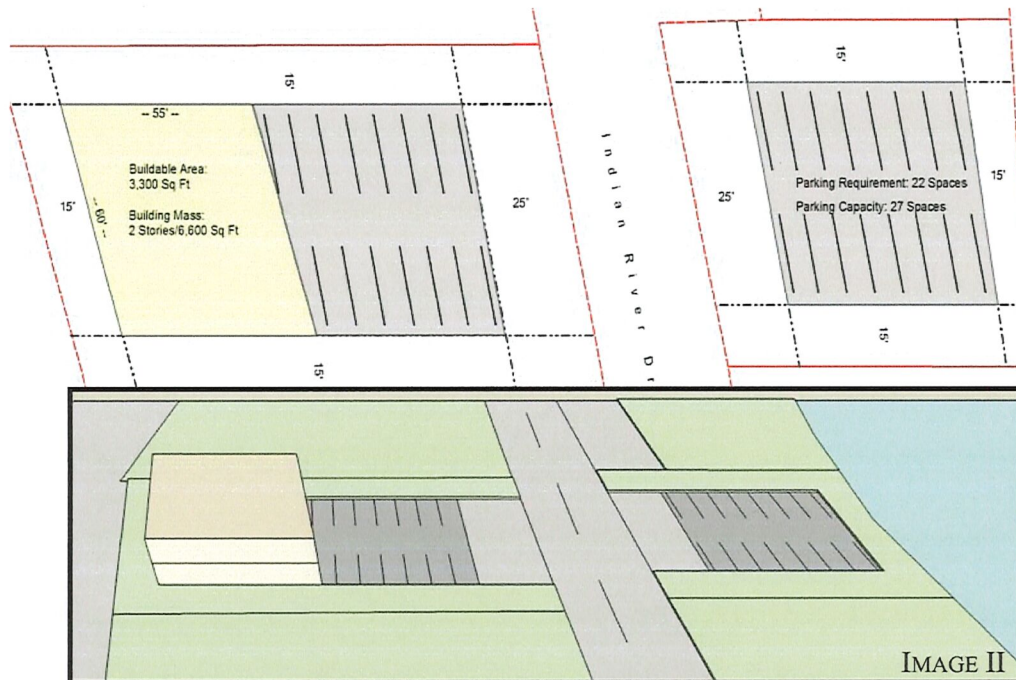
IMAGE I

The second series (Image II) shows a two story footprint. Only a 3,300sf floor plate results buildable when parking for 6,600sf of commercial space is accommodated.

As the habitable area increases, parking requirements increase, and the buildable footprint decreases. It is evident in this diagram that the waterfront parcel and half of the western parcel are necessary to accommodate parking.

This pattern of development, commonly referred to as a "sea of asphalt" scenario, is typical of sprawling, suburban developments, and totally inconsistent with the traditional and historic pattern within these districts.

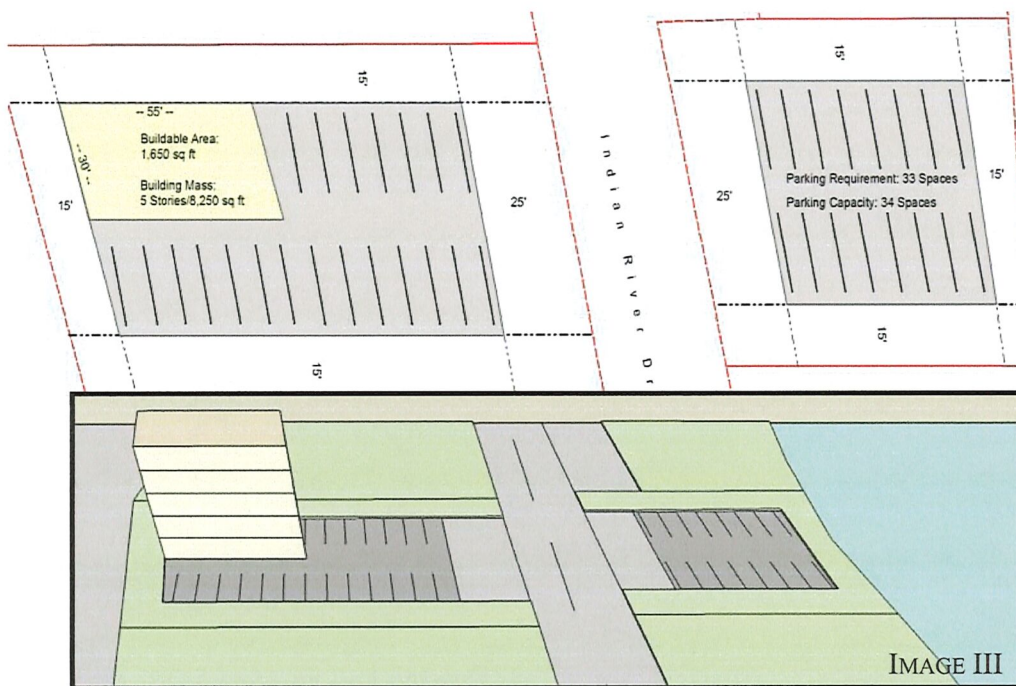
A perfect example of the impact of current zoning is visible in the commercial buildings currently existing south of Citrus Ave.



The third and last series (Image III) shows a 65' tall building, the maximum allowed under the current code. This scenario, just like the others, still needs to be parked. Once parking is factored in, the buildable floor plate is of only 1,650 sf.

These diagrams show that it is possible to achieve the height permitted under the current code, but the pattern of development is totally inconsistent with the character the community wishes to preserve.

They also show that more height does not necessarily equate to more square footage.



The consequence of implementing this type of zoning is an environment that is not walkable environment, where parking erodes the existing fabric that community and local leaders worked so hard to achieve.

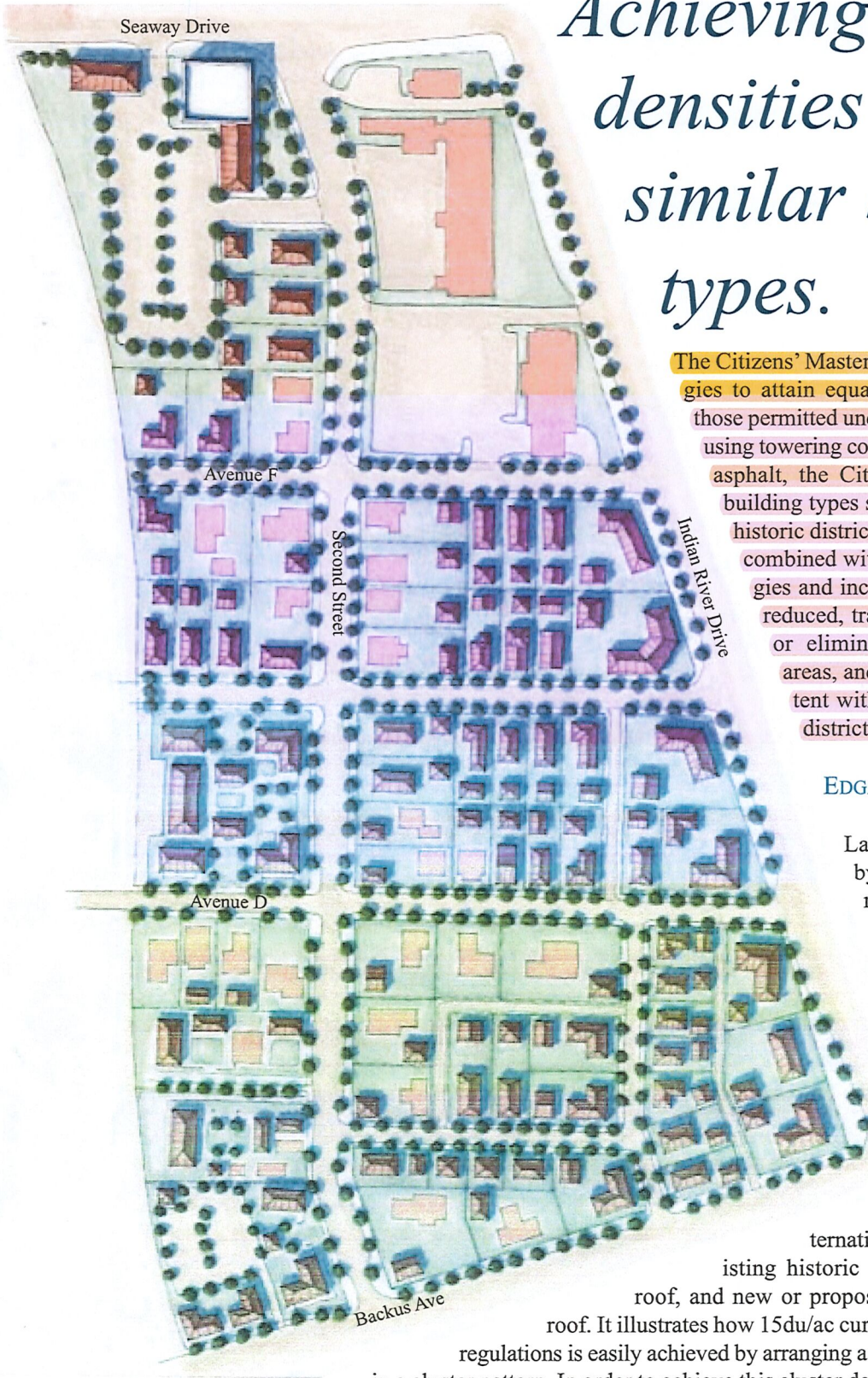
Achieving higher densities using similar building types.

The Citizens' Master Plan suggests different strategies to attain equal densities and intensities to those permitted under current zoning. Rather than using towering commercial boxes surrounded by asphalt, the Citizens' Master Plan proposes building types similar to those existing in the historic districts today. These building types, combined with district-wide parking strategies and incentives (parking requirements reduced, transferred to off-site locations, or eliminated), yield equal buildable areas, and a scale and character consistent with the historic character of the districts.

EDGARTOWN:

Large parcels can be developed by platting smaller lots, building more than one structure per parcel consistent in scale and character with others in the district, and eliminating on-site parking requirements (only as an incentive to those fulfilling the spirit and intent of the Citizens' Master Plan). New, incentive-based zoning regulations need to be drafted to allow for this alternative.

The master plan shows existing historic structures without a hatched roof, and new or proposed structures with a hatched roof. It illustrates how 15du/ac currently indicated under existing regulations is easily achieved by arranging a series of multifamily buildings in a cluster pattern. In order to achieve this cluster development, on-site parking requirements are removed, and parking is dealt with in a district-wide basis. Additionally, setback requirements are sig-



nificantly reduced. These incentive-based strategies to densify and intensify historic parcels are simple, based on design, and can yield much higher returns on investment given the uniqueness and character of the resulting environment. The City of Delray Beach is a great example of a local government that has adopted this approach towards preservation.

Intensifying, by adding structures within existing, developed parcels.

The Citizens' Master Plan additionally proposes infill strategies to make "better neighbors" out of the existing multi-story commercial buildings embedded within the low-scale historic districts (shown in page II-5).

RIVER'S EDGE

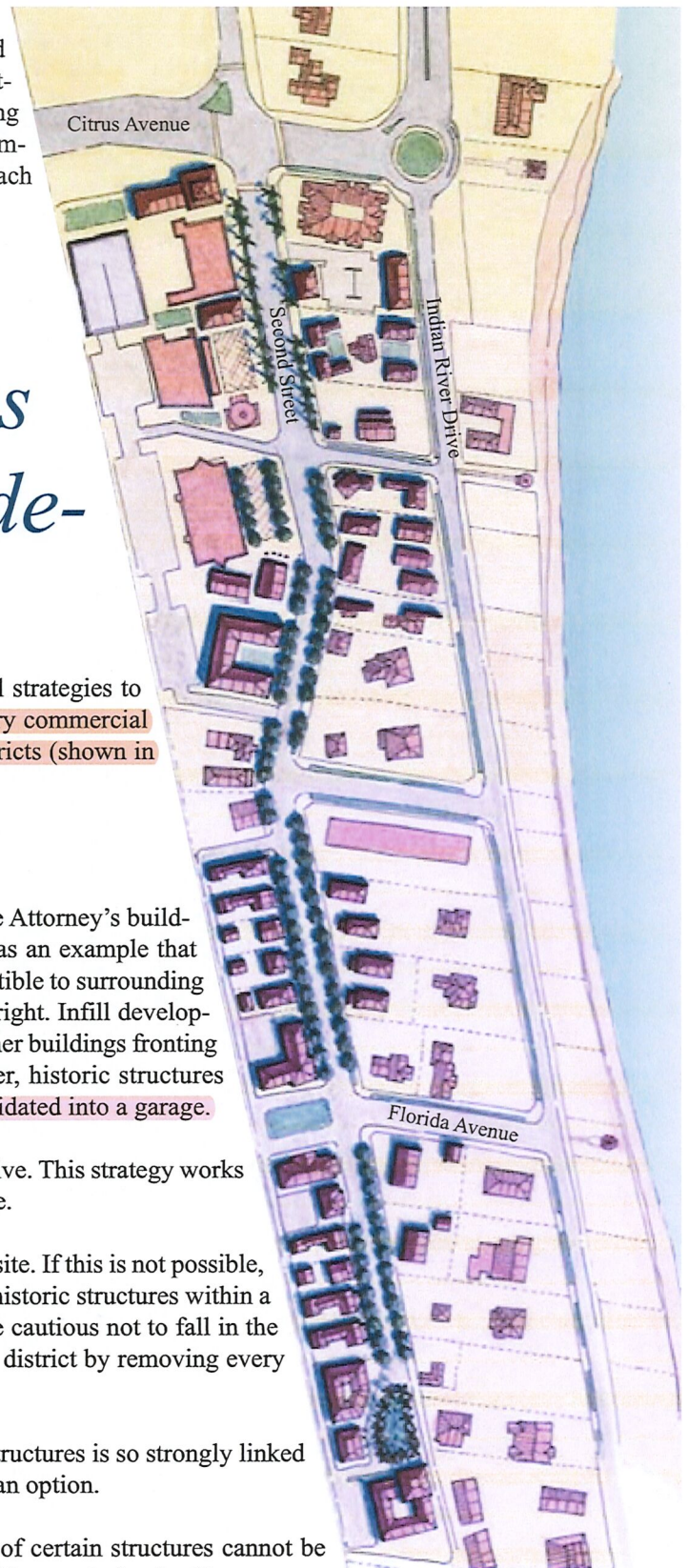
A strategy to make the scale and character of the State Attorney's building on 2nd Street and Citrus Avenue (used here just as an example that can be applied to other similar structures) more compatible to surrounding historic structures is shown in the Master Plan to the right. Infill development, in the form of hardscaped plazas, greens, and liner buildings fronting 2nd Street are used to better respond to other smaller, historic structures across the street. In this case, parking becomes consolidated into a garage.

Relocating historic structures is also a feasible alternative. This strategy works for a few buildings, when no other alternative is viable.

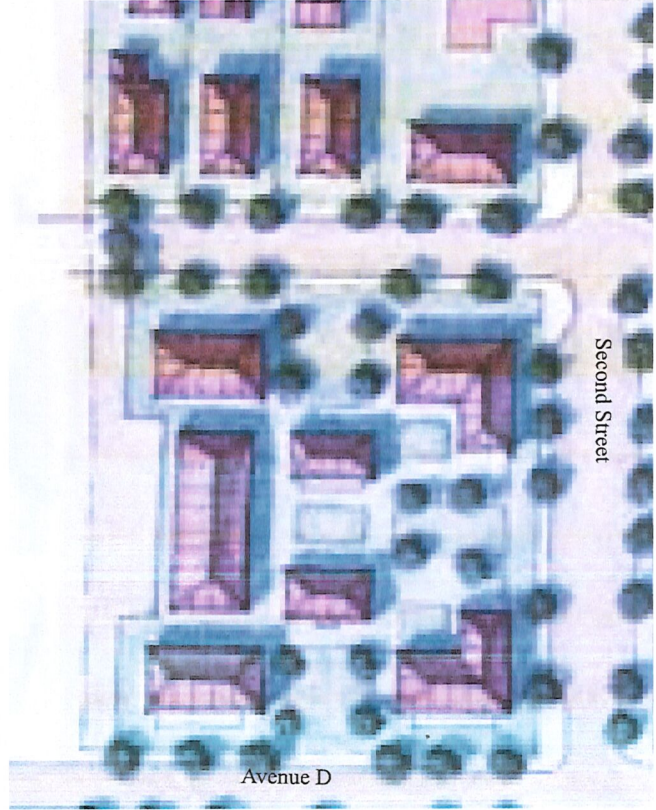
Ideally structures should be relocated within the same site. If this is not possible, they should remain within the same district. Keeping historic structures within a certain district is very important. The City needs to be cautious not to fall in the "trap" of implementing a strategy to "save" a historic district by removing every historic structure in it.

It is also important to note that the history of certain structures is so strongly linked to the sites in which they sit, that moving them is not an option.

If a determination/agreement of historic significance of certain structures cannot be reached locally, advice from expert consultants should be sought by the City.



Densifying by Clustering Similar Building Types.



Top Left: Aerial photograph of existing condition. This image shows a large parcel in the Edgartown historic district. If developed following current regulations, a single building surrounded by parking would probably result.

Top Right: The Citizens' Master Plan proposal showing seven buildings that are between two and three stories in height (shown with hatched roofs). It represents just one of many ways in which density can be achieved with buildings that are consistent with the character and nature of the historic district.

The combined buildings achieve the maximum density of 15 du/ac allowed for the area, while maintaining a scale and character compatible with that of surrounding buildings.

Opposite Page Top: Aerial view of a small "village" clustering concept to achieve densities and intensities allowed under current zoning.

Opposite Page Bottom: Perspective view of village clustering concept from central green.

This analysis shows that by dealing with parking on a district-wide basis and modifying certain setback requirements, it is possible to create a low-scale development with ample green and open space that achieves existing entitlements. It is important to note that parking and setback variances should only be provided to those projects seeking to conform to the strategies proposed in the Citizens' Master Plan.



*Treasure Coast Regional Planning Council
Indian River - St Lucie - Martin - Palm Beach*

A Transfer of Development Rights Program

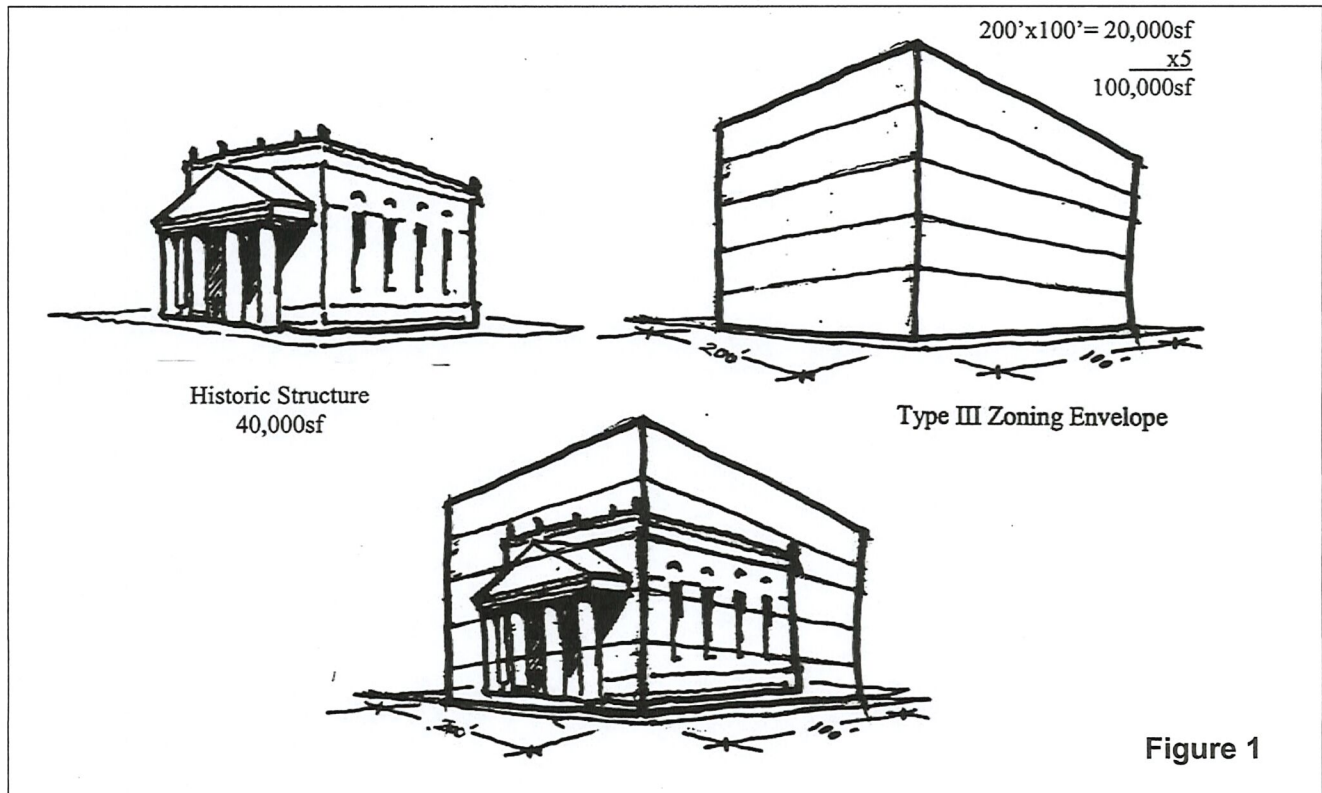


Figure 1

For those parcels where densification, intensification, or relocation is not an option, the Citizens' Master Plan proposes the implementation of a Transfer of Development Rights (TDR) Program.

TDR programs have been created to achieve two main goals:

- 1) To preserve open space, agriculture, historic buildings or housing; and,
- 2) To make such preservation efforts fair and acceptable by compensating landowners who lose or see restricted the right to develop their property.

TDR programs are relatively easy to implement, but need to be closely monitored and administered.

Local governments implement TDR programs to bring into play the "market" to realize and pay for density, intensity, and general development location decisions.

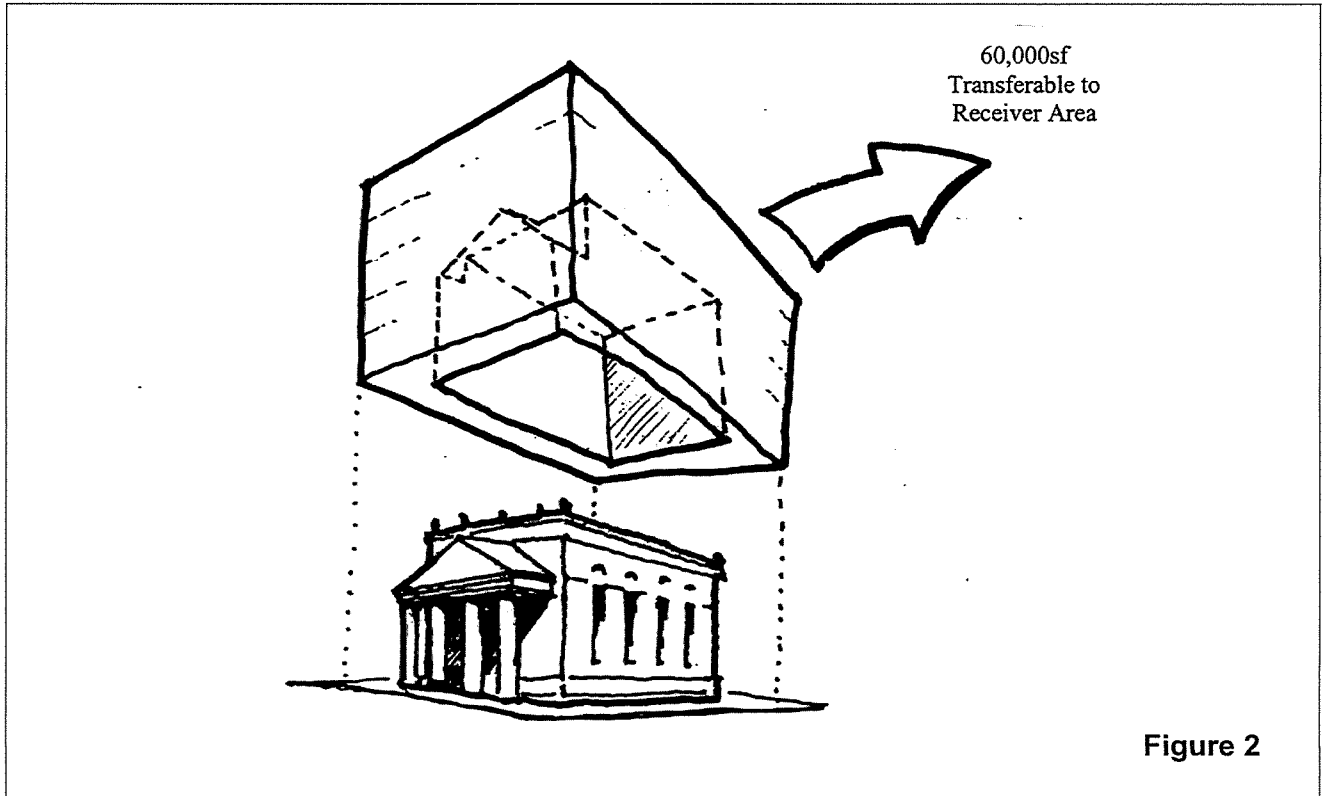
TDR programs essentially allow landowners to "sep-

arate" development rights from certain properties (sending areas) and sell them to purchasers who want to increase the density or intensity in areas that local governments have selected as receiving areas. Local governments may also buy development rights in order to restrict growth.

The images on these two pages (top) graphically depict a TDR program designed to preserve a historic structure and transfer development intensity. In the example above (*Figure 1*) a 40,000sf structure is located in a zoning district that allows that same parcel to develop a building of up to 100,00sf.

To preserve the historic structure, a TDR program allows the ability to transfer the difference (60,000sf) to a designated receiving site.

TDR programs occasionally offer incentives to increase the amount transferred (apply a multiplier or percentage increase to the purchaser), as an incentive

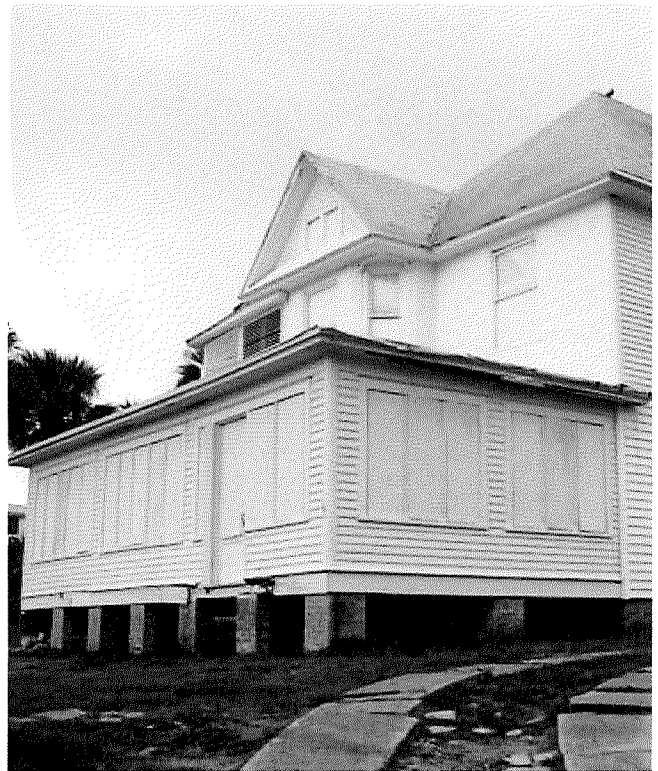


to “kick-start” the program.

This is a delicate program, but it could successfully address many of the historic preservation issues in the City.

A careful analysis of sending and receiving sites, as well as total amounts available to transfer needs to be done before implementing a program of this nature.

The image to the left shows the governor’s house. A potential TDR sending site within the City of Fort pierce.



Michelle Franklin, CFA -- Saint Lucie County Property Appraiser -- All rights reserved.

Property Identification

Site Address: 515 S INDIAN RIVER DR
 Sec/Town/Range: 10/35S/40E
 Map ID: 24/10H
 Zoning: C1

Parcel ID: 2410-810-0001-000-9
 Account #: 23903
 Use Type: 1700
 Jurisdiction: Fort Pierce

Ownership

CROWNMAN FL LLC
 10380 SW Village Center DR # 310
 Port St Lucie, FL 34987-1931

Legal Description

ANDREWS AND RICHARDS S/D THAT PART OF LOT 1 LYG E OF S 2 ST AND BEG ON E LI OF S 2 ST 8 FT S OF N LI OF LOT 2, RUN NELY 95.70 FT TO N LI, TH W ALG N LI TO E LI OF S 2 ST, TH S TO POB AND LOTS 1, 2, 3 AND 4 BLK E OF LOWRY'S S/D (1.60 AC - 68,588 SF) (MAP 24/10H) (1) (OR 3943-2583; 4050-1341; 4066-2908)

Current Values

Just/Market Value: \$287,600
 Assessed Value: \$287,600
 Exemptions: \$0
 Taxable Value: \$287,600
 Taxes for this parcel: SLC Tax Collector's Office
 Download TRIM for this parcel: Download PDF



Total Areas

Finished/Under Air (SF): 4,304
 Gross Area (SF): 4,383
 Land Size (acres): 1.6
 Land Size (SF): 69,588

Sale History

Date	Book/Page	Sale Code	Deed	Grantor	Price
Nov 19, 2017	4066 / 2908	0111	UNTY	CROWNMAN FL LLC	\$0
Oct 10, 2017	4050 / 1341	0111	UNTY	CROWNMAN FL LLC	\$0
Dec 14, 2016	3943 / 2583	0205	WD	Kraaz and Kraaz Finance LLC	\$800,000
Sep 4, 2014	3669 / 0906	0205	WD	Weaver, Steven M	\$320,000
Jul 19, 2013	3546 / 2272	0205	WD	MMG Holdings LLC,	\$200,000
Nov 17, 2003	1848 / 0865	XX00	WD	Brennan (TR), John T	\$370,000
Dec 31, 2001	1474 / 0684	XX03	WD	Brennan, John T	\$370,000
Jan 1, 1900					\$0

Building Information (1 of 2)

Finished Area: 2,816 SF

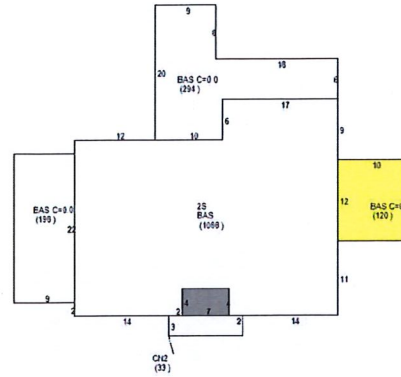
Gross Total Area: 2,877 SF

Exterior Data

View:	Roof Cover: Fibrglss Shg	Roof Structure: Hip
Building Type: LROF	Year Built: 1900	Frame:
Grade: Y_C-	Effective Year: 1960	Primary Wall: CB Stucco
Story Height: 2 Story	No. Units: 2	Secondary Wall:

Interior Data

Bedrooms: 0	Electric: MAXIMUM	Primary Int Wall:
Full Baths: 0	Heat Type: FredHotAir	Avg Hgt/Floor: 0
Half Baths: 0	Heat Fuel: ELEC	Primary Floors: Tile-Ceramic
A/C %: 100%	Heated %: 100%	Sprinkled %: 0%



Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
2S	ONE FULL STORY OVER BASE (TOTAL 2 FLOORS)	1088	1088	150
BAS	BASE AREA	1700	1700	350
CN2	CANOPY	33	0	28
OPAA	Open Porch Attached Average	28	0	22
UBS	UPPER BASE AREA/+1	28	28	22

Building Information (2 of 2)

Finished Area: 1,488 SF

Gross Total Area: 1,506 SF

Exterior Data

View:
 Building Type: LROF
 Grade: Y_D
 Story Height: 2 Story

Roof Cover: Fibrglss Shg
 Year Built: 1920
 Effective Year: 1960
 No. Units: 0

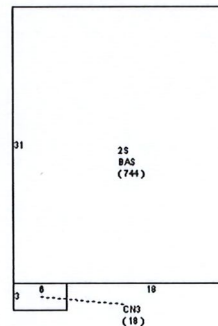
Roof Structure: Hip
 Frame:
 Primary Wall: CB Stucco
 Secondary Wall:

Interior Data

Bedrooms: 0
 Full Baths: 0
 Half Baths: 0
 A/C %: 100%

Electric: MAXIMUM
 Heat Type: FrcdHotAir
 Heat Fuel: ELEC
 Heated %: 100%

Primary Int Wall:
 Avg Hgt/Floor: 0
 Primary Floors: Tile-Ceramic
 Sprinkled %: 0%



Sketch Area Legend

Sub Area	Description	Area	Fin. Area	Perimeter
----------	-------------	------	-----------	-----------

FLOORS)				
BAS	BASE AREA	744	744	110
CN3	CANOPY	18	0	18

Special Features and Yard Items

Type	Qty	Units	Year Blt
------	-----	-------	----------

Current Year Values

Current Values Breakdown		Current Year Exemption Value Breakdown				
		Tax Year	Grant Year	Code	Description	Amount
Building:	\$73,000					
Land:	\$214,600					
Just/Market:	\$287,600					
Ag Credit:	\$0					
Save Our Homes or 10% Cap:	\$0					
Assessed:	\$287,600					
Exemption(s):	\$0					
Taxable:	\$287,600					

Current Year Special Assessment Breakdown

Start Year	AssessCode	Units	Description	Amount
2006	0041	4.6	Fort Pierce Stormwater Charge	\$248.40

This does not necessarily represent the total Special Assessments that could be charged against this property. The total amount charged for special assessments is reflected on the most current tax statement and information is available with the SLC Tax Collector's Office.

Historical Values

Year	Just/Market	Assessed	Exemptions	Taxable
2017	\$287,600	\$287,600	\$0	\$287,600
2016	\$291,300	\$15,400	\$0	\$15,400
2015	\$254,600	\$254,600	\$0	\$254,600

Permits

Number	Issue Date	Description	Amount	Fee
F00-000394	Mar 27, 2000	Roof	\$8,700	\$0
F94-000209	Mar 1, 1994	Alterations/Remodeling	\$60,000	\$60,000
F94-00209A	Mar 22, 1994	Heat and Air Conditioning	\$4,800	\$4,800
MC2004198	Jul 12, 2004	Air Conditioning Only	\$1,461	\$75
DK20057	Jan 14, 2005	Dock	\$20,000	\$325
BP13-1899	May 16, 2013	Alterations/Remodeling	\$1,500	\$329
BP13-2100	Jun 18, 2013	Roof	\$1,400	\$79
BP13-3052	Oct 14, 2013	Patio	\$200	\$79
BP13-1899	Jan 23, 2014	Alterations/Remodeling	\$1,800	\$129
BP13-2100	Jan 27, 2014	Re Roof Permit	\$1,400	\$129
BP14-0608	Mar 10, 2014	Alterations/Remodeling	\$1,900	\$80
BP14-2597	Oct 14, 2014	Electric	\$500	\$155
BP15-0257	Feb 12, 2015	Plumbing	\$1,800	\$162
BP14-2597	Dec 14, 2016	Electric	\$500	\$0
BP17-0340	Feb 2, 2017	Electric	\$1,200	\$0

Notice: This does not necessarily represent all the permits for this property. Click the following link to check for additional permit data in Fort Pierce

This information is believed to be correct at this time but it is subject to change and is not warranted. © Copyright 2018 Saint Lucie County Property Appraiser. All rights reserved.

Historic Preservation Board

7.a.

Meeting Date: 05/29/2018

Information

REQUESTED ACTION

Administratively Approved Certificates of Appropriateness - April 2018

LOCATION

Various

RESPONSIBLE STAFF

Maria Lewicka, AICP
Historic Preservation Planner

RECOMMENDATION

Approval

Attachments

Administrative COA, April 2018

Form Review

Form Started By: Maria Lewicka
Final Approval Date: 05/22/2018

Started On: 05/22/2018 09:28 AM

Administrative Certificates of Appropriateness

Attached are Certificates of Appropriateness issued administratively in April 2018.

- COA #18-28, 920 Georgia Avenue – Install hurricane shutters.
- COA #18-29, 716 S 10th Street – Install new hurricane rolling shutters.



CERTIFICATE OF APPROPRIATENESS
TO ALTER A DESIGNATED HISTORIC SITE

COA#18-28 HISTORIC PRESERVATION BOARD APPROVAL ADMINISTRATIVE APPROVAL

Site address: 920 Georgia Avenue

Contributing Non-Contributing Individually Designated

SITE ALTERATIONS:

Request	Conditions	Applicable Standards
Install one (1) Accordion Hurricane Shutter (rear of the building) and eight (8) Aluminum Hurricane Shutters. Please see attached.		Secretary of the Interior's Standards for Rehabilitation of Historic Properties, Standard 9.

APPROVED:

Board Approval

Administrative Approval

Paul Samson, Chair Date
Historic Preservation Board



Maria Lewicka, AICP 4/06/18
Historic Preservation Planner Date

This alteration meets the Secretary of the Interior's Standards for the Treatment of Historic Properties and the City of Fort Pierce Code of Ordinances.

Should you have any further questions or concerns, contact Maria Lewicka, Historic Preservation Planner, at (772) 467-3738 or via e-mail at mlewicka@city-ftpierce.com.

Thank you for your efforts to preserve and redevelop historic Fort Pierce through your participation in the Certificate of Appropriateness Application process. Staff looks forward to working with you in the future to preserve and rehabilitate our historic neighborhoods and structures.

Provided to:	Name/Address	Via
Owner	Kara Wood 920 Georgia Avenue Fort Pierce, FL 34950	E-Mail
Applicant/Representative	Miriam Van Tassel DVT Hurricane Shutters, Inc. 3100 N Kings Highway Port St Lucie, FL 34951	E-Mail dvthurricaneshuttersinc@hotmail.com
Other	Paul Thomas, CFP Building Administrator Kim West, CFP Building Department Susan Keller, CFP Building Department	E-Mail E-Mail E-Mail



Bldg. Permit # _____

COA# 18-28

Certificate of Appropriateness Application

Building & Site Information

Address of the Site: 920 Georgia Avenue, Fort Pierce, FL

Parcel ID #: 2410-710-0019-000-1

Type of Designation: Contributing Non-contributing Site within the _____ Historic District

Individually Designated Site, City Commission Resolution No. _____

Property Owner/ Applicant Information

Property Owner(s) Name(s): Kara Wood

Mailing Address: 920 Georgia Avenue, Fort Pierce, FL 34950

Phone Number(s): 305-778-6117 Email: _____

Applicant

Name(s): _____

Mailing Address: _____

Phone Number(s): _____ Email: _____

Representative

Name(s): Miriam Van Tassel - DVT Hurricane Shutters, Inc.

Mailing Address: 3100 N Kings Highway, Fort Pierce, FL 34951

Phone Number(s): 466-4575 Email: dvthurricanes shuttersinc@hotmail.com

Property Owner(s) Acknowledgements:- This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this Application and/or presentation to the Historic Preservation Board.

I / We, Kara Wood as Owner(s) of the subject property do hereby authorize the filing of this application on my/our behalf.

K Wood
Signature of Owner

04/02/18
Date

Description of Requested Work

Please indicate the type of work requested:

- | | | | |
|---|---|--|-------------------------------------|
| <input type="checkbox"/> Fence | <input type="checkbox"/> Shed | <input type="checkbox"/> Door(s) | <input type="checkbox"/> Roof |
| <input type="checkbox"/> Window(s) | <input type="checkbox"/> Signage | <input checked="" type="checkbox"/> Shutter(s) | <input type="checkbox"/> Porch |
| <input type="checkbox"/> Rehabilitation | <input type="checkbox"/> New Construction | <input type="checkbox"/> Demolition | <input type="checkbox"/> Relocation |

Site Improvements (describe) Installation of Hurricane Shutters

Other (describe) _____

Please provide a detailed description of the proposed work to be performed: _____

We will install one (1) Accordion Hurricane Shutter and
eight (8) Aluminum Hurricane Shutters

Have other alterations been made to the site within the last 12 months? No Yes, _____

Will the proposed work require a Zoning Variance? No Yes, Code Section(s): _____

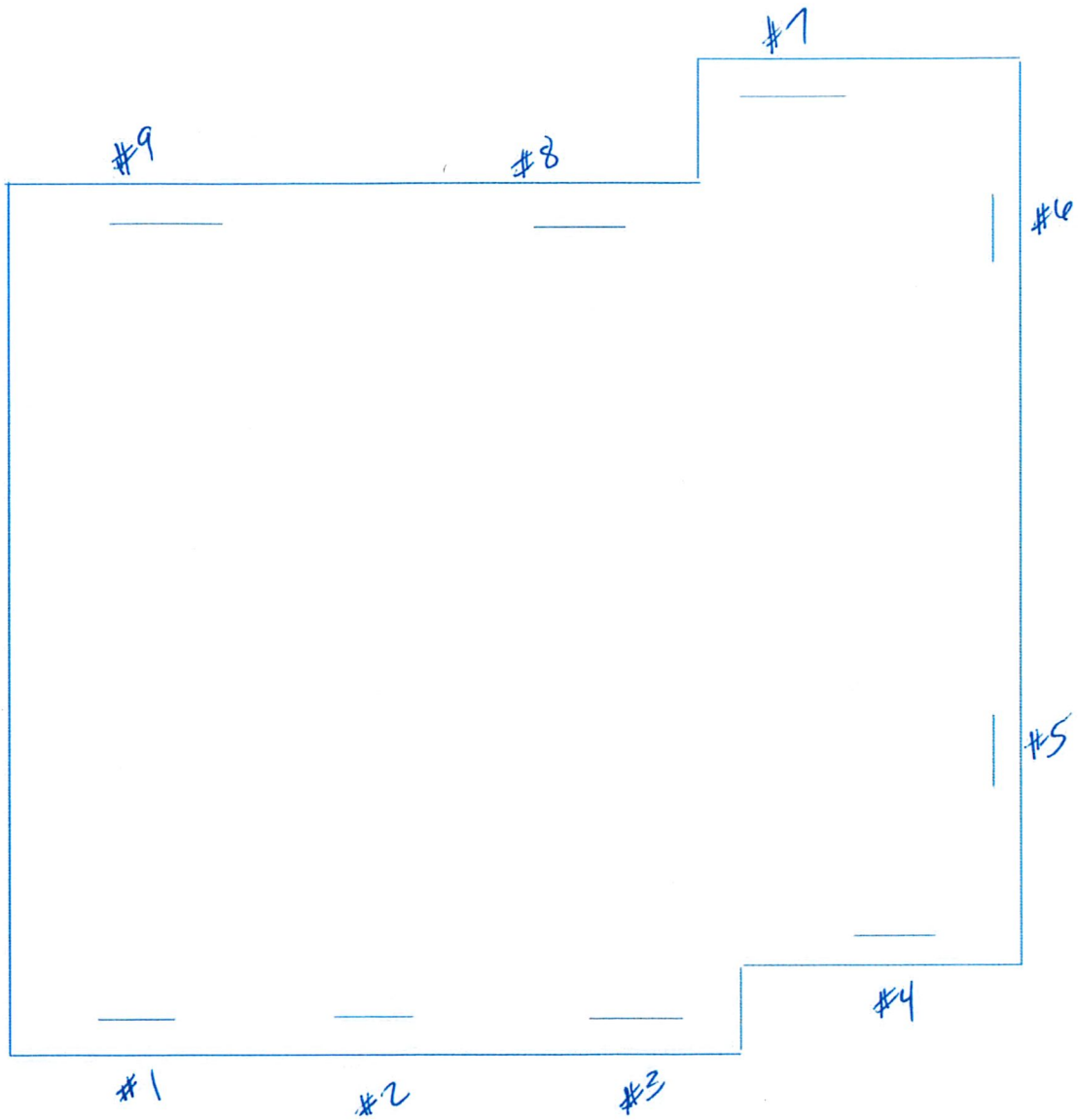
Application Requirements

- \$10.00 Application fee
- Site Plan with dimensions.
- Architectural Drawings:
 - Drawings should show all current and proposed floor plans and elevations, fences, walls, and any other landscape features.
 - Drawings should indicate materials to be used.
- Photos - One (1) color photograph of the main façade of the site and photographs of any areas affected by the proposed project.
- Material(s) specifications and/or sample(s)
- Color samples.
- Demolition – Plans for what will be taking the demolished structure’s place should be submitted.

WOOD RESIDENCE
920 Georgia Avenue
Fort Pierce, FL 34950

Openings #1 to 6 and 8 & 9 are
ALUMINUM STORM PANELS.
Opening #7 is an ACCORDION SHUTTER.

Rear



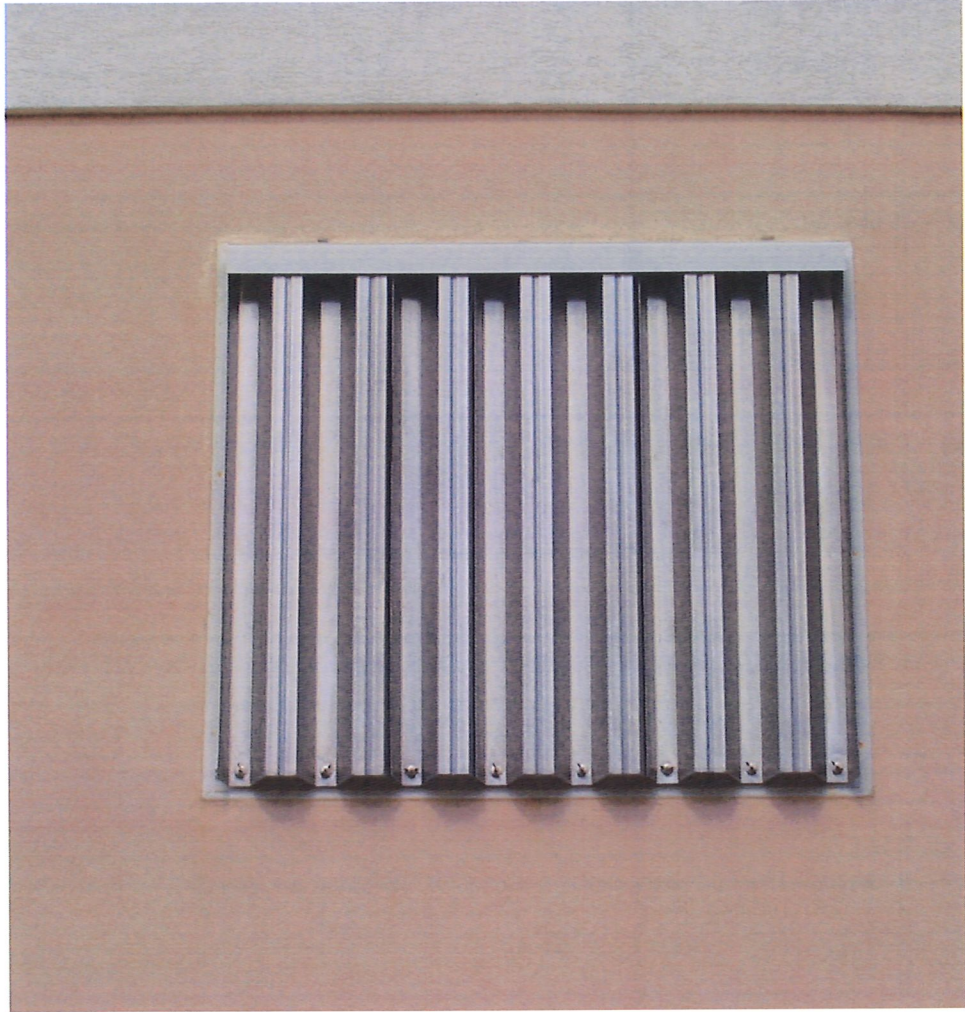
Front



11/16/2017









Bldg. Permit # _____

COA# 18-29

Certificate of Appropriateness Application

Building & Site Information

Address of the Site: 716 S 10th St, Fort Pierce, FL

Parcel ID #: 2410-710-0022-000-5

Type of Designation: Contributing Non-contributing Site within the _____ Historic District

Individually Designated Site, City Commission Resolution No. _____

Property Owner/ Applicant Information

Property Owner(s) Name(s): Kara Wood

Mailing Address: 716 S 10th St, Fort Pierce, FL 34950

Phone Number(s): 305-778-6117 Email: _____

Applicant

Name(s): _____

Mailing Address: _____

Phone Number(s): _____ Email: _____

Representative

Name(s): Miriam Van Tassel - DVT Hurricane Shutters, Inc.

Mailing Address: 3100 N Kings Highway, Fort Pierce, FL 34951

Phone Number(s): 466-4575 Email: dvthurricaneshuttersinc@hotmail.com

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[Signature]
Signature of Owner

04/02/18
Date

Description of Requested Work

Please indicate the type of work requested:

- Fence
- Shed
- Door(s)
- Roof
- Window(s)
- Signage
- Shutter(s)
- Porch

- Rehabilitation
- New Construction
- Demolition
- Relocation

Site Improvements (describe) Installation of Hurricane Shutters

Other (describe) _____

Please provide a detailed description of the proposed work to be performed: _____

We will install twelve (12) Nautilus Rolling Shutters - white- hand operated

Have other alterations been made to the site within the last 12 months? No Yes, _____

Will the proposed work require a Zoning Variance? No Yes, Code Section(s): _____

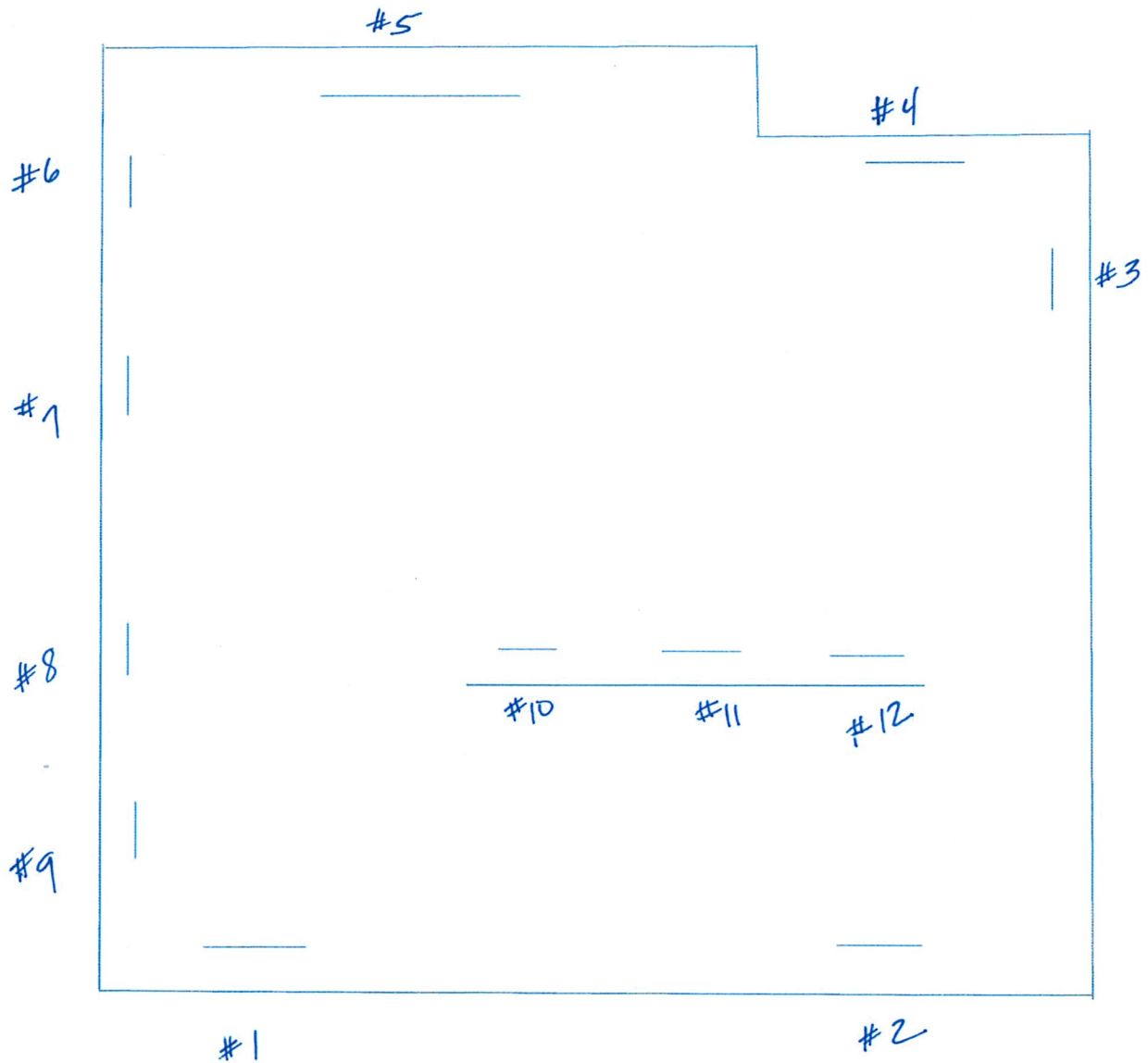
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WOOD RESIDENCE
7165 S 10TH Street
Fort Pierce, FL 34950

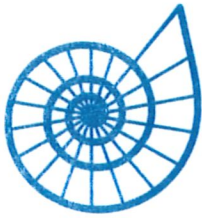
Openings #1 to 12 are Nautilus Roll Down
Shutters. These are the same shutters
that were installed on other openings in
the home in 2017.

Rear



Front





NautilusTM Rolling Shutter System

"The World's Most Compact Rolling Shutter!"



Appearance

The Nautilus Rolling Shutter System is a state of the art end-retention shutter featuring the most compact housing sizes in the world. Snap covers are utilized to conceal all fastening hardware. Home and business owners alike can now utilize the Nautilus Shutter, where previously, the space available would not accommodate a roll shutter. The size of the housing will no longer detract from the appearance of the building.

Applications

The Nautilus Rolling Shutter System has a variety of uses including: hurricane protection, storefront, security and counter top applications. Nautilus Shutters are permanently attached, easy to operate and deploy quickly. No put up, take down or storage required. The Nautilus is ideal for use in protecting large patios and balconies. They are built to protect your most valuable asset and its contents.

Versatility

The Nautilus can be electrically operated with the use of a wall switch or a hand held remote control capable of operating twenty shutters from a single remote. Shutters can also be manually operated with the use of a removable crank or hand operated where they can be pulled up and down. Nautilus is extremely versatile and can be utilized where other systems fall short. Available in four colors; White, Ivory, Bronze and Beige.

Strength

Nautilus Shutters undergo extensive and rigorous testing, including large missile impact tests, and are Florida Building Code approved for Non-High Velocity and High Velocity Hurricane Zones (Dade and Broward Counties). A series of forced entry tests are also performed for security protection. Nautilus has the ability to span over twenty feet in width without any intermediate support or storm bars.

Dependability

Every component of the Nautilus Shutter has been designed for increased durability and longevity, even in the harshest of environments. Rigorous fatigue tests are performed for up to 20,000 cycles. These tests are used to evaluate the integrity and dependability of each and every component. We make certain these components and the entire system will perform consistently year after year.

Quality

All aluminum components including slats, side rails, axles, housings and end caps are fabricated from 6063 T-5 extruded aluminum alloy. All fasteners and assembly hardware are made from 316 or 410 series marine grade stainless steel. The end-retention bushings are made of high performance acetal polymer. Nautilus Shutters are designed and manufactured to the absolute highest standards in the industry.

Security & Storm Protection - High-Rise Residential - Commercial - High-Rise

