

## VARIANCE

Property address or Location 1709 BAYSHORE DRIVE  
 Parcel ID #(s) 2412-501-0024-000-3  
 Project description NEW SINGLE FAMILY RESIDENCE

DENNIS DEVIVO  
 Property Owner(s)  
718 UNION BLVD  
 Street Address  
WEST ISLIP BLVD NY 11795  
 City State Zip  
031-831-8192  
 Phone Number  
dennis@devivoassociates.com  
 Email Address

TERRY BRISSON, FL TREND Homes  
 Applicant/Representative, Title, Company  
2106 BELLA VISTA WAY  
 Street Address  
PORT ST LUCIE FL 34952  
 City State Zip  
(772) 828-0364  
 Phone Number  
fltrendhomes@gmail.com  
 Email Address

*Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.*

AGENT FOR

Property Owner(s) Signature(s) \_\_\_\_\_

STATE OF FL COUNTY ST. LUCIE

The foregoing instrument was acknowledged before me this 20 day of NOV, 2018, by

Terry BRISSON who is personally known to me or has produced  
DRIVERS license as identification.

Signature of Notary Kim Keahey



**INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS**

**TO BE COMPLETED BY STAFF**

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation
				Contributing Individual
				Non-Contributing None

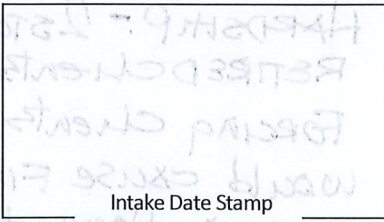
Pre-Application Meeting Date \_\_\_\_\_ Fees \_\_\_\_\_ Control # \_\_\_\_\_ B. Permit # \_\_\_\_\_

Intake Planner \_\_\_\_\_

Planner Assigned \_\_\_\_\_

Approved By \_\_\_\_\_ Date \_\_\_\_\_

Comments \_\_\_\_\_



**VARIANCE**

Submit eight (8) hard copies and one (1) CD of the following for initial submittal, subsequent submittals will be required:

- Site plan, to scale, including all relevant improvements:
  - Existing & proposed structures
  - Landscaping & parking,
  - Fencing, signs, etc.
- As-built Survey
- Criteria Narrative
- Complete, notarized application

Description of request: BUILDING EXCEEDS LOT COVERAGE 31.35% Lot Coverage

Reason for request: OWNER WANTS (1) STORY HOME - RETIRED - A 4BED 2,700 sq home IS NOT UNUSUAL for a \$300,000 water front PROPERTY

Existing Use: VACANT Date Property was Purchased: June 2015

Alterations made to the site since purchase: CLEARED 3 TREES

Has a request for this variance been denied in the past?  Yes  No

If yes, what has changed since the denial? \_\_\_\_\_

**Application Outlook**

~~Pre-Application Meeting~~  
Wednesday Afternoons



Application Intake Meeting  
Call to schedule



Technical Review Committee  
Thursday



Board of Adjustment  
4th Thursday

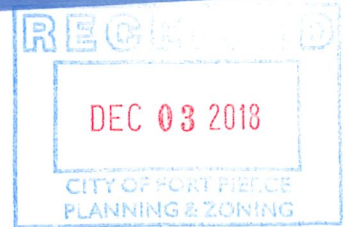
**Criteria:**

In order to determine whether your request for Variance meets all the criteria in Section 22-108 of the City Code, please answer the following questions. Please provide answers of questions on separate pages:

1. Describe those conditions peculiar to the specific property and not applicable to other lands, structures, or buildings in the same zoning district. VALUE OF LAND AND PREMIUM WATER FRONT Demands a nice home.
2. Does special conditions or circumstances result from actions other than that of yours? Please explain RETIRE D COUPLE - DOES NOT WANT TO CLIMB STAIRS TO 2ND FLOOR
3. Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code for the zoning district. HARDSHIP,
4. What is the minimum variance that would give the reasonable use of the land, building, or structure? PLANS SUBMITTED AS IS
5. Explain how the variance request would not impair the intent of the zoning ordinance or be detrimental to the general public welfare: NICE HOMES IMPROVE NEIGHBORHOOD VALUES A (1) BED HOME AT 2,700 LIVING AREA IS NOT UNREASONABLE ON PRIME WATERFRONT WITH LAND VALUES OF \$300,000 PLUS.

#3. HARDSHIP - 2 STORY HOME IS UNACCEPTABLE TO MY RETIRED CLIENTS. FORCING CLIENTS TO BUILD A 2,000 sq HOME WOULD CAUSE FINANCIAL LOSS BASED ON LAND VALUE AND A HOME TOO SMALL FOR SUCH AN EXPENSIVE PIECE OF PROPERTY.

FL TREND HOMES llc  
2106 BELLA VISTA WAY BLDG L  
PORT ST LUCIE FL 34952



(772) 828-0364 ■ [fltrendhomes@gmail.com](mailto:fltrendhomes@gmail.com) ■ CGC 017586 since 1981

Dec. 3<sup>rd</sup> 2018

City of Fort Pierce  
Planning and Zoning

RE: 1709 Bayshore Drive

Variance Application: RESPONSE TO QUESTIONS.

1) Describe those conditions peculiar to the specific property and not applicable to other lands, structures or buildings in the same zoning district.

ANSWER: What is peculiar to this property, as compared to the vast majority of other properties in this district is the Waterfront.

This land is 80 ft x 150 ft of which 80 ft fronts on the water. The spacious views extend from Hutchinson Island to the downtown, Fort Pierce, Water Front.

Many have referred to this spectacular view as "A Million Dollar View". Facts are, it's not a Million Dollars. It is appraised at \$450,000.00 for the vacant lot.

As a general statement, 80% of the homes in this district, are not waterfront, and valued at less than \$70,000.00.

It is extremely unconscionable that land, valued at \$70,000 be governed by the same considerations as land valued at \$450,000.00

2) Do special conditions or circumstances result from actions, other than yours.

ANSWER: YES: There are circumstances or outside influences governing our request.

THEY ARE- This zoning district has a majority of homes that were built several decades ago. And as a result, reflect the styles, attitudes and living habits of the 60's and 70's.

It is unreasonable, that a new home, on a \$450,000 lot, be expected to conform to outdated styles and conditions that are no longer relevant.

THE SPECIAL CIRCUMSTANCES ARE THIS:

The market place has evolved since the 70's. Peoples requirements for Living Spaces, inside and out, has also evolved. Homes built at 1,500 sf were once considered large. Now in St Lucie County, a normal size home exceeds 2,300 sf and built on lots selling for less than \$25,000.00

It is not unreasonable, for someone buying a \$450,000 lot, to build a Home slightly larger and slightly better than an average home in this St Lucie market.

3) Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code for this zoning district.

ANSWER: The hardship would be a devastating financial loss if this owner were to build a smaller than below average size home, on such a prime piece of Real Estate.

4) What is the minimum variance that would give reasonable use of the land, building or structure.

ANSWER: I am at a loss as to why a variance is even necessary.

We propose a (1) story, 2 car garage, covered patio home with (4) bedrooms and (3) baths, to be built on a Premium Water Front Property, in a neighborhood whose average home values do not equal the value of this vacant lot.

I am at a total loss as to why any government agency or department would discourage new homeowners from wanting to improve a neighborhood, both aesthetically and as well as enhance property values for the entire neighborhood.

I have expressed my concerns to this Home Owner-That Concern is this- In my opinion, a homes value should exceed the property value by 4 times the lands value.

My contract is for \$470,000.00 The land value is \$450,000.

In my opinion, **He is Under Building.**

His response- He is retiring and does not want stairs to a 2<sup>nd</sup> floor.

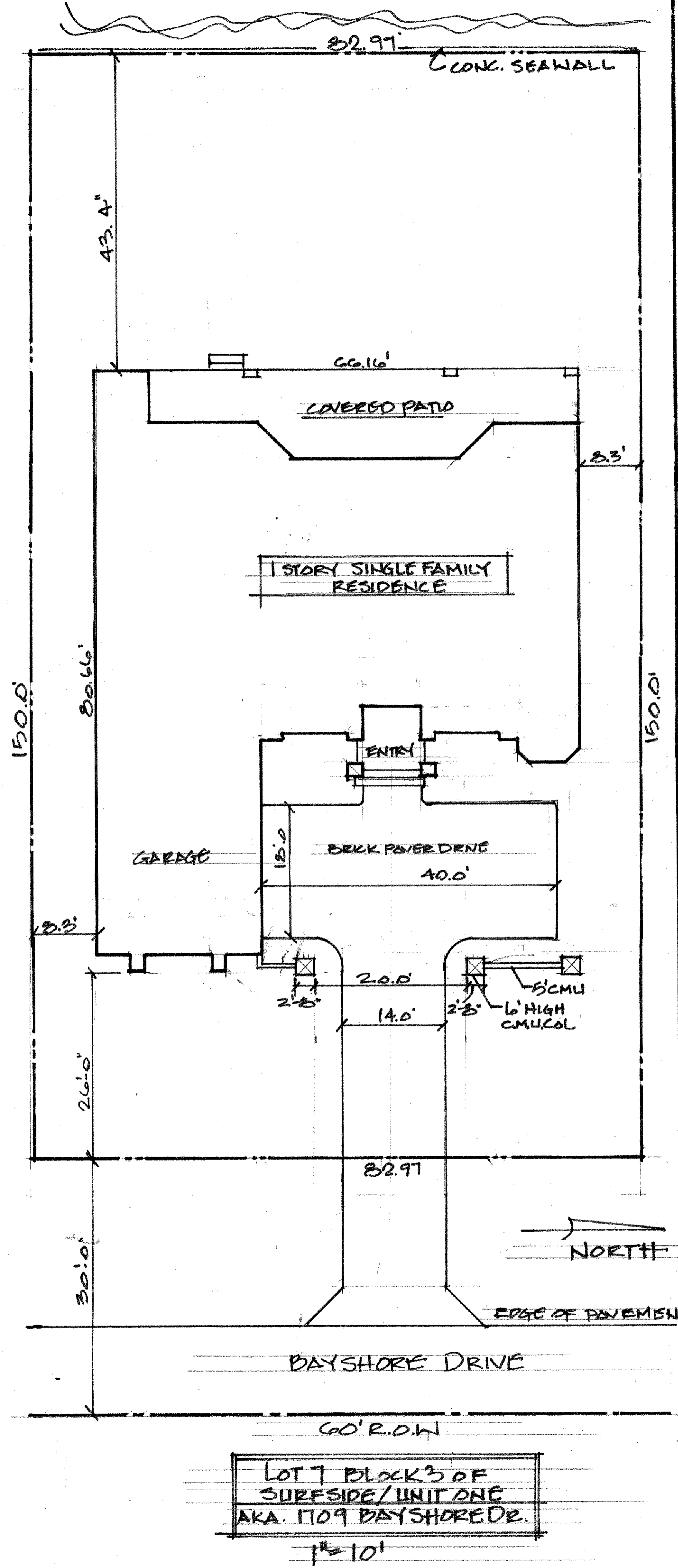
He is retiring and does not want a Big House.

5) Explain how the Variance Request would not impair the intent of the zoning ordinance or be detrimental to the general Public Welfare.

ANSWER: I remain Extremely Confident, that the Construction of a New, Aesthetically Pleasing Home, that suites modern day living habits, whose appraised value greatly exceeds the majority of homes in this district, will not impose a detrimental hardship to the general public welfare.



Terry Brisson  
General Contractor  
Owner



**GENERAL NOTES:**

- A. CONSTRUCTION SHALL FOLLOW THE FL. BUILDING CODE AS ADOPTED BY THE COUNTY / MUNICIPALITY AND ALL APPLICABLE AMENDMENTS.
- B. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING AND TRADE PERMITS AND THEIR RESPECTIVE COSTS.
- C. BUILDER SHALL COORDINATE ALL THE WORK WITH ALL TRADES.
- D. BUILDER SHALL REVIEW THE DRAWINGS IN THEIR ENTIRETY BEFORE STARTING WORK. THE BUILDER SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS AND/OR OMISSIONS NOT REPORTED TO Terry J. Brisson LLC, DESIGNER.
- E. DO NOT SCALE DRAWINGS
- F. THESE PLANS ARE DRAWN TO COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE GOVERNING CODE AND BUILD IN ACCORDANCE WITH THIS CODE.

**JOB CONDITIONS:**

- A. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTAL OF BID AND/OR CONTRACT NEGOTIATIONS & SHALL VERIFY EXISTING CONDITIONS WITH THE CONSTRUCTION DOCUMENTS. DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE DESIGNERS ATTENTION IN WRITING FOR CLARIFICATION. BACKCHARGES WILL NOT BE ACCEPTED BY THE DESIGNER.
- B. DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER SCALE AND GRAPHICS.
- C. IF WORK IS BEING PERFORMED IN AN EXISTING BUILDING AND/OR AS AN ADDITION OR ALTERATION(S), TO AN EXISTING BUILDING, THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITION WITH REFERENCE TO ARCHITECTURAL STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS. ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE DESIGNERS ATTENTION, IN WRITING, SO CHANGES CAN BE MADE AS NEEDED. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK BY TRADES, SUPPLIERS, SUBCONTRACTORS, AND OTHER PROVIDERS TO INSURE THAT THE WORK WHEN COMPLETED WILL BE IN ACCORDANCE WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS.
- D. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL AND NON STRUCTURAL MEMBERS DURING CONSTRUCTION.

**WORK AS NECESSARY TO COMPLETE CONSTRUCTION:**

- A. IT IS THE PURPOSE OF THESE PLANS TO DESCRIBE A COMPLETE AND FINISHED PROJECT OTHER THAN ITEMS MARKED (NIC) NOT INCLUDED IN CONTRACT.

**CLEANUP / REPAIR:**

- A. THE CONTRACTOR SHALL MAINTAIN THE PREMISE CLEAN AND FREE OF ALL TRASH, DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT OVERSPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.
- B. THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL ITEMS DAMAGED BY THE PROCESS OF CONSTRUCTION AND SHALL FINISH ALL PATCHWORK AND REPAIRS TO MATCH ADJACENT AREAS AND SPACES.

**CONCRETE:**

- A. ALL CONCRETE WORK SHALL CONFORM TO ALL RECOMMENDATIONS AND REQUIREMENTS OF ACI 308
- B. CONCRETE FOR HOUSE SLABS AND TIE BEAMS, SHALL BE A MINIMUM OF 2,500 PSI AT 28 DAYS. UNLESS OTHERWISE NOTED. ALL FLAT WORK SHALL BE A MIN OF 2,500 PSI CONCRETE.
- C. 6 MIL VAPOR BARRIERS ARE REQUIRED BENEATH SLABS THAT ARE UNDER ROOF COVER.

**EARTHWORK:**

- A. PERFORM ALL EARTHWORK IN CONFORMANCE WITH THE FINAL SOILS, COMPACTION AND GEOLOGICAL REPORTS.
- B. FOUNDATIONS SHALL BE MONOLITHIC OR SPREAD FOOTINGS BASED ON A SOIL BEARING CAPACITY OF 2,000 PSF. FINAL WRITTEN VERIFICATION SHALL BE PRESENTED TO THE BUILDING DEPARTMENT PRIOR TO CONCRETE PLACEMENT.
- C. SOIL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR (ASTM D1557) TO A DISTANCE OF 5 FT BEYOND ALL BUILDING EDGES. AT LEAST ONE FIELD DENSITY TEST SHALL BE PERFORMED FOR EACH 2,500 SF OF AREA. DENSITY TEST ARE TO BE MADE 12 INCHES BELOW THE COMPACTED SURFACES.
- D. FILL SHALL BE CLEAN AND FREE OF VEGETATION.
- E. PERMITS PROTECTION SHALL BE IN ACCORDANCE WITH SECTION 285.6 OF THE FLORIDA BUILDING CODE.
- F. FINAL GRADE SHALL ENSURE THAT WATER DRAINS AWAY FROM THE BUILDING TO THE PROPERTY LINES. WATER MAY NOT DRAIN AND SETTLE ONTO ADJACENT PROPERTY. VERIFY WITH LOCAL AGENCY DIRECTION OF WATER FLOW. IN THE ABSENCE OF APPROVED DRAINAGE PLAN, CONTRACTOR TO PREPARE FINAL GRADE TO ENSURE WATER FLOWS TO AWAY FROM THE BUILDINGS AND IMPROVEMENTS AND DIRECT WATER TO FRONT AND SIDE SWALES AND WATER COLLECTION AREAS.

**REINFORCING STEEL:**

- A. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE MANUEL OF STANDARDS PRACTICE DETAILING REINFORCED CONCRETE STRUCTURES, PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE.
- B. MINIMUM CONCRETE COVERAGE OF REINFORCING STEEL:
  - SLAB ON VAPOR BARRIER 1 1/2"
  - BEAMS AND COLUMNS 1 3/4"
  - FORMED CONCRETE BELOW GRADE 2"
  - UNFORMED BELOW GRADE 3"
  - FOOTINGS: 3" CLEAR AT BOTTOM & SIDES, 2" CLEAR OF TOP.
  - WALLS: 2" CLEAR OUTSIDE FACE, 1 1/2" CLEAR INSIDE
  - SLABS: 3/4" CLEAR AT TOP (INTERIOR) 1 1/4" CLEAR AT TOP (EXTERIOR)
  - BEAMS: 1 1/2" CLEAR OF STIRRUPS
  - COLUMNS: 1 1/2" CLEAR TO TIES
- C. REINFORCING MESH: ON GRADE BUILDINGS SLABS SHALL BE ACI-308 ELECTRICALLY WELDED WIRE MESH FABRIC SIZES AND GAUGES AS SHOWN ON THE DRAWINGS.
- D. MINIMUM REINFORCING BAR LAPS SHALL BE MIN 48 BAR DIAMETER LAP. MIN LAP FOR 5/8" REBAR SHALL BE MIN 30".
- E. TIE BEAM DEPTHS ARE MINIMUM AND MAY BE INCREASED TO FIT THE BLOCK WORK AND WINDOW AND DOOR HEADS.
- F. DROP BOTTOM OF THE BEAMS, AS REQUIRED, AT WINDOW AND DOORS HEADS, (28" MAXIMUM BEAM DEPTHS) AND ADD 2 # 2 BOTTOM IF DROP EXCEEDS 8".
- G. ALL ADDED LONGITUDINAL BEAM REINFORCING SHALL EXTEND 6" MINIMUM INTO SUPPORT UNLESS NOTED OTHERWISE.

**TRUSSES:**

- A. THE TRUSS LAYOUT SHOWN ON CONSTRUCTION DOCUMENTS IS SCHEMATIC IN NATURE. HOWEVER, THE SUPPORTING SUPERSTRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THAT THE FRAMING SCHEME SHOWN WILL CLOSELY PARALLEL THE FINAL TRUSS MFG. LAYOUT. THIS FRAMING SCHEME (DIRECTION OF TRUSSES, MAJOR BEARING POINTS, ETC.) CAN BE MODIFIED ONLY AFTER OBTAINING PERMISSION FROM THE PRIME PROFESSIONAL OF RECORD WHO MUST REVIEW PROPOSED CHANGES AND MAKE STRUCTURAL REVISIONS ACCORDINGLY. FINAL SIGNED AND SEALED ENGINEERING TRUSS DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO POURING THE FOUNDATION.

**CONCRETE MASONRY UNITS:**

- A. COORDINATE WITH ALL OTHER TRADES WHOSE WORK RELATES TO BLOCK MASONRY INSTALLATION FOR PLACING OF ALL REQUIRED BLOCKING, SUB FRAMING, BACKING, FURRING ETC., TO INSURE PROPER LOCATIONS.
- B. PLACEMENT OF ITEMS FURNISHED BY OTHER TRADES; PLACE ANCHORS, BOLTS, PIPES, SLEEVES, NAILERS, BLOCKOUTS, REGLETS, FITTINGS, CONDUITS ETC., PROVIDED BY OTHER TRADES WITHIN MASONRY.
- C. MORTAR MIX: MORTAR SHALL COMPLY WITH ASTM C-270. NO MORTAR THAT HAS STOOD LONGER THAN 1 HOUR SHALL BE USED.
- D. BLOCK MASONRY UNITS; HOLLOW LOAD BEARING UNITS PER ASTM C-90. ALLOWABLE STRESS TO BE 1750 PSI.
- E. CLEAN OUT OPENINGS SHALL BE PROVIDED AT BOTTOM OF GROUTED CELLS. SEAL AFTER CLEANING AND INSPECTION.
- F. WEEP HOLES SHALL BE PLACED MAX 12" BENEATH PRECAST LINTEL BEARING ENDS, TO INSURE CMU COLUMNS ARE PROPERLY FILLED WITH CONCRETE.

**CONTRACTOR NOTICE:** CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION. DESIGNER WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS CONCERNING DIMENSIONS. CONTRACTOR TO CONFIRM ALL ROUGH OPENINGS FOR DOORS AND WINDOWS WITH SPECIFIC MANUFACTURER, PRIOR TO COMMENCEMENT, AND ENSURE ALL TRADES ARE INFORMED OF THESE OPENING REQUIREMENTS. CONTRACTOR TO VERIFY PLACEMENT OF VERTICAL STEEL RE-BAR AND CONFIRM PROPER PLACEMENT AS NEEDED TO MEET EXTERIOR ROUGH OPENING SPECIFICATIONS.

**ROUGH CARPENTRY:**

- A. TIMBER DESIGN BASED ON USE OF #2 SURFACE DRY OR GREEN, USED AT MAXIMUM 19% MOISTURE CONTENT.
- B. LUMBER USED FOR LOAD SUPPORTING SHALL HAVE GRADE MARKS COMPLYING WITH AND PROCEDURES AND AGENCIES APPROVED BY U.S. PROCEDURES PS 20-34
- C. PLYWOOD: PRODUCT STANDARDS PS-1-73 AND RULES FOR DFPA GRADE TRADEMARKS OF THE AMERICAN PLYWOOD ASSOCIATION.
- D. ALL STRUCTURAL LUMBER SHALL HAVE A MINIMUM FIBER STRESS OF 1,200 PSI, A MINIMUM E-1,600,000 PSI AND A MINIMUM FV-90 PSI UNLESS OTHERWISE NOTED.
- E. FLOOR JOISTS, HEADERS, LINTELS, CEILING JOISTS, AND RAFTERS SHALL BE 5/4 S SEASONED SYP #2, UNLESS OTHERWISE NOTED ON DRAWINGS.
- F. ALL STUDDING, BLOCKING, FURRING AND PLATES SHALL BE 5/4 S SEASONED STUD SYP #2, DRY, UNLESS OTHERWISE NOTED ON DRAWINGS.
- G. EXTERIOR PLYWOOD SHEATHING SHALL BE GROUP 1 STANDARD (C-D) EXT-DFPA, (C-C) EXT-DFPA, STRUCTURAL 1 (C-D) EXT -DFPA OR STRUCTURAL 1 (C-C) EXT -DFPA.
- H. STUD WALLS: 2"x4" @ 16" OC UNLESS OTHERWISE NOTED. PLUMBS TO 1/8" IN 8'-0". ALL EXTERIOR STUDS TO BE FULL LENGTH TO CEILINGS. ALL STUD WALLS OVER 8'-0" HIGH, INSTALL 2 ROWS OF BLOCKING BETWEEN STUDS. BEARING WALLS TO BE FRAMED WITH 2 X 6 STUDS TO 10 FT AND 2 X 8 STUDS ABOVE 10 FT HIGH.
- I. 3" MIN BEARING BY BEAMS AND GIRDERS ON MASONRY OR CONCRETE.
- J. ALL LUMBER IN DIRECT CONTACT WITH CONCRETE OR STEEL SHALL BE PRESSURE TREATED, OR HAVE AN APPROVED SEPERATING MATERIAL OR HAVE A GALVANIZED ANCHOR SEAT.
- K. ROOF SHEATHING: 5/8" THICK STANDARD PLYWOOD SHEATHING, EXTERIOR GLUE, CDX GRADE, 4 PLY, INDEX 240, APA GRADE TRADEMARK, APPLY WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER JOINTS.
- L. DRAFTSTOPPING IN FLOOR AND CEILING ASSEMBLIES NOT TO EXCEED 2000 SF.

**LATH FASTENERS:**

ALL LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIALS. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED WITH 1 1/2" LONG, 11 GAGE NAILS, HAVING A 7/16" HEAD OR 7/8" LONG, 16 GA STAPLES, SPACED AT NO MORE THAN 6 INCHES.

PRODUCT APPROVAL SUBMISSION FORM									
PRODUCT	DESCRIPTION	IMPACT RATED	MFG	SERIES	GLASS	PROD APPROVAL #	DESIGN PRESSURES	FIELD PRESSURES	FASTENERS
<b>WINDOWS / SLIDING GLASS</b>									
laundry/bath2/cabana/mst wc	< 10 SF	IMPACT	PGT	SH-700	5/16" LAMI	17-0630.08	80.0/80.0	48.9/53.1	1/4" tap cons into solid backing on 3 x 3 pt bucks. Fill all holes
BED 2 / DINING/ MST BED/ MST ATH	< 20 SF	IMPACT	PGT	SH-700	5/16" LAMI	17-0630.08	80.0/80.0	46.7/50.9	1/4" tap cons into solid backing on 3 x 3 pt bucks. Fill all holes
BED 3	< 50 SF	IMPACT	PGT	SGD 770	7/16" LAMI W 3 1/4" TRACK	17-0420.12	60.0/60.0	43.8/48	(2) rows of 1/4" Tap Cons into solid pour CMU. Fill all holes sides, top & sill
GREAT ROOM	< 150 SF	IMPACT	PGT	SGD 770	7/16" LAMI W 3 1/4" TRACK	17-0420.13	60.0/60.0	41.7/45.7	(2) rows of 1/4" Tap Cons into solid pour CMU. Fill all holes sides, top & sill
DEN/QUIET AREA	< 20 SF	IMPACT	PGT	CA-740	5/16" LAMI	17-0614.14	60.0/60.9	43.8/48.0	1/4" tap cons into solid backing on 3 x 3 pt bucks. Fill all holes
FIXED TRANSUMS/ GARAGE	< 20 SF	IMPACT	PGT	PW-720	7/16" LAMI	17-0614.11	80.0/80.0	46.70/ 50.9	1/4" tap cons into solid backing on 3 x 3 pt bucks. Fill all holes
<b>MULLIONS</b>									
MULL BARS		IMPACT	PGT	LMI ALM		17-0630.02	700 LBS/		CLIPS TOP & BOT & HORIZONTAL INSTALLATION. With (4) 1/4" x 2 3/4" tap cons / clip into solid pour CMU.
<b>DOORS</b>									
GARAGE	2'-8" X 8'-0"	6 PANEL IMPACT	THERMA TRU	SMOOTH STAR	NONE	FL-5891.2	67.0/67.0	31.0/34.0	ON 2 X 6 PT BUCK, fastened with 1/4" tap cons at 12" oc. Min 1 1/4" embed into solid CMU. Anchor door jamb w #12 wood screws x 2 3/4" at 14" oc. Begin 6" from corners.
CABANA	2'-8" X 8'-0"	GLASS FRECH DR	THERMA TRU	SMOOTH STAR	1" LAMI	FL 7630.1	50.0/50.0	31.4/34.0	ON 2 X 6 PT BUCK, fastened with 1/4" tap cons at 12" oc. Min 1 1/4" embed into solid CMU. Anchor door jamb w #12 wood screws x 2 3/4" at 14" oc. Begin 6" from corners.
ENTRY DOOR	6'-0" X 10'-0"	IMPACT	ABBY DOORS	IRON DOOR	1" IMPACT GLASS	FL 7640.8	65.0/65.0	31.2/34.4	ANCHOR through factory installed face flanges, directly to CMU w (2) 3/8" x 5" titen Bolts per flange
MST BED / DINING	5'-4" X 8'-0"	IMPACT	THERMA-TRU	FIBERGLASS	1" IMPACT GLASS	FL 7630.4	50 /50	43.80/ 48.0	ON 2 X 6 PT BUCK, fastened with 1/4" tap cons at 12" oc. Min 1 1/4" embed into solid CMU. Anchor door jamb w #12 wood screws x 2 3/4" at 14" oc. Begin 6" from corners.
<b>ROOFING</b>									
5-V CRIMP METAL GALVALUME METAL ROOF			METAL SALES MFG CORP	26 GA		14045.3			#9-16 or #10-14 Hex Head wood screws w sealed washers. At 6" oc at panel ends and 12" oc in field. Min 3/8" penetration into 5/8" CDX sheathing
GARAGE DOOR	16' X 8'	IMPACT	DAB GAR DR	824/ 511	NA	15-311.1	48/52	35.5/43	ANCHOR THROUGH PRECAST CONCRETE LAMBS TO SOLID FOUR CMU W 1/2" X 5" WEDGE ANCHORS W 2X2 SQ WASHERS AT 24" OC. BEGIN AT 12" FROM ENDS. ANCHOR DR GUIDE BOLTS TO 2 X 6 WITH HLT HWK BOLTS 3/8" X 2 3/4". BEGIN 6" FROM ENDS THEN 10" OC.

BUILDING CODE : 2017 WIND SPEED: 170-3 SEC GUSTS: 132 MPH NOMINAL  
 ASCE: 2010 IMPACT RESISTANT: YES  
 JURISDICTION: CITY OF FORT PIERCE ROOF LOAD: 35 PSF  
 PROJECT NAME: SINGLE FAMILY DEAD LOAD: 20 PSF LIVE LOAD 15 PSF  
 PROJECT ADDRESS: LOT 7 BLOCK 3 OF SURFSIDE ROOF OVERHANGS: 1'-8"  
 ENGINEER OF RECORD: Analysis Pombal, PE # 77737 ROOF PITCH: 4 1/2 : 12  
 TYPE OF CONSTRUCTION: VB SHUTTERS: NO  
 CLASSIFICATION: "D"

**Terry J. Brisson, llc**  
**DESIGN & DRAFTING SERVICES**  
 1705 Popoise Ave  
 Ft. Pierce, FL 34949  
 (772) 828-0344 tjbrendhomes@gmail.com

**NEW RESIDENCE**  
**Mr & Mrs Dennis DeVivo**  
 Lot 7 Block 3 of Surfside, Unit 1  
 Fort Pierce, Florida

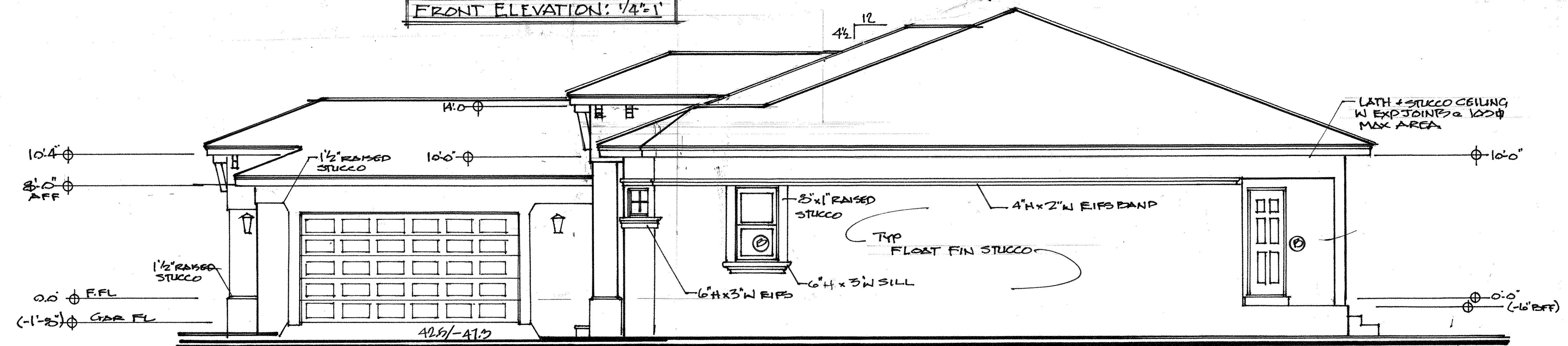
**ENGINEER:**  
 Analysis Pombal, PE  
 1457 SW Prairie Cir.  
 Fort St Lucie, FL 34953  
 (561) 214- 0781  
 anypombal@hotmail.com  
 PE # 77737

DATE: **Aug 2012**  
 JOB#: **18-749**

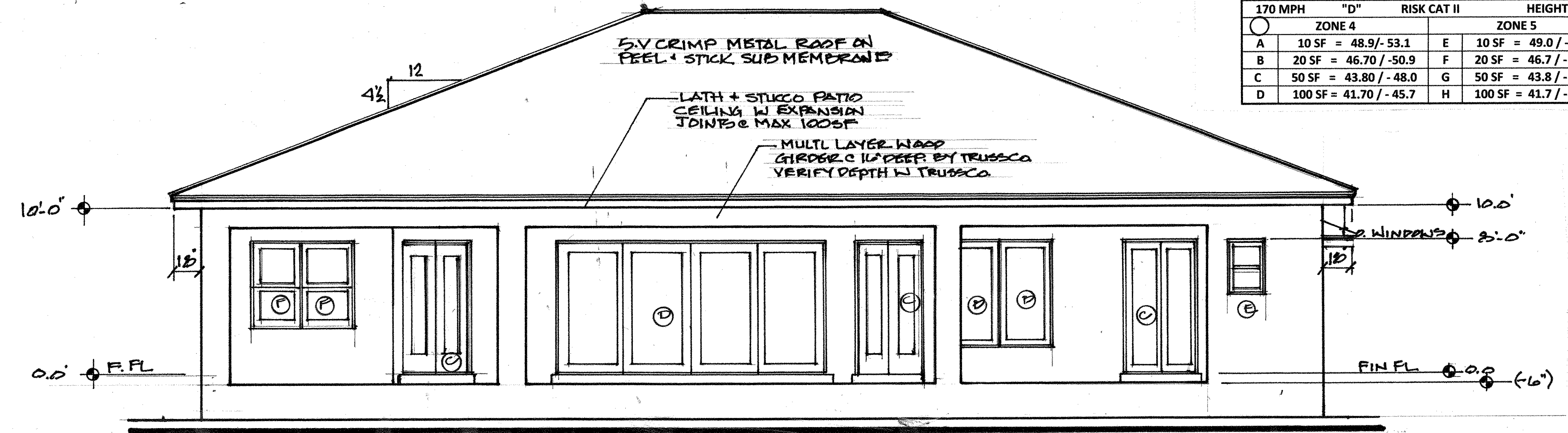
FLORIDA BUILDING CODE - FBRC 2017	
CONSTRUCTION TYPE VB	OCCUPANCY R-3
DESIGN PARAMETERS: A.S.C.E. 7-10	
ULTIMATE WIND SPEED	170 MPH
NOMINAL WIND SPEED	132 MPH
DESIGNED AS:	ENCLOSED
WIND EXPOSURE	"D"
PLUMBING CODE -	2014
NAT'L ELECTRIC CODE -	2014
MECHANICAL CODE -	2014
TOTAL ROOF LOAD	37 psf
TOTAL ROOF DEAD LOAD	27 psf
TOTAL ROOF LIVE LOAD	15 psf
STORAGE TRUSSES	20 psf
ROOF OVERHANG	18"
ROOF PITCH	4 1/2: 12
MEAN ROOF HEIGHT	25 FT
MIN. SOIL BEARING CAPACITY	2500 PSI
IMPACT ASSEMBLY	YES: IMPACT GLASS



FRONT ELEVATION: 1/4"=1'



RIGHT ELEVATION:



REAR ELEVATION: 1/4"=1'

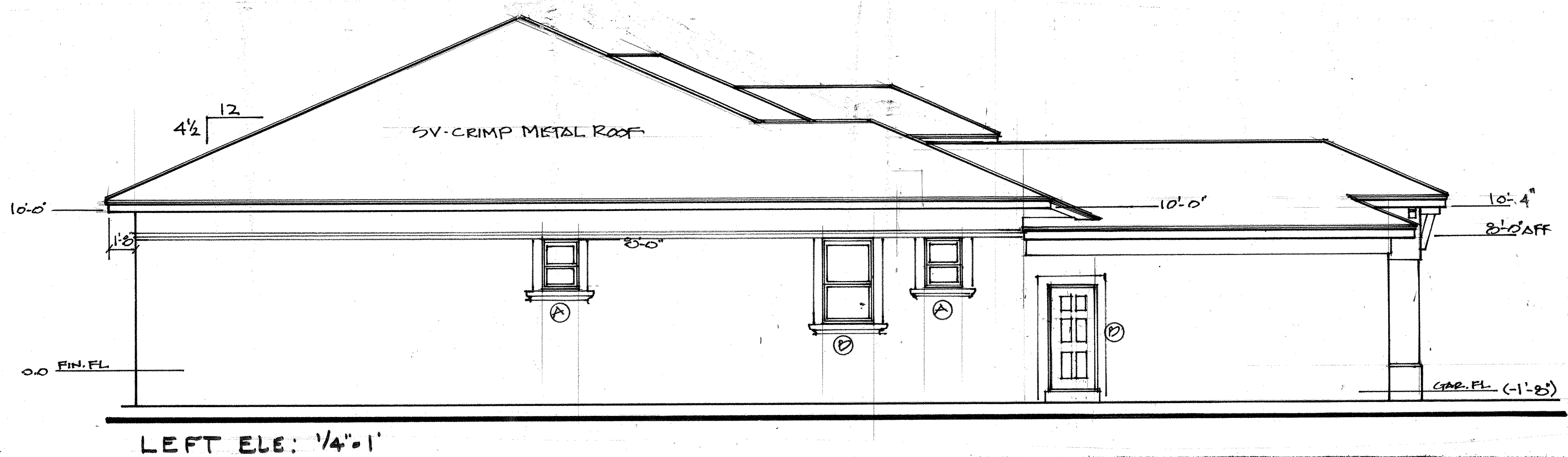
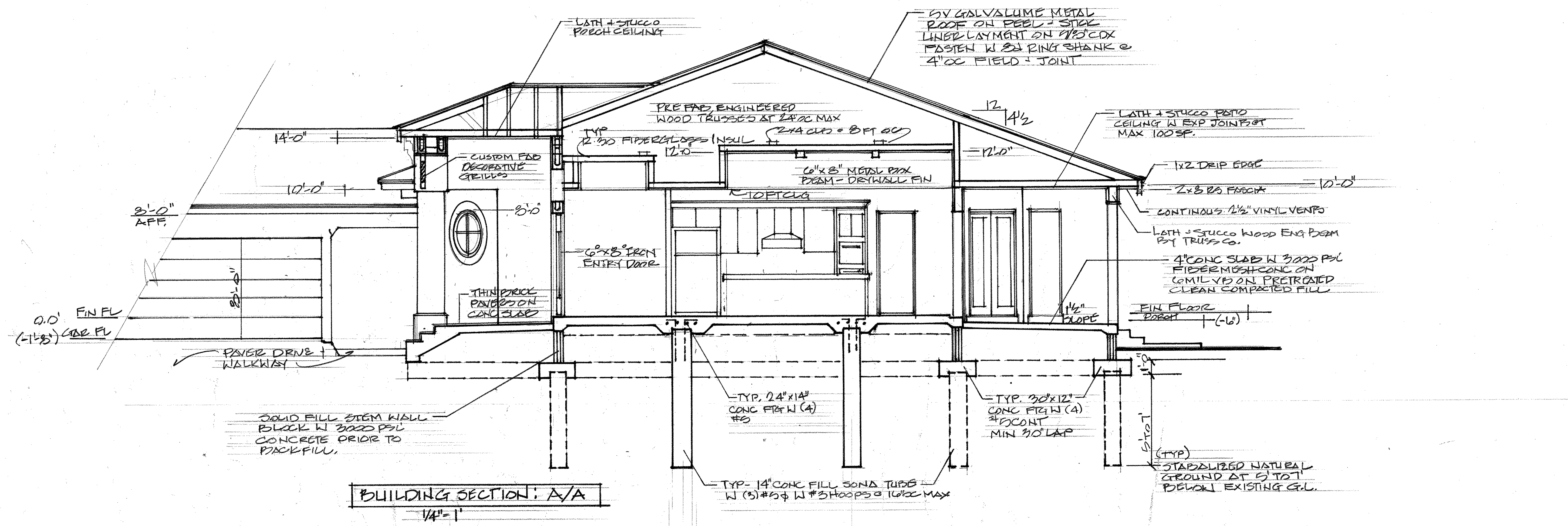
C & C Vasd		WALL & WIND PRESSURES	
ROOF SLOPES BETWEEN 2:12 & 6:12			
170 MPH	"D"	RISK CAT II	HEIGHT < 25
○	ZONE 4		ZONE 5
A	10 SF = 48.9 / -53.1	E	10 SF = 49.0 / -65.5
B	20 SF = 46.70 / -50.9	F	20 SF = 46.7 / -61.2
C	50 SF = 43.80 / -48.0	G	50 SF = 43.8 / -55.2
D	100 SF = 41.70 / -45.7	H	100 SF = 41.7 / -50.9

**Terry J. Brisson, llc**  
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 1705 Popoisse Ave  
 Ft. Pierce, Fl. 34949  
 (772) 828-0364 tjrthomes@gmail.com

**NEW RESIDENCE**  
**Mr & Mrs Dennis DeVivo**  
 Lot 7 Block 3 of Surfside; Unit 1  
 Fort Pierce, Florida

**ENGINEER:**  
 Anayis Pombal, PE  
 1457 SW Prairie Cir.  
 Port St Lucie, Fl. 34953  
 (561) 214-0781  
 anypombal@hotmail.com  
 PE # 77737

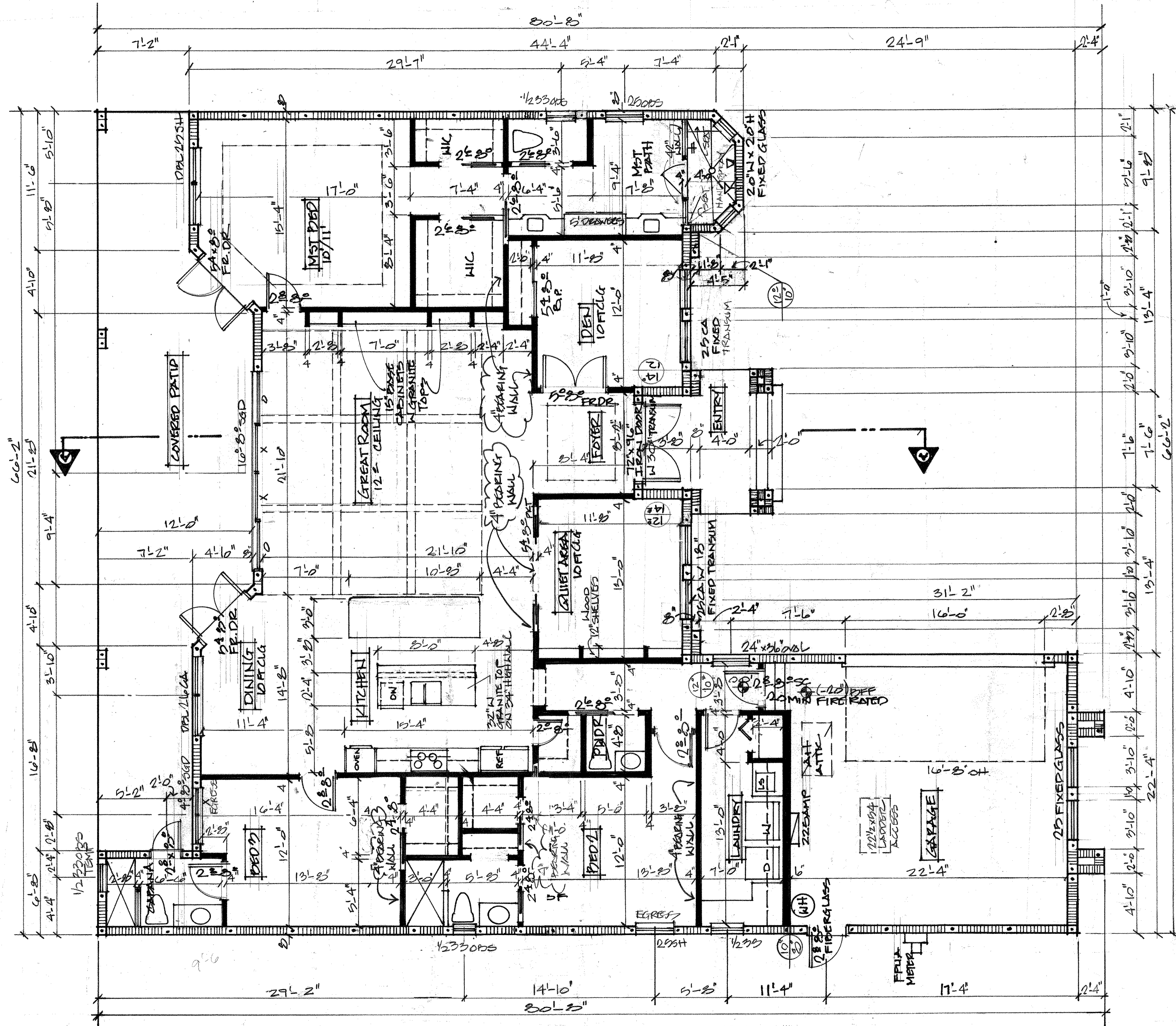
**DATE:**  
 Aug 2010  
**JOB#:**  
 18-749



**NEW RESIDENCE**  
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 (561) 214-0781  
 anypombar@hotmail.com  
 PE # 77737

**DATE:**  
 04/20/20  
**JOB#**  
 18-749



FLOOR PLAN  
1/4" = 1'

LIVING AREA	2,170 SF
GARAGE	550 SF
PATIO	553 SF
ENTRY	100 SF
<b>TOTAL</b>	<b>3,373 SF</b>

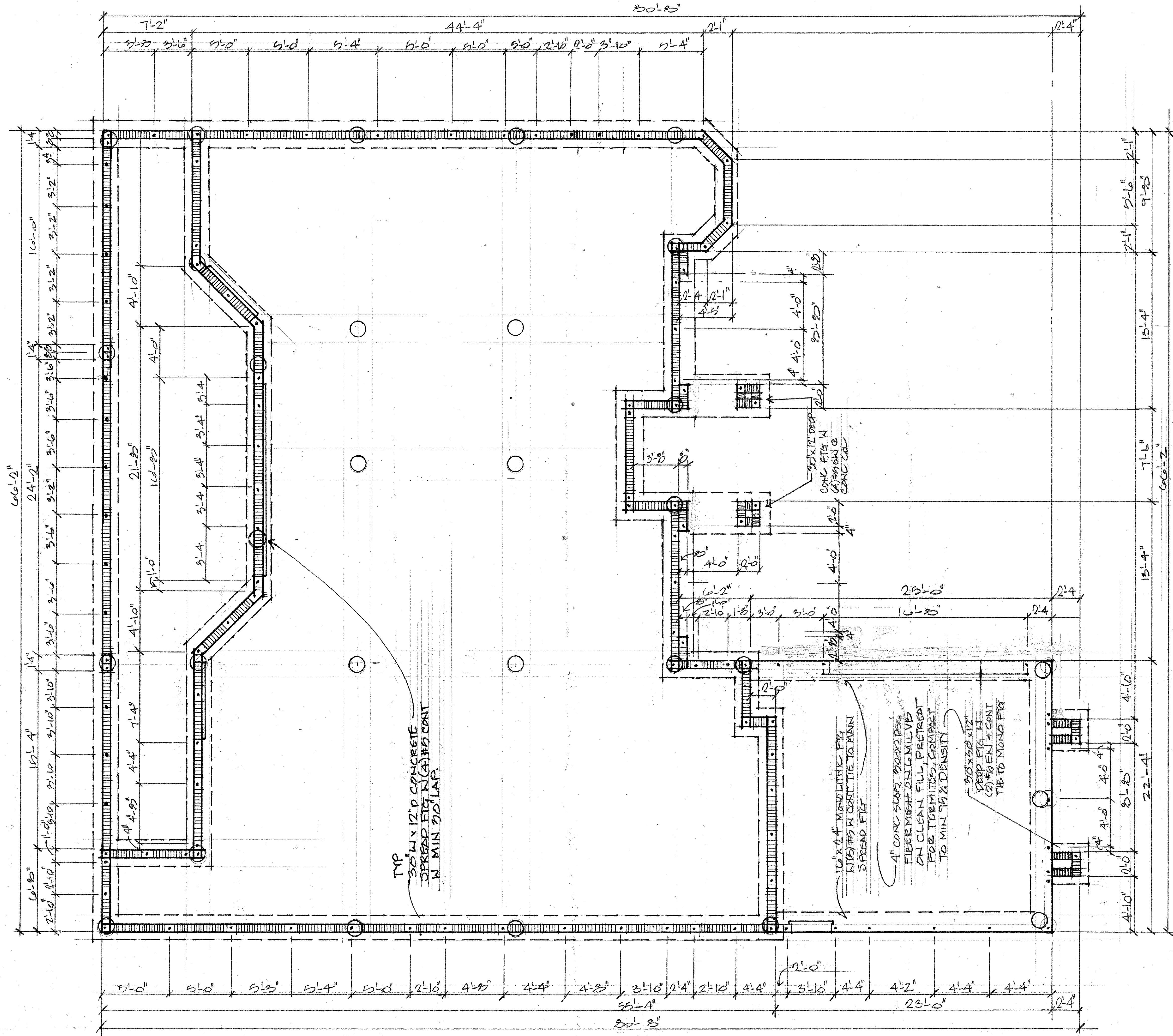
**ENGINEER:**  
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**DATE:**  
Aug 200  
**JOB #:**  
18 749

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(772) 828-0344 tjrcondhomes@gmail.com





STEM WALL & FOOTING PLAN

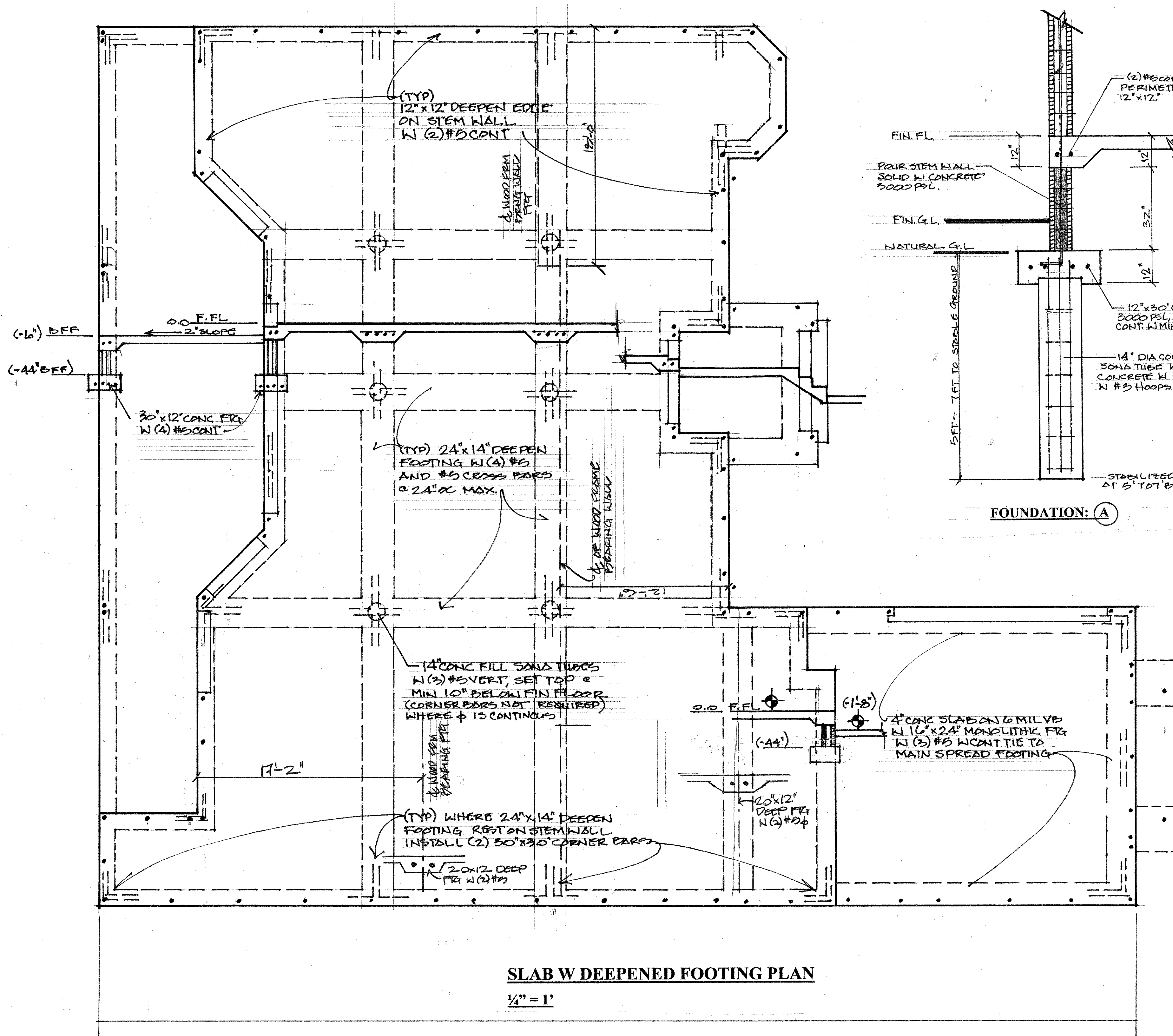
1/4" = 1'

**ENGINEER:**  
 Anayis Pombal, PE  
 1457 SW Prairie Cir.  
 Fort St. Lucie, FL 34953  
 (561) 214-0781  
 anypombal@hotmail.com  
 PE # 77737

**DATE:**  
 AUG 2008  
**JOB#**  
 18749

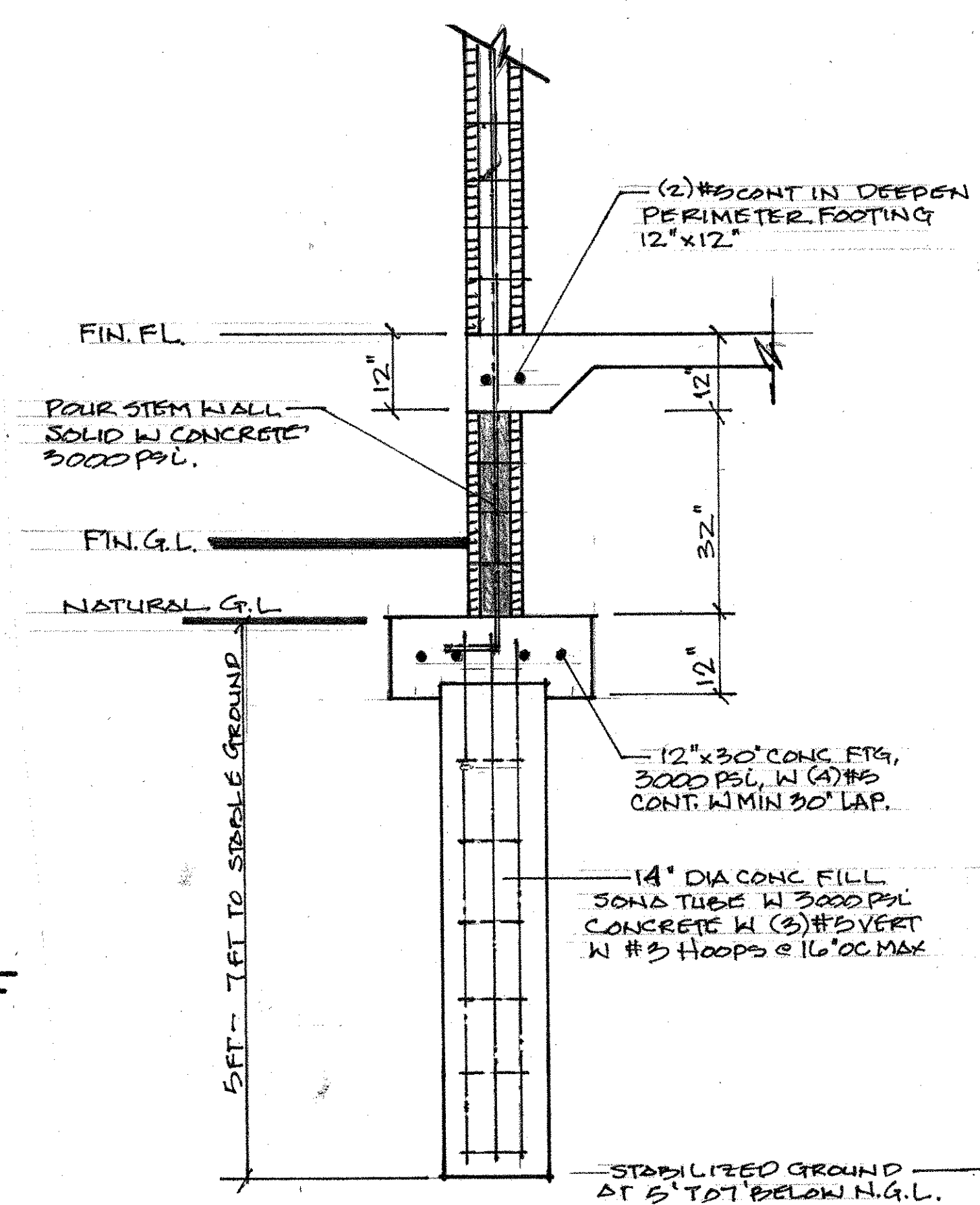
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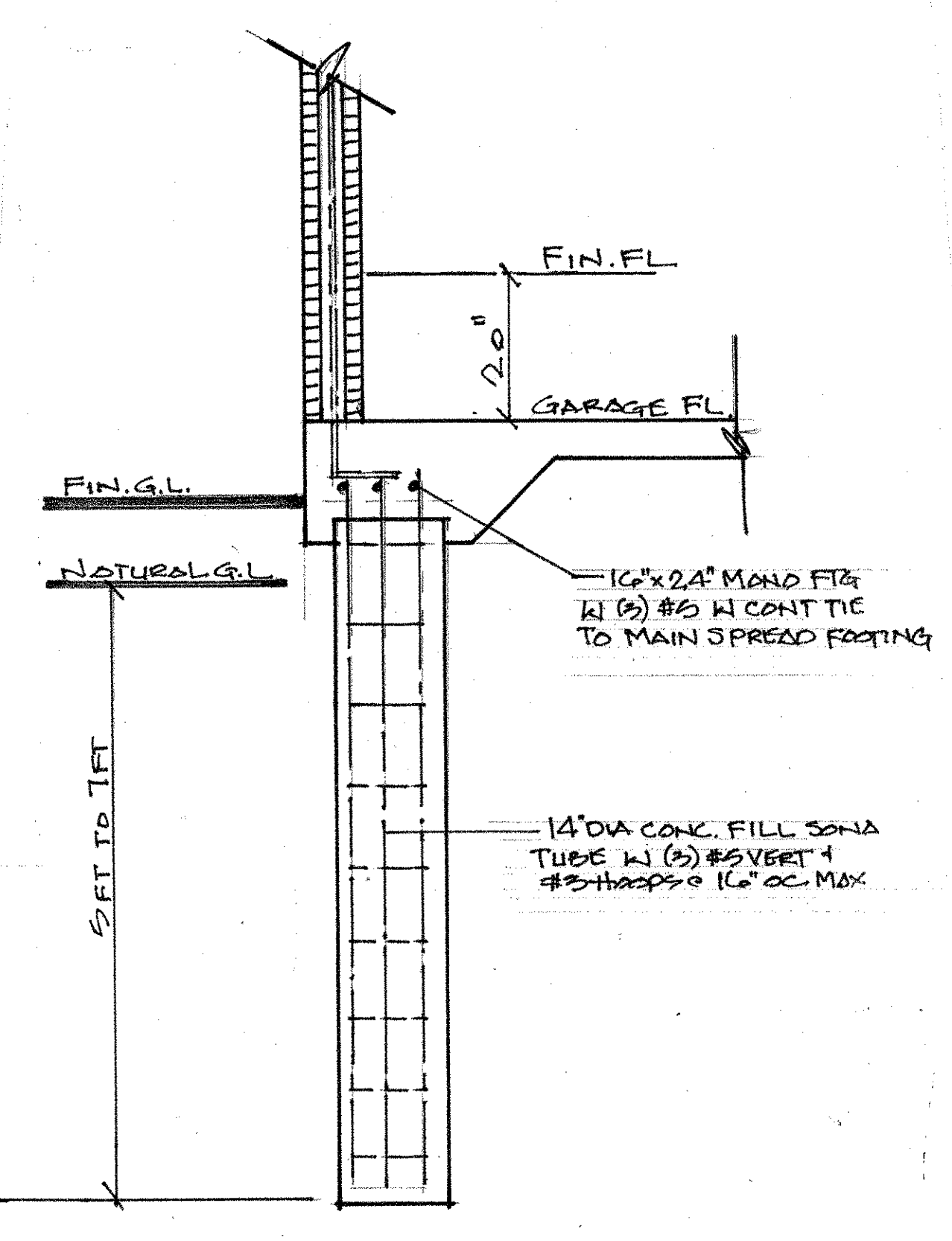


**SLAB W DEEPENED FOOTING PLAN**

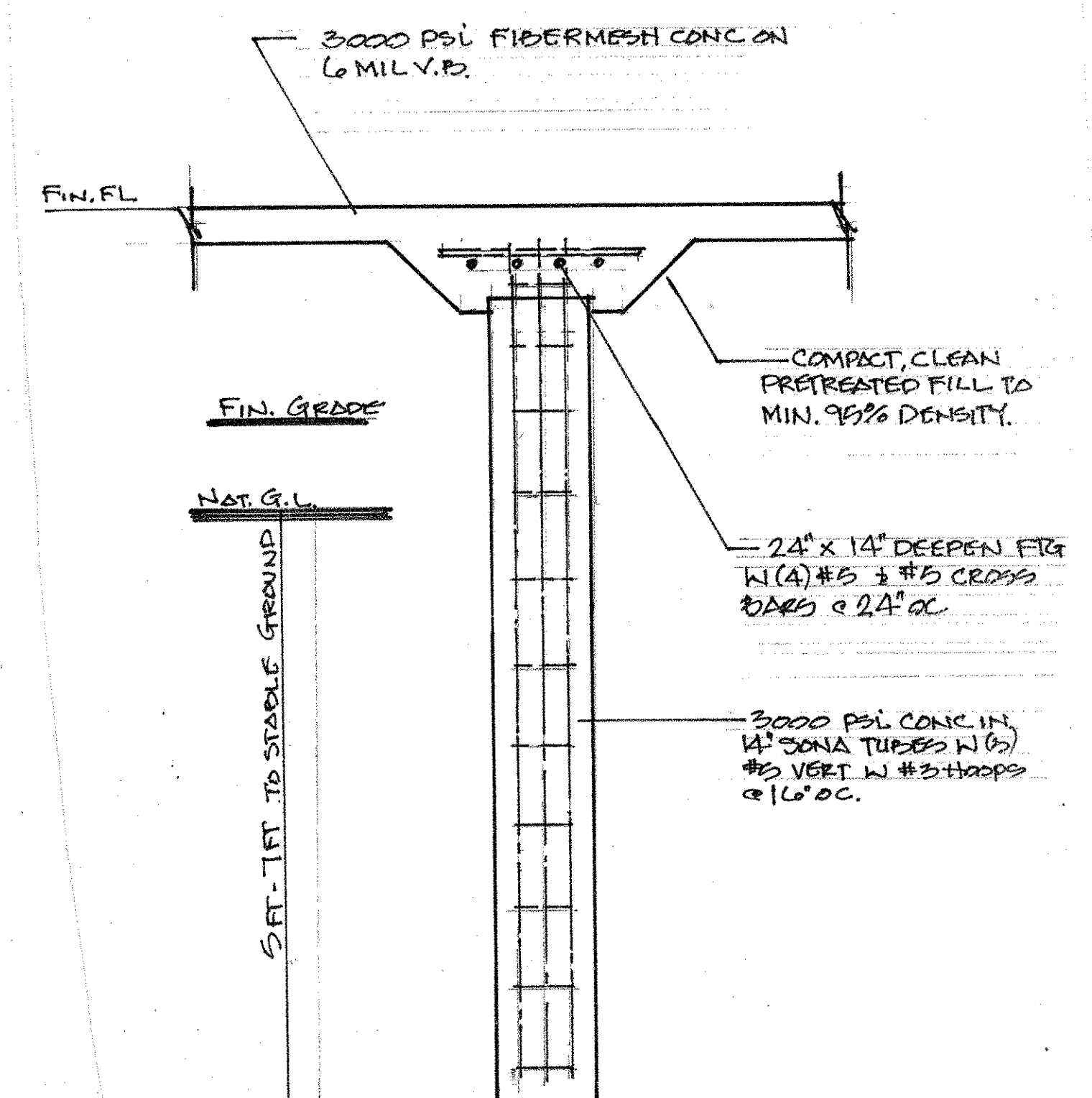
1/4" = 1'



**FOUNDATION: A**



**FOUNDATION: B**



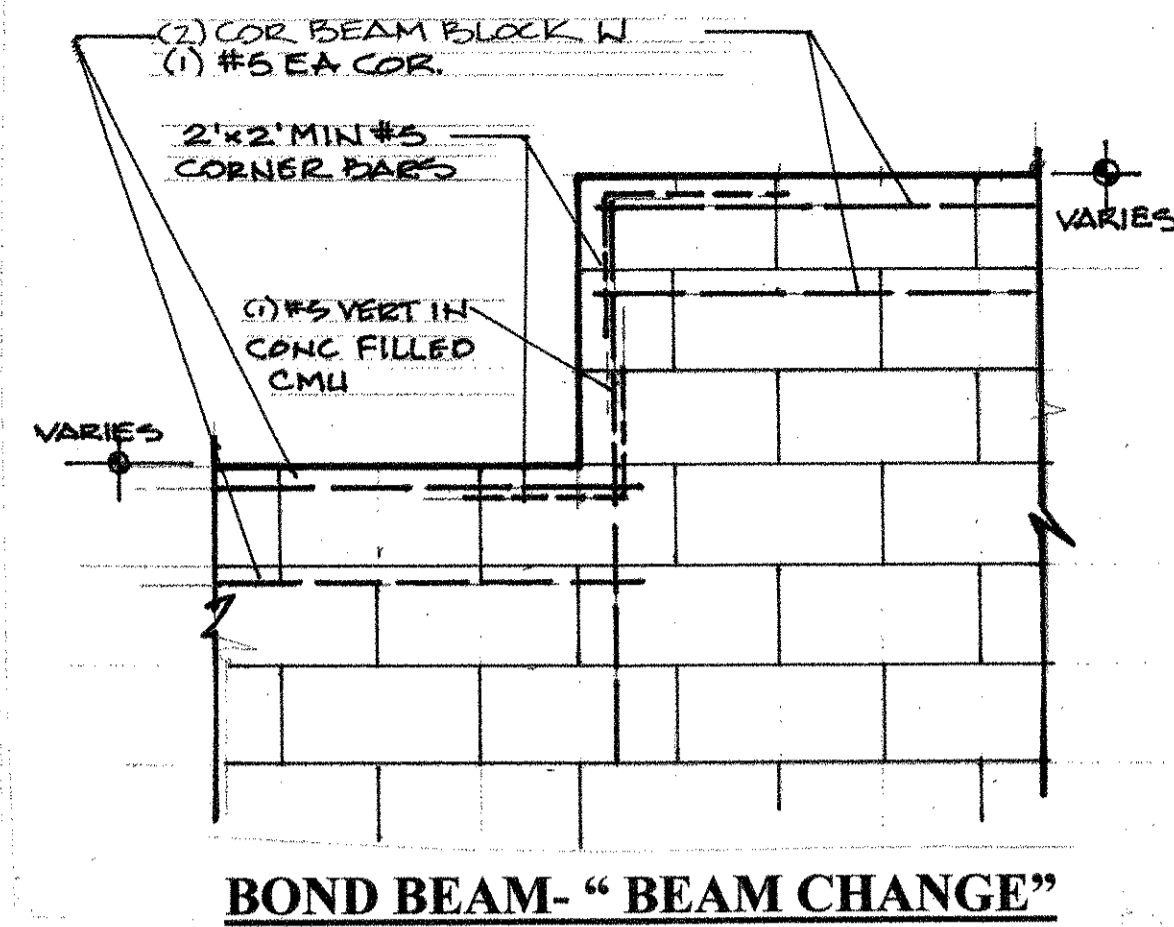
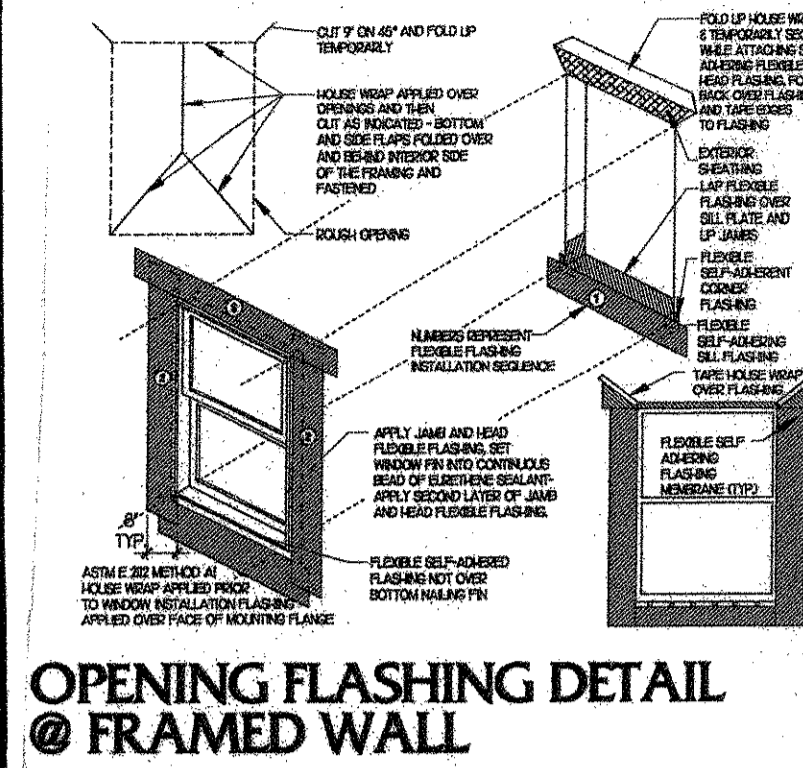
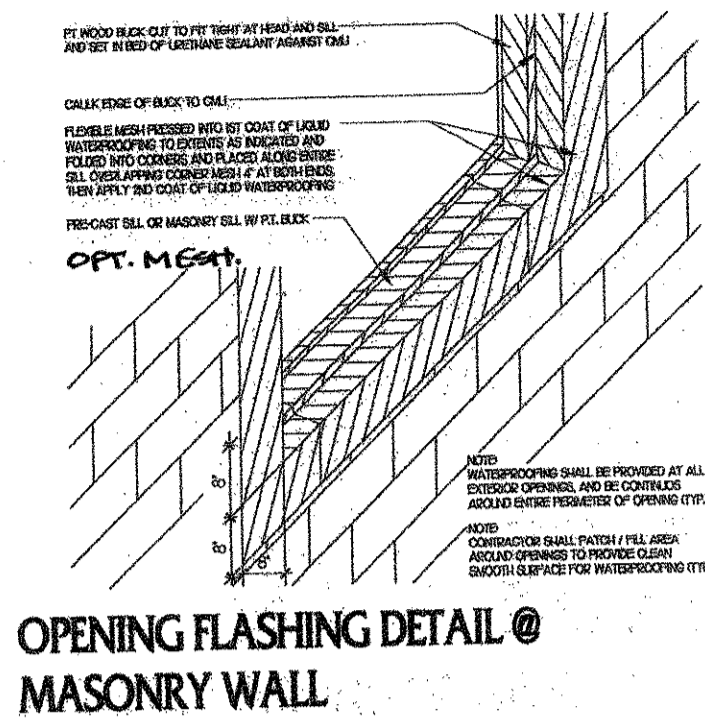
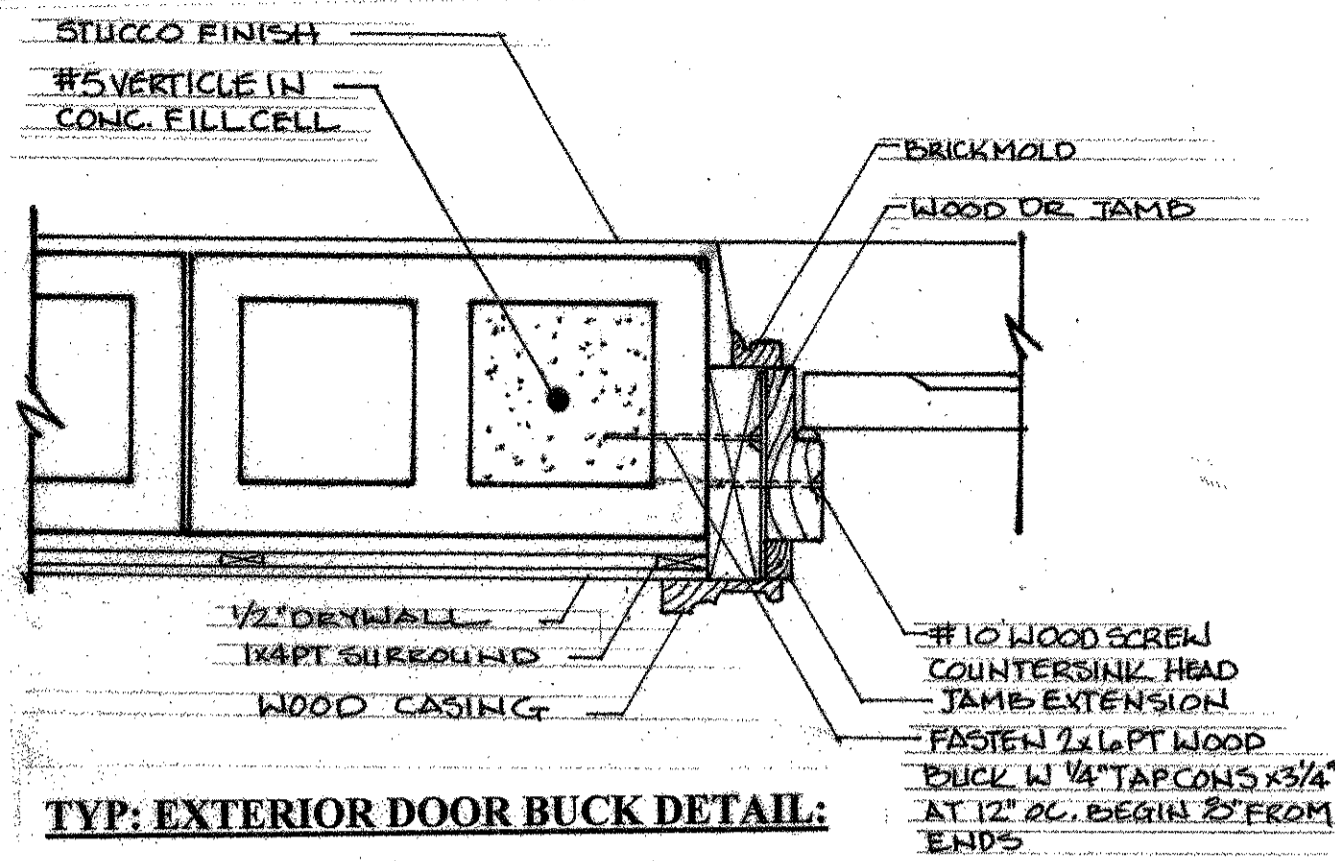
**FOUNDATION: C**

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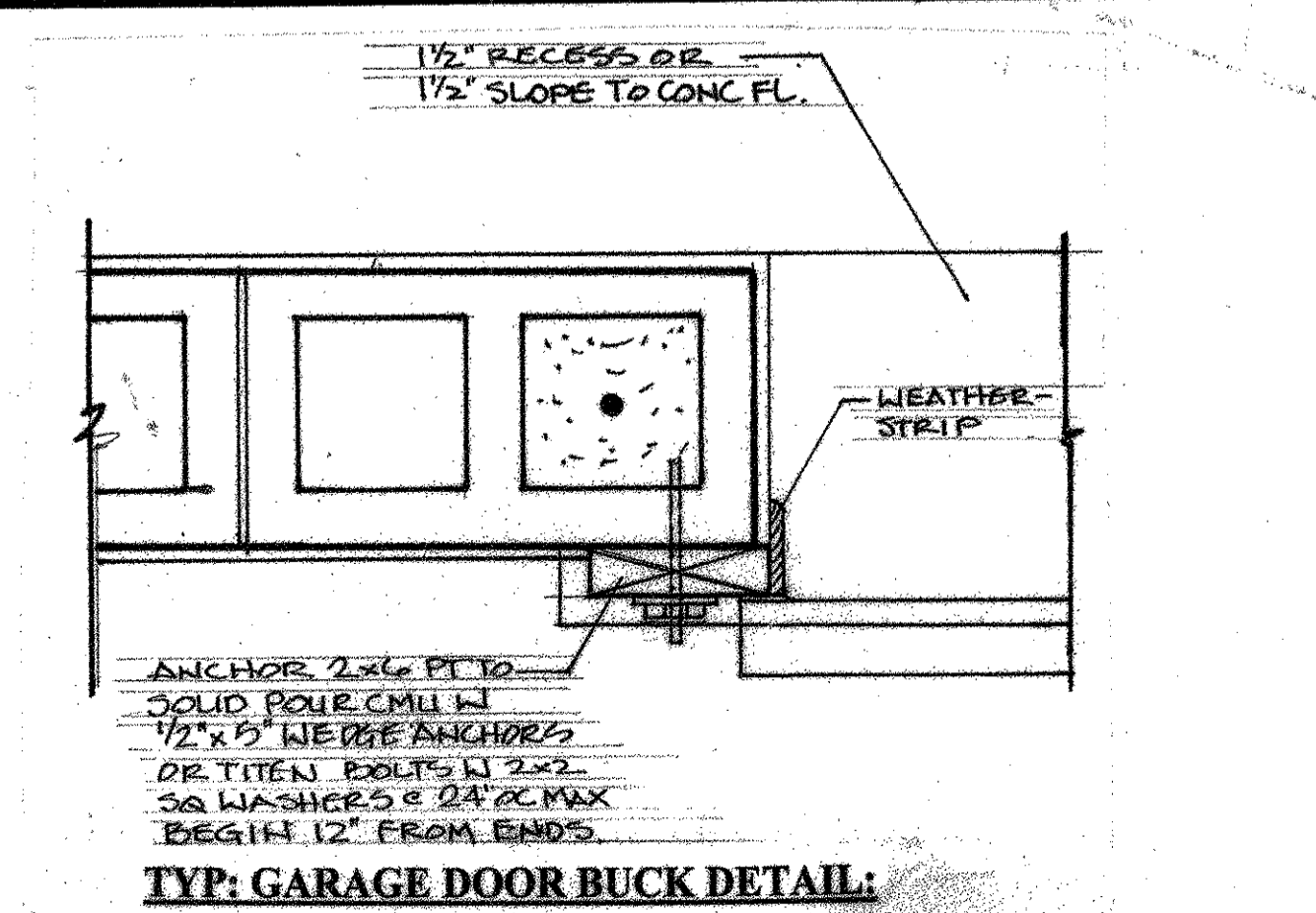
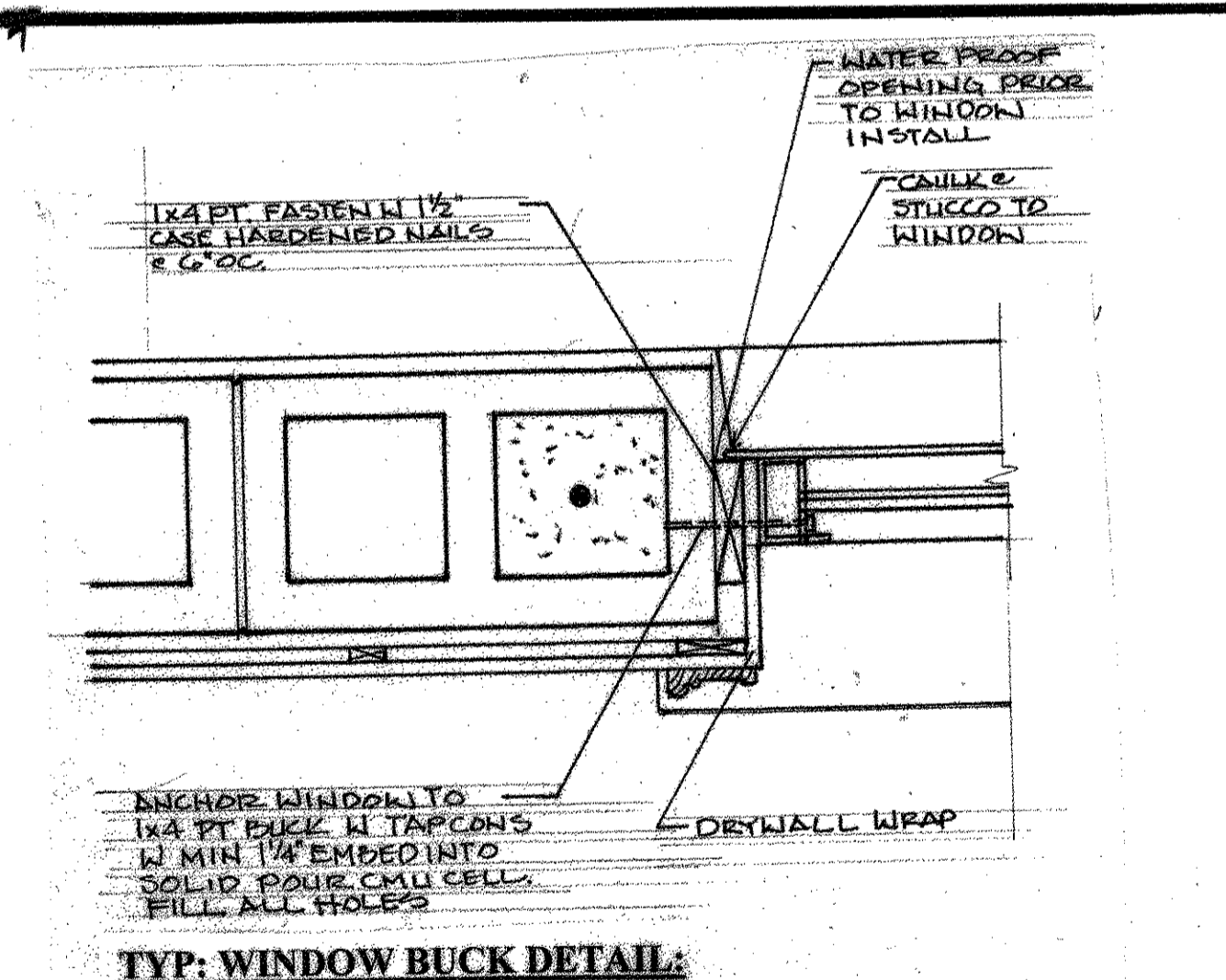
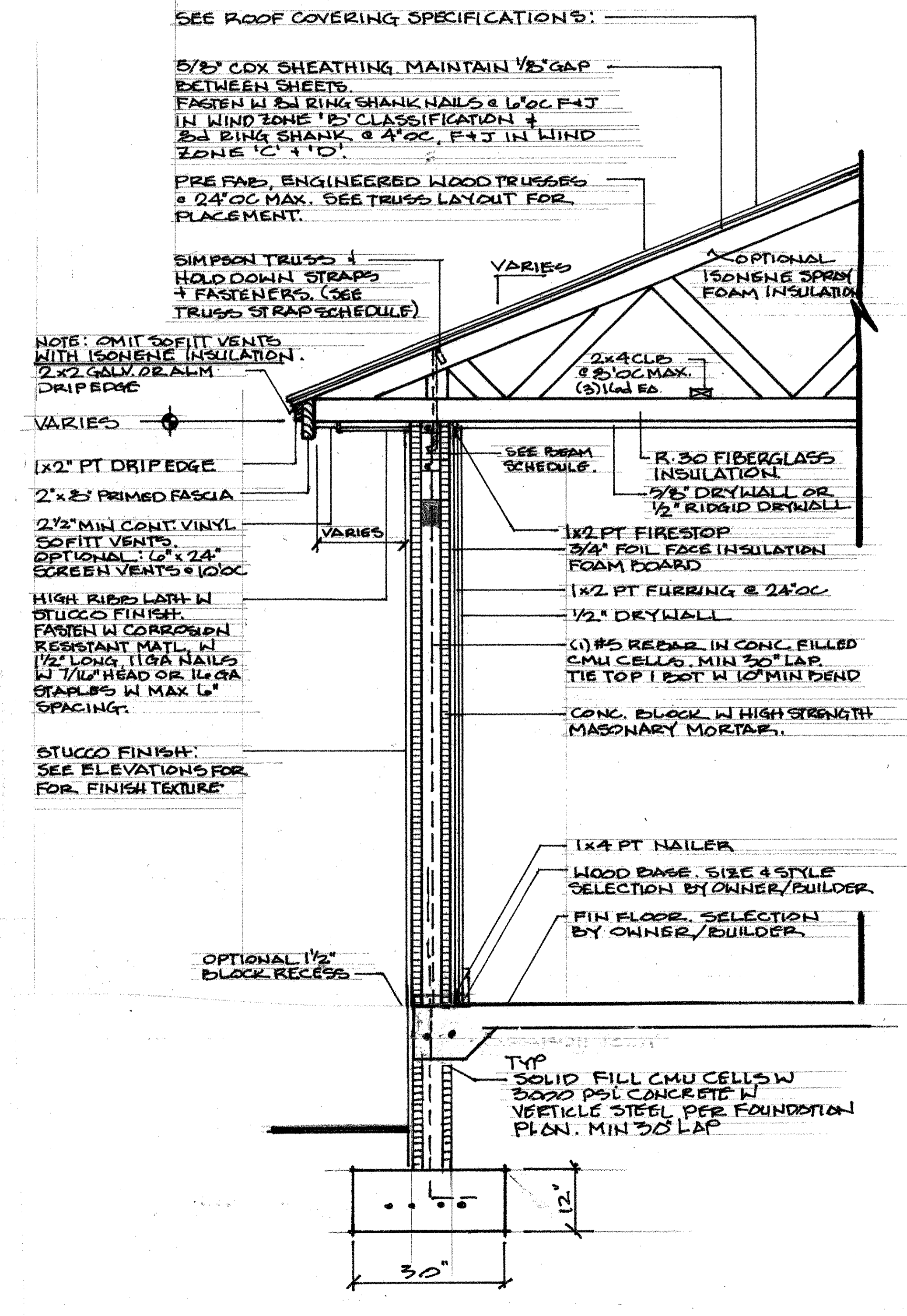
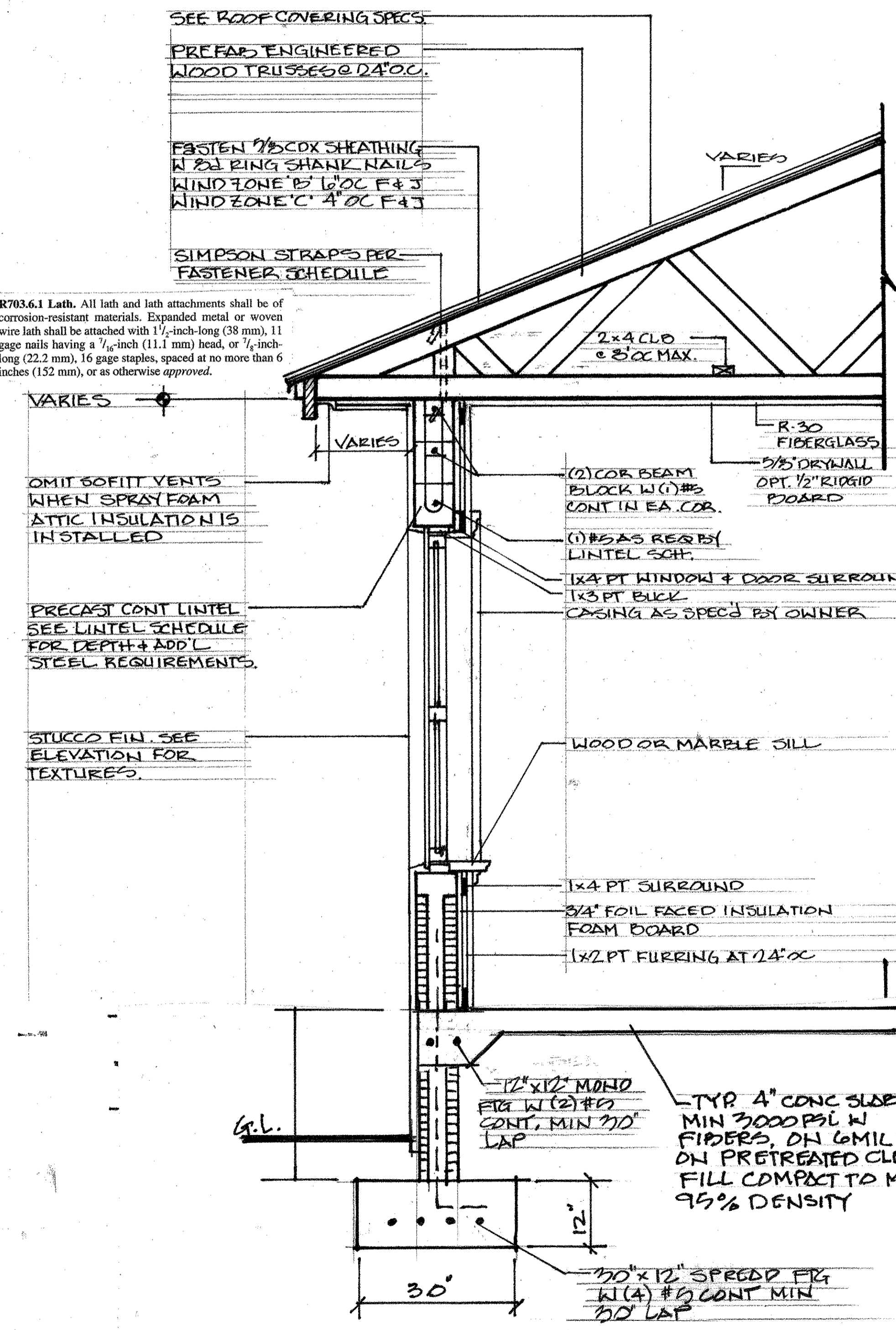
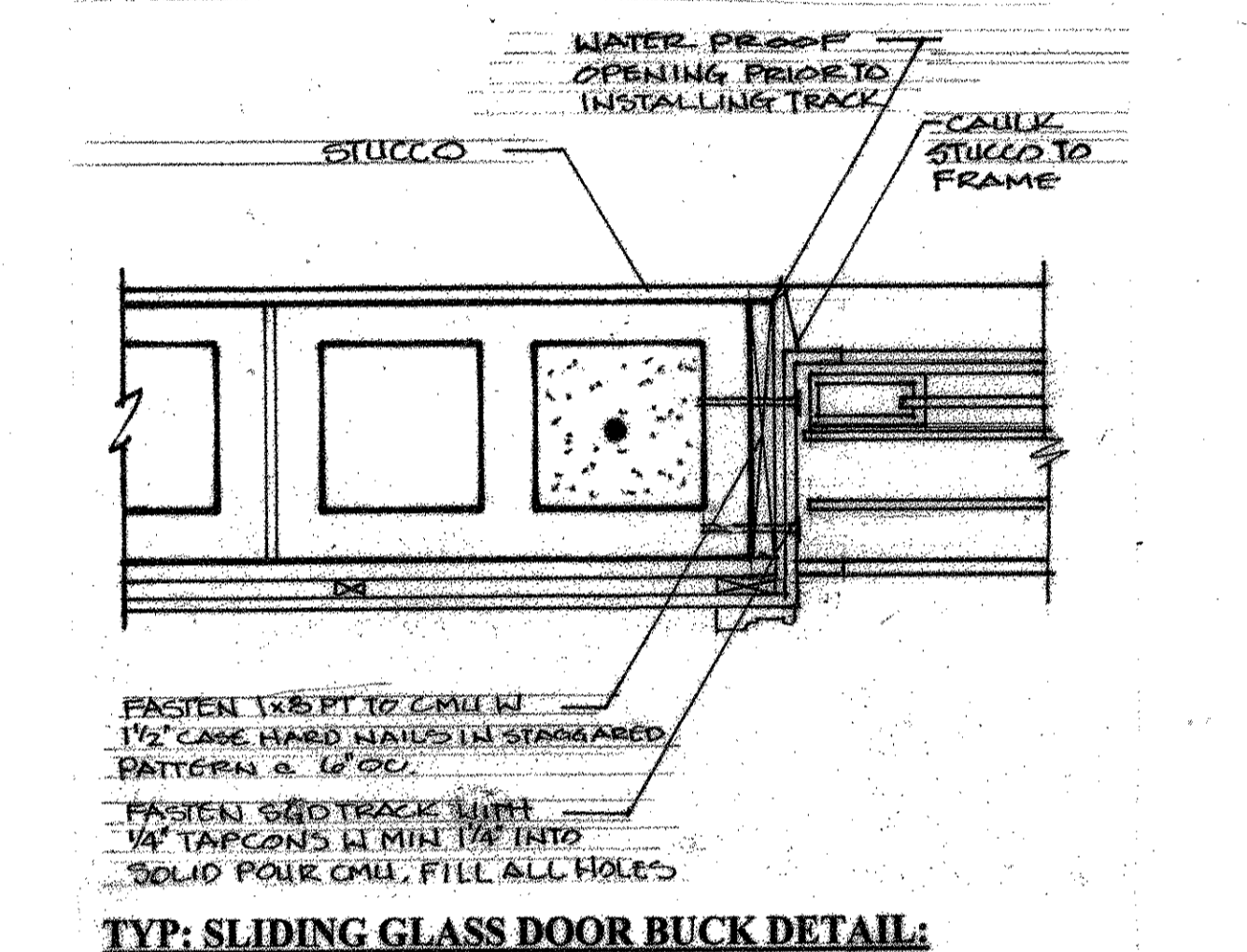


FLAME SPREAD INDEX FOR WALLS & CEILING SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 200.  
 SMOKE - DEVELOPED INDEX FOR WALLS & CEILING SHALL NOT BE GREATER THAN 450.  
 FLAME SPREAD INDEX FOR INSULATION SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL T25.

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA									
SUBJECT TO DAMAGE FROM		WIND DESIGN		SEISMIC DESIGN		WEATHERING		ICE BARRIER	
GROUND SNOW LOAD	WIND SPEED (mph)	Topographic effects*	DESIGN CATEGORY	Weathering	Frost line depth*	Temper*	DESIGN TEMP*	ICE BARRIER UNDERLAYMENT REQUIRED*	FLOOD HAZARD*
NA	See Fig. R301.2(4)	NA	NA	Negligible	NA	Very Heavy	NA	NA	NA

**ATTIC VENTILATION:**  
 3.903 SF OF ROOF AREA W OVERHANG  
 10 SF SOFFIT VENTILATION @ 3" VENTS  
 7" CONTINUOUS SOFFIT VENTS - 1 SF PER 4.75 SF VENTS  
 6" X 24" SCREEN VENTS @ 10 FT SPACING + 1 SF / 10 FT SOFFITS  
 300 LBS OF FIBC .25 SF / LF =  
 REQUIRED VENTS AT 1 SF VENTS / 150 SF ROOF  
 26 VENTS TO BE INSTALLED

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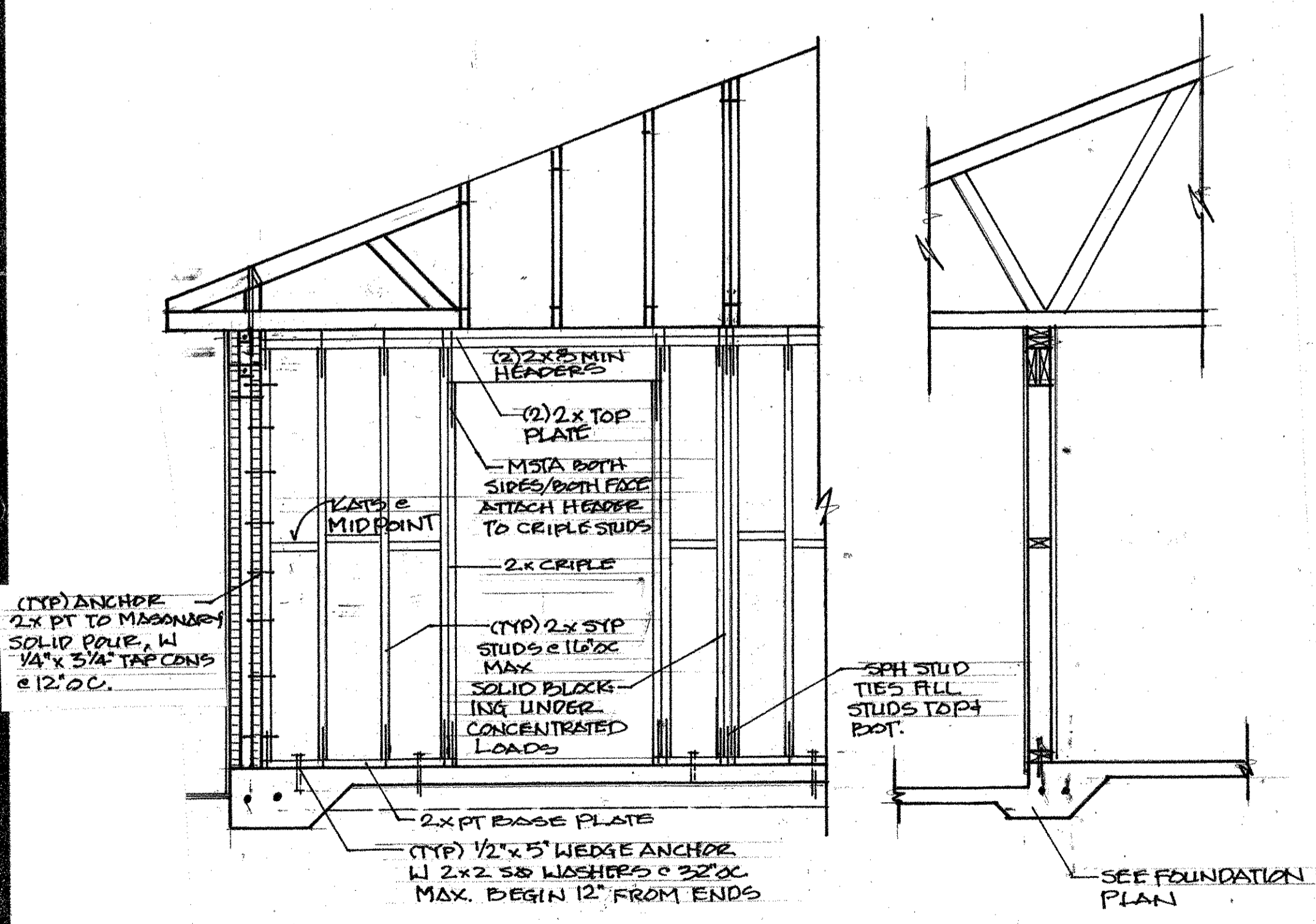
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**DATE:**  
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**DETAIL SHEET**  
 OF 8

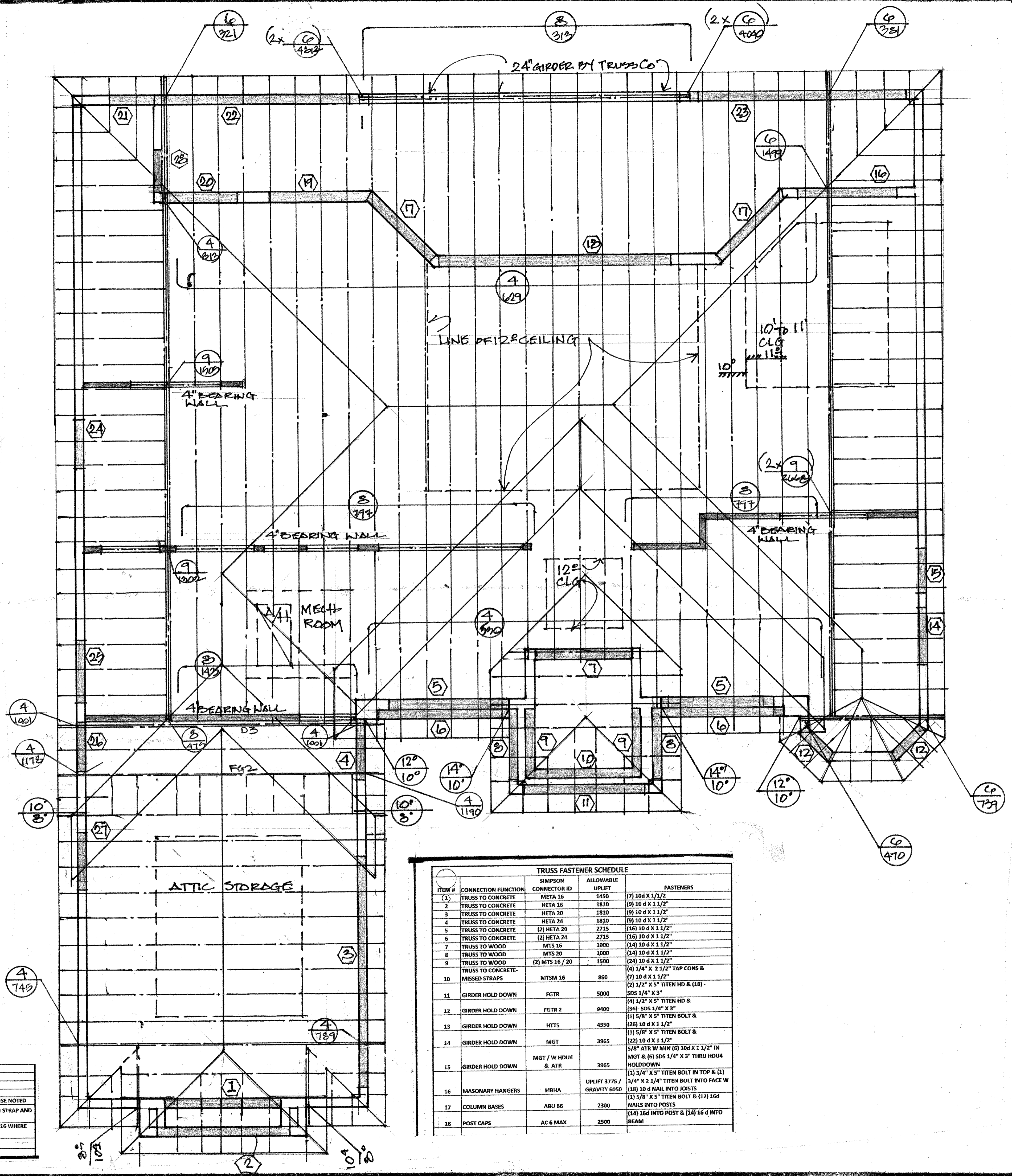
CAST CRETE-PRECAST LINTELS						
SAFE LOAD TABLES FOR PRECAST LINTELS						
1709 BAYSHORE DR; FORT PIERCE						
MARK ID	LENGTH	COMPOSITE BEAM	SAFE LOAD /LF	APPLIED LOAD/ LF	SAFE UPLIFT/ LF	APPLIED UPLIFT/ LF
1	9'-4"	8F24 IT	3486	NA	1811	NA
2	11'-4"	8F24 IT	2423	NA	1272	NA
3	17'-4"	8F 20 2T/1B	1326	1187	732	424
4	3'-6"	8F 24 IT	8054	NA	5591	NA
5	10'-6"	8F 48 IT/1B	4754	292	2544	162
6	11'-4"	8F 16 IT	1366	NA	798	NA
7	7'-6"	8RF 6	NA	NA	NA	NA
7-A	7'-6"	8F 32 IT	3685	307	3508	260
8	5'-4"	8F 48 IT	4249	NA	5861	NA
9	5'-4"	8F 48 IT	4249	NA	5861	NA
10	9'-4"	8F 16 IT	1625	NA	1133	NA
11	9'-4"	8F 16 IT	1625	NA	1133	NA
12	3'-6"	8F24 IT	6607	NA	5591	NA
13	NONE					
14	4'-0"	8F24 IT	5961	NA	4853	NA
15	3'-6"	8F 24 IT	8054	NA	5591	NA
16	7'-6"	8F 24 IT/1B	5681	1400	2571	750
17	7'-6"	8RF22 IT/1B	5743	260	2442	399
18	17'-4"	8F24 2T/1B	1609	1035	993	380
19	7'-6"	8F 24 IT/1B	5681	892	2571	296
20	5'-4"	8F24 IT/1B	7342	824	3607	274
21	3'-6"	8F24 IT	8054	NA	5591	NA
22	17'-4"	8F24 IT/1B	1609	274	993	151
23	17'-4"	8F24 IT/1B	1609	1450	993	750
24	3'-6"	8F24 IT	8054	NA	5591	NA
25	4'-6"	8F24 IT	4576	NA	4292	NA
26	4'-6"	8RF 18 IT	3968	NA	3374	NA
27	4'-4"	8RF 22 IT	5421	1187	4409	464

NOTES:  
 LINTEL LOADS NOT SHOWN ARE LESS THAN 750 PLF  
 UPLIFTS NOT SHOWN ARE LESS THAN 750 PLF  
 LINTEL DEPTHS MAY BE INCREASED AS NEEDED TO ACCOMMODATE ROUGH OPENING SIZE, W/NO ADDITIONAL STEEL REINFORCEMENT.  
 ALL RE-BAR TO BE #5 ASTM GRADE 60.  
 MINIMUM LINTEL BEARING IS 4"



TYP. WOOD FRAME BEARING WALL:

UPLIFTS NOT SHOWN ARE < 750 #
UNLESS OTHERWISE NOTED, MAX SHEAR IS 300 #
ALL LATERAL LOADS ARE LESS THAN 400# UNLESS OTHERWISE NOTED
ALL INTERIOR ARE NON BEARING UNLESS OTHERWISE NOTED
ENTIRE ROOF TO BE NAILED WITH 8d RING SHANK NAILS AT 6\"/>



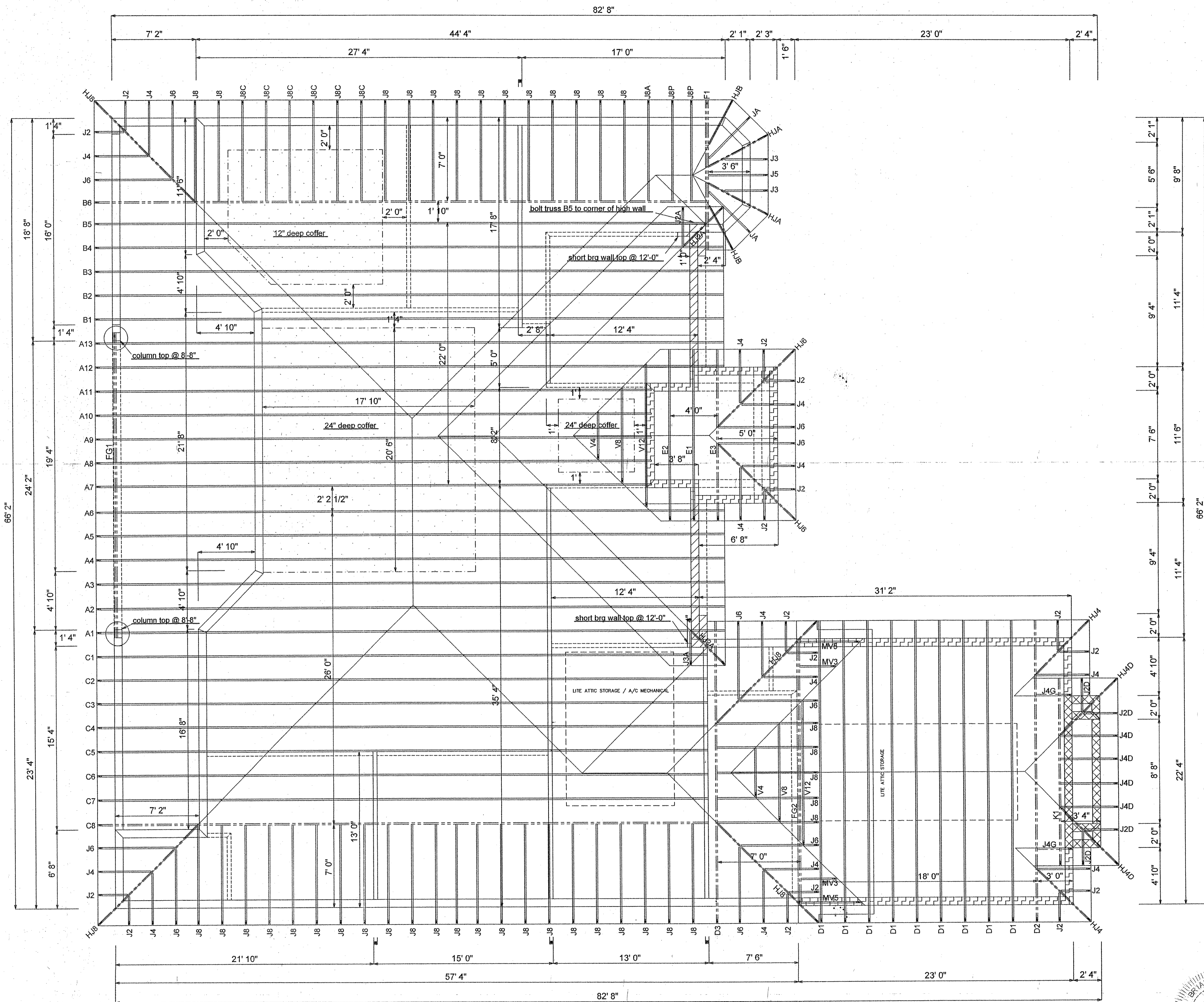
ITEM #	CONNECTION FUNCTION	SIMPSON CONNECTOR ID	ALLOWABLE UPLIFT	FASTENERS
1	TRUSS TO CONCRETE	META 16	1450	(7) 10d x 1 1/2"
2	TRUSS TO CONCRETE	META 16	1810	(9) 10 d x 1 1/2"
3	TRUSS TO CONCRETE	META 20	1810	(9) 10 d x 1 1/2"
4	TRUSS TO CONCRETE	META 24	1810	(9) 10 d x 1 1/2"
5	TRUSS TO CONCRETE	(2) META 20	2715	(16) 10 d x 1 1/2"
6	TRUSS TO CONCRETE	(2) META 24	2715	(16) 10 d x 1 1/2"
7	TRUSS TO WOOD	MTS 16	1000	(14) 10 d x 1 1/2"
8	TRUSS TO WOOD	MTS 20	1000	(14) 10 d x 1 1/2"
9	TRUSS TO WOOD	(2) MTS 16 / 20	1500	(24) 10 d x 1 1/2"
10	TRUSS TO CONCRETE-MISSED STRAPS	MTSM 16	860	(4) 1/2\"/>

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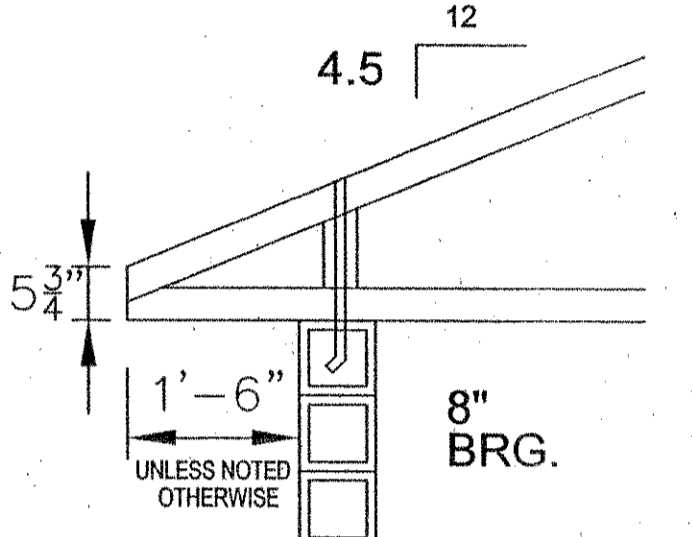
**TRUSS PLACEMENT PLAN**

ALL WALLS SHOWN ON THIS LAYOUT ARE TO BE LOAD BEARING

Hatch Legend	
	8'-0"
	9'-9 3/4"
	10'-0"
	12'-0"
	14'-0"

**TRUSS BEARING HEIGHT SCHEDULE**

APPROVED TRUSS ANCHOR BY BUILDER  
2x4 MINIMUM TOP and BOTTOM CHORDS  
PLUMB CUT CANTILEVER



**TYPICAL TRUSS END DETAIL**

**HANGERS TO BE USED**

(Simpson)	or	(Usp)
Ⓐ HUS26		Ⓐ HUS26
Ⓑ HGUS26-2		Ⓑ THDH26-2
Ⓒ HGUS26-2		Ⓒ THDH28-2
Ⓓ HHUS46		Ⓓ THD46
Ⓔ LUS24		Ⓔ JUS24

**NOTE:**

- YOUR SIGNATURE WILL ACKNOWLEDGE:
- AUTHORIZATION FOR FABRICATION.
  - VERIFICATION OF ALL DIMENSIONS, CONDITIONS, AND TRUSSES. TRUSSES WILL BE MADE IN STRICT ACCORDANCE WITH THIS PLACEMENT PLAN.
  - RECEIPT AND USE OF "HB-91 Summary Sheet COMMENTARY and RECOMMENDATIONS for HANDLING, INSTALLING & BRACING METAL PLATE CONNECTED WOOD TRUSSES" (TP).
  - NO BACK CHARGES OR CRANE CHARGES OF ANY KIND WILL BE ACCEPTED UNLESS SPECIFICALLY AUTHORIZED IN WRITING BY TRUSS PLANT MNGMT.

SIGNED \_\_\_\_\_  
TITLE \_\_\_\_\_  
DATE \_\_\_\_\_

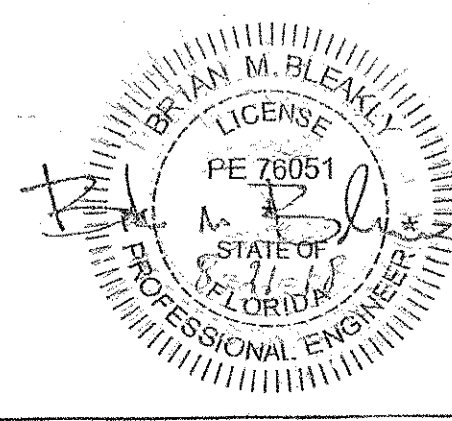
All spacing is 24" O.C., except as noted.  
All walls shown are bearing, except as noted.  
All valleys calculated with sheathing under.  
Number of girder piles to be determined by engineering.  
DO NOT CUT OR ALTER TRUSSES w/o AUTHORIZATION FROM THIS OFFICE.  
Labeling trusses is a service, not a requirement. Engineered drawings supercede labeling of trusses. It is the responsibility of the builder to utilize engineered drawings when erecting trusses.

**WARNING**

ERECTOR BRACING IS NOT THE RESPONSIBILITY OF TRUSS DESIGNER, PLATE MANUFACTURER, NOR TRUSS FABRICATOR. PERSONS ERECTING TRUSSES ARE CAUTIONED TO SEEK PROFESSIONAL ADVICE REGARDING ERECTION BRACING WHICH IS ALWAYS REQUIRED TO PREVENT TIPPING AND COLLAPSE DURING ERECTION, AND PERMANENT BRACING WHICH MAY BE REQUIRED IN SPECIFIC APPLICATIONS. SEE HB-91 Summary Sheet COMMENTARY and RECOMMENDATIONS for HANDLING, INSTALLING & BRACING METAL PLATE CONNECTED WOOD TRUSSES" (TP). TRUSSES ARE TO BE ERECTED AND FASTENED IN A STRAIGHT AND PLUMB POSITION WHERE NO SEATING IS APPLIED DIRECTLY TO THE TOP CHORDS, THEY SHALL BE BRACED AS SPECIFIED ON THE TRUSS DESIGN.  
TRUSSES SHALL BE HANDLED WITH REASONABLE CARE DURING ERECTION TO PREVENT DAMAGE.

**NOTE:**  
TRUSS COMPANY SUPPLIES ONLY TRUSS TO TRUSS CONNECTIONS.  
TRUSS COMPANY WILL SUPPLY ALL TRUSS TO TRUSS HARDWARE CONNECTIONS FOR REACTIONS UNDER 5000 POUNDS. FOR ALL REACTIONS GREATER THAN 5000 POUNDS, OR SKewed, NO HANGER IS SUPPLIED.  
CONTRACTOR SHOULD CHECK ALL REACTIONS FOR PROPER CONNECTIONS.

ASCE7-10 WIND and GRAVITY CRITERIA  
Exposure Category : C Bldg Category : 2 Wind Design Velocity : 170 MPH  
Imp. Factor : 1.00 Wind Load Duration Factor : 1.33 Mean Roof Height : 18' FL  
BRUNN W. BEAUMONT Street Eng. #2001, 2590 N. KINGS HIGHWAY FT. PIERCE, FL 34951 (772) 464-4100



Trusses shown on this layout are a component part of the building and show truss location. Proper erection, temporary and permanent bracing design are the responsibility of the building designer or his engineer. Lateral bracing shown on the individual truss drawings must be placed during the erection procedure.

JOB NO.: 4292  
LOT: BLK: \_\_\_\_\_  
ADDRESS: 1709 Bayshore Dr Ft. Pierce  
SUBDIVISION: \_\_\_\_\_

**SOUTHERN TRUSS COMPANIES, INC.**  
2590 N. Kings Highway Fort Pierce, FL 34951  
(772) 464-4100

CUSTOMER:  
**FLORIDA TREND HOMES**  
1709 Bayshore Dr Ft. Pierce  
DATE: 08/10/18  
SCALE: 3/16"=1'-0"  
DRAWING NUMBER: 4292

**ELECTRICAL PANEL NOTES**

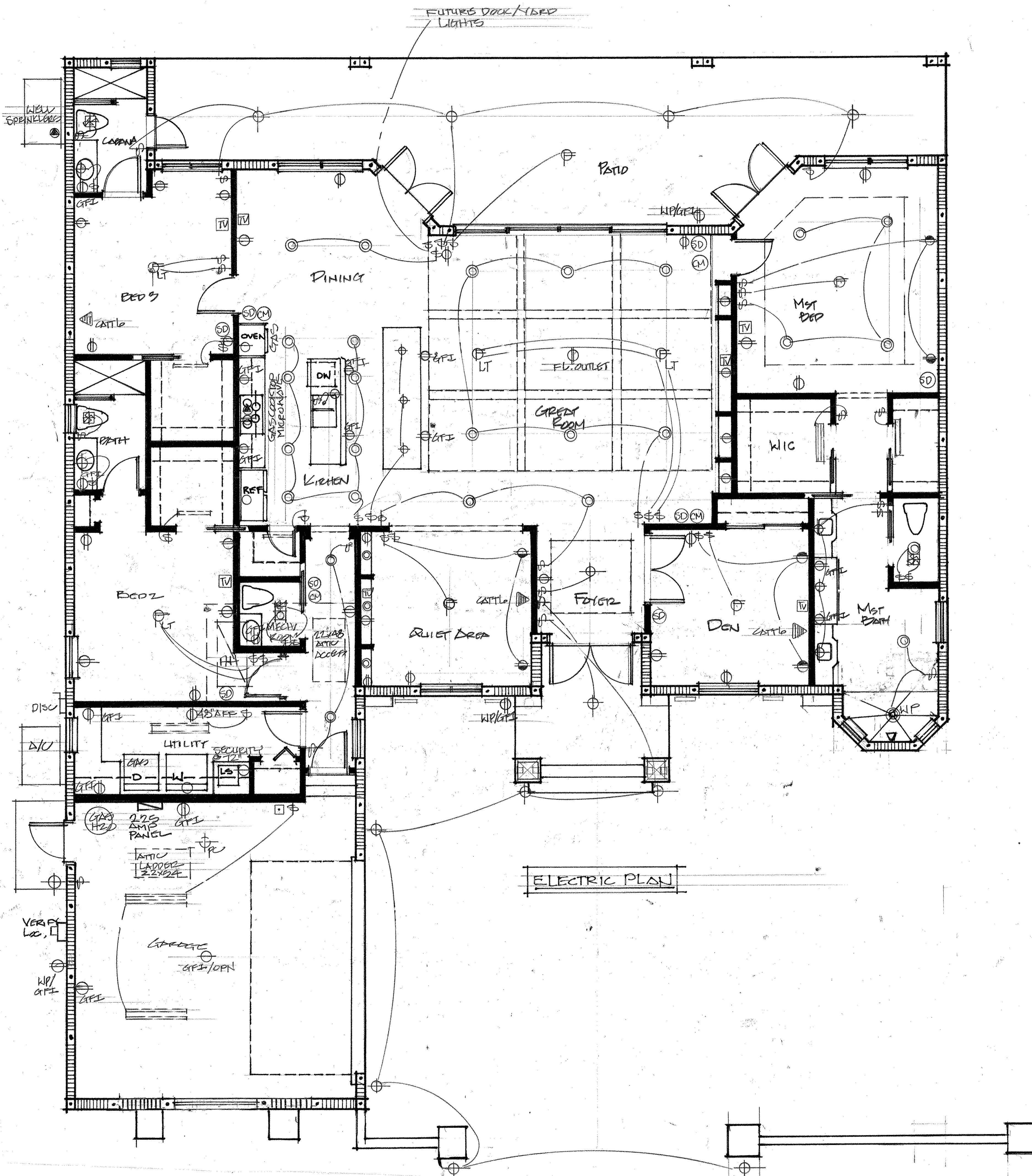
1. SMOKE DETECTORS SHALL BE INSTALLED AHEAD OF ALL SWITCHES AND SHALL BE CONNECTED TO BATHROOM OR KITCHEN LIGHTING CIRCUITS. SMOKE DETECTORS SHALL BE U.L. LISTED AND MEET THE REQUIREMENTS OF NFPA 74 AND NFPA 72-E. SMOKE DETECTORS SHALL BE DIRECT WIRED WITH BATTERY BACKUP.
2. THE PANEL SCHEDULE SHOWN ON PLANS IS ONLY FOR BREAKER SIZE REQUIREMENTS, WIRE SIZE, LOADS AND NUMBER OF CIRCUITS REQUIRED. ACTUAL SEQUENCE AND DESCRIPTION SHALL BE PLACED ON INSIDE PANEL COVERED BY ELECTRICAL CONTRACTOR.
3. PROVIDE ARC FAULT COMBINATION CIRCUIT PROTECTION FOR ALL 15/20 AMP SINGLE POLE CIRCUITS (THAT ARE NOT GFCI) AS PER 2017 NEC 210.12
4. PROVIDE TAMPER PROOF OUTLETS PER 2017 NEC 408.11

**ELECTRICAL NOTES:**

1. CONTRACTOR SHALL VERIFY WITH ELE. POWER COMPANY THE LOCATION OF SERVICE AND SHALL LOCATE METER & PANEL AS REQUIRED.
2. CONTRACTOR SHALL VERIFY WITH OWNER IF OVERHEAD OR UNDERGROUND SERVICE IS TO BE INSTALLED.
3. ALL WIRE SHALL BE COPPER UNLESS OTHERWISE NOTED.
4. ALL WORK TO CONFORM TO AND SHALL BE DONE IN ACCORDANCE WITH 2017 NEC AND LATEST ADDENDUMS.
5. ELE CONTRACTOR SHALL VERIFY ELE PLAN, RISER DIAGRAM AND LOAD CALCULATIONS AND NOTIFY CONTRACTOR OF ANY ERRORS, DISCREPANCIES PRIOR TO INSTALLATION.
6. ELECTRICAL CONTRACTOR TO SIZE MOST BRANCH CIRCUITS
7. COORDINATE RACEWAY INSTALLATION WITH OTHER TRADES PRIOR TO CONSTRUCTION
8. PROVIDE DISCONNECT SWITCH OF SIZE AS REQUIRED BY UNIT LOAD.
9. VERIFY ALL CONDUCTORS AND BREAKERS WITH EQUIPMENT MANUFACTURERS SPECIFICATIONS.
10. IN KITCHEN, DINING & BATHROOMS, RECEPTACLE OUTLETS FOR COUNTER SPACES SHALL BE GFCI PROTECTED ACCORDING TO NEC 210-8
11. PROVIDE ARC FAULT BREAKERS FOR ALL BEDROOMS
12. ALL CLOSET LIGHTING SHALL COMPLY WITH NEC SEC. 410.8
13. CONNECT #4 COPPER GROUND TO NEAREST COPPER COLD WATER LINE AND FOOTING STEEL AND SECURE WITH APPROVED BRASS CLAMPS.
14. RECEPTICLES SHALL BE 15A, 120 V, OF THE GROUND TYPE @ 12" AFF UNLESS OTHERWISE SPECIFIED.
15. SWITCHES SHALL BE 45" AFF UNLESS OTHERWISE SPECIFIED
16. LIGHT FIXTURES TO BE SELECTED BY CONTRACTOR OR OWNER.
17. DEDICATED CIRCUITS TO HAVE NO MORE THAN 6 DUPLEX RECEPTICLES.

**ELECTRICAL PANEL: 225 AMPS**

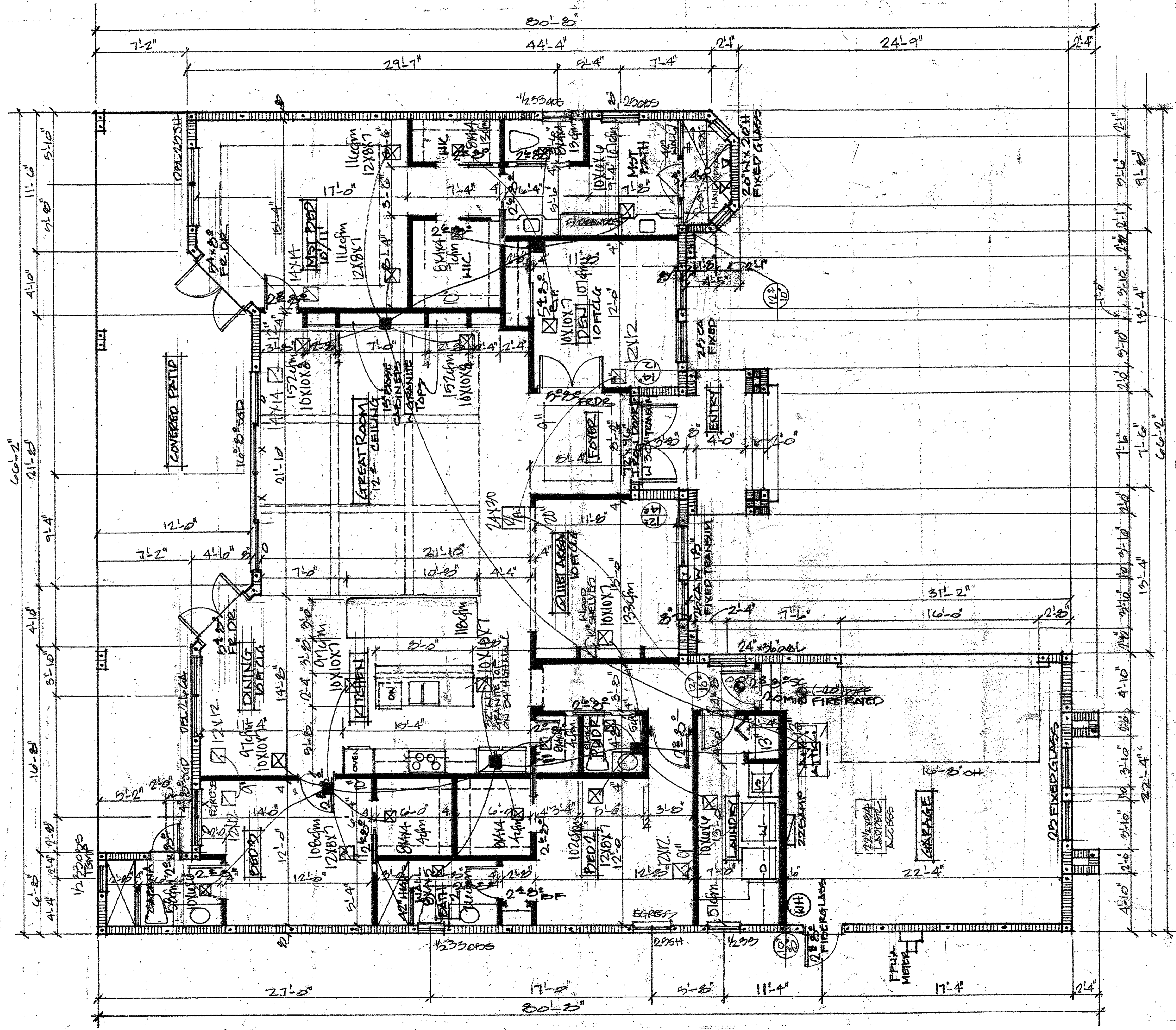
LOAD DESCRIPTION	WATTS	WIRE	BRK	MLO	MLO	BRK	WIRE	WATTS	LOAD DESCRIPTION
RANGE	8.0 KW	#8	2P/50A	1	2	60A / 2P	#6	(10 KW)	A/H
DRYER	5.0 KW	#10	30A/2P	5	6	40A/2P	#8	1.5 KW	AC COMPRESSOR
HWH	4.5 KW	#10	30A/2P	7	8	20A/1P	#12	1.5 KW	DISHWASHER
SMALL APPLIANCES	3.0 KW	#12	20A/1P	9	10	20A/1P	#12	1.5 KW	REFRIGERATOR
GAR DR OPENER	1.0 KW	#12	20A/1P	11	12	20A/1P	#12	1.5 KW	MICROWAVE
BEDROOM #2		#14	15A/1P	13	14	20A/1P	#12	1.0 KW	GARBAGE DISPOSAL
BEDROOM #3		#14	15A/1P	15	16	15A/1P	#14	2.2 KW	CEILING FANS @ 2 KW
MST BED		#14	15A/1P	17	18	15A/1P	#14	2.8 KW	GFCI OUTLETS .15 KW
MST BATH/ CLO		#14	15A/1P	19	20	15A/1P	#14	4.5 KW	EXT LIGHTS @ .5 KW
KITCHEN LIGHTING		#14	15A/1P	21	22	15A/1P	#14	3.7 KW	GENERAL LIGHTING
CEILING LIGHTS		#14	15A/1P	23	24	15A/1P	#14	3.7 KW	1220 SF
GENERAL LIGHTING		#14	15A/1P	25	26				DEN
1,500 SF	4.5 KW	#14	15A/1P	27	28				KITCHEN
				29	30	15A/1P	#4	3.0 KW	SPARE
				31	32				
				33	34				
				35	36				
				37	38				
				39	40				
				41	42				
TOTAL WATTS	27.0 KW							23.30 KW	TOTAL WATTS
TOTAL WATTS:		50,300 WATTS							
A/C AT 100%		10.0 KW							
1 ST 10,000 WATTS		10.0 KW							
BALANCE OF 40,300 WATTS @ 40%		16.12 KW							
TOTAL WATTS		36.12 KW							
36,120 WATTS / 240 VOLTS = 150.50 AMPS									



**Terry J. Brisson, llc**  
**DESIGN & DRAFTING SERVICES**  
 1705 Popoese Ave  
 Ft. Pierce, Fl. 34949  
 (772) 828-0344 tjrrendhomes@gmail.com

**NEW RESIDENCE**  
**Mr & Mrs Dennis DeVivo**  
 Lot 7 Block 3 of Surfside; Unit 1  
 Fort Pierce, Florida

DATE: **4/19/2018**  
 JOB#: **18-749**



FLOOR PLAN  
1/4" = 1'

LIVING AREA	2,120 SF
GARAGE	530 SF
PATIO	553 SF
ENTRY	100 SF
TOTAL	3,903 SF

DATE \_\_\_\_\_  
JOB \_\_\_\_\_

**Terry J. Brisson, Inc.**  
 DESIGN & DRAFTING SERVICES  
 1705 Polpoise Ave  
 Ft. Pierce, FL 34949  
 (772) 828-0364 ttrendhomes@gmail.com

**LEGAL DESCRIPTION:**

ALL OF LOT 7, BLOCK 3, SURFSIDE UNIT ONE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 10, PAGE 17 OF THE PUBLIC RECORDS OF ST. LUCIE COUNTY, FLORIDA.

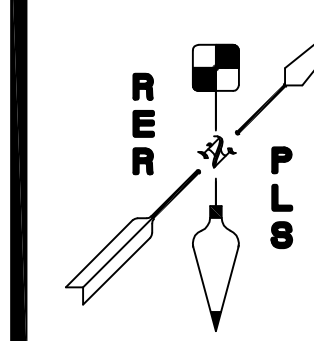
**BOUNDARY AND TOPOGRAPHIC SURVEY  
CONSTRUCTION LAYOUT SURVEY**

ABBREVIATIONS:

A/C = AIR CONDITIONER  
(C) = CALCULATED  
(C.F.T.) = CALCULATED FROM TRAVERSE  
(CL) = CENTERLINE  
C.B.S. = CONCRETE BLOCK STRUCTURE  
E/P = EDGE OF PAVEMENT  
E.O.W. = EDGE OF WATER  
E.F.B. = ELECTRONIC FIELD BOOK  
EL. = ELEVATION  
FIRM = FLOOD INSURANCE RATE MAPS  
FND. = FOUND  
(M) = MEASURED  
N.G.V.D. OF 1929 = NATIONAL GEODETIC VERTICAL DATUM OF 1929.  
N.A.V.D. OF 1988 = NORTH AMERICAN VERTICAL DATUM OF 1988.

ABBREVIATIONS:

N.T.S. = NOT TO SCALE  
O/S = OFFSET  
P.C.P. = PERMANENT CONTROL POINT  
(P) = PLAT  
P.O.B. = POINT OF BEGINNING  
P.R.M. = PERMANENT REFERENCE MONUMENT  
(R) = RECORD  
P.C. = POINT OF CURVATURE  
P.I. = POINT OF INTERSECTION  
S/W = SIDEWALK  
T.O.S. = TOE OF SLOPE  
T.O.B. = TOP OF BANK



**ROLAND E. ROLLINS**  
**PROFESSIONAL LAND SURVEYOR**  
3221 SW CRUMPACKER STREET  
PORT ST. LUCIE, FLORIDA 34953  
772-873-4700

BENCHMARK REFERENCE:

FOUND A BRASS DISK IN CONCRETE MONUMENT STAMPED RILEY ST. LUCIE COUNTY VERTICAL CONTROL 2006. LOCATED 177 FEET PLUS OR MINUS SOUTH OF THE CENTERLINE OF COCONUT DRIVE ON THE EAST SIDE OF STATE ROAD A-1-A, 3 FEET PLUS OR MINUS EAST OF THE EAST EDGE OF A 5' WIDE CONCRETE SIDEWALK. ELEVATION = 1.1778 METERS AND CONVERTED TO US SURVEY FEET = 3.864.

ELEVATIONS BASED ON N.A.V.D. OF 1988 AND SHOWN THUS 1.0

FLOOD ELEVATION INFORMATION

MAP NUMBER 12111C0183J DATE OF FIRM FEB 16TH, 2012  
COMMUNITY NUMBER 120286 PANEL 0183  
FIRM ZONE X SUFFIX J

ADDENDUM	FIELD BOOK	PAGE	DATE	BY	CHECKED
BOUNDARY SURVEY	E.F.B.		08/10/2018	R.E.R.	R.E.R.
TOPOGRAPHIC SURVEY	E.F.B.		08/10/2018	R.E.R.	R.E.R.
CONSTRUCTION LAYOUT SURVEY			08/10/2018	R.E.R.	R.E.R.

LEGEND:

- ⊙ = SET 5/8" IRON REBAR WITH CAP P.L.S. NUMBER 4945
- = SET NAIL IN DISK P.L.S. NUMBER 4945 UNLESS OTHERWISE NOTED.
- ⊕ = MANHOLE (M.H.)
- ⊕ = CATCH BASIN (C.B.)
- ⊕ = FIRE HYDRANT (F.H.)
- ⊕ = WATER METER (W.M.)
- ⊕ = WOOD POWER POLE (WD. P.P.)
- ⊕ = CONCRETE POWER POLE (CONC. P.P.)
- ⊕ = ANCHOR AND GUY WIRE
- — — = OVERHEAD WIRES
- — — = NOT TO SCALE
- X — = FENCELINE

NOTES:

- 1) LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS, OWNERSHIP AND/OR RIGHT-OF-WAYS OF RECORD.
- 2) NO UNDERGROUND OR INTERIOR IMPROVEMENTS WERE LOCATED EXCEPT AS NOTED.
- 3) LEGAL DESCRIPTION AS SUPPLIED BY CLIENT.
- 4) BUILDING TIES ARE 90° OR RADIAL TO THE PROPERTY LINE.
- 5) ALL EASEMENTS SHOWN ARE PER RECORD PLAT UNLESS OTHERWISE NOTED.

PLOT DATE AND TIME: 08/23/2018 12:00 PM EST

LOT SQUARE FOOTAGE: 0.286 ± ACRE

SCALE: 1" = 20'

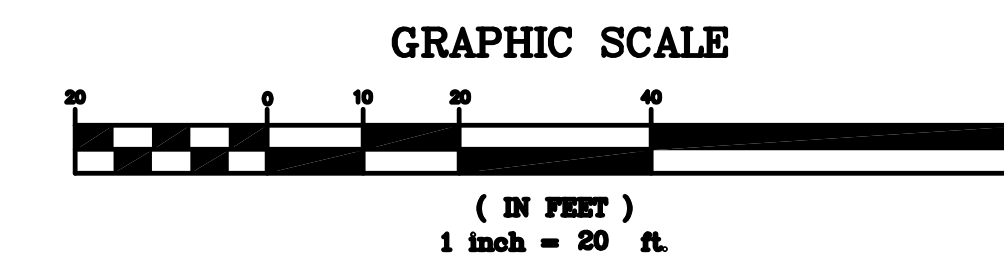
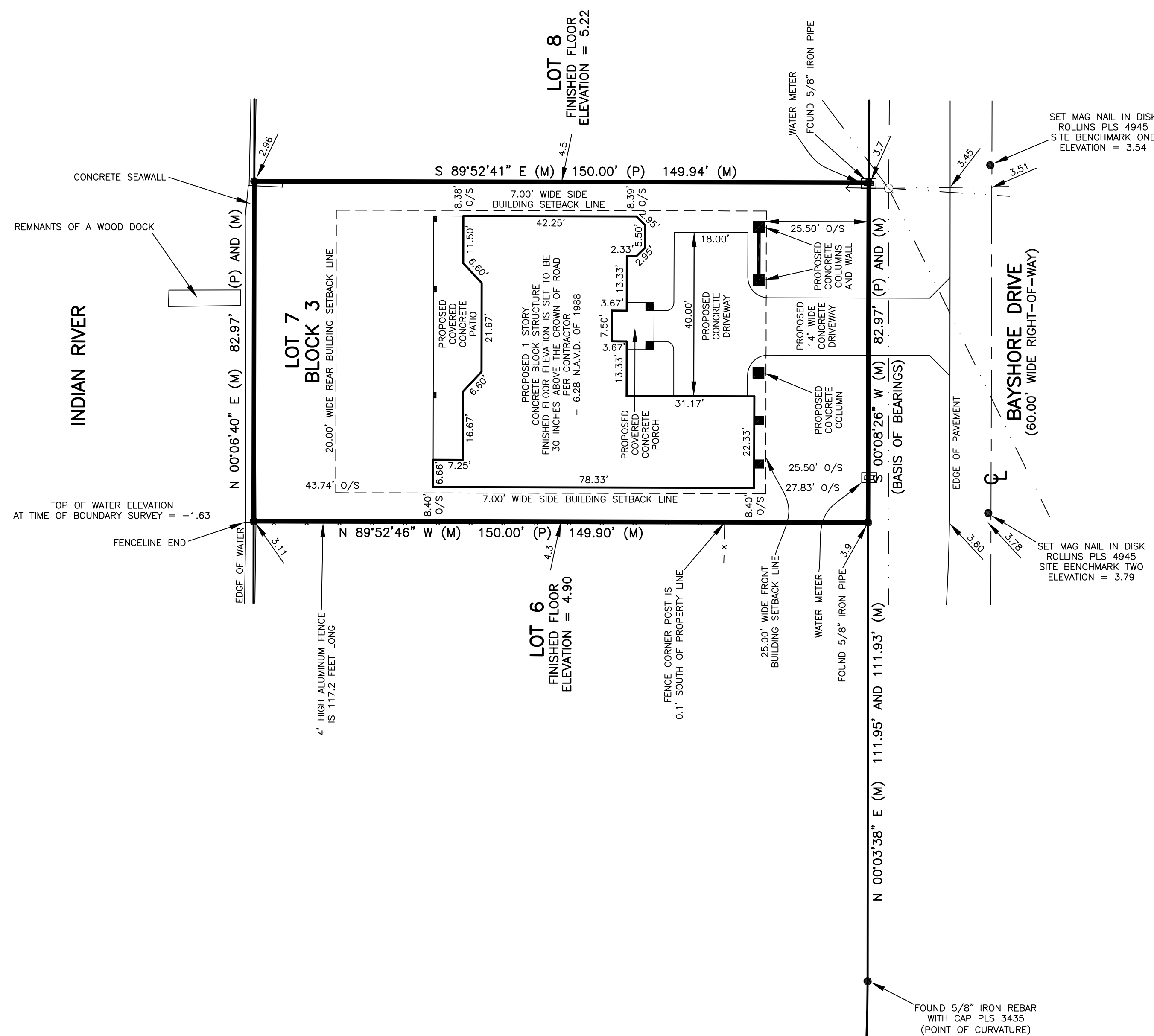
DATE OF LAST FIELD WORK: 08/10/2018

I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON COMPLIES WITH STANDARDS OF PRACTICE FOR SURVEYS AS CONTAINED IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

ROLAND E. ROLLINS DATE  
PROFESSIONAL LAND SURVEYOR  
FLORIDA REGISTRATION NUMBER 4945

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

JOB NUMBER: RR180711



NOTE: THE BEARINGS ARE BASED ON THE WEST CHORD OF THE RIGHT-OF-WAY LINE OF BAYSHORE DRIVE AND THE EAST LINE OF LOT 4 AND 5, BLOCK 3 OF SURFSIDE UNIT ONE (SEE LEGAL DESCRIPTION) WHICH BEARS ON A GRID BEARING FLORIDA EAST ZONE NAD83 SOUTH 09°54'38" WEST

CERTIFICATIONS AS PROVIDED AND WORDED BY CLIENT

- CERTIFY TO:
- 1) FLORIDA TREND HOMES