

Administrative Certificates of Appropriateness

Attached are Certificates of Appropriateness issued administratively in June 2018.

- COA #18-49, 701 N Indian River Drive 204 – Replace windows & doors.
- COA #18-50, 605 S 7th Street – Install new roof
- COA #18-52, 330 North US Highway 1 – Replace eight (8) windows



CERTIFICATE OF APPROPRIATENESS
 TO ALTER A DESIGNATED HISTORIC SITE

COA#18-49 HISTORIC PRESERVATION BOARD APPROVAL ADMINISTRATIVE APPROVAL

Site address: 701 N Indian River Drive, #204

Contributing Non-Contributing Individually Designated

SITE ALTERATIONS:

Request	Conditions	Applicable Standards
Replace front and sliding patio doors and exterior windows with new impact doors and windows. Exterior color same as existing color. Please see attached.		Secretary of the Interior's Standards for Rehabilitation of Historic Properties, Standard 9.

APPROVED:

Board Approval

Administrative Approval

 Paul Samson, Chair Date
 Historic Preservation Board


 _____ 6/05/18
 Maria Lewicka, AICP Date
 Historic Preservation Planner

This alteration meets the Secretary of the Interior's Standards for the Treatment of Historic Properties and the City of Fort Pierce Code of Ordinances.

Should you have any further questions or concerns, contact Maria Lewicka, Historic Preservation Planner, at (772) 467-3738 or via e-mail at mlewicka@city-ftpierce.com.

Thank you for your efforts to preserve and redevelop historic Fort Pierce through your participation in the Certificate of Appropriateness Application process. Staff looks forward to working with you in the future to preserve and rehabilitate our historic neighborhoods and structures.

Provided to:	Name/Address	Via
Owner	Belgau Holdings LLC 701 N Indian River Drive #204 Fort Pierce, FL 34950	E-Mail Robert.belgau@derservices.com
Applicant	Firestone Construction Inc. 2183 S Brocksmith Road Fort Pierce, FL 34945	E-Mail firestoneconst@gmail.com
Other	Paul Thomas, CFP Building Administrator Kim West, CFP Building Department Susan Keller, CFP Building Department	E-Mail E-Mail E-Mail



Bldg. Permit # _____

COA# 18-49

Certificate of Appropriateness Application

Building & Site Information

Address of the Site: 701 N INDIAN RIVER DR #204

Parcel ID #: _____

Type of Designation: Contributing Non-contributing Site within the _____ Historic District

Individually Designated Site, City Commission Resolution No. _____

Property Owner/ Applicant Information

Property Owner(s)
Name(s): BELGAU Holdings LLC

Mailing Address: 801 S Ocean Blvd #1105

Phone Number(s): 772-342-6215 Email: Robert.belgau@derservices.com

Applicant
Name(s): Firestone Construction Inc

Mailing Address: 2187 S. Brocksmith Rd Fort Pierce FL 34945

Phone Number(s): 772-246-9379 Email: firestoneconst@gmail.com

Representative
Name(s): Jeanne Belgau

Mailing Address: 801 S Ocean Dr #1105 Fort Pierce 34949

Phone Number(s): 772-342-6215 Email: _____

Property Owner(s) Acknowledgements:- This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this Application and/or presentation to the Historic Preservation Board.

I / We, Jeanne Belgau as Owner(s) of the subject property do hereby authorize the filing of this application on my/our behalf.

Jeanne Belgau
Signature of Owner

6/11/18
Date

Description of Requested Work

Please indicate the type of work requested:

- | | | | |
|---|---|---|-------------------------------------|
| <input type="checkbox"/> Fence | <input type="checkbox"/> Shed | <input checked="" type="checkbox"/> Door(s) | <input type="checkbox"/> Roof |
| <input checked="" type="checkbox"/> Window(s) | <input type="checkbox"/> Signage | <input type="checkbox"/> Shutter(s) | <input type="checkbox"/> Porch |
| <input type="checkbox"/> Rehabilitation | <input type="checkbox"/> New Construction | <input type="checkbox"/> Demolition | <input type="checkbox"/> Relocation |

Site Improvements (describe) _____

Other (describe) _____

Please provide a detailed description of the proposed work to be performed: Replace

Existing Front door, exterior windows and Sliding Patio Door with new Front door, Impact windows and Impact rear sliding door. Exterior Color to match existing color

Have other alterations been made to the site within the last 12 months? No Yes, _____

Will the proposed work require a Zoning Variance? No Yes, Code Section(s): _____

Application Requirements

- \$10.00 Application fee
- Site Plan with dimensions.
- Architectural Drawings:
 - Drawings should show all current and proposed floor plans and elevations, fences, walls, and any other landscape features.
 - Drawings should indicate materials to be used.
- Photos - One (1) color photograph of the main façade of the site and photographs of any areas affected by the proposed project.
- Material(s) specifications and/or sample(s)
- Color samples.
- Demolition – Plans for what will be taking the demolished structure’s place should be submitted.

plastpro

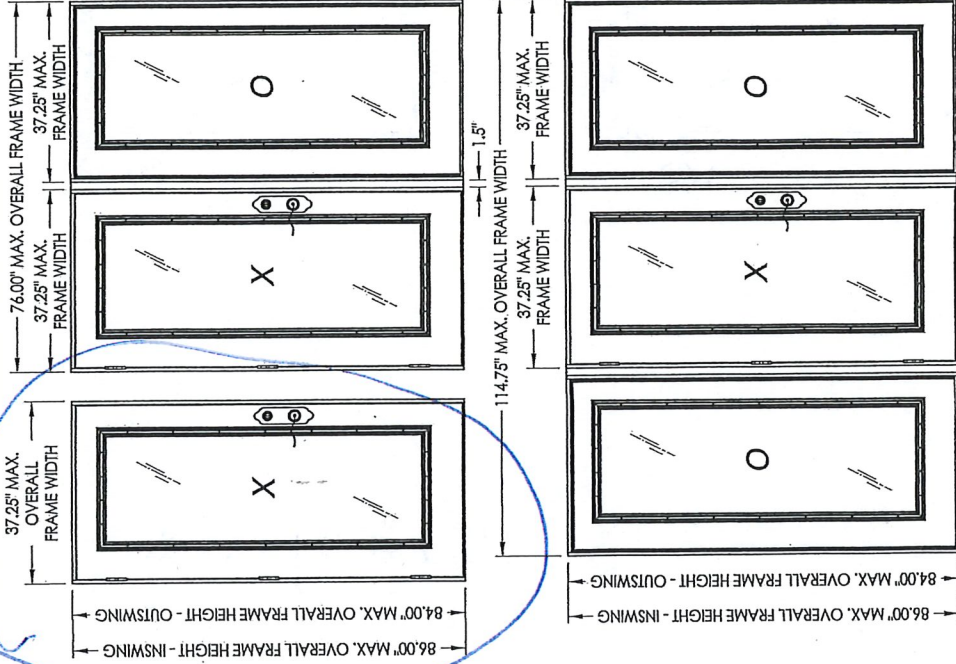
5200 W. CENTURY BLVD.
LOS ANGELES, CA 90045

GLAZED FIBERGLASS SINGLE DOOR W/ OR W/OUT SIDELITES INSWING / OUTSWING "NON-IMPACT"

GENERAL NOTES

- This product has been evaluated and is in compliance with the 6th Edition (2017) Florida Building Code (FBC) structural requirements excluding the "High Velocity Hurricane Zone" (HVHZ).
- Product anchors shall be as listed and spaced as shown on details. Anchor embedment to base material shall be beyond wall dressing or stucco.
- When used in areas requiring wind borne debris protection, this product is required to be protected with an impact resistant covering that complies with FBC Sections 1609.1.2 & R301.2.1.2.
- For 2x stud framing construction, anchoring of these units shall be the same as that shown for 2x buck masonry construction.
- Site conditions that deviate from the details of this drawing require further engineering analysis by a licensed engineer or registered architect.

TABLE OF CONTENTS	
SHEET #	DESCRIPTION
1	Typical elevations, design pressures & general notes
2	Door panel details
3	Sidelite panel details
4	Horizontal cross sections
5	Horizontal cross sections
6	Vertical cross sections
7	Vertical cross sections
8	Buck & frame anchoring (X)
9	Buck & frame anchoring (OX / XO)
10	Buck & frame anchoring (OXO)
11	Components
12	Bill of materials & glazing detail



CONFIGURATION	MAX. FRAME DIMENSION	MAX. D.L.O. DIMENSION	GLASS TYPE	DESIGN PRESSURE (PSF)		DESIGN PRESSURE (PSF)	
				INSWING	OUTSWING	POSITIVE	NEGATIVE
X	37.25" x 86.00"	21.00" x 62.50"	G1	+45.0	-45.0	+45.0	-45.0
OX / XO	76.00" x 86.00"	21.00" x 62.50"	G1	+45.0	-45.0	+45.0	-45.0
OXO	114.75" x 86.00"	21.00" x 62.50"		+45.0	-45.0	+45.0	-45.0

STATE OF FLORIDA
PROFESSIONAL ENGINEER
No. 43409
L. SCHMIDT
LICENSE

10-10-17

Document Prepared By: Lyndon F. Schmidt
P.E. No. 43409

BUILDING CONSULTANTS, INC.
P.O. Box 230, Vero Beach, FL 33595
Phone No.: 813.659.9197
FBPE C.A. No. 9813

PRODUCT: PLASTPRO FIBERGLASS DOOR

PART OR ASSEMBLY: TYPICAL ELEVATIONS, DESIGN PRESSURES & GENERAL NOTES

NO.	DATE	REVISIONS
1	04/22/15	UPDATE TO 5TH ED. (2014) FBC
2	08/02/17	UPDATE TO 6TH ED. (2017) FBC
3	3/10/18	ADDED ADA O.S. BUMPER THRESHOLD
4	04/22/15	UPDATE TO 5TH ED. (2014) FBC

DATE: 8/25/14
SCALE: N.T.S.
DWG. BR: AL
CHK. BR: LFS
DRAWING NO.: FL-17184.11
SHEET 1 of 12

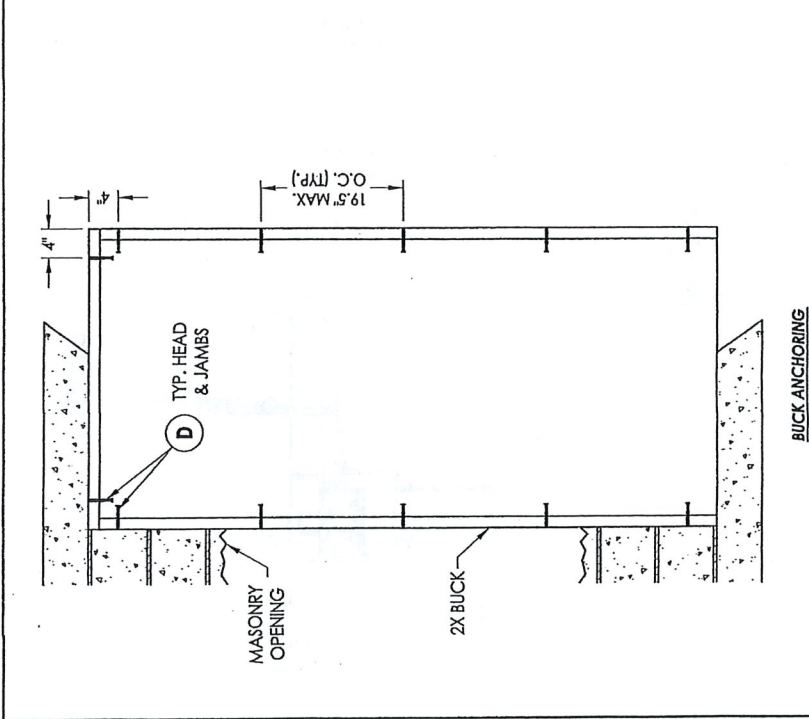
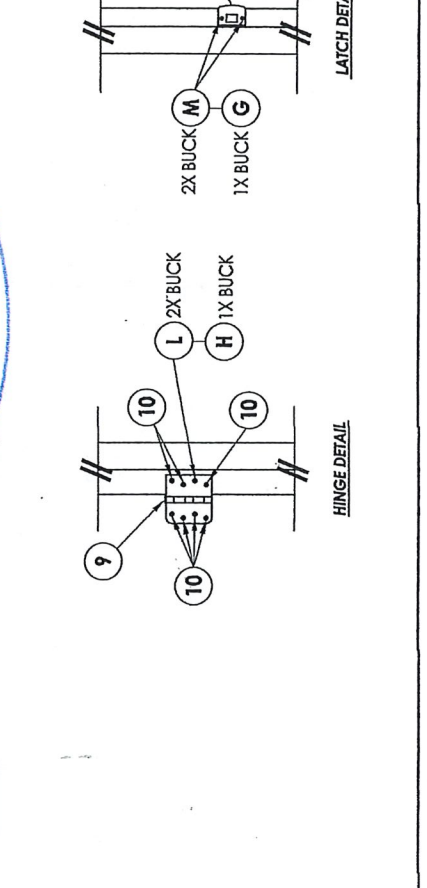
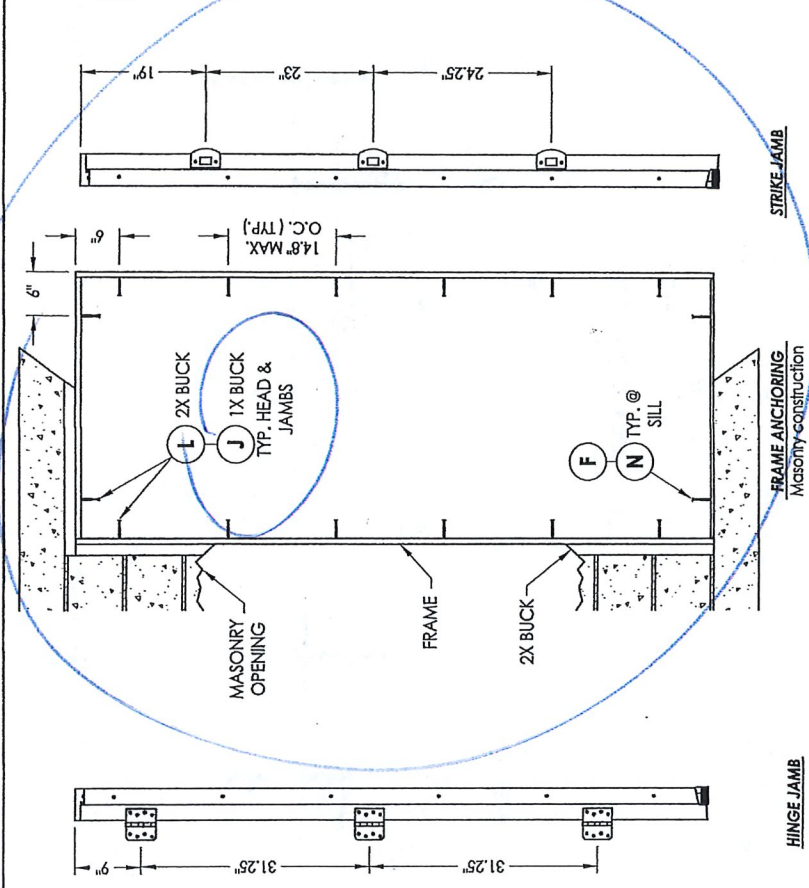
L.F. SCHMIDT
 PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 License No. 43409
 Documents Prepared By: Lyndon F. Schmidt
 P.E. No. 43409

BUILDING CONSULTANTS, INC.
 P.O. Box 230, Vero Beach, FL 33595
 Phone No.: 813.659.9197
 FBPE C.A. No. 9813

PRODUCT: PLASTPRO FIBERGLASS DOOR
 PART OR ASSEMBLY: BUCK AND FRAME ANCHORING (X)
 BY: JK

NO.	DATE	REVISIONS
1	04/22/16	UPDATE TO 5TH ED. (2014) FBC
2	08/02/17	UPDATE TO 6TH ED. (2017) FBC
3	10/16/16	ADDED ADA O.S. BUMP THRESHOLD

DATE: 8/25/14
 SCALE: N.T.S.
 CHK. BY: LFS
 DWG. BY: AL
 DRAWING NO.: FL-17184.11
 SHEET 8 OF 12



BUCK ANCHORING

ANCHOR TYPE	ANCHOR SIZE	MIN. EMBEDMENT	MIN. CLEARANCE TO MASONRY EDGE	MIN. CLEARANCE TO ADJACENT ANCHOR
ITW TAPCON®	1/4"	1-1/4"	2"	4"
ELCO ULTRACON®	1/4"	1-1/4"	1"	4"
ITW TAPCON®	3/16"	1-1/4"	3"	1-1/2"

CONCRETE ANCHOR NOTES:

- Concrete anchor locations at the corners may be adjusted to maintain the min. edge distance to mortar joints.
- Concrete anchor locations noted as "MAX. ON CENTER" must be adjusted to maintain the min. edge distance to mortar joints, additional concrete anchors may be required to ensure the "MAX. ON CENTER" dimension are not exceeded.
- Concrete anchor table:

WOOD SCREW INSTALLATION NOTES:

- Maintain a minimum 5/8" edge distance, 1" end distance, & 1" o.c. spacing of wood screws to prevent the splitting of wood.

Architectonic Inc

May 10, 2018

City of Fort Pierce Building Department
100 N. US Highway 1
Fort Pierce, FL 34954

Re: Product specification prepared for the City of Fort Pierce Building Dept. for the structure located at 701 N. Indian River Drive, Fort Pierce, FL

Manufacturer: Plastpro
Profiles: Opaque/Fiberglass Door, FL# 17184.11
Code: FBC 2017; Section R 905.10
Wind Speed: 165MPH; Ultimate Design Wind Speeds
Exposure: C
Required Design Pressure: Zone4: -36.1 Zone5: -43.8
Maximum Uplift Pressure: -50 psf

Manufacturer: Viwinco Inc.
Profiles: Oceanview Impact S.H. Window 36" x 72", FL# 15590.2
Code: FBC 2017; Section R 905.10
Wind Speed: 165 MPH; Ultimate Design Wind Speeds
Exposure: C
Required Design Pressure: Zone4: -36.1 Zone5: -43.8
Maximum Uplift Pressure: -50 psf

Manufacturer: Viwinco Inc.
Profiles: Oceanview Impact S.H. Window 52" x 80", FL# 15576.4
Code: FBC 2017; Section R 905.10
Wind Speed: 165 MPH; Ultimate Design Wind Speeds
Exposure: C
Required Design Pressure: Zone4: -36.1 Zone5: -43.8
Maximum Uplift Pressure: -50 psf

Manufacturer: Viwinco Inc.
Profiles: Oceanview Impact S.H. Window 52" x 80", FL# 15576.4
Code: FBC 2017; Section R 905.10
Wind Speed: 165 MPH; Ultimate Design Wind Speeds
Exposure: C
Required Design Pressure: Zone4: -36.1 Zone5: -43.8
Maximum Uplift Pressure: -50 psf

Architectonic Inc

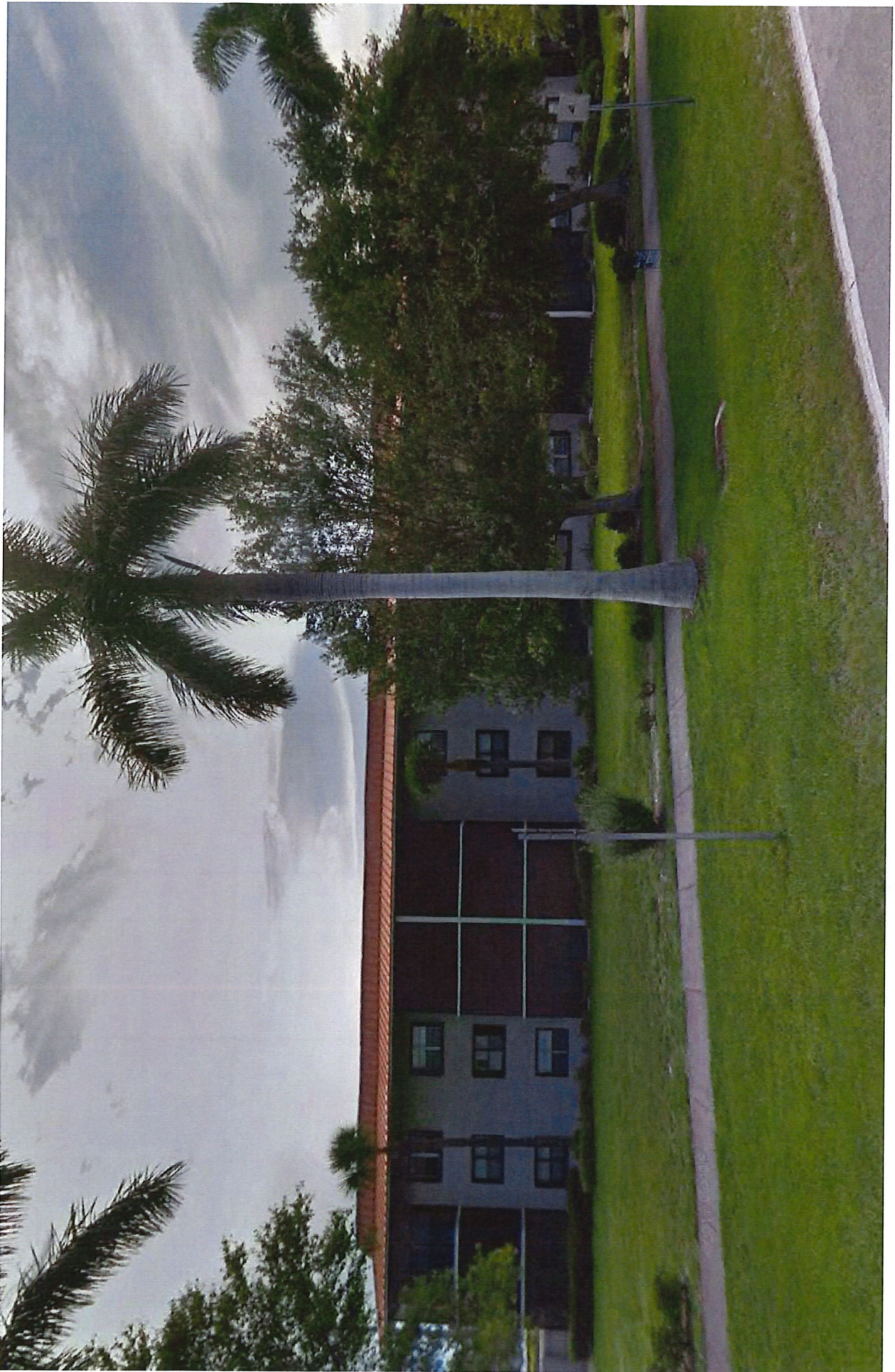
Manufacturer: Viwinco Inc.
Profiles: Oceanview Alum. Vertical Mullion, FL# 19281.1
Code: FBC 2017; Section R 905.10
Wind Speed: 165 MPH; Ultimate Design Wind Speeds
Exposure: C
Required Design Pressure: Zone4: -36.1 Zone5: -43.8
Maximum Uplift Pressure: -120 psf

The above approved, as per Florida Building Code Compliance acceptances, 2017 Florida Building Code, and the Manufacturer's recommendations.

Respectfully submitted,



Michael Seal
Architectonic Inc.







CERTIFICATE OF APPROPRIATENESS
 TO ALTER A DESIGNATED HISTORIC SITE

COA#18-50 HISTORIC PRESERVATION BOARD APPROVAL ADMINISTRATIVE APPROVAL

Site address: 605 S 7th Street

Contributing Non-Contributing Individually Designated

SITE ALTERATIONS:

Request	Conditions	Applicable Standards
Remove parts of existing shingle roof and install new shingles with the same color. Please see attached.		Secretary of the Interior's Standards for Rehabilitation of Historic Properties, Standard 9.

APPROVED:

Board Approval

Administrative Approval

 Paul Samson, Chair Date
 Historic Preservation Board


 _____ 6/07/18
 Maria Lewicka, AICP Date
 Historic Preservation Planner

This alteration meets the Secretary of the Interior's Standards for the Treatment of Historic Properties and the City of Fort Pierce Code of Ordinances.

Should you have any further questions or concerns, contact Maria Lewicka, Historic Preservation Planner, at (772) 467-3738 or via e-mail at mlewicka@city-ftpierce.com.

Thank you for your efforts to preserve and redevelop historic Fort Pierce through your participation in the Certificate of Appropriateness Application process. Staff looks forward to working with you in the future to preserve and rehabilitate our historic neighborhoods and structures.

Provided to:	Name/Address	Via
Owner	Alan's Homes LLC 1126 Rosedale Avenue Fort Pierce, FL 34982	E-Mail
Other	Paul Thomas, CFP Building Administrator	E-Mail
	Kim West, CFP Building Department	E-Mail
	Susan Keller, CFP Building Department	E-Mail



COA# 18-50

Bldg. Permit # _____

Certificate of Appropriateness Application

Building & Site Information

Address of the Site: 605. south 7 st.

Parcel ID #: 2410 0070. 0002

Type of Designation: Contributing Non-contributing Site within the _____ Historic District

Individually Designated Site, City Commission Resolution No. _____

Property Owner/ Applicant Information

Property Owner(s) Name(s): Alan's Homes Jorge L Morales

Mailing Address: 1038 Martinique Ave.

Phone Number(s): 772 240-4158 Email: _____

Applicant

Name(s): _____

Mailing Address: _____

Phone Number(s): _____ Email: _____

Representative

Name(s): _____

Mailing Address: _____

Phone Number(s): _____ Email: _____

Property Owner(s) Acknowledgements:- This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this Application and/or presentation to the Historic Preservation Board.

I / We, Jorge L Morales Alan's Homes as Owner(s) of the subject property do hereby authorize the filing of this application on my/our behalf.

[Signature]
Signature of Owner

6-6-18
Date

Description of Requested Work

Please indicate the type of work requested:

- Fence Shed Door(s) Roof
- Window(s) Signage Shutter(s) Porch

- Rehabilitation New Construction Demolition Relocation

Site Improvements (describe) _____

Other (describe) _____

Please provide a detailed description of the proposed work to be performed: Roof

Roof Replishment with the

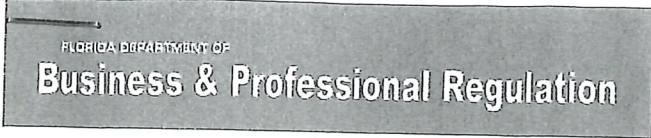
same shingles same color.

Have other alterations been made to the site within the last 12 months? No Yes, _____

Will the proposed work require a Zoning Variance? No Yes, Code Section(s): _____

Application Requirements

- \$10.00 Application fee
- Site Plan with dimensions.
- Architectural Drawings:
 - Drawings should show all current and proposed floor plans and elevations, fences, walls, and any other landscape features.
 - Drawings should indicate materials to be used.
- Photos - One (1) color photograph of the main façade of the site and photographs of any areas affected by the proposed project.
- Material(s) specifications and/or sample(s)
- Color samples.
- Demolition – Plans for what will be taking the demolished structure’s place should be submitted.



[BCIS Home](#) | [Log In](#) | [User Registration](#) | [Hot Topics](#) | [Submit Surcharge](#) | [Stats & Facts](#) | [Publications](#) | [FBC Staff](#) | [BCIS Site Map](#) | [Links](#) | [Search](#)



Product Approval
USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > [Application Detail](#)



FL #	FL10674-R13								
Application Type	Revision								
Code Version	2017								
Application Status	Approved								
Comments									
Archived	<input type="checkbox"/>								
Product Manufacturer	Owens Corning								
Address/Phone/Email	One Owens Corning Parkway Toledo, OH 43659 (740) 404-7829 greg.keeler@owenscorning.com								
Authorized Signature	Greg Keeler greg.keeler@owenscorning.com								
Technical Representative	Mel Sancrant								
Address/Phone/Email	1 Owens Corning PKWY Toledo, OH 43659 (419) 376-8360 mel.sancrant@owenscornig.com								
Quality Assurance Representative									
Address/Phone/Email									
Category	Roofing								
Subcategory	Asphalt Shingles								
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer <input type="checkbox"/> Evaluation Report - Hardcopy Received								
Florida Engineer or Architect Name who developed the Evaluation Report	Robert J.M. Nieminen								
Florida License	PE-59166								
Quality Assurance Entity	UL LLC								
Quality Assurance Contract Expiration Date	05/16/2020								
Validated By	John W. Knezevich, PE <input checked="" type="checkbox"/> Validation Checklist - Hardcopy Received								
Certificate of Independence	FL10674 R13 COI 2017 01 COI Nieminen.pdf								
Referenced Standard and Year (of Standard)	<table border="0"> <thead> <tr> <th><u>Standard</u></th> <th><u>Year</u></th> </tr> </thead> <tbody> <tr> <td>ASTM D3161</td> <td>2016</td> </tr> <tr> <td>ASTM D3462</td> <td>2010</td> </tr> <tr> <td>ASTM D7158</td> <td>2011</td> </tr> </tbody> </table>	<u>Standard</u>	<u>Year</u>	ASTM D3161	2016	ASTM D3462	2010	ASTM D7158	2011
<u>Standard</u>	<u>Year</u>								
ASTM D3161	2016								
ASTM D3462	2010								
ASTM D7158	2011								
Equivalence of Product Standards Certified By									
Sections from the Code									











CERTIFICATE OF APPROPRIATENESS
 TO ALTER A DESIGNATED HISTORIC SITE

COA#18-52 HISTORIC PRESERVATION BOARD APPROVAL ADMINISTRATIVE APPROVAL

Site address: 330 North US Highway 1

Contributing Non-Contributing Individually Designated

SITE ALTERATIONS:

Request	Conditions	Applicable Standards
Replace eight windows. Please see attached.		Secretary of the Interior's Standards for Rehabilitation of Historic Properties, Standard 9.

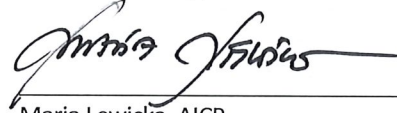
APPROVED:

Board Approval

 Paul Samson, Chair
 Historic Preservation Board

 Date

Administrative Approval



 Maria Lewicka, AICP
 Historic Preservation Planner

 6/27/18
 Date

This alteration meets the Secretary of the Interior's Standards for the Treatment of Historic Properties and the City of Fort Pierce Code of Ordinances.

Should you have any further questions or concerns, contact Maria Lewicka, Historic Preservation Planner, at (772) 467-3738 or via e-mail at mlewicka@city-ftpierce.com.

Thank you for your efforts to preserve and redevelop historic Fort Pierce through your participation in the Certificate of Appropriateness Application process. Staff looks forward to working with you in the future to preserve and rehabilitate our historic neighborhoods and structures.

Provided to:	Name/Address	Via
Owner	Orchid Island Juice Company 330 N US Highway 1 Fort Pierce, FL 34950	E-Mail
Applicant	MJ Wetzel Construction 441 Mississippi Avenue St. Cloud, FL 34769	E-Mail mjwetzelconstruction@hotmail.com
Representative	Richie Roberts 176 E Highland Ave Clermont, FL 34711	E-Mail richieroberts@expeditepermit.com
Other	Paul Thomas, CFP Building Administrator Kim West, CFP Building Department Susan Keller, CFP Building Department	E-Mail E-Mail E-Mail



THE SUNRISE CITY
FORT PIERCE
PLANNING DEPARTMENT *Florida*



Bldg. Permit # _____

COA# 18-52

Certificate of Appropriateness Application

Building & Site Information

Address of the Site: 330 NORTH US HIGHWAY 1
 Parcel ID #: 2410-504-0001-000/9
 Type of Designation: Contributing Non-contributing Site within the _____ Historic District
 Individually Designated Site, City Commission Resolution No. _____

Property Owner/ Applicant Information

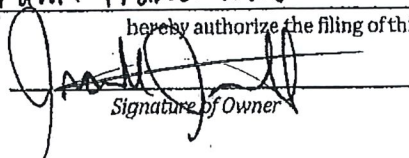
Property Owner(s)
 Name(s): ORCHID ISLAND JUICE COMPANY
 Mailing Address: 330 NORTH US HWY 1
 Phone Number(s): 772-465-1122 Email: _____

Applicant
 Name(s): ~~FRANK TRANCHILLA~~ M.J. WETZEL CONSTRUCTION
 Mailing Address: 441 MISSISSIPPI AVE, ST CLOUD, FL 34769
 Phone Number(s): 407-469-5599 Email: ~~FRANK~~ MJWETZELCONSTRUCTION@HOTMAIL.COM

Representative
 Name(s): Richie Roberts
 Mailing Address: 176 E HIGHLANDS AVE, CLEMENS, FL 34711
 Phone Number(s): 407-469-5599 Email: Richie.Roberts@ExpeditePermit.com

Property Owner(s) Acknowledgements: This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein. The undersigned consents to inspection and photographing of the subject property by the Historic Preservation staff for purposes of consideration of this Application and/or presentation to the Historic Preservation Board.

I/We, Frank Tranchilla C.O.O. as Owner(s) of the subject property, do hereby authorize the filing of this application on my/our behalf.


 Signature of Owner

6/6/18
 Date

Description of Requested Work

Please indicate the type of work requested:

- | | | | |
|---|----------------------------------|-------------------------------------|--------------------------------|
| <input type="checkbox"/> Fence | <input type="checkbox"/> Shed | <input type="checkbox"/> Door(s) | <input type="checkbox"/> Roof |
| <input checked="" type="checkbox"/> Window(s) | <input type="checkbox"/> Signage | <input type="checkbox"/> Shutter(s) | <input type="checkbox"/> Porch |

- | | | | |
|---|---|-------------------------------------|-------------------------------------|
| <input type="checkbox"/> Rehabilitation | <input type="checkbox"/> New Construction | <input type="checkbox"/> Demolition | <input type="checkbox"/> Relocation |
|---|---|-------------------------------------|-------------------------------------|

- Site Improvements (describe) _____
- Other (describe) _____

Please provide a detailed description of the proposed work to be performed: _____

REPLACE 8 WINDOWS SIZE FOR SIZE

Have other alterations been made to the site within the last 12 months? No Yes, _____

Will the proposed work require a Zoning Variance? No Yes, Code Section(s): _____

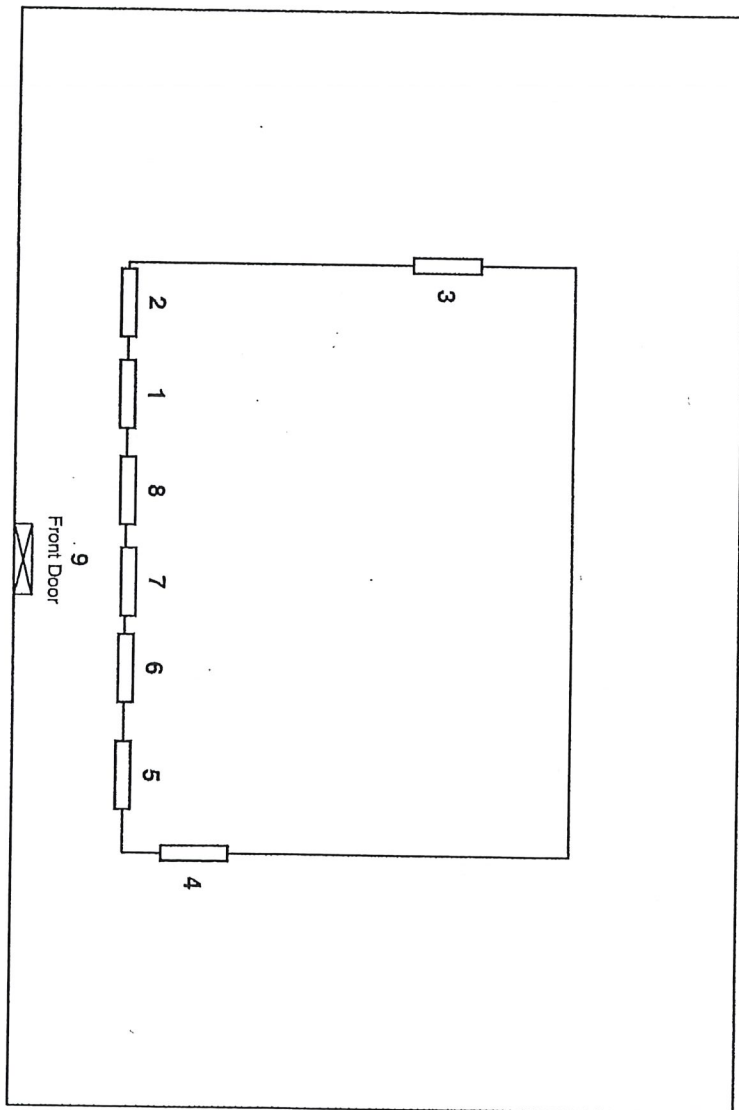
Application Requirements

- \$10.00 Application fee
- Site Plan with dimensions.
- Architectural Drawings:
 - > Drawings should show all current and proposed floor plans and elevations, fences, walls, and any other landscape features.
 - > Drawings should indicate materials to be used.
- Photos - One (1) color photograph of the main façade of the site and photographs of any areas affected by the proposed project.
- Material(s) specifications and/or sample(s)
- Color samples.
- Demolition - Plans for what will be taking the demolished structure's place should be submitted.





Opening	Size (W x H)
1. Picture Window	39 x 53
2. Horizontal Roller	72 x 53
3. Picture Window	26 x 37
4. Picture Window	39 x 54
5. Horizontal Roller	71 x 53
6. Picture Window	39 x 53
7. Horizontal Roller	71 x 53
8. Picture Window	39 x 53
9. N/A	



Tranchilla, Frank
 330 N US1
 Fort Pierce, FL 34950



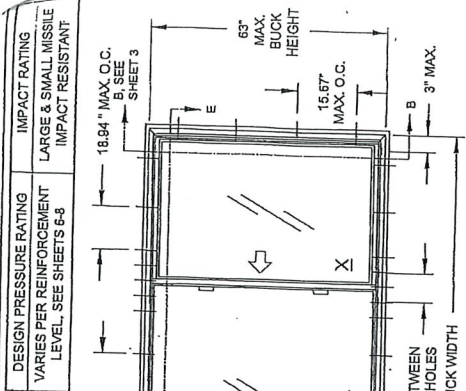
1740 US Highway 1 6401 SE Federal Highway
 Stuart, FL 34994 Stuart, FL 34997

PH: 772-408-0300
 FAX: 888-833-0167

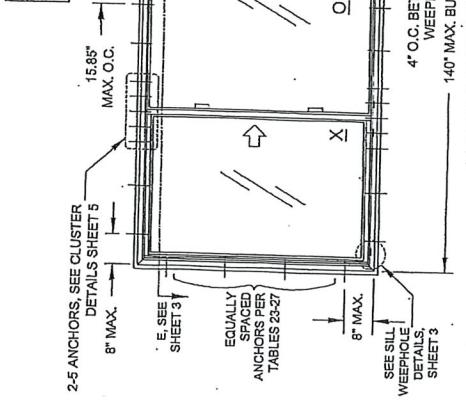
LIC #: CRC1331273

COPYRIGHT ENTERPRISE.COM
 SCALE: NOT TO SCALE
 DATE: May 25, 2018
 PAGE DESCRIPTION: Site Plan

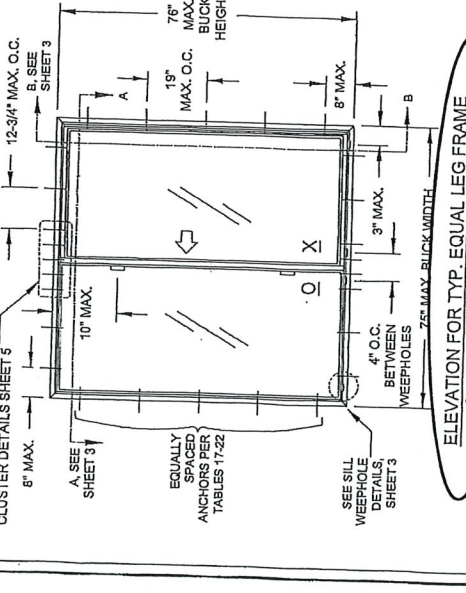
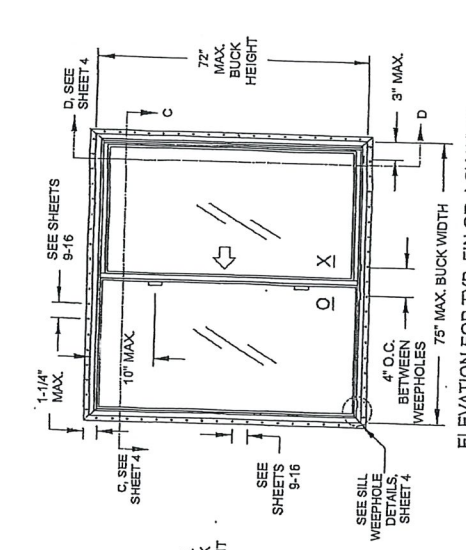
PAGE: 1 OF 1



**ELEVATION FOR TYP. EQUAL LEG FRAME
SHOWN AS OX CONFIGURATION**



**ELEVATION FOR TYP. FIN OR J-CHANNEL
FRAME SHOWN AS OX CONFIGURATION
ANCHORED THROUGH THE NAIL-FIN**



**ELEVATION FOR TYP. FLANGE FRAME
SHOWN AS XOX CONFIGURATION**

- GENERAL NOTES:**
- 1) THIS PRODUCT HAS BEEN DESIGNED & TESTED TO COMPLY WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, INCLUDING THE HIGH VELOCITY HURRICANE ZONE (HVHZ).
 - 2) SHUTTERS ARE NOT REQUIRED WHEN USED IN WIND-BORNE DEBRIS REGIONS. FOR INSULATED GLASS INSTALLATIONS ABOVE 30' IN THE HVHZ, THE OUTBOARD LITE (CAP) MUST BE TEMPERED CONCRETE MASONRY UNITS AND CONCRETE WITH MIN. KSI PER ANCHOR TYPE.
 - 3) FOR MASONRY UNITS AND CONCRETE WITH MIN. KSI PER ANCHOR TYPE, USE ONLY MIAMI-DADE COUNTY APPROVED MASONRY ANCHORS. MATERIALS USED FOR ANCHOR EVALUATIONS WERE SOUTHERN PINE, ASTM C90 DEPICTED AS 2X ARE 1-1/2" THICK OR GREATER, 1X AND 2X BUCKS (WHEN USED) SHALL BE DESIGNED AND SECURED TO PROPERLY TRANSFER LOADS TO THE SUBSTRATE, WOOD BUCKS AND INSTALLATION IS THE RESPONSIBILITY OF THE ENGINEER, (EOR) OR ARCHITECT OF RECORD. (AOR).
 - 4) ALL WOOD BUCKS LESS THAN 1-1/2" THICK ARE TO BE CONSIDERED 1X INSTALLATIONS. 1X WOOD BUCKS ARE OPTIONAL IF UNIT IS INSTALLED DIRECTLY TO SUBSTRATE, WOOD BUCKS ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING (COT OF RECORD). (AOR).
 - 5) 1/4" MAX. SHIMS ARE REQUIRED AT EACH ANCHOR LOCATION WHERE THE PRODUCT IS NOT FLUSH TO THE SUBSTRATE. USE SHIMS CAPABLE OF TRANSFERRING APPLIED LOADS.
 - 6) POSITIVE DESIGN LOADS BASED ON STRUCTURAL & CYCLE TESTING AND GLASS PER ASTM E1300.
 - 7) NEGATIVE DESIGN LOADS BASED ON WATER TEST PRESSURE, STRUCTURAL & CYCLE TESTING AND GLASS PER ASTM E1300.
 - 8) THE ANCHORAGE METHODS SHOWN HAVE BEEN DESIGNED TO RESIST THE WINDLOADS CORRESPONDING TO THE REQUIRED DESIGN PRESSURE. THE 33-1/3% STRESS INCREASE HAS NOT BEEN USED IN THE DESIGN OF THIS PRODUCT. THE 1.6 LOAD DURATION FACTOR WAS USED FOR THE EVALUATION OF ANCHORS INTO WOOD. ANCHORS THAT COME INTO CONTACT WITH OTHER DISSIMILAR MATERIALS WILL MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE FOR CORROSION RESISTANCE.
 - 9) MEET SUBSTRATE TO MEET MIN. STRENGTH AND THICKNESS REQUIREMENTS PER CURRENT FLORIDA BUILDING CODE AND TO BE REVIEWED BY THE AUTHORITY HAVING JURISDICTION.
 - 10) REFER TO TEST REPORTS FTL-8072, 8073 & 8074; ELCO ULTRACON NOA; ELCO CRISTELEX NOA; ELCO AGGREGATOR NOA; ENERGI WINDOW AND DOOR PROFILES, LTD WHITE & BRONZE/LIGHTER SHADES; CAP COATED PVC EXTRUSION NDS; NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, ANSIAF&PA NDS & ALUMINUM DESIGN MANUAL.
 - 11) APPLICABLE EGRESS REQUIREMENTS TO BE REVIEWED BY BUILDING OFFICIAL.

GENERAL NOTES:

- 2017 FLORIDA BUILDING CODE (FBC) 6TH EDITION
- 2014 FLORIDA BUILDING CODE (FBC), 5TH EDITION
- ASTM E1300-03
- ANSIAF&PA NDS-2015 FOR WOOD CONSTRUCTION
- ALUMINUM DESIGN MANUAL, ADM-2015
- AISI S100-12
- AISC 360-10

- GENERAL NOTES:**
- 1 FRAME GLASS & ANCHOR
 - 2 OPTIONS
 - 3 EQUAL LEG/BOX
 - 4 INSTALLATION, FLANGE & J-CHANNEL
 - 5 INSTALLATION, INTEGRAL FIN
 - 6 GLAZING DETAILS
 - 7 DESIGN PRESSURES
 - 8 ANCHOR QUANTITIES
 - 9 EXTRUSION PROFILES & BOM...
 - 10 ASSEMBLY

DESIGN PRESSURE RATING
VARIES PER REINFORCEMENT LEVEL. SEE SHEETS 6-3

IMPACT RATING
LARGE & SMALL MISSILE IMPACT RESISTANT

PRODUCT REVISED
as complying with the Florida Building Code
NOA-No. 17-0411.08

Expiration Date 09/24/2020
By Miami-Dade Product Control

Revised By: JR	Date: 03/27/17	Revised By:	Date:
Description: GENERAL NOTES & ELEVATION		Horizontal Roller - LM	
Title: HORIZONTAL ROLLER - LM		Scale: 1 OF 18	
Series/Model: HR-5510		Sheet: NTS	
CERT. OF AUTH. #2928		Drawing No. MD-HR5510-01	
A. LYNN MILLER, P.E. P.E.P.39706		Rev: B	

1070 TECHNOLOGY DRIVE
N. VENICE, FL 34275
(941) 480-1600
COPYRIGHT © 2017 PGT INDUSTRIES, INC.
ALL RIGHTS RESERVED

GENERAL NOTES:

- 1) DETERMINE THE SITE SPECIFIC, WINDOW OPENING'S DESIGN PRESSURE REQUIREMENT USING WINDLOAD STANDARD ASCE 7.
- 2) KNOWING YOUR FRAME TYPE, WINDOW CONFIGURATION (OX, XO, XOX), SIZE, GLAZING OPTION FROM (TABLE 1) AND REINFORCEMENT LEVEL, DETERMINE YOUR WINDOW'S DESIGN PRESSURE REQUIREMENT FROM (TABLE 6-1) AND TABLES 6-16 (SHEETS 6-9). IT MUST EQUAL OR EXCEED THE DESIGN PRESSURE REQUIREMENT FOR THE WINDOW OPENING OBTAINED IN STEP 1. USE INDEX TABLE 5 ON SHEET 6 TO HELP FIND THE APPROPRIATE TABLE.
- 3) DETERMINE THE MOST SUITABLE ANCHOR GROUP FROM TABLES 2 AND 3 ON SHEET 2 ACCORDING TO THE INSTALLATION CONDITIONS.
- 4) DETERMINE THE ANCHOR QUANTITY FROM TABLES 17-27 (SHEETS 9-4, 6).
- 5) INSTALL AS PER SHEET 3 FOR FLANGE/EQUAL LEG INSTALLATION OR SHEET 4 FOR INTEGRAL FIN/J-CHANNEL INSTALLATION.
- 6) INSTALL AS PER SHEET 3 FOR INTEGRAL FIN OR EQUAL LEG/BOX, SEE FIGURE B ON SHEET 2.

USER INSTRUCTIONS:

NOTE: DESIGN PRESSURE RATING DETERMINATION IS THE SAME PROCESS FOR ALL FRAME TYPES (J-CHANNEL, FLANGE, INTEGRAL FIN OR EQUAL LEG/BOX), SEE FIGURE B ON SHEET 2.

TABLE 1:

Table #	Description
4	#10 SMS (steel, 18-8 S.S. or 410 S.S.)
5	#12 SMS (steel, 18-8 S.S. or 410 S.S.)
6	1/4" steel Ultracon
7	1/4" steel Cretaflex
8	1/4" steel Cretaflex
9	1/4" steel Cretaflex
10	1/4" steel Cretaflex
11	1/4" steel Cretaflex
12	1/4" steel Cretaflex
13	1/4" steel Cretaflex
14	1/4" steel Cretaflex
15	1/4" steel Cretaflex
16	1/4" steel Cretaflex
17	1/4" steel Cretaflex

TABLE 2: ANCHORS INSTALLED THROUGH FRAME

Group	Anchor	Substrate	Min. Edge Distance	Min. Embedment*
A	#10 SMS (steel, 18-8 S.S. or 410 S.S.)	P.T. Southern Pine (SG=0.55)	7/16"	1-3/8"
		Steel, A36*	3/8"	0.050"
		Steel Stud, A653 Gr. 33*	3/8"	0.0451" (18 Ga.)
		Aluminum, 6063-T5*	3/8"	0.050"
B	1/4" steel Ultracon	P.T. Southern Pine (SG=0.55)	7/16"	1-3/8"
		Concrete (min. 2.85 ksi)	1"	1-3/8"
		Ungrouted CMU, (ASTM C-90)	2-1/2"	1-1/4"
		P.T. Southern Pine (SG=0.55)	9/16"	1-3/8"
C	1/4" steel Cretaflex	Steel, A36*	3/8"	0.050"
		Steel Stud, A653 Gr. 33*	3/8"	0.0451" (18 Ga.)
		Aluminum, 6063-T5*	3/8"	0.063"
		P.T. Southern Pine (SG=0.55)	1"	1-3/8"
D	1/4" steel Cretaflex	P.T. Southern Pine (SG=0.55)	2-1/2"	1-1/4"
		Concrete (min. 3.35 ksi)	2-1/2"	1-3/4"
		Ungrouted CMU, (ASTM C-90)	2-1/2"	1-1/4"
		Concrete (min. 3.275 ksi)	1-1/2"	1-3/8"
E	1/4" steel Aggre-Gator	Concrete (min. 2.85 ksi)	2"	2"
		GROUTED CMU, (ASTM C-90)	2"	2"

TABLE 3: ANCHORS INSTALLED THROUGH INTEGRAL FIN

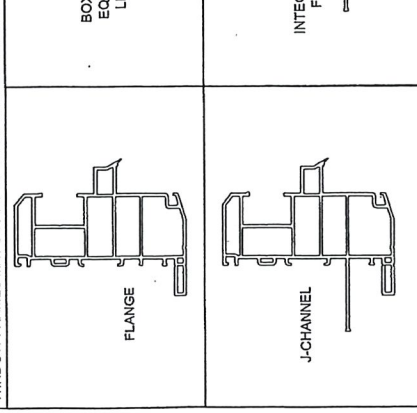
Group	Anchor	Substrate	Min. Edge Distance	Min. Embedment*
E	2-1/2" x .131" Common Nail	P.T. Southern Pine (SG= .55)	3/8"	2-7/16"
		Aluminum, 6063-T5*	1/2"	1-3/8"
		Steel Stud, Gr. 33*	3/8"	0.050"
		Steel, A36*	3/8"	0.0451" (18 Ga.)
F	#12 SMS (steel, 18-8 S.S. or 410 S.S.)	P.T. Southern Pine (SG= .55)	9/16"	1-3/8"
		Aluminum, 6063-T5*	3/8"	0.063"
		Steel Stud, Gr. 33*	3/8"	0.050"
		Steel, A36*	3/8"	0.050"

*A = ANNEALED
 *H = HEAT STRENGTHENED
 *T = TEMPERED
 *PVB = .090" TROSIFOL®
 PVB BY KURARAY AMERICA, INC.
 *SC = .090" SENTRYGLASS® INTERLAYER BY KURARAY AMERICA, INC.

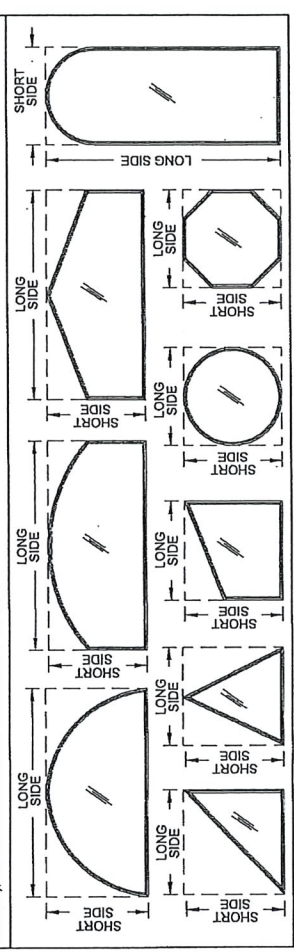
GLASS TYPES 14 THROUGH 17 MAY NOT BE USED WITH J-CHANNEL OR INTEGRAL FIN FRAMES.

* MIN. OF 3 THREADS BEYOND THE METAL SUBSTRATE.
 * UNROUTED CMU VALUES MAY BE USED FOR GROUTED CMU APPLICATIONS.

WINDOW FRAMES MAY BE ANY OF THOSE SHOWN BELOW:



ALL ARCHITECTURAL WINDOW SHAPES QUALIFIED. COMMON EXAMPLES SHOWN. INSCRIBE THE SHAPE IN A BLOCK (SEE EXAMPLES BELOW), AND OBTAIN DESIGN PRESSURES FOR THAT BLOCK SIZE FROM DESIGN PRESSURE TABLES 4-13, SHEETS 6-10.



PRODUCT REVISED as complying with the Florida Building Code Acceptance No. 17-0614-09 Expiration Date April 30, 2012
 By: *Anthony Lynn Miller*
 Miami Date Product Created

NO CHANGES THIS SHEET.

TABLE 4: MATERIAL PROPERTIES

Material	Min. F _y	Min. F _u
Steel Screw	92 ksi	120 ksi
18-8 Screw	60 ksi	95 ksi
410 Screw	57 ksi	110 ksi
Elco Aggre-Gator®	57 ksi	96 ksi
Elco UltraCon®	155 ksi	177 ksi
410 SS Elco Cretaflex®	127.4 ksi	183.7 ksi
6063-T5 Aluminum	16 ksi	23 ksi
A36 Steel	36 ksi	58 ksi
Gr. 33 Steel Stud	33 ksi	49 ksi

* MIN. OF 3 THREADS BEYOND THE METAL SUBSTRATE.

ANTHONY LYNN MILLER
 LICENSE No. 58705
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 A. LYNN MILLER, P.E.
 P.E.# 58705

PGI
 CERT. OF AUTH. #29296
 1070 TECHNOLOGY DRIVE
 N. VENICE, FL 34275
 COPYRIGHT © 2017, PGT INDUSTRIES, INC.
 ALL RIGHTS RESERVED
 VINYL FIXED WINDOW NOA (LM&SM)
 9/8/14
 GLASS/ANCHORS/FINEMENTS
 J ROSOWSKI
 PW-5520 NTS 2 OF 11 MD-5520.0