

BOARD OF ADJUSTMENT AGENDA

Board of Adjustment Regular Meeting - Thursday, January 24, 2019 - 6:00 p.m.
City Hall - City Commission Chambers, 100 North U.S. #1, Fort Pierce, Florida

1. **CALL TO ORDER**
2. **PRAYER and PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **CONSIDERATION OF ABSENCES**
5. **CERTIFICATION OF ALTERNATE MEMBER VOTING STATUS/EXCUSE NON VOTING ALTERNATE**
6. **APPROVAL OF MINUTES**
 - a. Minutes from the December 6, 2018 meeting
7. **NEW BUSINESS**
 - a. Variance to Exceed Lot Coverage - Devivo Residence - 1709 Bayshore Drive
 - b. Variance - Lawnwood Medical Center - 1860 N. Lawnwood Circle
8. **DISCUSSION / OTHER BUSINESS**
9. **ADJOURNMENT**

Any person seeking to appeal any decision by the Board of Adjustment with respect to any matter considered at this meeting is advised that a record of proceedings is required in any such appeal and that such person may need to insure that a verbatim record of the proceedings is made including the testimony and evidence upon which the appeal is to be based.

Persons who require special accommodations under the Americans with Disabilities Act (ADA) should contact the Planning Department at (772) 467-3729, at least five (5) days prior to the meeting. Persons who are hearing or speech impaired may use the Florida Relay System by dialing 711.

Planning Board of Adjustment

Meeting Date: 01/24/2019

Information

REQUESTED ACTION

Minutes from the December 6, 2018 meeting

LOCATION

RESPONSIBLE STAFF

RECOMMENDATION

Attachments

Board of Adjustment Minutes 12.6.18

BOA Minutes with Attachments

Form Review

Form Started By: Alicia Rosenthal

Started On: 12/17/2018 08:59 AM

Final Approval Date: 01/14/2019

DRAFT



CITY OF FORT PIERCE
BOARD OF ADJUSTMENT

Board of Adjustment Minutes

OF THE REGULAR MEETING OF THE FORT PIERCE CITY BOARD OF ADJUSTMENT HELD ON THURSDAY, **DECEMBER 6, 2018**, IN FORT PIERCE CITY HALL, COMMISSION CHAMBERS, 100 NORTH US HIGHWAY 1, FORT PIERCE, FLORIDA.

1. **CALL TO ORDER**

2. **PRAYER and PLEDGE OF ALLEGIANCE**

3. **ROLL CALL**

Present: **William Nunn; Joyce Calvert; Bennie Clark; James Crist; Ryan Collins; Rebecca Isaac; Bret McCain, Chairman**

Staff Present: **Benjamin Bryan, Interim City Attorney
Rebecca Grohall, Planning Director
Rebeca Guerra, Assistant Planning Director
Alicia Rosenthal, Executive Assistant**

4. **CONSIDERATION OF ABSENCES**

All members were present.

5. **CERTIFICATION OF ALTERNATE MEMBER VOTING STATUS/EXCUSE NON VOTING ALTERNATE**

Ms. Isaac and Mr. Collins were voting members for item 7b.

6. **APPROVAL OF MINUTES**

- a. Minutes from the June 28, 2018 meeting

Motion was made by James Crist, and seconded by William Nunn to approve the minutes from the June 28, 2018 meeting.

**AYE: James Crist, William Nunn, Joyce Calvert, Bennie Clark, Chairman Bret McCain
Other: Ryan Collins (ABSTAIN), Rebecca Isaac (ABSTAIN)**

Passed

7. NEW BUSINESS

a. Variance - Dak Digital Billboard - 2711 S. US Highway 1

Ms. Grohall gave an overview of the Variance application and answered questions from the Board.

Don Cuozzo, Managing Partner of Dak Digital, provided additional information on digital billboards. Mr. Cuozzo stated that St. Lucie County and Department of Transportation (DOT) requires a 1,500 foot separation for billboards, where as the city requires a 5,000 foot separation for billboards. Mr. Cuozzo explained that the state can grab the billboard to show amber and silver alerts and other emergency messages such as hurricane evacuations. Mr. Cuozzo stated if the billboard was approved, they would offer the city the ability to put messages on the billboard. Mr. Cuozzo said they would also provide enhanced landscaping around the residential area and asphalt cut outs for a neighborhood entrance. Mr. Cuozzo communicated the state requirement of a 8 second message flash and he also explained that DOT has done a massive study across the state of Florida and they have not found any additional traffic incidents anywhere near the billboards. Mr. Cuozzo answered questions from the Board on the removal of the palm trees, City of Stuart billboard distance and adjusting the message flash time.

No one spoke against the billboard.

Board deliberation ensued.

Mr. Crist stated he was not in favor of the billboard due to aesthetic appearance, the billboard being a distraction and causing traffic issues.

Mr. Nunn stated he is not a big fan of digital signs and they are distracting.

Chairman McCain has no issues with approving the reduction of the distance. He stated it adds a huge value to the city by broadcasting amber and silver alerts and hurricane evacuations.

Motion was made by William Nunn, and seconded by James Crist to deny the Variance.

AYE: **James Crist, William Nunn**

NAY: **Bennie Clark, Joyce Calvert, Chairman Bret McCain**

Other: **Ryan Collins (ABSTAIN), Rebecca Isaac (ABSTAIN)**

Failed

Board discussion ensued on placing conditions on the sign.

Mr. Bryan said you can place conditions if they are relevant to what you are voting on.

Mr. Cuozzo stated the sign does not exist without the Variance and we accept the conditions.

Motion was made by William Nunn, and seconded by James Crist to deny the reduction of the billboard distance from 5,000 feet to 2,815 feet.

AYE: **Bennie Clark, James Crist, William Nunn**

NAY: **Joyce Calvert, Chairman Bret McCain**

Other: **Ryan Collins (ABSTAIN), Rebecca Isaac (ABSTAIN)**

Passed

Ms. Grohall said to approve a Variance you need a 4/5 majority vote.

Mr. Bryan stated the motion was to deny the variance and it passed 3-2 and a better motion might have been to approve the Variance and have it lose 2 to 3, but the intent is absolutely clear that the Variance is not being granted anyway you try to configure it.

b. **Variance - BDG Edwards, LLC - 2496 Edwards Road**

Chairman McCain recused himself due to being a relative of the applicant. Mr. Nunn was the acting Chair and Ms. Isaac was the voting alternate.

Ms. Grohall gave an overview of the application and answered questions from the Board.

Carlos Yepes, Applicant, explained the reason for the Variance is to produce a left turn lane for the southbound traffic on 25th Street. Mr. Yepes stated there is currently a striped median and they want to chanelize the traffic by putting a concrete barrier, which will protect the driver that is making a left hand turn. Mr. Yepes stated they have pre-approval from Department of Transportation (DOT) and DOT is also requiring a deceleration lane on 25th Street for the northbound traffic. Mr. Yepes said they are providing a great buffer on the north side of the property and this is the minimum DOT will accept. Mr. Yepes answered questions from the Board regarding the pedestrian walkway, type of landscape buffer and existing oak trees.

Ms. Grohall stated at the time of site plan approval and building permit the applicant would be required to have a tree survey and the city forester verifies the survey and calculates the mitigation.

Janet Collins, Property Owner, provided history on the property. Ms. Collins explained that in 2013, the Department of Transportation (DOT) wanted a zero setback on the north corner. Ms. Collins said they were told one oak tree is a specimen tree but the rest of the oak trees are on the way out because of how old they are.

Carroll Collins, Property Owner, stated they have an approval from DOT for a 10 foot setback but DOT repeatedly said they wanted a zero setback. Mr. Collins explained they have had a number of requests to buy the property in the last 5 years and this is the best project and it will be an asset to the City of Fort Pierce.

Mr. Crist made a motion to approve the Variance with enhanced landscaping along 25th Street and Edwards Road and a buffer on the eastern residential side. Ms. Isaac seconded the motion.

Mr. Bryan asked Ms. Grohall if the motion needs to be more specific if a condition is being placed on the approval. Ms. Grohall stated it would be helpful to have a numeric value.

Mr. Nunn said it seems like everytime we get a new applicant they want to reduce the landscaping.

AYE: Ms. Isaac, Mr. Clark, Mr. Crist

NAY: Mr. Nunn

OTHER: Ms. Calvert (ABSTAIN)

Mr. Bryan called for a 10 minute recess.

Mr. Bryan explained since one of the members declined to vote on the project the additional

alternate will vote. Mr. Bryan stated in light of the requirements that there be four people voting in favor of the Variance, it is only fair to go ahead with five people.

Motion was made by James Crist, and seconded by Bennie Clark to seat the second alternate, Mr. Collins.

AYE: **William Nunn, Bennie Clark, James Crist, Rebecca Isaac**
Other: **Joyce Calvert (ABSTAIN), Ryan Collins (ABSTAIN), Chairman Bret McCain (RECUSE)**
Passed

Motion was made by James Crist, and seconded by Bennie Clark to approve the Variance and exceed city landscape requirements by 25%.

AYE: **Rebecca Isaac, Ryan Collins, James Crist, Bennie Clark**
NAY: **William Nunn**
Other: **Joyce Calvert (ABSTAIN), Chairman Bret McCain (RECUSE)**
Passed

8. ELECTION OF CHAIR AND VICE-CHAIR

This items was moved before New Business.

Mr. Nunn nominated Mr. McCain as Chair and Mr. McCain nominated Mr. Crist as Chair. Mr. Crist declined.

Mr. Crist nominated Mr. Clark for Vice-Chair. Mr. Clark declined. Chairman McCain nominated Mr. Nunn as Vice-Chair.

Motion was made by William Nunn, and seconded by Bennie Clark to elect Mr. McCain as Chair.

AYE: **Joyce Calvert, Bennie Clark, James Crist, William Nunn, Chairman Bret McCain**
Other: **Ryan Collins (ABSTAIN), Rebecca Isaac (ABSTAIN)**
Passed

Motion was made by Chairman Bret McCain, and seconded by Bennie Clark to elect Mr. Nunn as Vice-Chair.

AYE: **Bennie Clark, James Crist, William Nunn, Joyce Calvert, Chairman Bret McCain**
Other: **Ryan Collins (ABSTAIN), Rebecca Isaac (ABSTAIN)**
Passed

9. DISCUSSION / OTHER BUSINESS

10. ADJOURNMENT

DRAFT



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Motion was made by William Nunn, and seconded by James Crist to deny the Variance.

AYE: **James Crist, William Nunn**

NAY: **Bennie Clark, Joyce Calvert, Chairman Bret McCain**

Other: **Ryan Collins (ABSTAIN), Rebecca Isaac (ABSTAIN)**

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AYE: **William Nunn, Bennie Clark, James Crist, Rebecca Isaac**

Other: **Joyce Calvert (ABSTAIN), Ryan Collins (ABSTAIN), Chairman Bret McCain (RECUSE)**

Passed

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NAY: **William Nunn**

Other: **Joyce Calvert (ABSTAIN), Chairman Bret McCain (RECUSE)**

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Mr. Crist nominated Mr. Clark for Vice-Chair. Mr. Clark declined. Chairman McCain nominated Mr. Nunn as Vice-Chair.

Motion was made by William Nunn, and seconded by Bennie Clark to elect Mr. McCain as Chair.

AYE: **Joyce Calvert, Bennie Clark, James Crist, William Nunn, Chairman Bret McCain**

Other: **Ryan Collins (ABSTAIN), Rebecca Isaac (ABSTAIN)**

Passed

Motion was made by Chairman Bret McCain, and seconded by Bennie Clark to elect Mr. Nunn as Vice-Chair.

AYE: **Bennie Clark, James Crist, William Nunn, Joyce Calvert, Chairman Bret McCain**

Other: **Ryan Collins (ABSTAIN), Rebecca Isaac (ABSTAIN)**

Passed

9. **DISCUSSION / OTHER BUSINESS**

10. **ADJOURNMENT**

TO: Vennis Gilmore, Planning Analyst

FROM: Kori Benton, Senior Planner

DATE: November 15, 2018

SUBJECT: **Variance – BDG Edwards – 2496 & 2498 Edwards Road**
Technical Review Project# 12000006.

The St. Lucie County Planning & Development Services Department has completed a review of the November 2, 2018 distribution of Technical Review Project# 12000006.

Background

The request seeks to construct a proposed 3,000 sq. ft. convenience store with gas; the applicant is requesting a 7 foot variance to reduce the landscape buffer along the north 95 feet of the northwest boundary of the property from 10 feet to 3 feet. The 7 foot variance is being requested in order to meet the geometric requirements by the City and FDOT for a left turn into the property from S. 25th Street for southbound traffic. The subject site is zoned (C-3), General Commercial Zone with a Future Land Use of (GC), General Commercial. Per City Code Sec. 22-110. – Application for a Variance; Appeals to the board of adjustment for a variance may be made by the property owner of the area involved or their designated representative by filing an application with the department of development and the board of adjustment. The subject site has a total of 2.31 acres.

Review Comments

1. Does the proposed driveway conform to City/FDOT corner clearance standards for a commercial driveway?
2. Will a decorative wall or appropriate species of vegetation be utilized to mitigate the reduction in landscape buffer width?
3. The St. Lucie County Board of Adjustment conditionally approved a variance in 2012 to reduce the driveway setback distance from the north property line from 25 ft. to 10 ft. The condition of approval pertained to preservation of oak trees on site. A copy of this approval will be provided to staff.
4. The site previously obtained a development permit for a vehicle sales facility, which encompassed a tree removal and tree preservation plan. A copy of this approval will be provided to staff.

Please contact me at 772-462-2518 if you have any questions or would like to discuss the presented comments.

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**BOARD OF ADJUSTMENT
RESOLUTION NO. 15-007**

File No.: BA 320154849

**A RESOLUTION APPROVING A VARIANCE FOR
CERTAIN PROPERTY LOCATED AT THE NORTHEAST
CORNER OF THE SOUTH 25TH STREET AND EDWARDS ROAD
INTERSECTION IN ST. LUCIE COUNTY, FLORIDA**

10 **WHEREAS**, the Board of Adjustment of St. Lucie County, Florida, based on the testimony and
11 evidence, including, but not limited to the staff report, has made the following determinations:
12

- 13 1. Petition of Carroll Collins for a Variance from the provisions of Section 7.05.06(C)(2)(c)
14 of the St. Lucie County Land Development Code to allow the installation of a driveway
15 which will encroach 15 feet into the minimum side setback distance of 25 feet from the
16 property line.
17
- 18 2. On June 24, 2015 this Board held a public hearing on the petition, after publishing a
19 notice of such hearing, installing a sign on property and notifying by mail all owners of
20 property within 500 feet of the subject property.
21
- 22 3. After consideration of the testimony presented during the public hearing, including staff
23 comments, exhibits, and the standards of review for granting variances set out in Section
24 10.01.02, St. Lucie County Land Development Code, the Board of Adjustment has made
25 the following determinations:
26

27 *The requested variance has met the standards of review as set forth in Section*
28 *10.01.02, St. Lucie County Land Development Code and is not in conflict with the goals,*
29 *objectives, and policies of the St. Lucie County Comprehensive Plan, because*
30

- 31 a) *The requested variance is located on a vacant parcel adjacent to a major intersection*
32 *and no objection was received from adjacent property owners.*
33
- 34 b) *The granting of the requested variance would not impair or otherwise injure other*
35 *property or improvements in the area in which the subject property is located.*
36
- 37 c) *The requested variance meets the general spirit and intent of the St. Lucie County*
38 *Land Development Code and the St. Lucie County Comprehensive Plan.*
39

40 **NOW, THEREFORE, BE IT RESOLVED** by the Board of Adjustment of St. Lucie County,
41 Florida:
42

- 43 A. Petition of Carroll Collins for a variance from the provisions of Section 7.05.06(C)(2)(c) of
44 the St. Lucie County Land Development Code to allow the installation of a driveway that
45 will encroach 15 feet into the minimum side setback of 25 feet required for nonresidential
46 driveways, for the property depicted on the attached map as Exhibit "A" and described
47 as follows:
48

**JOSEPH E. SMITH, CLERK OF THE CIRCUIT COURT
SAINT LUCIE COUNTY**
FILE # 4090752 07/13/2015 at 03:04 PM
OR BOOK 3767 PAGE 597 - 600 Doc Type: RESO
RECORDING: \$35.50

June 24, 2015
File No. BA 320154849

BOA Resolution No. 15-007
Page 1

1 The South 395.97 feet of the West 219.98 feet of the West 1/2 of the West 1/2 of the
2 Southwest 1/4 of the Southwest 1/4 LESS the South 40 feet for road right-of-way and
3 LESS the West 40 feet, lying and being in Section 21, Township 35 South, Range 40
4 East, St. Lucie County, Florida.
5

6 LESS AND EXCEPT
7

8 The West 10 feet of the following described parcel: The South 395.97 feet of the West
9 219.98 feet of the West 1/2 of the West 1/2 of the Southwest 1/4 of the Southwest 1/4
10 LESS the South 40 feet for road right-of-way and LESS the West 40 feet, lying and
11 being in Section 21, Township 35 South, Range 40 East, St. Lucie County, Florida.
12

13 AND LESS
14

15 A parcel of land situated in Section 21, Township 35 South, Range 40 East, St. Lucie
16 County, Florida. Being more particularly described as follows:
17

18 Commencing at the Southwest corner of said Section 21; thence North 89°57'23" East,
19 along the South line of said Section 21, a distance of 50.03 feet; thence North 02°10'51"
20 West, departing said South line, a distance of 40.03 feet to a point of the intersection of
21 the Easterly right of way line of South 25th Street and the Northerly right of way line of
22 Edwards Road, being the Point of Beginning.
23

24 Thence North 02°10'51" West, along said Easterly right of way line, a distance of 20.00
25 feet; thence South 46°06'44" East, departing said Easterly line, a distance of 28.81 feet
26 to the said Northerly right of way line of Edwards Road; thence South 89°57'23" West,
27 along said Northerly line, a distance of 20.00 feet to the Point of Beginning.
28

29 Location: Northeast corner of the South 25th Street and Edwards Road
30 intersection
31

32 Property Tax ID#: 2421-333-0001-0009
33

34 B. Based on the evidence presented, this variance request is approved, with the following
35 conditions:
36

- 37 1. Prior to the issuance a Vegetation Removal Permit, a Landscape Plan consistent
38 with Land Development Code Section 7.09.04 shall be approved by the
39 Environmental Resources Department.
40
- 41 2. Prior to the issuance of a Vegetation Removal Permit, a site inspection shall be
42 conducted by the Environmental Resources Department to verify that tree protection
43 measures, including but not limited to, root pruning, root barricades, and tree
44 protection barricades have been installed.
45
- 46 3. The driveway shall be constructed in a location and manner that avoids impacts to
47 the two (2) native live oak trees measuring 53 inches and 40 inches in diameter at
48 breast height, as shown on the submitted tree survey.
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4. The issuance of County development permit does not in any way create any rights on the part of the applicant to obtain a permit from a state or federal agency and does not create any liability on the part of the County if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a state or federal agency or undertakes actions that result in a violation of state or federal law.

5. All other applicable state or federal permits must be obtained before commencement of the development.

C. An appeal from the Board of Adjustment's action may be processed in accordance with Section 10.01.07, of the St. Lucie County Land Development Code.

D. This variance shall expire twelve months from the date of adoption unless a building permit is approved or an extension is granted in accordance with Section 10.01.06, of the St. Lucie County Land Development Code.

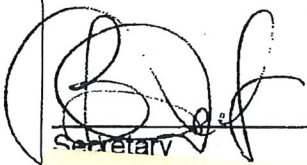
After motion and second, the vote on this resolution was as follows:

Chairman Richard Pancoast	AYE
Commissioner Ron Knaggs	AYE
Commissioner Buddy Emerson	ABSENT
Commissioner Bob Lowe	AYE
Commissioner Michael Jacquin	AYE

PASSED AND DULY ADOPTED This 24th day of June, 2015.

ATTEST:

BOARD OF ADJUSTMENT
ST. LUCIE COUNTY, FLORIDA


Secretary


Chairman

APPROVED AS TO FORM
AND CORRECTNESS:


Asst. County Attorney

If under County provisions half native inches and removing half. If mitigation required by County 2 to 250.00 County of 101 inch

FORM 8B MEMORANDUM OF VOTING CONFLICT FOR COUNTY, MUNICIPAL, AND OTHER LOCAL PUBLIC OFFICERS

LAST NAME—FIRST NAME—MIDDLE NAME McCain - Bret - Ruffner	NAME OF BOARD, COUNCIL, COMMISSION, AUTHORITY, OR COMMITTEE Fort Pierce Planning Board of Adjustment
MAILING ADDRESS 3021 Fairway Drive St. Lucie	THE BOARD, COUNCIL, COMMISSION, AUTHORITY OR COMMITTEE ON WHICH I SERVE IS A UNIT OF: <input checked="" type="checkbox"/> CITY <input type="checkbox"/> COUNTY <input type="checkbox"/> OTHER LOCAL AGENCY
CITY COUNTY Fort Pierce, FL 34982	NAME OF POLITICAL SUBDIVISION: City of Fort Pierce
DATE ON WHICH VOTE OCCURRED 12/6/18	MY POSITION IS: <input type="checkbox"/> ELECTIVE <input checked="" type="checkbox"/> APPOINTIVE

WHO MUST FILE FORM 8B

This form is for use by any person serving at the county, city, or other local level of government on an appointed or elected board, council, commission, authority, or committee. It applies to members of advisory and non-advisory bodies who are presented with a voting conflict of interest under Section 112.3143, Florida Statutes.

Your responsibilities under the law when faced with voting on a measure in which you have a conflict of interest will vary greatly depending on whether you hold an elective or appointive position. For this reason, please pay close attention to the instructions on this form before completing and filing the form.

INSTRUCTIONS FOR COMPLIANCE WITH SECTION 112.3143, FLORIDA STATUTES

A person holding elective or appointive county, municipal, or other local public office **MUST ABSTAIN** from voting on a measure which would inure to his or her special private gain or loss. Each elected or appointed local officer also **MUST ABSTAIN** from knowingly voting on a measure which would inure to the special gain or loss of a principal (other than a government agency) by whom he or she is retained (including the parent, subsidiary, or sibling organization of a principal by which he or she is retained); to the special private gain or loss of a relative; or to the special private gain or loss of a business associate. Commissioners of community redevelopment agencies (CRAs) under Sec. 163.356 or 163.357, F.S., and officers of independent special tax districts elected on a one-acre, one-vote basis are not prohibited from voting in that capacity.

For purposes of this law, a "relative" includes only the officer's father, mother, son, daughter, husband, wife, brother, sister, father-in-law, mother-in-law, son-in-law, and daughter-in-law. A "business associate" means any person or entity engaged in or carrying on a business enterprise with the officer as a partner, joint venturer, coowner of property, or corporate shareholder (where the shares of the corporation are not listed on any national or regional stock exchange).

* * * * *

ELECTED OFFICERS:

In addition to abstaining from voting in the situations described above, you must disclose the conflict:

PRIOR TO THE VOTE BEING TAKEN by publicly stating to the assembly the nature of your interest in the measure on which you are abstaining from voting; *and*

WITHIN 15 DAYS AFTER THE VOTE OCCURS by completing and filing this form with the person responsible for recording the minutes of the meeting, who should incorporate the form in the minutes.

* * * * *

APPOINTED OFFICERS:

Although you must abstain from voting in the situations described above, you are not prohibited by Section 112.3143 from otherwise participating in these matters. However, you must disclose the nature of the conflict before making any attempt to influence the decision, whether orally or in writing and whether made by you or at your direction.

IF YOU INTEND TO MAKE ANY ATTEMPT TO INFLUENCE THE DECISION PRIOR TO THE MEETING AT WHICH THE VOTE WILL BE TAKEN:

- You must complete and file this form (before making any attempt to influence the decision) with the person responsible for recording the minutes of the meeting, who will incorporate the form in the minutes. (Continued on page 2)

APPOINTED OFFICERS (continued)

- A copy of the form must be provided immediately to the other members of the agency.
- The form must be read publicly at the next meeting after the form is filed.

IF YOU MAKE NO ATTEMPT TO INFLUENCE THE DECISION EXCEPT BY DISCUSSION AT THE MEETING:

- You must disclose orally the nature of your conflict in the measure before participating.
- You must complete the form and file it within 15 days after the vote occurs with the person responsible for recording the minutes of the meeting, who must incorporate the form in the minutes. A copy of the form must be provided immediately to the other members of the agency, and the form must be read publicly at the next meeting after the form is filed.

DISCLOSURE OF LOCAL OFFICER'S INTEREST

I, Bret McCain, hereby disclose that on December 6th, 20 18:

(a) A measure came or will come before my agency which (check one or more)

- inured to my special private gain or loss;
- inured to the special gain or loss of my business associate, _____;
- inured to the special gain or loss of my relative, Mother & Father In-Law;
- inured to the special gain or loss of _____, by whom I am retained; or
- inured to the special gain or loss of _____, which is the parent subsidiary, or sibling organization or subsidiary of a principal which has retained me.

(b) The measure before my agency and the nature of my conflicting interest in the measure is as follows:

The property owner of the applicant is a relative of mine. They are my Father In Law and Mother In Law.

If disclosure of specific information would violate confidentiality or privilege pursuant to law or rules governing attorneys, a public officer, who is also an attorney, may comply with the disclosure requirements of this section by disclosing the nature of the interest in such a way as to provide the public with notice of the conflict.

12/6/18
Date Filed

Bret McCain
Signature

NOTICE: UNDER PROVISIONS OF FLORIDA STATUTES §112.317, A FAILURE TO MAKE ANY REQUIRED DISCLOSURE CONSTITUTES GROUNDS FOR AND MAY BE PUNISHED BY ONE OR MORE OF THE FOLLOWING: IMPEACHMENT, REMOVAL OR SUSPENSION FROM OFFICE OR EMPLOYMENT, DEMOTION, REDUCTION IN SALARY, REPRIMAND, OR A CIVIL PENALTY NOT TO EXCEED \$10,000.

Planning Board of Adjustment

Meeting Date: 01/24/2019

Information

REQUESTED ACTION

Variance to Exceed Lot Coverage - Devivo Residence - 1709 Bayshore Drive

LOCATION

1709 Bayshore Drive

RESPONSIBLE STAFF

Brandon C. Creagan, LEED Green Associate, Planner

RECOMMENDATION

Approve the Variance to construct a Single Family Home that has an approximate lot coverage of 31.35% in consideration of the criteria specified in Section 22-108 of the City Code.

Attachments

Staff Report

Aerial

Application and Supporting documents

Form Review

Form Started By: Brandon Creagan

Started On: 01/17/2019 12:03 PM

Final Approval Date: 01/18/2019



TO: Members of the City of Fort Pierce Board of Adjustment

THROUGH: Rebecca Grohall, AICP, Planning Director

FROM: Brandon Creagan, LEED Green Associate, Planner

RE: **Application for Variance**
Exceed Allowable Lot Coverage
1709 Bayshore Drive

DATE: January 17, 2019

STAFF REPORT

Owner/Applicant: Dennis Devivo
 718 Union Blvd
 West Islip, NY 11795

Requested Action: Recommendation of Approval to construct a single family home which would have an approximate lot coverage not to exceed 31.35%.

Location: 1709 Bayshore Drive

Parcel ID: 2412-501-0024-000-3

Zoning: R-1, Single Family Low Density

Future Land Use: RL, Low Density Residential

Parcel Size: .29 acres/12,446 Square Feet

Proposed Lot Coverage: 31.35%

Surrounding Zoning:

North	East	South	West
R-1	R-2/R4-A	R-1	Indian River

Staff Analysis:

In accordance with Article VIII of Section 22 of the City Code, the applicant is requesting the Board of Adjustment approve a Variance to deviate from Section 22-24(b)(3) of the City Code to construct a single-family home which will exceed the permitted lot coverage by 6.35%.

The subject site has a lot size of 12,446 or .29 acres. The proposed single family home will be 3,903 square feet in size. The gross total building area equates to a total lot coverage of approximately 31.35%. City Code Section 22-24(b)(3), states that single family home structures, within the R-1 zone, shall not cover more than twenty five (25) percent of the lot area. The proposed single family home would exceed the allowable lot coverage by 6.35%.

The proposed Single Family Home, as presented, will exceed the established lot area restrictions noted unless the Variance is granted. The proposed addition will meet the yard (setback) and height standards of the district. The site plan provided meets all other applicable codes contained in Chapter 22 of the Land Development Code. The proposed site plan and conceptual design are provided for review. If the Variance is approved the additional lot coverage will not adversely affect traffic flow, safety and control, pedestrian safety, and convenience or visibility at any street intersections, drives, rights-of-way, curb cuts or crosswalks.

Variance Criteria:

The following criteria are specified in City Code 22-108, which must be satisfied in order for a variance to be granted:

1. Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district;
2. The special conditions and circumstances do not result from the actions of the applicant;
3. The literal interpretation of the provision of the zoning ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance and would result in unnecessary and undue hardship on the applicant;
4. The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;
5. The granting of the variance will be in harmony with the general intent and purpose of the ordinance and such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.


The owner's response to the above criteria is attached to the submittal pack with the application.

Property Owner Response Survey:

A total of 5 notifications were mailed to abutting property owners. As of January 17, 2019, no letters have been received. An update will be provided at the Board of Adjustment meeting.

Staff Recommendation:

Staff recommends that the Board of Adjustment approve the Variance to construct a Single Family Home that has an approximate lot coverage of 31.35% in consideration of the criteria specified in Section 22-108 of the City Code.

 Subject Site

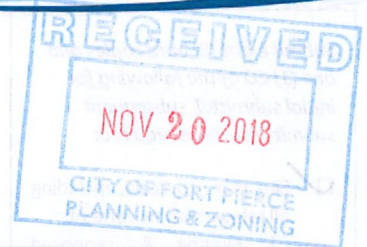


1709 Bayshore Dr



Application for Variance
1709 Bayshore Drive
Aerial Map





VARIANCE

Property address or Location 1709 BAYSHORE DRIVE
 Parcel ID #(s) 2412-501-0024-000-3
 Project description NEW SINGLE FAMILY RESIDENCE

DENNIS DEVIVO
 Property Owner(s)
718 UNION BLVD
 Street Address
WEST ISLIP BLVD NY 11795
 City State Zip
031-831-8192
 Phone Number
dennis@devivoassociates.com
 Email Address

TERRY BRISSON, FL TREND Homes
 Applicant/Representative, Title, Company
2106 BELLA VISTA WAY
 Street Address
PORT ST LUCIE FL 34952
 City State Zip
(772) 828-0364
 Phone Number
fltrendhomes@gmail.com
 Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgement of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

AGENT FOR

Property Owner(s) Signature(s) _____

STATE OF FL COUNTY ST. LUCIE

The foregoing instrument was acknowledged before me this 20 day of NOV, 2018, by

Terry BRISSON who is personally known to me or has produced
DRIVERS license as identification.

Signature of Notary
Kim Keahey



INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation
				Contributing Individual
				Non-Contributing None

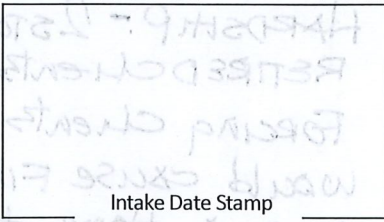
Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit # _____

Intake Planner _____

Planner Assigned _____

Approved By _____ Date _____

Comments _____



VARIANCE

Submit eight (8) hard copies and one (1) CD of the following for initial submittal, subsequent submittals will be required:

- Site plan, to scale, including all relevant improvements:
 - Existing & proposed structures
 - Landscaping & parking,
 - Fencing, signs, etc.
- As-built Survey
- Criteria Narrative
- Complete, notarized application

Description of request: BUILDING EXCEEDS LOT COVERAGE 31.35% LOT COVERAGE

Reason for request: OWNER WANTS (1) STORY HOME - RETIRED - A 4BED 2,700 sq home IS NOT UNUSUAL FOR A \$300,000 water front PROPERTY

Existing Use: VACANT Date Property was Purchased: June 2015

Alterations made to the site since purchase: CLEARED 3 TREES

Has a request for this variance been denied in the past? Yes No

If yes, what has changed since the denial? _____

Application Outlook

~~Pre-Application Meeting~~
Wednesday Afternoons



Application Intake Meeting
Call to schedule



Technical Review Committee
Thursday



Board of Adjustment
4th Thursday

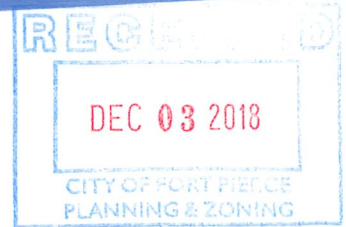
Criteria:

In order to determine whether your request for Variance meets all the criteria in Section 22-108 of the City Code, please answer the following questions. Please provide answers of questions on separate pages:

1. Describe those conditions peculiar to the specific property and not applicable to other lands, structures, or buildings in the same zoning district. VALUE OF LAND AND PREMIUM WATER FRONT DEMANDS A NICE HOME.
2. Does special conditions or circumstances result from actions other than that of yours? Please explain - RETIRED COUPLE - DOES NOT WANT TO CLIMB STAIRS TO 2ND FLOOR
3. Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code for the zoning district. HARDSHIP,
4. What is the minimum variance that would give the reasonable use of the land, building, or structure? PLANS SUBMITTED AS IS
5. Explain how the variance request would not impair the intent of the zoning ordinance or be detrimental to the general public welfare: NICE HOMES IMPROVE NEIGHBORHOOD VALUES A (4) BED HOME AT 2,700 LIVING AREA IS NOT UNREASONABLE ON PRIME WATERFRONT WITH LAND VALUES OF \$300,000 PLUS.

#3. HARDSHIP - 2 STORY HOME IS UNACCEPTABLE TO MY RETIRED CLIENTS. FORCING CLIENTS TO BUILD A 2,000 sq HOME WOULD CAUSE FINANCIAL LOSS BASED ON LAND VALUE AND A HOME TOO SMALL FOR SUCH AN EXPENSIVE PIECE OF PROPERTY.

FL TREND HOMES llc
2106 BELLA VISTA WAY BLDG L
PORT ST LUCIE FL 34952



(772) 828-0364 ■ fltrendhomes@gmail.com ■ CGC 017586 since 1981

Dec. 3rd 2018

City of Fort Pierce
Planning and Zoning

RE: 1709 Bayshore Drive

Variance Application: RESPONSE TO QUESTIONS.

1) Describe those conditions peculiar to the specific property and not applicable to other lands, structures or buildings in the same zoning district.

ANSWER: What is peculiar to this property, as compared to the vast majority of other properties in this district is the Waterfront.

This land is 80 ft x 150 ft of which 80 ft fronts on the water. The spacious views extend from Hutchinson Island to the downtown, Fort Pierce, Water Front.

Many have referred to this spectacular view as "A Million Dollar View". Facts are, it's not a Million Dollars. It is appraised at \$450,000.00 for the vacant lot.

As a general statement, 80% of the homes in this district, are not waterfront, and valued at less than \$70,000.00.

It is extremely unconscionable that land, valued at \$70,000 be governed by the same considerations as land valued at \$450,000.00

2) Do special conditions or circumstances result from actions, other than yours.

ANSWER: YES: There are circumstances or outside influences governing our request.

THEY ARE- This zoning district has a majority of homes that were built several decades ago. And as a result, reflect the styles, attitudes and living habits of the 60's and 70's.

It is unreasonable, that a new home, on a \$450,000 lot, be expected to conform to outdated styles and conditions that are no longer relevant.

THE SPECIAL CIRCUMSTANCES ARE THIS:

The market place has evolved since the 70's. Peoples requirements for Living Spaces, inside and out, has also evolved. Homes built at 1,500 sf were once considered large. Now in St Lucie County, a normal size home exceeds 2,300 sf and built on lots selling for less than \$25,000.00

It is not unreasonable, for someone buying a \$450,000 lot, to build a Home slightly larger and slightly better than an average home in this St Lucie market.

3) Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code for this zoning district.

ANSWER: The hardship would be a devastating financial loss if this owner were to build a smaller than below average size home, on such a prime piece of Real Estate.

4) What is the minimum variance that would give reasonable use of the land, building or structure.

ANSWER: I am at a loss as to why a variance is even necessary.

We propose a (1) story, 2 car garage, covered patio home with (4) bedrooms and (3) baths, to be built on a Premium Water Front Property, in a neighborhood whose average home values do not equal the value of this vacant lot.

I am at a total loss as to why any government agency or department would discourage new homeowners from wanting to improve a neighborhood, both aesthetically and as well as enhance property values for the entire neighborhood.

I have expressed my concerns to this Home Owner-That Concern is this- In my opinion, a homes value should exceed the property value by 4 times the lands value.

My contract is for \$470,000.00 The land value is \$450,000.

In my opinion, **He is Under Building.**

His response- He is retiring and does not want stairs to a 2nd floor.

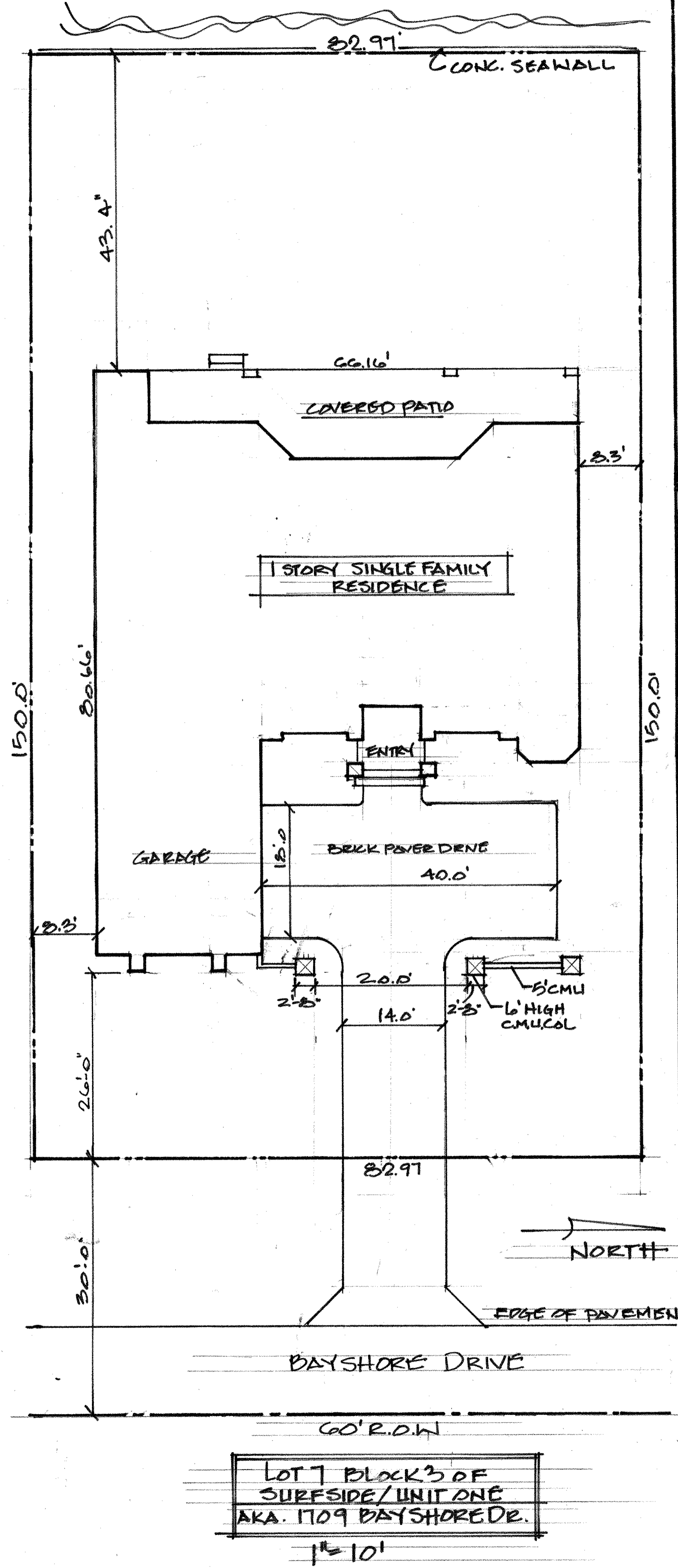
He is retiring and does not want a Big House.

5) Explain how the Variance Request would not impair the intent of the zoning ordinance or be detrimental to the general Public Welfare.

ANSWER: I remain Extremely Confident, that the Construction of a New, Aesthetically Pleasing Home, that suites modern day living habits, whose appraised value greatly exceeds the majority of homes in this district, will not impose a detrimental hardship to the general public welfare.



Terry Brisson
General Contractor
Owner



GENERAL NOTES:

- A. CONSTRUCTION SHALL FOLLOW THE FL. BUILDING CODE AS ADOPTED BY THE COUNTY / MUNICIPALITY AND ALL APPLICABLE AMENDMENTS.
- B. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING AND TRADE PERMITS AND THEIR RESPECTIVE COSTS.
- C. BUILDER SHALL COORDINATE ALL THE WORK WITH ALL TRADES.
- D. BUILDER SHALL REVIEW THE DRAWINGS IN THEIR ENTIRETY BEFORE STARTING WORK. THE BUILDER SHALL ACCEPT FULL RESPONSIBILITY FOR ANY ERRORS AND/OR OMISSIONS NOT REPORTED TO Terry J. Brisson LLC, DESIGNER.
- E. DO NOT SCALE DRAWINGS
- F. THESE PLANS ARE DRAWN TO COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE GOVERNING CODE AND BUILD IN ACCORDANCE WITH THIS CODE.

JOB CONDITIONS:

- A. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTAL OF BID AND/OR CONTRACT NEGOTIATIONS & SHALL VERIFY EXISTING CONDITIONS WITH THE CONSTRUCTION DOCUMENTS. DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE DESIGNERS ATTENTION IN WRITING FOR CLARIFICATION. BACKCHARGES WILL NOT BE ACCEPTED BY THE DESIGNER.
- B. DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER SCALE AND GRAPHICS.
- C. IF WORK IS BEING PERFORMED IN AN EXISTING BUILDING AND/OR AS AN ADDITION OR ALTERATION(S), TO AN EXISTING BUILDING, THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITION WITH REFERENCE TO ARCHITECTURAL STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS. ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE DESIGNERS ATTENTION, IN WRITING, SO CHANGES CAN BE MADE AS NEEDED. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK BY TRADES, SUPPLIERS, SUBCONTRACTORS, AND OTHER PROVIDERS TO INSURE THAT THE WORK WHEN COMPLETED WILL BE IN ACCORDANCE WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS.
- D. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING OF STRUCTURAL AND NON STRUCTURAL MEMBERS DURING CONSTRUCTION.

WORK AS NECESSARY TO COMPLETE CONSTRUCTION:

- A. IT IS THE PURPOSE OF THESE PLANS TO DESCRIBE A COMPLETE AND FINISHED PROJECT OTHER THAN ITEMS MARKED (NIC) NOT INCLUDED IN CONTRACT.

CLEANUP / REPAIR:

- A. THE CONTRACTOR SHALL MAINTAIN THE PREMISE CLEAN AND FREE OF ALL TRASH, DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT OVERSPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.
- B. THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL ITEMS DAMAGED BY THE PROCESS OF CONSTRUCTION AND SHALL FINISH ALL PATCHWORK AND REPAIRS TO MATCH ADJACENT AREAS AND SPACES.

CONCRETE:

- A. ALL CONCRETE WORK SHALL CONFORM TO ALL RECOMMENDATIONS AND REQUIREMENTS OF ACI 308
- B. CONCRETE FOR HOUSE SLABS AND TIE BEAMS, SHALL BE A MINIMUM OF 2,500 PSI AT 28 DAYS. UNLESS OTHERWISE NOTED. ALL FLAT WORK SHALL BE A MIN OF 2,500 PSI CONCRETE.
- C. 6 MIL VAPOR BARRIERS ARE REQUIRED BENEATH SLABS THAT ARE UNDER ROOF COVER.

EARTHWORK:

- A. PERFORM ALL EARTHWORK IN CONFORMANCE WITH THE FINAL SOILS, COMPACTION AND GEOLOGICAL REPORTS.
- B. FOUNDATIONS SHALL BE MONOLITHIC OR SPREAD FOOTINGS BASED ON A SOIL BEARING CAPACITY OF 2,000 PSF. FINAL WRITTEN VERIFICATION SHALL BE PRESENTED TO THE BUILDING DEPARTMENT PRIOR TO CONCRETE PLACEMENT.
- C. SOIL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR (ASTM D1557) TO A DISTANCE OF 5 FT BEYOND ALL BUILDING EDGES. AT LEAST ONE FIELD DENSITY TEST SHALL BE PERFORMED FOR EACH 2,500 SF OF AREA. DENSITY TEST ARE TO BE MADE 12 INCHES BELOW THE COMPACTED SURFACES.
- D. FILL SHALL BE CLEAN AND FREE OF VEGETATION.
- E. PERMITS PROTECTION SHALL BE IN ACCORDANCE WITH SECTION 285.6 OF THE FLORIDA BUILDING CODE.
- F. FINAL GRADE SHALL ENSURE THAT WATER DRAINS AWAY FROM THE BUILDING TO THE PROPERTY LINES. WATER MAY NOT DRAIN AND SETTLE ONTO ADJACENT PROPERTY. VERIFY WITH LOCAL AGENCY DIRECTION OF WATER FLOW. IN THE ABSENCE OF APPROVED DRAINAGE PLAN, CONTRACTOR TO PREPARE FINAL GRADE TO ENSURE WATER FLOWS TO AWAY FROM THE BUILDINGS AND IMPROVEMENTS AND DIRECT WATER TO FRONT AND SIDE SWALES AND WATER COLLECTION AREAS.

REINFORCING STEEL:

- A. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE MANUEL OF STANDARDS PRACTICE DETAILING REINFORCED CONCRETE STRUCTURES, PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE.
- B. MINIMUM CONCRETE COVERAGE OF REINFORCING STEEL:
 - SLAB ON VAPOR BARRIER 1 1/2"
 - BEAMS AND COLUMNS 1 3/4"
 - FORMED CONCRETE BELOW GRADE 2"
 - UNFORMED BELOW GRADE 3"
 - FOOTINGS: 3" CLEAR AT BOTTOM & SIDES, 2" CLEAR OF TOP.
 - WALLS: 2" CLEAR OUTSIDE FACE, 1 1/2" CLEAR INSIDE
 - SLABS: 3/4" CLEAR AT TOP (INTERIOR) 1 1/4" CLEAR AT TOP (EXTERIOR)
 - BEAMS: 1 1/2" CLEAR OF STIRRUPS
 - COLUMNS: 1 1/2" CLEAR TO TIES
- C. REINFORCING MESH: ON GRADE BUILDINGS SLABS SHALL BE ACI-308 ELECTRICALLY WELDED WIRE MESH FABRIC SIZES AND GAUGES AS SHOWN ON THE DRAWINGS.
- D. MINIMUM REINFORCING BAR LAPS SHALL BE MIN 48 BAR DIAMETER LAP. MIN LAP FOR 5/8" REBAR SHALL BE MIN 30".
- E. TIE BEAM DEPTHS ARE MINIMUM AND MAY BE INCREASED TO FIT THE BLOCK WORK AND WINDOW AND DOOR HEADS.
- F. DROP BOTTOM OF THE BEAMS, AS REQUIRED, AT WINDOW AND DOORS HEADS, (28" MAXIMUM BEAM DEPTHS) AND ADD 2 # 2 BOTTOM IF DROP EXCEEDS 8".
- G. ALL ADDED LONGITUDINAL BEAM REINFORCING SHALL EXTEND 6" MINIMUM INTO SUPPORT UNLESS NOTED OTHERWISE.

TRUSSES:

- A. THE TRUSS LAYOUT SHOWN ON CONSTRUCTION DOCUMENTS IS SCHEMATIC IN NATURE. HOWEVER, THE SUPPORTING SUPERSTRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THAT THE FRAMING SCHEME SHOWN WILL CLOSELY PARALLEL THE FINAL TRUSS MFG. LAYOUT. THIS FRAMING SCHEME (DIRECTION OF TRUSSES, MAJOR BEARING POINTS, ETC.) CAN BE MODIFIED ONLY AFTER OBTAINING PERMISSION FROM THE PRIME PROFESSIONAL OF RECORD WHO MUST REVIEW PROPOSED CHANGES AND MAKE STRUCTURAL REVISIONS ACCORDINGLY. FINAL SIGNED AND SEALED ENGINEERING TRUSS DRAWINGS MUST BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO POURING THE FOUNDATION.

CONCRETE MASONRY UNITS:

- A. COORDINATE WITH ALL OTHER TRADES WHOSE WORK RELATES TO BLOCK MASONRY INSTALLATION FOR PLACING OF ALL REQUIRED BLOCKING, SUB FRAMING, BACKING, FURRING ETC., TO INSURE PROPER LOCATIONS.
- B. PLACEMENT OF ITEMS FURNISHED BY OTHER TRADES; PLACE ANCHORS, BOLTS, PIPES, SLEEVES, NAILERS, BLOCKOUTS, REGLETS, FITTINGS, CONDUITS ETC., PROVIDED BY OTHER TRADES WITHIN MASONRY.
- C. MORTAR MIX: MORTAR SHALL COMPLY WITH ASTM C-270. NO MORTAR THAT HAS STOOD LONGER THAN 1 HOUR SHALL BE USED.
- D. BLOCK MASONRY UNITS; HOLLOW LOAD BEARING UNITS PER ASTM C-90. ALLOWABLE STRESS TO BE 1750 PSI.
- E. CLEAN OUT OPENINGS SHALL BE PROVIDED AT BOTTOM OF GROUTED CELLS. SEAL AFTER CLEANING AND INSPECTION.
- F. WEEP HOLES SHALL BE PLACED MAX 12" BENEATH PRECAST LINTEL BEARING ENDS, TO INSURE CMU COLUMNS ARE PROPERLY FILLED WITH CONCRETE.

CONTRACTOR NOTICE: CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION. DESIGNER WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS CONCERNING DIMENSIONS. CONTRACTOR TO CONFIRM ALL ROUGH OPENINGS FOR DOORS AND WINDOWS WITH SPECIFIC MANUFACTURER, PRIOR TO COMMENCEMENT, AND ENSURE ALL TRADES ARE INFORMED OF THESE OPENING REQUIREMENTS. CONTRACTOR TO VERIFY PLACEMENT OF VERTICAL STEEL RE-BAR AND CONFIRM PROPER PLACEMENT AS NEEDED TO MEET EXTERIOR ROUGH OPENING SPECIFICATIONS.

ROUGH CARPENTRY:

- A. TIMBER DESIGN BASED ON USE OF #2 SURFACE DRY OR GREEN, USED AT MAXIMUM 19% MOISTURE CONTENT.
- B. LUMBER USED FOR LOAD SUPPORTING SHALL HAVE GRADE MARKS COMPLYING WITH AND PROCEDURES AND AGENCIES APPROVED BY U.S. PROCEDURES PS 20-34.
- C. PLYWOOD: PRODUCT STANDARDS PS-1-73 AND RULES FOR DFPA GRADE TRADEMARKS OF THE AMERICAN PLYWOOD ASSOCIATION.
- D. ALL STRUCTURAL LUMBER SHALL HAVE A MINIMUM FIBER STRESS OF 1,200 PSI, A MINIMUM E-1,600,000 PSI AND A MINIMUM FV-90 PSI UNLESS OTHERWISE NOTED.
- E. FLOOR JOISTS, HEADERS, LINTELS, CEILING JOISTS, AND RAFTERS SHALL BE 5/4 S SEASONED SYP #2, UNLESS OTHERWISE NOTED ON DRAWINGS.
- F. ALL STUDDING, BLOCKING, FURRING AND PLATES SHALL BE 5/4 S SEASONED STUD SYP #2, DRY, UNLESS OTHERWISE NOTED ON DRAWINGS.
- G. EXTERIOR PLYWOOD SHEATHING SHALL BE GROUP 1 STANDARD (C-D) EXT-DFPA, (C-C) EXT-DFPA, STRUCTURAL 1 (C-D) EXT -DFPA OR STRUCTURAL 1 (C-C) EXT -DFPA.
- H. STUD WALLS: 2"x4" @ 16" OC UNLESS OTHERWISE NOTED. PLUMBS TO 1/8" IN 8'-0". ALL EXTERIOR STUDS TO BE FULL LENGTH TO CEILINGS. ALL STUD WALLS OVER 8'-0" HIGH, INSTALL 2 ROWS OF BLOCKING BETWEEN STUDS. BEARING WALLS TO BE FRAMED WITH 2 X 6 STUDS TO 10 FT AND 2 X 8 STUDS ABOVE 10 FT HIGH.
- I. 3" MIN BEARING BY BEAMS AND GIRDERS ON MASONRY OR CONCRETE.
- J. ALL LUMBER IN DIRECT CONTACT WITH CONCRETE OR STEEL SHALL BE PRESSURE TREATED, OR HAVE AN APPROVED SEPARATING MATERIAL OR HAVE A GALVANIZED ANCHOR SEAT.
- K. ROOF SHEATHING: 5/8" THICK STANDARD PLYWOOD SHEATHING, EXTERIOR GLUE, CDX GRADE, 4 PLY, INDEX 240, APA GRADE TRADEMARK, APPLY WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND STAGGER JOINTS.
- L. DRAFTSTOPPING IN FLOOR AND CEILING ASSEMBLIES NOT TO EXCEED 2000 SF.

LATH FASTENERS:

ALL LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIALS. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED WITH 1 1/2" LONG, 11 GAGE NAILS, HAVING A 7/16" HEAD OR 7/8" LONG, 16 GA STAPLES, SPACED AT NO MORE THAN 6 INCHES.

PRODUCT APPROVAL SUBMISSION FORM									
PRODUCT	DESCRIPTION	IMPACT RATED	MFG	SERIES	GLASS	PROD APPROVAL #	DESIGN PRESSURES	FIELD PRESSURES	FASTENERS
WINDOWS / SLIDING GLASS									
laundry/bath2/cabana/mst wc	< 10 SF	IMPACT	PGT	SH-700	5/16" LAMI	17-0630.08	80.0/80.0	48.9/53.1	1/4" tap cons into solid backing on 3 x 3 pt bucks. Fill all holes
BED 2 / DINING/ MST BED/ MST ATH	< 20 SF	IMPACT	PGT	SH-700	5/16" LAMI	17-0630.08	80.0/80.0	46.7/50.9	1/4" tap cons into solid backing on 3 x 3 pt bucks. Fill all holes
BED 3	< 50 SF	IMPACT	PGT	SGD 770	7/16" LAMI W 3 1/4" TRACK	17-0420.12	60.0/60.0	43.8/48	(2) rows of 1/4" Tap Cons into solid pour CMU. Fill all holes sides, top & sill
GREAT ROOM	< 150 SF	IMPACT	PGT	SGD 770	7/16" LAMI W 3 1/4" TRACK	17-0420.13	60.0/60.0	41.7/45.7	(2) rows of 1/4" Tap Cons into solid pour CMU. Fill all holes sides, top & sill
DEN/QUIET AREA	< 20 SF	IMPACT	PGT	CA-740	5/16" LAMI	17-0614.14	60.0/60.9	43.8/48.0	1/4" tap cons into solid backing on 3 x 3 pt bucks. Fill all holes
FIXED TRANSUMS/ GARAGE	< 20 SF	IMPACT	PGT	PW-720	7/16" LAMI	17-0614.11	80.0/80.0	46.70/ 50.9	1/4" tap cons into solid backing on 3 x 3 pt bucks. Fill all holes
MULLIONS									
MULL BARS		IMPACT	PGT	LMI ALM		17-0630.02	700 LBS/		CLIPS TOP & BOT & HORIZONTAL INSTALLATION. With (4) 1/4" x 2 3/4" tap cons / clip into solid pour CMU.
DOORS									
GARAGE	2'-8" X 8'-0"	6 PANEL IMPACT	THERMA TRU	SMOOTH STAR	NONE	FL-5891.2	67.0/67.0	31.0/34.0	ON 2 X 6 PT BUCK, fastened with 1/4" tap cons at 12" oc. Min 1 1/4" embed into solid CMU. Anchor door jamb w #12 wood screws x 2 3/4" at 14" oc. Begin 6" from corners.
CABANA	2'-8" X 8'-0"	GLASS FRECH DR	THERMA TRU	SMOOTH STAR	1" LAMI	FL 7630.1	50.0/50.0	31.4/34.0	ON 2 X 6 PT BUCK, fastened with 1/4" tap cons at 12" oc. Min 1 1/4" embed into solid CMU. Anchor door jamb w #12 wood screws x 2 3/4" at 14" oc. Begin 6" from corners.
ENTRY DOOR	6'-0" X 10'-0"	IMPACT	ABBY DOORS	IRON DOOR	1" IMPACT GLASS	FL 7640.8	65.0/65.0	31.2/34.4	ANCHOR through factory installed face flanges, directly to CMU w (2) 3/8" x 5" titen Bolts per flange
MST BED / DINING	5'-4" X 8'-0"	IMPACT	THERMA-TRU	FIBERGLASS	1" IMPACT GLASS	FL 7630.4	50 /50	43.80/ 48.0	ON 2 X 6 PT BUCK, fastened with 1/4" tap cons at 12" oc. Min 1 1/4" embed into solid CMU. Anchor door jamb w #12 wood screws x 2 3/4" at 14" oc. Begin 6" from corners.
ROOFING									
5-V CRIMP METAL GALVALUME METAL ROOF			METAL SALES MFG CORP	26 GA		14045.3			49-16 or #10-14 Hex Head wood screws w sealed washers. At 6" oc at panel ends and 12" oc in field. Min 3/8" penetration into 5/8" CDX sheathing
GARAGE DOOR	16' X 8'	IMPACT	DAB GAR DR	824/ 511	NA	15-311.1	48/52	35.5/43	ANCHOR THROUGH PRECAST CONCRETE LAMBS TO SOLID FOUR CMU W 1/2" X 5" WEDGE ANCHORS W 2X2 SQ WASHERS AT 24" OC. BEGIN AT 12" FROM ENDS. ANCHOR DR GUIDE BOLTS TO 2 X 6 WITH HLT HWK BOLTS 3/8" X 2 3/4". BEGIN 6" FROM ENDS THEN 10" OC.
BUILDING CODE : 2017 WIND SPEED: 170-3 SEC GUSTS: 132 MPH NOMINAL									
ASCE: 2010 IMPACT RESISTANT: YES									
JURISDICTION: CITY OF FORT PIERCE ROOF LOAD: 35 PSF									
PROJECT NAME: SINGLE FAMILY DEAD LOAD: 20 PSF LIVE LOAD 15 PSF									
PROJECT ADDRESS: LOT 7 BLOCK 3 OF SURFSIDE ROOF OVERHANGS: 1'-8"									
ENGINEER OF RECORD: Analysis Pombal, PE # 77737 ROOF PITCH: 4 1/2 : 12									
TYPE OF CONSTRUCTION: VB SHUTTERS: NO									
CLASSIFICATION: "D"									

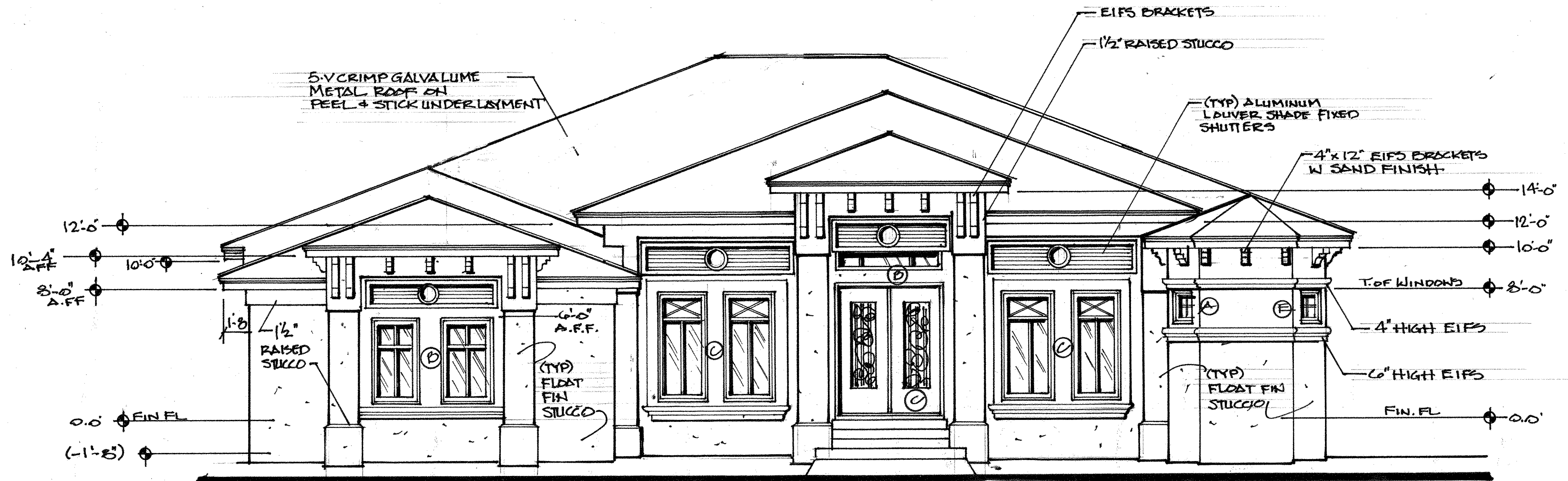
Terry J. Brisson, llc
DESIGN & DRAFTING SERVICES
 1705 Popoise Ave
 Ft. Pierce, FL 34949
 (772) 828-0344 tjbrendhomes@gmail.com

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 Lot 7 Block 3 of Surfside, Unit 1
 Fort Pierce, Florida

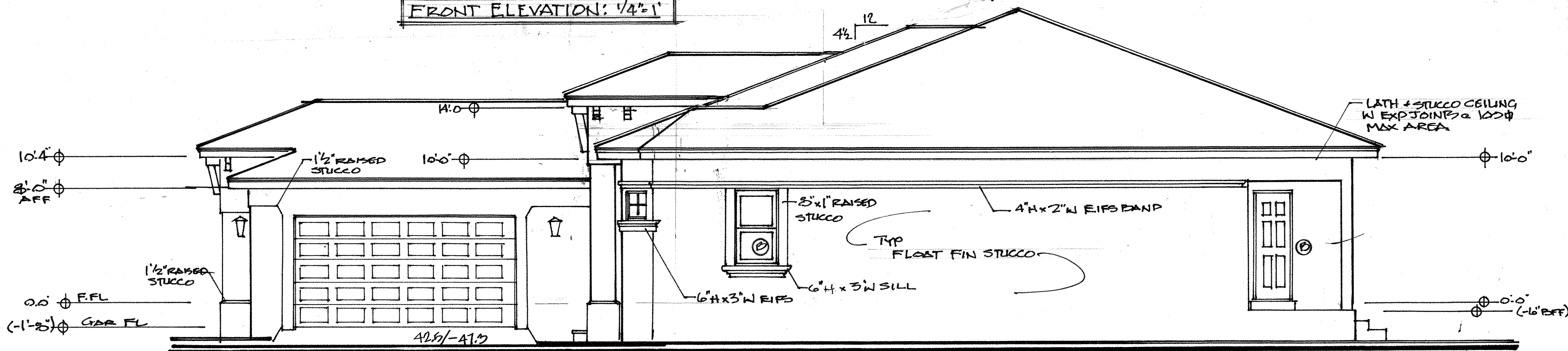
ENGINEER:
 Analysis Pombal, PE
 1457 SW Prairie Cir.
 Fort St Lucie, FL 34953
 (561) 214- 0781
 anypombal@hotmail.com
 PE # 77737

DATE:
 Aug 2012
JOB#
 18-749

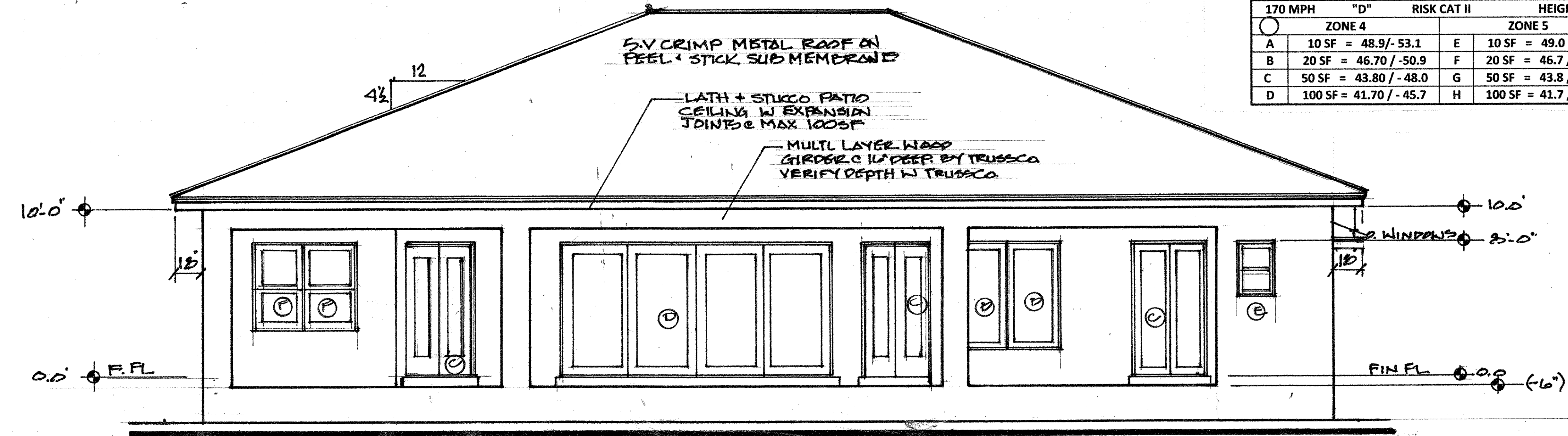
FLORIDA BUILDING CODE - FBRC 2017	
CONSTRUCTION TYPE VB	OCCUPANCY R-3
DESIGN PARAMETERS: A.S.C.E. 7-10	
ULTIMATE WIND SPEED	170 MPH
NOMINAL WIND SPEED	132 MPH
DESIGNED AS:	ENCLOSED
WIND EXPOSURE	"D"
PLUMBING CODE -	2014
NAT'L ELECTRIC CODE -	2014
MECHANICAL CODE -	2014
TOTAL ROOF LOAD	37 psf
TOTAL ROOF DEAD LOAD	27 psf
TOTAL ROOF LIVE LOAD	15 psf
STORAGE TRUSSES	20 psf
ROOF OVERHANG	18"
ROOF PITCH	4 1/2: 12
MEAN ROOF HEIGHT	25 FT
MIN. SOIL BEARING CAPACITY	2500 PSI
IMPACT ASSEMBLY	YES: IMPACT GLASS



FRONT ELEVATION: 1/4"=1'



RIGHT ELEVATION:



REAR ELEVATION: 1/4"=1'

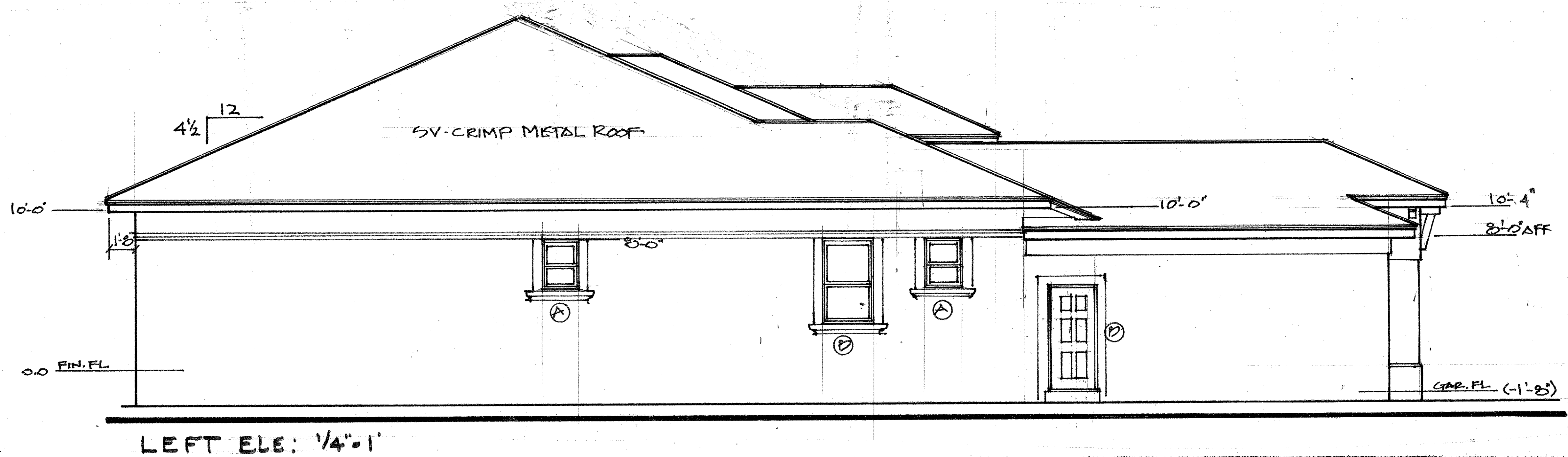
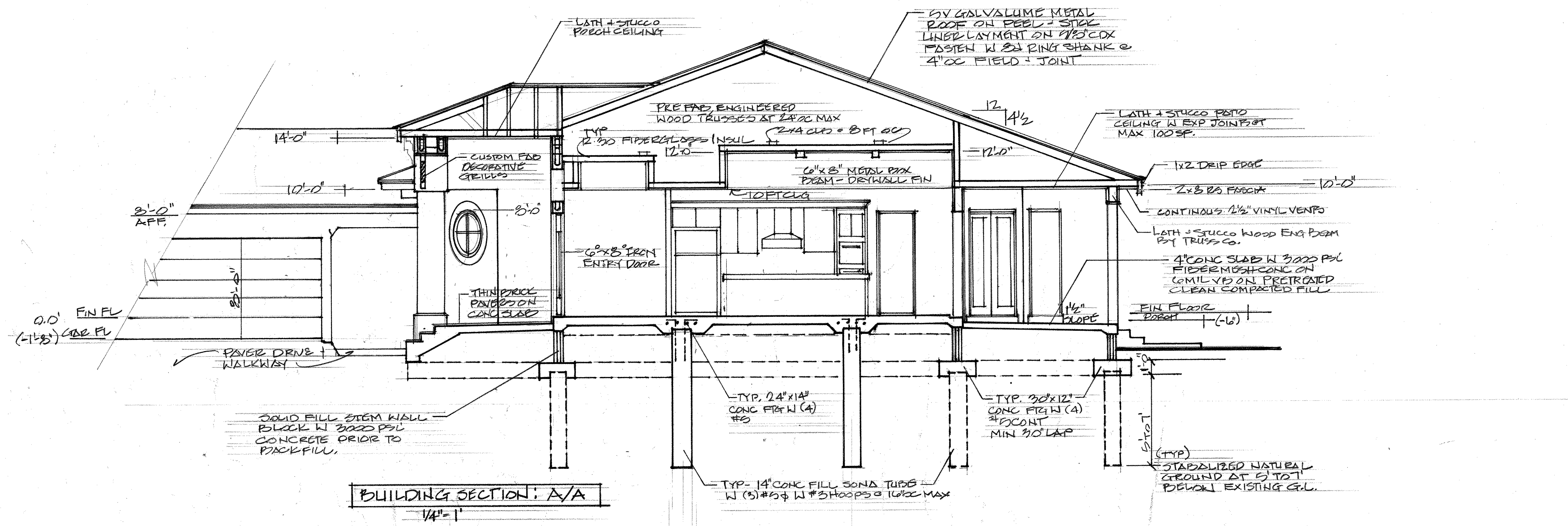
C & C Vasd		WALL & WIND PRESSURES	
ROOF SLOPES BETWEEN 2:12 & 6:12			
170 MPH	"D"	RISK CAT II	HEIGHT < 25
○	ZONE 4		ZONE 5
A	10 SF = 48.9 / -53.1	E	10 SF = 49.0 / -65.5
B	20 SF = 46.70 / -50.9	F	20 SF = 46.7 / -61.2
C	50 SF = 43.80 / -48.0	G	50 SF = 43.8 / -55.2
D	100 SF = 41.70 / -45.7	H	100 SF = 41.7 / -50.9

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 Ft. Pierce, Fl. 34949
 (772) 828-0364 tjrthomes@gmail.com

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 Lot 7 Block 3 of Surfside; Unit 1
 Fort Pierce, Florida

ENGINEER:
 Anayis Pombal, PE
 1457 SW Prairie Cir.
 Port St Lucie, Fl. 34953
 (561) 214-0781
 anypombal@hotmail.com
 PE # 77737

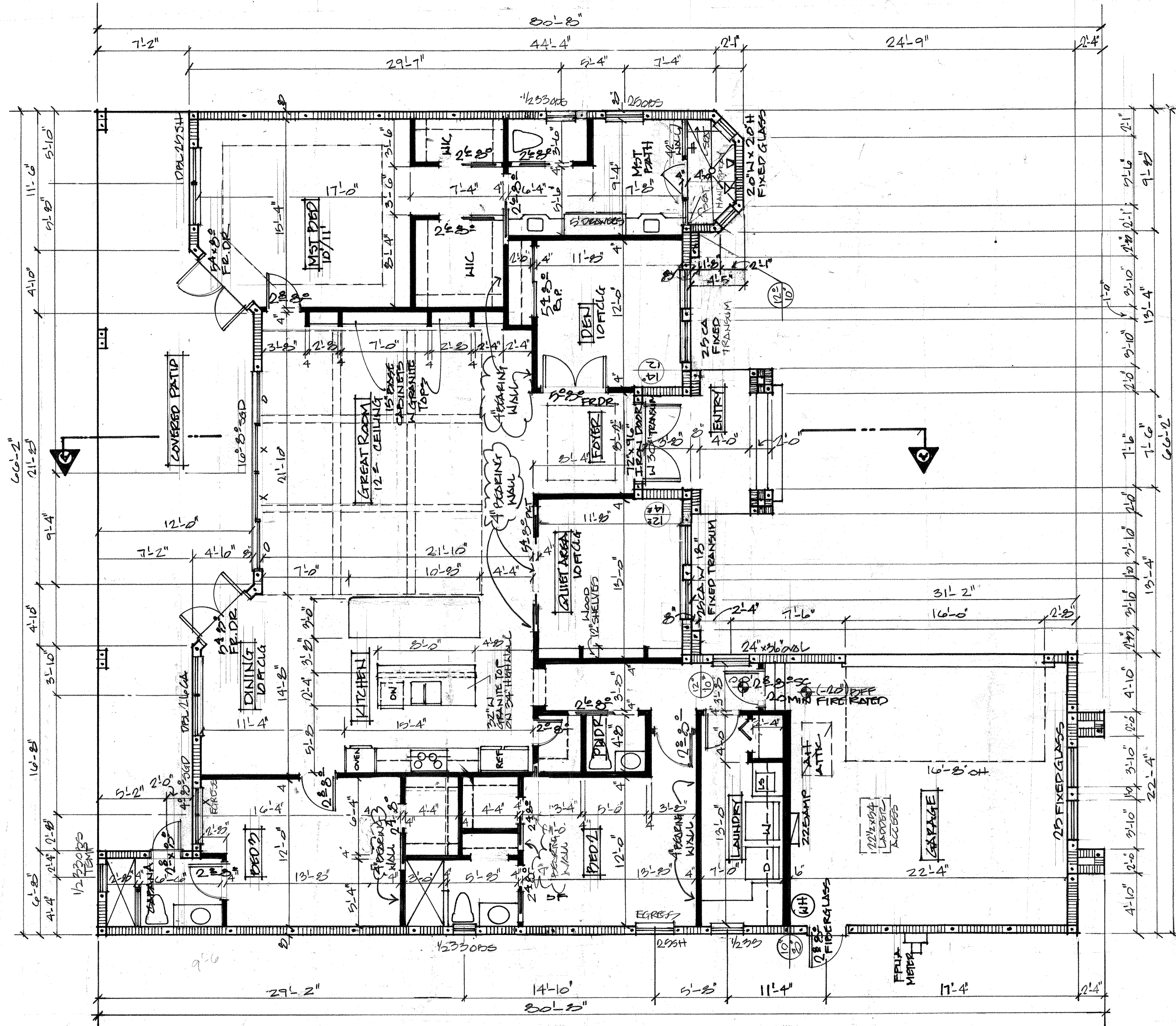
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ENGINEER:
 Anypombar, PE
 1457 SW Prairie Cir.
 Port St Lucie, FL 34953
 (561) 214-0781
 anypombar@hotmail.com
 PE # 77737

DATE:
 04/20/20
JOB#
 18-749



FLOOR PLAN
1/4" = 1'

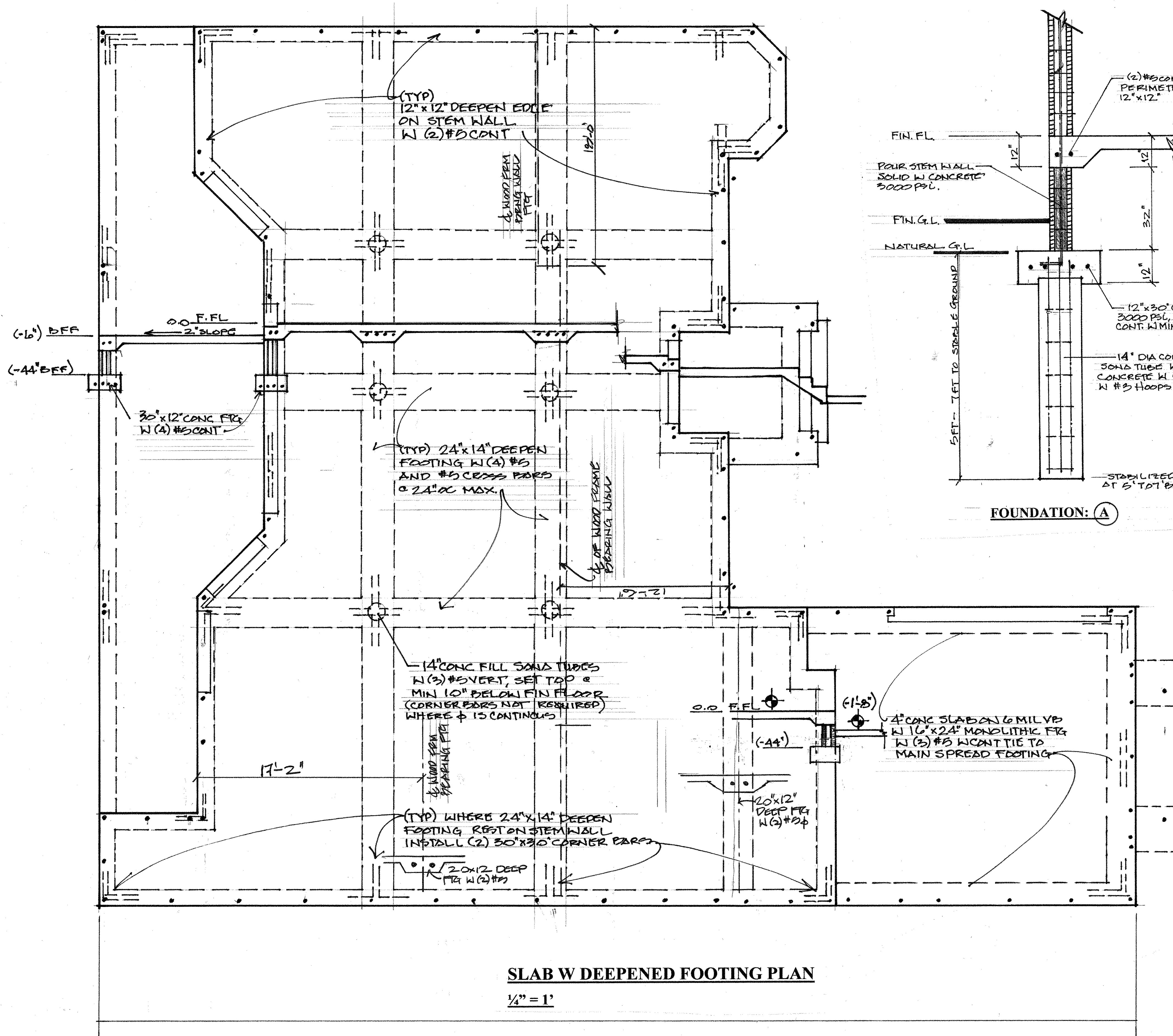
LIVING AREA	2,170 SF
GARAGE	550 SF
PATIO	553 SF
ENTRY	100 SF
TOTAL	3,373 SF

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Anayis Pombal, PE
1457 SW Prairie Cir.
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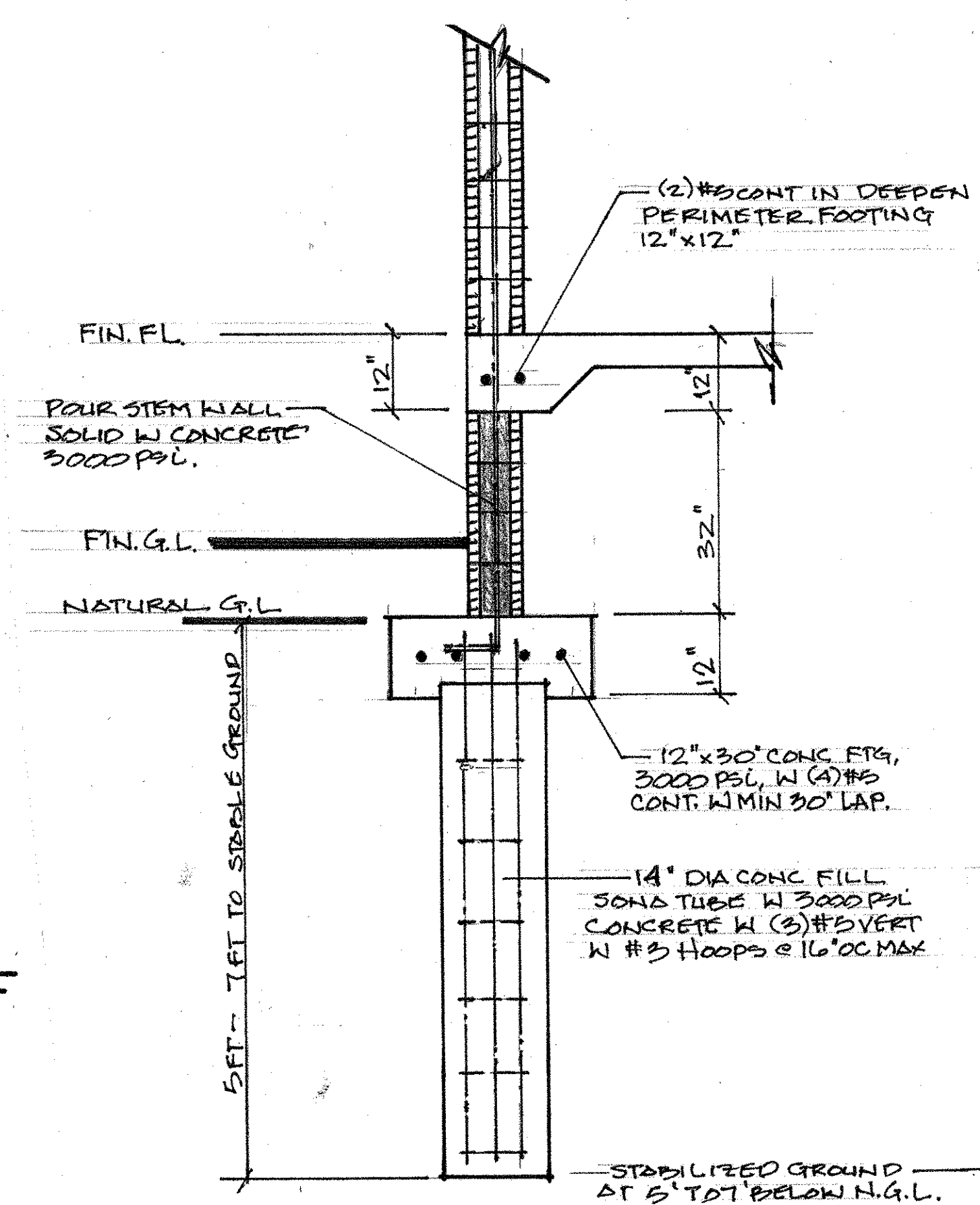
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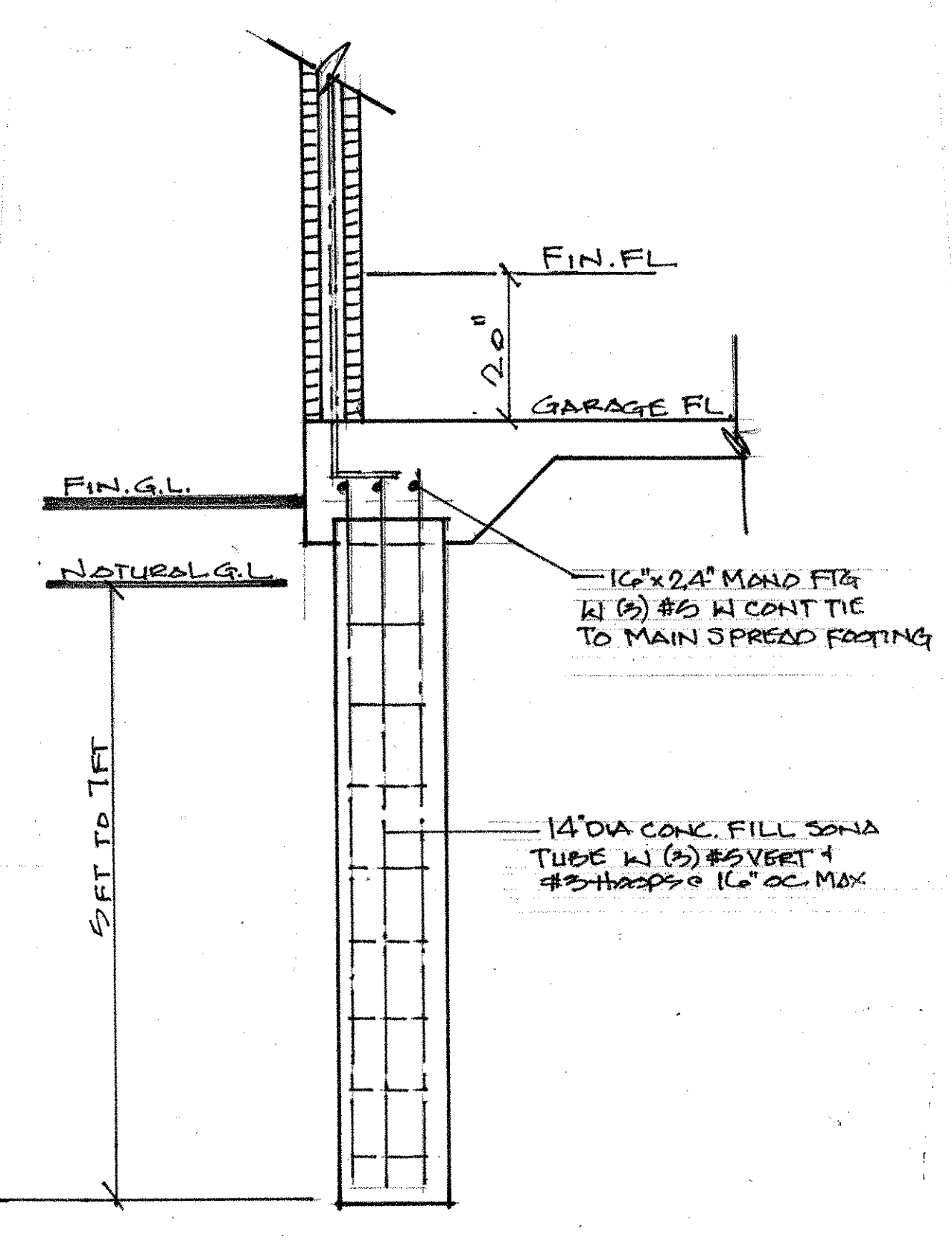


SLAB W DEEPENED FOOTING PLAN

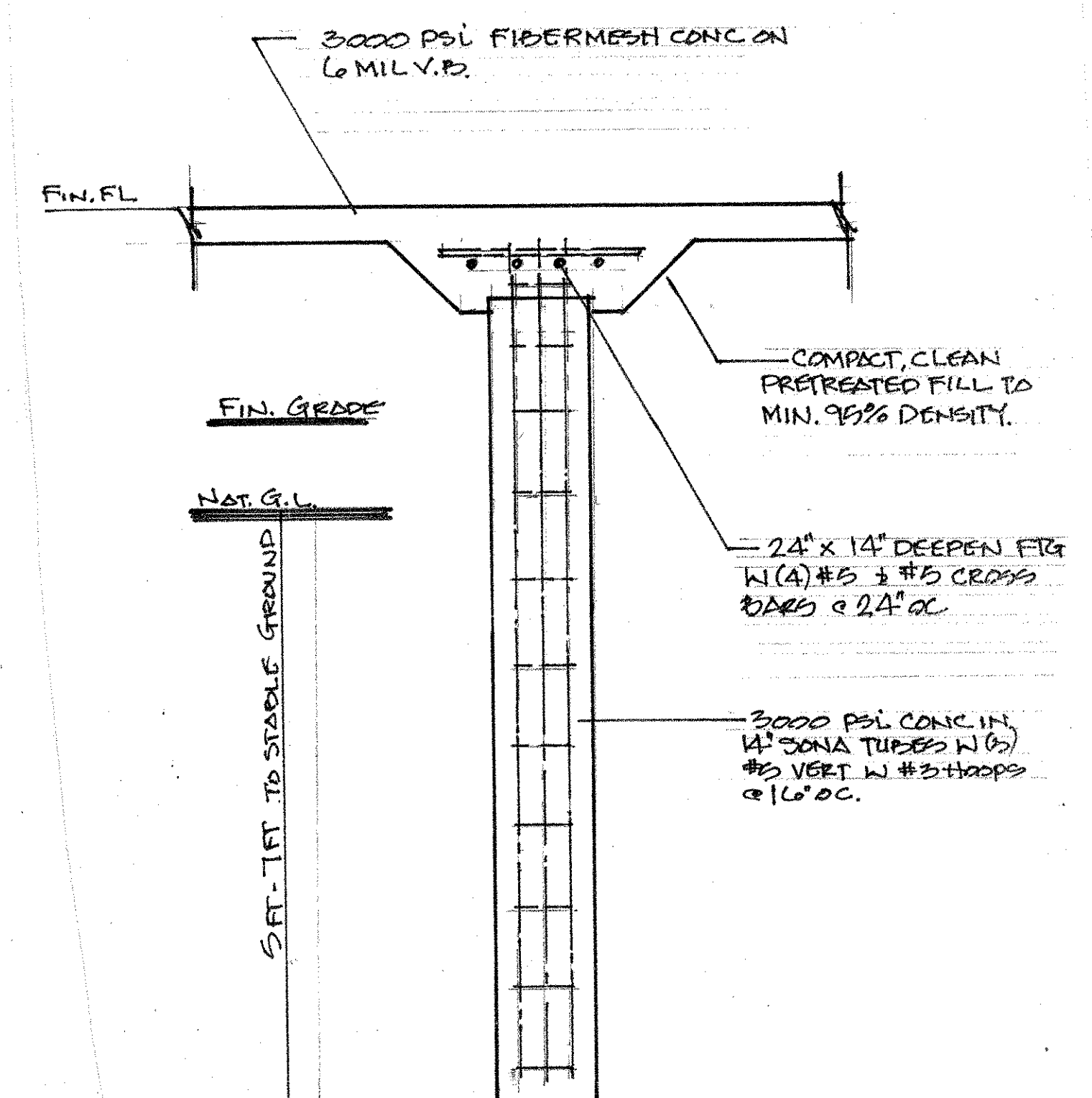
1/4" = 1'



FOUNDATION: A



FOUNDATION: B



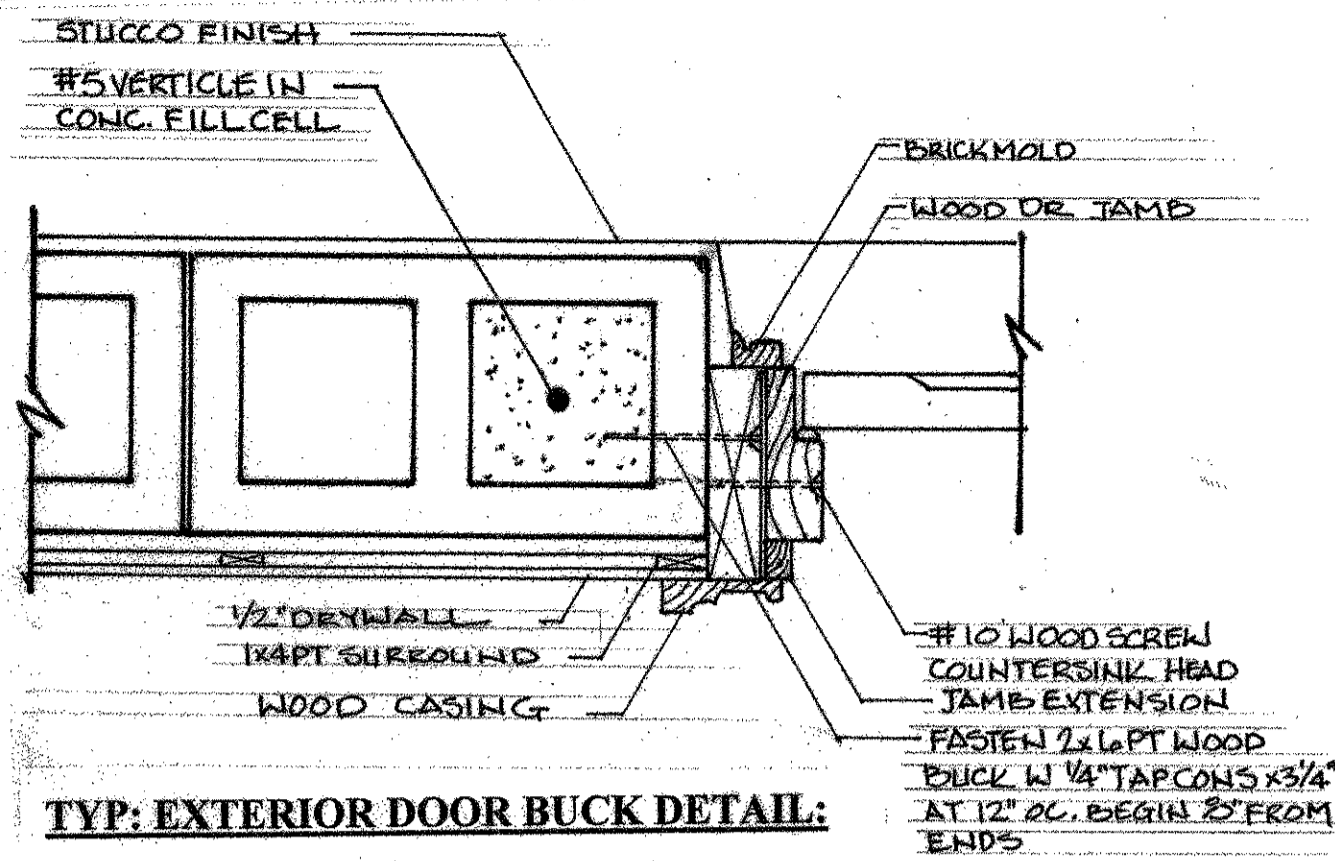
FOUNDATION: C

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 Ft. Pierce, FL 34949
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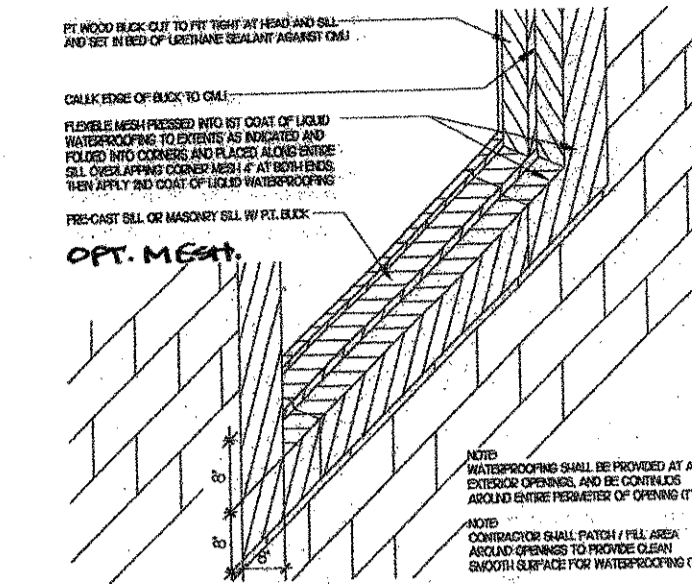
ENGINEER:
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 1457 SW Prairie Cir.
 Fort St. Lucie, FL 34953
 (561) 214-0781
 anayis@hottmail.com
 PE # 77737

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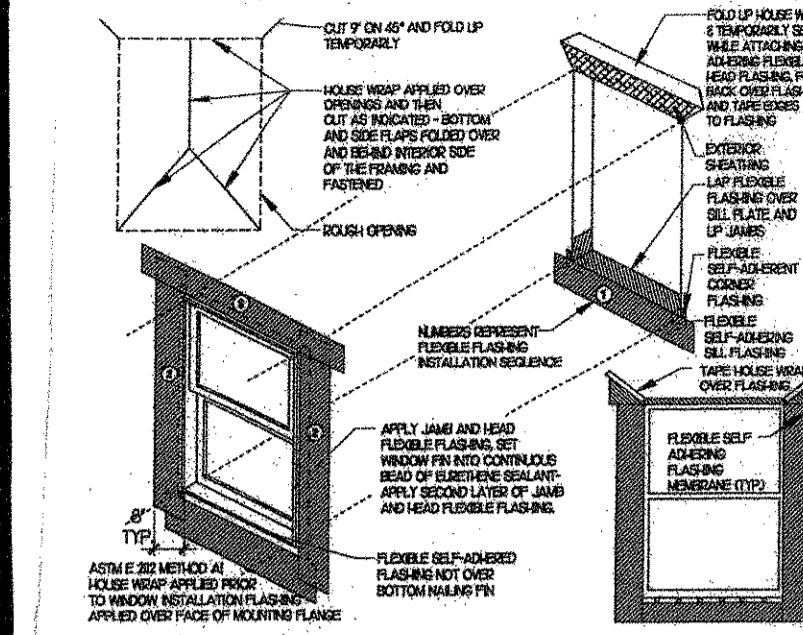


TYP: EXTERIOR DOOR BUCK DETAIL:

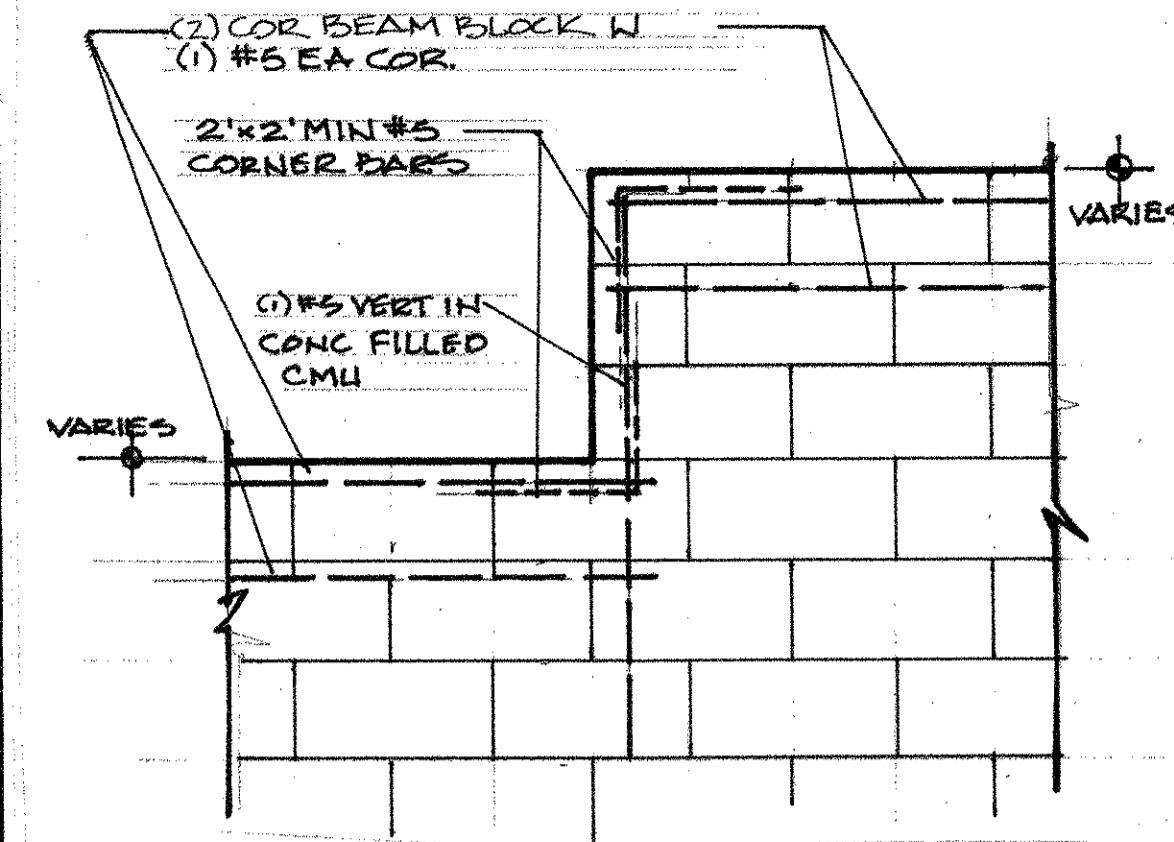
STUCCO FINISH
#5 VERTICLE IN CONC. FILL CELL
BRICK MOLD
WOOD OR JAMB
WOOD Casing
1/2" DRYWALL
1/4" PT SURROUND
WOOD Casing
#10 WOOD SCREW
COUNTERSINK HEAD
JAMB EXTENSION
FASTEN 2x4 PT WOOD
BUCK W 1/4" TAPCONS 2x4"
AT 12" OC, BEGIN 2" FROM
ENDS



OPENING FLASHING DETAIL @
MASONRY WALL



OPENING FLASHING DETAIL @
FRAMED WALL



BOND BEAM - "BEAM CHANGE"

FLAME SPREAD INDEX FOR WALLS & CEILING SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 200.

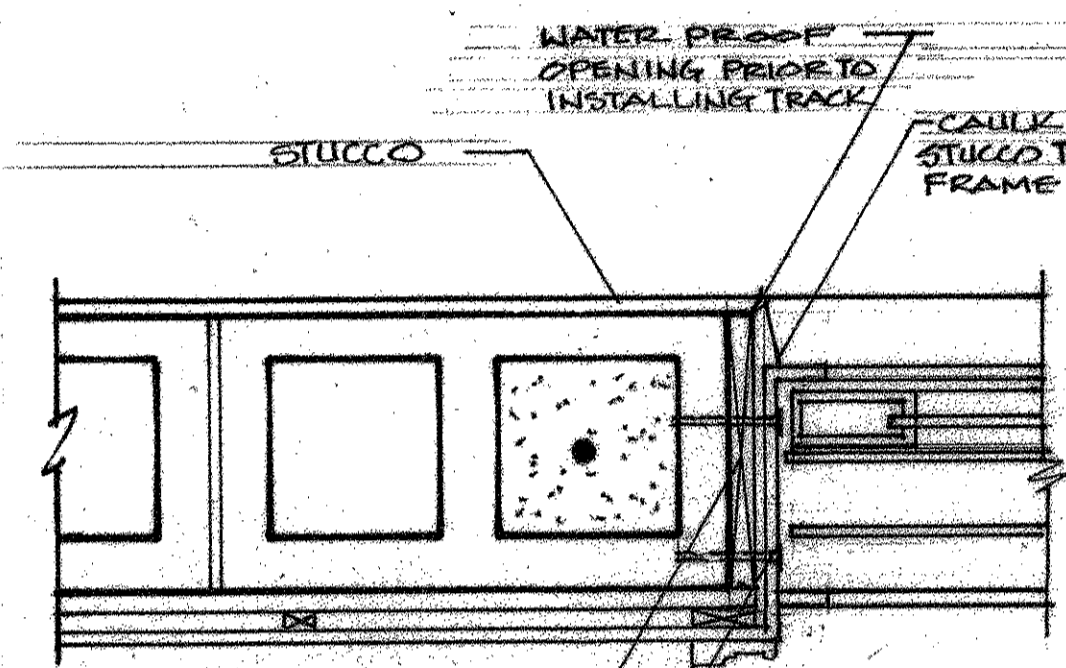
SMOKE - DEVELOPED INDEX FOR WALLS & CEILING SHALL NOT BE GREATER THAN 450.

FLAME SPREAD INDEX FOR INSULATION SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL T25.

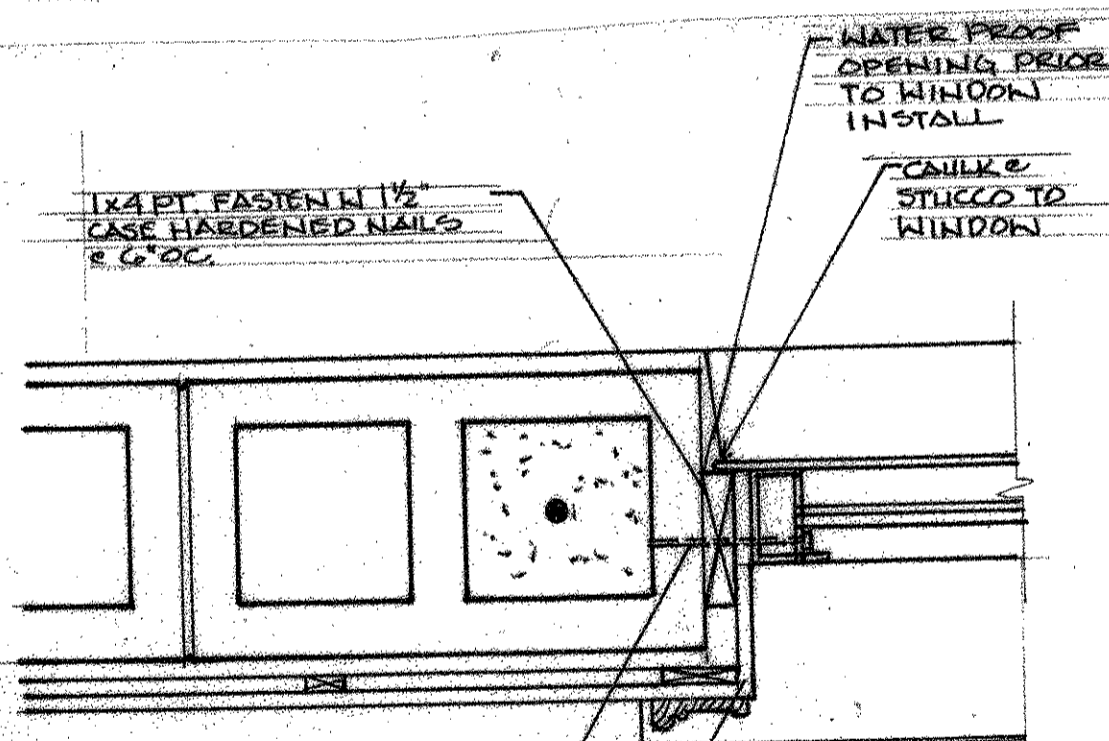
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA									
SUBJECT TO DAMAGE FROM		WIND DESIGN		SEISMIC DESIGN		WEATHERING		ICE BARRIER	
GROUND SNOW LOAD	WIND SPEED (mph)	Topographic effects*	DESIGN CATEGORY	Weathering	Frost line depth*	Temper*	DESIGN TEMP*	ICE BARRIER UNDERLAYMENT REQUIRED*	FLOOD HAZARD*
NA	See Fig. R301.2(4)	NA	NA	Negligible	NA	Very Heavy	NA	NA	NA

ATTIC VENTILATION:

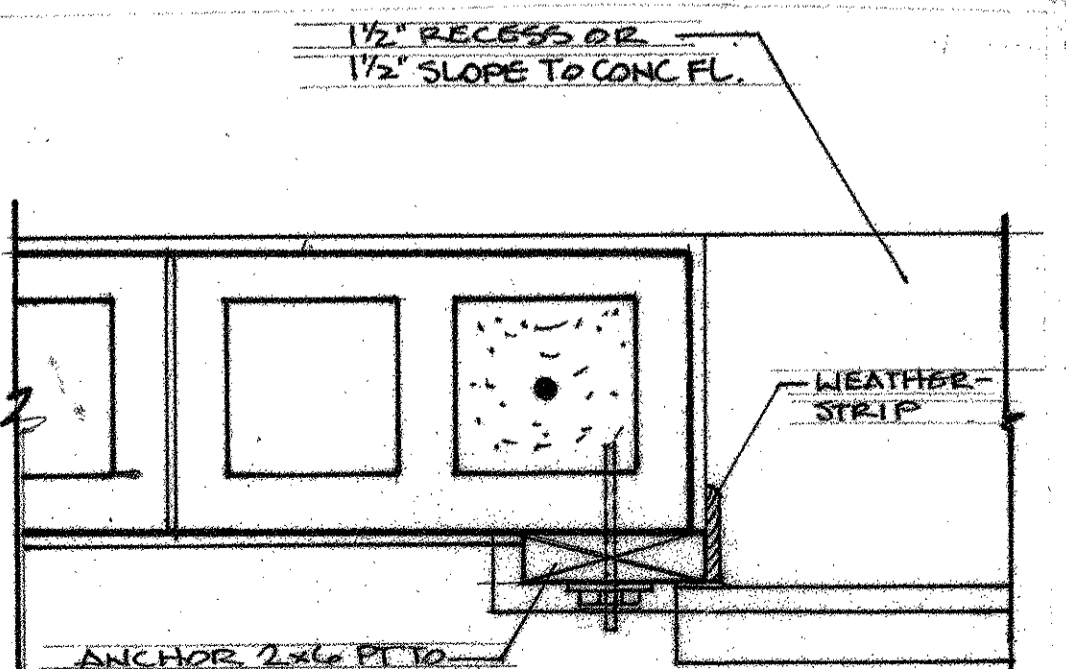
3,900 SF OF ROOF AREA W OVERHANG
10 SF SOFFIT VENTILATION @ 3" VENTS
7" CONTINUOUS SOFFIT VENTS - 1 SF PER 4.75 SF VENTS
6" X 24" SCREEN VENTS @ 10 FT SPACING + 1 SF / 10 FT SOFFITS
300 LBS OF FIBC .25 SF / LF =
REQUIRED VENTS AT 1 SF VENTS / 150 SF ROOF
26 SF VENTS TO BE INSTALLED



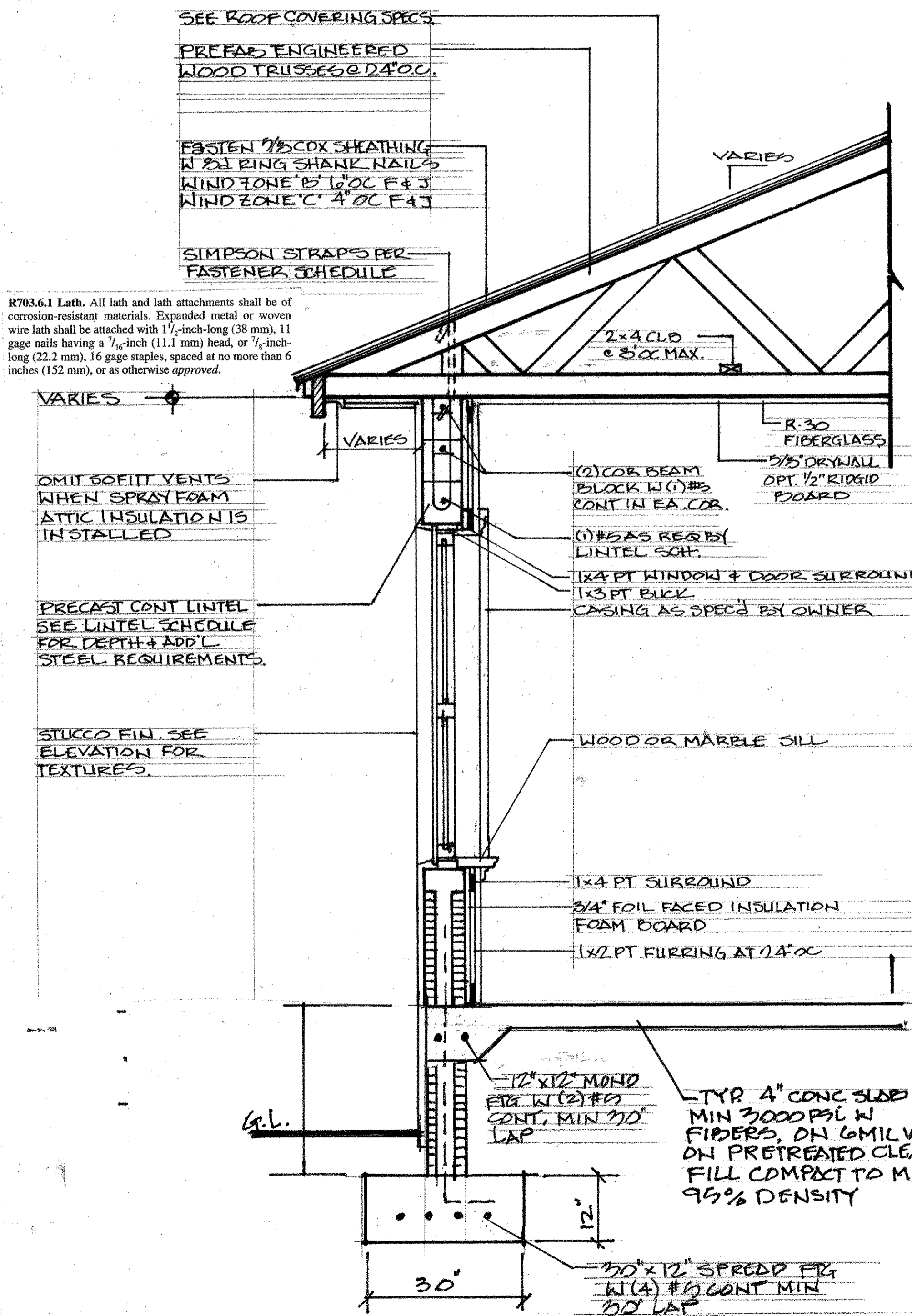
TYP: SLIDING GLASS DOOR BUCK DETAIL:



TYP: WINDOW BUCK DETAIL:

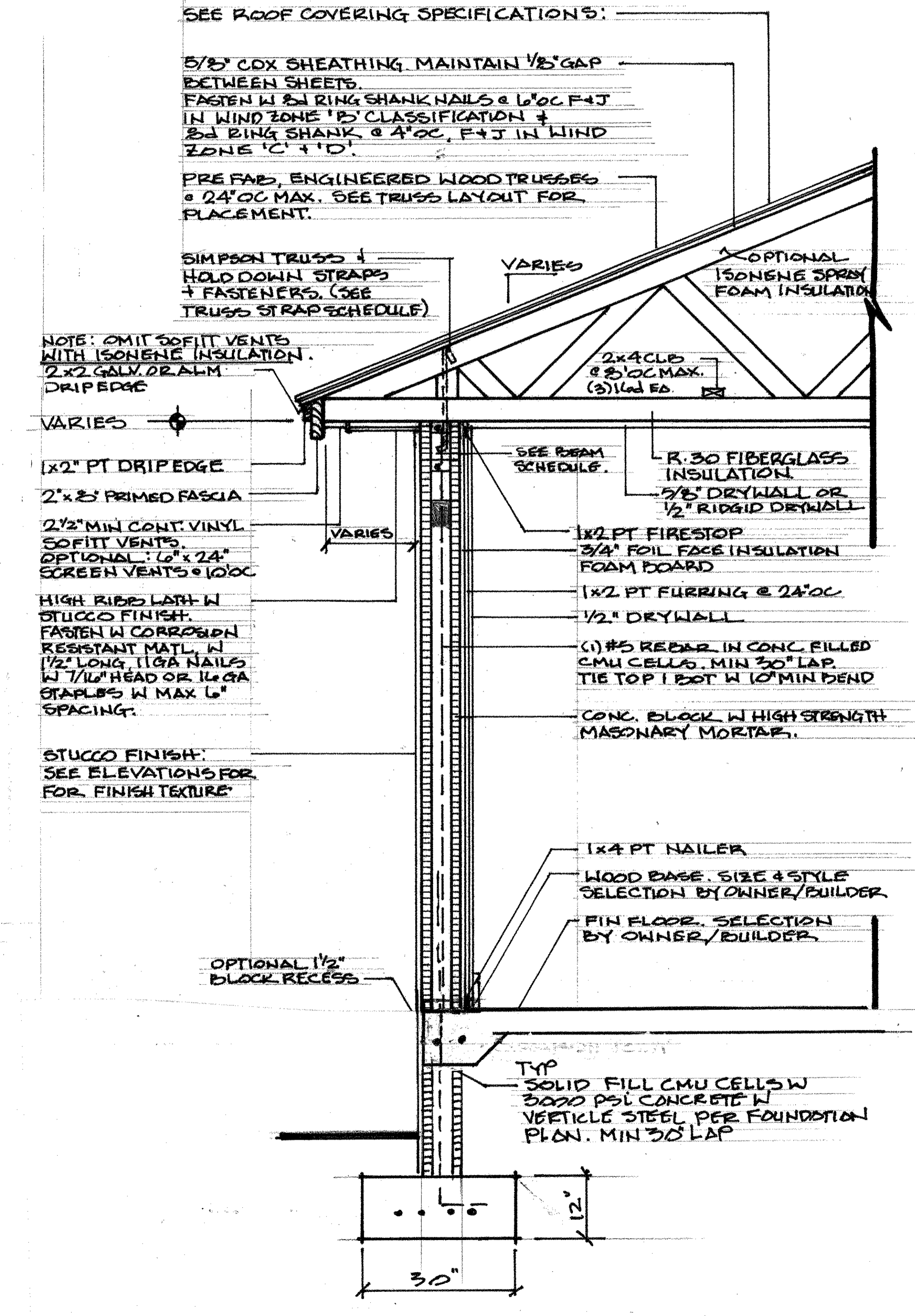


TYP: GARAGE DOOR BUCK DETAIL:



R703.6.1 Lath. All lath and lath attachments shall be of corrosion-resistant materials. Expanded metal or woven wire lath shall be attached with 1 1/2-inch-long (38 mm), 11 gage nails having a 7/16-inch (11.1 mm) head, or 7/16-inch-long (22.2 mm), 16 gage staples, spaced at no more than 6 inches (152 mm), or as otherwise approved.

SEE ROOF COVERING SPECS
PRECAST ENGINEERED WOOD TRUSSES @ 24" OC.
FASTEN 5/8" COX SHEATHING W 2x2 RING SHANK NAILS WIND ZONE 'B' @ 6" OC F+J WIND ZONE 'C' @ 4" OC F+J
SIMPSON STRAPS PER FASTENER SCHEDULE
OMIT SOFFIT VENTS WHEN SPRAYFOAM ATTIC INSULATION IS INSTALLED
PRECAST CONT LINTEL SEE LINTEL SCHEDULE FOR DEPTH & ADD'L STEEL REQUIREMENTS.
STUCCO FIN. SEE ELEVATION FOR TEXTURES.



SEE ROOF COVERING SPECIFICATIONS:
5/8" COX SHEATHING, MAINTAIN 1/8" GAP BETWEEN SHEETS. FASTEN W 2x2 RING SHANK NAILS @ 6" OC F+J IN WIND ZONE 'B' CLASSIFICATION & 2x2 RING SHANK @ 4" OC, F+J IN WIND ZONE 'C' + 'D'.
PRECAST ENGINEERED WOOD TRUSSES @ 24" OC MAX. SEE TRUSS LAYOUT FOR PLACEMENT.
SIMPSON TRUSS + HOLD DOWN STRAPS + FASTENERS. (SEE TRUSS STRAP SCHEDULE)
NOTE: OMIT SOFFIT VENTS WITH ISONENE INSULATION.
2x2 GALV DRIP EDGE
1x2" PT DRIP EDGE
2x2" PRIMED FASCIA
2 1/2" MIN CONT. VINYL SOFFIT VENTS. OPTIONAL: 6" X 24" SCREEN VENTS @ 10" OC
HIGH RISE LATH W STUCCO FINISH. FASTEN W CORROSION RESISTANT MATL W 1 1/2" LONG 11 GA NAILS W 7/16" HEAD OR 16 GA STAPLES W MAX 6" SPACING.
STUCCO FINISH: SEE ELEVATIONS FOR FINISH TEXTURE

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Fort Pierce, FL 34949
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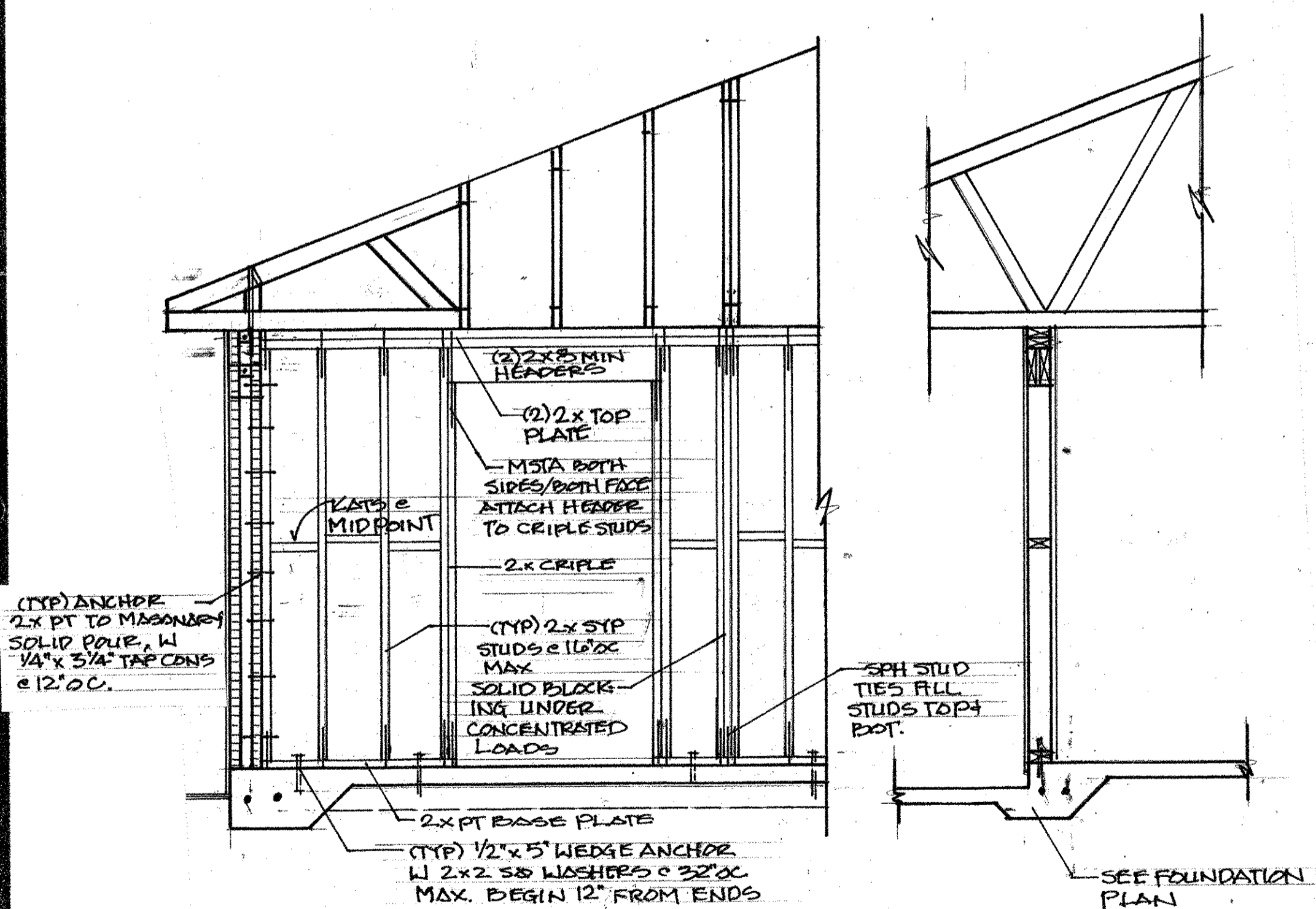
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ENGINEER:
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anypombal@hotmail.com
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DATE:
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DETAIL SHEET 8

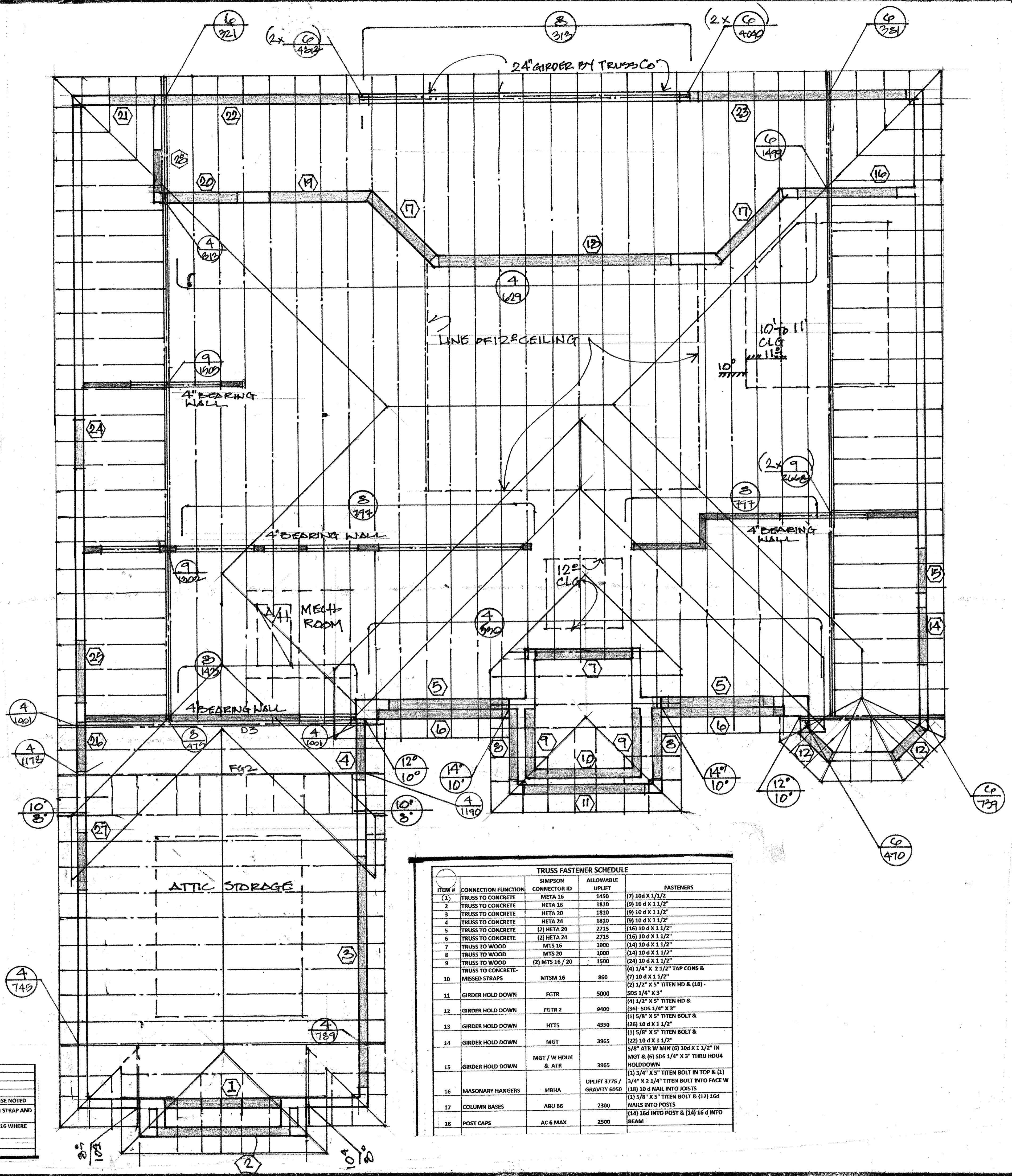
CAST CRETE-PRECAST LINTELS						
SAFE LOAD TABLES FOR PRECAST LINTELS						
1709 BAYSHORE DR; FORT PIERCE						
MARK ID	LENGTH	COMPOSITE BEAM	SAFE LOAD /LF	APPLIED LOAD/ LF	SAFE UPLIFT/ LF	APPLIED UPLIFT/ LF
1	9'-4"	8F24 IT	3486	NA	1811	NA
2	11'-4"	8F24 IT	2423	NA	1272	NA
3	17'-4"	8F 20 2T/1B	1326	1187	732	424
4	3'-6"	8F 24 IT	8054	NA	5591	NA
5	10'-6"	8F 48 IT/1B	4754	292	2544	162
6	11'-4"	8F 16 IT	1366	NA	798	NA
7	7'-6"	8RF 6	NA	NA	NA	NA
7-A	7'-6"	8F 32 IT	3685	307	3508	260
8	5'-4"	8F 48 IT	4249	NA	5861	NA
9	5'-4"	8F 48 IT	4249	NA	5861	NA
10	9'-4"	8F 16 IT	1625	NA	1133	NA
11	9'-4"	8F 16 IT	1625	NA	1133	NA
12	3'-6"	8F24 IT	6607	NA	5591	NA
13	NONE					
14	4'-0"	8F24 IT	5961	NA	4853	NA
15	3'-6"	8F 24 IT	8054	NA	5591	NA
16	7'-6"	8F 24 IT/1B	5681	1400	2571	750
17	7'-6"	8RF22 IT/1B	5743	260	2442	399
18	17'-4"	8F24 2T/1B	1609	1035	993	380
19	7'-6"	8F 24 IT/1B	5681	892	2571	296
20	5'-4"	8F24 IT/1B	7342	824	3607	274
21	3'-6"	8F24 IT	8054	NA	5591	NA
22	17'-4"	8F24 IT/1B	1609	274	993	151
23	17'-4"	8F24 IT/1B	1609	1450	993	750
24	3'-6"	8F24 IT	8054	NA	5591	NA
25	4'-6"	8F24 IT	4576	NA	4292	NA
26	4'-6"	8RF 18 IT	3968	NA	3374	NA
27	4'-4"	8RF 22 IT	5421	1187	4409	464

NOTES:
 LINTEL LOADS NOT SHOWN ARE LESS THAN 750 PLF
 UPLIFTS NOT SHOWN ARE LESS THAN 750 PLF
 LINTEL DEPTHS MAY BE INCREASED AS NEEDED TO ACCOMMODATE ROUGH OPENING SIZE, W/NO ADDITIONAL STEEL REINFORCEMENT.
 ALL RE-BAR TO BE #5 ASTM GRADE 60.
 MINIMUM LINTEL BEARING IS 4"



TYP. WOOD FRAME BEARING WALL:

UPLIFTS NOT SHOWN ARE < 750 #
UNLESS OTHERWISE NOTED, MAX SHEER IS 300 #
ALL LATERAL LOADS ARE LESS THAN 400# UNLESS OTHERWISE NOTED
ALL INTERIOR ARE NON BEARING UNLESS OTHERWISE NOTED
ENTIRE ROOF TO BE NAILED WITH 8d RING SHANK NAILS AT 6" OC FIELD AND JOINT, UNLESS OTHERWISE NOTED
IF TRUSS STRAP DOES NOT ALIGN WITH TRUSS PLACEMENT BUT IS WITHIN 1" OF STRAP, USE EXISTING STRAP AND ADD (1) MTSM 16 W (4) 1/4" X 2 1/4" TAP CONS.
IF TRUSS DOES NOT ALIGN WITH STRAP PLACEMENT, AND IS GREATER THAN 1" AWAY, USE (1) MTSM 16 WHERE UPLIFTS ARE < 500 # AND (2) MTSM 16 IF UPLIFTS ARE < 1,000 #.



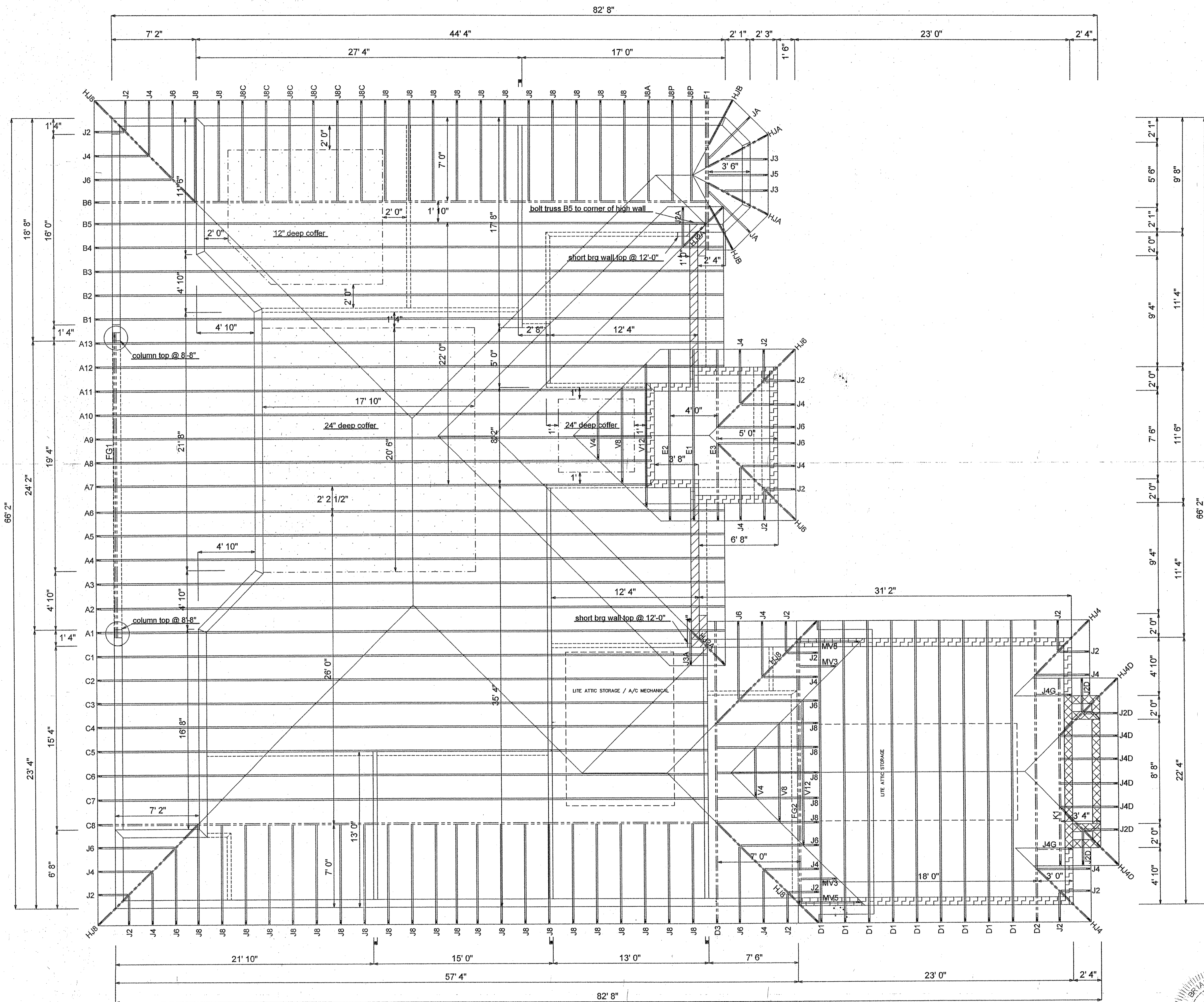
ITEM #	CONNECTION FUNCTION	SIMPSON CONNECTOR ID	ALLOWABLE UPLIFT	FASTENERS
1	TRUSS TO CONCRETE	META 16	1450	(7) 10d x 1 1/2"
2	TRUSS TO CONCRETE	META 16	1810	(9) 10 d x 1 1/2"
3	TRUSS TO CONCRETE	META 20	1810	(9) 10 d x 1 1/2"
4	TRUSS TO CONCRETE	META 24	1810	(9) 10 d x 1 1/2"
5	TRUSS TO CONCRETE	(2) META 20	2715	(16) 10 d x 1 1/2"
6	TRUSS TO CONCRETE	(2) META 24	2715	(16) 10 d x 1 1/2"
7	TRUSS TO WOOD	MTS 16	1000	(14) 10 d x 1 1/2"
8	TRUSS TO WOOD	MTS 20	1000	(14) 10 d x 1 1/2"
9	TRUSS TO WOOD	(2) MTS 16 / 20	1500	(24) 10 d x 1 1/2"
10	TRUSS TO CONCRETE-MISSED STRAPS	MTSM 16	860	(4) 1/2" X 5" 2 1/2" TAP CONS & (7) 10 d x 1 1/2"
11	GIRDER HOLD DOWN	FGTR	5000	(2) 1/2" X 5" TITEN HD & (18) SDS 1/4" X 3"
12	GIRDER HOLD DOWN	FGTR 2	9400	(4) 1/2" X 5" TITEN HD & (8) SDS 1/4" X 3"
13	GIRDER HOLD DOWN	HTTS	4350	(1) 5/8" X 5" TITEN BOLT & (26) 10 d x 1 1/2"
14	GIRDER HOLD DOWN	MGT	3965	(1) 5/8" X 5" TITEN BOLT & (22) 10 d x 1 1/2"
15	GIRDER HOLD DOWN	MGT / W HDU4 & ATR	3965	5/8" ATR W MIN (6) 10d x 1 1/2" IN MGT & (6) SDS 1/4" X 3" THRU HDU4 HOLDDOWN
16	MASONARY HANGERS	MBHA	UPLIFT 3775 / GRAVITY 6050	(1) 3/4" X 5" TITEN BOLT IN TOP & (1) 3/4" X 2 1/4" TITEN BOLT INTO FACE W (18) 10 d NAIL INTO JOISTS
17	COLUMN BASES	ABU 66	2300	(1) 5/8" X 5" TITEN BOLT & (12) 16d NAILS INTO POSTS
18	POST CAPS	AC 6 MAX	2500	(14) 16d INTO POST & (14) 16 d INTO BEAM

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JOB#:
 18-749



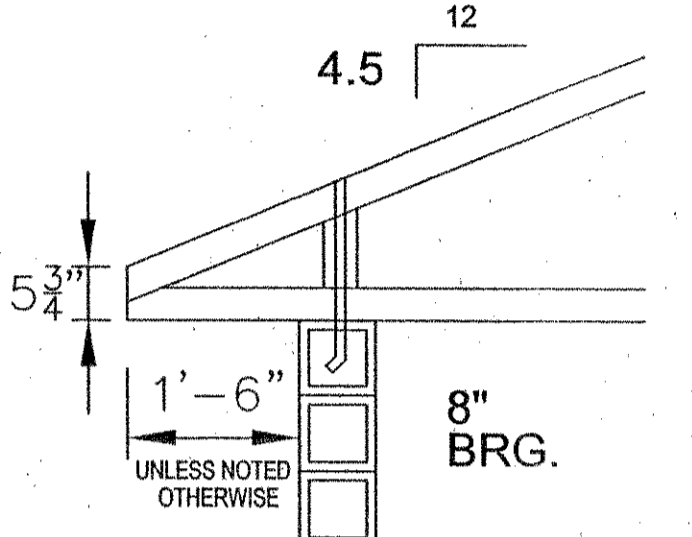
TRUSS PLACEMENT PLAN

ALL WALLS SHOWN ON THIS LAYOUT ARE TO BE LOAD BEARING

Hatch Legend	
	8'-0"
	9'-9 3/4"
	10'-0"
	12'-0"
	14'-0"

TRUSS BEARING HEIGHT SCHEDULE

APPROVED TRUSS ANCHOR BY BUILDER
2x4 MINIMUM TOP and BOTTOM CHORDS
PLUMB CUT CANTILEVER



TYPICAL TRUSS END DETAIL

HANGERS TO BE USED

(Simpson)	or	(Usp)
Ⓐ HUS26		Ⓐ HUS26
Ⓑ HGUS26-2		Ⓑ THDH26-2
Ⓒ HGUS26-2		Ⓒ THDH28-2
Ⓓ HHUS46		Ⓓ THD46
Ⓔ LUS24		Ⓔ JUS24

NOTE:

- YOUR SIGNATURE WILL ACKNOWLEDGE:
- AUTHORIZATION FOR FABRICATION.
 - VERIFICATION OF ALL DIMENSIONS, CONDITIONS, AND TRUSSES. TRUSSES WILL BE MADE IN STRICT ACCORDANCE WITH THIS PLACEMENT PLAN.
 - RECEIPT AND USE OF "HB-91 Summary Sheet COMMENTARY and RECOMMENDATIONS for HANDLING, INSTALLING & BRACING METAL PLATE CONNECTED WOOD TRUSSES" (TP).
 - NO BACK CHARGES OR CRANE CHARGES OF ANY KIND WILL BE ACCEPTED UNLESS SPECIFICALLY AUTHORIZED IN WRITING BY TRUSS PLANT MNGMT.

SIGNED _____
TITLE _____
DATE _____

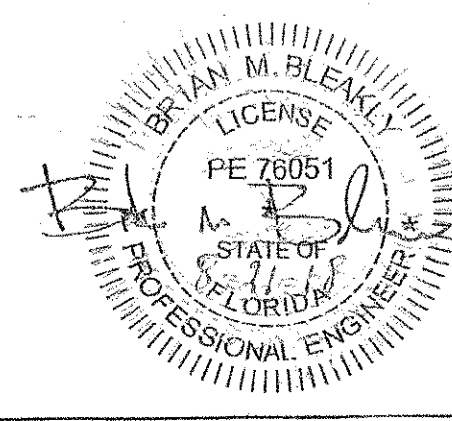
All spacing is 24" O.C., except as noted.
All walls shown are bearing, except as noted.
All valleys calculated with sheathing under.
Number of girder piles to be determined by engineering.
DO NOT CUT OR ALTER TRUSSES w/o AUTHORIZATION FROM THIS OFFICE.
Labeling trusses is a service, not a requirement. Engineered drawings supercede labeling of trusses. It is the responsibility of the builder to utilize engineered drawings when erecting trusses.

WARNING

ERECTOR BRACING IS NOT THE RESPONSIBILITY OF TRUSS DESIGNER, PLATE MANUFACTURER, NOR TRUSS FABRICATOR. PERSONS ERECTING TRUSSES ARE CAUTIONED TO SEEK PROFESSIONAL ADVICE REGARDING ERECTION BRACING WHICH IS ALWAYS REQUIRED TO PREVENT TIPPING AND LOADING DURING ERECTION, AND PERMANENT BRACING WHICH MAY BE REQUIRED IN SPECIFIC APPLICATIONS. SEE "HB-91 Summary Sheet COMMENTARY and RECOMMENDATIONS for HANDLING, INSTALLING & BRACING METAL PLATE CONNECTED WOOD TRUSSES" (TP). TRUSSES ARE TO BE ERECTED AND FASTENED IN A STRAIGHT AND PLUMB POSITION WHERE NO SEATING IS APPLIED DIRECTLY TO THE TOP CHORDS, THEY SHALL BE BRACED AS SPECIFIED ON THE TRUSS DESIGN.
TRUSSES SHALL BE HANDLED WITH REASONABLE CARE DURING ERECTION TO PREVENT DAMAGE.

NOTE:
TRUSS COMPANY SUPPLIES ONLY TRUSS TO TRUSS CONNECTIONS.
TRUSS COMPANY WILL SUPPLY ALL TRUSS TO TRUSS HARDWARE CONNECTIONS FOR REACTIONS UNDER 5000 POUNDS. FOR ALL REACTIONS GREATER THAN 5000 POUNDS, OR SKewed, NO HANGER IS SUPPLIED.
CONTRACTOR SHOULD CHECK ALL REACTIONS FOR PROPER CONNECTIONS.

ASCE7-10 WIND and GRAVITY CRITERIA
Exposure Category : C Bldg Category : 2 Wind Design Velocity : 170 MPH
Imp. Factor : 1.00 Wind Load Duration Factor : 1.33 Mean Roof Height : 18 ft
BRUNN W. BEAUMONT Street Eng. #2001, 2590 N. KINGS HIGHWAY FT. PIERCE, FL 34951 (772) 464-4100

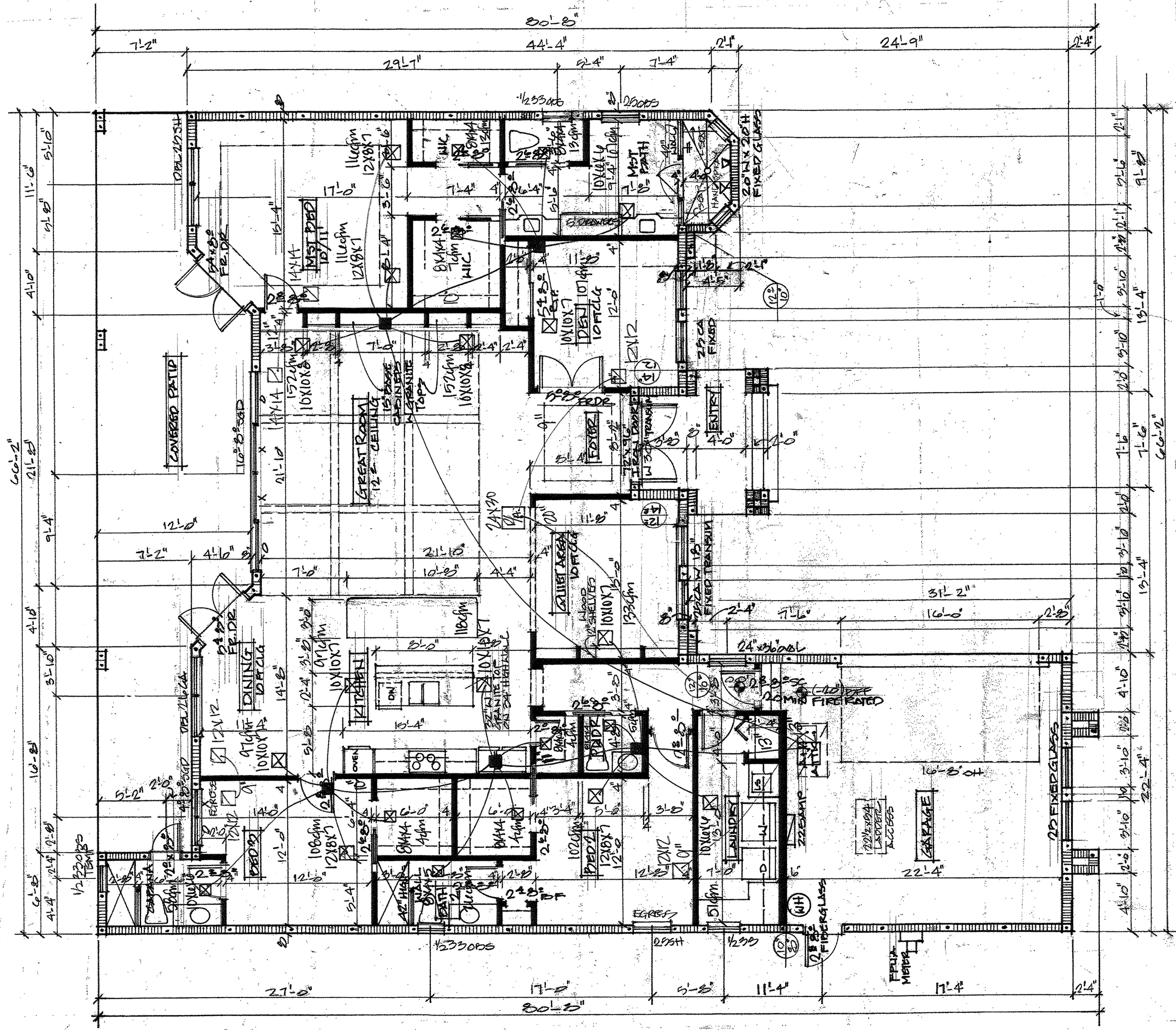


Trusses shown on this layout are a component part of the building and show truss location. Proper erection, temporary and permanent bracing design are the responsibility of the building designer or his engineer. Lateral bracing shown on the individual truss drawings must be placed during the erection procedure.

JOB NO.: 4292
LOT: BLK: _____
ADDRESS: 1709 Bayshore Dr Ft. Pierce
SUBDIVISION: _____

SOUTHERN TRUSS COMPANIES, INC.
2590 N. Kings Highway Fort Pierce, FL 34951
(772) 464-4100

CUSTOMER: **FLORIDA TREND HOMES**
1709 Bayshore Dr Ft. Pierce
DATE: 08/10/18
SCALE: 3/16"=1'-0"
DRAWING NUMBER: 4292



FLOOR PLAN
1/4" = 1'

LIVING AREA	2,120 SF
GARAGE	530 SF
PATIO	553 SF
ENTRY	100 SF
TOTAL	3,303 SF

DATE _____

JOB _____

9

Terry J. Brisson, Inc.
 DESIGN & DRAFTING SERVICES
 1705 Polpoise Ave
 Ft. Pierce, FL 34949
 (772) 828-0364 ttrendhomes@gmail.com

Planning Board of Adjustment

Meeting Date: 01/24/2019

Information

REQUESTED ACTION

Variance - Lawnwood Medical Center - 1860 N. Lawnwood Circle

LOCATION

1860 N. Lawnwood Circle

RESPONSIBLE STAFF

Vennis Gilmore

RECOMMENDATION

Approve the requested variance for the proposed ten (10) foot wall height; based upon justification presented by the applicant with respect to the criteria for granting a Variance as specified in Sec. 22-108 the Land Development Code.

Attachments

Staff Report

Aerial

Application

Narrative from applicant

Form Review

Form Started By: Rebecca Grohall

Started On: 01/18/2019 09:40 AM

Final Approval Date: 01/18/2019



TO: Members of the City of Fort Pierce Board of Adjustment

THROUGH: Rebecca Grohall, AICP, Planning Director

FROM: Vennis Gilmore, Planning Analyst

RE: **Application for Variance**
Lawnwood Medical Center – Increase in height to ten (10) feet for a privacy/security wall
1860 Lawnwood Circle

DATE: January 17, 2019

STAFF REPORT

Owner/Applicant: HCA Lawnwood Medical
1700 South 23rd Street
Fort Pierce, FL. 34950

Requested Action: The recommendation of Staff is to grant approval of the requested variance for the proposed wall of ten (10) feet in height; based upon the justification presented by the applicant with respect to the criteria for granting a Variance specified in Section 22-108.

Location: 1860 North Lawnwood Circle

Parcel ID: 2416-504-0199-030-0

Current Zoning: C-1, Office Commercial Zone

Future Land Use: INST, Institutional

Lot Size: 8.4 acres

Staff Analysis:

Variance Request

In accordance with Article VIII of Section 22 of the City Code, the property owner is requesting the Board of Adjustment approve a variance to deviate from Section 22-24 (b)(2)c. in order to construct a ten (10) ft. tall wall. The wall is going to surround the activity yard on the new addition to the Lawnwood Psychiatric Unit for juvenile patients. This wall will also connect to an existing section of wall that is already ten (10) feet in height. The wall must be ten (10) feet in height to meet HIPAA Laws as well as to prevent patient escape and to provide patient privacy.

Existing Conditions

The subject 8.4 acre site located on North Lawnwood Circle; just east of South 21st Street and north of North Lawnwood Circle. The subject site is currently home to a one story medical facility. The 59,149 gross square foot facility was constructed in 1985. This site is the location of the Lawnwood Physical Rehabilitation Center. This center provides a complete continuum of rehabilitation services and medical management for patients requiring intense inpatient rehabilitation. There is an existing ten (10) foot wall that was built along with the original facility. The variance seeks to connect the proposed ten (10) foot wall to the existing and create a security and privacy barrier for juvenile patients in the psychiatric unit.

An approximate forty-five (45) foot right of way separates the northern and eastern borders of the subject property from adjacent properties. Therefore no neighboring properties will be affected by the view or proximity of the proposed variance.

Proposal

The applicant is seeking to construct a ten (10) ft. wall. The wall is going to surround the activity yard on the new addition to the Lawnwood Psychiatric Unit for juvenile patients. This wall will also connect to an existing section of wall that is already ten (10) feet in height. The wall must be ten (10) feet in height to meet HIPAA Laws as well as to prevent patient escape and to provide patient privacy.

Per City Code Section 22-67 (c)(2); fences or walls may be maintained along property lines or within the required yards, to a maximum height of six (6) feet above finished grade of the abutting parcel.

Variance Criteria

The following criteria are specified in Section 22-108 of the City Code, which must be satisfied in order for a variance to be granted:

1. Special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district;

2. The special conditions and circumstances do not result from the actions of the applicant;
3. The literal interpretation of the provisions of the zoning ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the ordinance and would result in unnecessary and undue hardship on the applicant;
4. The variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure; and
5. The granting of the variance will be in harmony with the general intent and purpose of the ordinance and such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

The applicant; in the attached application and supporting documents have provided a response to the criteria.

The applicant maintains that the variance is not detrimental to the neighbors.

Property Owner Response

A total of five (5) notifications were mailed to abutting property owners. As of the preparation of this memorandum, no responses have been received. An updated recording of responses will be provided to the Board at the hearing.

Staff Recommendation

The recommendation of Staff is to grant approval of the requested variance for the proposed wall of ten (10) feet in height; based upon the justification presented by the applicant with respect to the criteria for granting a Variance specified in Section 22-108.



CITY OF FORT PIERCE
Planning & Zoning Dept

~~APPROVED~~
Reviewed by:

Received

Date:

1/2/19

VARIANCE

Property address or Location 1860 North Lawnwood Circle
Parcel ID #(s) 241650401990300
Project description Psychiatric Addition

HCA Lawnwood Medical
Property Owner(s)
1700 South 23rd Street
Street Address
Fort Pierce Fl. 34950
City State Zip
772-468-4800
Phone Number
charles.kanthak@hcahealthcare.com
Email Address

HCA Lawnwood Medical
Applicant/Representative, Title, Company
1700 South 23rd Street
Street Address
Fort Pierce Fl. 34950
City State Zip
772-468-4800
Phone Number
charles.kanthak@hcahealthcare.com
Email Address

Property Owner(s) Acknowledgements: - This application will not be considered complete without the signature of all property owners of record, which shall serve as an acknowledgment of the submission of this application. The property owner's signature below shall also authorize the Applicant (if other than the property owner) and/or Representative to act in his/her behalf for the purposes of seeking approval for the application described herein.

[Handwritten signature]

Property Owner(s) Signature(s)

STATE OF Florida COUNTY St. Lucie
The foregoing instrument was acknowledged before me this 27 day of December, 2018, by
Eric Goldman who is personally known to me or has produced
as identification.

[Handwritten signature]
Signature of Notary

(seal)



Jazmine J. McKenzie
COMMISSION # GG255102
EXPIRES: Dec. 1, 2021
Bonded Thru Aaron Notary

INTAKE MEETINGS ARE REQUIRED FOR ALL SUBMITTALS. CALL (772) 467-3737

TO BE COMPLETED BY STAFF

Zoning	Future Land Use	Total Acres	Historic District	Historic Designation
				Contributing Individual Non-Contributing None

Pre-Application Meeting Date _____ Fees _____ Control # _____ B. Permit # _____
Intake Planner _____
Planner Assigned _____
Approved By _____ Date _____
Comments _____

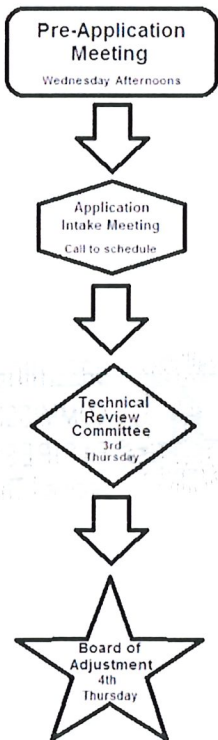
Intake Date Stamp _____

VARIANCE

Submit eight (8) hard copies and one (1) CD of the following for initial submittal, subsequent submittals will be required:

- Site plan, to scale, including all relevant improvements:
 - Existing & proposed structures
 - Landscaping & parking,
 - Fencing, signs, etc.
- As-built Survey
- Criteria Narrative
- Complete, notarized application

Application Outlook



Description of request: Allow construction of 10' concrete fence to intercept and match existing

Reason for request: Continuity of original design, and to secure Psychiatric patients

Existing Use : Psychiatric in-patient Date Property was Purchased: _____

Alterations made to the site since purchase: Additions added

Has a request for this variance been denied in the past? Yes No

If yes, what has changed since the denial? _____

Criteria:

In order to determine whether your request for Variance meets all the criteria in Section 22-108 of the City Code, please answer the following questions. Please provide answers of questions on separate pages:

1. Describe those conditions peculiar to the specific property and not applicable to other lands, structures, or buildings in the same zoning district.
2. Do special conditions or circumstances result from actions other than that of yours? Please explain
3. Identify any undue hardships or deprivation of commonly enjoyed property rights that would result in the literal interpretation of the code for the zoning district.
4. What is the minimum variance that would give the reasonable use of the land, building, or structure?
5. Explain how the variance request would not impair the intent of the zoning ordinance or be detrimental to the general public welfare:



January 2, 2019

City of Ft. Pierce Planning and Zoning

100 N US 1

Ft. Pierce, FL 34954

Behavioral Health 12 Bed Addition at Lawnwood

Permit #: 18-1529

Wall Variance Narrative

Anderson-Moore is applying for wall variance on behalf of Lawnwood Medical as General Contractor.

Plans are for a section of the existing wall to be taken out and reinstalled at a different angle. This wall has been in place for past 35 years. A new section of wall will surround the activity yard on the new addition to the Psychiatric Unit, 18 Beds for Juvenile patients. It surrounds the activity yard for when patients are outside. The new wall should be same height as existing and also match the building, as well as be high enough to prevent patient escape and provide patient privacy (HEPA Laws).

Sheets Included:

C0.0

C1.0

C2.0

C3.0

C4.0

L1.0

L1.1

A1.01

A3.01

A4.00

10 ft wall elevation-detail

Sign Picture

Thank you,

A handwritten signature in green ink that reads 'Rich Anderson/jer'.

Rich Anderson

Superintendent

Anderson-Moore Construction Corp.